



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: December 11, 2014 **REPORT NO.** PC-14-075

ATTENTION: Planning Commission, Agenda of December 18, 2014

SUBJECT: AT&T – Valley Centre (Chipotle)
PROJECT NO. 358540. PROCESS 4.

**OWNER/
APPLICANT:** PIAZZA RETAIL, LLC/
AT&T

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) at 3881 Valley Centre Drive, within the Carmel Valley community plan area?

Staff Recommendation: APPROVE Neighborhood Development Permit (NDP) No. 1376452, Site Development Permit (SDP) No. 1376453, and Planned Development Permit (PDP) No. 1376454.

Community Planning Group Recommendation: At their September 25, 2014 meeting, the Carmel Valley Community Planning Board voted to recommend approval of this project, by a vote of 9-2, with the condition that the employees be notified of the antenna installation. Consistent with the Land Development Code, the Notice of Public Hearing is mailed to all property owners and occupants within 300 feet of the property. Both Starbucks and Chipotle, located on this property, are included on the noticing list (Attachment 12).

Environmental Review: This project was evaluated pursuant to the California Environmental Quality Act (CEQA) and determined to be categorically exempt from CEQA, per State Guidelines, Section 15303 (New Construction). The environmental exemption determination was made on October 28, 2014 and the opportunity to appeal that determination ended November 12, 2014 (Attachment 7).

Fiscal Impact Statement: AT&T Mobility is the Financially Responsible Party responsible for costs associated with the processing of this application.

Code Enforcement Impact: Not applicable.

Housing Impact Statement: Not applicable.

BACKGROUND

AT&T – Carmel Valley (Chipotle) is an application for a Neighborhood Development Permit (NDP), Site Development Permit (SDP), and Planned Development Permit (PDP), Process 4, for a Wireless Communication Facility (WCF). The project is located at 3881 Valley Centre Drive, in the Carmel Valley Planned District (CVPD) VC (Visitor Commercial) zone, which refers back to the City-wide CV-1-1 zone development regulations. The project is located in the Carmel Valley Community Plan area, Neighborhood 6 (Attachments 1, 2, 3, and 4).

WCFs are permitted in commercial zones as a Limited Use, Process 1 decision. In this case, an NDP, SDP, and PDP are also required. An NDP is required as the equipment enclosure exceeds 250 square-feet. A SDP is required as the project is located in the CVPD. A PDP is required to permit a deviation to allow the equipment enclosure to encroach into the setback.

DISCUSSION

Project Description:

This WCF proposes to install 12 panel antennas, behind radio-frequency (RF) transparent screening, on the roof of an existing commercial establishment. Equipment associated with the antennas will be located in a 264 square-foot equipment enclosure adjacent to the parking lot.

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process 1 (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process 4 (Planning Commission) approval. As this particular project is located in a commercial zone, a Process 1 Limited Use approval would be required, however based on the project's location in the Carmel Valley Planned District, and project design, additional permits are required. The proposed location is one of the most preferred locations for locating a WCF.

Pursuant to the Telecommunications Act of 1996, local government agencies are not permitted to deny applications for WCF due to health-related concerns. Wireless carriers are under license from the Federal Communications Commission (FCC) to provide wireless coverage in a manner that is consistent with FCC regulations. The City does collect a report, prepared by a radio-frequency (RF) engineer, to demonstrate compliance with the FCC regulations. This project is consistent with the FCC regulations.

WCFs are required to "use all reasonable means to conceal or minimize the visual impact of the WCF through integration..." Integration with existing structures or among existing uses shall be accomplished through the use of architecture, landscape, and siting solutions. With this project, the antennas are concealed on the roof of an existing building, behind RF-transparent material, designed to integrate with the existing building design. Equipment associated with the antennas will be located in an enclosure, at the rear of the property, adjacent to the parking lot. The

equipment location does require the removal and replacement of an existing required parking lot tree, and the replacement tree will be provided with the minimum 40 square-foot planting area required.

A deviation to the CVPD-CV zone setbacks is requested as the equipment enclosure is located within the setback. The equipment enclosure has been situated on the property to minimize visibility. The setback encroachment results in a more desirable design than if designed in strict conformance with the development regulations. The enclosure is adjacent to an embankment and will be integrated with the overall development.

Community Plan Analysis:

While the Carmel Valley Community Plan does not specifically address WCFs, the City's General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The antennas associated with this WCF are proposed to be concealed on the roof of an existing commercial building, behind RF-transparent screening, designed to integrate with the design of the existing building. Equipment associated with the antennas will be located adjacent to the parking area in an enclosure. The design of this facility enables the provision of wireless service to the surrounding community in a way that is aesthetically pleasing and respectful of the neighborhood context. Therefore, the WCF will not adversely affect the General Plan.

Conclusion:

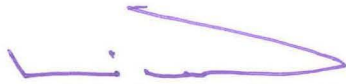
This project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of NDP No. 1376452, SDP No. 1376453, and PDP No. 1376454.

ALTERNATIVES

1. Approve NDP No. 1376452, SDP No. 1376453, and PDP No. 1376454, with modifications.
2. Deny NDP No. 1376452, SDP No. 1376453, and PDP No. 1376454, if the Planning

Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Alex Hempton, AICP
Development Project Manager
Development Services Department

VACCHI/AFH

Attachments:

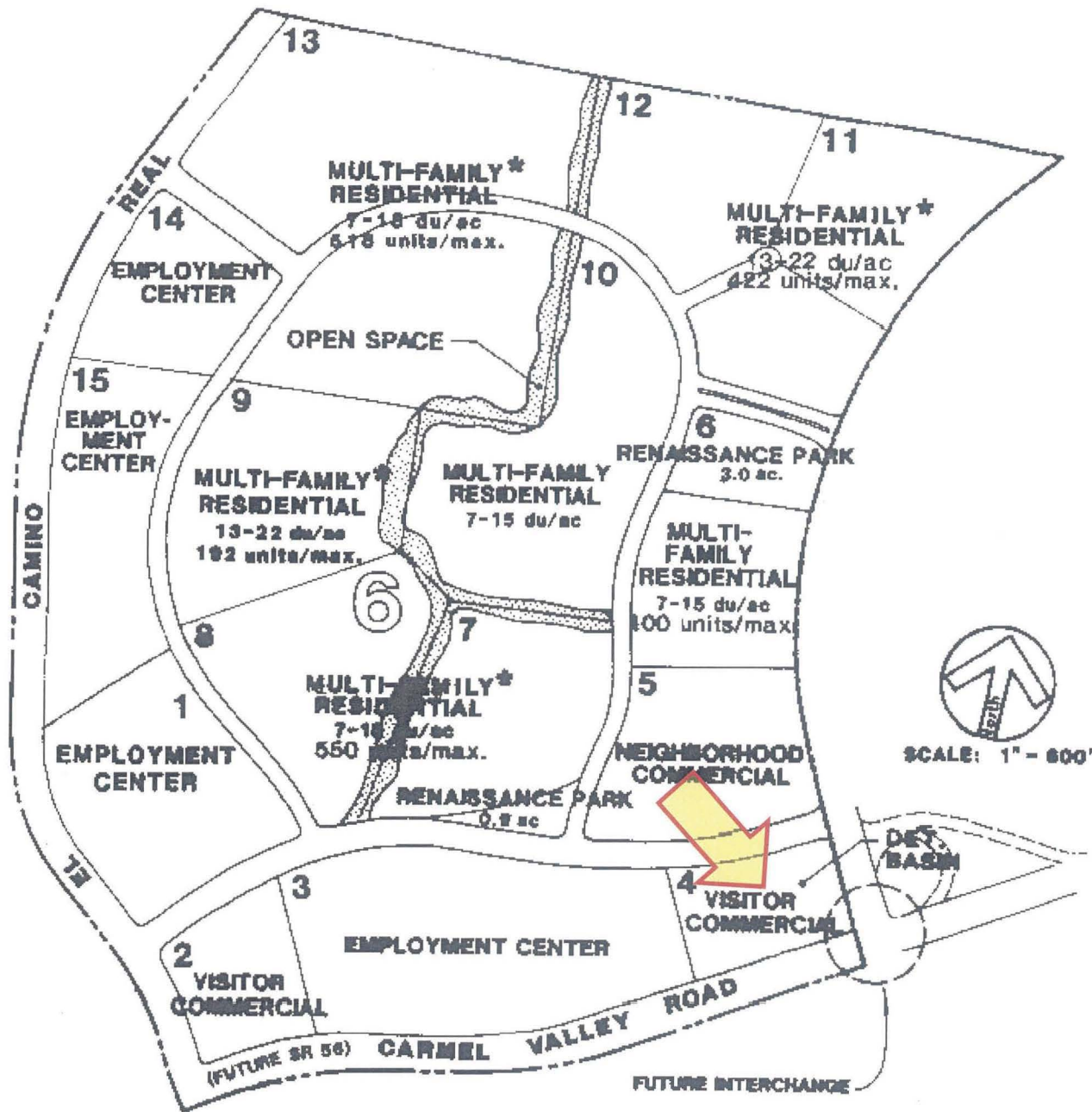
1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of (Environmental) Exemption
8. Photo Simulations
9. Site Justification and Coverage Maps
10. Photographic Survey
11. Project Plans
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology
15. Notice of Planning Commission Hearing



Aerial Photo

AT&T – Valley Centre (Chipotle) – Project Number 358540

3881 Valley Centre Drive



Designated Visitor Commercial

ATTACHMENT 2



Community Plan Land Use Designation

AT&T - Valley Centre (Chipotle) - Project Number 358540

3881 Valley Centre Drive



Project Location Map

AT&T – Valley Centre (Chipotle) – Project Number 358540

3881 Valley Centre Drive



ATTACHMENT 3

PROJECT DATA SHEET		
PROJECT NAME:	AT&T – Valley Centre (Chipotle)	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of 12 panel antennas, concealed behind roof-mounted radio-frequency (RF) transparent screening. Equipment located in an enclosure adjacent to the parking lot.	
COMMUNITY PLAN AREA:	Carmel Valley	
DISCRETIONARY ACTIONS:	Neighborhood Development Permit, Site Development Permit, and Planned Development Permit (Process 4)	
COMMUNITY PLAN LAND USE DESIGNATION:	Visitor Commercial	
<p align="center"><u>ZONING INFORMATION:</u></p> <p align="center">ZONE: CVPD-VC (Visitor Commercial) [Refers to City-wide CV-1-1.]</p> <p align="center">HEIGHT LIMIT: 60'</p> <p align="center">FLOOR AREA RATIO: 2.0</p> <p align="center">FRONT SETBACK: 10'</p> <p align="center">SIDE SETBACK: 10'</p> <p align="center">STREETSIDE SETBACK: -</p> <p align="center">REAR SETBACK: 10'</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Neighborhood Commercial, CVPD-NC	Commercial/Residential
SOUTH:	Carmel Valley Rd./SR-56, AR-1-2	SR-56
EAST:	SR-56/Residential, CVPD-SF2	SR-56/Residential
WEST:	Employment Center, CVPD-SC	Office/Commercial
DEVIATIONS OR VARIANCES REQUESTED:	Deviation to the required setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	At the September 24, 2014 meeting of the Carmel Valley Planning Board, the group voted 9-2 to recommend approval of the project.	

**PLANNING COMMISSION
RESOLUTION NO. PC-XXXX
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1376452
SITE DEVELOPMENT PERMIT NO. 1376453
PLANNED DEVELOPMENT PERMIT NO. 1376454
AT&T – VALLEY CENTRE (CHIPOTLE)
PROJECT NUMBER 358540**

WHEREAS, PIAZZA RETAIL, LLC, Owner, and AT&T MOBILITY, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits “A” and corresponding conditions of approval for the associated Permit Nos. 1376452, 1376453, and 1376454);

WHEREAS, the site is located at 3881 Valley Centre Drive in the CVPD-CV zone of the Carmel Valley Community Plan area;

WHEREAS, the project site is legally described as: all that certain real property situated in the County of San Diego, State of California, described as follows: Lot 8 of Piazza Carmel II, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 13138, filed in the Office of the County Recorder of San Diego County, September 13, 1994;

WHEREAS, on October 28, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 18, 2014, the Planning Commission of the City of San Diego considered Neighborhood Development Permit No. 1376452, Site Development Permit No. 1376453, and Planned Development Permit No. 1376454 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 18, 2014:

FINDINGS:

Neighborhood Development Permit - Section 126.0404

1. The proposed development will not adversely affect the applicable land use plan;

While the Carmel Valley Community Plan does not specifically address WCFs, the City of San Diego’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The antennas associated with this WCF are proposed to be located on the roof of an existing commercial building, concealed behind radio-frequency (RF) transparent material, painted and textured to be compatible with adjacent building surfaces. The equipment associated with the antennas will be located in an equipment enclosure, located adjacent to the parking area. The design of the antenna screening will minimize the visual impact of the WCF, by blending the WCF in with the existing building. The equipment enclosure is an unobtrusive design, set at the rear of the property against an existing embankment. Even though the equipment enclosure exceeds 250 square-feet, at 264 square-feet, the enclosure is designed in such a way as to not preclude the placement of a required parking lot tree and is compatible with the overall design of this development. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context.

This project is located in Neighborhood 6 of the Carmel Valley Community Plan. The Precise Plan for this area identifies that this visitor commercial center, adjacent to SR-56, will make it “convenient for use by residents traveling to and from their places of employment as well as visitors to the area.” The plan calls for views from Carmel Valley to the commercial component to be protected, by utilizing landscape, setbacks, and architectural treatments. Architectural compatibility with surrounding development shall be achieved, in part, by limiting the height to 50 feet. The proposed WCF is compatible with the requirements identified in the Precise Plan. The project does not preclude the intended commercial uses, and has been designed to be architecturally compatible with the surrounding neighborhood. For example, all roof-top equipment is screened and the overall height does not exceed 36 feet (the zone height limit is 60 feet). While the enclosure does encroach into the setback, it is set against an embankment and is not readily visible from the public right-of-way or adjacent properties.

The proposed WCF complies with the City’s Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City’s General Plan, and the Carmel Valley Neighborhood 6 Precise Plan. The proposed WCF does not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

This project consists of 12 roof-mounted panel antennas, screened behind RF-transparent material, painted and textured to be compatible with the existing building. Equipment associated with the antennas will be located in a 264 square-foot equipment enclosure adjacent to the parking area. The project includes one deviation, in that the equipment enclosure encroaches into the required setback. The project is located at 3881 Valley Centre Drive, and is located in the Carmel Valley community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

WCFs are permitted in commercial zones as a Limited Use, Process 1 decision. In this case, a Neighborhood Development Permit (NDP), Site Development Permit (SDP), and Planned Development Permit (PDP) are also required. An NDP is required as the equipment enclosure exceeds 250 square-feet. An SDP is required as the project is located in the Carmel Valley Planned District, and a PDP is required to permit a deviation to allow the equipment enclosure to encroach into the setback.

The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCFs “shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions.” Twelve panel antennas will be located on the roof of an existing commercial building, behind RF-transparent material, painted and textured to be compatible with the existing building. Equipment associated with the antennas will be located in an enclosure, located adjacent to the parking lot. The antennas will be concealed within building elements that appear to be integral parts of the building design, which will result in a WCF that is compatible with the neighborhood context. The equipment is set back toward the rear of the property, against an embankment, and is not readily visible from the public right-of-way or adjacent properties.

The equipment enclosure encroaches into the setback, which is permitted with the processing of this PDP. This deviation can be supported, as the equipment enclosure does not preclude the placement of a required parking area tree, is located adjacent to an embankment, and is partially screened by landscape material. The project is more desirable than if the project complied with the strict application of the zone's development regulations, as the deviation allows AT&T to more effectively integrate the equipment with the site design. If the deviation request was not granted, the equipment could potentially be located elsewhere on the property, such as the rooftop or a landscaped area, which could make the equipment more visible and interfere with the commercial uses on the premises. The current design results in a project that is respectful of the neighborhood context and minimally visible.

Based on this analysis, the project design, and permits required for the requested deviation, this project complies with the applicable regulations of the Land Development Code.

Site Development Permit - Section 126.0504**1. The proposed development will not adversely affect the applicable land use plan;**

While the Carmel Valley Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The antennas associated with this WCF are proposed to be located on the roof of an existing commercial building, concealed behind radio-frequency (RF) transparent material, painted and textured to be compatible with adjacent building surfaces. The equipment associated with the antennas will be located in an equipment enclosure, located adjacent to the parking area. The design of the antenna screening will minimize the visual impact of the WCF, by blending the WCF in with the existing building. The equipment enclosure is an unobtrusive design, set at the rear of the property against an existing embankment. Even though the equipment enclosure exceeds 250 square-feet, at 264 square-feet, the enclosure is designed in such a way as to not preclude the placement of a required parking lot tree and is compatible with the overall design of this development. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context.

This project is located in Neighborhood 6 of the Carmel Valley Community Plan. The Precise Plan for this area identifies that this visitor commercial center, adjacent to SR-56, will make it "convenient for use by residents traveling to and from their places of employment as well as visitors to the area." The plan calls for views from Carmel Valley to the commercial component to be protected, by utilizing landscape, setbacks, and architectural treatments. Architectural compatibility with surrounding development shall be achieved, in part, by limiting the height to 50 feet. The proposed WCF is compatible with the requirements identified in the Precise Plan. The project does not preclude the intended commercial uses, and has been designed to be architecturally compatible with the surrounding neighborhood. For example, all roof-top equipment is screened and the overall height does not exceed 36 feet (the zone height limit is 60 feet). While the enclosure does encroach into the setback, it is set against an embankment and is not readily visible from the public right-of-way or adjacent properties.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan, and the Carmel Valley Neighborhood 6 Precise Plan. The proposed WCF does not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

This project consists of 12 roof-mounted panel antennas, screened behind RF-transparent material, painted and textured to be compatible with the existing building. Equipment associated with the antennas will be located in a 264 square-foot equipment enclosure adjacent to the parking area. The project includes one deviation, in that the equipment enclosure encroaches into the required setback. The project is located at 3881 Valley Centre Drive, and is located in the Carmel Valley community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC’s regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

WCFs are permitted in commercial zones as a Limited Use, Process 1 decision. In this case, a Neighborhood Development Permit (NDP), Site Development Permit (SDP), and Planned Development Permit (PDP) are also required. An NDP is required as the equipment enclosure exceeds 250 square-feet. An SDP is required as the project is located in the Carmel Valley Planned District, and a PDP is required to permit a deviation to allow the equipment enclosure to encroach into the setback.

The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCFs “shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions.” Twelve panel antennas will be located on the roof of an existing commercial building, behind RF-transparent material, painted and textured to be compatible with the existing building. Equipment associated with the antennas will be located in an enclosure, located adjacent to the parking lot. The antennas will be concealed within building elements that appear to be integral parts of the building design, which will result in a WCF that is compatible with the neighborhood context. The equipment is set back toward the rear of the property, against an embankment, and is not readily visible from the public right-of-way or adjacent properties.

The equipment enclosure encroaches into the setback, which is permitted with the processing of this PDP. This deviation can be supported, as the equipment enclosure does not preclude the placement of a required parking area tree, is located adjacent to an embankment, and is partially screened by landscape material. The project is more desirable than if the project complied with the strict application of the zone’s development regulations, as the deviation allows AT&T to more effectively integrate the equipment with the site design. If the deviation request was not

granted, the equipment could potentially be located elsewhere on the property, such as the rooftop or a landscaped area, which could make the equipment more visible and interfere with the commercial uses on the premises. The current design results in a project that is respectful of the neighborhood context and minimally visible.

Based on this analysis, the project design, and permits required for the requested deviation, this project complies with the applicable regulations of the Land Development Code.

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

While the Carmel Valley Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The antennas associated with this WCF are proposed to be located on the roof of an existing commercial building, concealed behind radio-frequency (RF) transparent material, painted and textured to be compatible with adjacent building surfaces. The equipment associated with the antennas will be located in an equipment enclosure, located adjacent to the parking area. The design of the antenna screening will minimize the visual impact of the WCF, by blending the WCF in with the existing building. The equipment enclosure is an unobtrusive design, set at the rear of the property against an existing embankment. Even though the equipment enclosure exceeds 250 square-feet, at 264 square-feet, the enclosure is designed in such a way as to not preclude the placement of a required parking lot tree and is compatible with the overall design of this development. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context.

This project is located in Neighborhood 6 of the Carmel Valley Community Plan. The Precise Plan for this area identifies that this visitor commercial center, adjacent to SR-56, will make it "convenient for use by residents traveling to and from their places of employment as well as visitors to the area." The plan calls for views from Carmel Valley to the commercial component to be protected, by utilizing landscape, setbacks, and architectural treatments. Architectural compatibility with surrounding development shall be achieved, in part, by limiting the height to 50 feet. The proposed WCF is compatible with the requirements identified in the Precise Plan. The project does not preclude the intended commercial uses, and has been designed to be architecturally compatible with the surrounding neighborhood. For example, all roof-top equipment is screened and the overall height does not exceed 36 feet (the zone height limit is 60 feet). While the enclosure does encroach into the setback, it is set against an embankment and is not readily visible from the public right-of-way or adjacent properties.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan, and the Carmel Valley Neighborhood 6 Precise Plan. The proposed WCF does not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

This project consists of 12 roof-mounted panel antennas, screened behind RF-transparent material, painted and textured to be compatible with the existing building. Equipment associated with the antennas will be located in a 264 square-foot equipment enclosure adjacent to the parking area. The project includes one deviation, in that the equipment enclosure encroaches into the required setback. The project is located at 3881 Valley Centre Drive, and is located in the Carmel Valley community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

- 3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

WCFs are permitted in commercial zones as a Limited Use, Process 1 decision. In this case, a Neighborhood Development Permit (NDP), Site Development Permit (SDP), and Planned Development Permit (PDP) are also required. An NDP is required as the equipment enclosure exceeds 250 square-feet. An SDP is required as the project is located in the Carmel Valley Planned District, and a PDP is required to permit a deviation to allow the equipment enclosure to encroach into the setback.

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elements that appear to be integral parts of the building design, which will result in a WCF that is compatible with the neighborhood context. The equipment is set back toward the rear of the property, against an embankment, and is not readily visible from the public right-of-way or adjacent properties.

The equipment enclosure encroaches into the setback, which is permitted with the processing of this PDP. This deviation can be supported, as the equipment enclosure does not preclude the placement of a required parking area tree, is located adjacent to an embankment, and is partially screened by landscape material. The project is more desirable than if the project complied with the strict application of the zone's development regulations, as the deviation allows AT&T to more effectively integrate the equipment with the site design. If the deviation request was not granted, the equipment could potentially be located elsewhere on the property, such as the rooftop or a landscaped area, which could make the equipment more visible and interfere with the commercial uses on the premises. The current design results in a project that is respectful of the neighborhood context and minimally visible.

Based on this analysis, the project design, and permits required for the requested deviation, this project complies with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1376452, SITE DEVELOPMENT PERMIT NO. 1376453, and PLANNED DEVELOPMENT PERMIT NO. 1376454 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1376452, 1376453, and 1376454, a copy of which is attached hereto and made a part hereof.

Alexander Hempton, AICP
Development Project Manager
Development Services

Adopted on: December 18, 2014

Internal Order No. 24004426

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004426

NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) NO. 1376452
SITE DEVELOPMENT PERMIT (SDP) NO. 1376453
PLANNED DEVELOPMENT PERMIT (PDP) NO. 1376454
AT&T – VALLEY CENTRE (CHIPOTLE)
PROJECT NO. 358540
PLANNING COMMISSION

This NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1376452, SITE DEVELOPMENT PERMIT NO. 1376453, and PLANNED DEVELOPMENT PERMIT NO. 1376454 are granted by the PLANNING COMMISSION of the City of San Diego to PIAZZA RETAIL, LLC, Owner, and AT&T MOBILITY, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 153.0101, 126.0402, 126.0502, and 126.0602. The site is located at 3881 Valley Centre Drive in the CVPD-CV zone of the Carmel Valley Community Plan area. The project site is legally described as: all that certain real property situated in the County of San Diego, State of California, described as follows: Lot 8 of Piazza Carmel II, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 13138, filed in the Office of the County Recorder of San Diego County, September 13, 1994.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 18, 2014, on file in the Development Services Department.

The project shall include:

- a. Twelve (12) 4' panel antennas, with the following dimensions: 48.0" by 14.8" by 9.0", located behind radio-frequency (RF) transparent screening on the roof of an existing building, with equipment located within a 264 square-foot equipment enclosure;

- b. The equipment enclosure encroaches into the setback, which is permitted with the processing of this PDP;
- c. The equipment enclosure exceeds 250 square-feet, which is permitted with this NDP;
- d. This structure is for the primary purpose of providing commercial services, but may have the secondary purpose of accommodating Permittee's Operations on the Premises.
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January 5, 2018.
2. This NDP, SDP, and PDP and corresponding use of this site shall **expire on January 5, 2025**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should

fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 1 cubic yard of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be

maintained in a disease, weed and litter free condition at all times. Severe pruning or “topping” of trees is not permitted unless specifically noted in this Permit.

20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

23. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

24. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

25. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit “A.”

26. No overhead cabling is allowed for this project.

27. The Owner/Permittee shall not cause or allow the antennas located on the building to be different sizes (length, width, or height) than as shown on the stamped approved plans.

28. The WCF shall conform to Exhibit “A” (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

29. Prior to the issuance of a construction permit, the Permittee shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission’s Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

30. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise

ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

31. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

32. Use of or replacement of any building façade with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 18, 2014 and [Approved Resolution Number].

Permit Type/PTS Approval No.: NDP No. 1376452, SDP No. 1376453, and PDP No. 1376454

Date of Approval: 12/18/2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Alex Hempton, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

PIAZZA RETAIL, LLC
Owner

By _____
NAME
TITLE

AT&T MOBILITY
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: October 28, 2014

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order 24004426

PROJECT NAME/NUMBER: AT&T Valley Centre/No. 358540

COMMUNITY PLAN AREA: Carmel Valley

COUNCIL DISTRICT: 1

LOCATION: 3881 Valley Centre Drive, San Diego, CA 92130

PROJECT DESCRIPTION: NEIGHBORHOOD DEVELOPMENT PERMIT (NDP), PLANNED DEVELOPMENT PERMIT (PDP) AND SITE DEVELOPMENT PERMIT (SDP) for a new Wireless Communication Facility (WCF) located at an existing commercial center. The project would consist of twelve (12) roof-mounted antennas; twenty-four (24) roof-mounted RRUs; and two (2) GPS antennas mounted to a proposed outdoor equipment area, which would also house associated equipment including batteries and cabinets. The roof-mounted equipment would be concealed behind proposed FRP panels which would be painted and textured to match the existing building. The equipment area would be located southeast corner of the existing parking lot, and would have finishes to match the existing building as well. The project site is located within the CVPD-VC zone of the Carmel Valley Community Plan area.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Planning Commission (Process 4)

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Staff

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Sections 15303. This Class 3 exemption allows for the construction of limited numbers of new, small facilities or structures, including but not limited to, up to four commercial buildings in urban areas not exceeding 10,000 square feet or utility extensions. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

DEVELOPMENT PROJECT MANAGER: Alex Hempton
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA
92101-4153
PHONE NUMBER: (619) 446-5349

On October 28, 2014 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (November 12, 2014). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

EXISTING

SD0725
Valley Centre
 3881 Valley Centre Dr.
 San Diego, CA 92130

Proposed antennas mounted within
 new tower features and panels within
 existing barrel vault



These simulations are intended for graphical purposes only and not intended
 to be part of or to replace the information provided on the construction drawings

PROPOSED

Photosimulation of proposed telecommunications site: Southeast elevation

5/28/2013

ulations
 13
 P.

Package Con





SD0725
Valley Centre
 3881 Valley Centre Dr.
 San Diego, CA 92130

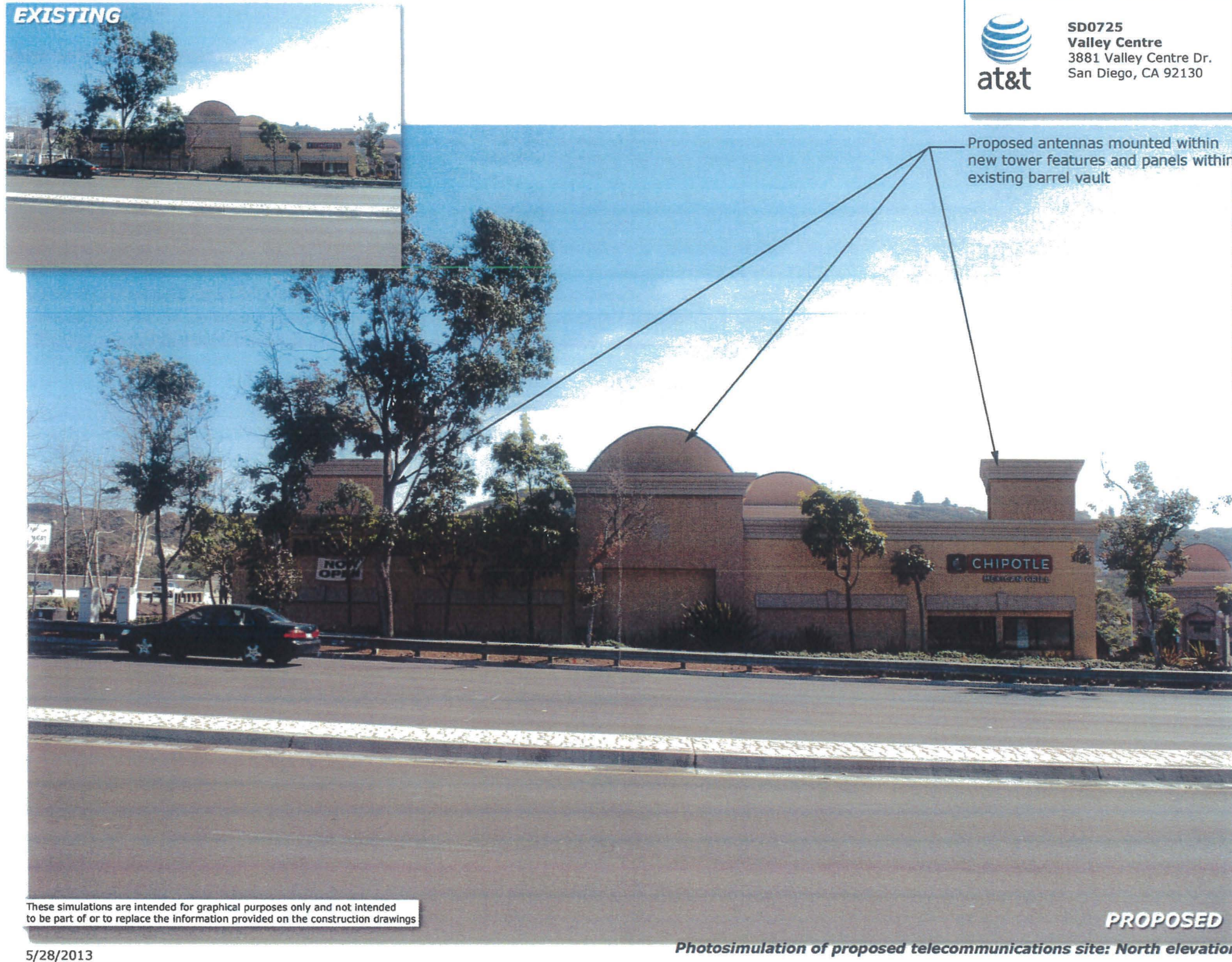
Proposed antennas mounted within
 new tower features and panels within
 existing barrel vault



These simulations are intended for graphical purposes only and not intended
 to be part of or to replace the information provided on the construction drawings

5/28/2013

PROPOSED
 Photosimulation of proposed telecommunications site: West elevation



**SITE JUSTIFICATION
AT&T: Chipotle
3881 Valley Centre Drive**

PROJECT DESCRIPTION

The project proposes to locate a wireless communication facility at 3881 Valley Centre Drive on the Chipotle building in the Carmel Valley Community Plan area. The project proposes to install twelve (12) antennas inside two new screen cupolas on the roof of an existing commercial building. The associated equipment will be located inside a split face block enclosure of approximately 297 square feet.

SITE DESIGN

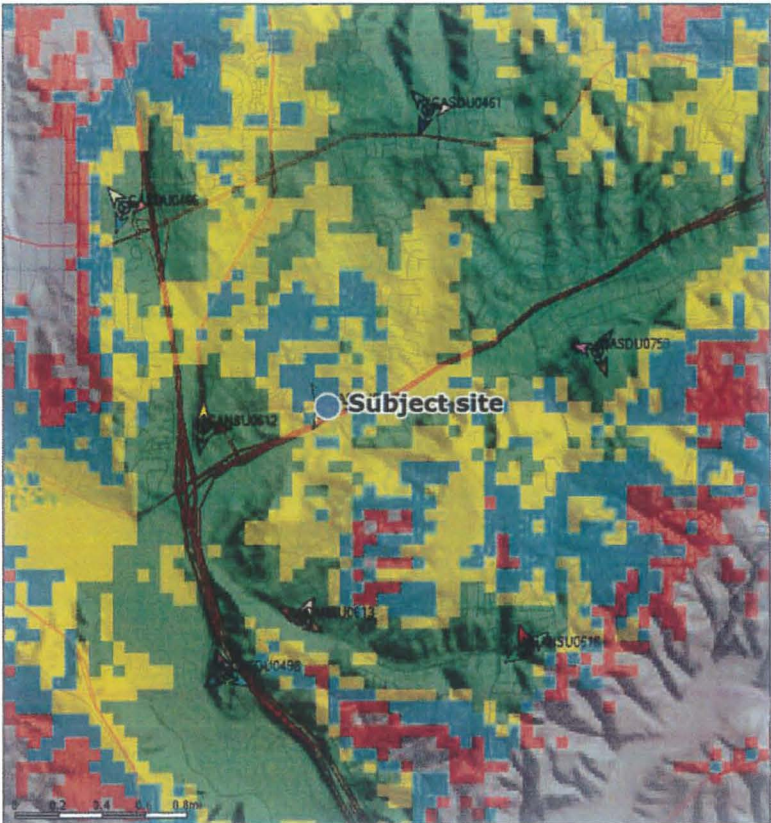
The antennas will be located inside new boxes on the roof of the commercial building. The antennas will be completely concealed from view inside the two new boxes and an existing barrel top cupola on the roof of the building. The equipment will be located inside a block enclosure surrounded by landscaping.

PREFERENCE 1 LOCATION PROCESS 4 DESIGN

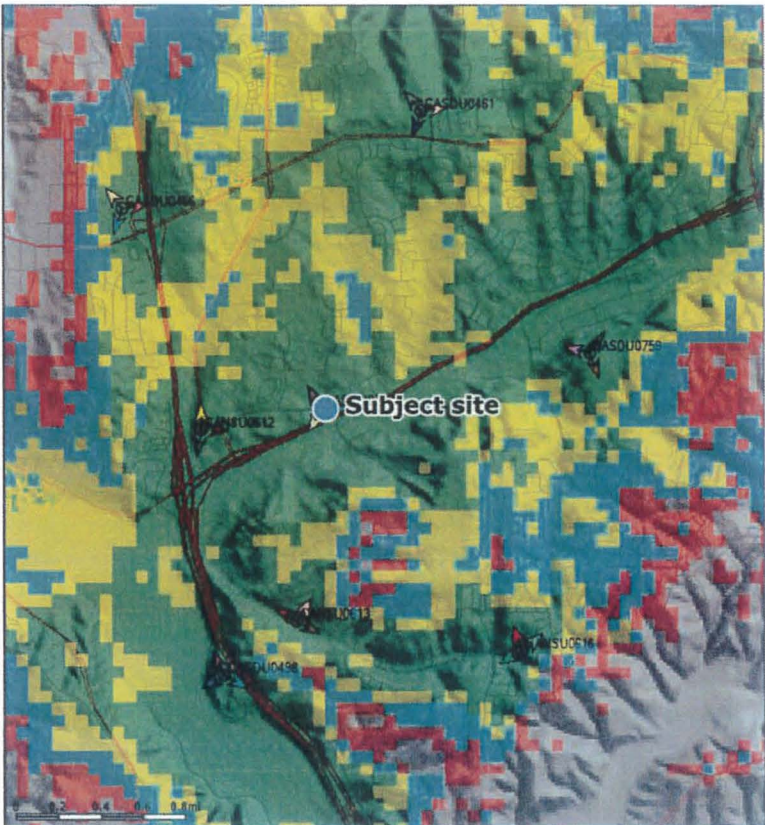
The proposed facility is located on a commercial property and therefore is a Preference 1 location. However, the equipment is located within the side and rear setbacks and exceeds the maximum 250 square foot requirement of the WCF requirements, therefore, a Planned Development Permit (PDP) Process 4 decision is required for this project. Due to the configuration of the property, which is surrounded by a street on two sides, an overpass on one side and the freeway on the other side, locating the equipment in the setback was the only option at this site. The equipment enclosure has been designed to match the existing walls on the property.

CO-LOCATION OF FACILITIES ON SITE

There are no existing wireless carriers located on this property.



Coverage without site



Coverage Levels:

Excellent

Variable

Poor

No Coverage

12/16/2013

Coverage with site



SD0725
Valley Centre
3881 Valley Centre Dr.
San Diego, CA 92130

Legend

Search Ring

Selected Site

Existing sites
within 1 mile
radius:

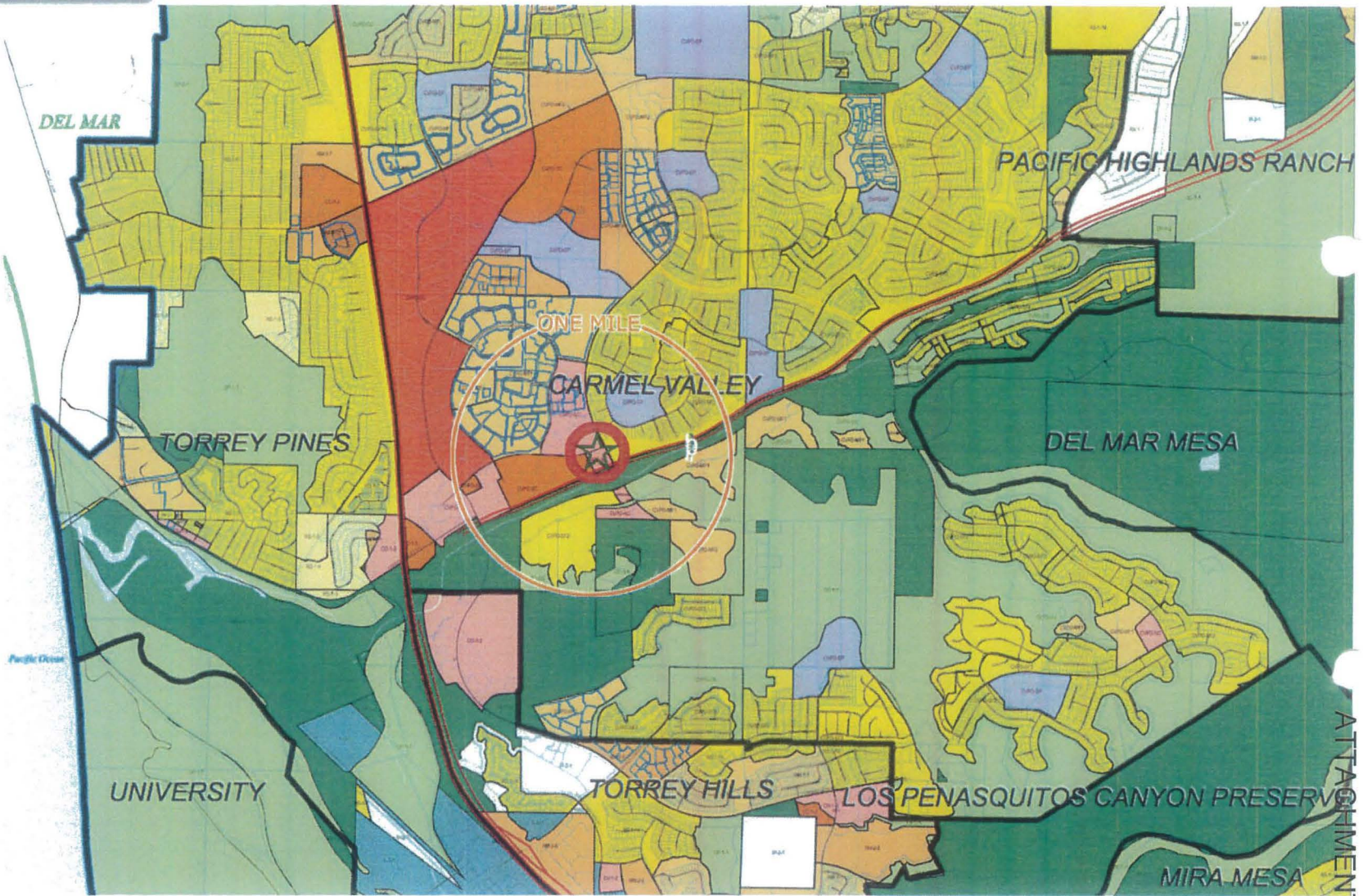
No sites within 1 mile

Alternative
Sites:

No alternates

Page 3 of 3

Legend	
City of San Diego Boundary	
Community Plan Areas	
Zones	
AR-1.1	AR-1.1
AR-1.2	AR-1.2
AR-1.3	AR-1.3
AR-2.1	AR-2.1
AR-2.2	AR-2.2
AR-2.3	AR-2.3
AR-2.4	AR-2.4
AR-2.5	AR-2.5
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AR-2.7	AR-2.7
AR-2.8	AR-2.8
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AR-2.98	AR-2.98
AR-2.99	AR-2.99
AR-3.00	AR-3.00



City of San Diego
Development Services Department

GRID TILE: 35
GRID SCALE: 800
DATE: 3/25/2008 3:51:16 PM



PHOTO STUDY & KEY MAP

SD725

Valley Centre
3881 Valley Centre Drive
San Diego, CA 92130

Prepared for:

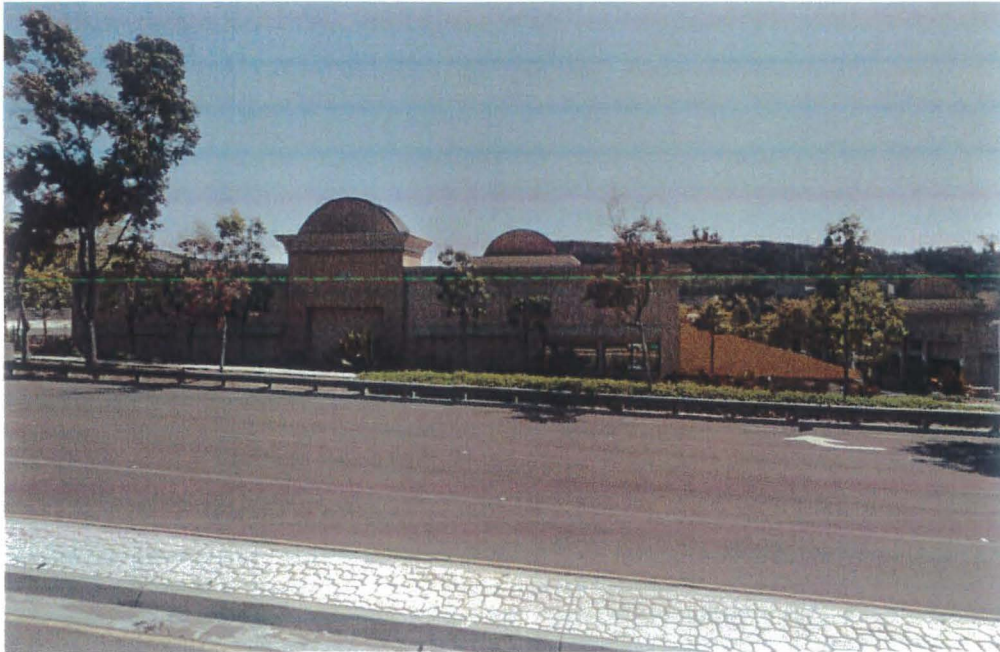
City of San Diego
Department of Planning
1222 First Avenue MS 301
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
AT&T Wireless

302 State Place
Escondido, CA 92029
Contact: Shelly Kilbourn, Planning Consultant
(619) 208-4685

February 7, 2014



Looking at north elevation



Looking at south elevation



Looking at east elevation



Looking at west elevation



Looking north from site



Looking south from site



Looking east from site



Looking west from site



Aerial photo of site

ENGINEERING

2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA ELECTRIC CODE
TIA-222-G OR LATEST EDITION

CALIFORNIA BUILDING CODE, TITLE 24, 2010 EDITION
CALIFORNIA ELECTRICAL CODE, 2010 EDITION BASED ON 2008 N.E.C.
CALIFORNIA PLUMBING CODE, 2010 EDITION BASED ON 2009 U.P.C.
CALIFORNIA MECHANICAL CODE, 2010 EDITION BASED ON 2009 U.M.C.
CALIFORNIA FIRE CODE, 2010 EDITION BASED ON 2009 I.F.C.
CALIFORNIA ENERGY CODE, 2010 EDITION
CALIFORNIA GREEN BLDG CODE, 2010 EDITION BASED ON 2008 I.F.C.
CALIFORNIA RESIDENTIAL CODE, 2010 EDITION BASED ON 2009 I.R.C.
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

PROJECT DESCRIPTION

AT&T WIRELESS PROPOSES TO CONSTRUCT AN UNMANNED WIRELESS TELECOMMUNICATIONS SITE CONSISTING OF THE FOLLOWING:

• (12) 4'-0" ANTENNAS
• (24) RRUS
• (8) RADIO CABINETS
• (1) POWER CABINET
• (1) BATTERY CABINET
• (2) GPS ANTENNAS
• (6) SURGE SUPPRESSORS; (2) DC-02, (4) DC-06
• PROPOSED EQUIPMENT ENCLOSURE (264 S.F.)

DEVIATIONS: SETBACK ENCROACHMENT

SITE INFORMATION

PROPERTY OWNER:
ADDRESS:

NEWMARK MERILL COMPANIES-SAN DIEGO
427 COLLEGE BOULEVARD, SUITE K
OCEANSIDE, CA 92057

SITE NAME:
SITE ADDRESS:

VALLEY CENTRE
3881 VALLEY CENTRE DR. SAN
DIEGO CA 92130

SITE CONTACT:

JOHN HICKMAN

LATITUDE (NAD 83):
LONGITUDE (NAD 83):

32° 56' 16.125" N
117° 13' 48.149" W

GROUND ELEVATION:
ANTENNA TIP HEIGHT:

74.67' AMSL
29'-11"

ZONING JURISDICTION:
EXISTING CARRIERS:

CITY OF SAN DIEGO
NONE

ZONING DISTRICT:
EXISTING PERMITS:

CVPD-VG
NONE

PARCEL #:
OCCUPANCY GROUP:

307-410-08
A-2

CONSTRUCTION TYPE:

TYPE V-B FULLY SPRINKLED

OTHER WIRELESS FACILITIES:

NO

POWER COMPANY:
TELEPHONE COMPANY:

SDG&E
AT&T

RF ENGINEER:

RAM JINDALL

LEASING AGENT:

DUFFY DAUGHERTY
925-546-2050

ZONING AGENT:

KRYSTAL PATTERSON
760-715-8703

CONSTRUCTION MANAGER:

JOHN CAPEBIANCO
619-200-7340

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 8 OF PIAZZA CARMEL II, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 13, 1994.


CONTACT INFORMATION

ENGINEER:

BLACK & VEATCH CORPORATION
10069 WILLOW CREEK RD, SUITE 350
SAN DIEGO, CA 92131

CONTACT:

JAMES O'MALLEY
858-603-7647



SD0725

VALLEY CENTRE

3881 VALLEY CENTRE DR.

SAN DIEGO, CA 92130

LOCATION MAPS

VICINITY MAP

LOCAL MAP

NO SCALE

DRIVING DIRECTIONS

1. HEAD EAST ON PACIFIC CENTER BLVD TOWARD PACIFIC MESA BLVD
2. TAKE THE 1ST RIGHT ONTO PACIFIC MESA BLVD
3. TURN LEFT ONTO PACIFIC HEIGHTS BLVD
4. TAKE THE 1ST RIGHT ONTO MIRA MESA BLVD
5. TAKE THE 3RD RIGHT ONTO VISTA SORRENTO PKWY
6. TURN LEFT TO MERGE ONTO I-805 N
7. TAKE THE CA-56 BYPASS E EXIT
8. MERGE ONTO INTERSTATE 5 LOCAL BYPASS N
9. CONTINUE ONTO CA-56 E
10. TAKE THE CARMEL CREEK RD EXIT
11. TURN LEFT ONTO CARMEL CREEK RD
12. TAKE THE 1ST LEFT ONTO VALLEY CENTRE DR
13. TURN RIGHT ONTO KILROY DRIVEWAY
3881 VALLEY CENTRE DR SAN DIEGO, CA 92130

FA NUMBER: 11568566

CASPR NUMBER: 3601460751

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

AT&T RF: _____ DATE: _____

SITE ACQUISITION: _____ DATE: _____

PROPERTY OWNER: _____ DATE: _____

CM: _____ DATE: _____

AT&T PM: _____ DATE: _____

RF INFORMATION


	LTE	GSM	UMTS
Tx	704.0 - 716.0 MHz	869 - 874.6 MHz 890 - 891.4 MHz 1950 - 1952.8 MHz 1970 - 1980 MHz	874.6 - 879.6 MHz 1945 - 1950 MHz
Rx	734.0 - 746.0 MHz	824 - 829.4 MHz 845 - 846.4 MHz 1870 - 1872.8 MHz 1890 - 1900 MHz	829.6 - 834.4 MHz 1865 - 1869.8 MHz
MAX EIRP:	500.0 WATTS	MAX ERP: 850 MHz: 54 WATTS 1900 MHz: 54.5 WATTS	

SHEET INDEX


SHEET NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	10
A-1	SITE PLAN AND NOTES	11
A-1.1	ENLARGED SITE PLAN	10
A-2	EXTERIOR ELEVATIONS	10
A-2.1	EXTERIOR ELEVATIONS	10
A-3	PROPOSED ANTENNA LAYOUTS	10
A-4	EQUIPMENT AREA PLAN	10
A-5	EQUIPMENT DETAILS	10
A-6	DETAILS	10
L-1.0	IRRIGATION PLAN	10
L-2.0	PLANTING PLAN	11
C-1	TOPOGRAPHIC SURVEY	10

11"x17" DRAWINGS WILL BE HALF SCALE


SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



UNDERGROUND
SERVICE ALERT
UTILITIES PROTECTION CENTER, INC.
811
48 HOURS BEFORE YOU DIG




5738 PACIFIC
CENTER BLVD.
SAN DIEGO, CA
92121
(858) 232-3996



BLACK & VEATCH

12950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000



Mitchell J
ARCHITECTURE

MITCHELL J. ARCHITECTURE, INC.
4883 RONSON COURT, SUITE N
SAN DIEGO, CA 92111
858.650.3130 (PH) / 858.650.3140 (FAX)

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SD0725

VALLEY CENTRE

3881 VALLEY CENTRE DR.

SAN DIEGO, CA 92130

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

Page 1 of 12

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: COMMERCIAL LAND TITLE COMPANY
4100 NEWPORT PLACE DRIVE, SUITE 120
NEWPORT BEACH, CA 92660
(949) 724-9706

COMMITMENT NO.: 08020255
TITLE OFFICER: CHRIS BAZZAR
DATED: AUGUST 22, 2013

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS, CONDITIONS, RESTRICTIONS, TERMS, AGREEMENTS AND MATTERS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS MUST BE REVIEWED TO DISCLOSE SPECIFICS.

1. WATER RIGHTS CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
2. AN EASEMENT FOR PUBLIC ROAD FORTY FEET IN WIDTH RECORDED JANUARY 9, 1993 IN BOOK 323, PAGE 100 OF DEEDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
3. THE FACT THAT OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM CARMEL VALLEY ROAD, RECORDED AUGUST 26, 1998 IN BOOK 804, PAGE 270; AUGUST 27, 1998 IN BOOK 810, PAGE 351 AND AUGUST 31, 1998 IN BOOK 817, PAGE 212 ALL OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
4. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED AUGUST 16, 1949 IN BOOK 2207, PAGE 331 OF OFFICIAL RECORDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
5. AN EASEMENT FOR ROAD AND PUBLIC UTILITIES RECORDED JANUARY 19, 1965 AS FILE NO. 10713 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
6. AN EASEMENT FOR INGRESS AND EGRESS FOR ROAD PURPOSES RECORDED AUGUST 26, 1998 AS FILE NO. 146524 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN A PUBLIC RIGHT OF WAY AND IS NOT PLOTTED HEREON.
7. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN NORTH CITY PLANNED DISTRICT DEVELOPMENT PERMIT NO. 82-0433 RECORDED APRIL 13, 1993 AS FILE NO. 83-17012 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
8. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN NORTH CITY PLANNED DISTRICT DEVELOPMENT PERMIT NO. 82-0434 RECORDED JUNE 2, 1993 AS FILE NO. 83-184903 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
9. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "LAGOON ENHANCEMENT AGREEMENT AND COVENANT BOLDWIN AND CALIFORNIA COASTAL CONSERVATORY", RECORDED JUNE 10, 1993 AS FILE NO. 83-199138 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
10. AN AGREEMENT RECORDED JULY 21, 1993 AS FILE NO. 83-250307 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
11. AN AGREEMENT RECORDED JULY 21, 1993 AS FILE NO. 83-250308 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
12. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN NORTH CITY PLANNED DISTRICT DEVELOPMENT PERMIT NO. 87-0228 RECORDED MARCH 2, 1988 AS FILE NO. 88-03809 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
13. PLANNING COMMISSION RESOLUTION NO. 0419-PC RECORDED MAY 10, 1969 AS FILE NO. 88-245907 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
14. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED OCTOBER 31, 1999 AS FILE NO. 00-07707 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
15. AN EASEMENT FOR DRAINAGE FACILITIES RECORDED NOVEMBER 22, 1999 AS FILE NO. 89-634938 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
16. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED APRIL 26, 1990 AS FILE NO. 89-027143 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
17. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED MAY 22, 1990 AS FILE NO. 89-027885 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
18. A RECOIL CONTAINED IN "GRANT OF EASEMENTS", RECORDED DECEMBER 13, 1990 AS FILE NO. 1990-064311 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
19. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "DECONTAMINATION AGREEMENT", RECORDED JULY 25, 1994 AS FILE NO. 1994-0458258 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

LESSOR'S CERTIFICATE
STANDARD WIRELESS FACILITY PROJECT
FOR POST CONSTRUCTION BMP'S

I/WE THE UNDERSIGNED, AS A LESSEE OF A PORTION OF THE PROPERTY DESCRIBED AS:
3081 VALLEY CENTRE DR., SAN DIEGO, CA 92130
(ADDRESS OR LEGAL DESCRIPTION)

UNDERSTAND THAT, IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE, LAND DEVELOPMENT MANUAL - STORM WATER STANDARDS, THIS PROJECT IS REQUIRED TO "IDENTIFY POLLUTANTS FROM THE PROJECT AREA" AND INCORPORATE "SITE DESIGN" AND "SOURCE CONTROL" BMP'S.

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE POLLUTANTS IDENTIFIED BY THE PROPOSED LAND USE ARE AS FOLLOWS:

SEDIMENTS
NUTRIENTS
TRASH AND DEBRIS
OXYGEN DEMANDING SUBSTANCE
OIL AND GREASE
BACTERIA AND VIRUSES
PESTICIDES

I/WE WILL INCORPORATE THE FOLLOWING INTO THE SITE DESIGN:

- MAINTAIN PRE-DEVELOPMENT RUNOFF CHARACTERISTICS;
- MINIMIZE IMPERVIOUS FOOT PRINT BY CONSTRUCTING WALKWAYS, PATIOS AND DRIVEWAYS WITH PERMEABLE SURFACES;
- CONSERVE NATURAL AREAS;
- USE NATURAL DRAINAGE SYSTEMS AS OPPOSED TO LINED SWALES OR UNDERGROUND DRAINAGE SYSTEMS;
- DRAIN ROOF TOPS, WALKWAYS, PATIOS AND DRIVEWAYS INTO ADJACENT LANDSCAPING TO DISCHARGING TO THE PUBLIC DRAINAGE SYSTEM;
- PRESERVE EXISTING NATIVE TREES AND SHRUBS;
- PROTECT ALL SLOPES FROM EROSION.

ADDITIONALLY, I/WE WILL:

- MINIMIZE THE USE OF PESTICIDES;
- USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPING DESIGN, INCORPORATING RAIN SHUTOFF DEVICES AND FLOW REDUCERS AS NEEDED.

I/WE WILL MAINTAIN THE ABOVE STANDARD PERMANENT BMP'S FOR THE DURATION OF THE LEASE.

LESSOR: KEVIN C. BECKER COMPANY NAME: AT&T MOBILITY
(PRINT NAME)
LESSOR: KE C BE DATE: _____
(SIGNATURE)

DATUM STATEMENT:

THE BASIS OF COORDINATES FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35 ADJUSTED, GRID BEARING BETWEEN FIRST ORDER STATION '539' AND '541' AS SHOWN ON RECORD OF SURVEY 14492.

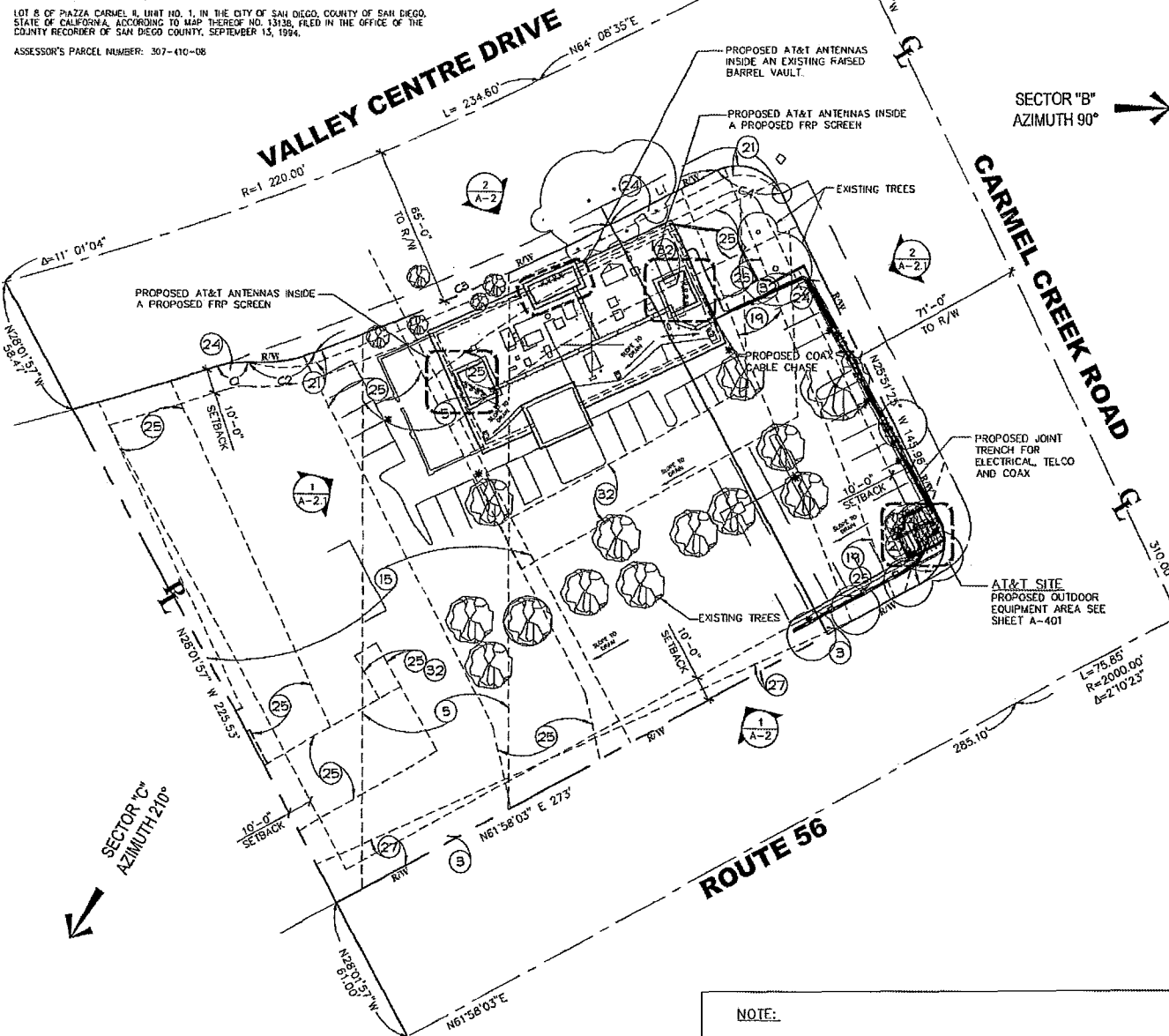
BENCHMARK FOR THIS SURVEY IS THE NGVD 29 ELEVATION AT STATION '539' AS SHOWN ON RECORD OF SURVEY 14492.
NGVD29 ELEVATION=161.59'

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 8 OF PIAZZA CARMEL II, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 15, 1994.

ASSESSOR'S PARCEL NUMBER: 307-410-08



GRAVING DATA TABLE	
DISTURBED AREA	613 S.F.
IMPORT QUANTITIES	NA
EXPORT QUANTITIES	.78 CYD

FLOOR AREA RATIO:

EXISTING LOT SIZE = 58,588 S.F.
EXISTING 1 STORY BUILDING = 7,446 S.F.
PROPOSED EQUIPMENT SHELTER = 264 S.F.
7,446 S.F. + 264 S.F. / 58,588 S.F. = .13 FAR

QUANTITIES

NOTE:

1. NO EXISTING PARKING SPACE WILL BE REMOVED BY THIS PROJECT
2. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14 ARTICLE 2, DIVISION 1 (GRAVING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

SITE PLAN & NOTES

SCALE: 1"=30'-0"



5738 PACIFIC
CENTER BLVD.
SAN DIEGO, CA
92121
(858) 232-3996



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000



MITCHELL J ARCHITECTURE, INC.
4883 RONSON COURT, SUITE N
SAN DIEGO, CA 92111
658.650.3130 (PH) / 658.650.3140 (FAX)

REV	DATE	DESCRIPTION
11	07-19-14	REV.11 Planning Comments
12	07-25-14	REV.12 Planning Comments
13	07-28-14	REV.13 Landscape
8	02-26-14	REV.8
9	04-18-14	REV.9 equipment/landscape
10	05-20-14	REV.10 planning comments

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SD0725
VALLEY CENTRE
3881 VALLEY CENTRE DR.
SAN DIEGO, CA 92130

SHEET TITLE
SITE PLAN & NOTES

SHEET NUMBER

A-1



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8	02-06-14	REV.8
9	04-18-14	REV.9 equipment/landscape
10	05-20-14	REV.10 planning comments

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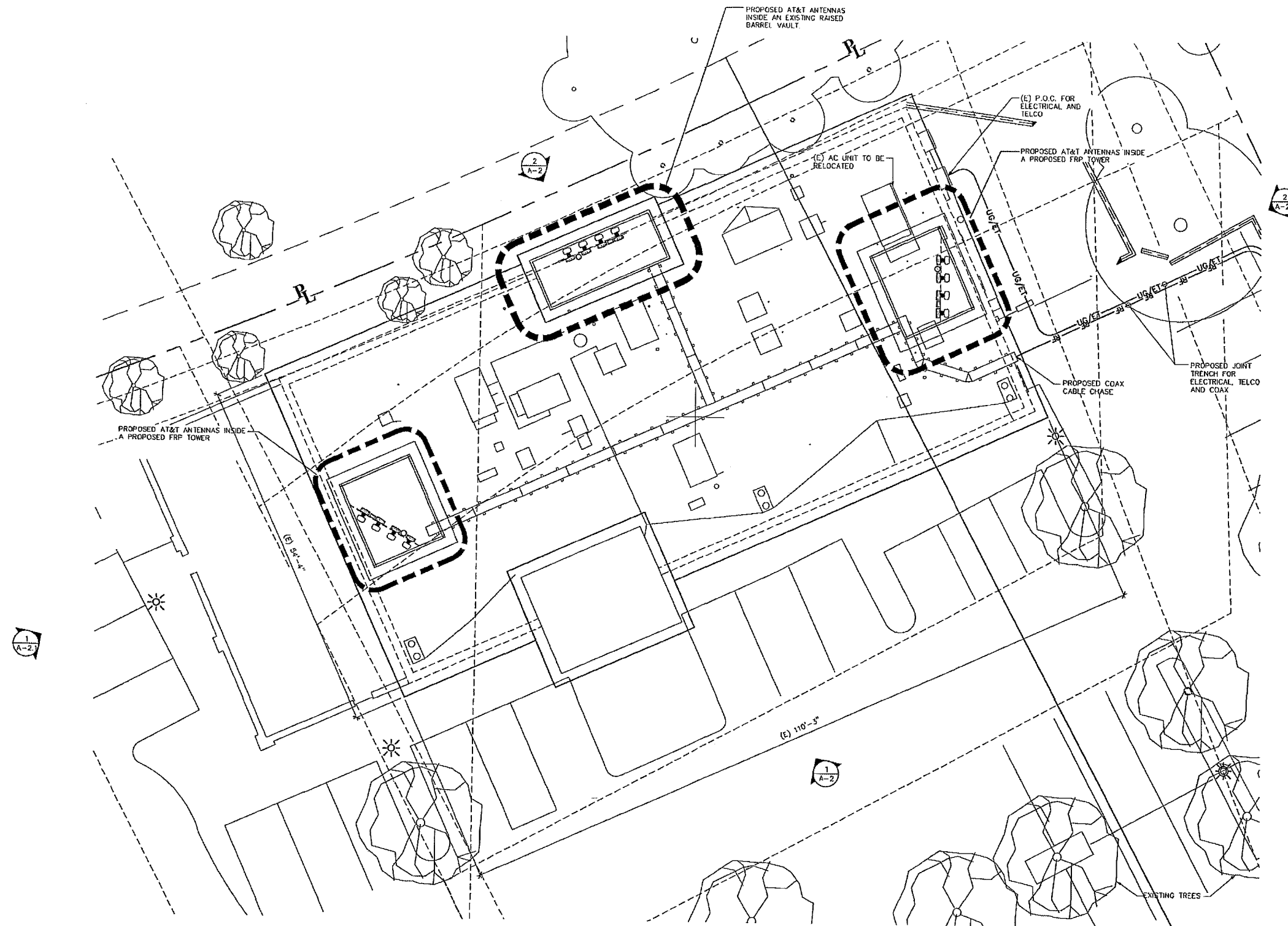
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SAN DIEGO, CA 92130

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER

A-1.1



ENLARGED SITE PLAN

SCALE: 1/8"=1'-0"



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4863 RONSON COURT, SUITE N
SAN DIEGO, CA 92111
658.650.3130 (PH) / 658.650.3140 (FAX)

REV	DATE	DESCRIPTION
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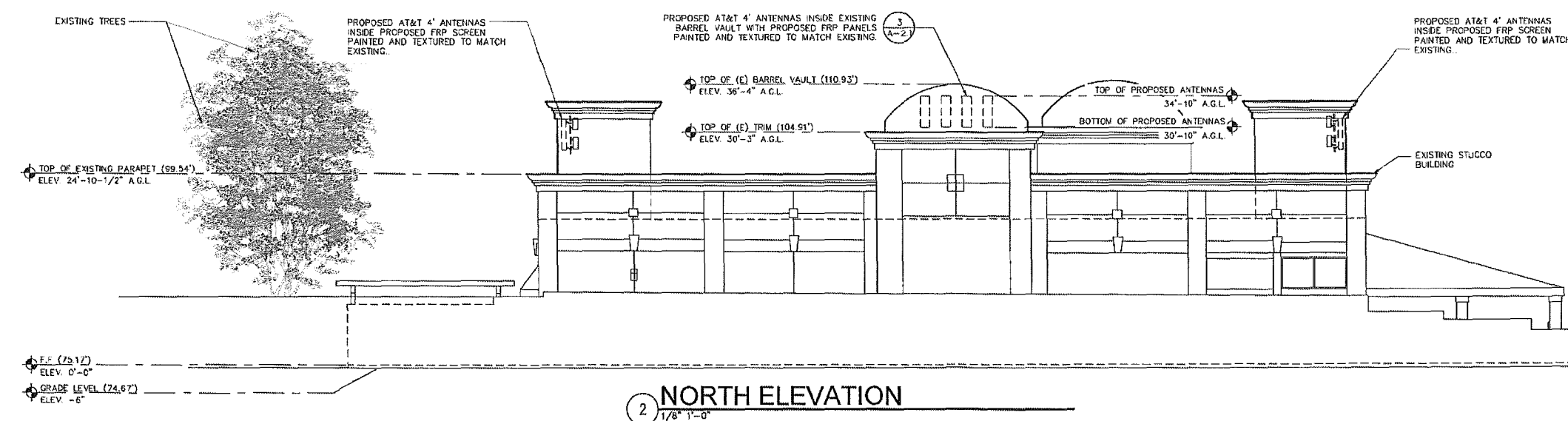
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VALLEY CENTRE
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SAN DIEGO, CA 92130

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A-2



EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



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4863 RONSON COURT, SUITE H
SAN DIEGO, CA 92111
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REV	DATE	DESCRIPTION
11	07-19-14	REV.11 Planning Comments
12	07-23-14	REV.12 Planning Comments
13	07-28-14	REV.13 Landscape
8	02-06-14	REV.8
9	04-18-14	REV.9 equipment/landscape
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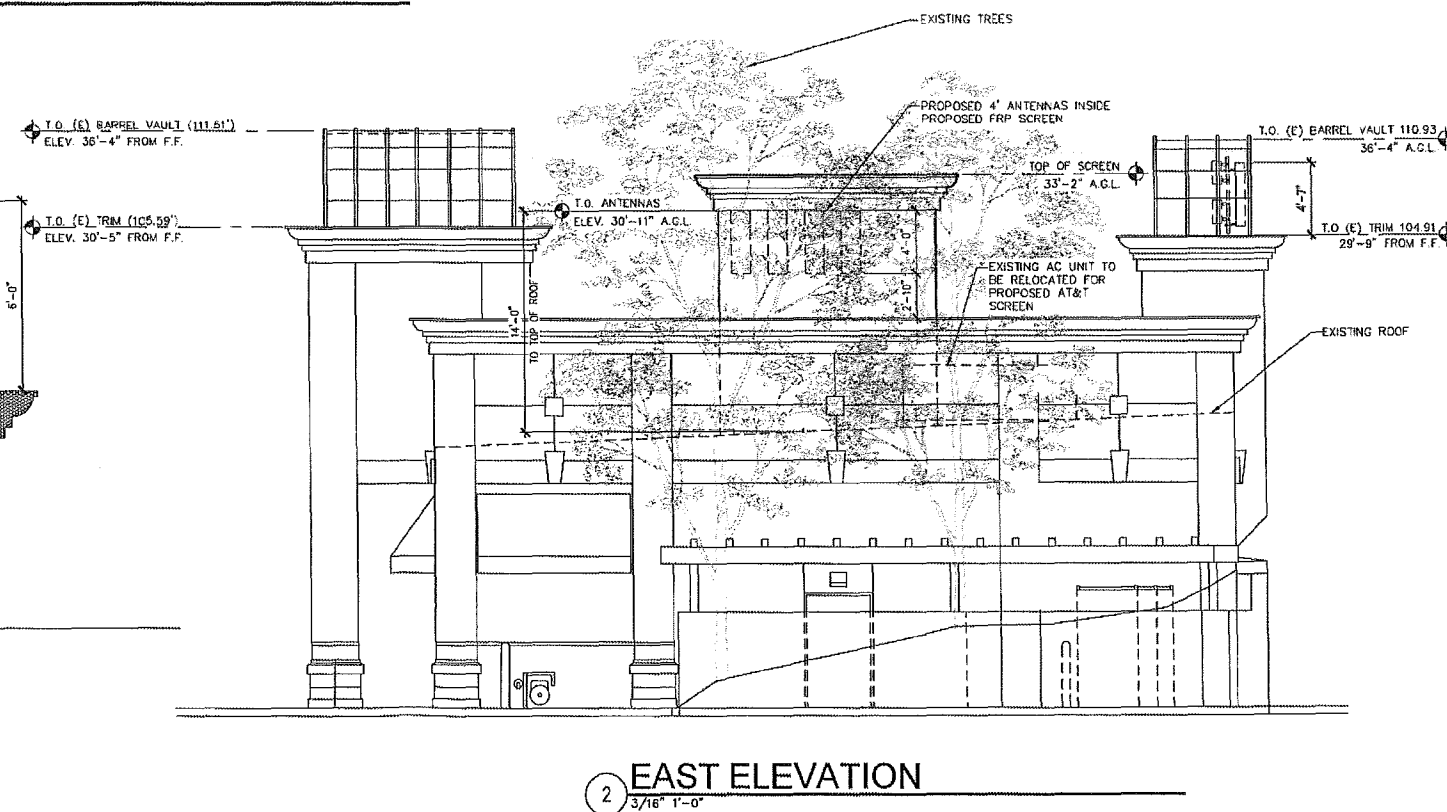
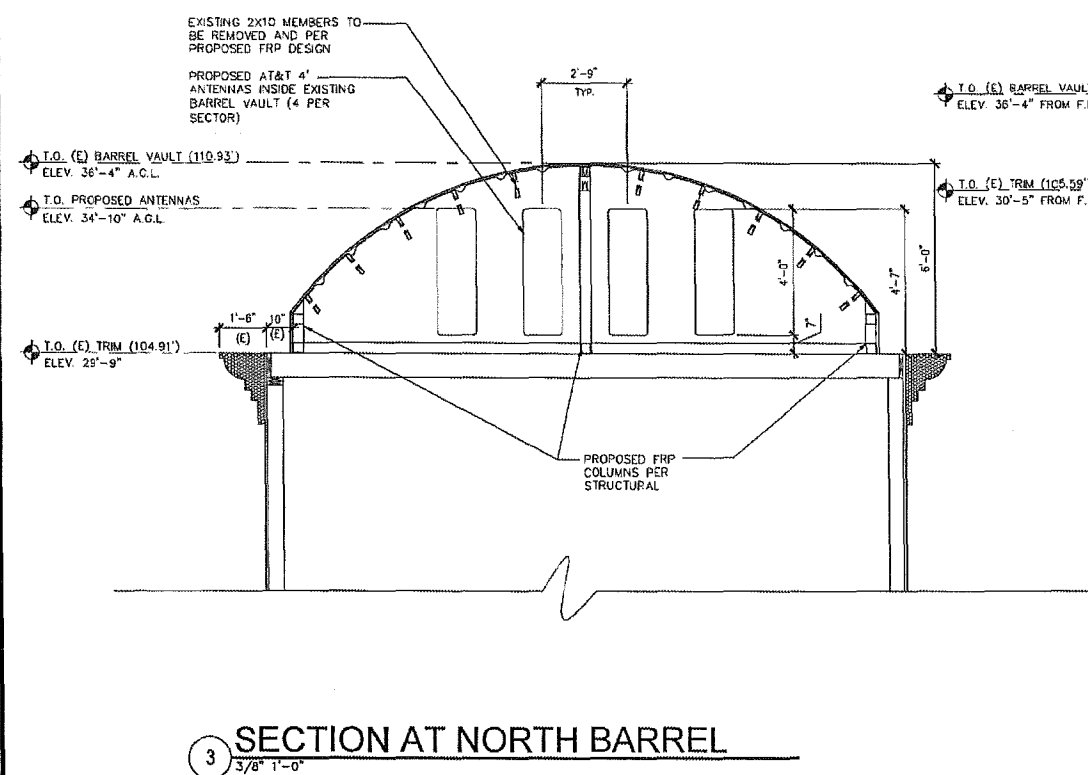
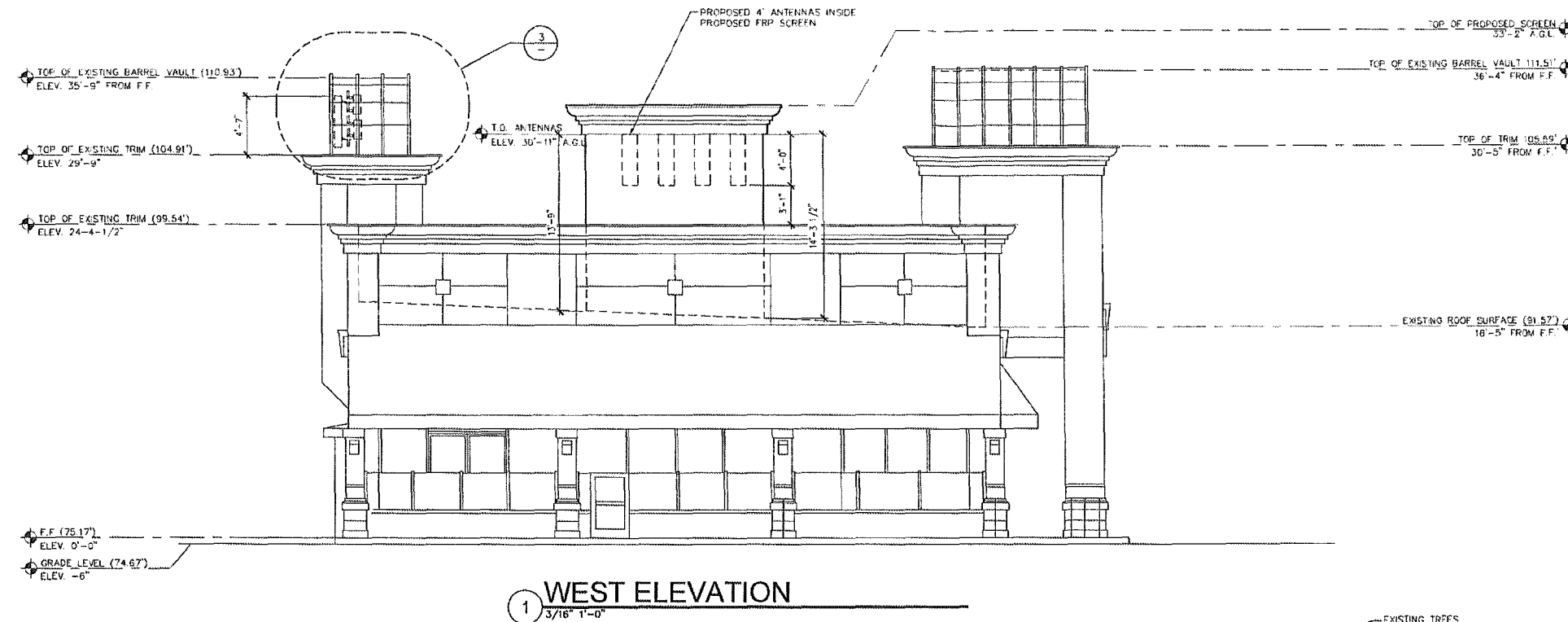
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SHEET TITLE
EXTERIOR ELEVATIONS

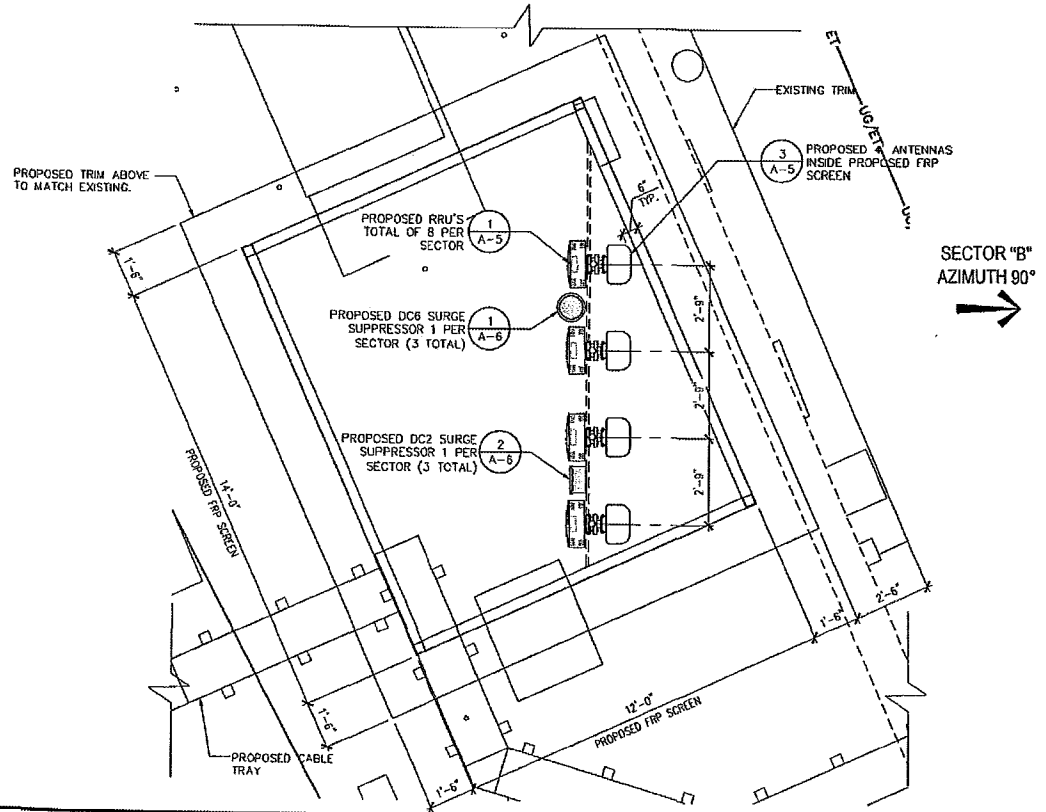
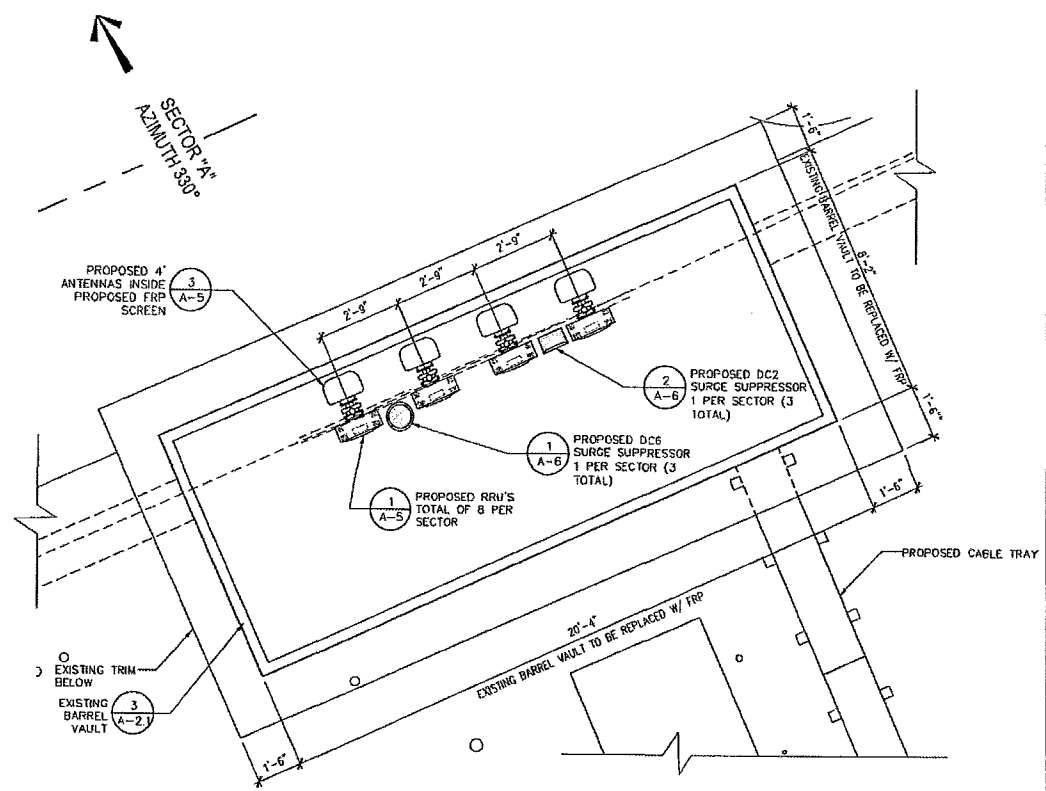
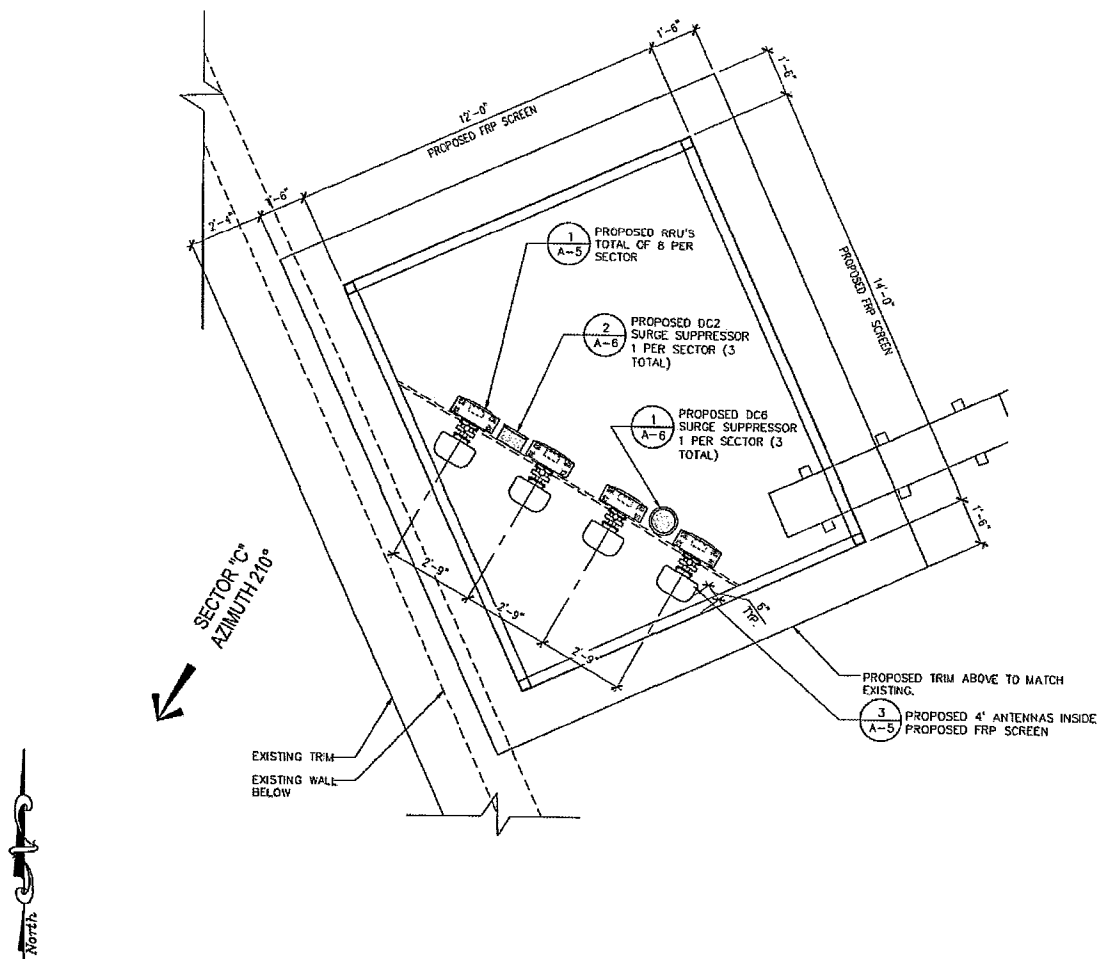
SHEET NUMBER
A-2.1



EXTERIOR ELEVATIONS

SCALE: AS SHOWN

PROPOSED ANTENNA AND CABLE SCHEDULE						
SECTOR		AZIMUTH	ANTENNA SIZE	ANTENNA TIP HEIGHT	RRU	CABLE LENGTH ±5'
A	1	330°	48.0" X 14.8" X 9.0"	34'-4.5"	RRUS-11	1-5/8" FIBER
	2	330°	48.0" X 14.8" X 9.0"		RRUS-11	
	3	330°	48.0" X 14.8" X 9.0"		RRUS-11	
	4	330°	48.0" X 14.8" X 9.0"		RRUS-11	
B	1	90°	48.0" X 14.8" X 9.0"	30'-11"	RRUS-11	1-5/8" FIBER
	2	90°	48.0" X 14.8" X 9.0"		RRUS-11	
	3	90°	48.0" X 14.8" X 9.0"		RRUS-11	
	4	90°	48.0" X 14.8" X 9.0"		RRUS-11	
C	1	210°	48.0" X 14.8" X 9.0"	30'-11"	RRUS-11	1-5/8" FIBER
	2	210°	48.0" X 14.8" X 9.0"		RRUS-11	
	3	210°	48.0" X 14.8" X 9.0"		RRUS-11	
	4	210°	48.0" X 14.8" X 9.0"		RRUS-11	



PROPOSED ANTENNA LAYOUTS

SCALE: 3/8"=1'-0"


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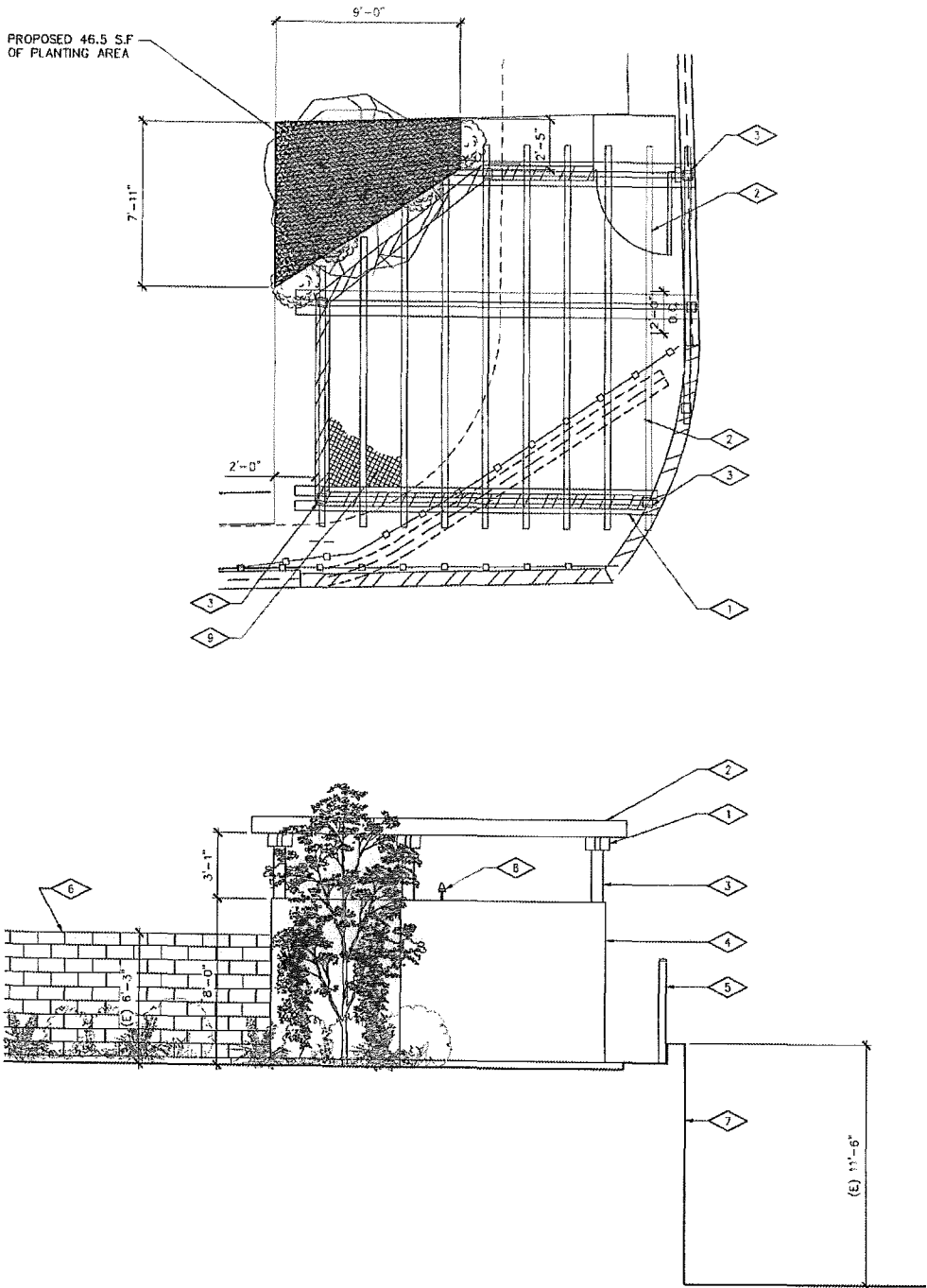
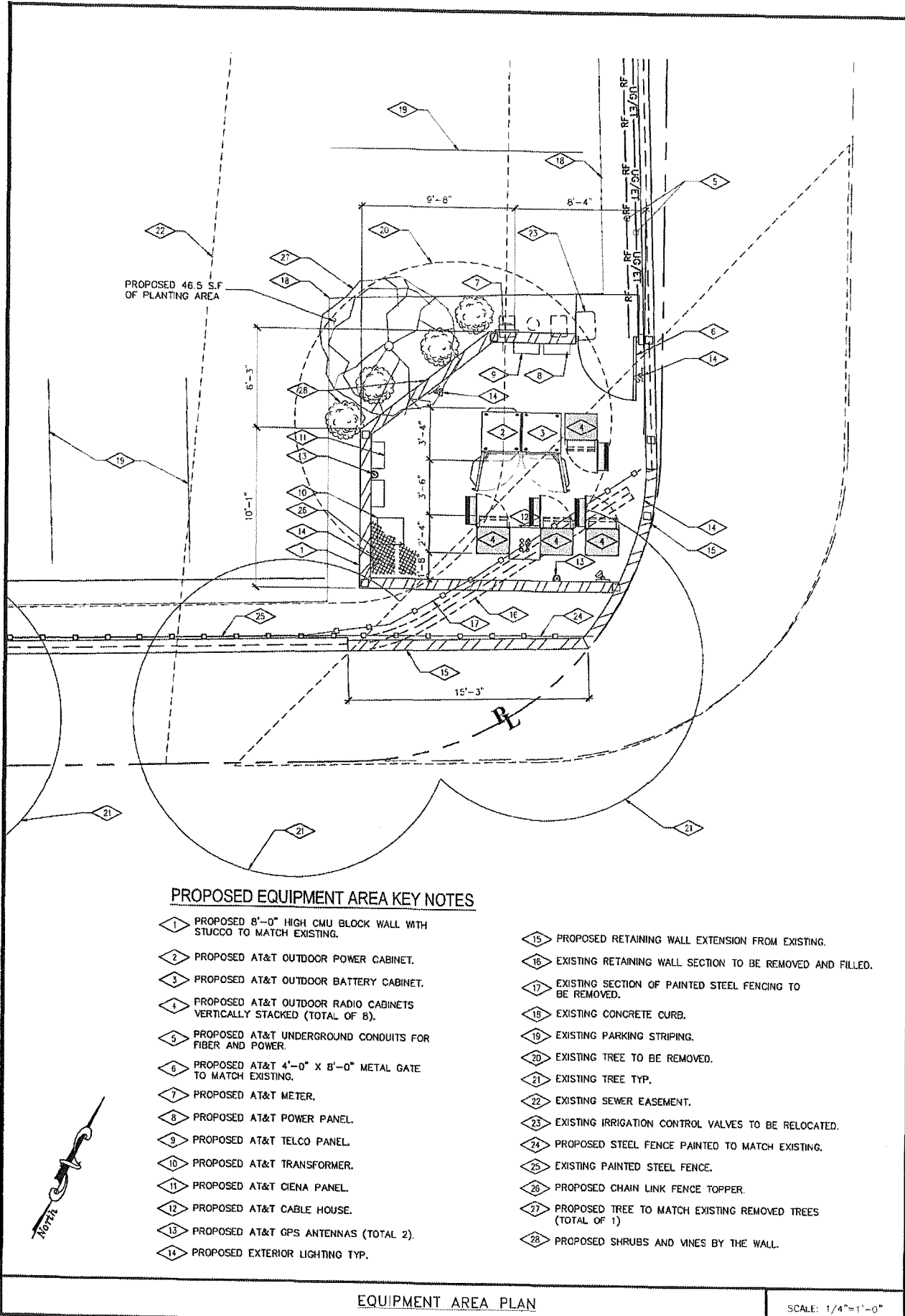
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SHEET TITLE
PROPOSED ANTENNA LAYOUTS

SHEET NUMBER
A-3



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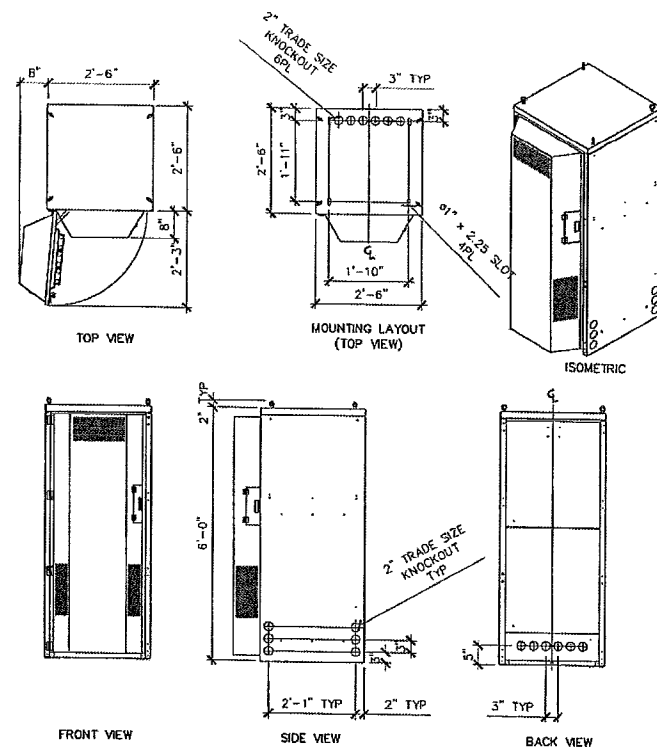
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SAN DIEGO, CA 92130

SHEET TITLE
EQUIPMENT AREA PLAN

SHEET NUMBER

A-4

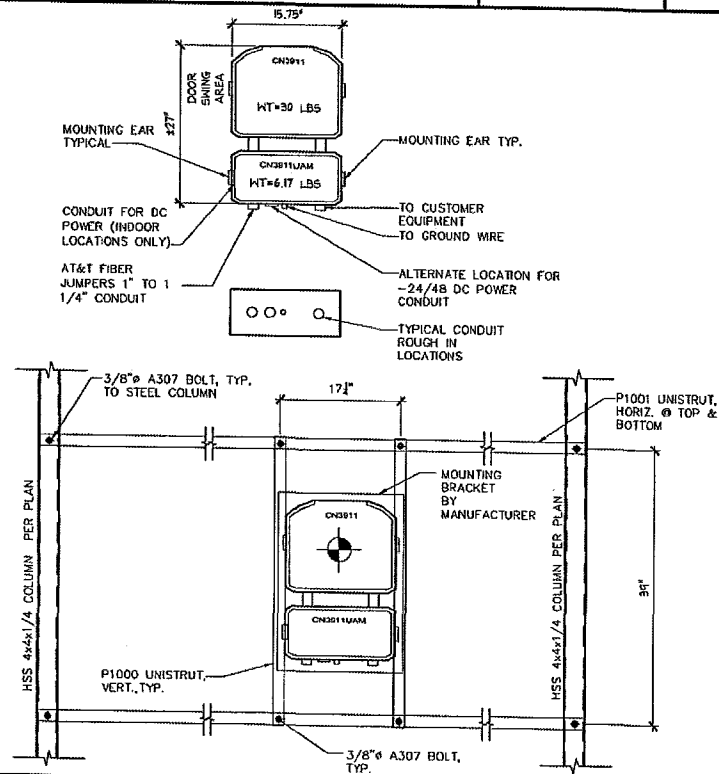
ALPHA TE45V3 DUAL VOLTAGE 48/24 VDC ENCLOSURE
DIMENSIONS, WxDxH: 762x762x1829mm (30"x30"x72")
WEIGHT: 670 lbs (NO BATTERIES), 1811 lbs (FULLY LOADED)



ALPHA POWER NODE CABINET

NO SCALE

5

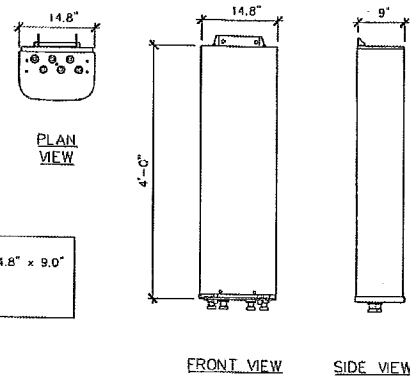


ETHERNET SPECIFICATIONS

NO SCALE

6

DIMENSIONS, HxWxD: 48" x 14.8" x 9.0"
WEIGHT: 34 LBS

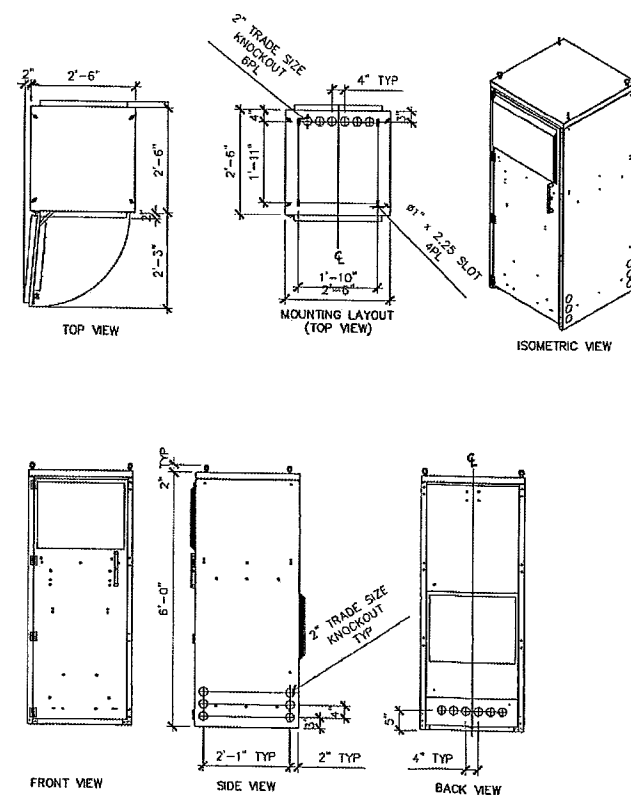


NEW ANTENNA SPECIFICATIONS

SCALE: 3/4" = 1'-0"

3

TE45V3 BATTERY ENCLOSURE
WEIGHT: 800 LBS (NO BATTERIES)
WEIGHT: 3500 LBS (FULLY LOADED-20 BATTERIES)
135 LBS PER BATTERY

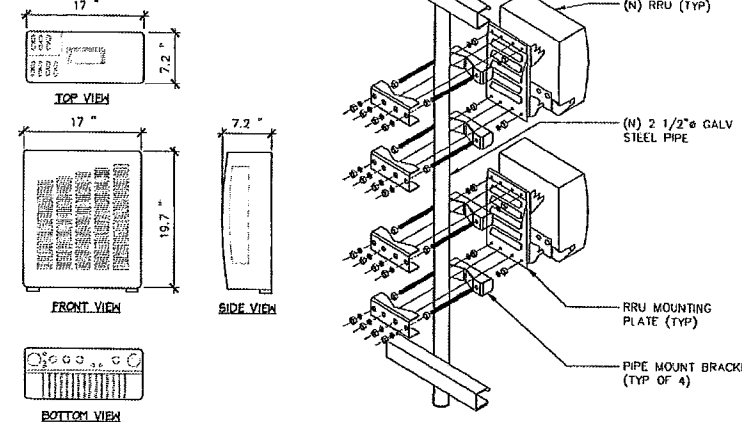


ALPHA BATTERY CABINET

NO SCALE

4

ERICSSON RRU-11
DIMENSIONS, WxDxH: 431x184x452mm (17"x7.2"x19.7")
POWER CONSUMPTION: 260 WATTS
TOTAL WEIGHT: 55 lbs
TEMPERATURE: -40° TO 55° C



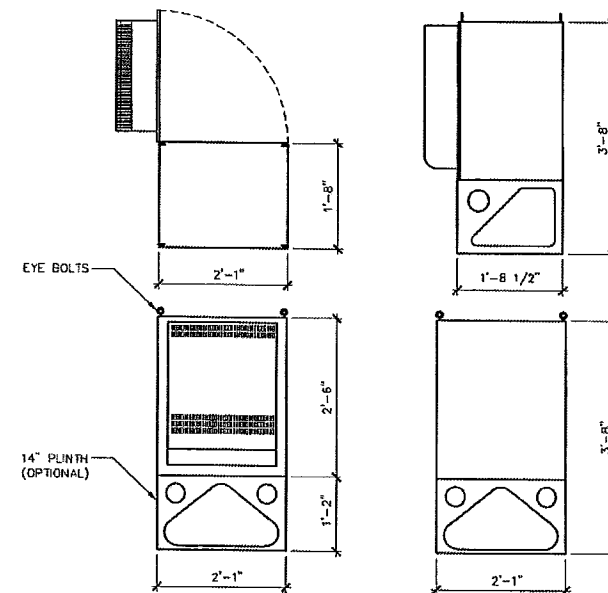
RRU SPECIFICATIONS

NO SCALE

1

PURCELL FLX16WS CABINET

DIMENSIONS, WxDxH: 25"x20"x44"
WEIGHT: 600 lbs CABINET TOTAL (MAX.)



PURCELL CABINET

NO SCALE

2


5738 PACIFIC
CENTER BLVD.
SAN DIEGO, CA
92121
(858) 232-3996


10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000


MITCHELL J. ARCHITECTURE, INC.
4883 RONSON COURT, SUITE N
SAN DIEGO, CA 92111
858.650.3130 (PH) / 858.650.3140 (FAX)

REV	DATE	DESCRIPTION
11	07-19-14	REV.11 Planning Comments
12	07-25-14	REV.12 Planning Comments
13	07-28-14	REV.13 Landscape
8	02-26-14	REV.8
9	04-18-14	REV.9 equipment/landscape
10	05-20-14	REV.10 planning comments

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CONSTRUCTION

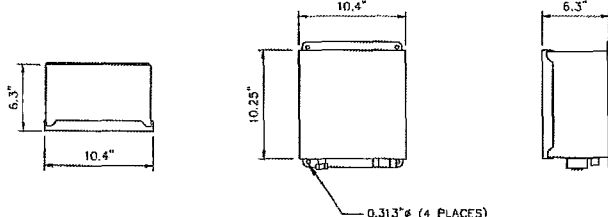
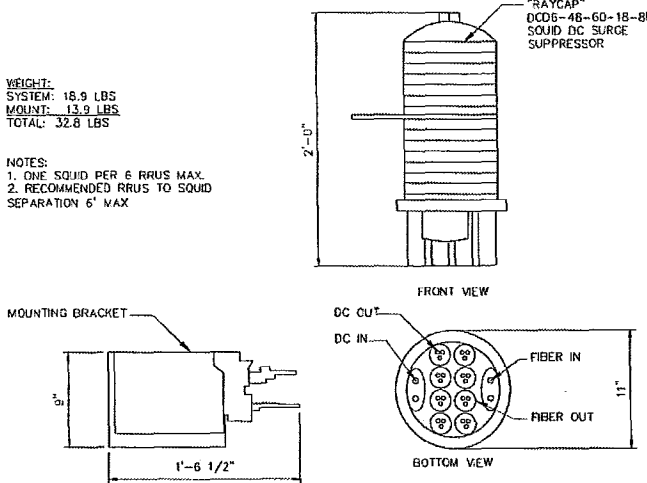
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3881 VALLEY CENTRE DR.
SAN DIEGO, CA 92130

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-5

			<p><u>RAYCAP DC2-48-60-0-9E</u></p> <p>DIMENSIONS, WxDxH: 263x160x260mm (10.4"x6.3"x10.25")</p> <p>NOMINAL OPERATING VOLTAGE: 48 VDC</p> <p>NOMINAL DISCHARGE CURRENT: 20 kA 8/20µs</p> <p>MAXIMUM DISCHARGE CURRENT: 60 kA 8/20µs</p> <p>MAXIMUM CONTINUOUS OPERATING VOLTAGE: 75 VAC, 100 VDC</p> <p>VOLTAGE PROTECTION RATING: 500 V</p> <p>TOTAL WEIGHT: 16 lbs</p> <div></div>			<p><u>WEIGHT:</u></p> <p>SYSTEM: 18.9 LBS</p> <p>MOUNT: 13.9 LBS</p> <p>TOTAL: 32.8 LBS</p> <p><u>NOTES:</u></p> <p>1. ONE SQUID PER 6 RRUS MAX.</p> <p>2. RECOMMENDED RRUS TO SQUID SEPARATION 6' MAX</p> <div></div>		
<u>NOT USED</u>	NO SCALE	3	<u>SURGE SUPPRESSOR DC2</u>	SCALE: 1-1/2" = 1'-0"	2	<u>SURGE SUPPRESSOR DC6</u>	SCALE: 1-1/2" = 1'-0"	1
<u>NOT USED</u>	NO SCALE	6	<u>NOT USED</u>	NO SCALE	5	<u>NOT USED</u>	NO SCALE	4
<u>NOT USED</u>	NO SCALE	9	<u>NOT USED</u>	NO SCALE	8	<u>NOT USED</u>	NO SCALE	7



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REV	DATE	DESCRIPTION
11	07-19-14	REV.11 Planning Comments
12	07-25-14	REV.12 Planning Comments
13	07-28-14	REV.13 Landscape
8	02-06-14	REV.8
9	04-18-14	REV.9 equipment/landscape
10	05-20-14	REV.10 planning comments

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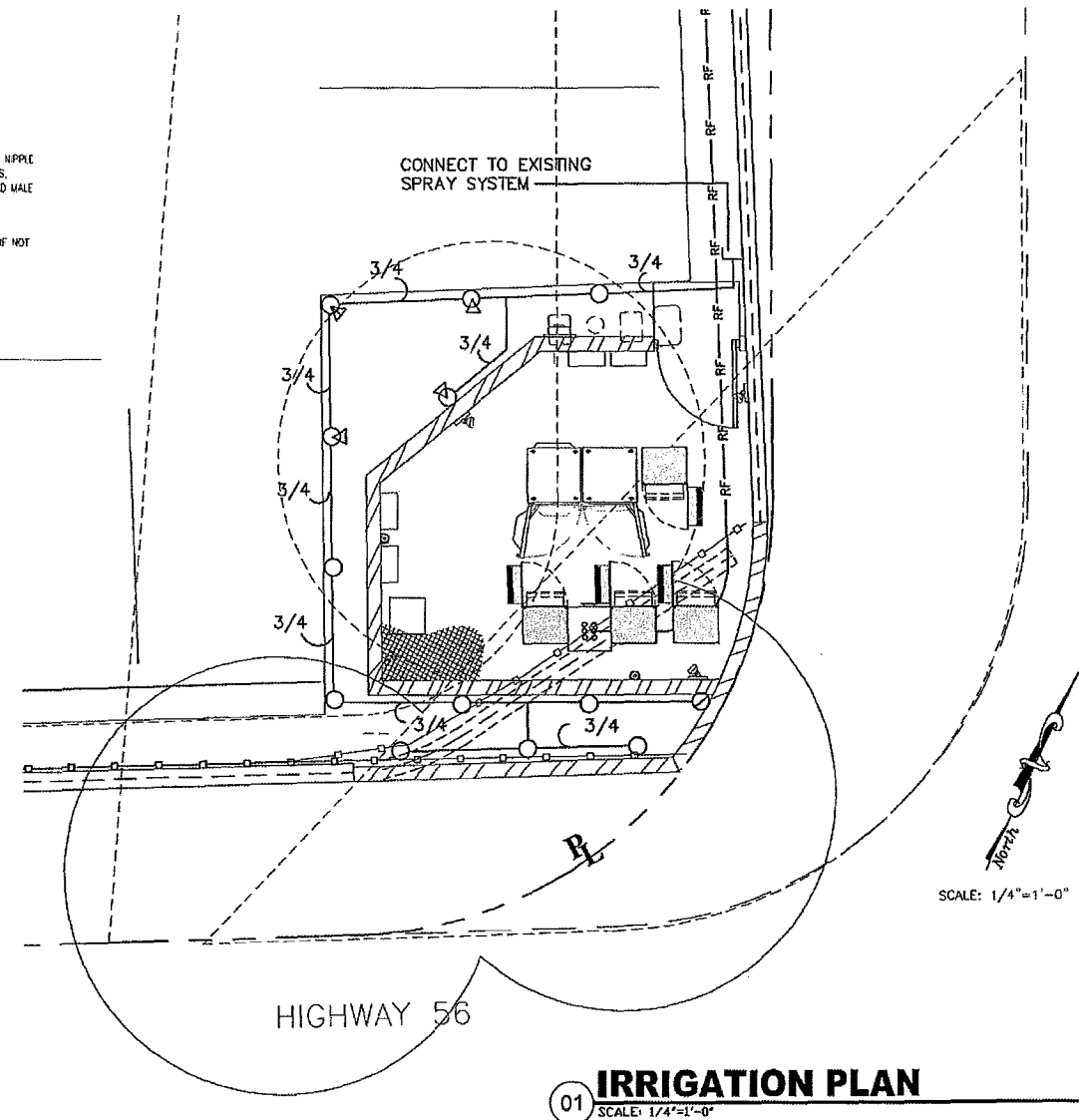
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SHEET TITLE
DETAILS

SHEET NUMBER
A-6

1. ALL IRRIGATION MATERIALS AND PROCEDURES SHALL CONFORM TO THE CITY OF SAN DIEGO SPECIFICATIONS AND REQUIREMENTS.
2. IRRIGATION PLAN IS DIAGRAMATIC ONLY.
3. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF ALL EXISTING SITE CONDITIONS.
4. IRRIGATION CONTRACTOR SHALL ADJUST ALL HEADS TO PROVIDE AN EVEN COVERAGE AND TO KEEP SPRAY OFF OF THE WALKWAYS, WALLS, STREETS AND DRIVES.
5. AS A MINIMUM, ALL IRRIGATION HEADS LOCATED ADJACENT TO WALKWAYS, STREETS AND DRIVES SHALL BE INSTALLED ON POP-UP BODIES.
6. WHEN THE IRRIGATION SYSTEMS ARE COMPLETED, THE CONTRACTOR, IN THE PRESENCE OF THE OWNER/DEVELOPER'S AUTHORIZED REPRESENTATIVE OR THE LANDSCAPE ARCHITECT, SHALL PERFORM A TEST OF COVERAGE OF WATER AFFORDED THE PLANTING AREAS TO ENSURE THAT IT IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE AT HIS OWN COST.
7. PRIOR TO BURYING IRRIGATION LINES:

-
- Diagram illustrating the installation of a Pop-Up Spray/Bubbler Head (6" & 12") into a concrete structure.
- Plan View:**
- 2" MIN. FROM CONCRETE HEADER, SIDEWALK OR CURB
 - 12" MIN. FROM STRUCTURE
 - SWING JOINT ASSEMBLY PLAN VIEW
 - POP-UP SPRAY/BUBBLER HEAD
 - INSTALL FLUSH W/ GRADE FINISH GRADE
 - COMPACTED SUB-GRADE
 - SWING JOINT ASSEMBLY (1 SCH. 40 PIPE, 8" LENGTH, 3 SCH. 40-90 DEGREES, STREET ELLS W/ ACME THREAD AND MALE ADAPTERS W/ ACME THREAD)
 - ANTI-DRAIN VALVE HUNTER "HCV" IF NOT FACTORY INSTALLED IN SPRINKLER
 - PVC LATERAL LINE
 - PVC SCH. 40 TEF OR ELL
- Side View:**
- POP-UP SPRAY/BUBBLER HEAD (6" & 12")



SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	PRESSURE	RADIUS	GPM
○	POP-UP SPRAY	RAINBIRD	1806-15SST	30 PSI	4'X30'	1.2(H)
⊙	POP-UP SPRAY	RAINBIRD	1806-15EST	30 PSI	4'X15'	.6(Q)
⊗	POP-UP SPRAY	RAINBIRD	1806-8H	30 PSI	8'	.7(H)
⊗	POP-UP SPRAY	RAINBIRD	1806-8Q	30 PSI	8'	.4(Q)
	CLASS 200 PVC LATERAL	PVC CLASS 200	BURY 12" DEEP MINIMUM			
	NOTE: ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE LAND DEVELOPMENT CODE LANDSCAPE REGULATIONS, AND THE LAND DEVELOPMENT MANUAL--LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.					



Darsono Design Associates, Inc.
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10	05-20-14	REV:10 planning Comments

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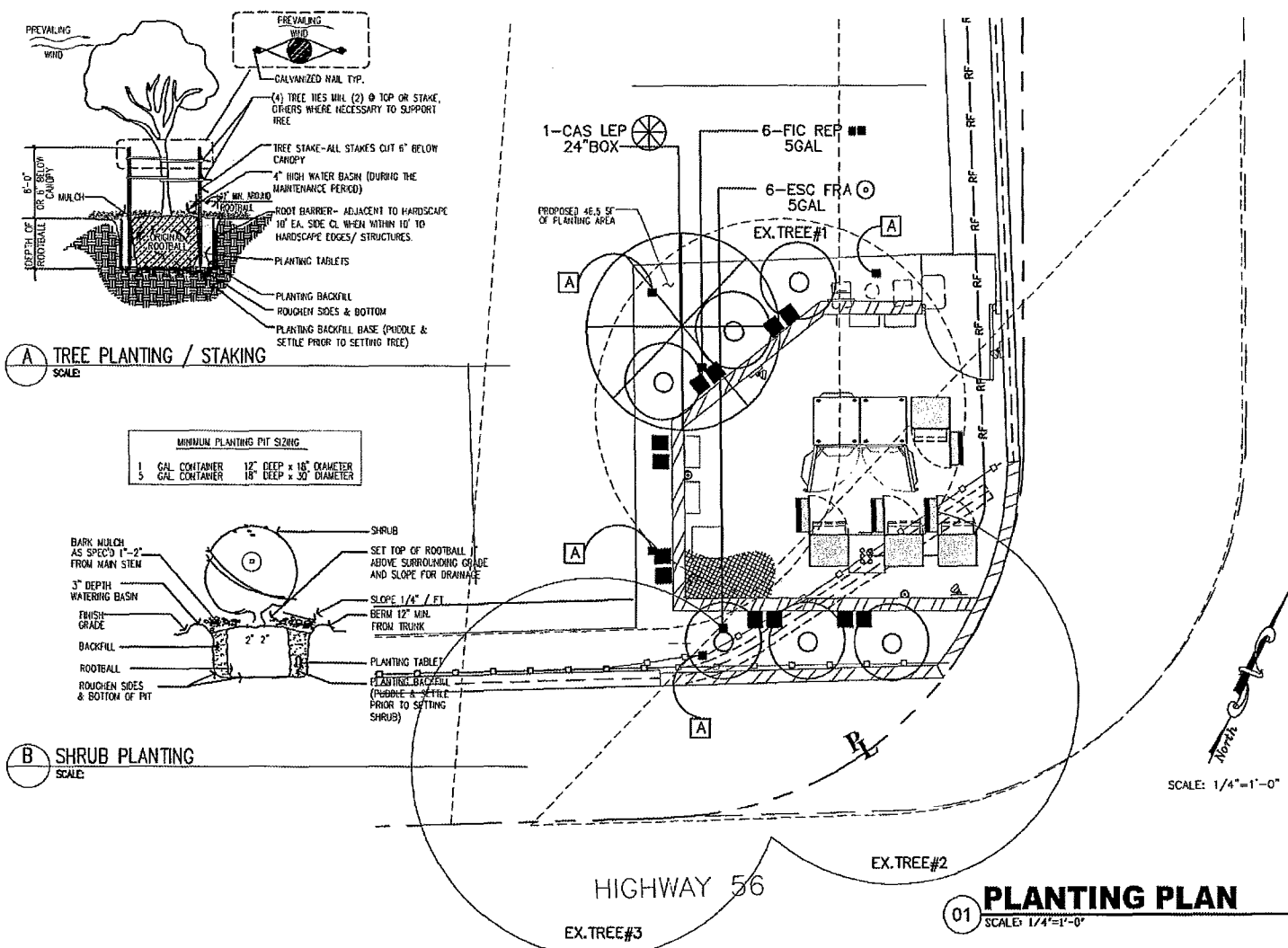
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SAN DIEGO, CA 92130

SHEET TITLE
LANDSCAPE IRRIGATION PLAN

SHEET NUMBER
L-1.0

PLANTING SPECIFICATIONS:

1. ALL PLANTING MATERIALS AND PROCEDURES SHALL CONFORM TO THE CITY OF SAN DIEGO SPECIFICATIONS AND REQUIREMENTS.
2. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL.
3. LANDSCAPE CONTRACTOR SHALL RAKE AND FINE GRADE ALL AREAS TO BE PLANTED PRIOR TO THE COMMENCEMENT OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE FINISH GRADING OF THE SITE. SITE SHALL BE RECEIVED AT PLUS OR MINUS ONE (1) INCH.
4. ALL NEW PLANTING AREAS AND SLOPES ARE TO BE WATERED FOR FIFTEEN (15) DAYS PRIOR TO HERBICIDE APPLICATION. "ROUND-UP" HERBICIDE TO BE SPRAYED ON WEEDS PER MANUFACTURER'S DIRECTIONS. REPEAT APPLICATIONS MAY BE NECESSARY AFTER REQUIRED MINIMUM OF TWO (2), DEPENDING UPON WEED GROWTH. PLANTING TO COMENCE TWELVE (12) DAYS AFTER LAST APPLICATION.
5. ALL PLANTING AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1000 SQ. FT. RAKED INTO THE TOP TWO (2) INCHES OF SOIL.
- A) SIX (6) LBS. OF 16-7-12+IRON FERTILIZER
B) THREE (3) POUNDS OF AGRICULTURAL GYPSUM
6. PRIOR TO THE INCORPORATION OF THE AMENDMENTS, ALL PLANTING AREAS ARE TO BE THOROUGHLY WATERED IN A MANNER THAT WILL PASS A MINIMUM OF TWELVE (12) INCHES OF WATER THROUGH THE SURFACE SOIL ZONE. THIS PROCEDURE IS CALLED LEACHING AND ONLY WHEN COMPLETED AND SOLUBLE SALTS ARE ADEQUATELY LOW SHALL THE ABOVE AMENDMENTS BE INCORPORATED.
7. FOR EACH CUBIC YARD OF BACKFILL CONSISTING OF 40 NITROGEN STABILIZED WOOD SHAVINGS, THE FOLLOWING AMENDMENTS SHALL BE INCORPORATED:
- A) 1 LB. AGRIFORM SLOW RELEASE FERTILIZER 12-12-12
B) 2 LBS. IRON SULFATE (DO NOT PLACE ON CONCRETE SURFACES)
C) 1 LB. SOIL SULPHUR
- NOTE: THE ABOVE SOIL AMENDMENTS IN ITEMS SIX (6) AND EIGHT (8) ARE SPECIFIED FOR BIDDING PURPOSES ONLY. A MINIMUM OF THREE (3) SOIL SAMPLES SHALL BE TAKEN FROM VARIOUS POINTS IN THE SLOPE PLANTING AREAS AND ANALYZED BY SOIL TESTING LABORATORY.
- RECOMMENDATIONS FOR TREE AND SHRUB BACKFILL, AS WELL AS BROADCAST AMENDMENT RECOMMENDATIONS FOR ALL SLOPE AREAS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- D) PLANTING TABLETS 20-10-5
- 2-21 GRAM TABLETS PER 1 GALLON CONTAINER
3-21 GRAM TABLETS PER 5 GALLON CONTAINER
4-21 GRAM TABLETS PER 15 GALLON CONTAINER
1-21 GRAM TABLET PER 4' OF BOX SIZE
8. ALL TREES SHALL BE PLANTED OUTSIDE THE PUBLIC RIGHT-OF-WAY UNDER THE FOLLOWING CONDITIONS:
SHOULD IT BE NECESSARY TO PLANT WITHIN 10'-0" OF HARDSCAPE, WALLS AND/OR STRUCTURES, A ROOT CONTROL BARRIER SHALL BE UTILIZED. BARRIER SHALL EXTEND ALONG THE EDGE OF THE HARDSCAPE, WALL AND/OR STRUCTURE BEING PROTECTED TO THE EXTENT OF THE MATURE DRIP LINE OF THE TREE (MINIMUM 10'-0").
9. PLANT PITS SHALL BE SQUARE AND TWO (2) TIMES GREATER IN DIAMETER THAN THE PLANT CONTAINER AND AT LEAST TWELVE (12) INCHES BELOW THE BOTTOM OF THE CONTAINER.
10. ALL WATERING BASINS SHALL RECEIVE A MINIMUM OF TWO (2) INCHES OF SHREDDED BARK MULCH. A ONE (1) CUBIC YARD SAMPLE OF MULCH TO BE USED SHALL BE DELIVERED TO THE SITE FOR INSPECTION BY THE OWNER/LANDSCAPE ARCHITECT.
11. ALL STANDARD TREES SHALL BE DOUBLED STAKED AS PER DETAIL.
12. PLANT COUNTS ARE FOR THE CONVENIENCE OF LANDSCAPE CONTRACTORS ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY PLANT MATERIAL TO FULFILL THE DESIGN INTENT OF THESE DRAWINGS.
13. TWENTY FOUR (24) HOURS PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT OWNER/LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL AND ITS INTENDED LOCATION ON SITE. PHOTOGRAPHS ARE REQUIRED FOR ALL 24" BOX OR LARGER TREES.
14. THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION REMOVING ALL USED MATERIALS, TRASH, AND TOOLS ON A DAILY BASIS.
15. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTING AREAS FOR A PERIOD OF THIRTY (30) DAYS, GUARANTEE ALL SHRUBS FOR NINETY (90) DAYS AND ALL TREES FOR ONE (1) YEAR. GUARANTEE PERIOD FOR ALL TREES AND SHRUBS SHALL COMMENCE UPON WRITTEN APPROVAL OF THE OWNER AT THE END OF THE MAINTENANCE PERIOD OR EXTENSION THEREOF.
- NOTES:
1. TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE), ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF A SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
2. "ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS."
3. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142.041 (A)).
4. IRRIGATION: AN AUTOMATIC ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. IRRIGATION SYSTEM WILL BE SPRAY SYSTEM.
5. "MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER, THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."



SPECIAL NOTES:

1. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE THE FOLLOWING MEASURES WILL BE PROVIDED:
- A. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
- B. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND, IS PROHIBITED WITHIN THE DRIP LINE.
- C. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
- D. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

2. "A MINIMUM ROOT ZONE OF 40 SQ. FT. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5)."
3. "MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER ADMC 142.0411."
4. "IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTORY OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGED."

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/HEIGHTS X SPREAD	REMARKS	G.SYMBOL	QUANTITIES
TREES:						
CAS LEP	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	24"BOX/10'X5'X2"CA	STANDARD TREE FORM		1
SHRUBS:						
ESC FRA	ESCALLONIA FRATESCENS	ESCALLONIA	5GAL/12"X12"	-----		6
VINES:						
FIC REP	FICUS REPENS	CREeping FIG	5GAL/12"X12"	-----		6
GROUNDCOVERS:						
A	2" DEEP WAL ON BARK MULCH SHALL BE INSTALLED IN ALL TREES AND SHRUBS, 5'-0" RING (TYPICAL).					

EXISTING LANDSCAPE LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/HEIGHTS X SPREADXCA (CALIPER)	REMARKS
EX.TREE#1	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	25'TALLX25'WIDEX6"CA	REMOVE CONSTRUCTION
EX.TREE#2	EUCALYPTUS SPECIES	EUCALYPTUS	35'TALLX15'WIDEX8"CA	EXISTING TO REMAIN
EX.TREE#3	EUCALYPTUS SPECIES	EUCALYPTUS	25'TALLX10'WIDEX6"CA	EXISTING TO REMAIN

MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
SEWER LINES - 10 FEET



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10	05-20-14	REV.10 planning Comments

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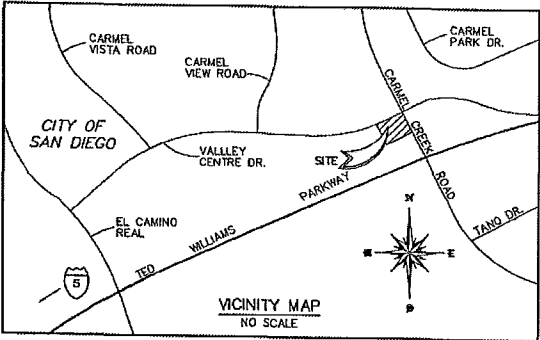
SHEET TITLE
LANDSCAPE PLANTING PLAN

SHEET NUMBER

L-2.0

CELL SITE SD0725

3881 VALLEY CENTRE DRIVE
SAN DIEGO, CALIFORNIA



THIS ALTA/CASM LAND TITLE SURVEY IS FOR TITLE INSURANCE PURPOSES ONLY, NOT TO BE USED FOR CONSTRUCTION, DESIGN OR ENGINEERING FOR FUTURE DEVELOPMENT OF THE SUBJECT PROPERTY. THIS ALTA/CASM LAND TITLE SURVEY IS ALSO NOT TO BE USED FOR ASSESSING PROPERTY VALUE-PER TERMS AND CONDITIONS OF JRN CIVIL ENGINEERS CONTRACT WITH CLIENT (ACKNOWLEDGMENTS/REPRESENTATIONS SECTION).

LINE TABLE		
LINE	BEARING	LENGTH
L1	N64°08'35"E	49.67'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	21°43'45"	34.00'	12.89'
C2	23°32'42"	70.00'	28.77'
C3	5°52'22"	1285.00'	131.71'
C4	90°00'00"	20.00'	31.42'
C5	87°49'28"	20.00'	30.66'

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 6 OF PLAZZA CARMEL II UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 15, 1994.

ASSESSOR'S PARCEL NUMBER: 307-410-08

ASSESSOR'S PARCEL NO.

307-410-08-00

DATE OF SURVEY

JANUARY 4, 2013

LEGEND:

- ACU - AIR CONDITIONING UNIT
- APN - ASSESSOR'S PARCEL NUMBER
- CON - CONDENSER
- CR - COOLER
- EC - ELECTRIC CABINET
- EM - ELECTRIC METER
- EP - ELECTRIC PEDESTAL
- ET - ELECTRIC TRANSFORMER
- FD - FOUND
- FS - FINISH SURFACE
- GM - GAS METER
- GP - GAS PIPE
- GS - GAS STUB
- LP - LIGHT POST
- NG - NATURAL GROUND
- NO - NUMBER
- OH - OVERHANG
- RD - ROOF DRAIN
- RH - ROOF HATCH
- RL - ROOF LADDER
- RS - ROOF SURFACE
- TA - TOP OF ARCH
- TC - TOP OF CURB
- TP - TOP OF PARAPET
- TPL - TELEPHONE PANEL
- TT - TOP OF TREE
- US - UTILITY STUB
- UV - UTILITY VENT

DATUM STATEMENT:

THE BASIS OF COORDINATES FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 10, EPOCH 1991.35 ADJUSTED, GRID BEARING BETWEEN FIRST ORDER STATION '539' AND '541' AS SHOWN ON RECORD OF SURVEY 14492.

BENCHMARK FOR THIS SURVEY IS THE NGVD 29 ELEVATION AT STATION '539' AS SHOWN ON RECORD OF SURVEY 14492.

NGVD29 ELEVATION=161.59'

COORDINATES:

LOCATION 'A':
LATITUDE: 32°56'15.713" N
LONGITUDE: 117°13'46.603" W
LOCATION 'B':
LATITUDE: 32°56'16.120" N
LONGITUDE: 117°13'47.572" W
LOCATION 'C':
LATITUDE: 32°56'15.148" N
LONGITUDE: 117°13'46.418" W
DATUM: NAD83

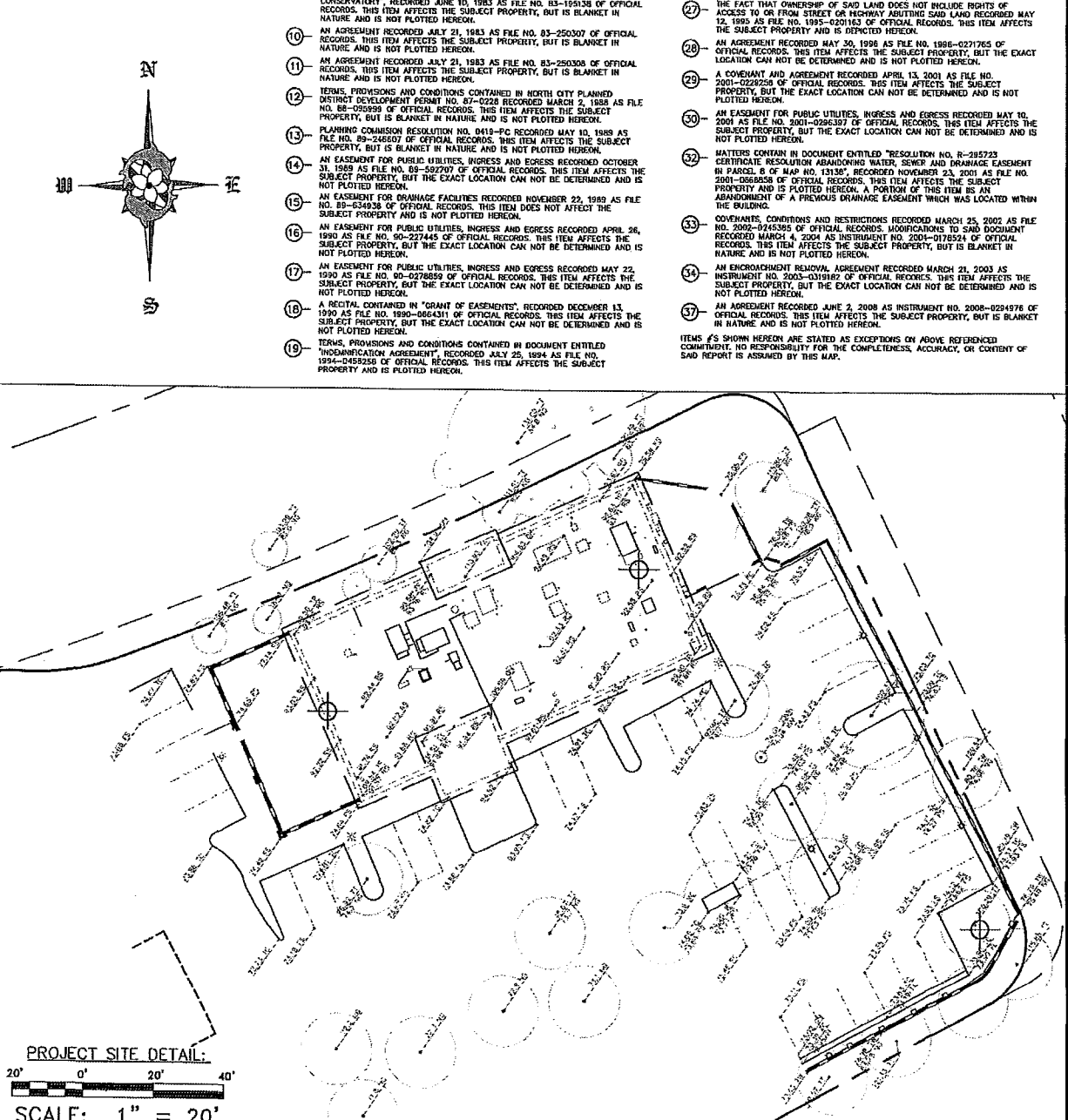
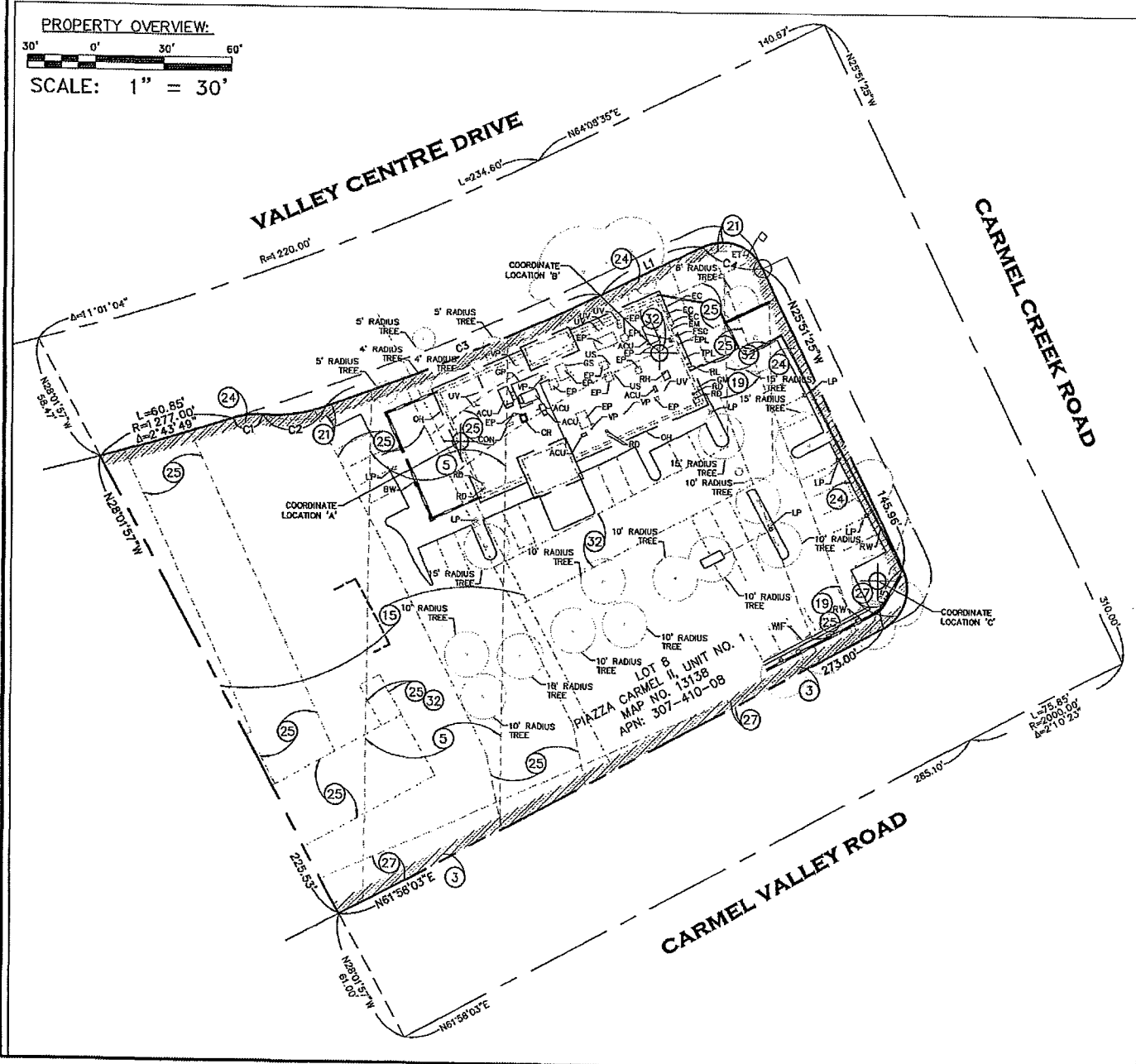
ITEMS CORRESPONDING TO SCHEDULE "B":

BY: COMMONWEALTH LAND TITLE COMPANY
4100 NEWPORT PLACE DRIVE, SUITE 120
NEWPORT BEACH, CA 92660
(949) 724-0706
COMMITMENT NO.: 08020256
TITLE OFFICER: CHRIS MAZAR
DATE: AUGUST 21, 2013

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS, CONDITIONS, RESTRICTIONS, TERMS AGREEMENTS AND MATTERS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS MUST BE REVIEWED TO DISCOVER SPECIFICS.

1. PUBLIC RECORDS: THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
2. AN EASEMENT FOR PUBLIC ROAD FORTY FEET IN WIDTH RECORDED JANUARY 8, 1903 IN BOOK 323, PAGE 100 OF DEEDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
3. THE FACT THAT OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM CARMEL VALLEY ROAD, RECORDED AUGUST 26, 1938 IN BOOK 804, PAGE 270; AUGUST 27, 1938 IN BOOK 810, PAGE 351 AND AUGUST 31, 1938 IN BOOK 817, PAGE 312 ALL OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
4. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED AUGUST 15, 1946 IN BOOK 1207, PAGE 331 OF OFFICIAL RECORDS. THIS ITEM APPEARS TO AFFECT THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
5. AN EASEMENT FOR ROAD AND PUBLIC UTILITIES RECORDED JANUARY 19, 1965 AS FILE NO. 10173 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
6. AN EASEMENT FOR INGRESS AND EGRESS FOR ROAD PURPOSES RECORDED AUGUST 26, 1938 AS FILE NO. 144224 OF OFFICIAL RECORDS. THIS ITEM LIES WITHIN A PUBLIC RIGHT OF WAY AND IS NOT PLOTTED HEREON.
7. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN NORTH CITY PLANNED DISTRICT DEVELOPMENT PERMIT NO. 82-0433 RECORDED APRIL 13, 1985 AS FILE NO. 83-17412 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
8. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "AGREEMENT BETWEEN LANDOWNERS INCLUDING EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND FOR CARMEL VALLEY COMMERCIAL", RECORDED SEPTEMBER 23, 1994 AS FILE NO. 1094-057402 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
9. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "LAGOON ENHANCEMENT AGREEMENT AND COVENANT BOLDWIN AND CALIFORNIA COASTAL CONSERVATORY", RECORDED JUNE 10, 1983 AS FILE NO. 83-159328 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
10. AN AGREEMENT RECORDED JULY 21, 1983 AS FILE NO. 83-250307 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
11. AN AGREEMENT RECORDED JULY 21, 1983 AS FILE NO. 83-250308 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
12. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN NORTH CITY PLANNED DISTRICT DEVELOPMENT PERMIT NO. 82-0428 RECORDED MARCH 2, 1985 AS FILE NO. 83-090999 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
13. PLANNING COMMISSION RESOLUTION NO. 0419-PC RECORDED MAY 10, 1989 AS FILE NO. 89-248507 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
14. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED OCTOBER 31, 1989 AS FILE NO. 89-592797 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
15. AN EASEMENT FOR DRAINAGE FACILITIES RECORDED NOVEMBER 22, 1989 AS FILE NO. 89-534038 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
16. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED APRIL 26, 1990 AS FILE NO. 90-027445 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
17. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED MAY 22, 1990 AS FILE NO. 90-027889 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
18. A RECITAL CONTAINED IN "GRANT OF EASEMENTS", RECORDED DECEMBER 13, 1990 AS FILE NO. 1990-066431 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
19. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "MODIFICATION AGREEMENT" RECORDED JULY 25, 1994 AS FILE NO. 1994-0458258 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

20. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "CARMEL VALLEY PLANNED DISTRICT DEVELOPMENT PLAN PERMIT, COVENANTS, CONDITIONS, RESTRICTIONS, TERMS AGREEMENTS AND MATTERS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS MUST BE REVIEWED TO DISCOVER SPECIFICS.
 21. PROVISIONS OF THE DEDICATION STATEMENT ON TRACT MAP NO. 13138 FOR PREVIOUSLY OFFER TO BONDAGE PUBLIC STREET. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 22. MATTERS CONTAINED IN THE DEDICATION STATEMENT ON TRACT MAP NO. 13138 FOR PLANNED DISTRICT DEVELOPMENT PROJECT. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 23. MATTERS CONTAINED IN THE DEDICATION STATEMENT ON TRACT MAP NO. 13138 FOR ACCESS EASEMENTS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT CAN NOT BE PLOTTED PER MAP DO TO SPECIFIC LOCATION NOT SHOWN.
 24. THE FACT THAT OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM CARMEL CREEK ROAD AS SHOWN ON MAP NO. 13138. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 25. AN EASEMENT FOR THE RIGHT OF INGRESS AND EGRESS FOR THE CONSTRUCTION AND MAINTENANCE OF SEWER, WATER, DRAINAGE, RESERVING, HOWEVER, TO THE OWNER OF THE TEE UNDERLYING SAID EASEMENTS HEREON GRANTED, THE CONTINUED USE OF THE SURFACE OF SAID REAL PROPERTY, AND SUBJECT TO THE FOLLOWING CONDITIONS: THE ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES AND OTHER STRUCTURES, OR THE PLANTING OR GROWING OF TREES OR SHRUBS, OR CHANGING THE SURFACE GRADE AS SHOWN ON MAP NO. 13138. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 26. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN DOCUMENT ENTITLED "AGREEMENT BETWEEN LANDOWNERS INCLUDING EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND FOR CARMEL VALLEY COMMERCIAL", RECORDED SEPTEMBER 23, 1994 AS FILE NO. 1094-057402 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 27. THE FACT THAT OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM STREET OR HIGHWAY ADJUTING SAID LAND RECORDED MAY 12, 1995 AS FILE NO. 1995-020163 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 28. AN AGREEMENT RECORDED MAY 30, 1996 AS FILE NO. 1996-0271785 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
 29. A COVENANT AND AGREEMENT RECORDED APRIL 13, 2001 AS FILE NO. 2001-0228258 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
 30. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED MAY 10, 2001 AS FILE NO. 2001-028507 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
 31. MATTERS CONTAIN IN DOCUMENT ENTITLED "RESOLUTION NO. R-235723 CERTIFICATE RESOLUTION ABANDONING WATER, SEWER AND DRAINAGE EASEMENT IN PARCEL B OF MAP NO. 13138", RECORDED NOVEMBER 23, 2001 AS FILE NO. 2001-060858 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON. A PORTION OF THIS ITEM IS AN ABANDONMENT OF A PREVIOUS DRAINAGE EASEMENT WHICH WAS LOCATED WITHIN THE BUILDING.
 32. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED MARCH 25, 2002 AS FILE NO. 2002-0445395 OF OFFICIAL RECORDS. MODIFICATIONS TO SAID DOCUMENT RECORDED MARCH 4, 2004 AS INSTRUMENT NO. 2004-0107524 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 33. AN EASEMENT REMOVAL AGREEMENT RECORDED MARCH 21, 2003 AS INSTRUMENT NO. 2003-005918 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CAN NOT BE DETERMINED AND IS NOT PLOTTED HEREON.
 34. AN AGREEMENT RECORDED JUNE 2, 2008 AS INSTRUMENT NO. 2008-0294976 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- ITEMS #35 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



CELL SITE SD0725		JRN CIVIL ENGINEERS		REVIEWS	
3881 VALLEY CENTRE DRIVE SAN DIEGO, CALIFORNIA		232 AVENIDA FABRICANTE, SUITE 107 SAN CLEMENTE, CALIFORNIA 92672 (949) 248-4686 FAX (949) 248-4687		11/4/13: REVISED SITE CONDITIONS	
SCALE: AS NOTED		DATE: 01/08/13		DRAWN BY: JFC	
SHEET 1 OF 1		FILE NO. 12457		CHKD. BY: MAM	

**CARMEL VALLEY COMMUNITY PLANNING BOARD
MEETING MINUTES**

7 p.m., 25 September 2014

Carmel Valley Library, Community Room
3919 Townsgate Drive, San Diego, CA 92130

CALL TO ORDER AND ATTENDANCE

Board Member	Representing	Present	Excused	Absent
1. Rick Newman	Neighborhood 1	X		
2. Nancy Novak	Neighborhood 3	X		
3. Hollie Kahn	Neighborhood 4/4A		X	
4. Debbie Lokanc	Neighborhood 5	X		
5. Christopher Moore	Neighborhood 6		X	
6. Steven Ross	Neighborhood 7		X	
7. Frisco White, Chair	Neighborhood 8	X		
8. Anne Harvey	Neighborhood 8A & 8B	X		
9. Steve Davison	Neighborhood 9			X
10. Laura Copic	Neighborhood 10	X		
11. Vacant	Pacific Highlands Ranch, District 11			
12. Jonathan Tedesco	Pacific Highlands Ranch, District 12	X		
13. VACANT	Business Representative			
14. Victor Manoushakian	Business Representative	X		
15. Allen Kashani, Secretary	Developer Representative	X		
16. Christian Clews	Investor Representative	X		
17. Brian Brady	Investor Representative	X		

Chair Frisco White stated that there had been a request to continue the discussion of St. John Garabed, scheduled for action by the Planning Board tonight. Board Member Anne Harvey noted that the San Dieguito River Park JPA has not seen the Final EIR, and she made a motion to continue the item (action item 4) until next meeting. Board Member Nancy Novak seconded motion. The Board discussed the motion. Board member Christian Clews stated that this item has been well noticed and there is strong representation from community. The motion failed on a vote of 4-6.

Chair White announced that he received a request for reconsideration of Motion #1 for One Paseo. Board Member Novak stated that no one had a chance to review the motion before the meeting and felt that the board was under duress and time constraints which impacted the way they voted. She asked for a reconsideration of that motion. Board Member Debbie Lokanc seconded the motion. Chair White noted that the group would have to suspend the bylaws in order to reconsider the motion and could not discuss the reconsideration until the October 23 board meeting. The project is going to Planning Commission on October 2. The Board discussed the motion. Due to lack of support for the motion no vote was taken.

APPROVAL OF MINUTES

A motion was made by Board Member Novak and seconded by Board Member Laura Copic to approve the minutes from the August 28, 2014 meeting. The motion passed 8-0-2.

Chair White announced that he received a list of additional supporters of One Paseo that attended the meeting on August 28. He would like to add this list to the September 11, 2014 minutes as an attachment. The following corrections were made to the minutes for September 11:

- Board Member Rick Newman asked to change the language on page 6 that referred to traffic mitigation from “can be mitigated” to “shall be mitigated.” The statement should be amended to “The traffic shall be mitigated without depending upon a major freeway improvement that may or may not happen in 14 -15 years.”
- Board Member Novak asked for clarification that the retail square footage on page 6 was inclusive of the cinema.
- Frisco suggested deleting the 410,000 square foot reference for residential use on page 6 and just refer to the number of units.
- Board Member Copic asked for an addition on page 3 under Transportation. She asked the city if there had been a case study for technology improvements to signals. She wanted to add that the city mentioned that they did a pilot study and they were convinced by this study that the technology would work.
- A type on page 5 was pointed out. Change “the provide” to “provide the” in the second paragraph under Project Alternatives.
- Board Member Novak asked to add to the bottom of page 2, in her comment about the City of Villages plan, that she stated that the City of Villages strategic framework states that “community plans are final arbiter on issues of land use, density, and intensity.”
- Board Member Hollie Kahn asked to add information to page 3 under Transportation that she stated she had done a parking analysis and found that there was a deficit of parking space, and she offered to give the city a copy of her study.
- Board Member Novak asked that the following be added to the minutes, prior to the discussion of Motions on page 6: “Board member Nancy Novak stated the proposed project was too big and should be rejected and the Applicant invited to come back with a Reduced Mixed- Use Alternative project with a new EIR. A project whereby the traffic can be mitigated without depending upon a major highway improvement that may or may not happen in 15 years and a project that is in keeping with the Carmel Valley character.”

Board Member Novak made a motion to approve the minutes from the September 11, 2014 meeting, with the corrections noted above. The motion was seconded by Board Member Jonathan Tedesco and passed on a vote of 9-0-2.

CONSENT AGENDA

None.

PUBLIC COMMUNICATION

Jeanette Littler addressed the Board. She stated that she has observed the group for the last two years and she thanked the board members for their commitment. She noted that the Carmel Valley community is in desperate need of a community plan update. She would like to live in a community

where uses are contemporary and forward-looking instead of relying on a plan that was conceived when she was born. She indicated she wants to dedicate time and recruit volunteers to help with this effort. She also expressed concern about the ongoing treatment of applicants, noting that some appear to be more favored than others. She cited the approval of Donahue Schreiber's expansion, and said they were not in compliance with their own traffic mitigation (they have not constructed the required bus terminal), but other projects, like One Paseo, are held to a different standard. We should be asking Donahue Schreiber to fulfill this requirement. She feels that applicants should be treated equitably and held to the same standard.

Chair White asked if she would be willing to serve on the Community Plan Update Committee, and she indicated that she would.

Ken Farinsky addressed the board and indicated that he would also like to see the Community Plan updated. He thanked the board for listening to the community and rejecting the proposed One Paseo project. He encouraged members to attend and speak at the Planning Commission meeting for One Paseo on October 2.

Victor Manoushakian announced that his business is celebrating 25 years in business. He thanked people for 25 years of support for his business in Carmel Valley.

ANNOUNCEMENTS

None.

SAN DIEGO POLICE REPORT

Officer Williams reported that this Saturday from 10 a.m. to 2 p.m. there will be another prescription drug take back at the Northwest Division Substation on El Camino Real. He also reported that burglaries are up in the community recently. The latest series appears to happen during the day. He urged people to call the police if they hear glass breaking or they notice any suspicious people in the neighborhood. He handed out a flyer about how to help yourself not be a victim of crime. He also encouraged residents to sign up on nextdoor.com to get helpful information from the police.

Board Member Clews mentioned that there have been break-ins in his parking lot. The city is not doing a good job of maintaining the vegetation. He asked police to come check the area out and Officer Williams indicated they will drive through.

Officer Williams stated that he would be bringing the new Chief to a meeting soon.

WRITTEN COMMUNICATIONS

None.

COMMUNITY PLANNER REPORT

None.

COUNCIL DISTRICT 1 PRESENTATION

Mel Millstein announced that the Mayor will be hosting a forum at Westfield UTC on October 6 at 5:30 p.m. at the Forum Hall. Councilmember Lightner will be in attendance.

MAYOR'S REPORT

None.

COUNTY SUPERVISOR'S REPORT

None.

STATE ASSEMBLY REPORT

Michael reported that Allen Kashani joined Assemblyman Maienschein recently for a meeting with the California Department of Fish & Wildlife to discuss the Del Mar Mesa Preserve. He stated that he understands that the outcome of the meeting was not what was hoped for, and the Assemblyman will be following up.

STATE SENATE REPORT

None.

US CONGRESS REPORT

None.

INFORMATION AGENDA

1. **Del Mar Union School District:** Update of District's Facilities Master Plan
 - Applicant - Holly McClurg, Superintendent, DMUSD

Chair White announced that this item has been postponed until the October 23 meeting.

ACTION ITEMS

1. **Electric Charging Stations:** Consider installation of four electric charging stations at CV Community Park.

- Applicant - Jacques Chirazi, City of San Diego

Mr. Chirazi made a presentation about electric vehicle charging stations. The city operates a number of electric vehicle charging stations and are proposing a station in this community. He presented to potential sites for a charging station in Carmel Valley: 1) At the Ocean Air Recreation Center, and 2) At Torrey Hills Community Park. He explained the proposed locations for each and how they would impact parking. Board Member Copic asked how the electric charge is paid for, and Mr. Chirazi answered that drivers pay for the charge with a credit or debit card. Board Member Copic noted that the Torrey Hills Community Park location is outside the Carmel Valley Planning Area, and she suggested that he present to the Torrey Hills Planning Group.

A motion was made by Board Member Copic to support locating the charging station at the Ocean Air Recreation Center site. The motion was seconded by Board Member Clews and passed 10-0-1.

2. AT&T: Consider proposed installation of wireless facility at Chipotle located at 3881 Valley Center Dr.

- Applicant - Shelly Kilbourn, PlanCom

Shelly Kilbourn presented on behalf of AT&T about their proposal to locate 12 cell antennas on top of a building in Carmel Valley. All antennas will be concealed inside screened boxes on the roofs. The equipment is located within the setback, so AT&T is seeking a variance. The equipment box is below the elevation of the road and not visible from the road. Board Member Clews asked if they were building this with an eye toward colocation. Ms. Kilbourn said they are always open to colocation but there will be a challenge finding location for equipment for other carriers. Board Member Manoushakian asked if this will provide revenue to landowners and Ms. Kilbourn indicated that the landowners will be paid rent. Board Member Copic asked if businesses were notified and Ms. Kilbourn said that they were notified. Board Member Lokanc asked about EMF, and Ms. Kilbourn answered that they comply with FCC standards. Chair White noted that the group's decision must be made based on planning issues and not EMF issues. Board Member Allen Kashani asked if there is a requirement for owners to disclose the location of the antennas to employees. Ms. Kilbourn did not know the answer to this questions but reiterated that businesses have been notified.

A motion was made by Board Member Clews and seconded by Board Member Manoushakian to approve the project, on the condition that employees be notified of the antennas being installed. The motion carried on a vote of 9-2.

2. Corallina: Consider the mixed-use Planned Development Permit, Rezone and Tentative Map for a 30ksf of commercial, 18 affordable units, 83 townhomes and 10 flats project in Pacific Highlands Ranch

- Applicant Randi Coopersmith, Latitude 33

Tara Lake with Latitude 33 presented an update on this mixed-use project. She showed elevations of the project and discussed design elements. She noted that alcoves have been added to the retail area for cafe seating and additional activation of the pedestrian areas. She noted that the last time they presented the project there was a concern that the project was too linear. Since then, the project has been redesigned to incorporate courtyards, articulation of the building, and decorative paving. She summarized that the project has kept a lot of what the community liked and made adjustments to the design to address concerns raised by the community. The applicant plans to resubmit the project to the city and keep working with the community group. She asked for a motion of support, but the applicant will keep working through the cycle review process and environmental document. Ms. Lake answered questions from the group about building height, interface with surrounding properties, affordable housing, parking, and pedestrian access.

A motion was made by Board Member Tedesco to support the conceptual rendering of the revised project as it has been presented, and that the applicant will continue to work with the Carmel Valley Planning Board throughout the project approval process. The motion was seconded by Board Member Clews.

Board Member Brian Brady expressed concern about making a motion at this stage in the project. Board Member Harvey pointed out that Pacific Highlands Ranch is a master planned community

with a master EIR that anticipated this development. Chair White suggested that the motion be rescinded and this be an information item. The motion maker and second were fine with this and the motion was rescinded. Chair White asked the applicant to show pedestrian linkages and connections next time they come back.

4. **St. John Garabed:** Consideration of St. John Garabed's request to approve a 350-seat church and three accessory buildings - Multi-Purpose; Cultural/Educational; and Youth Recreational. Project approvals include a Conditional Use Permit (CUP), Site Development Permit (SDP), Planned Development Permit (PDP), Coastal Development Permit and a MSCP Boundary Line Adjustment (BLA).

- Applicant - Ted Shaw, Atlantis Group

Board Member Kashani recused himself from this item.

Harry Kerkorian, volunteer and member of the St. John Garabed church introduced the project and provided some project history. He shared history of the Armenian community, and emphasized the importance of this church to San Diego's Armenian community. They purchased this property in 2008 to build a new church campus, and assembled a team and designed a project that would be compatible with the river valley and community.

Kathy Riser from Atlantis Group presented the details of the project. They have been going through the city process since 2011. She shared the project location and site details. The site is 13.4 acres and they are proposing to develop 4.2 acres with a 350-seat church and supporting uses. Nine acres of the property would be preserved. She indicated that the construction of this project would occur over many years, and the timing would be dependent on fundraising. In addition to the church, the project includes a 500-seat multi-purpose hall, a cultural and education center for religious instruction, and a youth center with recreational facilities.

She noted that many changes have been made as a result of comments from the community, city, and agencies. The location of the entrance road has been moved closer to the toe of the slope to avoid bisecting sensitive habitat. They have also pulled the buildings back 18 feet and lowered the youth center to reduce its massing.

The applicant is requesting some encroachments into setbacks. These encroachments are needed to implement some of the changes requested by the community. There is an encroachment into the setback of the adjacent vacant lot (next to the youth center). The owner of this property is OK with this, and the church will provide an access easement to the adjacent property owner. The other encroachment is into the setback for adjacent open space. Ms. Riser also discussed the height of the church and indicated that the proposed height is allowed per the zoning code. The highest point is the top of the cross at 93 feet. She noted that the project has been approved by the wildlife agencies.

Board Member Clews shared some history of the project and property and expressed his strong support. Board Member Brady stated he liked the project architecture and feels the applicant has done a good job preserving sensitive lands.

Board Member Lokanc asked why the educational building is not considered a school. Ms. Riser that it is for religious education, like Sunday school and would not be occupied every day.

Board Member Copic asked about the phasing of construction, and Mr. Kerkorian answered that it will all be driven by finances. They hope to be able to do all of the infrastructure, offsite improvements, and first building at the outset, but the rest will be constructed when the money is raised. She also asked about building materials. Architect Dennis Hyndman answered that it will have stone elements, but also stucco elements to fit in with the community.

Board Member Tedesco expressed concern that the church would be 50 feet taller than church next door at its highest point. He also expressed concern with the traffic as there are back-ups in that area during rush hour. Ms. Riser indicated that the traffic study found no impacts because the bulk of the church's use is on Sunday and the site will not be heavily utilized during peak traffic hours.

Board Member Harvey stated that this land was supposed to be a relief from urbanization, but the sanctuary is over twice as high as the adjacent church. The land was supposed to stay open or very low density residential.

Board Member Novak indicated she did not have time to read through the final EIR. She asked about access to the property from El Camino Real, and Ms. Riser answered that the access will be right in and right out. They have created an acceleration lane to allow cars to enter into traffic safely. There is also a 140 foot entrance lane for the right turn in.

Chair White indicated that the primary issue he has is the setback encroachments. He asked the design team if they have looked at all options for avoiding the setback encroachments. The team answered that they have looked at many different options and felt that the setback encroachment was a trade-off they made to preserve more sensitive habitat, and that the project looks less dense with more space between the buildings.

Board Member Clews compared the size of this church to other churches. St. Therese is a 1,500-seat church and this is a 350-seat church. The neighbor is not objecting to the setback encroachment and he is getting access to his property in return. Chair White clarified that it is the setback adjacent to the open space that he has an issue with. Architect Hyndman explained that if you moved the building to avoid the setback encroachment it could impact the hammerhead turnaround required for fire access. Chair White also asked about the MSCP Boundary Line Adjustment, and the representative from Dudek & Co. explained the areas that are being impacted, and the areas being enhanced.

Board Member Clews made a motion to support the project, as presented, and Board Member Manoushakian seconded the motion. The Board discussed the motion. Chair White asked the design team for a commitment to look at the youth center one more time to see if they have done everything possible to avoid the setback encroachment into the open space. The team said they would look at this, but cautioned that any adjustments cannot impact fire safety, parking, or sensitive habitat.

The Board voted and the motion carried on a vote of 6-4.

5. **Board Vice Chair:** Nominate and Vote on new Vice-Chair to serve remaining term.

- Applicant - Chair

Chair White asked for nominations from the board for someone to serve as Vice Chair for the remainder of the term until March 2015. He nominated Board Member Tedesco because he would like a Pacific Highlands Ranch representative in a leadership position. Board Member Clews nominated himself for the position. Board Member Tedesco was elected Vice Chair with nine votes, to Board Member Clews' two votes.

6. **Pacific Highland Ranch Appointment:** Confirm Chair's appointment of Shreya Sasaki to serve remaining term of PHR District 11.

- Applicant - Chair

Chair White asked for confirmation of Shreya Sasaki to fill out the remainder of the District 11 term, vacated by Manjeet Ranu's resignation. Ms. Sasaki lives in Pacific Highlands Ranch. She provided a summary of her background. She works in public health (Kaiser) and has served on the Parks and Livability subcommittees. Her primary interest is healthy communities and lowering obesity.

Board Member Novak made a motion to confirm her appointment, and the motion was seconded by Board Member Harvey. The motion carried on a vote of 11-0.

SUBCOMMITTEE REPORTS

Subcommittee	Representative	Report	Next Meeting
1. Regional Issues & Design Review	Harvey, Jan Fuchs	None.	None noted
2. FBA	White	None	None noted
3. MAD	Newman	None	October 7, 4:30 p.m.
4. MAD N10	Copic	None	None noted
5. MAD PHR	Tedesco	None	None noted
6. Bylaws/Elections Policies/Procedures	Clews	An effort to amend the bylaws to take the San Dieguito River Valley into the planning area will be initiated soon.	None noted
7. Community Concourse	White	None	None noted
8. Trails	Harvey (Copic, alternate to LPCP CAC)	Manchester violations were unanimously approved by Planning Commission. CVPB will get \$250,000 for trail enhancements.	None noted
9. CVREP	Clews	City has not been maintaining their side of the parking lot and they have been allowing dumping.	None noted
10. San Dieguito River Park	Harvey	None	None noted
11. CPC	Novak	CPC approved the FBA fee deferral	None noted

Subcommittee	Representative	Report	Next Meeting
		program and final edits to policy 600-24.	
12. Signage	John Dean	None	None noted
13. Livability	Moore	None	None noted

ADJOURNMENT

The meeting was adjourned at 10:40 p.m.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 448-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☒ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title

SD0725 Valley Centre

Project No. For City Use Only

358540

Project Address:

3881 Valley Centre Drive

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
Upon request, this information is available in alternative formats for persons with disabilities.

DS-311 (5-05)


Project Title:	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General What State? CA Corporate Identification No. 199809310039
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☒ No

Corporate/Partnership Name (type or print): <u>Piazza Retail, LLC</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>280 Newport Center Dr #200</u> City/State/Zip: <u>Newport Beach CA 92660</u> Phone No. <u>949-640-8300</u> Fax No. Name of Corporate Officer/Partner (type or print): Title (type or print): Signature:  Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No. Fax No. Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No. Fax No. Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No. Fax No. Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No. Fax No. Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No. Fax No. Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:

AT&T

Executive Bios



Randall L. Stephenson
Chairman and Chief Executive Officer



William A. Blase, Jr.
Senior Executive Vice President — Human Resources



James W. Cicconi
Senior Executive Vice President — External and Legislative Affairs, AT&T, Inc



Cathy M. Coughlin
Senior Executive Vice President and Global Marketing Officer



Ralph de la Vega
President and Chief Executive Officer - AT&T Mobile and Business Solutions



John Donovan
Senior Executive Vice President, AT&T Architecture, Technology, Operations,
AT&T Inc.



Lori Lee
Senior Executive Vice President — Home Solutions



John T. Stankey
Group President and Chief Strategy Officer



John Stephens
Senior Executive Vice President and Chief Financial Officer



Wayne Watts
Senior Executive Vice President and General Counsel

Project Chronology

AT&T – Valley Center (Chipotle) – Project No. 358540

Date	Action	Description	City Review Time	Applicant Response Time
5/22/2014	First Submittal	Project Deemed Complete		
7/7/2014	First Assessment Letter		46	
8/5/2014	Second Submittal			29
9/10/2014	Second Assessment Letter		36	
10/14/2014	Third Submittal			34
11/12/2014	All issues resolved		29	
12/18/2014	Public Hearing – Planning Commission		36	
TOTAL STAFF TIME			147	
TOTAL APPLICANT TIME				63
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	210 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: December 4, 2014

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING:	December 18, 2014
TIME OF HEARING:	9:00 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	NEIGHBORHOOD DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT, AND PLANNED DEVELOPMENT PERMIT, PROCESS FOUR
PROJECT NUMBER:	358540
PROJECT NAME:	<u>AT&T VALLEY CENTRE (CHIPOTLE)</u>
APPLICANT:	SHELLY KILBOURN, PLANCOM, INC., AGENTS REPRESENTING AT&T
COMMUNITY PLAN AREA:	CARMEL VALLEY
COUNCIL DISTRICT:	District 1
CITY PROJECT MANAGER:	Alex Hempton, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of panel antennas, located on the roof of an existing building behind radio-frequency (RF) transparent screening. Equipment associated with the antennas would be located within an enclosure, adjacent to the parking lot. The project is located at 3881 Valley Centre Drive.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at

www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on October 28, 2014 and the opportunity to appeal that determination ended November 12, 2014.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004426

Revised 10-4-12 HMD