



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** January 15, 2015 **REPORT NO.** PC-15-002

**ATTENTION:** Planning Commission, Agenda of January 22, 2015

**SUBJECT:** T-Mobile - ActivCare  
PROJECT NO. 344679. PROCESS 4.

**OWNER/  
APPLICANT:** MISSION BAY DEVELOPMENT, LLC/  
T-MOBILE WEST CORPORATION

### SUMMARY

**Issue:** Should the Planning Commission approve a Wireless Communication Facility (WCF) at 2440 Grand Avenue, within the Pacific Beach community plan area?

**Staff Recommendation:** APPROVE Conditional Use Permit No. 1206025.

**Community Planning Group Recommendation:** The Pacific Beach Planning Group voted to recommend approval of this project 12-0-0 at their June 25, 2014 meeting (Attachment 12).

**Environmental Review:** This project was evaluated pursuant to the California Environmental Quality Act (CEQA) and determined to be categorically exempt from CEQA, per State Guidelines, Section 15302 (Replacement). The environmental exemption determination was made on November 26, 2014 and the opportunity to appeal this determination ended December 12, 2014 (Attachment 7).

**Fiscal Impact Statement:** T-Mobile West Corporation is the Financially Responsible Party responsible for costs associated with the processing of this application.

**Code Enforcement Impact:** Not applicable.

**Housing Impact Statement:** Not applicable.

### BACKGROUND

T-Mobile ActivCare is an application for a Conditional Use Permit (CUP), Process 4, for a Wireless Communication Facility (WCF). The project is located at 2440 Grand Avenue on a

recently constructed residential care facility building. The project is located in the RS-1-7 zone, within the Pacific Beach community plan area. The site is surrounded by residential uses to the west, Mission Bay High School to the south, and Barnard Elementary School to the north and east (Attachments 1, 2, 3, and 4). WCFs are permitted in residential zones with a residential use with a Conditional Use Permit (CUP), Process 4.

## **DISCUSSION**

### **Project Description:**

This project proposes to install eight (8) panel antennas inside a radio-frequency (RF) transparent cupola with equipment cabinets located on an existing concrete pad, screened by a wall. The WCF will be located on a recently constructed building, which houses a senior care facility. Prior to the development of the senior care facility, T-Mobile operated a WCF on this property. The property was previously developed with a smaller County Health building and a large parking lot. T-Mobile's antennas were mounted to parking lot light standards. Due to the redevelopment of the site, T-Mobile's antennas were removed and incorporated into the design of the new building.

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process 1 (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process 4 (Planning Commission) approval. As this particular project is located in a residential zone with a residential use, a Process 4 CUP is required. While the WCF is located in one of the least preferable locations, the design of the facility is able to effectively integrate the antennas with the surrounding neighborhood. The stealth nature of the site is respectful of the nearby residential, educational, and park uses.

WCFs are required to "use all reasonable means to conceal or minimize the visual impact of the WCF through integration..." Integration with existing structures or among existing uses shall be accomplished through the use of architecture, landscape, and siting solutions. With this project, the antennas are concealed within an architectural element, behind RF-transparent screening, painted and textured to match adjacent building surfaces. Equipment associated with the antennas will be located in walled enclosure, on a side of the building. As the redevelopment took the need to house the antennas into account, the new building was designed to accommodate and effectively integrate T-Mobile's antennas.

### **Community Plan Analysis:**

While the Pacific Beach Community Plan does not specifically address WCFs, the City's General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding

area.

- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The antennas associated with this WCF are proposed to be located within an architectural element, behind RF-transparent material, painted and textured to match the existing building. Equipment associated with the antennas will be located in a walled enclosure on the side of the building. This WCF has been designed to be consistent with the City's General Plan; the antennas are completely concealed and the visibility of the equipment enclosure is minimal. This project respects the neighborhood context and will not adversely affect the General Plan.

**Conclusion:**

This project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of CUP No. 1206025.

**ALTERNATIVES**

1. Approve CUP No. 1206025, with modifications.
2. Deny CUP No. 1206025, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



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Mike Westlake  
Assistant Deputy Director  
Development Services Department



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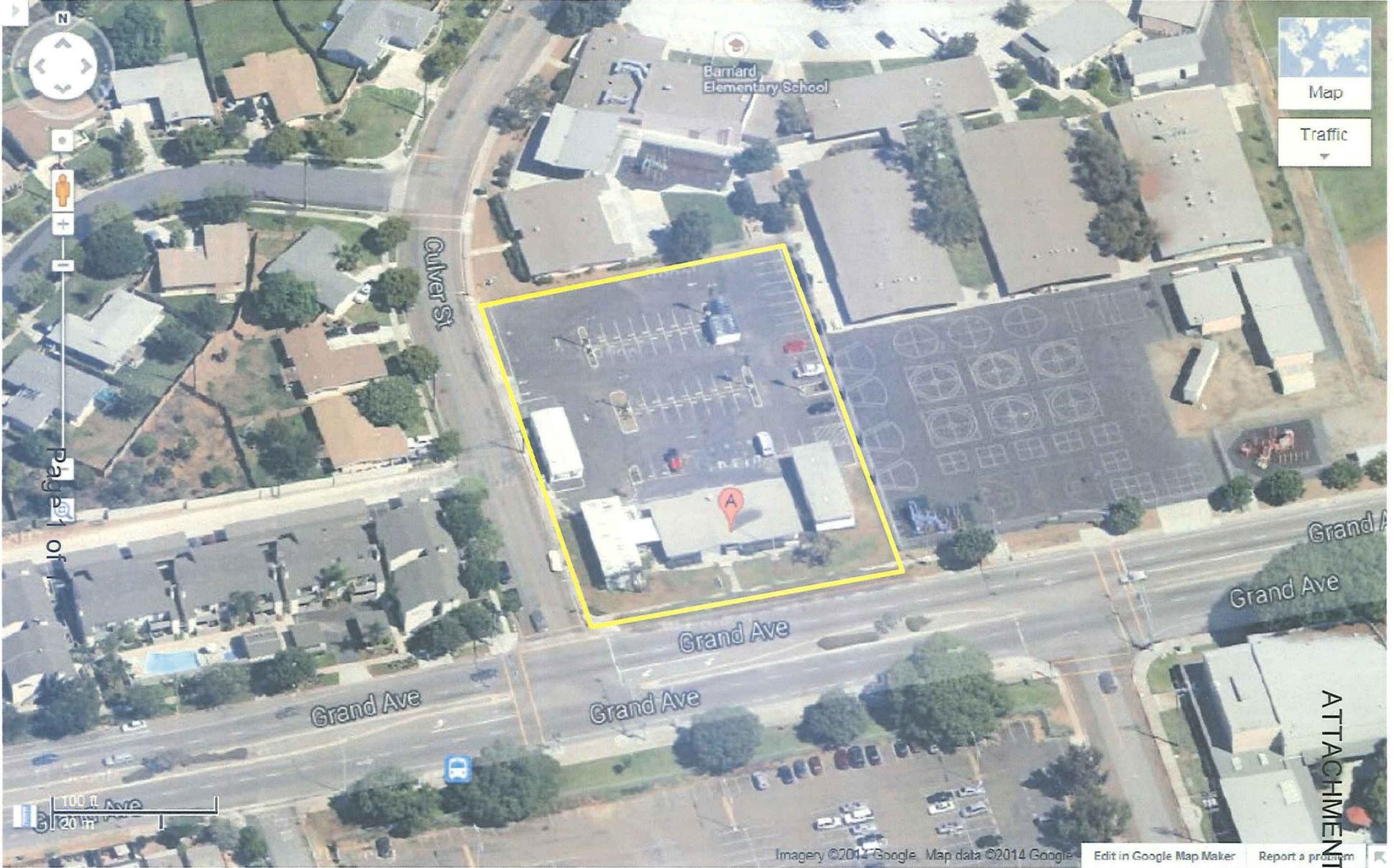
Alex Hempton, AICP  
Development Project Manager  
Development Services Department

VACCHI/AFH

Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings

6. Draft Permit with Conditions
7. Notice of (Environmental) Exemption
8. Photo Simulations
9. Site Justification and Coverage Maps
10. Photographic Survey
11. Project Plans
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology
15. Notice of Planning Commission Hearing



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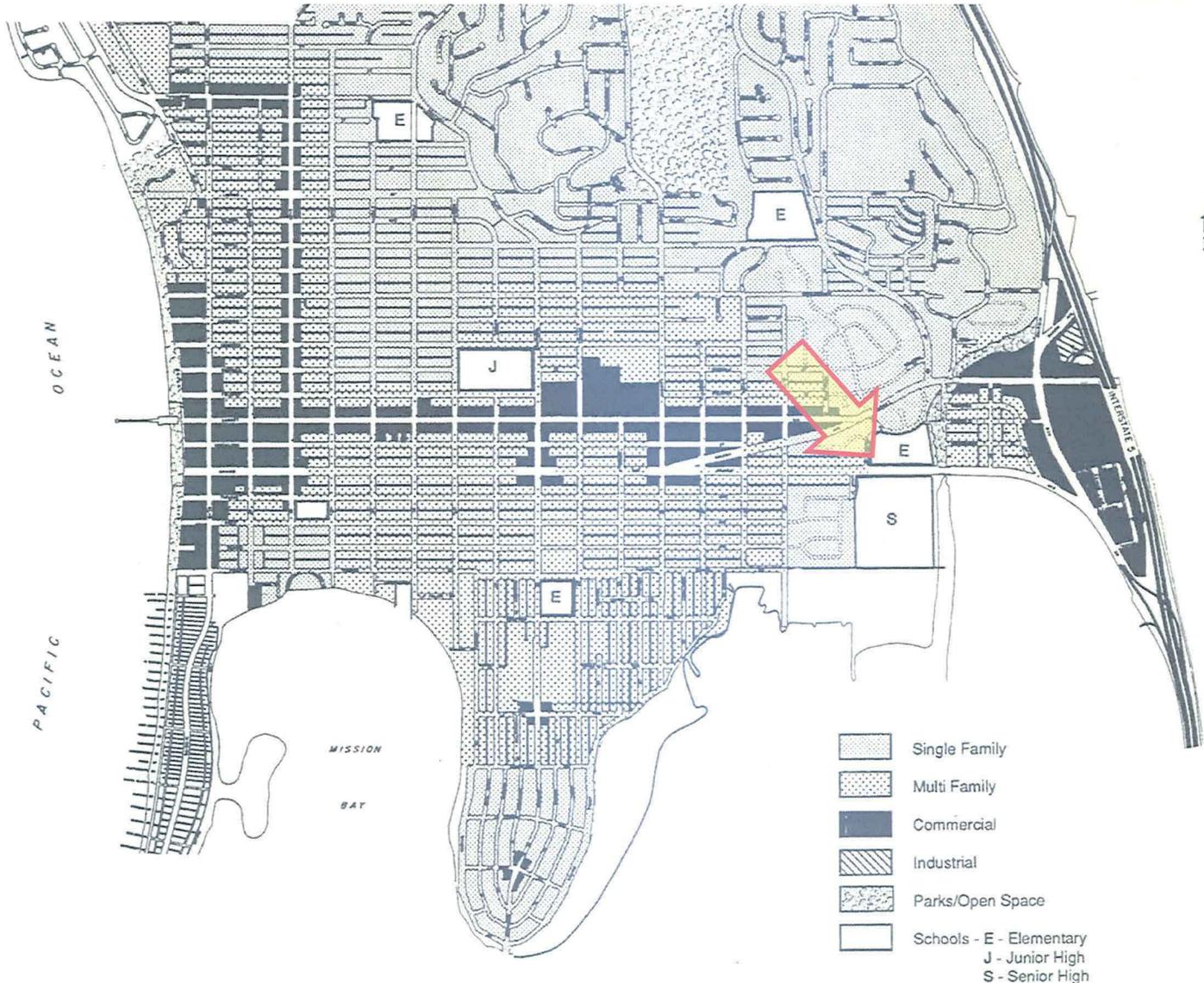
ATTACHMENT 1



# Aerial Photo

T-Mobile – ActiveCare – Project Number 344679

2440 Grand Avenue



**Community Land Use Map**  
**Pacific Beach Community Plan**  
**1**  
**FIGURE**

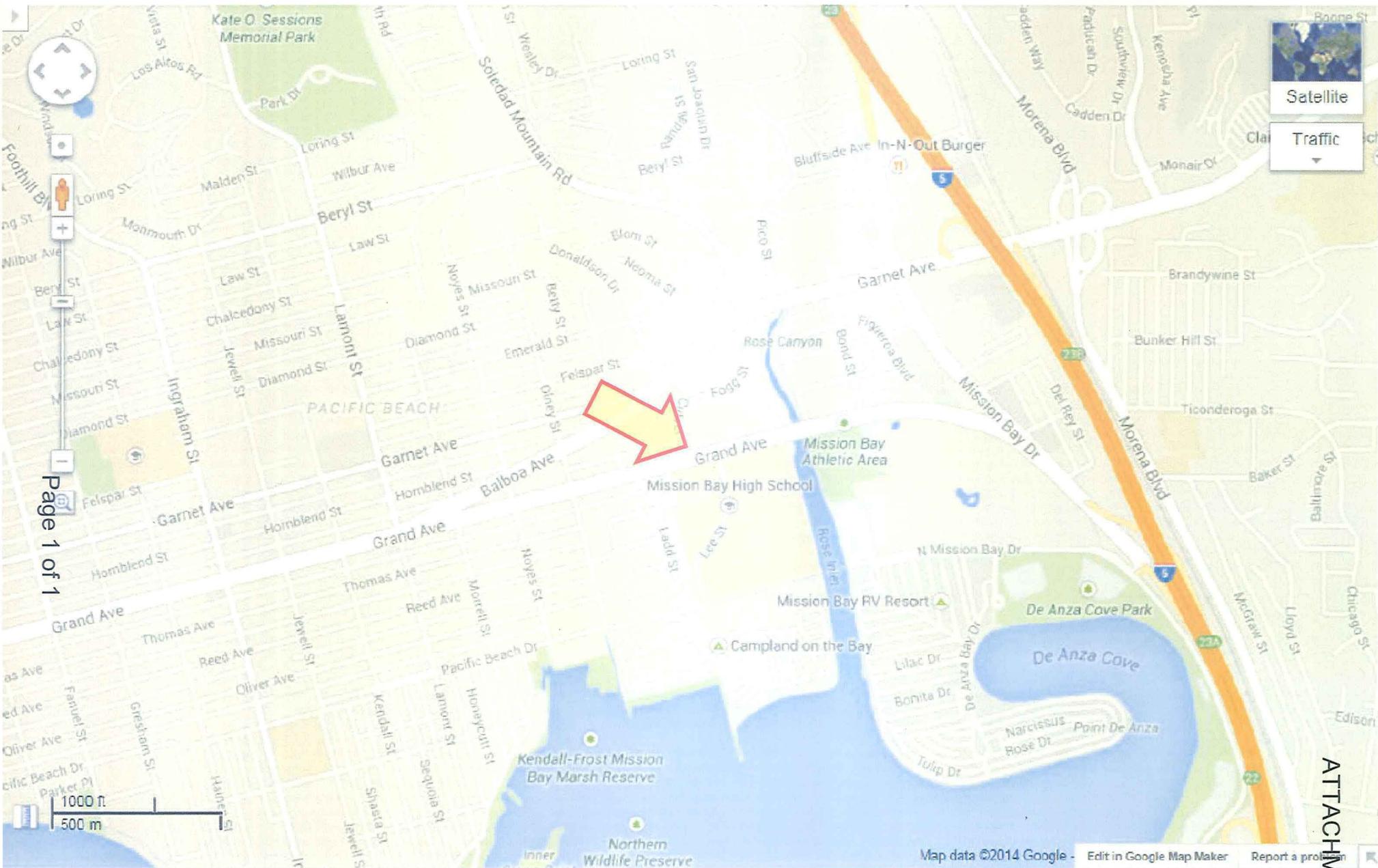


# Community Plan Land Use Designation

T-Mobile – ActiveCare – Project Number 344679

2440 Grand Avenue

Designated as  
 Schools  
 (Elementary)



# Project Location Map

T-Mobile – ActiveCare – Project Number 344679

2440 Grand Avenue



<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	T-Mobile - ActivCare	
<b>PROJECT DESCRIPTION:</b>	Wireless Communication Facility (WCF) consisting of 8 panel antennas, concealed within an existing cupola, behind radio-frequency (RF) transparent screening. Equipment located in an enclosure attached to the building.	
<b>COMMUNITY PLAN AREA:</b>	Pacific Beach	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit (Process 4)	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Schools – Elementary	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE: RS-1-7</b> <b>HEIGHT LIMIT: 30'</b> <b>FRONT SETBACK: 25'</b> <b>SIDE SETBACK: 20'</b> <b>REAR SETBACK: 25'</b>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential, RS-1-7	Residential
<b>SOUTH:</b>	School, RS-1-7	School
<b>EAST:</b>	School, RS-1-7	School
<b>WEST:</b>	Residential, RM-2-5	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	The Pacific Beach Planning Group voted 12-0-0 to recommend approval at their June 25, 2014 meeting.	



Page 1 of 1

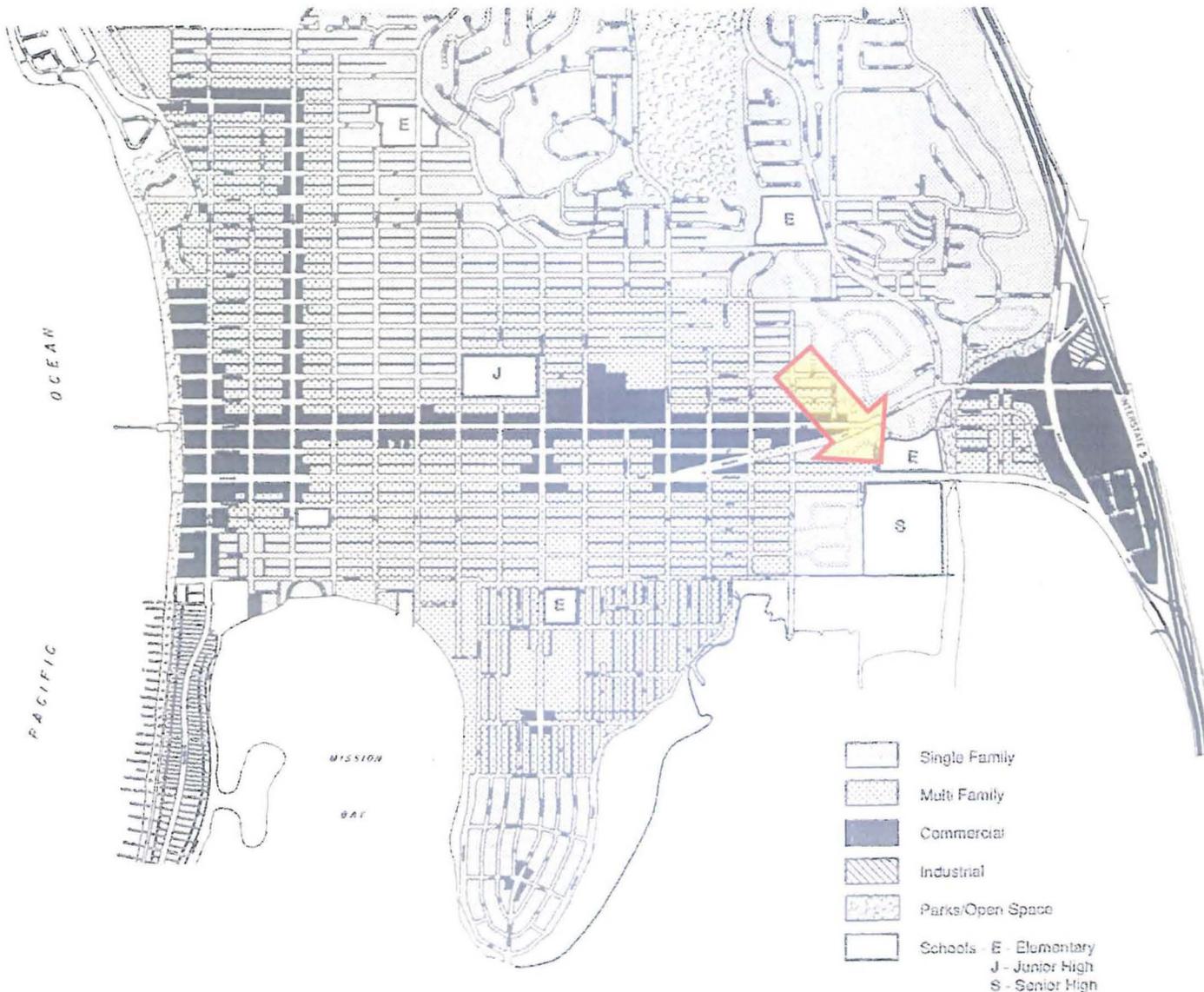
ATTACHMENT 1



## Aerial Photo

T-Mobile – ActiveCare – Project Number 344679

2440 Grand Avenue



Community Land Use Map  
Pacific Beach Community Plan

1  
FIGURE

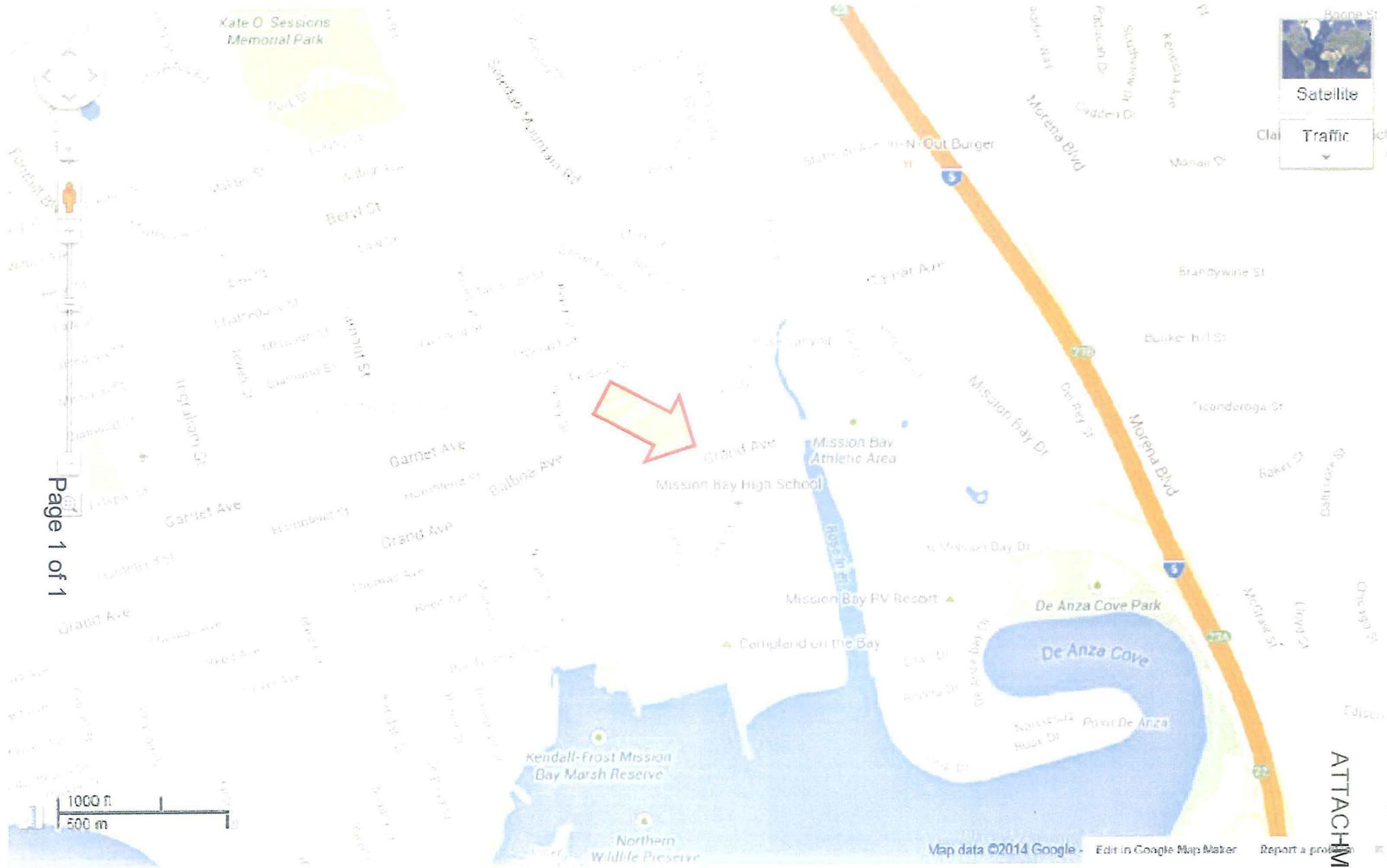
# Community Plan Land Use Designation

T-Mobile – ActiveCare – Project Number 344679

2440 Grand Avenue

Designated as  
Schools  
(Elementary)

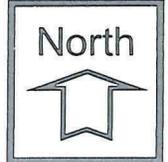




# Project Location Map

T-Mobile – ActiveCare – Project Number 344679

2440 Grand Avenue



ATTACHMENT 3

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	T-Mobile - ActivCare	
<b>PROJECT DESCRIPTION:</b>	Wireless Communication Facility (WCF) consisting of 8 panel antennas, concealed within an existing cupola, behind radio-frequency (RF) transparent screening. Equipment located in an enclosure attached to the building.	
<b>COMMUNITY PLAN AREA:</b>	Pacific Beach	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit (Process 4)	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Schools – Elementary	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> RS-1-7 <b>HEIGHT LIMIT:</b> 30' <b>FRONT SETBACK:</b> 25' <b>SIDE SETBACK:</b> 20' <b>REAR SETBACK:</b> 25'		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential, RS-1-7	Residential
<b>SOUTH:</b>	School, RS-1-7	School
<b>EAST:</b>	School, RS-1-7	School
<b>WEST:</b>	Residential, RM-2-5	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	The Pacific Beach Planning Group voted 12-0-0 to recommend approval at their June 25, 2014 meeting.	

**PLANNING COMMISSION  
RESOLUTION NO. PC-XXXX  
CONDITIONAL USE PERMIT NO. 1206025  
T-MOBILE - ACTIVCARE  
PROJECT NUMBER 344679**

WHEREAS, MISSION BAY DEVELOPMENT, LLC, Owner, and T-MOBILE WEST CORPORATION, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1206025);

WHEREAS, the site is located at 2440 Grand Avenue in the RS-1-7 zone of the Pacific Beach community plan area;

WHEREAS, the project site is legally described as: Lots 6 to 8, inclusive, Lots 17 to 19, inclusive, and portions of Lots 5 and 20, in Block 3 of Mission Bay Park Tract, in the City of San Diego, State of California, according to Map Thereof No. 1120, filed in the Office of the Recorder of San Diego County;

WHEREAS, on November 26, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15302 (Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 22, 2015, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1206025 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 22, 2015:

FINDINGS:

**Conditional Use Permit - Section 126.0305**

**1. The proposed development will not adversely affect the applicable land use plan;**

While the Pacific Beach Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The antennas associated with this WCF are proposed to be concealed inside a radio-frequency (RF) transparent cupola, which will be painted and textured to match the adjacent building

## ATTACHMENT 5

surfaces. The equipment associated with the antennas will be located in an enclosure, on the side of the building. The design of this WCF minimizes its visibility, by utilizing an architecturally integrated cupola to conceal the antennas. The equipment enclosure is located in a location on site not readily visible from the public right-of-way, and has been designed to coordinate with the existing building on the premises. The proposed design will result in a WCF that is aesthetically pleasing and respectful of the neighborhood context. The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

This project consists of eight (8) panel antennas concealed within a cupola, behind RF-transparent material, painted and textured to match adjacent building surfaces. Equipment associated with the antennas will be located in an equipment enclosure at the rear of the building. The project is located at 2440 Grand Avenue in the RS-1-7 zone of the Pacific Beach community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

WCFs are permitted in residential zones, with a residential use, with the processing of a CUP, Process 4. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCFs "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." Eight panel antennas will be concealed within a cupola, behind radio-frequency (RF) transparent material, painted and textured to match existing building surfaces. Equipment associated with the antennas will be located in an

enclosure, toward the rear of the property, on the side of the building. The WCF is concealed within the residential care facility building and will not be visible. The WCF provides wireless coverage to the surrounding residential, educational, and park uses in a way that is respectful of the neighborhood context and completely integrated with the design of the building. Based on this analysis, the project design, and permits required, this project complies with the applicable regulations of the Land Development Code.

**4. The proposed use is appropriate at the proposed location.**

WCF are permitted throughout the City with varying permit process levels. Council Policy 600-43 identifies various preference levels for locating WCF. WCF located in commercial or industrial zones are generally permitted as a Process 1, Limited Use whereas WCF located in a residential zone with a residential use are permitted with a Process 4, Conditional Use Permit. More preferable locations correspond with lower permit process levels, as a way to encourage carriers to locate in more preferred locations. Although the regulations encourage carriers to locate in more preferred locations, the carriers must provide coverage throughout their license area, which sometimes means that WCF are located in less preferred locations. In all cases, the WCF Regulations require that WCF be minimally visible and integrated with the community. With this project, T-Mobile previously operated a WCF on this property, with antennas mounted on parking lot light standards. This property was redeveloped and now houses a residential care facility. In redeveloping the site, the designers recognized the need to integrate the T-Mobile antennas with the development, and completely integrated the antennas and equipment with the new building. The WCF use is permitted at this location with the corresponding CUP, Process 4, and based on the integrated design, the use is appropriate at this location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CONDITIONAL USE PERMIT NO. 1206025 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1206025, a copy of which is attached hereto and made a part hereof.

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Alexander Hempton, AICP  
Development Project Manager  
Development Services

Adopted on: January 22, 2015

Internal Order No. 24004165

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004165

**CONDITIONAL USE PERMIT NO. 1206025**  
**T-MOBILE - ACTIVCARE**  
**PROJECT NO. 344679**  
**PLANNING COMMISSION**

This CONDITIONAL USE PERMIT (CUP) NO. 1206025 is granted by the PLANNING COMMISSION of the City of San Diego to MISSION BAY DEVELOPMENT, LLC, Owner, and T-MOBILE WEST CORPORATION, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420 and 126.0301. The site is located at 2440 Grand Avenue in the RS-1-7 zone of the Pacific Beach community plan area. The project site is legally described as: Lots 6 to 8, inclusive, Lots 17 to 19, inclusive, and portions of Lots 5 and 20, in Block 3 of Mission Bay Park Tract, in the City of San Diego, State of California, according to Map Thereof No. 1120, filed in the Office of the Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 22, 2015, on file in the Development Services Department.

The project shall include:

- a. Eight (8) panel antennas located behind radio-frequency (RF) transparent screening inside a new cupola, and equipment located within a 120 square-foot equipment area;
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 5, 2018.

2. The project complies with the Telecommunication Facility Guidelines as a Complete Concealment Facility and as a result, the permit will not contain an expiration date. It is the responsibility of the wireless carrier and owner(s) to maintain the appearance of the approved facility to condition set forth in this permit unless the site is removed and restored to its original condition. Code compliance shall be notified if the appearance or the scope of the project has changed without the approval of the City Manager.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner or Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

12. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications

13. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

14. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

15. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

16. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

17. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

18. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

19. No overhead cabling is allowed for this project.

20. The Permittee shall not cause or allow the antennas located on the building to be different sizes (length, width, or height) than as shown on the stamped approved plans.

21. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

22. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

23. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

24. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

25. Use of or replacement of any building façade with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on January 22, 2015 and [Approved Resolution Number].

Permit Type/PTS Approval No.: CUP No. 1206025  
Date of Approval: 1/22/2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

\_\_\_\_\_  
Alex Hempton, AICP  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**MISSION BAY DEVELOPMENT, LLC**  
Owner

By \_\_\_\_\_  
NAME  
TITLE

**T-MOBILE WEST CORPORATION**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: 11/26/2014

**NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION  
DEVELOPMENT SERVICES DEPARTMENT  
SAP No. 24004165**

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**PROJECT NAME/NUMBER:** T-Mobile ActivCare/344679

**COMMUNITY PLAN AREA:** Pacific Beach Community Planning Area

**COUNCIL DISTRICT:** 2

**LOCATION:** The site is located at 2440 Grand Avenue San Diego, CA 92109.

**PROJECT DESCRIPTION:** The project consists of a Conditional Use Permit (CUP) to allow for the replacement of an existing Wireless Communication Facility (WCF) with a new WCF. The existing WCF would be removed as the entire property is being redeveloped as "ActiveCare at Mission Bay". The proposed WCF would consist of the installation of two T-Mobile equipment cabinets within an existing six foot high concrete block enclosure, and the installation of an antenna, panels, screening and other associated equipment.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Planning Commission

**ENVIRONMENTAL DETERMINATION:** CEQA Exemption 15302 (Replacement)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** Environmental Analysis Section, City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement) which allows for the reconstruction of existing utility structure involving negligible expansion of capacity. Since the project would be replacing one WCF with another similar WCF the exemption would apply. Furthermore, the project is located on a developed site lacking sensitive resources the exceptions listed in CEQA Section 15300.2 would not apply.

**DEVELOPMENT PROJECT MANAGER:** Alexander Hempton  
**MAILING ADDRESS:** 1222 First Avenue, MS 501 San Diego, CA  
92101  
**PHONE NUMBER:** (619) 446-5349

---

## ATTACHMENT 7

On 11/26/2014 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice and therefore the appeal period would end on 12/12/14. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

**SD02790A**

ACTIVCARE

2440 Grand Ave

San Diego CA, 92109

T-Mobile

ATTACHMENT 8

**AUGUST 28, 2013**



EXISTING

T-MOBILE  
10509 VISTA SORRENTO PKY STE. A  
SAN DIEGO, CA 92121



ZALZALI & ASSOCIATES, INC.  
2070 BUSINESS CENTER DRIVE, SUITE 200  
IRVINE, CA 92612  
949.609.9559  
949.606.7222 (FAX)

REV:

A

SD02790A

ACTIVCARE  
2440 Grand Ave  
San Diego CA, 92109



AUGUST 28, 2013



PROPOSED

T-MOBILE  
10509 VISTA SORRENTO PKY STE. A  
SAN DIEGO, CA 92121



ZALZALI & ASSOCIATES, INC.  
2070 BUSINESS CENTER DRIVE, SUITE 200  
IRVINE, CA 92612  
949.609.9559  
949.606.7222 (FAX)

REV:  
A



# **SD02790 Justification and Coverage Map**

**RF Team San Diego Market  
Oct. 15, 2013**



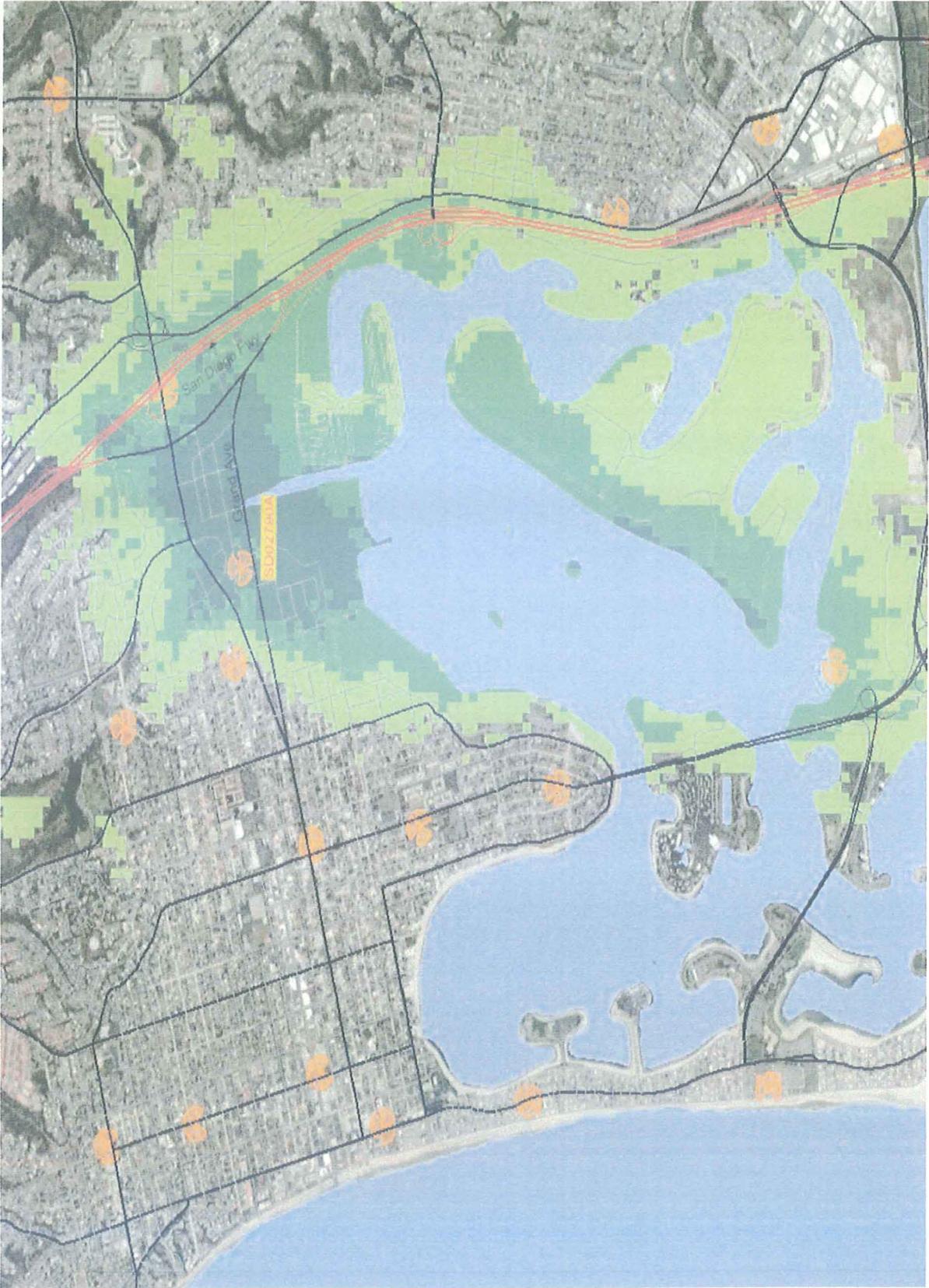
# Contents:

## Plots:

- SD02790 Coverage
- Existing On-Air sites coverage without SD02790
- SD02790 with existing On-Air neighbor sites coverage



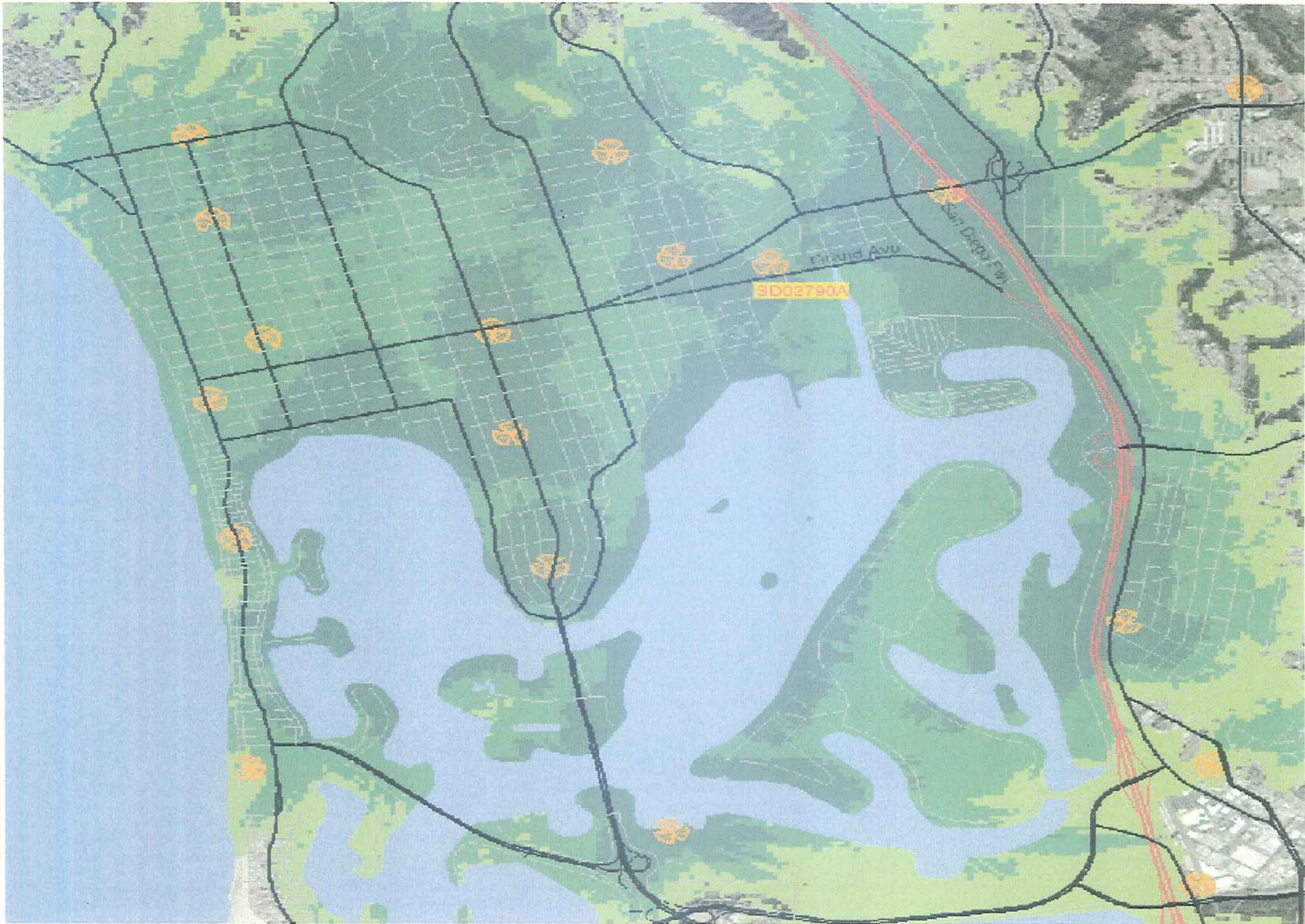
SD02790A Coverage



Legend: Coverage Level

- In Building
- In Car
- On Street





Legend: Coverage Level

- In Building
- In Car
- On Street

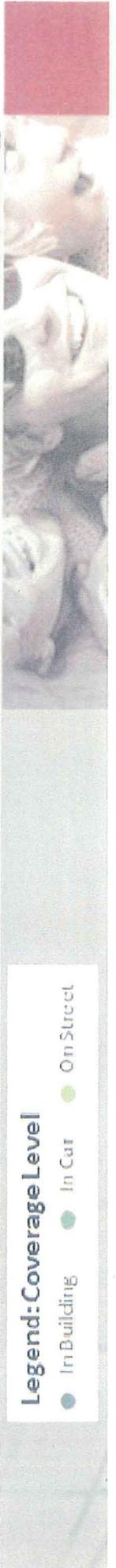


SD02790 with existing On-Air neighbor sites coverage



Legend: Coverage Level

- In Building
- In Car
- On Street





May 8, 2014

To: City of San Diego  
Development Services Department  
1222 First Avenue, MS 301  
San Diego, CA 92101-5154

From: Rocki Lam  
Smartlink LLC  
1580 Union St. Unit 209  
San Diego, CA 92101

RE: Telecom Site Justification Letter  
T-Mobile Side SD02790 Active Care PTS: 344679

The proposed T-Mobile wireless communication facility is located at 2440 Grand Ave, San Diego, CA 92109 (the "Subject Property") is needed for the following reasons:

As depicted on the following coverage maps, the existing wireless communication facility located at the Subject Property provides essential communication and improved service to the surrounding area. The facility ensures uninterrupted wireless service in the area. Without the facility at the current location, there would be a significant gap in coverage that would negatively impact the surrounding community.

The visual impact to the surrounding community is minimized because all of the antennas are completely concealed within a faux chimney, fully screened from view. The equipment area is located within the building also screened from view.

It is important that this site stay in its current location due to the inadequate options for surrounding locations (see attached maps). Also, T-Mobile already has a lease and established relationship with this land owner. To decommission the existing site and move to a new location would cost over \$250,000 to T-Mobile. The landowner at this site has incorporated T-Mobile's plans into the building to ensure the wireless facility is completely concealed and will not be a nuisance to the surrounding community.

If you have any additional questions, I can be reached at (801) 603-2052 or by e-mail at [rocki.lam@smartlinkllc.com](mailto:rocki.lam@smartlinkllc.com)

Sincerely,

A handwritten signature in black ink, appearing to read "Rocki Lam", followed by a stylized flourish.

Rocki Lam, Esq. | Project Manager  
Smartlink

T-Mobile Active Care SCIP Package SD02790

2440 Grand Ave, San Diego



Overview of Candidates:

Candidate A

- Located at 2440 Grand Avenue
- Owner: Mission Bay Development

About: Current site located on the light standard in the parking lot. This area is to be redeveloped and the landlord is willing to allow T-Mobile to design a completely concealed faux chimney for their antennas. Lease is established and will not change.

Candidate A property:



Candidate B:

- Located near Grand Ave and Culver Street
- Owner: San Diego Unified School District

About: This site is a school for young children. There would likely be community resistance to a cell site at this location. Additionally zoning would have an extra cost of DSA review. T-Mobile would propose a light standard on the baseball field. There currently are no light standards on the field, and T-Mobile would have to run telco and power to the site. To build at this site would cost T-Mobile upwards of \$500,000. This is not cost efficient and would not be a good move for T-Mobile. Zoning wise, it may generate community resistance and would not be the most concealed option.

Candidate B Property:



Candidate C

- Located at 2475 Grand Ave
- Owned by the Unified School District of San Diego

About: This site is a junior high school. There would likely be community resistance to a cell site at this location, as it is high traffic and would have to be noticed to the surrounding areas. Additionally zoning would have an extra cost of DSA review. T-Mobile would propose a light standard on the baseball field. There currently are no light standards on the field, and T-Mobile would have to run telco and power to the site. To build at this site would cost T-Mobile upwards of \$500,000. This is not cost efficient and would not be a good move for T-Mobile. Zoning wise, it may generate community resistance and would not be the most concealed option.

Candidate C Property:





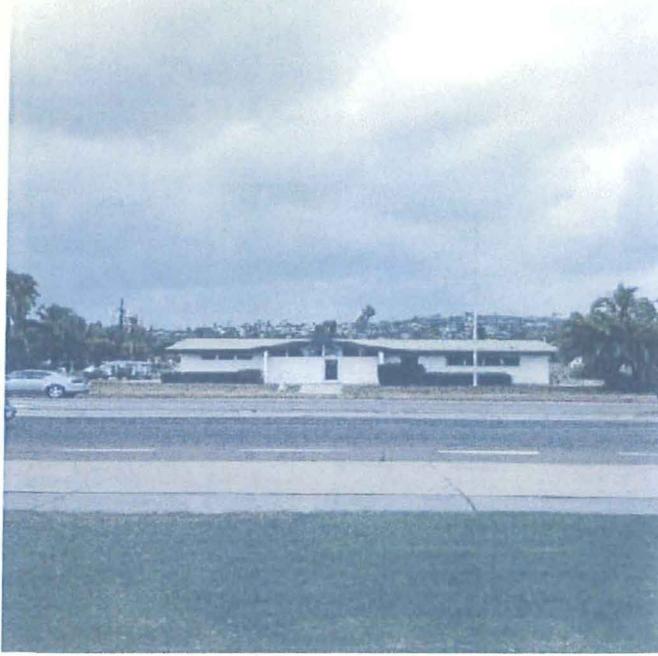


# PHOTOGRAPHIC SURVEY

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T-MOBILE SD02790 ActivCare

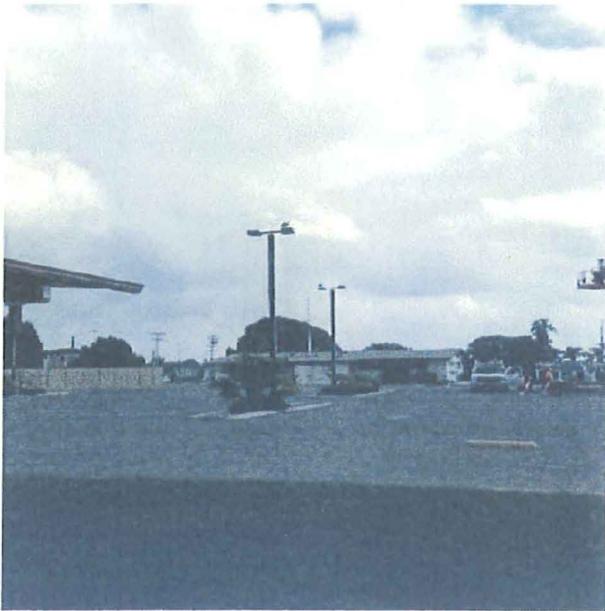
- **VIEW OF THE SUBJECT PROPERTY**



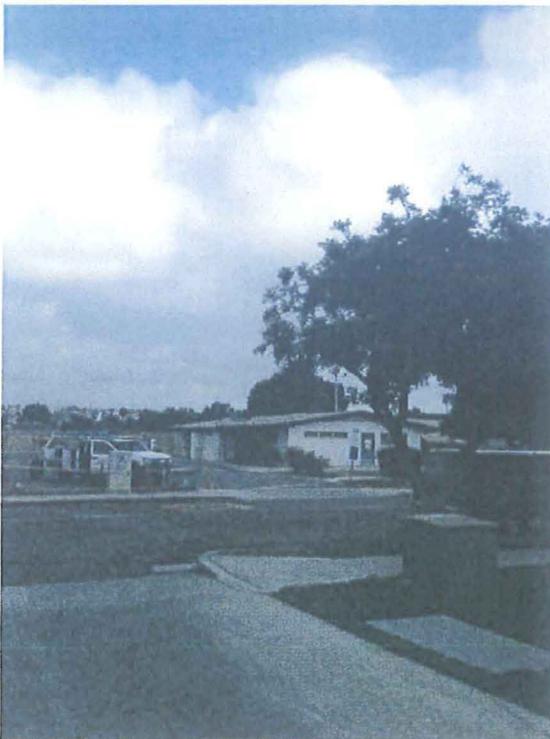
(1) View of the subject property looking north.



(2) View of the subject property looking west.



(3) View of the subject property looking south.



(4) View of the subject property looking east.

- VIEW FROM THE SUBJECT PROPERTY



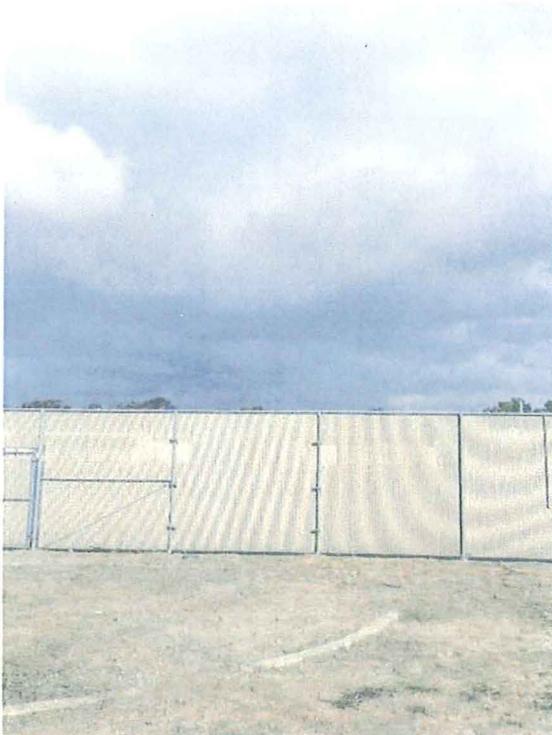
(5) View from the subject property looking north.



(6) View from the subject property looking west.



(7) View from the subject property looking south.



(8) View from the subject property looking east.



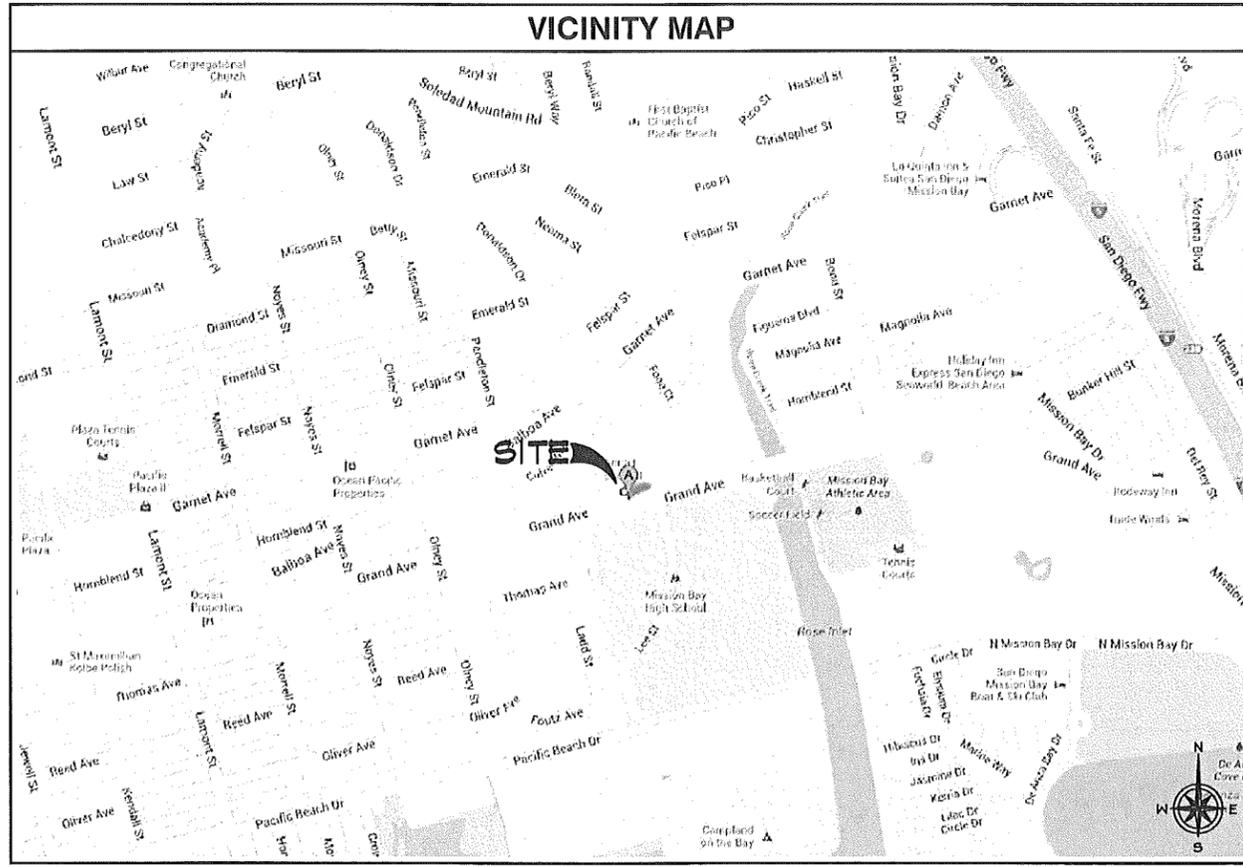
**SITE NUMBER: SD02790A**  
**SITE NAME: ACTIVCARE**  
**2440 GRAND AVE**  
**SAN DIEGO, CA 92109**  
**COUNTY: SAN DIEGO**

**ENGINEERING**  
 2013 CALIFORNIA BUILDING CODE  
 2012 INTERNATIONAL BUILDING CODE  
 2011 NATIONAL ELECTRIC CODE  
 TIA/EIA-222-G OR LATEST EDITION  
 LOCAL BUILDING/PLANNING CODE

**GENERAL NOTES**  
 THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

**SITE INFORMATION**  
 PROPERTY OWNER: MISSION BAY DEVELOPMENT, LLC.  
 ADDRESS: 9619 CHESAPEAKE DRIVE, STE 103  
 SAN DIEGO, CA 92123  
 CONTACT: KEVIN MORIARTY  
 PHONE: (858) 565-4424  
 APPLICANT: T-MOBILE USA  
 ADDRESS: 10509 VISTA SORRENTO PKWY  
 STE 206  
 SAN DIEGO, CA 92121  
 CONTACT: KIRT BABCOCK  
 PHONE: (760) 214-2891  
 LATITUDE: 32° 48' 05.61" N (32.801558)  
 LONGITUDE: 117° 13' 31.67" W (117.225464)  
 LAT/LONG TYPE: NAD 83  
 GROUND ELEVATION: 20' AMSL  
 APN #: TBD  
 ZONING JURISDICTION: CITY OF SAN DIEGO  
 CURRENT ZONING: RS-1-7  
 PROPOSED USE: UNMANNED TELECOMMUNICATIONS FACILITY

**PROJECT TEAM**  
**PROJECT MANAGER:** T-MOBILE USA  
 10509 VISTA SORRENTO PKWY  
 STE 206  
 SAN DIEGO, CA 92121  
 CONTACT: KIRT BABCOCK  
 PHONE: (760) 214-2891  
 EMAIL: KIRT.BABCOCK@TMOBILE.COM  
**ENGINEER:** ZALZALI & ASSOCIATES INC.  
 23675 BIRTCHEER DRIVE  
 LAKE FOREST, CA 92630  
 ENGINEER: WISSAM ZALZALI  
 (P.E.# C71655)  
 PHONE: (949) 609-9559  
 PM: DEAN WALKER  
 PHONE: (714) 230-5714  
 www.zalzali.com  
**SITE ACQUISITION:** SMARTLINK LLC  
 18301 VON KARMAN AVE  
 SUITE 400  
 IRVINE, CA 92612  
 CONTACT: ROCKI LAM  
 PHONE: (801) 387-1265  
 EMAIL: rocki.lam@smartlinkllc.com  
**ZONING:** SMARTLINK LLC  
 18301 VON KARMAN AVE  
 SUITE 400  
 IRVINE, CA 92612  
 CONTACT: VERONICA ARVIZU  
 PHONE: (958) 602-6380  
 EMAIL: veronica.arvizu@smartlinkllc.com  
**RF ENGINEER:** T-MOBILE USA  
 10509 VISTA SORRENTO PKWY  
 STE 206  
 SAN DIEGO, CA 92121  
 CONTACT: PEDRO ABE  
 PHONE: (858) 366-3454  
 EMAIL: TBD  
**CONSTRUCTION MANAGER:** TBD



**DRIVING DIRECTIONS**  
 DIRECTIONS FROM T-MOBILE OFFICE:  
 HEAD NORTHWEST ON VISTA SORRENTO PKWY TOWARD SORRENTO VALLEY, TURN LEFT ONTO SORRENTO VALLEY BLVD, TURN RIGHT ONTO ROSELLE ST, TURN LEFT TO MERGE ONTO I-5S, TAKE THE EXIT TOWARD BALBOA AVE/GARNET AVE, MERGE ONTO MISSION BAY DR. TURN RIGHT TOWARD GRAND AVE, TURN RIGHT ONTO GRAND AVE. SITE WILL BE ON THE RIGHT.  
 \*2440 GRAND AVE  
 SAN DIEGO, CA 92109

**CONSTRUCTION DRAWING**  
 IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

**PROJECT DESCRIPTION**  
 T-MOBILE WIRELESS PROPOSES TO INSTALL A WIRELESS COMMUNICATION SITE ON THE PROPERTY OF A STORAGE FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:  
 • INSTALLATION OF (2) T-MOBILE EQUIPMENT CABINETS ANCHORED TO AN EXISTING CONCRETE PAD WITHIN AN EXISTING 6' HIGH CMU ENCLOSURE  
 • INSTALLATION OF (1) NEW T-MOBILE GPS ANTENNA  
 • INSTALLATION OF (8) NEW T-MOBILE PANEL ANTENNAS WITHIN FRP SCREENING  
 • INSTALLATION OF (4) NEW TWIN TMA'S WITH BIAS TEE WITHIN FRP SCREENING  
 • INSTALLATION OF NEW FIBER/POWER AND COAX ANTENNA CABLES ROUTED WITHIN EXISTING U.G. AND BUILDING MOUNTED CONDUITS TO THE ROOFTOP ANTENNA LOCATION  
 • INSTALLATION OF NEW TELCO & ELECTRICAL CONDUCTORS WITHIN EXISTING U.G. CONDUITS TO RESPECTIVE POINTS OF CONNECTION

**DRAWING INDEX**

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
C-1	SITE SURVEY
A-1	SITE PLAN
A-1.1	LANDSCAPE DEVELOPMENT PLAN
37583-19-D	LANDSCAPE PLANTING PLAN *(BY NASLAND ENG./PARTERRE, FOR REFERENCE ONLY)*
LC-1	LANDSCAPE CONSTRUCTION PLAN *(BY PARTERRE, FOR REFERENCE ONLY)*
A-2	EQUIPMENT & ANTENNA LAYOUTS
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	ELEVATIONS

**APPROVALS**  
 THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

T-MOBILE RF ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 T-MOBILE OPERATIONS: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SITE ACQUISITION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CONSTRUCTION MANAGER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROPERTY OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ZONING: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROJECT MANAGER: \_\_\_\_\_ DATE: \_\_\_\_\_

**DO NOT SCALE DRAWINGS**  
 SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



**T-Mobile**  
 10509 VISTA SORRENTO PARKWAY  
 SUITE 206  
 SAN DIEGO, CA 92121

**smartlink**  
 18301 VON KARMAN AVE., SUITE 400  
 IRVINE, CA 92612  
 PHONE: (949) 387-1265

**ALL STATES**  
 ENGINEERING & SURVEYING  
 A TALLI & ASSOCIATES COMPANY  
 23675 BIRTCHEER DRIVE  
 LAKE FOREST, CA 92630  
 PHONE: (949) 273-0996

PROJECT NO: -  
 DRAWN BY: NC/MS/RF  
 CHECKED BY: DW

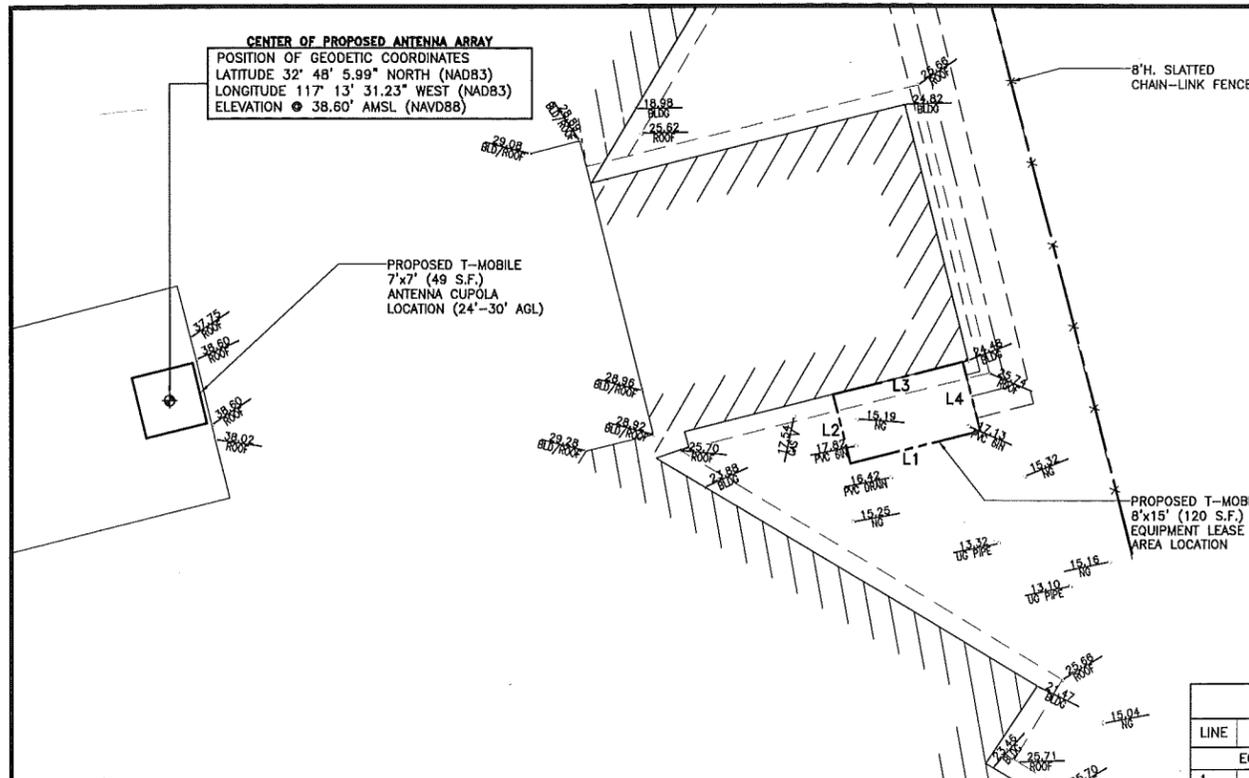
REV	DATE	DESCRIPTION
3	09/22/2014	100% ZD'S (LNDSCP DEV PLN)
2	08/15/2014	100% ZD'S (CYC. ISS. 2)
1	03/27/2014	100% ZD'S (REV EQ. LAYOUT)
0.2	9/30/2013	100% ZD'S (INC. RFDS-1)
0	9/19/2013	100% ZD'S FOR APPROVAL
B	7/29/2013	100% ZD'S FOR REDLINE
A	7/02/2013	90% ZD'S FOR REDLINE

**NOT TO BE USED FOR CONSTRUCTION**  
 IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**SD02790A**  
**ACTIVCARE**  
**2440 GRAND AVE**  
**SAN DIEGO, CA 92109**

SHEET TITLE  
**TITLE SHEET**

SHEET NUMBER  
**T-1**



**LEGEND**

- BOL BOLLARD
- TOP TOP OF ITEM
- BOT BOTTOM OF ITEM
- BLDG TOP OF BUILDING
- LP LIGHT POLE
- FL FLOW LINE
- FC FACE OF CURB
- R.O.W. RIGHT OF WAY
- AP ASPHALT
- SW SIDEWALK
- LIMITS OF PROPERTY
- - - CHAIN LINK FENCE
- U.G. UTILITY VAULT
- WATER VALVE
- UTILITY POLE
- ⊙ FOUND MONUMENT
- MANHOLE
- LIGHT POLE
- TREE
- GEODETIC MARKER
- SPOT ELEVATION

**LINE TABLE**

LINE	BEARING	DIST.
EQUIPMENT LEASE AREA		
1	S 75° 49' 54\"/>	

**EXCEPTIONS**

EXCEPTIONS/EASEMENTS/INSTRUMENTS/COVENANTS LISTED UNDER LEGAL DESCRIPTION/EXCEPTIONS/ADDITIONAL EXCEPTIONS PER TITLE INFORMATION ARE NOT PLOTTABLE/SHOWN ON THIS PLAN. THE FOLLOWING EXCEPTIONS WILL APPEAR IN POLICIES WHEN PROVIDING STANDARD COVERAGE AS OUTLINED AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

- PROPERTY TAXES, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE FISCAL YEAR 2014-2015 THAT ARE A LIEN NOT YET DUE.
- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:

TAX IDENTIFICATION NO.: 424-090-02-00  
 FISCAL YEAR: 2013-2014  
 1ST INSTALLMENT: \$15,984.94, MARKED PAID  
 2ND INSTALLMENT: \$15,984.94, UNPAID (DELINQUENT AFTER APRIL 10)  
 PENALTY AND COST: \$1608.49  
 CODE AREA: 08001

2. SUPPLEMENTAL TAXES FOR THE FISCAL YEAR 2013-2014 ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA.

1ST INSTALLMENT: \$4,100.21 MARKED PAID  
 2ND INSTALLMENT: \$4,100.21 MARKED PAID  
 CODE AREA: 08001  
 ASSESSMENT NO.: 424-090-02-00

3. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA.

4. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT.

RECORDING DATE: NOVEMBER 29, 1956  
 RECORDING NO.: IN BOOK 6349, PAGE 476 OF OFFICIAL RECORDS

5. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT:

ENTITLED: COASTAL DEVELOPMENT PERMIT NO. 979972-CONDITIONAL USE PERMIT NO. 979973-ACTIVCARE AT MISSION BAY PROJECT NO. 278939  
 DATED: JULY 11, 2013  
 EXECUTED BY: CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT AND MISSION BAY DEVELOPMENT, LLC  
 RECORDING DATE: AUGUST 15, 2013  
 RECORDING NO.: 2013-0512771 OF OFFICIAL RECORDS  
 REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

6. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE ORIGINAL AMOUNT SHOWN BELOW.

AMOUNT: \$8,400,000.00  
 DATED: OCTOBER 1, 2013  
 TRUSTOR: MISSION BAY DEVELOPMENT LLC, A CALIFORNIA LIMITED LIABILITY COMPANY  
 TRUSTEE: CHICAGO TITLE COMPANY  
 BENEFICIARY: COMERICA BANK  
 RECORDED: OCTOBER 17, 2013 AS INSTRUMENT NO. 2013-0623474 OF OFFICIAL RECORDS

7. AN UNRECORDED LEASE AFFECTING THE PREMISES HEREIN DESCRIBED, EXECUTED BY AND BETWEEN THE PARTIES HEREIN NAMED, WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN:

LESSOR: MISSION BAY DEVELOPMENT, LLC  
 LESSEE: T-MOBILE WEST TOWER LLC, A DELAWARE LIMITED LIABILITY COMPANY  
 DISCLOSED BY: SUBORDINATION, NONDISTURBANCE AND ATTORNMENT AGREEMENT  
 RECORDED: OCTOBER 22, 2013 AS INSTRUMENT NO. 2013-0629743 OF OFFICIAL RECORDS  
 THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.

7A. A DOCUMENT ENTITLED "STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT", EXECUTED BY MISSION BAY DEVELOPMENT LLC, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED JANUARY 3, 2014 AS INSTRUMENT NO. 2014-0003064 OFFICIAL RECORDS.

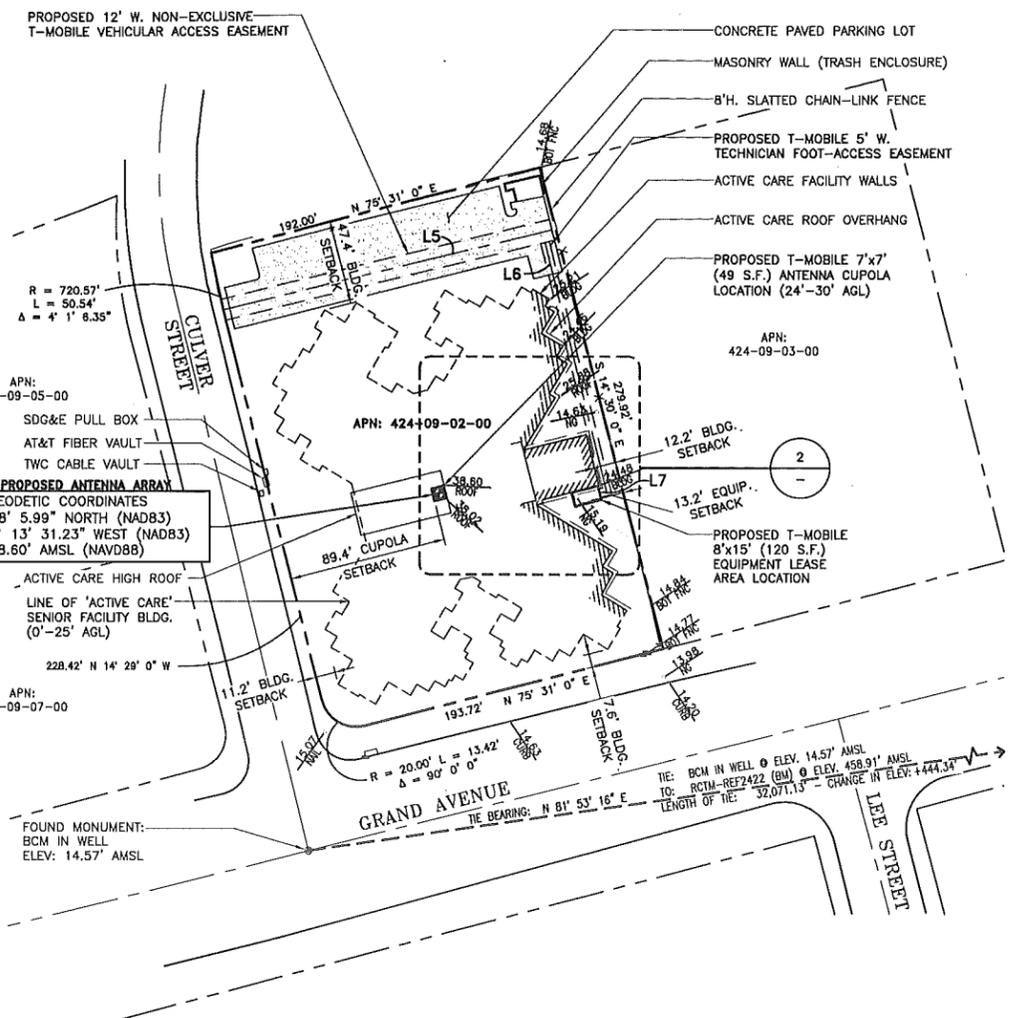
7B. A DOCUMENT ENTITLED "ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT", EXECUTED BY MISSION BAY DEVELOPMENT LLC, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED JANUARY 3, 2014 AS INSTRUMENT NO. 2014-0003066 OFFICIAL RECORDS.

8. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

9. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/ACSM LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THIS COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

THIS OFFICE MUST BE NOTIFIED AT LEAST 7 BUSINESS DAYS PRIOR TO THE SCHEDULED CLOSING IN ORDER TO ARRANGE FOR AN INSPECTION OF THE LAND; UPON COMPLETION OF THIS INSPECTION YOU WILL BE NOTIFIED OF THE REMOVAL OF SPECIFIC COVERAGE EXCEPTIONS AND/OR ADDITIONAL EXCEPTIONS TO COVERAGE.

10. ANY RIGHTS OF PARTIES IN POSSESSION OF SAID LAND, BASED ON ANY UNRECORDED LEASE, OR LEASES, THIS COMPANY WILL REQUIRE A FULL COPY OF ANY UNRECORDED LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS, AND AMENDMENTS FOR REVIEW.



**1 OVERALL VIEW**  
 1 inch = 60ft.

**UTILITY NOTES**

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION, REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**BASIS OF BEARING**

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE 50X, DETERMINED BY GPS OBSERVATIONS.

**BENCHMARK**

RTCM-REF 2422

**SURVEY DATE**

8/2/2014

**TITLE INFORMATION**

TITLE INFORMATION (LEGAL DESCRIPTION AND PROPERTY RIGHTS AND EXCEPTIONS THERETO) CONTAINED HEREIN IS PER A PRELIMINARY TITLE REPORT PROVIDED BY CHICAGO TITLE COMPANY - ORDER NO.: 1221A883-993-U21 - DATED: MARCH 20, 2014 AT 7:30 A.M.

**LEGAL DESCRIPTION**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 6 TO 8 INCLUSIVE, LOTS 17 TO 19 INCLUSIVE, AND PORTIONS OF LOTS 5 AND 20 IN BLOCK 3 OF MISSION BAY PARK TRACT, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1120 FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, TOGETHER WITH THAT PORTION OF THE ALLEY BETWEEN SAID LOTS BEING MORE PARTICULARLY DESCRIBED IN AS A WHOLE AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 17, BLOCK 3; THENCE NORTH 14° 30' WEST ALONG THE EASTERLY LINE OF SAID LOT AND ITS NORTHERLY PROLONGATION TO AND ALONG THE EASTERLY LINE OF SAID LOT 8, BLOCK 3, A DISTANCE OF 280 FEET TO THE NORTH LINE OF SAID BLOCK 3; THENCE SOUTH 75° 31' WEST, ALONG SAID NORTH LINE 192 FEET TO A POINT ON A CURVE THE CENTER OF WHICH BEARS NORTH 81° 39' 40" EAST, 295 FEET FROM SAID POINT; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 06° 08' 40" A DISTANCE OF 31.64 FEET, THENCE TANGENT TO SAID CURVE SOUTH 14° 29' WEST, 248.42 FEET TO THE SOUTH LINE OF SAID BLOCK 3; THENCE NORTH 75° 31' EAST ALONG SAID SOUTH LINE 193.72 FEET TO THE POINT OF BEGINNING.

ASSESSOR'S PARCEL NUMBER: 424-090-02

**FEMA FLOOD ZONE NOTES:**

FEMA FLOOD ZONE DESIGNATION - EFFECTIVE DATE 12/3/2009  
 SAN BERNARDINO COUNTY NATIONAL FLOOD INSURANCE PROGRAM  
 FEMA FLOOD ZONE 'X' (PER FIRM PANEL MAP # 06073C16116)  
 080295-1811-0 (COMMUNITY-PANEL NUMBER-SUFFIX)

**NOTES:**

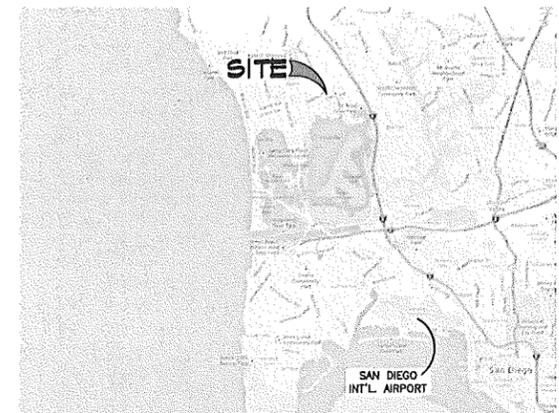
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. ZALZALI & ASSOCIATES, INC. TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING THE TWO FOUND MONUMENTS SHOWN HEREON. NO TITLE RESEARCH WAS PERFORMED BY ZALZALI & ASSOCIATES, INC.
- ANY CHANGES MADE TO THE INFORMATION ON THIS PLAN, WITHOUT THE WRITTEN CONSENT OF ZALZALI & ASSOCIATES, INC. RELIEVES ZALZALI & ASSOCIATES, INC. OF ANY AND ALL LIABILITIES.
- THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY & COPYRIGHT OF ZALZALI & ASSOCIATES, INC. & SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE SURVEYOR. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED & SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE SURVEYOR PRIOR TO COMMENCEMENT OF ANY WORK.
- EXCEPTIONS/EASEMENTS/INSTRUMENTS/COVENANTS LISTED UNDER LEGAL DESCRIPTION/EXCEPTIONS/ADDITIONAL EXCEPTIONS PER TITLE INFORMATION ARE NOT SHOWN ON THIS PLAN.
- PROPERTY DESCRIBED/SHOWN ON THIS PLAN HAS BEEN PURPOSED FOR CLEARING OF ALL EXISTING STRUCTURES AND UTILITIES, FOR REDEVELOPMENT AND IMPROVEMENTS.

PROPOSED DEMOLITION/REMOVAL TO INCLUDE: A COMMERCIAL BUILDING FRONTING GRAND AVENUE, AN ASPHALTIC CONCRETE PAVED PARKING LOT, PARKING LOT LIGHT POLES & THEIR BURIED CONDUITS/CONDUCTORS, A CELL CELL SITE EQUIPMENT ENCLOSURE AND ALL EQUIPMENT THEREIN.

PROPOSED DEVELOPMENT TO INCLUDE: A NEW 'ACTIVE CARE' SENIOR FACILITY FROM FINISHED GRADE TO ±25.1' AFG., A NEW 8'x15' (120 S.F.) CELL SITE EQUIPMENT ENCLOSURE AT GRADE, A NEW CELL ANTENNA CUPOLA ON NEW 'ACTIVE CARE' BUILDING FROM ±24.0' AFG TO ±30.0' AFG.

**DIRECTIONS TO SITE**

- FROM SAN DIEGO INT'L AIRPORT:
- FOLLOW SIGNS FOR I-5/DOWNTOWN, MERGE ONTO N HARBOR DR.
  - TURN LEFT ONTO W LAUREL STREET, THEN LEFT ONTO INDIA STREET
  - TAKE I-5 N ENTRANCE RAMP ON LEFT AND PROCEED NORTH FOR 5 MILES.
  - TAKE GRAND AVE/GARNET AVE. EXIT (EXIT RAMP BECOMES MISSION BAY DR.)
  - TURN LEFT ONTO GRAND AVENUE, THEN 1/2 MILE TO SITE LOCATION.
  - SITE LOCATION IS 2440 GRAND AVENUE, IN THE RIGHT HAND SIDE.
  - TURN RIGHT ONTO CULVER STREET AND PARK ON THE RIGHT HAND SIDE.
  - SITE IS EMPTY PARKING LOT TO BE CLEARED/GRADED FOR NEW CONSTRUCTION.



**VICINITY MAP**

**T-Mobile**  
 10509 VISTA SORRENTO PARKWAY  
 SUITE 206  
 SAN DIEGO, CA 92121

**smartlink**  
 18301 VON KARMAN AVE., SUITE 910  
 IRVINE, CA 92612  
 PHONE: (949) 387-1265

**Z ALL STATES**  
 ENGINEERING & SURVEYING  
 A ZALZALI & ASSOCIATES COMPANY  
 25675 BIRTCHESTER DRIVE  
 LAKE FOREST, CA 92680  
 PHONE: (949) 273-0996

PROJECT NO: SD02790A  
 DRAWN BY: NC  
 CHECKED BY: DW/BC

REV	DATE	DESCRIPTION
0	08/08/2014	FINAL SURVEY DRAWING
A	08/07/2014	PRELIMINARY DRAWING

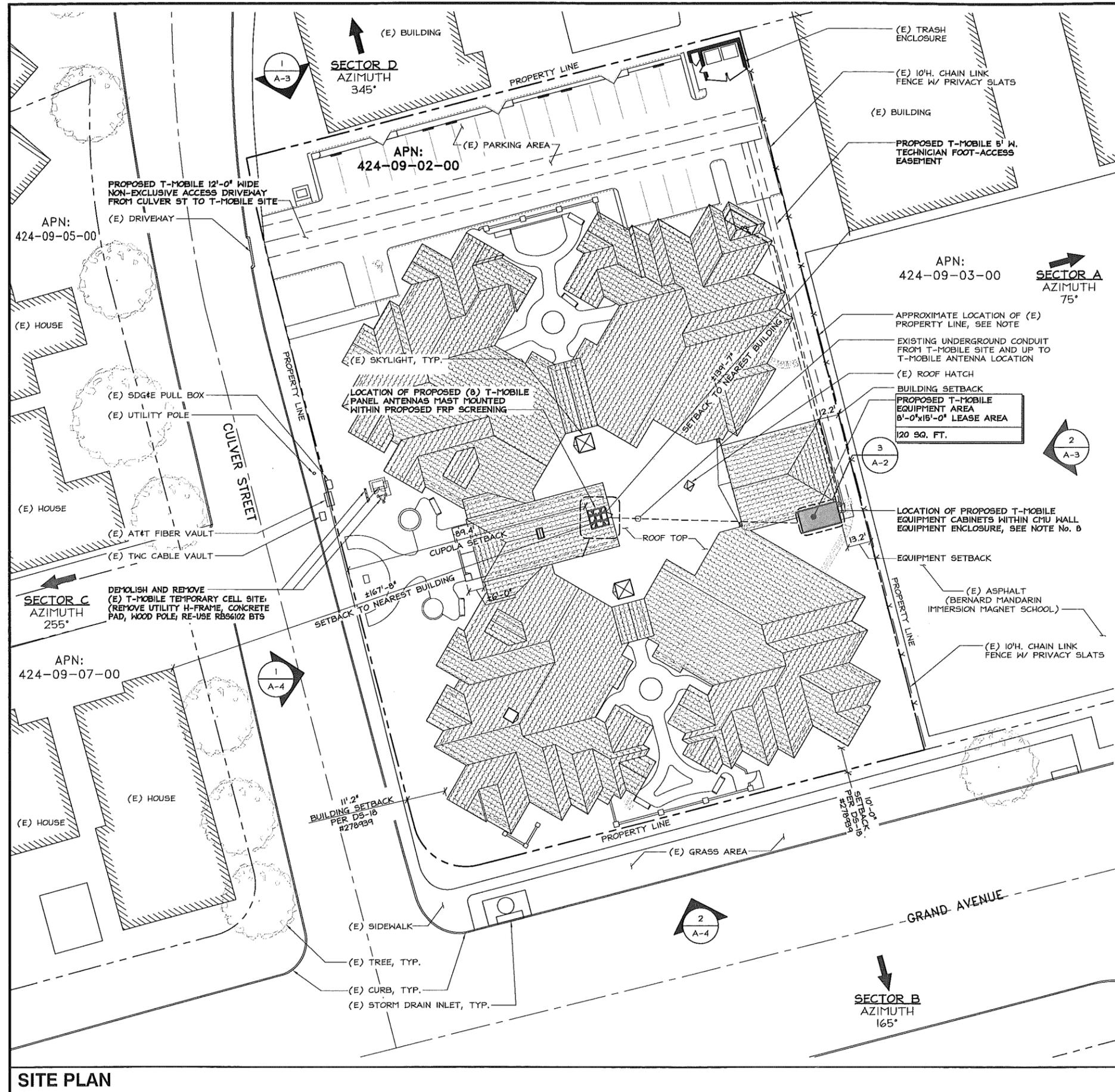
PROFESSIONAL LAND SURVEYOR  
 BRUCE T. CRANTON  
 No. 9039  
 STATE OF CALIFORNIA

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SD02790A  
 ACTIVE CARE  
 2440 GRAND AVENUE  
 SAN DIEGO, CA 92109  
 GRADE EQ./ROOFTOP CUPOLA

SHEET TITLE  
 SITE SURVEY

SHEET NUMBER  
**C-1**



- NOTES:**
1. PROPERTY LINES SHOWN ARE PRELIMINARY AND DONE WITHOUT THE BENEFIT OF A SITE SURVEY
  2. (E) ANTENNA AZIMUTHS ARE ESTIMATED AND ARE TO BE VERIFIED BY RF.
  3. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
  4. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
  5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
  8. NO TREES ON THE PROPOSED EQUIPMENT AREA WILL BE REMOVED AS PART OF THIS PROJECT.
  9. NASLAND ENGINEERING LANDSCAPE PLAN (DWG# 37583-19-D, REV 4, DATED 12-12-2013) SHOWS THAT NO REQUIRED TREES WILL BE IMPACTED BY T-MOBILE EQUIPMENT INSTALLATION/OPERATION.
  10. NO WPCP OR CONST. BMP'S ARE REQUIRED FOR THE INSTALLATION OF OPERATION OF T-MOBILE EQUIPMENT. ALL CMU AND CONCRETE IS EXISTING.

Lessee's Certificate  
Standard Wireless Facility Project  
for Post Construction BMPs

I/We the undersigned as Lessee(s) of the property described as  
2440 Grand Avenue, San Diego, CA 92109  
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shut-off devices and flow reducers

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: *[Signature]* Company Name: *Mission Bay Development, LLC*  
Date: *7/18/2014*

GRADING TABLE	
FEATURE	EXCAV. GRADING / EXPORT
EXISTING EQUIPMENT PAD	0 CU YD / 0 CU YD-100% RE-USE
EXISTING ANTENNA CABLE TRENCH	0 CU YD / 0 CU YD-100% RE-USE
EXISTING CMU ENCLOSURE	0 CU YD / 0 CU YD-100% RE-USE
EXISTING UTILITY TRENCH	0 CU YD / 0 CU YD-100% RE-USE

GRADING EXPORT IS 0 CUBIC YARDS BASED ON BYCOR/NASLAND ENGINEERING HAVING EXECUTED ALL GROUND DISTURBANCE WORK ON A SEPARATE PERMIT, PRIOR TO T-MOBILE EQUIPMENT INSTALLATION

**T-Mobile**

10509 VISTA SORRENTO PARKWAY  
SUITE 206  
SAN DIEGO, CA 92121

**smartlink**

18301 VON KARMAN AVE., SUITE 400  
IRVINE, CA 92612  
PHONE: (949) 387-1265

**ALL STATES**  
ENGINEERING & SURVEYING  
A TALLALI & ASSOCIATES COMPANY

23675 BIRTCHE DRIVE  
LAKE FOREST, CA 92630  
PHONE: (949) 273-0996

PROJECT NO: -  
DRAWN BY: NC/MS/RF  
CHECKED BY: DW

REV	DATE	DESCRIPTION
3	09/22/2014	100% ZD'S (LNDSCP DEV PLN)
2	08/15/2014	100% ZD'S (CYC. ISS. 2)
1	03/27/2014	100% ZD'S (REV EQ. LAYOUT)
0.2	9/30/2013	100% ZD'S (INC. RFDS-1)
0	9/19/2013	100% ZD'S FOR APPROVAL
B	7/29/2013	100% ZD'S FOR REDLINE
A	7/02/2013	90% ZD'S FOR REDLINE

**NOT TO BE USED FOR CONSTRUCTION**

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SD02790A  
ACTIVCARE  
2440 GRAND AVE  
SAN DIEGO, CA 92109

SHEET TITLE  
SITE PLAN

SHEET NUMBER  
**A-1**

**SITE PLAN**

24"x36" SCALE: 1" = 20'-0"  
11"x17" SCALE: 1" = 40'-0"

**T-Mobile**

10509 VISTA SORRENTO PARKWAY  
SUITE 206  
SAN DIEGO, CA 92121

**smartlink**  
COMMUNICATIONS

18301 VON KARMAN AVE., SUITE 400  
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LAKE FOREST, CA 92630  
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**NOT TO BE USED FOR CONSTRUCTION**

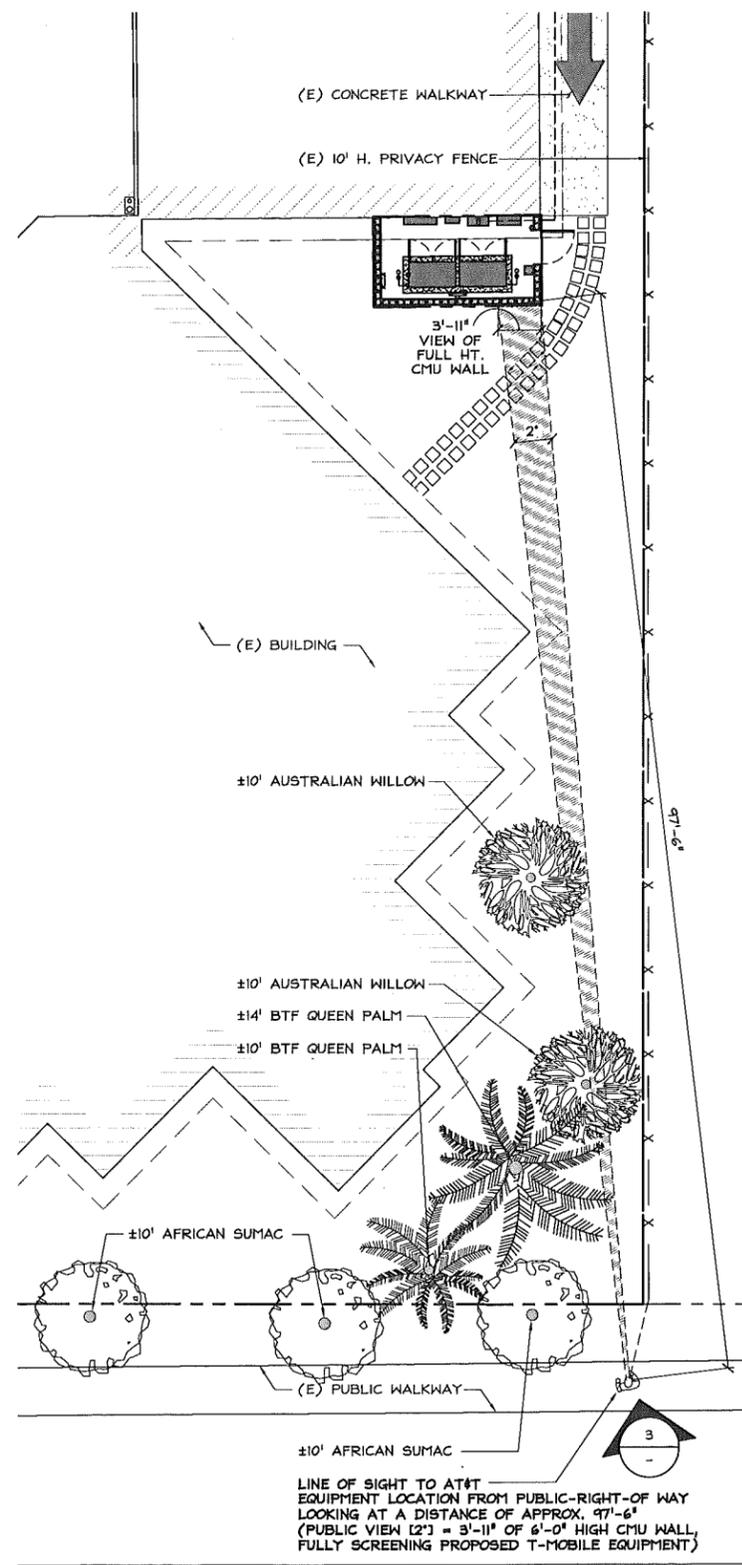
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SD02790A  
ACTIVCARE  
2440 GRAND AVE  
SAN DIEGO, CA 92109

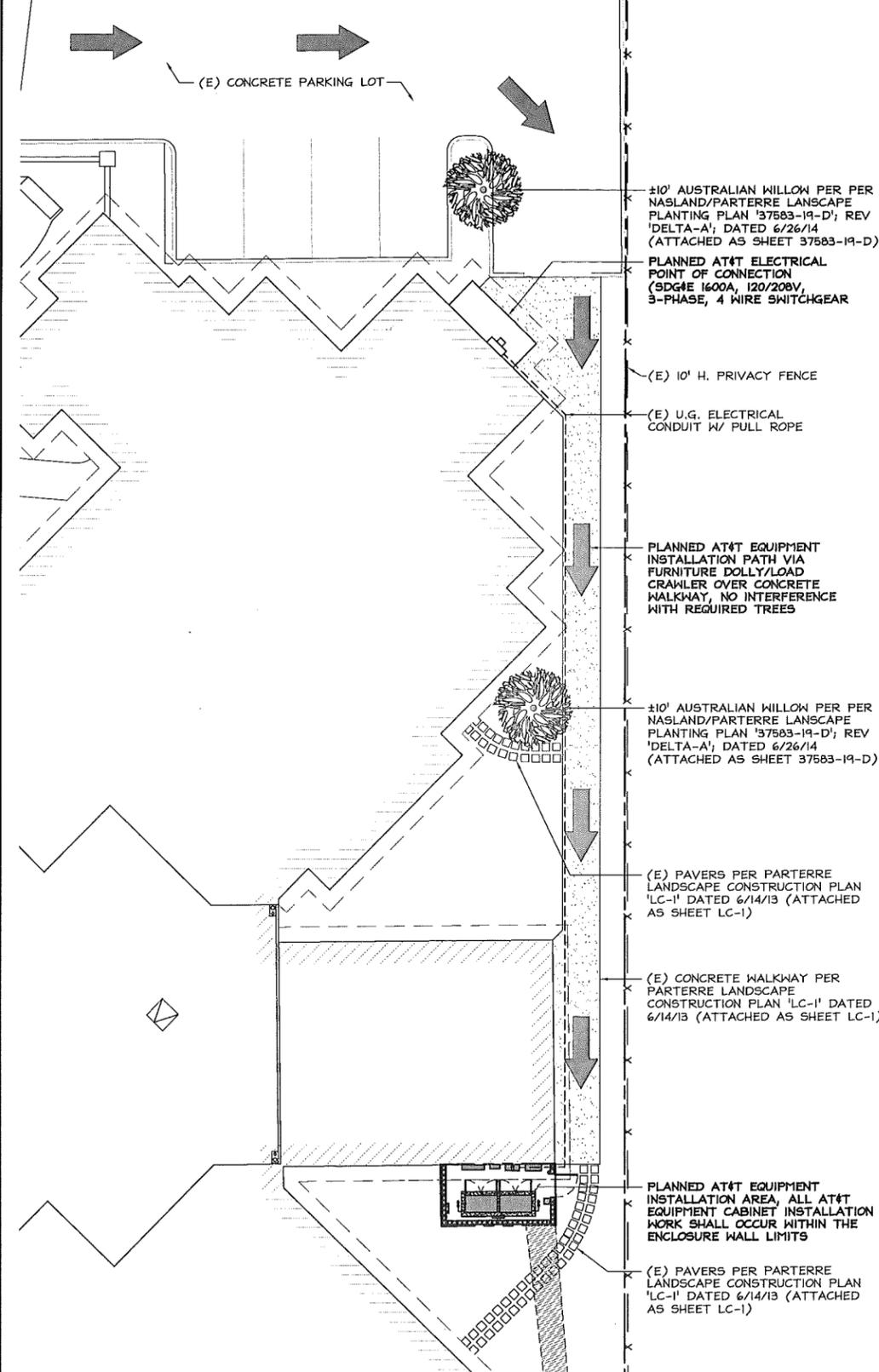
SHEET TITLE  
LANDSCAPE DEVELOPMENT PLAN

SHEET NUMBER

**A-1.1**



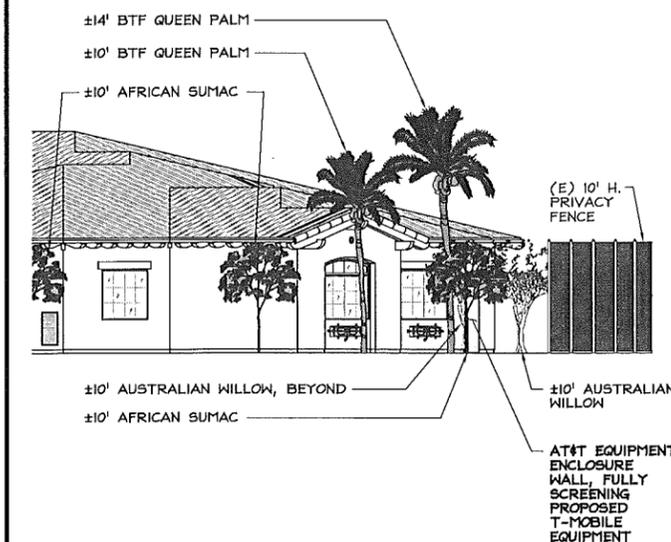
**NOTE:**  
INSTALLATION OF AT&T EQUIPMENT SHALL HAVE NO EFFECT ON PUBLIC VIEWSHED AS ALL AT&T EQUIPMENT AT GRADE IS LOCATED BEHIND A 6' HIGH CMU ENCLOSURE WALL, WHICH WILL PROVIDE FULL SCREENING OF AT&T EQUIPMENT. THE PUBLIC VIEW EXPOSURE OF THE AT&T ENCLOSURE WALL FROM THE PUBLIC R.O.W. IS MINIMIZED BY REQUIRED TREE PLANTINGS, AND BUILDING-MATCHED FINISH.



**NOTE:**  
INSTALLATION OF AT&T EQUIPMENT SHALL HAVE NO EFFECT ON CITY REQUIRED TREE INSTALLATIONS. ALL PROPOSED TREE INSTALLATIONS SHOWN ARE PER NASLAND ENGINEERING & PARTERRE INC. LANDSCAPE PLANTING PLAN 37583-19-D (REVISION ISSUE DELTA 'A', DATED 6/24/14). NO INSTALLATION MORE MAINTENANCE PROCEDURE WILL BE PERMITTED TO INTERFERE WITH REQUIRED TREE PLANTING.



**NOT USED** 24"x36" SCALE: NTS 11"x17" SCALE: NTS 4



**LINE OF SIGHT ELEVATION** 24"x36" SCALE: 1-1/2" = 1'-0" 11"x17" SCALE: 3/4" = 1'-0" 3

**LINE OF SIGHT** 24"x36" SCALE: 1/8" = 1'-0" 11"x17" SCALE: 1/16" = 1'-0" 8' 6' 4' 2' 0" 2

**LANDSCAPE DEVELOPMENT PLAN** 24"x36" SCALE: 1" = 10'-0" 11"x17" SCALE: 1" = 20'-0" 10' 5' 0' 10' 1

PLANT MATERIAL LEGEND - TREE / SHRUBS / GROUNDCOVER

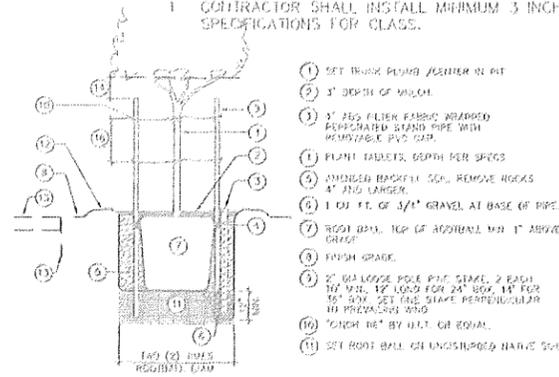
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	MINIMUM DETAIL CALIPER
<b>TREES</b>					
◆	MAGNOLIA GRANDIFLORA "LITTLE GEM"	DWARF SOUTHERN MAGNOLIA	36" BOX	8'-10" HT. / 5'-6" SP.	1.75" A
◆	MAGNOLIA GRANDIFLORA "LITTLE GEM"	DWARF SOUTHERN MAGNOLIA	24" BOX	7'-8" HT. / 4'-5" SP.	1.25" A
●	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	10'-12" HT. / 4'-5" SP. STANDARD	1.25" A
●	GEUERA PARVIFOLIA	AUSTRALIAN WILLOW	24" BOX	9'-10" HT. / 3'-4" SP. STANDARD	1.25" A
⊙	PHOENIX ROEBELENI	PYGMY DATE PALM	36" BOX	5'-8" HT. / 5" SP. MINIMUM THREE TRUNKS	N.A. R5D L-2
◆	RHUS LANCEA	AFRICAN SUMAC	24" BOX	9'-10" HT. / 3'-4" SP. STANDARD	1.25" A
▲	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	10" BIF	STRAIGHT TRUNKS, NO SCARS, REMOVE FROM ENDS FROM TRUNK. (BIF-BROWN TRUNK FOOT)	10"
▲	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	14" BIF		10"
<b>SHRUBS/VINES</b>					
●	ACHILLEA MILLEFOLIUM	COMMON YARROW	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	R5D L-2
●	AGAVE ATTENUATA	AGAVE	15 GAL.	FULL, FLESHY LEAVES, NO SCARS	
●	AGAPANTHUS AFRICANUS "BLUE"	LILY OF THE NILE	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	AGAPANTHUS AFRICANUS "WHITE"	LILY OF THE NILE	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	RHUS MICROPHYLLA JAPONICA "GREEN BEAUTY"	JAPANESE GOYWOOD	5 GAL.	FULL, FLESHY LEAVES	
●	CALLESSECH VIMINALIS "LITTLE JEM"	DWARF BOTTLEBRUSH	1 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	ESCALONIA "TRADESM"	ESCALONIA	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	FATSIA JAPONICA	JAPANESE ABALIA	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	HEMEROCALLIS HYBRID "LEMON YELLOW"	LEMON YELLOW DAYLILY	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	HEMEROCALLIS HYBRID "ORANGE"	ORANGE DAYLILY	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
(L1)	LANTANA SELLOMANA	TRAINING LANTANA	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
(L2)	LANTANA HYBRID "SPREADING SUNSHINE"	NON	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	LEUCOPHYLIUM FRUSTRANS	TEXAS SAGE	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	LIRIOPE MUSCARI	BIG BLUE LILY TURF	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	MANGNIA REPERT	CREEPING MANGNIA	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	MYOPORIUM PARVIFOLIUM "PINK"	NON	1 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	PASSIFLORA PPRORIN	PASSION VINE	15 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	PHORUM HYBRID "YELLOW WAVE"	NEW ZEALAND FLAX	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	PHORUM HYBRID "BUSKY GRASS"	NEW ZEALAND FLAX	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	PHILODENDRON "AMAZON"	DWARF PHILODENDRON	1 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	RHAPHOLEPS "RABICA "BALLERINA"	INDIAN HAWTHORN	1 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	RHAPHOLEPS "INDICA "CLARA"	INDIAN HAWTHORN	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	SALVA LEOGANTHA	MEXICAN BUSH SAGE	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	STREPTICIA REGINAE	BIRD OF PARADISE	5 GAL.	FULL, BUSHY, GOOD GREEN COLOR	
●	IPACHNELOSPERMUM ASIATICUM	NON	1 GAL.	FULL, BUSHY, GOOD GREEN COLOR	

GROUNDCOVER

■	ANNUAL COLOR	NON	4" POTS	FULL, BUSHY, GOOD GREEN COLOR, FULL BLOSSOMS, 6" ON CENTER
■	LIRIOPE MUSCARI "SILVER SWAMP"	BIG BLUE LILY TURF	1 GAL.	FULL, BUSHY, GOOD GREEN COLOR, INSTALL 18" ON CENTER.
■	MARANTHA 4 (DWARF TALL FESCUE)		200	GOOD GREEN COLOR, NO BRY SPOTS.
■	RIVER ROCK MULCH			

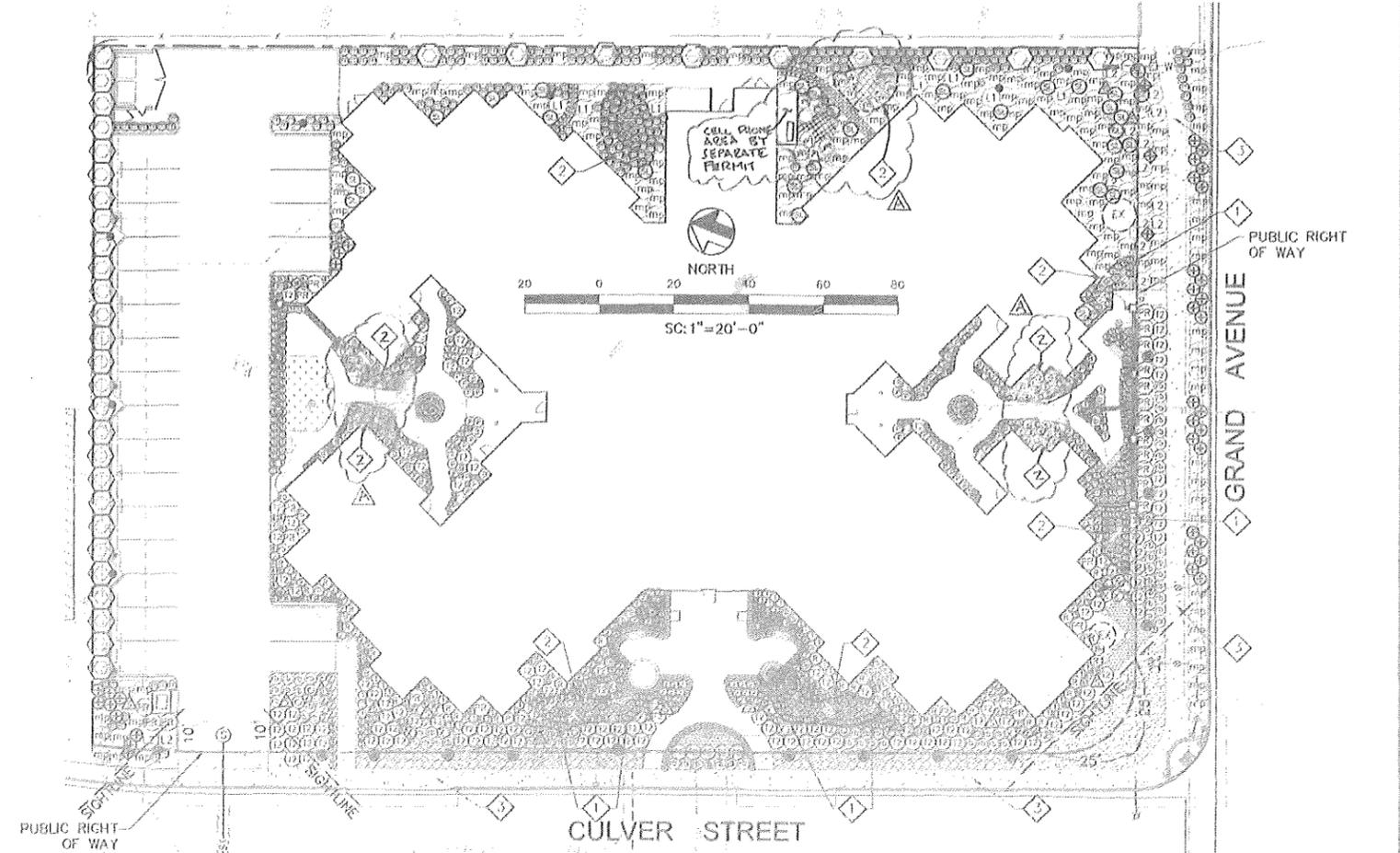
PLANTING NOTES

1. CONTRACTOR SHALL INSTALL MINIMUM 3 INCH DEPTH OF WOOD MULCH IN ALL PLANTING AREAS. SEE SPECIFICATIONS FOR CLASS.



- SET TRUNK PLUMB / CENTER IN POT
- 3" DEPTH OF MULCH
- 3" FIBER FABRIC WRAPPED PERFORATED STAND PIPE WITH REMOVABLE PVC CAP.
- PLANT TABLETS, DEPTH PER SPECS
- REMOVE BACKFILL SOIL, REMOVE HOOKS 4" FIBER LARGER
- 1 LB 11. OF 3/4" GRAVEL AT BASE OF PIPE.
- ROOT BALL, TOP OF ANCHORING MIN 1" ABOVE FRESH DRAIN
- FINISH GRADE.
- 2" WALLACE POLE POST STAKE, 2 EACH 10' MIN. 12' LONG FOR 24" BOX, 14' FOR 36" BOX. SET ONE STAKE PERPENDICULAR TO PREVIOUS ONE
- "ONCH BE" BY WLT. OR EQUAL.
- SET ROOT BALL ON UNDERGROUND BARRIER SOIL.
- 3" HIGH BERM IN SPECIMEN/GROUND COVER AREAS ONLY. IN CURB AREAS MAINTAIN 18" FROM TREE TRUNK
- "200 DRAINER" ROOT CONTROL SYSTEM, SEE NOTE
- SOFT STAKED 6" BROWN CANOPY
- CONC. WALK, STEP, WALL, CURB FOUNDATION OR WATER QUALITY TREATMENT BMP AREA. NOTE: INSTALL STAND PIPE AND GRAVEL AT BASE WITH SPECIMEN (24" BOX & LARGER) TREE ONLY.
- INSTALL 10 FEET LENGTH OF ROOT CONTROL SYSTEM CENTERED ON THE TRUNK FOR ALL TREE (EXCEPT) LOCATED WITHIN 5'-0" OF CONC. WALKS, CURBS, WALLS, OR FOUNDATIONS.
- INSTALL 10 FEET LENGTH OF ROOT CONTROL SYSTEM ADJUSTED TO WATER QUALITY TREATMENT BMP AREA AS SHOWN ON SHEET UP-1. USE 19.5 INCH WIDE FABRIC. MAINTAIN MINIMUM 5'-0" CLEARANCE FROM TREE TRUNK TO ROOT CONTROL SYSTEM. INSTALL PER MANUFACTURER'S REQUIREMENTS

(A) SPECIMEN TREE PLANTING / DOUBLE STAKE



GENERAL LANDSCAPE NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MINIMUM DISTANCE TO STREET TREE: TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET UNDERGROUND UTILITY LINES - 5 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET DRIVEWAYS (ENTRIES) - 10 FEET INTERSECTIONS (INTERSECTING CURBLINE OF TWO STREETS) - 25 FEET
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE IRRIGATION SYSTEM WILL INCLUDE A COMBINATION OF DRIP AND OVERHEAD SPRAY SYSTEMS.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL 142.0411(a).
- ROOT BARRIER NOTE: A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER LDC 142.0403(b)(5).
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS WITHIN THE PUBLIC ROW SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

PLAN NOTE

- INSTALL 10'-0" LENGTH OF ROOT CONTROL ALONG EDGE OF BIORETENTION BASIN. VERIFY LOCATION PRIOR TO INSTALLATION.
- WATER QUALITY TREATMENT BMP BASIN, TYP. THIS SYM. MAINTAIN MINIMUM 5'-0" CLEARANCE TO ALL TREES. INSTALL ROOT CONTROL PER PLAN NOTE 1.
- CONCRETE PAVING, TYP. THIS SYM.

**NASLAND ENGINEERING**  
 CIVIL ENGINEERING • SURVEYING • LAND PLANNING  
 4710 Eufrasia Street, San Diego, California, 92111 • 619-292-7770

REVISION	DATE	BY	PROJECT ENGR.
ORIGINAL			

DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 JOB NO. \_\_\_\_\_

**PARTERRE**  
 SITE PLANNING / LANDSCAPE DESIGN / LANDSCAPE ARCHITECTURE  
 1301 Hayes Avenue San Diego, CA 92104  
 Phone (619) 298-3713 Fax (619) 298-3760



PRIVATE CONTRACT  
 PLANNING PLAN FOR:  
**ACTVCARE AT MISSION BAY**

CITY OF SAN DIEGO, CALIFORNIA  
 DEVELOPMENT SERVICES DEPARTMENT  
 SHEET 19 OF 20, SHEETS

NO # 24003907  
 PIS # 329825  
 V.T.U. N/A

DESCRIPTION	BY	DATE	FILED
ORIGINAL	PAR		
NE	Chic	12/13/07	3/14/08

AS-BUILTS  
 CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
 INSPECTOR: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

1872-6259  
 NAD83 COORDINATES  
 230-1699  
 LAMBERT COORDINATES

37583-19-D

RELOCATE BMP AREA

SITE PLANNING  
URBAN DESIGN  
LANDSCAPE ARCHITECTURE  
1521 HAVES AVENUE  
SAN DIEGO, CALIFORNIA 92103  
PHONE: (619) 296-3713  
FAX: (619) 296-3702

# ActivCare at Mission Bay

## ActivCare Living

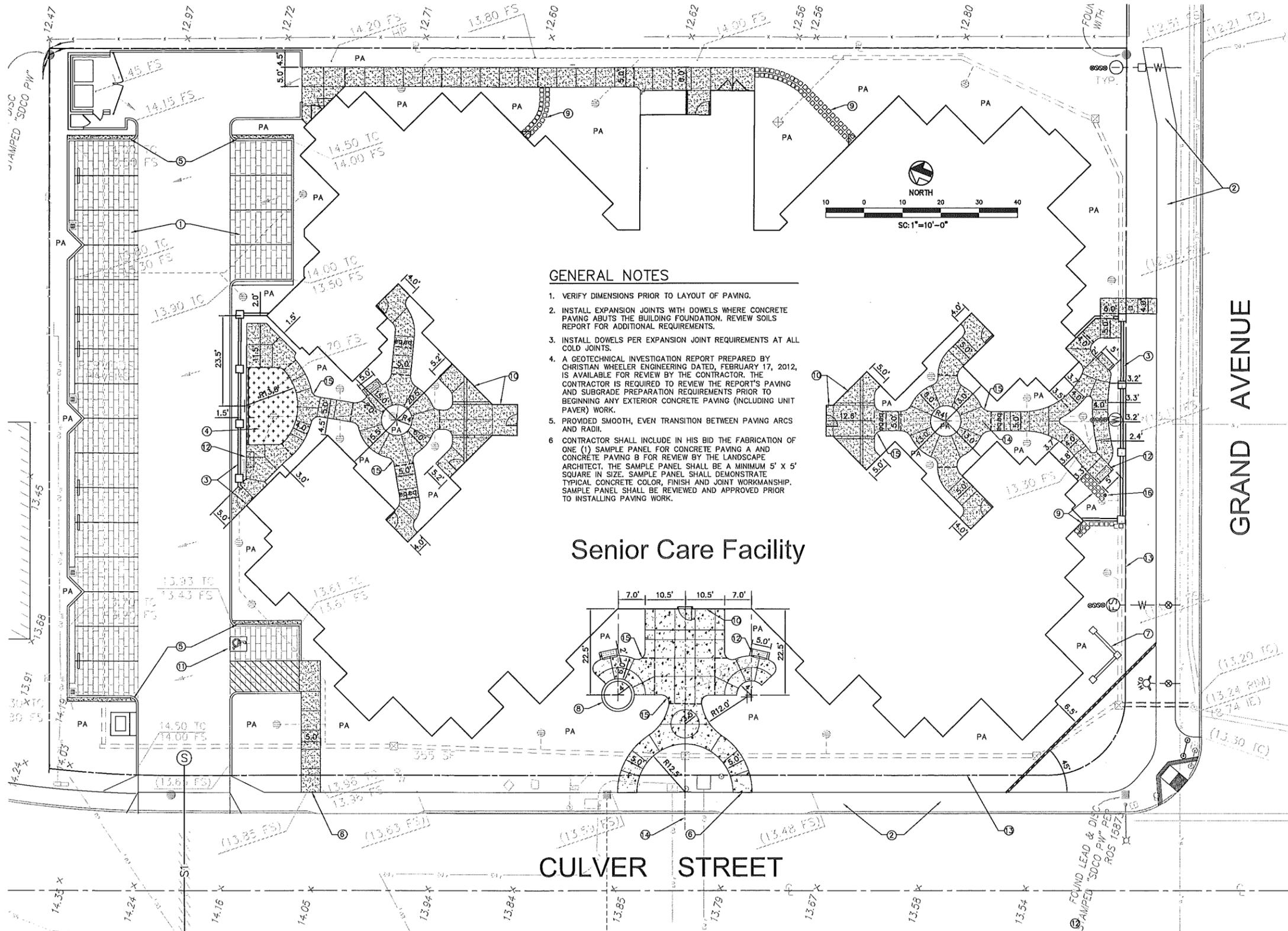
San Diego, California



DRAWN: PO  
CHECKED: LO  
ISSUED:  
MAY 14, 2013  
JUNE 14, 2013

PROJECT NO. 22008  
SHEET TITLE  
**LANDSCAPE CONSTRUCTION PLAN**  
SHEET NO.  
**LC-1**

PRELIMINARY - NOT FOR CONSTRUCTION



### GENERAL NOTES

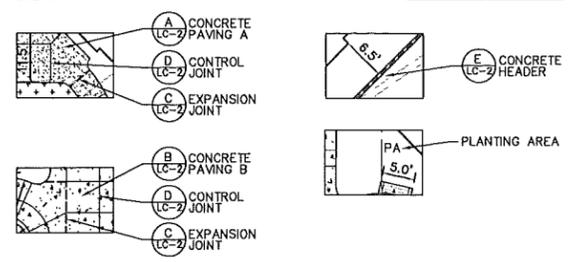
1. VERIFY DIMENSIONS PRIOR TO LAYOUT OF PAVING.
2. INSTALL EXPANSION JOINTS WITH DOWELS WHERE CONCRETE PAVING ABUTS THE BUILDING FOUNDATION. REVIEW SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
3. INSTALL DOWELS PER EXPANSION JOINT REQUIREMENTS AT ALL COLD JOINTS.
4. A GEOTECHNICAL INVESTIGATION REPORT PREPARED BY CHRISTIAN WHEELER ENGINEERING DATED, FEBRUARY 17, 2012, IS AVAILABLE FOR REVIEW BY THE CONTRACTOR. THE CONTRACTOR IS REQUIRED TO REVIEW THE REPORT'S PAVING AND SUBGRADE PREPARATION REQUIREMENTS PRIOR TO BEGINNING ANY EXTERIOR CONCRETE PAVING (INCLUDING UNIT PAVER) WORK.
5. PROVIDED SMOOTH, EVEN TRANSITION BETWEEN PAVING ARCS AND RADII.
6. CONTRACTOR SHALL INCLUDE IN HIS BID THE FABRICATION OF ONE (1) SAMPLE PANEL FOR CONCRETE PAVING A AND CONCRETE PAVING B FOR REVIEW BY THE LANDSCAPE ARCHITECT. THE SAMPLE PANEL SHALL BE A MINIMUM 5' X 5' SQUARE IN SIZE. SAMPLE PANEL SHALL DEMONSTRATE TYPICAL CONCRETE COLOR, FINISH AND JOINT WORKMANSHIP. SAMPLE PANEL SHALL BE REVIEWED AND APPROVED PRIOR TO INSTALLING PAVING WORK.

### Senior Care Facility

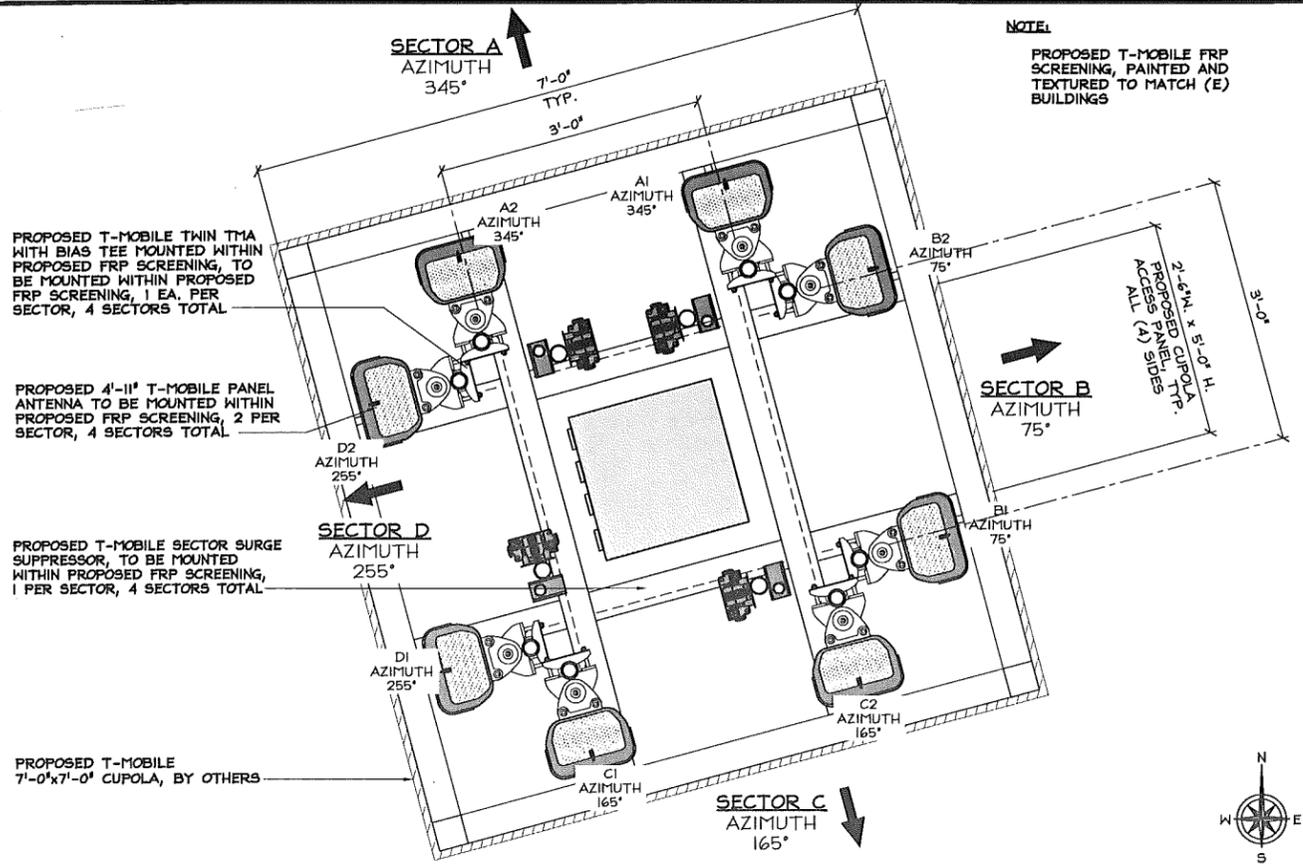
### PLAN NOTES

- |  |  |
|--|--|
| <p>① CONCRETE UNIT PAVERS, TYPICAL THIS SYMBOL. VENDOR/MODEL: ACKER-STONE INDUSTRIES/AQUA-VA ML". LAYING PATTERN, HERRINGBONE, 90° DEGREE TO CURB LINE. COLOR: RED/TAN/CHARCOAL. SEE CIVIL IMPROVEMENT PLANS FOR INSTALLATION DETAIL.</p> <p>② PUBLIC RIGHT OF WAY PAVING, SEE CIVIL IMPROVEMENT PLANS.</p> <p>③ FENCE/GATE/WALL, TYPICAL THIS SYMBOL. SEE CIVIL/ARCH. PLANS FOR LAYOUT AND INSTALLATION REQUIREMENTS.</p> <p>④ SYNTHETIC PUTTING GREEN, TYPICAL THIS SYMBOL. INSTALL PER OWNER'S REQUIREMENTS.</p> <p>⑤ 1'-0" WIDE CONCRETE PAD, MEDIUM BROOM FINISH, TYPICAL THIS SYMBOL. CONTROL JOINT, 5' ON CENTER PERPENDICULAR TO CURB.</p> <p>⑥ EXPANSION JOINT BETWEEN ON-SITE AND OFF-SITE CONCRETE WALK, TYPICAL.</p> <p>⑦ MONUMENT SIGN, SEE ARCHITECTURAL PLANS.</p> <p>⑧ FOUNTAIN, INSTALL PER OWNER'S REQUIREMENTS.</p> <p>⑨ CONCRETE STEPPERS, 1' X 1' SQUARE, MINIMUM 2" THICK, NATURAL GREY COLOR, SLIP RESISTANT FINISH. COMPACT SUBGRADE. VERIFY LAYOUT PRIOR TO PLACING. TYPICAL THIS SYMBOL.</p> | <p>⑩ EXPANSION JOINT ON ALL SIDES OF PAVING ADJACENT TO BUILDING EDGE, TYPICAL.</p> <p>⑪ INSTALL CONCRETE UNIT PAVER HANDICAPPED PARKING LOGO IN STALL. ACKER-STONE OR APPROVED EQUAL. ALIGN WITH BOTTOM OF DIAGONAL STRIPES, CENTER IN STALL.</p> <p>⑫ BENCH PROVIDED AND INSTALLED BY OWNER. TYPICAL THIS SYMBOL.</p> <p>⑬ RIGHT OF WAY.</p> <p>⑭ CENTERLINE TO FRONT DOOR.</p> <p>⑮ 2'-0" RADIUS UNLESS NOTED OTHERWISE.</p> <p>⑯ FLAGPOLE, OWNER SUPPLIED/CONTRACTOR INSTALLED, VERIFY LOCATION.</p> |
|--|--|

### LEGEND



ALL DESIGN, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF PARTNER AND WERE CREATED, ENVELOPED AND DEVELOPED FOR USE IN AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PARTNER.



**NOTES TO CONTRACTOR:**

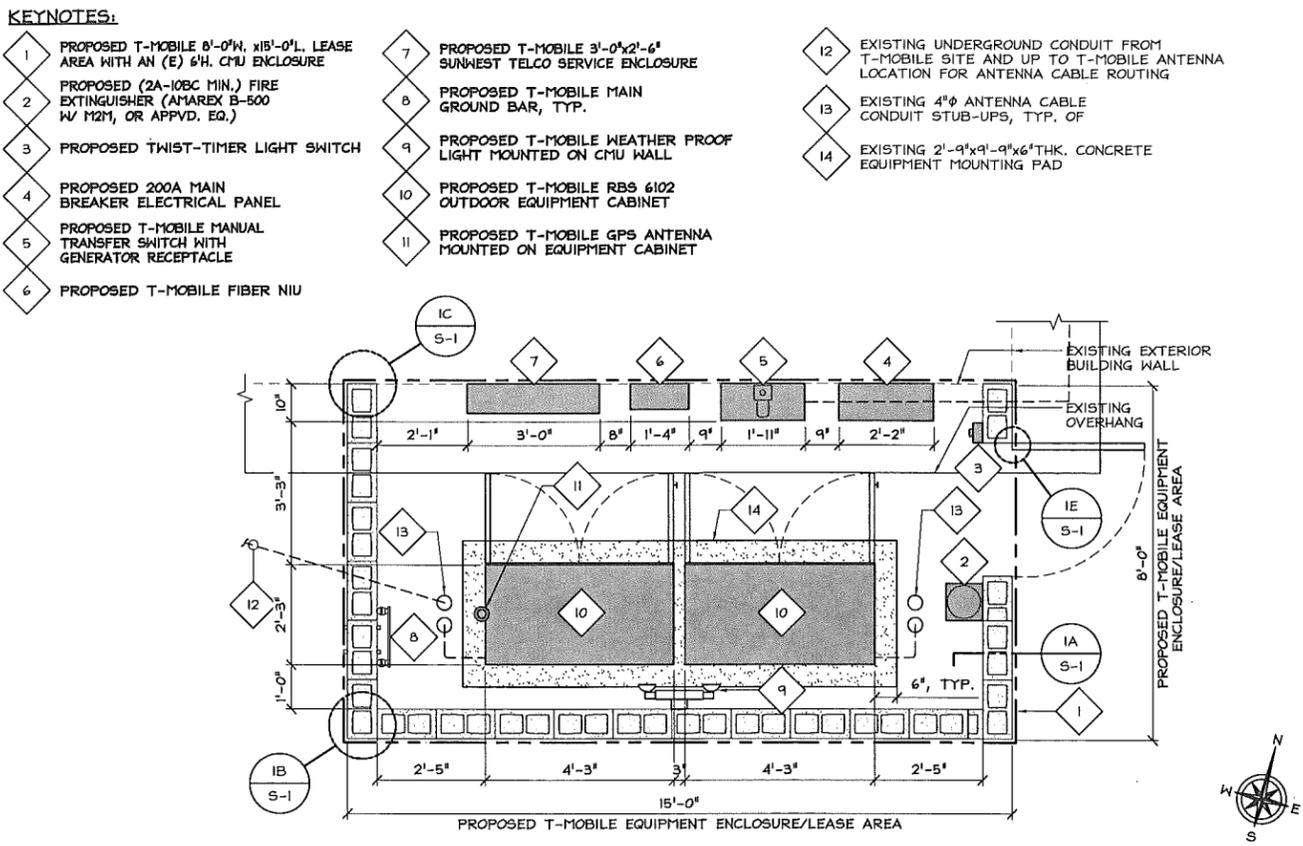
- CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION
- CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK

**PROPOSED OPTIMAL ANTENNA AND TRANSMISSION CABLES REQUIREMENT (VERIFY WITH CURRENT RFDS)**

ANTENNA	PROPOSED TECHNOLOGY	ANTENNA MODEL	ANTENNA AZIMUTH	PROPOSED RAD CENTER	TRANSMISSION LINE		
					LENGTH	PART NUMBER	
SECTOR A	A1	GSM/UMTS 1900 + UMTS AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	345°	26'-10"	±90'	(2) FIBER, (1) DC PWR, (4) 7/8" COAX
	A2	LTE AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	345°	26'-10"	±90'	(1) FIBER (ACTIVE) + (1) FIBER (SPARE), (1) DC PWR
SECTOR B	B1	GSM/UMTS 1900 + UMTS AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	75°	26'-10"	±90'	(2) FIBER, (1) DC PWR, (4) 7/8" COAX
	B2	LTE AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	75°	26'-10"	±90'	(1) FIBER (ACTIVE) + (1) FIBER (SPARE), (1) DC PWR
SECTOR C	C1	GSM/UMTS 1900 + UMTS AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	165°	26'-10"	±90'	(2) FIBER, (1) DC PWR, (4) 7/8" COAX
	C2	LTE AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	165°	26'-10"	±90'	(1) FIBER (ACTIVE) + (1) FIBER (SPARE), (1) DC PWR
SECTOR D	C1	GSM/UMTS 1900 + UMTS AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	255°	26'-10"	±90'	(2) FIBER, (1) DC PWR, (4) 7/8" COAX
	C2	LTE AWS	ERICSSON/KATHREIN AIR21 B2A/B4P	255°	26'-10"	±90'	(1) FIBER (ACTIVE) + (1) FIBER (SPARE), (1) DC PWR

**PROPOSED ANTENNA LAYOUT**

24"x36" SCALE: 1/2" = 1'-0"  
 11"x17" SCALE: 1/4" = 1'-0"



**PROPOSED EQUIPMENT LAYOUT**

24"x36" SCALE: 1/2" = 1'-0"  
 11"x17" SCALE: 1/4" = 1'-0"

**ANTENNA & COAX SCHEDULE**

**REMOTE RADIO UNITS (RRU'S)**

ANTENNA	RRU TYPE	QTY.	RRU LOCATION (DISTANCE FROM ANTENNA)	RRU MINIMUM CLEARANCES			DC CABLE	
				ABOVE	BELOW	SIDES	LENGTH	AWG
SECTOR A	A1							
SECTOR A	A2							
SECTOR B	B1							
SECTOR B	B2							
SECTOR C	C1							
SECTOR C	C2							
SECTOR D	D1							
SECTOR D	D2							

**RRU'S NOT USED WITH AIR-21 ANTENNAS**

**SURGE SUPPRESSION SYSTEM**

MANUFACTURER	PART NUMBER	QTY.	LOCATION
RAYCAP	DC12-48-60-RM1	1	MOUNTED IN EQUIPMENT CABINET
RAYCAP	DC6-48-60-10-0F 'SQUID'	4	(1) MOUNTED NEAR EACH SECTOR

**EQUIPMENT SCHEDULES**

**T-Mobile**

10509 VISTA SORRENTO PARKWAY  
 SUITE 206  
 SAN DIEGO, CA 92121

**smartlink**

18301 VON KARMAN AVE., SUITE 400  
 IRVINE, CA 92612  
 PHONE: (949) 387-1265

**ALL STATES**  
 ENGINEERING & SURVEYING  
 A TALLALI & ASSOCIATES COMPANY

23675 BIRTCHE DRIVE  
 LAKE FOREST, CA 92630  
 PHONE: (949) 273-0996

PROJECT NO: -  
 DRAWN BY: NC/MS/RF  
 CHECKED BY: DW

REV	DATE	DESCRIPTION
3	09/22/2014	100% ZD'S (LNDSCP DEV PLN)
2	08/15/2014	100% ZD'S (CYC. ISS. 2)
1	03/27/2014	100% ZD'S (REV EQ. LAYOUT)
0.2	9/30/2013	100% ZD'S (INC. RFDS-1)
0	9/19/2013	100% ZD'S FOR APPROVAL
B	7/29/2013	100% ZD'S FOR REDLINE
A	7/02/2013	90% ZD'S FOR REDLINE

**NOT TO BE USED FOR CONSTRUCTION**

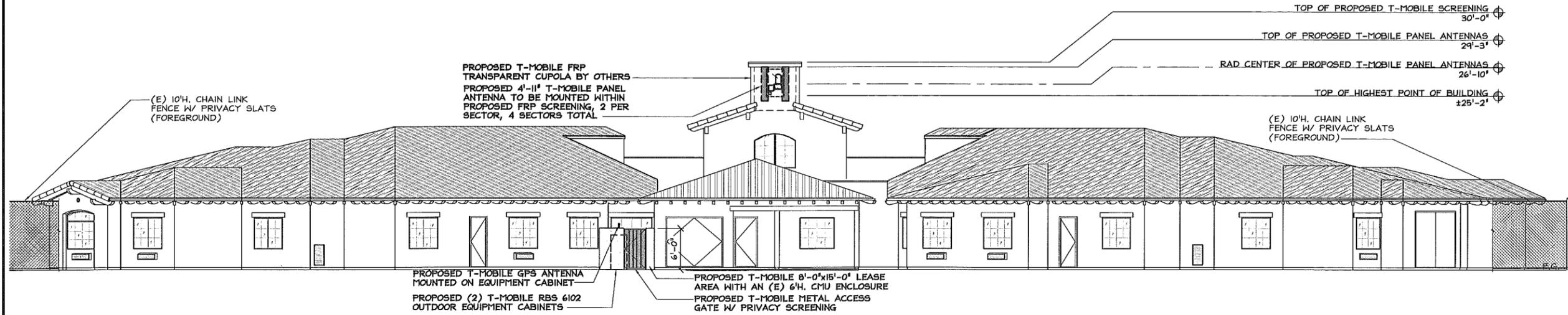
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SD02790A  
 ACTIVCARE  
 2440 GRAND AVE  
 SAN DIEGO, CA 92109

SHEET TITLE  
**EQUIPMENT & ANTENNA LAYOUTS**

SHEET NUMBER  
**A-2**

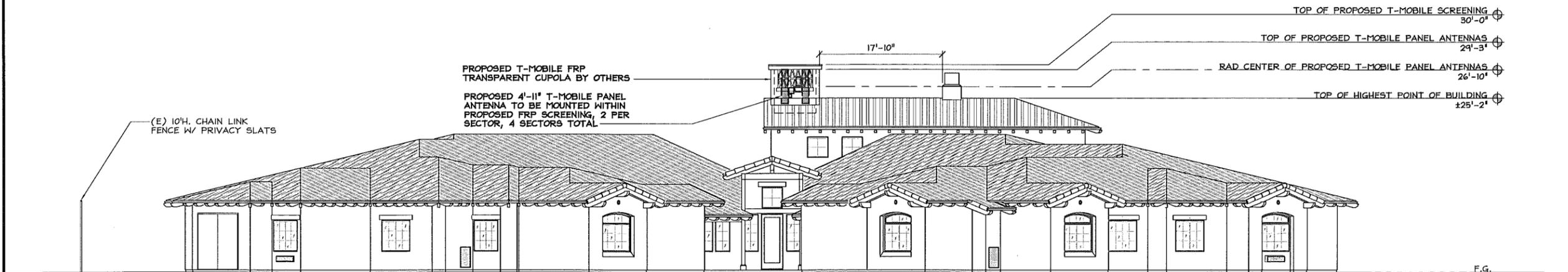
NOTE:  
PROPOSED T-MOBILE FRP SCREENING TO BE PAINTED & TEXTURED TO MATCH (E) BUILDING



PROPOSED NORTHEAST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"  
8' 6" 4' 2' 0" 8' 2

NOTE:  
PROPOSED T-MOBILE FRP SCREENING TO BE PAINTED & TEXTURED TO MATCH (E) BUILDING



PROPOSED NORTHWEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"  
8' 6" 4' 2' 0" 8' 1



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B	7/29/2013	100% ZD'S FOR REDLINE
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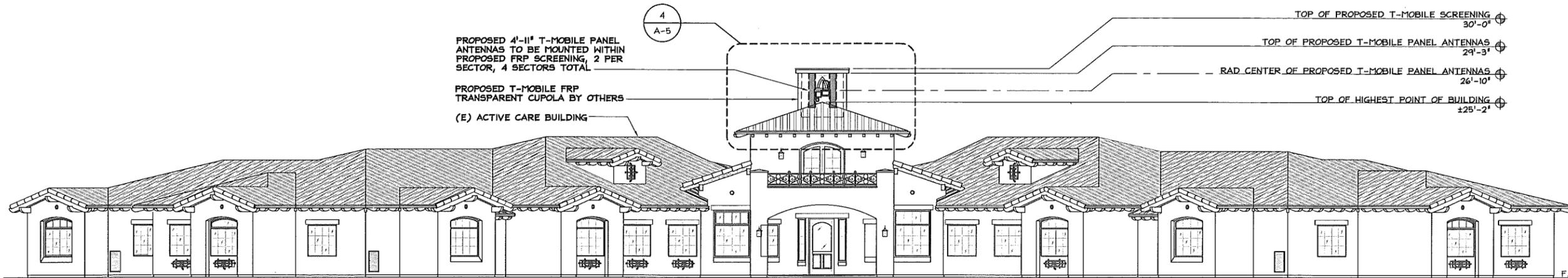
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2440 GRAND AVE  
SAN DIEGO, CA 92109

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
**A-3**

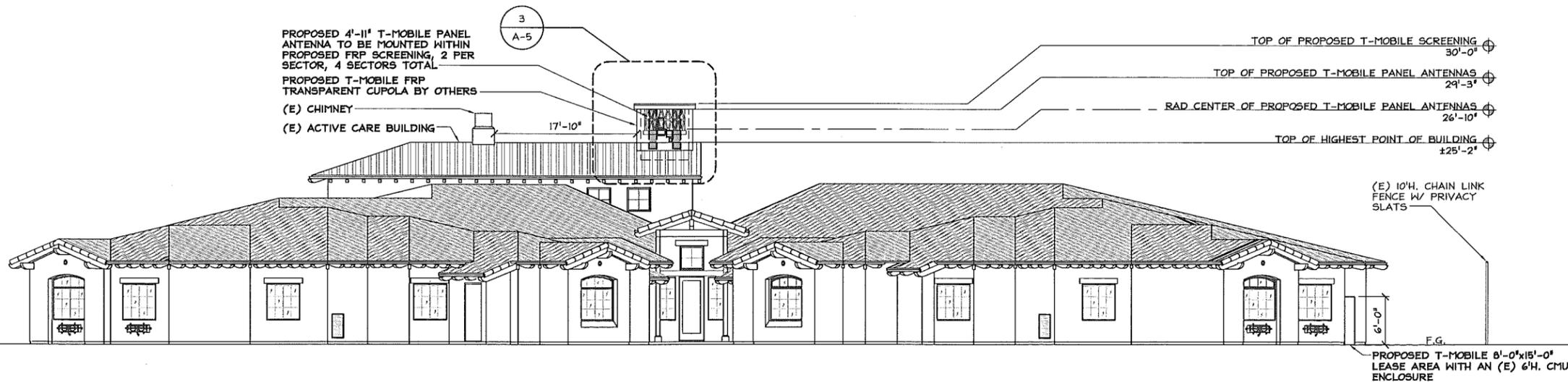
NOTE:  
PROPOSED T-MOBILE FRP SCREENING TO BE PAINTED & TEXTURED TO MATCH (E) BUILDING



PROPOSED SOUTHWEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"  
0' 6' 4' 2' 0" 8' 2

NOTE:  
PROPOSED T-MOBILE FRP SCREENING TO BE PAINTED & TEXTURED TO MATCH (E) BUILDING



PROPOSED SOUTHEAST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"  
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0' 6' 4' 2' 0" 8' 1

T-Mobile

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A ZALZALI & ASSOCIATES COMPANY

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0	9/19/2013	100% ZD'S FOR APPROVAL
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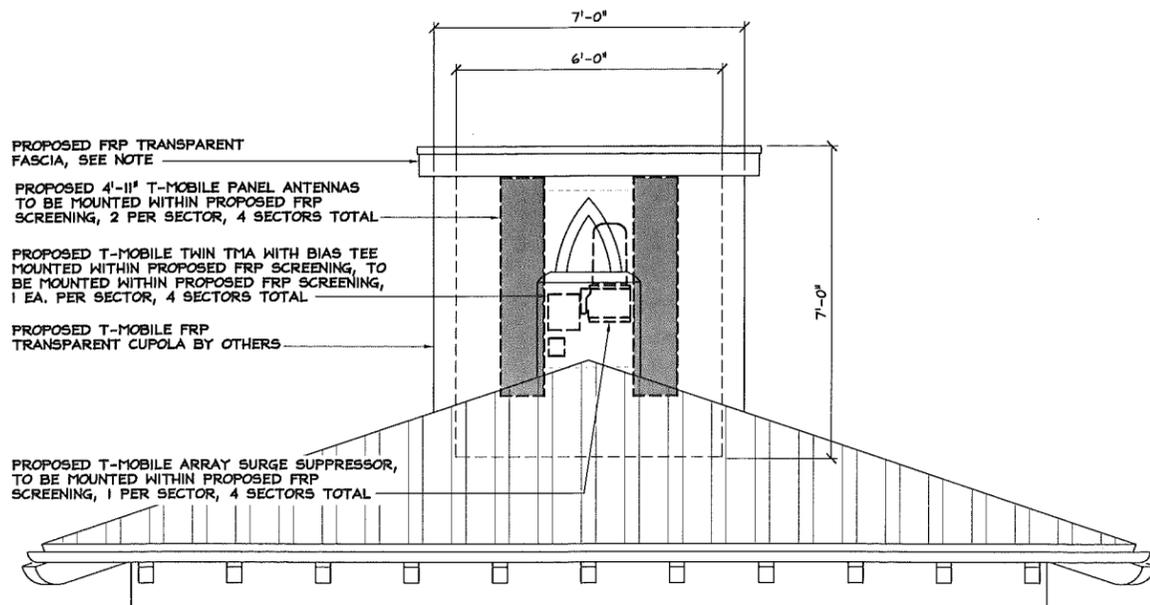
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2440 GRAND AVE  
SAN DIEGO, CA 92109

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
A-4

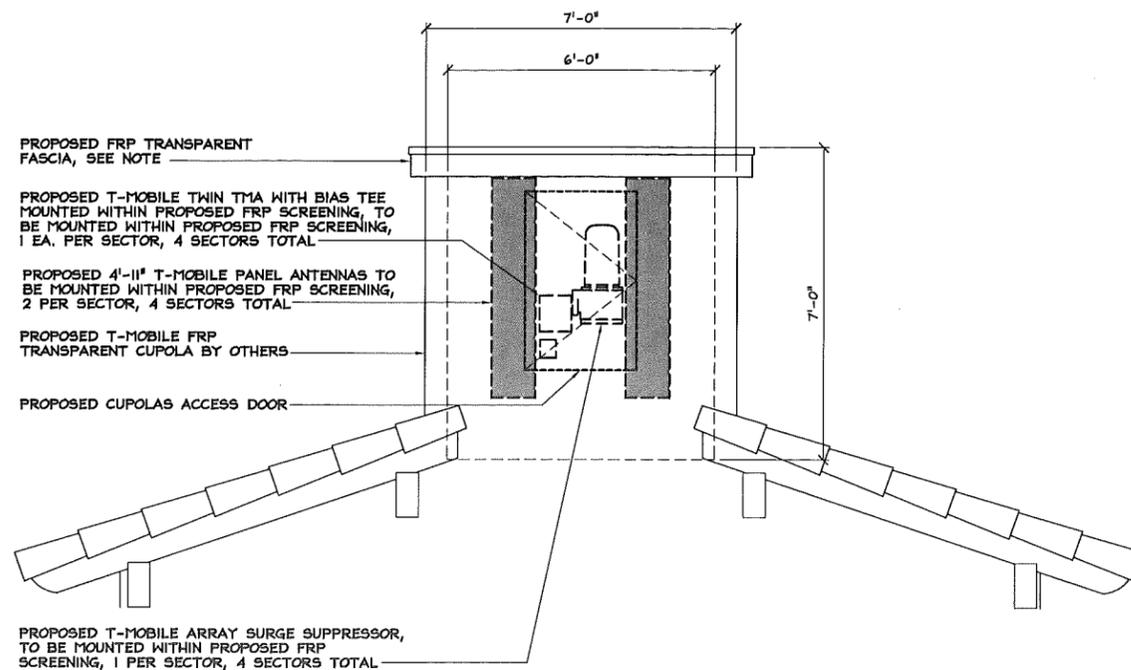
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PROPOSED SOUTHWEST ELEVATION

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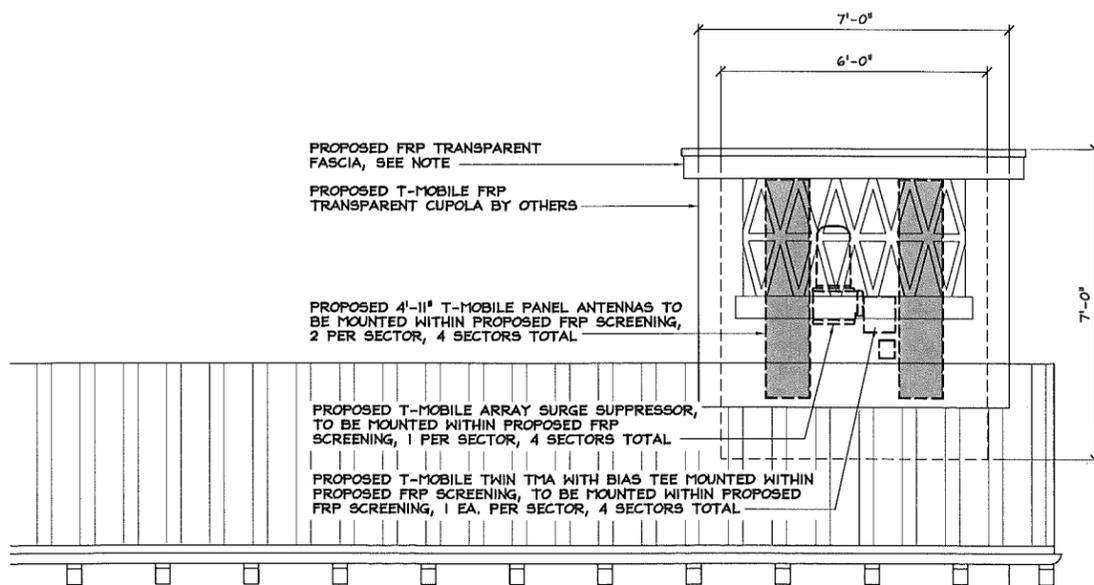
NOTE:  
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PROPOSED NORTHEAST ELEVATION

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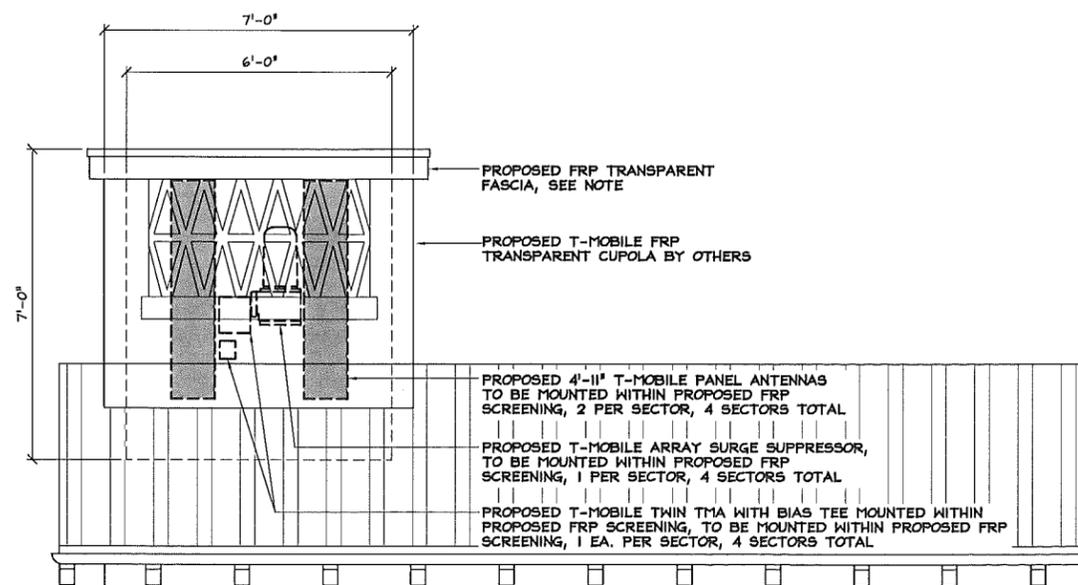
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PROPOSED SOUTHEAST ELEVATION

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T-Mobile

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SD02790A  
ACTIVCARE  
2440 GRAND AVE  
SAN DIEGO, CA 92109

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
A-5

**Hempton, Alexander**

---

**From:** Brian Curry [brian.curry77@gmail.com]  
**Sent:** Thursday, June 26, 2014 12:01 PM  
**To:** Hempton, Alexander  
**Subject:** Project No. 344679

Alex

The 2440 Grand Avenue CUP (Wireless) was approved last night at the PBPG (12-0-0).

bc

Brian J. Curry, Chair  
Pacific Beach Planning Group  
ph: 619-517-1520  
[brian.curry77@gmail.com](mailto:brian.curry77@gmail.com)  
<http://www.pbplanning.org/>



# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment \*  Other \_\_\_\_\_

Project Title: T-Mobile ActivCare SD02790  
 Project No. For City Use Only: 344679

Project Address:  
 2440 Grand Avenue, San Diego, CA 92109

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:



**T-Mobile Board**



***Timotheus Höttges***

Chairman of the Board



***W. Michael Barnes***



***Srikant M. Datar***



***Bruno Jacobfeuerborn***



***Thorsten Langheim***



***Kelvin R. Westbrook***



## Project Chronology

**T-Mobile - ActivCare – Project No. 344679**

Date	Action	Description	City Review Time	Applicant Response Time
5/21/2014	First Submittal	Project Deemed Complete		
7/7/2014	First Assessment Letter		47	
8/26/2014	Second Submittal			50
9/25/2014	Second Assessment Letter		30	
10/17/2014	Third Submittal			22
11/24/2014	All issues resolved		38	
1/22/2015	Public Hearing – Planning Commission		59	
TOTAL STAFF TIME			174	
TOTAL APPLICANT TIME				72
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	246 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: January 7, 2015

# NOTICE OF PUBLIC HEARING PLANNING COMMISSION

---

**DATE OF HEARING:** January 22, 2015  
**TIME OF HEARING:** 9:00 A.M.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
202 C Street, San Diego, California 92101

**PROJECT TYPE:** CONDITIONAL USE PERMIT, PROCESS FOUR  
**PROJECT NUMBER:** 344679  
**PROJECT NAME:** T-MOBILE - ACTIVCARE  
**APPLICANT:** ROCKI LAM, SMARTLINK, AGENTS REPRESENTING  
T-MOBILE

**COMMUNITY PLAN AREA:** Pacific Beach  
**COUNCIL DISTRICT:** District 2

**CITY PROJECT MANAGER:** Alex Hempton, Development Project Manager  
**PHONE NUMBER/E-MAIL:** (619) 446-5349 / ahempton@sandiego.gov

---

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of panel antennas concealed behind radio-frequency transparent screening on an existing recently constructed residential care facility building with equipment located in an enclosure on the side of the building. The project is located at 2440 Grand Avenue, east of Culver Street.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 business days of the Planning Commission

decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on November 26, 2014 and the opportunity to appeal that determination ended December 12, 2014.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five business days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004165

Revised 11-17-14