



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 2, 2015 REPORT NO. PC-15-027

ATTENTION: Planning Commission, Agenda of April 9, 2015

SUBJECT: OLIVE DRIVE TOWNHOMES SDP/TM – PROJECT NO. 368310  
PROCESS FOUR

OWNER: Pathfinder Raintree Residential II, LP

APPLICANT: Gary Taylor & Associates

### SUMMARY

**Issue(s):** Should the Planning Commission approve the demolition of an existing single-family residence and the construction of eight residential condominium units, at 133 West Olive Drive, within the San Ysidro Community Plan?

**Staff Recommendation(s):** Approve Site Development Permit No. 1287832 and Tentative Map No. 1287833.

**Community Planning Group Recommendation:** On July 21, 2014, the San Ysidro Community Planning Group voted 10-0-0 to recommend approval of the project with no conditions (Attachment 11).

**Environmental Review:** The City of San Diego, as Lead Agency, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15332 (In-Fill Development Projects). This project is not pending an appeal of the environmental determination. The environmental determination for this project was made on February 13, 2015, and the opportunity to appeal that determination ended March 2, 2015.

**Fiscal Impact Statement:** None with this action. The costs associated with the processing of this project have been paid by the applicant through a deposit account.

**Code Enforcement Impact:** None with this action.

**Housing Impact Statement:** The San Ysidro Community Plan designates the 0.44-acre project site for Low Medium Residential Density, at a rate of 10-15 dwelling units per acre (du/ac), or 4-6 dwelling units allowed onsite. The project as proposed would demolish an existing single-family residence and construct eight (8) dwelling units, for a net increase of seven (7) dwelling units. In order to achieve the number of dwelling units proposed, the project would utilize a 20% density bonus of two additional units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households, with rent not to exceed 30% of 60% of the Area Median Income (AMI).

## **BACKGROUND**

The 0.44-acre project site is located at 133 West Olive Drive, on the west side of West Olive Drive, north of East San Ysidro Boulevard and south of East Hall Avenue, within the San Ysidro Community Plan area (Attachment 1). The project site is located within the RM-1-1 Zone and the Federal Aviation Administration (FAA) Part 77 Notification area. The RM-1-1 Zone allows for multiple dwelling unit development at a rate of one unit per 3,000 square feet of lot area, or six units allowed on this site. The San Ysidro Community Plan also designates the site for multiple dwelling unit development at a rate of 10-15 du/ac, or 4-6 units allowed on this site.

The project site is located in a developed urban area and contains a one-story, single-family residence that was constructed in 1972. Adjacent properties to the north, west and south are also zoned RM-1-1 and contain a mix of single- and multi-family development. The properties to the east (adjacent to Interstate 805) are within the CSR-2 Zone, which allows for commercial strip development and are developed with a mix of residential and commercial uses.

## **DISCUSSION**

### **Project Description:**

The applicant proposes to demolish the existing single-family residence, consolidate two existing contiguous legal lots and construct eight (8) new residential condominium units. The new units would be constructed in four, two-story, duplex structures, with four (4) three-bedroom units and four (4) four-bedroom units. The maximum structure height would be approximately 25 feet where 30 feet is allowed and all required setbacks would be met. The applicant is requesting a deviation to allow an FAR of 0.89 (17,140 square feet) where 0.75 (14,421 square feet) is allowed by the RM-1-1 Zone. This deviation is allowed as an affordable housing development incentive, as discussed in detail on Page Four of this report. The site is generally level with an overall grade differential of approximately five feet. The proposed grading would result in approximately 360 cubic yards of balanced cut and fill.

Per section 142-05C of the San Diego Municipal Code (SDMC), a minimum of 2.25 parking spaces per dwelling unit are required for multi-family residential developments with 3-4 bedrooms per unit. Therefore, 18 parking spaces are required for this project, which are provided via an attached two-car garage for each of the eight units (16 spaces) and two open parking spaces, for a total of 18 spaces provided. Vehicular access would be provided via a single, shared driveway off of the alley with a turn-around area at the terminus of the driveway.

## Site Development Permit

Per Table 126-05A in SDMC Section 126.0502(b)(4), a Site Development Permit (SDP) is required for multiple unit residential projects on lots in the RM-1-1 Zone which exceed three dwelling units and propose to consolidate multiple lots. Because the project would consolidate two legal, contiguous lots into one and construct eight multi-family dwelling units, an SDP is required (Attachment 6).

## Tentative Map

The applicant is requesting the approval of a Tentative Map to consolidate the two existing, contiguous legal lots into one and create eight residential condominium units. The applicant is also requesting to waive the requirement to underground the existing overhead utilities. SDMC Section 144.0242 allows subdividers to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights-of-way. City staff has determined the request to waive the requirement to underground existing offsite overhead utilities qualifies under the guidelines of SDMC Section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length). The developer will continue to be required to underground any new service run to the proposed structures within the subdivision. The design of the proposed, privately-owned underground utilities that will be constructed within the subdivision are consistent with accepted engineering practices and meet the requirements of SDMC Section 144.0240, *Underground Conversion of Utility Lines at Developers Expense*.

The applicant will be required to underground existing utilities and all new service runs to any new or proposed structures within the subdivision. There are existing overhead utilities lines in the alley right-of-way on the west side of the project site and at the northeast corner of the property adjacent to West Olive Drive. The City's current Underground Master Plan designates the site within Block 8W, which is proposed to start undergrounding in Fiscal Year 2035. Based on the proposal, existing conditions and current regulations, staff is supportive of the waiver request.

## Affordable Housing Density Bonus and Development Incentive

### **Density Bonus:**

The underlying zoning of the property allows for the development of six (6) units. The applicant is requesting a 20 percent affordable housing density bonus by providing 10 percent of the project as affordable housing. In exchange for increased density, the applicant's proposal will provide 10 percent of the pre-bonus units ( $6 \times .10 = .6$  which rounds up to 1 affordable unit) with rents affordable to low-income households (rents at 30% of 60% AMI) for a period of 30 years. By providing the affordable unit, the applicant is eligible for a 20 percent density bonus ( $6 \times .20 = 1.2$  which is rounded up to give 2 bonus units).

Therefore, a total of eight (8) units, one of which will be designated an affordable unit, are allowed on the project site, subject to the Affordable Housing conditions that are included in the permit.

The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915, which contains regulations regarding density bonuses for affordable housing.

**Development Incentive:**

In accordance with the provisions of CGC Section 65915, the City shall also grant a development incentive in addition to the density bonus, unless written adverse findings are made. The applicant has requested a deviation from the Floor Area Ratio (FAR) requirements as their development incentive. The applicant is requesting an FAR of 0.89 (17,140 square feet) where 0.75 (14,421 square feet) is allowed by the RM-1-1 Zone.

The applicant has stated that the FAR deviation is needed so they can build adequately sized three- and four-bedroom units to conform with the housing needs of the neighborhood demographics and that without the FAR deviation, the units would have small living areas and smaller or reduced bedroom counts. The three- and four-bedroom units provided are uncommon but in great demand for larger families. The applicant's goal is to provide both market rate and affordable housing that conforms to the individual needs of the submarkets for which they provide housing. Staff is supportive of the deviation, which is allowed by CGC.

**Community Plan Analysis:**

The San Ysidro Community Plan designates the site for Low Medium Residential Density, at 10-15 dwelling units per acre which would allow 4-6 dwelling units on the .44-acre site. In order to achieve the eight dwelling units proposed, the project is utilizing a 20 percent affordable housing density bonus of two additional units, for a total of eight dwelling units allowed onsite. The project is consistent with the Housing Element policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs.

The Residential Section of the Urban Form Element of the San Ysidro Community Plan recommends that new development contribute to a positive neighborhood character and relate to neighborhood and community context. The plan recommends that new structures be sensitive to bulk and scale and maintain a similar presence along the street as adjacent development. The project breaks up the mass of the project by creating two buildings which offers visual relief through building separation, articulation and setbacks. The structures are also designed so the end unit entrances face onto the street and alley to ensure a strong street presence. The site incorporates pedestrian pathways from the alley to the street since it is located within the old town area of San Ysidro which has a unique alley system that significantly contributes to the neighborhood's pedestrian connectivity.

**Conclusion:**

Staff has determined that the proposed Olive Drive Townhomes project complies with the applicable sections of the San Diego Municipal Code and adopted City Council Policies. Staff has determined that the required findings can be made to support the decision to approve the project, subject to the proposed conditions.

## ALTERNATIVES


1. **Approve** Site Development Permit No. 1287832 and Tentative Map No. 1287833, **with modifications.**
2. **Deny** Site Development Permit No. 1287832 and Tentative Map No. 1287833, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



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Mike Westlake  
Assistant Deputy Director  
Development Services Department



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Paul Godwin  
Development Project Manager  
Development Services Department

WESTLAKE/PBG

Attachments:

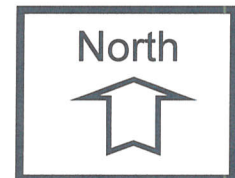
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Site Development Permit Resolution with Findings
6. Draft Site Development Permit with Conditions
7. Draft Tentative Map Resolution with Findings
8. Draft Tentative Map Conditions
9. Community Planning Group Recommendation
10. Project Plans & Tentative Map Exhibit
11. Ownership Disclosure Statement
12. Existing Site Photos



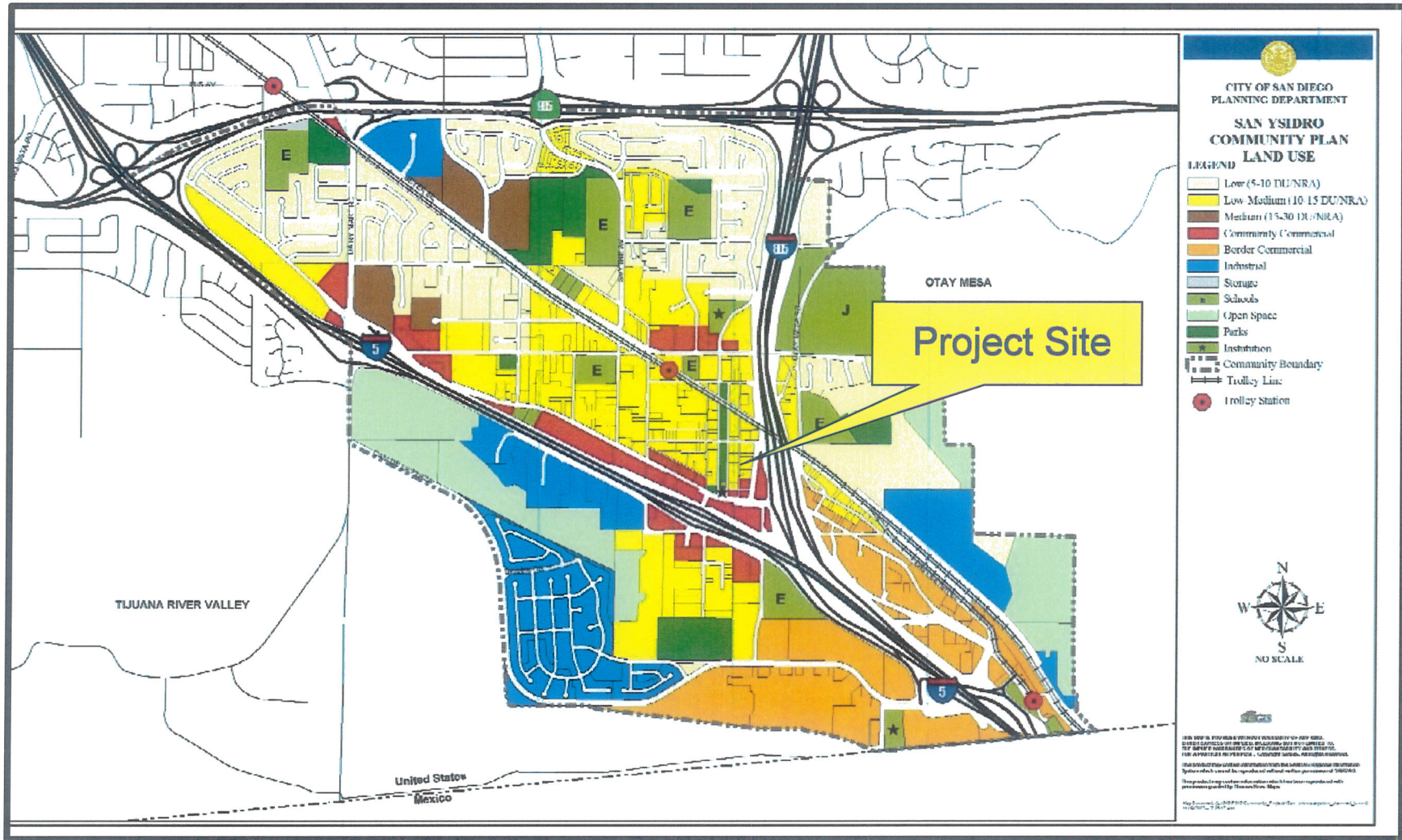


## Location Aerial Photo

Olive Drive Townhomes SDP/TM- 133 West Olive Drive  
PROJECT NO. 368310







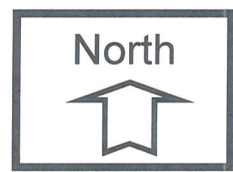
ATTACHMENT 2

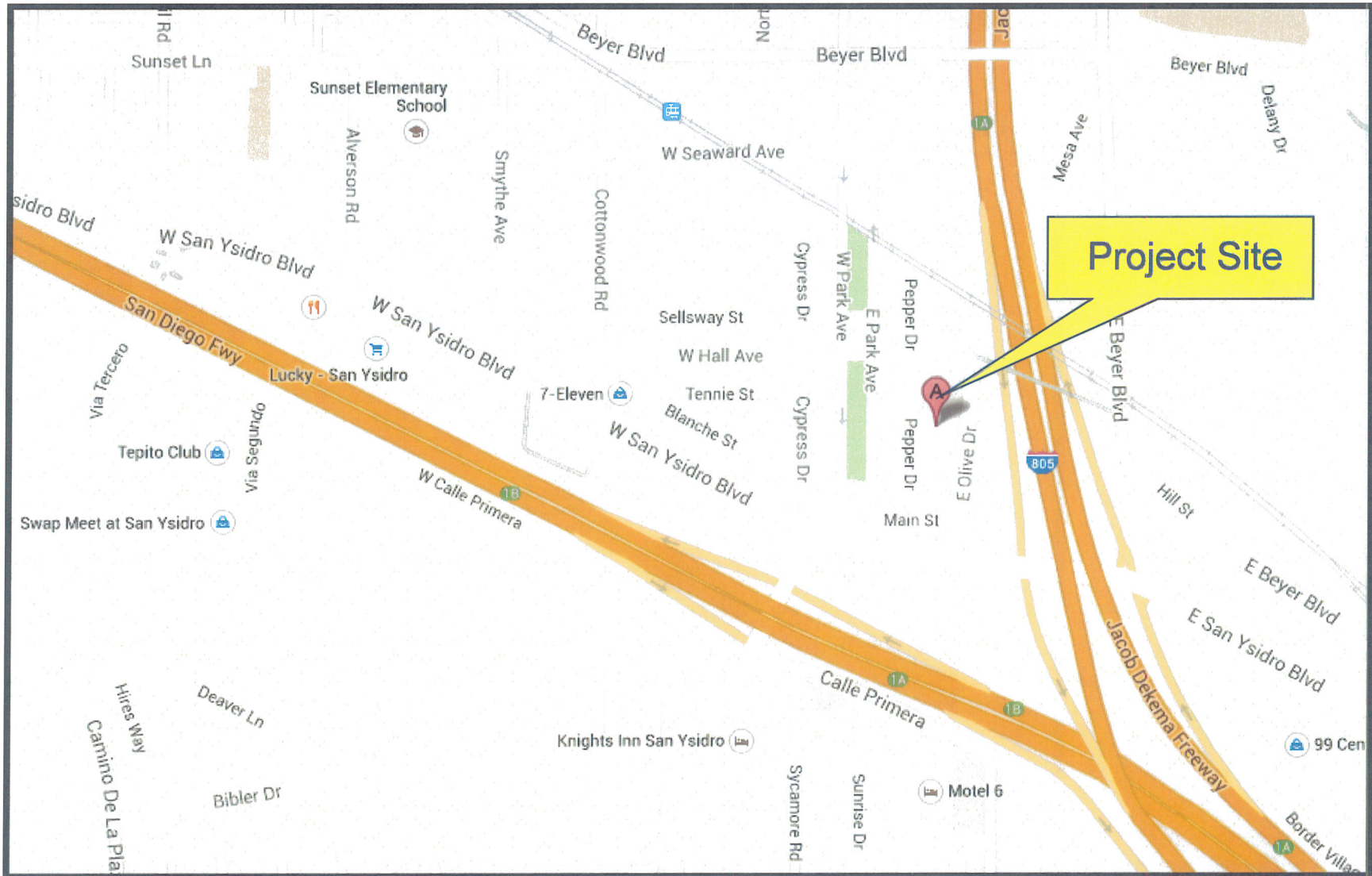


**Land Use Map**

**Olive Drive Townhomes SDP/TM- 133 West Olive Drive**

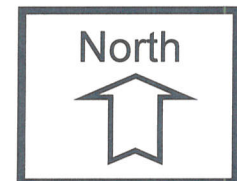
**PROJECT NO. 368310**





## Project Location Map

**Olive Drive Townhomes SDP/TM- 133 West Olive Drive**  
**PROJECT NO. 368310**





## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Olive Drive Townhomes SDP/TM, Project No. 368310	
<b>PROJECT DESCRIPTION:</b>	Demolition of a single-family residence and construction of eight condominium units	
<b>COMMUNITY PLAN AREA:</b>	San Ysidro	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit and Tentative Map, including underground utility waiver	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low Medium Density Residential, 10-15 dwelling units per acre	
<p style="text-align: center;"><b><u>ZONING INFORMATION:</u></b></p> <p style="text-align: center;"><b>ZONE:</b> RM-1-1: (A multi-unit residential zone that permits 1 dwelling unit per 3,000 square-feet of lot area)</p> <p style="text-align: center;"><b>HEIGHT LIMIT:</b> 30-foot maximum height limit.</p> <p style="text-align: center;"><b>LOT SIZE:</b> 6,000 square-foot minimum lot size.</p> <p style="text-align: center;"><b>FLOOR AREA RATIO:</b> 0.75 maximum.</p> <p style="text-align: center;"><b>FRONT SETBACK:</b> 15 feet.</p> <p style="text-align: center;"><b>SIDE SETBACK:</b> 5 feet.</p> <p style="text-align: center;"><b>STREETSIDE SETBACK:</b> 10 feet.</p> <p style="text-align: center;"><b>REAR SETBACK:</b> 15 feet.</p> <p style="text-align: center;"><b>PARKING:</b> 18 parking spaces required.</p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Multi-Family Residential; RM-1-1	Residential
<b>SOUTH:</b>	Multi-Family Residential; RM-1-1	Residential
<b>EAST:</b>	Commercial, CSR-2	Residential and Commercial
<b>WEST:</b>	Multi-Family Residential; RM-1-1	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Applicant has requested an Affordable Housing Development Incentive to allow an FAR of 0.89 (17,140 square feet) where 0.75 (14,421 square feet) is allowed	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On July 21, 2014, the San Ysidro Community Planning Group voted 10-0-0 to recommend approval of the project with no conditions.	

PLANNING COMMISSION  
RESOLUTION NO. **DRAFT**  
SITE DEVELOPMENT PERMIT NO. 1287832  
**OLIVE DRIVE TOWNHOMES SDP/TM - PROJECT NO. 368310**

WHEREAS, PATHFINDER RAINTREE RESIDENTIAL II, LP, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a single-family residence and construct eight (8) residential condominium units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 1287832, on portions of a 0.44-acre site;

WHEREAS, the project site is located at 133 West Olive Drive, in the RM-1-1 Zone of the San Ysidro Community Plan;

WHEREAS, the project site is legally described as Lots 73 & 74 of Map No. 1174;

WHEREAS, on April 9, 2015, the Planning Commission of the City of San Diego considered Site Development Permit No. 1287832, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on February 13, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15332 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 9, 2015.

FINDINGS:

**Site Development Permit - Section 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan;**

The proposed project would allow the demolition of an existing single-family home and the construction of eight (8) residential condominium units in a developed urban area. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight condominium units. The San Ysidro Community Plan designates the site for Low Medium Residential Density, at a rate of 10-15 dwelling units per acre (du/ac), or 4-6 dwelling units allowed onsite. In order to achieve the eight dwelling units proposed, the project would utilize a 20 percent affordable housing density bonus of two additional units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households.

The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915, which contains regulations regarding density bonuses for affordable housing.

The Residential Section of the Urban Form Element of the San Ysidro Community Plan recommends designing buildings that contribute to a positive neighborhood character and relate to neighborhood and community context. The buildings have been designed so that end unit entrances face onto the street and alley to ensure a strong street presence. Also, pedestrian pathways from the alley to the street are provided, as recommended in the Urban Form Element. Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The proposed project would allow the demolition of an existing single-family home and the construction of (8) eight residential condominium units in a developed, urban area. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight condominium units. The project is required to obtain all required ministerial construction and grading/ permit approvals and comply with all applicable uniform Building, Fire, Plumbing, Electrical, Mechanical and Storm Water requirements in addition to all health, life and safety requirements. The project has been conditioned to provide appropriate right-of-way improvements, including new curb, gutter and sidewalk.

The City of San Diego, as Lead Agency, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15332 (In-Fill Development Projects). This project is not pending an appeal of the environmental determination. The environmental determination for this project was made on February 13, 2015, and the opportunity to appeal that determination ended March 2, 2015. Therefore, the proposed development would not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed project would allow the demolition of an existing single-family home and the construction of (8) eight residential condominium units in a developed, urban area. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight condominium units. The site is located in the RM-1-1 Zone, which is a multi-family zone that would allow six units on the 0.44-acre site.



In order to achieve the eight dwelling units proposed where six are allowed by the RM-1-1 Zone, the project would utilize a 20 percent affordable housing density bonus of two additional units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households. The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915, which contains regulations regarding density bonuses for affordable housing.

The proposed project as designed and conditioned complies with all applicant development standards, including height, setbacks, lot coverage, parking, private and common open space, storage and recycling area requirements. No variance requests are included with this proposal. The applicant has requested a waiver of the requirement to underground the existing overhead utilities, which is supported by staff as the waiver request meets the SDMC guidelines in that there is a short span of overhead utilities involved (less than 600 feet) and any new service runs must be placed underground. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1287832 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 1287832, a copy of which is attached hereto and made a part hereof.

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Paul Godwin  
Development Project Manager  
Development Services

Adopted on: April 9, 2015

Internal Order No. 24004641

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004641

**SITE DEVELOPMENT PERMIT NO. 1287832**  
**OLIVE DRIVE TOWNHOMES SDP/TM - PROJECT NO. 368310**  
**PLANNING COMMISSION**

This Site Development Permit is granted by the Planning Commission of the City of San Diego to PATHFINDER RAINTREE RESIDENTIAL II, LP, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0504. The 0.44-acre site is located at 133 West Olive Drive, in the RM-1-1 Zone of the San Ysidro Community Plan. The project site is legally described as: Lots 73 & 74 of Map No. 1174.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a single-family residence and construct eight (8) residential condominium units described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 9, 2015, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-family residence and the construction of eight (8) new residential condominium units totaling approximately 17,140 square feet in area. The units will be constructed in four, two-story duplex buildings with an attached two-car garage for each unit. Two additional surface parking spaces will also be provided for a total of 18 onsite parking spaces. The project includes a 20-percent affordable housing density bonus of two (2) additional units where six (6) are allowed by the zone and Community Plan, for a total of eight (8) units. In exchange for the increased density, one unit will be restricted to provide rents affordable to low-income households (rents at 30% of 60% AMI). The project also includes an affordable housing development incentive deviation, which allows an FAR of 0.89 (17,140 square feet) where 0.75 (14,421 square feet) is allowed by the RM-1-1 Zone;

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

#### **STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 23, 2018.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.



8. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **AFFORDABLE HOUSING REQUIREMENTS:**

10. Prior to the issuance of any building permit, the Owner/Permittee shall enter into an affordable housing agreement with the San Diego Housing Commission to provide affordable housing units in compliance with the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.). Owner/Permittee shall record with the County Recorder of the County of San Diego the Agreement and the deed of trust in favor of the San Diego Housing Commission

11. Prior to issuance of any building permit, Owner/Permittee shall demonstrate compliance with the provisions of Chapter 14, Article 3, Division 7 of the San Diego Municipal Code [SDMC] [Affordable Housing Density Bonus Regulations], to the satisfaction of the San Diego Housing Commission and the City Manager. Owner/Permittee shall enter into a written agreement with the San Diego Housing Commission [Agreement] – drafted and approved by the

San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust – that incorporates applicable affordability conditions consistent with the SDMC; specifically including that, in exchange for the City’s approval of the Project, which contains a 20 percent affordable housing density bonus (two units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide one unit with rents of no more than 30% of 60% of AMI , so as to be considered affordable to low income households as defined in San Diego Municipal Code [SDMC] section 143.0720, for no fewer than 30 years.

12. Prior to issuance of any building permit, Owner/Permittee shall also demonstrate compliance with the provisions of Chapter 14, Article 2, Division 13 of the San Diego Municipal Code [Inclusionary Affordable Housing Regulations], to the satisfaction of the San Diego Housing Commission and the City Manager. The Agreement referenced in the preceding paragraph shall also incorporate the applicable affordability conditions consistent with the SDMC and the Inclusionary Affordable Housing Implementation & Monitoring Procedures Manual; specifically including that, in exchange for an exemption from the requirement to pay an Inclusionary Affordable Housing Fee and as consideration for the receipt of incentives or concessions pursuant to SDMC section 142.1303(f), which require the Owner/Permittee to enter into a contract to restrict rents, the Owner/Permittee shall provide one unit with rents of 30% of 65% of AMI, so as to be considered affordable to targeted rental households for years 31 through 55.

#### **AIRPORT REQUIREMENTS:**

13. Prior to the issuance of any building permit, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

#### **ENGINEERING REQUIREMENTS:**

14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of any existing non-utilized driveways on the project site with City standard curb, gutter and sidewalk, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the two existing offsite driveways, located immediately adjacent to the north and south of the project site on West Olive Drive, satisfactory to the City Engineer.

16. Prior to the issuance of the building permit, the Owner/Permittee shall assure by permit and bond the replacement of existing curb with City standard curb and gutter, along each lot frontages on West Olive Drive, satisfactory to the City Engineer.

17. Prior to the issuance of the building permit for each lot, the Owner/Permittee shall assure by permit and bond the replacement of the existing sidewalk with the same scoring pattern City standard sidewalk, along the project frontage on West Olive Drive, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
20. Prior to the issuance of any construction permit for lot 2, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
21. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

#### **LANDSCAPE REQUIREMENTS:**

22. Prior to issuance of any construction permits for structures or grading, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
23. Construction plans shall take into account a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
24. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan.
25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or a Final Landscape Inspection.
26. Required shrubs or trees that die three years or more after installation shall be replaced with 15-gallon size or 60-inch box size /15 foot BTH material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material



27. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
29. Trees required by this division shall be maintained so that all branches over pedestrian walkways are six feet above the walkway grade and so that all branches over vehicular travel ways are 16 feet above the grade of the travel way.
30. Plant materials shall be grouped into hydrozones that consist of plant species having similar water demand and by their soil, sun, and shade requirements.
31. A Water budget and irrigation audit shall be conducted as indicated in SDMC 143.0413

#### **GEOLOGY:**

32. Prior to the issuance of any building or engineering permits (including grading), the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
33. Prior to exoneration of the bond and grading permit close-out, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department.

#### **PLANNING/DESIGN REQUIREMENTS:**

34. Owner/Permittee shall maintain a minimum of 18 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
36. The Owner/Permittee shall post a copy of each approved discretionary Permit and Tentative Map in its sales office for consideration by each prospective buyer.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

### **TRANSPORTATION REQUIREMENTS**

38. A minimum of 18 off-street automobile parking spaces shall be permanently maintained on the property within the approximate location shown on the Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

### **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

39. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

40. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

41. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

42. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

43. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s).

45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on April 9, 2015, and [Approved Resolution Number].



Permit Type/PTS Approval No.: SDP No. 1287832

Date of Approval: March 26, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Paul Godwin  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Pathfinder Raintree Residential II, LP**  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**Pathfinder Raintree Residential II, LP**  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

PLANNING COMMISSION  
RESOLUTION NUMBER R- **DRAFT**

TENTATIVE MAP NO. MAP NO. 1287833  
**OLIVE DRIVE TOWNHOMES SDP/TM - PROJECT NO. 368310**

WHEREAS, PATHFINDER RAINTREE RESIDENTIAL II, LP, Subdivider, and SCHWERIN & ASSOCIATES, Engineer, submitted an application to the City of San Diego for a Tentative Map for the Olive Drive Townhomes SDP/TM project, to allow the consolidation of two (2) existing, contiguous lots into one and the creation of eight (8) residential condominium units, and to waive the requirement to underground existing offsite overhead utilities. The project site is located on the west side of West Olive Drive, between East Hall Avenue and East San Ysidro Boulevard, at 133 West Olive Drive, in the RM-1-1 Zone of the San Ysidro Community Plan and the Federal Aviation Administration (FAA) Part 77 Notification area. The property is legally described as Lots 73 & 74 of Map No. 1174; and

WHEREAS, the Map proposes the Subdivision of a 0.44-acre site into one (1) lot and create eight (8) residential condominium dwelling units; and

WHEREAS, on February 13, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332 (In-Fill Development Projects); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code sections 144.0220(a) and 144.0220(b); and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is eight (8); and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code section 144.0242(c) based on the fact that the conversion to underground would entail a short span of overhead facility, much less than the length of a block, and would not represent a logical extension to an underground facility; and

WHEREAS, on April 9, 2015, the Planning Commission of the City of San Diego considered Tentative Map No. 1287833, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440 , 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1287833:

- 1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915.

The San Ysidro Community Plan designates the site for Low Medium Residential Density, at a rate of 10-15 dwelling units per acre (du/ac), or 4-6 dwelling units allowed onsite. In order to achieve the eight dwelling units proposed, the project would utilize a 20 percent affordable housing density bonus of two additional units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households. The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915, which contains regulations regarding density bonuses for affordable housing.

The Residential Section of the Urban Form Element of the San Ysidro Community Plan recommends designing buildings that contribute to a positive neighborhood character and relate to neighborhood and community context. The buildings have been designed so that end unit entrances face onto the street and alley to ensure a strong street presence and pedestrian pathways from the alley to the street are provided, as recommended in the Urban Form Element. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915.

The RM-1-1 Zone is a multi-family zone that would allow six units on the 0.44-acre site. In order to achieve the eight dwelling units proposed, the project would utilize a 20 percent affordable housing density bonus of two additional units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households.



The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915, which contains regulations regarding density bonuses for affordable housing.

The project as designed and conditioned complies with all applicant development standards, including height, setbacks, lot coverage, parking, private and common open space, storage and recycling area requirements. No variance requests are included with this proposal. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code

**3. The site is physically suitable for the type and density of development.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units.

The San Ysidro Community Plan designates the site for Low Medium Residential Density, at a rate of 10-15 dwelling units per acre (du/ac), or 4-6 dwelling units allowed onsite. The site is located in the RM-1-1 Zone, which is a multi-family zone that would allow six units on the 0.44-acre site. In order to achieve the eight dwelling units proposed, the project would utilize a 20 percent affordable housing density bonus of two additional units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households. The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915, which contains regulations regarding density bonuses for affordable housing.

The previously graded, level project site is surrounded by existing residential and commercial development and there are no Environmentally Sensitive Lands (ESL) on or adjacent to the site. The site is served by existing water, sewer, electric and gas utilities and is accessed by a paved road (West Olive Drive) and a paved alley. The project has been conditioned to replace the curb, gutter and sidewalk adjacent to the project site. Therefore, the site is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units.

The Tentative Map was reviewed by the City of San Diego for conformance with the Land Development Regulations, California Building Code, and Land Use Policies. The Tentative Map included a review for compliance for storm water runoff requirements during and after construction.

The City of San Diego, as Lead Agency, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15332 (In-Fill Development Projects). The level project site is surrounded by existing residential and commercial development and there are no watercourses or Environmentally Sensitive Lands (ESL) on or adjacent to the site. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. The project conforms to the development regulations of the RM-1-1 Zone, with the exception of a deviation to the Floor Area Ratio (FAR), which is allowable as a development incentive for Affordable Housing Density Bonus projects in accordance with California Government Code (CGC) Section 65915. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units.

The project is required to obtain all required ministerial construction/grading permit approvals and comply with all applicable uniform Building, Fire, Plumbing, Electrical, Mechanical and Storm Water requirements in addition to all health, life and safety requirements. The project has been conditioned to provide appropriate right-of-way improvements, including new curb, gutter and sidewalk.

The City of San Diego, as Lead Agency, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA), under CEQA Guidelines Section 15332 (In-Fill Development Projects). Therefore, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units.

There are no easements acquired by the public at large for access through or use of the property that would be impacted by this subdivision. The site fronts on West Olive Drive to the east and an alley to the west, where project access would be taken. No vacations or changes to the existing right-of-way or easements are associated with this project. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units.

The proposed subdivision will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and preserving environmentally sensitive lands. The potential and opportunity to implement sustainable building techniques, such as photovoltaic systems, recycled products and energy-efficient materials has not been precluded and is available during construction permit review. The project site is surrounded by similar development and the east-west orientation of the site does not preclude solar and/or passive heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The proposed project would allow the demolition of an existing single-family home and the construction of eight residential condominium units in a developed, urban area. A Tentative Map is included to consolidate the two contiguous lots into one lot and create the eight (8) condominium units.

The San Ysidro Community Plan designates the site for Low Medium Residential Density, at a rate of 10-15 dwelling units per acre (du/ac), or 4-6 dwelling units allowed onsite.

The site is located in the RM-1-1 Zone, which is a multi-family zone that would allow six units on the 0.44-acre site. In order to achieve the eight dwelling units proposed, the project would utilize a 20 percent affordable housing density bonus of two additional

units, for a total of eight dwelling units allowed onsite. In exchange for the density bonus, one of the units would be restricted to low-income households. The project is consistent with the SDMC Chapter 14, Article 3, Division 7 Affordable Housing Density Bonus Regulations and General Plan Housing Element Policy HE-B.12, which encourages and promotes the use of available Housing Density Bonus Programs. The project is also consistent with California Government Code (CGC) Section 6915 contains regulations regarding density bonuses for affordable housing.

The project will be required to pay all applicable Developer Impact Fees (DIF), school fees, water/sewer connection fees and other impact fees at building permit issuance in accordance with the City's Public Facilities Financing Plan and Impact Fee Schedule. The project site is served by existing public infrastructure, including paved roads (West Olive Drive and alley at rear), water, sewer, electrical and gas lines. Impacts to available environmental resources would be avoided in that the in-fill urban site is surrounded by existing similar development and does not contain nor is adjacent to ESL.

The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of eight (8) residential condominium units is consistent with the housing needs anticipated for the San Ysidro Community Planning area. Therefore, the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 1287833 is hereby granted to PATHFINDER RAIN TREE RESIDENTIAL II, LP, subject to the attached conditions which are made a part of this resolution by this reference.



By

\_\_\_\_\_  
Paul Godwin  
Development Project Manager  
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24004641

PLANNING COMMISSION  
CONDITIONS FOR TENTATIVE MAP NO. 1287833  
**OLIVE DRIVE TOWNHOMES SDP/TM – PROJECT NO. 368310**

ADOPTED BY RESOLUTION NO. R-\_\_\_\_\_ ON APRIL 9, 2015

**GENERAL**

1. This Tentative Map shall expire on April 23, 2018.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the expiration of the Tentative Map, a Final Map to subdivide lots shall be recorded in the office of the County Recorder.
4. Prior to the recordation of the Final Map, taxes must be paid or bonded on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Map shall conform to the provisions of Site Development Permit No. 1287832.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, “Indemnified Parties”]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City’s approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney’s fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

**DENSITY BONUS CONDITIONS**

7. Prior to the issuance of any building permit, the Owner/Permittee shall enter into an affordable housing agreement with the San Diego Housing Commission to provide affordable housing units in compliance with the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.). Owner/Permittee shall record with the County Recorder of the County of San Diego the Agreement and the deed of trust in favor of the San Diego Housing Commission
  
8. Prior to issuance of any building permit, Owner/Permittee shall demonstrate compliance with the provisions of Chapter 14, Article 3, Division 7 of the San Diego Municipal Code [SDMC] [Affordable Housing Density Bonus Regulations], to the satisfaction of the San Diego Housing Commission and the City Manager. Owner/Permittee shall enter into a written agreement with the San Diego Housing Commission [Agreement] – drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust – that incorporates applicable affordability conditions consistent with the SDMC; specifically including that, in exchange for the City's approval of the Project, which contains a 20% density bonus (two units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide one unit with rents of no more than 30% of 60% of AMI, so as to be considered affordable to low income households as defined in San Diego Municipal Code [SDMC] section 143.0720, for no fewer than 30 years.
  
9. Prior to issuance of any building permit, Owner/Permittee shall also demonstrate compliance with the provisions of Chapter 14, Article 2, Division 13 of the San Diego Municipal Code [Inclusionary Affordable Housing Regulations], to the satisfaction of the San Diego Housing Commission and the City Manager. The Agreement referenced in the preceding paragraph shall also incorporate the applicable affordability conditions consistent with the SDMC and the Inclusionary Affordable Housing Implementation & Monitoring Procedures Manual; specifically including that, in exchange for an exemption from the requirement to pay an Inclusionary Affordable Housing Fee and as consideration for the receipt of incentives or concessions pursuant to SDMC section 142.1303(f), which require the Owner/Permittee to enter into a contract to restrict rents, the Owner/Permittee shall provide one unit with rents of 30% of 65% of AMI, so as to be considered affordable to targeted rental households for years 31 through 55.

**ENGINEERING**

10. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
11. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
12. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high pressure sodium vapor and/or upgrading wattage.
13. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

**MAPPING**

14. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
15. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
16. The Final Map shall:



- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

### **GEOLOGY**

17. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

### **PLANNING**

18. The Subdivider shall post a copy of each discretionary permit and Tentative Map in its sales office for consideration by each potential buyer.

### **INFORMATION:**

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

Internal Order No. 24004641

8/18/2014: APPROVED WITH CORRECTIONS (13-0-0) and REVISED 09/15/2014

## SAN YSIDRO COMMUNITY PLANNING GROUP

Minutes from ~~June 16~~ July 21, 2014

1. **Call to order:** At 5:35 p.m. Chairman Michael Freedman called meeting to order.

**Roll Call: Present:** M. Aguirre; Luciana Corrales (arr 7:39 pm); T. Currie; D. Flores (left 8:14 pm); M. Freedman; J. Goudeau; A. Martinez (arr. 7:45 pm); Ben Meza; R. Moran; Steve Otto; M. Paredes; A. Perez

**Absent:** I. Adato; B. Gonzalez.

Quorum of 10 present at Call to Order, Item #2, Item #3, #4.a, #6.a, #6.b, #6.c.

2. **Approval of Agenda:** A motion was made by M. Paredes and seconded by T. Currie to approve the addition of *Old Otay Mesa Road Improvements* to the agenda as Docket 6.a and to move other items down list. Motion Passed (10-0-0). Yes: M. Aguirre; T. Currie, D. Flores; M. Freedman; J. Goudeau; B. Meza; R. Moran; S. Otto; M. Paredes; A. Perez. No: None. Abstain: None.
3. **Approval of Minutes:** A motion was made by D. Flores and seconded by M. Paredes to approve the Minutes of June 19 16, 2014. Motion Passed (10-0-0). Yes: M. Aguirre; T. Currie, D. Flores; M. Freedman; J. Goudeau; B. Meza; R. Moran; S. Otto; M. Paredes; A. Perez. No: None. Abstain: None.
4. **Announcements:**
  - a. **Vacancies:** Candidates can be considered on one vacant seat; term ending April 2016. Two candidates were qualified. Maritza Chavarin (Resident) and Andres Ripa (Community Based Non Profit). **On the first ballot:** For Chavarin - Aguirre, Flores, Freedman, Paredes, Perez. For Ripas: Currie, Goudeau, Meza, Moran, Otto. Results were a tie vote 5 -5 . **On the second ballot:** No change. The Chairman declared the tie votes of 5 -5, confirmed by the Secretary. The vacancy will continue to the next regular meeting.
  - b. **Chairman:** 1. Old Otay Mesa Road Improvements Environmental Document. Widen roadway from 26' to 36'; straighten portions with blind curves; add bicycle lanes on both sides; add sidewalks on both sides; add lighting; remove non-native species and restore disturbed area; provide drainage systems. Comments due by August 1, 2014:  
<http://clerkdoc.sannet.gov/Website/publicnotice/puvnotcega.html>
  - c. **SYCPG Members:** 1. T. Currie – Wednesday July 30<sup>th</sup> a Chamber Mixer at the Dolphins located at 570 Marina Parkway, Chula Vista from 5:30 pm to 8 pm. Call 619.428.1281 for more information. 2. M. Aguirre/D. Flores – Release of San Ysidro and the Tijuana River Valley by Barbara Zaragoza, a book signing is planned in August at the Front. More information at a later date. 3. D. Flores – Safety Walk scheduled for Friday 7/25, at 9 am, start is the corner of Beyer and Otay Mesa Road. 4. D. Flores – San Ysidro Park Tot Lot made the Final List for a Grant. The grant would be enough to finish the playground, but must be completed within 1 year.

8/18/2014: APPROVED WITH CORRECTIONS (13-0-0) and REVISED 09/15/2014

- d. **Elected Representatives:** 1. Gabriella Dominguez – Council Member Alvarez is holding Office Hours on August 8, 2014 from 10 am to 12 pm at the Otay Mesa-Nestor Branch Library. To schedule an appointment, call 619.236.6688. 2. New affordable/senior housing property opportunity located in Logan Heights. Applications are now being accepted. Contact 619.961.1002 or <http://www.bridgehousing.com> for more information.
- e. **City of San Diego Staff and Department Representatives:** None.
- 5. **Public Comment:** Marvin Carpenter, Business Owner – Thanked the Planning Group for standing ground with the City. He has had years of issues with the City of San Diego regarding his property on Howard Avenue. He expressed concerned about planning changes in the update Community Plan. The City loses documents, so how can they keep track of issues after changes?
- 6. **Docket Items:**
  - a. **Otay Mesa Road Improvement Project.** (Ali Alaeipour [City of San Diego Project Engineer]; Larry Thornburgh [Nasland Engineering Consulting Engineer]). Improvements to Old Otay Mesa Road includes additional pedestrian facilities, bicycle lanes, widen roadway from 26' to 54' graded width, including sidewalks. The road will be wider and curves will be straightened so road will safer for pedestrians and vehicles. Currently in processing is the Environmental Document. Environmental Approval and right-of-way acquisition is scheduled for this Fall, Bid and Award this Winter. Construction start in Spring 2015 to complete in Fall 2016. Phase A will include south walls and southerly portion of roadway with traffic control allowing for one lane of traffic. Phase B will include northerly slopes, fill walls and north roadway work with traffic control for one lane of traffic. The road will have a 5% grade. Concerns include, the downhill speed of skateboarders and bikes and bike lane next to motorized traffic. Crib wall will not be irrigated; the bench slope will be hydro-seeded with native plants. The project is in the Otay Mesa Community Plan area. Otay Mesa Planning Group voted unanimously to support this project. **A Motion was made by D. Flores and seconded by R. Moran to support the Otay Mesa Planning Group vote on the Old Otay Mesa Road Improvement Project. Motion Passed (10-0-0) Yes: M. Aguirre; T. Currie, D. Flores; M. Freedman; J. Goudeau; B. Meza; R. Moran; S. Otto; M. Paredes; A. Perez. No: None. Abstain: None.**
  - b. **Olive Drive Townhomes.** (Gary Taylor, Architect & Michael Kootchick). Site Development Permit & Tentative Map. Demolish an existing single-family residence and construct 8 single-family residential units in four duplex buildings, (each building 4,285 sf) with attached garages on 0.44 acres (19,959sf). Parking is 16 enclosed and two open. Located at 133 West Olive Drive, between East Hall Ave. and Main Street in the RM 1-1 zone. One unit will be designated as an affordable unit. Each Duplex will have 1-3 bedroom unit and 1-4 bedroom unit. Not decided if "For Sale" or rental units. **A Motion was made by T. Currie and seconded by D. Flores to recommend approval of the Olive Drive Townhomes as presented. Motion Passed (10-0-0) Yes: M. Aguirre; T. Currie, D. Flores; M. Freedman; J. Goudeau; B. Meza; R. Moran; S. Otto; M. Paredes; A. Perez. No: None. Abstain: None.**
  - c. **Smythe Avenue Condos.** (Michael Kootchick, Jamie Stark, Aaron Parker) This is a conceptual presentation requested by the applicant for comment. Construct 27 single-family detached condominium homes with attached garages on 4.07 acres (177,242 sf). Parking would include 54 enclosed and 14 open. Currently vacant land bounded by Smythe Ave.,

**GTA**

GARY TAYLOR

&amp;

ASSOCIATES, INC.

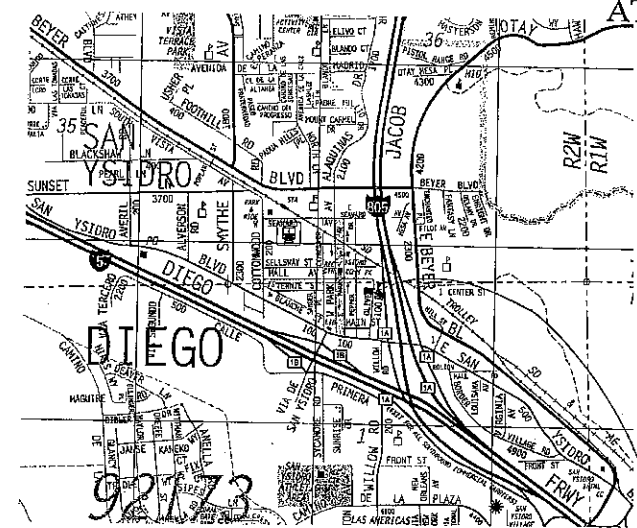
3241 ADAMS AVE.

SAN DIEGO, CA 92116

(619) 280-7613

fax 280-7616

NO. DATE REVISION

SITE

## REQUEST

REQUESTING: Site Development Permit and Tentative Map for a multi-family Residential Development.

SUMMARY: This project is located in the San Ysidro area of the City of San Diego. The existing site contains one residence built in 1972. To the north and south there are existing multi-unit developments.

DEVIATION: Per Sec 143.0920 An applicant may request a deviation from the applicable development regulations in the LDC for affordable / in-fill housing in accordance with Sec 143.0915 pursuant to a Site Development Permit decided in accordance with Process Four. Provided that findings are made.

DESCRIPTION: (8) 3 and 4 bedroom townhouse style living units with attached 2-car garages in (4) 2-unit Buildings. Includes (20%)2 density bonus units. (10%) 1 unit will be affordable.

DENSITY BONUS / INCLUSIONARY HOUSING: Requesting a 20 percent density increase of 2 additional units for a total of 8. In exchange 1 unit will be provided with rent/sale affordable to low-income households.

## PROJECT DATA

DESCRIPTION: Multi-Family Residential  
(8) 3 and 4 bedroom townhouse style living units with attached 2-car garages in (4) 2-unit Buildings.  
Includes 2 density bonus units.

OWNER: Pathfinder Residential II LP  
11855 Sorrento Valley Rd. #D  
San Diego, CA 92121 (619) 804-3417

JOB ADDRESS: 133 Olive Drive San Diego, CA 92173

COMMUNITY: San Ysidro SITE AREA: 0.44 acres / 19,226 sf

A.P.N. 888-060-19 LEGAL: Lots 73 & 74 of Map 1174 ZONE: RM 1-1

DENSITY: 1 unit per 3,000 sf = 6.4 units + 20% (2) state density bonus program administered by the San Diego Housing commission

CONSTRUCTION: Type V B (fire sprinklered) OCCUPANCY: R-3

FLOOR AREA RATIO: Allowed 0.75 / 14,421sf Shown 0.89 / 17,140 sf  
Deviation allowed per Section 143.0920 for affordable/in-fill housing

PARKING: Spaces required 8 x 2.25 = 18  
Spaces shown 18 (18 in garages)

ACCESSIBILITY: Building Occupancy is R-3 and is exempt from the accessibility regulations.

UNIT DATA: (4) 4 Bedroom / 2.5 Bath units 1,839 sf  
plus 2-car attached Garage 400 sf  
(4) 3 Bedroom / 2.5 Bath units 1,649 sf  
plus 2-car attached Garage 400 sf

AREA DATA: Each 2-unit Building - Living Area 3,485 sf  
Garage Area 800 sf  
Enclosed Area 4,285 sf

Total Enclosed Area 4 buildings = 17,140 sf

GEOLOGIC HAZARD CATEGORY: 53

## SHEET INDEX

- 1 REFERENCE SITE PLAN PROJECT DATA
- 2 SURVEY - EXISTING CONDITIONS
- 3 SITE PLAN - SITE NOTES
- 4 FLOOR PLANS FLOOR PLAN
- 5 EXTERIOR ELEVATIONS BUILDING SECTIONS
- 6 LANDSCAPE DEVELOPMENT PLAN

## TENTATIVE MAP

- C-1 TENTATIVE MAP & CONCEPT GRADING
- C-2 CROSS SECTIONS
- C-3 PRE-DEVELOPMENT TOPOGRAPHY EXISTING CONDITIONS

## DRAINAGE STUDY

SITE  
DEVELOPMENT  
PERMIT  
133 OLIVE DRIVE  
SAN YSIDRO

REVISION 5  
REVISION 4  
REVISION 3 12-27-14  
REVISION 2 10-10-14  
REVISION 1 8-15-14

ORIG. DATE 4-15-14

## PROJECT

## DATA

sheet 1 of 9

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## GENERAL NOTES

1. No existing easements on site
2. No existing or proposed bus / transit stops

## FIRE DEPARTMENT NOTES

1. Existing fire hydrant locations are shown on Sheet 1.
2. Provide building address numbers, visible and legible from the street fronting the property per FHPS Policy P-00-6.
3. Post indicator values, fire department connections, and alarm bell are to be located on the address / access side of the structure.
4. Provide fire access roadway signs or red curbs in accordance with Policy A-08-1.

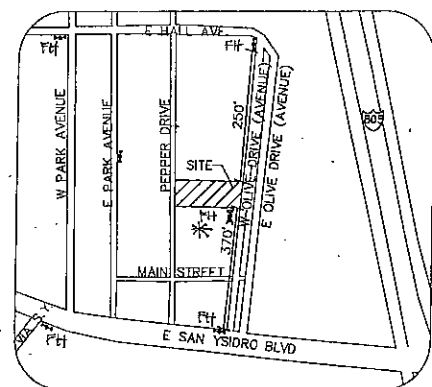
## PLANNING NOTES:

1. No accessory uses or structures are proposed.

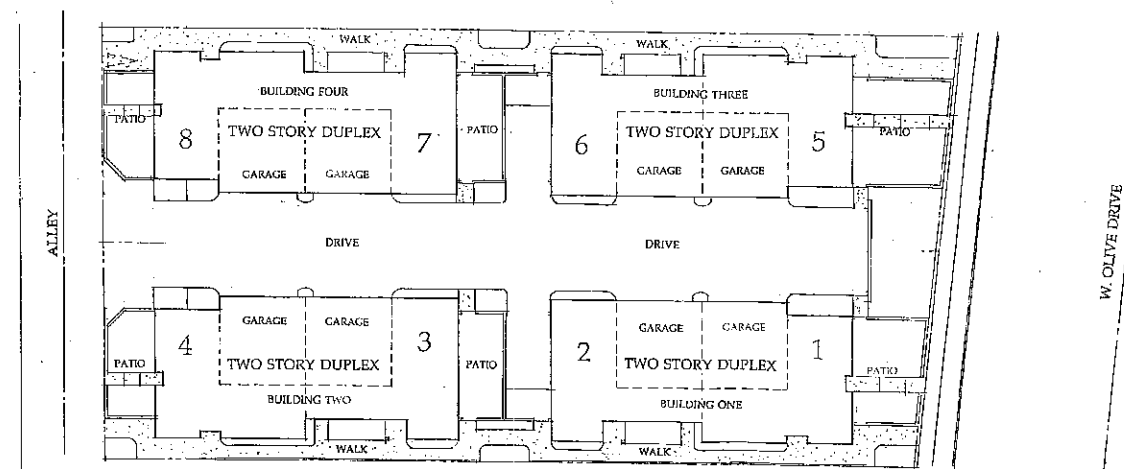
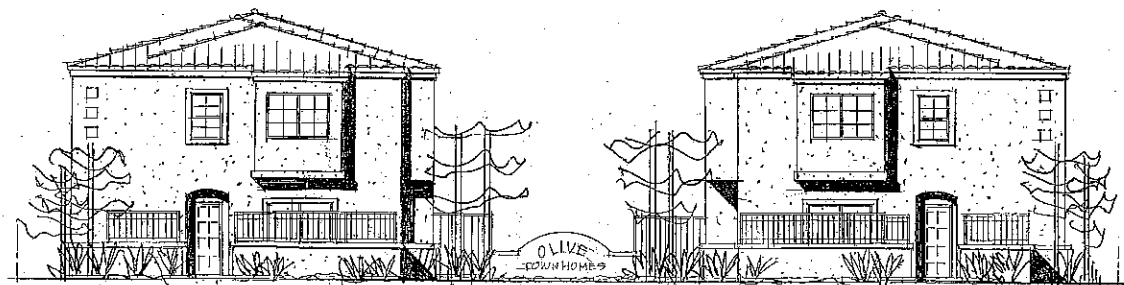
## WATER AND SEWER NOTES:

1. If a 3" or larger meter is required for this project, the owner/permittee shall construct the new meter and backflow device on site, above ground, within an adequately sized water easement, in a manner satisfactory to the Director of Public Utilities and the City Engineer.
2. The applicant will be required to kill at the water main any existing unused water service.
3. The applicant shall be required to cap (abandon) at the property line any unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular area.
4. At the time of Ministerial Review, the owner/permittee shall provide CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

## FIRE HYDRANT MAP - NO SCALE



\*NEAREST HYDRANT



△  
N SITE PLAN

## NOTES:

1. SEE SHEET 3 FOR DETAILED SITE PLAN
2. SEE SHEET 2 FOR SURVEY AND EXISTING CONDITIONS
3. SEE TM FOR GRADING, DRAINAGE AND FOR EXISTING AND PROPOSED GRADES AND SITE CROSS SECTIONS
4. SEE SHEET 6 FOR LANDSCAPE AND HARDSCAPED AREAS

OLIVE DRIVE TOWNHOMES  
133 W. OLIVE DRIVE SANDIEGO, CA 92173

OLIVE DRIVE TOWNHOMES

133 W. OLIVE DRIVE SANDIEGO, CA 92173



**SB&O**  
PLANNING - ENGINEERING - SURVEYING  
3990 Ruffin Road, Suite 120  
San Diego, CA 92123  
619-560-1141  
619-560-9157 Fax

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT OF 1933 WEST OLIVE AVE, ON JANUARY 27 AND FEBRUARY 5, 2014 AT THE REQUEST OF SCHWERN & ASSOCIATES.

*Michael S. Butcher* 4/3/14  
MICHAEL S. BUTCHER, P.L.S. 6922 DATE



OLIVE DRIVE TOWNHOMES  
133 W. OLIVE DRIVE SANDIEGO, CA 92173

SITE  
DEVELOPMENT  
PERMIT  
133 OLIVE DRIVE  
SAN YSIDRO

REVISION 5  
REVISION 4  
REVISION 3 12-22-14  
REVISION 2 10-10-14  
REVISION 1 6-15-14

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SURVEY  
EXISTING  
CONDITIONS  
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**LEGEND**

- CENTERLINE
- EXISTING FENCE
- EXISTING ROD IRON FENCE
- EXISTING BUILDING
- EXISTING OVERHEAD ELECTRIC LINES
- EXISTING POWER POLE
- GRND
- FS
- FL
- FC
- GROUND
- FINISHED SURFACE
- FLOW LINE
- FACE OF CURB
- CACTUS
- PALM TREE
- MISCELLANEOUS TREE

**BENCHMARK**

THE CITY OF SAN DIEGO BRASS PLUG AT THE NORTHEAST  
RETURN OF HALL AVENUE AND COTTONWOOD ROAD.  
N.G.V.D. 29 ELEVATION 61.642' M.S.L.

LOT 72 MAP 1174

LOT 73 MAP 1174

LOT 74 MAP 1174

LOT 75 MAP 1174

133 WEST OLIVE

ALLEY

OLIVE AVENUE

SCALE: 1"=10'

70841 WEST OLIVE - TOPO



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&amp;

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OLIVE DRIVE TOWNHOMES  
133 W. OLIVE DRIVE SANDIEGO, CA 92173

## SITE KEY NOTES

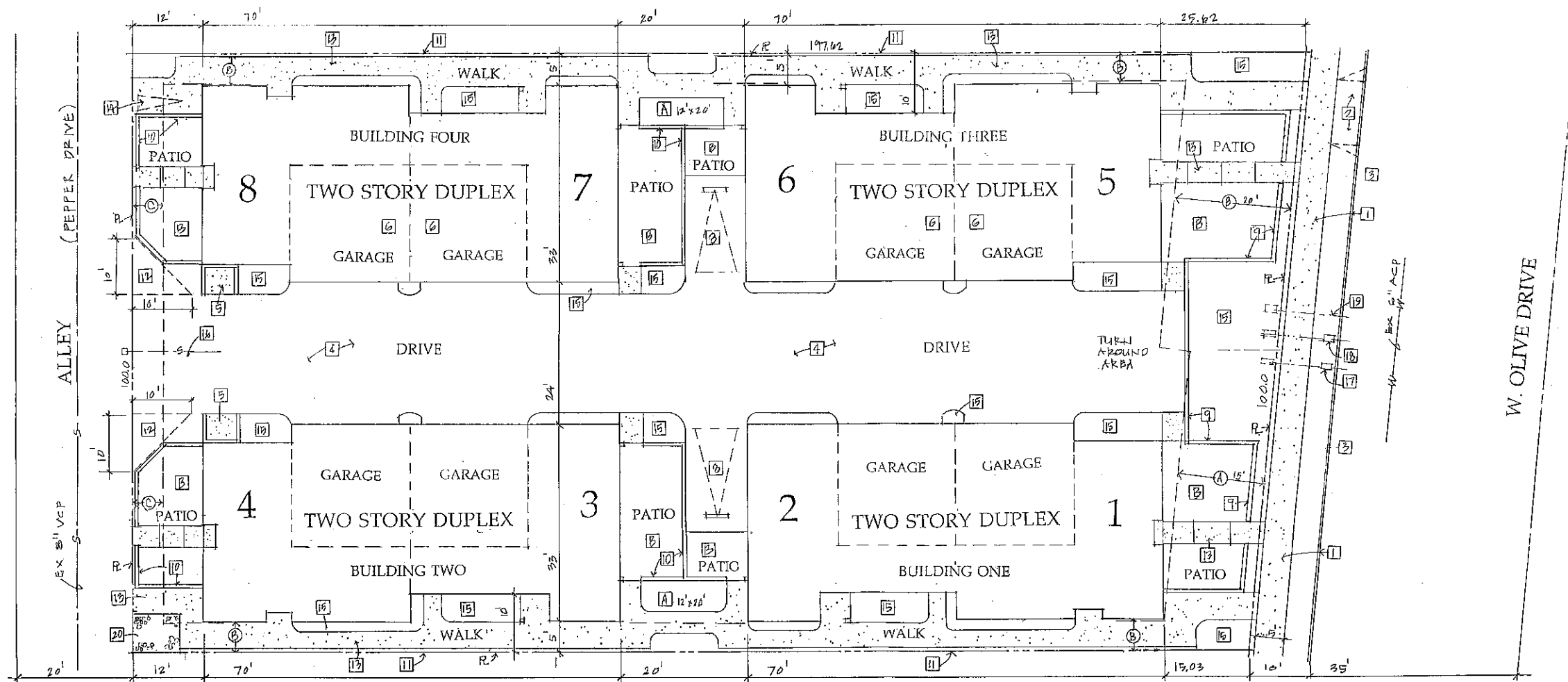
- 1 EXISTING CURB AND SIDEWALK
- 2 EXISTING DRIVEWAY to be closed and restored to city curb and sidewalk
- 3 SEE TENTATIVE MAP FOR PROPOSED R.O.W IMPROVEMENTS
- 4 PAVED DRIVE - SEE LANDSCAPE AND DRAINAGE PLAN FOR SPECIAL PAVING.
- 5 (2) REFUSE / RECYCLE / STORAGE ENCLOSURES - 24 SF each see Sheet 4
- 6 TYPICAL 2-CAR GARAGE Interior dimensions 18' wide x 19' length
- 7 UTILITIES ELEC, CATV, TEL, AC UNITS
- 8 9' X 18' PARKING SPACE 2 shown with wheel stop
- 9 3' HEIGHT MASONRY WALL WITH 3' HEIGHT DECOR METAL RAILING & GATE
- 10 6' HEIGHT DIVIDER FENCE
- 11 6' HEIGHT PROPERTY LINE FENCE - reduce to 3' height at front setback
- 12 10' VISIBILITY AREA AT 20' DRIVE TO ALLEY
- 13 CONCRETE WALKWAY- SEE LANDSCAPE PLAN
- 14 3' x 8' MOTORCYCLE SPACE 2 shown
- 15 LANDSCAPED AREA - see landscape plan
- 16 NEW SEWER LATERAL - Add cleanout with a traffic rated cleanout box in alley next to public right of way next to property line.
- 17 EXISTING WATER METER TO REMAIN FOR IRRIGATION w/ BFPD
- 18 NEW WATER METER AND SERVICE FOR DOMESTIC w/ BFPD
- 19 NEW FIRE SERVICE w/ BFPD
- 20 ENERGY DISSIPATOR - crushed rock see Civil Plans

## OPEN SPACE

- A COMMON OPEN SPACE - (2) areas shown at 240 SF each. (300SF total) to meet minimum requirement. See landscape plans for features.
- B PRIVATE OPEN SPACE - REQUIRED min 60 SF SHOWN 60 SF at private fence patios at each unit.

## SETBACKS

- A FRONT 15' / 20' SHOWN 15' / 20'
- B SIDE 5' / 10' SHOWN 5' / 10'
- C REAR 15' to center of alley SHOWN 15' (5' to PL)



N SITE PLAN 1/10"=1'-0"

## NOTES:

- 1 SEE SURVEY FOR EXISTING CONDITIONS
- 2 SEE GRADING PLAN FOR EXISTING AND PROPOSED GRADES AND ELEVATIONS, DRAINAGE AND UTILITIES
- 3 SEE LANDSCAPE PLAN FOR WALKWAYS AND PLANTED AREAS

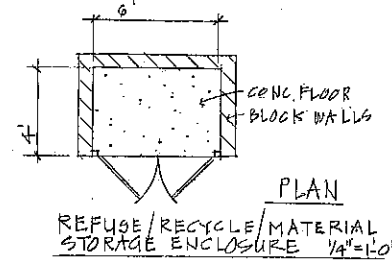
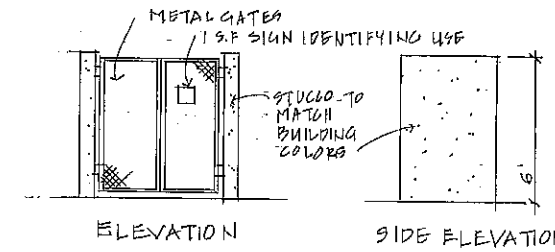
SITE DEVELOPMENT PERMIT  
133 OLIVE DRIVE  
SAN YSIDRO

REVISION 5  
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REVISION 1

ORIG. DATE 4.15.14

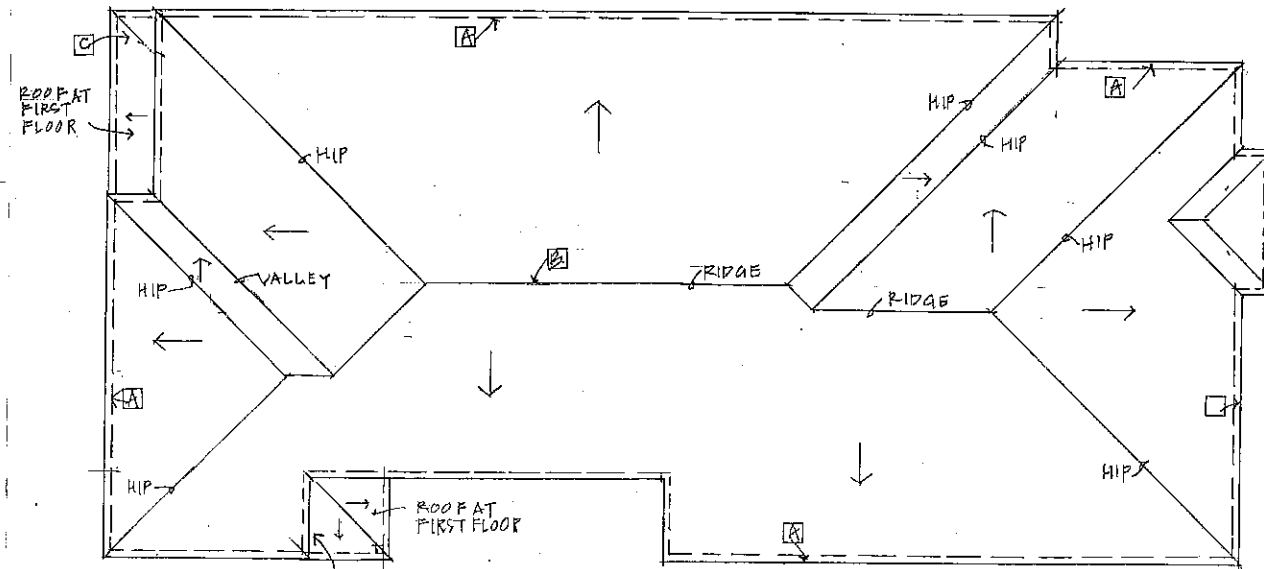
SITE PLAN  
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pts #

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**REQUIREMENTS**

REFUSE	24 SF
RECYCLE	24 SF
MIN. REQ'D	48 SF
TOTAL SHOWN	2 x 24 SF = 48 SF



ROOF PLAN 3/16"=1'-0"

**BUILDING #1 & 3**

A	ROOF LOW POINT	103.10'
B	ROOF HIGH POINT	108.60'
C	ROOF AT FIRST FLOOR	95.60'

**BUILDING #2 & 4**

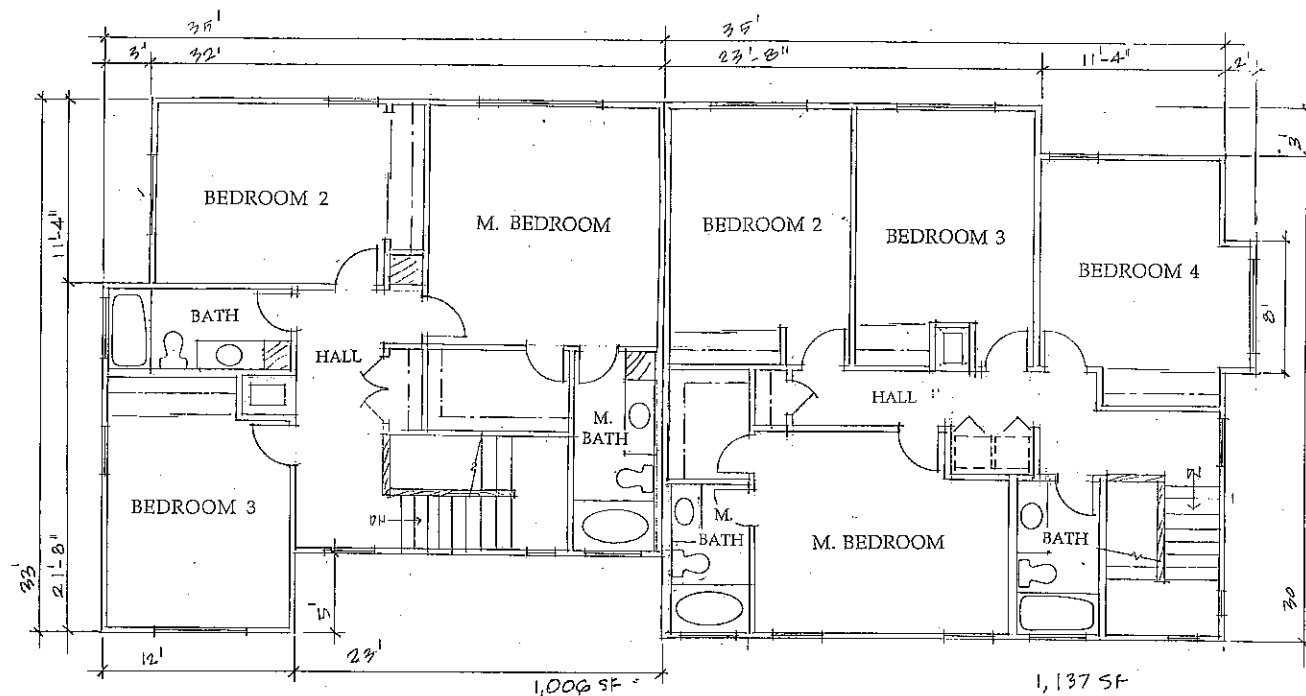
A	ROOF LOW POINT	102.30'
B	ROOF HIGH POINT	107.80'
C	ROOF AT FIRST FLOOR	94.80'

**UNIT DATA:**

(4) 4 Bedroom / 2.5 Bath units	1,899 sf
plus 2-car attached Garage	400 sf
(4) 3 Bedroom / 2.5 Bath units	1,646 sf
plus 2-car attached Garage	400 sf

**AREA DATA:**

Each 2-unit Building - Living Area	3,485 sf
Garage Area	800 sf
Enclosed Area	4,285 sf
Total Enclosed Area 4 buildings	= 17,140 sf

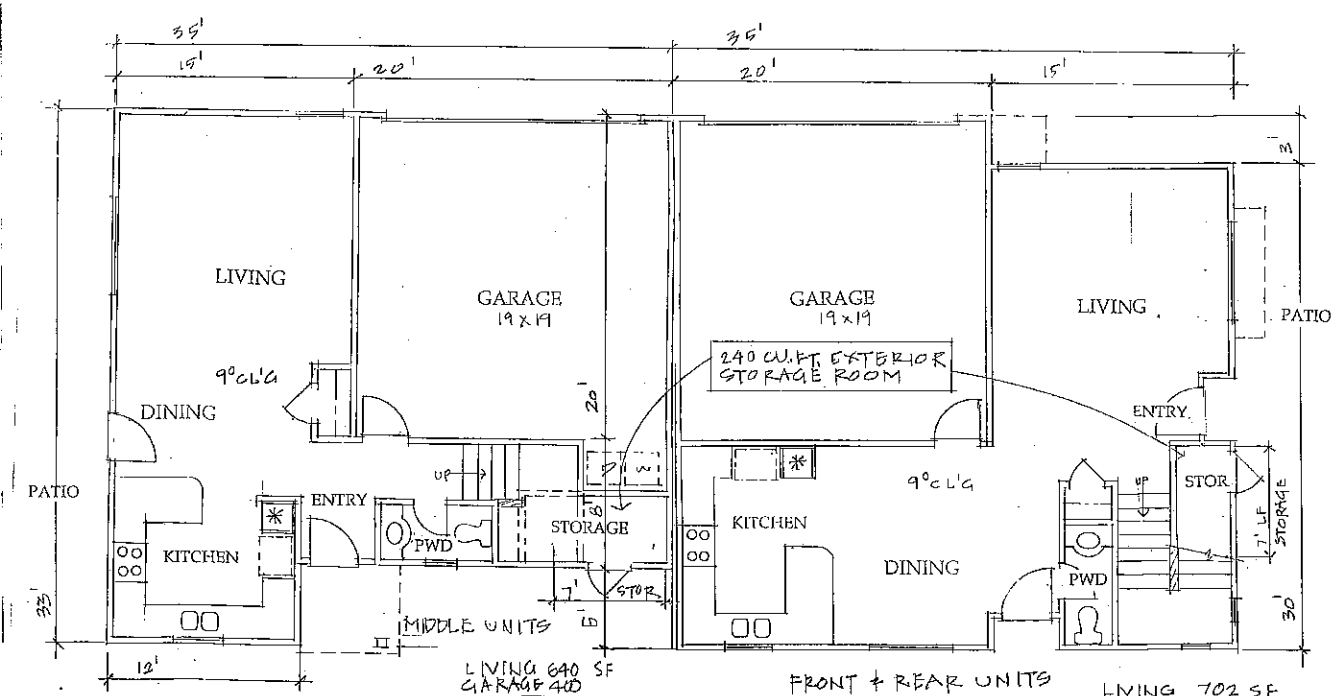


THREE BEDROOM UNIT # 2,3,6 & 7

FOUR BEDROOM UNIT # 1,4,5 & 6

SECOND FLOOR PLAN 3/16"=1'-0"

2,143 SF



THREE BEDROOM UNIT # 2,3,6 & 7

FRONT & REAR UNITS

FIRST FLOOR PLAN 3/16"=1'-0"

LIVING 640 SF  
GARAGE 400 SF  
1040 SF

LIVING 702 SF  
GARAGE 400 SF  
1102 SF

\* Interior refuse and recyclable material storage

SITE DEVELOPMENT PERMIT  
133 OLIVE DRIVE  
SAN YSIDRO

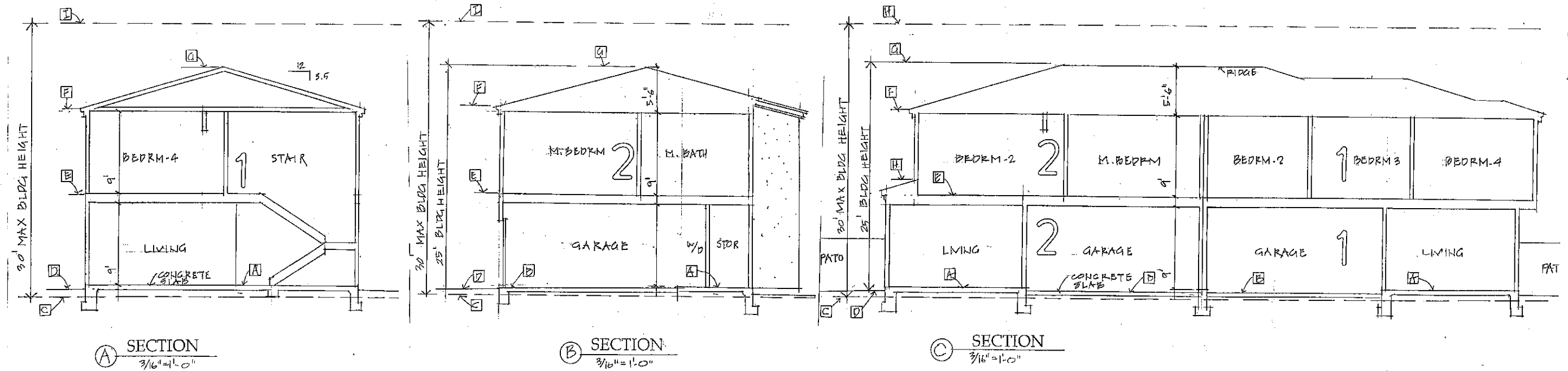
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REVISION 2	10.10.14
REVISION 1	6.15.14

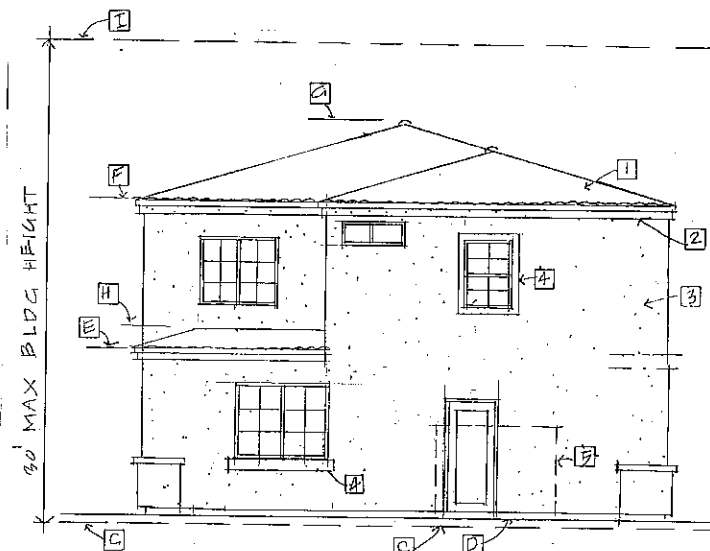
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FLOOR PLANS  
ROOF PLAN

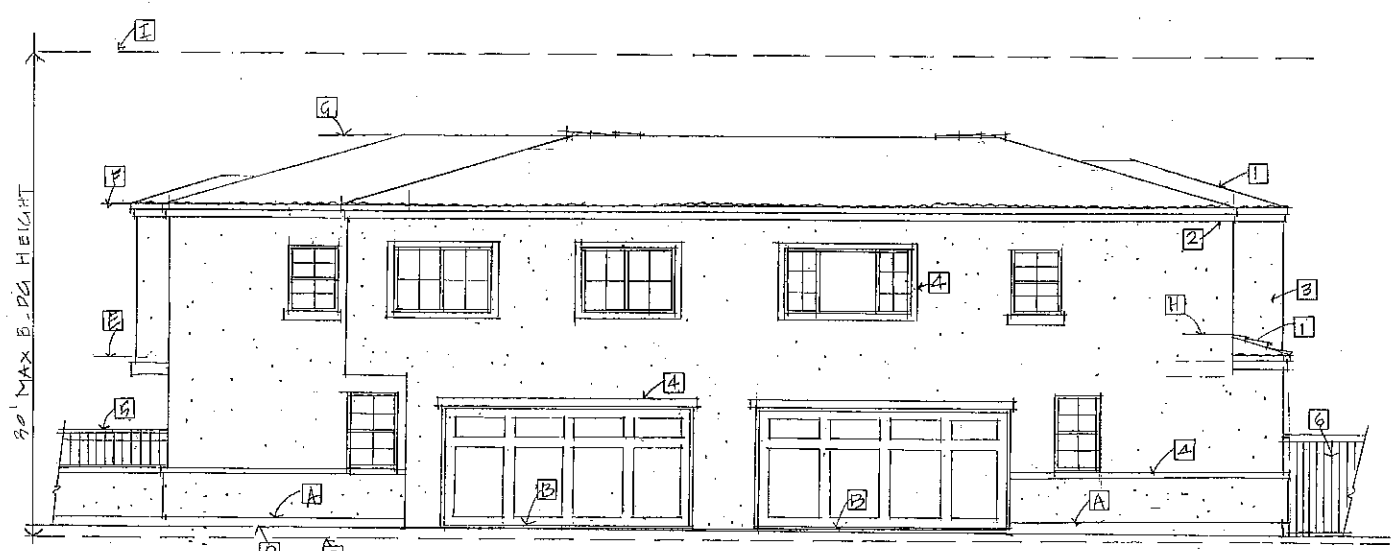
sheet 4 of 9  
pts #



<b>BUILDING #1&amp;3</b>	
A FIRST FLOOR ELEVATION	83.60'
B GARAGE FLOOR ELEVATION	83.10'
C EXISTING GRADE WITHIN 5'	
<b>BUILDING #1</b>	
D PROPOSED GRADE WITHIN 5'	82.50'
E SECOND FLOOR ELEVATION	84.50'
F ROOF LOW POINT	93.80'
G ROOF HIGH POINT	103.10'
H ROOF AT FIRST FLOOR	95.60'
I 30' MAX. BUILDING HEIGHT	113.60'
<b>BUILDING #2&amp;4</b>	
A FIRST FLOOR ELEVATION	82.80'
B GARAGE FLOOR ELEVATION	82.30'
C EXISTING GRADE WITHIN 5'	
<b>BUILDING #2</b>	
D PROPOSED GRADE WITHIN 5'	80.50'
E SECOND FLOOR ELEVATION	82.25'
F ROOF LOW POINT	82.50'
G ROOF HIGH POINT	92.80'
H ROOF AT FIRST FLOOR	102.30'
I 30' MAX. BUILDING HEIGHT	94.80'
<b>BUILDING #4</b>	
J 30' MAX. BUILDING HEIGHT	113.60'



BUILDING 1 & 3 WEST ELEVATION  
BUILDING 2 & 4 EAST ELEVATION

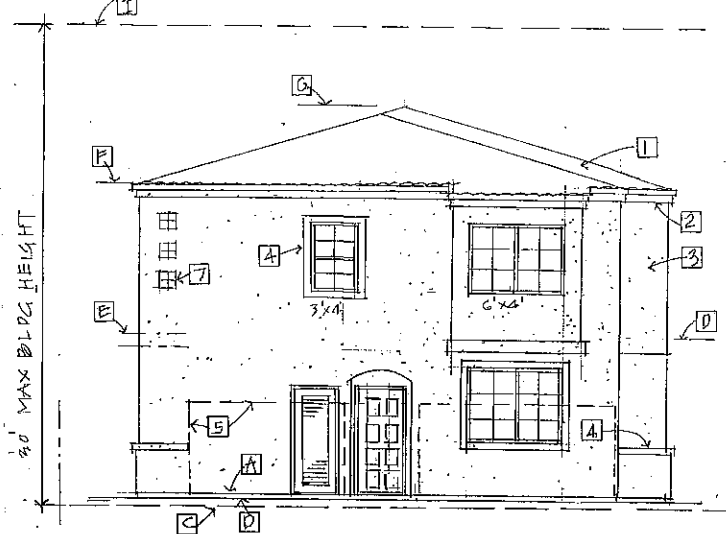


BUILDING 1 & 2 NORTH ELEVATION  
BUILDING 3 & 4 SOUTH ELEVATION

## ELEVATION KEY NOTES

- 1 TILE ROOFING
- 2 STUCCO EAVE
- 3 STUCCO
- 4 STUCCO ACCENT
- 5 DECOR METAL RAILING ON STUCCO WALL
- 6 6" PATIO FENCE
- 7 TILE ACCENT

TRANSPARENCY NOTE:  
20 SF GLASS REQUIRED  
AT SECOND FLOOR  
SHOWN 3'x4' = 12 SF + 6'x4' = 24 SF  
TOTAL 36 SF



BUILDING 1 & 3 EAST ELEVATION  
BUILDING 2 & 4 WEST ELEVATION



BUILDING 3 & 4 NORTH ELEVATION  
BUILDING 1 & 2 SOUTH ELEVATION

OLIVE DRIVE TOWNHOMES  
133 W. OLIVE DRIVE  
SAN DIEGO, CA 92173

SITE  
DEVELOPMENT  
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133 OLIVE DRIVE  
SAN YSIDRO

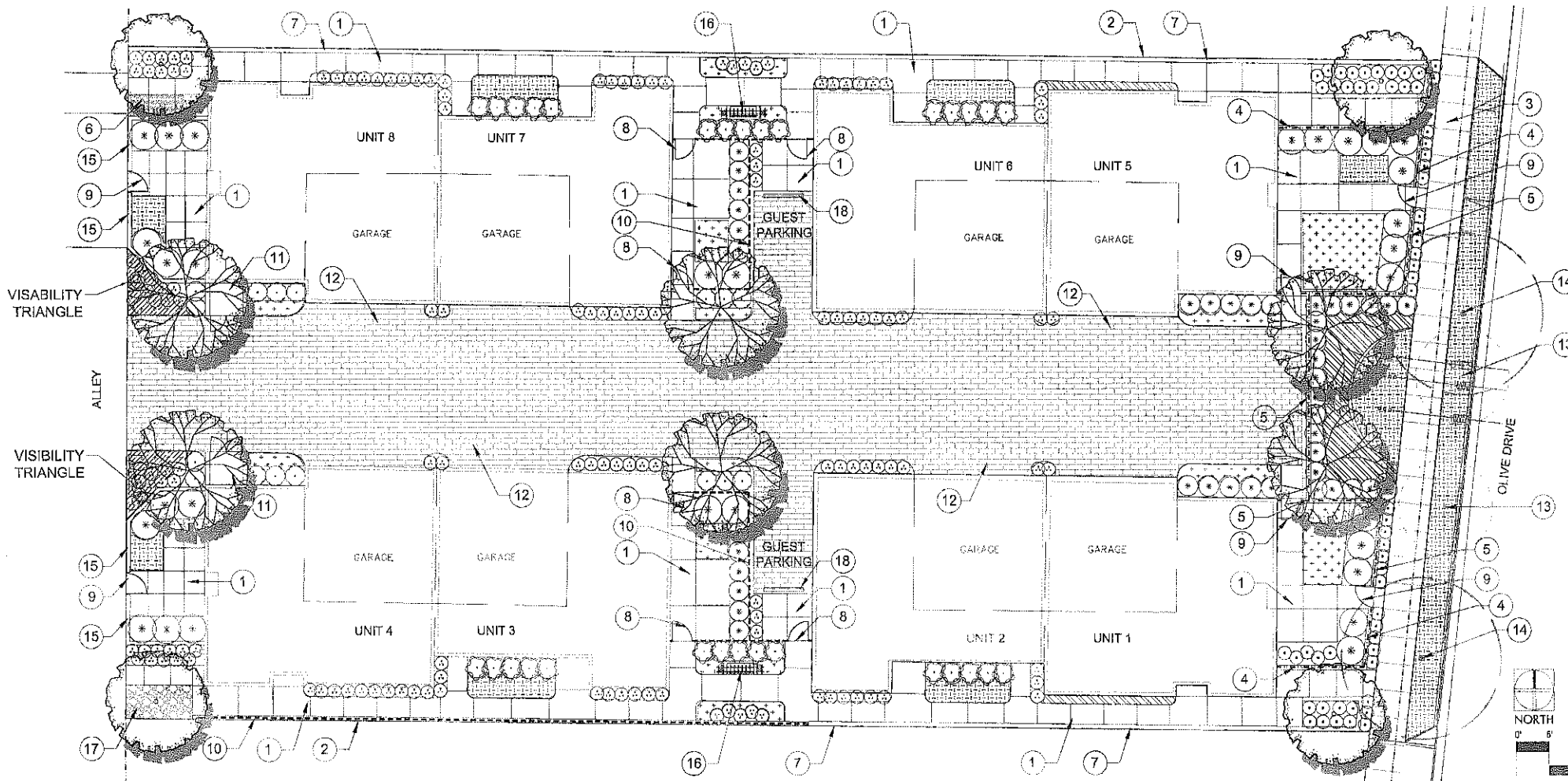
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REVISION 3 12.22.14  
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ORIG. DATE 4.15.14

ELEVATIONS  
SECTIONS

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LANDSCAPE ELEMENTS LEGEND	
1.	4" CONCRETE PAVING.
2.	EXISTING PROPERTY LINE.
3.	PUBLIC SIDEWALK-CONCRETE PAVING, PER CIVIL ENGINEER.
4.	RETAINING WALL (PER CIVIL ENGINEER) WITH DECORATIVE METAL FENCING ON TOP. TOTAL HEIGHT TO BE 5'-6".
5.	36" HT MASONRY WALL WITH 2'-6" HT. METAL FENCING ON TOP. MASONRY WALL TO HAVE STUCCO FINISH TO MATCH ARCH.
6.	MOTORCYCLE PARKING, 3'x6'
7.	5'-0" HT MASONRY RETAINING WALL WITH STUCCO FINISH TO MATCH ARCHITECTURE. PER CIVIL ENGINEER.
8.	5'-0" HT. WOOD GATE
9.	5'-6" HT. DECORATIVE METAL GATE
10.	5'-0" HT. WOOD FENCE.
11.	TRASH ENCLOSURE, PER ARCHITECT.
12.	PERMEABLE PAVERS, PER CIVIL ENGINEER
13.	EXISTING TREE (DEAD) TO BE REMOVED
14.	EXISTING STREET TREE TO REMAIN, PROTECT IN PLACE.
15.	5'-6" HT. MASONRY WALL WITH STUCCO FINISH TO MATCH ARCH.
16.	WOOD TRELLIS WITH 4" BENCH
17.	COBBLE FOR DRAINAGE. PER CIVIL ENGINEER.
18.	WHEEL STOPS, 6'x6".

TOTAL LANDSCAPED AREA: 2,950 sf

CANDIDATE PLANT LEGEND			
SYMBOL	BOTANICAL / COMMON NAME	MIN. SIZE	
	LAGERSTROEMIA INDICA / GRAPE MYRTLE	36"/24" BOX	
	BAUHINIA PURPUREA / PURPLE ORCHID TREE		
	PRUNUS CERASIFERA / PURPLE LEAF PLUM		
	LOPHOSTEMON CONFERTUS / BRISBANE BOX	36"/24" BOX	
	EXISTING STREET TREE - OLIVE TREE TO BE PROTECTED IN PLACE		
	EXISTING STREET TREE - GRAPE MYRTLE (DEAD) TO BE REMOVED		
SHRUBS/GROUNDCOVERS/VINES (MIX OF PLANTS, 1 GAL., 5 GAL.) SUCH AS:			
	-ALOE SPP. (ALOE)		
	-ALZOYA PULCHELLA (BLUE HIBISCUS)		
	-CAREX SPP. (SEDGE)		
	-CISTUS X PURPUREUS (ORCHID ROCKROSE)		
	-DIETES VEGETA (FORTNIGHT LILY)		
	-FESTUCA D. GLAUCA (BLUE FESCUE)		
	-GREVALLEA NOBILIS (NOEL'S GREVILLEA)		
	-HARDENBERGIA SPP. (LLAG VINE)		
	-HELICTOTRICHON SEMPERVIRENS (BLUE CAT GRASS)		
	-LANTANA MONTIVENSIS (TRAILING LANTANA)		
	-LON CERA J. HALLIANA (ITALY'S HONEY SUCKLE)		
	-MAHONIA REPENS (CREEPING OREGON GRAPE)		
	-MUHLENBERGIA RIGENS (DEER GRASS)		
	-DENOOTHERA SPECIOSA (EVENING PRIMROSE)		
	-RHAPHOLEPIS SPP. (INDIAN HAWTHORNE)		
	-ROSMARINUS SPP. (ROSEMARY)		
	-SALVIA SPP. (SAGE)		
	-SPHEGIC MANDRALISCAE (BLUE CHALK STICKS)		

LANDSCAPE CONCEPT THEORY

THE PLANT PALETTE HAS BEEN SELECTED IN ORDER TO STRESS THE IMPORTANCE OF WATER-WISE LANDSCAPING, AS WELL AS PROVIDING FOR AN AESTHETICALLY-PLEASING LANDSCAPE FOR THE COMMUNITY. THE PLANTS SELECTED ARE CONSISTENT WITH THE CITY OF SAN DIEGO LANDSCAPE WATER CONSERVATION ORDINANCE. TURF WILL BE LIMITED TO RECREATIONAL AND GATHERING AREAS. ALL PLANTED AREAS EXCEPT FOR TURF SHALL RECEIVE A LAYER OF BARK MULCH.

IRRIGATION SYSTEM DESIGN

THE SYSTEM WILL BE DESIGNED TO REDUCE OVERALL WATER REQUIRED FOR SUPPLEMENTAL IRRIGATION. A FLOW-SENSOR, RAIN-SENSOR AND ET-BASED CONTROLLER WILL BE UTILIZED TO ACHIEVE THIS GOAL. THE DELIVERY METHOD WILL BE A COMBINATION OF OVERHEAD SPRAY, BUBBLERS AND DRIP IRRIGATION. "HYDROZONES" WILL BE SEPARATED BASED ON PLANT REQUIREMENTS AND SOLAR EXPOSURE. IRRIGATION DESIGN PLANS WILL COMPLY WITH THE AS 1981 AND THE CITY OF SAN DIEGO LANDSCAPE WATER CONSERVATION ORDINANCE.

ADDITIONAL NOTES

MINIMUM TREE/IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNAL/STOP SIGN - 20FT., SEWER LINES - 10FT.; UNDERGROUND UTILITY LINES - 6 FT., ABOVE GROUND UTILITY STRUCTURES - 10FT., DRIVEWAYS - 10FT.; INTERSECTIONS - 25FT.

REQUIRED PER CITY, ROOT BARRIERS. ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. ROOT BARRIERS SHALL BE 24" DEEP, 0.8" THICK, AND BE PLACED FLUSH WITH THE TOP OF ANY ADJACENT HARDSCAPE OR CURB AND BE CENTERED 6" ON EITHER SIDE OF THE TREE (12" TOTAL).

IN THE EVENT THAT THE LANDSCAPE PLAN AND THE SITE PLAN CONFLICT, THE SITE PLAN SHALL BE REVISED TO BE CONSISTENT WITH THE LANDSCAPE PLAN SUCH THAT LANDSCAPE AREAS ARE CONSISTENT WITH EXHIBIT 'A' LANDSCAPE DEVELOPMENT PLAN

IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMO OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND & EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.

REQUIRED SHRUBS OR TREES THAT DIE 3 YRS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15 GAL. SIZE OR 60" BOX SIZE MATERIAL, RESPECTIVELY. DEVELOPMENT SERVICES MAY AUTHORIZE ADJUSTMENT OF THE SIZE AND QUANTITY OF REPLACED MATERIAL.

ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.

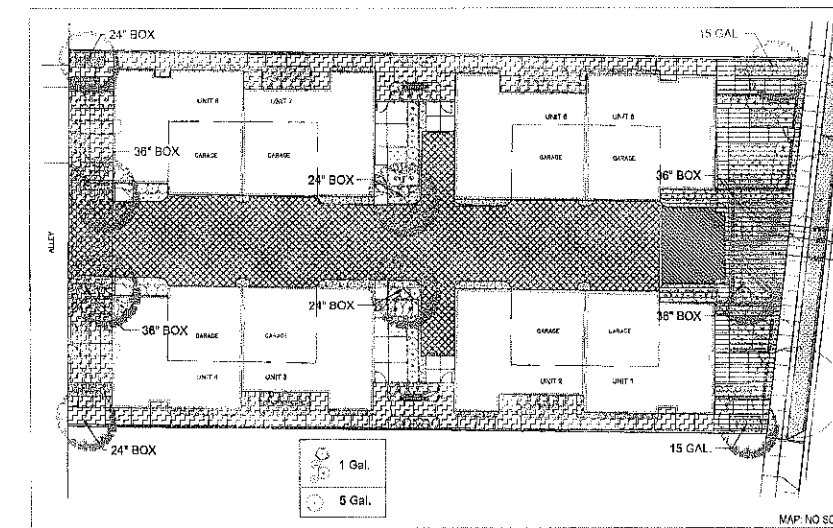
THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING THE RIGHT-OF-WAY. CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY.

TREE PROTECTION NOTES:

- ANY DAMAGE OR INJURY TO TREES SHALL BE REPORTED WITHIN 24 HOURS TO THE CITY BY THE CONSTRUCTION MANAGER.
- DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS OR EXCAVATED MATERIALS INSIDE TREE PROTECTION ZONES. DO NOT PERMIT VEHICLES OR FOOT TRAFFIC WITHIN TREE PROTECTION ZONES; PREVENT SOIL COMPACTION OVER ROOT SYSTEMS.
- WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN TREE PROTECTION ZONES, HAND CLEAR AND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS. USE NARROW-TIME SPADING FORKS AND COMB SOIL TO EXPOSE ROOTS.
  - REDIRECT ROOTS IN BACKFILL AREAS WHERE POSSIBLE. IF ENCOUNTERING LARGE, MAIN LATERAL ROOTS, EXPOSE ROOTS BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND REDIRECT THEM WITHOUT BREAKING. IF ENCOUNTERED IMMEDIATELY ADJACENT TO LOCATION OF NEW CONSTRUCTION AND REDIRECTION IS NOT PRACTICAL, CUT ROOTS APPROXIMATELY 3 INCHES (75 MM) BACK FROM NEW CONSTRUCTION.
  - DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PLACING PERMANENT BACKFILL. PROVIDE TEMPORARY EARTH COVER OR PACK WITH PEAT MOSS AND WRAP IN BURLAP. WATER AND MAINTAIN IN A MOIST CONDITION. TEMPORARY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND COVERED WITH SOIL.
- WHERE UTILITY TRENCHES ARE REQUIRED WITHIN TREE PROTECTION ZONES, TUNNEL UNDER OR AROUND ROOTS BY DRILLING, AUGER BORING, PIPE JACKING, OR DIGGING BY HAND.
- DURING THE COURSE OF CONSTRUCTION THE GENERAL CONTRACTOR/ LANDSCAPE CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION TO ALL EXISTING TREES AS IS REQUIRED TO MAINTAIN THE TREES IN A HEALTHY AND THRIVING CONDITION. THE CONTRACTORS' APPROACH AND METHODOLOGY FOR PROVIDING TEMPORARY IRRIGATION TO EXISTING TREES SHALL BE REVIEWED WITH THE CONSTRUCTION MANAGER, THE OWNER, AND THE PROJECT LANDSCAPE ARCHITECT AT THE PRE-CONSTRUCTION MEETING.

SAN DIEGO LANDSCAPE POINT MAP & CALCULATIONS

LANDSCAPE AREA/POINTS CALCULATIONS		KEY
REMAINING YARD TOTAL AREA: 3,435 S.F.	(2) 36" BOX =100 (2) 24" BOX =40 (4) 5 GAL =8 (92) 1 GAL =92	
PLANT AREA REQ'D (40sf per tree): 160 S.F. PROVIDED: 210 S.F.		
PLANT POINTS REQ'D (60sf per building): 240 PROVIDED: 240	240	
VEHICULAR USE AREA (<6000 SF) OUTSIDE STREET YARD TOTAL VUA AREA: 3,810 S.F.	(2) 36" BOX =100 (2) 24" BOX =40 (16) 5 GAL =32 (20) 1 GAL =20	V.U.A. OUTSIDE STREET YARD
PLANT AREA REQ'D (40 sf per tree): 160 S.F. PROVIDED: 210 S.F. (provided within 5' of VUA)		
PLANT POINTS REQ'D (x .05): 191 (98 pts through trees) PROVIDED: 192 THROUGH TREES: 140	192	
VEHICULAR USE AREA (<6000 SF) INSIDE STREET YARD TOTAL VUA AREA: 330 S.F.	(2) 36" BOX =100 (21) 1 GAL = 21	V.U.A. INSIDE STREET YARD
PLANT AREA REQ'D (40sf per tree): 80 S.F. PROVIDED: 150 S.F.		
PLANT POINTS REQ'D (x .05): 16.5 (9 pts through trees) PROVIDED: 121 THROUGH TREES: 100	21	
STREET YARD TOTAL AREA: 2,320 S.F.	(2) 36" BOX =100 (2) 15 GAL =20 (74) 1 GAL =74	
PLANT AREA REQ'D (50%): 1,160 S.F. PROVIDED: 1,170 S.F.		
PLANT POINTS REQ'D: 116 (58 pts through trees) PROVIDED: 194 THROUGH TREES: 120	194	



# OLIVE DRIVE TOWNHOMES SITE DEVELOPMENT PERMIT

133 W. OLIVE DRIVE  
SAN DIEGO, CA 92173

## LANDSCAPE DEVELOPMENT PLAN

PREPARED BY:  
  
1947 Fern Street  
Suite 4  
San Diego, CA 92102  
619.235.5360  
619.235.5369 Fax  
info@ivyplan.com  
Landscape Architecture  
Planning

REVISION 5:  
REVISION 4:  
REVISION 3:  
REVISION 2: 12.23.14  
REVISION 1: 10.10.14  
ORIGINAL DATE: 4.15.14

PROJECT #:  
SHEET #:  
  
LANDSCAPE  
DEVELOPMENT  
PLAN  
  
sheet 6 of 9  
  
SDP/TM 368310

## TENTATIVE MAP EXHIBIT AND CONCEPT GRADING

W. OLIVE DRIVE TOWNHOMES

TENTATIVE MAP, SITE DEVELOPMENT PERMIT - PROJECT NO.368310

SHEET 1 OF 3 SHEETS

OWNER/APPLICANT:

PATHFINDER RAINBOW RESIDENTIAL II, LP  
11855 SORENTO VALLEY ROAD, STE D  
SAN DIEGO, CA 92121  
858 273-8800 EXT 11  
MICHAEL KOOTCHICK, MANAGER

## DEVELOPMENT SUMMARY

THE PROPOSED DEVELOPMENT IS A TWO LEAL LOT CONSOLIDATION WITH THE INTENDED USE OF 4 MULTI FAMILY CONDOMINIUM DUPLEX UNITS. THIS PROJECT PROPOSES DEMOLISHING THE EXISTING STRUCTURE, DISCRETIONARY ACTIONS BEING REQUESTED ARE FOR A SITE DEVELOPMENT PERMIT, AND A TENTATIVE MAP. THE AFFORMENTIONED SITE DEVELOPMENT PERMIT IS NEEDED DUE TO THE REQUESTED AFFORDABLE HOUSING DENSITY BONUS. NO DEVIATIONS ARE REQUESTED.

## LEGAL DESCRIPTION:

LOTS 73 &amp; 74 OF MAP 1174

## BENCHMARK:

THE BASIS OF ELEVATION FOR THIS SURVEY IS THE CITY OF SAN DIEGO BRASS PLUG AT HALL AVENUE AND EAST OLIVE DRIVE, SWGP, ELEVATION: 94.869 M.S.L.

## GENERAL NOTES:

- THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 8.
- A FINAL MAP WILL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL MAP.

## DEVELOPMENT NOTES &amp;

- TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS: 8
- TOTAL NUMBER OF PARKING & GARAGE SPACES: 18  
8 GARAGES AT 400 SQ. FT. EACH
- 4- 3 BEDROOM UNITS @ 1644 SQ. FT., 4- 4 BEDROOM UNITS @ 1639 SQ. FT.  
TOTAL = 8 UNITS 17,140 SQ. FT.

## REQUIRED PROJECT DATA:

- EXISTING/PROPOSED ZONING: RM-1-1  
COMMUNITY PLAN NAME: SAN YSIDRO
- PROJECT AREA: 0.44 ACRES/ 19,228 SQ. FT.
- PROPOSED NUMBER OF PARCELS: 1
- PROPOSED NUMBER OF UNITS: 8
- LC COORDINATES: 140-1755  
NAD 83: 1780-6315
- ASSESSOR'S PARCEL NUMBER: 666-060-19-00
- SETBACKS: PER MUNICIPAL CODE 1512.0309(2)(A)  
OLIVE AVENUE (FRONT)=20'(50% AT 15'), INTERIOR SIDE=5.00',  
REAR SETBACK = 5.00'
- SEE PLANS FOR DETAILS OF EXISTING SETBACKS
- TOTAL AREA OF RESIDENTIAL SPACE: 13,940 + 3,200 GARAGES
- NO EASEMENTS ON PROPERTY
- NEAREST BUS STOP: SAN YSIDRO BLVD & EAST PARK
- NEAREST FIRE HYDRANT AT E HALL AVE. & W OLIVE DRIVE (AVENUE).
- YEAR BUILDINGS CONSTRUCTED - 1972
- PARKING DATA  
PER TABLE 142-05C OF THE MUNICIPAL CODE, PARKING REQUIRED:  
FOUR 3 BEDROOM, FOUR 4 BEDROOM, MULTI-FAMILY UNITS X 2.25 PER UNIT  
= 18 REQUIRED SPACES +1 MOTORCYCLE, PARKING PROVIDED = 18 SPACES  
+ 2 MOTORCYCLE SPACE.
- ADDRESS: 133 W. OLIVE DRIVE, SAN DIEGO, CA 92173

NOTE: EXISTING SEWER LATERAL TO BE CAPPED. LOCATION NOT FOUND IN PUBLIC RECORDS.

## RETAINING WALL NOTES:

RETAINING WALLS SHALL COMPLY WITH ZONING REGULATIONS AND SHALL NOT EXCEED 3' IN HEIGHT 2.17 FT. MAX. CUT SLOPE; RETAINING WALLS 319 LF < 3 FT TALL

## GRADING NOTES:

GRADING NOTE: NO IRRIGATION RUN OFF SHALL DRAIN INTO THE PUBLIC RIGHT OF WAY, STREET, DRIVES ALLEYS OR ADJACENT PROPERTIES.

GRADING - DISTURBED AREA .44 ACRE; 360 CY CUT; 360 CY FILL; EXPORT -0 CY

## ENGINEERS' STATEMENT:

I HEREBY STATE THAT THIS TENTATIVE MAP AND CONCEPT GRADING PLAN WAS PERFORMED UNDER MY DIRECTION DURING THE MONTH OF MARCH 2014, AND IT CONFORMS TO PROFESSIONAL ACCEPTED STANDARDS OF ACCURACY. I FURTHER REPRESENT THAT THIS MAP ILLUSTRATES UTILITIES OBTAINED FROM RESEARCH AS OPPOSED TO SUBSURFACE EXPLORATION.

## BASIS OF BEARINGS

CENTER OF OLIVE AVENUE AS SHOWN ON CORNER RECORD 3480, I.L. N06°31'S8E

PREPARED BY:

Name: SCHWERIN &amp; ASSOCIATES

WALTER T. SCHWERIN

Address: 814 MORENA BLVD., STE. 101

SAN DIEGO, CA. 92131

Phone: (619) 220-4969

Project Address:

133 W. OLIVE DRIVE

SAN DIEGO, CA 92173

Project Name:

W. OLIVE DRIVE TOWNHOMES

PTS - 368310

Sheet Title:

EXHIBIT MAP

Revision 14:

Revision 13:

Revision 12:

Revision 11:

Revision 10:

Revision 9:

Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1:

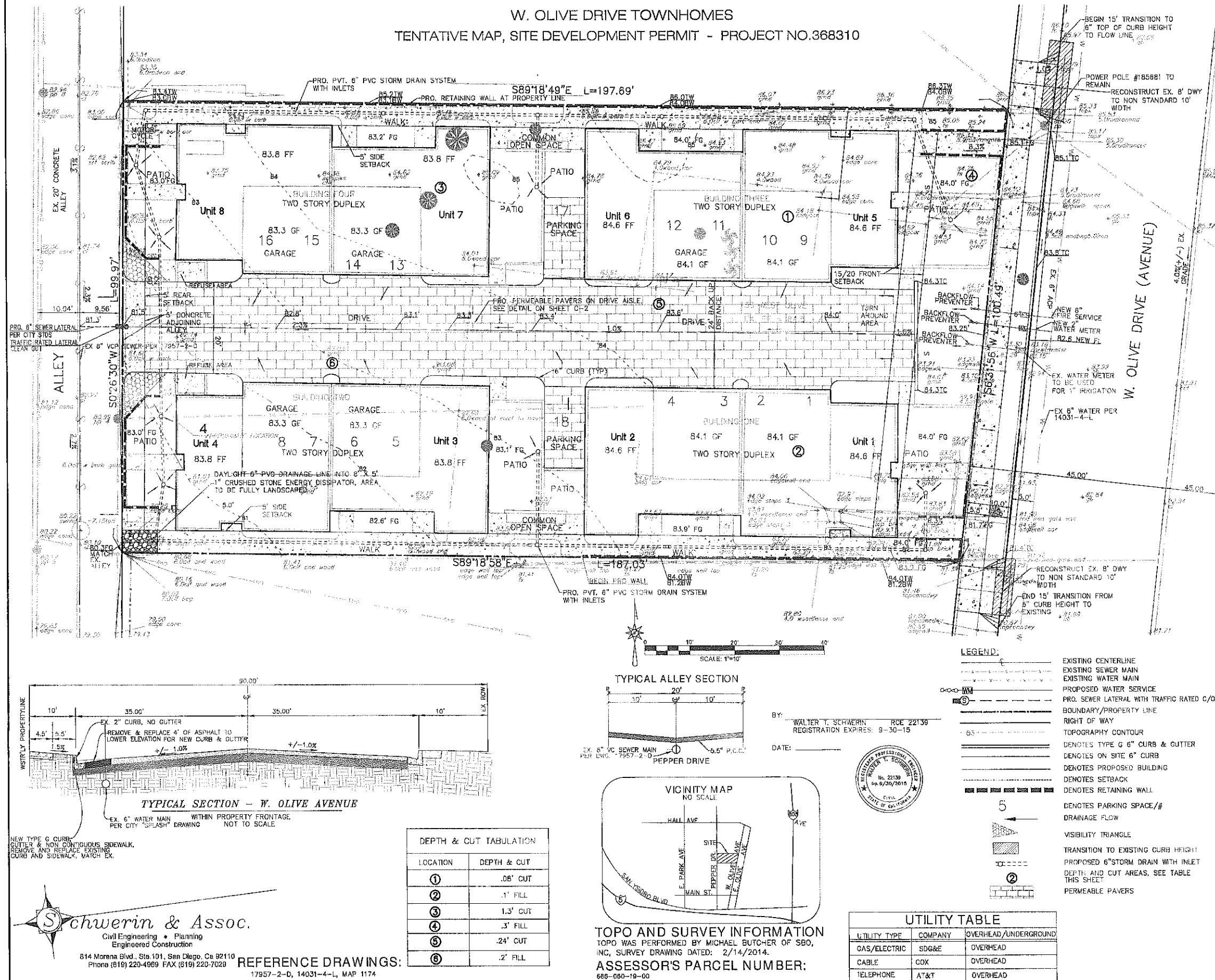
Original Date: April 23, 2014

Sheet 1 of 3

C-1

TM APPROVAL # 1287833

7 of 9



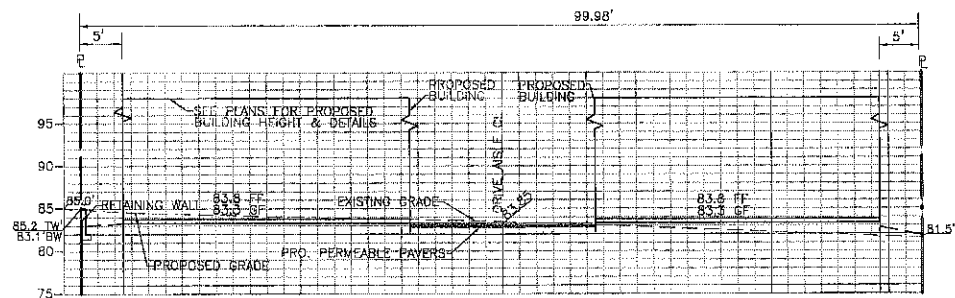


TENTATIVE MAP, SDP EXHIBIT AND CONCEPT GRADING  
PROJECT NO. 368310

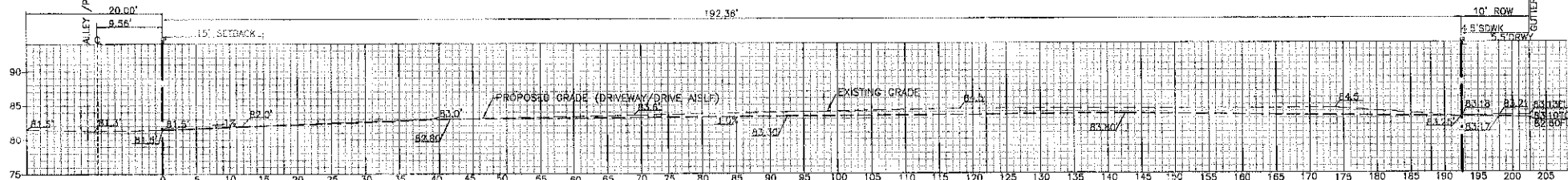
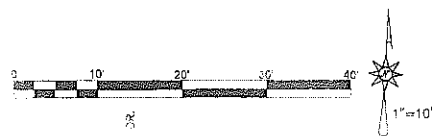
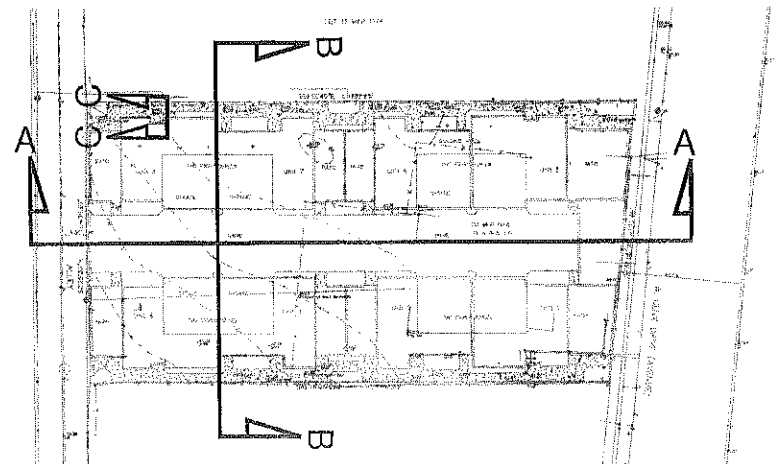
SHEET 2 OF 3 SHEETS

- GENERAL NOTES
1. GRADING PROPOSED (WITHIN BUILDING FOOTPRINT) DISTURBED AREA .44 ACRES; 320 CY CUT ; 100 CY FILL ; EXPORT 220 CY
  2. PROVIDE BUILDING ADDRESSES THAT ARE VISIBLE AND LEGIBLE FROM THE STREET FRONTING PROPERTY PER FHPS POLICY P-00-8 (UFG 901.4.4).
  3. ALL OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
  4. NO EXISTING OR PROPOSED EASEMENTS
  5. NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THE PROPERTY
  6. NO OBSTRUCTIONS OVER 3 FT. IN VISIBILITY AREA.
  7. THE PROJECT MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.04444 AND 132.0505), THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY ANTENNA, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE
  8. SEE SHEET 3 FOR EXISTING/DEMO
  9. SEE C-1 AND LANDSCAPE PLANS FOR DRAINAGE PATTERNS
  10. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  11. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS SIDE OF THE STRUCTURE.
  12. A VISIBILITY AREA OF 10' (10' X 10' TRIANGLE) SHALL BE PROVIDED ON BOTH SIDES OF THE PROPOSED DRIVE ALONG THE PROPERTY LINES PER LDC SECTION 13.0273 NO OBSTACLES HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA (e.g. WALLS, LANDSCAPING, SHRUBS, ETC.

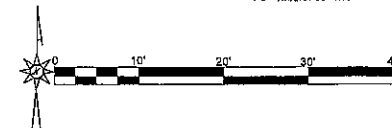
IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.



SECTION B-B



TENTATIVE MAP  
PROJECT NO. 368310



### EXISTING CONDITIONS

C-3

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

## Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☒ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title**

OLIVE DRIVE TOWNHOMES

**Project No. For City Use Only**

368310

**Project Address:**

133 W. OLIVE DRIVE

### Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached** ☐ Yes ☒ No

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☐ Corporation    ☐ Limited Liability -or- ☐ General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print):  
**PATHFINDER RESIDENTIAL II LP**

☒ Owner    ☐ Tenant/Lessee **RAINTREE**

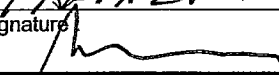
Street Address:  
**11855 SORRENTO VALLEY RD**

City/State/Zip:  
**SAN DIEGO, CA 92121**

Phone No: **619 804 3417**    Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
**MICHAEL KOOTCHICK**

Title (type or print):  
**PARTNER**

Signature:     Date: **4-15-14**

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

**OWNERSHIP DISCLOSURE STATEMENT  
INFORMATION:**

Pathfinder Raintree Residential II, L.P. Individuals:

Raintree Names:

Michael Kootchick

Robert Shapiro

Alfred Saleh

Pathfinder Names:

Mitch Seigler

Lorne Polger

Scot Eisendrath

Brent Rivard





Front of existing residence



Front of existing residence, looking south



Rear yard of existing site



Alley at rear of site, looking north