



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: July 16, 2015 **REPORT NO. PC-15-085**

ATTENTION: Planning Commission, Agenda of July 23, 2015

SUBJECT: VERIZON – HOME - PROJECT NO. 374908. PROCESS FOUR

**OWNER/
APPLICANT:** Home Avenue Storage
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a wireless communication facility at 4773 Home Avenue in the Mid-Cities Community plan area of City Heights?

Staff Recommendation(s): Approve Planned Development Permit (PDP) No. 1415626.

Community Planning Group Recommendation: On April 6, 2015, the City Heights Area Planning Committee voted 13-1-0 to recommend approval of the Verizon – Home project.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 3, 2015, and the opportunity to appeal that determination ended **June 17, 2015**.

Fiscal Impact Statement: All project related costs associated with processing this permit are paid out of a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: Not Applicable.

BACKGROUND

This project is an application for a PDP, Process 4, for a Wireless Communication Facility (WCF) consisting of a 34-foot tall faux pine tree supporting nine panel antennas and 12 Remote Radio Units (RRU) on the northeast corner of the Super Storage property located 4773 Home Avenue. The associated equipment is proposed to be located within a storage unit on the property and an emergency generator is proposed adjacent to the tree in a 64-square foot concrete block enclosure. The WCF is existing, approved in 2002; however, the permit expired on August 16, 2012. Verizon is proposing to upgrade the tree, install a generator and obtain a new permit in compliance with current regulations. The project site is in the Central Urbanized Planned District, zoned CUPD-CU-3-8 in the Mid-City Communities plan area of City Heights. Surrounding uses include multi-unit residential to the south, east and west and commercial to the north (Attachments 1, 2 and 3).

WCF are permitted as a Limited Use in commercial zones pursuant to compliance with the underlying development regulations, however the faux tree branches encroach into the front yard setback and the monopine will be increased in height to exceed the maximum height limit by 4-feet, which requires a PDP to deviate.

DISCUSSION

Project Description:

This project consists of an existing first generation 29-foot tall faux pine tree supporting nine panel antennas with equipment located in an adjacent mini storage unit. The original project was approved by staff in 2002 and expired in 2012. This project proposes to add a crown to the tree top, which will increase the height of the tree to 34-feet. The project also includes an emergency generator located at the base of the tree in a 64-square foot block enclosure.

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCF located in commercial and industrial zones are permitted with Process One (Staff-level) approvals. As this particular project is located in a commercial zone, the project would be approved as a Limited Use, Process One; however the faux tree branches encroach into the front yard setback and the proposed height of the monopine exceeds the maximum height limit of 30-feet, which requires a PDP. The required front yard setback is 10-feet and the branches encroach approximately three-feet into this area. An existing 8-foot tall chain link fence runs the length of the front setback and the majority of the 10-feet is planted with live trees and shrubs. This deviation can be supported, as the design of the proposed WCF is compatible with the existing on-site development and will allow the provision of wireless service to the surrounding neighborhood in a non-intrusive way.

Community Plan Analysis:

While the Mid City Communities Plan does not specifically address WCFs, the City's General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The project complies with the General Plan recommendations by utilizing techniques, in this case, a faux tree, to integrate the WCF with the surroundings. Existing live trees adjacent to the monopine help to screen and blend the facility in to the property. The project proposes to upgrade the tree to include additional branches for a fuller branch density and a crown, which will help to minimize the appearance of the antennas and result in a more natural appearance (Attachment 9). A new enclosure adjacent to the tree will house an emergency generator, which because of its location and existing landscaping; will be minimally visible to the surrounding neighborhood. This design allows the WCF to be concealed by screening techniques to blend in with the surrounding area, which results in the provision of wireless service in a way that is aesthetically pleasing and respectful of the neighborhood context.

Conclusion:

With the exception of the 4-foot height deviation and the front yard setback encroachment, this project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of PDP No. 1415626.

ALTERNATIVES

1. **Approve** Planned Development Permit No. 1415626, **with modifications.**
2. **Deny** PDP No. 1415626, **if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



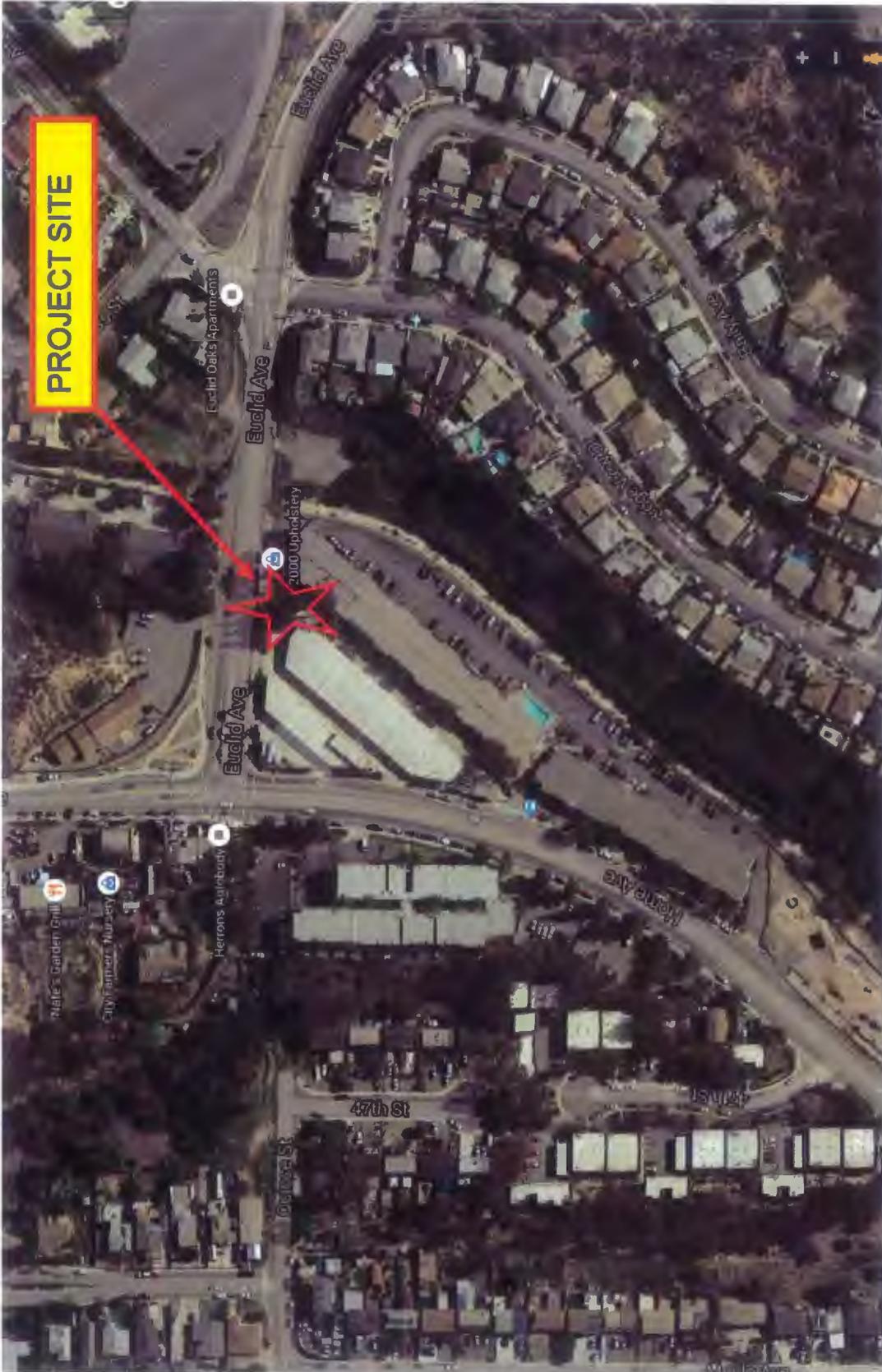
Karen Lynch
Project Manager
Development Services Department

VACCHI/KAL

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Coverage Maps
9. Photo Survey
10. Photosimulations
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology
14. Public Hearing Notice
15. Project Plans

Rev 01-06/11 hmd

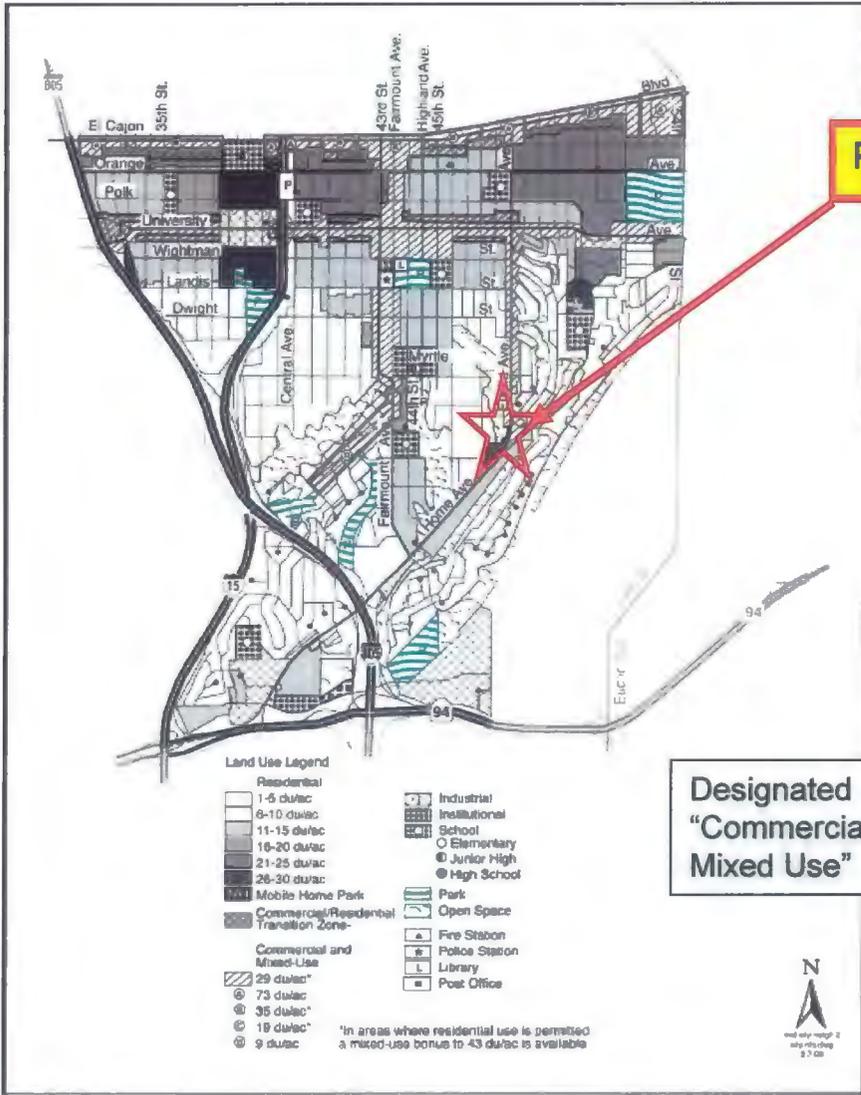


Aerial Photo

VERIZON-HOME PROJECT NUMBER 374908

4773 Home Avenue





PROJECT SITE

**Designated
"Commercial and
Mixed Use"**



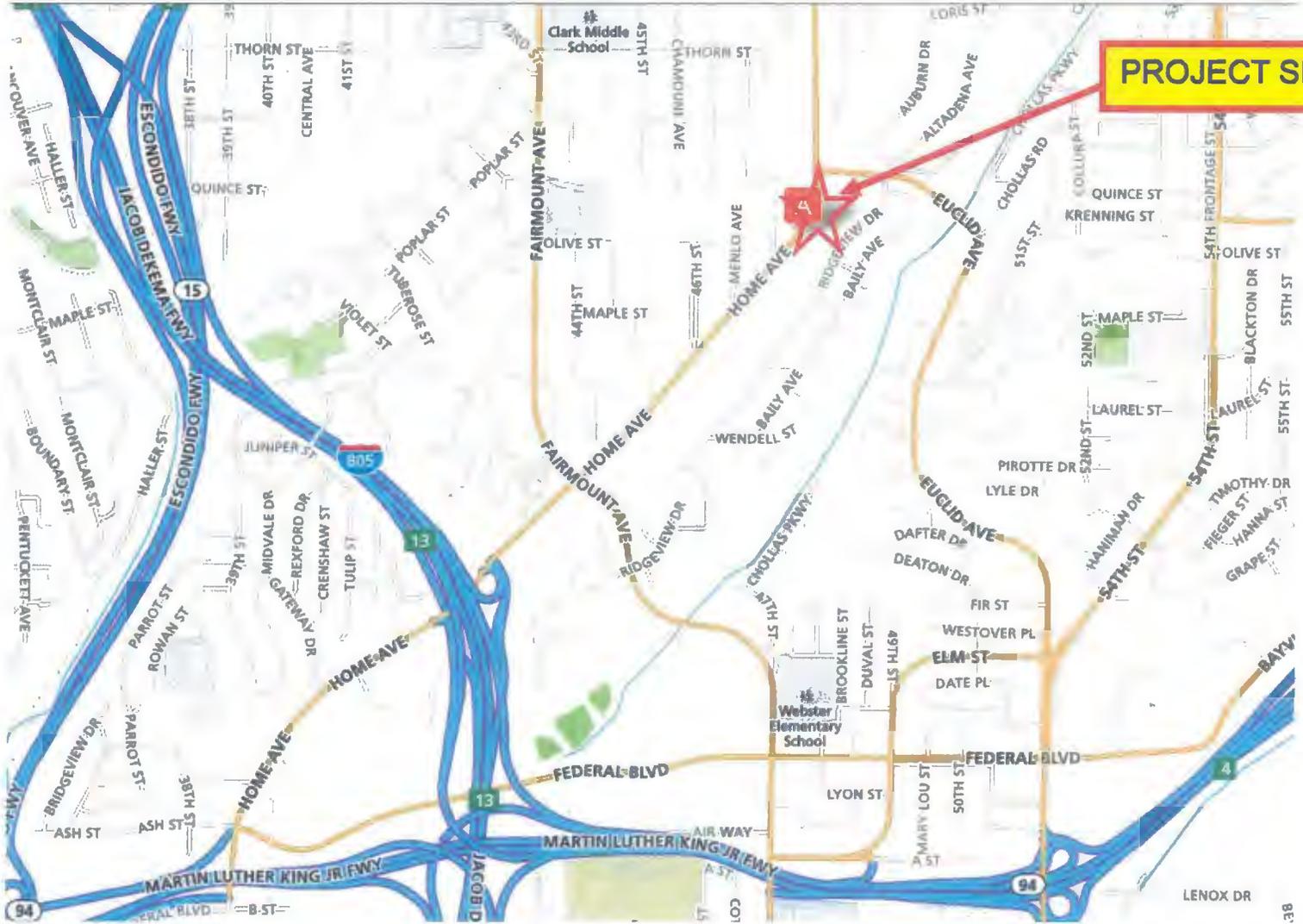
CITY HEIGHTS COMMUNITY PLAN MAP



VERIZON- HOME PROJECT NUMBER 374908

4773 Home Avenue





PROJECT SITE



Project Location Map
VERIZON- HOME PROJECT NUMBER 374908
4773 Home Avenue



PROJECT DATA SHEET

PROJECT NAME:	Verizon – Home											
PROJECT DESCRIPTION:	A wireless communication facility consisting of a 34' tall monopine supporting 9 panel antennas and 12 Remote Radio Units with associated equipment inside a storage unit on the property located at 4773 Home Avenue. An emergency generator is also included in the project within a 64-square foot block enclosure.											
COMMUNITY PLAN AREA:	Mid-City: City Heights											
DISCRETIONARY ACTIONS:	Planned Development Permit											
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial and Mixed Use.											
<u>ZONING INFORMATION:</u>												
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; text-align: center;"><u>REQUIRED:</u></td> <td style="width: 50%; text-align: center;"><u>PROPOSED:</u></td> </tr> <tr> <td style="text-align: center;">HEIGHT LIMIT: 30-feet</td> <td style="text-align: center;">30 feet</td> </tr> <tr> <td style="text-align: center;">FRONT SETBACK: 10-feet</td> <td style="text-align: center;">7-feet</td> </tr> <tr> <td style="text-align: center;">SIDE SETBACK: 5 feet</td> <td style="text-align: center;">5-feet</td> </tr> <tr> <td style="text-align: center;">REAR SETBACK: 10 feet</td> <td style="text-align: center;">Greater than 10'</td> </tr> </table>			<u>REQUIRED:</u>	<u>PROPOSED:</u>	HEIGHT LIMIT: 30-feet	30 feet	FRONT SETBACK: 10-feet	7-feet	SIDE SETBACK: 5 feet	5-feet	REAR SETBACK: 10 feet	Greater than 10'
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HEIGHT LIMIT: 30-feet	30 feet											
FRONT SETBACK: 10-feet	7-feet											
SIDE SETBACK: 5 feet	5-feet											
REAR SETBACK: 10 feet	Greater than 10'											
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE										
NORTH:	Commercial and Mixed Use; CUPD-CU-3-8.	Commercial										
SOUTH:	Residential 11-15 du/ac; RM-1-1/RM-2-5.	Multi-Unit Residential										
EAST:	Residential 11-15 du/ac; RM-1-1.	Multi-Unit Residential										
WEST:	Residential 6-10 du/ac; RM-2-5.	Multi-Unit Residential										
DEVIATIONS OR VARIANCES REQUESTED:	Verizon is proposing to increase the height of the existing monopine to 34' which exceeds the 30' height limit. Additionally, the branches encroach into the front yard setback.											
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 6, 2015, the City Heights Area Planning Committee voted 13-1-0 to recommend approval of the Verizon – Home project.											

**PLANNING COMMISSION
RESOLUTION NO.
PLANNED DEVELOPMENT PERMIT NO. 1415626
VERIZON – HOME
PROJECT NO. 374908**

WHEREAS, Home Avenue Storage, LLC., Owner, and Verizon Wireless, Permittee,, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1415626), on portions of a 1.08-acre site;

WHEREAS, the project site is located at 4773 Home Avenue in the CUPD-CU-3-8 zone of the Mid-Cities Community Plan area of City Heights;

WHEREAS, the project site is legally described as Parcel "A" in the City of San Diego, County of San Diego, State of California, as shown at Page 2517 of Parcel Maps, filed in the Office of the County Recorder of San Diego County, April 3, 1974;

WHEREAS, on July 23, 2015, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1415626 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on June 3, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Sections 15301 (Existing Facilities) and 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated July 23, 2015.

FINDINGS:

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

Although the Mid-Cities Community Plan does not address wireless facilities, the City's General Plan (UD-15) does. It requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the project consists of an upgraded 34-foot tall monopine supporting nine panel antennas and associated components.

The height limit in the CUPD-CU-3-8 zone is 30-feet and the existing first generation monopine is 29-foot tall and the existing branches encroach into the front yard setback approximately 3-feet. An additional 5-feet is proposed in order to add a crown to the tree, which will result in a more natural appearance. An existing chain link fence runs along the front setback and the majority of that area is planted with mature trees and shrubs, which will help to integrate the 34-foot tall monopine and provide screening of the antennas and associated components from the surrounding residential community. Based on the design of this project, the WCF will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

This project is located on a commercial property containing a storage facility at 4773 Home Avenue in the CUPD-CU-3-8 zone of the Mid-Cities Community Plan area of City Heights. The project consists of an existing 29-foot tall monopine supporting nine panel antennas with associated equipment located in a storage unit. The proposed project will add five feet to the tree top to create a canopy resulting in a more realistic tree appearance. Six of the existing antennas will be replaced and 12 Remote Radio Units will be added behind the antennas. The antennas will be covered with tree socks and all of the associated components and cables will be painted to blend in with the tree. An emergency generator is proposed within a 64-square foot concrete block enclosure adjacent to the tree.

The project was determined to be exempt from the California Environmental Quality Act (CEQA), Section 15301 (Existing Facilities) and 15303 (New construction or conversion of small structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emission.” A Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report prepared by Waterford Consultants, concluded that based on worst-case predictive modeling, the site would comply with the FCC’s general exposure limits. However, it does recommend posting of signage at the base of the light pole to make people aware of the antenna locations. A permit condition to provide signage as required by CAL/OSHA is included in the permit. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

Pursuant to the San Diego Land Development Code, wireless communication facilities are permitted in all zones citywide with the appropriate permits. Land Development Code Section 141.0420 requires that WCF's be minimally visible through the use of architecture, landscape and siting solutions. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. In this case, Verizon is proposing to upgrade an existing 29-foot tall monopine. The branches currently encroach into the front yard setback by approximately 3-feet, however, there is a chain link fence running down the length of the front yard and mature trees and shrubs are planted within the majority of that area. Although the maximum height permitted in the CUPD-CU-3-8 zone is 30-feet, Verizon is proposing to add a crown to the top of the monopine which will increase the height to 34-feet, resulting in a more realistic appearance. The monopine is located in an area where other mature trees exist and will be well integrated. The addition of branches and antenna socks will also help to improve views of the facility.

The purpose and intent of a PDP is to encourage imaginative and innovative planning to assure that the development will comply with the Community Plan and would be preferable to what could be achieved with strict conformance to the regulations. In order to maintain current coverage, Verizon proposes to upgrade this facility so that in addition to current technology, the appearance will be improved and better integrate into the property through the use of architecture, landscape and siting solutions. Based on the design, the monopine complies with the WCF regulations, including the allowed deviations being processed with the PDP.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1415626 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1415626, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: July 23, 2015

SAP or WBS Number: 24004788

Modified HMD 1-26-15

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004788

PLANNED DEVELOPMENT PERMIT NO. 1415626
VERIZON – HOME
PROJECT NO. 374908
PLANNING COMMISSION
DRAFT

This Planned Development Permit No. 1415626 is granted by the Planning Commission of the City of San Diego to Home Avenue Storage, LLC., Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and 126.0602. The 1.08-acre site is located at 4773 Home Avenue in the CUPD-CU-3-8 zone of the Mid-Cities Community planning area of City Heights. The project site is legally described as: Parcel "A" in the City of San Diego, County of San Diego, State of California, as shown at Page 2517 of Parcel Maps, filed in the Office of the County Recorder of San Diego County, April 3, 1974.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 23, 2015, on file in the Development Services Department.

The project shall include:

- a. A 34-foot tall faux pine tree supporting nine panel antennas (Three measuring 55" x 11" x 4" and six measuring 72" x 11.9" x 7.1"); 12 Remote Radio Units two Raycaps and six Diplexers;
- b. Equipment located in an adjacent storage unit;
- c. A 64-square foot concrete block enclosure housing an emergency generator;

- d. The branches on the north side of the tree (Sector C) encroach into the 10-foot required front yard setback by approximately three –feet and the height of the tree is 34-feet which exceeds the maximum height limit of 30-feet;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer’s requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 6, 2018.
- 2. This Planned Development Permit (PDP) and corresponding use of this site shall expire on August 6, 2025. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
- 3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
- 4. Under no circumstances, does approval of this permit authorize Verizon Wireless to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
- 5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the

City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. This project proposes to export 8.8 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

19. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

20. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. The existing faux tree is a first generation pine tree that may exist in its current form, without the "re-branching" requirements pursuant to this permit, for no more than one year from the effective date of this permit, at which time it must be removed. This permit, which has a three year utilization period, is for the upgraded, re-branched monopine only. A transition period to allow the non-compliant monopine to remain while construction permits are obtained and the upgrade is completed requires a final building inspection for the upgraded tree within one year of the effective date of this permit.

25. All proposed hand-holes shall be covered with bark material to match the monopine trunk to the satisfaction of the Development Services Department.

26. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

27. Branches shall extend a minimum of 24-inches beyond the entire vertical face of all proposed antennas to the satisfaction of the Development Services Department.

28. Starting branch height shall be no higher than 6-feet, 10-inches, as illustrated on the stamped, approved Exhibit "A."
29. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
30. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.
31. All new branches must match the color of the existing tree branches. If, at final inspection, the branches are found to be dissimilar in color, the entire tree will be required to be re-branched to the satisfaction of the Development Services Department.
32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
33. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
34. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
35. The photosimulation(s) for the proposed project shall be scanned on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
36. Exposed mounting apparatus shall be removed and shall not remain on the tree absent antennas.
37. Antenna sizes shall not differ from what is identified in the project description on page 1 of this permit. Chin straps used to conceal the coaxial cables are required and may not extend the overall length of the antennas by more than seven feet unless other approved concealment methods have been approved. Use of any other size antennas must maintain the overall stealth appearance of the monopine and be consistent with the terms of this permit to the satisfaction of the Development Services Department.
38. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
39. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

40. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 23, 2015 by Resolution No. _____.

Permit Type/PTS Approval No.: PDP No. 1415626
Date of Approval: July 23, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Home Avenue Storage, LLC
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 7

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 374908

PROJECT TITLE: Verizon Home

PROJECT LOCATION-SPECIFIC: The project site is located at 4773 Home Avenue, San Diego CA.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Planned Development Permit (PDP) for modifications to an existing communication facility (WCF) consisting of a 30 foot tall faux pine tree supporting nine panel antennas, two raycaps, six diplexers and twelve remote radio units (RRU). Two of the raycaps would be located within an existing equipment room. Other improvements would include landscaping, trenching for conduit and a concrete pad to support a 210 gallon diesel fuel tank.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Core Development Services, Contact, Lindsay Ortega, 2749 Saturn Street, Brea CA, 92821. (714) 293-3139.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: SECTION 15301 (Existing Facilities) and 15303 (New Construction)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301 (Existing Facilities) and 15303 (New Construction). 15301 allows for the operation and permitting of existing facilities and 15303 which allows for the construction of a limited number of small structures. Since the project is permitting an existing use which would not substantially increase capacity and is only doing minor physical modifications to the site the exemptions are appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

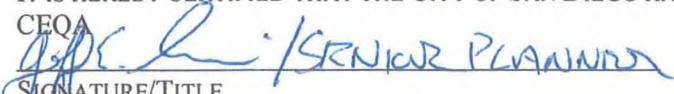
LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA


SIGNATURE/TITLE

6/3/2015
DATE

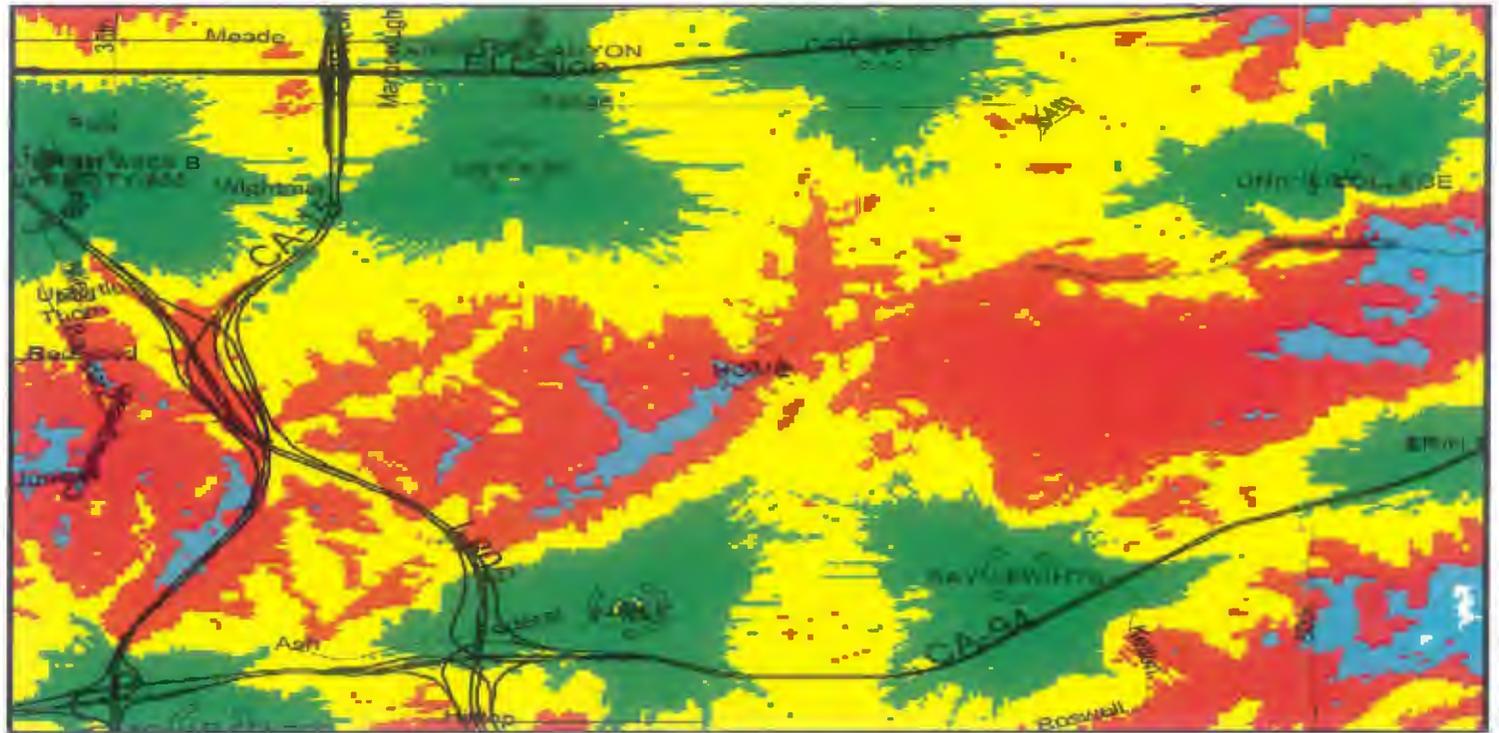
CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



HOME Area Without Site



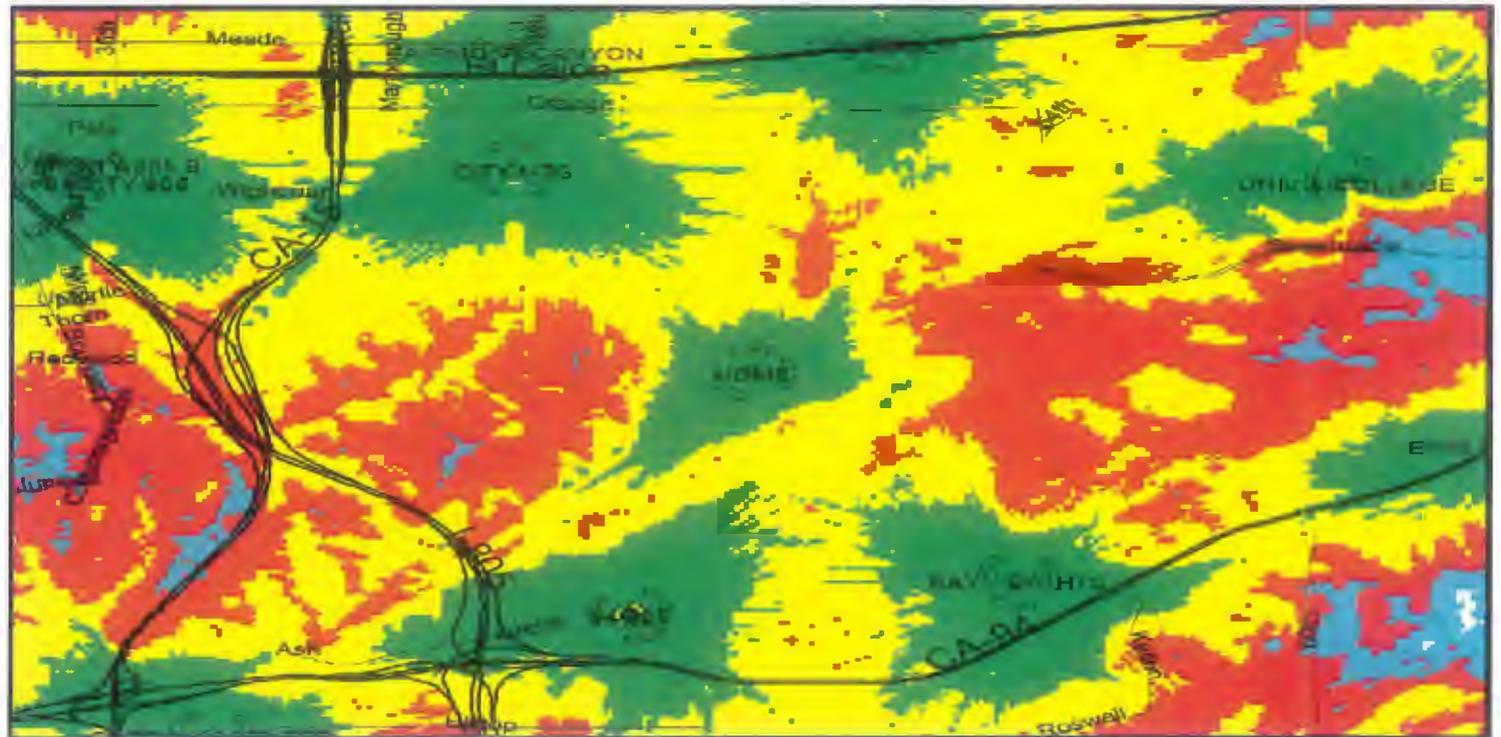
LTE RSRP	
Green	≥-75 dBm (In Building)
Yellow	≥-85 dBm (In Car)
Red	≥-95 dBm (On Foot)
Blue	≥-105 dBm (Marginal)

WINNING
OUR CUSTOMERS,
EVERY DAY.

ATTACHMENT 8



HOME Area With Site



2

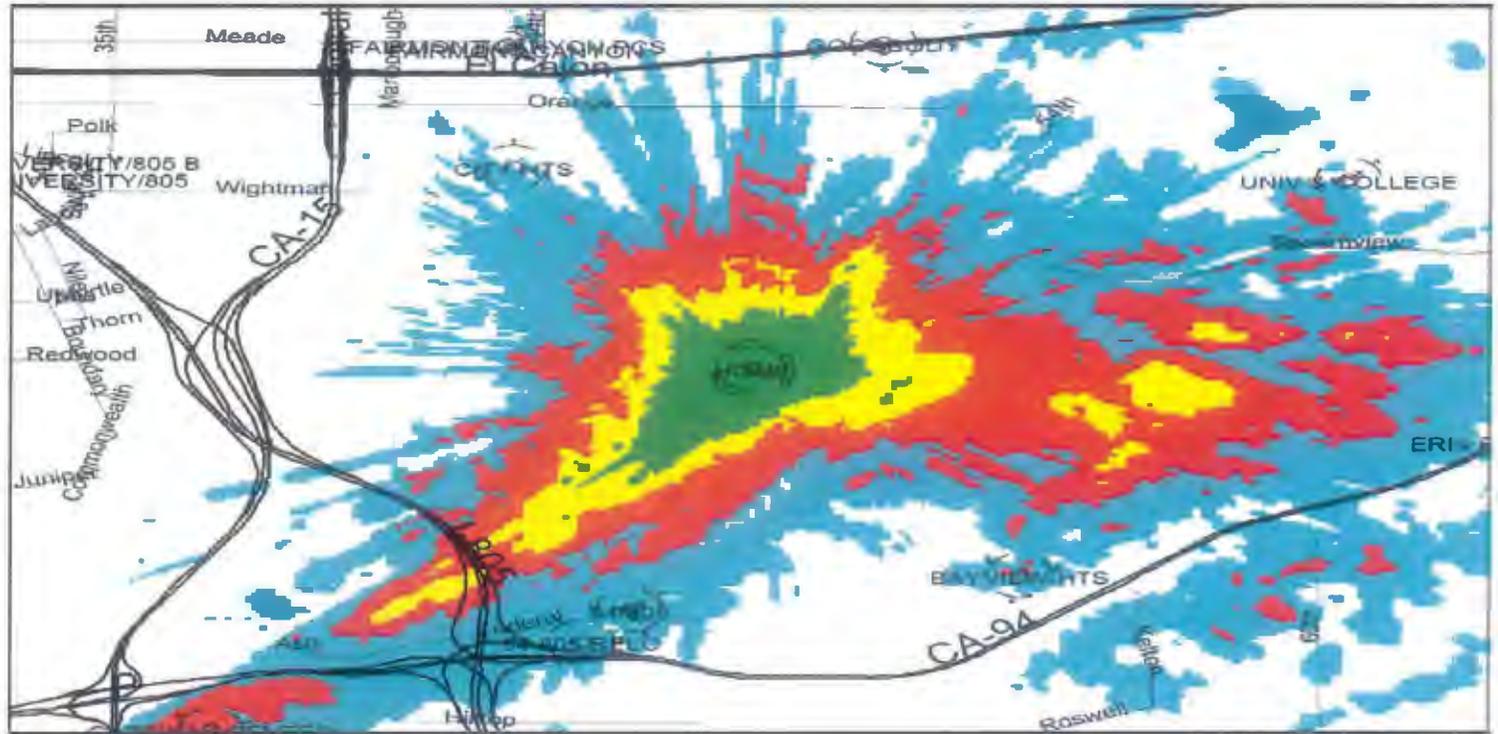
LTE RSRP	
Green	≥-75 dBm (In Building)
Yellow	≥-85 dBm (In Car)
Red	≥-95 dBm (On Foot)
Blue	≥-105 dBm (Marginal)

WINNING
OUR CUSTOMERS.
EVERY DAY.

ATTACHMENT 8



HOME Individual Coverage

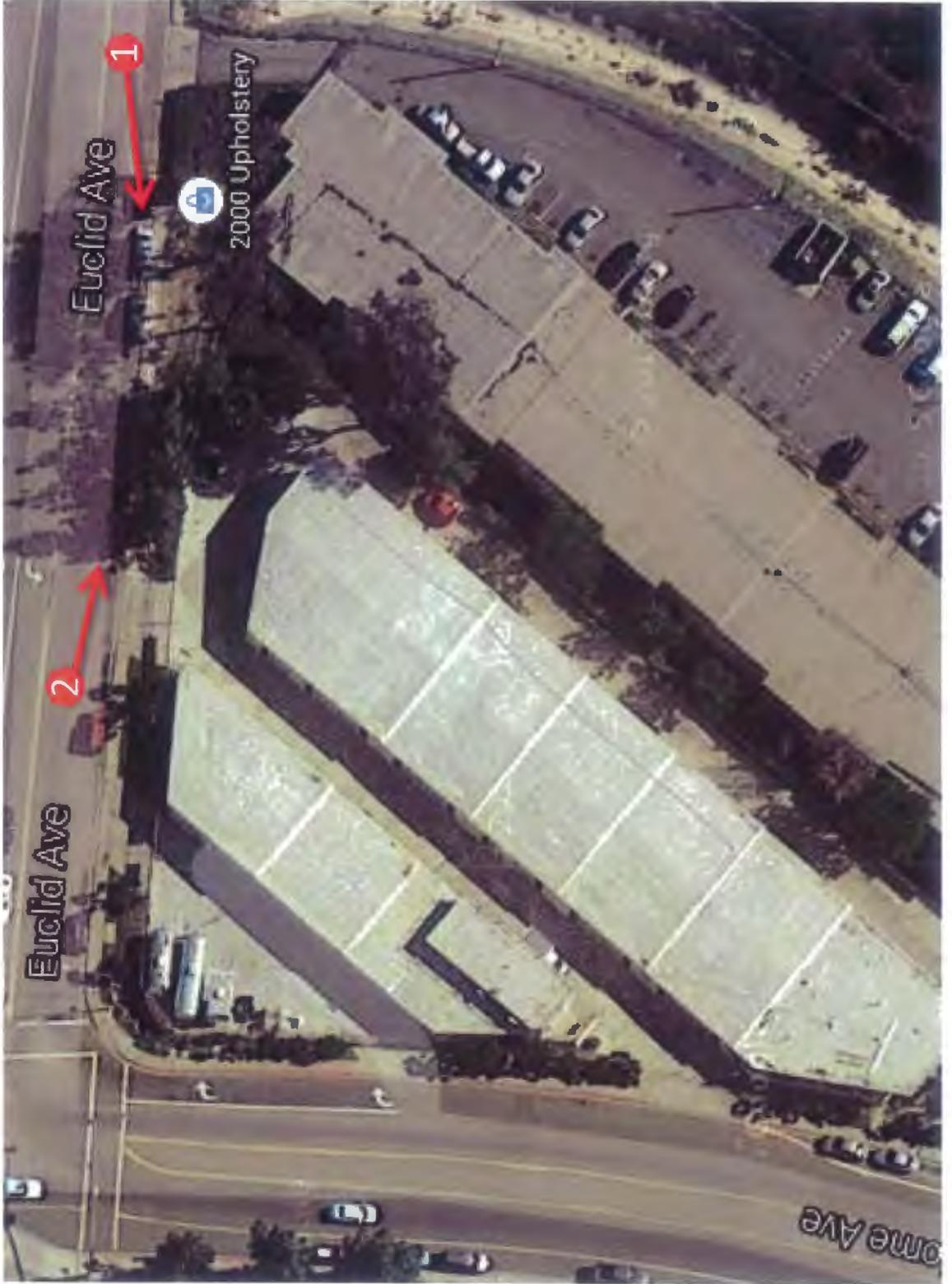


LTE RSRP	
Green	≥-75 dBm (In Building)
Yellow	≥-85 dBm (In Car)
Red	≥-95 dBm (On Foot)
Blue	≥-105 dBm (Marginal)

WINNING
OUR CUSTOMERS.
EVERYDAY.

ATTACHMENT 8

Views of the Facility 4773 Home Ave, San Diego, CA



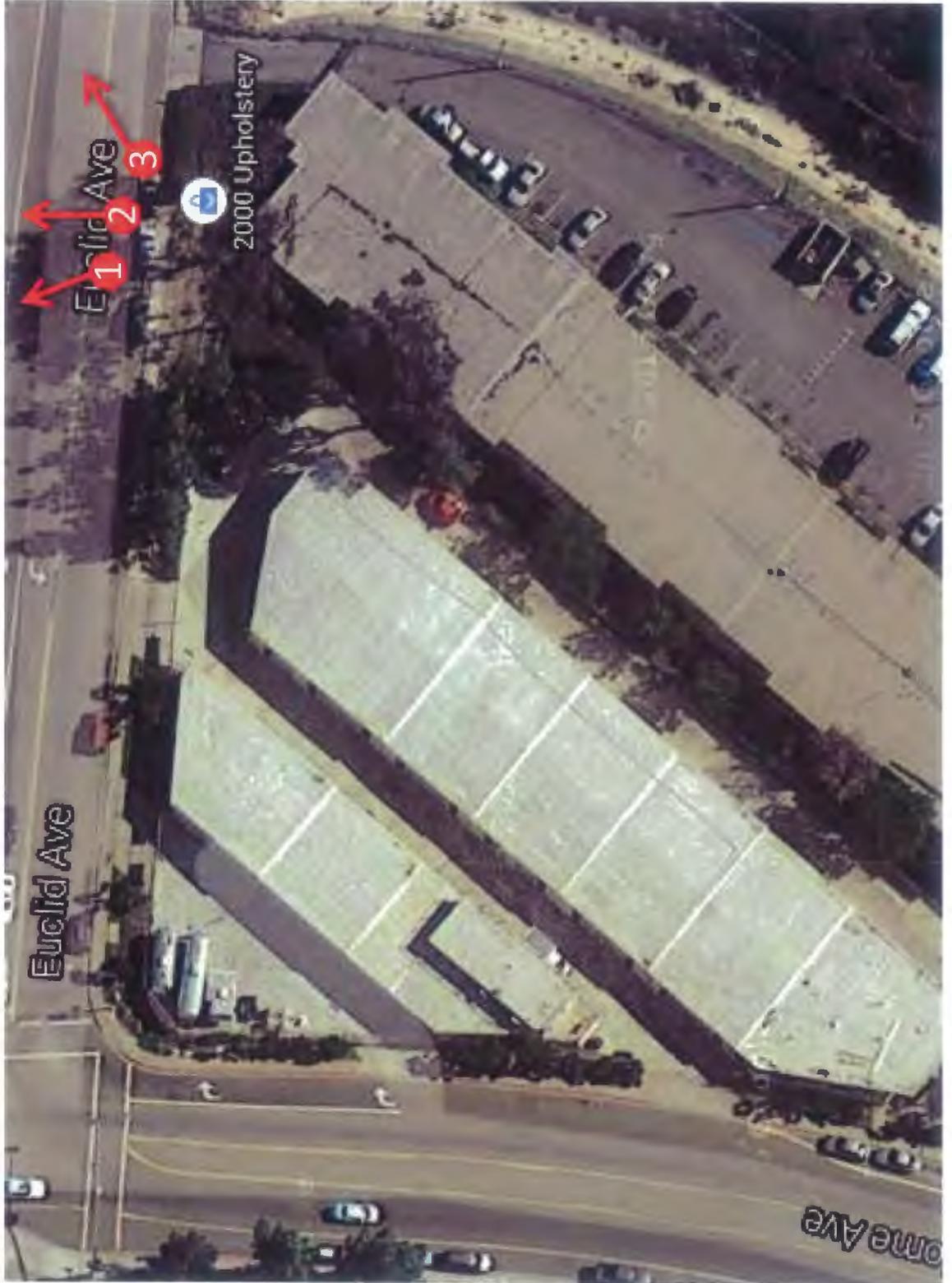
View of Facility (1)



View of Facility (2)

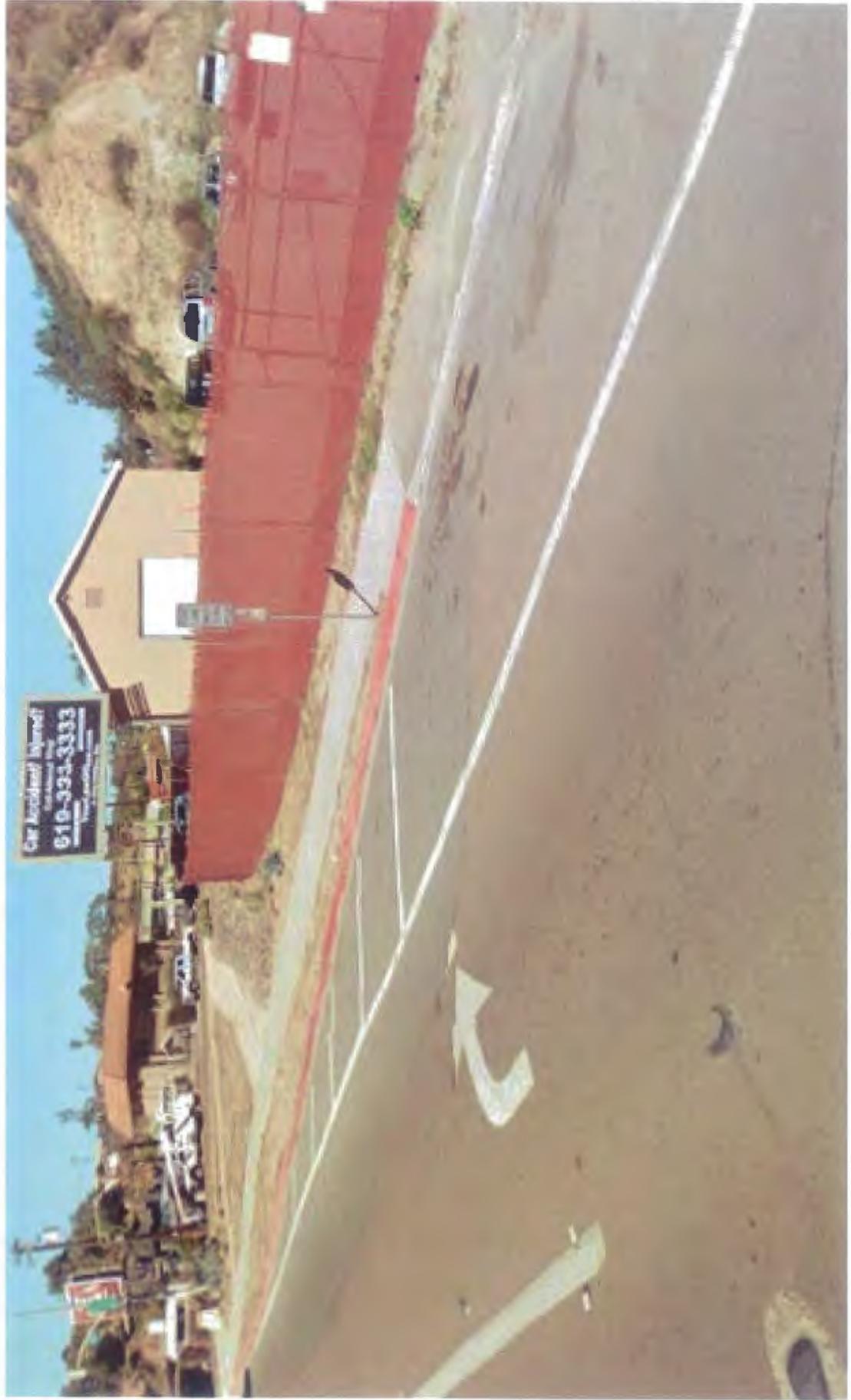


Views from the Verizon Monopine 4773 Home Ave, San Diego, CA





View from Facility (1)





View from Facility (2)



View from Facility (3)



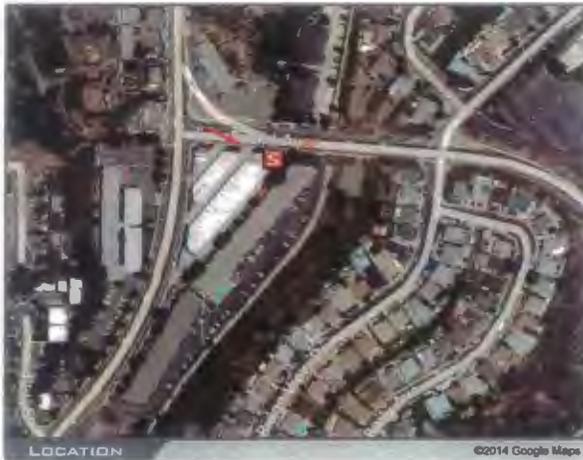


HOME

4773 HOME AVENUE SAN DIEGO CA 92105



VIEW 1



ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

ATTACHMENT 10



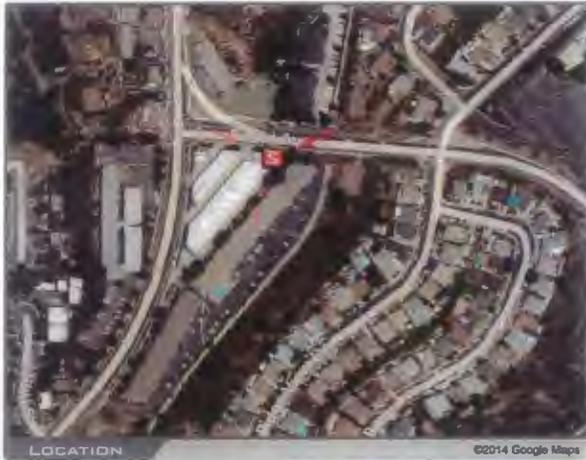
HOME

4773 HOME AVENUE SAN DIEGO CA 92105



VIEW 2

2



ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

ATTACHMENT 10



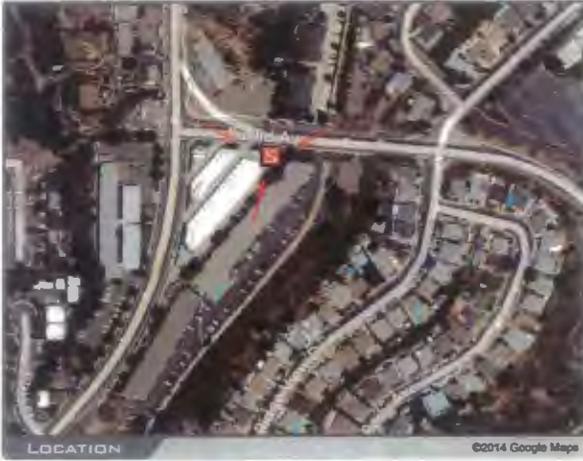
HOME

4773 HOME AVENUE SAN DIEGO CA 92105



VIEW 3

3



ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

ATTACHMENT 10

CITY HEIGHTS AREA PLANNING COMMITTEE ATTACHMENT 11

Postoffice Box 5859
City Heights CA 92165
(619) 284-2184

April 27, 2015

MEMORANDUM FOR: Development Project Manager Karen Lynch

From: Committee Chairwoman
Patty Vaccariello



Subj: PTS No. 374908: Verizon Home Avenue

At the April 6, 2015 meeting of the City Heights Area Planning Committee a presentation was made regarding modifying an existing wireless communication facility at 4773 Home Avenue. The project also contemplates installing a generator. After discussion regarding noise from the generator, the addition of extra branches and a new top to the existing monopine, and new landscaping, the Committee recommended approval of the application as submitted 13/1/0 chair not voting.

Cc: Lindsay Ortega



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title _____ **Project No. For City Use Only** _____
 Verizon Wireless - Home

Project Address:
 4773 Home Avenue, San Diego, CA 92150

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
Home Avenue Storage, LLC

Owner Tenant/Lessee

Street Address:
5449 Taft Ave

City/State/Zip:
La Jolla, CA 92037

Phone No: _____ Fax No: _____
858-336-3320

Name of Corporate Officer/Partner (type or print):
John R. McGrath, Jr.

Title (type or print):
Managing Partner

Signature : _____ Date: _____
See attached LOA

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

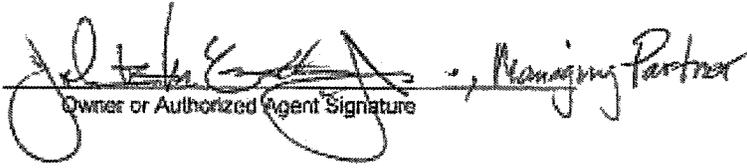
PERMIT APPLICATION AUTHORIZATION

At no expense to owner, owner or authorized agent of Home Avenue Storage, LLC ("Owner") authorizes Verizon Wireless ("Applicant"), to apply for, sign and obtain any and all necessary entitlements including, but not limited to, building and zoning permits associated with the application by Applicant to use the Property Location noted below ("Property") for the development of a wireless facility ("Site"). Owner of the Property also authorizes Applicant to review and copy any Planning or Building Department records in regard to the Property. It is understood that any applications may be denied, modified, or approved with conditions and that such conditions or modifications must be complied with prior to issuance of zoning, use, or building permits.

Applicant: Verizon Wireless
15505 Sand Canyon Avenue Bldg D, First Floor
Irvine, CA 92618
Representative: Core Development Services

Owner: Home Avenue Storage, LLC
6449 Taft Avenue, La Jolla, CA 92037

Assessor's Parcel No.: 476-412-03-00
Project Name & Number: HOME (LTE CAP 2014)
Property Location: 4773 Home Avenue, San Diego, CA 92105

Date: 4-27-14 
Owner or Authorized Agent Signature

[Signatures must be notarized]

ACKNOWLEDGMENT

State of California

County of San Diego

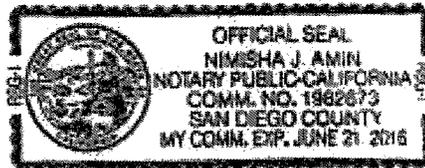
On April 24, 2014 before me, Nimisha J Amin, Notary Public.
(insert name and title of the officer)

personally appeared John McGrath
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

Signature Nimisha J Amin (Seal)



DEVELOPMENT SERVICES
Project Chronology
VERIZON – HOME
PROJECT NO. 374908

Date	Action	Description	City Review Time	Applicant Response Time
6/10/14	First Submittal for Completeness Check			
6/30/14	First Completeness Review		20 days	
8/15/14	Second Submittal for Completeness Review			1 month, 16 days
9/23/14	Second Completeness Review		1 month, 8 days	
1/8/15	Project Deemed Complete			3 months, 16 days
2/13/15	Third Review		1 month, 5 days	
5/4/15	Fourth Submittal	Project Deemed Complete		2 months, 21 days
5/20/15	Issues Resolved	Issues Resolved	16 days	
6/3/15	NORA Posted		14 days	
7/23/15	Planning Commission Hearing		1 month, 20 days	
TOTAL STAFF TIME**			5 months, 23 days	
TOTAL APPLICANT TIME**				7 months, 23 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to Planning Commission Hearing	1 year, 1 month, 13 days	

**Based on 30 days equals to one month.



THE CITY OF SAN DIEGO

DATE OF NOTICE: July 9, 2015

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING:	July 23, 2015
TIME OF HEARING:	9:00 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	PLANNED DEVELOPMENT PERMIT, EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), PROCESS FOUR
PROJECT NUMBER:	374908
PROJECT NAME:	<u>VERIZON - HOME</u>
APPLICANT:	Areej Rajput, Core Development Services
COMMUNITY PLAN AREA:	Mid-Cities Community: City Heights
COUNCIL DISTRICT:	9
CITY PROJECT MANAGER:	Karen Lynch, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5351 / klynchash@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a wireless communication facility consisting of a 34-foot tall faux pine tree supporting nine panel antennas and associated components and the installation of an emergency generator located at the base of the tree. Associated equipment will be located within a storage unit. The project is located on the property of Super Storage at 4773 Home Avenue in the CUPD - CU-3-8 zone.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street,

Second Floor. The appeal must be made within 10 business days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on June 3, 2015 and the opportunity to appeal that determination ended June 17, 2015.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five business days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004788

Revised 11-17-14

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR

 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS
 R.F. _____
 ZONING _____
 CONSTRUCTION _____
 SITE ACQUISITION _____
 OWNER APPROVAL _____

SITE NAME
HOME (AWS/PCS) AND GENERATOR ADDITION
 4773 HOME AVENUE
 SAN DIEGO, CALIFORNIA 92105

DRAWING DATES
 05/09/14 CLIENT COMMENTS (P5)
 07/02/14 CLIENT COMMENTS (P6)
 08/08/14 CLIENT COMMENTS (P7)
 11/25/14 JURISDICTION REVISIONS (P8)
 01/06/15 CLIENT COMMENTS (P9)
 04/01/15 BRANCHING DETAILS (P10)
 06/08/15 PCS/AWS COMBINATION (P11)

SHEET TITLE
TITLE SHEET

T-1

verizon wireless

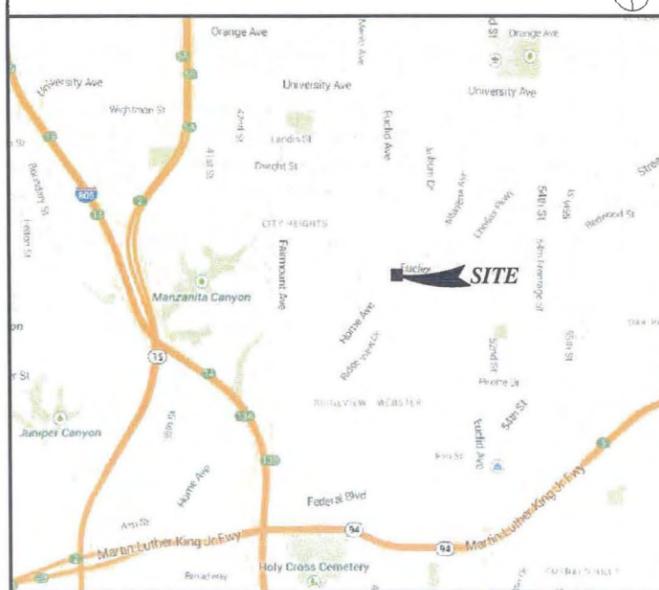
HOME (AWS/PCS) AND GENERATOR ADDITION
4773 HOME AVENUE
SAN DIEGO, CALIFORNIA 92105

SPECIAL INSPECTIONS

1 CONCRETE	13.1 VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT
2 BOLTS INSTALLED IN CONCRETE	13.2 VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA
3 CONCRETE MOMENT-RESISTING SPACE FRAME	13.3 PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES
4 REINFORCING STEEL AND PRESTRESSING STEEL	13.4 PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON-GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE
5.1 ALL STRUCTURAL WELDING	14 SMOKE CONTROL SYSTEM
5.2 WELD TESTING DUCTILE MOMENT-RESISTING STEEL FRAME	15 SPECIAL CASES (DESCRIBE)
5.3 WELDING REINFORCING STEEL	16 OFF-SITE FABRICATION OF BUILDING COMPONENTS
6 HIGH-STRENGTH BOLTING	17 OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER
7 STRUCTURAL MASONRY	
8 REINFORCED GYPSUM CONCRETE	
9 INSULATING CONCRETE FILL	
10 SPRAY-APPLIED FIREPROOFING	
11 DEEP FOUNDATIONS (PILING, DRILLED & CAISSONS)	
12 SHOTCRETE	

NO	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS.

VICINITY MAP



CONSULTANT TEAM

CLIENTS REPRESENTATIVE:
 CORE DEVELOPMENT SERVICES
 2749 SATURN STREET
 BREA, CALIFORNIA 92821
 PHONE: (714) 514-3674
 CONTACT: TANYA MARYKO POTH

ARCHITECT:
 JEFFREY ROME & ASSOCIATES
 131 INNOVATION DRIVE
 SUITE: 100
 IRVINE, CALIFORNIA 92617
 PHONE: (949) 750-3929
 FAX: (949) 750-3931
 CONTACT: JEFFREY ROME

LANDSCAPE ARCHITECT:
 CS DESIGN GROUP
 6965 E. CAMINO REAL
 SUITE: 100-482
 CARLSBAD, CALIFORNIA 92009
 PHONE: (760) 272-5742
 FAX: (760) 454-3097
 CONTACT: GARY A. CHAPMAN

DEVELOPMENT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618

OWNER: 1156 ALEXANDRIA DRIVE
 SAN DIEGO, CALIFORNIA 92107
 CONTACT: JACK GRACE
 PHONE: (619) 222-2464

EXISTING USE: COMMERCIAL UNMANNED WIRELESS FACILITY
PROPOSED USE: COMMERCIAL UNMANNED WIRELESS FACILITY

OTHER ON-SITE TELECOM FACILITIES: NO
ASSESSORS PARCEL NUMBER: 476-4'2-03
EXISTING ZONING: CU
EXISTING INDOOR EQUIPMENT ROOM: 305 SQ. FT.
PROPOSED GENERATOR LEASE AREA: 50 SQ. FT.
SITE ACREAGE: 1.125 ACRES
EXISTING TYPE OF CONSTRUCTION: TYPE V-N
PROPOSED TYPE OF CONSTRUCTION: TYPE V-N
EXISTING OCCUPANCY: UNMANNED TELECOMMUNICATIONS FACILITY
PROPOSED OCCUPANCY: UNMANNED TELECOMMUNICATIONS FACILITY
JURISDICTION: CITY OF SAN DIEGO
SETBACKS: FRONT SETBACK 10 FT

LEGAL DESCRIPTION

PARCEL "A" IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN AT PAGE 2517 OF PARCEL MAPS, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 3, 1974

APPLICATION FCP A NEW WIRELESS COMMUNICATIONS FACILITY.

PROJECT DESCRIPTION

VERIZON WIRELESS PROPOSES TO MODIFY AN UNOCCUPIED TELECOMMUNICATIONS FACILITY

- INSTALL (N) (6) ANTENNAS TO REPLACE (E) ANTENNAS.
- INSTALL (N) (1) STAND BY GENERATOR.
- INSTALL (N) (1) 210 GALLON DIESEL FUEL TANK ON A (N) CONCRETE PAD
- INSTALL (N) (4) CONDUITS WITHIN (N) UNDERGROUND TRENCH.
- INSTALL (N) (2) RAYCAPS NEAR (N) ANTENNAS.
- INSTALL (N) (2) RAYCAPS IN (E) EQUIPMENT ROOM.
- INSTALL (N) (6) DIPLEXERS NEAR ANTENNAS.
- INSTALL (N) (6) DIPLEXERS IN EQUIPMENT ROOM.
- INSTALL (N) (12) RRUS
- INSTALL (N) (12) RHAPHIOLEPIS INDICA SHRUBS IN FRONT OF THE NORTH WALL.
- INSTALL (N) (5) MACFADYENA UNDOUS CATI VINES ALONG THE NORTH WALL.
- INSTALL (N) ADDITIONAL BRANCHES ON TOP OF (E) MONOPINE.

TOTALS AT THE END OF THE MODIFICATION
 (9) V2W ANTENNAS.
 (12) V2W RRUS.
 (1) STAND BY GENERATOR
 (1) 29'-0" MONOPINE.

SHEET INDEX

T-1 TITLE SHEET
 A-1 SITE PLAN
 A-1.1 ENLARGED SITE PLAN
 A-2 ELEVATIONS
 A-2.1 ELEVATIONS
 A-2.2 ELEVATIONS
 A-3 ANTENNA PLAN
 A-3.1 MONOPINE PROFILE
 A-4 DETAILS
 A-5 DETAILS
 MONOPINE EXTENSION DRAWINGS
 T-1 BILL OF MATERIAL AND GENERAL NOTES (FOR REFERENCE ONLY)
 S-1 ELEVATION VIEW & DETAILS (FOR REFERENCE ONLY)
 - EEI 3 BROUGH PER FOOT BRANCH LAYOUT (FOR REFERENCE ONLY)
 L-1 PLANTING PLAN

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA FIRE CODE, 2013 EDITION
 CALIFORNIA BUILDING CODE, 2013 EDITION
 CALIFORNIA PLUMBING CODE, 2013 EDITION
 CALIFORNIA MECHANICAL CODE, 2013 EDITION
 CALIFORNIA ELECTRICAL CODE, 2013 EDITION
 CALIFORNIA GREEN BUILDING CODE, 2013 EDITION
 IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

NOTES

THE PROPOSED WIRELESS FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCIES IN ACCORDANCE WITH THE TELECOMMUNICATIONS ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY THE STATE OR FEDERAL REGULATORY AGENCIES.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"x36" FORMAT. IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE

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PREPARED FOR



APPROVALS

P.F. _____
 ZONING _____
 CONSTRUCTION _____
 SITE ACQUISITION _____
 OWNER APPROVAL _____

SITE NAME

HOME (AWS/PCS) AND GENERATOR ADDITION

4773 HOME AVENUE
 SAN DIEGO, CALIFORNIA 92105

DRAWING DATES

06/09/14 CLIENT COMMENTS (P5)
 07/02/14 CLIENT COMMENTS (P6)
 08/08/14 CLIENT COMMENTS (P7)
 11/25/14 JURISDICTION REVISIONS (P8)
 01/06/15 CLIENT COMMENTS (P9)
 04/01/15 BRANCHING DETAILS (P10)
 06/08/15 PCS/AWS COMBINATION (P11)

SHEET TITLE

SITE PLAN

A-1

SITE PLAN KEYNOTES

- | | |
|-----------------------------------------------------------|------------------------------------------------|
| 1 (E) VZW EQUIPMENT ROOM | 7 (E) TREE, TYP |
| 2 (E) BUILDING | 8 (E) TELCO BOX |
| 3 (E) STREET | 9 (E) VZW ELECTRICAL METER |
| 4 (N) AND (E) VZW ANTENNAS MOUNTED ON (E) MONOPINE | 10 (E) POWER/TELCO UNDERGROUND CONDUIT ROUTING |
| 4A (N) VZW STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD | 11 (E) VZW PATH OF ACCESS |
| 5 (E) CHAIN LINK FENCE | 12 (E) SIDE SETBACK |
| 6 (E) PROPERTY LINE | 13 (N) VINES; SEE SHEET L-1. |

GRADING / DISTURBANCES				
	EXCAVATION	FILL	EXPORT	IMPORT
CUBIC YARDS	8.8	0	8.8	0

**STORM WATER QUALITY NOTES
 CONSTRUCTION BMP'S**

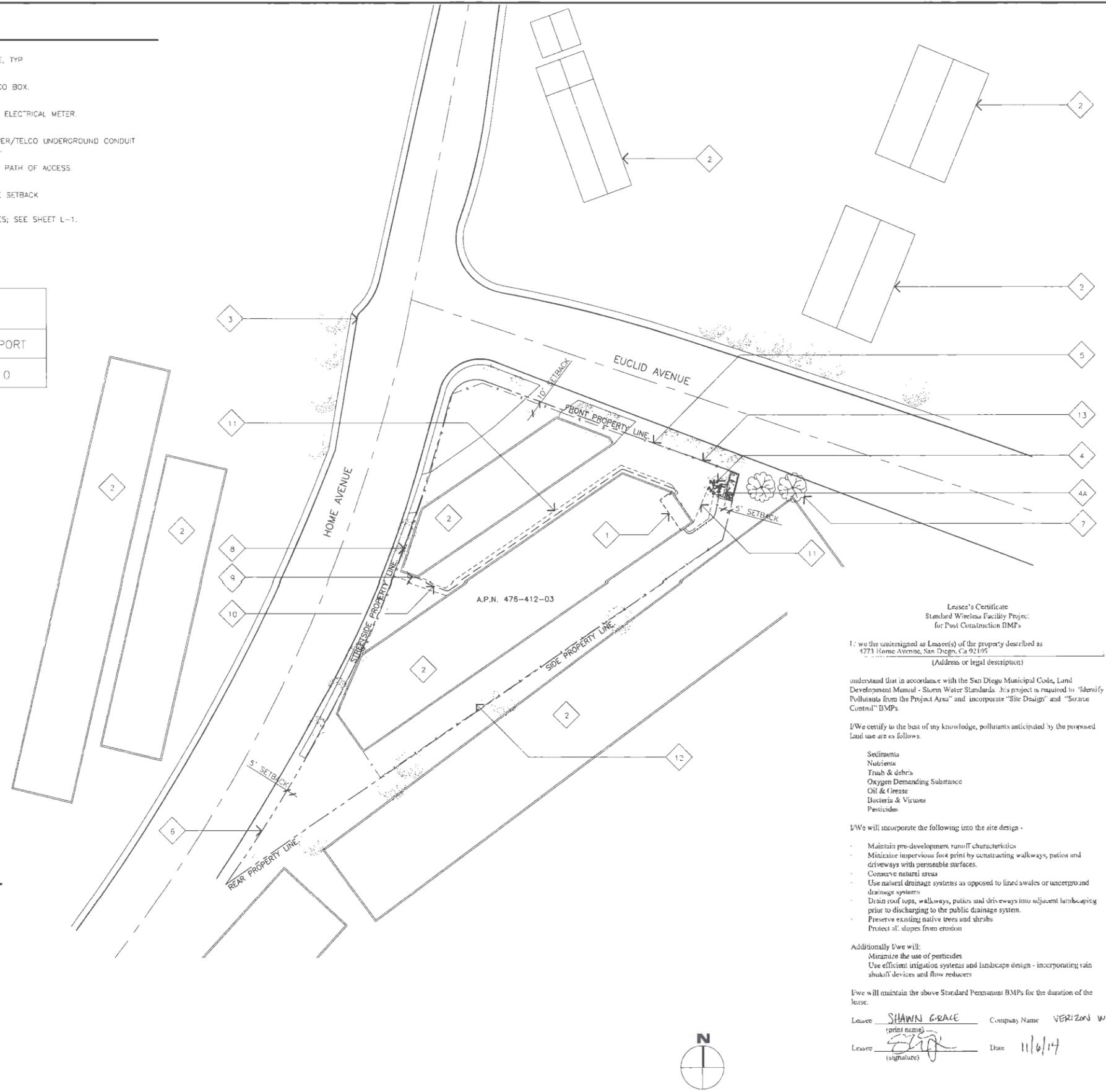
THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPOES NO. CAS010875 (HTTP://WWW.SWRCB.CA.GOV/RWQCB9/PROGRAMS/SD_STORMWATER.HTML) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://CLERK.DOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?DMW_OBJECTID=090014518008CC43)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS ¼40 OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

GENERAL NOTES:

- INTEGRATE ALL (N) INSTALLATIONS WITH (E) EQUIPMENT.
- THE LOCATION OF THE (E) EQUIPMENT AVAILABILITY AND SPACE SHOULD BE VERIFIED BY THE GC BEFORE INSTALLATION.
- (E) TREES SHALL NOT BE SIGNIFICANTLY TRIMMED OR REMOVED AS PART OF THIS PROJECT.
- (N) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.
- NO EXISTING PARKING SPACES WILL BE USED OR REMOVED BY THIS PROJECT.
- THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO THE ISSUE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDANCE IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.



Lessee's Certificate
 Standard Wireless Facility Project:
 for Post Construction BMP's
 I, we the undersigned as Lessee(s) of the property described as
 4773 Home Avenue, San Diego, Ca 92105
 (Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

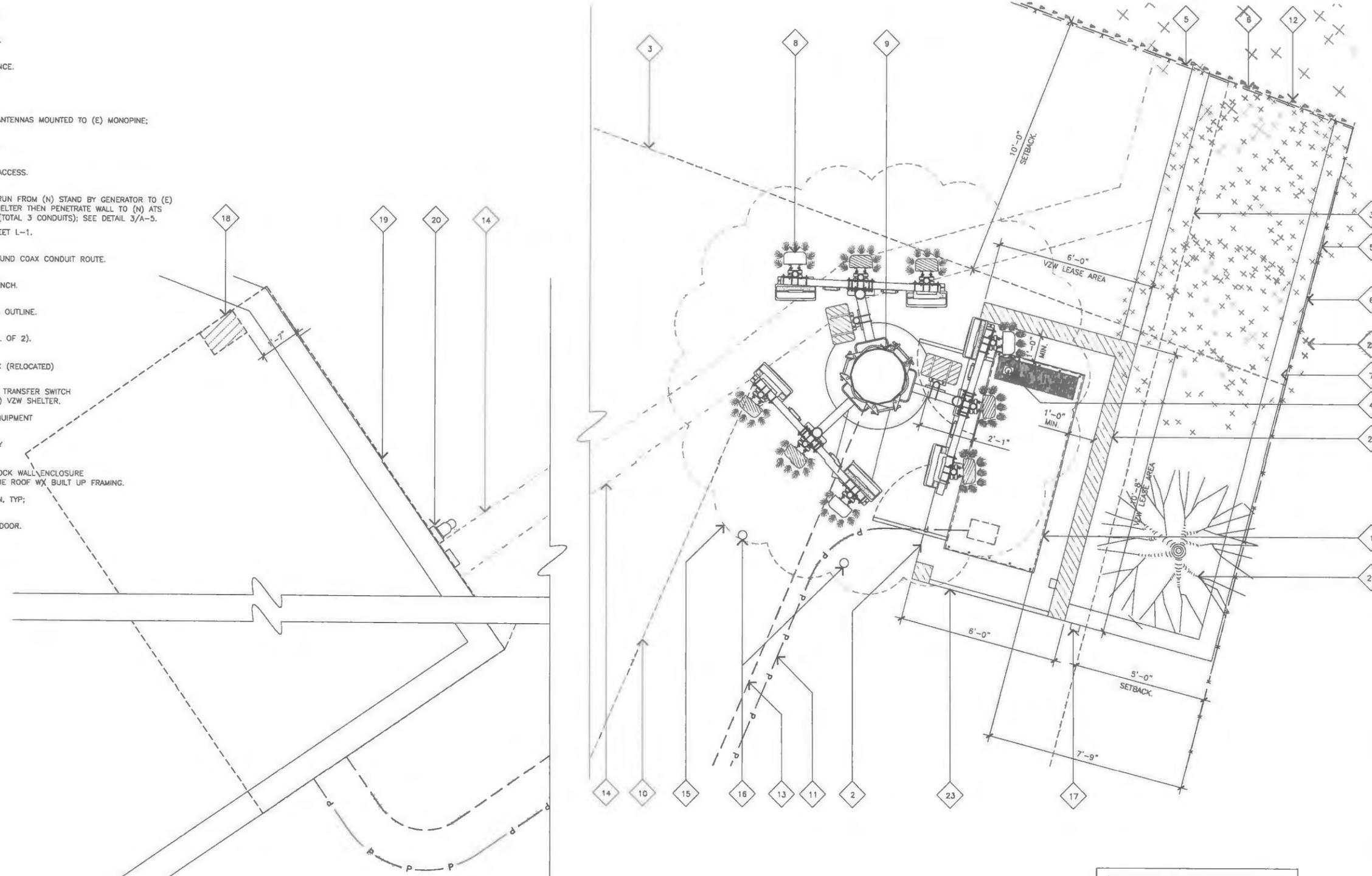
Additionally I/we will:
 Minimize the use of pesticides
 Use efficient irrigation systems and landscape design - incorporating rain shut-off devices and flow reducers

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: SHAWN GRACE Company Name: VERIZON WIRELESS
 (print name)
 Lessee: [Signature] Date: 11/6/14
 (signature)

ENLARGED SITE PLAN KEYNOTES

- 1 (N) VZW 210 GALLON DIESEL FUEL STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD.
- 2 (N) CONCRETE PAD.
- 3 (E) SETBACK
- 4 (N) EXHAUST VENT.
- 5 (E) PROPERTY LINE.
- 6 (E) CHAIN LINK FENCE.
- 7 (E) CMU PLANTER.
- 8 (N) AND (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE; SEE SHEET A-3.
- 9 (E) VZW MONOPINE.
- 10 (E) VZW PATH OF ACCESS.
- 11 (N) VZW CONDUIT RUN FROM (N) STAND BY GENERATOR TO (E) VZW EQUIPMENT SHELTER THEN PENETRATE WALL TO (N) ATS (APPROX. 70'-0") (TOTAL 3 CONDUITS); SEE DETAIL 3/A-5.
- 12 (N) VINES; SEE SHEET L-1.
- 13 (E) VZW UNDERGROUND COAX CONDUIT ROUTE.
- 14 (E) VZW TELCO TRENCH.
- 15 (E) 16"Ø BRANCHES OUTLINE.
- 16 (E) BOLLARD (TOTAL OF 2).
- 17 (E) LANDSCAPE BOX (RELOCATED)
- 18 (E) VZW AUTOMATIC TRANSFER SWITCH MOUNTED INSIDE (E) VZW SHELTER.
- 19 (E) VZW INDOOR EQUIPMENT SHELTER.
- 20 (E) VZW EMERGENCY GENERATOR PLUG.
- 21 (N) 7'-0" HIGH BLOCK WALL ENCLOSURE W/ (N) WOOD FRAME ROOF W/ BUILT UP FRAMING.
- 22 (E) TREE TO REMAIN, TYP; SEE SHEET L-1.
- 23 (N) WOOD ACCESS DOOR.



(N) WOOD FRAME ROOF W/ BUILT UP FRAMING NOT SHOWN FOR CLARITY. SEE ELEVATIONS

NOTE:
1. (N) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.

ENLARGED SITE PLAN

SCALE:
1/2"=1'-0"
0 1' 2'



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architecture | telecommunications
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Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR
verizon wireless
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
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4773 HOME AVENUE
SAN DIEGO, CALIFORNIA 92105

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01/06/15	CLIENT COMMENTS (P9)
04/01/15	BRANCHING DETAILS (P10)
06/08/15	PCS/AWS COMBINATION (P11)

SHEET TITLE
ENLARGED SITE PLAN

A-1.1

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SHEET TITLE

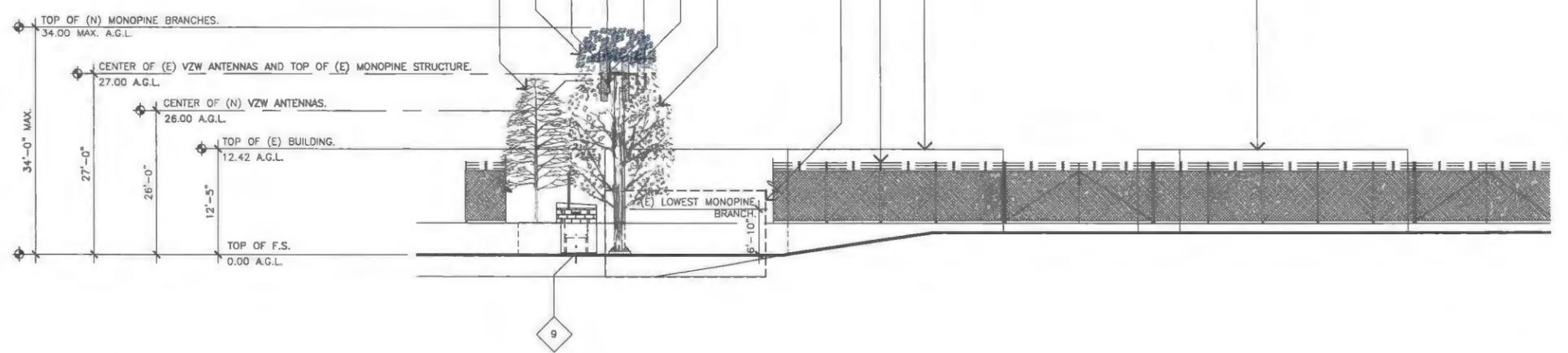
ELEVATIONS

A-2

JRA JOB NUMBER: 140228

ELEVATION KEYNOTES

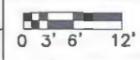
- 1 (N) VZW ANTENNAS MOUNTED ON (E) VZW MONOPINE.
- 2 (E) VZW ANTENNA TO REMAIN.
- 3 (E) 29'-0" TALL VZW MONOPINE.
- 4 (E) VZW EQUIPMENT ROOM INSIDE (E) BUILDING.
- 5 (E) CHAIN LINK FENCE.
- 6 (E) BUILDING.
- 7 (N) VZW RAYCAP MOUNTED ON (E) VZW MONOPINE.
- 8 (N) VZW RRU MOUNTED ON (E) VZW MONOPINE.
- 9 (N) VZW STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD.
- 10 (E) PINE TREE, TYP.
- 11 (N) ADDITIONAL MONOPINE BRANCHES.



NOTES

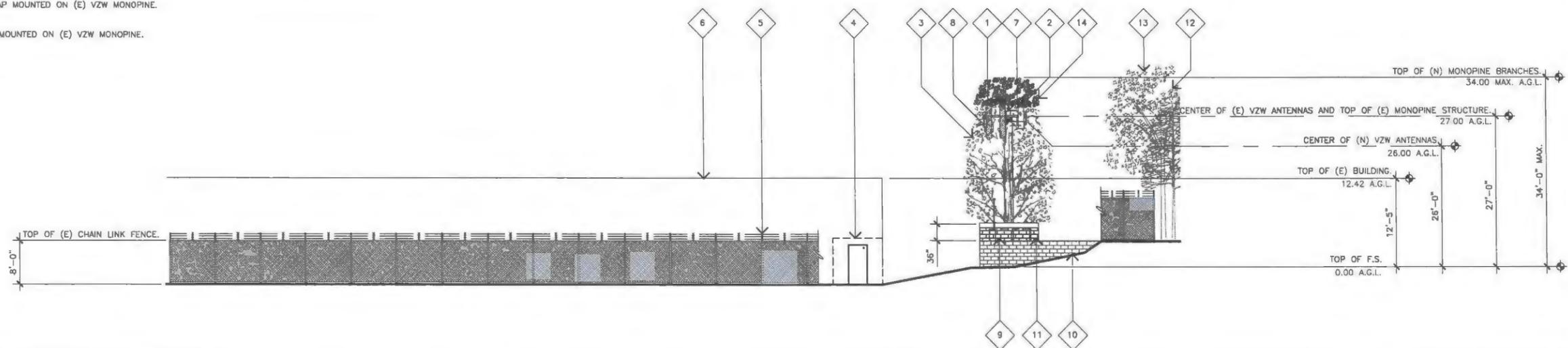
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2. ALL BRANCHES WILL EXTEND A MINIMUM OF 24" BEYOND ALL ANTENNAS (AT THE ANTENNA LEVEL).

NORTH ELEVATION

SCALE: 3/32"=1'-0"
 2

ELEVATION KEYNOTES

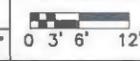
- 1 (N) VZW ANTENNAS MOUNTED ON (E) VZW MONOPINE.
- 2 (E) VZW ANTENNA TO REMAIN.
- 3 (E) 29'-0" TALL VZW MONOPINE.
- 4 (E) VZW EQUIPMENT ROOM INSIDE (E) BUILDING.
- 5 (E) CHAIN LINK FENCE.
- 6 (E) BUILDING.
- 7 (N) VZW RAYCAP MOUNTED ON (E) VZW MONOPINE.
- 8 (N) VZW RRU MOUNTED ON (E) VZW MONOPINE.
- 9 (N) VZW STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD.
- 10 (E) CMU PLANTER.
- 11 (N) BLOCK WALL ENCLOSURE.
- 12 (E) TREE, TYP.
- 13 (E) PINE TREE, TYP.
- 14 (N) ADDITIONAL MONOPINE BRANCHES.



NOTES

1. (N) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.
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EAST ELEVATION

SCALE: 3/32"=1'-0"
 1

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APPROVALS

R.F. _____
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 SAN DIEGO, CALIFORNIA 92105

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SHEET TITLE

ELEVATIONS

A-2.1

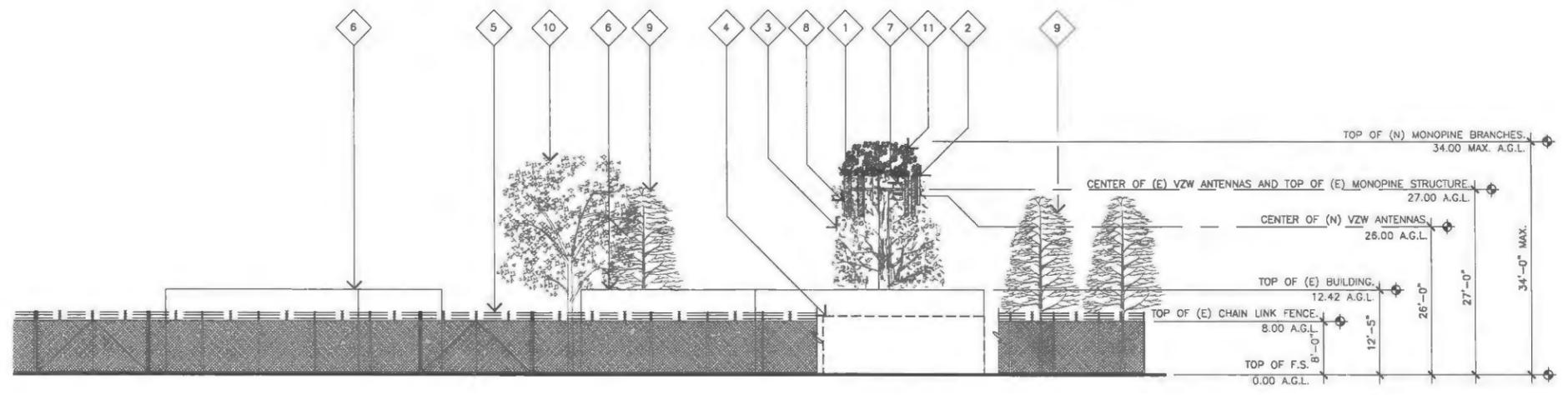
JRA JOB NUMBER: 140228

ELEVATION KEYNOTES

- 1 (N) VZW ANTENNAS MOUNTED ON (E) VZW MONOPINE.
- 2 (E) VZW ANTENNA TO REMAIN.
- 3 (E) 29'-0" TALL VZW MONOPINE.
- 4 (E) VZW EQUIPMENT ROOM INSIDE (E) BUILDING.
- 5 (E) CHAIN LINK FENCE.
- 6 (E) BUILDING.
- 7 (N) VZW RAYCAP MOUNTED ON (E) VZW MONOPINE.
- 8 (N) VZW RRU MOUNTED ON (E) VZW MONOPINE.
- 9 (E) PINE TREE, TYP.
- 10 (E) TREE, TYP.
- 11 (N) ADDITIONAL MONOPINE BRANCHES.

NOTES

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SOUTH ELEVATION

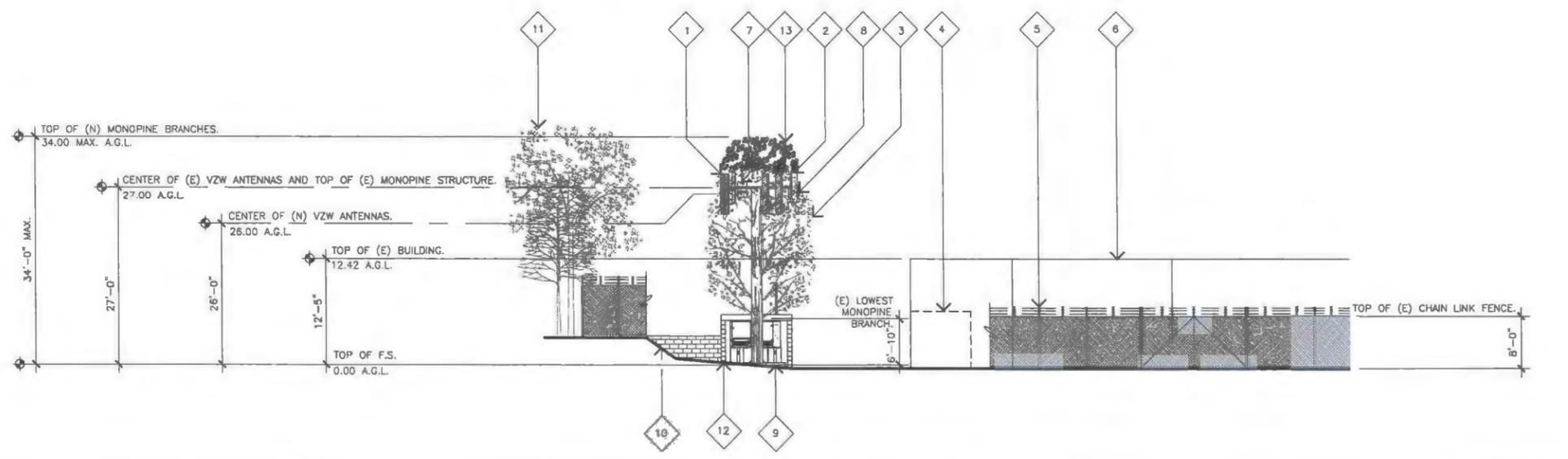
SCALE: 3/32"=1'-0"
 0' 3' 6' 12' **2**

ELEVATION KEYNOTES

- 1 (N) VZW ANTENNAS MOUNTED ON (E) VZW MONOPINE.
- 2 (E) VZW ANTENNA TO REMAIN.
- 3 (E) 29'-0" TALL VZW MONOPINE.
- 4 (E) VZW EQUIPMENT ROOM INSIDE (E) BUILDING.
- 5 (E) CHAIN LINK FENCE.
- 6 (E) BUILDING.
- 7 (N) VZW RAYCAP MOUNTED ON (E) VZW MONOPINE.
- 8 (N) VZW RRU MOUNTED ON (E) VZW MONOPINE.
- 9 (N) VZW STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD.
- 10 (E) CMU BLOCK WALL PLANTER.
- 11 (E) TREE, TYP.
- 12 (N) BLOCK WALL ENCLOSURE.
- 13 (N) ADDITIONAL MONOPINE BRANCHES.

NOTES

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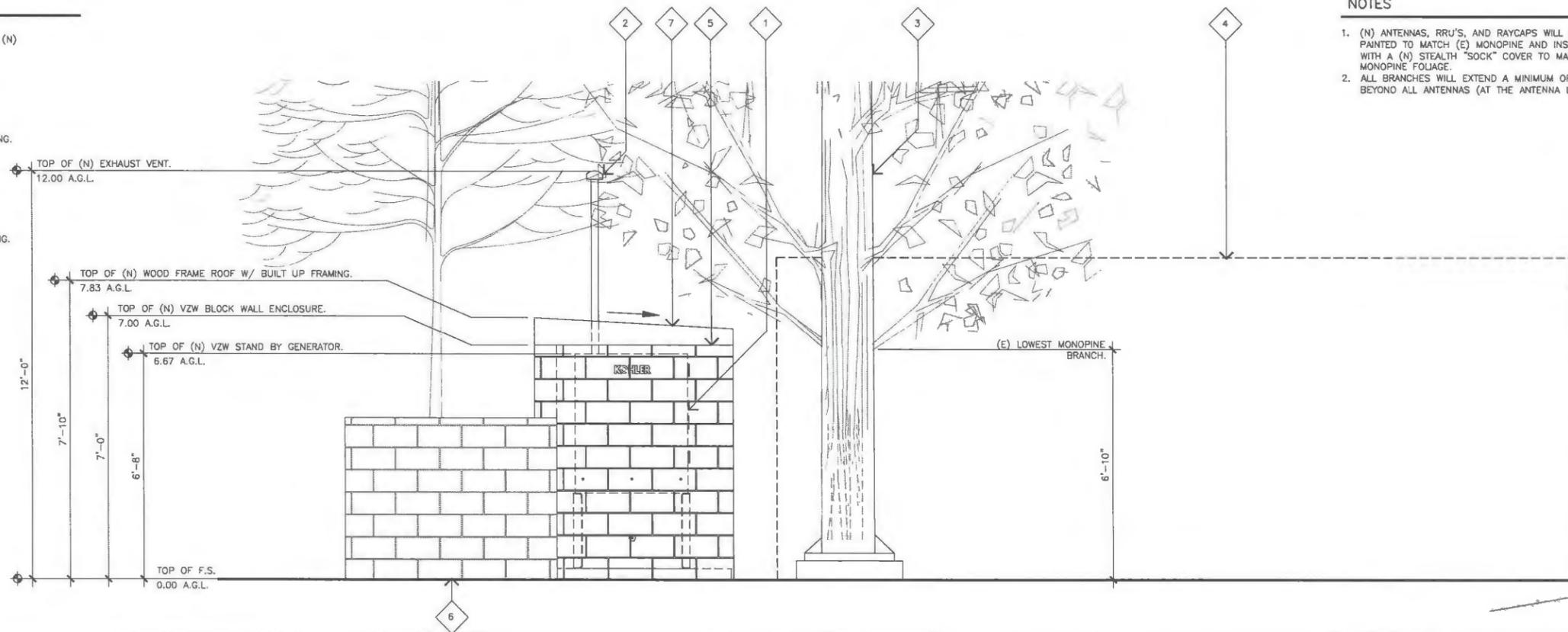


WEST ELEVATION

SCALE: 3/32"=1'-0"
 0' 3' 6' 12' **1**

ELEVATION KEYNOTES

- 1 (N) VZW STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD.
- 2 (N) VZW EXHAUST VENT.
- 3 (E) VZW MONOPINE.
- 4 (E) VZW EQUIPMENT ROOM INSIDE (E) BUILDING.
- 5 (N) BLOCK WALL ENCLOSURE.
- 6 (E) CMU BLOCK WALL PLANTER.
- 7 (N) WOOD FRAME ROOF W/ BUILT UP FRAMING.



NOTES

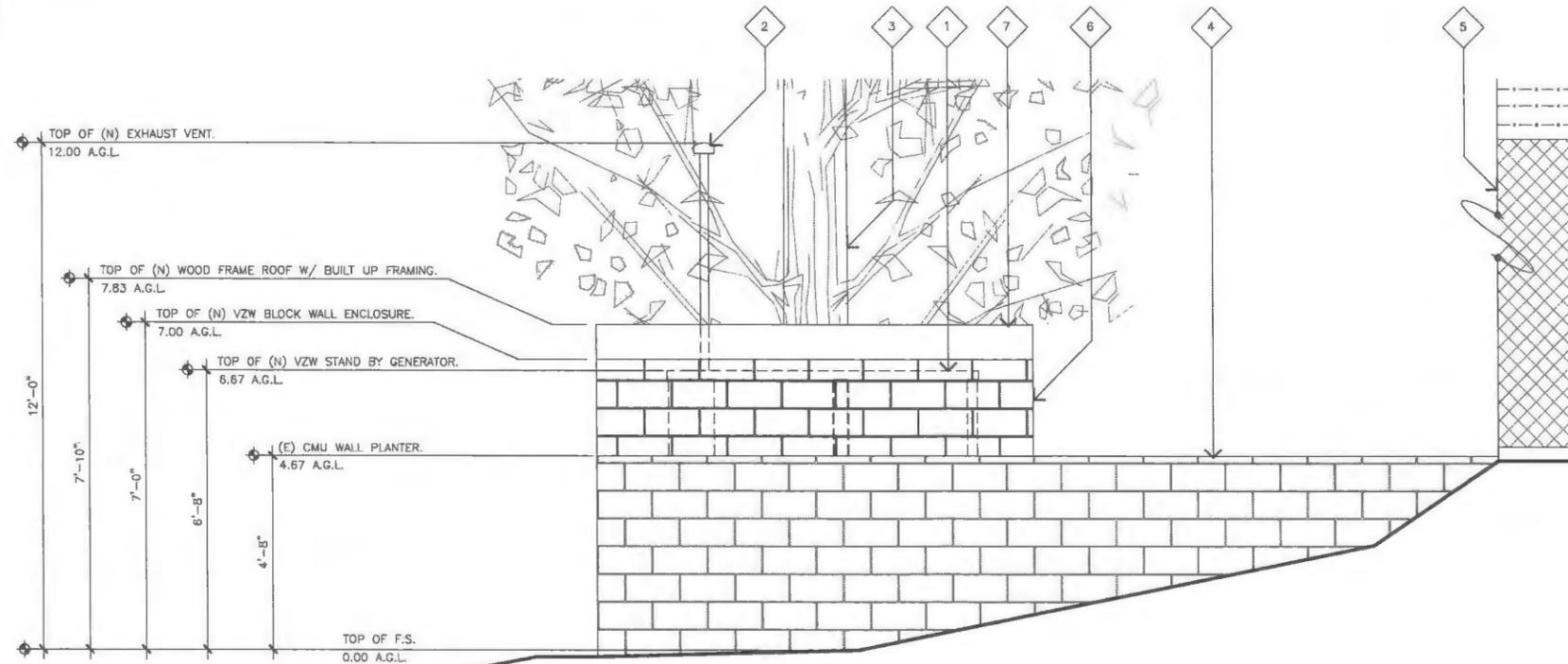
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NORTH ELEVATION GENERATOR

SCALE: 1/2"=1'-0" 0 1' 2' 2

ELEVATION KEYNOTES

- 1 (N) VZW STAND BY GENERATOR MOUNTED TO (N) CONCRETE PAD.
- 2 (N) VZW EXHAUST VENT.
- 3 (E) VZW MONOPINE.
- 4 (E) CMU BLOCK WALL PLANTER.
- 5 (E) CHAIN LINK FENCE.
- 6 (N) BLOCK WALL ENCLOSURE.
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EAST ELEVATION GENERATOR

SCALE: 1/2"=1'-0" 0 1' 2' 1

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APPROVALS

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ZONING _____

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OWNER APPROVAL _____

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SHEET TITLE
ELEVATIONS

A-2.2

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SHEET TITLE

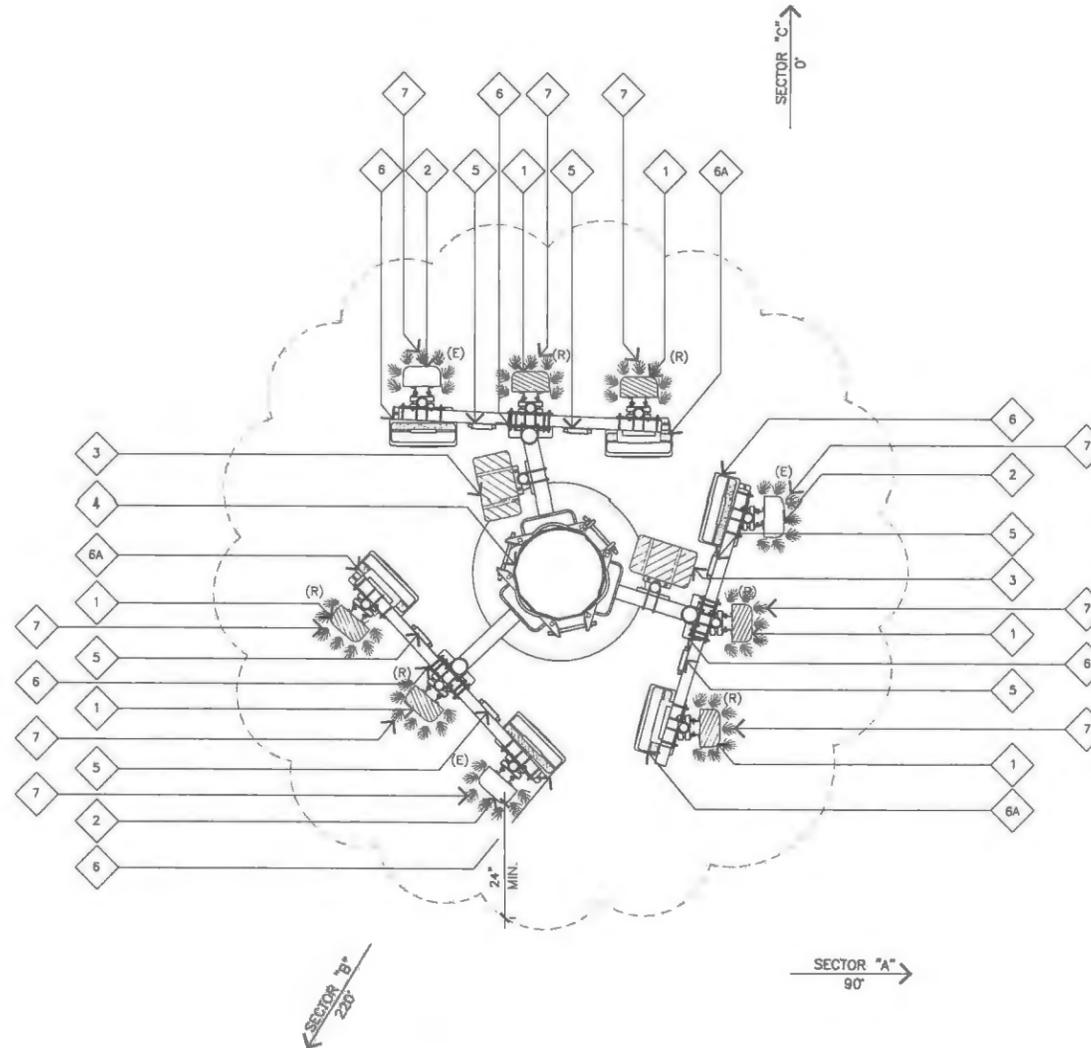
ANTENNA PLAN

A-3

ANTENNA PLAN KEYNOTES

- 1 (N) VZW ANTENNA TO REPLACE (E) ANTENNA MOUNTED TO (E) MONOPINE (6 TOTAL).
- 2 (E) VZW ANTENNA TO REMAIN (3 TOTAL).
- 3 (N) VZW RAYCAP MOUNTED TO (E) MONOPINE (2 TOTAL).
- 4 (E) VZW MONOPINE.
- 5 (N) VZW DIPLEXER MOUNTED TO (E) MONOPINE (6 TOTAL).
- 6 (N) (2) STACKED VZW RRU'S (16" MIN. VERTICAL CLEARANCE) MOUNTED TO (E) MONOPINE (6 TOTAL).
- 6A (N) VZW RRU MOUNTED TO (E) MONOPINE (6 TOTAL).
- 7 (N) VZW ANTENNA SOCKS (9 TOTAL).

LEGEND
 (E) EXISTING
 (R) REPLACE



NOTES

1. (N) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.
2. ALL BRANCHES WILL EXTEND A MINIMUM OF 24" BEYOND ALL ANTENNAS (AT THE ANTENNA LEVEL).



NOT USED

2

ANTENNA PLAN

SCALE:
 1/2" = 1'-0"



1

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PREPARED FOR



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME

HOME (AWS/PCS) AND GENERATOR ADDITION

4773 HOME AVENUE
 SAN DIEGO, CALIFORNIA 92105

DRAWING DATES	
06/09/14	CLIENT COMMENTS (P5)
07/02/14	CLIENT COMMENTS (P6)
08/08/14	CLIENT COMMENTS (P7)
11/25/14	JURISDICTION REVISIONS (P8)
01/06/15	CLIENT COMMENTS (P9)
04/01/15	BRANCHING DETAILS (P10)
06/08/15	PCS/AWS COMBINATION (P11)

SHEET TITLE

MONOPINE PROFILE

A-3.1

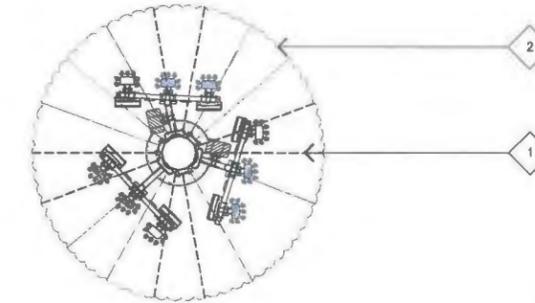
JRA JOB NUMBER: 140228

LEGEND

— (N) BRANCH.

BRANCHING PLAN KEYNOTES

- 1 (N) BRANCHES TO BE INSTALLED; SEE EEL DRAWINGS.
- 2 (E) MONOPINE.



BRANCHING PLAN AT 34'-0"

SCALE: 3/16"=1'-0" 0 3' 6" 3

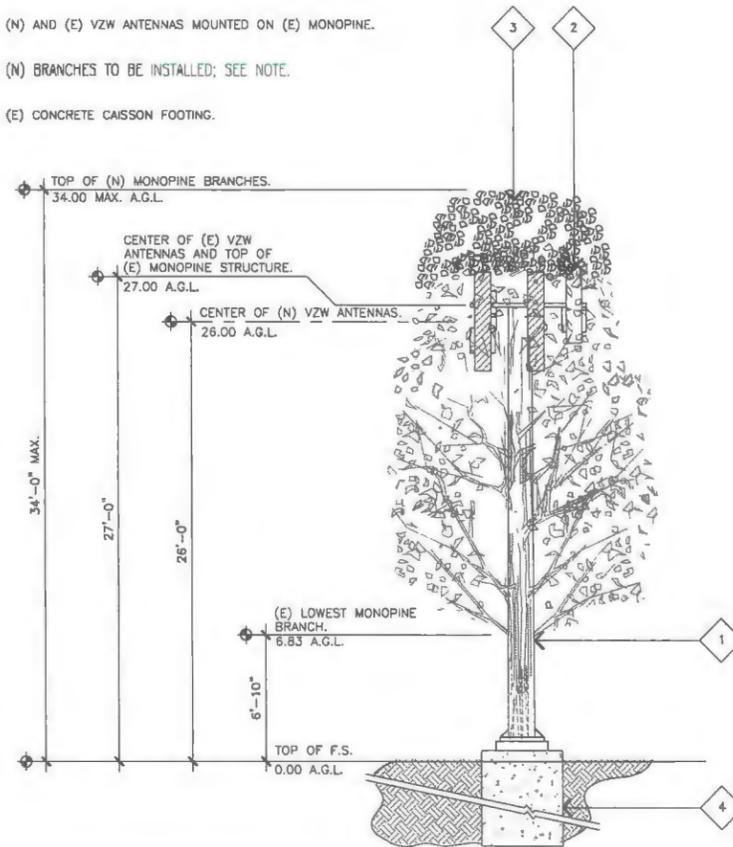
NOT USED

5 NOT USED

4 (N) BRANCH PLAN

ELEVATION KEYNOTES

- 1 (E) VZW MONOPINE.
- 2 (N) AND (E) VZW ANTENNAS MOUNTED ON (E) MONOPINE.
- 3 (N) BRANCHES TO BE INSTALLED; SEE NOTE.
- 4 (E) CONCRETE CAISSON FOOTING.

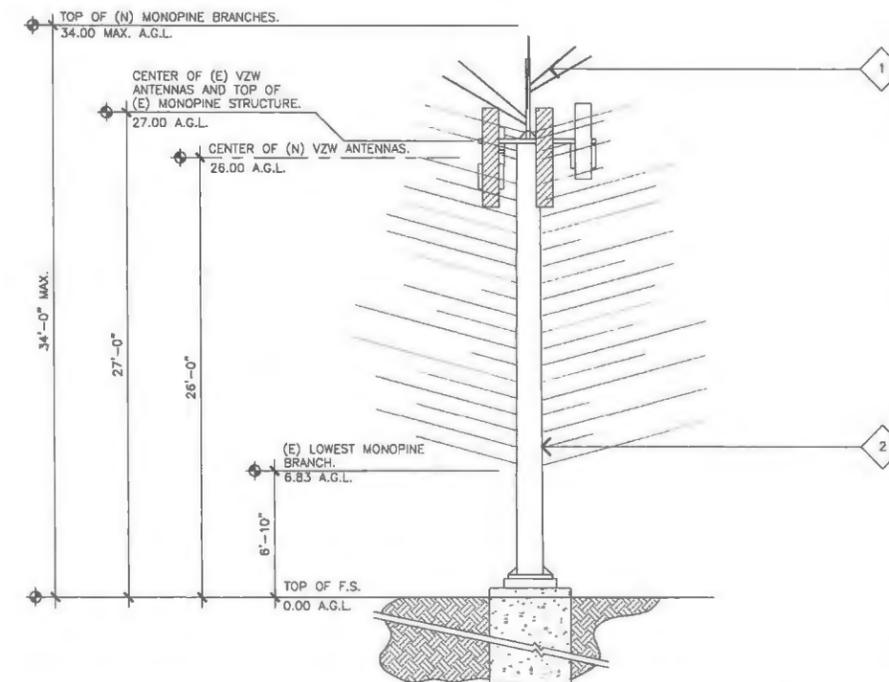


NOTE:

- ALL CABLES AND RRU COVERS TO BE PAINTED. THE DC SUPPRESSORS TO BE COVERED WITH STOCKS. ANY EXPOSED CABLES, BRACKETS AND SUPPORTS TO BE PAINTED TO MATCH THE FAUX TREE.
- GC TO CONTACT EEL FOR NEW BRANCH ATTACHMENT DETAILS.
- CONTRACTOR TO REPLACE ALL BRANCHES.

BRANCHING SCHEMATIC KEYNOTES

- 1 (N) BRANCHES TO BE INSTALLED; SEE EEL DRAWINGS.
- 2 (E) MONOPINE.



BRANCHING ELEVATION

MONOPINE DETAIL

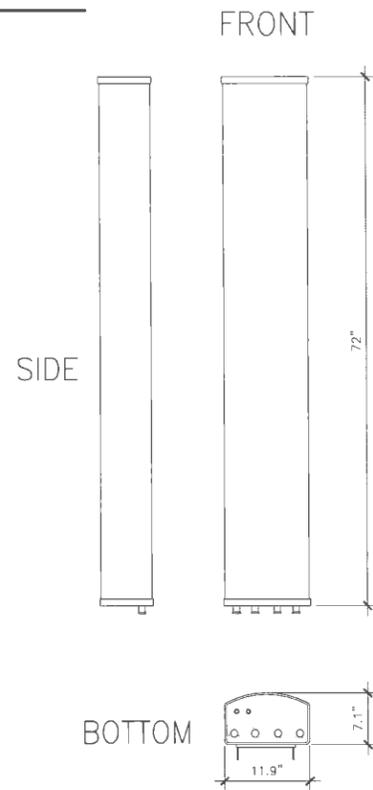
SCALE: 3/16"=1'-0" 0 3' 6" 2

BRANCHING SCHEMATIC

SCALE: 3/16"=1'-0" 0 3' 6" 1

COMMSCOPE SBNHH-1D65B

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GREY
 DIMENSIONS, HxWxD: (72"x11.9"x7.1")
 WEIGHT: 50.71 lbs
 WIND LOAD: 617.7 N @ 150 km/h
 138.9 lbf @ 150 km/h



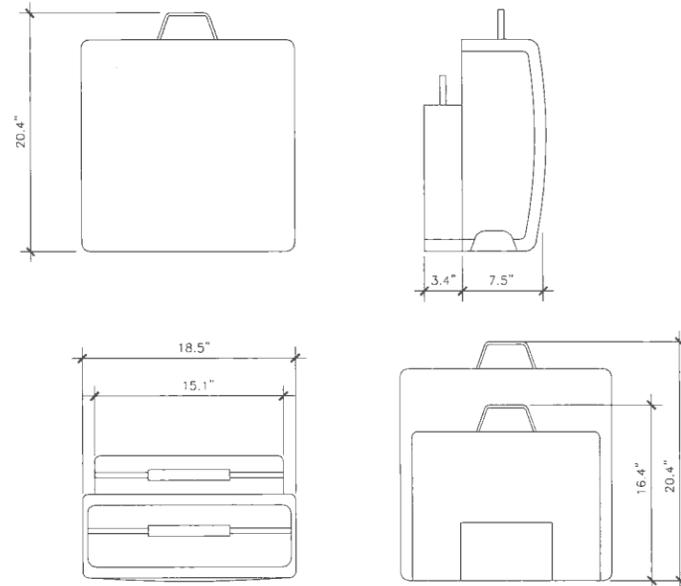
NOTES:
 1. (N) VZW ANTENNAS PAINTED TO MATCH (E) ANTENNAS.

(N) ANTENNA SPECIFICATIONS

SCALE: NONE **6**

ERICSSON RRUS 12+RRUS A2

COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: RRUS: 20.4"x18.5"x7.5"
 RRUS A2: 16.4"x15.1"x3.4"
 WEIGHT: RRUS: 58.0 LBS.
 RRUS A2: 22.0 LBS.

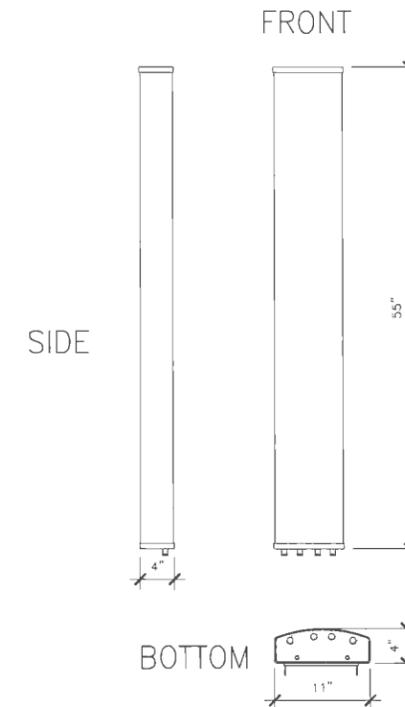


RRU SPECIFICATIONS

SCALE: NONE **4**

POWERWAVE 7750

RADOME MATERIAL: PVC, UV RESISTANT
 ANTENNA COLOR: LIGHT GREY
 DIMENSIONS, HxWxD: (55"x11"x4")
 WEIGHT: 27.0 lbs

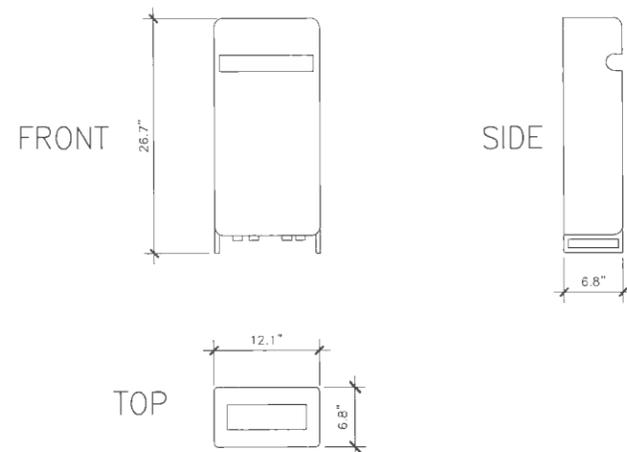


(E) ANTENNA SPECIFICATIONS

SCALE: NONE **2**

RRUS 32

COLOR: GRAY
 DIMENSIONS, HxWxD: 26.7"x12.1"x6.8"
 WEIGHT: 50.8 LBS.

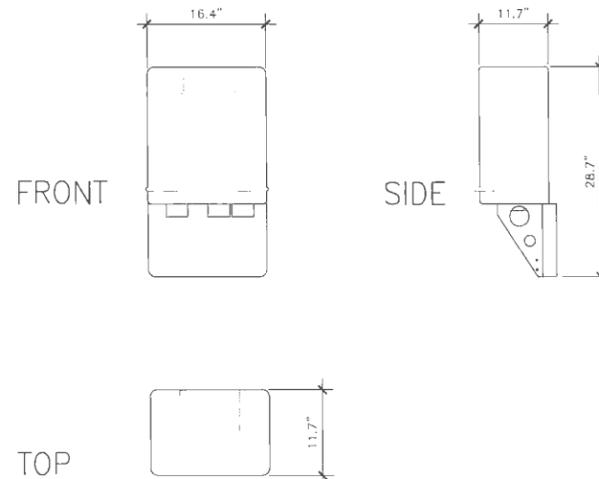


RRU SPECIFICATIONS

SCALE: NONE **5**

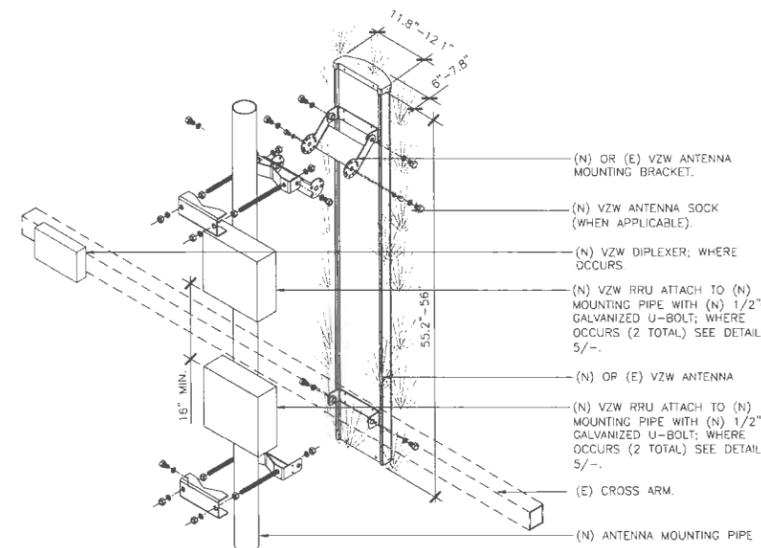
RAYCAP RCMDC 33150PF-48

COLOR: GRAY
 DIMENSIONS, HxWxD: 28.7"x16.4"x11.7"
 WEIGHT: 32.0 lbs



RAYCAP SPECIFICATIONS

SCALE: NONE **3**



NOTES:
 1. SEE POLE DRAWINGS FOR ADDITIONAL MOUNTING INFORMATION.
 2. SEE ANTENNA MANUFACTURER SPECS. FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.

ANTENNA/ DIPLEXER/ RRU MOUNTING

SCALE: NONE **1**

JRA Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR

 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS
 R.F.
 ZONING
 CONSTRUCTION
 SITE ACQUISITION
 OWNER APPROVAL

SITE NAME
HOME (AWS/PCS) AND GENERATOR ADDITION
 4773 HOME AVENUE
 SAN DIEGO, CALIFORNIA 92105

DRAWING DATES
 05/09/14 CLIENT COMMENTS (P5)
 07/02/14 CLIENT COMMENTS (P6)
 08/08/14 CLIENT COMMENTS (P7)
 11/25/14 JURISDICTION REVISIONS (P8)
 01/06/15 CLIENT COMMENTS (P9)
 04/01/15 BRANCHING DETAILS (P10)
 06/08/15 PCS/AWS COMBINATION (P11)

SHEET TITLE
DETAILS

A-4

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PREPARED FOR

 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____
 ZONING _____
 CONSTRUCTION _____
 SITE ACQUISITION _____
 OWNER APPROVAL _____

SITE NAME
HOME (AWS/PCS) AND GENERATOR ADDITION
 4773 HOME AVENUE
 SAN DIEGO, CALIFORNIA 92105

DRAWING DATES
 06/09/14 CLIENT COMMENTS (P5)
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SHEET TITLE

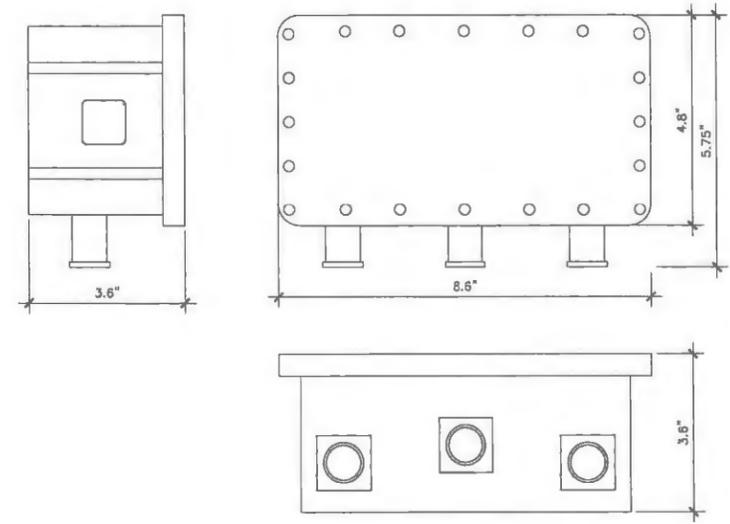
DETAILS

A-5

JRA JOB NUMBER: 140228

RFS FDL85002/1C-3L

COLOR: GRAY
 DIMENSIONS, HxWxD: 8.6"x4.8"x3.6"
 WEIGHT: 7.0 lbs



NOT USED

SCALE: NONE
6

NOT USED

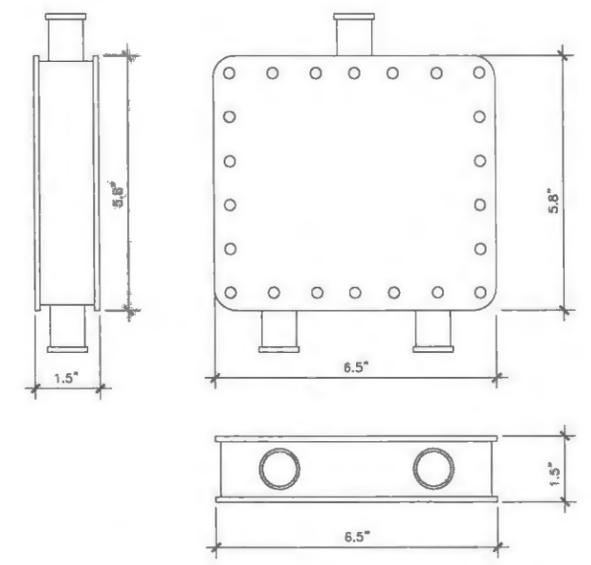
SCALE: NONE
4

DIPLEXER SPECIFICATIONS

SCALE: NONE
2

RFS FD9R6004/1C-3L

COLOR: GRAY
 DIMENSIONS, HxWxD: 5.8"x6.5"x1.5"
 WEIGHT: 2.6 lbs



NOT USED

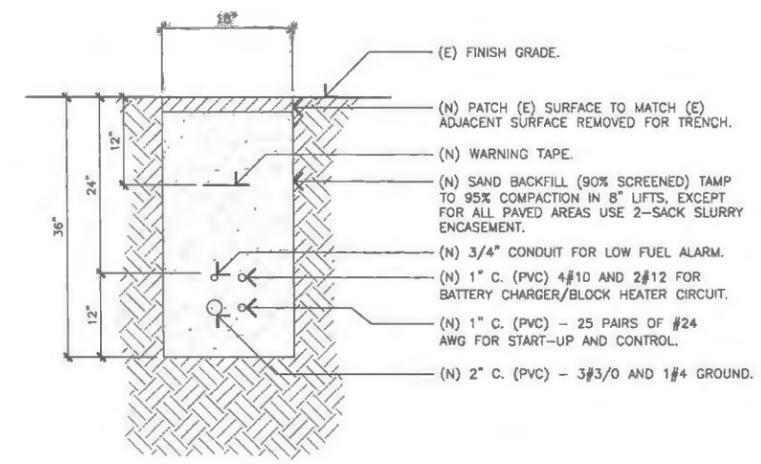
SCALE: NONE
5

UNDERGROUND CONDUIT TRENCH

SCALE: NONE
3

DIPLEXER SPECIFICATIONS

SCALE: NONE
1



POLE EXTENSION WITH PINE BRANCHES HOME SAN DIEGO COUNTY, CA

BILL OF MATERIALS				10861 - RVH	
Item	Part Number	Qty	Description	Weight Per 1'	Wt Per Row
1	PA-CPB-HSC- 0128	3	HALF SIZE CURVED PINE BRANCH		
2	10861-P03-WA-01	3	HALF SIZE CURVED PINE BRANCH RECEPTOR MOUNT	11.40	34.20
3	PA-CPB-BSH- 0130	4	PINE BUSHELS		
4	K10874	1	UNIVERSAL BRACKET LIGHT DUTY	146.40	146.40
5	BHX-GR5-HDG-.5x6.0	3	Ø1/2" x 6" TAP BOLT (GR5) w/(1) H.N., (2) F.W. & (1) LOCK WASHER	0.54	1.62
6	BX-A325-G-0.75x2.5	12	3/4"Ø x 2 1/2" BOLT (A325), (1) H.N., (1) F.W. & (1) L.W.	0.40	4.80
7	BHX-GR5-HDG-.5x2.5	6	Ø1/2" x 2 1/2" TAP BOLT (GR5) w/(1) H.N., (2) F.W. & (1) LOCK WASHER	0.54	3.24
8	10861-P03-WA-02	1	TREE TOPPER		
9	SPH-SST-NFN-.250x1.5	4	1/4"-14-7/16" SELF DRILL SCREW		
9			PAINT RICH BROWN		
		1	PINE TREE POLE ASSEMBLY INSTRUCTIONS		
				TOTAL	190.26



The Experienced Point of View
10975 Kinsman Road * Newbury, OH 44065-9787
Ph: (440) 564-5484 * Ph: (888) 270-3855 * Fx: (440) 564-5489
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TABLE OF CONTENTS
T1 - BILL OF MATERIAL AND NOTES
S1 - FIELD INSTALLATION DRAWING

SYMBOL LEGEND

AGL = ABOVE GROUND LEVEL	LW = LOCK WASHER
CL = CENTER LINE	OC = ON CENTER
ELEV = ELEVATION	OD = OUTSIDE DIAMETER
(E) = EXISTING	(P) = PROPOSED
FV = FIELD VERIFY	TBD = TO BE DETERMINED
FW = FLAT WASHER	TOS = TOP OF STEEL
HN = HEX NUT	TYP = TYPICAL

SITE NOTES

1. THE PROJECT INCLUDES THE DESIGN AND FABRICATION OF A 5-ft FAUX BRANCH POLE EXTENSION MOUNTED TO THE TOP OF THE POLE.
2. THE MONOPOLE IS IN COMPLIANCE WITH ASCE TIA-222G DESIGN STANDARD FOR 85 MPH 3-SECOND GUST WIND, EXPOSURE C.

GENERAL NOTES

1. EEI WILL NOT HONOR ANY BACKCHARGES WHICH HAVE NOT RECEIVED PRIOR WRITTEN AUTHORIZATION. CONTACT EEI AT (440) 564-5484.
2. THE DRAWINGS DO NOT INDICATE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL METHODS, MEANS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
3. THE INSTALLER SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE WORK.
4. THE INSTALLER SHALL REVIEW ASSEMBLY DRAWINGS AND DESIGN PROCEDURES PRIOR TO INITIATING ANY WORK FOR INSTALLATION.
5. MATERIAL.
 - 5.1. STRUCTURAL STEEL
 - 5.1.1. PLATES: A36 STEEL
 - 5.1.2. ANGLES: A36 STEEL
 - 5.1.3. HSS: A500 GR. B (Fy=46 ksi)
 - 5.2. STRUCTURAL FIBERGLASS
 - 5.2.1. FIRE RETARDANT POLYESTER (FR)
 - 5.3. RF-TRANSPARENT PANELS
 - 5.3.1. EEI ClearPath® PANELS
 - 5.4. BOLTS
 - 5.4.1. STRUCTURAL STEEL: A325 HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED.
 - 5.4.2. STRUCTURAL FIBERGLASS: ALL FIBERGLASS BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION. DO NOT OVER TIGHTEN. RECOMMENDED MAXIMUM INSTALLATION TORQUE FOR 1/2" FRP BOLTS OF 8 FT-LBS.
6. WELDING
 - 6.1. WELDING MATERIAL SHALL CONFORM TO ASTM A-233.
 - 6.2. ALL WELDED CONNECTIONS SHALL USE E70xx ELECTRODES AND SHALL CONFORM TO THE LATEST EDITION OF AWS D.1.1.
 - 6.3. MINIMUM WELD SIZE SHALL COMPLY WITH THE ASCE ASD 9TH EDITION AND AWS D.1.1 UNLESS OTHERWISE NOTED.
 - 6.4. ALL WELDS SHALL BE DONE BY QUALIFIED WELDERS.
 - 6.5. ALL COMPLETE PENETRATION WELDS SHALL BE DONE BY CERTIFIED WELDERS AND ULTRASONICALLY TESTED. CERTIFICATION DOCUMENTS SHALL BE AVAILABLE FOR REVIEW.
 - 6.6. IF NOTED, COMPLETE PENETRATION WELDS SHALL BE USED FOR ALL BASE PLATE AND FLANGE PLATE CONNECTIONS.
 - 6.7. WELDS NOT SHOWN ON FABRICATION DRAWINGS SHALL BE IN COMPLIANCE WITH ASD 9TH, SECTION J2.
7. ALL STEEL STRUCTURAL MEMBER SHALL BE HOT DIP GALVANIZED PER A123 AND IF REQUIRED, PAINTED PER CUSTOMER SPECIFICATIONS.
8. MINIMUM 1/2" Ø A325 BOLTS SHALL BE USED UNLESS OTHERWISE NOTED. NON-STRUCTURAL CONNECTIONS SUCH AS GRATING AND LADDER ATTACHMENTS MAY USE A307 BOLTS OR SIMILAR.
9. CONNECTIONS NOT DETAILED ON THE DRAWING SHALL CONFORM TO THE ASD/LFD REQUIREMENTS AND SPECIFICATIONS. BOLT SIZE AND PITCH SHALL BE TAKEN FROM THE TABLES IN ASD/LRFD MANUALS.
10. EEI RECOMMENDS NOT PLACING ANTENNA DIRECTLY BEHIND VERTICAL STRUCTURAL FIBERGLASS MEMBERS. IF REQUIRED, VERTICAL FRP MEMBERS MAY BE REPOSITIONED ± 1 FT TO PROVIDE ADDITIONAL SPACE FOR THE ANTENNAS.

TOTAL WEIGHT WILL BE VERIFIED AND ADJUSTED UPON COMPLETION OF THE DETAILED DRAWINGS



1.8.15

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REVISION HISTORY			
REV #	DATE	BY	DESCRIPTION
0	1/7/15	RVH	ISSUED FOR CONSTRUCTION

POLE EXTENSION w/PINE
BRANCHES

HOME
SAN DIEGO COUNTY, CA

BILL OF MATERIAL
AND GENERAL NOTES

DRAWN BY RVH	CREATED 1/6/15	PROJECT NUMBER 10861
SHEET T1	DRAWING NUMBER 10861-E03	



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THE SOLUTION IS



PROVIDED BY EEI

STAMP



[Signature] 1.8.15

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REVISION HISTORY

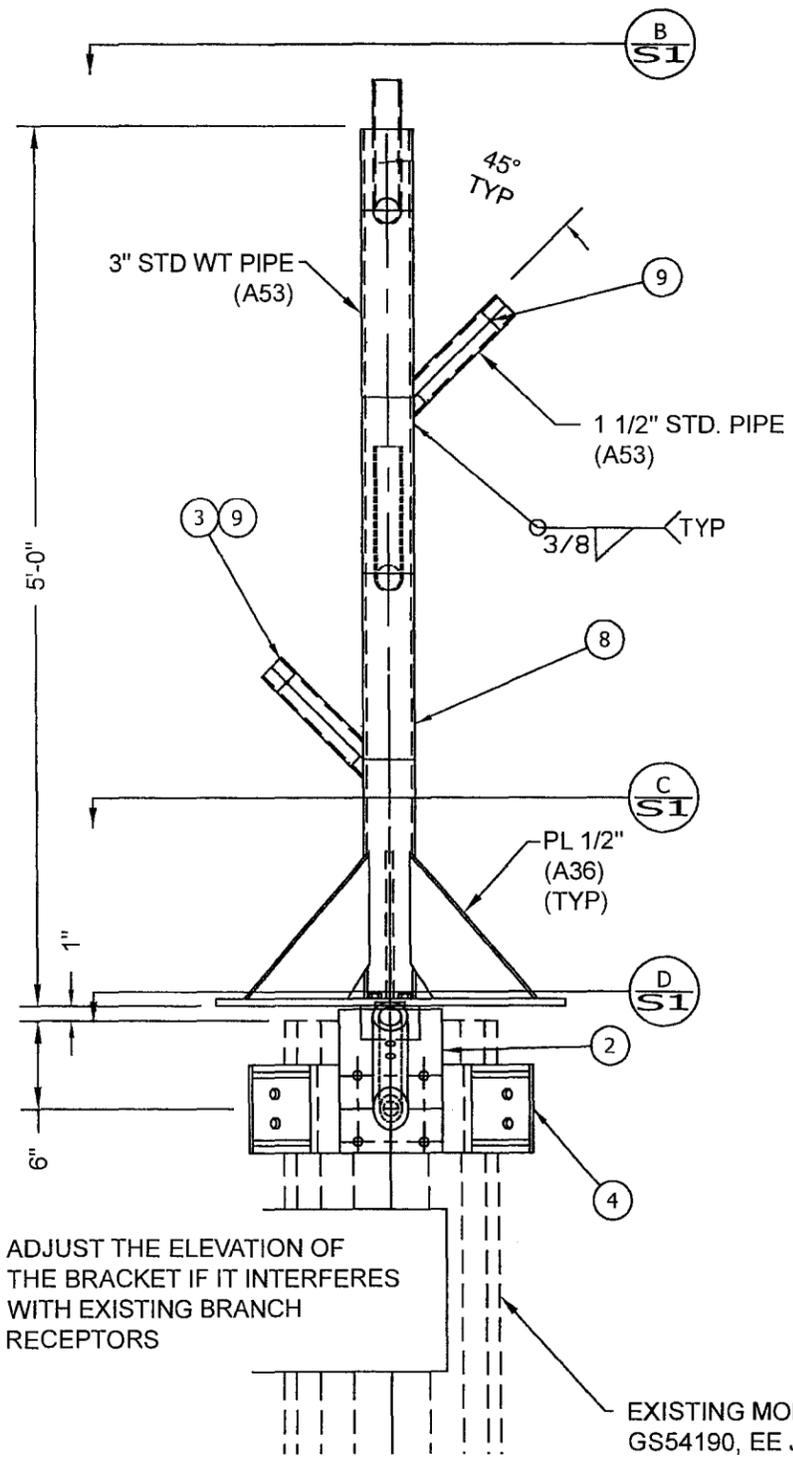
REV #	DATE	BY	DESCRIPTION
0	1/7/15	RVH	ISSUED FOR CONSTRUCTION

POLE EXTENSION w/PINE BRANCHES

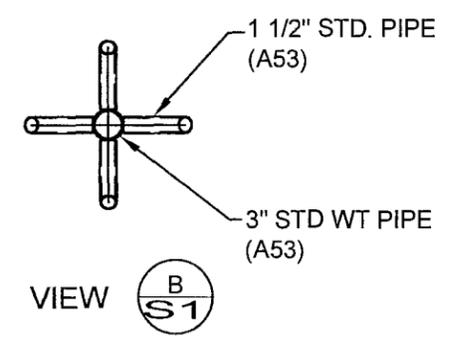
HOME
 SAN DIEGO COUNTY, CA

ELEVATION VIEW & DETAILS

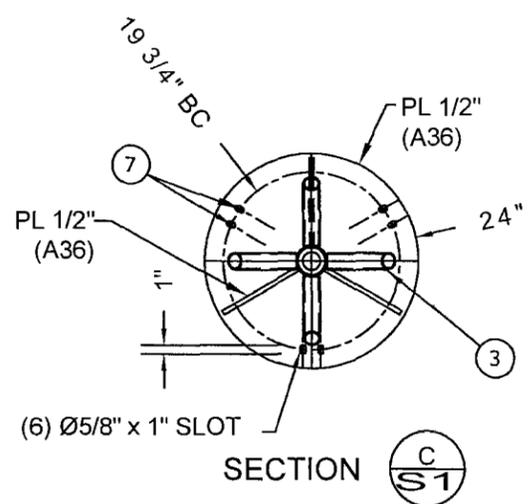
DRAWN BY RVH	CREATED 1/6/15	PROJECT NUMBER 10861
SHEET S1	DRAWING NUMBER 10861-E03	



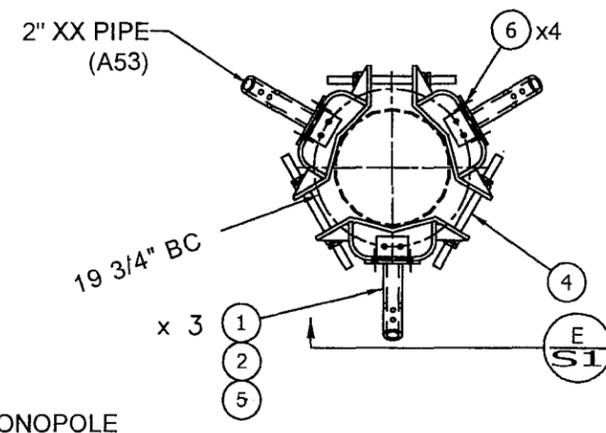
ELEVATION VIEW **(A/S1)**



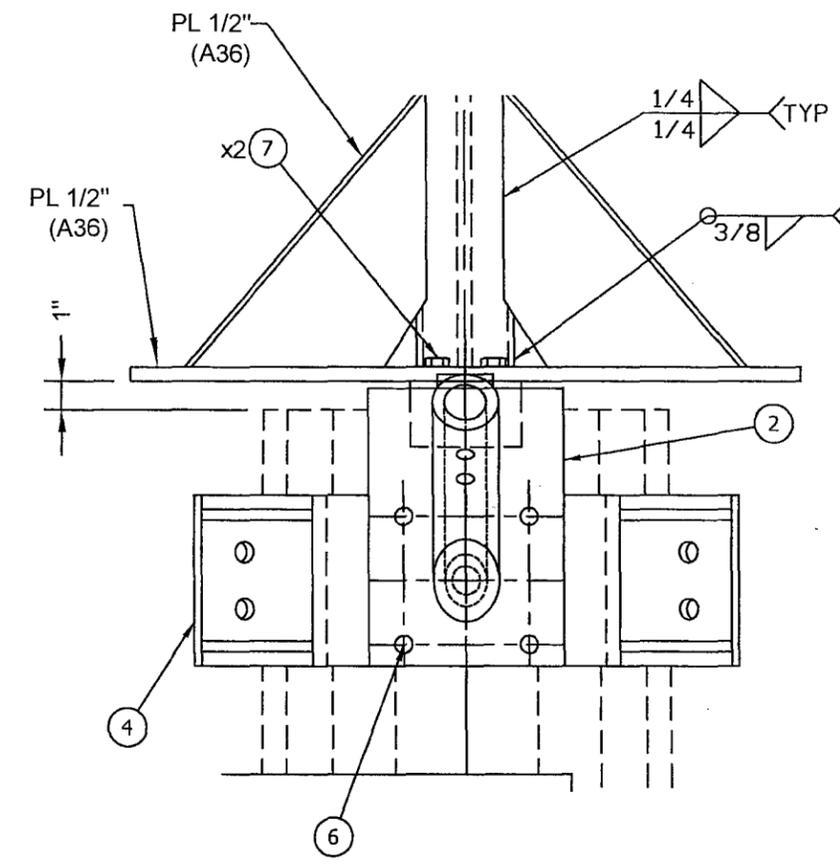
VIEW **(B/S1)**



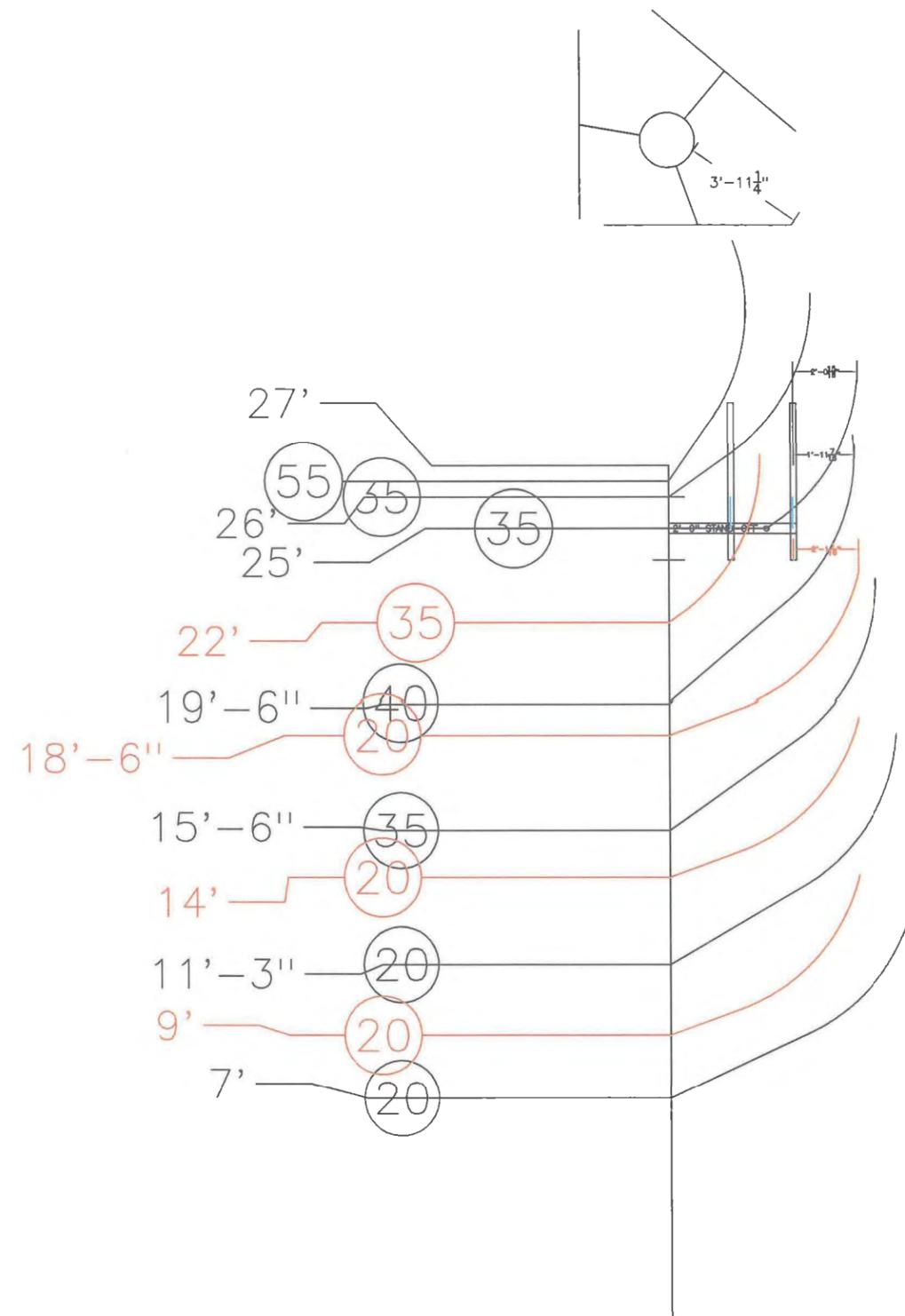
SECTION **(C/S1)**



SECTION **(D/S1)**



VIEW **(E/S1)**



HOME, SAN DIEGO COUNTY, CA	
QTY.	DESCRIPTION
0	SURFACE AREA TO BE CLAD IN BARK
0	SURFACE AREA TO BE PAINTED
14x1=14Bough	HALF-SIZE CURVED PINE BRANCH
16x2=32Bough	FULL-SIZE CURVED PINE BRANCH
16	PINE BUSHEL
20	WELDED PINE BRANCH RECEPTORS
4	BOLT-ON PINE BRANCH RECEPTORS
6	ARRAY MOUNTED BRANCH RECEPTORS T.B.V.

Branch coverage for 27ft - 7ft = 20ft
 3 Bough / foot x 20 ft = 60 Boughs Required
 Existing 14 + 32 = 46 Boughs Installed

60 - 46 = 16 Additional Boughs Required

Install:

- (12) 20° x 2ft Bolt-On Receptor
- (4) 35° x 1ft Bolt-On Receptor
- (16) Half-Size (1 bough) Branch

PLANT MATERIAL KEY

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/CALIPER	COUNT
EXISTING LANDSCAPE				
	Pinus canariensis	Canary Island Pine	35'/8"	6
	Eucalyptus rostrata	Red Gum	60'/14"	2
	Pinus canariensis	Canary Island Pine	20'-6"	1
	Existing Shrubs to Remain			
PROPOSED SHRUBS				
RHA IND	Rhaphiolepis Indica	Indian Hawthorn	5 Gal	12
PROPOSED VINES				
	Macfadyena unguis-cati	Yellow Trumpet Vine	5 Gal	5

MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE -

TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

LANDSCAPE NOTE

ALL TREES AND LANDSCAPING INSTALLED BY THE PROJECT OR PROVIDING SCREENING VALUE SHALL BE MAINTAINED IN A HEALTHY AND THRIVING MANNER FOR SCREENING PURPOSES OF THE PROPOSED MONO-TREE AND EQUIPMENT ENCLOSURE. IF ANY OF THE PROJECT INSTALLED TREES AND LANDSCAPING SHALL PERISH OR BE DESTROYED, THEN THE APPLICANT / OPERATOR SHALL REPLACE IT IN KIND, SIZE, AND QUANTITY TO PROVIDE THE SAME SCREENING VALUE AS DETERMINED BY THE PLANNING DIVISION DIRECTOR.

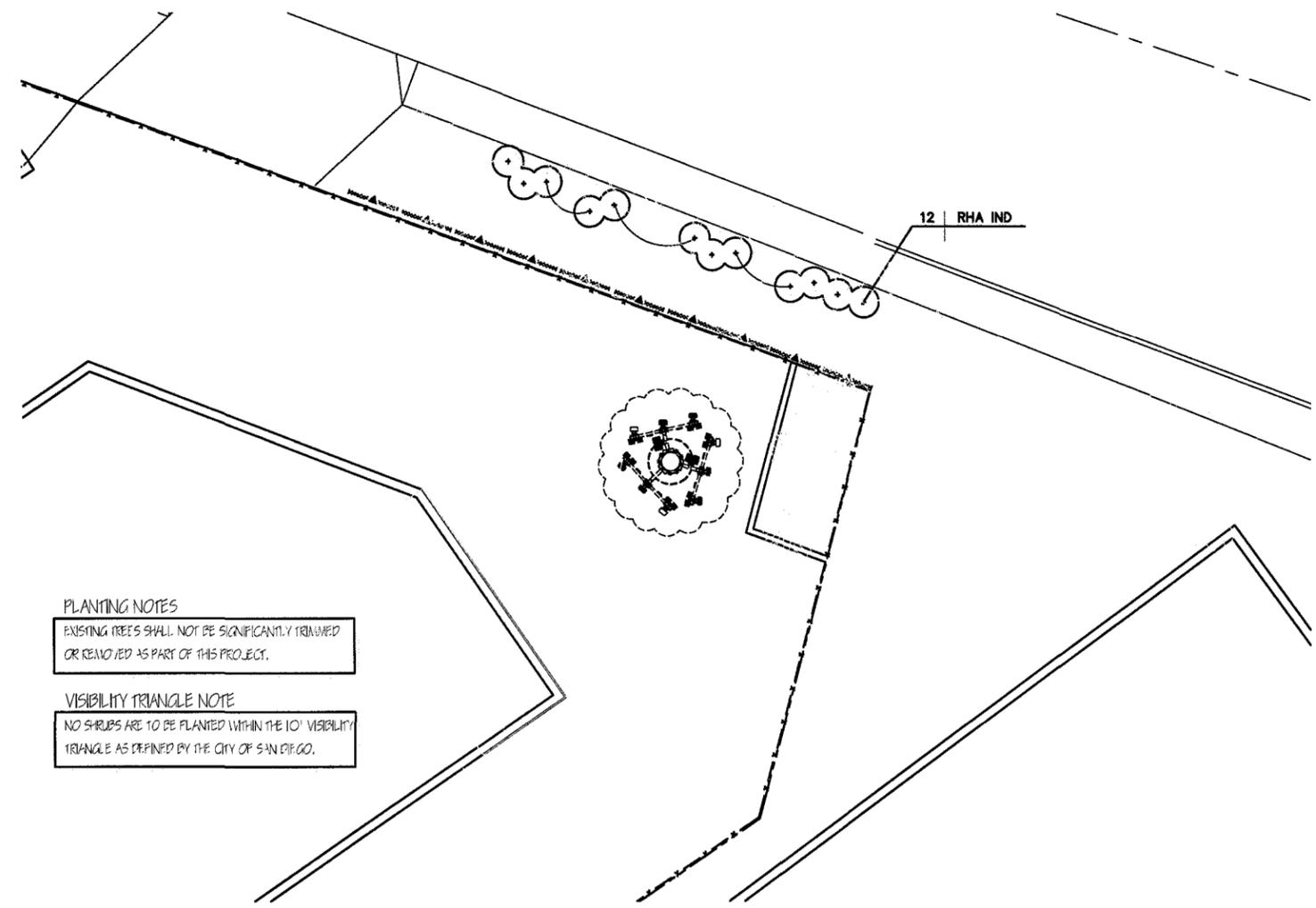
LANDSCAPE NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

2. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.041K a)].

3. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. FOR STREET TREES, IRRIGATION TO BE BUBBLER SYSTEM PER CITY PARKS AND RECREATION DEPARTMENT. FOR VINES AT REAR FENCE, IRRIGATION TO BE BUBBLER.

4. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC R.O.W. SHALL BE MAINTAINED BY PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

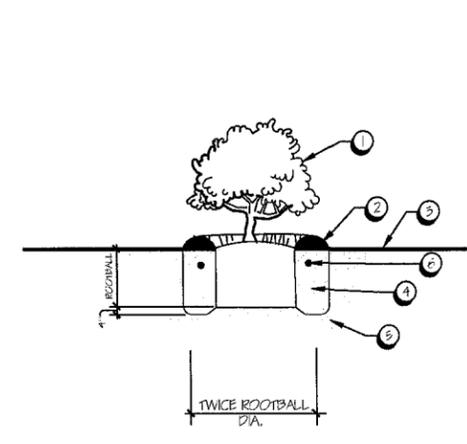


PLANTING NOTES

EXISTING TREES SHALL NOT BE SIGNIFICANTLY TRIMMED OR REMOVED AS PART OF THIS PROJECT.

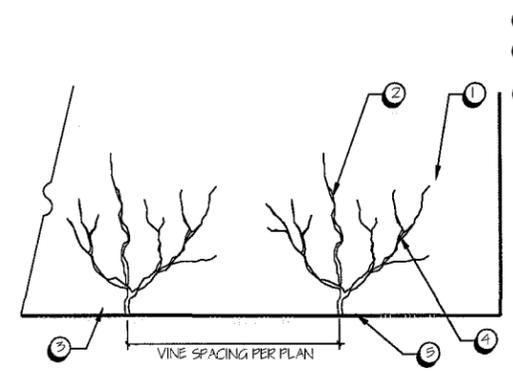
VISIBILITY TRIANGLE NOTE

NO SHRUBS ARE TO BE PLANTED WITHIN THE 10' VISIBILITY TRIANGLE AS DEFINED BY THE CITY OF SAN DIEGO.



- 1 SET CROWN 1" ABOVE FINISH GRADE.
- 2 2" DEEP BASIN WITH BARK MULCH (2" DEPTH) OR EQUAL.
- 3 FINISH GRADE.
- 4 AMENDED BACKFILL.
- 5 SET ROOTBALL ON UNDISTURBED SOIL.
- 6 21 GRAM PLANT TABLETS.

NOTE:
 1. SCARIFY SIDES OF PLANTING PIT.
 2. ON SLOPES, PROVIDE SALICER RIM ON DOWNHILL SIDES.



- 1 ADJACENT WALL OR FENCE.
- 2 SELF-CLIMBING VINE. REFER TO PLANTING PLAN FOR SPECIES.
- 3 FINISH GRADE.

NOTE:
 1. SEPARATE INDIVIDUAL TENDRILS AND SPREAD ONTO ROUGH SURFACED WALL OR FENCE. SECURE TENDRILS TO SURFACE TO AID IN PROPER GROWTH.

PLANTING PLAN

SCALE:
 1/8" = 1'-0"

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APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME

HOME (LTE)

4773 HOME AVENUE
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DRAWING DATES

04/10/14 PRELIM ZD'S (P1)
 04/16/14 PRELIM ZD'S (P2)

SHEET TITLE

PLANTING PLAN

L-1