



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: July 16, 2015 **REPORT NO.** PC-15-088

ATTENTION: Planning Commission, Agenda of July 23, 2015

SUBJECT: VERIZON WIRELESS DEL MAR HEIGHTS - PROJECT NO. 399437
PROCESS FOUR

**OWNER/
APPLICANT:** Carmel Country Plaza LP
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a Planned Development Permit and a Site Development Permit for a modification to an existing Wireless Communication Facility located at 12750 Carmel Country Road in the Carmel Valley Community Planning area?

Staff Recommendation(s): APPROVE Planned Development Permit No. 1502493 and Site Development Permit No. 1502494.

Community Planning Group Recommendation: The Carmel Valley Community Planning Board voted 9-3-1 to approve this WCF on April 23, 2015 (Attachment 11).

Environmental Review: This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 1, 2015, and the opportunity to appeal that determination ended May 15, 2015 (Attachment 7).

Fiscal Impact Statement: None with this action. All cost associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

BACKGROUND

The project is located on an existing commercial building and was originally approved for one

Wireless Communication Facility (WCF) belonging to Verizon Wireless that consisted of four whip antennas at 4-feet tall by 1.5 inches wide, one 2-foot microwave dish and a 240-square foot equipment room. This approval was granted by the Hearing Officer on September 19, 2001 under Site Development Permit (SDP) No. 99-0960-29. This site has been selected as a candidate to be part of Verizon's LTE (Long Term Evolution) update. The upgrade will allow Verizon to distribute improved data quality as well as voice reliability to the surrounding area (Attachment 14). The site is surrounded by a variety of land uses including commercial buildings to the west, multi-family housing across Del Mar Heights Road to the north, multi-family housing across Carmel Country Road to the east and multi-family housing across Townsgate Drive to the south (Attachment 1). The existing SDP expired on September 19, 2011 and a new SDP is required for the proposed modification. A PDP application is also required for the proposed height deviation to exceed the CC-1-3 zone height limit of 45-feet.

DISCUSSION

Project Description: The Verizon Wireless modification includes a total of sixteen (16) panel antennas concealed inside the proposed raised cupola dome, painted and textured to match the existing commercial building (Attachment 9). The overall height of the building as a result of the cupola dome modification will go from 50-feet to 57-feet. Portions of this cupola will be replaced with Fiberglass Reinforced Panel (FRP) material to allow the antennas to operate without any potential interference. The cupola will also accommodate the installation of sixteen Remote Radio Units (RRUs). The RRUs are complimentary equipment components that must be connected to the antennas within a close proximity due to the increase of data consumption. The RRUs must also be vented and that is why two attic vents will be installed in the cupola. The existing whip antennas will also be removed as part of this project. The equipment associated with this project will continue to operate inside the roof top attic space.

The project is located within the Carmel Valley Planned District (CVPD) TC zone which utilizes the CC-1-3 development regulations. The overall height of the building including the cupola modification will be 57-feet. This exceeds the maximum height of 45-feet allowed in the CC-1-3 zone, prompting the need for a PDP for the deviation. Additionally, under the Carmel Valley Planned District Ordinance, the proposed development requires an SDP pursuant to Land Development Code Section 153.0201.

Community Plan Analysis: The project location has been designated for commercial use in the Carmel Valley Community Plan (Attachment 2). The Carmel Valley Community Plan does not contain policies on wireless communication facility development.

General Plan: The General Plan, Section UD-A.15, states that WCF should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The Verizon WCF design consists of sixteen antennas fully concealed inside the raised cupola dome behind FRP screens. As illustrated on the photosimulation, the design of the raised rooftop cupola dome is consistent with the existing rooftop design (Attachment 9). The associated equipment will continue to operate inside existing attic.

Council Policy 600-43: The guidelines establish a hierarchy from the most preferred locations (Preference 1) to the least preferred locations (Preference 4) for WCFs. The project is proposed within a Preference 1 location according to Council Policy 600-43, which categorizes WCF's according to land use in which they are located (Attachment 14). However, a PDP is required for the proposed height deviation and the SDP is required in accordance with the Carmel Valley Planned District Ordinance.

Conclusion: The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations from the CVPD-TC (CC-1-3) zone and the Wireless Communication Facilities regulations Section 141.0420 except for the requested height deviation. This deviation can be supported by staff as a result of the creative design employed by the applicant. With the fully stealth design, neither the antennas, nor the equipment will be visible. Therefore, staff supports the Carmel Valley Planning Board's recommendation to support the proposed Verizon Wireless project. In conclusion, Staff recommends that the Planning Commission approve Planned Development Permit No. 1502493 and Site Development Permit No. 1502494.

ALTERNATIVE

1. **Approve** Planned Development Permit No. 1502493 and Site Development Permit No. 1502494, **with modifications.**
2. **Deny** Planned Development Permit No. 1502493 and Site Development Permit No. 1502494, **if the Planning Commission makes written based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Simon Tse
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions

7. Environmental Exemption
8. Project Plans
9. Photosimulations
10. Photo Survey
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology
14. Technical Analysis

















































Aerial Photo

Verizon Wireless Del Mar Heights

12750 Carmel Country Road, San Diego, CA 92130



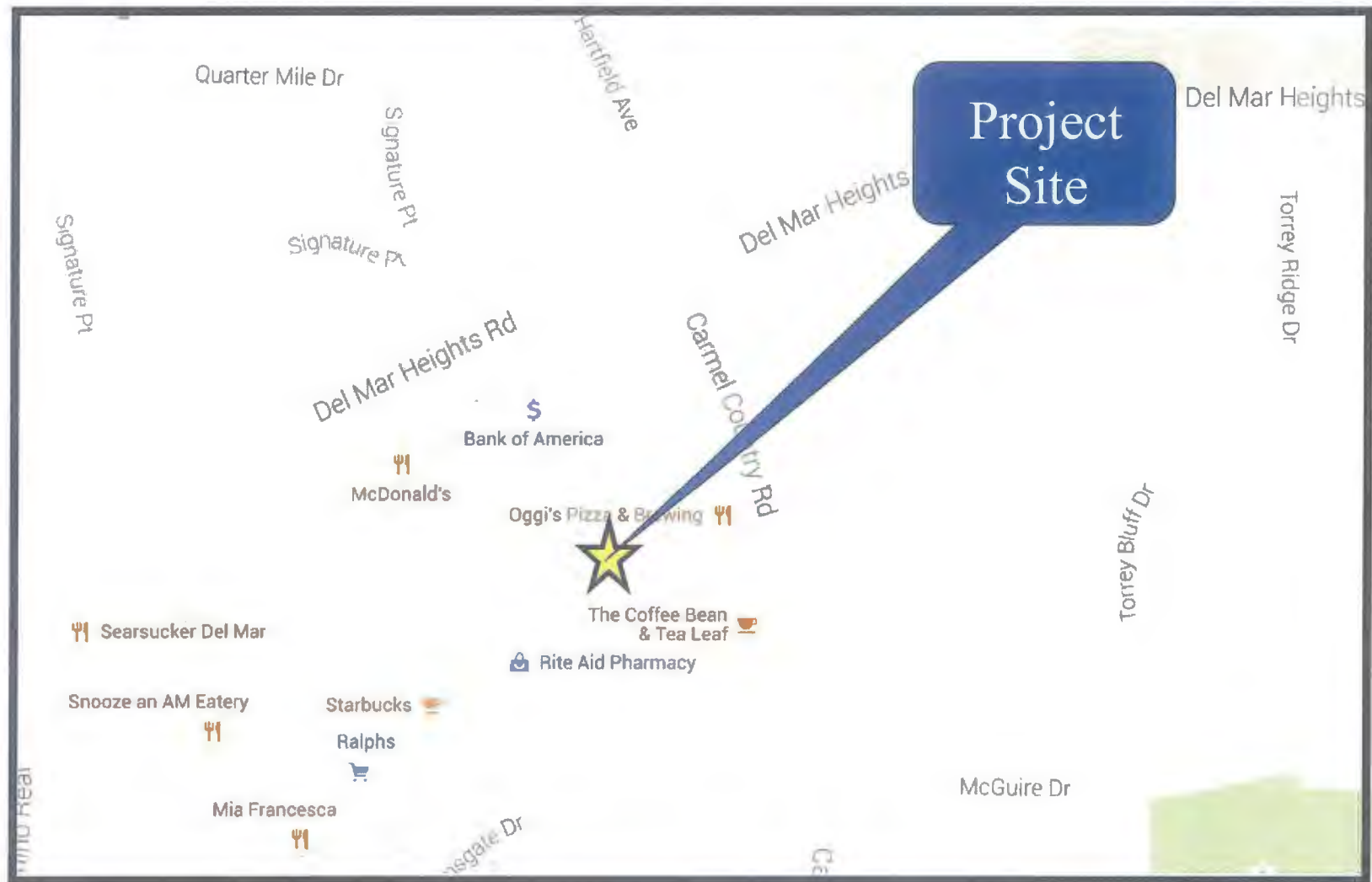
ZONE_NAME	
	AR-1-1
	AR-1-2
	CC-1-3
	CN-1-2
	CO-1-2
	CV-1-2
	CVPD-EC
	CVPD-EP
	CVPD-MF1
	CVPD-MF2
	CVPD-MF3
	CVPD-MF4
	CVPD-MFL
	CVPD-NC
	CVPD-OS
	CVPD-SC
	CVPD-SF
	CVPD-SF1
	CVPD-SF1A
	CVPD-SF2
	CVPD-SF3
	CVPD-SF4
	CVPD-SP
	CVPD-TC
	CVPD-VC
	IH-2-1
	IL-2-1
	IL-3-1
	IP-2-1
	OC-1-1
	OF-1-1
	OP-1-1
	OP-2-1
	OR-1-2
	RM-1-1
	RM-1-2
	RM-1-3
	RM-2-5
	RM-3-7
	RM-5-12
	RS-1-14
	RS-1-3
	RS-1-4
	RS-1-6
	RS-1-7
	RX-1-1



Verizon Wireless Del Mar Heights

12750 Carmel Country Road, San Diego, CA 92130





Project Location Map

Verizon Wireless Del Mar Heights

12750 Carmel Country Road, San Diego, CA 92130



PROJECT DATA SHEET

PROJECT NAME:	Verizon Wireless Del Mar Heights		
PROJECT DESCRIPTION:	Modification to an existing Wireless Communication Facility resulting in sixteen (16) antennas and sixteen Remote Radio Units (RRUs) concealed inside a raised cupola dome, behind Fiberglass Reinforced Panel (FRP) materials, painted and textured to match the existing commercial building. The equipment associated with this project is located on the roof inside the attic.		
COMMUNITY PLAN AREA:	Carmel Valley		
DISCRETIONARY ACTIONS:	Planned Development Permit and Site Development Permit		
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial		
<u>ZONING INFORMATION:</u>			
Zone:	<u>Required:</u>	<u>Current:</u>	<u>Proposed:</u>
Height Limit:	CVPD-TC (CC-1-3) 45-feet	50-feet	57-feet
Front Setback:	N/A	No proposed change	No proposed change
Side Setback:	N/A	No proposed change	No proposed change
Rear Setback:	10-feet	No proposed change	No proposed change
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE	
NORTH:	Residential;CVPD-MF-3	Residential	
SOUTH:	Residential;CVPD-MF-4	Residential	
EAST:	Residential;CVPD-MF-2	Residential	
WEST:	Commercial;CVPD-TC	Commercial	
DEVIATIONS OR VARIANCES REQUESTED:	The project is proposing to exceed the height limit of 45-feet.		
COMMUNITY PLANNING GROUP RECOMMENDATION:	This project was presented to the Carmel Valley Community Planning Board on April 23, 2015 and was approved with a vote of 9-3-1.		

**PLANNING COMMISSION
RESOLUTION NO. PC-15-088
PLANNED DEVELOPMENT PERMIT NO. 1502493
SITE DEVELOPMENT PERMIT NO. 1502494
VERIZON WIRELESS DEL MAR HEIGHTS PTS NO. 399437
DRAFT**

WHEREAS, **CARMEL COUNTRY PLAZA LP**, Owner, and **VERIZON WIRELESS**, Permittee, filed an application with the City of San Diego for a Planned Development Permit (PDP) and a Site Development Permit (SDP) to modify an existing Wireless Communication Facility (WCF). The WCF will result in sixteen (16) antennas and sixteen (16) Remote Radio Units (RRUs) concealed inside a raised cupola dome behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing commercial building. The equipment associated with this project will continue to operate inside the rooftop attic as described in and by reference to the approved Exhibits "A," on file in Development Services Department, and corresponding conditions of approval for the associated Planned Development Permit No. 1502493 and Site Development Permit No. 1502494;

WHEREAS, the project site is located at 12750 Carmel Country Road in the Carmel Valley Planned District (CVPD) TC zone of the Carmel Valley Community Plan;

WHEREAS, the project site is legally described as Lots 1, 2, and 9 of Del Mar Country Plaza, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 12643, filed in the Office of the County Recorder of San Diego County, May 30, 1990 and as corrected by Certificate of Correction recorded October 12, 1994, as Instrument No. 1994-0600945, of official records;

WHEREAS, on July 23, 2015, the PLANNING COMMISSION of the City of San Diego considered Planned Development Permit No. 1502493 and Site Development Permit No. 1502494 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 1, 2015 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15301 (Existing Facilities) and 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the PLANNING COMMISSION of the City of San Diego as follows:

That the PLANNING COMMISSION adopts the following written Findings, dated July 23, 2015.

FINDINGS:

Planned Development Permit - Section 126.0604

- 1. The proposed development will not adversely affect the applicable land use plan;**

The City of San Diego General Plan recommends that all WCFs minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The proposed modification includes the removal of the five existing exposed omni-antennas and results in sixteen new panel antennas concealed inside a raised cupola dome, behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing commercial building. As part of the Long Term Evolution (LTE) upgrades, sixteen Remote Radio Units (RRUs) will also be concealed inside the raised cupola. To accommodate the antennas, the cupola dome will be raised 7-feet, resulting in an overall building height of 57-feet. The equipment associated with this project will continue to operate inside the roof top attic space.

The visual impacts as a result of this modification would be reduced completely to comply with the General Plan's requirement. Although the cupola dome will be enlarged, the scale of this feature will still be consistent with the three-story commercial plaza and will continue to be aesthetically pleasing and respectful of the neighborhood context. To comply with the unobtrusive structure requirement, the equipment associated with this project will continue to operate on the roof inside the attic. As designed, the proposed WCF modification is consistent with the General Plan's requirement, meeting both the purpose and intent for wireless facility designs.

The Carmel Valley Community Plan does not address wireless communication facilities as a specific land use. Pursuant to the San Diego Land Development Code (LDC), wireless communication facilities are permitted in all zones citywide with the appropriate permit process. WCF are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Carmel Valley Community Plan or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facilities) and 15303 (New Construction) on May 1, 2015. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing, and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon Wireless submitted an Electro Magnetic Emission (EME) Analysis, which concluded that the project complies with FCC RF Standards. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate

for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project complies with the City of San Diego Wireless Communication Facilities Regulations (Section 141.0420) and the applicable development regulations of the CVPD-TC zone (CC-1-3) with the exception of the height limit. The overall height of the existing building is 50-feet tall. The proposed cupola dome extension would increase the height an additional 7-feet to an overall height of 57-feet. The CVPD-TC zone uses the CC-1-3 zoning regulations where applicable. In this instance, the CC-1-3 zone contains a height limit of 45-feet. Since the proposed height of the modification would result in an additional increase to the previously conforming 50-foot tall structure, a Planned Development Permit is required. The height deviation would allow Verizon to accommodate a total of sixteen antennas and sixteen RRUs inside the proposed cupola dome extension behind FRP materials, painted and textured to match the existing commercial plaza.

The proposed design is more desirable due to the completely integrated and concealed dome feature. The dome feature, even with the increase in height, would still be proportional with the existing commercial development and would eliminate other potential visible designs like façade mounted antennas and/or locating other structures at or below 60 feet, which could present visual issues. This design will fully conceal the replacement antennas inside the cupola dome and will result in a more desirable project. Therefore, the deviation to exceed the maximum allowable height of 45-feet would result in a completely concealed project, and a more desirable project than would be achieved if designed in strict conformance with the development regulations of the CVPD-TC (CC-1-3) zone and Municipal Code Section 141.0420.

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego General Plan recommends that all WCFs minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The proposed modification includes the removal of the five existing exposed omni-antennas and results in sixteen new panel antennas concealed inside a raised cupola dome, behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing commercial building. As part of the Long Term Evolution (LTE) upgrades, sixteen Remote Radio Units (RRUs) will also be concealed inside the raised cupola. To accommodate the antennas, the cupola dome will be raised 7-feet, resulting in an overall building height of 57-feet. The equipment associated with this project will continue to operate inside the roof top attic space.

The visual impacts as a result of this modification would be reduced completely to comply with the General Plan's requirement. Although the cupola dome will be enlarged, the scale of this feature will still be consistent with the three-story commercial plaza and will continue to be aesthetically pleasing and respectful of the neighborhood context. To comply with the unobtrusive structure requirement, the equipment associated with this project will continue to operate on the roof inside the attic. As designed, the proposed WCF modification is consistent with the General Plan's requirement, meeting both the purpose and intent for wireless facility designs.

The Carmel Valley Community Plan does not address wireless communication facilities as a specific land use. Pursuant to the San Diego Land Development Code (LDC), wireless communication facilities are permitted in all zones citywide with the appropriate permit process. WCF are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Carmel Valley Community Plan or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facilities) and 15303 (New Construction) on May 1, 2015. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing, and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” Verizon Wireless submitted an Electro Magnetic Emission (EME) Analysis, which concluded that the project complies with FCC RF Standards. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed facility has been sited and designed in accordance with the City of San Diego Wireless Communication Regulations (Section 141.0420) and the Carmel Valley Planned District Ordinance, TC zone (Section 153.0306). Under the current regulations, the proposed facility would normally be a ministerial Process One (staff level decision). However, both the height deviation and the project location in the CVPD resulted in a discretionary review. The CVPD-TC zone refers to the CC-1-3 zone for the height limit of 45-feet. The proposed modification increases the cupola dome and the overall height of the structure to 57-feet. This height deviation can be supported due to a fully integrated design that conceals all sixteen panel antennas and RRUs within the raised cupola dome. The existing omni antennas will be removed from site. As a result, the proposed modification complies with the regulations of the Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1502493 and Site Development Permit No. 1502494 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form,

exhibits, terms and conditions as set forth in Planned Development Permit No. 1502493 and Site Development Permit No. 1502494, a copy of which is attached hereto and made a part hereof.

Simon Tse – Development Project Manager
Development Services

Adopted on: July 23, 2015
Internal Order No. 24005377

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

**PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005377

**PLANNED DEVELOPMENT PERMIT NO. 1502493
SITE DEVELOPMENT PERMIT NO. 1502494
VERIZON WIRELESS DEL MAR HEIGHTS PTS NO. 399437
PLANNING COMMISSION
DRAFT**

This Planned Development Permit No. 1502493 and Site Development Permit No. 1502494 is granted by the Planning Commission of the City of San Diego to **CARMEL COUNTRY PLAZA LP**, Owner and **VERIZON WIRELESS**, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0501, 126.0601, 141.0420, and 153.0306. The site is located at 12750 Carmel Country Road in the Carmel Valley Planned District (CVPD) TC zone of the Carmel Valley Community Plan. The project site is legally described as Lots 1, 2, and 9 of Del Mar Country Plaza, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 12643, filed in the Office of the County Recorder of San Diego County, May 30, 1990 and as corrected by Certificate of Correction recorded October 12, 1994, as Instrument No. 1994-0600945, of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a modification to an existing Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 23, 2015, on file in the Development Services Department.

The project shall include:

- a. A modification to an existing Wireless Communication Facility (WCF) for sixteen (16) antennas and sixteen (16) Remote Radio Units (RRUs) concealed inside a raised cupola dome behind Fiberglass Reinforced Panels (FRP), painted and textured to match the existing commercial building. The equipment associated with this project is located on the roof inside an existing attic as illustrated in the approved 'Exhibit A' dated July 23, 2015; and

- b. A height deviation to increase the cupola dome to 57-feet exceeding the CVPD TC (CC-1-3) zone height limit of 45-feet; and
- c. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 6, 2018**.
2. The project complies with the WCF Guidelines as a Complete Concealment Facility and as a result, the permit will not contain an expiration date. It is the responsibility of the wireless carrier and owner(s) to maintain the appearance of the approved facility to the condition(s) set forth in this approval unless the site is removed and restored to its original condition. Code compliance shall be notified if the appearance or the scope of the project has changed without the approval of the Development Services Department.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

11. Sixteen (16) antennas with the following dimensions:
 - a. Eight (8) antennas at: 83" by 20.5" by 7"; and
 - b. Eight (8) antennas at: 51.4" by 16" by 3.7".
12. Any future modifications to the antennas must be approved by Development Services. The Permittee shall provide evidence demonstrating compliance with Federal standards for radio frequency emissions in accordance with the Telecommunications Act of 1996 and any subsequent amendments.
13. The WCF shall conform to the stamped approved plans and approved photosimulations prior to final Telecom Planning Inspection approval.
14. Photosimulations for the WCF shall be printed (not stapled) on the construction plans.
15. The Owner/Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department. The Owner/Permittee shall be responsible for complying with all State and Federal regulations, as applicable.
16. Antennas shall not exceed the height of any proposed screen walls.
17. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building/adjacent building surfaces.
18. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition shall be required.
19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed

on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at **(619) 687-5984** to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- Per LDC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 23, 2015 and Resolution No. TBD.

Planned Development Permit No. 1502493
Site Development Permit No. 1502494
July 23, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CARMEL COUNTRY PLAZA LP
Owner

By _____
NAME
TITLE

VERIZON WIRELESS
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

Attachment 7

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 399437 PROJECT TITLE: VERIZON DEL MAR HEIGHTS
PROJECT LOCATION-SPECIFIC: 12750 Carmel Country Road, San Diego, CA 92130
PROJECT LOCATION-CITY/COUNTY: SAN DIEGO/SAN DIEGO

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: PLANNED DEVELOPMENT PERMIT (PDP) AND SITE DEVELOPMENT PERMIT (SDP) for modifications to an existing Wireless Communication Facility (WCF). The project would consist of the following: install 16 panel antennas (replacing 5 existing antennas); install 16 Remote Radio Units (RRUs) behind the antennas; install new coax cables; continued use/location of existing E-911/GPS antennas mounted to the inside of an existing parapet wall; and rebuild an upper roof cupola dome structure as a larger dome. The 16 panel antennas and RRUs would be concealed within the cupola dome. An existing equipment room located in attic space would remain and continued to be used for equipment. The project site is zoned Carmel Valley Planned District Town Center and is within the Carmel Valley Community Plan area of Council District 1.

NAME OF PUBLIC AGENCY APPROVING PROJECT: CITY OF SAN DIEGO

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: KERRIGAN DIEHL, PLANCOM, INC., 302 STATE PLACE, ESCONDIDO, 2ND FLOOR, CA 92029; 760-587-3003.

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
☒ CATEGORICAL EXEMPTION : *SECTIONS 15301(EXISTING FACILITIES) AND 15303 (NEW CONSTRUCTION)*

REASONS WHY PROJECT IS EXEMPT: Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing or minor alterations of existing public or private structures or facilities involving negligible or no expansion of use. Section 15303 allows for the construction and location of limited numbers of new, small facilities and the installation of small, new equipment and facilities including, but not limited to, accessory structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

LEAD AGENCY CONTACT PERSON: M.BLAKE

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
(X) YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



M. BLAKE/SENIOR PLANNER

MAY 1, 2015
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

() SIGNED BY APPLICANT

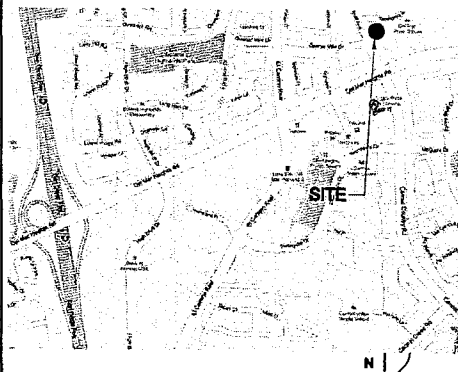
DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

ORIGINAL



**DEL MAR HEIGHTS / EL CAMINO REAL
RENEWAL
12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130**

VICINITY MAP



ADDRESS
12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE) TAKE I-405 SOUTH TO I-5 SOUTH TO DEL MAR HEIGHTS ROAD EXIT. TURN LEFT ONTO DEL MAR HEIGHTS ROAD (EAST). TURN RIGHT ONTO CARMEL COUNTRY ROAD SOUTH. PROJECT WILL BE ON THE RIGHT HAND SIDE OF THE ROAD

COORDINATES (NAD 83)

LATITUDE: 32° 50' 42.00" NORTH
LONGITUDE: 117° 00' 16.00" WEST

CONSULTANT TEAM

ARCHITECT:
WILLIAM BOOTH & ROBERT SUAREZ
ARCHITECTURE & PLANNING
P.O. BOX 4651
CARLSBAD, CA 92018
(760) 434-8474
(760) 434-8596 (FAX)

PLANNING/LEASING:
PLANCOM, INC.
JILL CLEVELAND
302 STATE PLACE
ESCONDIDO, CA 92029
(760) 420-4833

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: CARVER C. CHIU
PHONE: (760) 587-3003

OWNER: CARMEL COUNTRY PLAZA LP
C/O AMERICAN ASSETS
11455 EL CAMINO REAL, SUITE 200
SAN DIEGO, CA 92130
CONTACT: PATRICK KINNEY
EMAIL: PKINNEY@AMERICANASSETS.COM

JURISDICTION: CITY OF SAN DIEGO

PROJECT DESCRIPTION:

ZONING RENEWAL FOR VERIZON WIRELESS TELECOMMUNICATIONS FACILITY LAND USE APPROVAL # 99-0960-29 AT 12750 CARMEL COUNTRY ROAD, SAN DIEGO, WHICH INCLUDES AN INDOOR EQUIPMENT ROOM IN ATTIC OF BUILDING AND FIVE (5) OMNI ANTENNAS MOUNTED TO PARAPET

THE FOLLOWING MODIFICATIONS ARE PROPOSED:

- EXISTING VERIZON WIRELESS EQUIPMENT ROOM LOCATED IN ROOF TOP ATTIC SPACE (NO CHANGE)
- REMOVE FIVE (5) EXISTING VERIZON WIRELESS OMNI ANTENNAS LOCATED ON ROOF TOP OF EXISTING BUILDING
- EXISTING E-911/GPS ANTENNA MOUNTED TO INSIDE FACE OF PARAPET WALL TO REMAIN
- INSTALL SIXTEEN (16) VERIZON WIRELESS PANEL ANTENNAS MOUNTED BEHIND NEW RF TRANSPARENT CUPOLA DOME ON EXISTING BUILDING ROOF
- INSTALL SIXTEEN (16) RRU UNITS MOUNTED BEHIND ANTENNAS
- INSTALL THREE (3) 6x12 POWER/FIBER CABLES & SIXTEEN (16) COAX CABLES ((4) PER SECTOR) FROM EQUIPMENT ROOM TO ANTENNAS
- REBUILD UPPER ROOF CUPOLA DOME STRUCTURE

TYPE OF PERMIT: PLANNED DEVELOPMENT PERMIT & SITE DEVELOPMENT PERMIT (PROCESS 4)

PROJECT ADDRESS: 12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130

ASSESSORS PARCEL NUMBER: 304-071-47

EXISTING ZONING: CARMEL VALLEY PLANNED DISTRICT TO

TOTAL SITE AREA: 43,130 SQ. FT.
.99 ACRES

EXISTING BUILDING AREA: 30,305 SQ. FT.

EXISTING VERIZON EQUIPMENT ROOM AREA: 250 SQ. FT.

EXISTING OCCUPANCY: B

EXISTING TYPE OF CONSTRUCTION: TYPE V-B
WITH FIRE SPRINKLERS
TWO STORY W/ PARKING GARAGE

NOTE: THERE IS ONE EXISTING TELECOMMUNICATIONS CARRIERS ON SITE (VERIZON)

SHEET SCHEDULE

T-1 TITLE SHEET & PROJECT DATE
A-0 SITE PLAN
A-1 ROOF PLAN
A-2 ANTENNA & ATTIC PLANS
A-5 ANTENNA COPULA ELEVATION & SECTION
A-4 EQUIPMENT FLOOR PLAN
A-5 EXTERIOR ELEVATIONS
A-6 DETAILS
LS-1 SURVEY
LS-2 SURVEY
LS-3 SURVEY
LS-4 SURVEY

FCC COMPLIANCE STATEMENT

THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION
CALIFORNIA PLUMBING CODE, 2013 EDITION
CALIFORNIA MECHANICAL CODE, 2013 EDITION
CALIFORNIA ELECTRICAL CODE, 2013 EDITION
CALIFORNIA FIRE CODE, 2013 EDITION
CALIFORNIA ENERGY CODE, 2013 EDITION
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

LEGAL DESCRIPTION

LOTS 1, 2 AND 9 OF DEL MAR COUNTRY PLAZA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 12643, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 30, 1990 AND AS CORRECTED BY CERTIFICATE OF CORRECTION RECORDER OCTOBER 12, 1994, AS INSTRUMENT NO. 1994-0600945, OF OFFICIAL RECORDS

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

verizon wireless

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**DEL MAR HEIGHTS
/ EL CAMINO REAL
RENEWAL**

12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130

MTX - 40

SAN DIEGO

DRAWING DATES

07/10/14	PRELIM 2D REVIEW (r)
08/21/14	REVISED 2D#1 (kml)
02/12/15	REVISED 2D#2 (em)

SHEET TITLE

**TITLE SHEET
&
PROJECT DATA**

PROJECTS\VERIZON\11137

T-1

ATTACHMENT 8

**STORM WATER QUALITY NOTES
CONSTRUCTION BMPs**

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

2. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.

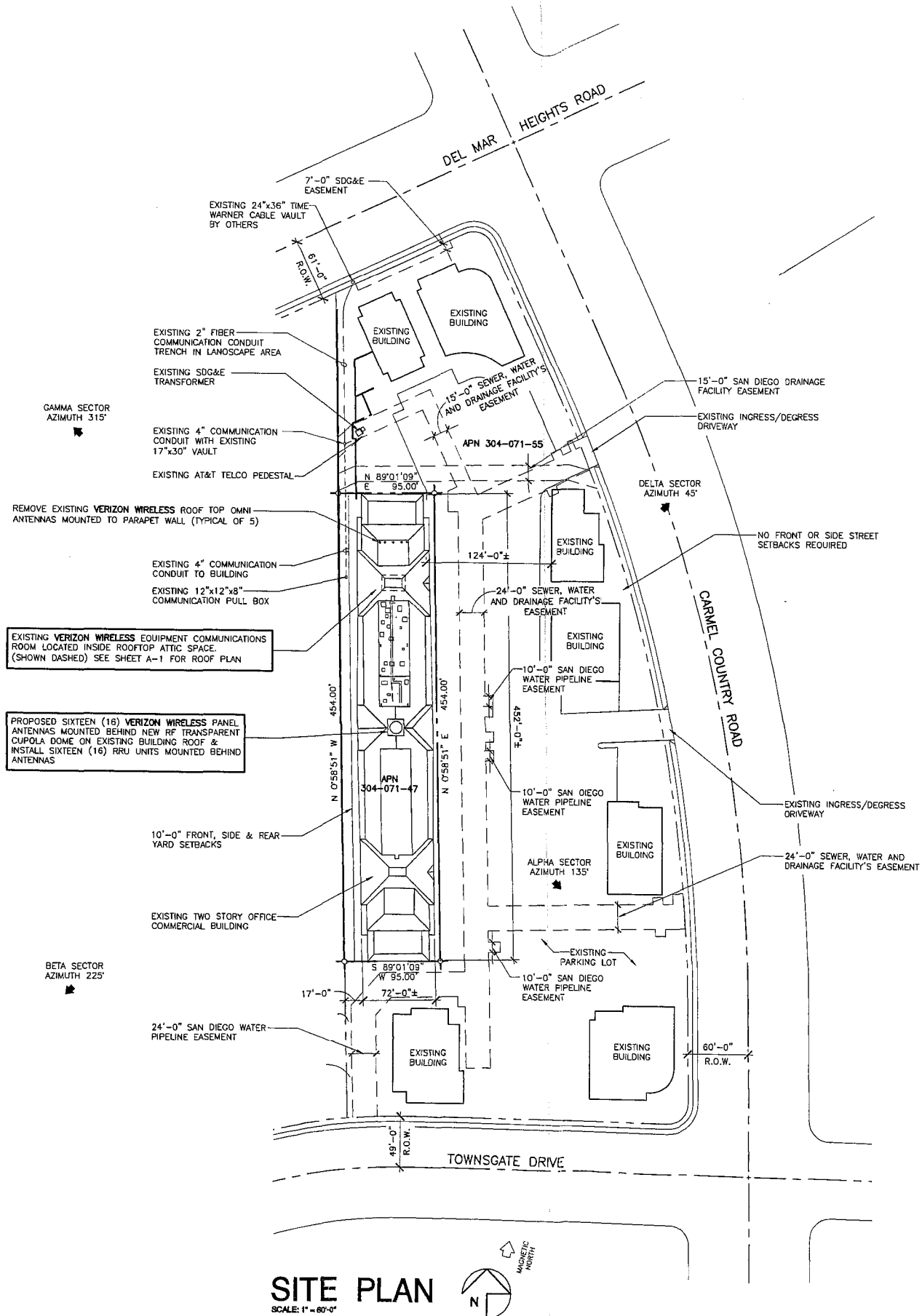
3. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.

4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.

5. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.

6. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.

7. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.



Licensee's Certificate
Standard Wireless Facility Project
for Post Construction BMPs

I/we the undersigned as Licensee(s) of the property described as:
12750 CARMEL COUNTRY ROAD, SAN DIEGO CA 92130
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substances
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Maintain impervious footprint by constructing walkways, patios and driveways with permeable surfaces
- Conserve natural areas
- Use natural drainage systems as opposed to final swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage systems
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shut-off devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Licensee: Andrew Matekin Company Name: Verizon Wireless
Date: 7/25/14

NOTE:
1. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
2. THIS IS A ROOF INSTALLATION OF A PERMIT OF AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.

VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

LTE EQUIPMENT:
TX FREQUENCY: 776-787 MHz
RX FREQUENCY: 746-757 MHz

CDMA EQUIPMENT:
TX FREQUENCY: 1965-1970 MHz
RX FREQUENCY: 1885-1890 MHz

PCS EQUIPMENT:
TX FREQUENCY: 880-894 MHz
RX FREQUENCY: 835-848 MHz

BOUNDARY NOTE:
THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED.

EASEMENTS:
EASEMENTS SHOWN REFLECT RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITION INFORMATION.

Booth & Suarez
ARCHITECTURE INCORPORATED
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CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR
verizon wireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

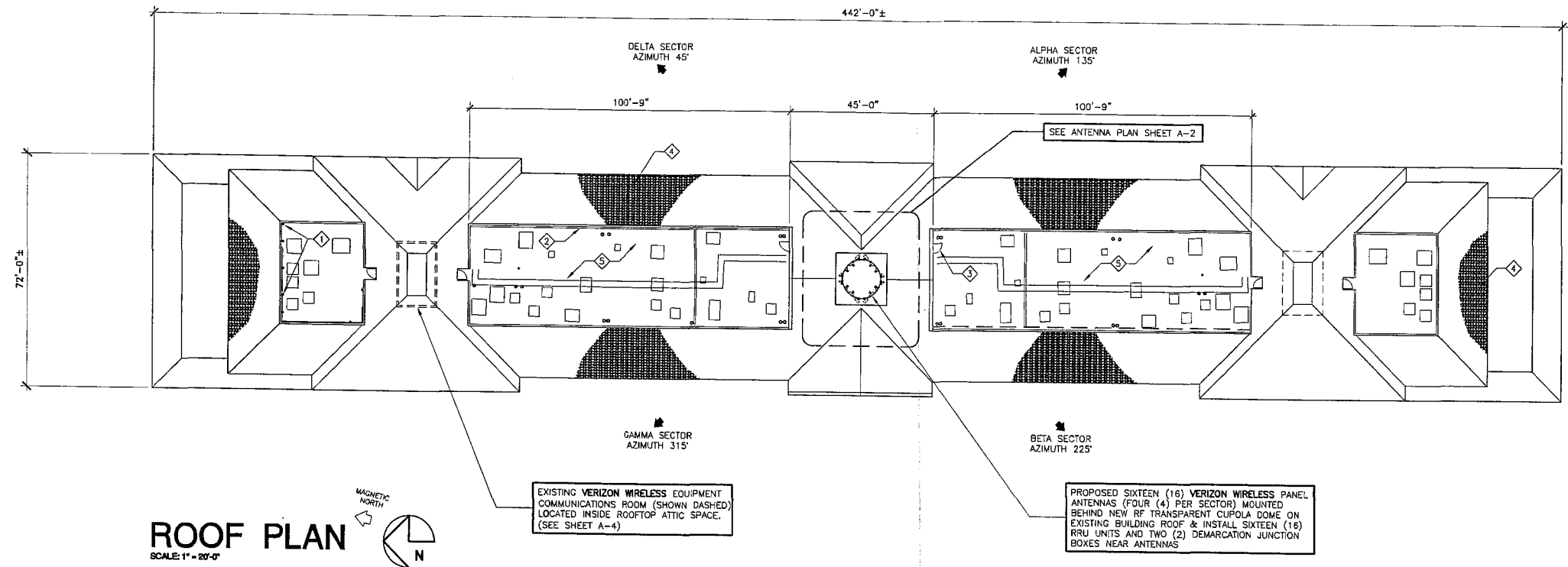
PROJECT NAME
DEL MAR HEIGHTS / EL CAMINO REAL RENEWAL
12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130
MTX - 40
SAN DIEGO

DRAWING DATES
07/10/14 PRELIM ZD REVIEW (rl)
08/21/14 REVISED ZD#1 (kmf)
02/12/15 REVISED ZD#2 (am)

SHEET TITLE
SITE PLAN

PROJECTS\VERIZON\11137

A-0



ROOF PLAN
SCALE: 1" = 20'-0"

KEY NOTES:

- ① REMOVE EXISTING VERIZON WIRELESS ROOF TOP OMNI ANTENNAS MOUNTED TO PARAPET WALL (TYPICAL OF 5)
- ② PROPOSED CABLE TRAY MOUNTED TO PARAPET WITH THREE (3) 6x12x1-5/8" POWER/FIBER CABLE & SIXTEEN (16) COAX CABLES FROM EQUIPMENT ROOM TO PANEL ANTENNAS
- ③ EXISTING ROOF ACCESS DOOR
- ④ EXISTING TILE ROOF
- ⑤ EXISTING ROOF TOP MECHANICAL WELL WITH BUILT UP ROOF MEMBRANE

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APPROVALS	
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
SHEET TITLE
ROOF PLAN


PROJECTS\VERIZON\11137


SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	RRUS UNITS	DOWNTILT	SKEW ANGLE	RRU UNITS (3)	NUMBER OF CABLES PER SECTOR	CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	CABLE SIZE
ALPHA1	SOUTHEAST	135°	AMPHENOL HTXW451720R000G	1	0°	N/A	(2) RRUS-32 (2) RRUS-A2 B13	4	193'-0"	6'-0"	FIBER (6x12) COAX (1-5/8")
ALPHA2			AMPHENOL HTXW451720R000G	1							
ALPHA3			AMPHENOL WBX04519R000G	1							
ALPHA4			AMPHENOL WBX04519R000G	1							
BETA1	SOUTHWEST	225°	AMPHENOL WBX04519R000G	1	0°	N/A	(2) RRUS-32 (2) RRUS-A2 B13	4	193'-0"	6'-0"	FIBER (6x12) COAX (1-5/8")
BETA2			AMPHENOL WBX04519R000G	1							
BETA3			AMPHENOL HTXW451720R000G	1							
BETA4			AMPHENOL HTXW451720R000G	1							
GAMMA1	NORTHWEST	315°	AMPHENOL HTXW451720R000G	1	0°	N/A	(2) RRUS-32 (2) RRUS-A2 B13	4	193'-0"	6'-0"	FIBER (6x12) COAX (1-5/8")
GAMMA2			AMPHENOL HTXW451720R000G	1							
GAMMA3			AMPHENOL WBX04519R000G	1							
GAMMA4			AMPHENOL WBX04519R000G	1							
DELTA1	NORTHEAST	45°	AMPHENOL WBX04519R000G	1	0°	N/A	(2) RRUS-32 (2) RRUS-A2 B13	4	193'-0"	6'-0"	FIBER (6x12) COAX (1-5/8")
DELTA2			AMPHENOL WBX04519R000G	1							
DELTA3			AMPHENOL HTXW451720R000G	1							
DELTA4			AMPHENOL HTXW451720R000G	1							

① INSTALL (3) 6x12x1-5/8 POWER/FIBER CABLES & SIXTEEN (16) COAX CABLES


② PROPOSED SIXTEEN (16) PANEL ANTENNAS (FOUR PER SECTOR)

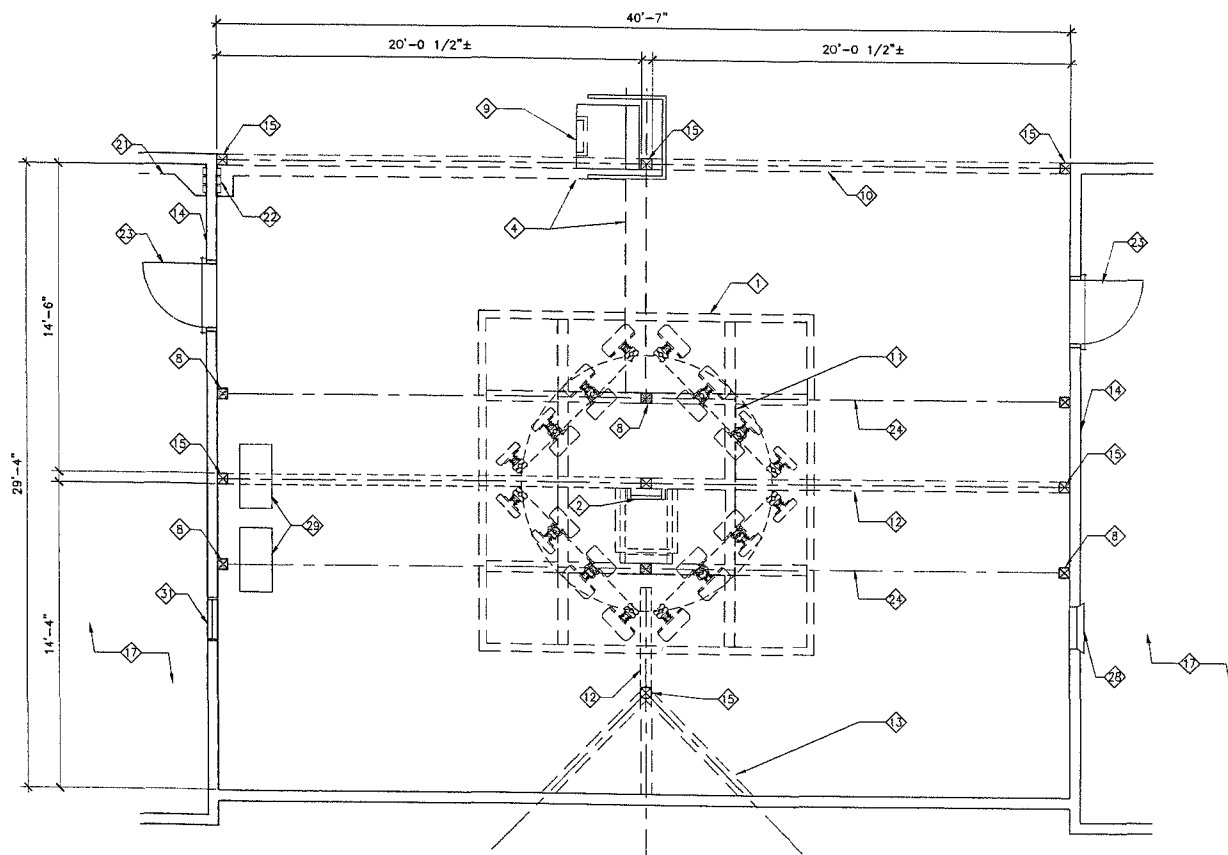
AMPHENOL HTXW451720R000G (83.0" LENGTH x 20.5" WIDE x 7.0" DEEP, WEIGHT: 60.7 LBS.) SEE DETAIL 

AMPHENOL WBX04519R000G (51.4" LENGTH x 16.0" WIDE x 3.7" DEEP, WEIGHT: 37.0 LBS.) SEE DETAIL 

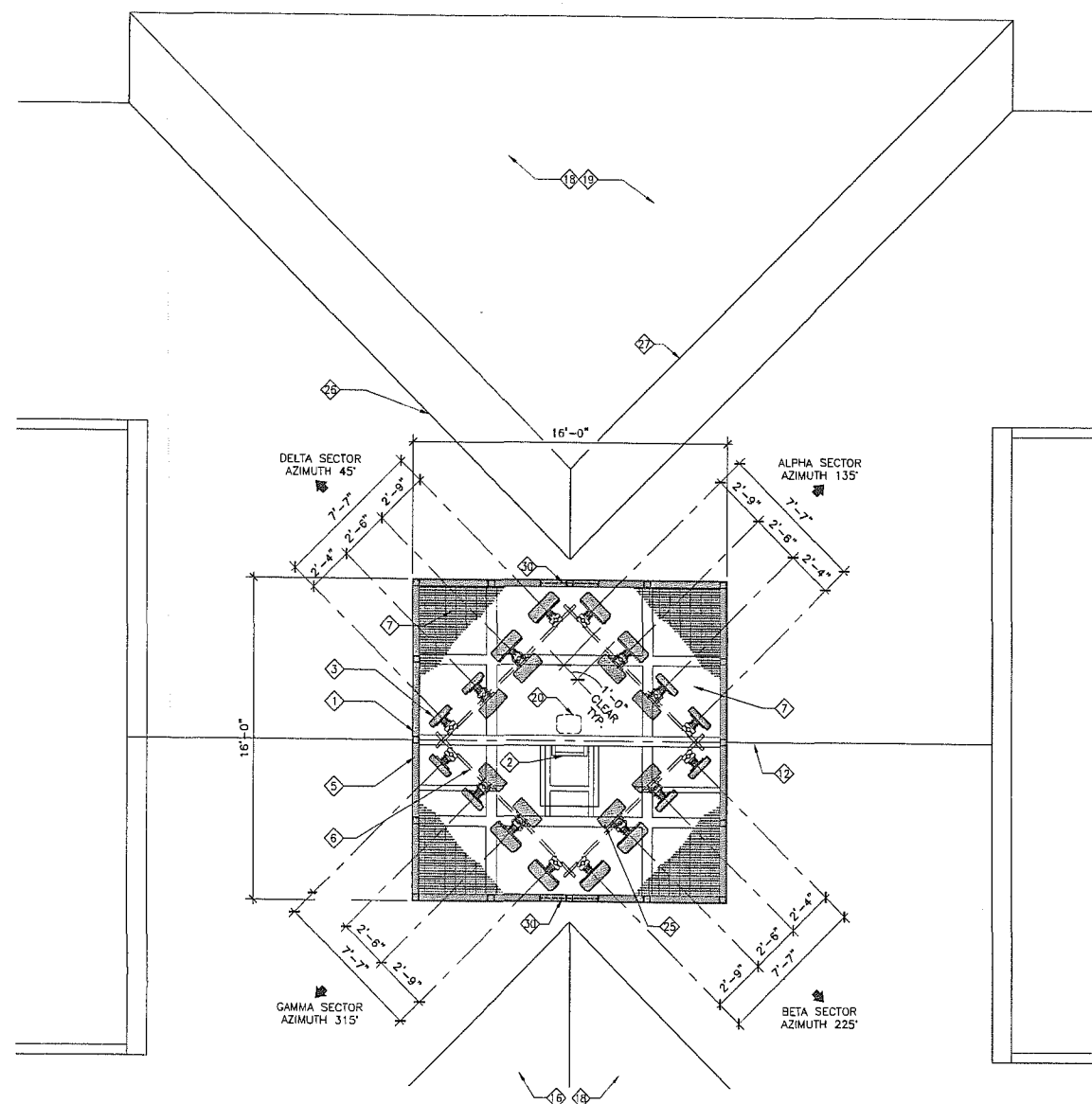
③ INSTALL RRUS UNITS BEHIND ANTENNAS & MOUNT ON PROPOSED ANTENNA PIPES FRAME. SEE DETAIL 

KEY NOTES:

- ① PROPOSED ANTENNA CUPOLA DOME ABOVE (SHOWN DASHED)
- ② PROPOSED ACCESS LADDER WITH SECURITY GATE
- ③ PROPOSED VERIZON WIRELESS PANEL ANTENNAS
- ④ ROUTE FOR PROPOSED CABLE TRAY WITH POWER/FIBER CABLE
- ⑤ PROPOSED RF TRANSPARENT CUPOLA DOME SCREEN WALLS
- ⑥ PROPOSED ANTENNA SUPPORT FRAME
- ⑦ PROPOSED "FIBER GRATE" PLATFORM
- ⑧ PROPOSED COLUMNS (SHOWN DASHED)
- ⑨ EXISTING ATTIC ACCESS LADDER FROM SECOND FLOOR BELOW
- ⑩ EXISTING GLU-LAM ROOF BEAM
- ⑪ OUTLINE OF EXISTING COPULA TO BE REMOVED
- ⑫ EXISTING GLU-LAM BUILDING RIDGE BEAM
- ⑬ EXISTING GLU-LAM VALLEY BEAM
- ⑭ EXISTING EXTERIOR ATTIC WALL
- ⑮ EXISTING 6x6 POSTS
- ⑯ EXISTING ROOF GABLE
- ⑰ EXISTING ROOFTOP MECHANICAL WELL
- ⑱ EXISTING TILE ROOF TO REMAIN
- ⑲ EXISTING HIP ROOF
- ⑳ PROPOSED DEMARCATION JUNCTION BOX ABOVE 
- ㉑ PROPOSED CABLE TRAY MOUNTED TO PARAPET
- ㉒ CABLE PORT AT PROPOSED WALL
- ㉓ EXISTING DOOR
- ㉔ PROPOSED CUPOLA PLATFORM BEAM ABOVE
- ㉕ PROPOSED RRUS UNITS MOUNTED BEHIND ANTENNAS
- ㉖ EXISTING ROOF VALLEY
- ㉗ EXISTING HIP
- ㉘ INSTALL ATTIC EXHAUST VENT WITH THERMOSTAT
- ㉙ EXISTING MECHANICAL EQUIPMENT
- ㉚ INSTALL ATTIC VENTS BELOW RF SCREEN (TYPICAL OF TWO (2))
- ㉛ PROPOSED ATTIC VENT



ATTIC PLAN
SCALE: 1/4" = 1'-0"



ANTENNA CUPOLA PLAN
SCALE: 1/4" = 1'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE 02
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PREPARED FOR



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PROJECT NAME

**DEL MAR HEIGHTS
/ EL CAMINO REAL
RENEWAL**

12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130

MTX - 40
SAN DIEGO

DRAWING DATES

07/10/14 PRELIM ZD REVIEW (r)
08/21/14 REVISED ZD#1 (kmt)
02/12/15 REVISED ZD#2 (am)

SHEET TITLE

**ANTENNA CUPOLA &
ATTIC PLANS**

PROJECTS\VERIZON\11137

A-2



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

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DRAWING DATES

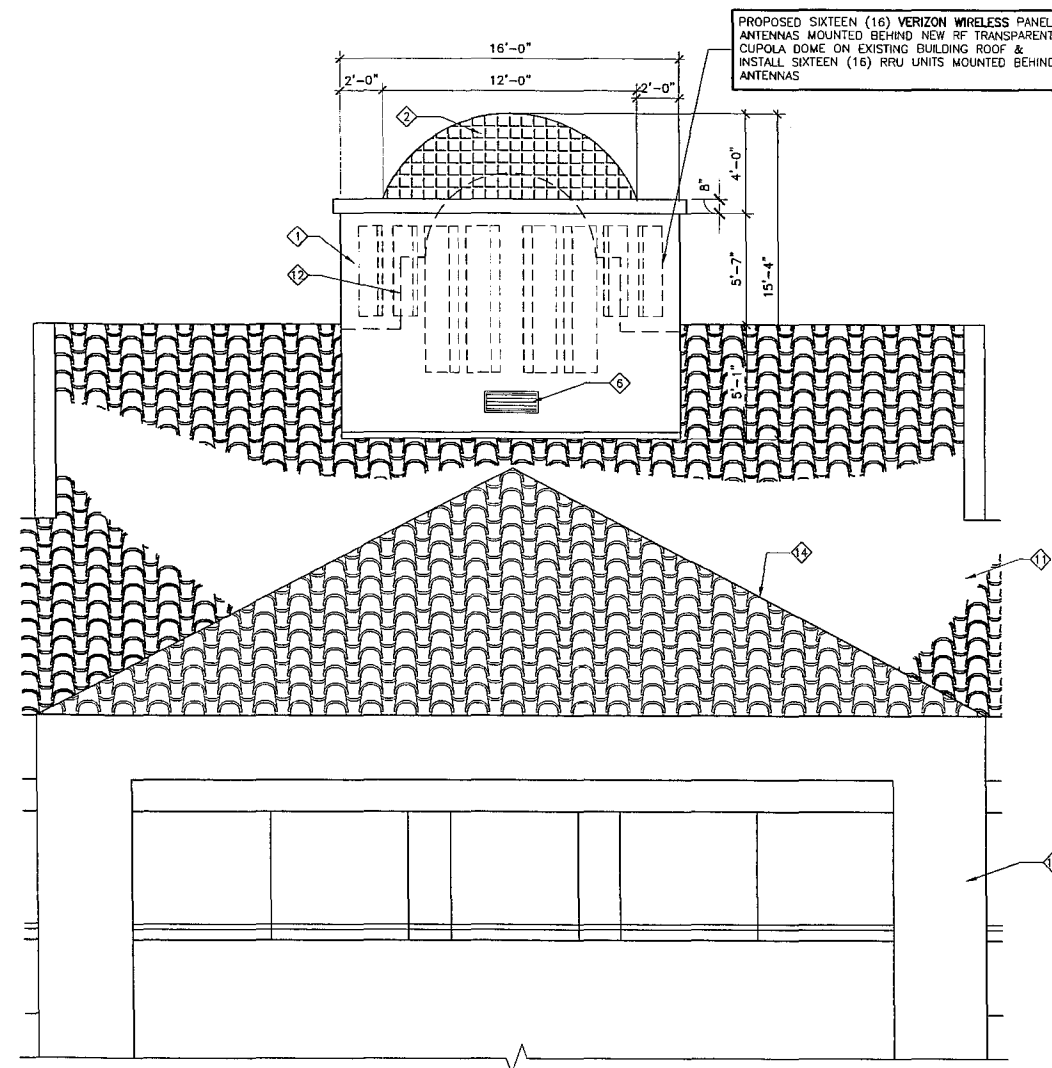
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 02/12/15 REVISED ZD#2 (am)

SHEET TITLE

**ANTENNA COPULA
 ELEVATION & SECTION**

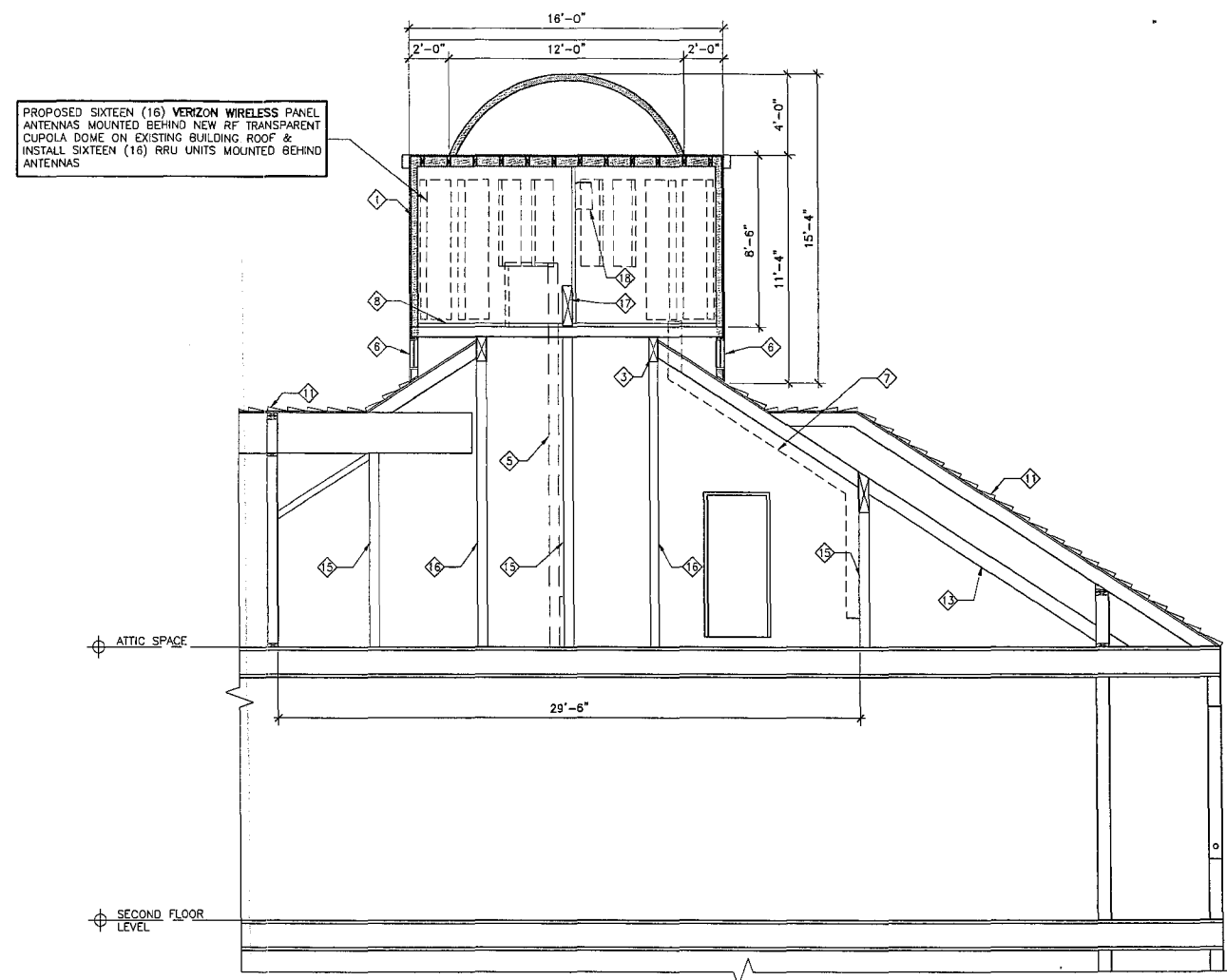
PROJECTS\VERIZON\11137

A-3



ANTENNA COPULA WEST ELEVATION

SCALE: 1/4" = 1'-0"



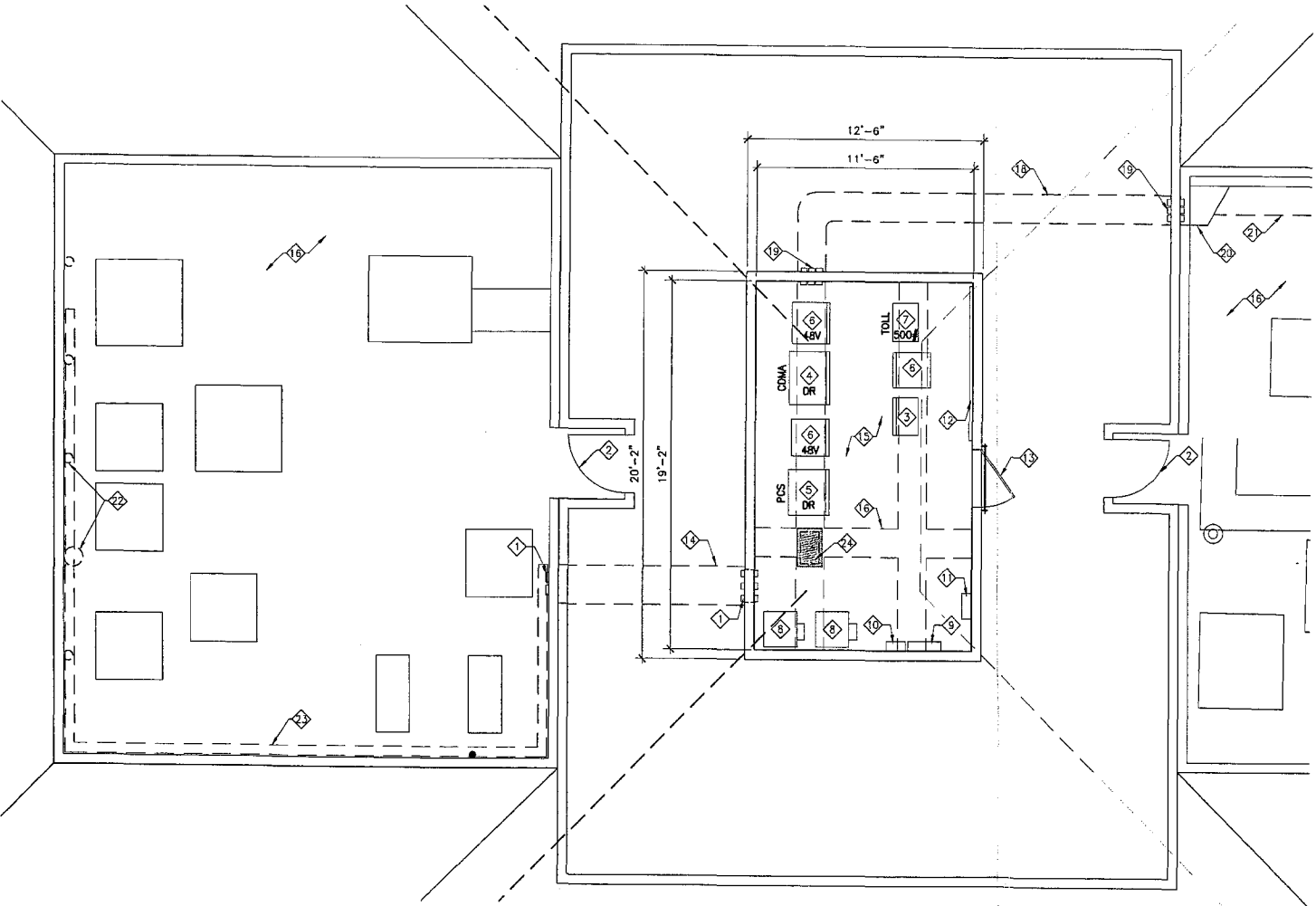
ANTENNA COPULA SECTION

SCALE: 1/4" = 1'-0"

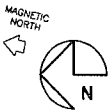
KEY NOTES:

- | | |
|---|---|
| 1 PROPOSED RF TRANSPARENT CUPOLA WALLS WITH STUCCO-LIKE FINISH. PAINT TO MATCH BUILDING | 10 EXISTING EXTERIOR WALL WITH STUCCO FINISH |
| 2 PROPOSED RF TRANSPARENT DOME WITH TILE-LIKE DECORATIVE PATTERN. MATCH EXISTING DOME | 11 EXISTING TILE ROOF TO REMAIN |
| 3 PROPOSED CUPOLA PLATFORM BEAM | 12 REMOVE EXISTING DECORATIVE BUILDING TILE DOME & WALLS (SHOWN DASHED) |
| 4 PROPOSED RF TRANSPARENT CUPOLA ROOF & DOOR | 13 EXISTING 2X RAFTERS @ 24" O.C. |
| 5 PROPOSED ACCESS LADDER WITH SECURITY GATE | 14 EXISTING HIP |
| 6 PROPOSED ATTIC VENT TO BE PAINTED TO MATCH EXTERIOR BUILDING WALLS | 15 EXISTING 6x6 POST |
| 7 PROPOSED CABLE TRAY MOUNTED TO WALL BEYOND & EXISTING ROOF FRAMING ABOVE | 16 PROPOSED COLUMN |
| 8 PROPOSED "FIBER GRATE" PLATFORM FRAME | 17 EXISTING RIDGE BEAM TO REMAIN |
| 9 NOT USED | 18 PROPOSED DEMARCATION JUNCTION BOX |

5
 A5



EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEY NOTES:

- 1 EXISTING MICROFLECT PORT. CAP PORTS AS REQUIRED
- 2 EXISTING ROOF ACCESS DOOR
- 3 EXISTING VERIZON WIRELESS LTE 6201 EQUIPMENT CABINET
- 4 EXISTING VERIZON WIRELESS NORTEL CDMA EQUIPMENT RACK (DR)
29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 5 EXISTING VERIZON WIRELESS PCS EQUIPMENT RACK (DR)
29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 6 EXISTING VERIZON WIRELESS BATTERY RACK.
27-5/8" WIDE x 57" HIGH x 22-1/2" DEEP. WEIGHT: 2918 LBS.
- 7 EXISTING VERIZON WIRELESS TOLL RACK.
24" WIDE x 57" HIGH x 15" DEEP. WEIGHT: 500 LBS.
- 8 EXISTING AIR HANDLERS
- 9 EXISTING 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 10 EXISTING TVSS SURGE ARRESTOR
- 11 EXISTING ENVIRONMENTAL CONTROL PANEL
- 12 EXISTING WALL MOUNTED TELCO BOARD
- 13 EXISTING 3'-0" WIDE STEEL DOOR AND FRAME WITH
VERIZON WIRELESS SIGNAGE
- 14 EXISTING COAX CABLE ON UNISTRUT SECURED TO UNDERSIDE
OF ROOF FRAMING. REMOVE CABLE AS REQUIRED
- 15 EXISTING VERIZON WIRELESS EQUIPMENT INSIDE A ROOFTOP CUPOLA
- 16 EXISTING OVERHEAD COAXIAL CABLE BRIDGE (SHOWN DASHED)
- 17 EXISTING ROOFTOP MECHANICAL WELL
- 18 PROPOSED OVERHEAD CABLE TRAY SUPPORTED ON EXISTING RAFTERS
- 19 PROPOSED CABLE PORT. TWO LOCATIONS
- 20 INSTALL CABLE SHROUD AT EXTERIOR WALL PENETRATION
- 21 PROPOSED COAX CABLE TRAY MOUNTED TO PARAPET. INSTALL THREE (3)
6x12x1-5/8" POWER/FIBER CABLES & SIXTEEN (16) COAX CABLES
- 22 REMOVE EXISTING OMNI ANTENNAS. TYPICAL OF FIVE (5)
- 23 REMOVE EXISTING CABLE TRAY & COAX CABLES
- 24 INSTALL SURGE SUPPRESSOR IN EXISTING RACK. VERIFY WITH VERIZON
WIRELESS CONSTRUCTION MANAGER



APPROVALS	
A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

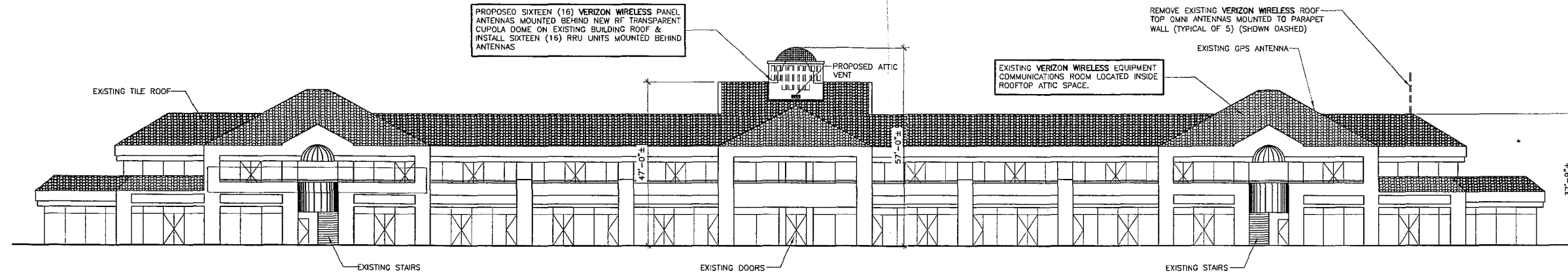
PROJECT NAME
**DEL MAR HEIGHTS
/ EL CAMINO REAL
RENEWAL**
12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130
MTX - 40
SAN DIEGO

DRAWING DATES	
07/10/14	PRELIM ZD REVIEW (r1)
08/21/14	REVISED ZD#1 (kmt)
02/12/15	REVISED ZD#2 (am)

SHEET TITLE
**EQUIPMENT FLOOR
PLAN**

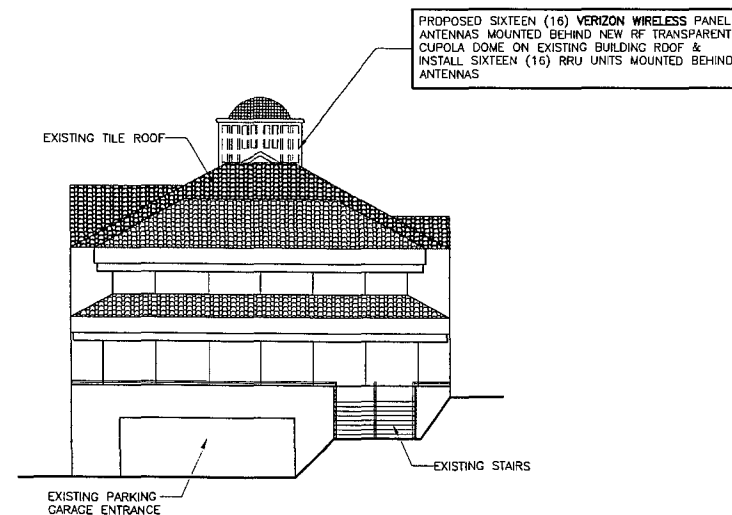
PROJECTS\VERIZON\11137

ATTACHMENT 8



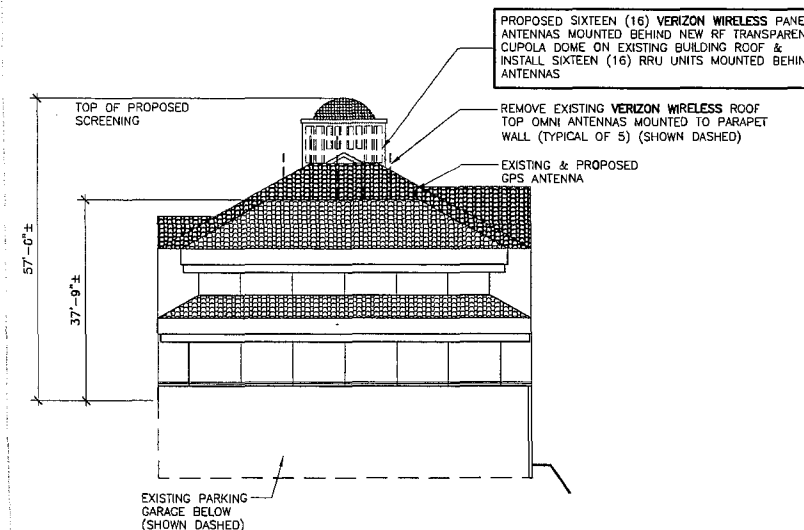
EAST ELEVATION

SCALE: 1/16" = 1'-0"



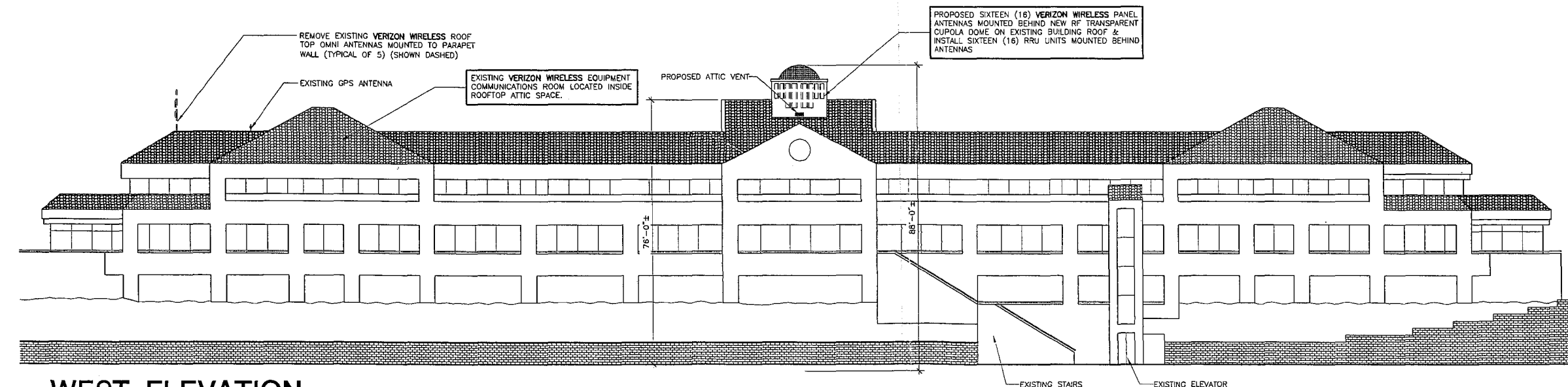
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



NORTH ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE SUITE 02
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**DEL MAR HEIGHTS
/ EL CAMINO REAL
RENEWAL**

12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130

MTX - 40
SAN DIEGO

DRAWING DATES

07/10/14 PRELIM 2D REVIEW (rl)
08/21/14 REVISED 2D#1 (kmt)
02/12/15 REVISED 2D#2 (em)

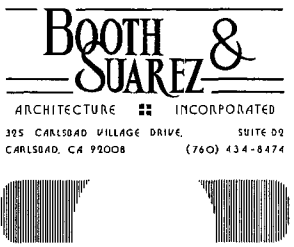
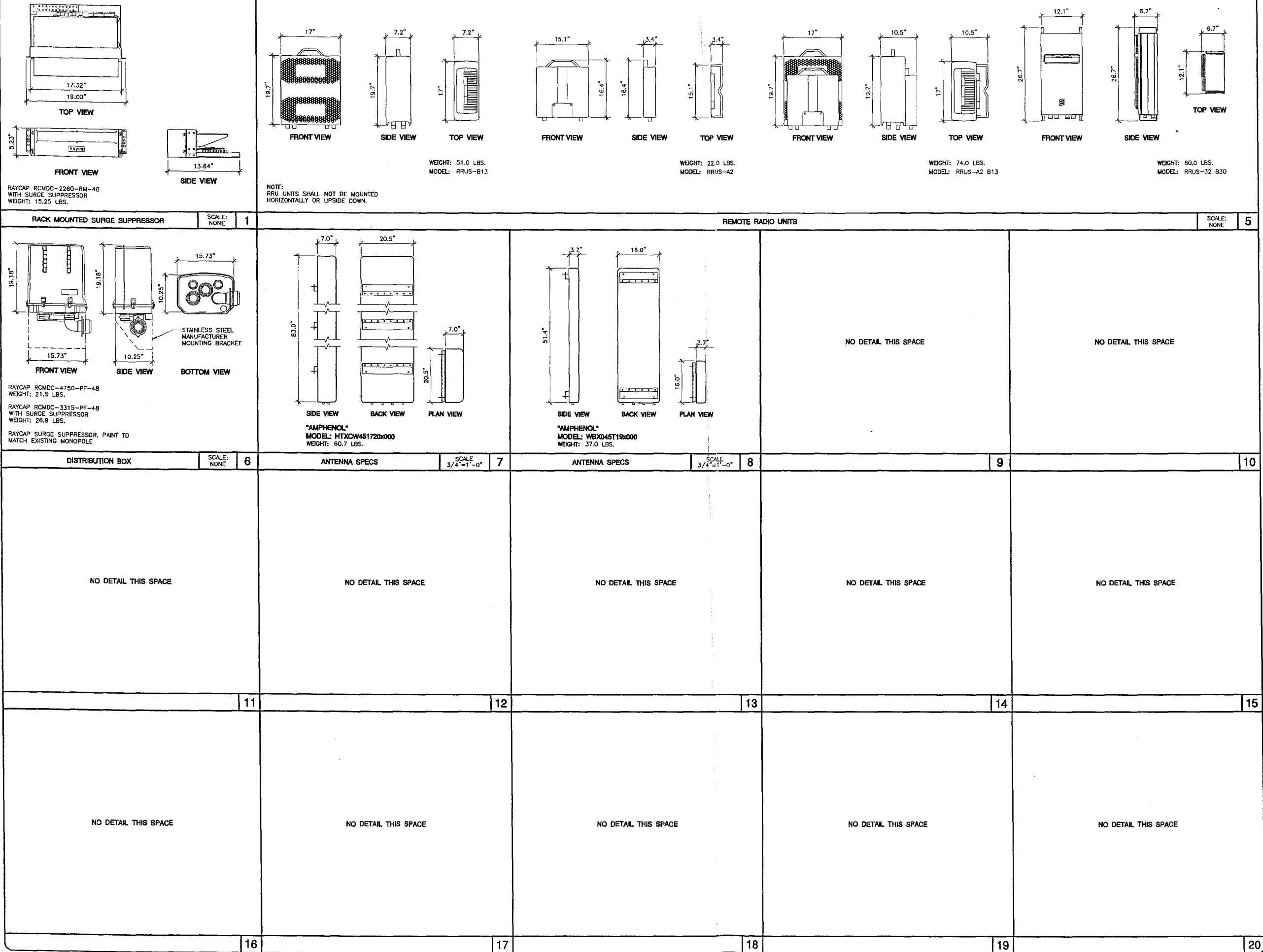
SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\11137

A-5

ATTACHMENT 8



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS	
A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
DEL MAR HEIGHTS / EL CAMINO REAL RENEWAL
12750 CARMEL COUNTRY ROAD
SAN DIEGO, CA 92130
MTX - 40
SAN DIEGO

DRAWING DATES
07/10/14 PRELIM ZD REVIEW (n)
08/21/14 REVISED ZD#1 (km)
02/12/15 REVISED ZD#2 (sm)

SHEET TITLE
DETAILS
PROJECTS\VERIZON\11137

A-6

OWNER'S NAME: CARMEL COUNTRY PLAZA
ASSESSOR'S PARCEL NUMBER(S) 304-071-47-00

BASIS OF BEARINGS: (NAD 83; Epoch 2002)
THE BEARINGS SHOWN HEREON ARE BASED ON NAD 1983 CALIFORNIA
STATE PLANE COORDINATE SYSTEM - ZONE 6. AS DETERMINED BY
G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND
TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.
BASIS OF ELEVATIONS: NGVD 1929
ELEVATIONS ARE BASED ON THE CITY OF SAN DIEGO BENCHMARK
LOCATED AT THE INTERSECTION OF EL MAR HEIGHTS ROAD AND
HARTFIELD AVENUE, DESCRIBED AS THE NEBP WITH ELEVATION OF
281.121 FEET.

SITE DATA

FEMA FLOOD ZONE DESIGNATION: National Flood Insurance Program:
County: San Diego Effective Date: 5/16/2012
Map/Panel: 06073C1328G
The Flood Zone Designation for this site is: ZONE: X

FEMA FLOOD ZONE INFORMATION

(WAITING FOR TITLE)

PROPERTY LEGAL DESCRIPTION

(WAITING FOR TITLE)

TITLE REPORT NOTES

DEL MAR HIGHLANDS
TOWN CENTER
ASSOCIATES I, LLC
APN: 304-071-37-00

CARMEL COUNTRY PLAZA
APN: 304-071-47-00
LOT 1
TRACT 12643

LOT 3
TRACT 12643

LOT 2
TRACT 12643

LOT 4
TRACT 12643

LOT 5
TRACT 12643

CARMEL COUNTRY PLAZA
APN: 304-071-65-00

24" SEWER EASEMENT
PER MAP #12643

LOT 9
TRACT 12643

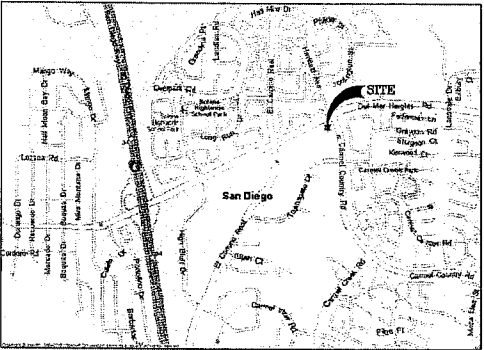
LOT 6
TRACT 12643

LOT 7
TRACT 12643

LOT 8
TRACT 12643

McGUIRE DR

CARMEL COUNTRY RD



VICINITY MAP

LEGEND

These standard symbols will
be found in the drawing.

- DOOR
- FOUND MONUMENT
- STORM DRAIN ROOF
- ROOF VENT
- SATELLITE DISH
- TREE TOP PALM
- ASPH
- BC
- CONC
- EC
- ELVA
- NG
- PS
- REVT
- RTOP
- SGL
- SW
- TC
- TRIP
- TRIP2
- TW
- ASPHALT SURFACE
- BOTTOM OF CURB
- CONCRETE SURFACE
- EDGE OF CONCRETE
- ELECTRICAL VAULT
- GROUND SPOT ELEVATION
- PAINT STRIPING
- ROOF VENT
- ROOF TOP
- SIGN TOP
- SIDEWALK
- TOP OF CURB
- TREE TOP
- TREE TOP PALM
- WALL TOP

LEGEND

- 1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying, Inc. translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
- 2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
- 3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- 4) Field survey completed on 7/14/2014.

NOTES

Booth &
Suarez
ARCHITECTURE PLANNING

WILLIAM R. BOOTH, ARCHITECT ROBERT L. SUAREZ, ARCHITECT
P.O. BOX 4651, CALLEJAS, CA 92016 (760) 434-4474

verizon WIRELESS
18505 SAND CANYON AVENUE
IRVINE, CA 92618
BUILDING 17 1ST FLOOR

PREPARED BY: DAF

CHECKED BY: DAF

APPROVED BY: DAF

#	DATE	REVISIONS
1	7/17/14	SITE SURVEY

FLOYD
SURVEYING
28936 OLD TOWN FRONT ST
SUITE 203
TEMECULA, CA 92590
OFFICE: (951) 694-8647
EMAIL: fsf@floydsurveying.com



SITE NAME
DEL MAR HEIGHTS ECR

SITE NUMBER

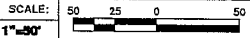
SITE ADDRESS
12750 CARMEL COUNTRY RD
SAN DIEGO, CA 92130

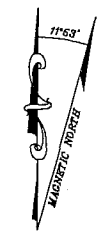
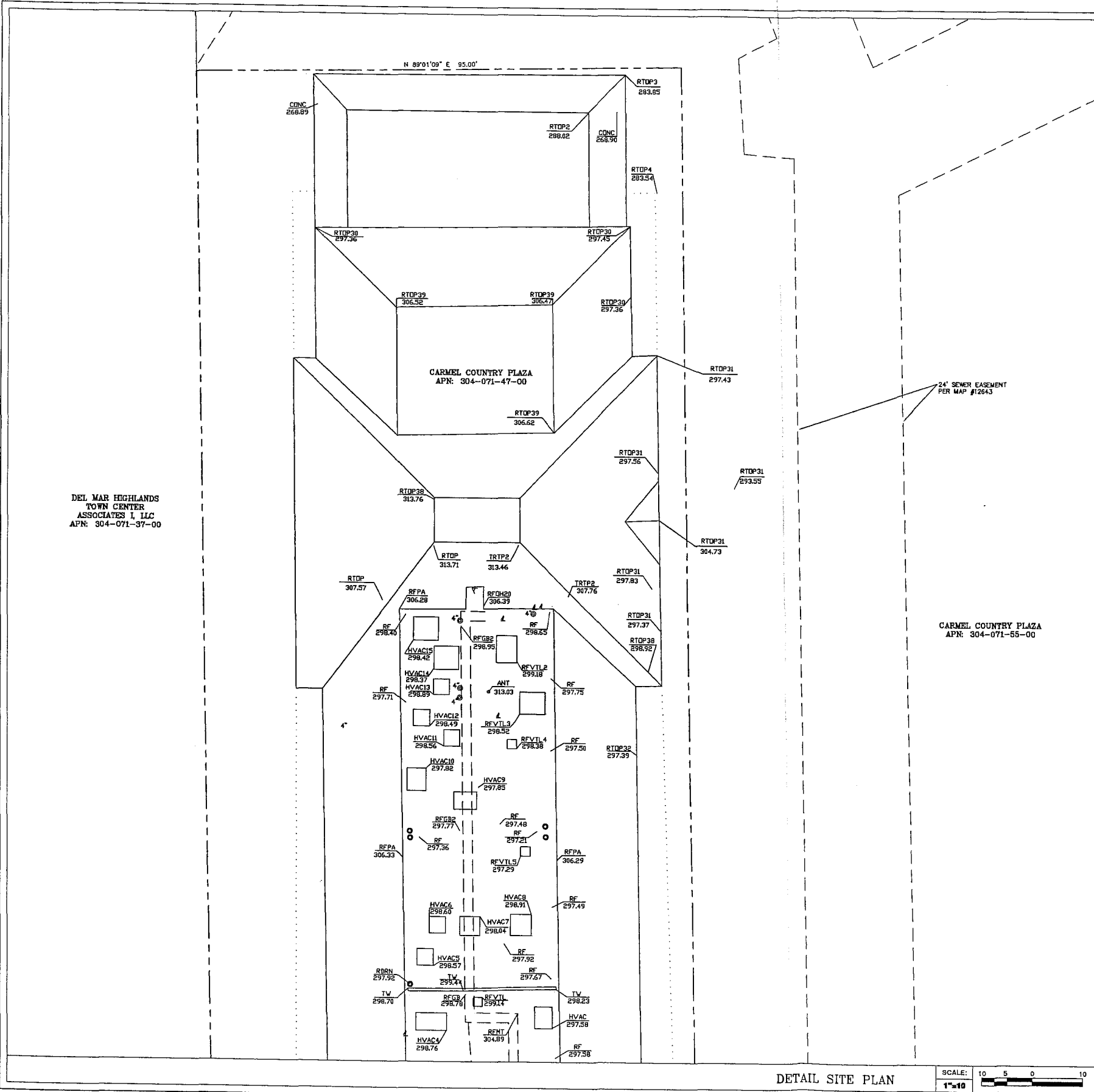
SHEET TITLE
SITE SURVEY
GENERAL INFORMATION

SHEET NUMBER

LS1

OVERALL SITE PLAN





LEGEND

- These standard symbols will be found in the drawing.
- DOOR
 - FOUND MONUMENT
 - STORM DRAIN ROOF
 - ROOF VENT
 - SATELLITE DISH
 - TREE TOP PALM
 - ASPH
 - BC
 - CONC
 - EC
 - ELVA
 - NG
 - PS
 - RFVTL
 - RTOP
 - SGL
 - SW
 - TC
 - TRTP
 - TRTP2
 - TW
 - BOUNDARY LINE
 - CENTERLINE
 - MISC. PROPERTY LINE
 - MISC. TIE LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - FENCE LINE

LEGEND

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- 4) Field survey completed on 7/14/2014.

NOTES

Booth & Suarez
ARCHITECTURE ■■■ PLANNING
WILLIAM H. BOOTH, ARCHITECT ROBERT J. SUAREZ, ARCHITECT
P.O. BOX 4651, CALISTO, CA 95018 (760) 434-8474

verizon WIRELESS
18805 SAND CANYON AVENUE
IRVINE, CA 92618
BUILDING 17 1ST FLOOR

PREPARED BY: DAF
CHECKED BY: DAF
APPROVED BY: DAF

#	DATE	REVISIONS
1.	7/17/14	SITE SURVEY

FLOYD SURVEYING
28936 OLD TOWN FRONT ST
SUITE 203
TEMECULA, CA 92590
OFFICE: (951) 694-8647
EMAIL: fsf@floydsurveying.com

PROFESSIONAL LAND SURVEYOR
David A. Floyd
EXP. 12/31/2014
No. 7676
STATE OF CALIFORNIA

SITE NAME
DEL MAR HEIGHTS ECR

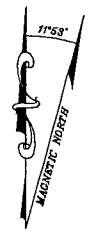
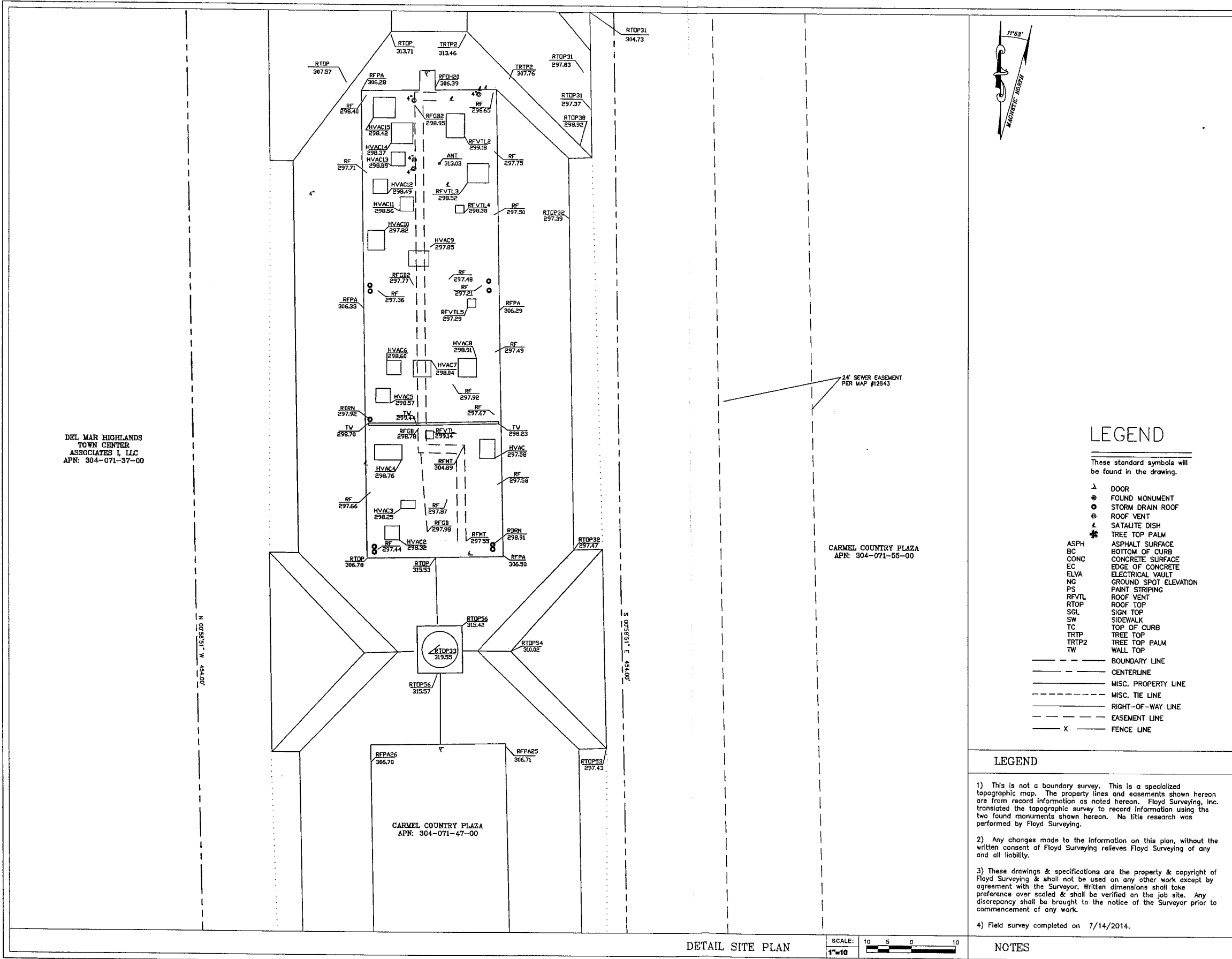
SITE NUMBER

SITE ADDRESS
12750 CARMEL COUNTRY RD
SAN DIEGO, CA 92130

SHEET TITLE
SITE SURVEY
GENERAL INFORMATION

SHEET NUMBER
LS2

ATTACHMENT 8



LEGEND

These standard symbols will be found in the drawing.

- DOOR
- FOUND MONUMENT
- STORM DRAIN ROOF
- ROOF VENT
- SATLITE DISH
- TREE TOP PALM
- ASPH
- BC
- CONC
- EC
- ELVA
- NG
- PS
- RFVTL
- RTOP
- SGL
- SW
- TC
- TRIP
- TRTP2
- TW
- BOUNDARY LINE
- CENTERLINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- FENCE LINE

LEGEND

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- Field survey completed on 7/14/2014.

Booth & Suarez
ARCHITECTURE ■ PLANNING
WILLIAM H. BOOTH, ARCHITECT ROBERT A. SUAREZ, ARCHITECT
P.O. BOX 4651, CARLSBAD, CA 92018 (760) 434-8474

verizon WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
BUILDING 17 1ST. FLOOR

PREPARED BY: DAF
CHECKED BY: DAF
APPROVED BY: DAF

#	DATE	REVISIONS
1.	7/17/14	SITE SURVEY

FLOYD SURVEYING
28936 OLD TOWN FRONT ST
SUITE 203
TEMECULA, CA 92590
OFFICE: (951) 694-8647
EMAIL: fsi@floydsurveying.com

PROFESSIONAL LAND SURVEYOR
David A. Floyd
EXP. 12/31/2014
No. 7576
STATE OF CALIFORNIA

SITE NAME
DEL MAR HEIGHTS ECR

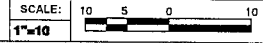
SITE NUMBER

SITE ADDRESS
12750 CARMEL COUNTRY RD
SAN DIEGO, CA 92130

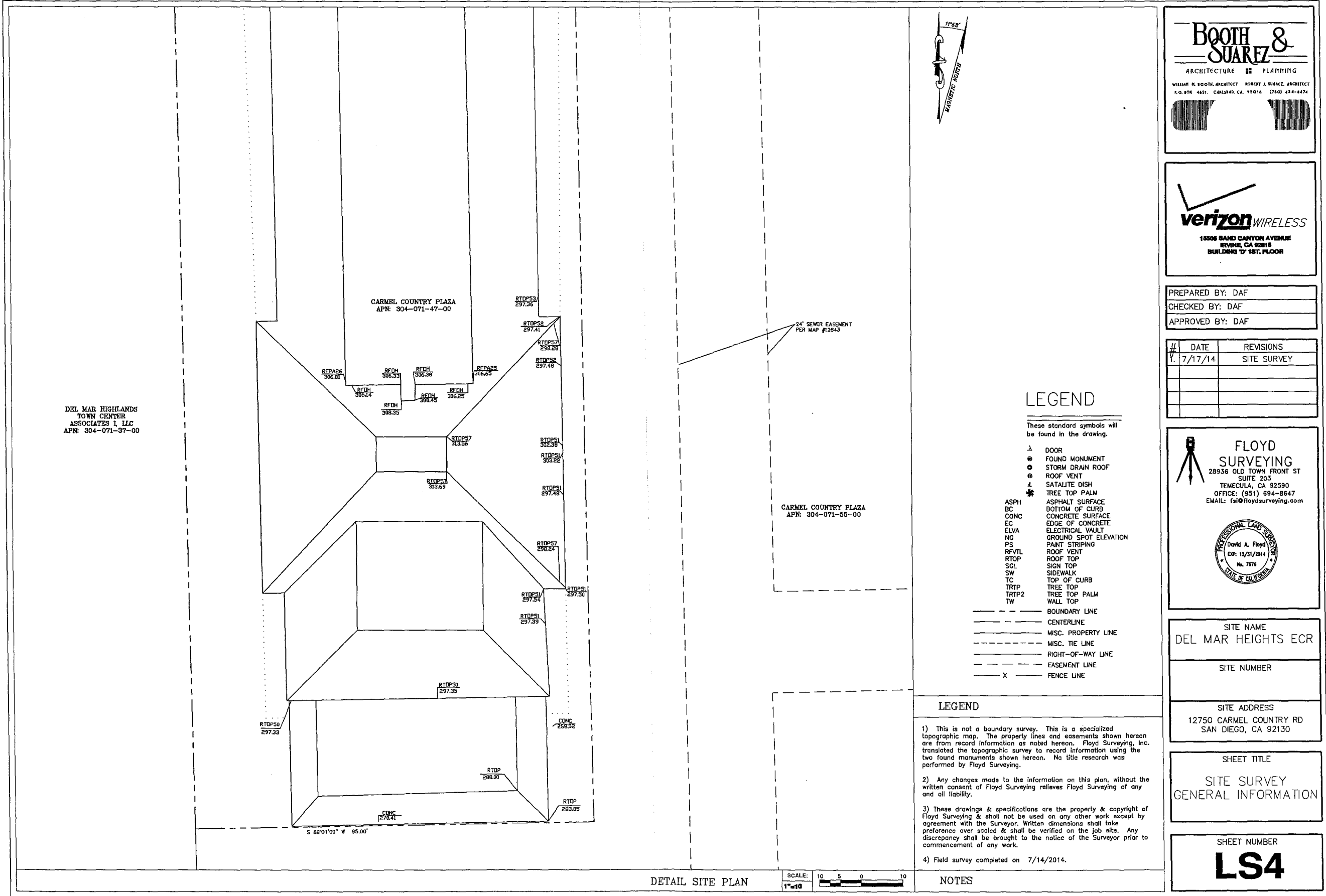
SHEET TITLE
SITE SURVEY
GENERAL INFORMATION

SHEET NUMBER
LS3

DETAIL SITE PLAN



NOTES





**Del Mar Heights/
El Camino Real Renewal**
12750 Carmel Country Rd.
San Diego, CA 92130



Proposed antennas mounted
behind new cupola dome
on existing building roof



These simulations are intended for graphical purposes only and not intended
to be part of or to replace the information provided on the construction drawings

8/26/2014

Photosimulation of proposed telecommunications site



**Del Mar Heights/
El Camino Real Renewal**
12750 Carmel Country Rd.
San Diego, CA 92130



Proposed antennas mounted
behind new cupola dome
on existing building roof



These simulations are intended for graphical purposes only and not intended
to be part of or to replace the information provided on the construction drawings

8/26/2014

Photosimulation of proposed telecommunications site



PHOTO STUDY & KEY MAP

PROPOSAL TO ESTABLISH AND OPERATE A
NEW DIGITAL PCS
COMMUNICATIONS FACILITY

Verizon Wireless
"Del Mar Heights ECR"
12750 Carmel Country Road
San Diego, CA 92130

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

Prepared by:
PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Kerrigan Diehl, Planning Consultant
(760) 587-3003

January 27, 2014



Looking North (Carmel Country Rd)



Looking South (Carmel Country Rd)



Looking East



Looking West



Northeast Elevation



Northwest Elevation



Southeast Elevation



Southwest Elevation



West Elevation



Aerial View of Subject Property

**CARMEL VALLEY COMMUNITY PLANNING BOARD
MEETING MINUTES**

7 p.m., 23 April 2015

Carmel Valley Library, Community Room
3919 Townsgate Drive, San Diego, CA 92130

The following is that portion of the CVCPB Meeting Minutes of April 23, 2015 that deals with the Wireless Facility at Carmel Country Plaza

4. Wireless Facility @ Carmel Country Plaza: Consider support for the renewal of WCF. Facility has been designed to current Stealth development standards.

Applicant - Kerrigan Diehl, Plancom, Inc.

Jill Cleveland, consultant to Verizon Wireless, presented their current plan with the city to get their permit renewed. With this permit, they will redesign the site in Carmel Country Plaza to eliminate the visual Omni antennas on the north side of the buildings. These Omni antennas are currently visible. With this proposal they would remove the Omni antennas and conceal them with a modified feature. They will maintain the same shape and dome, but will be a few feet taller. The antennas will increase the coverage in the area. There will be 16 new antennas put in a central location and concealed from the public within their own space.

Ms. Cleveland mentioned Verizon need to extend the height by three feet, which requires public notification. They have licensing from the federal government but need to get this approved by the community planning board to move forward.

Board Member Manoushakian asked what the benefit is to having cell towers. Ms. Cleveland mentioned the main benefit is improving cellphone coverage around the community. This specific plan does not benefit the school and community directly.

Board Member Lokanc had concerns over health risks and asked why so many cell towers are needed in the area. Chair White reminded the board they are solely voting on the architecture and planning. Board Member Farinsky noted cell phones have a bigger impact on your health than cell towers. The further you get from a cell tower the more your phone has to work to get coverage. Having another cell tower is of benefit because it reduces radiation from your phone.

Board Member Farinsky made the motion to approve the architecture and planning of the cell towers as proposed. The motion was seconded by Board Member Sasaki and passed on a vote of 9-3-1.

Submitted by,



**Frisco White, AIA
Chair**



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 448-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☒ Other WCF

Project Title

Project No. For City Use Only

Verizon- Del Mar Heights/ El Camino Real

Project Address:

12750 Carmel Country Road San Diego, CA 92130

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:


Date:

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership
Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General What State? CA Corporate Identification No. 199601100009
☒ Partnership ☐ Limited Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☒ No

Corporate/Partnership Name (type or print): <u>American Assets Carmel Country Plaza, L.P.</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>11455 El Camino Real, Suite 200</u> City/State/Zip: <u>San Diego, CA 92130</u> Phone No: <u>858-350-2600</u> Fax No: Name of Corporate Officer/Partner (type or print): <u>Patrick Kinney</u> Title (type or print): <u>SVP of Real Estate Operations of its agent, American Assets</u> Signature:  Date: <u>8/28/2013</u>	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): <u>Trust Management, LLC</u> Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:

Verizon Wireless Del Mar Heights**PROJECT CHRONOLOGY**

PTS #399437 IO #24005377

Date	Action	Description	City Review	Applicant Response
11.24.2014	First Submittal	Project Deemed Complete		
12.17.2014	Completeness Letter		23 days	
03.13.2015	Second Submittal			86 days
04.23.2015	Community Planning Group Presentation			41 days
04.29.2015	First Assessment Letter			6 days
06.17.2015	All issues resolved		49 day	
07.23.2015	Scheduled for Planning Commission		36 days	
Total Staff Time:		Does not include City Holidays and Furlough	108 days	
Total Applicant Time:		Does not include City Holidays and Furlough		133 days
Total Project Running Time:		From Deemed Complete to PC Hearing	241 days	

SITE JUSTIFICATION
Verizon "Del Mar Heights - ECR"
12750 Carmel Country Road
San Diego, CA 92130

PROJECT DESCRIPTION

The project proposes to remove the existing (5) omni whips located on the rooftop and replace with a new architecturally integrated design utilizing the domed cupola element at the center of the roof. The plan calls for the installation of twelve (12) antennas, (16) RRUs and (1) MW dish concealed within the rooftop cupola designed to match an existing commercial retail center's overall design aesthetic. The associated equipment necessary to operate the facility will remain in its existing location within the rooftop attic space.

SITE DESIGN

4 sectors of 4 antennas along with the remote radio units are to be mounted within the domed rooftop cupola with the antennas at a rad center of. The project has been designed to visually and architecturally integrate with the building façade, while at the same time creating an anchor element on the corner whereby all of the antennas and appurtenances are completely concealed from views. Also concealed from all public views is the existing location of the equipment which is entirely within the rooftop attic space.

PREFERENCE 1 LOCATION/PPROCESS 4 DESIGN:

The proposed facility is located on a commercially zoned and developed property. The project is a Preference 1 location where the site design would typically be subject to a Limited Use Permit – Process 1 however, Verizon is applying for a Planned Development Permit – Process 4 in order to deviate from the allowable 45' height limit as portions of the upper roof and cupola element existing above the height limit.

We believe that the facility as designed is consistent with all relevant regulations and will be visually integrated from surrounding vantage points and properties.

CO-LOCATION OF WIRELESS FACILITIES

There are no existing wireless facilities on site.

Del Mar Heights / El Camino Real

Renewal

12750 Carmel Country Rd.
San Diego, CA 92130



Legend

Search Ring

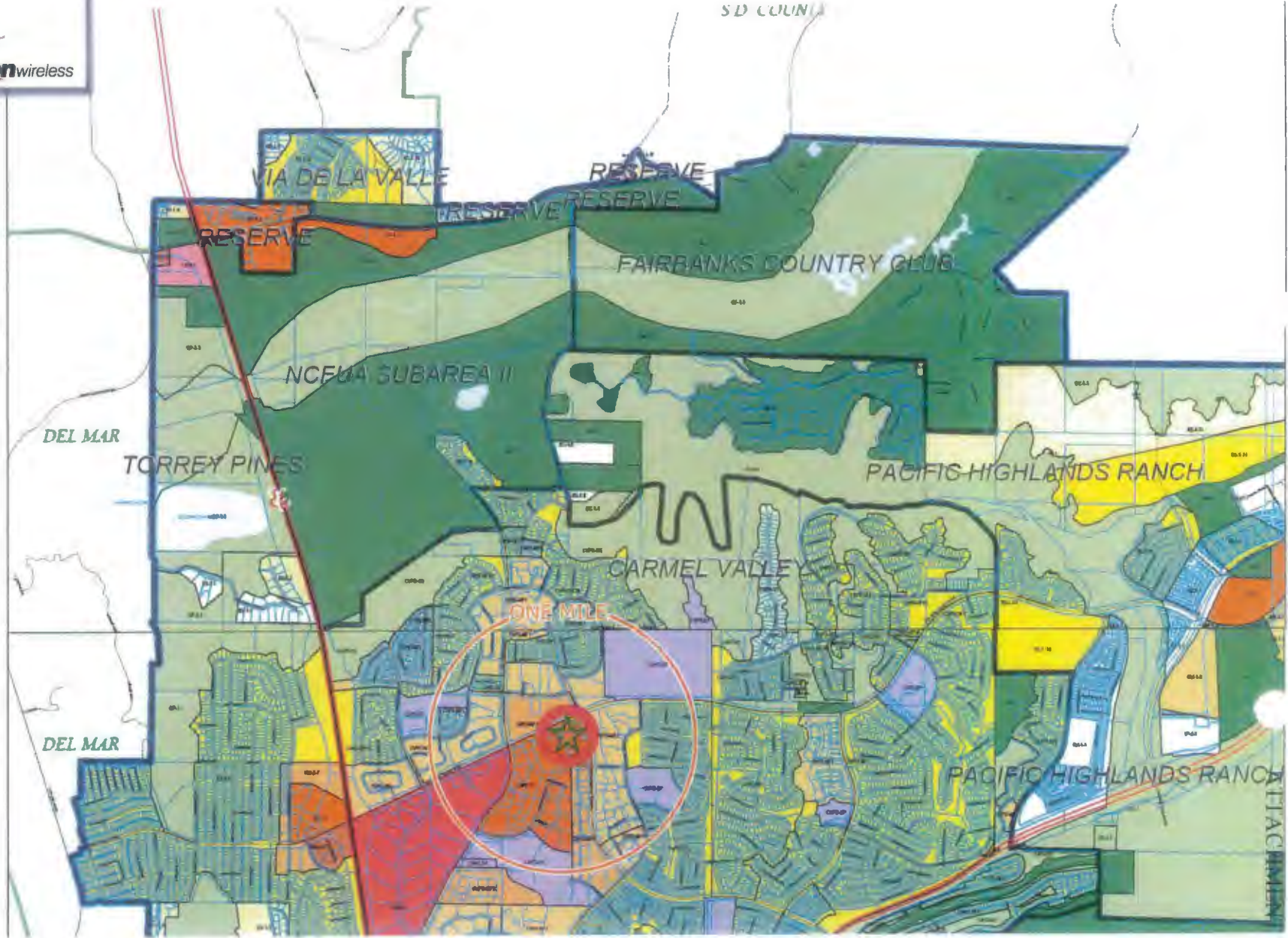
Selected Site

Existing sites within 1 mile radius:

No sites within one mile

Alternative Sites:

No Alternative sites



Legend

	City of San Diego Boundary
	Community Page Area
	Road
	Highway
	Water
	Park
	Residential
	Commercial
	Industrial
	Public Works
	Fire
	Police
	Health
	Social Services
	Other

San Diego County Planning
San Diego County Planning and Development Department
12750 Carmel Country Rd., Suite 100
San Diego, CA 92130
Phone: (619) 451-1234
Fax: (619) 451-1235
Email: info@sdcpd.com
Website: www.sdcpd.com

City of San Diego
City of San Diego Planning and Development Department
12750 Carmel Country Rd., Suite 100
San Diego, CA 92130
Phone: (619) 451-1234
Fax: (619) 451-1235
Email: info@cityofsandiego.com
Website: www.cityofsandiego.com



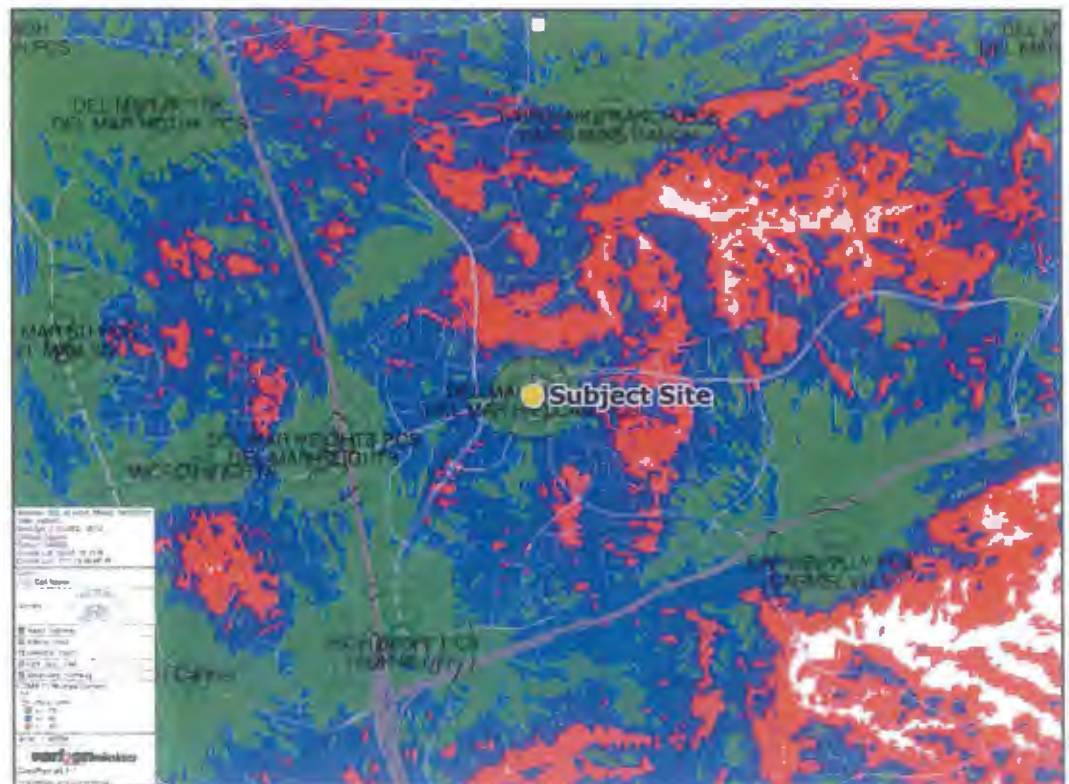
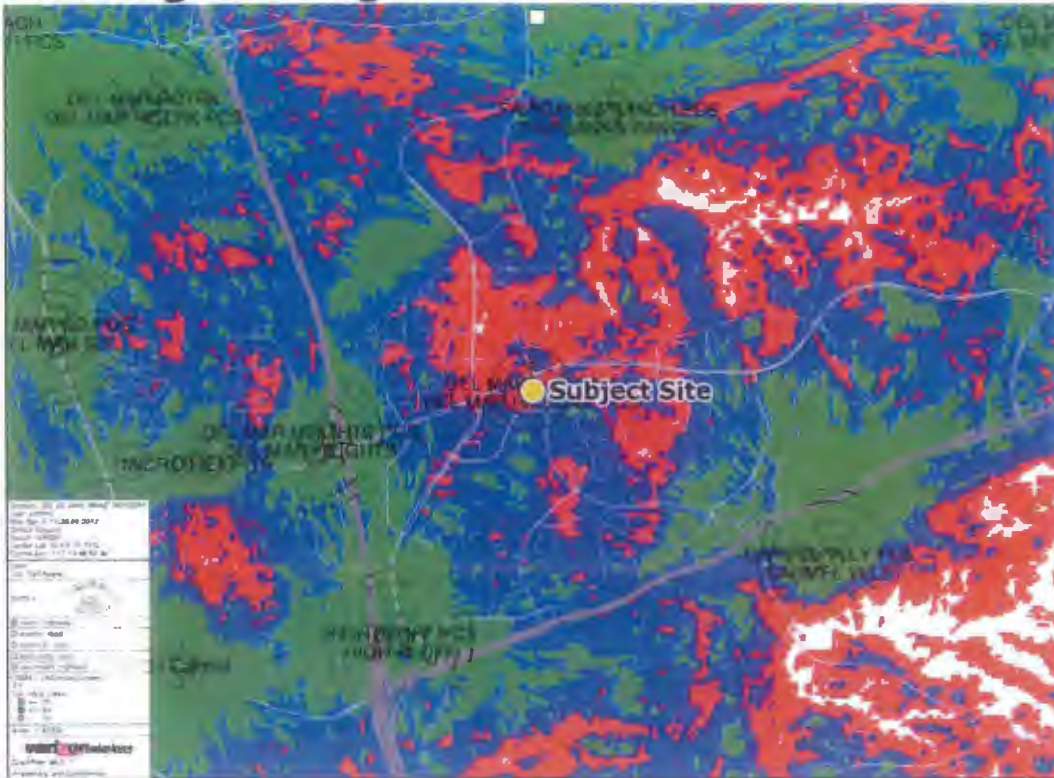
City of San Diego
Development Services Department



GRID TILE: 39

GRID SCALE 800

DATE: 3/25/2008 3:51:16 PM

**Del Mar Heights / El Camino Real
Renewal**12750 Carmel Country Rd.
San Diego, CA 92130 **verizon**wireless**Existing coverage****Proposed coverage**