



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: July 16, 2015 **REPORT NO.** PC-15-091

ATTENTION: Planning Commission, Agenda of July 30, 2015

SUBJECT: APPEAL OF THE 27TH STREET UNITS; PROJECT NO. 370917
PROCESS 3

REFERENCE: Report to the Hearing Officer, Report No. HO-15-058, located at:
<http://www.sandiego.gov/development-services/pdf/hearingofficer/reports/2015/HO-15-058.pdf>.

**OWNER/
APPLICANT:** Almeria Investments, LP, a California Limited Partnership

SUMMARY

Issue: Should the Planning Commission approve or deny an appeal of the Hearing Officer's decision to approve the demolition of a single family dwelling unit and to construct a four unit residential apartment complex on a 0.188-acre site located at 911 27th Street in the Greater Golden Hill Community Planning area?

Staff Recommendation:

1. **DENY** the appeal; and
2. **APPROVE** Site Development Permit No. 1298226.

Community Planning Group Recommendation: On March 11, 2015, the Greater Golden Hill Planning Committee voted 10-2-0 to recommend approval of the project (Attachment 11).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15332 (Infill Development Projects) of the California Environmental Quality Act (CEQA). The project proposes additions and remodel of an existing single-family dwelling unit. The environmental exemption determination for this project was made on March 25, 2015, and the opportunity to appeal that determination ended April 9, 2015 (Attachment 12). This project is not pending an appeal of the environmental determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The 0.188-acre project site is located at 911 27th Street, on the northeastern corner of 27th Street and E Street, in the GH-1500 Zone within the Golden Hill Planned District and the Greater Golden Hill Community Planning area. The zoning designation is a multi-family residential zone that requires 1,500 square feet of lot area per dwelling unit. The Greater Golden Hill Community Plan (GGHCP) designates the proposed project site for Medium Residential land use at 15-29 dwelling units per acre (DU/AC). The project site, occupying 0.188-acres, could accommodate five dwelling units based on the underlying zone and 3-5 dwelling units based on the community plan.

The project proposes the demolition of an existing single-family dwelling unit and to construct a three-story, 5,422 square foot, four unit residential apartment complex with attached two car garages totaling 2,040 square feet, and associated site improvements. This project is subject to the requirements of the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (Chapter 14, Article 2, Division 13 of the San Diego Municipal Code) and the payment of the Affordable Housing fees are due at the time of the building permit issuance.

BACKGROUND

The proposed project site is located at 911 27th Street (Attachment 1), on the northeastern corner of 27th Street and E Street (Attachment 2). The property is in the GH-1500 Zone within the Golden Hill Planned District (Attachment 3), the Greater Golden Hill Community Plan (Attachment 4), the Airport Influence Area (AIA) Review Area 1, the 60 to 65 decibel (dB) Community Noise Equivalent Level (CNEL), and the Federal Aviation Administration (FAA) Part 77 for the San Diego International Airport (SDIA), Transit Area Overlay Zone, and Council District 3. The zoning designation is a multi-family residential zone that requires 1,500 square feet of lot area per dwelling unit. The Greater Golden Hill Community Plan (GGHCP) designates the proposed project site for Medium Residential land use at 15-29 dwelling units per acre (DU/AC). The project site, occupying 0.188-acres, could accommodate five dwelling units based on the underlying zone and 3-5 dwelling units based on the community plan.

The surrounding properties have been previously graded and developed with existing single-family dwelling units to the east and west, and multi-family development to the north and south. The properties to the north are zoned GH-1250 within the Golden Hill Planned District (GHPD), and the land use designation is Medium High Residential land use at 29-44 DU/AC. The properties to the east, west and south are zoned GH-1500 within the GHPD, and the land use designation is Medium Residential land use at 15-29 DU/AC.

The project site is a corner lot with frontage on 27th Street and E Street. The parcel has been previously graded and developed with an existing single-family dwelling unit. The existing single-family dwelling unit was constructed in 1925. From 1951 through 2012, the property had several building permits for additions and additional alterations to the existing structure. A

historical assessment was performed and City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Project Description:

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project site is a rectangular shaped lot and topography of the site slopes down from the northeastern corner to the southwestern corner with approximate elevations ranging for 205 feet Above Mean Sea Level (AMSL) to 190 feet AMSL. The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103.

Development of the proposed project requires the approval of a Process Three Site Development Permit (SDP) for development within the GHPD exceeding the threshold of three units in the GH-1500 Zone pursuant to SDMC Section 158.0206(a)(2) and Table 158-02A, and for a deviation to the development regulations. Deviations within the GHPD may be granted through a Process 3 SDP in accordance with SDMC Section 158.0206(a)(3). Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project Related Issues:

Deviation from the SDMC- A deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone requires a minimum of 15 feet. The project fronts both 27th Street and E Street, and in accordance with SDMC Section 113.0246(a) the narrower frontage would be classified as the front property line (along E Street), the longest frontage would be classified as the street side property line (along 27th Street), and the parallel property line to the front would be classified as the rear property line (northern property line).

The GH-1500 Zone requires a minimum of a 10 foot front yard setback; however, to comply with the 25 foot visibility area at the corner of 27th Street and E Street, the structure along E Street is setback to 19 foot 5 inches. The project proposes a 6 foot rear yard setback along the northern property line, which is equivalent to the interior yard setback requirement of the GH-

1500 Zone, to allow for the development to establish a front façade and entrance for three of the units along 27th Street. Staff has reviewed the requested deviation as it relates to the proposed design of the project, the property configuration with its topographic conditions, the visibility area impacts, and the surrounding development. Staff has determined that the deviation is appropriate and will result in a more desirable project that efficiently utilizes the site, while meeting the purpose and intent of the development regulations, while creating a architectural harmony with the preferred character of the neighborhood and community per the GHPD and the adopted GGHCP.

Airport Land Use Compatibility - The project is located in the Airport Influence Area (AIA) Review Area 1, the 60 to 65 decibel (dB) Community Noise Equivalent Level (CNEL), and the Federal Aviation Administration (FAA) Part 77 for the San Diego International Airport (SDIA). On September 4, 2014, the San Diego County Regional Airport Authority, serving as the Airport Land Use Commission (ALUC), voted 7-0-1 on a determination that the project is conditionally consistent with the SDIA-ALUCP, pursuant to Resolution No. 2014-0019 (Attachment 9). The conditions outlined in the resolution have been included in the Permit (Attachment 7).

Hearing:

On May 20, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1298226. After hearing testimony by the applicant and his architect, and by the neighboring property owner, Carl Rossi, the Hearing Officer approved Site Development Permit No. 1298226, pursuant to Resolution No. HO-6823.

DISCUSSION

Appeal:

On June 3, 2015, the Development Services Department received an appeal application by Carl Rossi, the adjacent property owner (Attachment 10). The appeal of the Hearing Officer's decision is based on the grounds of Factual Error, Conflict with other matters, Finding Not Supported, and New Information. The following are staff's response to each of the appeal items outlined in the appeal application:

Factual Error (Summarized)- The appellant has concerns on the height of the applicant's proposed retaining wall and fence between both properties, and how the discussion of the retaining wall height was addressed at the hearing.

Staff's Response- SDMC Section 142.0340(d) allows retaining walls within the side and rear setback to be a maximum height of 6 feet, and an open fence not to exceed 3 feet 6 inches in height is permitted on top of the retaining wall. Exceeding the height regulations would require a Process 2 Neighborhood Development Permit. In response to staff's review comments during project review, the architect revised the plans to comply with the retaining wall and fence regulations and staff's response to the Hearing Officer were based on the revised plans. However, it was discovered during this appeal process that the Preliminary Grading Plan, Sheet 3 of 13, was not revised. Therefore, the Preliminary Grading Plan, Sheet 3 of 13, will be revised to comply with the regulations.

Conflict with other matters (Summarized)- The appellant has concerns regarding the existing structures on his property that will be adjacent to the applicant's proposed retaining wall, the number of dwelling units allowed on the property, and the impacts to his private views.

Staff's Response- The adjacent property and appellant property to the east, maintains an existing masonry block retaining wall (varies in height) and a 6-foot high wood fence along the property line. The applicant's proposed retaining wall along the same property line has been designed and engineered to support the existing neighbor's retaining wall and fence, and best construction practices will be implemented to ensure there are no impacts to existing structures.

The project site, occupying 0.188-acres, could accommodate five dwelling units based on the underlying zone and 3-5 dwelling units based on the community plan. Therefore, the City is not granting the fourth unit as a 'special allowance' as indicated by the appellant. Furthermore, there are no designated view corridors along 27th Street and/or E Street within the GGHCP; therefore, there are no protections within the regulations of the appellant's private views.

Findings Not Supported (Summarized)- The appellant has concerns regarding any negative environmental effects (noise and traffic) on his property from the proposed development, and provided a suggestion on a safety/sound wall between the properties.

Staff's Response- The proposed four unit residential apartment project is expected to generate 32 average weekday trips (ADT), with 3 AM peak hour trips and 3 PM peak hour trips. This is based on the rate of 8 ADT/dwelling unit. Therefore, a transportation impact analysis was not required. In addition, it was determined that the project would not result or create a significant increase in the existing ambient noise levels nor would the project expose people to future transportation noise levels which exceed the standards established in the Noise Element of the General Plan. This determination was made because the project was identified as being consistent with both the underlying zone and land use designations. Therefore, impacts were considered to be less than significant. Furthermore, staff would not be in support of a 5-foot CMU safety/sound wall over the proposed retaining wall as suggested by the appellant. This proposal would create a solid 11-foot high wall along the property line and would not be in compliance with the regulations.

New Information (Summarized)- The appellant has concerns regarding negative effects to his existing residential dwelling unit due to the construction of the adjacent development, and impacts to the appellant's existing masonry block retaining wall and the foundation location for the applicant's retaining wall.

Staff's Response- As stated above, the applicant's proposed retaining wall has been designed and engineered to support the existing neighbor's retaining wall and fence, and best construction practices will be implemented to ensure there are no impacts to existing structures, including the existing residential dwelling unit. The entire wall and foundation for this retaining wall will be located on the applicant's property.

Conclusion:

With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted GGHCP, the GHPD, and the SDMC. Therefore, staff recommends that the Planning Commission deny the appeal and uphold the Hearing Officer's decision to approve the SDP.

ALTERNATIVE

1. **DENY** the Appeal, and **APPROVE** Site Development Permit No. 1298226, **with modifications.**
2. **APPROVE** the Appeal, and **DENY** Site Development Permit No. 1298226, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department

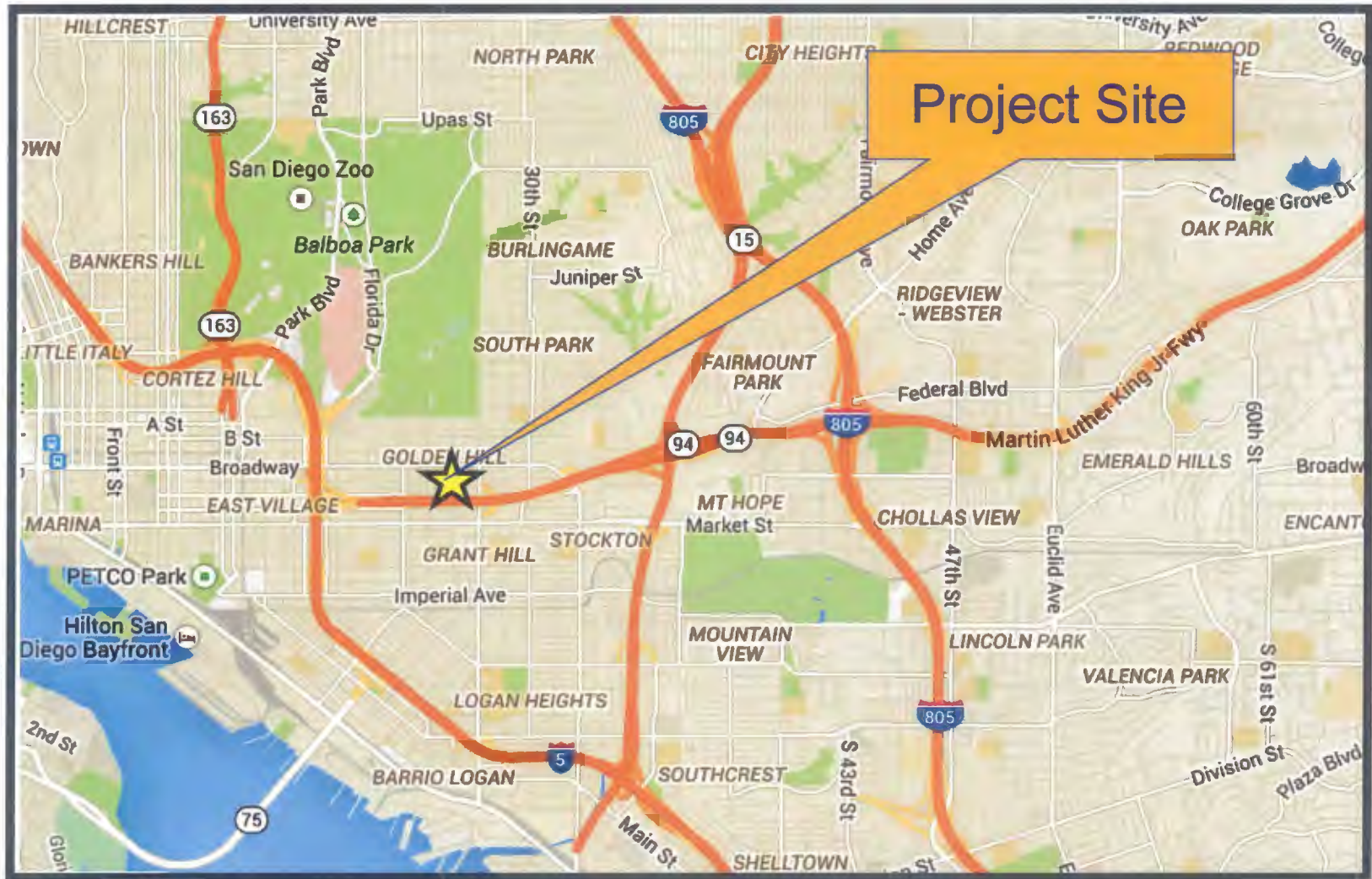


Jeffrey A. Peterson
Development Project Manager
Development Services Department

WESTLAKE/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Project Plans
7. Draft SDP Permit with Conditions
8. Draft SDP Resolution with Findings
9. ALUC-Letter and Resolution 2014-0019
10. Appeal Application
11. Greater Golden Hill Planning Committee Recommendation
12. Environmental Exemption
13. Ownership Disclosure Statement
14. Project Chronology



Location Map

27th Street Units - Project No. 370917
911 27th Street

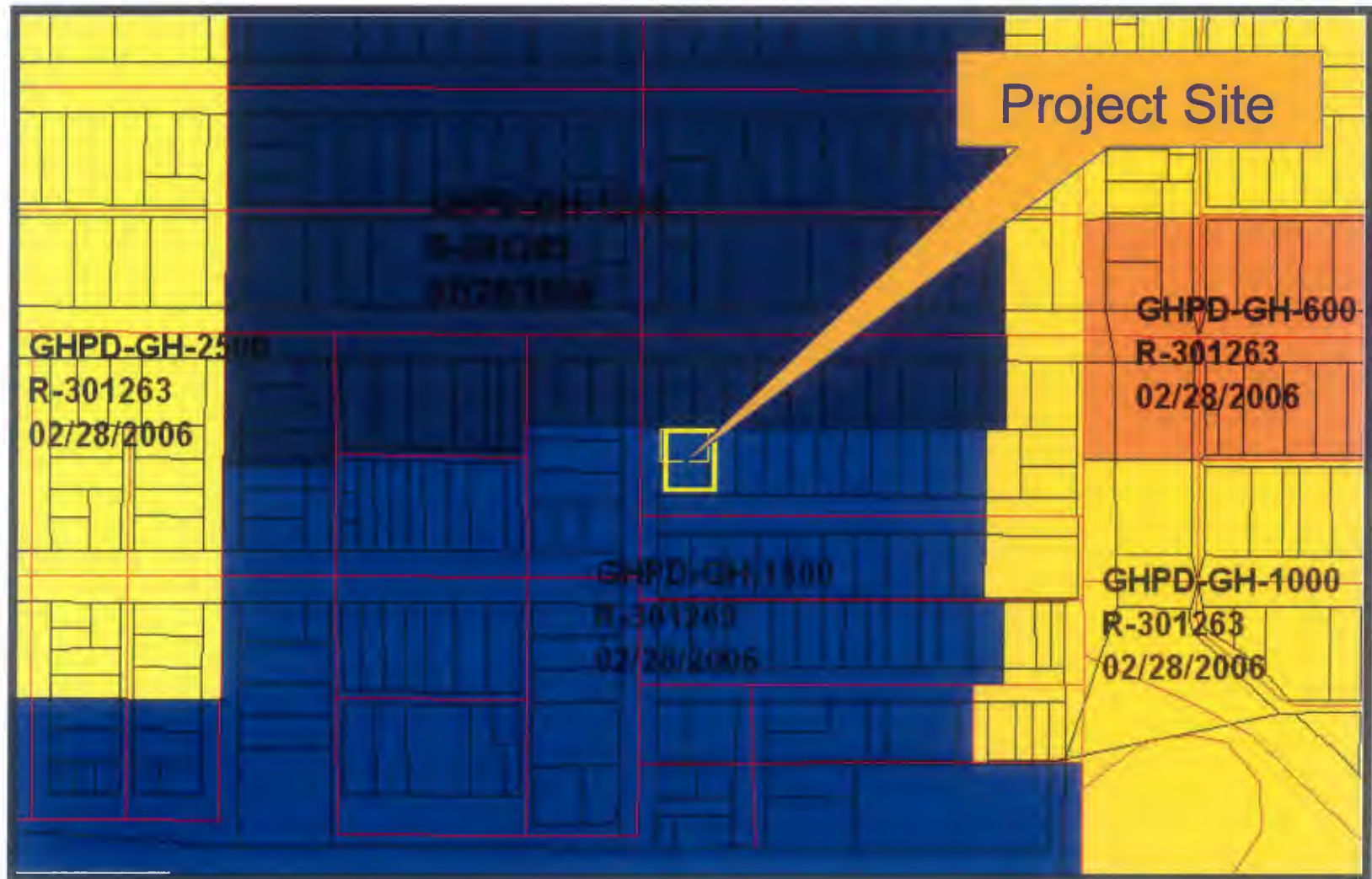




Aerial Photograph

27th Street Units - Project No. 370917
911 27th Street

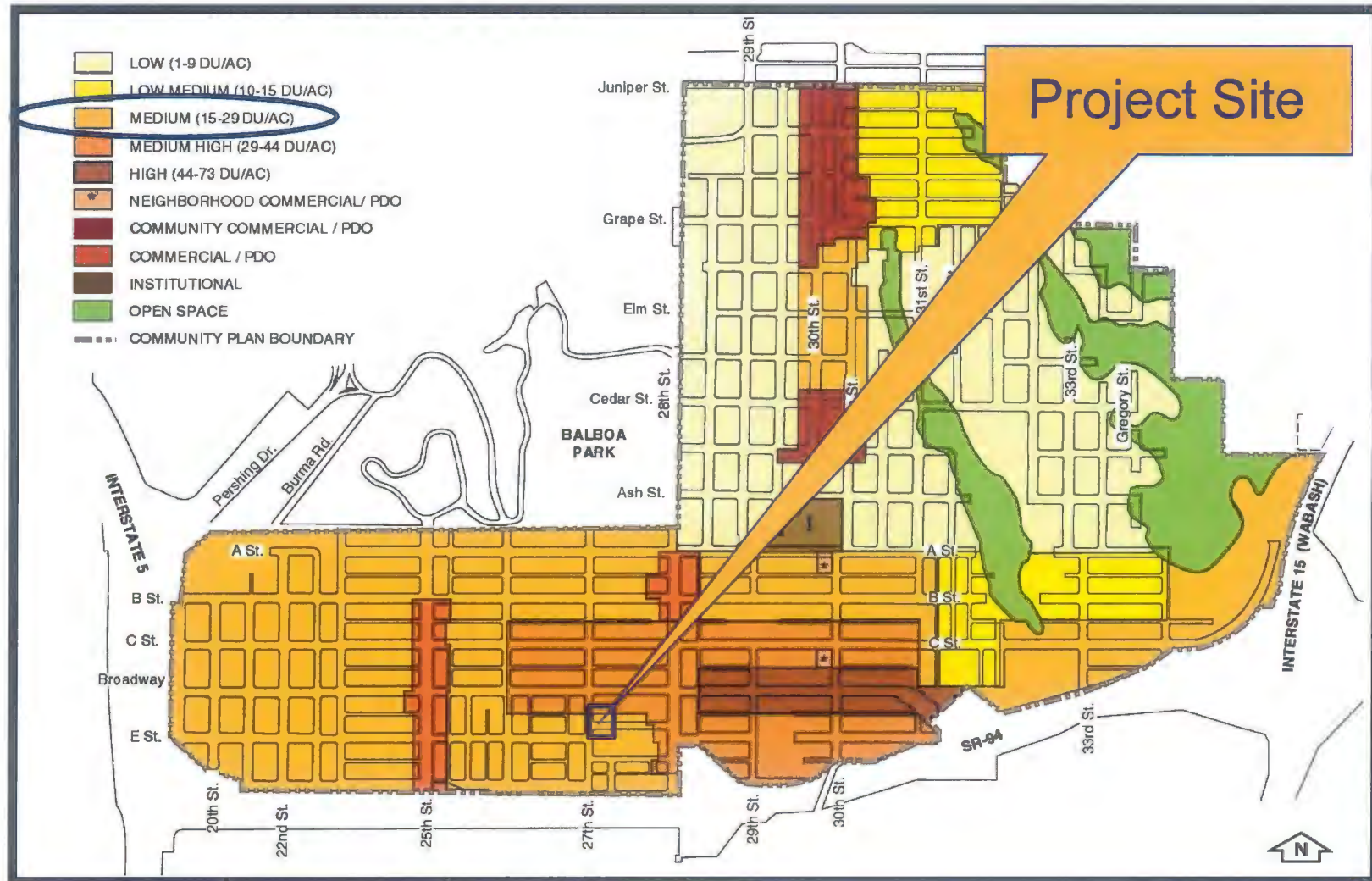




Zoning Map (GHPD- GH-1500 Zone)

27th Street Units - Project No. 370917
911 27th Street





Greater Golden Hill Community Plan Land Use Map

27th Street Units - Project No. 370917

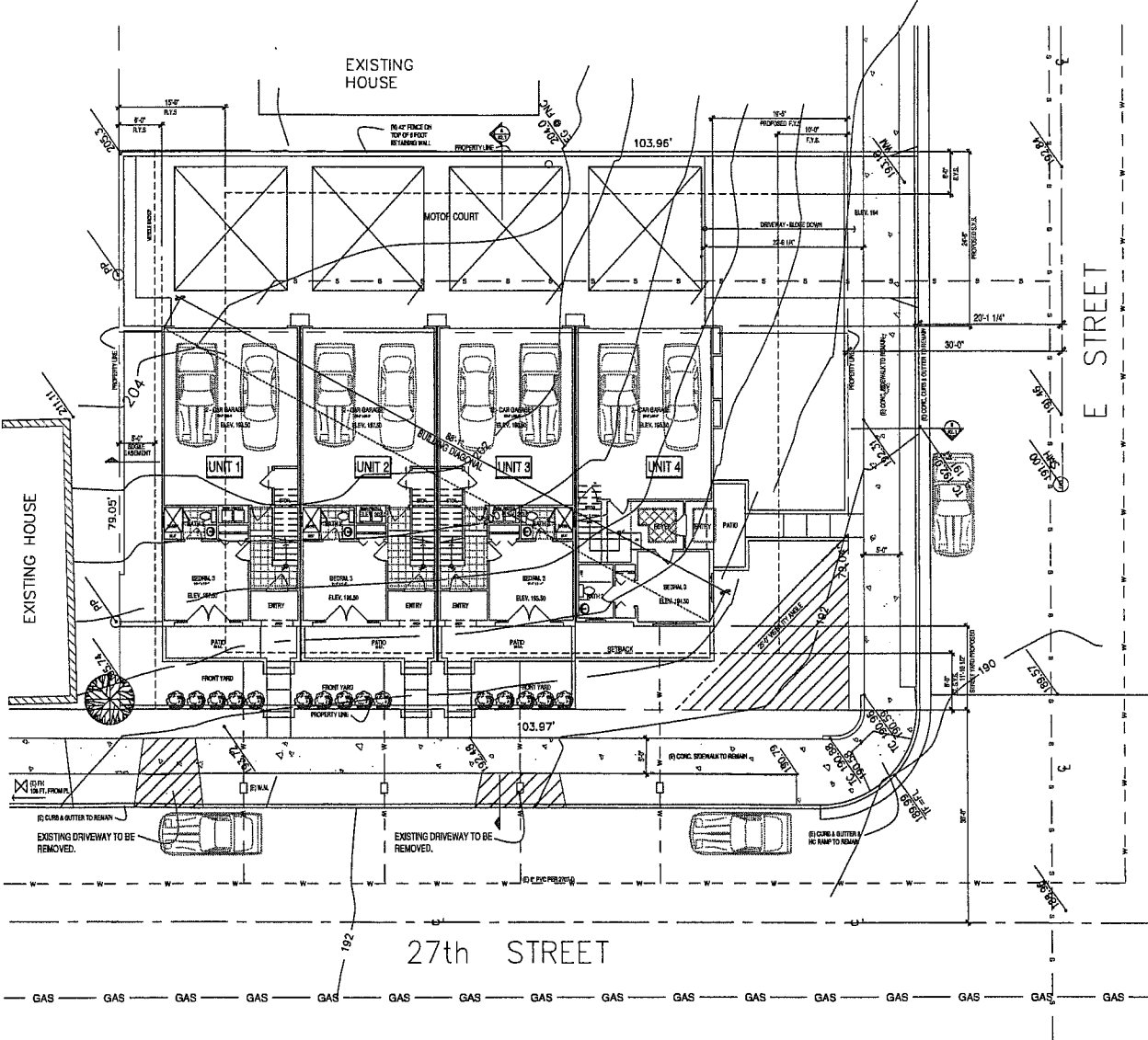
911 27th Street



PROJECT DATA SHEET

PROJECT NAME:	27th Street Units - Project No. 370917	
PROJECT DESCRIPTION:	Demolition of an existing single-family dwelling unit and to construct a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site.	
COMMUNITY PLAN AREA:	Greater Golden Hill	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Medium Density Residential (15-29 dwelling units per acre)	
<u>ZONING INFORMATION:</u> ZONE: GH-1500 Zone within the GHPD HEIGHT LIMIT: 30-foot maximum height limit LOT SIZE: 1,500 square feet (minimum per dwelling unit) FLOOR AREA RATIO: 0.60 LOT COVERAGE: 35 percent FRONT SETBACK: 10 feet SIDE SETBACK: 6 feet STREETSIDE SETBACK: 8 feet REAR SETBACK: 15 feet without an alley PARKING: 8		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Medium High Density Residential; GH-1250	Multi- Family Residence
SOUTH:	Medium Density Residential; GH-1500	Multi- Family Residence
EAST:	Medium Density Residential; GH-1500	Single Family Residence
WEST:	Medium Density Residential; GH-1500	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	A deviation from SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback where regulations require a minimum 15 feet.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 11, 2015, the Greater Golden Hill Planning Committee voted 10-2-0 to recommend approval of the project.	

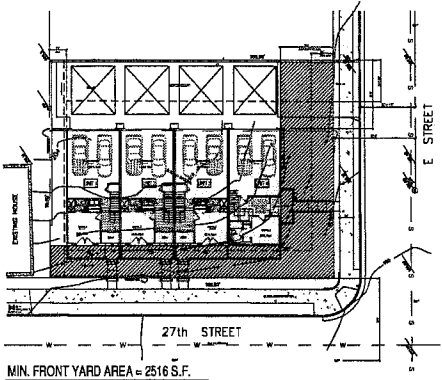
A SUSTAINABLE DEVELOPMENT PROJECT



ARCHITECTURAL SITE PLAN

3/20/17

NO PROPOSED OR EXISTING BUS STOPS



MIN. FRONT YARD AREA = 2516 S.F.

PLANNING NOTES

- DESIGN OF NEW SIDEWALKS SHALL COMPLY WITH GHPD 156.0400
- ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CPC AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK
- ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dBA CNEL FOR ALL HABITABLE ROOMS.

SUSTAINABLE ELEMENTS

- PHOTOVOLTAICS - PER POLICY 900-14
- LOW FLOW WATER SAVING FIXTURES
- CAL. GREEN BUILDING CODE AMMUNITIES

REVIATIONS

REAR YARD SETBACK: REDUCE REAR YARD SETBACK FROM THE REQUIRED 18'-0" TO 6'-0"

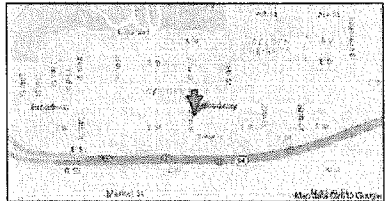
SHEET INDEX

SHEET#	SHEET TITLE
T-1	TITLE SHEET / SITE PLAN
D-1	TOPOGRAPHIC SURVEY
D-2	PRELIMINARY GRADING PLAN
A1-1	FIRST FLOOR PLAN
A1-2	SECOND FLOOR PLAN
A1-3	THIRD FLOOR PLAN
A1-4	ROOF PLAN
A2-1	BUILDING SECTIONS
A3-1	EXTERIOR ELEVATIONS
A3-2	EXTERIOR ELEVATIONS
L-1	LANDSCAPE PLAN

PROJECT TEAM

ARCHITECT: STOSH THOMAS ARCHITECTS PC 4882 NEBO DR. STE 200 LA MESA, CA 91941 CONTACT: STOSH PODSEWIK PHONE: 619.246.8044	LANDSCAPE ARCHITECT: LANDSCAPE LOGIC 4640 JEWELL STREET, STE 254 SAN DIEGO, CA 92109 CONTACT: TONY VITALE PHONE: 619.446.6482
SURVEYOR: KAPPA SURVEYING & ENGINEERING 2965 OLIVE VIEW ROAD LA MESA, CA 91941 CONTACT: RICK TURNER PHONE: 619.445.0110	ELECTRICAL ENGINEER:
CIVIL ENGINEER: CIVIL LANDWORKS 3480 MARRON ROAD STE 103 OCEANSIDE, CA 92056 CONTACT: DAVID CARON 760.945.3361	STRUCTURAL ENGINEER:

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS:	911 27TH STREET SAN DIEGO, CA 92104
OWNER:	ALMERA INVESTMENTS, LP P.O. BOX 23826 ENCINITAS, CA 92023
LOT NUMBER:	7 & 8
APN:	534-21-27-00 & 534-21-26-00
LEGAL DESCRIPTION:	LOT 7 AND WEST 20 FEET OF LOT 8 IN BLOCK 1 OF KARIE ADDITION, MAP NO. 1614
YR. OF EXIST. STRUCT.	1925
GROSS LOT AREA:	6,215 S.F.
NET LOT AREA:	6,215 S.F.
EXISTING USE:	RESIDENTIAL

MAX. BASE DENSITY:	1 DU/1500 S.F. = 8,215 / 1500 = 5.47 DU (5)
DENSITY PROPOSED:	4 UNITS
FLOOR AREA RATIO (FAR):	.80 8215 / 80 = 4,929 S.F.
BONUS AREA (25% OF GARAGE):	510 S.F.
ADJUSTED F.A.R. W/ BONUS	5,439 S.F. OF ALLOWED AREA

FLOOR AREA:	1ST FLOOR	2ND FLOOR	3RD FLOOR	UNIT TOTAL	BLDG. TOTAL
UNIT 1-4	288.5 S.F.	699.0 S.F.	370.0 S.F.	1,357.5 S.F.	5,422 S.F.
GARAGE:	510.0 S.F.			2,040.0 S.F.	
UNITS + BASEMENT TOTAL:					7,462 S.F.
PROPOSED FAR:	BASEMENT EXEMPT + 510 S.F. BONUS				5,422 S.F.

LOT COVERAGE:	
36% ALLOWED:	2,278 S.F.
18% PROPOSED (GARAGES EXEMPT):	1,410 S.F.

MAXIMUM DIAGONAL:	68'-1" PROPOSED
104'-0" ALLOWED	

PATIOS:	
PATIOS 4 @ 335 S.F. EACH	1,420 S.F.

PARKING TABULATION:	
9 BEDROOM UNITS:	REQUIRED PROVIDED
4 UNITS	8 SPACES 8 SPACES

ZONING DESIGNATION:	OH-1500
OVERLAY ZONE:	TANDEM PARKING, FAA PART 77
PLANNING DISTRICT:	GOLDEN HILL
GEOLOGIC HAZARD:	B2
CALIFORNIA BUILDING CODE:	2013 CBC & 2013 CRC
CONSTRUCTION TYPE:	TYPE VB - SPRINKLERED
OCCUPANCY GROUP:	BUILDINGS 1 THRU 4: R-3U
NO. OF STORIES:	3 STORIES
MAX. BUILDING HEIGHT:	30'-0" AT HIGHEST POINT

FRONT SETBACK REQ'D:	18'-0"
FRONT SETBACK PROPOSED:	18'-5"

REAR SETBACK REQ'D:	15'-0"
REAR SETBACK PROPOSED:	6'-0"

SIDE SETBACK REQ'D:	6'-0"
SIDE SETBACK PROPOSED:	24'-0"

STRT SIDE SETBACK REQ'D:	8'-0"
STRT SIDE SETBACK PROP.	11'-10"

PROJECT SCOPE

NEW APARTMENTS - 4 UNITS
THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE AND THE CONSTRUCTION OF A NEW 4-UNIT APARTMENT PROJECT

SHEET TITLE

PREPARED BY:	STOSH THOMAS ARCHITECTS 4882 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: 619.246.8044	REVISION 6:	
LOT NUMBER:	7 & 8	REVISION 5:	
APN:	534-21-27-00 & 534-21-26-00	REVISION 4:	
PROJECT NAME:	27 STREET UNITS	REVISION 3:	
SHEET TITLE:	TITLE SHEET / SITE PLAN	REVISION 2:	
		REVISION 1:	
		ORIGINAL DATE:	10-22-14

SHEET COUNT:	1 OF 11
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27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA 92103

STOSH THOMAS ARCHITECTS
4882 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-8044
FAX: (619) 355-6023

DATE: 07.10.14
SCALE: 1/16" = 1'-0"
DRAWN: STP
JOB: 1321
SHEET: T-1

TOPOGRAPHIC SURVEY OF
911 27th STREET
SAN DIEGO, CA 92102
JANUARY 16, 2014

LEGEND

- 202.5 SPOT ELEVATION
- 200 CONTOUR ELEVATION
- AC ASPHALT PAVING
- FC FACE OF CURB
- TC TOP OF CURB
- FL FLOW LINE
- OH OVERHEAD UTILITY LINES
- EG EXISTING GROUND
- FNC FENCE
- CONC. CONCRETE PAVING
- WM WATER METER
- GM GAS METER
- WV WATER VALVE
- SMH SEWER MANHOLE
- X EXISTING CHAIN LINK FENCE
- EXISTING MASONRY BLOCK WALL

SCALE 1" = 10'

BENCH MARK:

BENCH MARK FOR THIS SURVEY IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS PLUG AT THE SOUTHWEST CORNER OF 27th STREET AND "E" STREET.
ELEVATION: 196.13
DATUM: MEAN SEA LEVEL

NOTES:

1. SITE ADDRESS: 911 27th STREET, SAN DIEGO, CA. 92102
2. LEGAL DESCRIPTION: ALL OF LOT 7 AND THE WEST 29 FEET OF LOT 8 IN BLOCK 1 OF KARRIE ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1614, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 3, 1913.
3. ASSESSOR'S PARCEL NO. 534-421-26 & 27
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
5. THE PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE TAKEN FROM RECORD INFORMATION AND ARE SUBJECT TO VERIFICATION BY A FIELD SURVEY.

KAPPA Surveying & Engineering, Inc.
8737 La Mesa Blvd., La Mesa, CA 91942
Phone: 619-465-8948 Fax: 619-465-8410



Allen R. A. Turner III PLS DATE

PREPARED FOR:

ALMERIA INVESTMENTS, LP
P.O. BOX 232626
ENCINITAS, CA. 92023

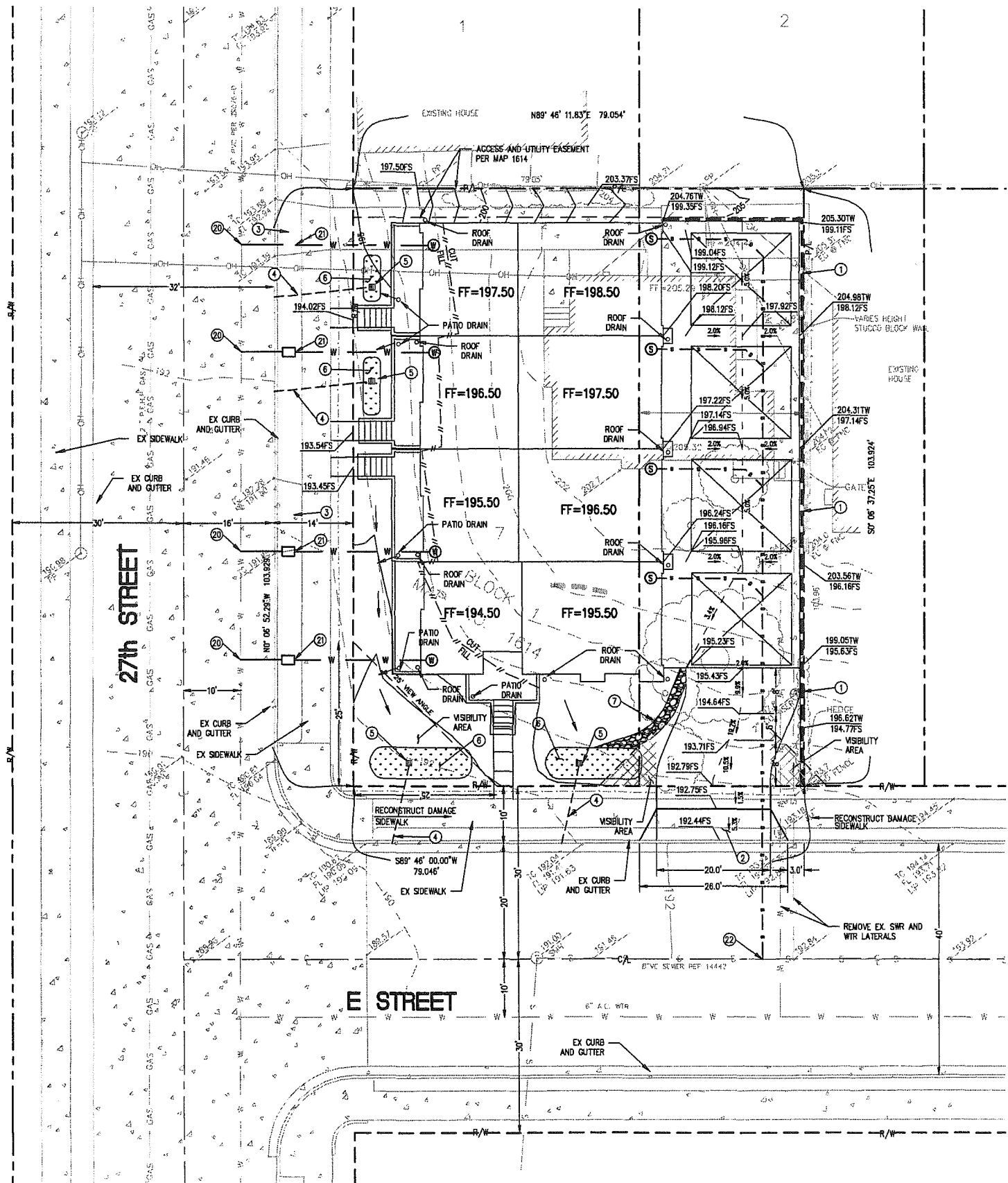
SHEET TITLE

PREPARED BY:	STOSH THOMAS ARCHITECTS	REVISION 6:	
LOT NUMBER:	788	REVISION 5:	
APN:	534-21-27-00	REVISION 4:	
PROJECT NAME:	27TH STREET UNITS	REVISION 3:	
SHEET TITLE:	SURVEY	REVISION 2:	
SHEET COUNT:	2 OF 13	REVISION 1:	
		ORIGINAL DATE:	04-15-14

STOSH THOMAS ARCHITECTS
4682 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-9044
FAX: (619) 235-6053

DATE: 01.10.14
SCALE:
DRAWN:
JNL:
SHEET: **6-1**

PRELIMINARY GRADING PLAN FOR 27TH STREET UNITS



CONSTRUCTION NOTES:

- 1. CONSTRUCT RETAINING WALL
- 2. CONSTRUCT DRIVEWAY SDG-180
- 3. REMOVE EX. DWY. REPLACE WITH CURB AND GUTTER PER SDRSD C-2, SIDEWALKS PER SDG-155
- 4. CONSTRUCT SIDEWALK UNDERDRAIN PER SDRSD D-27
- 5. CONSTRUCT STORM DRAIN INLET
- 6. CONSTRUCT VEGETATED BMP SEE DETAIL BELOW
- 7. GRAVEL SWALE

UTILITY NOTES:

- 20. CONSTRUCT WATER LATERAL PER CITY STANDARDS
- 21. CONSTRUCT WATER METER PER CITY STANDARDS
- 22. CONSTRUCT 6" PVC SEWER LATERAL CITY STANDARDS

NOTES:

- 1. NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY.
- 2. ENGINEERING REVIEW HAS DETERMINED THE EXISTING CURB RAMP AT THE NORTHEAST CORNER OF 27TH STREET AND E STREET IS CURRENT ADA COMPLIANT AND TO CURRENT CITY STANDARDS.
- 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- 4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- 6. ALL NON-UTILIZED PORTIONS OF THE EXISTING DRIVEWAYS SHALL BE CLOSED WITH CURRENT CITY STANDARD CURB, GUTTER, AND SIDEWALK.
- 7. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
- 8. ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- 9. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

ENGINEER

CIVIL LANDWORKS CORP.
110 COPPERWOOD WAY, SUITE P
OCEANSIDE, CA 92058
760-845-3081

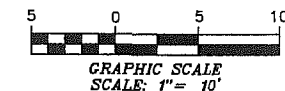
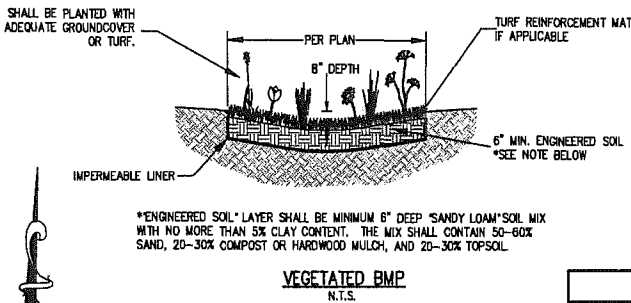


GRADING QUANTITIES

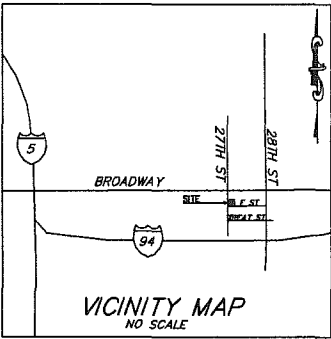
GRADED AREA	0.16 [ACRES]	MAX CUT DEPTH	9.0 [FT]
GRADED AREA PERCENT	95 [%]	MAX CUT SLOPE RATIO (2:1) MAX	2:1
CUT QUANTITIES	1080 [CYD]	MAX FILL DEPTH	1.0 [FT]
FILL QUANTITIES	10 [CYD]	MAX FILL SLOPE RATIO (2:1) MAX	2:1
IMPORT/EXPORT	1,080 [CYD]		
RETAINING WALL LENGTH	125 [FT]		
MAX. HEIGHT	7.4 [FT]		

THIS PROJECT PROPOSES TO EXPORT 820 CUBIC YARDS OF MATERIAL TO THIS SITE. ALL EXPORT MATERIAL SHALL BE RETAINED AT A LEGAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

THESE QUANTITIES DO NOT INCLUDE ANY LOSSES DUE TO SHRINKAGE, SUBSIDENCE, OVEREXCAVATION, OR ANY SPECIAL REQUIREMENTS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.



Civil Landworks
110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058
PH: 760-845-3081 • info@civillandworks.com



LEGEND:

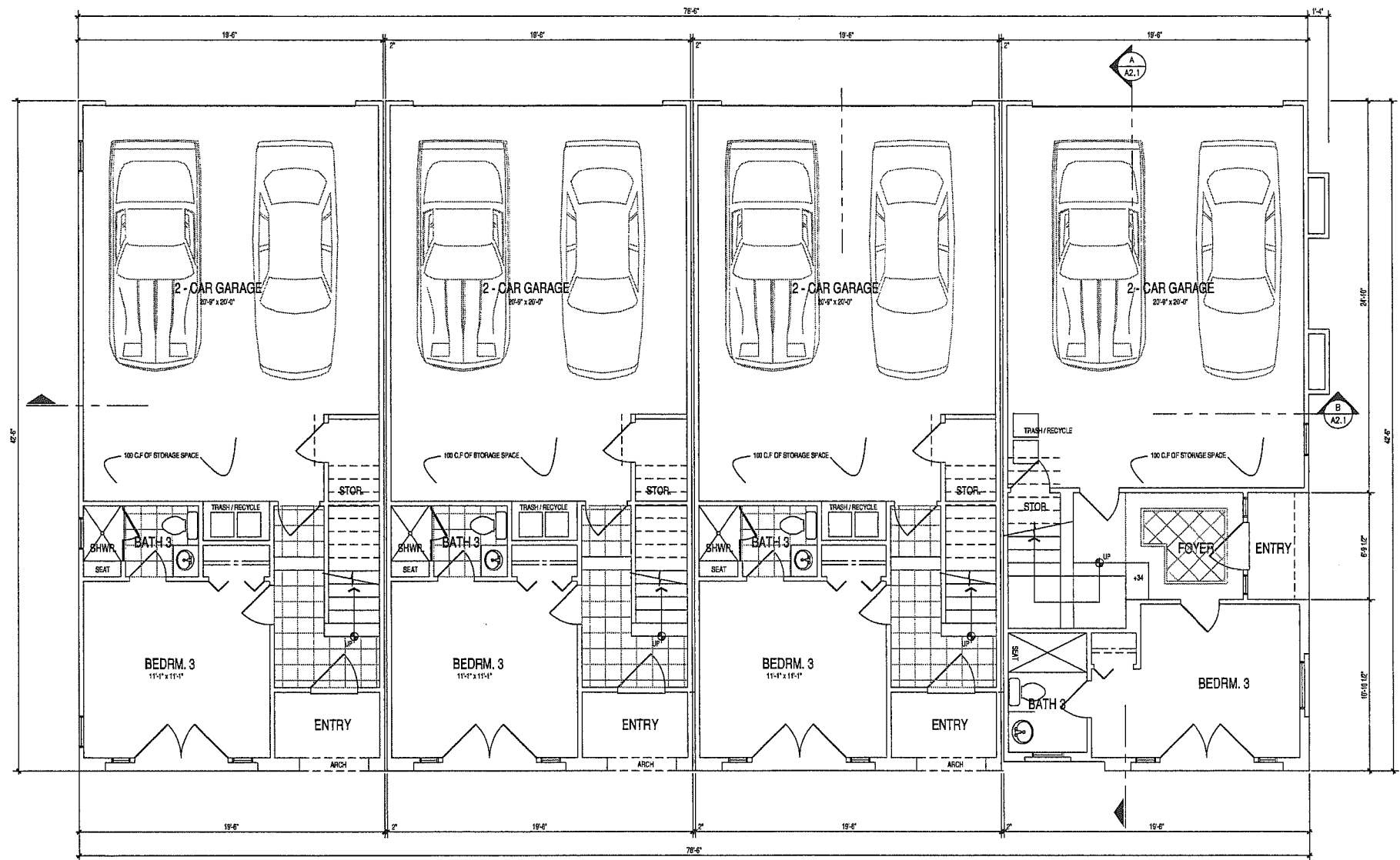
- PROPERTY LINE
- RIGHT OF WAY
- CENTERLINE
- DAYLIGHT LINE
- CONCRETE DRIVEWAY
- DIRECTION OF DRAINAGE
- PROPOSED DRAINAGE DITCH
- PR. STORM DRAIN LINE
- SIDEWALK UNDERDRAIN
- PR. STORM INLET
- MASONRY RETAINING WALL
- GRAVEL SWALE

27TH STREET UNITS
911 27TH STREET
SAN DIEGO, CA. 92103

SHEET TITLE

PREPARED BY:	CIVIL LANDWORKS 110 COPPERWOOD WAY SUITE P OCEANSIDE, CA 92058 PHONE: 760.908.8745	REVISION 6:	
LOT NUMBER:	7&8	REVISION 5:	
APN:	534-21-27-00 &534-21-26-00	REVISION 4:	
PROJECT NAME:	27TH STREET UNITS	REVISION 3:	
SHEET TITLE:	PRELIMINARY GRADING	REVISION 2:	12-17-14
SHEET COUNT:	3 OF 13	REVISION 1:	10-24-14
		ORIGINAL DATE:	04-15-14

DATE:	12.17.14
SCALE:	
DRAWN:	
CHECKED:	
SHEET:	C-1



FIRST FLOOR PLAN

1/4" = 1'-0"

SHEET TITLE

PREPARED BY: STOSH THOMAS ARCHITECTS
4682 NEBO DRIVE STE. 200
LA MESA, CA 91941
PHONE: 619.246.5044

LOT NUMBER: 7 & 8

APN: 534-21-27-00 & 534-21-28-00

PROJECT NAME: 27 STREET UNITS

SHEET TITLE: FIRST FLOOR PLAN

SHEET COUNT: 4 OF 11

REVISION 6:
REVISION 5:
REVISION 4:
REVISION 3:
REVISION 2:
REVISION 1:

ORIGINAL DATE: 10-22-14

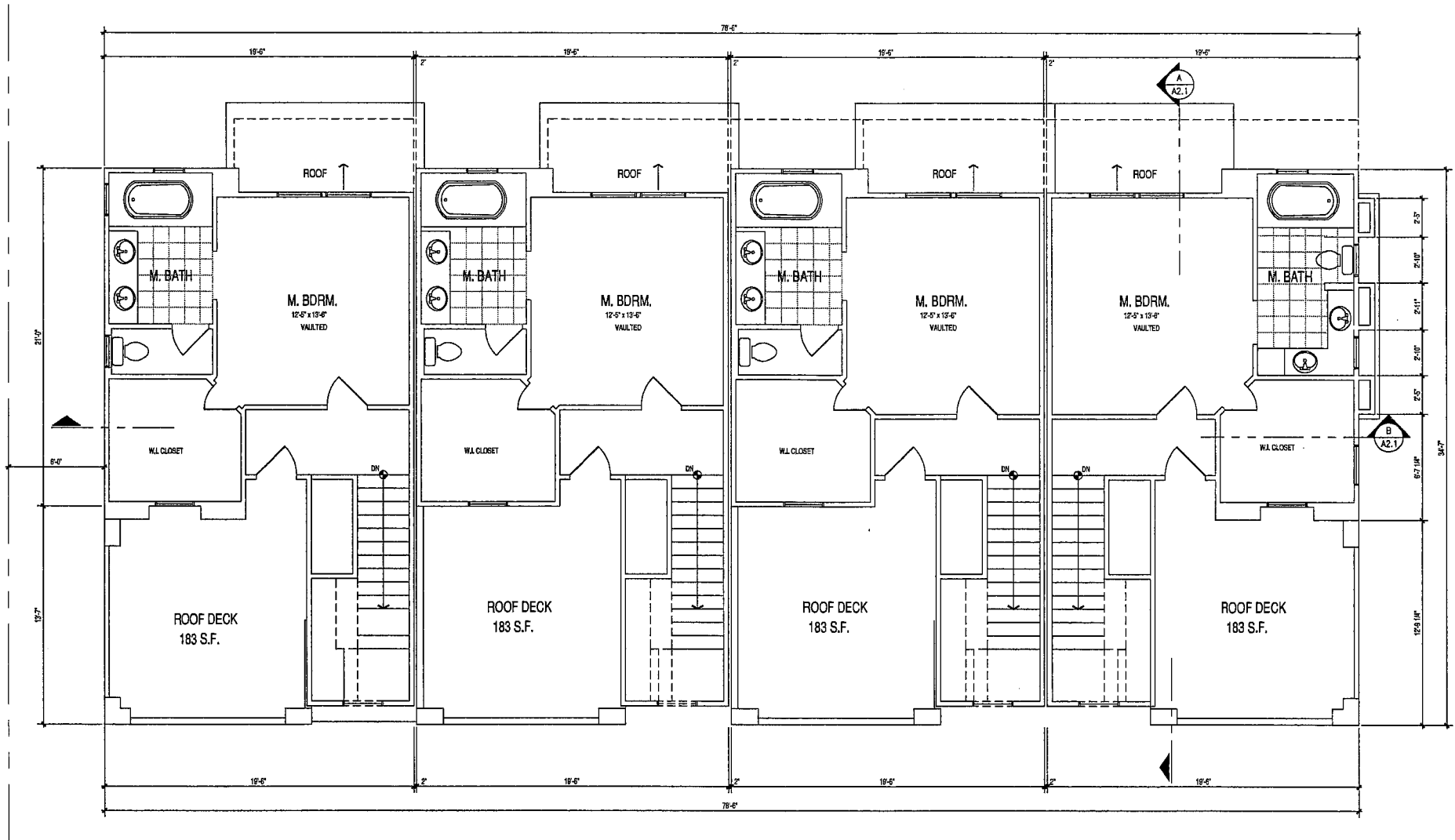
STOSH THOMAS ARCHITECTS

4682 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-5044
FAX: (619) 390-4029

DATE: 07.10.14
SCALE: 1/4"=1'-0"
DRAWN: STP
JOB: 1321
SHEET: **AL1**

27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA. 92103

DATE	DESCRIPTION	BY
07/20/14	SUBMITTAL	1
10/22/14	RESUBMITTAL	2
10/16/14	RESUBMITTAL	3



THIRD FLOOR PLAN
1/4"=1'-0"

SHEET TITLE			
PREPARED BY:	STOSH THOMAS ARCHITECTS 4682 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: 619.246.9044	REVISION 6: REVISION 5: REVISION 4: REVISION 3: REVISION 2: REVISION 1:	ORIGINAL DATE: 10-22-14
LOT NUMBER:	7 & 8		
APN:	534-21-27-00 & 534-21-28-00		
PROJECT NAME:	27 STREET UNITS		
SHEET TITLE:	THIRD FLOOR PLAN		
SHEET COUNT:	6 OF 11		

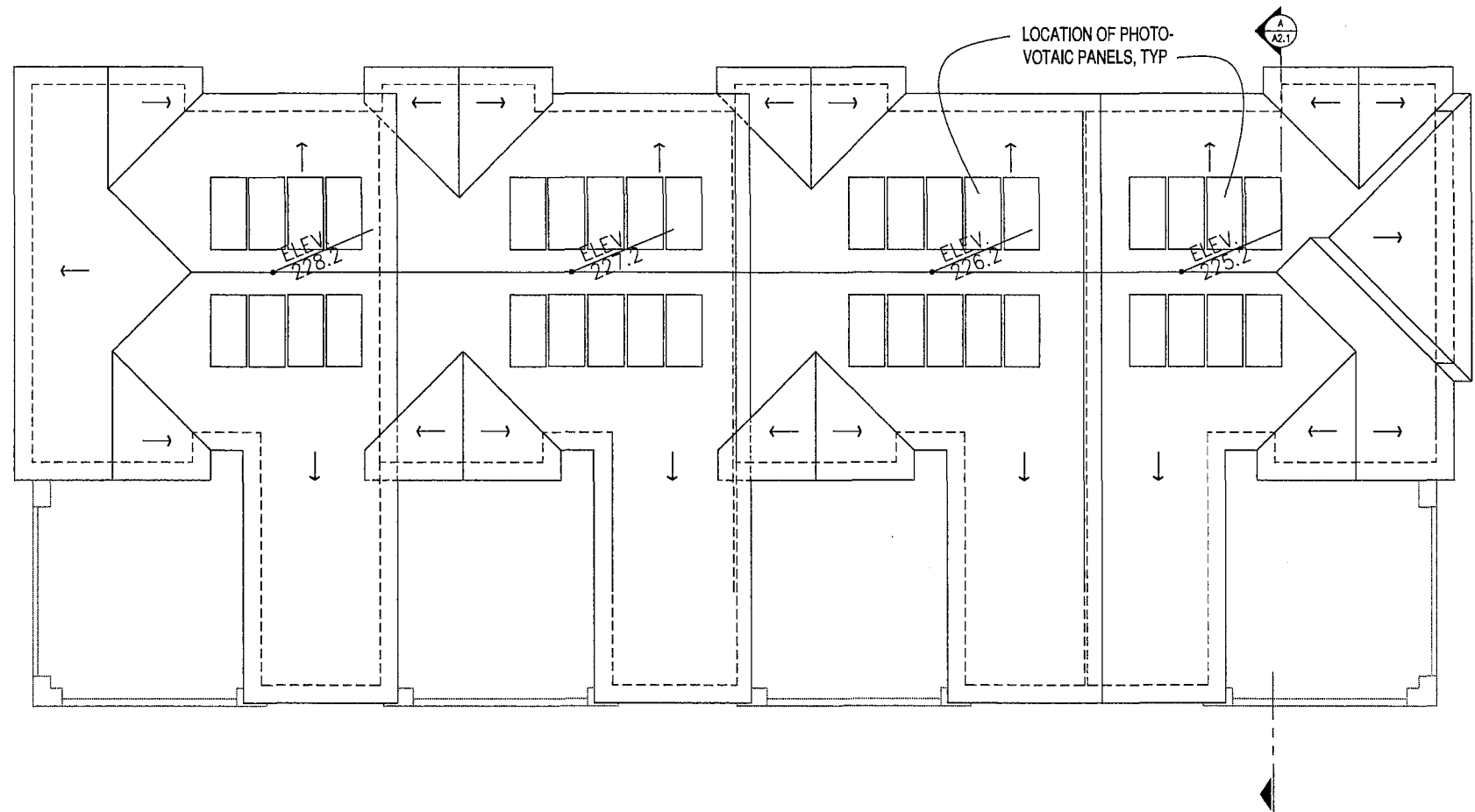
DATE	REVISION	DESCRIPTION
07-20-14	1	SUBMITTAL
10-22-14	2	RESUBMITTAL

27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA. 92103

STOSH
THOMAS
ARCHITECTS

4682 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-9044
FAX: (619) 335-4023

DATE:
SCALE: 1/4"=1'-0"
DRAWN: STP
JOB: 1321
SHEET
A1-3



ROOF PLAN

1/4"=1'-0"

SHEET TITLE			
PREPARED BY:	STOSH THOMAS ARCHITECTS 4882 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: 619.246.8044	REVISION 6: REVISION 5: REVISION 4: REVISION 3: REVISION 2: REVISION 1:	ORIGINAL DATE: 10-22-14
LOT NUMBER:	7 & 8		
APN:	534-21-27-00 & 534-21-28-00		
PROJECT NAME:	27 STREET UNITS		
SHEET TITLE:	ROOF PLAN		
SHEET COUNT:	7 OF 11		

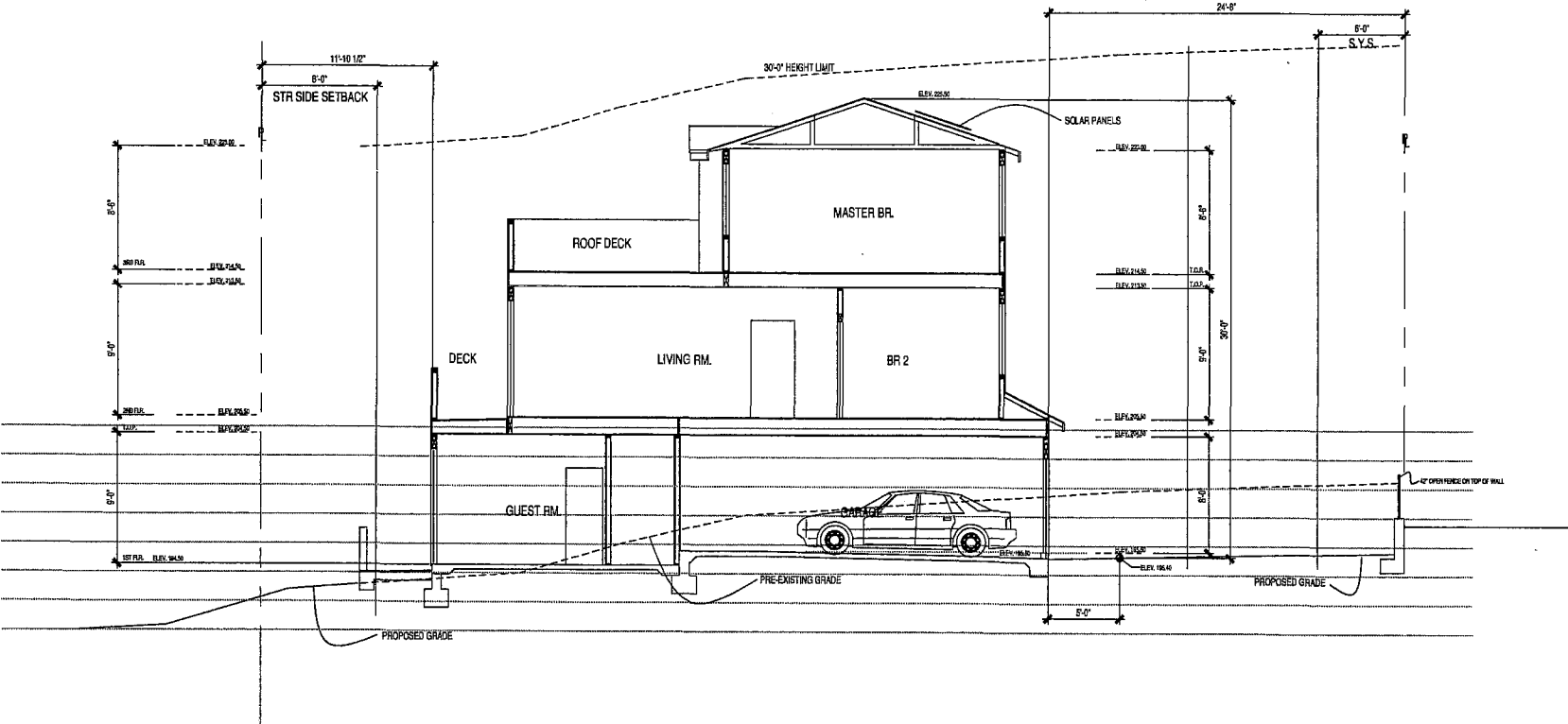
DATE	REVISION	DESCRIPTION
07/20/14	1	SCHEMATIC
10/21/14	2	PRESENTATION

27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA. 92103

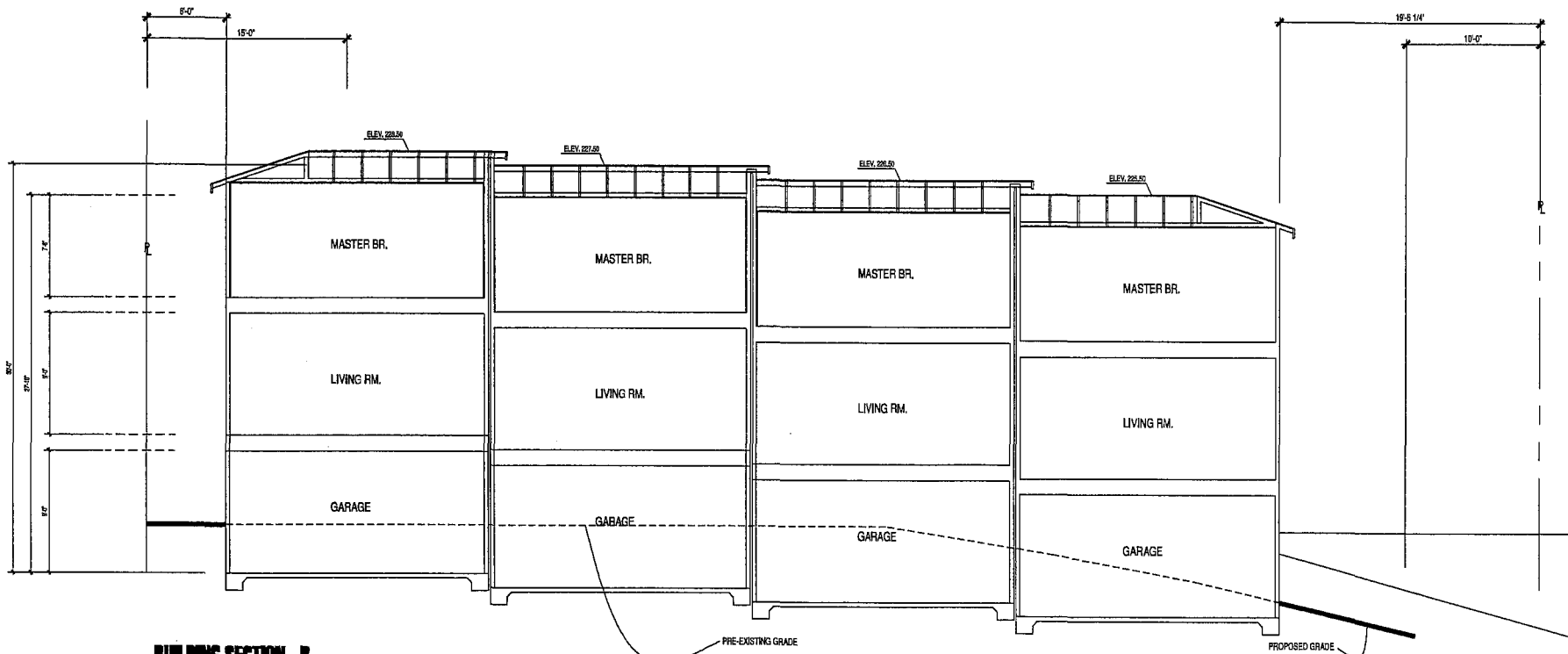
STOSH
THOMAS
ARCHITECTS

4882 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-8044
FAX: (619) 350-4029

DATE:
SCALE: 1/4"=1'-0"
DRAWN: STP
JOB: 1321
SHEET
A1-4



BUILDING SECTION - A
3/16"=1'-0"



BUILDING SECTION - B
3/16"=1'-0"

SHEET TITLE			
PREPARED BY:	STOSH THOMAS ARCHITECTS 4662 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: 619.246.9044	REVISION 6:	
LOT NUMBER:	7 & 8	REVISION 5:	
APN:	634-21-27-00 & 634-21-28-00	REVISION 4:	
PROJECT NAME:	27 STREET UNITS	REVISION 3:	
SHEET TITLE:	BUILDING SECTION	REVISION 2:	
SHEET COUNT:	8 OF 11	REVISION 1:	
		ORIGINAL DATE:	10-22-14

ISSUE	NO. OF SUBMISSION	DATE
1	SUBMITTAL	07-25-14
2	RESUBMITTAL	10-22-14

27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA. 92103

STOSH
THOMAS
ARCHITECTS

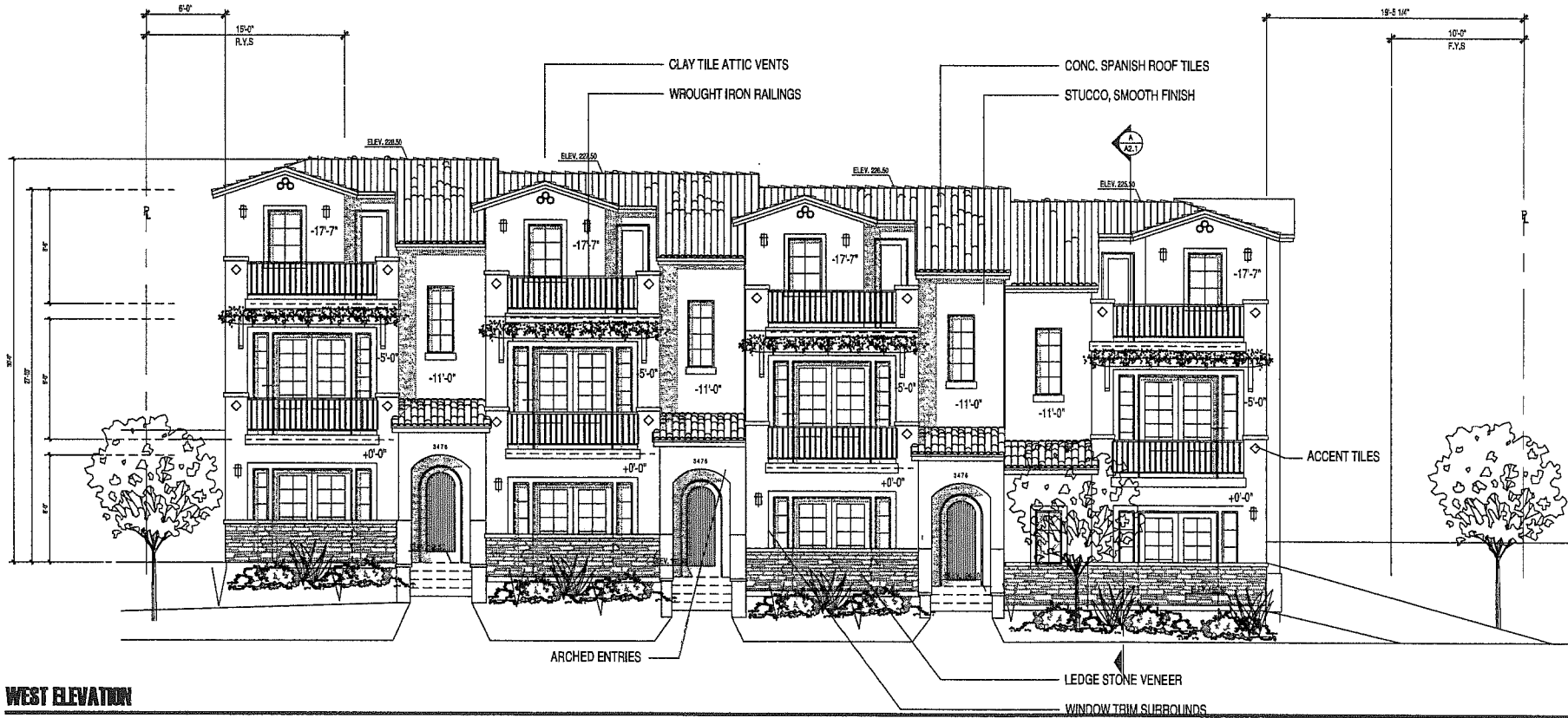
4662 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-9044
FAX: (619) 330-8025

DATE:	
SCALE:	3/16" = 1'-0"
DRAWN:	STP
JOB:	1321
SHEET	
A2-1	



EAST ELEVATION

3/16" = 1'-0"



WEST ELEVATION

3/16" = 1'-0"

NOTE: SILVER ALUMINUM WINDOWS ARE NOT ALLOWED AND NO MORE THAN 2 TYPES OF WALL SIDING SHALL BE USED.

ARCHITECTURAL ELEMENTS (SPANISH STYLE)

- EXTERIOR STUCCO
- WROUGHT IRON RAILINGS
- CLAY DRAIN TILE ATTIC VENTS
- WINDOW TRIM / SILL TRIMS
- LEDGE STONE VENEER
- ARCHED ENTRIES
- WOOD TRELLISES
- ACCENTS TILES

NOTE: CODES SECTION 113.0301 9b) (3) TABLE 158-03D ALLOWS 20% OF THE LENGTH OF THE BUILDING TO EXCEED THE 20 FOOT HEIGHT LIMIT

SHEET TITLE			
PREPARED BY:	STOSH THOMAS ARCHITECTS 4682 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: 619.246.9044	REVISION 6:	
LOT NUMBER:	7 & 8	REVISION 5:	
APN:	534-21-27-00 & 534-21-28-00	REVISION 4:	
PROJECT NAME:	27 STREET UNITS	REVISION 3:	
SHEET TITLE:	EXTERIOR ELEVATIONS	REVISION 2:	
SHEET COUNT:	9 OF 11	REVISION 1:	
		ORIGINAL DATE:	10-22-14

DATE	10/22/14	07/26/14	10/22/14
REVISION	1	2	
DESCRIPTION	SUBMITTAL	RESUBMITTAL	

27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA. 92103

STOSH
THOMAS
ARCHITECTS

4682 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-9044
FAX: (619) 350-6023

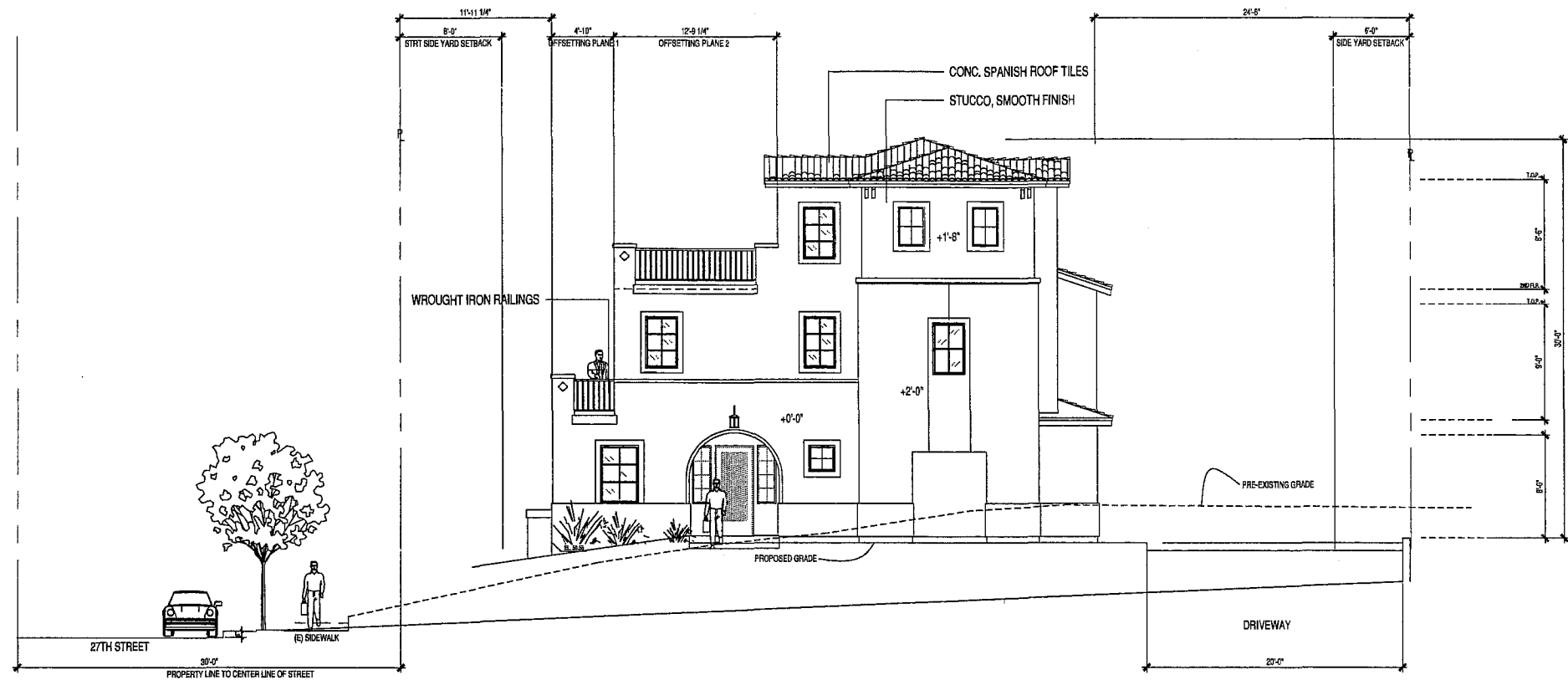
DATE: 10-22-14

SCALE: 3/16"=1'-0"

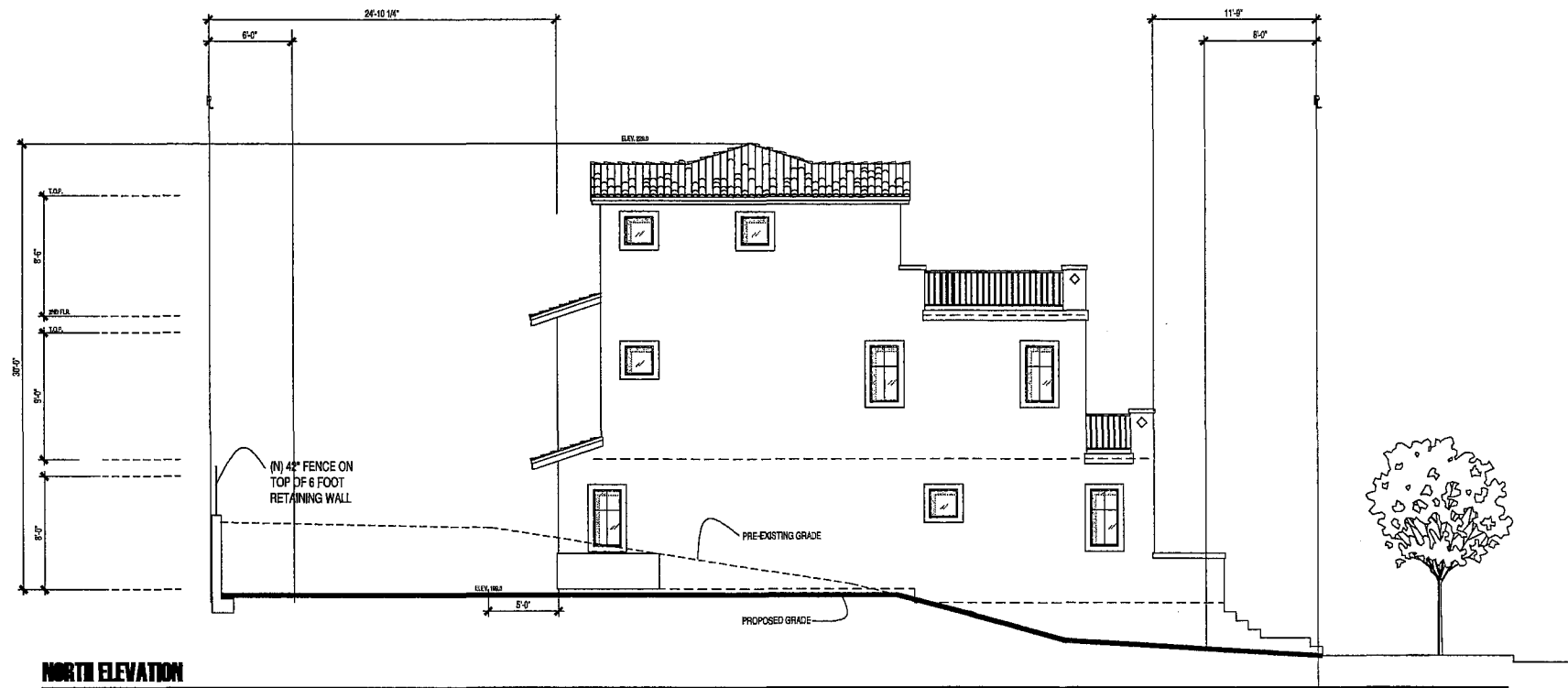
DRAWN: STP

JOB: 1321

SHEET: A3.1



SOUTH ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"

SHEET TITLE			
PREPARED BY:	STOSH THOMAS ARCHITECTS 4882 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: (619) 246-8044	REVISION 6: REVISION 5: REVISION 4: REVISION 3: REVISION 2: REVISION 1:	ORIGINAL DATE: 10-22-14
LOT NUMBER:	7 & 8		
APN:	534-21-27-00 & 534-21-26-00		
PROJECT NAME:	27 STREET UNITS		
SHEET TITLE:	EXTERIOR ELEVATIONS		
SHEET COUNT:	10 OF 11		

DATE	07/25/14	10/22/14
REVISION	1	2
DESCRIPTION	SUBMITTAL	RESUBMITTAL

27 STREET UNITS
911 27TH STREET
SAN DIEGO, CA, 92103

STOSH THOMAS ARCHITECTS
4882 NEBO DR.
LA MESA, CA 91941
PH: (619) 246-8044
FAX: (619) 330-8023

DATE:
SCALE: 3/16" = 1'-0"
DRAWN: STP
DATE: 12/1
SHEET
A32

WATER EFFICIENT LANDSCAPE WORKSHEET

SECTION 82. ESTIMATED TOTAL WATER USE (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:


$$ETWU = [(10)(0.62)(\text{Total of Column J from the Irrigation Information Table})]$$

Where:
ETWU = Estimated total water use per year (gallons)
Eto = Reference Evapotranspiration (inches)

Show value: Eto = 47.0 in./yr.

Show calculation:
(47.0) (0.62) (582) = 16,959

Estimated Total Water Use = 16,959 gallons per year.



Signature

11/05/2014

Date

- 1 ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- 2 THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- 3 THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- 4 THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- 5 THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS NECESSARY.
- 6 DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- 7 CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- 8 CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER-AS NOTED.
- 9 ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.
- 10 ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE.
- 11 ALL VALVE BODIES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND NOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.
- 12 ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDING, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.

STREET YARD

REMAINING YARD

VEHICULAR USE AREA BOUNDARY

V.U.A. OUTSIDE OF STREET YARD

V.U.A. IN STREET YARD

E STREET

HYDROZONE #1 - 802 SF.

HYDROZONE #2 - 291 SF.

HYDROZONE #3 - 853 SF.

HYDROZONE #4 - 499 SF.

HYDROZONE #5 - 278 SF.

SHEET TITLE			
PREPARED BY:	STOSH THOMAS ARCHITECTS 4582 NEBO DRIVE STE. 200 LA MESA, CA 91941 PHONE: 619.246.9044		
LOT NUMBER:	7&8		
APN:	534-21-27-00 & 534-21-26-00	REVISION 6:	
PROJECT NAME:	27TH STREET UNITS	REVISION 5:	
		REVISION 4:	
SHEET TITLE:	LANDSCAPE DEVELOPMENT PLAN	REVISION 3:	02-26-15
		REVISION 2:	02-02-15
		REVISION 1:	12-16-14
SHEET COUNT:	13 OF 13	ORIGINAL DATE:	04-15-14

27TH STREET UNITS

**LANDSCAPE
LOGIC**

TONY VITALE
www.Mv.LandscapeLogic.com

4455 MORENA BLVD, #110
SAN DIEGO, CA 92117
PH: 619.446.6482

ALL IDEAS, DESIGN ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF TONY VITALE AND WERE CREATED, EVOLVED, & DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TONY VITALE.

02 FEBRUARY 2015

L2

OF 2 SHEETS

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004717

SITE DEVELOPMENT PERMIT NO. 1298226
27TH STREET UNITS - PROJECT NO. 370917
PLANNING COMMISSION

This Site Development Permit No. 1298226 is granted by the Planning Commission of the City of San Diego to the ALMERIA INVESTMENTS, LP, a California Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 158.0206. The 0.188-acre site is located at 911 27th Street in the GH-1500 Zone within the Golden Hill Planned District, the Greater Golden Hill Plan area, the Airport Influence Area Review Area 1, the 60 to 65 decibel (dB) Community Noise Equivalent Level, the Federal Aviation Administration Part 77 for the San Diego International Airport, Transit Area Overlay Zone, and Council District 3. The project site is legally described as: all of Lot 7 and the West 29 feet of Lot 8 in Block 1 of Karrie Addition, in the City of San Diego, State of California, according to Map thereof No. 1614, filed in the Office of the County Recorder of San Diego County, December 3, 1913.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of an existing single-family dwelling unit and to construct a four (4) unit residential apartment complex, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 30, 2015, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site;
- b. A deviation from SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback where regulations require a minimum 15 feet;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Construction of associated site improvements (i.e. hardscape and site walls).
- f. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **July 30, 2018**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall assure that all structures shall be sound attenuated to 45 db CNEL interior noise level.

13. Prior to the issuance of any building permits, the Owner/Permittee shall record an overflight notification with the San Diego County Recorder or alternative method of notification approved by the San Diego County Airport Land Use Commission (ALUC).

14. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the recorded overflight notification and a note shall be placed on all building plans indicating that an overflight notification has been recorded against the property. The note shall include the County Recorder's recording number for the overflight notification.

ENGINEERING REQUIREMENTS:

15. The project proposes to export 1080 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 20 foot wide driveway, adjacent to the site on E Street, satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on 27th Street, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on 27th Street and E Street, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
23. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

24. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
25. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).
27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and

equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

29. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

32. No fewer than 8 parking spaces (8 spaces currently provided) shall be maintained on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

33. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director, the City Engineer.

34. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

35. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

36. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 20, 2015, and Resolution No. _____-PC.

Permit Type/PTS Approval No.: SDP No. 1298226
Date of Approval: July 30, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ALMERIA INVESTMENTS, LP, a California Limited Partnership
Owner/Permittee

By _____

Michael Fulton
Director /Secretary of Almeria Investments, LP

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION
RESOLUTION NO. _____-PC
SITE DEVELOPMENT PERMIT NO. 1298226
27TH STREET UNITS - PROJECT NO. 370917

WHEREAS, ALMERIA INVESTMENTS, LP, a California Limited Partnership, Owner and Permittee, filed an application with the City of San Diego for a permit to demolish of an existing single-family dwelling unit and to construct a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1298226), on portions of a 0.188-acre site;

WHEREAS, the project site is located at 911 27th Street in the GH-1500 Zone within the Golden Hill Planned District, the Greater Golden Hill Plan area, the Airport Influence Area Review Area 1, the 60 to 65 decibel (dB) Community Noise Equivalent Level, the Federal Aviation Administration Part 77 for the San Diego International Airport, Transit Area Overlay Zone, and Council District 3;

WHEREAS, the project site is legally described as: all of Lot 7 and the West 29 feet of Lot 8 in Block 1 of Karrie Addition, in the City of San Diego, State of California, according to Map thereof No. 1614, filed in the Office of the County Recorder of San Diego County, December 3, 1913;

WHEREAS, on March 25, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Article 19, Section 15332 (Infill Development Projects); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 20, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1298226 and pursuant to Resolution No. HO-6823, approved Site Development Permit No. 1298226;

WHEREAS, on June 3, 2015, Carl Rossi appealed the Hearing Officer decision to the Planning Commission;

WHEREAS, the matter was set for public hearing on July 30, 2015, testimony having been heard, evidence having been submitted, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated July 30, 2015.

FINDINGS:

I. Site Development Permit - Section 126.0504(A)

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 911 27th Street in the GH-1500 Zone within the Golden Hill Planned District (GHPD) and the Greater Golden Hill Community Plan (GGHCP). The zoning designation is a multi-family residential zone that requires 1,500 square feet of lot area per dwelling unit. The GGHCP designates the proposed project site for Medium Residential land use at 15-29 dwelling units per acre (DU/AC). The project site, occupying 0.188-acres, could accommodate five dwelling unit based on the underlying zone and 3-5 dwelling units based on the community plan.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to San Diego Municipal Code (SDMC) Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone require a minimum of 15 feet. With the approval of the requested deviation, the proposed project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted GGHCP, the GHPD, and the SDMC. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone require a minimum of 15 feet. With the approval of the requested deviation, the proposed

project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit (SDP) No. 1298226, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone requires a minimum of 15 feet. The GH-1500 Zone requires a minimum of a 10 foot front yard setback; however, to comply with the 25 foot visibility area at the corner of 27th Street and E Street, the structure along E Street is setback to 19 foot 5 inches. The project proposes a 6 foot rear yard setback along the northern property line, which is equivalent to the interior yard setback requirement of the GH-1500 Zone, to allow for the development to establish a front façade and entrance for three of the units along 27th Street, and to create architectural harmony with the surrounding character of the neighborhood and community.

The requested deviation as it relates to the proposed design of the project, the property configuration with its topographic conditions, the visibility area impacts, and the surrounding development is appropriate and will result in a more desirable project that efficiently utilizes the site, while meeting the purpose and intent of the development regulations. For all of these reasons, including the justifications listed above and with the approval of the deviation, the proposed project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in

effect for this site per the adopted GGHCP, the GHPD, and the Land Development Code (LDC).

II. Golden Hill Planned District (GHPD) -Section 158.0206(d)

1. The proposed project design meets the purpose and intent of the Golden Hill Planned District and will be compatible with the goals and objectives of the Golden Hill Community Plan (1988), the Progress Guide and General Plan of the City of San Diego, the Golden Hill Planned District Design Criteria and Guidelines as adopted by Council and the design studies listed in Section 158.0201(a);

The project site is located at 911 27th Street in the GH-1500 Zone within the GHPD and the GGHCP. The zoning designation is a multi-family residential zone that requires 1,500 square feet of lot area per dwelling unit. The GGHCP designates the proposed project site for Medium Residential land use at 15-29 DU/AC. The project site, occupying 0.188-acres, could accommodate five dwelling unit based on the underlying zone and 3-5 dwelling units based on the community plan.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone requires a minimum of 15 feet. The GH-1500 Zone requires a minimum of a 10 foot front yard setback; however, to comply with the 25 foot visibility area at the corner of 27th Street and E Street, the structure along E Street is setback to 19 foot 5 inches. The project proposes a 6 foot rear yard setback along the northern property line, which is equivalent to the interior yard setback requirement of the GH-1500 Zone, to allow for the development to establish a front façade and entrance for three of the units along 27th Street, and to create architectural harmony with the surrounding character of the neighborhood and community.

The requested deviation as it relates to the proposed design of the project, the property configuration with its topographic conditions, the visibility area impacts, and the surrounding development is appropriate and will result in a more desirable project that efficiently utilizes the site, while meeting the purpose and intent of the development regulations. For all of these reasons, including the justifications listed above and with the approval of the deviation, the proposed project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted GGHCP, the GHPD, and the General Plan.

2. The proposed development will be compatible with existing and planned land uses on adjoining properties, will not constitute a disruptive element to the neighborhood or community, and will create architectural harmony with the preferred character of the neighborhood and community;

The project site is located at 911 27th Street in the GH-1500 Zone within the GHPD and the GGHCP. The zoning designation is a multi-family residential zone that requires 1,500 square feet of lot area per dwelling unit. The GGHCP designates the proposed project site for Medium Residential land use at 15-29 DU/AC. The project site, occupying 0.188-acres, could accommodate five dwelling unit based on the underlying zone and 3-5 dwelling units based on the community plan.

The surrounding properties have been previously graded and developed with existing single-family dwelling units to the east and west, and multi-family development to the north and south. The properties to the north are zoned GH-1250 within the GHPD, and the land use designation is Medium High Residential land use at 29-44 DU/AC. The properties to the east, west and south are zoned GH-1500 within the GHPD, and the land use designation is Medium Residential land use at 15-29 DU/AC.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone requires a minimum of 15 feet. The GH-1500 Zone requires a minimum of a 10 foot front yard setback; however, to comply with the 25 foot visibility area at the corner of 27th Street and E Street, the structure along E Street is setback to 19 foot 5 inches. The project proposes a 6 foot rear yard setback along the northern property line, which is equivalent to the interior yard setback requirement of the GH-1500 Zone, to allow for the development to establish a front façade and entrance for three of the units along 27th Street, and to create architectural harmony with the surrounding character of the neighborhood and community.

The requested deviation as it relates to the proposed design of the project, the property configuration with its topographic conditions, the visibility area impacts, and the surrounding development is appropriate and will result in a more desirable project that efficiently utilizes the site, while meeting the purpose and intent of the development regulations. For all of these reasons, including the justifications listed above and with the approval of the deviation, the proposed project meets all applicable regulations and policy documents, and the project is

consistent with the recommended land use, design guidelines, and development standards in effect for this site. Therefore, the proposed development is compatible with existing and planned land uses on adjoining properties, and would not constitute a disruptive element to the neighborhood or community, and has been designed to create architectural harmony with the preferred character of the neighborhood and community per the GHPD and the adopted GGHCP.

3. The proposed development, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a 0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone requires a minimum of 15 feet. With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in SDP No. 1298226, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Therefore, the proposed development will not be detrimental to the public health, safety and welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

4. The proposed development complies with all other relevant regulations in the City of San Diego Municipal Code.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a three-story, 5,422 square foot, four unit residential apartment complex, with attached two car garages totaling 2,040 square feet, and associated site improvements on a

0.188-acre site. Each of the units will contain 3 bedrooms, 3 ½ bathrooms, living room, kitchen, roof deck, and an attached two car garage on the main level that is accessed from E Street. Three of the unit entrances are along 27th Street and the fourth unit entrance is fronting E Street. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project proposes a deviation to SDMC Section 158.0301(b)(2)(B) and Table 158-03C to allow for a 6 foot rear yard setback along the northern property line, where the GH-1500 Zone requires a minimum of 15 feet. The GH-1500 Zone requires a minimum of a 10 foot front yard setback; however, to comply with the 25 foot visibility area at the corner of 27th Street and E Street, the structure along E Street is setback to 19 foot 5 inches. The project proposes a 6 foot rear yard setback along the northern property line, which is equivalent to the interior yard setback requirement of the GH-1500 Zone, to allow for the development to establish a front façade and entrance for three of the units along 27th Street, and to create architectural harmony with the surrounding character of the neighborhood and community.

The requested deviation as it relates to the proposed design of the project, the property configuration with its topographic conditions, the visibility area impacts, and the surrounding development is appropriate and will result in a more desirable project that efficiently utilizes the site, while meeting the purpose and intent of the development regulations. For all of these reasons, including the justifications listed above and with the approval of the deviation, the proposed project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted GGHCP, the GHPD, and the SDMC.

BE IT FURTHER RESOLVED that the appeal of Carl Rossi is denied; based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1298226 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1298226 a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: July 30, 2015

Internal Order No. 24004717

SAN DIEGO COUNTY
REGIONAL AIRPORT AUTHORITY

ATTACHMENT 9

P.O. BOX 82776, SAN DIEGO, CA 92138-2776
619.400.2400 WWW.SAN.ORG

September 18, 2014

Mr. Jeffrey Peterson
City of San Diego
Department of Development Services
1222 First Avenue
San Diego, CA 92101

Re: *Airport Land Use Commission Consistency Determination – 911 27th Street, City of San Diego; Construction of 4 Attached Residential Units; APN 534-421-27 & 534-21-26; San Diego International Airport - Airport Land Use Compatibility Plan – LIN-14-017; Resolution No. 2014-0019 ALUC*

Dear Mr. Peterson:

This letter is to notify the City of San Diego ("City") of the September 4, 2014, consistency determination that was made by the San Diego County Regional Airport Authority ("Authority" or "SDCRAA"), acting in its capacity as the San Diego County Airport Land Use Commission ("ALUC"), for the referenced project. The ALUC has determined that the proposed project is **conditionally consistent** with the San Diego International Airport ("SDIA") Airport Land Use Compatibility Plan ("ALUCP"). A copy of Resolution 2014-0019 ALUC, approved by the ALUC on September 4, 2014, and memorializing the consistency determination, is enclosed for your information.

The ALUC's determination that the 911 27th Street project is **conditionally consistent** with the SDIA ALUCP was made consistent with the ALUC Policies and the State Aeronautics Act provisions (Cal. Pub. Util. Code §21670-21679.5), and was based on numerous facts and findings, including those summarized below:

- (1) The proposed project involves the construction of four attached residential units.
- (2) The proposed project is located within the 60-65 dB CNEL noise contour. The ALUCP identifies residential uses located within the 60-65 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level. Therefore, as a condition of project approval, the structures must be sound attenuated to 45 dB CNEL interior noise level.
- (3) The proposed project is located outside the TSS. The proposed project is in compliance with the ALUCP airspace protection surfaces because the project sponsor has certified that notice of construction is not required to the FAA because the project is located within an urbanized area, is substantially shielded by existing structures or natural terrain, and cannot reasonably have an adverse effect on air navigation.



SAN DIEGO
INTERNATIONAL
AIRPORT

Mr. Peterson

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- (4) The proposed project is located outside all Safety Zones.
- (5) The proposed project is located within the overflight notification area. The ALUCP requires recordation of an overflight notification with the County Recorder or alternative method of notification as approved by the ALUC for new residential land uses. Therefore, as a condition of project approval, an overflight notification shall be recorded with the County Recorder or alternative method of notification as approved by the ALUC.
- (6) Therefore, if the proposed project contains the above-required conditions, the proposed project would be consistent with the SDIA ALUCP.
- (7) This ALUC action is not a "project" as defined by the California Environmental Quality Act (CEQA) Pub. Res. Code Section 21065; and is not a "development" as defined by the California Coastal Act Pub. Res. Code Section 30106.

Please contact Mr. Ed Gowens at (619) 400-2244 if you have any questions regarding the issues addressed in this letter.

Very truly yours,



Thella F. Bowens
President/CEO

TFB/EG

Enclosures: Resolution 2014-0019 ALUC

cc: Amy Gonzalez, SDCRAA, General Counsel
Ron Bolyard, Caltrans, Division of Aeronautics
Chris Schmidt, Caltrans, District 11
Tait Galloway, City of San Diego

RESOLUTION NO. 2014-0019 ALUC

A RESOLUTION OF THE AIRPORT LAND USE COMMISSION FOR SAN DIEGO COUNTY MAKING A DETERMINATION THAT THE PROPOSED PROJECT: CONSTRUCTION OF 4 ATTACHED RESIDENTIAL UNITS AT 911 27th STREET, CITY OF SAN DIEGO, IS CONDITIONALLY CONSISTENT WITH THE SAN DIEGO INTERNATIONAL AIRPORT - AIRPORT LAND USE COMPATIBILITY PLAN

WHEREAS, the Board of the San Diego County Regional Airport Authority, acting in its capacity as the Airport Land Use Commission (ALUC) for San Diego County, pursuant to §21670.3 of the California Public Utilities Code, was requested by the City of San Diego to determine the consistency of a proposed project: Construction of 4 Attached Residential Units at 911 27th Street, City of San Diego, which is located within the Airport Influence Area (AIA) for the San Diego International Airport (SDIA) Airport Land Use Compatibility Plan (ALUCP), adopted and amended in 2014; and

WHEREAS, the plans submitted to the ALUC for the proposed project indicate that it would involve the construction of four attached residential units; and

WHEREAS, the proposed project would be located within the 60-65 decibel (dB) Community Noise Equivalent Level (CNEL) noise contour, and the ALUCP identifies residential uses located within the 60-65 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level; and

WHEREAS, the proposed project is located outside the SDIA Threshold Siting Surface (TSS) and the project sponsor has certified that notice of construction is not required to the Federal Aviation Administration (FAA); and

WHEREAS, the proposed project is located outside all Safety Zones; and

WHEREAS, the proposed project is located within the overflight notification area, and the ALUCP requires recordation of an overflight notification with the County Recorder or alternative method of notification as approved by the ALUC for new residential land uses; and

WHEREAS, the ALUC has considered the information provided by staff, including information in the staff report and other relevant material regarding the project; and

Resolution No. 2014-0019 ALUC
Page 2 of 3

WHEREAS, the ALUC has provided an opportunity for the City of San Diego and interested members of the public to present information regarding this matter;

NOW, THEREFORE, BE IT RESOLVED that the ALUC determines that the proposed project: Construction of 4 Attached Residential Units at 911 27th Street, City of San Diego, is conditionally consistent with the SDIA ALUCP, which was adopted and amended in 2014, based upon the following facts and findings:

- (1) The proposed project involves the construction of four attached residential units.
- (2) The proposed project is located within the 60-65 dB CNEL noise contour. The ALUCP identifies residential uses located within the 60-65 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level. Therefore, as a condition of project approval, the structures must be sound attenuated to 45 dB CNEL interior noise level.
- (3) The proposed project is located outside the TSS. The project sponsor has certified that notice of construction is not required to the FAA because the project is located within an urbanized area, is substantially shielded by existing structures or natural terrain, and cannot reasonably have an adverse effect on air navigation.
- (4) The proposed project is located outside all Safety Zones.
- (5) The proposed project is located within the overflight notification area. The ALUCP requires recordation of an overflight notification with the County Recorder or alternative method of notification as approved by the ALUC for new residential land uses. Therefore, as a condition of project approval, an overflight notification shall be recorded with the County Recorder or alternative method of notification as approved by the ALUC.
- (6) Therefore, if the proposed project contains the above-required conditions, the proposed project would be consistent with the SDIA ALUCP.

BE IT FURTHER RESOLVED that the ALUC finds this determination is not a "project" as defined by the California Environmental Quality Act (CEQA), Cal. Pub. Res. Code §21065, and is not a "development" as defined by the California Coastal Act, Cal. Pub. Res. Code §30106.

Resolution No. 2014-0019 ALUC
Page 3 of 3

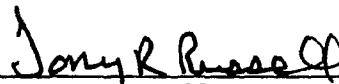
PASSED, ADOPTED AND APPROVED by the ALUC for San Diego
County at a regular meeting this 4th day of September, 2014, by the following
vote:

AYES: Commissioners: Alvarez, Desmond, Gleason, Hubbs, Robinson,
Sessom, Smisek

NOES: Commissioners: None

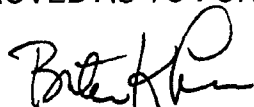
ABSENT: Commissioners: Cox

ATTEST:



TONY R. RUSSELL
DIRECTOR, CORPORATE &
INFORMATION GOVERNANCE /
AUTHORITY CLERK

APPROVED AS TO FORM:



BRETON K. LOBNER
GENERAL COUNSEL

 <p>City of San Diego Development Services 1222 First Ave. 3rd Floor San Diego, CA 92101</p> <p>THE CITY OF SAN DIEGO</p>	<p>RECEIVED</p> <p>Development Permit/ Environmental Determination Appeal Application</p> <p>DEVELOPMENT SERVICES</p>	<p>FORM</p> <p>DS-3031</p> <p>OCTOBER 2012</p>

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- ☐ Process Two Decision - Appeal to Planning Commission
☒ Process Three Decision - Appeal to Planning Commission
☐ Process Four Decision - Appeal to City Council
- ☐ Environmental Determination - Appeal to City Council
☐ Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one ☐ Applicant ☐ Officially recognized Planning Committee ☒ "Interested Person" (Per M.C. Sec. 113.0103)

Name:
Carl Rossi

E-mail Address:
Carl.rossi@sbcglobal.net

Address:
17232 Saint Andrews Drive

City:
Poway

State:
CA

Zip Code:
92064

Telephone:
858 774-6910

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Almeria Investments, LP, a California Limited Partnership

4. Project Information

Permit/Environmental Determination & Permit/Document No.:

Date of Decision/Determination:

City Project Manager:

HO-15-058 27TH STREET UNITS; PROJECT NO. 370917

May 20, 2015

Jeff Peterson

Decision (describe the permit/approval decision):

Ken Teasley Approved. Although he did ask about specific points I raised in the hearing, many issues were not known and addressed.

Adding to this, misinformation was given to him, and, Development Services staff's recommendation did not appear supported.

New issues have been revealed in studying the plans and analyzing the construction feasibility and safety not adequately addressed.

5. Grounds for Appeal (Please check all that apply)

- ☒ Factual Error
☒ Conflict with other matters
☒ Findings Not Supported

- ☒ New Information
☐ City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)
 2 additional sheets are added expanding on the items listed on this page.

Factual Errors: Both the architect and the project manager distorted facts relating the actual height of a proposed wall between my property and the developer's property. The architect by making a false and misleading statement, and the manager by not answering officer's question directly. The actual height of the fall to a motor court exceeds 7'-4" of fall only 5' from two bedrooms.

Conflict with other matters: The p/l wall has complications with a successful build. First, I own an existing wall at the property line.

The plans do not describe how my wall will be torn down, and does not indicate a replacement. The plan shows a cedar substitute.

My wall is over 7' high at the 911 27th St. property's garage, and four foot high for most of the length of my home, and tapers done.

The massing of the building was not discussed properly. Teasley asked, but staff only spoke of the north end. Not 'E' St.

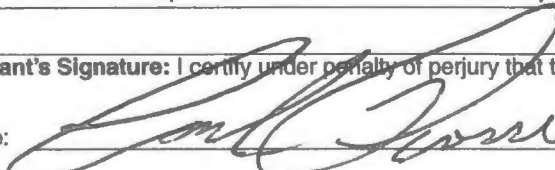
Findings Not Supported: Officer Teasley asked environmental staff if there were any negative effects on my property from the proposed development. One staff person said none. A second staff person said this is not true and there could be negative effects.

The Doc. HO-15-058 repeats many time that there is no negative effects on the neighborhood, adjoining propertys, environment.

New Information: The depth and closeness of the excavation presents a real danger both in construction and occupant safety.

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature:



Date: June 2nd, 2015

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

RECEIVED

Additional sheets from Carl Rossi on appeal of HO-15-058 to Planning Commission - City of San Diego

Factual Errors:

1) The speaker for the project (architect) stated that the wall was almost six feet high at the north east corner and tapered down to less than 30" high. The wall is 5.56' high from finished surface to top of wall at the corner. However, the wall increases to 6.86' after the first garage, 7.17' at the second garage, and 7.38' at the third garage. After the third garage it starts to taper to 3.42' at the fourth and finally 1.85' at the wall end.

2) Hearing Officer Teasley asked a question and was not correctly answered by City staff. Teasley asked about the height of the wall separating the properties, and staff answered with a horizontal set back from the proposed structure to the wall. This was very concerning as Teasley nodded but never got the answer he requested. Teasley obviously had concerns about the wall height.

Resolution:

Obtain true heights and relationships of the wall and my structure and the safety and negative effect to my home and my occupants.

Conflict with other matters:

Teasley asked staff about Massing and Alignment. Instead of responding with neighborhood comparisons, only setback information and an apartment complex to the north was mentioned. In this way, the subject has been overlooked or weakly explained away by both the GGHPC and the City Development team without concern for the E St. block. There is a view to the west from the front porch of my property that has been enjoyed since 1926. The proposed structure is not in alignment with the next eight structures on E St heading east. The project could be in alignment by reducing this project to three units instead of four. It is my understanding the City is granting the fourth unit as a special allowance and that three is the regular maximum. I would have my view maintained, and there would be a reduction of motor court traffic, helpful for obvious reasons.

Suggestion for community alignment, views, and congestion:

Reduce the number of units to three, three story type units, holding the set back in alignment with the block development. There could also be a favorable mitigation by opting for a one story studio apartment with a one car garage one story high that would maintain my views, and lessen the alignment concerns.

Findings Not Supported:

City environmental engineer stated that there would be no negative effects regarding sound or pollution from the motor court addition.

A second engineer corrected her by stating that he could not state that there would be no negative environment effects.

Additional sheets from Carl Rossi on appeal of HO 15-058 to Planning Commission - City of San Diego

Suggestion for environmental issues:

As with two dissenting votes by Golden Hill Planning Committee, City staff should not be in conflict. A minimum 5' CMU safety/sound wall over the retaining wall should be mandated to mitigate noise and air pollution from the proposed 32 car trip per day new alleyway at the joined property lines. Wall should match stucco of the contributing Spanish resources of the immediate area. Wall must not degrade, must be permanent, to protect the occupants from a fall for the long term. Wall should extend past home to the south at a minimum guardrail height of 42" until drop off is below 30".

New information: Construction concerns:

My structure, built in 1926 and very brittle in interior and exterior finishes, and is only four five feet or less from the property line where the retaining wall construction. This is a concern. I need to know that there will be no negative effects on my structure such as cracking inside out, and overall settlement. A detailed study should be done regarding the line of soil bearing influence from the bottom of my homes footing to the excavation only four feet away (for footing forming) and over eight feet deep. Safeguards in construction and engineering to eliminate settlement are not shown on the plans.(but may be elsewhere?)

Suggestion:

The engineering and construction process to protect the neighboring occupied structure from damage must be proven by the developer to obtain a permit. Also insist on bond for restoration of said structure should damage occur. All this should be mandated as part of the permit if and when approved.

New information: Property line and 2708 E St property wall.

The plans show the existing wall between the two properties on my side of the property line. The means I own it. It has been in place since 1926. There has been no mention of the demolition of this wall. Only that the new wall would be directly next to it which would be impossible to build. Also, the new wall as shown on the plans indicate that the toe/heel would be placed over the property line and onto my property.

I am doing my own survey for the last two new info items. To confirm that the existing wall is indeed my possession, and two, to set vertical datum markers on my home. Both of these will be by registered surveyors, and entered into records.

Suggestion:

Do not approve of this permit until ownership of the existing wall is known, and a clear description of the proposed wall construction is made. If my hunch is correct, the proposed wall will need to be moved approximately 6 inches to one foot towards the west. This may upset the critical dimensions for the motor court and setbacks and at minimum require footprint adjustments.

Peterson, Jeff

From: Ruchell Alvarez [goldenhillplanningcommittee@gmail.com]
Sent: Wednesday, March 18, 2015 10:03 AM
To: Peterson, Jeff
Subject: 27th st. (370917)

Hi Jeff,

The motion to approve passed 10-2. Will the environmental review require additional recommendation from the planning committee?

Thanks
Ruchell

Peterson, Jeff

From: Ruchell Alvarez [goldenhillplanningcommittee@gmail.com]
Sent: Friday, March 13, 2015 10:32 AM
To: Stosh Thomas
Cc: Mike Fulton; Peterson, Jeff
Subject: Re: 27th Street project

Hi Jeff,

Stosh presented his 27th st project to the GGHPC last Wednesday. The project was approved. Our minutes will not be approved until our April meeting. Is there anything you currently need from me? Please advise.

Thanks
Ruchell
GGHPC, Chair

On Fri, Mar 13, 2015 at 8:52 AM, Stosh Thomas <stosh@stoshthomas.com> wrote:

Hello Ruchell,

Can you please forward the planning commission approval results to Jeff Peterson. We have everything signed off at this time and he needs the report to finish

Thank you very much for reviewing my project

Stosh

Stosh Thomas Architects PC

4682 Nebo Drive, Ste 200

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2422
☐ Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

PROJECT TITLE/ No.: **27TH STREET UNITS SDP / 3709917**STATE CLEARINGHOUSE NO.: *Not Applicable*

PROJECT LOCATION-SPECIFIC: 3920 Haines Street, San Diego, CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A SITE DEVELOPMENT PERMIT is being requested for the demolition of an existing single-dwelling residence and subsequent construction of a 5,422-square foot building comprised of four apartment units (for rent). The project would also construct various associated site improvements (e.g. hardscape, retaining walls, and landscaping). The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50-percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The developed 0.188-acre project site is located at 911 27th Street. The land use designation for the project site is Medium Density Residential (15-29 dwelling unit per acre) within the community plan. The project site is within the GH-1500 Zone of the Golden Hill Planned District, and within the in the Airport Influence Area (AIA) Review Area 1, the 60 to 65 decibel (dB) Community Noise Equivalent Level (CNEL), and the Federal Aviation Administration (FAA) Part 77 for the San Diego International Airport (SDIA) within the Greater Golden Hill Planning. (LEGAL: Lot 7 and west 29 feet of Lot 8 in Block 1 of Kerrie Addition, Map No. 1614.)

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Rob Linton, Haines Street LLC, 2729 Bellezza Drive, San Diego, CA 92108, (858) 837-2078.

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268)
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c))
- ☒ CATEGORICAL EXEMPTION: 15332 (Infill Development Projects)
- ☐ STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (0.64-acre) and is surrounded by urban uses; the project site does not contain any habitat for endangered, rare or threatened species; the project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately be served by all required utilities and public services. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.



Senior Planner

SIGNATURE/TITLE

March 25, 2015

DATE OF PROJECT APPROVAL

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: March 25, 2015

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24004717

PROJECT NAME/NUMBER: 27TH STREET UNITS SDP / 370917

COMMUNITY PLAN AREA: Greater Golden Hill

COUNCIL DISTRICT: 3

LOCATION: 911 27th Street, San Diego, CA 92104

PROJECT DESCRIPTION: A SITE DEVELOPMENT PERMIT is being requested for the demolition of an existing single-dwelling residence and subsequent construction of a 5,422-square foot building comprised of four apartment units (for rent). The project would also construct various associated site improvements (e.g. hardscape, retaining walls, and landscaping). The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50-percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The developed 0.188-acre project site is located at 911 27th Street. The land use designation for the project site is Medium Density Residential (15-29 dwelling unit per acre) within the community plan. The project site is within the GH-1500 Zone of the Golden Hill Planned District, and within the in the Airport Influence Area (AIA) Review Area 1, the 60 to 65 decibel (dB) Community Noise Equivalent Level (CNEL), and the Federal Aviation Administration (FAA) Part 77 for the San Diego International Airport (SDIA) within the Greater Golden Hill Planning. (LEGAL: Lot 7 and west 29 feet of Lot 8 in Block 1 of Kerrie Addition, Map No. 1614.)

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (Infill Development Projects).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (0.188-acre) and is surrounded by urban uses; the project site does not contain any habitat for endangered, rare or threatened species; the project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately be served by all required utilities and public services.

Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER:	Jeffrey A. Peterson
MAILING ADDRESS:	1222 First Avenue, MS-501, San Diego CA 92101
PHONE NUMBER:	(619) 446-5237

On March 25, 2015 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business (April 9, 2015) from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.


Project Title: 27TH Street Units	Project No. (For City Use Only) <div style="font-size: 1.5em; font-weight: bold;">370917</div>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General) What State? _____ Corporate Identification No. _____
☒ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☒ Yes ☐ No

Corporate/Partnership Name (type or print): ALMERIA INVESTMENTS, L.P. <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <hr/> Street Address: PO BOX 232628 City/State/Zip: ENCINITAS, CA. 92023 Phone No: 760-207-3740 Fax No: 760-418-6453 <hr/> Name of Corporate Officer/Partner (type or print): MICHAEL FULTON; ON BEHALF OF MJF CAPITAL INC. Title (type or print): GENERAL PARTNER Signature:  Date: 05-05-2015	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <hr/> Street Address: City/State/Zip: Phone No: Fax No: <hr/> Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <hr/> Street Address: City/State/Zip: Phone No: Fax No: <hr/> Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <hr/> Street Address: City/State/Zip: Phone No: Fax No: <hr/> Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <hr/> Street Address: City/State/Zip: Phone No: Fax No: <hr/> Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <hr/> Street Address: City/State/Zip: Phone No: Fax No: <hr/> Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:

ALMERIA INVESTMENTS, LP
PO BOX 232628
ENCINITAS, CA. 92023
May 5, 2015

To Whom it May Concern:

The only General Partner in Almeria Investments, L.P. is MJF Capital, INC. Michael Fulton is the Sole member and President of MJF Capital and is the only signing party.

Sincerely,

Michael Fulton
michael@almeriainvestments.com
760-207-3740
PO Box 232628
Encinitas, CA. 92023

**DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
27TH STREET UNITS - PROJECT NO. 370917**

Date	Action	Description	City Review Time (Working Days)	Applicant Response
6/2/2014	First Submittal	Project Deemed Complete	-	-
6/26/2014	First Assessment Letter		18 days	
11/3/2014	Second Submittal			91 days
11/17/2014	Second Assessment Letter		9 days	
12/19/2014	Third Submittal			22 days
1/14/2014	Third Assessment Letter		12 days	
2/4/2015	Fourth Submittal			14 days
2/18/2015	Fourth Assessment Letter		9 days	
3/2/2015	Fifth Submittal			8 days
3/17/2015	Fifth Review Completed	All issues resolved, including community group recommendation	11 days	
3/25/2015	Environmental Determination	Environmental Exemption Determination	6 days	
4/9/2015	Environmental Determination	End of Appeal Period		10 days
5/20/2015	Public Hearing	First available date	29 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	94 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		145 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to 1 st Hearing (Hearing Officer)	239 working days (351 calendar days)	