



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: September 10, 2015 **REPORT NO.** PC-15-100

ATTENTION: Planning Commission, Agenda of September 17, 2015

SUBJECT: TYRIAN RESIDENCES - PROJECT NO. 379612
PROCESS FOUR

**OWNER/
APPLICANT:** FMRE, LLC, a California Limited Liability Company

SUMMARY

Issue: Should the Planning Commission approve an application to construct one new detached single family dwelling unit, remodel one existing single family dwelling unit, and maintain a third existing single family dwelling unit on a site located at 6752-6762 Tyrian Street in the La Jolla Community Plan and Local Coastal Program Area?

Staff Recommendation(s):

1. **ADOPT** Mitigated Negative Declaration No. 379612, and **ADOPT** the Mitigation, Mitigation, Monitoring, and Reporting Program; and
2. **APPROVE** Coastal Development Permit No. 1336971, Site Development Permit No. 1528802, and Map Waiver No. 1336972.

Community Planning Group Recommendation: On May 7, 2015, the La Jolla Community Planning Association voted 15-0-1 to recommend approval of the project with no conditions (Attachment 14).

Environmental Review: A Mitigated Negative Declaration (MND) No. 379612 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Historical Resources (Archaeology). A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The 0.172 acre project site is located at 6752-6762 Tyrian Street in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 dwelling units per acre (DU/AC). The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the La Jolla Community Plan.

This project is subject to the requirements of the City's Inclusionary Affordable Housing Regulations (Chapter 14, Article 2, Division 13 of the San Diego Municipal Code), and the payment of Affordable Housing fees are due at the time of building permit issuance. In addition, the Owner/Permittee shall either show evidence that relocation assistance has been paid to all tenants or enter into an agreement with the San Diego Housing Commission to demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5 of the San Diego Municipal Code).

BACKGROUND

The 0.172 acre project site is located at 6752-6762 Tyrian Street (Attachment 1 and 2), in the RM-1-1 Zone (Attachment 3) within the La Jolla Community Plan and Local Coastal Program Area (Attachment 4), the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 dwelling units per acre (DU/AC). The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the La Jolla Community Plan (LJCP).

The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea, and Tyrian Street and Electric Avenue at this location is not designated as a physical accessway or view corridor, and therefore will not encroach upon any physical accessway or view corridor. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted LJCP and Local Coastal Program Land Use Plan, nor are there existing or potential views to the ocean through the site. The parcel has been previously graded and developed with two existing single family dwelling units. The residential unit identified as 6752 Tyrian Street was constructed in 1926 in the Tudor Revival style. The 6762 Tyrian Street structure was originally constructed as an associated garage to the primary residence and was converted into a dwelling unit in 1936, pursuant to Building Permit No. 63682.

The surrounding properties have been previously graded and developed. The Holiday Inn Express La Jolla is located directly across the street to the west on Electric Avenue and is zoned LJPD-4 of the La Jolla Planned District and CC-4-5, and the community plan designates the site as Medium High Density Residential use at 30-45 DU/AC. The property to the north contains a parking lot and green space, multi-family development to the east, and a single family dwelling unit to the south. The properties to the north, east, and south are zoned RM-1-1, and the community plan designates the sites as Low Medium Density Residential 9-15 DU/AC.

DISCUSSION

Project Description:

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Development of the proposed project requires the following approvals: (Process 4) Site Development Permit (SDP) for deviations to the zoning regulations for a sustainable building project, a (Process 3) Map Waiver (MW) to waive the Tentative Map for the development of three (3) residential condominiums and a request to waive the utility undergrounding requirements, and a (Process 2) Coastal Development Permit (CDP) for development within the Non-Appealable Area of the Coastal Overlay Zone. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project Related Issues:

Historical Resources Board- On March 26, 2015, the City of San Diego Historical Resources Board held a public hearing to consider the historical site designation for 6752-6762 Tyrian Street. At the hearing the Board voted not to designate this property as a historical resource. Attached is the Board's determination and report to the Historical Resources Board (Attachment 6).

Building Conditions Report- A Building Condition Report was prepared by Partner Engineering and Science, Inc. (Partner) for the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The evaluation of the structure and subject property concluded that they are in 'good overall' condition for its age and it is comparable to other properties in the area, and have been provided with adequate preventative maintenance since their original

construction. Partner did not identify items of significance with respect to components which have an estimated useful life of less than five years; therefore, no replacement reserve table was required to be included with the Report. Development Services Department reviewed the submitted report and is in concurrence with the finding within the report.

The existing single family dwelling unit located at 6762 Tyrian Street is proposed to be remodeled, which includes an addition of 340 square feet to the first floor and construction of a 422 square foot second floor, and shall comply with current building codes. Therefore, a Building Condition Report was not required for this structure.

Deviation- The project includes a request for a deviation from San Diego Municipal Code 131.0443(d)(1)(A) to allow parking in the required 15 foot minimum and 20 foot standard front setbacks along Electric Avenue (Attachment 7-Deviation Location Drawing). The vehicular access rights shall be waived along Tyrian Street as a condition of approval of CDP No. 1336971 and SDP No. 1528802 (Condition No. 38); therefore, in accordance with SDMC Section 113.0246(b) for double fronted lots, the property line adjacent to Tyrian Street would be classified as the rear yard and Electric Avenue would be classified as the front yard.

Existing development along Electric Avenue contain parking, garages or other buildings at or near the property line and within the front setback. The proposed development is not inconsistent with this established character. The siting, architectural features, and front entrances along Tyrian Street reinforce the idea that Electric Avenue should be treated more like the rear property line, in which parking should be located and vehicular access should be taken. In addition, the proposed residential development is consistent with the purpose of the underlying zone and would implement the LJCP designation, goals, and objectives for the site, and would provide all of the parking on-site. For all of these reasons, including the justifications listed above, the deviation is appropriate and necessary, and will result in a more desirable project than would be achieved if designed in strict conformance with the applicable development regulations.

Undergrounding Utility Waiver- The project site is located within Council District One. SDMC Section 144.0240(b)(5) allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights-of-way. City staff has determined that the waiver of the requirements to underground privately owned utility systems and services facilities qualifies under the guidelines of SDMC Section 144.0242(c)(1)(B) as follows: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

The neighborhood currently contains power poles and overhead utility lines within the public right-of-way along Tyrian Street and Electric Avenue. The proposed subdivision shall be undergrounded and the waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties within the abutting public rights-of-way. The City's Undergrounding Master Plan designates the site within Block 1C1, and is not scheduled to be allocated until 2033, with an estimated construction date of June 2035.

Community Plan Analysis:

The site is located within the La Jolla Community Plan (LJCP) area. The subject site is designated Low Medium Density Residential (9-15 du/ac) in the Community Plan. The project site, occupying 0.172 acres, could accommodate 2-3 dwelling units based on the LJCP.

The General Plan Conservation Element, sustainability energy goal state is for an increase in local energy independence through conservation, efficient community design, reduced consumption and efficient production and development of energy supplies that are diverse, efficient, environmentally sound, sustainable, and reliable. The project integrates sustainable features in the design construction and landscaping in conformance with the policy. The project is well designed and addresses the street with windows, doors and garden areas. The single-family dwelling units fit within the character of the community and the location is on the eastern side of the commercial and retail development along La Jolla Boulevard.

Conclusion:

With the approval of the requested deviation, the project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP and Local Coastal Program Land Use Plan, SDMC, and the General Plan. In addition, proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic) to generate electricity needed by the buildings and its occupants.

ALTERNATIVE

1. **ADOPT** Mitigated Negative Declaration No. 379612, and **ADOPT** Mitigation, Mitigation, Monitoring, and Reporting Program; and **APPROVE** Coastal Development Permit No. 1336971, Site Development Permit No. 1528802, and Map Waiver No.1336972, **with modifications.**
2. **NOT ADOPT** Mitigated Negative Declaration No. 379612, and **DO NOT ADOPT** Mitigation, Mitigation, Monitoring, and Reporting Program; and **DENY** Coastal Development Permit No. 1336971, Site Development Permit No. 1528802, and Map Waiver No.1336972, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Jeffrey A. Peterson
Development Project Manager
Development Services Department

WESTLAKE/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Historical Resources Board Determination and Report
7. Deviation Location Drawings
8. Draft CDP and SDP Resolution with Findings
9. Draft CDP and SDP Permit with Conditions
10. Draft MW Resolution with Findings
11. Draft MW Conditions
12. Draft Environmental Resolution with MMRP
13. Project Plan
14. Community Planning Group Recommendation
15. Ownership Disclosure Statement

Internal Order No. 24004885

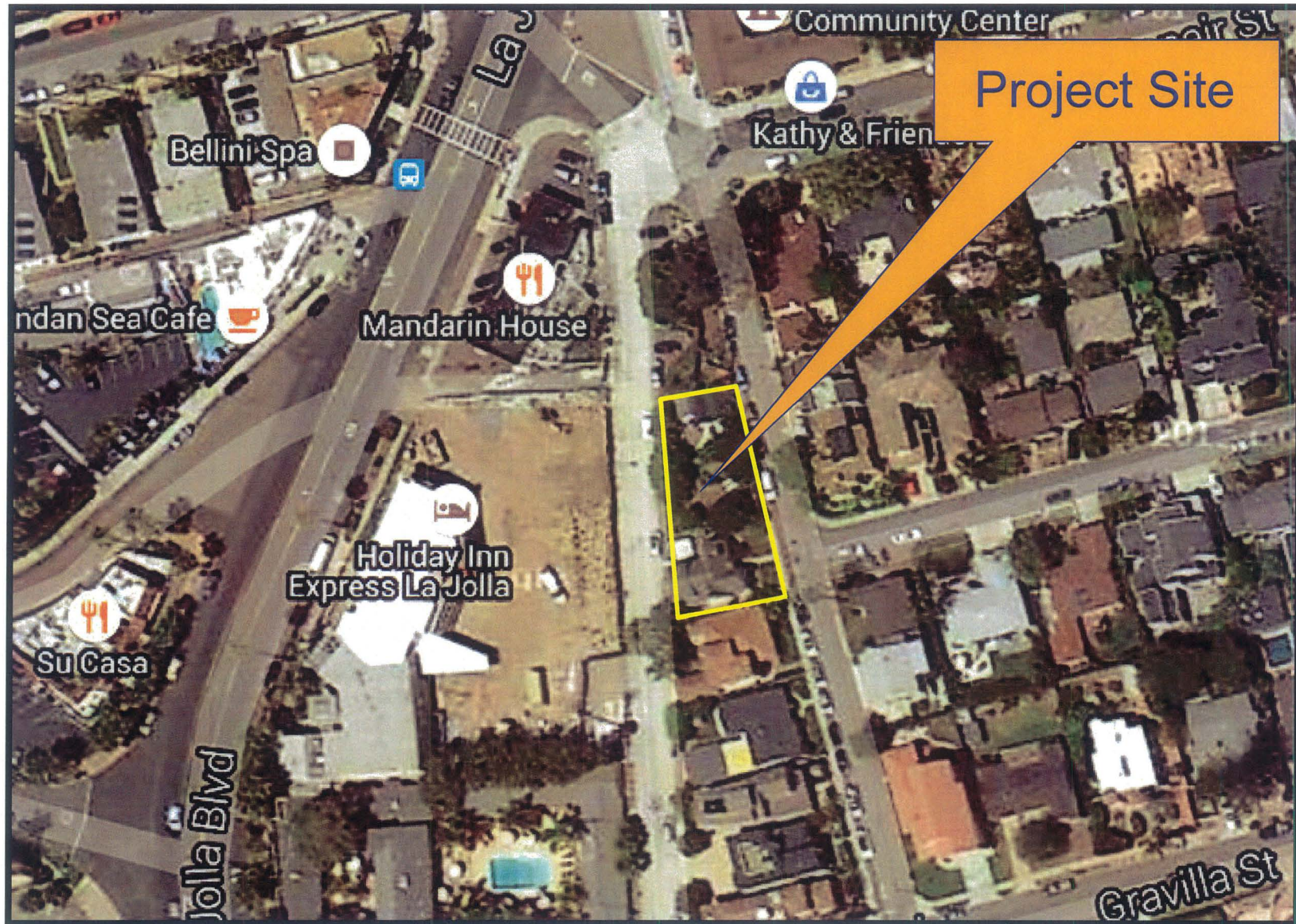


Location Map

Tyrian Residences- Project No. 379612

6752-6762 Tyrian Street





Aerial Photograph

Tyrian Residences- Project No. 379612
6752-6762 Tyrian Street



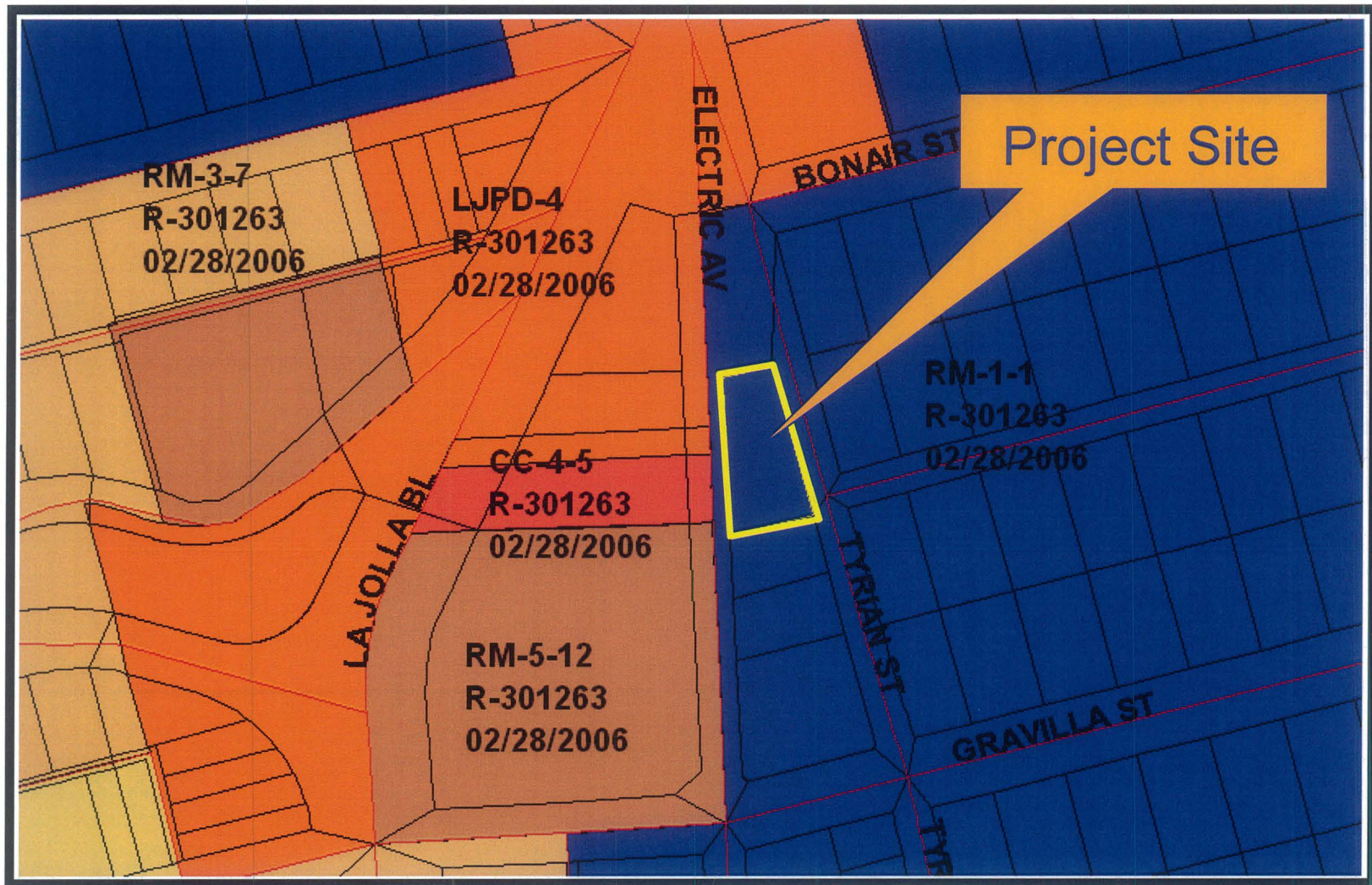


Aerial Photograph (Enlarged View)

Tyrian Residences- Project No. 379612

6752-6762 Tyrian Street

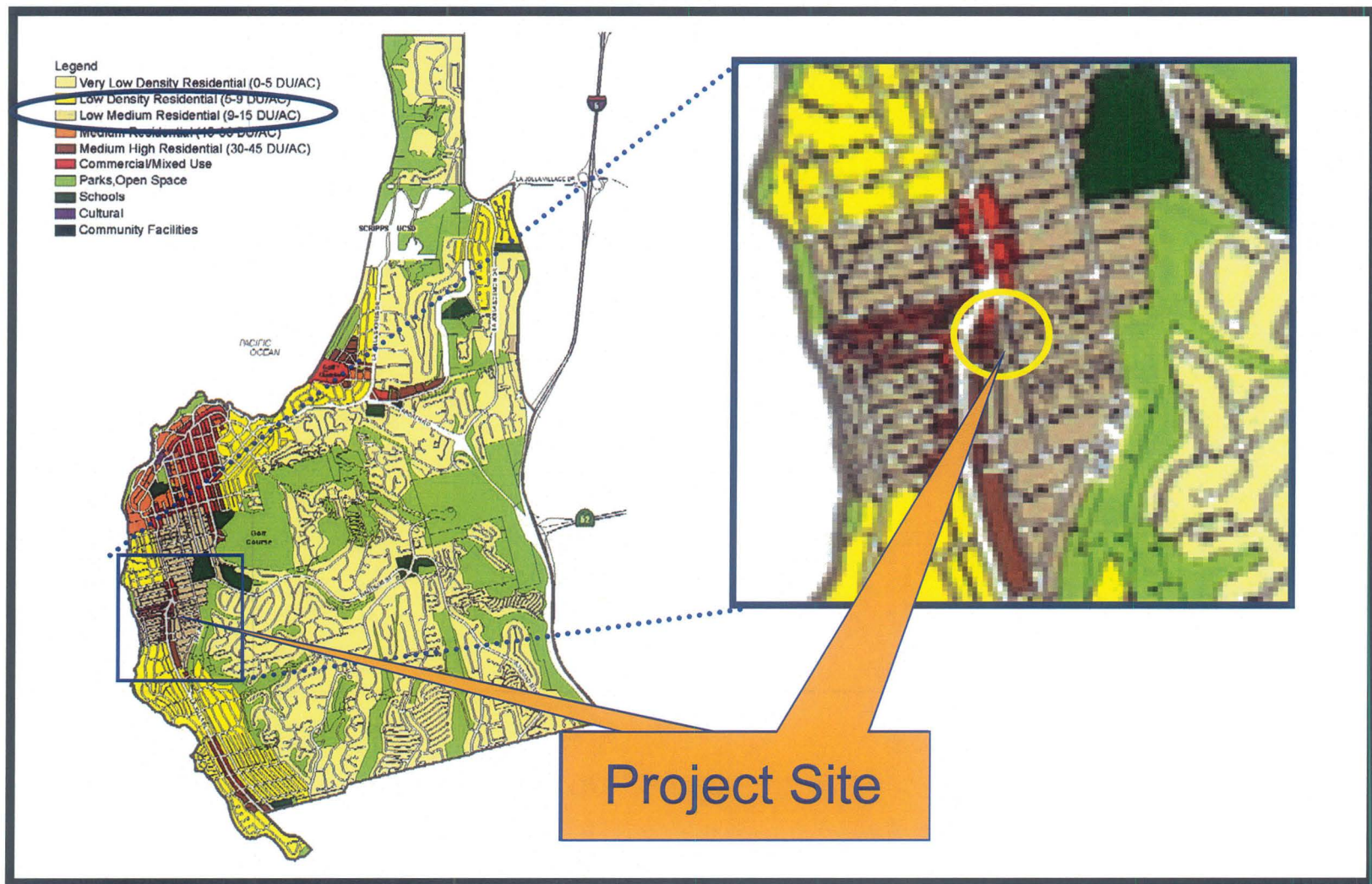




Zoning Map (RM-1-1 Zone)

Tyrian Residences- Project No. 379612
6752-6762 Tyrian Street





La Jolla Community Plan Land Use Map

Tyrian Residences- Project No. 379612

6752-6762 Tyrian Street



PROJECT DATA SHEET

PROJECT NAME:	Tyrian Residences - Project No. 379612	
PROJECT DESCRIPTION:	The construction of a single family dwelling unit over a subterranean garage, the remodel and additions to the ex. single family dwelling unit located at 6762 Tyrian Street. No work is proposed on the ex. single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the ex. two dwelling units on site into condominium units.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit, Site Development Permit, and Map Waiver	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Medium Density Residential (9-15dwelling units per acre)	
<u>ZONING INFORMATION:</u> ZONE: RM-1-1 HEIGHT LIMIT: 24/30-feet LOT SIZE: 6,000 square feet FLOOR AREA RATIO: 75 percent LOT COVERAGE: NA FRONT SETBACK: 15 feet min./ 20 feet std. Along Electric Avenue SIDE SETBACK: 5 feet STREETSIDE SETBACK: NA REAR SETBACK: 15 feet along Tyrian Street PARKING: 6 off-street		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Medium Density Residential; RM-1-1	Parking Lot and Green Space
SOUTH:	Low Medium Density Residential; RM-1-1	Single Family Residence
EAST:	Low Medium Density Residential; RM-1-1	Multi-Family Development
WEST:	Medium High Density Residential; LJPd-4 & CC-4-5	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	Deviation from San Diego Municipal Code 131.0443(d)(1)(A) to allow parking in the required 15 foot minimum and 20 foot standard front setbacks along Electric Avenue.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On May 7, 2015, the La Jolla Community Planning Association voted 15-0-1 to recommend approval of the project with no conditions.	



THE CITY OF SAN DIEGO
Historical Resources Board

April 9, 2015

FMRE LLC
3351 India Street
San Diego, CA 92103

Dear Homeowner:

Subject: Historical Resources Board Hearing of 3/26/2015

The City of San Diego Historical Resources Board held a noticed public hearing on 3/26/2015 to consider the historical site designation for the following property:

6752-6762 TYRIAN STREET, SAN DIEGO, CA 92037
ASSESSOR PARCEL NUMBER: 351-393-01-00

At the hearing the Board voted not to designate this property as a historical resource. In arriving at their decision, the Board considered the information submitted including the historical report prepared by the applicant, the staff report and recommendation, and all other materials submitted prior to and at the public hearing, including public testimony. Additionally, the members of the Board voting on the designation personally inspected the property prior to the hearing. **The action of the Board is final and is not subject to appeal.** If you have any questions, please feel free to call me at (619) 533-6301, or email me at santhony@sandiego.gov.

Sincerely,

A handwritten signature in cursive script, appearing to read "Shannon Anthony".

Shannon Anthony
Historical Resource Board Secretary

cc: Consultant
Council District
File



THE CITY OF SAN DIEGO
Historical Resources Board

DATE ISSUED: March 12, 2015 REPORT NO. HRB-15-017

ATTENTION: Historical Resources Board
Agenda of March 26, 2015

SUBJECT: **ITEM #9 – 6752-6762 Tyrian Street**

APPLICANT: F M R E LLC represented by Scott A. Moomjian

LOCATION: 6752-6762 Tyrian Street, La Jolla Community, Council District 1

DESCRIPTION: Consider the designation of the property located at 6752-6762 Tyrian Street as a historical resource.

STAFF RECOMMENDATION

Do not designate the property located at 6752-6762 Tyrian Street under any adopted HRB Criteria.

BACKGROUND

This item is being brought before the Historical Resources Board in conjunction with a proposed building modification or demolition of a structure of 45 years or more, consistent with San Diego Municipal Code Section 143.0212. The subject property is a two-story Tudor Revival style single-family residence and a one-story Tudor Revival style single-family residence (formerly a garage) built in 1926 on the west side of Tyrian Street where it intersects Bonair Place in the Hyman's Addition of the La Jolla Community.

The building is located on APN 351-393-01-00. The property was identified in the 2003 La Jolla Reconnaissance Survey and given a Status Code of 7R, "Identified in Reconnaissance Level Survey: Not evaluated."

ANALYSIS

A Historical Resource Technical Report was prepared by Scott A. Moomjian, which concludes that the resource is not significant under any HRB Criteria and staff concurs. This determination is consistent with the *Guidelines for the Application of Historical Resources Board Designation Criteria*, as follows.

CRITERION A - Exemplifies or reflects special elements of the City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

Research into the history of the property at 6752-6762 Tyrian Street did not reveal any information to indicate that the property exemplifies or reflects special elements of the City's or La Jolla's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development. Therefore, staff does not recommend designation under HRB Criterion A.

CRITERION B - Is identified with persons or events significant in local, state or national history.

Research into the owners and tenants of the property at 6752-6762 Tyrian Street did not reveal any individuals who could be considered historically significant in local, state or national history. Furthermore, no events of local, state or national significance are known to have occurred at the subject property. Therefore, the property is not eligible for designation under HRB Criterion B.

CRITERION C - Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of natural materials or craftsmanship.

The subject property is a two-story single-family residence identified as 6752 Tyrian Street and a one-story single-family residence identified as 6762 Tyrian Street built in 1926 in the Tudor Revival style. The 6762 Tyrian Street structure was originally constructed as an associated garage to the primary residence on the property and since converted into a dwelling unit. The buildings are of standard wood frame construction on a concrete foundation with floor joists.

The 6752 Tyrian Street residence exhibits an irregular plan form and asymmetrical façades. It features a high-pitched gabled roof sheathed in composition shingle and presents enclosed eaves with minimal overhang. The building is clad in a medium sand finish stucco. Fenestration throughout consists primarily of non-historic vinyl double hung and slider windows. The primary (east) elevation is characterized by the dominant cross-gabled roof with gabled dormer, and a modest recessed, arched entry with wood front door. At the center of the north-facing gable is a stucco chimney.

The 6762 Tyrian Street building exhibits a square-shaped plan and generally reflects the style of the primary residence with matching stucco and a composition shingle roof formed by a pair of high-pitched gables with minimal eave overhang. A shed addition exists along the west elevation. Fenestration consists generally of aluminum slider windows.

Popular in the 1920s and 1930s, Tudor Revival architecture is loosely based on a variety of late Medieval English styles and influences, but unlike some English prototypes, Tudor Revival style houses exhibit steeply pitched gable roofs that dominate the facades. Other character defining features include the use of stucco as well as wood cladding and brick or stone veneer, depending upon the subtype. Decorative half-timbering is present on about half of examples. Fenestration is typically characterized by tall, narrow windows, usually appearing in multiple groups and with

multi-pane glazing. Relatively uncommon before World War I, widespread adoption of masonry veneering techniques in the 1920s accompanied a dramatic rise in the style's popularity as even the most modest examples began to closely mimic the brick and stone veneers of their English prototypes.

Alterations to the subject property have negatively affected integrity and character defining features. The fenestration of the 6752 Tyrian Street building is made up almost entirely of non-historic vinyl double hung and slider windows. Two windows on the south side elevation appear to be replacement metal slider windows. A single wood 2 over 2 divided light window remains visible in the front gable of the primary façade. A non-historic sand finish stucco has been applied to both buildings and notably covers the only modest application of brick veneer on the chimney of the primary residence. The 6752 Tyrian Street building has been subject to two additions according to the Building Record – only one of these additions could be roughly identified at the west (rear) elevation upon staff's field check. The 6762 Tyrian Street structure was originally the associated garage to the primary residence on the property and has been radically modified with its 1945 conversion to a dwelling unit, non-original fenestration and shed addition to the west.

While the cumulative effect of these modifications to the property has greatly impacted the building's character defining features and integrity of design, materials, workmanship and feeling, it is critical to also note that these modifications are made even more impactful on a property that was stylistically very reserved to begin with. The original 6752 Tyrian Street residence and associated garage conspicuously lacks architectural detailing that would make it highly representative or a valuable example of the Tudor Revival style, such as tall, narrow divided light windows, prominent chimney with decorative chimney pots, or decorative half-timbering. The subject house lacks all these elements, and what small amount of embellishment seen in the brick veneer accent at the chimney has been concealed by the non-historic stucco finish.

In part as a result of significant loss of integrity, the property does not embody the distinctive characteristics of the Tudor Revival style sufficient to convey the historic significance of that style. The building is not a valuable example of the use of indigenous materials nor does it exemplify high craftsmanship and design. The property does not embody the distinctive characteristics of a rare or unique building type or method of construction. Finally, the building's age and physical features do not exemplify or reflect the era when its style, type or method of construction became popular. Therefore staff does not recommend designation under HRB Criterion C.

CRITERION D - Is representative of a notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist or craftsman.

The subject property at 6752-6762 Tyrian Street was built by the original owner and occupant, Paul J. Davidson. The architect or designer (if one was obtained) could not be identified. Paul J. Davidson has not been established by the Historical Resources Board as a Master Architect, Designer or Builder, and there is insufficient information to designate him as such at this time. Therefore, staff does not recommend designation under HRB Criterion D.

CRITERION E - Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources.

The property at 6752-6762 Tyrian Street has not been listed on or determined eligible for listing on the State or National Registers. Therefore, the property is not eligible for designation under HRB Criterion E.

CRITERION F - Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

The property at 6752-6762 Tyrian Street is not located within a designated historic district. Therefore, the property is not eligible for designation under HRB Criterion F.

OTHER CONSIDERATIONS

If the property is designated by the HRB, conditions related to restoration or rehabilitation of the resource may be identified by staff during the Mills Act application process, and included in any future Mills Act contract.

CONCLUSION

Based on the information submitted and staff's field check, it is not recommended that the property located at 6752-6762 Tyrian Street be designated under any HRB Criteria. Designation brings with it the responsibility of maintaining the building in accordance with the Secretary of the Interior's Standards. The benefits of designation include the availability of the Mills Act Program for reduced property tax; the use of the more flexible Historical Building Code; flexibility in the application of other regulatory requirements; the use of the Historical Conditional Use Permit which allows flexibility of use; and other programs which vary depending on the specific site conditions and owner objectives.



Camille Pekarek
Associate Planner

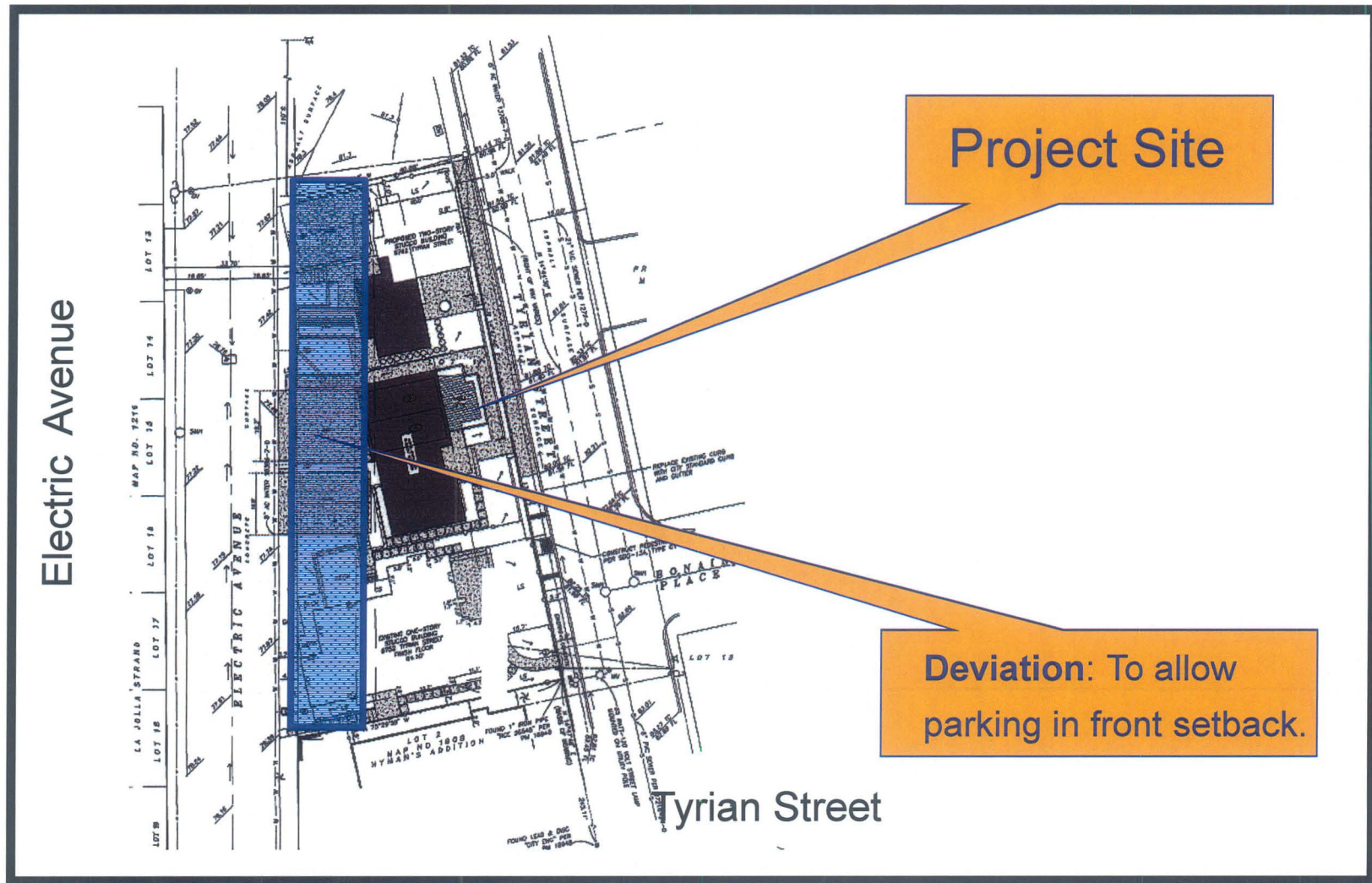


Kelley Stanco
Senior Planner/HRB Liaison

CP/ks

Attachment:

1. Applicant's Historical Report under separate cover



Deviation Location Drawing

Tyrion Residences- Project No. 379612

6752-6762 Tyrion Street



PLANNING COMMISSION
 RESOLUTION NUMBER _____
 COASTAL DEVELOPMENT PERMIT NO. 1336971
 SITE DEVELOPMENT PERMIT NO. 1528802
TYRIAN RESIDENCES - PROJECT NO. 379612 [MMRP]

WHEREAS, FMRE, LLC, a California Limited Liability Company, Owner, and Permittee, filed an application with the City of San Diego for a Coastal Development Permit [CDP] and Site Development Permit [SDP], for the construction of a 1,461-square-foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street; and

WHEREAS, the project site is located at 6752-6762 Tyrian Street in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact Area), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone; and

WHEREAS, the property is legally described as: Lot 1 of Hyman's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1808, filed in the Office of the County Recorder of San Diego County, November 5, 1924; and

WHEREAS, on September 17, 2015, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 1336971 and Site Development Permit No. 1528802, pursuant to the Land Development Code of the City of San Diego;
 NOW, THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated September 17, 2015.

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.172 acre project site is located at 6752-6762 Tyrian Street, which contains street frontage on Tyrian Street and Electric Avenue. The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea, and Tyrian Street and Electric Avenue at this location is not designated as a physical accessway or view corridor, and therefore will not encroach upon any physical accessway or view corridor. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The project proposes a maximum building height of 23 feet 4 inches for the new dwelling unit and 22 feet 11 inches for 6762 Tyrian Street, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ). Therefore, the development has been designed to meet the development regulations of the underlying zone and would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The 0.172 acre project site is located at 6752-6762 Tyrian Street. The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean and is not located between the sea and the first public roadway paralleling the sea. The site is approximately 77 feet above Mean Sea Level (MSL), and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103.

A Mitigated Negative Declaration (MND) No. 379612 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA)

Guidelines, which address potential impacts to Historical Resources (Archaeology). A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed coastal development would not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 6752-6762 Tyrian Street, in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Non-Appealable Area 2), and the Coastal Height Limitation Overlay Zone. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 dwelling units per acre (DU/AC). The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the LJCP.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street.

The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea, and Tyrian Street and Electric Avenue at this location is not designated as a physical accessway or view corridor, and therefore will not encroach upon any physical accessway or view corridor. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted LJCP and Local Coastal Program Land Use Plan.

The project proposes a maximum building height of approximately 25 feet for the new dwelling unit and approximately 23 feet for 6762 Tyrian Street, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.172 acre project site is located at 6752-6762 Tyrian Street. The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Therefore, the proposed development does not have to comply with the public access and recreation policies of Chapter 3 of the California Coastal Act.

II. Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 6752-6762 Tyrian Street, in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Non-Appealable Area 2), and the Coastal Height Limitation Overlay Zone. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 DU/AC. The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the LJCP.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. Therefore, the proposed residential development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean and is not located between the sea and the first public roadway paralleling the sea. The site is approximately 77 feet above MSL, and is located above the 100-year floodplain. The property is not within or adjacent to the MSCP MHPA and does not contain any other type of ESL as defined in SDMC Section 113.0103.

A MND No. 379612 has been prepared for the project in accordance with CEQA Guidelines, which address potential impacts to Historical Resources (Archaeology). A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance and are conditions of the approval.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Coastal Development Permit (CDP) No. 1336971 and Site Development Permit (SDP) No. 1528802, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public

improvement permits. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project proposes the construction of 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project includes a request for a deviation from San Diego Municipal Code (SDMC) 131.0443(d)(1)(A) to allow for parking within the front yard setback along Electric Avenue. The vehicular access rights shall be waived along Tyrian Street as a condition of approval of CDP No. 1336971 and SDP No. 1528802 (Condition No. 38); therefore, in accordance with SDMC Section 113.0246(b) for double fronted lots, the property line adjacent to Tyrian Street would be classified as the rear yard and Electric Avenue would be classified as the front yard.

Existing development along Electric Avenue contain parking, garages or other buildings at or near the property line and within the front setback. The proposed development is not inconsistent with this established character. The siting, architectural features, and front entrances along Tyrian Street reinforce the idea that Electric Avenue should be treated more like the rear property line, in which parking should be located and vehicular access should be taken.

The proposed residential development is consistent with the purpose of the underlying zone and would implement the LJCP designation, goals, and objectives for the site, and would provide all of the parking on-site. For all of these reasons, including the justifications listed above, the deviations are appropriate and necessary, and will result in a more desirable project than would be achieved if designed in strict conformance with the applicable development regulations.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.

- 1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;**

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. Therefore, the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic) to generate electricity needed by the buildings and its occupants.

- 2. The development will not be inconsistent with the purpose of the underlying zone; and**

The project site is located at 6752-6762 Tyrian Street, in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Non-Appealable Area 2), and the Coastal Height Limitation Overlay Zone. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 DU/AC. The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the LJCP.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel

of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. Therefore, the proposed residential development would not be inconsistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project includes a request for a deviation from SDMC Section 131.0443(d)(1)(A) to allow for parking within the front yard setback along Electric Avenue. The vehicular access rights shall be waived along Tyrian Street as a condition of approval of CDP No. 1336971 and SDP No. 1528802 (Condition No. 38); therefore, in accordance with SDMC Section 113.0246(b) for double fronted lots, the property line adjacent to Tyrian Street would be classified as the rear yard and Electric Avenue would be classified as the front yard.

Existing development along Electric Avenue contain parking, garages or other buildings at or near the property line and within the front setback. The proposed development is not inconsistent with this established character. The siting, architectural features, and front entrances along Tyrian Street reinforce the idea that Electric Avenue should be treated more like the rear property line, in which parking should be located and vehicular access should be taken.

The proposed residential development is consistent with the purpose of the underlying zone and would implement the LJCP designation, goals, and

objectives for the site, and would provide all of the parking on-site. For all of these reasons, including the justifications listed above, the deviations are appropriate and necessary, and will result in a more desirable project than would be achieved if designed in strict conformance with the applicable development regulations.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 1336971 and Site Development Permit No. 1528802 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1336971 and 1528802, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: September 17, 2015

Internal Order No. 24004885

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004885

COASTAL DEVELOPMENT PERMIT NO. 1336971
SITE DEVELOPMENT PERMIT NO. 1528802
TYRIAN RESIDENCES - PROJECT NO. 379612 [MMRP]
PLANNING COMMISSION

This Coastal Development Permit No. 1336971 and Site Development Permit No. 1528802 is granted by the Planning Commission of the City of San Diego to FMRE, LLC, a California Limited Liability Company, Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 0.172 acre site is located at 6752-6762 Tyrian Street in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact Area), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The project site is legally described as: Lot 1 of Hyman's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1808, filed in the Office of the County Recorder of San Diego County, November 5, 1924.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the construction of a new dwelling unit over a subterranean garage, the remodel and additions to an existing 398 square foot dwelling unit, and to maintain an existing 1,945 square foot dwelling unit (3 total dwelling units); described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 17, 2015, on file in the Development Services Department.

The project shall include:

- a. Construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage;

- b. The remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street, which includes an addition of 340 square feet to the first floor and construction of a 422 square foot second floor, and associated improvements;
- c. Maintain an existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street;
- d. Deviation from SDMC 131.0443(d)(1)(A) to allow for parking in the required 15 foot minimum and 20 foot standard front yard setback along Electric Avenue;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking;
- g. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- h. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **October 1, 2018**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
 9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the

City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION, NO. 379612 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION, NO. 379612, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources (Archaeology)

AFFORDABLE HOUSING REQUIREMENTS:

14. Prior to issuance of any construction permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.). In addition, the Owner/Permittee shall comply with the regulations by paying the Condominium Conversion Inclusionary Affordable Housing Fee for the existing two dwelling units being converted into condominiums by one of the following, manners:

- a. Deferring payment of the Condominium Conversion Inclusionary Affordable Housing Fee until the close of escrow of the first condominium sold at the development by entering into a written agreement with the San Diego Housing Commission securing payment of the Condominium Conversion Inclusionary Affordable Housing Fee, which shall be recorded against the development and secured by a recorded deed of trust in favor of the San Diego Housing Commission. If the Owner/Permittee elects future payment of the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect at the close of escrow of the first condominium unit sold at the development; or

b. Pre-paying the Condominium Conversion Inclusionary Affordable Housing Fee to the City based upon the aggregate square footage of all residential units in the project. If Owner/Permittee pre-pays the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect on the date of pre-payment.

15. Prior to issuance of any construction permits, the Owner/Permittee shall either show evidence that relocation assistance has been paid to all tenants or enter into an agreement with the San Diego Housing Commission to demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (SDMC §144.0505). In addition, applicant must pay the appropriate fees incurred by the Housing Commission for compliance monitoring (SDMC §144.0503).

ENGINEERING REQUIREMENTS:

16. This Coastal Development Permit No. 1336971 and Site Development Permit No. 1528802 shall comply with all Conditions of Map Waiver No.1336972.

17. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City standard curb and gutter, along the project frontage on Tyrian Street, per Standard Drawing SDG-151, satisfactory to the City Engineer.

18. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the installation of a City standard curb ramp with truncated domes, adjacent to the project site at the intersection of Tyrian Street and Bonair Place, satisfactory to the City Engineer.

19. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the enhanced paving located within Electric Avenue right-of-way, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

23. Prior to the issuance of any foundation inspection, the Owner/Permittee shall submit an building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor,

certifying the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 sq-ft area around each tree to be located within 10-feet of the right-of-way, demonstrating clearances from utilities consistent with 124.0409, table 142-04E of the Land Development Code. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

25. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 sq-ft area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).

26. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

28. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

32. Prior to issuance of building permits, construction documents shall illustrate conformance with the refuse and recyclable materials storage requirements in San Diego Municipal Code Chapter 14, Article 2, Division 8.

33. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

34. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

36. The Owner/Permittee shall maintain a minimum of six (6) off-street parking spaces (2 for each unit in 2-car garages) on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

37. Prior to the issuance of any building permit(s), the applicant shall assure by permit and bond, the installation of a 5-foot wide sidewalk on the project's entire frontage on Tyrian Street, satisfactory to the City Engineer.

38. Prior to the issuance of any building permit(s), the applicant shall relinquish vehicular access rights to Tyrian Street, satisfactory to the City Engineer.

39. No object higher than 36 inches are permitted in the visibility triangle areas as shown on the approved Exhibit "A."

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

40. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line

with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

42. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

43. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

44. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 17, 2015, and Resolution No. _____.

Permit Type/PTS Approval No.: CDP No. 1336971 &
SDP No. 1528802
Date of Approval: September 17, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

FMRE, LLC, a California Limited Liability Company
Owner/Permittee

By _____
Tim Barzal
Managing Member of LLC

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NO. _____
 DATE OF FINAL PASSAGE _____

**A RESOLUTION OF THE PLANNING COMMISSION ADOPTING
 THE FINDINGS AND APPROVING MAP WAIVER NO. 1336972
 FOR TYRIAN RESIDENCES - PROJECT NO. 379612 [MMRP]**

WHEREAS, FMRE, LLC, a California Limited Liability Company, Subdivider, and San Diego Land Suveying & Engineering, Inc., Surveyor, submitted an application with the City of San Diego for Map Waiver No. 1336972, to waive the requirement of a Tentative Map for the creation of a new residential dwelling condominium unit, and the conversion of the existing two residential dwelling units on site into residential dwelling condominium units, and to waive the requirement to underground existing off-site overhead utilities. The project site is located 6752-6762 Tyrian Street in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact Area), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The property is legally described as Lot 1 of Hyman's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1808, filed in the Office of the County Recorder of San Diego County, November 5, 1924; and

WHEREAS, the project proposes the subdivision of a 0.172-acre lot into a 3 unit residential dwelling condominium development; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code [SDMC] Sections 144.0220(a) and 144.0220(b); and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of residential dwelling condominium units is 3; and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to SDMC Section 144.0242(c) based on the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on September 17, 2015, the Planning Commission of the City of San Diego considered Map Waiver No. 1336972, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to sections 125.0122 (map waiver), 125.0120 (condo conversion), and 144.0240 (underground) of the SDMC and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Map Waiver No. 1336972:

1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

The project site is located at 6752-6762 Tyrian Street, in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Non-Appealable Area 2), and the Coastal Height Limitation Overlay Zone. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per

dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 dwelling units per acre (DU/AC). The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the LJCP.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. Therefore, the proposed 3 unit residential condominium project would not adversely affect the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project includes a request for a deviation from San Diego Municipal Code (SDMC) Section 131.0443(d)(1)(A) to allow for parking within the front yard setback along Electric Avenue. The vehicular access rights shall be waived along Tyrian Street as a condition of approval of Coastal Development Permit (CDP) No. 1336971 and Site Development Permit (SDP) No. 1528802 (Condition No. 38); therefore, in accordance with SDMC Section 113.0246(b) for double fronted lots, the property line adjacent to Tyrian Street would be classified as the rear yard and Electric Avenue would be classified as the front yard.

Existing development along Electric Avenue contain parking, garages or other buildings at or near the property line and within the front setback. The proposed development is not inconsistent with this established character. The siting, architectural features, and front entrances along Tyrian Street reinforce the idea that Electric Avenue should be treated more like the rear property line, in which parking should be located and vehicular access should be taken.

The proposed residential development is consistent with the purpose of the underlying zone and development regulations, and would implement the LJCP designation, goals, and objectives for the site, and would provide all of the parking on-site. For all of these reasons, including the justifications listed above, the deviation is appropriate and necessary and will result in a more desirable project than would be achieved if designed in strict conformance with the applicable development regulations.

3. The site is physically suitable for the type and density of development.

The project site is located at 6752-6762 Tyrian Street, in the RM-1-1 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Non-Appealable Area 2), and the Coastal Height Limitation Overlay Zone. The RM-1-1 zoning designation is a multi-family residential zone that requires 3,000 square feet of lot area per dwelling unit. The community plan designates the proposed project site for Low Medium Density Residential 9-15 DU/AC. The project site, occupying 0.172 acres, could accommodate 3 dwelling units based on the underlying zone and 2-3 dwelling units based on the LJCP.

The parcel has been previously graded and developed with two existing single family dwelling units. The residential unit identified as 6752 Tyrian Street was constructed in 1926 in the Tudor Revival style. The 6762 Tyrian Street structure was originally constructed as an associated garage to the primary residence and was converted into a dwelling unit in 1936, pursuant to Building Permit No. 63682.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea, and Tyrian Street and Electric Avenue at this location is not designated as a physical accessway or view corridor, and therefore will not encroach upon any physical accessway or view corridor. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted LJCP and Local Coastal Program Land Use Plan, nor are there existing or potential views to the ocean through the site. The site is approximately 77 feet above Mean Sea Level (MSL), and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in SDMC Section 113.0103.

A Mitigated Negative Declaration (MND) No. 379612 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Historical Resources (Archaeology). A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance. With the implementation of the MMRP, including the justifications listed above, the proposed subdivision is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The 0.172 acre project site is located at 6752-6762 Tyrian Street. The property is located approximately 1,425 feet from the Pacific Ocean and is not located between the sea and the first public roadway paralleling the sea. The site is approximately 77 feet above MSL, and is located above the 100-year floodplain. The property is not within or adjacent to the MSCP MHPA and does not contain any other type of ESL as defined in SDMC Section 113.0103.

A MND No. 379612 has been prepared for the project in accordance with State of CEQA Guidelines, which address potential impacts to Historical Resources (Archaeology). A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance. With the implementation of the MMRP, the subdivision and the proposed improvements would not cause substantial environmental damage or impact fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between

the sea and the first public roadway paralleling the sea. The site is approximately 77 feet above MSL, and is located above the 100-year floodplain. The property is not within or adjacent to the MSCP MHPA and does not contain any other type of ESL as defined in SDMC Section 113.0103.

A MND No. 379612 has been prepared for the project in accordance with CEQA Guidelines, which address potential impacts to Historical Resources (Archaeology). A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance and are conditions of the approval.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Map Waiver (MW) No. 1336972, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Therefore, the subdivision will not be detrimental to the public health, safety and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 0.172 acre project site is located at 6752-6762 Tyrian Street. The project site is an interior lot with frontage on Tyrian Street and Electric Avenue, and is located approximately 1,425 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea, and Tyrian Street and Electric Avenue at this location is not designated as a physical accessway or view corridor, and therefore will not encroach upon any physical accessway or view corridor. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted LJCP and Local Coastal Program Land Use Plan. There are no other existing easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is

proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic) to generate electricity needed by the buildings and its occupants. Therefore, the proposed subdivision will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. As a component of the proposed project, the project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

A MND No. 379612 has been prepared for the project in accordance with CEQA Guidelines, which address potential impacts to Historical Resources (Archaeology). A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance and are conditions of the approval.

The decision maker has reviewed the administrative record including the project plans, MND No. 6379612, and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the proposed subdivision is consistent with the housing needs anticipated for the LJCP area.

9. The notices required by San Diego Municipal Code section 125.0431 have been given in the manner required.

The Subdivider provide the City with the copies of the 60 Day Notice of Intent to Convert to Condominium, Notice of Tenants Rights and Notices, and Tenant 180 Day Notice Prior to Termination of Tenancy, which were distributed to the tenants prior to the submittal of the application. During the processing of this MW application the existing residential structures were unoccupied. However, the MW conditions require all perspective tenants to be notified of the condominium conversion. This notice and all other required notices shall be enforced during life of the MW. Therefore, all applicable notices required by SDMC Section 125.0431 have been given in the manner required.

10. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing.

The project proposes the construction of a 1,461 square foot two-story single family dwelling unit over an 822 square foot subterranean garage, maintaining an existing 1,945 square foot dwelling unit, and the remodel of an existing 398 square foot one-story single family dwelling unit located at 6762 Tyrian Street. The remodel would include an addition of 340 square feet to the first floor and construction of a 422 square foot second floor. No work is proposed on the existing 1,945 square foot two-story single family dwelling unit located at 6752 Tyrian Street. The project proposes the creation of a condominium unit for the new residential structure, and the conversion of the existing two dwelling units on site into condominium units, since all three structures will be located on one existing legal lot. All costs associated with the processing of this subdivision were paid by the applicant, and is not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing.

12. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed.

The proposed subdivision is a market rate development and does not proposes housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Map Waiver No. 1336972 and the waiver to underground existing off-site

overhead utilities are hereby granted to FMRE, LLC, a California Limited Liability Company, subject to the attached conditions which are made a part of this resolution by this reference.

By

Jeffrey A. Peterson
Development Project Manager
Development Services Department

ATTACHMENT: Map Waiver Conditions

Internal Order No. 24004885

PLANNING COMMISSION
CONDITIONS FOR MAP WAIVER NO. 1336972
TYRIAN RESIDENCES - PROJECT NO. 379612 [MMRP]

ADOPTED BY RESOLUTION NO. _____ ON SEPTEMBER 17, 2015

GENERAL

1. This Map Waiver will expire on October 1, 2018.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Certificate of Compliance unless otherwise noted.
3. A Certificate of Compliance shall be recorded in the Office of the San Diego County Recorder, prior to the Map Waiver expiration date.
4. Prior to the recordation of the Certificate of Compliance, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Certificate of Compliance shall conform to the provisions of Coastal Development Permit No. 1336971 and Site Development Permit No. 1528802.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

CONDOMINIUM CONVERSION

7. The Subdivider shall provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual to be provided as follows:
 - a. For existing tenants, within 10 days of the project application for the condominium conversion being deemed complete; or
 - b. For prospective tenants, upon application for the rental of a unit in the proposed condominium conversion.
8. The Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the Subdivision Map Act.
9. The Subdivider shall provide each of the tenants of the proposed condominiums written notice of intention to convert at least 180 days prior to termination of tenancy due to the conversion or proposed conversion in conformance with Subdivision Map Act section 66427.1(a)(2)(E). The provisions of this condition shall neither alter nor abridge the rights or obligations of the parties in performance of their covenants, including, but not limited to, the provision of services, payment of rent, or the obligations imposed by Civil Code sections 1941, 1941.1 and 1941.2.
10. The Subdivider shall provide the tenants of the proposed condominiums with written notification within 10 days after approval of a Certificate of Compliance for the proposed conversion, in conformance with Subdivision Map Act section 66427.1(a)(2)(D).
11. The Subdivider shall give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (San Diego Municipal Code § 125.0431(a)(4)).
12. The Subdivider shall provide each of the tenants of the proposed condominiums notification of their exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, in conformance with Subdivision Map Act section 66427.1(a)(2)(F) and San Diego Municipal Code section 125.0431(a)(5). The right shall commence on the date the subdivision public report is issued, as provided in section 11018.2 of the Business and Professions Code, and shall run for a period of not less than 90 days, unless the tenant gives prior written notice of his or her intention not to exercise the right. (San Diego Municipal Code § 125.0431(a)(5)).

13. The Subdivider shall provide a copy of the Building Conditions Report to a prospective purchaser prior to the opening of an escrow account. (San Diego Municipal Code § 144.0504(c)).
14. Prior to the recordation of the Certificate of Compliance, the Subdivider shall demonstrate conformance with the San Diego Municipal Code provisions for building and landscape improvements (San Diego Municipal Code § 144.0507), to the satisfaction of the City Engineer.

AFFORDABLE HOUSING

15. Prior to the issuance of any building permits or recordation of the Certificate of Compliance, the Subdivider shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.). In addition, the Subdivider shall comply with the regulations by paying the Condominium Conversion Inclusionary Affordable Housing Fee for the existing two dwelling units being converted into condominiums by one of the following, manners:
 - a. Deferring payment of the Condominium Conversion Inclusionary Affordable Housing Fee until the close of escrow of the first condominium sold at the development by entering into a written agreement with the San Diego Housing Commission securing payment of the Condominium Conversion Inclusionary Affordable Housing Fee, which shall be recorded against the development and secured by a recorded deed of trust in favor of the San Diego Housing Commission. If the Subdivider elects future payment of the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect at the close of escrow of the first condominium unit sold at the development; or
 - b. Pre-paying the Condominium Conversion Inclusionary Affordable Housing Fee to the City based upon the aggregate square footage of all residential units in the project. If Owner/Permittee pre-pays the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect on the date of pre-payment.
16. Prior to the issuance of any building permits or recordation of the Certificate of Compliance, the Subdivider shall either show evidence that relocation assistance has been paid to all tenants or enter into an agreement with the San Diego Housing Commission to demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (SDMC §144.0505). In addition, applicant must pay the appropriate fees incurred by the Housing Commission for compliance monitoring (SDMC §144.0503)..

ENGINEERING

17. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
18. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
19. The Subdivider shall comply with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980. Only those exceptions to the General Conditions which are shown on the Map Waiver and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.
20. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high pressure sodium vapor and/or upgrading wattage.

MAPPING

21. Prior to the expiration of the Tentative Map Waiver, a Certificate of Compliance shall be recorded with the San Diego County Recorder.
22. Prior to the recordation of the Certificate of Compliance], taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a recorded tax certificate with the County Recorder's Office must be submitted stating that there are no unpaid liens against the property.
23. Prior to the recordation of the Certificate of Compliance, a survey monument field inspection shall be conducted to ensure that all property corners are marked with durable survey monuments.
24. For any new monument(s) that is(are) set or reset to mark property corner(s), a filed Corner Record or Record of Survey with the County Surveyor delineating

such monument(s) shall be required to be submitted prior to the recordation and issuance of the Certificate of Compliance.

ENVIRONMENTAL

25. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
26. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION, NO. 379612 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
27. The Subdivider shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION, NO. 379612, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources (Archaeology)

INFORMATION:

- The approval of this Map Waiver by the Planning Commission of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Map Waiver will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Map Waiver, may protest the imposition within 90 days of the approval of this Map Waiver by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24004885

PLANNING COMMISSION
RESOLUTION NUMBER R-_____

A RESOLUTION ADOPTING MITIGATED NEGATIVE DECLARATION NO. 379612
AND THE MITIGATION, MONITORING AND REPORTING PROGRAM FOR THE
TYRIAN RESIDENCES - PROJECT NO. 379612 [MMRP]
ADOPTED ON SEPTEMBER 17, 2015

WHEREAS, on October 29, 2014, FMRE, LLC, a California Limited Liability Company, Owner and Permittee, submitted an application to Development Services Department for Coastal Development Permit, Site Development Permit, and Map Waiver for the Tyrian Residences (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on September 17, 2015; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 379612 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission, that it is certified that the Mitigated Negative Declaration No. 379612 has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the City Council in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Report is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

By _____
Jeffrey A. Peterson
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM****MITIGATED NEGATIVE DECLARATION NO. 379612 FOR THE
TYRIAN RESIDENCES - PROJECT NO. 379612 [MMRP]**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 379612 shall be made conditions of Coastal Development Permit No. 1336971, Site Development Permit No. 1528802, and Map Waiver No.1336972 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: *Qualified Archaeologist Monitor*

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the RE at the **Field Engineering Division – 858-627-3200**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call RE and MMC at **858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 379612 and /or Environmental Document Number 379612, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: *Not Applicable*
4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When

necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Historical Resources	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the

names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.

2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an

Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

- b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

- 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
- 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
- 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil

formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.

4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the**

amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.

- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE determined to be Native American**

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.

2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

D. If Human Remains are **NOT** Native American

1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.

2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

A. If night and/or weekend work is included in the contract

1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
2. The following procedures shall be followed.

a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.

b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.

c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night and/or weekend work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.

2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation

The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
3. The cost for curation is the responsibility of the property owner.

C. Curation of artifacts: Accession Agreement and Acceptance Verification

1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.

D. Final Monitoring Report(s)

1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

A SUSTAINABLE EXPEDITE PROJECT

TYRIAN RESIDENCES

6752 - 6762 TYRIAN STREET



*CONCEPTUAL IMAGE ONLY

COASTAL DEVELOPMENT, MAP WAIVER & SITE DEVELOPMENT PERMIT SUBMITTAL SET

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Project Name:
TYRIAN RESIDENCES

Sheet Title:
COVER SHEET

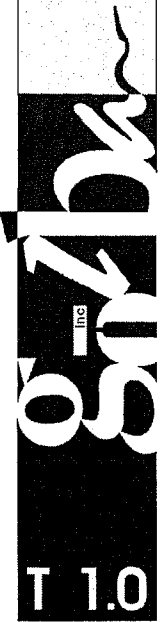
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Revision 7:
Revision 6:
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Revision 2: 01-22-15
Revision 1: 10-29-14

Original Date: 08-11-14
Sheet 1 of 15

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TYRIAN RESIDENCES

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DATE: 01-20-15 REV DATE:

SYMBOLS

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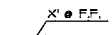
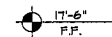
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NORTH ARROW



ELEVATION MARKS



BUILDING SECTION MARKS

SECTION DESIGNATION



WALL SECTION MARKS

SHEET NUMBER

DETAIL DESIGNATION



DETAIL TARGETS

SHEET NUMBER

DETAIL DESIGNATION



PLAN BLOW-UP DETAILS

SHEET NUMBER

DETAIL DESIGNATION



ABBREVIATIONS

ACOUS.	ACOUSTICAL	MATL.	MATERIAL
A.C.T.	ACOUSTICAL CEILING TILE	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MECH.	MECHANICAL
A.F.F.	AT FINISHED FLOOR	MEMB.	MEMBRANE
ASS.	ASSISTANT	MEZZ.	MEZZANINE
ALUM.	ALUMINUM	MANUF.	MANUFACTURER
ALT.	ALTERNATE	MIN.	MINIMUM
A.P.	ACCESS PANEL	MISC.	MISCELLANEOUS
APPROX.	APPROXIMATE	M.O.	MASONRY OPENING
ARCH.	ARCHITECTURAL	MOV.	MOUNTED
ASPH.	ASPHALT	MTD.	MOUNTED
ASST.	ASSISTANT	MTL.	METAL
AUTO.	AUTOMATIC	MUL.	MULLION
BD.	BOARD	N.	NORTH
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
BOT.	BOTTOM	NO.	NUMBER
B.U.R.	BUILT UP ROOFING	NOM.	NOMINAL
		N.T.S.	NOT TO SCALE
CAB.	CABINET	O.A.	OVERALL
CIRC.	CIRCULATION	O.C.	ON CENTER
C.L.	CENTER LINE	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR	O.F.D.	OVERFLOW DRAIN
CLS.	CEILING	OFF.	OFF
CLO.	CLOSET	O.H.	OVERHEAD
C.M.U.	CONCRETE MASONRY UNIT	OPNS.	OPENINGS
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PAV.	PAVING
CONF.	CONFERENCE	P.C.	PRE-CAST
CONN.	CONNECTION	PL.	PLATE
CONSTR.	CONSTRUCTION	PLAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLAS.	PLASTER
CONTR.	CONTRACTOR	PLBS.	PLUMBING
COORD.	COORDINATE	PLYND.	PLYWOOD
CORR.	CORRIDOR	FNT.	PAINT
CFT.	CARPET	PNL.	PANEL
C.J.	CONTROL JOINT	POL.	POLISHED
C.T.	CERAMIC TILE	PROP.	PROPERTY
CTR.	CENTER	P.S.F.	POUNDS PER SQUARE FOOT
C.M.	COLD WATER	P.S.I.	POUNDS PER SQUARE INCH
		PTD.	PAINTED
DBL.	DOUBLE	PTN.	PARTITION
DEMO.	DEMOLITION	PT.	POINT
DEPT.	DEPARTMENT	QTY.	QUANTITY
DIA.	DIAMETER	R.	RUBBER
DIAG.	DIAGONAL	RECEP.	RECEPTION
DIFF.	DIFFUSER	REINF.	REINFORCING
DIM.	DIMENSION	R.O.M.	RIGHT OF WAY
DIV.	DIVISION	RAD.	RADIUS
DN.	DOWN	R.B.	RUBBER BASE
D.P.	DAMP-PROOFING	R.C.P.	REFLECTED CEILING PLAN
DR.	DOOR	ROOF DRAIN	
DTL.	DETAIL	REC.	RECESSED
		REF.	REFERENCE
E.	EAST	REFR.	REFRIGERATOR
EA.	EACH	REINFR.	REINFORCED
EL.	ELEVATION	REQD.	REQUIRED
ELAS.	ELASTOMERIC	RESL.	RESILIENT
ELEC.	ELECTRICAL	REV.	REVISION
ELEV.	ELEVATION	RFB.	ROOFING
EMER.	EMERGENCY	R.O.M.	ROUGH OPENING
ENCL.	ENCLOSURE	S.	SOUTH
ENGR.	ENGINEER	SAN.	SANITARY
ENT.	ENTRANCE	SCH.	SCHEDULE
E.J.	EXPANSION JOINT	SECT.	SECTION
E. PNL.	ELECTRICAL PANEL	SECUR.	SECURITY
EQ.	EQUAL	S.F.	SQUARE FOOT
EQUIP.	EQUIPMENT	SHR.	SHOWER
EXC.	ELECTRIC WATER COOLER	SHT.	SHEET
EXHAUST.	EXHAUST	SIM.	SIMILAR
EXT.	EXISTING	SL.	SLOPE
EXP.	EXPANSION	S.P.	STANDPIPE
EXT.	EXTERIOR	SPEC.	SPECIFICATION
		SPEAKER	
F.D.	FLOOR DRAIN	SQ.	SQUARE
FDN.	FOUNDATION	S.S.T.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STA.	STATION
F.F.	FINISH FLOOR	STD.	STANDARD
F.H.C.	FIRE HOSE CABINET	STL.	STEEL
FIN.	FINISH	STOR.	STORAGE
FL.	FLOOR	STRUC.	STRUCTURAL
FLX.	FLEXIBLE	SUSP.	SUSPENDED
FLOUR.	FLUORESCENT	SYN.	SYMMETRICAL
FT.	FOOT		
FURN.	FURNITURE	T.	TREAD
FURR.	FURRING	T.O.	TOP OF
FUT.	FUTURE	T.B.	TOP AND BOTTOM
		T.G.S.	TONGUE AND GROOVE
GA.	GAUGE	TEL.	TELEPHONE
GALV.	GALVANIZED	TER.	TERRAZZO
GEN.	GENERAL	THK.	THICK
GL.	GLASS	TLT.	TOILET
GND.	GROUND	TOPO.	TOPOGRAPHY
GR.	GRADE	T.V.	TELEVISION
GYP. BD.	GYP. BOARD	TYP.	TYPICAL
		UNEXG.	UNEXCAVATED
H.C.	HARD CORE	UNF.	UNFINISHED
HDM.	HARDWARE	UN.O.	UNLESS OTHERWISE NOTED
H.M.	HOLLOW METAL	UTL.	UTILITY
HORZ.	HORIZONTAL	VAC.	VACUUM
HR.	HOUR	V.C.T.	VINYL COMPOSITION TILE
HT.	HEIGHT	VENT.	VENTILATION
HTG.	HEATING	VERT.	VERTICAL
H.V.A.C.	HEATING, VENTILATION	VEST.	VESTIBULE
HXL	HOT WATER	V.I.P.	VERIFY IN FIELD
		VOL.	VOLUME
IN.	INCHES	V.T.	VINYL TILE
INCAND.	INCANDESCENT		
INCL.	INCLUDED	W.	WATER
INSUL.	INSULATED	W.C.	WATER CLOSET
INT.	INTERIOR	W.D.	WIDE FLANGE
INTERM.	INTERMEDIATE	W.H.	WATER HEATER
		WIN.	WINDOW
JAN.	JANITOR	WM.	WIRE MESH
JT.	JOINT	W.P.	WATERPROOFING
		W.T.	WATER
KIT.	KITCHEN	W.M.F.	WELDED WIRE MESH
		YD.	YARD
LAM.	LAMINATE		
LAUN.	LAUNDRY		
LAV.	LAVATORY		
LB(S)	POUNDS		
L.F.	LINEAR FOOT		
LT.	LIGHT		
MACH.	MACHINE		
MAINT.	MAINTENANCE		
MAS.	MASONRY		

SPECIAL INSPECTIONS:

GENERAL REQUIREMENTS:

1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION. THE LIST MUST BE PROJECT SPECIFIC AND MUST CONFORM TO THE REQUIREMENTS SPECIFIED IN BUILDING NEWSLETTER D5-B11. SEE STRUCTURAL DRAWINGS FOR SUMMARY LIST.
2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION INSTRUCTIONS MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
3. "A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION."
4. "AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE FIELD INSPECTION DIVISION FOR APPROVAL PRIOR TO FABRICATION."
5. "A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS."

GENERAL PLAN DEVELOPMENT GOALS

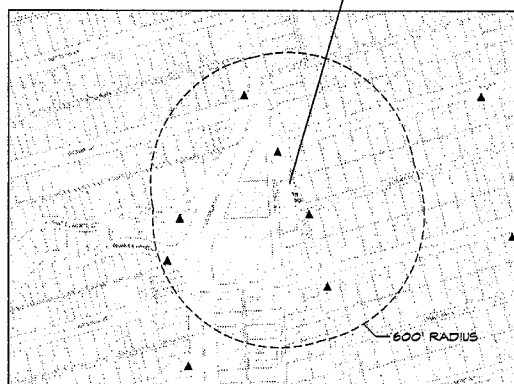
THE PROPOSED INFILL DEVELOPMENT PROJECT AT 6752 & 6762 TYRIAN STREET RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

IN EFFORT TO REACH THESE GOALS THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTO VOLTIC SYSTEM FOR GENERATING POWER ON SITE.
- HIGH EFFICIENCY LIGHTING OR OCCUPANCY SENSORS IN BATHROOMS AND LAUNDRY AREAS.
- ENERGY STAR APPLIANCES.
- DUAL PANE LOW-E GLAZING ON ALL WINDOWS.
- USE OF LOW VOC PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS AND OTHER FINISHES WHERE FEASIBLE.
- USE OF ENGINEERED WOOD PRODUCTS.
- NATURAL COOLING/VENTILATION WITH OPERABLE WINDOWS.
- WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE.
- USE OF PERMEABLE PAVING WHERE APPLICABLE.
- USE OF RAIN SENSOR SHUT OFF DEVICES.
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT.

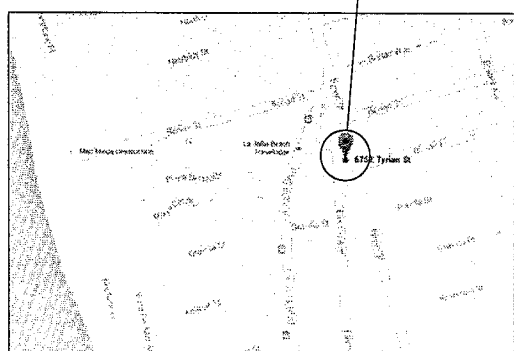
FIRE HYDRANTS

1/4" = 100'-0" ▲ = FIRE HYDRANT



VICINITY MAP

NO SCALE



PROJECT DATA

PROJECT DESCRIPTION:

SUBMITTAL FOR A COASTAL DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT & MAP WAIVER FOR THE CREATION OF THREE CONDOMINIUMS. THE SCOPE OF WORK INCLUDES THE CONSTRUCTION OF A NEW 1461 S.F. TWO-STORY OVER BASEMENT RESIDENCE WITH A EXT. GROUND FLOOR WOOD DECK AND A REMODEL/ADDITION TO THE EXISTING ONE-STORY RESIDENCE LOCATED AT 6762 TYRIAN ST. (NORTHERN END OF THE PROJECT SITE) WITH A EXT. GROUND FLOOR WOOD DECK. NO WORK IS PROPOSED ON THE EXISTING SINGLE FAMILY RESIDENCE LOCATED AT 6752 TYRIAN ST. (SOUTHERN END OF THE PROJECT SITE). THIS PROJECT WILL PROVIDE LEGAL PARKING WHERE NONE CURRENTLY EXISTS FOR BOTH EXISTING DWELLING UNITS, AS WELL AS FOR THE PROPOSED NEW DWELLING UNIT. TO ACHIEVE THIS, THE PROJECT PROPOSES TO RELINQUISH ACCESS RIGHTS FROM TYRIAN STREET PER S.D.M.C. SECT. 115.0246(b) TO ALLOW FOR REVISED SETBACKS ALONG TYRIAN STREET AND REQUEST A DEVIATION TO PERMIT VEHICULAR PARKING ALONG THE FRONT SETBACK (ELECTRIC AVE.)

SITE ADDRESSES:

6752 - 6762 TYRIAN STREET
LA JOLLA, CA 92037

ASSESSORS PARCEL NUMBER:

351-848-01

LEGAL DESCRIPTION:

LOT 1 OF HYMAN'S ADDITION ACCORDING TO MAP NO. 1808.

REQ'D DISCRETIONARY PERMITS:

COASTAL DEVELOPMENT PERMIT, MAP WAIVER

COMMUNITY PLAN:

LA JOLLA COMMUNITY PLAN

YEAR EXISTING STRUCTURE(S) WAS BUILT:

1926

EXISTING SOIL CONDITIONS:

PREVIOUSLY DISTURBED

LOT USE

EXISTING: MULTI FAMILY RESIDENCE
PROPOSED: MULTI FAMILY RESIDENCE

LOT ZONING:

RM 1-1

GEOLOGIC HAZARD CATEGORY:

55

OVERLAY ZONE DESIGNATION:

COASTAL HEIGHT LIMIT, CITY COASTAL, PARKING IMPACT OVERLAY ZONE (COASTAL IMPACT AREA), TRANSIT AREA, RESIDENTIAL TANDEN PARKING

LOT SIZE:

7501 S.F.

ALLOWABLE FAR:

0.75 = 5625.75 S.F.

DENSITY:

3.0 DWELLINGS UNITS (1 DU/3,000 S.F. = 2.5 PER L.D.C. SECT. 115.0222(a)(1) THIS IS ROUNDED UP TO 3.0)

OCCUPANCY:

R-3

BUILDING CODE:

2015 C.B.C., 2013 C.E.C., 2013 C.P.C., 2013 C.M.C., 2013 C.F.C., 2013 C.G.C. & 2013 C.R.C.

CONSTRUCTION TYPE:

TYPE VB, NR

BUILDING HEIGHT

NEW RESIDENCE

EXISTING: NONE

PROPOSED: 24'-6"

6762 TYRIAN ST.

EXISTING: 16'-5"

PROPOSED: 22'-4 1/2"

SQ. FT. CALCULATION

PROPOSED SQ. FT.

NEW RESIDENCE

BASEMENT/GARAGE 822 S.F. (EXEMPT PER SDMC 115.0234(a)(2))

FIRST FLOOR 780 S.F.

SECOND FLOOR 681 S.F.

TOTAL HABITABLE: 1,461 S.F.

6762 TYRIAN ST. (REMODEL/ADDITION)

FIRST FLOOR 318 EXISTING S.F. + 340 NEW S.F.

SECOND FLOOR 422 NEW S.F.

TOTAL HABITABLE: 1,160 S.F.

6752 TYRIAN ST. (NO WORK HERE)

FIRST FLOOR 1,201 EXISTING S.F.

SECOND FLOOR 144 EXISTING S.F.

TOTAL HABITABLE: 1,345 S.F.

GRAND TOTAL HABITABLE: 4,566 S.F. < 5625.75 S.F. (MAX. F.A.R.)

DECKS, NEW RESIDENCE

FIRST FLOOR 22 S.F. (DECK) + 14 S.F. (FRONT PATIO)

SECOND FLOOR 43 S.F. (DECK) + 11 S.F. (ROOF DECK ACCESS)

ROOF DECK 228 S.F.

TOTAL 318 S.F.

DECKS, 6762 TYRIAN ST.

SECOND FLOOR 43 S.F. (DECK) + 11 S.F. (ROOF DECK ACCESS)

ROOF DECK 214 S.F.

TOTAL 268 S.F.

PROJECT DIRECTORY

GENERAL

T1.0 COVER SHEET

T1.1 LEGEND AND PROJECT DATA

CIVIL

C1 TOPOGRAPHIC SURVEY

C2 MAP WAIVER PLAN

ARCHITECTURAL

A0.0 SITE PLAN

A0.1 WATER POLLUTION CONTROL PLAN

A1.0 NEW RESIDENCE FLOOR PLANS

A1.1 6762 TYRIAN RESIDENCE FLOOR PLANS

A2.0 NEW RESIDENCE BUILDING ELEVATIONS

A2.1 6762 TYRIAN BUILDING ELEVATIONS

A3.0 NEW RESIDENCE BUILDING SECTIONS

A3.1 6762 TYRIAN BUILDING SECTIONS

LANDSCAPE

L1.0 LANDSCAPE DEVELOPMENT HARDSCAPE PLAN

L1.1 LANDSCAPE DEVELOPMENT PLANTING PLAN

L1.2 LANDSCAPE DEVELOPMENT CALCULATIONS

DIRECTORY

OWNER:

FMRE LLC
2451 MORENA BLVD., 3RD FLOOR
SAN DIEGO, CA 92110
TEL: (619) 231-9905

CIVIL:

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
9665 CHESAPEAKE DRIVE, SUITE 445
SAN DIEGO, CA 92123-1854
TEL: (858) 565-8362
CONTACT: ROBERT J. BATEMAN

ARCHITECT:

GOLBA ARCHITECTURE, INC.
1940 GARNET AVENUE, SUITE 100
SAN DIEGO, CA 92109
TEL: (619) 231-9905
CONTACT: RICARDO TORRES

LANDSCAPE

NERI LANDSCAPE ARCHITECTURE
155 HORNBLAND STREET, SUITE #3
SAN DIEGO, CA 92104
TEL: (858) 274-3222
CONTACT: JIM NERI

Prepared By:

Ricardo Torres
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
Office: (619) 231-9905
Fax: (858) 750-3471

Project Address:
6752 - 6762 Tyrian St.
La Jolla, CA 92037

Project Name:
TYRIAN RESIDENCES

Sheet Title:

PROJECT DATA

Revision 10:

Revision 9:

Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2: 01-20-15

Revision 1: 10-29-14

Original Date: 08-11-14

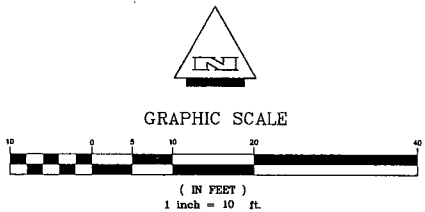
Sheet 2 of 15

GOLBA ARCHITECTURE inc
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

TYRIAN RESIDENCES

Golba
ARCHITECTURE

DATE: 01-20-15 REV. DATE: △



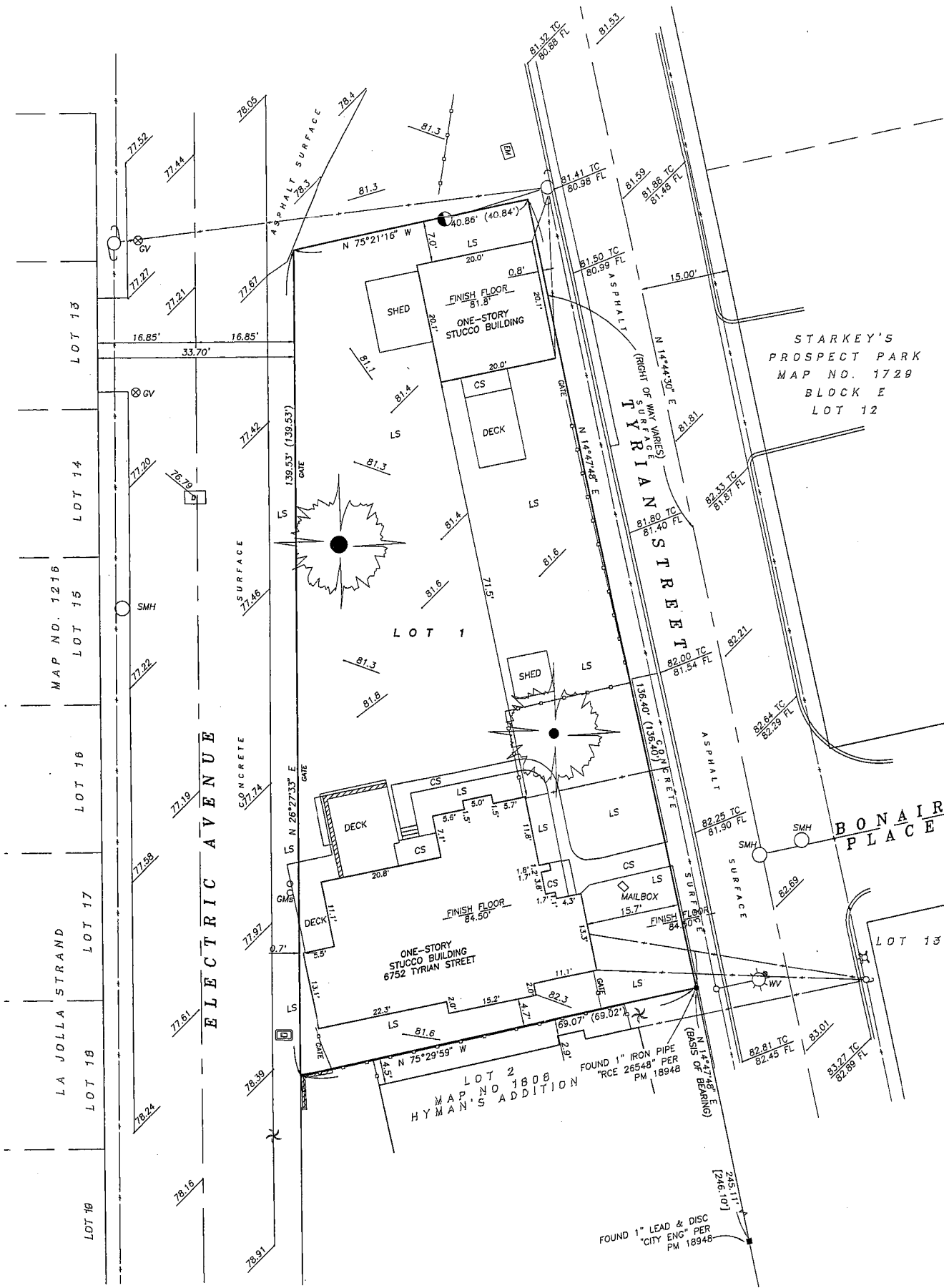
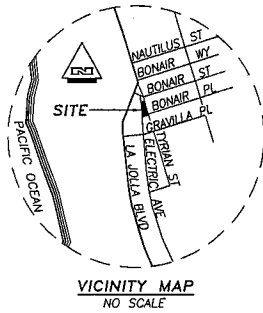
LEGAL DESCRIPTION:
LOT 1 OF HYMAN'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1808, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 5, 1924.

BENCH MARK:
FOUND BRASS PLUG ON SOUTHEAST RETURN IN TOP OF CURB AT TYRIAN STREET AND GRAVILLA STREET
ELEVATION = 86.563 ABOVE MEAN SEA LEVEL, NGVD 29.

SURVEY LEGEND:
() INDICATES RECORD DATA PER MAP NO. 1908
[] INDICATES RECORD DATA PER PARCEL MAP NO. 18948

LEGEND:

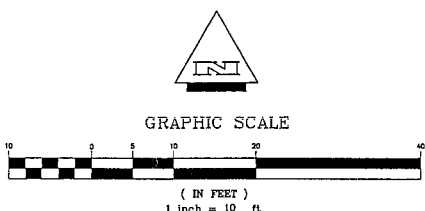
PROPERTY LINE	---
OVERHEAD WIRES	—+—+—+—
EXISTING BLOCK WALL	=====
WOOD FENCE	-X-X-X-
INDICATES CHAINLINK FENCE	-X-X-X-X-
CONCRETE SURFACE	CS
LANDSCAPING	LS
SEWER CLEANOUT	SCO
ELECTRIC METER	EM
EXISTING WATER METER	Ⓜ
EXISTING POWER POLE	Ⓣ
EXISTING FIRE HYDRANT	Ⓜ



Robert J. Bateman
ROBERT J. BATEMAN, P.L.S. 7046

6752 TYRIAN STREET, SAN DIEGO, CA 92037 SAN DIEGO COUNTY		
TOPOGRAPHICAL SURVEY		
For the exclusive use of: MARC CICHETTO - FMRE LLC 3365 IBIS STREET SAN DIEGO, CA 92103		
San Diego Land Surveying & Engineering, Inc.		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1354 Phone: (658) 565-8362 Fax: (658) 565-4354		
Date: 01-14-2014	Revised: 10-27-2014	Revised:
Scale: 1"=10'	Drawn by: W.P.T.	Sheet 3 of 15 Sheets
Drawing: Tyrian St 6725 Topo		A.P.N. 351-393-01

6752-6762 TYRIAN ST
Map Waiver No. 1336972
Project No. 379612



ZONING INFORMATION
EXISTING AND PROPOSED ZONE: RM1-1
COMMUNITY PLAN NAME: LA JOLLA
OVERLAY ZONES: COASTAL HEIGHT LIMIT, CITY COASTAL,
PARKING IMPACT, BEACH IMPACT,
TRANSIT AREA, RESIDENTIAL TANDEM PARKING
GEOLOGIC HAZARD CATEGORY: 53

UTILITY TABLE:

UTILITY	OVERHEAD	UNDERGROUND
CATV	X	
ELECTRIC	X	
GAS		X
TELEPHONE	X	

- CITY OF SAN DIEGO
DEVELOPMENT SUMMARY**
- SUMMARY OF REQUEST:**
MAP WAIVER TO CREATE 3 RESIDENTIAL CONDOMINIUM DWELLING UNITS AND FILE A CERTIFICATE OF COMPLIANCE
 - STREET ADDRESS:** 6752 TYRIAN STREET
N SIDE
BETWEEN BONAIR STREET AND GRAVILLA STREET
 - SITE AREA:**
TOTAL SITE AREA (GROSS): (7,501 SF) 0.17 AC.
NET SITE AREA: (7,501 SF) 0.17 AC.
 - DENSITY: (RESIDENTIAL)**
MAXIMUM NO. DWELLING UNITS ALLOWED PER ZONE: 3
NUMBER OF EXISTING UNITS TO REMAIN ON SITE: 2
NUMBER OF PROPOSED DWELLING UNITS ON SITE: 1
TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 3
 - YARD/SETBACK:**
MINIMUM FRONT: 15'
STANDARD FRONT: 20'
MINIMUM SIDE: 5'
STANDARD SIDE: 8'
MINIMUM STREET SIDE: 10'
REAR: 15'
MAX. STRUCTURE HEIGHT: 30'

- 6. PARKING:**
PARKING CRITERIA:
☒ RESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRIAL
☐ MIXED USE ☐ OTHER

TYPE OF UNIT	NUMBER OF TYPE	PARKING REQUIRED PER UNIT	TOTAL PER TYPE
4 BR UNIT	1	2.25	2.0
3 BR UNIT	1	1.5	2.0
2 BR UNIT	1	2.0	2.0
TOTAL REQUIRED BY ZONE			5.75
TOTAL PROVIDED ON-SITE			6.0

UNIT AREAS

BUILDING	SQ. FT.
NEW RESIDENCE	1,461
6762 TYRIAN ST.	1,160
6752 TYRIAN ST.	1,945
TOTAL	4,566

MONUMENTATION & MAPPING
ALL PROPERTY CORNERS WILL BE SET AND A CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN DIEGO. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON SAID MAP.

EXISTING IMPROVEMENTS

SEWER DRAWING NO. 27216-24-D
WATER DRAWING NO. 10396-7-D
WATER DRAWING NO. 13708-7-D

EXISTING & PROPOSED EASEMENTS:

- SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY EASEMENT RECORDED IN BOOK 496, PAGE 327 OF DEEDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD AND THEREFORE COULD NOT BE PLOTTED.
- THERE ARE NO PROPOSED EASEMENTS.

DEVELOPMENT NOTES:

- THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS IS 3.
- NUMBER OF EXISTING LOTS = 1
NUMBER OF PROPOSED LOTS = 1
- THERE IS NO BUS STOP ON SITE.
- MAP WAIVER IS WAIVING THE TENTATIVE MAP & PARCEL MAP.
- REPLACE EXISTING CURB PER CITY STANDARD CURB AND GUTTER.
- CONSTRUCT PEDESTRIAN RAMP PER SDG-134, TYPE C1

- LEGEND:**
- INDICATES WATER METER
 - INDICATES FIRE HYDRANT
 - INDICATES UTILITY POLE
 - INDICATES STREET LIGHT
 - INDICATES GAS GATE VALVE
 - INDICATES GUY POLE
 - INDICATES DRAIN INLET
 - INDICATES CONCRETE SURFACE
 - INDICATES LANDSCAPE SURFACE
 - INDICATES SEWER CLEAN OUT
 - INDICATES ELECTRIC METER
 - INDICATES GAS METER
 - INDICATES WATER VALVE
 - INDICATES SEWER MANHOLE
 - INDICATES DIRECTION OF DRAINAGE
 - INDICATES WOOD FENCE
 - INDICATES BLOCK WALL
 - INDICATES SEWER LATERAL
 - INDICATES WATER SERVICE
 - INDICATES PARKING SPACE
 - INDICATES UTILITY LINES
 - INDICATES SEWER LINE
 - INDICATES WATER LINE
 - INDICATES PROPERTY LINE/TENTATIVE MAP BOUNDARY
 - INDICATES NEW CONCRETE AREA

OWNER/DEVELOPER:

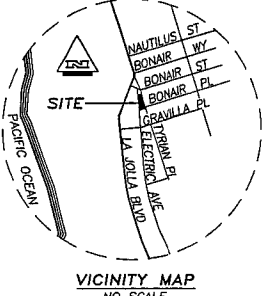
FMRE LLC
2437 MORENA BOULEVARD 3RD FLOOR
SAN DIEGO, CA 92110

MARC CICHETTO, MANAGING MEMBER

PROFESSIONAL LAND SURVEYOR:

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
9665 CHESAPEAKE DRIVE, SUITE 445
SAN DIEGO, CALIFORNIA 92123 (858) 565-8362

Robert J. Bateman
ROBERT J. BATEMAN, P.L.S. 7046
10-27-2014
DATE



Prepared By:
SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.
9665 CHESAPEAKE DRIVE, SUITE 445
SAN DIEGO, CA 92123-1354
PHONE: 858-565-8362 EMAIL: rbaleman@sdlse.com

Consultants:

Basis of Bearings:

THE WESTERLY RIGHT-OF-WAY LINE OF TYRIAN STREET AS SHOWN ON PARCEL MAP NO. 18948.
I.E. N 14°47'48" E

Benchmark:

SOUTHEAST BRASS PLUG AT THE INTERSECTION OF TYRIAN STREET AND GRAVILLA STREET.
ELEVATION = 86.563 M.S.L.

Project Legal Description:

LOT 1 OF HYMAN'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1808, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 5, 1924.

Project Soil Condition: Existing developed site.

Source of Topography:
Field survey by San Diego Land Surveying on 12-23-2014

Project Permits Required:
Map Waiver

Project Data:

Number of Stories: 2
Proposed use: Residential
Existing use: Residential
Zone Designation: RM-1-1
Year of Construction (exst. structure): 1926

LAMBERT COORDINATES:
NAD 27 = 242-1685 NAD 83 = 1882-8245
A.P.N. 351-393-01

Project Name:
6752 TYRIAN STREET

Project Address:
6752 Tyrian Street
San Diego, CA 92103

Project Owner:
FMRE, LLC
2437 Morena Blvd 3rd Floor
San Diego, CA 92110

Sheet Title:
Map Waiver No. 1336972
PTS No. 379612

Scale: 1" = 10'
Original Date: July 1, 2014
Revised: August 14, 2014
Revised: October 27, 2014

GOLBA ARCHITECTURE inc
 Architecture ■ Space Planning ■ Interior Design
 1940 Garnet Ave., #100 San Diego, California 92109
 Phone: (619) 231-9905 Fax: (858) 750-3471

TYRIAN RESIDENCES

6752 - 6762 TYRIAN ST.
 LA JOLLA, CA 92037

6752 TYRIAN ST. - EXIST'G SECOND FLOOR PLAN

FOR REFERENCE ONLY SCALE: 3/32"=1'-0"

SPECIAL PLAN NOTES:

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMG SEC. 131.027(a)).
2. THE SCOPE OF WORK DOES NOT INCLUDE ANY PROPOSED REPLACEMENT OR REMOVAL OF ANY PART OF THE EXISTING SIDEWALK.
3. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE DRIVEWAY VISIBILITY AREA SHALL EXCEED 3-FEET IN HEIGHT.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 4, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OF THE MUNICIPLE CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

STAIR NOTES:

- STAIR #1**
 TYP. RISER = 6.0" EA.
 TYP. TREAD = 12" EA.
 NO. OF RISERS = 3
 TOTAL RISE: 1'-6"
- STAIR #2**
 TYP. RISER = 6.64" EA.
 TYP. TREAD = 12" EA.
 NO. OF RISERS = 7
 TOTAL RISE: 3'-11"
- STAIR #3**
 TYP. RISER = 6.0" EA.
 TYP. TREAD = 12" EA.
 NO. OF RISERS = 10
 TOTAL RISE: 5'-0"
- STAIR #4**
 TYP. RISER = 6.4" EA.
 TYP. TREAD = 12" EA.
 NO. OF RISERS = 5
 TOTAL RISE: 2'-8"
- STAIR #5**
 TYP. RISER = 7.0" EA.
 TYP. TREAD = 12" EA.
 NO. OF RISERS = 5
 TOTAL RISE: 2'-11"
- STAIR #6**
 TYP. RISER = 7.0" EA.
 TYP. TREAD = 12" EA.
 NO. OF RISERS = 4
 TOTAL RISE: 2'-4"

HANDRAILS:

1 1/2" DIA. ALUM. HANDRAIL @ 34" ABOVE NOSE OF STAIRS.

SITE NOTES:

1. THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
2. PROVIDE BUILDING ADDRESS NUMBERS FOR ALL NEW AND EXISTING STRUCTURES VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (MFG 901.4.4). MIN. SIZE OF NUMBERS SHALL BE 12".
3. METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
4. SEE SHEETS L1.0 THRU L1.2 FOR DETAILED INFORMATION REGARDING HARDSCAPE & LANDSCAPE PLANTING FEATURES.

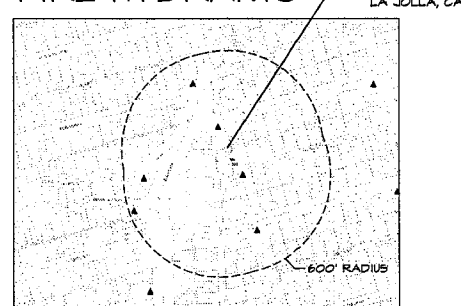
PLAN NOTES:

1. NEW SIDEWALK TO MATCH EXISTING PER LANDSCAPE PLANS, SEE L1.0.
2. LINE OF OVERHEAD UTILITY TO REMAIN.
3. EXISTING WATER METER FOR 6752 TYRIAN ST. TO REMAIN. INSTALL A NEW BACK FLOW PREVENTOR PREVENTION DEVICE (BFPD).
4. NEW WATER METER & BACK FLOW PREVENTION DEVICE (BFPD) FOR NEW RESIDENCE.
5. NEW WATER METER & BACK FLOW PREVENTION DEVICE FOR 6752 TYRIAN ST.
6. EXISTING TREES TO BE REMOVED.
7. EXISTING WOOD DECK & CONCRETE SURFACE TO BE REMOVED.
8. EXISTING SHED TO BE REMOVED.
9. EXISTING GAS METERS TO REMAIN. SERVICE FOR 6752 & 6762 TYRIAN ST.

GRADING TABLE

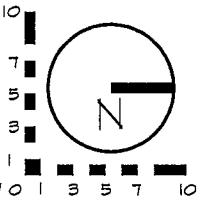
NEW BUILDING	
AMOUNT OF DISTURBANCE AREA:	778 S.F.
AMOUNT OF CUT:	204 CU. YDS.
HEIGHT OF CUT:	1'-3"
REMODEL BUILDING	
AMOUNT OF DISTURBANCE AREA:	335 S.F.
AMOUNT OF CUT:	18.6 CU. YDS.
HEIGHT OF CUT:	1'-6"

FIRE HYDRANTS



SITE KEY

[Symbol]	AREA OF PROPOSED RESIDENCE
[Symbol]	AREA OF PROPOSED ADDITION
[Symbol]	INDICATES PROPERTY LINE
[Symbol]	INDICATES SETBACK LINE
[Symbol]	ELECTRIC METER
[Symbol]	GAS METER
[Symbol]	ELEVATION SPOT
[Symbol]	F.S. FINISH SURFACE
[Symbol]	T.M. TOP OF WALL



SCALE: 3/16"=1'-0"

Prepared By:
 Ricardo Torres
 Golba Architecture
 1940 Garnet Ave., Suite 100
 San Diego, CA 92109
 Office: (619) 231-9905
 Fax: (619) 231-4208

Project Address:
 6752 - 6762 Tyrian St.
 La Jolla, CA 92037

Project Name:
 TYRIAN RESIDENCES

Sheet Title:
SITE PLAN

Revision 14:
 Revision 13:
 Revision 12:
 Revision 11:
 Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3: 02-09-15
 Revision 2: 01-20-15
 Revision 1: 10-29-14

Original Date: 08-11-14
 Sheet 5 of 15

GOLBA
 ARCHITECTURE
 inc

DATE: 10-05-15

WPCP NOTES:

1. DISCHARGING SEDIMENT-LADEN WATER WHICH WILL CAUSE OR CONTRIBUTE TO AN EXCEEDANCE OF THE APPLICABLE RWQCB'S BASIN PLANS FROM A DEWATERING SITE OR SEDIMENT BASIN/TRAP INTO ANY RECEIVING WATER OR STORM DRAIN WITH FILTRATION OR EQUIVALENT TREATMENT IS PROHIBITED.
2. THE DISCHARGER SHALL AMEND THE SWPPP WHENEVER THERE IS A CHANGE IN CONSTRUCTION OR OPERATIONS, WHICH MAY AFFECT THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS, GROUNDWATER, OR A MUNICIPAL STORM DRAIN SYSTEM. THE SWPPP SHALL ALSO BE AMENDED IF THE DISCHARGER VIOLATES ANY CONDITION OF THE GENERAL PERMIT OR HAS NOT ACHIEVED THE GENERAL OBJECTIVE OF REDUCING OR ELIMINATING POLLUTANTS IN STORM WATER DISCHARGES. ALL AMENDMENTS SHOULD BE DATED AND DIRECTLY ATTACHED TO THE SWPPP.
3. TEMPORARY ON-SITE DRAINAGE TO CARRY CONCENTRATED FLOW SHALL BE SELECTED TO COMPLY WITH CITY REQUIREMENTS TO CONTROL EROSION, TO RETURN FLOWS TO THEIR NATURAL DRAINAGE COURSES, AND TO PREVENT DAMAGE TO DOWNSTREAM PROPERTIES.
4. DISCHARGES ORIGINATING FROM OFF-SITE, WHICH FLOW ACROSS OR THROUGH AREAS DISTURBED BY CONSTRUCTION THAT MAY CONTAIN POLLUTANTS, SHOULD BE REPORTED TO THE RWQCB.
5. DISCHARGES WHO ARE PRESENTLY COVERED UNDER NPDES GENERAL PERMIT NO. CAS000002 FOR DISCHARGE OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY MAY SUBMIT A NOTICE OF TERMINATION WHEN THEY MEET ONE OF THE FOLLOWING CRITERIA:
- A. THE CONSTRUCTION PROJECT HAS BEEN COMPLETED AND THE FOLLOWING CONDITIONS HAVE BEEN MET: ALL ELEMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN HAVE BEEN COMPLETED; CONSTRUCTION MATERIALS AND EQUIPMENT MAINTENANCE WASTE HAVE BEEN DISPOSED OF PROPERLY; THE SITE IS IN COMPLIANCE WITH ALL LOCAL STORM WATER MANAGEMENT REQUIREMENTS INCLUDING EROSION/SEDIMENT CONTROL REQUIREMENTS AND THE APPROPRIATE USE PERMITS HAVE BEEN OBTAINED; AND A POST-CONSTRUCTION STORM WATER OPERATION AND MANAGEMENT PLAN IS IN PLACE.
- B. CONSTRUCTION ACTIVITIES HAVE BEEN SUSPENDED, EITHER TEMPORARILY OR INDEFINITELY AND THE FOLLOWING CONDITIONS HAVE BEEN MET: ALL ELEMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN HAVE BEEN COMPLETED; CONSTRUCTION MATERIALS AND EQUIPMENT MAINTENANCE WASTE HAVE BEEN DISPOSED OF PROPERLY; ALL DENuded AREAS AND OTHER AREAS OF POTENTIAL EROSION ARE STABILIZED; AN OPERATION AND MAINTENANCE PLAN FOR EROSION AND SEDIMENT CONTROL IS IN PLACE, AND THE SITE IS IN COMPLIANCE WITH ALL LOCAL STORM WATER MANAGEMENT REQUIREMENTS INCLUDING EROSION/SEDIMENT CONTROL REQUIREMENTS. THE DATE CONSTRUCTION ACTIVITIES WERE SUSPENDED, AND THE EXPECTED DATE CONSTRUCTION ACTIVITIES WILL START UP AGAIN SHOULD BE PROVIDED.
- C. CONSTRUCTION SITE CAN NOT DISCHARGE STORM WATER TO WATERS OF THE UNITED STATES. PLEASE INDICATE IF ALL STORM WATER IS RETAINED ON SITE OR IF STORM WATER IS COLLECTED OFFSITE.
- D. DISCHARGE OF CONSTRUCTION STORM WATER FROM THE SITE IS NOW SUBJECT TO ANOTHER NPDES GENERAL PERMIT OR AN INDIVIDUAL NPDES PERMIT. THE GENERAL PERMIT OR INDIVIDUAL PERMIT NPDES NUMBER AND DATE COVERAGE BEGAN SHOULD BE PROVIDED.
- E. THERE IS A NEW OWNER OF THE IDENTIFIED SITE. IF OWNERSHIP OR OPERATION OF THE FACILITY HAS BEEN TRANSFERRED THEN THE PREVIOUS OWNER MUST SUBMIT A NOTICE OF TERMINATION AND THE NEW OWNER MUST SUBMIT A NOTICE OF INTENT FOR COVERAGE UNDER THE GENERAL PERMIT. THE DATE OF TRANSFER AND INFORMATION ON THE NEW OWNER SHOULD BE PROVIDED. NOTE THAT THE PREVIOUS OWNER MAY BE LIABLE FOR DISCHARGE FROM THE SITE UNTIL THE NEW OWNER FILES A NOTICE OF INTENT FOR COVERAGE UNDER THE GENERAL PERMIT.
6. SEDIMENT CONTROL BMP'S ARE REQUIRED AT APPROPRIATE LOCATIONS ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL INLETS TO THE STORM DRAIN SYSTEM AT ALL TIMES.
7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE ADEQUATE SEDIMENT CONTROL MATERIALS ARE AVAILABLE TO CONTROL SEDIMENT DISCHARGES AT THE DOWNGRADE PERIMETER AND OPERATIONAL INLETS (WEATHER AND STORM PREDICTIONS CAN BE OBTAINED BY CALLING THE NATIONAL WEATHER SERVICE AT (858) 675-8700 OR BY VISITING THE NATIONAL WEATHER SERVICE WEB SITE AT WWW.NWS.MOAA.GOV/SANDIEGO/INDEX.SHTML. FOR WEATHER INFORMATION AND CURRENT SATELLITE/RADAR FEEDS).

8. THE OUTLETS OF ALL SEDIMENT BASINS, TRAPS, AND LOCATIONS OF ARTIFICIALLY CONCENTRATED FLOW SHALL BE PROVIDED WITH OUTLET PROTECTION TO PREVENT EROSION AND SCOUR.
9. INSPECTIONS SHALL BE PERFORMED BEFORE AND AFTER STORM EVENTS AND ONCE EACH 24-HOUR PERIOD DURING EXTENDED STORM EVENTS TO IDENTIFY BMP EFFECTIVENESS AND IMPLEMENT REPAIRS OR DESIGN CHANGES AS SOON AS FEASIBLE, DEPENDING ON FIELD CONDITIONS. EQUIPMENT, MATERIALS, AND WORKERS MUST BE AVAILABLE FOR RAPID RESPONSE TO FAILURES AND EMERGENCIES. ALL CORRECTIVE MAINTENANCE TO BMP'S SHALL BE PERFORMED AS SOON AS POSSIBLE AFTER THE CONCLUSION OF EACH STORM, DEPENDING UPON WORKER SAFETY.
10. FOR EACH INSPECTION, A QUALIFIED PERSON SHALL COMPLETE AN INSPECTION CHECKLIST CONTAINING THE FOLLOWING MINIMUM INFORMATION: INSPECTION DATE, WEATHER INFORMATION (BEGINNING/END OF STORM EVENT, DURATION, TIME SINCE LAST STORM, APPROXIMATE RAINFALL IN INCHES), DESCRIPTION OF INADEQUATE BMP'S, LIST OF OBSERVATIONS OF ALL BMP'S AND VISIBLE INSPECTION OF OUTFALLS, DISCHARGE POINTS, DOWNSTREAM LOCATIONS, AND PROJECTED REQUIRED MAINTENANCE ACTIVITIES, CORRECTIVE ACTIONS REQUIRED, INCLUDING CHANGES TO THE SWPPP AND IMPLEMENTATION DATES, INSPECTOR'S NAME, TITLE, SIGNATURE, AND QUALIFICATIONS.
11. INDIVIDUALS RESPONSIBLE FOR SWPPP IMPLEMENTATION, AND PERMIT COMPLIANCE SHALL BE APPROPRIATELY TRAINED. THIS INCLUDES THOSE PERSONNEL RESPONSIBLE FOR INSTALLATION, INSPECTION, MAINTENANCE, AND REPAIR OF BMP'S. THOSE RESPONSIBLE FOR OVERSEEING, REVISING, AND AMENDING THE SWPPP SHALL ALSO DOCUMENT THEIR TRAINING. THE QUALIFIED PERSON SHALL ATTEND THE PRE-CONSTRUCTION MEETING. THE QUALIFIED PERSON SHALL HAVE KNOWLEDGE AND TRAINING OF THE INTENT AND ENFORCEMENT OF SWPPPS AND BMP'S AND BE PROPERLY TRAINED TO CONDUCT INSPECTIONS AND PREPARE REPORTS OF THE CONSTRUCTION SITE WITH RESPECT TO THE CITY'S MUNICIPAL CODE ORDINANCES AND THE SWPPP.
12. RECORDS OF ALL INSPECTIONS, COMPLIANCE CERTIFICATIONS, NONCOMPLIANCE REPORTING, SWPPP AND ANY OTHER DOCUMENTS GENERATED AS PART OF SWPPP MUST BE RETAINED FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE GENERATED.

13. RECORDS OF ALL INSPECTIONS, COMPLIANCE CERTIFICATIONS, NONCOMPLIANCE REPORTING, SWPPP AND ANY OTHER DOCUMENTS GENERATED AS PART OF SWPPP MUST BE RETAINED FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE GENERATED.
14. A CONCRETE WASHOUT SHALL BE INSTALLED FOR ALL PROJECTS THAT PROPOSE CONCRETE TO BE MIXED ON SITE OR DELIVERED FROM A BATCH PLANT. THE CONCRETE WASHOUT SHALL BE LOCATED A MIN. OF 50' FROM ANY DRAINAGE INFRASTRUCTURE OR NATURAL DRAINAGE FEATURES OR WATER BODIES AND INCORPORATE AN IMPERMEABLE LINER (6 MIL MIN) TO CONTAIN THE REQUIRED VOLUME. ALL DRIED CONCRETE WASTE SHALL BE BROKEN INTO MANAGEABLE PIECES AND DISPOSED OF IN A PROPER MANNER. THE CONTRACTOR OR QUALIFIED PERSON SHALL LOCATE CONCRETE WASHOUTS IN THE PRESCRIBED MANNER AS CONSTRUCTION PROGRESSES.
15. THE QUALIFIED PERSON SHALL CONDUCT REGULAR INSPECTIONS OF THE PROJECT SITE IN ACCORDANCE WITH RECOMMENDATIONS OUTLINED IN THE SWPPP. EACH INSPECTION SHALL BE DOCUMENTED IN THE FORM OF WRITTEN REPORTS RETAINED ON-SITE. ALL REPORTS SHALL BE MADE AVAILABLE TO THE CITY OF SAN DIEGO AND RWQCB REPRESENTATIVES UPON REQUEST.
16. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER AND SEWER UTILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.
17. THE PERMITEE OR DESIGNEE SHALL PROVIDE EVIDENCE OF COVERAGE UNDER THE GENERAL CONSTRUCTION NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT, IN THE FORM OF A NOTICE OF INTENT (NOI) FILED WITH THE STATE WATER RESOURCES CONTROL BOARD, PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.
18. SEDIMENT AND EROSION CONTROLS MAY BE REMOVED ONLY WHEN CONTRIBUTORY UPSTREAM AREAS BECOME STABILIZED OR ARE MANAGED UPSTREAM (I.E. SINGLE LOT SEDIMENT CONTROLS) AND AS LONG AS SEDIMENT LADEN RUNOFF WILL NOT DISCHARGE FROM THE SITE.
19. WHEN FUTURE WORK BY THE DEVELOPER NOT SHOWN ON THIS PLAN IS TO BE PERFORMED, THE SWPPP SHALL BE AMENDED TO INCLUDE SAID WORK AND ANY ADDITIONAL WATER QUALITY CONTROL MEASURES REQUIRED.

LID & SITE DESIGN NOTES:

- SITE DESIGN AND SPURGE CONTROL BMP'S HAVE BEEN SHOWN ON THIS SITE PLAN. ADDITIONAL BMP'S ARE AS FOLLOWS:
- SITE DESIGN BMP'S ARE DESIGNED TO MAINTAIN PRE-DEVELOPED RUNOFF CHARACTERISTICS. THE FOLLOWING CONCEPTS WERE APPLIED TO THIS PROJECT IN THE FOLLOWING MANNER:
1. MINIMIZE IMPERVIOUS FOOTPRINT BY DESIGNING NEW STRUCTURES IN MULTIPLE STORIES. LANDSCAPE AREAS HAVE BEEN ADDED TO MAXIMIZE INFILTRATION.
 2. MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREA BY ALLOWING THE ROOF RUNOFF TO FLOW OVER PERVIOUS SURFACES. ROOF DRAINS WILL DRAIN TO LANDSCAPED AREAS.

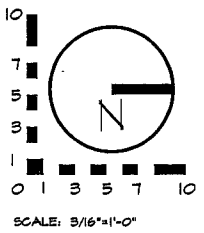
NOTE: THIS WATER POLLUTION CONTROL PLAN SHOULD BE MODIFIED IF RECOMMENDATIONS ARE INADEQUATE TO PROVIDE FOR THE CONTROL OF DISCHARGE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THESE MEASURES ARE FOLLOWED AND ARE PROVIDING PROPER CONTROL OF DISCHARGE AND SEDIMENT. AMENDMENTS SHOULD BE MADE TO THIS PLAN IF THE SITE IS GENERATING ANY STORM WATER POLLUTION.

WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL BMP'S

- | | |
|------|---------------------------------------|
| SC-1 | FIBER ROLL |
| SC-2 | LOT PERIMETER PROTECTION |
| SC-7 | STREET SKEEPING & VACUUMING |
| TC-1 | STABILIZED CONSTRUCTION ENTRANCE/EXIT |
| MM-1 | MATERIAL DELIVERY AND STORAGE |
| MM-5 | SOLID WASTE MANAGEMENT |
| MM-6 | HAZARDOUS WASTE MANAGEMENT |
| MM-8 | CONCRETE WASTE MANAGEMENT |
| MM-9 | SANITARY/SEPTIC WASTE MANAGEMENT |

BMP LEGEND

- PERMANENT BMP'S:**
- SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS.
 - TC-91 TREATMENT CONTROL - VEGETATED BUFFER STRIP.
- LOW IMPACT DEVELOPMENT BMP'S:**
- LID 9.5 L.I.D. DRIVEWAY DESIGN
 - LID 9.6 L.I.D. BUILDING DESIGN
 - LID 9.7 L.I.D. LANDSCAPING DESIGN



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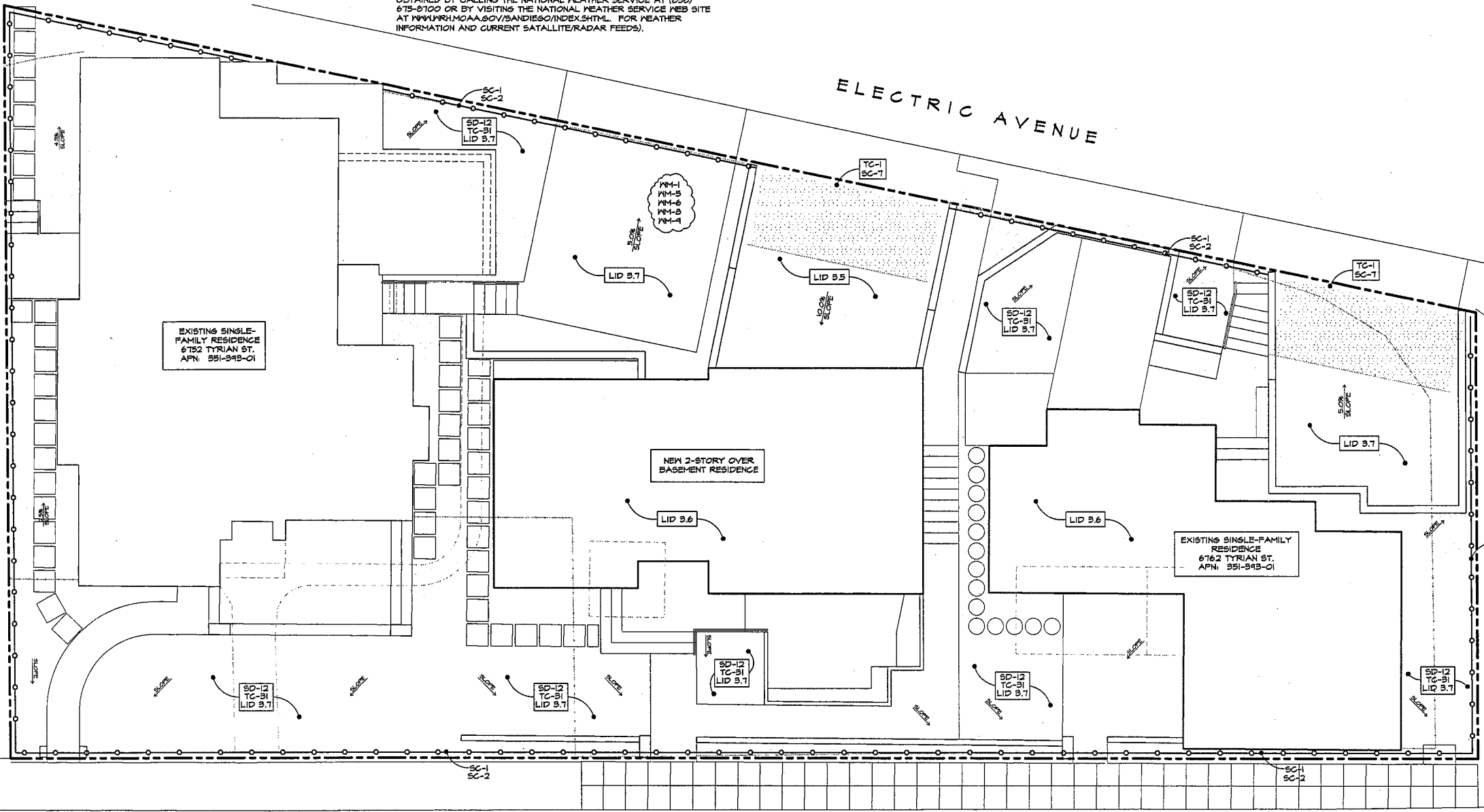
Project Address:
6752 - 6762 Tyrian St.
La Jolla, CA 92037

- Revision 14:
Revision 13:
Revision 12:
Revision 11:
Revision 10:
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Revision 7:
Revision 6:
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Revision 4:
Revision 3: 02-09-15
Revision 2: 01-20-15
Revision 1: 10-29-14

Project Name:
TYRIAN RESIDENCES

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Sheet 6 OF 15

Sheet Title:
WATER POLLUTION CONTROL PLAN



TYRIAN STREET

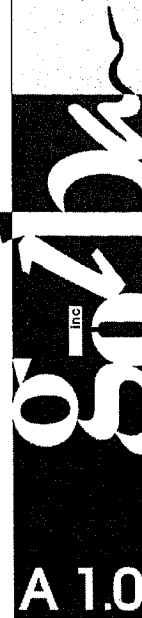
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PLAN NOTES:

- 1-HR. RATED, SOLID CORE, SELF-CLOSING DOOR.
- CONTRACTOR TO SUBMIT CABINET SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. USE GRANITE COUNTERTOPS, STYLE AND COLOR PER OWNER'S APPROVAL.
- WASHER & DRYER, INSTALL PER MANUF. SPECIFICATIONS.
- TEMPERED GLASS SHOWER PANELS.
- 'PLI-DECK' WATERPROOFING DECK SURFACE. INSTALL PER MANUF. SPECS. ICC REPORT ESR-2047.
- 4-PLY BUILT-UP ROOFING, 'JOHNS MANVILLE' 48NC OR EQUAL. CLASS 'A' MIN. UL EXTERIOR FIRE RESISTANCE (UL 790).
- RINNAI EXT. TANKLESS WATER HEATER. INSTALL PER MANUF. SPECIFICATIONS.
- OUTLINE OF ROOF MOUNTED, SOLAR PHOTO VOLTAIC PANELS.
- STANDING METAL SEAM ROOF.

SPECIAL PLAN NOTES:

1. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMG SEC. 1B1.0444 & 1B2.0505).

STAIR NOTES:

BASEMENT TO 1ST FLR.
TYP. RISER = 7.75" EA.
TYP. TREAD = 11" EA.
NO. OF RISERS = 14
TOTAL RISE: 8'-0"
11 7/8" FLOOR JOIST
3/4" PLY. & LANDING
4'-0 5/8" TOTAL RISE

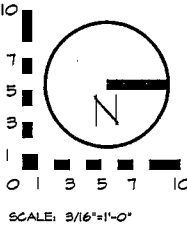
1ST FLR. TO 2ND FLR.
TYP. RISER = 7.75" EA.
TYP. TREAD = 11" EA.
NO. OF RISERS = 14
TOTAL RISE: 8'-0"
11 7/8" FLOOR JOIST
3/4" PLY. & LANDING
4'-0 5/8" TOTAL RISE

2ND FLR. TO ROOF DECK
TYP. RISER = 7.75" EA.
TYP. TREAD = 10" EA.
NO. OF RISERS = 14
TOTAL RISE: 8'-0"
11 7/8" FLOOR JOIST
3/4" PLY. & LANDING
4'-0 5/8" TOTAL RISE

HANDRAILS:
1 1/2" DIA. ALUM. HANDRAIL @ 34" ABOVE NOSE OF STAIRS.

WALL LEGEND

- 8" CONCRETE BLOCK WALL
- 8" CONCRETE BLOCK WALL W/ 2X FURRINS
- 2X4 STUD WALL
- 1-HR RATED WALL
- LOW WALL
- EXISTING WALL TO REMAIN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- T.O.P. TOP OF PARAPET
- T.O.R. TOP OF ROOF



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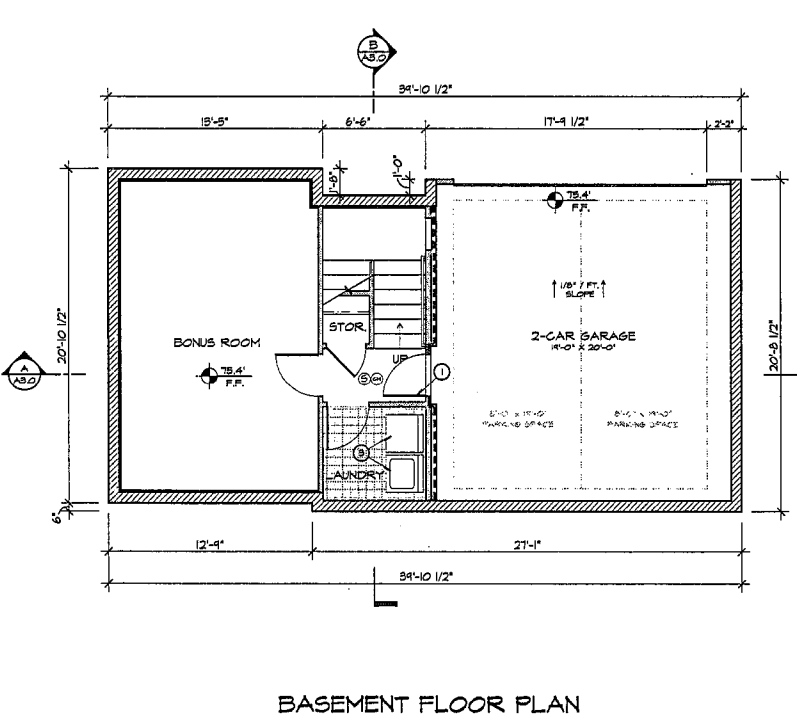
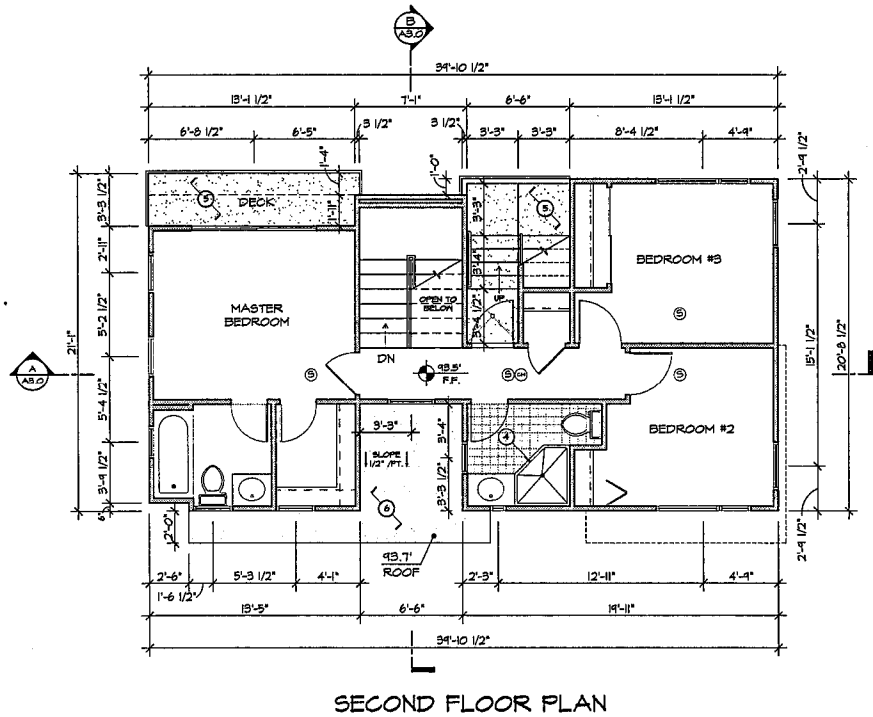
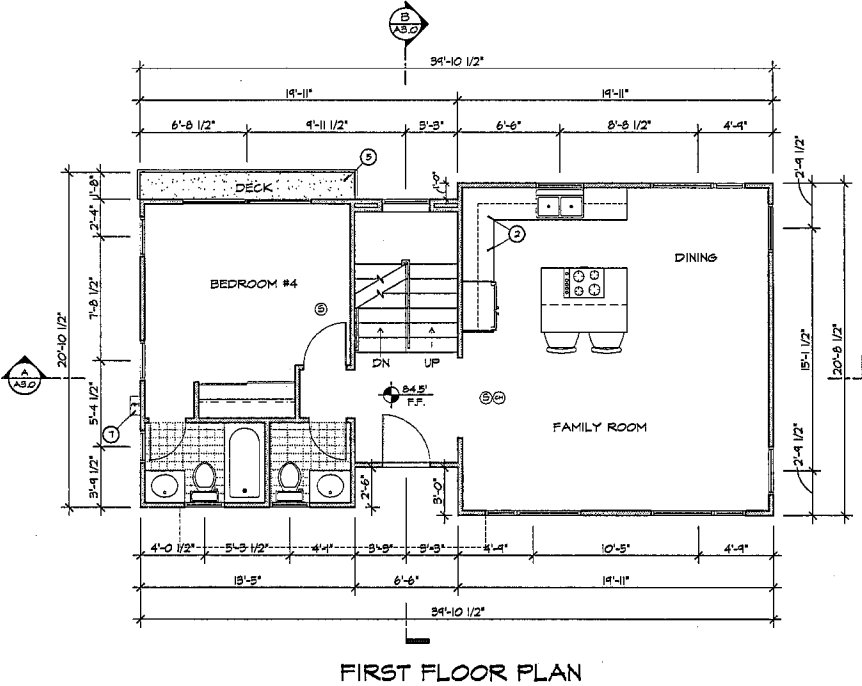
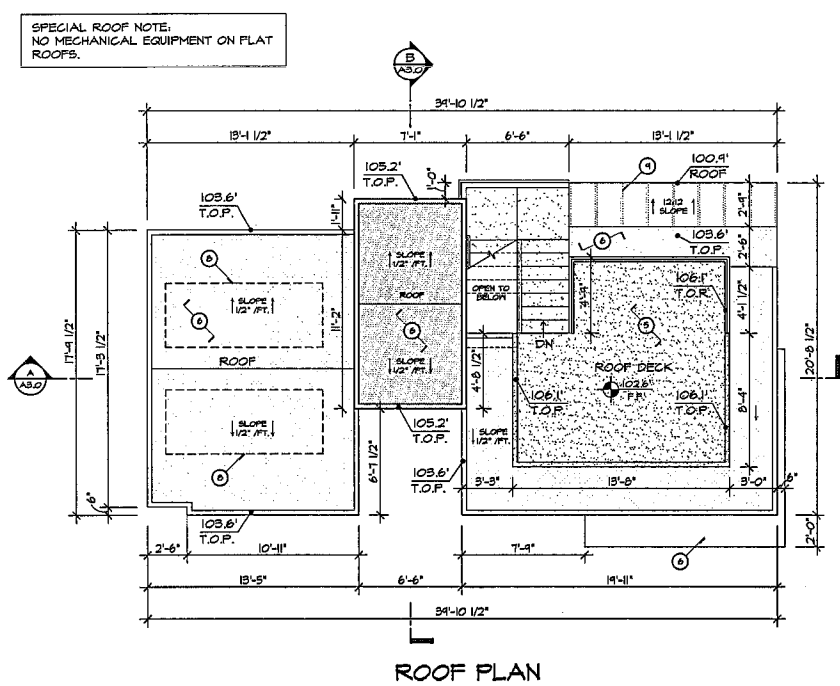
Project Name:
TYRIAN RESIDENCES

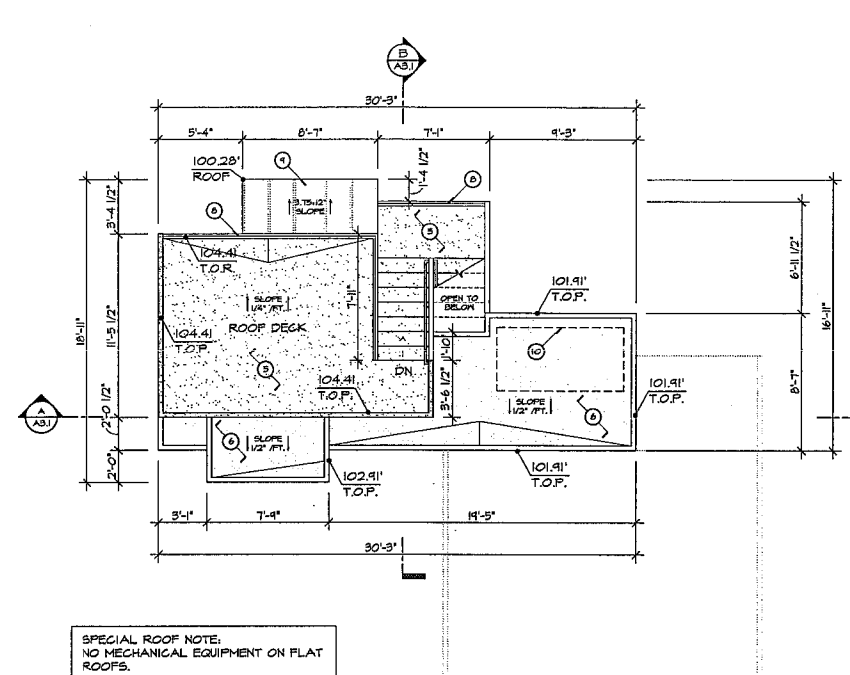
Sheet Title:
**NEW RESIDENCE
FLOOR &
ROOF PLANS**

Revision 14:
Revision 13:
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Revision 11:
Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 01-20-15
Revision 1: 10-29-14

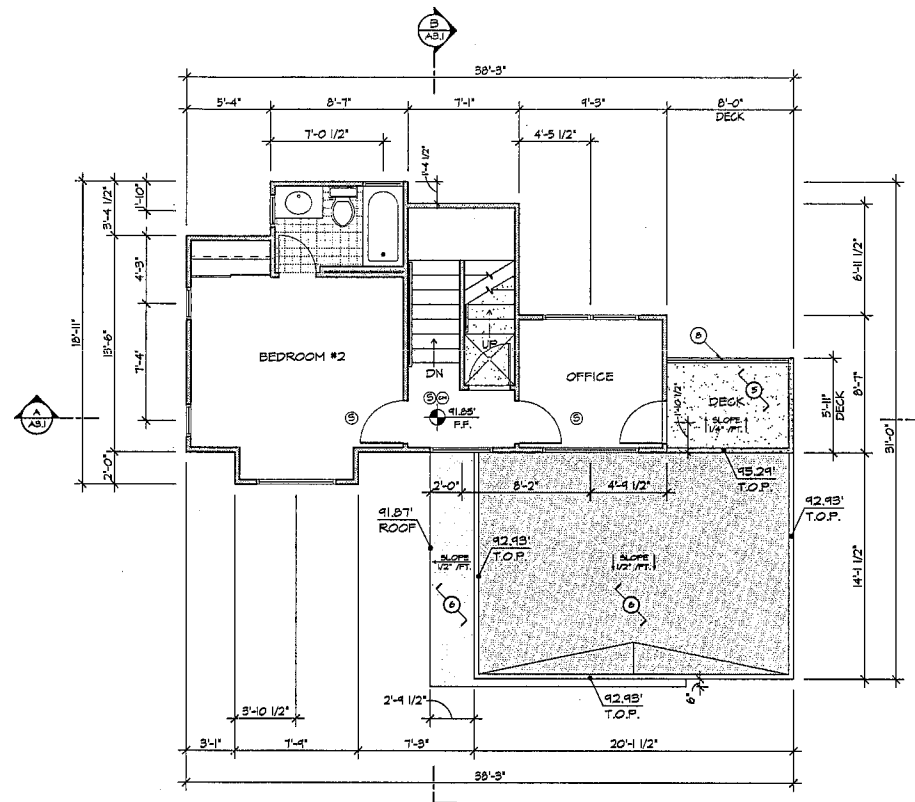
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SPECIAL ROOF NOTE:
NO MECHANICAL EQUIPMENT ON FLAT ROOFS.





ROOF PLAN



SECOND FLOOR PLAN

STAIR NOTES:

1ST FLR. TO 2ND FLR.
TYP. RISER = 7.54" EA.
TYP. TREAD = 11" EA.
NO. OF RISERS = 16

TOTAL RISE: 9'-0"
11 7/8" FLOOR JOIST
3/4" PLY. @ LANDING
10'-0" 5/8" TOTAL RISE

2ND FLR. TO ROOF DECK
TYP. RISER = 7.75" EA.
TYP. TREAD = 10" EA.
NO. OF RISERS = 14

TOTAL RISE: 8'-0"
11 7/8" FLOOR JOIST
3/4" PLY. @ LANDING
9'-0" 5/8" TOTAL RISE

HANDRAILS:
1 1/2" DIA. ALUM. HANDRAIL @ 34" ABOVE NOSE OF STAIRS.

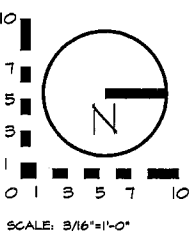
SPECIAL PLAN NOTES:

1. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.

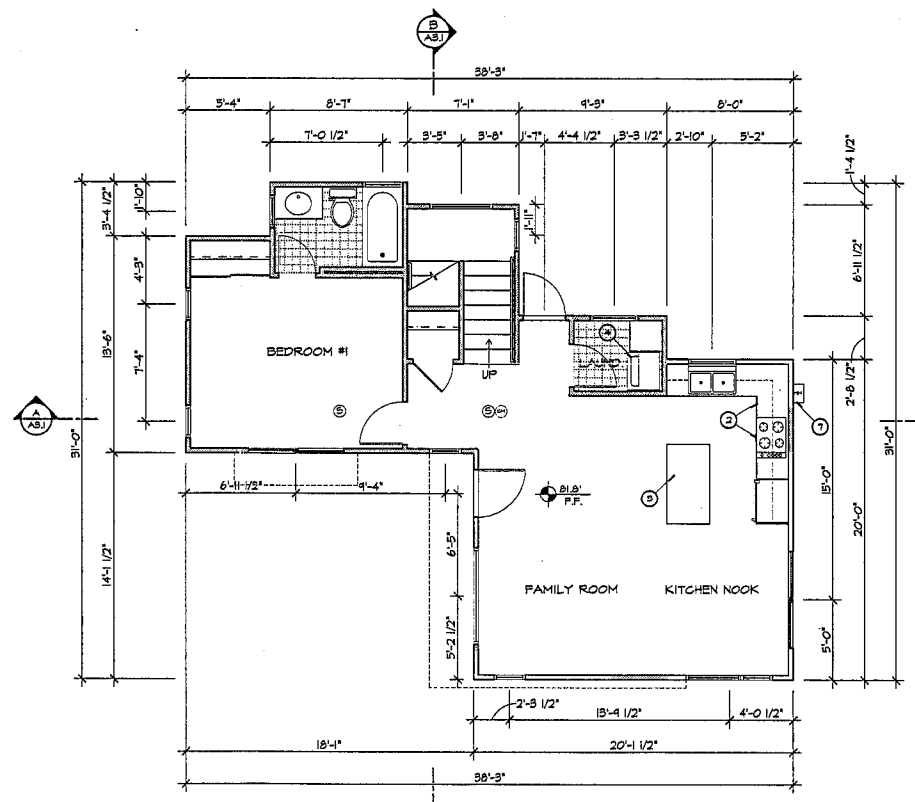
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 181.0444 & 182.0505).

WALL LEGEND

[Symbol]	AREA OF NEW ADDITION
[Symbol]	NEW 2X4 STUD WALL
[Symbol]	NEW 1-HR RATED WALL
[Symbol]	NEW 42" HEIGHT LOW WALL
[Symbol]	EXISTING 2X WALL TO REMAIN
(S)	SMOKE DETECTOR
(C)	CARBON MONOXIDE DETECTOR
T.O.P.	TOP OF PARAPET
T.O.R.	TOP OF ROOF



- PLAN NOTES:**
- 1-HR RATED, SOLID CORE, SELF-CLOSING DOOR.
 - CONTRACTOR TO SUBMIT CABINET SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. USE GRANITE COUNTERTOPS, STYLE AND COLOR PER OWNER'S APPROVAL.
 - 36" HEIGHT KITCHEN ISLAND CABINET.
 - WASHER & DRYER, INSTALL PER MANUF. SPECIFICATIONS.
 - "PLI-DECK" WATERPROOFING DECK SURFACE. INSTALL PER MANUF. SPECS. ICC REPORT ESR-2047.
 - 4-PLY BUILT-UP ROOFING, "JOHNS MANVILLE" 45NC OR EQUAL, CLASS "A" MIN. UL EXTERIOR FIRE RESISTANCE (UL 740).
 - RINNAI EXT. TANKLESS WATER HEATER, INSTALL PER MANUF. SPECIFICATIONS.
 - 42" HEIGHT TEMPERED GLASS GUARDRAIL.
 - STANDING METAL SEAM ROOF.
 - OUTLINE OF ROOF MOUNTED, SOLAR PHOTO VOLTAIC PANELS.



FIRST FLOOR PLAN

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Revision 2: 01-20-15
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Project Name:
TYRIAN RESIDENCES

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Sheet 8 of 15

Sheet Title:
6762 TYRIAN
FLOOR &
ROOF PLANS

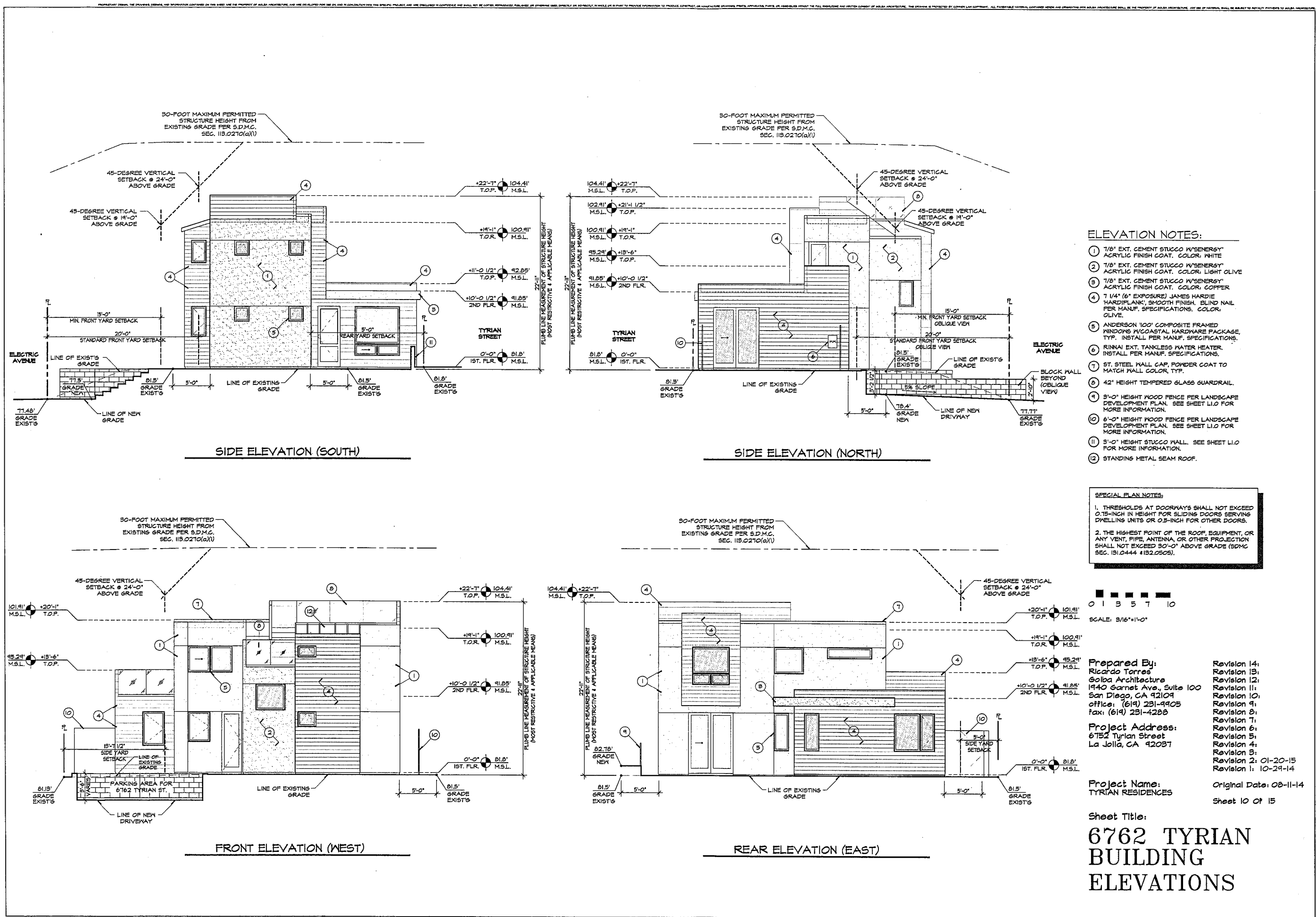
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DATE: 01-20-15 REV. DATE:

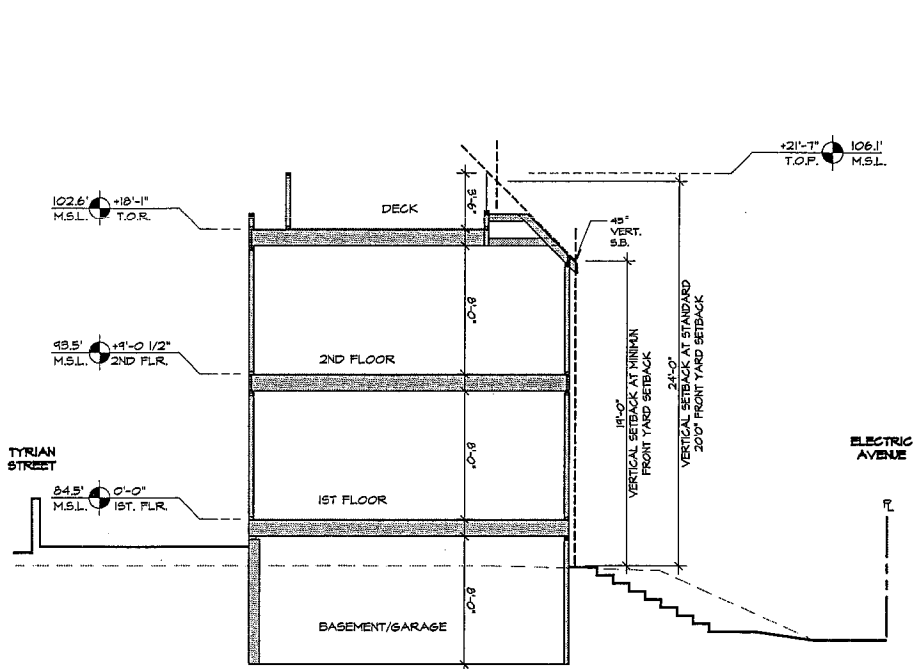




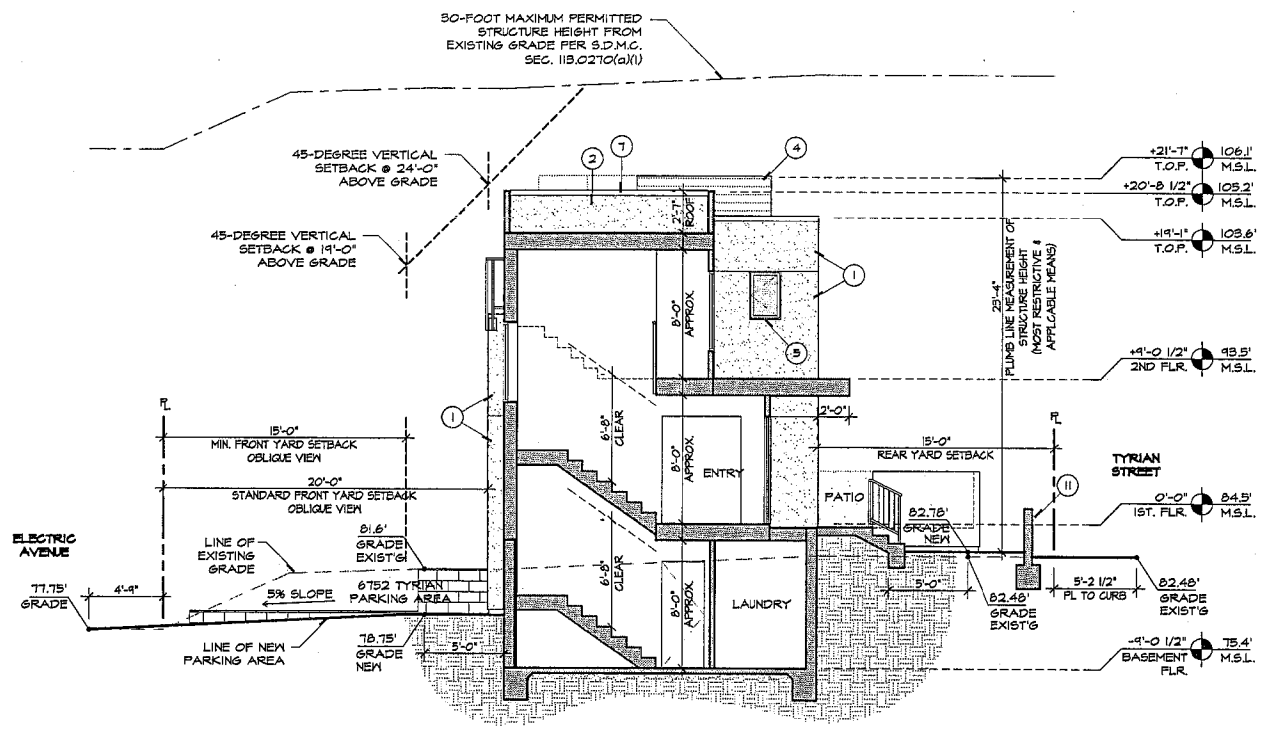
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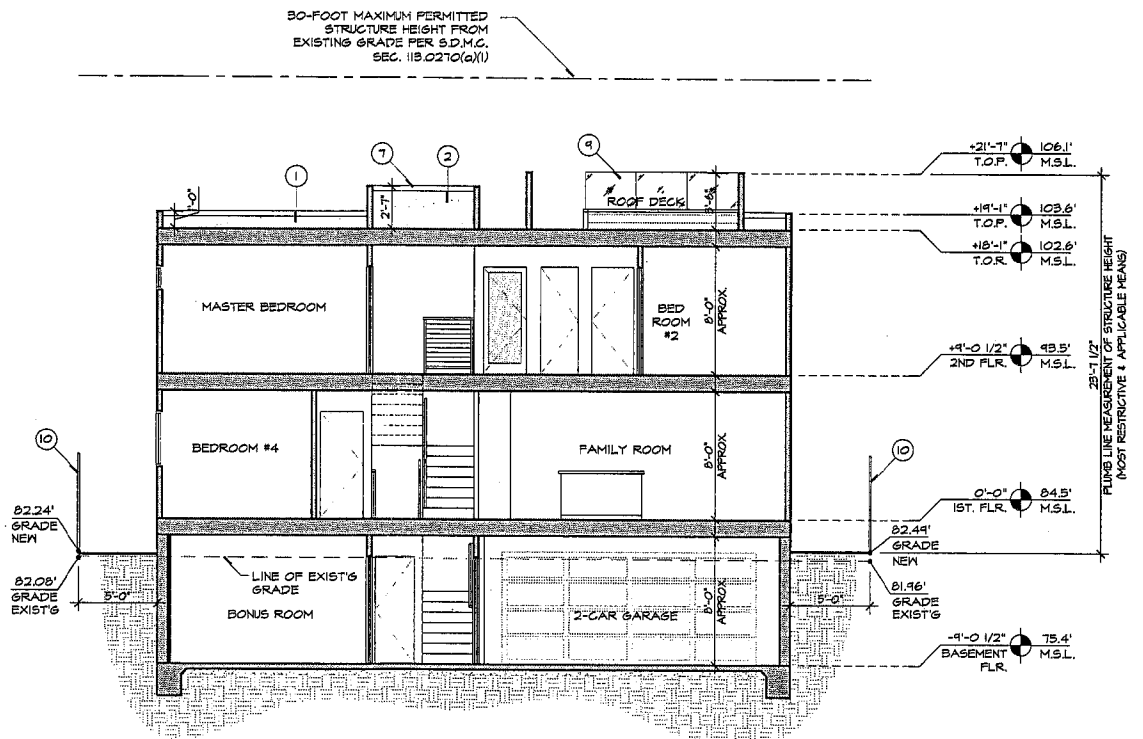
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FRONT YARD SETBACK REFERENCE @ NORTHWEST CORNER



BUILDING SECTION B



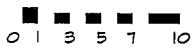
BUILDING SECTION A

ELEVATION NOTES:

1. 7/8" EXT. CEMENT STUCCO W/SENERGY[®] ACRYLIC FINISH COAT. COLOR: WHITE
2. 7/8" EXT. CEMENT STUCCO W/SENERGY[®] ACRYLIC FINISH COAT. COLOR: OLIVE
3. 7/8" EXT. CEMENT STUCCO W/SENERGY[®] ACRYLIC FINISH COAT. COLOR: MED. GREY
4. 7 1/4" (6" EXPOSURE) JAMES HARDIE HARDIPLANK[®] SMOOTH FINISH. BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: SADDLEBROWN.
5. ANDERSON 100[®] COMPOSITE FRAMED WINDOWS W/COASTAL HARDWARE PACKAGE, TYP. INSTALL PER MANUF. SPECIFICATIONS.
6. RINNAI EXT. TANKLESS WATER HEATER. INSTALL PER MANUF. SPECIFICATIONS.
7. ST. STEEL WALL CAP. POWDER COAT TO MATCH WALL COLOR. TYP.
8. 1 1/2" SQ. ALUMINUM GUARDRAIL W/TEMPERED GLASS PANELS BETWEEN POSTS.
9. 42" HEIGHT TEMPERED GLASS GUARDRAIL.
10. 6'-0" HEIGHT WOOD FENCE PER LANDSCAPE DWGS. SEE SHEET L10 FOR MORE INFORMATION.
11. 8'-0" HEIGHT STUCCO WALL. SEE SHEET L10 FOR MORE INFORMATION.

SPECIAL PLAN NOTES:

1. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).



SCALE: 3/16"=1'-0"

Prepared By:
Ricardo Torres
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
Office: (619) 231-9905
Fax: (619) 231-4288

Project Address:
6752 Tyrian Street
La Jolla, CA 92037

Project Name:
TYRIAN RESIDENCES

Sheet Title:
**NEW RESIDENCE
BUILDING
SECTIONS**

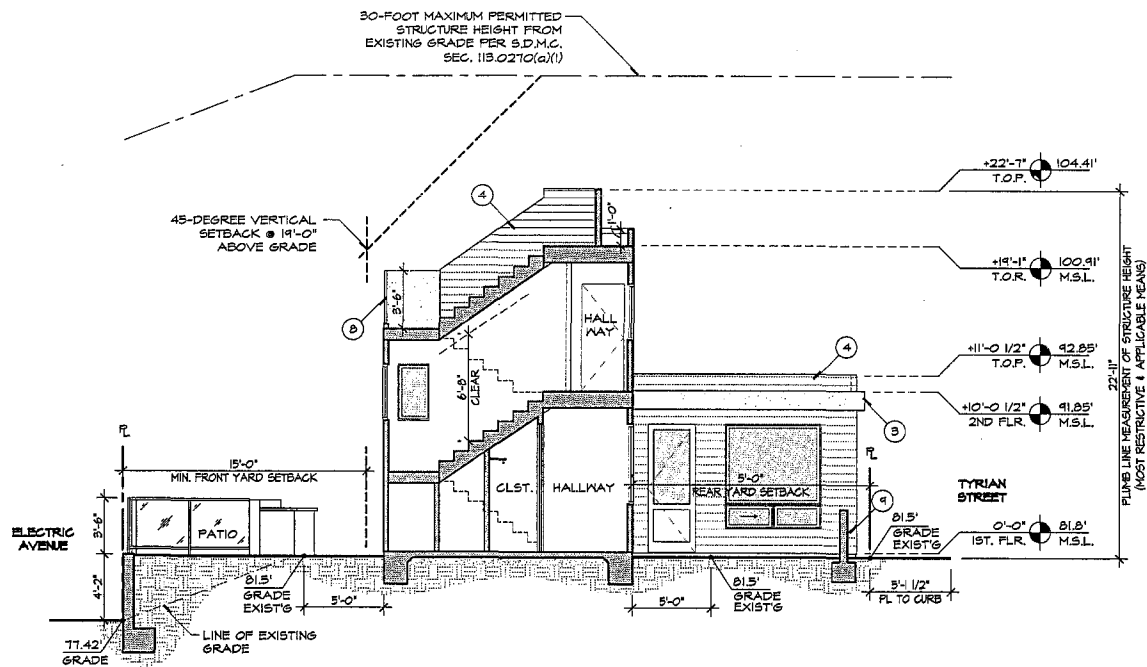
- Revision 14:
Revision 13:
Revision 12:
Revision 11:
Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 01-20-15
Revision 1: 10-29-14

Original Date: 08-11-14
Sheet 11 of 15

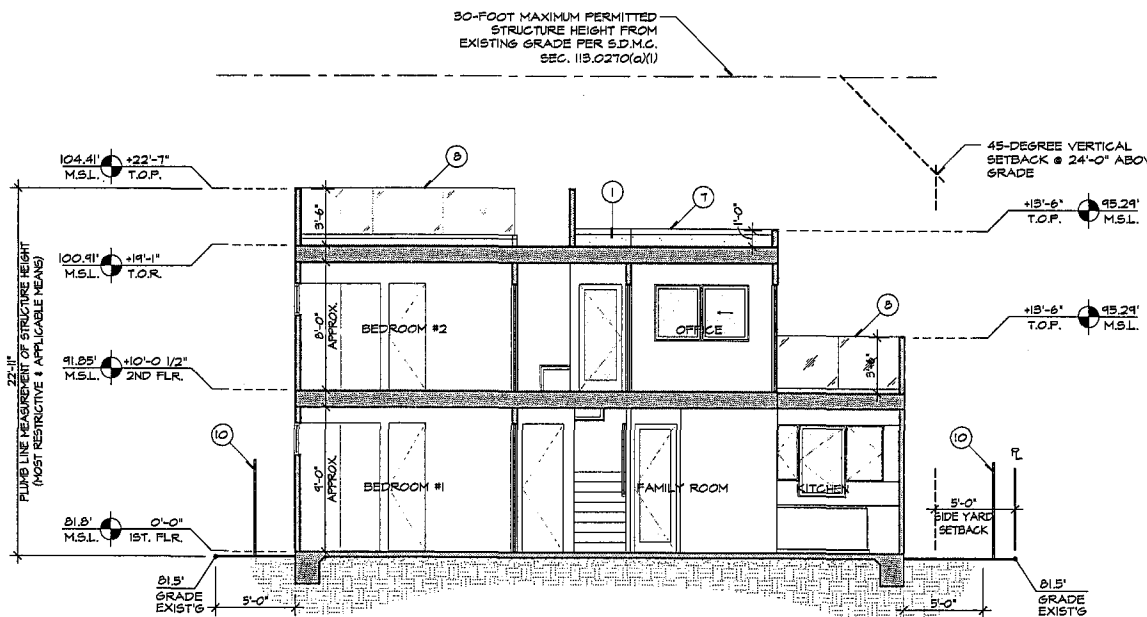
GOLBA ARCHITECTURE inc
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego, California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

TYRIAN RESIDENCES
6752 - 6762 TYRIAN ST.
LA JOLLA, CA 92037





BUILDING SECTION B



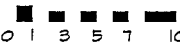
BUILDING SECTION A

ELEVATION NOTES:

- 1/8" EXT. CEMENT STUCCO W/SENERGY ACRYLIC FINISH COAT. COLOR: WHITE
- 1/8" EXT. CEMENT STUCCO W/SENERGY ACRYLIC FINISH COAT. COLOR: LIGHT OLIVE
- 1/8" EXT. CEMENT STUCCO W/SENERGY ACRYLIC FINISH COAT. COLOR: COPPER
- 1 1/4" (6" EXPOSURE) JAMES HARDIE HARDIPLANK, SMOOTH FINISH. BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: OLIVE.
- ANDERSON 100' COMPOSITE FRAMED WINDOWS W/COASTAL HARDWARE PACKAGE, TYP. INSTALL PER MANUF. SPECIFICATIONS.
- RINNAI EXT. TANKLESS WATER HEATER, INSTALL PER MANUF. SPECIFICATIONS.
- ST. STEEL WALL CAP, POWDER COAT TO MATCH WALL COLOR, TYP.
- 42" HEIGHT TEMPERED GLASS GUARDRAIL
- 8'-0" HEIGHT STUCCO WALL. SEE SHEET L1.0 FOR MORE INFORMATION.
- 6'-0" HEIGHT WOOD FENCE. SEE SHEET L1.0 FOR MORE INFORMATION.

SPECIAL PLAN NOTES:

1. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 181.0444 & 182.0505).



SCALE: 3/16"=1'-0"

Prepared By:
Ricardo Torres
Golba Architecture
1940 Garnet Ave., Suite 100
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Office: (619) 231-9905
Fax: (619) 231-4288

Project Address:
6762 Tyrian Street
La Jolla, CA 92037

Revision 14:
Revision 13:
Revision 12:
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Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 01-20-15
Revision 1: 10-29-14

Project Name:
TYRIAN RESIDENCES

Original Date: 08-11-14
Sheet 12 of 15

Sheet Title:
6762 TYRIAN
BUILDING
SECTIONS

GOLBA ARCHITECTURE inc
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego, California 92109
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TYRIAN RESIDENCES

6762 - 6762 TYRIAN ST.
LA JOLLA, CA 92037



ATTACHMENT 13

PLANTING LEGEND:

EXISTING PLANT MATERIAL LEGEND:

Existing trees to remain:

SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER
PIN PIN	<i>Pinus pinea</i>	"Italian Stone Pine"	8"
EUC PUL	<i>Eucalyptus pulverulenta</i>	"Silver Mountain Gum"	16"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

EVERGREEN CONIFEROUS TREES

Large scale tree - 50' tall x 30' - 40' wide, such as:

<i>Pinus canariensis</i>	"Canary Island Pine"
<i>Pinus pinea</i>	"Italian Stone Pine"
<i>Pinus torreyana</i>	"Torrey Pine"

EVERGREEN SHADE TREES

Medium scale tree - 20' tall x 20' wide, such as:

<i>Acacia stenophylla</i>	"Shoestring Acacia"
<i>Geijera parviflora</i>	"Australian Willow"
<i>Magnolia grandiflora</i> 'St. Mary'	"St. Mary Magnolia"

ACCENT TREES

Small scale tree - 15' tall x 15' wide, such as:

<i>Cercis canadensis</i> 'Forest Pansy'	"Eastern Redbud"
<i>Michelia champaca</i> 'Alba'	"Champaca"
<i>Olea europaea</i> 'Swan Hill'	"Olive Tree"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

EVERGREEN SUCCULENT TREE

Small scale tree - 15' tall x 10' wide, such as:

<i>Cordyline australis</i>	"NCN"
<i>Dracaena draco</i>	"Dragon Tree"
<i>Yucca elephantipes</i>	"Giant Yucca"

EVERGREEN SCREENING SHRUBS

Medium small scale shrub - 10' tall x 5' wide, such as:

<i>Hakea suaveolens</i>	"Sweet Hakea"
<i>Heteromeles arbutifolia</i>	"Toyon"
<i>Podocarpus macrophyllus</i> 'Icee Blue'	"Icee Blue Yellow-Wood"

EVERGREEN FLOWERING SHRUBS

Medium scale shrub - 8' tall x 8' wide, such as:

<i>Abutilon pictum</i>	"Flowering Maple"
<i>Buddleia davidii</i>	"Butterfly Bush"
<i>Camellia sasanqua</i> 'Tanya'	"Camellia"
<i>Rosa floribunda</i> 'Iceberg'	"White Shrub Rose"
<i>Leptospermum scoparium</i>	"New Zealand Tea Tree"

EVERGREEN SCREENING SHRUBS

Medium scale perennials - 3' tall x 3' wide, such as:

<i>Escallonia bifida</i> 'Jubilee'	"White Escallonia"
<i>Rhaphiolepis umbellata</i> 'Gulf Green'	"NCN"
<i>Westringia fruticosa</i> 'Morning Light'	"Coast Rosemary"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

EVERGREEN ACCENT SHRUB

Medium scale perennials - 3' tall x 3' wide, such as:

<i>Chondropetalum tectatum</i>	"Small Cape Rush"
<i>Miscanthus transmontanus</i>	"Evergreen Miscanthus"
<i>Phormium tenax</i> 'Dark Delight'	"New Zealand Flax"

ACCENT SUCCULENT

Medium / small scale succulents - 3' tall x 3' wide, such as:

<i>Aeonium</i> 'Sunburst'	"Sunburst Aeonium"
<i>Agave attenuata</i>	"Foxtail Agave"
<i>Aloe vera</i>	"Barbados Aloe"
<i>Calandrinia grandiflora</i>	"Rock Purslane"
<i>Hesperaloe parviflora</i>	"Red Yucca"

GRASSES AND PERENNIALS

Medium scale grasses / perennials - 2' tall x 2' wide, such as:

<i>Dianella tasmanica</i> 'Variegata'	"Tasman Flax Lily"
<i>Festuca ovina</i> glauca	"Blue Oat Grass"
<i>Sesleria autumnalis</i>	"Autumn Moor Grass"
<i>Zephyranthes candida</i>	"Zephyr Flower"

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

EVERGREEN VINES

Climbing vines - such as:

<i>Clematis armandii</i>	"Evergreen Clematis"
<i>Jasminum polyanthum</i>	"Pink Jasmine"
<i>Trachelospermum jasminoides</i>	"Star Jasmine"

EVERGREEN GROUND COVER

Low growing groundcover - 12" tall and spreading, such as:

<i>Fragaria chiloensis</i>	"Ornamental Strawberry"
<i>Sedum acre</i> 'Aureum'	"Gold Moss Stonecrop"
<i>Vinca minor</i>	"Dwarf Periwinkle"

DRIVEABLE GRASS

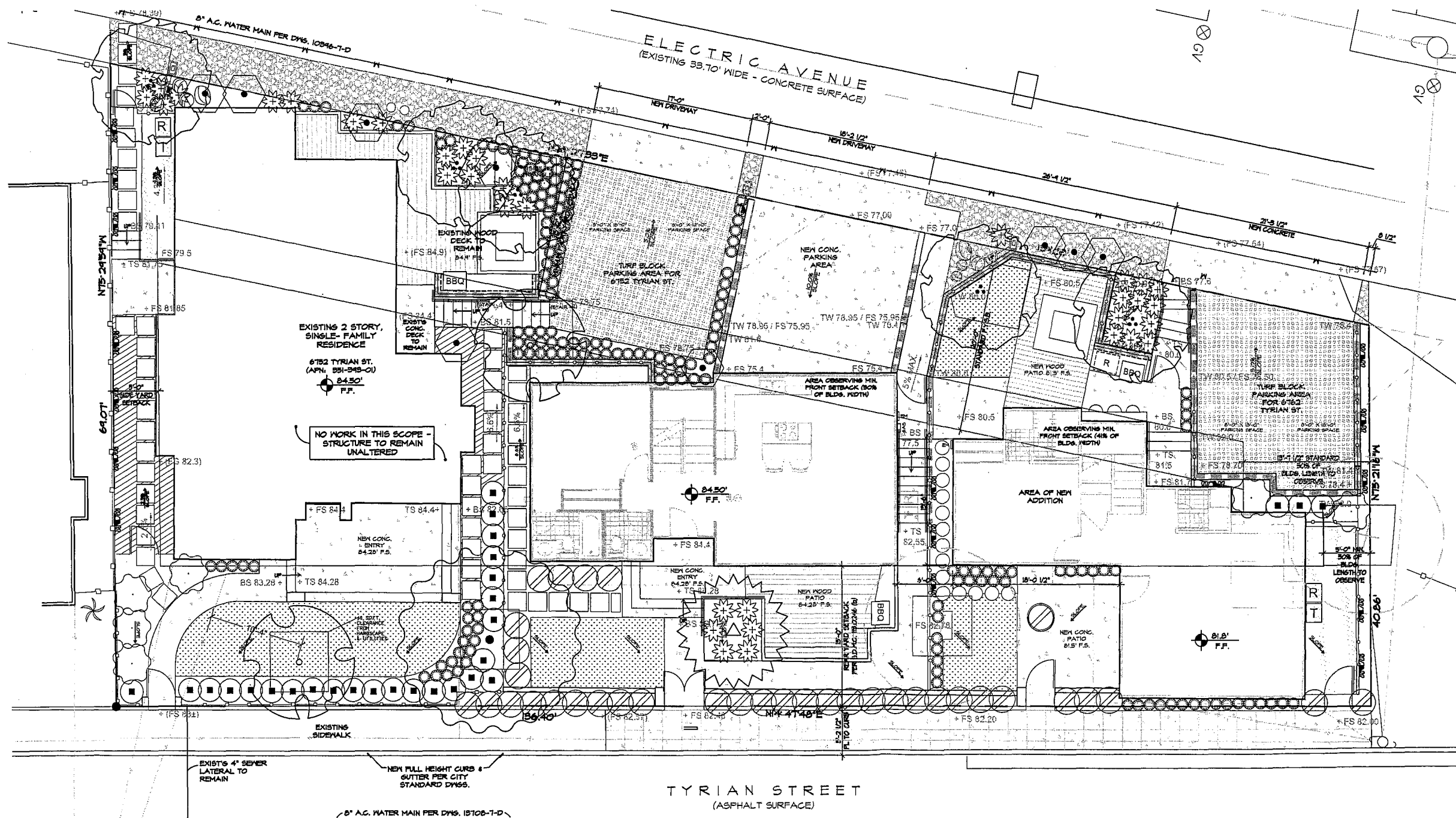
Low growing groundcover - 6" tall and spreading, such as:

<i>Carex pensae</i>	"Dune Sedge"
<i>Ophiopogon japonicus</i> 'Nana'	"Dwarf Mondo Grass"
<i>Lippia nodiflora</i> 'Kurapia S1'	"Kurapia"

TURF

Mowed grass - 2-4" tall and spreading, such as:

<i>Agrostis pallens</i>	"Bent Grass"
<i>Festuca rubra</i>	"Red Fescue"
<i>Paspalum vaginatum</i>	"Seashore Paspalum"



Project No. - XXX

Drawn - JS

Checked - JPH

NLA

NERI
LANDSCAPE
ARCHITECTURE
ARCHITECTS
6752 Tyrian Street
La Jolla, California 92037
TEL: 858-574-3322 FAX: 858-574-3323
WWW.NERILANDSCAPE.COM



LANDSCAPE PLANS FOR
TYRIAN STREET
6752 Tyrian Street
La Jolla, California 92037

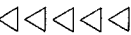
CITY REVIEW
SUBMITTAL

15 JANUARY 2015

LANDSCAPE
DEVELOPMENT
PLANTING PLAN

1.1

SHEET 14 OF 15



City of San Diego
Development Services
1222 First Ave., MS-201
San Diego, CA 92101-4154
(619) 446-5000

Landscape Calculations Worksheet
Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

- STREET YARD:**
- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
 - At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 2,302 sq. ft. x 50% = 1,151 sq. ft.	1,163 sq. ft.	12 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 2,302 sq. ft. x 0.05 = 115 points	208 points	93 points

Points achieved with trees: 70 points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]	Provided
Total Area 2,302 sq. ft. x 10% = 230 sq. ft.	27 sq. ft.

REMAINING YARD - 2 Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points in the remaining yard	points	Points

REMAINING YARD - 3 or more Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x # of buildings	452 points	450 Points

VEHICULAR USE AREA (VUA): See separate worksheet (DS-5)

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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Upon request, this information is available in alternative formats for persons with disabilities.

DS-006 (03-09)

Reset Form

City of San Diego
Development Services
1222 First Ave., MS-201
San Diego, CA 92101-4154
(619) 446-5000

Landscape Calculations Worksheet
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sq. ft.) [142.0406-142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: 632 sq. ft. x 0.05 = 32 points	68 points	36 points

Points achieved through trees (at least half): 40 points

VEHICULAR USE AREA (≥6,000 sq. ft.) [142.0406-142.0407]

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: sq. ft. x 0.05 = sq. ft.	sq. ft.	sq. ft.
VUA outside Street Yard: sq. ft. x 0.03 = sq. ft.	sq. ft.	sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: sq. ft. x 0.05 = points	points	points
VUA outside Street Yard: sq. ft. x 0.03 = points	points	points

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. = sq. ft.	sq. ft.

TEMPORARY VEHICULAR USE AREA [142.0408]

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. = sq. ft.	sq. ft.

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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DS-5 (03-06)

City of San Diego
Development Services
1222 First Ave., MS-201
San Diego, CA 92101-4154
(619) 446-5000

Landscape Calculations Worksheet
Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

- STREET YARD:**
- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
 - At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 1,668 sq. ft. x 50% = 834 sq. ft.	949 sq. ft.	115 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 1,668 sq. ft. x 0.05 = 83.4 points	380 points	297 points

Points achieved with trees: 210 points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]	Provided
Total Area 1,668 sq. ft. x 10% = 166.8 sq. ft.	74 sq. ft.

REMAINING YARD - 2 Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points in the remaining yard	points	Points

REMAINING YARD - 3 or more Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x # of buildings	points	Points

VEHICULAR USE AREA (VUA): See separate worksheet (DS-5)

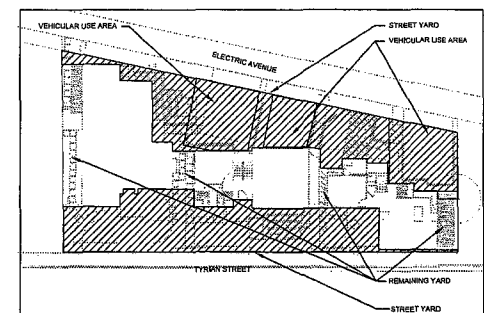
ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

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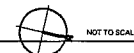
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DS-006 (03-09)

Reset Form



LANDSCAPE CALCULATIONS DIAGRAM



Project No. - XXX
Drawn - JS
Checked - JPN

N L A
NERI LANDSCAPE ARCHITECTURE
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San Diego, CA 92108
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www.nerilandscape.com



LANDSCAPE PLANS FOR
TYRIAN STREET
6752 Tyrian Street
La Jolla, California 92037

CITY REVIEW
SUBMITTAL

15 JANUARY 2015

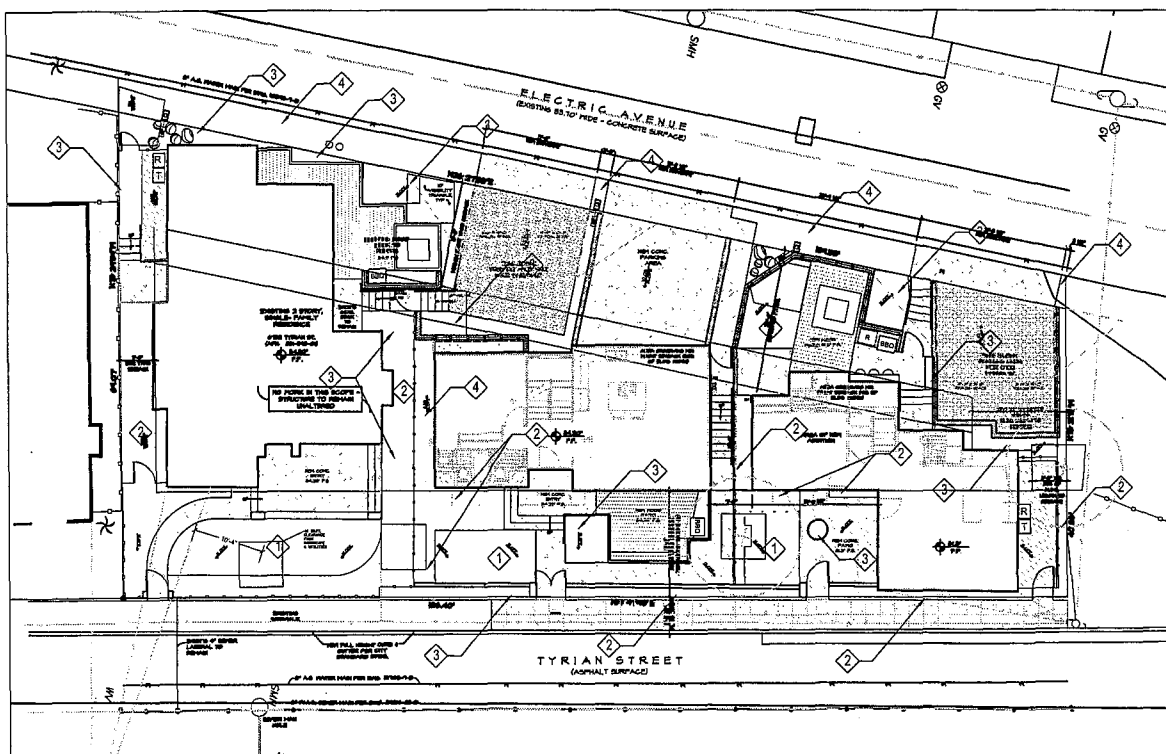
LANDSCAPE
DEVELOPMENT
CALCULATIONS

L1.2

SHEET 15 OF 15

ELECTRIC AVENUE CALCULATIONS

TYRIAN AVENUE CALCULATIONS



IRRIGATION HYDROZONE DIAGRAM

ETWU = (ETo)(0.62)(PF x HA) / IE + SLA
ETWU = ESTIMATED TOTAL WATER USE IN GALLONS PER YEAR
ETo = EVAPOTRANSPIRATION (INCHES PER YEAR), FOR La Jolla ETo = 41.0 INCHES
0.62 = CONVERSION FACTOR TO GALLONS PER SQUARE FOOT
PF = PLANT FACTOR FROM WUCOLS
HA = HYDROZONE AREA IN SQUARE FEET
IE = IRRIGATION EFFICIENCY
SLA = SPECIAL LANDSCAPED AREA IN SQUARE FEET

ESTIMATED TOTAL WATER USE (ETWU) CALCULATIONS

HYDROZONE AREA #	PLANT FACTOR (PF)	HYDROZONE AREA IN S.F. (HA)	IRRIGATION EFFICIENCY (IE)	ETWU = (ETo)(0.62)(PF x HA) / IE + SLA	RESULT IN GALLONS PER YR.
1	0.7	506	.7	(41)(0.62) X [(8X 506) / 7 + 0]	12,863
2	0.4	515	.8	(41)(0.62) X [(5X 515) / 8 + 0]	6,546
3	0.4	1,151	.8	(41)(0.62) X [(5X 1,151) / 8 + 0]	14,629
4	-	-	-	-	-
TOTAL					34,037

HYDROZONE INFORMATION TABLE

SYMBOL	CONTROLLER #	HYDROZONE #	IRRIGATION METHOD	PLANT FACTOR (PF)	HYDROZONE AREA IN S.F. (HA)	% OF LANDSCAPE AREA	PF X HA	IRRIGATION EFFICIENCY (IE)	(PF X HA) / IE
1	A	1	MP ROTATOR	0.7	506	23%	354	.7	506
2	A	2	DRIP	0.4	515	24%	206	.8	258
3	A	3	DRIP	0.4	1,151	53%	460	.8	576
4	A	4	non-irrigated	-	-	-	-	-	-
TOTAL					2,172	100%	-	-	-

IRRIGATION METHOD/ IRRIGATION EFFICIENCY
SPRAY/ 0.65
ROTOR/ 0.70
DRIP / 0.80

HYDROZONE CATEGORY	PF-PLANT FACTOR (AVERAGE)
HIGH WATER USE	0.8
MODERATE WATER USE	0.5
LOW WATER USE	0.3
VERY LOW WATER USE	0.1
SPECIAL LANDSCAPES AREA	1.0

MAWA CALCULATIONS

TOTAL LANDSCAPE AREA (LA) = 2,172 SF
SPECIAL LANDSCAPE AREA (SLA) = 0 SF

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
MAWA = (ETo)(0.62)[(0.7 X LA) + (0.3 X SLA)]

(41)(0.62) [(7X 2,172 + (0.3 X 0) = 38,648 GAL/YR



P.O. BOX 889
• LA JOLLA •
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900
<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 7 May 2015

Attention: Jeff Peterson, PM, City of San Diego

Project: Tyrian Residences
6752-6762 Tyrian Street
PN: 379612

Motion: To accept the recommendations of the DPR Committee for Tyrian Residences, 6752-6762 Tyrian Street that the findings can be made for a Coastal Development Permit, Map Waiver & Site Development Permit for deviations to construct one 1,461 sq ft residence; remodel and add 762 sq ft to an existing residence; and one existing residence to remain for a total of three residential condominiums. **Vote: 15-0-1**

Submitted by:

Joseph LaCava

5/07/2015

Joe LaCava, President
La Jolla Community Planning Association

Date



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title

Tyrian Residences

Project No. For City Use Only

379612

Project Address:

6752 - 6762 Tyrian Street

Part I - To be completed when property is held by individual(s).

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title: TYRIAN RESIDENCES	Project No. (For City Use Only) 379612
---	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General) What State? CA Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print): FMRE LLC <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 2437 Marana Blvd. 3rd floor City/State/Zip: San Diego CA 92110 Phone No: 619 291 2229 Fax No: 619 291 2230 Name of Corporate Officer/Partner (type or print): Tim Barzal Title (type or print): Managing Member Signature: _____ Date: 4/7/14	Corporate/Partnership Name (type or print): FMRE LLC <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 2437 Marana Blvd. 3rd floor City/State/Zip: San Diego CA 92110 Phone No: 619-291-2229 Fax No: 619-291-2230 Name of Corporate Officer/Partner (type or print): LOUIS ROSSI Title (type or print): Managing Member Signature: _____ Date: 10/23/17
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Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
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