

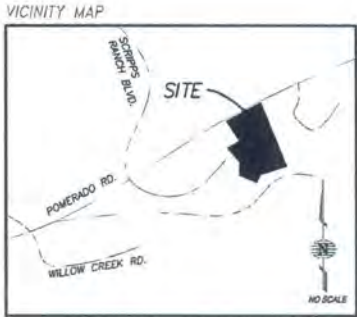
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BULLET POINT NARRATIVE		CONSTRUCTION TYPE:	
A CONTINUING CARE RETIREMENT COMMUNITY (INSTITUTIONAL USE) WITH 400 ASSISTED LIVING UNITS OF VARIOUS CONFIGURATIONS (VILLAS, GARDEN TERRACES, AND APARTMENT STYLE), 90 ACUTE ASSISTED LIVING UNITS (18 OF WHICH ARE MEMORY CARE UNITS) AND 60 SKILLED NURSING BEDS FOR A TOTAL OF 460 ASSISTED LIVING UNITS AND 60 SKILLED NURSING BEDS.		OCCUPANCY TYPE:	R4 & R2.1 PER 2010 CALIFORNIA BUILDING CODE
PROJECT TEAM		EXISTING ZONING:	RS- 1-B
OWNER/ DEVELOPER:	CONTINUING LIFE COMMUNITIES LLC TEL (760) 704-6300 FAX (760) 704-6267	PROPOSED ZONING:	NA- A REZONE IS NOT REQUESTED Continuing Care Retirement Community
ARCHITECT:	KTGY GROUP INC. TEL (949) 851.2133 FAX (949) 851-5156 17922 FITCH IRVINE, CA 92614	DEVIATION:	To exceed Height limit of 35- feet Structures are delineated in Roof Plan/ Height Exhibit sheet no. 8. To provide less than the 100 Street Frontage on Parcel 1 as required in the RS-1-B Zone To provide two Entry Monument Signs within the Pomerado Road right-of-way Encroachment into Steep Hillside
LANDSCAPE:	KTU+ A TEL (919) 294-4477 FAX (919) 294-0955 3916 NORMAL STREET SAN DIEGO, CA 92101	15% of 60ac	392,040
CIVIL:	LATITUDE 33 (858) 751-0533 FAX (858) 751-0534 9508 HIBBERT STREET, 2ND FLOOR SAN DIEGO, CA 92131	Gross area sf	
LEGAL DESCRIPTION : PARCEL 2 OF PARCEL MAP NO. 21237, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AS DOC. NO. 2015-7000168, RECORDED MAY 22, 2015		villas	
APN: 363-080-41		ilu	
PROJECT TRACKING SYSTEM NUMBER 204823		common/rec	
Floor Area Ratio gs/ acres		garden terrace	
0.36 rfa		health center-alf	
		health center-snf	
		facilities building	
		carport parking	
		entry kiosk	
		hobby shop	
		misc	
		garages	

The Glen at SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

Revision 4 Submittal 12.19.2014	Revision 2 Submittal 09.30.2013	Original Submittal 11.29.2011
Revision 5 Submittal 04.10.2015	Revision 3 Submittal 07.22.2014	Revision 1 Submittal 09.14.2012



Client:

THE GLEN
SCRIPPS RANCH • SAN DIEGO
A CONTINUING LIFE RETIREMENT COMMUNITY

Architect:

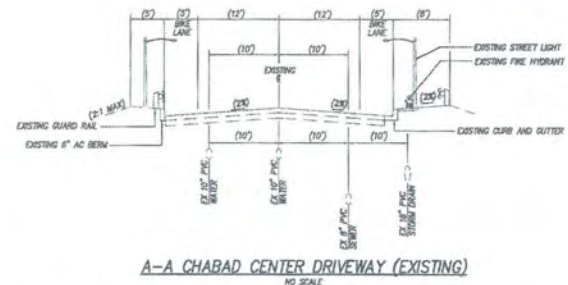
ktgy
Architecture • Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



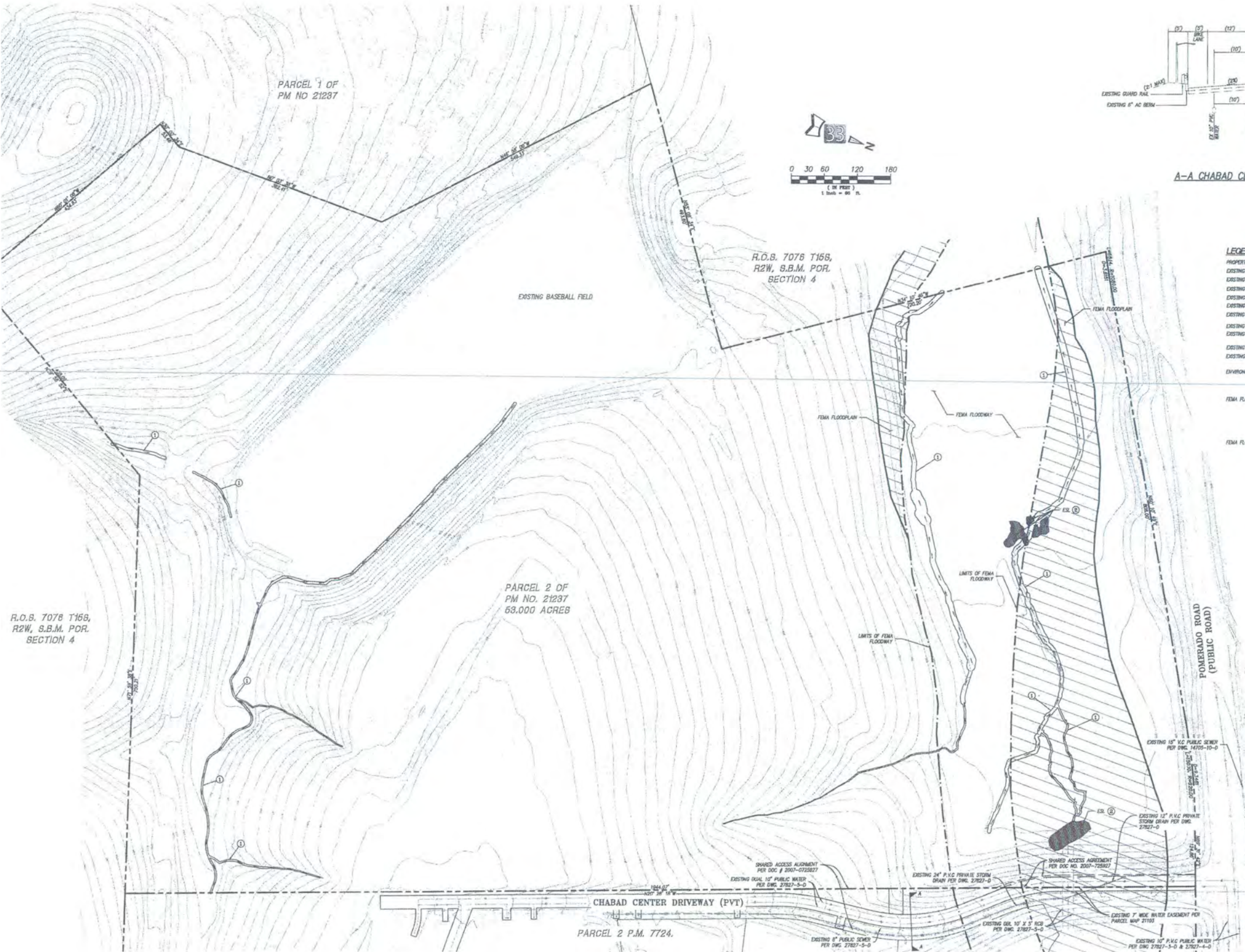
EXISTING CONDITION

2



LEGEND

- PROPERTY BOUNDARY
- EXISTING EASEMENT
- EXISTING DRAINAGE ROUTE
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN STRUCTURE
- EXISTING TREES
- EXISTING STREET LIGHT
- ENVIRONMENTALLY SENSITIVE LANDS
- FEMA FLOODPLAIN
- FEMA FLOODPLAIN



NOTES

- EXISTING DRAINAGE ROUTE DISCUSSED IN REPORT TITLED "BIOLOGICAL RESOURCE REPORT FOR THE GLEN AT SCRIPPS RANCH PROJECT" DATED: JUNE 12, 2013.
- ENVIRONMENTALLY SENSITIVE LANDS (ESL) DISCUSSED IN REPORT TITLED "BIOLOGICAL RESOURCE REPORT FOR THE GLEN AT SCRIPPS RANCH PROJECT" DATED: JUNE 12, 2013.

NON-PLOTTABLE EASEMENTS

- GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED FEBRUARY 18, 1965 AS INSTRUMENT NO. 20089 OF OFFICIAL RECORDS.
- EASEMENT FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY GRANTED TO SAN DIEGO GAS AND ELECTRIC, GRANTED SEPTEMBER 11, 1969 AS INSTRUMENT NO. 156655 OF OFFICIAL RECORDS.
- GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED JUNE 30, 1965 AS INSTRUMENT NO. 65-250396 OF OFFICIAL RECORDS.
- GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED JANUARY 22, 1998 AS INSTRUMENT NO. 1898-0031382 OF OFFICIAL RECORDS.
- EASEMENT FOR PEDESTRIAN AND VEHICULAR ACCESS TO UTILITIES GRANTED TO CTE WIRELESS OF THE PACIFIC RECORDED MARCH 15, 2000 AS INSTRUMENT NO. 2000-031263.
- EASEMENT GRANTED SAN DIEGO GAS AND ELECTRIC, RECORDED SEPTEMBER 28, 2006 AS INSTRUMENT NO. 2006-0619176 OF OFFICIAL RECORDS.

ITEM NUMBERS UNDER NON-PLOTTABLE EASEMENTS ARE REFERENCED IN THE PRELIMINARY REPORT FROM FIRST AMERICAN TITLE COMPANY FOR 10455 POMERADO ROAD.

PREPARED IN THE OFFICE OF:



BRAD SAGST
R2 54594 EXP: 12/15

Prepared By:

Name: LATITUDE 33 PLANNING & ENGINEERING

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Phone #: (619) 791-0633

Fax #: (619) 791-0634

Project Address: 10455 POMERADO ROAD, SOUTH OF POMERADO ROAD

AND WEST OF CHABAD CENTER DRIVEWAY

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: EXISTING CONDITION

Sheet: 2 OF 47

CUP 133-PC

DEP# AMENDMENT

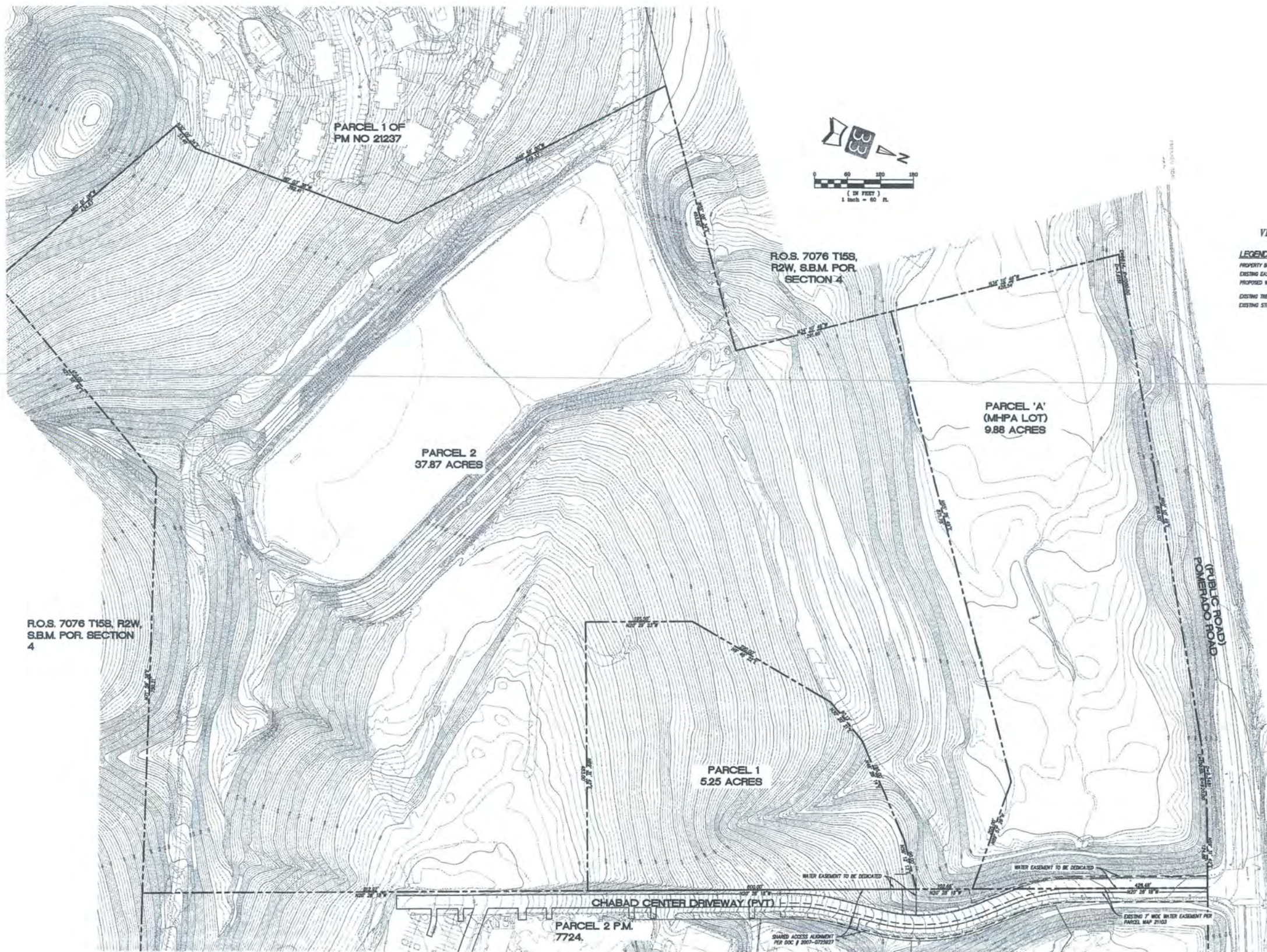
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| Revision 14: | |
| Revision 13: | |
| Revision 12: | |
| Revision 11: | |
| Revision 10: | |
| Revision 9: | |
| Revision 8: | |
| Revision 7: | 4-10-2015 |
| Revision 6: | 1-8-2015 |
| Revision 5: | 12-19-2014 |
| Revision 4: | 7-30-2014 |
| Revision 3: | 7-30-2013 |
| Revision 2: | 8-18-2012 |
| Revision 1: | |

Original Date: 11-29-2011

Sheet: 2 OF 47

CUP 133-PC

DEP# AMENDMENT



VESTING TENTATIVE MAP

LEGEND

PROPERTY BOUNDARY
EXISTING EASEMENT
PROPOSED WATER EASEMENT DEDICATION
EXISTING TREES
EXISTING STREET LIGHT

R.O.S. 7076 T158, R2W,
S.B.M. FOR SECTION
4

PARCEL 1 OF
PM NO 21237

R.O.S. 7076 T158,
R2W, S.B.M. FOR
SECTION 4

PARCEL 2
37.87 ACRES

PARCEL 'A'
(MHPA LOT)
9.88 ACRES

PARCEL 1
5.25 ACRES

CHABAD CENTER DRIVEWAY (PVT)

PARCEL 2 PM
7724

LOTS

EXISTING LOTS: 1
PROPOSED LOTS: 2 (ASSISTED LIVING UNITS)
PROPOSED LETTERED LOTS: 1 (MHPA)

NON-PLOTTABLE EASEMENTS

- 10 EASEMENT FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY GRANTED TO SAN DIEGO GAS AND ELECTRIC, GRANTED SEPTEMBER 11, 1969 AS INSTRUMENT NO. 126683 OF OFFICIAL RECORDS
- 15 GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED JUNE 30, 1980 AS INSTRUMENT NO. 81-00098 OF OFFICIAL RECORDS
- 25 GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED JANUARY 22, 1989 AS INSTRUMENT NO. 1989-0031301 OF OFFICIAL RECORDS
- 30 EASEMENT GRANTED SAN DIEGO GAS AND ELECTRIC, RECORDED SEPTEMBER 20, 2006 AS INSTRUMENT NO. 2006-0881976 OF OFFICIAL RECORDS

OWNER: ALLIANT EDUCATIONAL FOUNDATION
BY: *Steve C. Schaefer*
PRINT NAME/PRINT TITLE

PREPARED IN THE OFFICE OF:

latitude33
PLANNING & ENGINEERING
17822 FISH IRVINE, CA 92614
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BRAD SAGER
RCE 54594 EXP: 12/15

10/26/15
DATE

Prepared By:

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Project Address: 10455 POMERADO ROAD, SOUTH OF POMERADO ROAD

AND WEST OF CHABAD CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
VESTING TENTATIVE MAP

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: 4-15-2015
Revision 5: 1-8-2015
Revision 4: 12-18-2014
Revision 3: 7-22-2014
Revision 2: 7-30-2013
Revision 1: 8-18-2012

Original Date: 11-29-2011

Sheet 3 OF 47

CUP 133-PC

AMENDMENT

OWNER: ALLIANT EDUCATIONAL FOUNDATION
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 613-6807 FAX: (619) 613-6802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9603 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8200 FAX: (619) 704-8287

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9608 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX: (619) 751-0634

ARCHITECT: KTUY GROUP, INC.
17822 FISH
IRVINE, CA 92614
(949) 851-5153 FAX: (949) 478-0114

LANDSCAPE ARCHITECT: KTUYA PLANNING & LANDSCAPE ARCHITECTURE
3918 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX: (619) 294-9965

THE GLEN
SCRIPPS RANCH & SAN DIEGO
A COMMUNITY LIVING BY-RENTAL COMMUNITY

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

KTUY
Planning & Landscape Architecture
3918 Norval Street
San Diego, CA 92103
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VESTING TENTATIVE MAP

3

THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA

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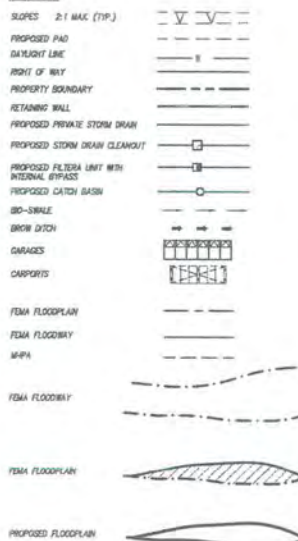
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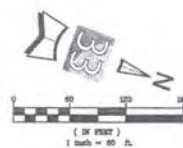
GRAZING AND DRAINAGE

4

LEGEND



SECTION A-A
NO SCALE



OWNER: ALLIANT EDUCATIONAL FOUNDATION
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 443-4807 FAX: (619) 443-8562

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
5907 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92121
(619) 444-8800 FAX: (619) 444-8267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9808 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX: (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9808 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX: (619) 751-0634

ARCHITECT: KTUD GROUP, INC.
17922 FISH
IRVINE, CA 92614
(949) 851-2133 FAX: (949) 851-2133

LANDSCAPE ARCHITECT: KTUD + PLANNING + LANDSCAPE ARCHITECTURE
3015 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX: (619) 294-9905

PROPOSED STORM DRAIN (PVT)

1. PROPOSED STORM DRAIN
2. PROPOSED STORM DRAIN CLEANOUT
3. PROPOSED CATCH BASIN
4. PROPOSED FILTER UNIT WITH INTERNAL BYPASS
5. PROPOSED RISER STRUCTURE
6. PROPOSED HEADWALL AND APRON
7. PROPOSED BIO-RETENTION

* SIZE TO BE DETERMINED
UPON FINAL ENGINEERING.

STORM DRAIN NOTES

1. THE ON-SITE STORM DRAIN SYSTEM IS PROPOSED AS PRIVATE.
 2. THE PROPOSED PRIVATE ON-SITE STORM DRAIN SYSTEM WILL COLLECT OFFSITE RUNOFF THAT CURRENTLY TRAVERSES THROUGH THE PROJECT.
 3. THE PROPOSED PRIVATE STORM DRAIN SYSTEM INCLUDES A DETENTION BASIN. THE DETENTION BASIN IS DESIGNED TO MITIGATE THE INCREASE IN RUNOFF DUE TO DEVELOPMENT.
 4. THE ON-SITE AND OFFSITE RUNOFF WILL BE COLLECTED AND CONVEYED IN THE SAME STORM DRAIN SYSTEM.
- WATER QUALITY/TEMP NOTES**
1. THE PROPOSED BMP'S INCLUDED LANDSCAPE BIO-SWALES, WATER QUALITY/RETENTION BASINS AND FILTERA UNITS WITH INTERNAL BYPASS.
 2. THE HYDROLOGICAL (HMP) REQUIREMENTS WILL BE ADDRESSED IN THE DESIGN OF THE BIO-SWALES, FILTERA UNITS AND THE WATER QUALITY/RETENTION BASINS.
 3. THE OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE BMP'S.
 4. THE ON-SITE RUNOFF WILL BE TREATED PRIOR TO ENTERING THE PROPOSED STORM DRAIN SYSTEM.
 5. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PROMOTER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
 6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PROMOTER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 3, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

R.O.S. 7076
POR. SECTION 4
T15S, R2W, S.B.M.

R.O.S. 7076
POR. SECTION 4
T15S, R2W, S.B.M.

R.O.S. 7076
POR. SECTION 4
T15S, R2W, S.B.M.

R.O.S. 7076
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T15S, R2W, S.B.M.

R.O.S. 7076
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T15S, R2W, S.B.M.

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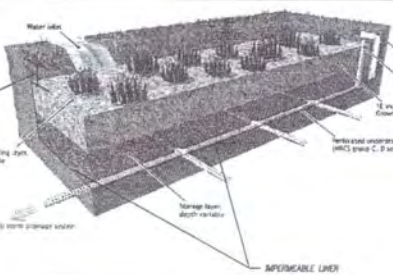
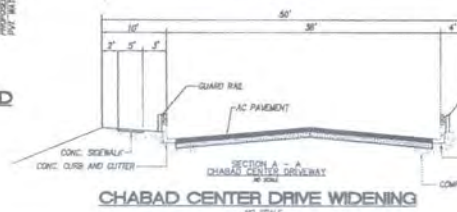
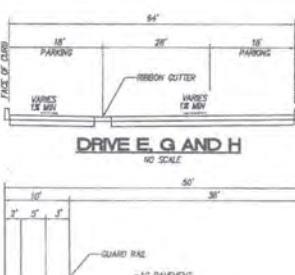
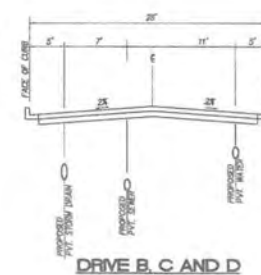
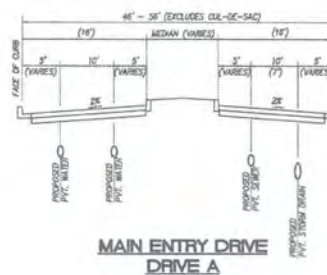
R.O.S. 7076
POR. SECTION 4
T15S, R2W, S.B.M.

R.O.S. 7076
POR. SECTION 4
T15S, R2W, S.B.M.

PARCEL 1 OF
PM

R.O.S. 7076
POR. SECTION 4
T15S, R2W, S.B.M.

PARCEL 2 P.M. 7724.



PREPARED IN THE OFFICE OF:
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3888 HEBERT STREET, 2ND FLOOR, SAN DIEGO, CA 92131
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10/20/15
DATE

Prepared By:
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Project Address:
10455 POMERADO ROAD, SOUTH OF POMERADO ROAD
AND WEST OF CHABAD CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
GRAZING AND DRAINAGE

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	
Original Date:	11-29-2011
Sheet:	4 OF 47
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DEP: AMENDMENT	



THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



UTILITIES

5

- PAVING
SLOPES 2:1 MAX (TOP)
DAYLIGHT LINE
RIGHT OF WAY
BOUNDARY
PROPERTY LINE
RETAINING WALL
DRAIN
50' BUILDING SETBACK
PROPOSED DOMESTIC WATER MAIN
PROPOSED SEWER MAIN
PROPOSED SEWER MANHOLE
PROPOSED FIRE HYDRANT
PROPOSED STORM DRAIN CLEANSUIT
PROPOSED TYPE B CURB INLET
PROPOSED TYPE I CATCH BASIN
PROPOSED PRIVATE STORM DRAIN

PROP. WET UTILITIES (PVT)

- PROPOSED PRIVATE SEWER
PROPOSED PRIVATE WATER/FIRE
PROPOSED PRIVATE BACK FLOW PREVENTION DEVICE
PROPOSED PUBLIC MASTER WATER METERS

WATER NOTES

1. THE ON-SITE WATER SYSTEM IS PROPOSED TO BE PRIVATE.
2. THE SIZE OF THE ON-SITE SYSTEM WILL BE DETERMINED BASED ON COORDINATION WITH THE PUBLIC UTILITIES DEPARTMENT. A WATER STUDY HAS BEEN PREPARED AND SUBMITTED AS PART OF THE CUP APPLICATION.
3. THERE EXIST DUAL 10" PUBLIC WATER MAINS IN POMERADO ROAD AND CHABAD CENTER DRIVEWAY. THE PROJECT PROPOSED DUAL WATER MAINS IN STREET "A" TO PROVIDE REDUNDANCY INTO THE PROJECT. IN ADDITION, THE PROJECT PROPOSED WATER MAINS TO PROVIDE ON-SITE LOOPED SYSTEM AND MINIMIZE DEAD-END SYSTEMS.
4. THE LOCATION OF THE PROPOSED WATER AND SEWER MAINS WILL PROVIDE A MINIMUM 10' SEPARATION BETWEEN THE DUAL WATER MAINS AND PROVIDE A MINIMUM 10' CLEARANCE BETWEEN THE WATER AND SEWER MAINS.
5. PRIOR TO ANY BUILDING PERMIT ISSUANCE, AN UNDERGROUND MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR THE PRIVATE WATER CONNECTION TO THE PUBLIC MAIN.

SEWER NOTES

1. THE ON-SITE SEWER SYSTEM IS PROPOSED TO BE PRIVATE.
2. THE SIZE OF THE ON-SITE SEWER SYSTEM IS 8"-16".
3. THE LOCATION OF THE PROPOSED WATER AND SEWER MAINS WILL PROVIDE A MINIMUM 10' SEPARATION BETWEEN THE DUAL WATER MAINS AND PROVIDE A MINIMUM 10' CLEARANCE BETWEEN THE WATER AND SEWER MAINS.
4. PRIOR TO ANY BUILDING PERMIT ISSUANCE, AN UNDERGROUND MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR THE PRIVATE SEWER CONNECTION TO THE PUBLIC MAIN.
5. ALL GUEST WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

OWNER: ALLIANT EDUCATIONAL FOUNDATION
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 444-8501

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3903 BUSINESS PARK AVE. SUITE #104
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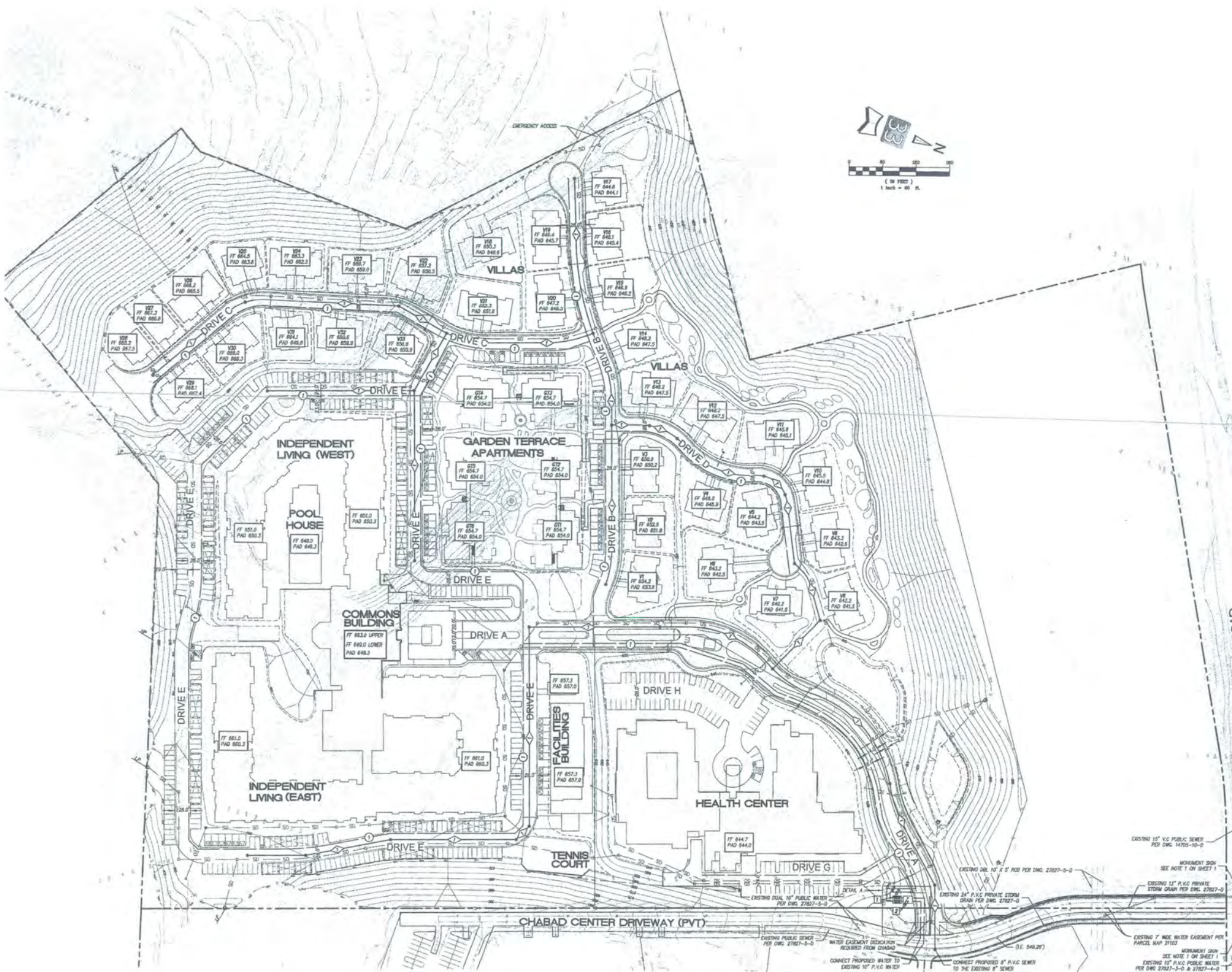
PLANNING: LATITUDE 33 PLANNING & ENGINEERING
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POMERADO ROAD
(PUBLIC ROAD)



PREPARED IN THE OFFICE OF:
latitude 33
PLANNING & ENGINEERING
3903 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 751-0633

By: *O. San*
DATE: 10/20/15
REV: 54384 EXP: 12/15

Prepared By:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	3903 BUSINESS PARK AVE. SUITE #104 SAN DIEGO, CA 92131	Revision 13:	
Phone #:	(619) 751-0633	Revision 12:	
Fax #:	(619) 751-0634	Revision 11:	
Project Address:	10455 POMERADO ROAD - SOUTH OF POMERADO ROAD AND WEST OF CHABAD CENTER DRIVEWAY	Revision 10:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 9:	
Sheet Title:	UTILITIES	Revision 8:	
DEP#	AMENDMENT	Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
		Original Date:	11-29-2011
		Sheet	5 OF 47
		CUP	133-PC
		DEP#	AMENDMENT



THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



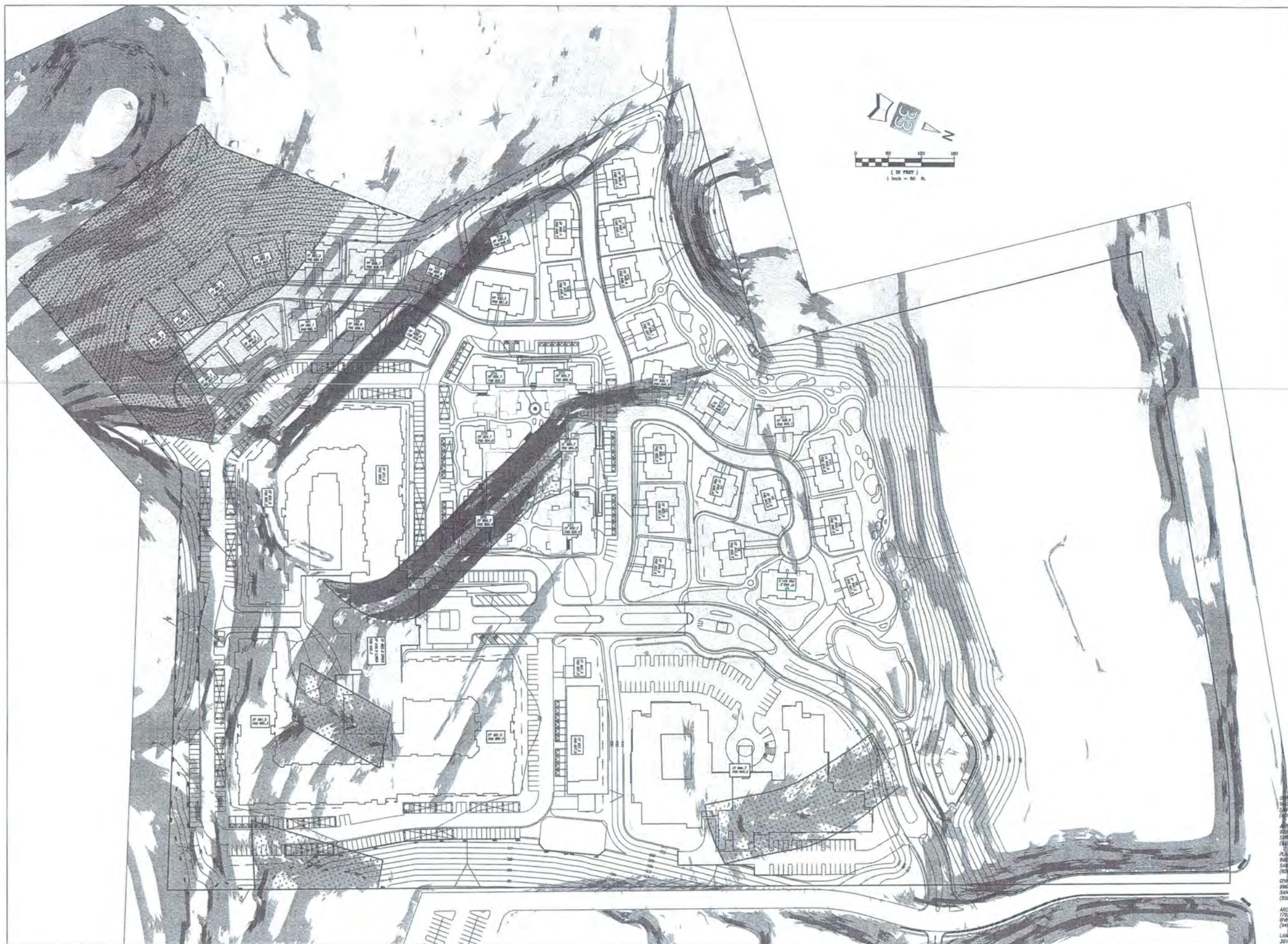
latitude **33**
PLANNING & ENGINEERING
17022 Pkwy
Irvine, CA 92614
(949) 851-2133
ktgy.com



Architecture + Planning
Irvine, CA 92614
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ktgy.com

STEEP SLOPES

6



OVERALL SLOPE SUMMARY:

0% - 15%	
15% - 25%	
25% - 50%	
50% - 100%	

LEGEND

DAYLIGHT LINE	
BOUNDARY	
GRADE PATTERNS	
SWALE	

25 - 100% IDENTIFIED AS STEEP HILLSIDE AREAS OF ENCROACHMENT (SEE NOTE 1 FOR DEFINITION)

25 - 100% NOT-IDENTIFIED AS STEEP HILLSIDE (SEE NOTE 2 FOR DEFINITION)

SITE SUMMARY:

OVERALL SITE	52 AC
STEEP HILLSIDES	3.7 AC
PERCENTAGE STEEP HILLSIDES	7%
STEEP HILLSIDE ENCROACHMENT	3.7 AC
PERCENTAGE OF ENCROACHMENT	100%

NOTES

NOTE 1:
STEPPED HILLSIDES MEANS ALL LANDS THAT HAVE A SLOPE WITH A NATURAL GRADIENT OF 25 PERCENT (4 FEET OF HORIZONTAL DISTANCE FOR EVERY 1 FOOT OF VERTICAL DISTANCE) OR GREATER AND A MINIMUM ELEVATION DIFFERENTIAL OF 50 FEET, OR A NATURAL GRADIENT OF 200 PERCENT (1 FOOT OF HORIZONTAL DISTANCE FOR EVERY 2 FEET OF VERTICAL DISTANCE) OR GREATER AND A MINIMUM ELEVATION DIFFERENTIAL OF 10 FEET.

NOTE 2:
SMALL ISOLATED POCKETS OUTSIDE THE COASTAL OVERLAY ZONE, SMALL ISOLATED POCKETS OF 25 PERCENT OR GREATER GRADIENT COMPLETELY SURROUNDED BY EXISTING DEVELOPMENT AREA SHALL BE CONSIDERED PART OF THE EXISTING DEVELOPMENT AREA PROVIDED THE POCKETS TOTAL LESS THAN 10 PERCENT OF THE EXISTING DEVELOPMENT AREA. DEVELOPMENT OF SUCH POCKETS WILL NOT BE CONSIDERED AS ENCROACHMENT (POCKETS COVER APPROXIMATELY 3% OF THE EXISTING DEVELOPMENT AREA).

MANUFACTURED SLOPES
STEPPED SLOPES MANUFACTURED FROM PREVIOUS DEVELOPMENT SHALL NOT BE IDENTIFIED AS STEEP SLOPES

OWNER: ALLIANT EDUCATIONAL FOUNDATION
1400 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 444-1000 FAX (619) 444-1001

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3800 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-1000 FAX (619) 444-1001

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3800 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-1000 FAX (619) 444-1001

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3800 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-1000 FAX (619) 444-1001

ARCHITECT: KTGY GROUP, INC.
17022 Pkwy
Irvine, CA 92614
(949) 851-2133 FAX (949) 851-2133

LANDSCAPE ARCHITECT: KTGY PLANNING & LANDSCAPE ARCHITECTURE
3800 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-1000 FAX (619) 444-1001

Prepared By:

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 3800 BUSINESS PARK AVE. SUITE #104

SAN DIEGO, CA 92131

Phone #: (619) 444-1000

Fax #: (619) 444-1001

Project Address: 1400 POMERADO ROAD

SAN DIEGO, CA 92131

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: STEEP SLOPES

Date: 10/12/15

Scale: 1 inch = 50 feet

Author: R. D. Soy

Checker: R. D. Soy

Reviewer: R. D. Soy

Approver: R. D. Soy

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

Revision 2: _____

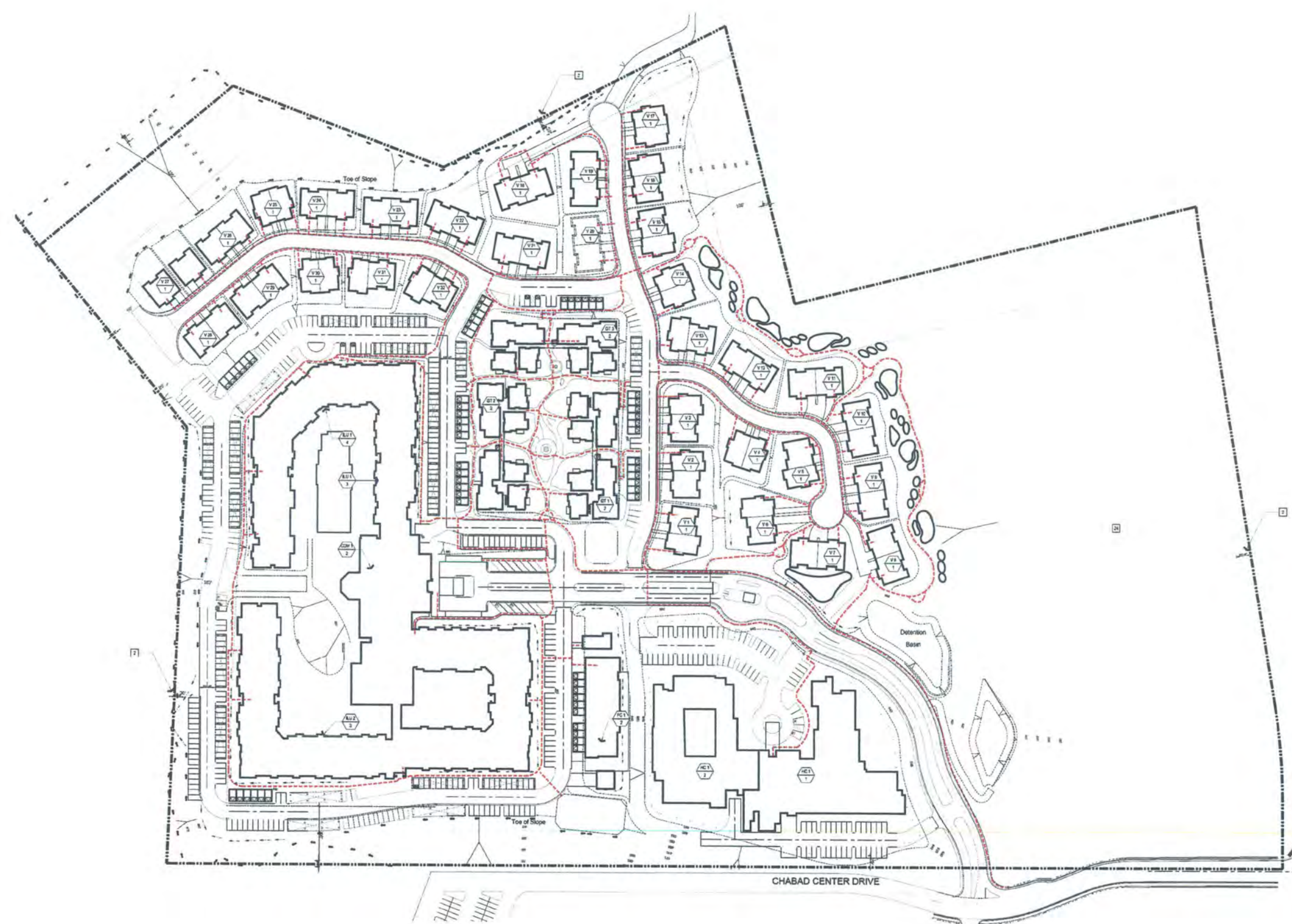
Revision 1: _____

Original Date: 11-29-2011

Sheet: 5 OF 47

CUP 133-PC

AMENDMENT



- LEGEND**
- Pedestrian Path of Travel
 - Building Number
 - # of Stories
 - Open/Carport Parking
 - Garage Count
 - GT: Garden Terrace
 - HC: Health Center
 - ILU: Independent Living Units
 - FC: Facilities
 - V: Villa
- KEYNOTES**
- 1 Approximate Building Setback
 - 2 Lot 'A' MHPA open space

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

KTUJ
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3916 Normal Street
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17922 Fish
Irvine, CA 92614
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Site Plan
Circulation
Exhibit

8

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
17455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 635-8807 FAX (619) 633-8562

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
5903 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 704-5267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5903 BUSINESS PARK AVE. 2ND FLOOR
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(619) 751-0633 FAX (619) 751-0634

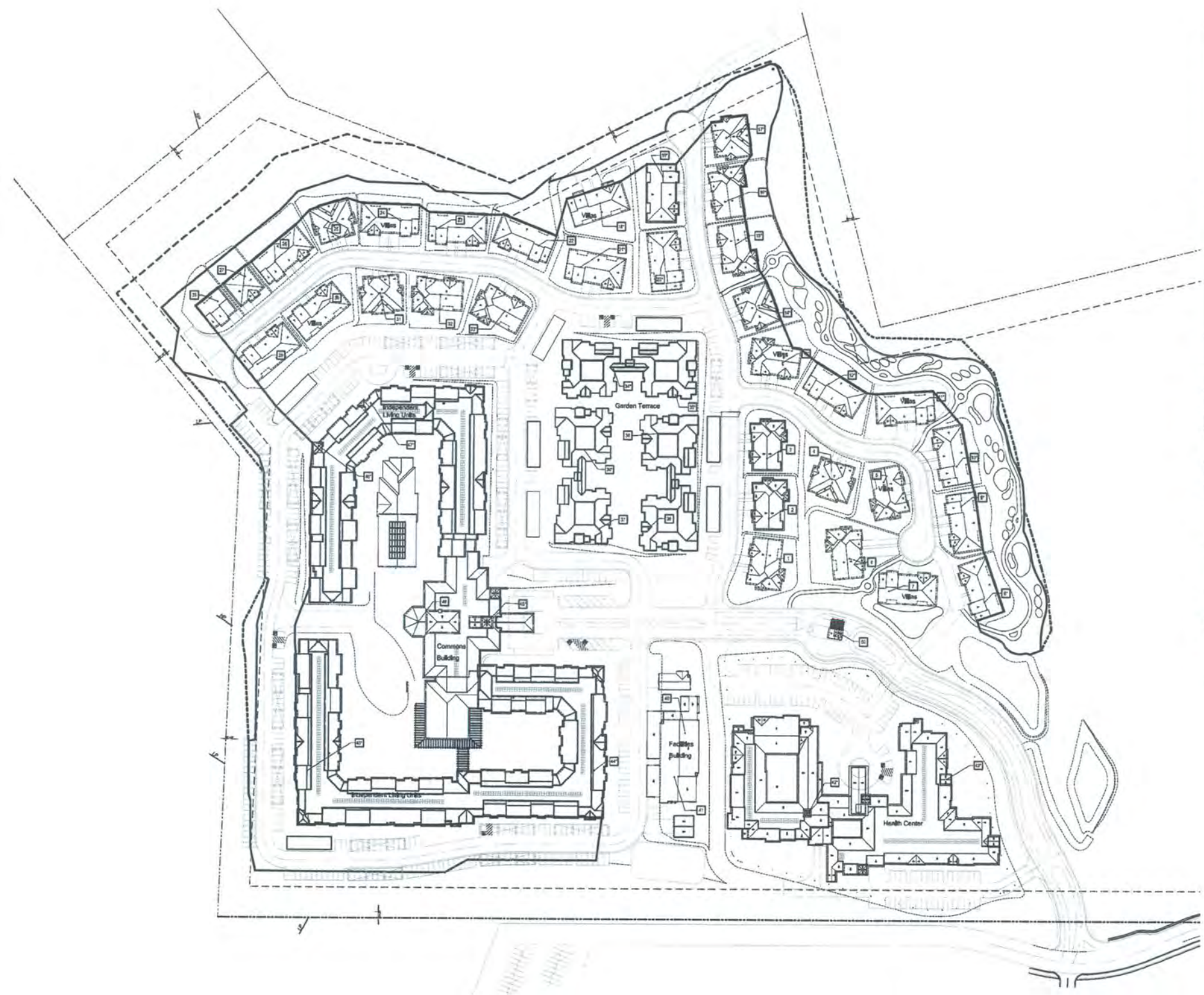
CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
5903 BUSINESS PARK AVE. 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTUJ GROUP, INC.
17922 FISH
IRVINE, CA 92614
(949) 851-2133 FAX (949) 426-8114

LANDSCAPE ARCHITECT: KTUJ PLANNING & LANDSCAPE ARCHITECTURE
3916 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8983

Prepared By:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
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	SAN DIEGO, CA 92131	Revision 12:	
	Phone #: (619) 751-0633	Revision 11:	
	Fax #: (619) 751-0634	Revision 10:	
		Revision 9:	
		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
Project Address:	17455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHABAD CENTER DRIVE	Original Date:	11-28-2011
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Sheet	8 OF 47
Sheet Title:	SITE PLAN	CUP 133-PC	
		AMENDMENT	





	NOOR TOP	PROPOSED GRADE	EXISTING GRADE	ABOVE FINISH GRADE	ABOVE LOWEST GRADE
1	± 675.2'	± 670.2'	± 670.2'	± 21'	± 5.2'
2	± 678.5'	± 672.5'	± 672.5'	± 21'	± 13.5'
3	± 671.9'	± 665.9'	± 665.9'	± 21'	± 21.9'
4	± 669.6'	± 663.6'	± 663.6'	± 23'	± 24.6'
5	± 665.2'	± 659.2'	± 659.2'	± 21'	± 35.2'
6	± 664.2'	± 658.2'	± 658.2'	± 21'	± 19.2'
7	± 663.2'	± 657.2'	± 657.2'	± 21'	± 20.2'
8	± 663.2'	± 657.2'	± 657.2'	± 21'	± 40.2'
9	± 664.3'	± 658.3'	± 658.3'	± 21'	± 49.3'
10	± 665.5'	± 659.5'	± 659.5'	± 21'	± 56.5'
11	± 666.8'	± 660.8'	± 660.8'	± 21'	± 48.8'
12	± 668.5'	± 662.5'	± 662.5'	± 21'	± 38.5'
13	± 670.1'	± 664.1'	± 664.1'	± 21'	± 40.1'
14	± 671.1'	± 665.1'	± 665.1'	± 23'	± 51.1'
15	± 667.9'	± 661.9'	± 661.9'	± 21'	± 42.9'
16	± 667.1'	± 661.1'	± 661.1'	± 21'	± 42.1'
17	± 667.8'	± 661.8'	± 661.8'	± 23'	± 42.8'
18	± 671.3'	± 665.3'	± 665.3'	± 21'	± 46.3'
19	± 667.4'	± 661.4'	± 661.4'	± 21'	± 42.4'
20	± 668.2'	± 662.2'	± 662.2'	± 21'	± 43.2'
21	± 673.3'	± 667.3'	± 667.3'	± 21'	± 48.3'
22	± 678.2'	± 672.2'	± 672.2'	± 21'	± 23.2'
23	± 680.7'	± 674.7'	± 674.7'	± 21'	± 5.7'
24	± 684.3'	± 678.3'	± 678.3'	± 21'	± 15.7'
25	± 687.5'	± 681.5'	± 681.5'	± 23'	± 22.5'
26	± 687.2'	± 681.2'	± 681.2'	± 21'	± 17.2'
27	± 688.3'	± 682.3'	± 682.3'	± 21'	± 11.7'
28	± 689.2'	± 683.2'	± 683.2'	± 21'	± 9.2'
29	± 689.1'	± 683.1'	± 683.1'	± 21'	± 9.1'
30	± 689	± 683	± 683	± 21'	± 1'
31	± 689.1'	± 683.1'	± 683.1'	± 23'	± 10.1'
32	± 681.6'	± 675.6'	± 675.6'	± 21'	± 21.6'
33	± 677.6'	± 671.6'	± 671.6'	± 21'	± 32.6'
34	± 685.7'	± 679.7'	± 679.7'	± 32'	± 61.7'
35	± 686.7'	± 680.7'	± 680.7'	± 32'	± 61.7'
36	± 686.7'	± 680.7'	± 680.7'	± 32'	± 56.7'
37	± 684.7'	± 678.7'	± 678.7'	± 30'	± 4.7'
38	± 686.7'	± 680.7'	± 680.7'	± 32'	± 16.7'
39	± 684.7'	± 678.7'	± 678.7'	± 30'	± 4.7'
40	± 679.3'	± 673.3'	± 673.3'	± 22'	± 15.7'
41	± 690.3'	± 684.3'	± 684.3'	± 33'	± 9.7'
42	± 681.7'	± 675.7'	± 675.7'	± 33'	± 11.7'
43	± 669.7'	± 663.7'	± 663.7'	± 25'	± 39.7'
44	± 701'	± 695'	± 695'	± 40'	± 31'
45	± 701'	± 695'	± 695'	± 40'	± 61'
46	± 701'	± 695'	± 695'	± 50'	± 71'
47	± 700'	± 694'	± 694'	± 40'	± 35'
48	± 685'	± 679'	± 679'	± 22'	± 10'
49	± 675'	± 669'	± 669'	± 20'	± 15'
50	± 666.7'	± 660.7'	± 660.7'	± 22'	± 11.7'

*Exceeds the maximum height of 35 - feet

- V - Vills
- GT - Garden Terrace
- FC - Facilities
- HC - Health Center
- ILU - Independent Living Units
- COM - Commons Building
- GH - Guard House

NOTES
1. Address: 10455 Pomerado Road, San Diego, CA 92131

KEYNOTES
1. Approximate Building Setback

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 593-0807 FAX(619) 593-0802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8003 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8000 FAX(619) 444-8267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
8003 BUSINESS PARK AVE. SUITE #104
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(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
8003 BUSINESS PARK AVE. SUITE #104
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(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTY GROUP, INC.
17922 FISH
IRVINE, CA 92614
(949) 851-2133 FAX(949) 476-2614

LANDSCAPE ARCHITECT: KTY GROUP, INC.
17922 FISH
IRVINE, CA 92614
(949) 851-2133 FAX(949) 476-2614

Prepared By: LATITUDE 33 PLANNING & ENGINEERING

Name: JAMES HENRY ST. 2ND FLOOR

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Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address: 10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHANDLER CENTER DRIVEWAY

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: SITE PLAN

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

Revision 2: _____

Revision 1: _____

Original Date: 11-28-2011

Sheet 9 OF 47

CUP 133-PC

DEP AMENDMENT

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

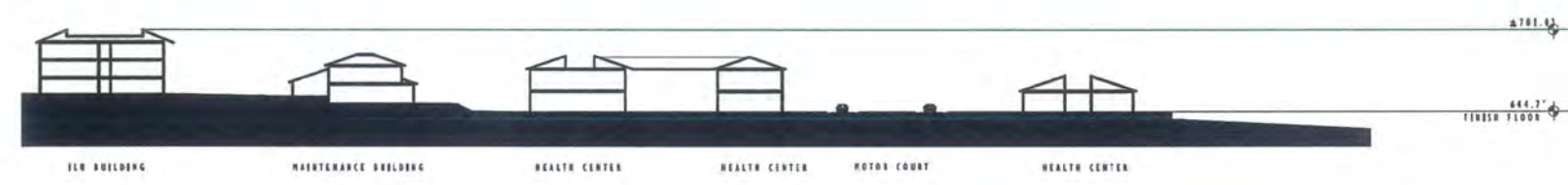
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(619) 444-8000

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San Diego, CA 92131
(619) 751-0633

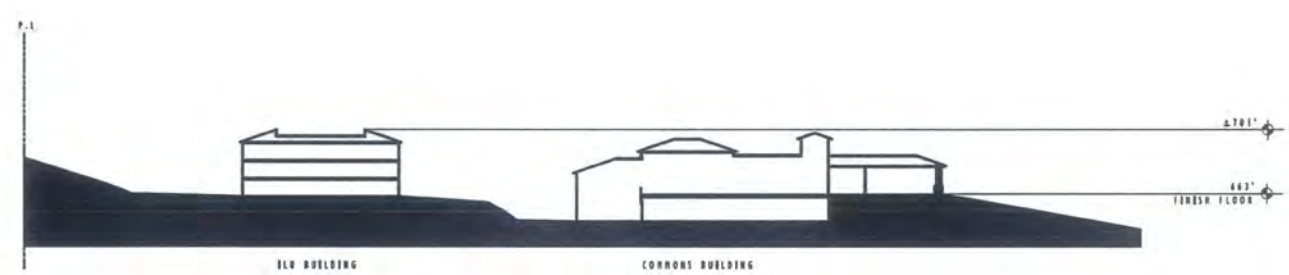
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17922 Fish
Irvine, CA 92614
(949) 851-2133
ktgy.com

ROOF PLAN/
HEIGHT EXHIBIT

9



SITE SECTION A - A



SITE SECTION B - B

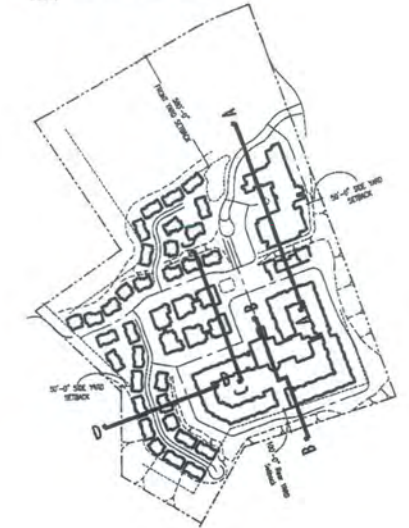


SITE SECTION C - C



SITE SECTION D - D

SITE KEY & YARD/ SETBACKS



OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 438-8807 FAX (619) 693-8562

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8043 BUSINESS PARK AVE SUITE 400
SAN DIEGO, CA 92131
(619) 444-8800 FAX (619) 704-8287

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
8000 WILSON ST. 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0613 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
8000 WILSON ST. 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0613 FAX (619) 751-0634

ARCHITECT: KTYG GROUP, INC.
17822 RIVER
IRVINE, CA 92614
(949) 851-2133 FAX (949) 470-8114

LANDSCAPE ARCHITECT: KTYG PLANNING & LANDSCAPE ARCHITECTURE
3045 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8965

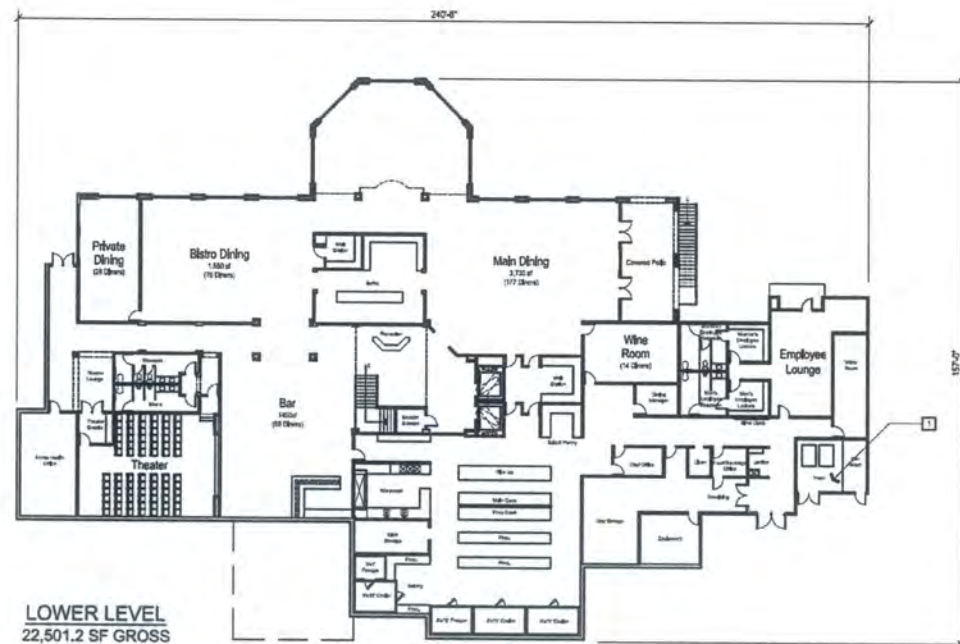
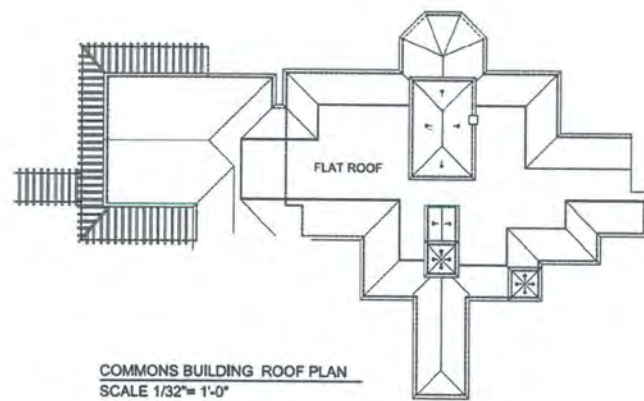
Prepared By:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	8000 WILSON ST. 2ND FLOOR	Revision 13:	
Phone:	SAN DIEGO, CA 92131	Revision 12:	
Fax:	(619) 751-0613	Revision 11:	
	(619) 751-0634	Revision 10:	
		Revision 9:	
		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Original Date:	11-29-2011
Sheet Title:	SITE SECTION	Sheet	10 OF 47
DEP:	AMENDMENT		

THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



SITE SECTIONS



LEGEND

Pedestrian Path of Travel

KEYNOTES

Trash Bin & Chute - 490 c.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 594-0000 FAX (619) 594-0001

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
5003 BUSINESS PARK AVE. SUITE 604
SAN DIEGO, CA 92131
(619) 444-0000 FAX (619) 444-0001

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5005 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

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ARCHITECT: KTYG GROUP, INC.
17022 PINE
IRVINE, CA 92614
(949) 851-2133 FAX (949) 426-8914

LANDSCAPE ARCHITECT: KONA PLANNING & LANDSCAPE ARCHITECTURE
5016 NORMAL STREET
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Project Address: 10455 POMEROY ROAD - SOUTH OF POMEROY ROAD
AND WEST OF CHARLIE CENTER DRIVEWAYProject Name:
THE GLEN AT
SCRIPPS RANCH CCRCSheet Title:
COMMONS BUILDING PLANS

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

Revision 2: _____

Revision 1: _____

Original Date: 11-28-2011

Sheet 11 OF 47

CUP 133-PC

AMENDMENT

THE GLEN
AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

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Planning & Landscape Architecture
3914 Normal Street
San Diego, CA 92131
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619-594-0001

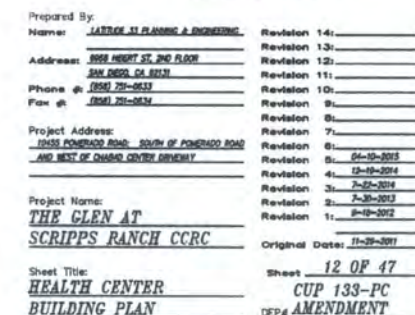
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Commons
Building Plans

11

12



ALF
27,955 SF GROSS



OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 444-4000 FAX(619) 444-4002

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3003 BUSINESS PARK AVE. SUITE #104
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3968 HUNTER ST., 2ND FLOOR
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3968 HUNTER ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0833 FAX(619) 751-0834

ARCHITECT: KLEY GROUP, INC.
17025 RICH
AVENUE, CA 92014
(760) 851-2133 FAX(760) 851-2134

LANDSCAPE ARCHITECT: ITHA PLANNING & LANDSCAPE ARCHITECTURE
3916 NORVAL STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX(619) 294-4485

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SAN DIEGO, CA 92131	Revolution 1.11:
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Fax #: (619) 751-0834	Revolution 0.91:
	Revolution 0.81:
	Revolution 0.71:
	Revolution 0.61:
	Revolution 0.51:
	Revolution 0.41:
	Revolution 0.31:
	Revolution 0.21:
	Revolution 0.11:
	Original Date: 11-29-2011
Project Name:	Sheet 13 OF 47
THE GLEN AT	CUP 133-PC
SCRIPPS RANCH CCRC	AMENDMENT
Sheet Title:	
HEALTH CENTER	
BUILDING PLAN	



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



KTU
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PLANNING & ENGINEERING
3968 HUNTER STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0833
latitude33.com



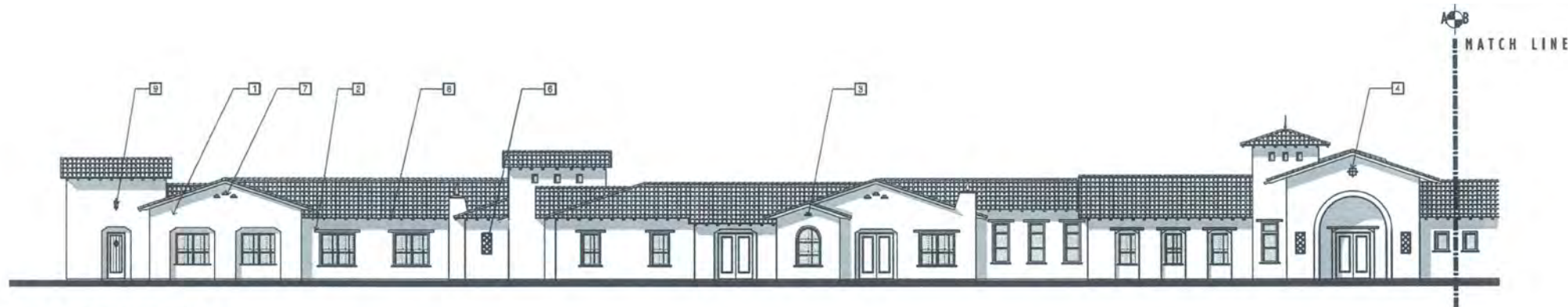
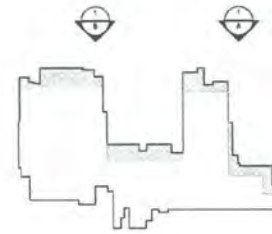
ktgy
Architecture + Planning
17025 RICH AVENUE, CA 92014
(760) 851-2133
ktgy.com

Health Center
Building Plan

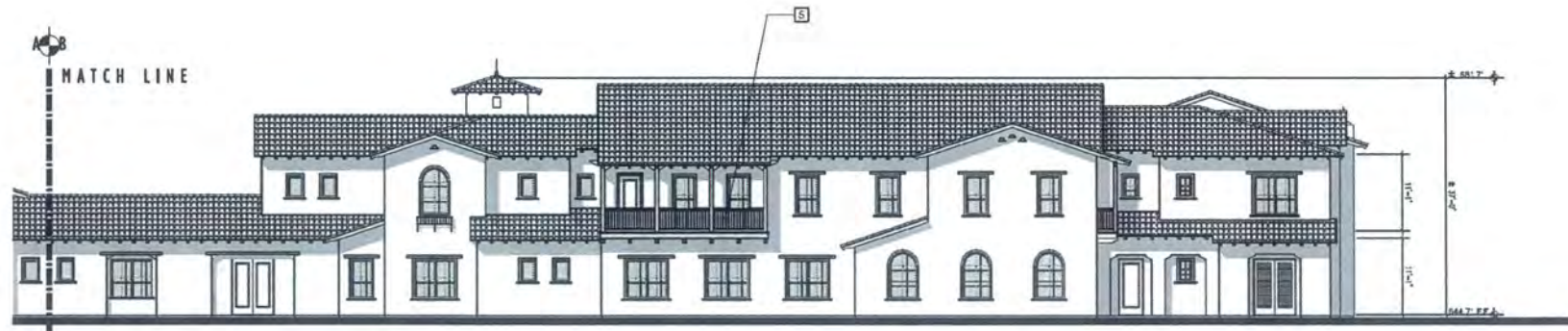
13



1. HEALTH CENTER - WEST ELEVATION



1. HEALTH CENTER - VIEW A



1. HEALTH CENTER - VIEW B

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "G" Tile Roof
- 4 Metal Detail
- 5 Wood Rail
- 6 Tile Detail
- 7 Garage End Detail
- 8 Rafter Tails
- 9 Light Fixture

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 593-6807 FAX (619) 593-6802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8001 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92123
(619) 444-8000 FAX (619) 444-8287

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3008 MONTE ST., 2ND FLOOR
SAN DIEGO, CA 92123
(619) 751-0513 FAX (619) 751-0534

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3008 MONTE ST., 2ND FLOOR
SAN DIEGO, CA 92123
(619) 751-0513 FAX (619) 751-0534

ARCHITECT: KTYO GROUP, INC.
17922 RIVER
RYMA, CA 92014
(619) 851-2133 FAX (619) 476-0114

LANDSCAPE ARCHITECT: KTYO PLANNING & LANDSCAPE ARCHITECTURE
3018 NORVAL STREET
SAN DIEGO, CA 92103
(619) 291-4477 FAX (619) 291-6905

Prepared By:	Name:	Address:	Phone #:	Fax #:	Project Address:	Project Name:	Sheet Title:
	JATITUDE 33 PLANNING & ENGINEERING	3008 MONTE ST. 2ND FLOOR SAN DIEGO, CA 92123	(619) 751-0513	(619) 751-0534	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARAD CENTER UNIVERSITY	THE GLEN AT SCRIPPS RANCH CCRC	HEALTH CENTER CONCEPT ELEVATIONS
Revision 14:	Revision 13:	Revision 12:	Revision 11:	Revision 10:	Revision 9:	Revision 8:	Revision 7:
Revision 6:	Revision 5:	Revision 4:	Revision 3:	Revision 2:	Revision 1:	Original Date:	Sheet 14 OF 47
						21-09-2011	CUP 133-PC AMENDMENT

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

KTYO
Planning & Landscape Architecture
3018 Norval Street
San Diego, CA 92103
(619) 291-4477
Fax: (619) 291-6905

latitude 33
PLANNING & ENGINEERING
3008 MONTE STREET
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ktyo
Architecture + Planning
17922 River
Ryma, CA 92014
(619) 851-2133
ktyo.com

Health Center
Concept
Elevations



2. HEALTH CENTER SOUTH ELEVATION - VIEW A



2. HEALTH CENTER NORTH ELEVATION - VIEW B

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Metal Detail
- 5 Wood Rail
- 6 Tile Detail
- 7 Garage End Detail
- 8 Rafter Tails
- 9 Light Fixture
- 10 Precast Trim



OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 515-4807 FAX (619) 515-4802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8600 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92123
(619) 444-0000 FAX (619) 701-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3008 MONTE ST. 2ND FLOOR
SAN DIEGO, CA 92123
(619) 701-0633 FAX (619) 701-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3008 MONTE ST. 2ND FLOOR
SAN DIEGO, CA 92123
(619) 701-0633 FAX (619) 701-0634

ARCHITECT: KTOY GROUP, INC.
17822 RITCHIE
RIVERSIDE, CA 92514
(951) 851-2132 FAX (951) 476-0114

LANDSCAPE ARCHITECT: KTOY PLANNING & LANDSCAPE ARCHITECTURE
3116 MONTE STREET
SAN DIEGO, CA 92123
(619) 294-4477 FAX (619) 294-8985

Prepared By:
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Fax #: (619) 701-0634

Project Address:
10455 POMERADO ROAD, SOUTH OF POMERADO ROAD
AND WEST OF CHANDLER CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
HEALTH CENTER
CONCEPT ELEVATIONS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	01-10-2013
Revision 5:	12-10-2014
Revision 4:	2-22-2014
Revision 3:	2-22-2014
Revision 2:	2-22-2014
Revision 1:	9-18-2012
Original Date:	11-28-2011
Sheet	15 OF 47
DEP	CUP 133-PC AMENDMENT



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Planning & Landscape Architecture
3016 MONTE STREET
SAN DIEGO, CA 92123
(619) 294-4477
info@ktoy.com



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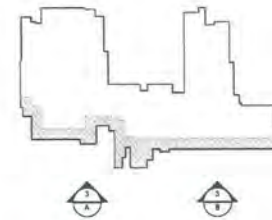
Architecture & Planning
17822 RITCHIE
RIVERSIDE, CA 92514
951.851.2132
ktoy.com

KTOY 06/20/2014

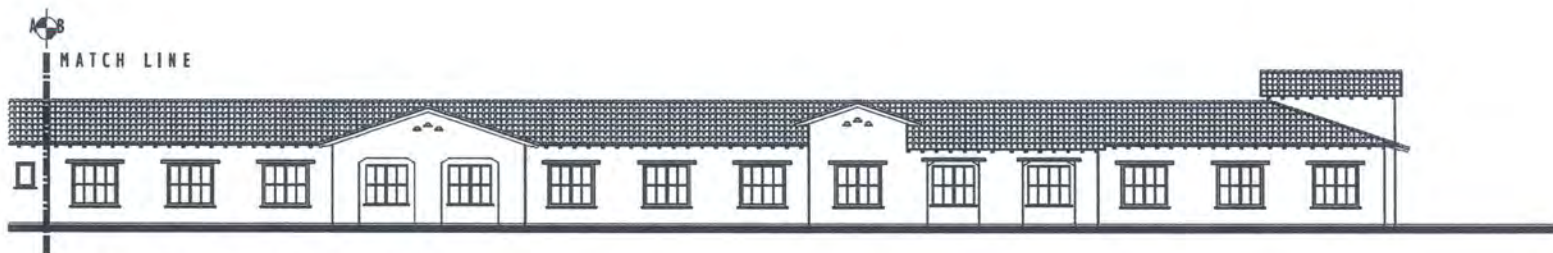
Health Center
Concept
Elevations



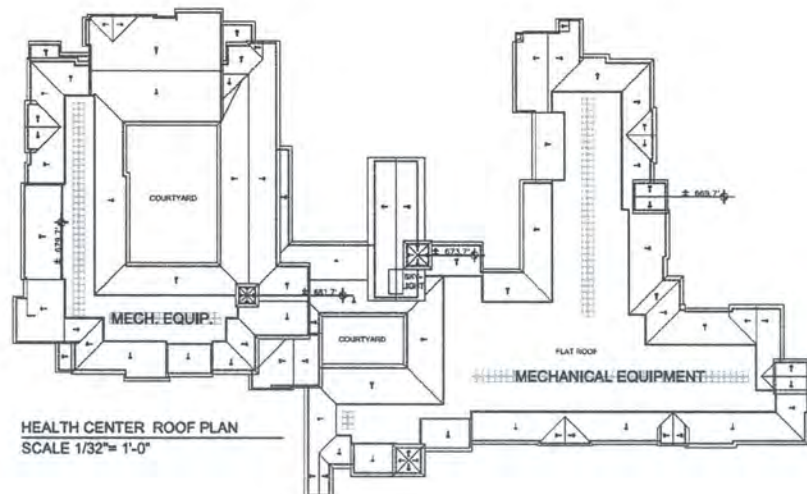
3. HEALTH CENTER - WEST ELEVATION



3. HEALTH CENTER - WEST ELEVATION A



3. HEALTH CENTER WEST ELEVATION - VIEW B



HEALTH CENTER ROOF PLAN
SCALE 1/32" = 1'-0"

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Metal Detail
- 5 Wood Rail
- 6 Tile Detail
- 7 Garage End Detail
- 8 Rubber Tails
- 9 Light Fixture
- 10 Precast Trim

OWNER - ALLIANT INTERNATIONAL UNIVERSITY
10455 PONDEROSA ROAD
SAN DIEGO, CA 92131
(619) 593-4807 FAX (619) 593-5562

APPLICANT - THE GLEN AT SCRIPPS RANCH CCRC LLC
8903 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92121
(619) 444-8000 FAX (619) 444-8267

PLANNING - LATITUDE 33 PLANNING & ENGINEERING
3908 HENRY ST. 2ND FLOOR
SAN DIEGO, CA 92131
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CIVIL ENGINEER - LATITUDE 33 PLANNING & ENGINEERING
3908 HENRY ST. 2ND FLOOR
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(619) 751-0633 FAX (619) 751-0634

ARCHITECT - KTOY GROUP, INC.
17922 FBCH
VINTON, CA 92514
(949) 851-2133 FAX (949) 476-8114

LANDSCAPE ARCHITECT - KTOY PLANNING & ENGINEERING
3914 NORVAL STREET
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(619) 294-4477 FAX (619) 294-8965

Prepared By:

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Phone #: (619) 751-0633
Fax #: (619) 751-0634

Project Address:
10455 PONDEROSA ROAD, SOUTH OF PONDEROSA ROAD
AND WEST OF CHABAD CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
HEALTH CENTER
CONCEPT ELEVATIONS

Revision 1.4:	
Revision 1.3:	
Revision 1.2:	
Revision 1.1:	
Revision 1.0:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	01-10-2013
Revision 5:	12-12-2014
Revision 4:	12-22-2014
Revision 3:	7-30-2013
Revision 2:	7-30-2013
Revision 1:	8-18-2012
Original Date:	7-20-2011

Sheet 16 OF 47
CUP 133-PC
AMENDMENT

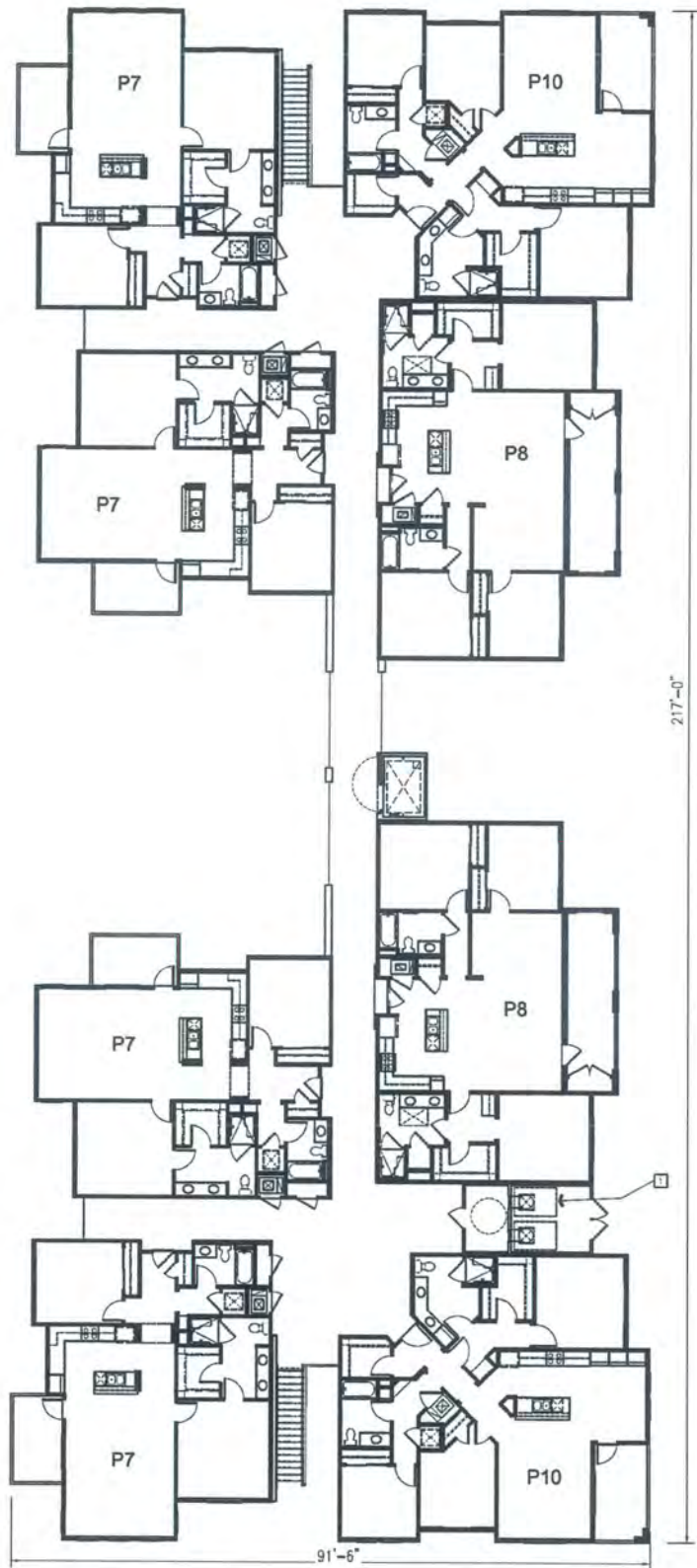
THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

KTOY
Planning & Engineering Architecture
3914 Norval Street
San Diego, CA 92131
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Fax: (619) 294-8965

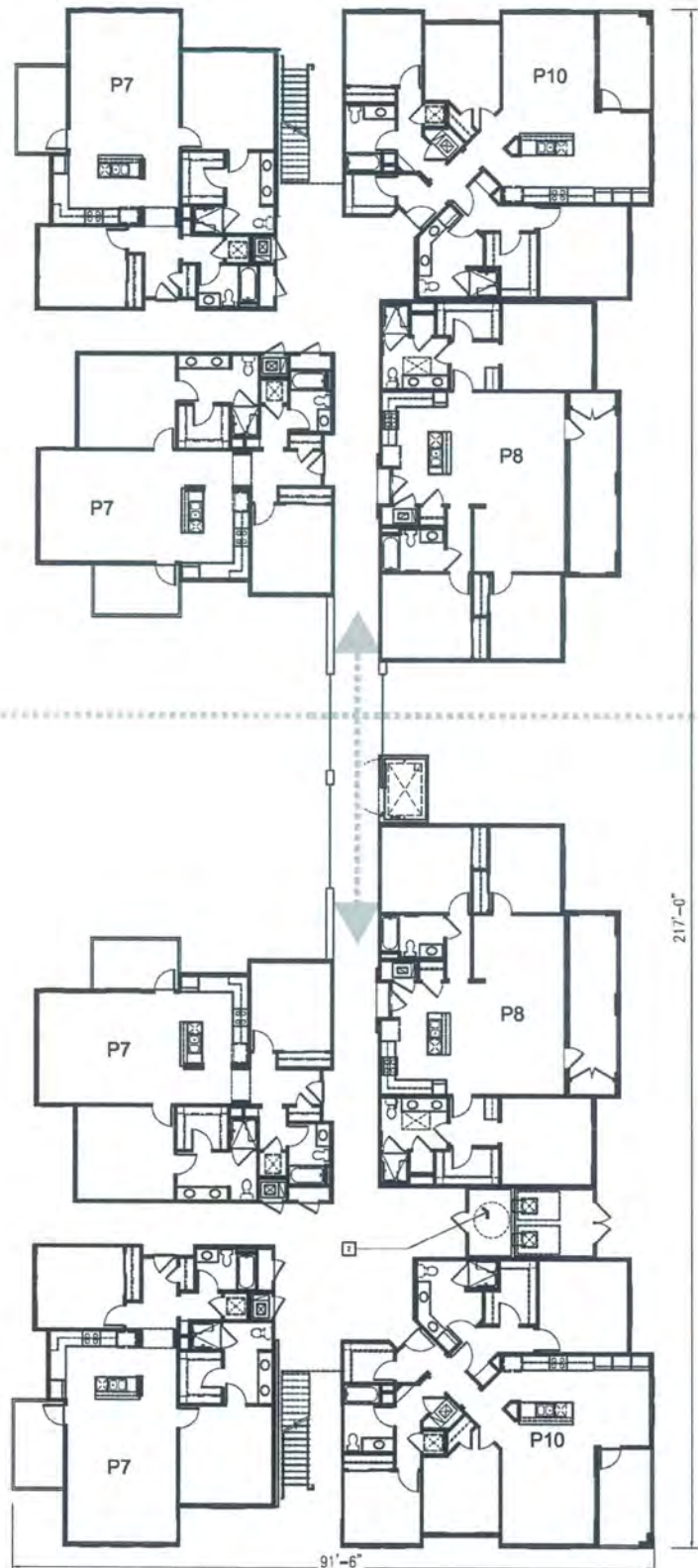
latitude33
PLANNING & ENGINEERING
ARCHITECTURE
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SAN DIEGO, CA 92131
(619) 751-0633
FAX: (619) 751-0634

ktoy
Architecture + Planning
17922 FBCH
Vinton, CA 92514
949.851.2133
ktoy.com

Health Center
Concept
Elevations



GT-A 2nd Floor
15,145 SF GROSS



GT-A 1st Floor
15,145 SF GROSS

LEGEND

Pedestrian Path of Travel

KEYNOTES

- Trash Bin & Chute - 70 s.f.
- Chutes - 68 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
19455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 593-0807 FAX (619) 593-0802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9503 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 414-0000 FAX (619) 701-4387

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
8900 AUBURN ST., 2ND FLOOR
SAN DIEGO, CA 92123
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
8900 AUBURN ST., 2ND FLOOR
SAN DIEGO, CA 92123
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTOY GROUP, INC.
17532 RITCHIE
PUEBLO, CA 92014
(760) 851-5153 FAX (760) 438-0114

LANDSCAPE ARCHITECT: KTOY PLANNING & LANDSCAPE ARCHITECTURE
3916 NORVAL STREET
SAN DIEGO, CA 92153
(619) 294-4477 FAX (619) 294-0885

Prepared By:

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Address: 8900 AUBURN ST., 2ND FLOOR
SAN DIEGO, CA 92123
Phone #: (619) 751-0633
Fax #: (619) 751-0634

Project Address:
19455 POMEROY ROAD, SOUTH OF POMEROY ROAD
AND WEST OF CHILAO CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
GARDEN TERRACE
BUILDING A & B PLANS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	04-10-2015
Revision 4:	12-10-2014
Revision 3:	7-10-2014
Revision 2:	7-10-2013
Revision 1:	9-10-2012
Original Date:	11-20-2011
Sheet	17 OF 47
CUP 133-PC	
AMENDMENT	

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Planning & Landscape Architecture
2818 W. Mission
San Diego, CA 92105
619.594.4477
ktu@ktu.com



PLANNING & ENGINEERING
LATITUDE 33

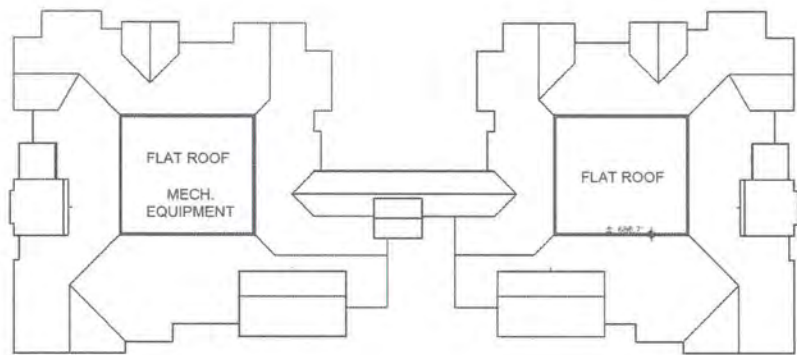


Architecture & Planning
17922 Fitch
Escondido, CA 92024
949.851.7133
ktgy@ktgy.com

Garden Terrace
Building A & B Plans



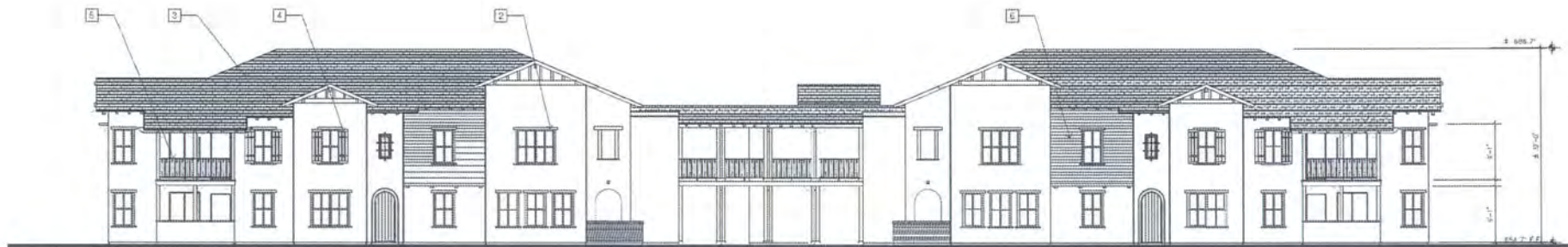
1. GARDEN TERRACE FRONT ELEVATION



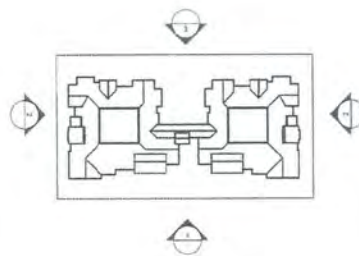
GARDEN TERRACE ROOFPLAN
SCALE 1/8" = 1'-0"



2. GARDEN TERRACE END ELEVATION



3. GARDEN TERRACE REAR ELEVATION



KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Flat Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafter Tails
- 9 Light Fixture
- 10 Metal Detail
- 11 Accent Tile

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 335-4807 FAX(619) 335-4802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9633 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX(619) 704-4267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5909 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
5909 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTCY GROUP, INC.
17922 PETER
RYAN, CA 92014
(714) 451-2153 FAX(714) 476-8114

LANDSCAPE ARCHITECT: KTHA PLANNING & LANDSCAPE ARCHITECTURE
3918 NORMAL STREET
SAN DIEGO, CA 92103
(619) 254-4177 FAX(619) 254-4995

Project Name:	LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Name:	3918 HENRY ST. 2ND FLOOR	Revision 13:	
Address:	SAN DIEGO, CA 92131	Revision 12:	
Phone #:	(619) 751-0633	Revision 11:	
Fax #:	(619) 751-0634	Revision 10:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARNO CENTER DRIVEWAY	Revision 9:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 8:	
Sheet Title:	GARDEN TERRACE CONCEPT ELEVATIONS	Revision 7:	
Original Date:	11-28-2011	Revision 6:	04-10-2015
Sheet Title:	GARDEN TERRACE CONCEPT ELEVATIONS	Revision 5:	12-10-2014
Original Date:	11-28-2011	Revision 4:	12-10-2014
Sheet Title:	GARDEN TERRACE CONCEPT ELEVATIONS	Revision 3:	12-10-2014
Original Date:	11-28-2011	Revision 2:	12-10-2014
Sheet Title:	GARDEN TERRACE CONCEPT ELEVATIONS	Revision 1:	12-10-2014
Original Date:	11-28-2011	Revision 0:	12-10-2014

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Garden Terrace
Concept
Elevations



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Planning + Landscape Architecture
3914 Normal Street
San Diego, CA 92116
(619) 594-4477
ktu.com



latitude 33
PLANNING & ENGINEERING
17022 Fish
Irvine, CA 92614
(949) 851-2133
lat33.com



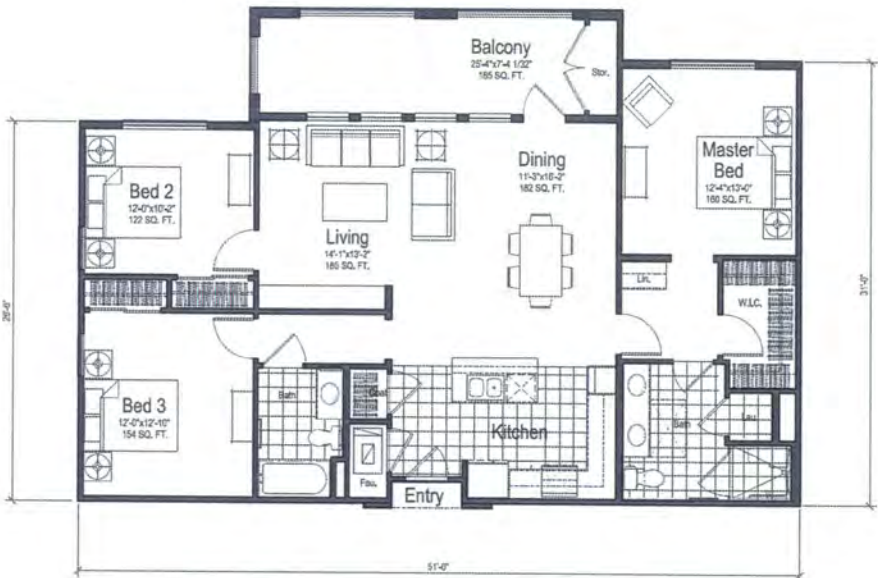
Architects + Planning
17022 Fish
Irvine, CA 92614
(949) 851-2133
ktgy.com

KTU-102-000000

Garden Terrace
Unit Plans



PLAN 10 - Magnolia
3 BEDROOM / 2 BATH
1,527 SF GROSS



PLAN 8 - Cedar - Alt
3 BEDROOM / 2 BATH
1,420 SF GROSS



PLAN 7
2 BEDROOM / 2 BATH
1,251 SF GROSS

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 594-4477 FAX: (619) 594-4477

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3913 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92116
(619) 444-0500 FAX: (619) 444-0501

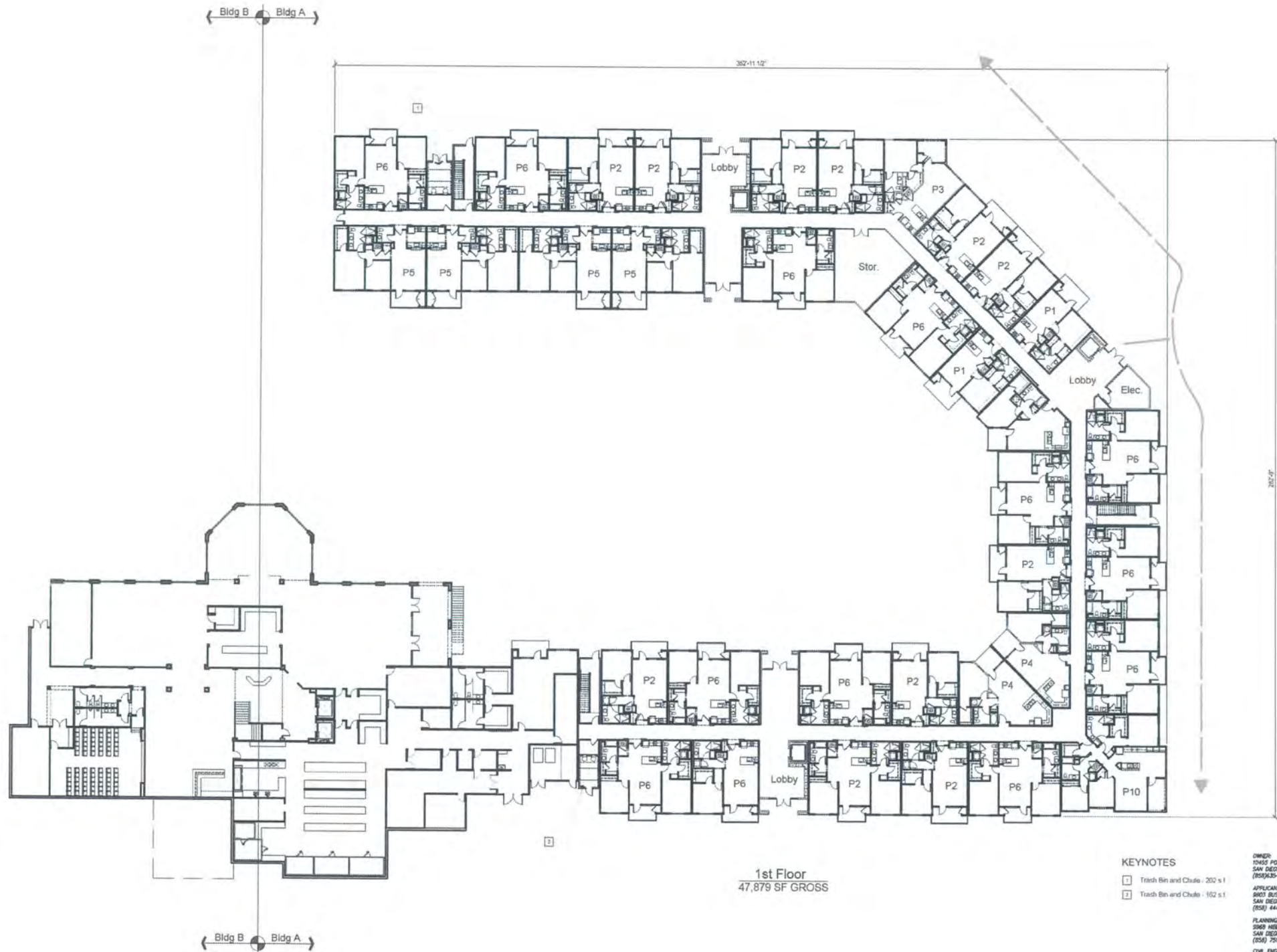
PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3913 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92116
(619) 751-0633 FAX: (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3913 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92116
(619) 751-0633 FAX: (619) 751-0634

ARCHITECT: KTU GROUP, INC.
17022 FISH
IRVINE, CA 92614
(949) 851-2133 FAX: (949) 476-8114

LANDSCAPE ARCHITECT: KTU GROUP, INC.
17022 FISH
IRVINE, CA 92614
(949) 851-2133 FAX: (949) 476-8114

Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 14:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 13:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 12:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 11:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 10:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 9:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 8:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 7:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 6:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 5:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 4:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 3:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 2:	
Project Address:	10455 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 1:	
Original Date:	11-28-2011		
Sheet Title:	GARDEN TERRACE UNIT PLANS	Sheet:	19 OF 47
		CUP 133-PC	
		AMENDMENT	



1st Floor
47,879 SF GROSS

KEYNOTES

- 1 Trash Bin and Chute - 202 s.f.
- 2 Trash Bin and Chute - 102 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 593-6507 FAX(619) 593-6502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3003 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92108
(619) 444-8500 FAX(619) 444-8267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3969 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3969 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KITGY GROUP, INC.
17922 FIRES
IRVINE, CA 92614
(949) 851-2133 FAX(949) 476-8114

LANDSCAPE ARCHITECT: KITGY PLANNING & ENGINEERING
3018 NORMAL STREET
SAN DIEGO, CA 92103
(619) 394-4477 FAX(619) 394-4983

PROJECT

Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 3969 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 751-0633
Fax #: (619) 751-0634

Project Address:
10455 POMERADO ROAD, SOUTH OF POMERADO ROAD
AND WEST OF CHARLOTTENBURG DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
ILU BUILDING A PLAN
1ST FLOOR

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	04-10-2013
Revision 3:	12-19-2014
Revision 2:	7-22-2014
Revision 1:	2-26-2013
Revision 0:	8-19-2012
Original Date:	11-29-2011
Sheet:	20 OF 47
Project:	CUP 133-PC
Revision:	AMENDMENT



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



ILU
Building A Plan
1st Floor



THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



KTU
Kierulff + Thompson Architects
2016 Laurel Street
San Diego, CA 92108
(619) 594-1477
ktu@ktu.com



latitude 33
PLANNING & ENGINEERING
LATITUDE 33, INC. 10



ktgy
Architecture + Planning
17622 Friar
Irvine, CA 92614
(949) 851-2133
ktgy.com

ILU
Building A Plan
2nd Floor

21



KEYNOTES

- 1 Trash Area - 63 s.f.
- 2 Trash Area 3 - 50 s.f.
- 3 Chutes - 10 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 593-4807 FAX (619) 593-4842

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8021 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 704-4367

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3969 MIDWAY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3969 MIDWAY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTU GROUP, INC.
17622 FRIAR
IRVINE, CA 92614
(949) 851-2133 FAX (949) 476-8114

LANDSCAPE ARCHITECT: ETHEA PLANNING & LANDSCAPE ARCHITECTURE
3918 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-0965

Prepared By

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 3969 MIDWAY ST., 2ND FLOOR

SAN DIEGO, CA 92131

Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address: 10455 POMERADO ROAD, SOUTH OF POMERADO ROAD

AND WEST OF CHANDLER DRIVE

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: ILU BUILDING A PLAN

2ND & 3RD FLOOR

CUP 133-PC

AMENDMENT

Revision 14:	
Revision 13:	
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Original Date: 11-28-2011

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CUP 133-PC

AMENDMENT



3rd Floor
49,003 SF GROSS

KEYNOTES

- 1 Trash Area - 63 s.f.
- 2 Trash Area 3 - 50 s.f.
- 3 Chubb - 16 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
15435 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 593-6507 FAX (619) 593-6502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9907 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 704-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9969 HEDDY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9969 HEDDY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KITY GROUP, INC.
17922 FILOM
IRVINE, CA 92614
(949) 851-2133 FAX (949) 476-8714

LANDSCAPE ARCHITECT: KITHA PLANNING & LANDSCAPE ARCHITECTURE
3916 NORVAL STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX (619) 294-5963

Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 14:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 13:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 12:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 11:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 10:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 9:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 8:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 7:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 6:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 5:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 4:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 3:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 2:	
Project Address:	15435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHARLES CENTER DRIVEWAY	Revision 1:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Original Date:	11-28-2011



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



KTU
KITHA TRUST UNIVERSITY
17922 FILOM
IRVINE, CA 92614
(949) 851-2133
ktu.com



latitude 33
PLANNING & ENGINEERING
17922 FILOM
IRVINE, CA 92614
(949) 851-2133
lat33.com



kity
Architecture & Planning
17922 FILOM
IRVINE, CA 92614
(949) 851-2133
kity.com

ILU
Building A Plan
3rd Floor

22



THE GLEN
SCRIPPS RANCH • SAN DIEGO

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



KTU
Kierulff + Thompson Architects
3016 Normal Street
San Diego, CA 92108
(619) 594-4477
ktu@ktu.com



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PLANNING & ENGINEERING
17922 Friar
Inver, CA 92614
(949) 851-2133
info@lat33.com



ktgy
Architecture + Planning
17922 Friar
Inver, CA 92614
(949) 851-2133
info@ktgy.com

ILU
Building A Plan
4th Floor

23



4th Floor
29,859 SF GROSS

KEYNOTES

- 1 Trash Area - 63 s.f.
- 2 Trash Area 2 - 231 s.f.
- 3 Trash Area 3 - 50 s.f.
- 4 Chutes - 15 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 593-4507 FAX (619) 593-8562

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9801 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 704-4267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3969 HOBART ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3969 HOBART ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTU GROUP, INC.
17922 FRIAR
INVER, CA 92614
(949) 851-2133 FAX (949) 476-8114

LANDSCAPE ARCHITECT: KTU+ PLANNING & ENGINEERING
3918 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9985

Prepared By: LATITUDE 33 PLANNING & ENGINEERING

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 3969 HOBART ST., 2ND FLOOR
SAN DIEGO, CA 92131

Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address: 10455 POMEROY ROAD, SOUTH OF POMEROY ROAD
AND WEST OF CHABO CENTER DRIVE

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: ILU BUILDING A PLAN 4TH FLOOR

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

Revision 2: _____

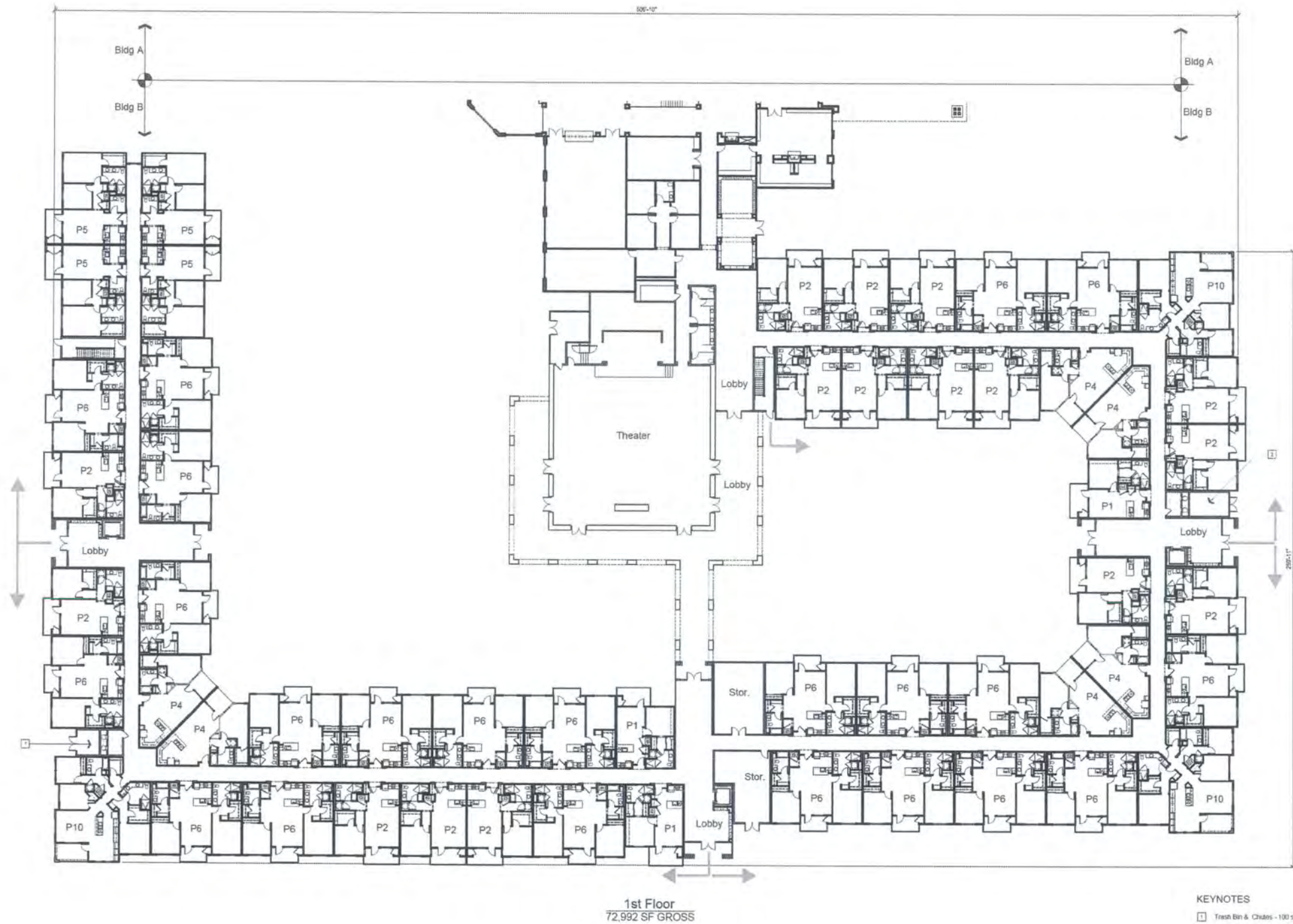
Revision 1: _____

Original Date: 11-28-2011

Sheet: 23 OF 47

CUP 133-PC

AMENDMENT



1st Floor
72,992 SF GROSS

KEYNOTES

- 1 Trash Bin & Chutes - 100 s.f.
- 2 Trash Bin & Chutes - 272 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10435 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 444-4500 FAX (619) 444-4502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3603 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-4500 FAX (619) 444-4502

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3968 HOBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0833 FAX (619) 751-0834

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3968 HOBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0833 FAX (619) 751-0834

ARCHITECT: KTDY GROUP, INC.
17922 FISH
IRVINE, CA 92614
(714) 851-2133 FAX (714) 476-8114

LANDSCAPE ARCHITECT: ITHA PLANNING & LANDSCAPE ARCHITECTURE
3018 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-5985

Prepared by:	Name: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	3968 HOBERT ST., 2ND FLOOR SAN DIEGO, CA 92131	Revision 13:	
Phone #:	(619) 751-0833	Revision 12:	
Fax #:	(619) 751-0834	Revision 11:	
Project Address:	10435 POMERADO ROAD, SOUTH OF POMERADO ROAD AND WEST OF CHABAD CENTER DRIVE	Revision 10:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 9:	
Sheet Title:	ILU BUILDING B PLAN 1ST FLOOR	Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
		Original Date:	11-28-2011
		Sheet	24 OF 47
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		AMENDMENT	



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



KTU
Planning & Landscape Architecture
3916 Normal Street
San Diego, CA 92131
(619) 594-0077
ktu@ktu.com



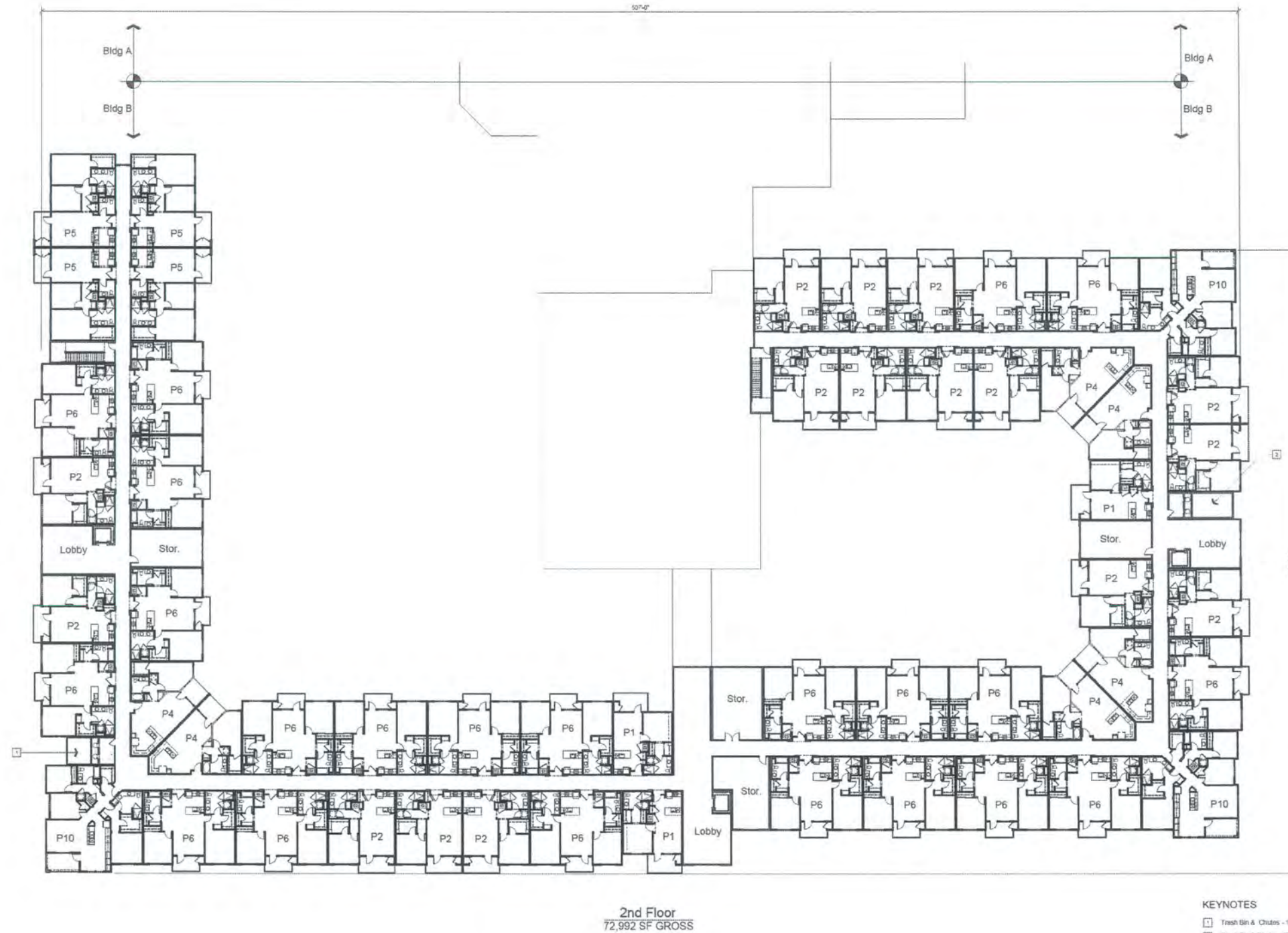
latitude 33
PLANNING & ENGINEERING
17922 FISH
IRVINE, CA 92614
(949) 851-2133
lat33.com



ktgy
Architecture & Planning
17922 Fish
Irvine, CA 92614
(949) 851-2133
ktgy.com

ILU
Building B Plan
1st Floor

24



2nd Floor
72,992 SF GROSS

KEYNOTES

- 1 Trash Bin & Chutes - 100 s.f.
- 2 Trash Bin & Chutes - 272 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10435 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 515-4507 FAX (619) 515-4562

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8623 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 444-8367

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5909 HOBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
5909 HOBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTGY GROUP, INC.
17022 FISH
IRVINE, CA 92614
(949) 851-3133 FAX (949) 476-8114

LANDSCAPE ARCHITECT: KTGY PLANNING & LANDSCAPE ARCHITECTURE
3916 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-6985

Name:	LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	8968 HOBERT ST., 2ND FLOOR SAN DIEGO, CA 92131	Revision 13:	
Phone #:	(619) 751-0633	Revision 12:	
Fax #:	(619) 751-0634	Revision 11:	
Project Address:	10435 POMEROY ROAD, SOUTH OF POMEROY ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 10:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 9:	
Sheet Title:	ILU BUILDING B PLAN 2ND FLOOR & 3RD FLOOR	Revision 8:	
Original Date:	11-29-2011	Revision 7:	
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		Revision 3:	
		Revision 2:	
		Revision 1:	

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Planning & Landscape Architecture
2040 Laurel Street
San Diego, CA 92103
(619) 594-4477
ktu.com



LATITUDE 33



Architecture & Planning
17022 Fish
Irvine, CA 92614
(949) 851-3133
ktgy.com

KTU 402 010100

ILU- Building B Plan
2nd Floor



THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



ILU- Building B Plan
3rd Floor

26



3rd Floor
72,992 SF GROSS

KEYNOTES

- 1 Trash Bin & Chutes - 100 s.f.
- 2 Trash Bin & Chutes - 272 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 593-6507 FAX (619) 593-6502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3803 BUSINESS PARK AVE, SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 444-8507

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3969 MIDWAY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3969 MIDWAY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTG GROUP, INC.
17022 RICH
IRVINE, CA 92614
(949) 851-2133 FAX (949) 476-0114

LANDSCAPE ARCHITECT: KTHA PLANNING & LANDSCAPE ARCHITECTURE
3918 NORMAL STREET
SAN DIEGO, CA 92131
(619) 594-4477 FAX (619) 294-1985

REVISIONS

Name: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address: 3969 MIDWAY ST., 2ND FLOOR	Revision 13:	
Phone #: (619) 751-0633	Revision 12:	
Fax #: (619) 751-0634	Revision 11:	
	Revision 10:	
	Revision 9:	
	Revision 8:	
	Revision 7:	
	Revision 6:	04-10-2015
	Revision 5:	12-19-2014
	Revision 4:	7-22-2014
	Revision 3:	7-30-2013
	Revision 2:	7-30-2013
	Revision 1:	8-18-2012

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
ILU BUILDING B PLAN
2ND FLOOR & 3RD FLOOR

Sheet 26 OF 47
CUP 133-PC
AMENDMENT



KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafter Trails
- 9 Light Fixture
- 10 Precast Trim
- 11 Wood Beam

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROADO ROAD
SAN DIEGO, CA 92131
(619) 515-4807 FAX (619) 515-4842

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8003 BUSINESS PARK AVE. SUITE 400
SAN DIEGO, CA 92121
(619) 444-8500 FAX (619) 704-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3908 HUBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3908 HUBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX (619) 751-0634

ARCHITECT: KTG GROUP, INC.
17922 FISH
PUEBLO, CA 92014
(714) 651-2133 FAX (714) 426-8114

LANDSCAPE ARCHITECT: KTHA PLANNING & LANDSCAPE ARCHITECTURE
3916 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-0985

PROJECT

Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 3908 HUBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 751-0633
Fax #: (619) 751-0634

Project Address:
10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD
AND WEST OF CHARAD CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
ILU / COMMONS
CONCEPT ELEVATIONS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	

Original Date: 11-29-2011

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CUP 133-PC
AMENDMENT



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

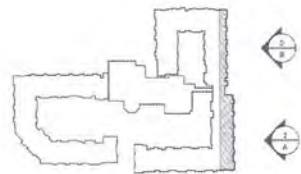


ILU/Commons
Concept
Elevations

27



2. ILU / COMMONS BUILDING EAST ELEVATION



2. ILU / COMMONS BUILDING VIEW A



2. ILU / COMMONS BUILDING VIEW B

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafter Tail
- 9 Light Fixture
- 10 Process Tree
- 11 Wood Beam

Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 14:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 13:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 12:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 11:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 10:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 9:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 8:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 7:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 6:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 5:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 4:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 3:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 2:	
Project Address:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARAD CENTER DRIVEWAY	Revision 1:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Original Date:	11-29-2011

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROADO ROAD
SAN DIEGO, CA 92131
(619) 433-4807 FAX (619) 433-4802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8003 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 444-8267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3900 HIGHT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0533 FAX (619) 751-0534

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3900 HIGHT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0533 FAX (619) 751-0534

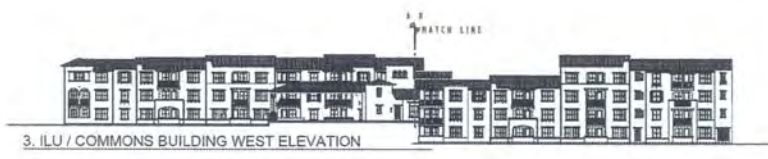
ARCHITECT: KTG GROUP, INC.
17822 Fitch
Irvine, CA 92614
(949) 451-7133 FAX (949) 426-8114

LANDSCAPE ARCHITECT: KTG+H PLANNING & LANDSCAPE ARCHITECTURE
3916 BORNAL STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX (619) 294-0985

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



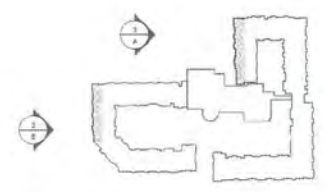
ILU/Commons
Concept
Elevations



3. ILU / COMMONS BUILDING VIEW A



3. ILU / COMMONS BUILDING VIEW B



KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafterails
- 9 Light Fixture
- 10 Precast Trim
- 11 Wood Beam

Name: LATITUDE 33 PLANNING & ENGINEERING		Revision 14:	
Address: 3808 HOBART ST. 2ND FLOOR		Revision 13:	
SAN DIEGO, CA 92131		Revision 12:	
Phone #: (619) 751-0633		Revision 11:	
Fax #: (619) 751-0634		Revision 10:	
Project Address: 10455 POMEROY ROAD, SOUTH OF POMEROY ROAD		Revision 9:	
AND WEST OF CHARAD CIRCLE DRIVEWAY		Revision 8:	
Project Name: THE GLEN AT SCRIPPS RANCH CCRC		Revision 7:	
Sheet Title: ILU / COMMONS		Revision 6:	
CONCEPT ELEVATIONS		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
		Original Date:	11-28-2011
		Sheet	29 OF 47
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THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

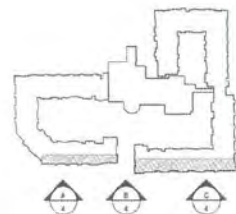
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ktgy.com

ILU/Commons
Concept
Elevations

29



THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



ILU/Commons
Concept
Elevations

30

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROADO ROAD
SAN DIEGO, CA 92131
(619) 635-6807 FAX (619) 635-6862

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8651 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 704-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5900 HUNTER ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0833 FAX (619) 751-0834

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
5900 HUNTER ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0833 FAX (619) 751-0834

ARCHITECT: KTG GROUP, INC.
17852 FISH
IRVINE, CA 92614
(949) 451-2133 FAX (949) 436-8114

LANDSCAPE ARCHITECT: KTG+4 PLANNING + LANDSCAPE ARCHITECTURE
3916 BORNAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-0985

Project Name: **THE GLEN AT SCRIPPS RANCH CCRC**

Project Address: **10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARNO CENTER DRIVEWAY**

Project Name: **THE GLEN AT SCRIPPS RANCH CCRC**

Sheet Title: **ILU / COMMONS CONCEPT ELEVATIONS**

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: 04-10-2015

Revision 4: 12-19-2014

Revision 3: 7-29-2014

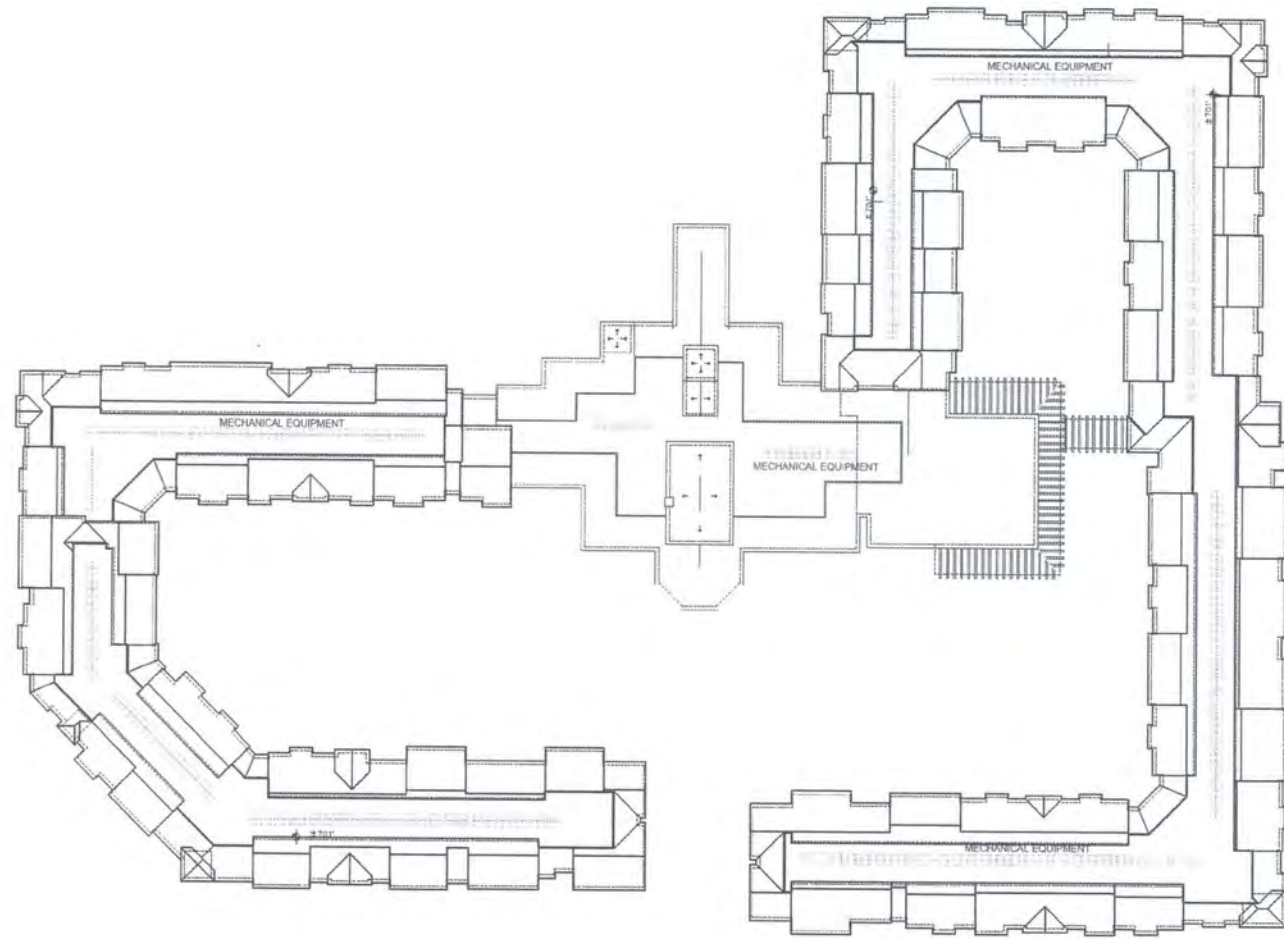
Revision 2: 7-29-2013

Revision 1: 9-19-2012

Original Date: 11-29-2011

Sheet 30 OF 47

CUP 133-PC AMENDMENT



ROOF PLAN



Project Name:		Revision 14:	
Name:		Revision 13:	
Address:		Revision 12:	
Phone #:		Revision 11:	
Fax #:		Revision 10:	
Project Address:		Revision 9:	
Project Name:		Revision 8:	
The Glen at Scripps Ranch CCRC		Revision 7:	
CUP 133-PC		Revision 6:	04-10-2013
AMENDMENT		Revision 5:	12-19-2014
		Revision 4:	7-22-2014
		Revision 3:	7-30-2013
		Revision 2:	8-18-2012
		Revision 1:	
Original Date:		Revision 14:	
11-28-2017		Revision 13:	
		Revision 12:	
		Revision 11:	
		Revision 10:	
		Revision 9:	
		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 594-4517 FAX(619) 594-4562

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
5003 BUSINESS PARK AVE, SUITE #104
SAN DIEGO, CA 92131
(619) 444-0000 FAX(619) 444-0267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5909 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92139
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
5909 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92139
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTDY GROUP, INC.
17022 FISH
PINE, CA 92614
(949) 851-2133 FAX(949) 476-8114

LANDSCAPE ARCHITECT: KTDY GROUP, INC.
3914 BORNAL STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX(619) 294-5985



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



KTDY GROUP, INC.
17022 FISH
PINE, CA 92614
(949) 851-2133
FAX(949) 476-8114



latitude 33
PLANNING & ENGINEERING
5909 HERBERT STREET
SAN DIEGO, CA 92139
(619) 751-0633
FAX(619) 751-0634



ktdy
ARCHITECTURE & PLANNING
3914 BORNAL STREET
SAN DIEGO, CA 92131
(619) 294-4477
FAX(619) 294-5985

ILU / Roof Plan

31



PLAN 4 - Date Palm
1 BEDROOM / 1 BATH
906 SF GROSS



PLAN 2 - Palm
1 BEDROOM / 1 BATH
813 SF GROSS



PLAN 3 - Tecoma
1 BEDROOM / 1 BATH
836 SF GROSS



PLAN 1 - Oak
1 BEDROOM / 1 BATH
655 SF GROSS

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
15555 PONTIAC ROAD
SAN DIEGO, CA 92131
(619) 594-7207 FAX(619)453-8562

APPLICANT: THE GLEN AT RIVERS RAMON CUL
5603 BUSINESS PARK AVE. SUITE 404
SAN DIEGO, CA 92121
(619) 444-0000 FAX(760)204-4267

PLANNING: LARSEN & SONS PLANNING & ENGINEERING
3668 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 758-0633 FAX(760)751-0634

CIVIL ENGINEER: LARSEN & SONS PLANNING & ENGINEERING
3668 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 758-0633 FAX(760)751-0634

ARCHITECT: KTCY GROUP, INC.
17022 RICE
PUEBLO, CO 82124
(303) 851-7133 FAX(303) 476-8714

LANDSCAPE ARCHITECT: KTHAN PLANNING +
LANDSCAPE ARCHITECTURE
3018 NORMAL STREET
SAN DIEGO, CA 92108
(619) 294-6477 FAX(619) 294-0865

7/12/2011

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 3908 HENRY ST. 2ND FLOOR
SAN DIEGO, CA 92131

Phone # (650) 751-0633

Fax # (650) 751-0634

Project Address: 10405 POMEROY ROAD - SOUTH OF POMEROY ROAD
AND WEST OF CHANDEL CENTER AVENUE

Project Name:
THE CLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
ILU UNIT PLANS

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: 04-10-2005

Revision 4: 12-18-2004

Revision 3: 7-25-2004

Revision 2: 7-30-2003

Revision 1: 8-16-2002

Original Date: 11-28-2001

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CUP 133-PC
REPLACEMENT



THE GLEN
4000 Glenview Ave. • Glenview, IL 60025
• 708/941-1000 • FAX 708/941-1001

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



ATTORNEY AT LAW

ILU
Unit Plans

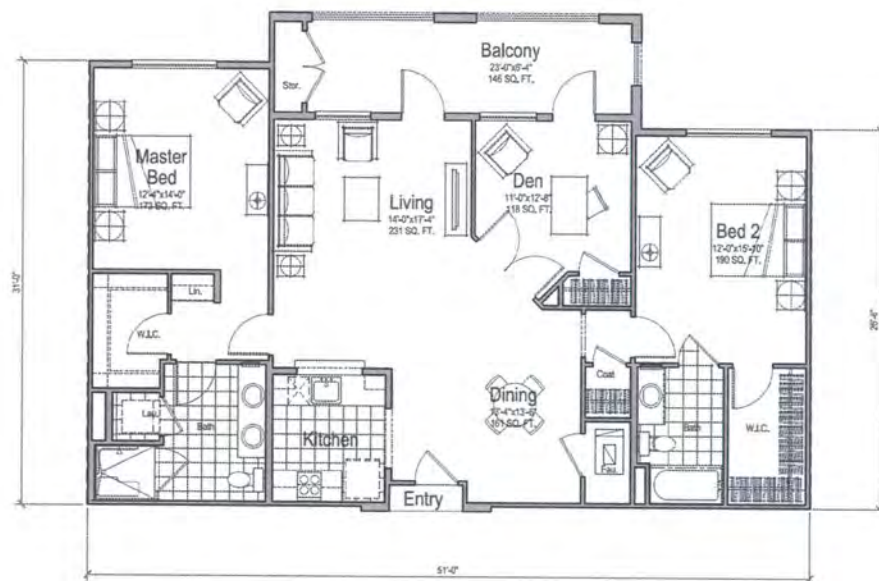
32



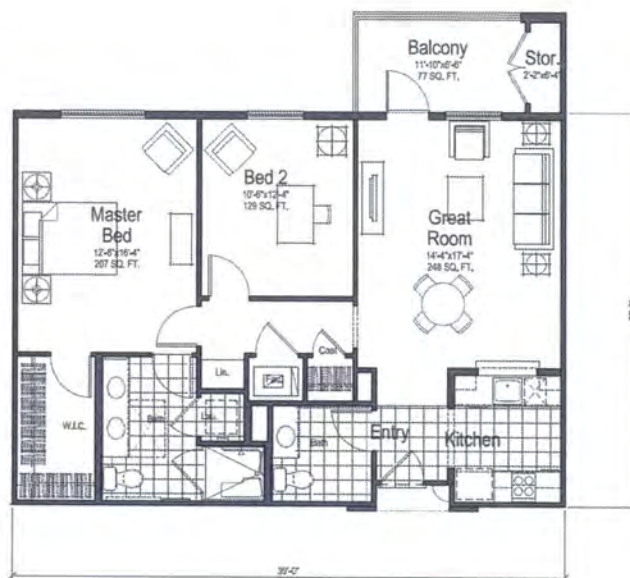
PLAN 10 - Magnolia
3 BEDROOM / 2 BATH
1,527 SF GROSS



PLAN 6 - Wisteria
2 BEDROOM / 2 BATH
1,154 SF GROSS



PLAN 9 - Cedar
3 BEDROOM / 2 BATH
1,426 SF GROSS



PLAN 5 - Spruce
2 BEDROOM / 2 BATH
1,065 SF GROSS

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 591-4807 FAX(619) 591-4802

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
5003 BUSINESS PARK AVE, SUITE #104
SAN DIEGO, CA 92131
(619) 444-8000 FAX(619) 444-8001

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3908 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3908 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTDY GROUP, INC.
17022 RIVER
PINE, CA 92614
(949) 851-2133 FAX(949) 476-8114

LANDSCAPE ARCHITECT: KTDY GROUP, INC.
3316 NORMAL STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX(619) 294-4885

Project Name:	LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	3908 HERBERT ST., 2ND FLOOR SAN DIEGO, CA 92131	Revision 13:	
Phone #:	(619) 751-0633	Revision 12:	
Fax #:	(619) 751-0634	Revision 11:	
Project Address:	5003 BUSINESS PARK AVE, SUITE #104 SAN DIEGO, CA 92131	Revision 10:	
Project Name:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 9:	
Sheet Title:	ILU UNIT PLANS 2	Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	04-10-2013
		Revision 4:	12-18-2014
		Revision 3:	7-22-2014
		Revision 2:	7-30-2013
		Revision 1:	8-18-2012
Original Date:	11-28-2011		
Sheet Title:	CUP 133-PC AMENDMENT		



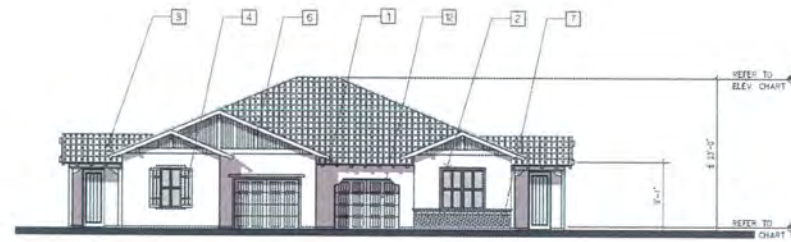
THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



ILU
Unit Plans 2

33



VILLA-A FRONT ELEVATION

ELEVATION CHART

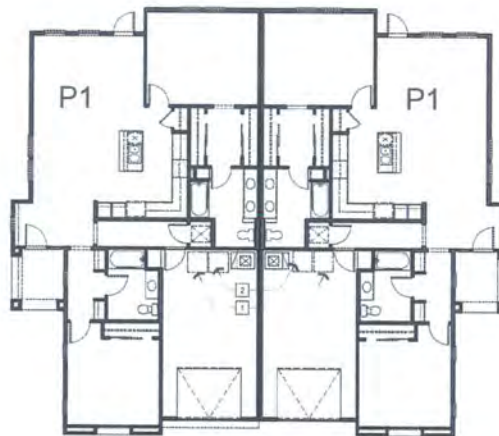
VILLA #	FINISH FLOOR	TOP OF ROOF HEIGHT
V 4	040.6 F.F.	± 069.6'
V 14	048.1 F.F.	± 071.1'
V 17	044.8 F.F.	± 067.8'
V 20	060.2 F.F.	± 082.2'
V 30	040.1 F.F.	± 069.1'



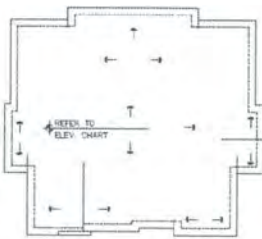
KEY MAP- N.T.S.



VILLA-A LEFT ELEVATION

VILLA-A BUILDING PLAN
3/8" = 1'-0"

VILLA-A RIGHT ELEVATION

VILLA-A ROOF PLAN
SCALE 1/8" = 1'-0"

VILLA-A REAR ELEVATION

KEYNOTES

- 1 Trash Bin - 15 s.f.
- 2 Recycling Bin - 15 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 594-4507 FAX(619) 594-4502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3903 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-0500 FAX(619) 444-0507

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3909 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3909 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTGY GROUP, INC.
17022 FISH
IRVINE, CA 92614
(949) 851-2133 FAX(949) 476-8114

LANDSCAPE ARCHITECT: KTGY PLANNING & ENGINEERING
3909 HEBERT STREET
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rubber Tails
- 9 Light Fixture
- 10 Metal Detail
- 11 Accent Tile
- 12 Metal Sectional Garage Door

PROJECT INFO

Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 3909 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 751-0633
Fax #: (619) 751-0634

Project Address:
SOUTH POMEROY ROAD, SOUTH OF POMEROY ROAD
AND WEST OF CHARLES CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
VILLAS BUILDING A PLAN
CONCEPT ELEVATIONS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	04-10-2013
Revision 5:	12-19-2014
Revision 4:	12-19-2014
Revision 3:	7-22-2014
Revision 2:	7-30-2013
Revision 1:	8-18-2012

Original Date: 11-29-2011

Sheet 34 OF 47

CUP 133-PC
AMENDMENT

THE GLEN AT SCRIPPS RANCH CCRC

SAN DIEGO, CALIFORNIA



Planning & Landscape Architecture
3909 HEBERT STREET
SAN DIEGO, CA 92131
(619) 751-0633
Fax: (619) 751-0634



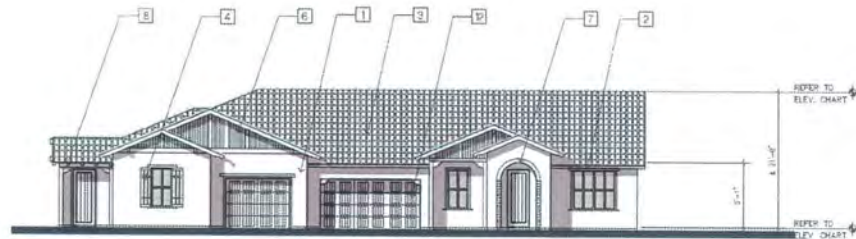
17022 FISH
IRVINE, CA 92614
(949) 851-2133
Fax: (949) 476-8114



Architects & Planning
17022 FISH
IRVINE, CA 92614
(949) 851-2133
ktgy.com

Villas
Building A Plan
Concept Elevations

34



VILLA-B FRONT ELEVATION

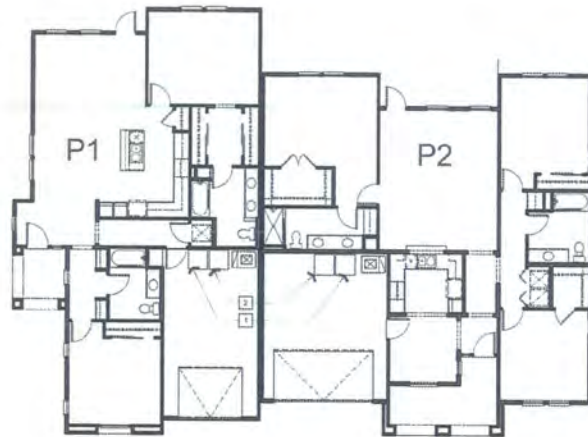
ELEVATION CHART		
VILLA #	FINISH FLOOR	TOP OF ROOF HEIGHT
V 1	654.2 F.F.	± 675.2'
V 2	652.5 F.F.	± 673.5'
V 3	650.9 F.F.	± 671.9'
V 5	644.2 F.F.	± 665.2'
V 6	643.2 F.F.	± 664.2'
V 13	640.1 F.F.	± 670.1'
V 15	645.9 F.F.	± 667.9'
V 16	640.1 F.F.	± 667.1'
V 31	660.5 F.F.	± 681.5'
V 32	656.5 F.F.	± 677.5'



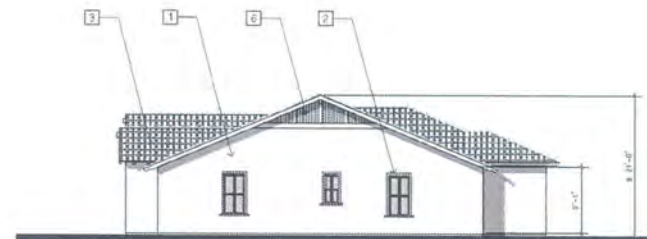
KEY MAP- N.T.S.



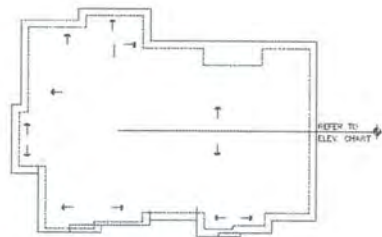
VILLA-B LEFT ELEVATION



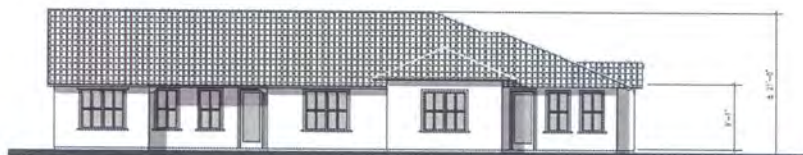
VILLA-B BUILDING PLAN
1358 SF GROSS



VILLA-B RIGHT ELEVATION



VILLA-B ROOF PLAN
SCALE 1/8" = 1'-0"



VILLA-B REAR ELEVATION

KEYNOTES

- 1 Trash Bin - 15 s.f.
- 2 Recycling Bin - 15 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 593-6507 FAX (619) 593-6502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
8003 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-0500 FAX (619) 444-0267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3908 HERRIT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0533 FAX (619) 751-0534

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3908 HERRIT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0533 FAX (619) 751-0534

ARCHITECT: KTDY GROUP, INC.
17023 RICH
IRVING, CA 92614
(949) 851-2133 FAX (949) 476-8514

LANDSCAPE ARCHITECT: KTDY PLANNING & ENGINEERING
3908 HERRIT STREET
SAN DIEGO, CA 92131
(619) 751-0533 FAX (619) 751-0534

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafters
- 9 Light Fixture
- 10 Metal Detail
- 11 Accent Tile
- 12 Metal Sectional Garage Door

Project Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 3908 HERRIT ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 751-0533
Fax #: (619) 751-0534

Project Address: 10455 POMEROY ROAD, SOUTH OF POMEROY ROAD
AND WEST OF CHANDLER DRIVEWAY

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: VILLAS BUILDING B PLAN
CONCEPT ELEVATIONS

Revision	Date
14	
13	
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11	
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6	04-10-2013
5	12-19-2014
4	7-22-2014
3	7-22-2014
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1	7-22-2014
Original Date	7-22-2014
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THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Villas
Building B Plan
Concept Elevations



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Villas
Building C Plan
Concept Elevations

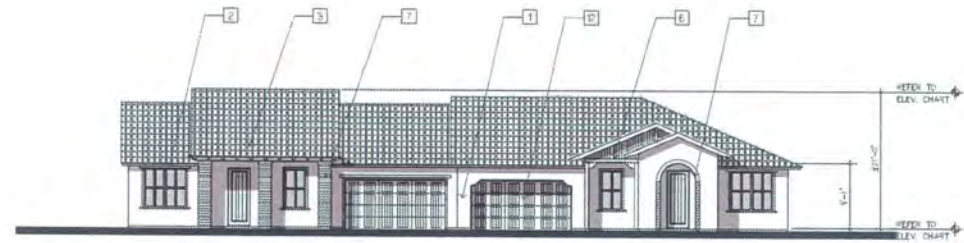
36

ELEVATION CHART

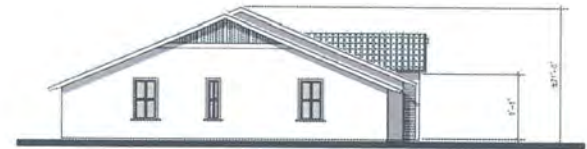
VILLA A-#	FINISH FLOOR	TOP OF ROOF HEIGHT
V 7	042.2 F.F.	± 063.2
V 8	042.2 F.F.	± 063.2
V 9	043.3 F.F.	± 064.3
V 10	045.5 F.F.	± 066.5
V 11	045.6 F.F.	± 066.6
V 12	047.5 F.F.	± 068.3
V 18	050.3 F.F.	± 071.3
V 19	040.4 F.F.	± 057.4
V 20	047.2 F.F.	± 068.2
V 21	052.3 F.F.	± 073.3
V 22	057.2 F.F.	± 078.2
V 23	059.7 F.F.	± 080.7
V 24	063.5 F.F.	± 084.5
V 26	067.3 F.F.	± 088.3
V 27	068.2 F.F.	± 089.2
V 28	068.1 F.F.	± 089.1
V 29	068.0 F.F.	± 089.0



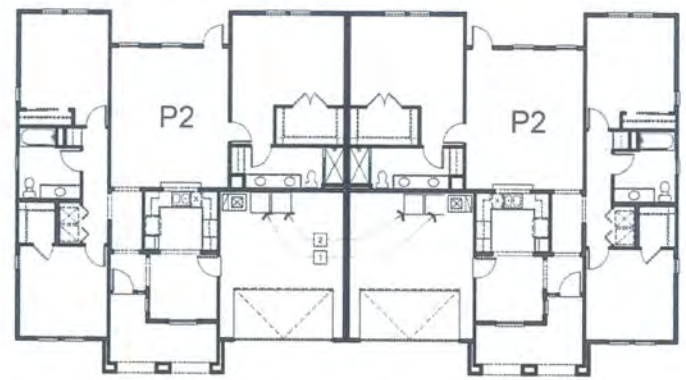
KEY MAP- N.T.S.



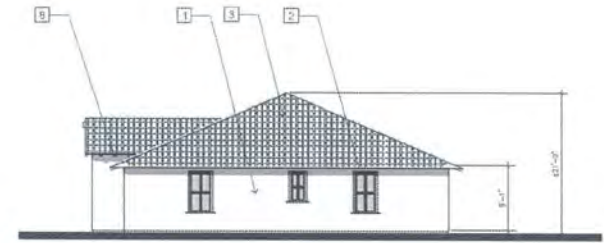
VILLA -C FRONT ELEVATION



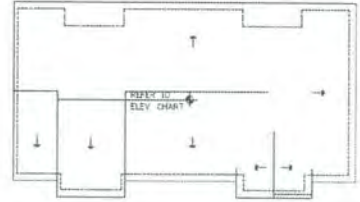
VILLA-C LEFT ELEVATION



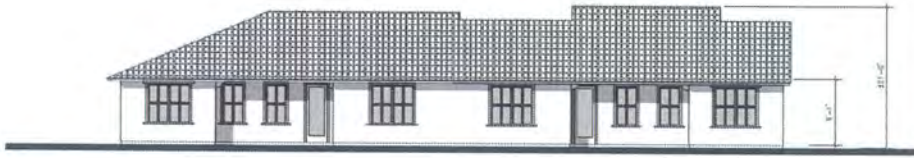
VILLA-C BUILDING PLAN
4,300 SF GROSS



VILLA-C RIGHT ELEVATION



VILLA-C ROOF PLAN
SCALE 1/8" = 1'-0"



VILLA-C REAR ELEVATION

KEYNOTES

- 1 Trash Bin - 15 x 1
- 2 Recycling Bin - 15 x 1

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 591-4507 FAX(619) 591-4502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3901 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-0500 FAX(619) 444-0267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3901 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3901 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTU+ GROUP, INC.
17022 HIGH
RIVIERA, CA 92014
(949) 651-2133 FAX(949) 476-8114

LANDSCAPE ARCHITECT: KTU+ PLANNING & ENGINEERING
3901 HENRY STREET
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Roller Tails
- 9 Light Fixture
- 10 Metal Detail
- 11 Accent Tile
- 12 Metal Sectional Garage Door

Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 3901 HENRY ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 751-0633
Fax #: (619) 751-0634

Project Address: 10455 POMERADO ROAD
AND WEST OF CHABOT CENTER DRIVEWAY

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: VILLAS BUILDING C PLAN
CONCEPT ELEVATIONS

Revision 14:	
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Revision 8:	
Revision 7:	
Revision 6:	04-15-2013
Revision 5:	12-19-2014
Revision 4:	12-19-2014
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AMENDMENT	



PLAN 2
3 BEDROOM / 2 BATH
1644 SF GROSS



PLAN 1
2 BEDROOM / 2 BATH
1395 SF GROSS

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROY ROAD
SAN DIEGO, CA 92131
(619) 594-4507 FAX: (619) 594-4502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9903 BUSINESS PARK AVE, SUITE #104
SAN DIEGO, CA 92131
(619) 444-5000 FAX: (619) 704-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3909 HOBBS ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX: (619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3909 HOBBS ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX: (619) 751-0634

ARCHITECT: KTDY GROUP, INC.
17922 FISH
IRVINE, CA 92614
(949) 851-2133 FAX: (949) 476-8114

LANDSCAPE ARCHITECT: KTDY PLANNING & ENGINEERING
3910 HOBBS STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX: (619) 294-1985

Revised By: LATITUDE 33 PLANNING & ENGINEERING

Name: 3909 HOBBS ST. 2ND FLOOR

Address: SAN DIEGO, CA 92131

Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address: 10455 POMEROY ROAD, SOUTH OF POMEROY ROAD AND WEST OF CHANDLER CENTER DRIVEWAY

Project Name: THE GLEN AT SCRIPPS RANCH CCRC

Sheet Title: VILLAS UNIT PLANS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	04-12-2013
Revision 5:	12-19-2014
Revision 4:	7-22-2014
Revision 3:	2-26-2013
Revision 2:	8-18-2012
Revision 1:	

Original Date: 11-28-2011

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CUP 133-PC AMENDMENT

THE GLEN
SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

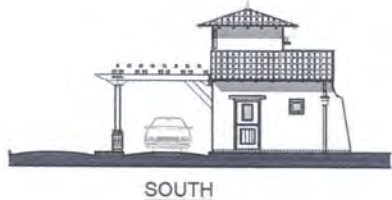
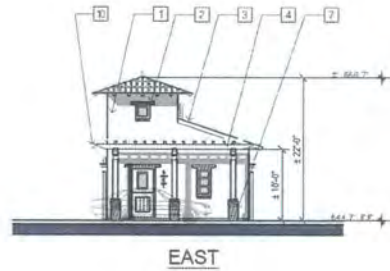
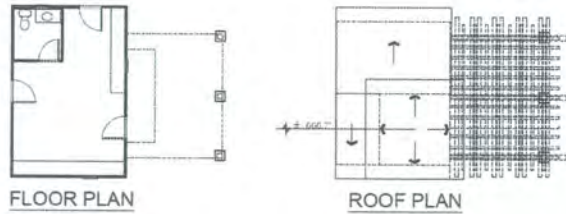
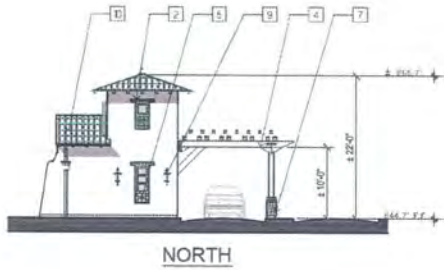
KTUHA
Planning + Landscape Architecture
2016 Homestead
San Diego, CA 92108
(619) 594-4507
ktu@ktu.com

latitude33
PLANNING & ENGINEERING
17922 Fish
Irvine, CA 92614
(949) 851-2133
ktgy.com

ktgy
Architects + Planning
17922 Fish
Irvine, CA 92614
(949) 851-2133
ktgy.com

Villas
Unit Plans

37



KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Trim
- 5 Accent Tile
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafter Tails
- 9 Light Fixture
- 10 Down Spout



Project:

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 2848 HENRY ST. 2ND FLOOR

SAN DIEGO, CA 92101

Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address:

10455 POMEROY ROAD, SOUTH OF POMEROY ROAD

AND WEST OF CHABOT CENTER DRIVEWAY

Project Name:

THE GLEN AT

SCRIPPS RANCH CCRC

Sheet Title:

GUARD HOUSE

CONCEPT ELEVATIONS

Revision 14:

Revision 13:

Revision 12:

Revision 11:

Revision 10:

Revision 9:

Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1:

Original Date:

11-28-2011

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CUP 133-PC

AMENDMENT



THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



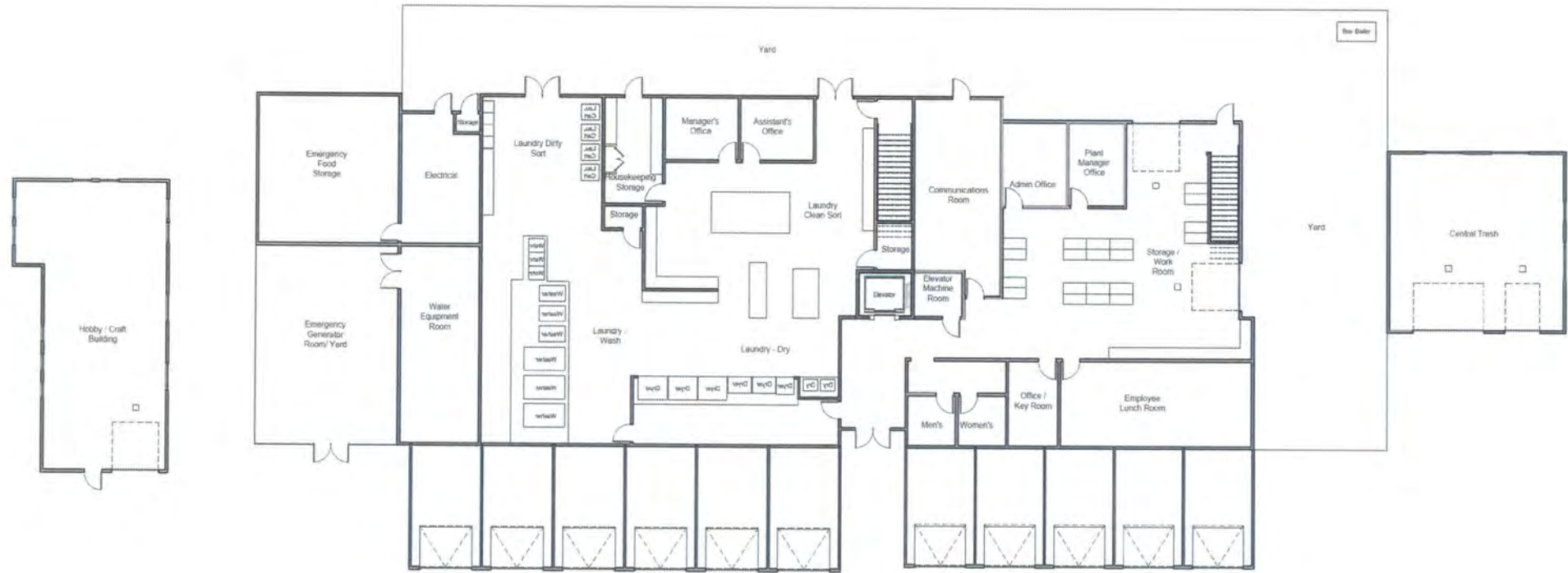
Planning & Landscape Architecture
2016 Normal Street
San Diego, CA 92101
(619) 594-4077
Fax: (619) 594-3905



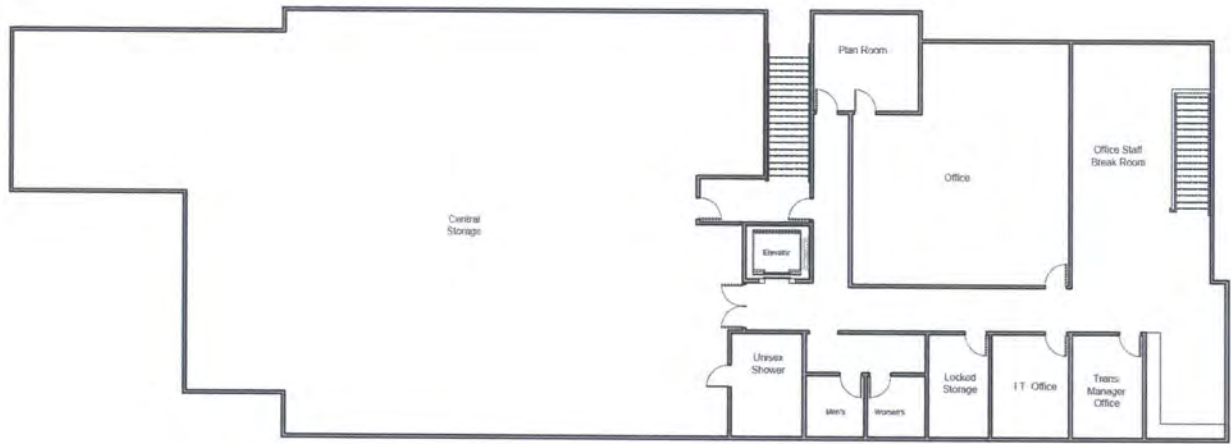
Architecture & Planning
17922 Finch
Irvine, CA 92614
(949) 851-2133
ktgy.com

Guard House
Concept
Elevations

38



First Floor 1/8" = 1'-0"



Second Floor 1/8" = 1'-0"

LEGEND

— Pedestrian Path of Travel

KEYNOTES

1 Trash Container - 150 s.f.

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 591-6507 FAX(619) 591-6502

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
3903 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-0500 FAX(619) 444-0267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
3909 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
3909 HEBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTGY GROUP, INC.
17022 FISH
IRVINE, CA 92614
(949) 851-2133 FAX(949) 476-8114

LANDSCAPE ARCHITECT: KTGA PLANNING & ENGINEERING
3916 NORMAL STREET
SAN DIEGO, CA 92131
(619) 394-4477 FAX(619) 394-5985

Revised By

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 3909 HEBERT ST., 2ND FLOOR

SAN DIEGO, CA 92131

Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address:
3903 BUSINESS PARK AVE. SUITE #104
AND WEST OF CHABAD CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
FACILITIES BUILDING PLAN

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	04-10-2013
Revision 5:	12-19-2014
Revision 4:	7-22-2014
Revision 3:	7-30-2013
Revision 2:	8-19-2012
Revision 1:	

Original Date: 11-29-2011

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CUP 133-PC

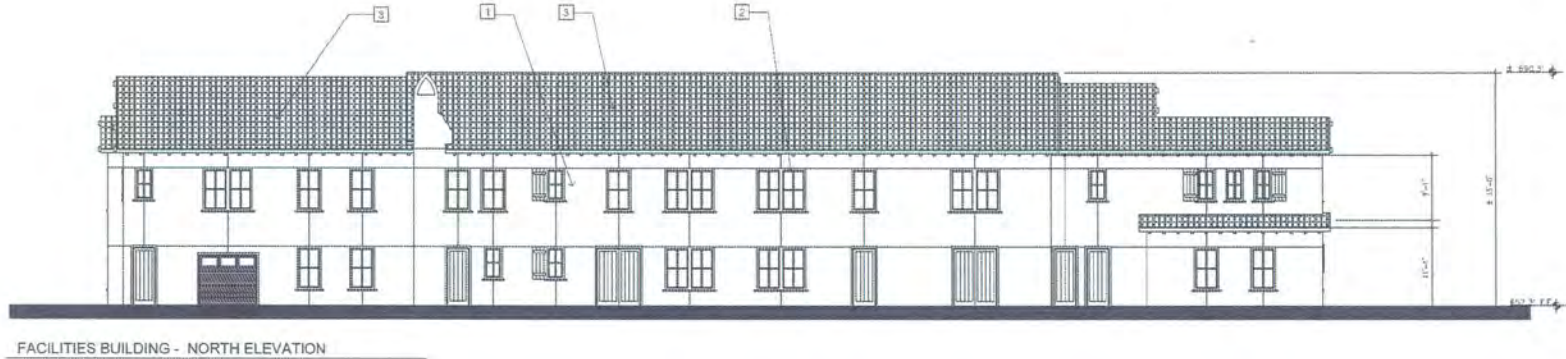
AMENDMENT



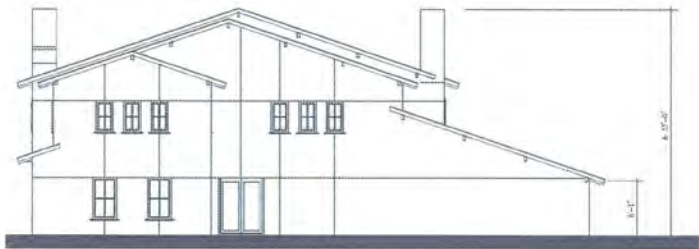
THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



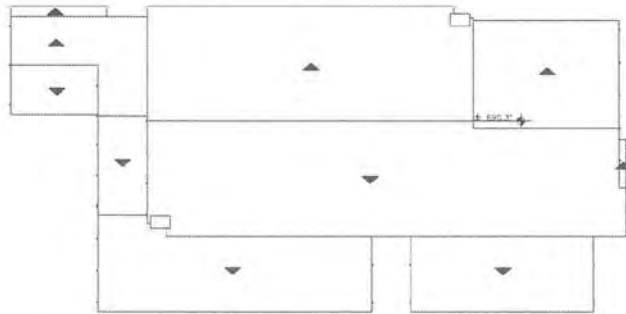
Facilities
Building Plan



FACILITIES BUILDING - NORTH ELEVATION



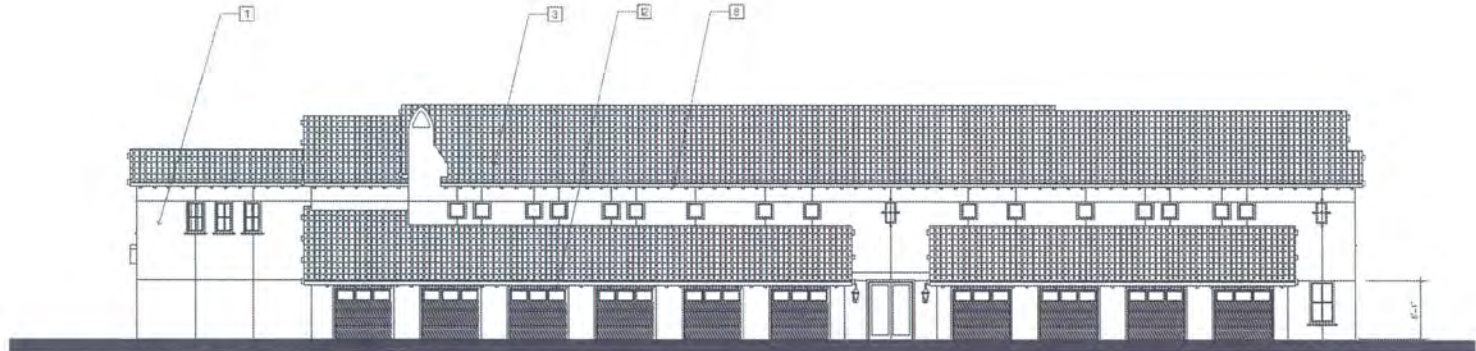
FACILITIES BUILDING - WEST ELEVATION



FACILITIES BUILDING - ROOF PLAN
SCALE 1/16" = 1'-0"



FACILITIES BUILDING - EAST ELEVATION



FACILITIES BUILDING - SOUTH ELEVATION

KEYNOTES

- 1 Stucco
- 2 Foam Trim
- 3 Concrete "S" Tile Roof
- 4 Shutters
- 5 Metal Railing
- 6 Fiber Cement Siding
- 7 Brick Veneer
- 8 Rafter Tails
- 9 Light Fixture
- 10 Gable End Detail
- 11 Stucco Recess
- 12 Metal Sectional Garage Door

PROJECT INFORMATION

Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 3908 HOBART ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 751-8633
Fax #: (619) 751-8634
Project Address: 10455 POMEROY ROAD, SOUTH OF POMEROY ROAD
AND WEST OF CHARAD CENTER DRIVEWAY
Project Name: THE GLEN AT SCRIPPS RANCH CCRC
Sheet Title: FACILITIES BUILDING
CONCEPT ELEVATIONS

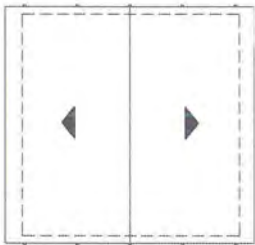
Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	06-10-2015
Revision 5:	12-10-2014
Revision 4:	12-10-2014
Revision 3:	12-10-2014
Revision 2:	12-10-2014
Revision 1:	09-18-2012
Original Date:	11-28-2011
Sheet	40 OF 47
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AMENDMENT	



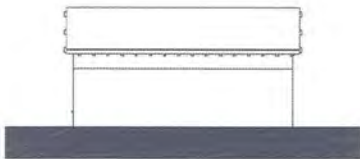
THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



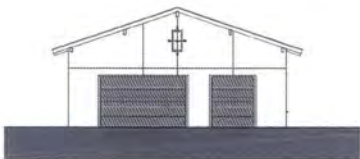
Facilities Building
Concept
Elevations



CENTRAL TRASH - ROOF PLAN
SCALE 1/8" = 1'-0"



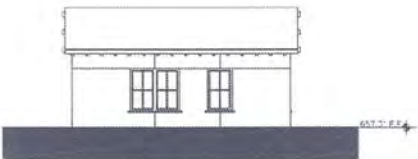
CENTRAL TRASH - WEST ELEVATION



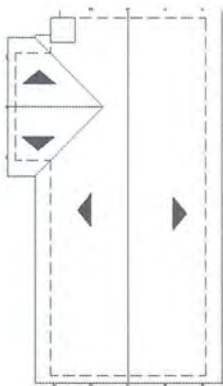
CENTRAL TRASH - SOUTH ELEVATION



CENTRAL TRASH - NORTH ELEVATION



CENTRAL TRASH - EAST ELEVATION



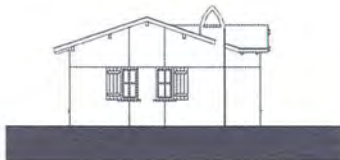
HOBBY/CRAFT BLDG - ROOF PLAN
SCALE 1/8" = 1'-0"



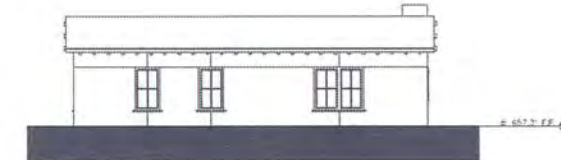
HOBBY/CRAFT BLDG - WEST ELEVATION



HOBBY/CRAFT BLDG - SOUTH ELEVATION



HOBBY/CRAFT BLDG - NORTH ELEVATION



HOBBY/CRAFT BLDG - EAST ELEVATION

OWNER: ALLIANT INTERNATIONAL UNIVERSITY
10455 POMEROADO ROAD
SAN DIEGO, CA 92131
(619) 615-6907 FAX(619) 615-6962

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
5923 BUSINESS PARK AVE, SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX(619) 704-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
5923 BUSINESS PARK AVE, 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
5923 BUSINESS PARK AVE, 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0633 FAX(619) 751-0634

ARCHITECT: KTEY GROUP, INC.
17922 FISH
BURNING, CA 92014
(949) 651-2133 FAX(949) 476-8114

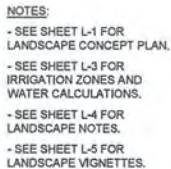
LANDSCAPE ARCHITECT: KTHA PLANNING & LANDSCAPE ARCHITECTURE
3516 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX(619) 294-5985

PROJECT NAME:	LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
NAME:	5923 BUSINESS PARK AVE, 2ND FLOOR	Revision 13:	
ADDRESS:	SAN DIEGO, CA 92131	Revision 12:	
PHONE #:	(619) 751-0633	Revision 11:	
FAX #:	(619) 751-0634	Revision 10:	
PROJECT ADDRESS:	10455 POMEROADO ROAD, SOUTH OF POMEROADO ROAD AND WEST OF CHARNO CENTER DRIVEWAY	Revision 9:	
PROJECT NAME:	THE GLEN AT SCRIPPS RANCH CCRC	Revision 8:	
SHEET TITLE:	FACILITIES BUILDING CONCEPT ELEVATIONS	Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
		Original Date:	11-29-2011
		SHEET	41 OF 47
		CUP	133-PC
		AMENDMENT	

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA



Trash and Shop
Concept Elevations



OTHER ALLIANT INTERNATIONAL UNIVERSITY
10658 POMEBO RD
SAN DIEGO, CA 92131
(619) 444-0355 FAX(619)-0852

APPLICANTS: THE GLOB AT SCOTTS BAYVIEW GOLF CLUB
3003 BUSINESS PARK AVE. SUITE 400
SAN DIEGO, CA 92131
(619) 444-0300 FAX(619)-44-0307

PLANNED: LATRICE 33 PLANNING & ENGINEERING
10000 LA JOLLA VILLAGE RD. 2ND FLOOR
SAN DIEGO, CA 92131
(619) 751-0533 FAX(619)751-0534

CIVIL, DRINKING: LATRICE 33 PLANNING & ENGINEERING
BURN HURST ST. 2ND FLOOR
SAN DIEGO, CA 92129
(619) 751-0533 FAX(619)751-0534

ARCHITECTS: KRY GROUP, INC.
17822 PINE
IRVINE, CA 92614
(949) 426-2153 FAX(949) 426-8710

LANDSCAPE ARCHITECTS: LATRICE PLANNING & ENGINEERING
SAN DIEGO, CA 92131
(619) 394-4477 FAX(619) 394-4000

SCALE: 1" = 60'

BRUSH MANAGEMENT ZONE LEGEND

	Zone One Width
	Zone Two Width
	10' Tree Offset

ZONE 1		ZONE 2		TOTAL B.M. WIDTH
INCREASE	IS	GS	REDUCTION	
5	40	57.5	7.5	97.5
10	45	50	15	95
15	50	42.5	22.5	92.5
20	55	35	30	90
25	60	27.5	37.5	87.5
30	65	20	45	85
35	70	12.5	52.5	82.5
40	75	5	60	80
45	80	-2.5	MAX	80

THE ABOVE TABLE SHOWS HOW ZONE TWO REDUCTIONS IN 5 FOOT INCREMENTS TO THE ALLOWED MAXIMUM OF 60 FEET. THE ZONE TWO WIDTH DECREASES BY 1 1/2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE (142,041/5).

BULLY CHURCH CYCLE ONE COMMENT #7 (142,011/12): "ZONE TWO REDUCTION (142,041/2) - THE BRUSH MANAGEMENT ZONES SHOULD BE THINER TO BE CONSISTENT WITH THE PROPOSED SITE DESIGN AND ZONE REQUIREMENTS, UTILIZING THE ZONE TWO REDUCTION OPTION AS APPROPRIATE, WHEREBY ZONE TWO MAY BE REDUCED AT A 1 1/2 : 1 RATIO FOR EVERY ONE-FOOT INCREASE IN ZONE ONE OVER THE 35-FT MINIMUM. **NOTE THAT AN 80-FT ZONE ONE WOULD PRECLUDE ANY NEED FOR A ZONE TWO.**"

THERE ARE TWO ZONES OF VEGETATION, BRUSH MANAGEMENT ZONE 1 AND BRUSH MANAGEMENT ZONE 2. THE BRUSH MANAGEMENT ZONES EXTEND FROM THE BUILDING EDGES AND ADHERE TO THE REQUIREMENTS IN THE SAN DIEGO MUNICIPAL CODE SECTION 142.0412 (UNLESS OTHERWISE NOTED PER CITY AGREEMENTS ON THIS SHEET). THE BRUSH MANAGEMENT ZONE 1 UTILIZES PAVING, PITCH AND PUTT TURF AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING AREAS TO THE MAXIMUM ALLOWED WIDTH WITH THE REMAINING WIDTH AFTER THE 1½ FOOT REDUCTION MAKING UP THE BRUSH MANAGEMENT ZONE 2 AREA.

ZONE ONE IS DESIGNED TO BE THE LEAST FLAMMABLE AREA ABOUT THE STRUCTURE WITH PERMANENTLY IRRIGATED ORNAMENTAL PLANTING THROUGHOUT THE ZONE AREA. THE ORNAMENTAL PLANTING IS PRIMARILY PERMANENTLY IRRIGATED TURF AND LOW-GROWING ORNAMENTAL SHRUBS WHICH WILL NOT EXCEED 4'-0" GROWTH IN HEIGHT. ALL TREES ARE LOCATED A MINIMUM OF 10' AWAY FROM STRUCTURES. IRRIGATION IS DESIGNED TO PREVENT OVERSPRAY OR RUNOFF INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.

ZONE TWO PLANTING IS COMPOSED OF NATIVE, NON-PERMANENTLY IRRIGATED, LOW-FUELED, FIRE RESISTIVE VEGETATION. NEW PLANTING HAS BEEN SELECTED SO THAT MAXIMUM GROWTH HEIGHT AT MATURITY IS NOT GREATER THAN 24". TREE PLANTING IN THIS ZONE IS LOCATED IN A MANNER TO REDUCE THE POSSIBILITY OF PLANTING TALL TREES THAT COULD OBSTRUCT SIGHT LINES. A TEMPORARY IRRIGATION SYSTEM WILL BE UTILIZED UNTIL THE DROUGHT TOLERANT, FIRE-RESISTANT NATIVE PLANTINGS HAVE BECOME ESTABLISHED. ONCE DETERMINED ESTABLISHED, THE TEMPORARY SYSTEM VALVES, SPRINKLERS AND SPRINKLER LINES (ABOVE-GRADE) WILL BE DISMANTLED AND REMOVED FROM THE SITE. THE TEMPORARY IRRIGATION SYSTEM WILL FEATURE LOW-FLOW, LOW GALLONAGE SPRAY HEADS. THE SYSTEM DESIGN WILL PREVENT OVERSPRAY AND RUNOFF FROM THE IRRIGATION FROM DAMAGING THE REPAIR AREA OR SURROUNDING CRACK OR CRACK-RELATED VEGETATION. ZONE TWO WILL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS AND CONTROLLING WEEDS.

ZONE C:

- AUTOMATIC IRRIGATION SYSTEMS TO MAINTAIN HEALTHY VEGETATION WITH HIGH MOISTURE CONTENT.
- PRUNING OF FOLIAGE TO REDUCE FUEL LOAD, VERTICAL CONTINUITY, AND REMOVAL OF PLANT LITTER AND DEAD WOOD.
- THERE WILL BE NO FIRE PRONE PLANT SPECIES IN THIS ZONE. PLANTS IN THIS ZONE SHALL BE FIRE RESISTANT, AND THERE WILL BE NO FIRE PRONE SPECIES ARE NOT AT LEAST 10 FEET OF COMBUSTIBLE STRUCTURES.
- MAINTENANCE INCLUDING ONGOING REMOVAL AND THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION.
- REPLACEMENT OF DEADDOING FIRE RESISTANT PLANTINGS, MAINTENANCE OF THE OPERATIONS INTEGRITY AND PROGRAMMING OF THE IRRIGATION SYSTEM, REGULAR TRIMMING TO PREVENT LAZIER FUELS.

ZONE TWO:

- NO STRUCTURES
- NEW PLANT MATERIAL WILL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE RESISTIVE.
- NEW PLANTS WILL BE LOW-GROWING WITH A MAXIMUM HT. OF 24" NATIVE TREE AND TREE SHRUB FORM SHRUBS WILL BE LOCATED TO REDUCE THE POSSIBILITY OF TRANSMITTING FIRE.
- ZONE TWO PLANTINGS WILL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED; ONLY LOW-FLOW, LOW HEADWAY SYSTEMS WILL BE USED IN ZONE TWO.
- ZONE TWO WILL MAINTAIN ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS AND CONTROLLING WEEDS.
- IRRIGATION SHALL BE DESIGNED TO SUPPLEMENT NATIVE VEGETATION, AND ESTABLISH AND MAINTAIN PLANTED NATIVES AND ORNAMENTALS.
- TREE-FORM SHRUBS AND OTHER SHRUBS SHALL BE SPACED SUCH THAT THEY DO NOT CREATE AN EXCESSIVE FUEL MASS AND CAN BE MAINTAINED IN ACCORDANCE WITH SPECIFIED SPACING AS INDICATED ON THE PLAN.

THE PROPERTY OWNER IS RESPONSIBLE FOR ALL MAINTENANCE OF THE FUEL MODIFICATION, THE MAINTENANCE OF THE DEFENSIBLE SPACE SHALL BE CONDUCTED ANNUALLY AND WILL INCLUDE THE MODIFICATION OR REMOVAL OF NON-FIRE RESISTIVE OR UNDESIRABLE VEGETATION, THE LONG-TERM MAINTENANCE PROGRAM INCLUDES THE FOLLOWING METHODS:

- CONTINUAL REMOVAL AND/OR THINNING OF UNDESIRABLE COMBUSTIBLE VEGETATION.
- REPLACEMENT OF DEADENING FIRE RESISTANT PLANTS.
- CONDUCTANCE OF OPERATIONAL INTERCOMING SCHEDULING OF THE IRRIGATION SYSTEM.
- IRRIGATED SURFACE FUELS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 18 INCHES.
- TREES SHALL BE PRUNED TO BE MINIMUM OF 10' CLEARANCE FROM THE UNDER STORY.
- BRUSH AND THINNING SHALL BE REMOVED FROM THE SITE, OR CHIPPED AND CONVERTED INTO MULCH THEN EVENLY DISPERSED IN THE SAME AREA TO A MAXIMUM OF THREE INCHES.

ZONE 1 HYDROSEED MIX ADHERES TO THE CITY OF SAN DIEGO BRUSH MANAGEMENT STANDARDS.

CAMISSONIA GYNERANTHOPOLIA	Beach Petriose	1.00
CASTILLEJA ELEGANTIA	Essexian Indian Postbush	0.50
CLADIA RUSCIGERA	Gray Ginkia Clusia	1.00
DICHELISOLMA CAPITATUM	Blacklids	0.50
ERIPHILLUM GONIFERTILIFLORUM	Golden Yarrow	1.00
ESCHOLIA GYNERANTHOPOLIA	Gray Ginkia Clusia	1.00
LOTUS SCOPARIUM SCOPARIUM	Pink, Rushes	1.00
LATHRAEA CALIFORNICA	California Soldierfish	0.50
LOTUS SCOPARIUM SCOPARIUM	Golden Yarrow	1.00
LUPINUS BIGGILLI	Mistline Lupine	1.00
LUPINUS TRIGRATUS	Colored Annual Lupine	1.00
MELISSA AURANTIACUS	Monkey Flower	0.50
AURANTIACUS		
NASSELLA PULCHRA	Purple Needlegrass	2.00
SYMPHYRUM BELLUM	Blue Eyed daisy	2.50

ZONE 2 HYDROSEED MIX ADHERES TO THE CITY OF SAN DIEGO BRUSH MANAGEMENT STANDARDS.

<i>CHENOPODIUM CALIFORNICUM</i>	California Goosefoot	1.50
<i>CHENOPOLIUM GONATELLOIDES</i>	Silver Tarragon	1.00
<i>GALLIUM ANGSTUPELID</i>	Normanized Beesbane	0.50
<i>HELIANTHEMUS SCOPARIUS</i>	Peak Rhinosa	0.50
<i>HEMIPHYLLA SCOPARIUS</i>	California Goldenfiliate	0.50
<i>LOTUS SCOPARIUS SCOPARIUS</i>	California Goldenfiliate	0.20
<i>HEMILUS AURANTICUS</i>	Monkey Flower	4.00
<i>AURANTICUS</i>		
<i>HEMILUS AURANTICUS MICROSPERMA</i>	Lillessed Mily	2.00
<i>NUSSERIA FILICHA</i>	Purple Headache	6.00
<i>ANGELICA CIGARARIA</i>	Cedarpier Phacelia	0.50
<i>VERONICA LARGISTAGNUS</i>	Heavenly Vervain	0.50
<i>VALPIA MICROSTAGNUS</i>	Small Fescue	3.00

Prepared By: _____
Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 9999 HENRY ST. 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 791-0533
Fax #: (619) 791-0834

Project Address:
10455 POMERADO ROAD SOUTH OF POMERADO ROAD
AND WEST OF CHABO CENTER DRIVEWAY

Project Name:
THE GLEN AT

Sheet Title:
BRIEF MANAGEMENT

PLAN

Revision	14:
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CUP 133-PC
DEP# AMENDMENT

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

BRUSH MANAGEMENT
PLAN

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	HYDROZONE # 1		HYDROZONE # 6 (TEMPORARILY IRRIGATED)		HYDROZONE # 11
	HYDROZONE # 2		HYDROZONE # 7 (TEMPORARILY IRRIGATED)		HYDROZONE # 12
	HYDROZONE # 3		HYDROZONE # 8		HYDROZONE # 13 (ARTIFICIAL TURF)
	HYDROZONE # 4		HYDROZONE # 9		HYDROZONE # 14 (WATER FEATURES)
	HYDROZONE # 5		HYDROZONE # 10		

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AND WEST OF CHARGES CENTER DRIVEWAY

Project Name: THE GLEN AT
SCRIPPS RANCH CCRC

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: 04-10-2015

Revision 4: 12-19-2014

Revision 3: 12-19-2014

Revision 2: 7-30-2013

Revision 1: 8-18-2012

Original Date: 11-29-2011

Sheet Title: IRRIGATION ZONES &
WATER CALCULATIONS

Sheet: 44 OF 47

CUP 133-PC
DEP A AMENDMENT



THE GLEN AT SCRIPPS RANCH CCRC SAN DIEGO, CALIFORNIA



ATTN: J. J. JONES



LANDSCAPE NOTES

L-4

THE GLEN AT SCRIPPS RANCH DESIGN CONCEPT

THE GLEN AT SCRIPPS RANCH IS A CONTINUING CARE RETIREMENT COMMUNITY (INSTITUTIONAL USE) WITH 400 ASSISTED LIVING UNITS OF VARIOUS CONFIGURATIONS (VILLAS, GARDEN TERRACES, AND APARTMENT STYLE), 50 ACUTE ASSISTED LIVING UNITS (16 OF WHICH ARE MEMORY CARE UNITS) AND 60 SKILLED NURSING BEDS FOR A TOTAL OF 450 ASSISTED LIVING UNITS AND 60 SKILLED NURSING BEDS.

THE OVERALL LANDSCAPE THEME OF THE GLEN IS A RE-CREATION OF A PAST TIME WHEN THE PROPERTY RESEMBLES AN OLD RANCH. REMNANTS OF THE PAST RANCH DAYS ARE EVOKED THROUGH OLD STONE WALLS, BOULDERS AND TREE GROVES. THE LANDSCAPE INCORPORATES ELEMENTS OF TRADITIONAL PASTORAL FORM, RESIDENTIAL-LIKE ATMOSPHERE AND INTEGRATED ELEMENTS OF SUSTAINABLE DESIGN. SUSTAINABILITY IS A KEY LANDSCAPE GOAL. IN ORDER TO ACCOMPLISH THIS GOAL, THE LANDSCAPE WILL INCORPORATE DESIGN PRINCIPLES OF WATER CONSERVATION INCLUDING LOW-WATER USE NATIVE VEGETATION, MINIMIZING TURF (AND USING ARTIFICIAL TURF), ORGANIC AMENDMENTS TO RETAIN MOISTURE, PERMEABLE SURFACES TO INFILTRATE WATER, REUSE OF NATIVE COBBLESTONES, BIO-FILTERS TO CLEAN AND HOLD WATER ON-SITE, AND HIGH EFFICIENCY, LOW MAINTENANCE IRRIGATION.

THE LONG RURAL-LIKE ENTRY DRIVE INTO THE PROJECT SETS THE SCENE WITH STONE WALLS, PILASTERS, SIGNAGE, BROAD-HEADED TREES, MEANDERING BIOSWALES, LOW GROWING GRASSES, FLOWERING SHRUBS AND GROUNDCOVER THAT WILL CREATE VISUAL INTEREST. THE PRIVATE ROADWAYS ARE CHARACTERIZED BY THEMED TREE PLANTING, PEDESTRIAN WALKS, PERMEABLE LANDSCAPED BIOSWALES AND BASINS THROUGHOUT TO CAPTURE WATER RUN-OFF AND POLLUTANTS. PORTIONS OF THE STREETS ARE FURTHER "GREENED" BY THE USE OF BROAD-HEADED TREES, SEAMENTED CURBS AND RAIN-GARDENS.

THE THREE NON ACUTE ASSISTED LIVING AREAS (VILLAS, GARDEN TERRACES AND APARTMENT STYLE UNITS), HEALTH CENTER, AND COMMONS BUILDING ARE ALL INTERCONNECTED THROUGH THE LANDSCAPE. MINIMAL TURF OR TURF SUBSTITUTE PLANTINGS, PEDESTRIAN LINKAGES AND STREETSCAPES, A PERMETER FIRE-LANE AT THE HEALTH CENTER FEATURES GRASS-CELL PAVING TO INFILTRATE WATER AND PROVIDE VEHICULAR/PEDESTRIAN ACCESS. THE HEALTH CENTER HAS LANDSCAPED COURTYARDS THAT PROVIDE RECREATION, SEATING, SHADE, WATER FEATURES AND COMFORT FOR ITS RESIDENTS.

THE MAIN DRIVEWAY PAST THE GUARD HOUSE AND INTO THE ENTRY COURT OF THE COMMONS BUILDING WILL FORM A MINI "TOWN SQUARE" OF TEXTURED PAVING, INTRODUCING THE PROJECT ENTRY ESTABLISHING SENSE OF ARRIVAL. INCLUSIVE OF A WATER FEATURE, POTTED PLANTINGS AND VARIOUS FURNISHINGS, THE LANDSCAPE DESIGN OF THE BUILDING WILL CATER TO ALL THE RESIDENTS WITH MANY USES AND ACTIVITIES. THE MAIN INTERIOR COURTYARD WILL INCLUDE AMENITIES SUCH AS: PROMINENT WATERFALL FEATURE AND MEANDERING CREEK, KOI POND, ENHANCED CONCRETE PAVING, SHADE-SHELTERS, TRELLISES, OUTDOOR FIREPLACES, CAFE-STYLE DINING, PLANTING, LOW STONE WALLS AND A MIXTURE OF NATIVE AND ORNAMENTAL PLANTER AREAS. SITE FURNISHINGS WILL INCLUDE BENCHES, POTS, TREE GRATES, TABLES AND CHAIRS OF LOCAL ORIGIN AND RECYCLED MATERIAL. WHEN AVAILABLE WILL COMPLEMENT THE ARCHITECTURAL DESIGN.

THE RECREATION ELEMENTS WILL INCLUDE SWIM POOL, SPA, BOCCIE BALL COURTS, PUTTING AND CHIPPING, COMMUNITY GARDENS (VEG & FLOWER) AND GREEN HOUSE. THE SWIM POOL AREA WILL PROVIDE MULTIPLE SEATING AREAS FOR ACTIVE AND PASSIVE ENJOYMENT, SHADED SITTING AREAS WITH INFORMAL GROUPINGS OF TREES ARE INCORPORATED THROUGHOUT IN THE CAMPUS. SITE FURNISHINGS ARE SELECTED TO HARMONIZE WITH THE ARCHITECTURE AND INTERIOR FURNISHINGS, AND TO PROVIDE DURABILITY AND LOW MAINTENANCE. SITE FURNITURE INCLUDES TABLES, CHAIRS, BENCHES, AND TRASH RECEPTACLES. ALL PATHWAYS AND SEATING AREAS WILL BE WELL LIGHTED FOR SECURITY AND SAFETY PURPOSES. AUTOMATIC TIMING DEVICES FOR EXTERIOR LIGHTING WILL PROVIDE SECURITY AND SAFETY ILLUMINATION FOR ALL PEDESTRIAN WALKS AND PARKING AREAS. SPECIMEN TREES FOR SHADE, LOW-WATER USE LVS NATIVE SHRUBBERY, BOULDERS, MULCH, DECORATIVE SEAT WALLS AND BENCHES.

THE COURTYARD LANDSCAPES ARE DIRECTLY VISIBLE THROUGH THE BUILDING ENTRANCES, AND BECOME A LANDSCAPE EXTENSION OF THE ROOMS, EMBODYING A STRONG SENSE OF PLACE FOR RESIDENTS PROVIDING AN INVITING FRONT PORCH-LIKE COURTYARD WITH THE PATIO, CONNECTING LOOPED WALKWAY, SPECIMEN TREES FOR SHADE, LOW-WATER USE LVS NATIVE SHRUBBERY, BOULDERS, MULCH, DECORATIVE SEAT WALLS AND BENCHES.

THE OVERALL LANDSCAPE IS ALSO DESIGNED TO CAPTURE SITE WATER RUN-OFF WHENEVER POSSIBLE AND IS PART OF A LARGER SUSTAINABLE LANDSCAPE SYSTEM THAT WILL ALSO PROVIDE EDUCATIONAL BENEFITS TO RESIDENTS.

WATER EFFICIENCY IN SURFACE AND SUB-SURFACE DRAINAGE WILL BE INCREASED THROUGH THE USE OF LANDSCAPE DRAINS, PERFORATED PIPE, CATCH-BASINS, INFILTRATION AT PLANTING AREAS, BIO-SWALES AND OTHER GRADING TECHNIQUES TO CAPTURE, CLEAN, AND RE-USE ON-SITE WATER RESOURCES TO THE GREATEST DEGREE POSSIBLE. PLANTING AREAS WILL BE RECEIVING CAREFULLY REGULATED IRRIGATION COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED UNDERGROUND, AND STATE OF THE ART SPRINKLER SYSTEM. IRRIGATION WITH RAIN SENSORS, LOW PRECIPITATION TYPE HEADS, BUBBLERS AND DRIP IRRIGATION WILL BE UTILIZED WHENEVER POSSIBLE.

ALL PLANTING AREAS WILL BE MAINTAINED AND CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF SAN DIEGO'S LANDSCAPE GUIDELINES, AND ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE SAN DIEGO LANDSCAPE TECHNICAL MANUAL.

MONITORING AND PERFORMANCE STANDARDS

MONITORING WILL INCLUDE BOTH QUALITATIVE AND QUANTITATIVE SURVEYS. THE PURPOSE OF THE QUALITATIVE SURVEYS IS TO ENSURE THAT THE PROPER MAINTENANCE AND ESTABLISHMENT PROCEDURES ARE FOLLOWED. THE PURPOSE OF THE QUANTITATIVE SURVEYS IS TO MEASURE THE ESTABLISHMENT OF THE SITE TO DETERMINE ITS COMPLIANCE WITH THE SUCCESS MILESTONES.

QUALITATIVE STANDARDS

SCHEDULED SITE OBSERVATION VISITS WILL BE REQUIRED FOR THE FOLLOWING STAGES OF THE LANDSCAPING WORK:

1. PRIOR TO COMMENCEMENT OF GROUND WORK TO VERIFY EXISTING CONDITIONS.
2. FOLLOWING WEED ERADICATION AND PRIOR TO SEEDING OR PLANTING.
3. FOLLOWING INSTALLATION OF IRRIGATION.
4. UPON DELIVERY OF SEED AND PLANT MATERIALS ON SITE PRIOR TO SEEDING AND PLANTING.
5. WHEN PLANTS ARE SPOTTED IN PLACE FOR PLANTING, BUT BEFORE PLANTING HOLES ARE EXCAVATED.

FOLLOWING ACCEPTANCE OF THE INSTALLATION, QUALITATIVE SURVEYS SHALL BE CONDUCTED MONTHLY DURING THE 120-DAY MAINTENANCE AND WARRANTY PERIOD. UPON FINAL ACCEPTANCE OF THE MAINTENANCE AND WARRANTY PERIOD, SITE OBSERVATION VISITS WILL BE CONDUCTED QUARTERLY FOR A PERIOD OF FIVE YEARS. A WRITTEN MEMORANDUM WILL BE PREPARED AFTER EACH MONITORING VISIT, LISTING PROBLEMS AND RECOMMENDED REMEDIAL MEASURES. THESE MEMORANDA WILL BE SENT TO THE CONTRACTOR AND CITY OF SAN DIEGO FOR REVIEW. THE MEMORANDA WILL INCLUDE ALL HORTICULTURAL PROBLEMS INCLUDING WEEDING, TRASH REMOVAL AND ILLEGAL TRESPASS. PHOTOGRAPHS WILL BE PROVIDED AS NEEDED TO DEMONSTRATE ISSUES IDENTIFIED DURING EACH SITE VISIT.

QUANTITATIVE SURVEYS

QUANTITATIVE SURVEYS SHALL BE CONDUCTED AT 12, 24, 36, 48, AND 60 MONTHS. THIS PERIOD WILL BE SHORTENED IF FINAL SUCCESS MILESTONES ARE ACHIEVED EARLY.

THE MONITORING PROGRAM WILL INCLUDE THE USE OF FIXED TRANSECTS AND PHOTO POINTS TO DETERMINE TOTAL VEGETATIVE COVER. COLLECTION OF FIXED TRANSECT DATA SHALL RESULT IN THE CALCULATION OF PERCENT COVER FOR EACH SPECIES PRESENT, PERCENT COVER OF TARGET VEGETATION, AND PERCENT COVER OF NON-NATIVE VEGETATION FOR EACH MONITORING PERIOD. CONTAINER PLANTS SHALL BE COUNTED IN ORDER TO CALCULATE PERCENT SURVIVORSHIP. IN ADDITION TO TRANSECT AND CONTAINER PLANT COUNTS, A GENERAL OVERVIEW OF THE SITE WILL BE MADE IN ORDER TO ASSESS THE OVERALL COMPLIANCE WITH SUCCESS CRITERIA, SPECIES RICHNESS OF THE SITE, AND AREAS REQUIRING SPECIAL MODIFICATIONS TO THE MAINTENANCE PROGRAM. PHOTOS WILL BE TAKEN AT ESTABLISHED PHOTO POINTS AND PROVIDED WITH EACH MONITORING REPORT.

THE RESULTS OF EACH QUANTITATIVE MONITORING EVENT WILL BE PROVIDED TO THE CONTRACTOR, AND CITY OF SAN DIEGO FOR REVIEW, COMMENT, AND GENERAL STATUS INFORMATION.

REVEGETATION AND EROSION CONTROL PLAN NOTES

TYPE OF HABITAT BY AREA: THE PROPOSED REVEGETATION PLAN UTILIZES A FULL RANGE OF NATIVE SPECIES ADAPTED FROM LOCAL VEGETATIVE COMMUNITIES WITH SPECIES EXPECTED TO HAVE GOOD SURVIVAL CHARACTERISTICS AND LONG-TERM SELF-REGENERATION FOR THE TOPOGRAPHY AND CLIMATE OF THE AREA. CONSIDERATION OF TYPICAL PRECIPITATION, NATURAL SOIL MOISTURE, AND NORMAL PLANT THE PROPOSED REVEGETATION PLAN HAS BEEN DESIGNED TO MINIMIZE EROSION AND CONVEY SURFACE RUNOFF TO NATURAL DRAINAGE COURSES, BIOSWALES, OR INTERIOR BASINS DESIGNED FOR WATER DETENTION.

THE SITE IS COMPOSED OF THE SLOPE AREA AND DEVELOPMENT AREA. THE SLOPE AREA PLANTING IS INTENDED TO BE A MIX OF CANOPY TREES, LARGE-TO-LOW GROWING PERENNIAL SHRUBS, AND NATIVE GRASSES THAT WOULD NATURALLY OCCUR WITHIN THE LOCAL VEGETATION COMMUNITY. TREE PLANTING IS INCLUDED FOR SCREENING, ACCENTS, AND SHADE, AND ARE OF BOXED, HIGH QUALITY NURSERY MATERIAL. SHRUBS AND GROUNDCOVER PLANTING WILL OCCUR THROUGHOUT THE DEVELOPMENT AREA AND WILL FUNCTION IN BIOSWALES, DETENTION BASIN, AND AS DEFINITION IN USE AREAS, ROADWAYS, AND AS DECORATIVE TREATMENTS. TURF AND TURF SUBSTITUTES WILL OCCUR IN VILLA AREAS, AND WHERE RELATED TO LOW ACTIVITY SPORTS USE.

THE DEVELOPMENT AREA PLANTING IS INTENDED TO BE A MIX OF CANOPY AND EVERGREEN TREES, LARGE-TO-LOW GROWING PERENNIAL SHRUBS, AND NATIVE GRASSES THAT WOULD NATURALLY OCCUR WITHIN THE LOCAL VEGETATION COMMUNITY. TREE PLANTING IS INCLUDED FOR SCREENING, ACCENTS, AND SHADE, AND ARE OF BOXED, HIGH QUALITY NURSERY MATERIAL. SHRUBS AND GROUNDCOVER PLANTING WILL OCCUR THROUGHOUT THE DEVELOPMENT AREA AND WILL FUNCTION IN BIOSWALES, DETENTION BASIN, AND AS DEFINITION IN USE AREAS, ROADWAYS, AND AS DECORATIVE TREATMENTS. TURF AND TURF SUBSTITUTES WILL OCCUR IN VILLA AREAS, AND WHERE RELATED TO LOW ACTIVITY SPORTS USE.

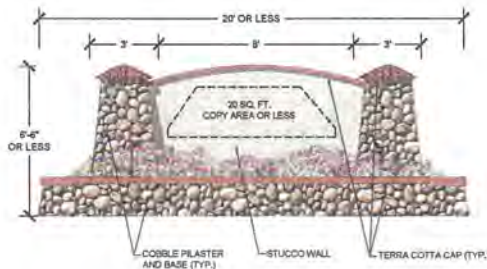
THE DISTURBED AREA WITHIN 100 FEET OF EXISTING NATIVE OR NATURALIZED VEGETATION TYPICALLY FALLS WITHIN A 4:1 OR GREATER SLOPE WITH A SLOPE HEIGHT OVER 15 FEET. IN THESE AREAS NATIVE OR NATURALIZED GROUND COVER CONSISTING OF ROOTED CUTTINGS OR A HYDROSEED MIX, AND NATIVE OR NATURALIZED TREES AND SHRUBS (MINIMUM 1 GALLON SIZE) PLANTED AT A MINIMUM RATE OF ONE PLANT PER 100 SQUARE FEET OF THE DISTURBED AREA WILL BE APPLIED.

THE DISTURBED AREA 100 FEET OR FURTHER FROM EXISTING NATIVE OR NATURALIZED VEGETATION RANGES FROM LESS THAN 4:1 SLOPES TO GREATER THAN 4:1 SLOPES WITH OCCASIONAL AREAS WHERE SLOPES EXCEED 15 FEET IN HEIGHT. TREATMENTS WILL INCLUDE DROUGHT TOLERANT GROUNDCOVER CONSISTING OF ROOTED CUTTINGS OR A HYDROSEED MIX, AND DROUGHT TOLERANT TREES AND SHRUBS (MINIMUM 1 GALLON SIZE) PLANTED AT A MINIMUM RATE OF ONE PLANT PER 100 SQUARE FEET OF DISTURBED AREAS. THE TREATMENT WILL BE APPLIED ACCORDING TO THE LOCATION AND SLOPE OF THE DISTURBED AREA.

TYPE OF IRRIGATION: SEE IRRIGATION SYSTEM NOTES.

TIME OF YEAR FOR PLANTING CONTAINER STOCK: PLANTING SHALL BE CONDUCTED DURING THE MOST FAVORABLE PERIOD OF THE YEAR FOR PLANT ESTABLISHMENT. THE ANTICIPATED PERIOD OF PLANTING WILL BE DURING THE PERIOD OF OCTOBER 1 - APRIL 15 TO COINCIDE WITH SEASONAL RAINFALL PATTERNS.

CHABAD ENTRY MONUMENTS



CHABAD EAST/WEST ENTRY MONUMENT NTS

IRRIGATION SYSTEM

1. ALL IRRIGATION DESIGN AND MAINTENANCE SHALL CONFORM TO THE CITY OF SAN DIEGO'S LATEST WATER USE RESTRICTIONS IN ACTION AT THE TIME OF THIS PROJECT. IRRIGATION SYSTEMS WILL BE DESIGNED TO MEET THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, EFFECTIVE JANUARY 1, 2010.

2. ALL IRRIGATED PLANTING AREAS SHALL BE ZONED SEPARATELY ACCORDING TO PLANT TYPES, LOCATION (I.E. TOP, MIDDLE, OR BOTTOM OF SLOPE), SOLAR EXPOSURE, SOIL TYPE, ELEVATION, TOPOGRAPHY, SOLAR EXPOSURE AND ANY OTHER SPECIFIC CONDITIONS THAT MAY EXIST ON SITE.

3. THE IRRIGATION SYSTEM MAY INCLUDE MORE THAN ONE POINT OF CONNECTION TO THE LOCAL POTABLE WATER SUPPLY. ALL IRRIGATION SYSTEMS WILL UTILIZE DEDICATED IRRIGATION WATER METERS.

4. ALL IRRIGATION SYSTEMS SHALL BE PIPED UNDERGROUND UNLESS HARD ROCK IS ENCOUNTERED AND TRENCHING IS UNFEASIBLE OR IMPRACTICABLE. WHEREUPON PIPING SHALL BE INSTALLED ABOVE GRADE. ABOVE-GRADE LATERAL LINE PIPING SHALL BE UVR-PVC SCH 40. ALL PVC PIPE SHALL BE SLEEVED THROUGH GALVANIZED STEEL PIPE SLEEVES WHERE CROSSING OVER DRAINAGE SWALES. IRRIGATION MAINLINE PIPING SHALL BE PVC SCHEDULE 40 OR CLASS 315, WITH SCHEDULE 40 LATERAL LINES. IN GENERAL, LINES WILL BE INSTALLED 18" DEEP FOR MAINLINE PIPING AND 12" - 18" DEEP FOR LATERAL PIPING.

5. THE IRRIGATION SYSTEM WILL BE COMPRISED OF LOOPED AND/OR SINGLE LEG PRESSURIZED MAINLINES. PRESSURIZED MAINLINES SHALL BE CONTROLLED BY MEANS OF MASTER VALVES AND FLOW SENSORS WHICH WILL BE ATTRIBUTED TO EACH SPECIFIC ZONE IN THE SITE AREA.

6. IRRIGATION SYSTEMS WILL UTILIZE COMPUTER-CONTROLLED, WEATHER-BASED SATELLITE CONTROLLERS, LINKED BY DIGITAL LOCAL RADIO, PHONE MODEM OR HARDWIRE METHOD, SO THAT EACH CAN BE PROGRAMMED AND MANAGED BY A COMPUTER SYSTEM OPERATED BY THE OWNER'S DESIGNATED LANDSCAPE WATER MANAGER. A SITE RAIN GAUGE OR TIPPING RAIN BUCKET WILL BE CONNECTED TO THE CONTROL SYSTEM. ALL EQUIPMENT SHALL BE VANDAL-RESISTANT.

7. BUFFER/PERIMETER SLOPES ADJACENT TO VILLAS: SYSTEMS WILL BE COMPRISED OF OVERHEAD SPRAY, ROTARY AND FLOOD BUBBLER TYPE. REVEGETATED PLANTING ON SLOPE AREAS WILL BE SUSTAINED WITH PERMANENT AND TEMPORARY IRRIGATION SYSTEMS. TEMPORARY SYSTEMS CAN BE UTILIZED UNTIL THE DROUGHT-TOLERANT NATIVE PLANTINGS HAVE BECOME ESTABLISHED. ONCE DETERMINED ESTABLISHED, THE TEMPORARY SYSTEM VALVES, SPRINKLERS AND SPRINKLER LINES (ABOVE-GRADE) WILL BE DISMANTLED AND REMOVED FROM THE SITE.

REMAINING YARD LANDSCAPE CALCULATIONS PLAN

NOTE

POMERADO ROAD IS THE NEAREST PUBLIC STREET IN THE VICINITY OF THE PROJECT AREA, AND IS NOT CONTIGUOUS WITH ANY ROADWAYS ADJACENT THE PROJECT. ALL ROADWAYS WITHIN THE PROJECT AND IMMEDIATELY ADJACENT TO THE PROJECT ARE PRIVATE.

ROADWAYS: LANDSCAPE CALCULATIONS HAVE BEEN PROVIDED AS REMAINING YARD AND DRIVEWAY USE AREAS WITHIN REMAINING YARD FOR THIS PROJECT SITE. STREET YARD AREAS ARE NOT PROVIDED BECAUSE NO SUCH CONDITIONS OCCUR SURROUNDING THE PROJECT SITE AREA.

REMAINING YARD LANDSCAPE POINTS

PLANT POINTS REQUIRED	PLANT POINTS PROVIDED	POINTS ACHIEVED WITH TREES (at least 50%)
3,060 POINTS 60 points x 51 (# of buildings)	164,040 POINTS	28,724 POINTS

*TREE DISTRIBUTION FOR SHADE OVER PAVEMENT: ONE 24-IN BOX CANOPY TREE WITHIN 30 FEET OF EACH PARKING SPALL. CARPORTS MAY BE USED AS AN ALTERNATIVE MEANS OF MEETING THIS CRITERION.

V.U.A. LANDSCAPE POINTS OUTSIDE OF STREET YARD

DESCRIPTION	TOTAL AREA (S.F.)	TOTAL POINTS REQUIRED	TOTAL POINTS ACHIEVED
VEHICLE USE AREA	323,225 SQ. FT.	9,687 pts.	13,590 pts.

V.U.A. LANDSCAPE AREA COVERAGE OUTSIDE OF STREET YARD

DESCRIPTION	TOTAL AREA (S.F.)	TOTAL AREA REQUIRED	TOTAL AREA ACHIEVED
VEHICLE USE AREA	323,225 SQ. FT.	9,687 SQ. FT.	39,545 SQ. FT.

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Project Name: THE GLEN AT

SCRIPPS RANCH CCRC

Sheet Title: LANDSCAPE NOTES

AND MONUMENT SIGNS

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Revision 2: 8-18-2012

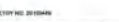
Revision 1: 8-18-2012

Original Date: 11-20-2011

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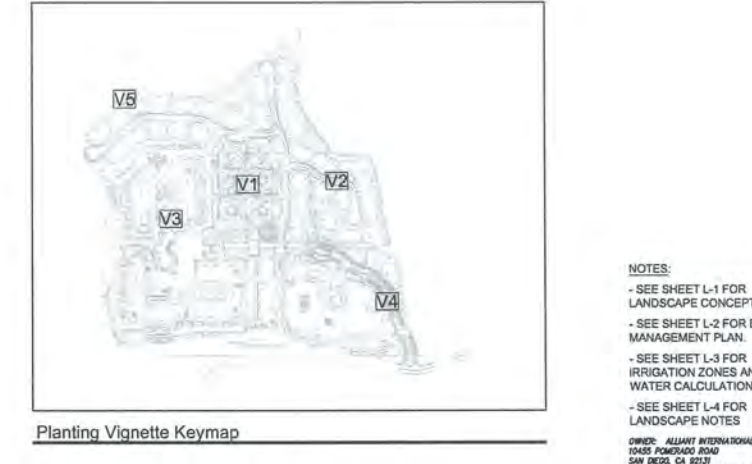
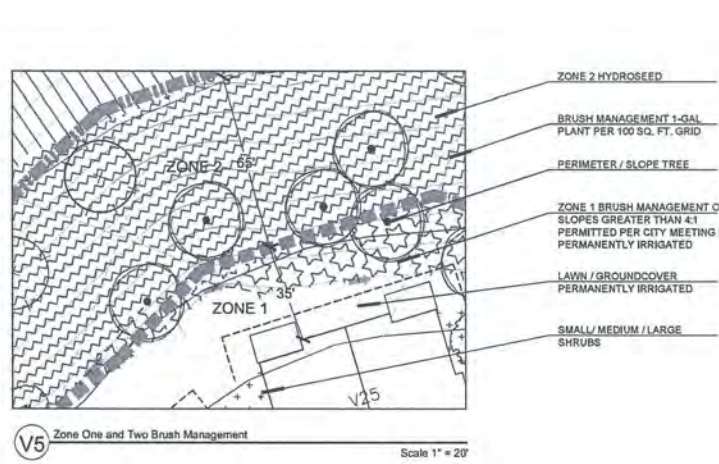
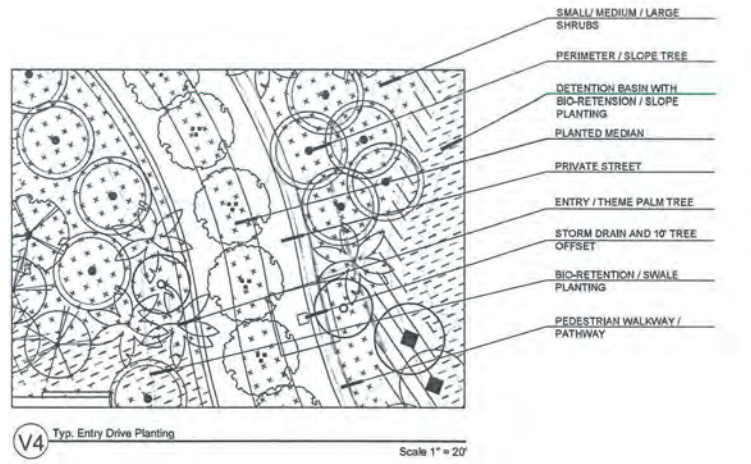
CUP 133-PC

AMENDMENT



PLANTING VIGNETTES

L-5



NOTES:

- SEE SHEET L-1 FOR LANDSCAPE CONCEPT PLAN.
- SEE SHEET L-2 FOR BRUSH MANAGEMENT PLAN.
- SEE SHEET L-3 FOR IRRIGATION ZONES AND WATER CALCULATIONS.
- SEE SHEET L-4 FOR LANDSCAPE NOTES.

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TREES

	SHRUBS, such as: (FLOWERING, ACCENT)	60% @ 1 gallon plant at 18"-24" 40% @ 5 gallon plant at 36"-48"
SMALL (1-3' HT, 1-3' SPD.)		
AGAVE	AGAVE SPP.	Lily-of-the-Valley
ALOE	ALOE SPP.	Aloe
BEGONIA	BEGONIA SPP.	Begonia
BOERHAVIA	BOERHAVIA SPP.	Boerhavia
BUCCO	BUCCO SPP.	Butterfly
CANTERBURY	CANTERBURY SPP.	Canterbury
DIETES	DIETES SPP.	Dietes
EUPHORBIA	EUPHORBIA SPP.	Euphorbia
LAVANDULA	LAVANDULA SPP.	Lavender
LAVANDULA	LAVANDULA SPP.	Lavender
PASCALIA	PASCALIA SPP.	Pascalia
PASCALIA	PASCALIA SPP.	Pascalia
SALVIA	SALVIA SPP.	Salvia
SALVIA	SALVIA SPP.	Salvia
TRICHOCHLOA	TRICHOCHLOA SPP.	Trichochloa
TRICHOCHLOA	TRICHOCHLOA SPP.	Trichochloa
MEDIUM (3-6" HT, 3-6" SPD.)		
ANISODONTEA	ANISODONTEA SPP.	Cape Malva
RHOADSIA	RHOADSIA SPP.	Rhoadsia
RHOADSIA	RHOADSIA SPP.	Rhoadsia
LARGE (6'-15" HT, 6'-15" SPD.)		
ARISTIDA	ARISTIDA SPP.	Strawberry Tree
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia
ESCALONIA	ESCALONIA SPP.	Escalonia

	GROUNDCOVER, such as: (FLOWERING, ACCENT, SLOPE STABILIZATION) SMALL (1-3" HT, 1-3" SPD.) BAGCHARRS SUTINOSA BAGCHARRS PULILLI BAGCHARRS PILLARIS TIGSON PINT LANTANA SPP. GAREX THALICOLA FESTUCA OVINA 'BALEGA' BOUGILLA SERRABENTIS	100% Flat Plants plant at 15"-36"
	MEDIUM (3-6" HT, 3-6" SPD.) ACALIA RESPLENDE LOW BUSH MISCANTHUS SPP. STYLOSANTHUS SERRABENTIS HALENDERGIA RUBENS STYRA SPP.	Mid Size Coarse Bush Short Coarse Bush Lorinda Coarse Blue/Fusces Short Grass
	NATIVE OPEN SPACE HYDROSEED MIX (SLOPE STABILIZATION, TEMPORARY IRRIGATION)	Hydrastis Acacia Hesperaloe Vories Hesperaloe Desert Grass Hesperaloe Varieties

[illegible]

ARCHITECT: KTDY GROUP, INC.
 15022 HIDDEN
 HILLS, CA 92514
 (949) 355-2133 FAX(949) 478-0114
 LANDSCAPE ARCHITECT: KTHA PLANNING +
 3916 NORMAL STREET LANDSCAPE ARCHITECTURE
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX(619) 294-0985

Prepared By: _____
 Name: LATISKO ST PLANNING & ENGINEERING Revision 14: _____
 Address: 8969 HIBERT ST. 2ND FLOOR Revision 13: _____
SAN DIEGO, CA 92121 Revision 12: _____
 Phone #: (650) 751-0633 Revision 11: _____
 Fax #: (650) 751-0634 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: 04-10-2015
14555 POMERADO ROAD SOUTH OF POMERADO ROAD
AND WEST OF CHAMBER CENTER DRIVEWAY Revision 4: 12-18-2014
 Revision 3: 7-25-2014
 Revision 2: 7-10-2013
 Revision 1: 9-18-2012
 Original Date: 11-29-2011

Project Name: _____
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title: _____
PLANTING VIGNETTES
 Sheet _____ 46 OF 47
CUP 133-PC
 DEP# AMENDMENT

Prepared By: LATROD 31 PLANNING & ENGINEERING

Revision 14: _____

Revision 13: _____

Address: 8950 HIBERT ST. AND FLOW

Revision 12: _____

SAN DIEGO, CA 92129

Revision 11: _____

Phone #: (619) 710-0633

Revision 10: _____

Fax #: (619) 710-0634

Revision 9: _____

Revision 8: _____

Revision 7: _____

Project Address: 16555 POMEROY ROAD SOUTH OF POMEROY ROAD

Revision 6: _____

AND WEST OF CHABOT CENTER DEVELOPMENT

Revision 5: 04-10-2013

Revision 4: 12-19-2014

Revision 3: 7-29-2014

Revision 2: 7-29-2013

Revision 1: 8-18-2012

Project Name: THE GLEN AT

SCRIPPS RANCH CCRC

Original Date: 11-29-2011

Sheet Title: PLANTING VIGNETTES

Sheet: 46 OF 47

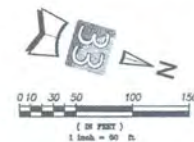
CUP 133-PC

DEP# AMENDMENT

THE GLEN AT SCRIPPS RANCH CCRC
SAN DIEGO, CALIFORNIA

KTGA-100000

Building Type	Net Building Area	Number of Dwelling Units	Number of Stories	Building Height	Sprinklers	Fire Service
The Villas						
Villa 1	1,365	20	1	23	Yes	
Villa 2	1,644	44	1	21	Yes	
Garden Terraces						
Plan 7 -	1,251	12	2	32	Yes	
Plan 8 - Cedar Alt	1,404	16	2	32	Yes	
Plan 10 - Magnolia	1,527	20	2	32	Yes	
Independent Living Units						
Plan 1 - Oak	665	22				
Plan 2 - Palm	813	78				
Plan 3 - Tecoma	835	4				
Plan 4 - Date Palm	906	24				
Plan 5 - Spruce	1,065	12	4	50	Yes	
Plan 6 - Wisteria	1,154	116				
Plan 8 - Cedar	1,428	6				
Plan 10 - Magnolia	1,527	26				
Health Center						
Skilled Nursing Building						
Plan A - Private	300	8				
Plan B - Semi-Private	490	52	2	37	Yes	
Assisted Living Building						
Plan C - Studio	450	10				
Plan D - 1BR	550	20				
Plan E - 2BR	950	2	2	37	Yes	
Plan F - Alz Unit	350	18				
Other Facilities						
Commons Building	57,600	N/A	2	40	Yes	
Recreation Building						
Facilities Building	10,066	N/A	2	33	Yes	
Entry Kiosk	205	N/A	1	22	Yes	
Guest Suites - Studios	400	4	4	50	Yes	



POMERADO ROAD

OWNER: ALLIANT EDUCATIONAL FOUNDATION
10455 POMERADO ROAD
SAN DIEGO, CA 92131
(619) 594-4807 FAX (619) 593-2062

APPLICANT: THE GLEN AT SCRIPPS RANCH CCRC LLC
9815 BUSINESS PARK AVE. SUITE #104
SAN DIEGO, CA 92131
(619) 444-8500 FAX (619) 404-6267

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9806 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 721-0633 FAX (619) 751-0634

DRG. ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9806 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
(619) 721-0633 FAX (619) 751-0634

ARCHITECT: KTEY GROUP, INC.
17922 FITCH
IRVINE, CA 92614
(949) 851-2133 FAX (949) 479-8114

LANDSCAPE ARCHITECT: KTGA PLANNING & LANDSCAPE ARCHITECTURE
3918 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9905

Prepared By:
Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 9806 HERBERT ST., 2ND FLOOR
SAN DIEGO, CA 92131
Phone #: (619) 721-0633
Fax #: (619) 751-0634

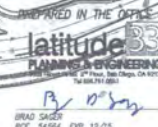
Project Address:
10455 POMERADO ROAD, SOUTH OF POMERADO ROAD
AND WEST OF CHABAD CENTER DRIVEWAY

Project Name:
THE GLEN AT
SCRIPPS RANCH CCRC

Sheet Title:
FIRE HYDRANT LOCATION
AND FIRE ACCESS

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: 4-10-2015
Revision 5: 1-8-2015
Revision 4: 12-18-2014
Revision 3: 7-23-2014
Revision 2: 7-30-2013
Revision 1: 2-18-2012
Original Date: 11-29-2011

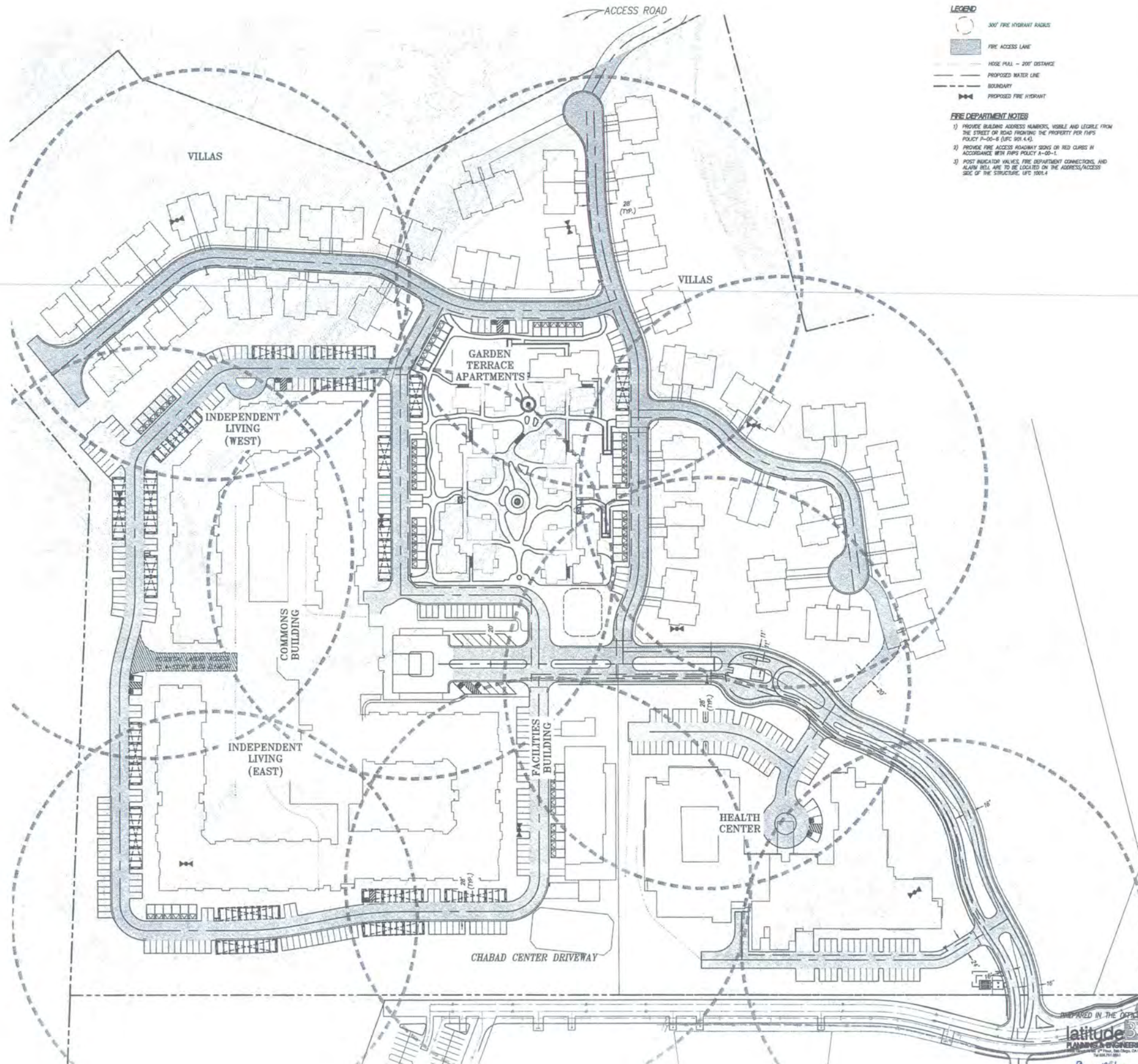
Sheet: 47 OF 47
CUP 133-PC
DEP# AMENDMENT



BRAD SALES
RCE 54364 EXP. 12/15

10/20/15

DATE



LEGEND

- 300' FIRE HYDRANT RADII
- FIRE ACCESS LANE
- HOSE PULL - 200' DISTANCE
- PROPOSED WATER LINE
- BOUNDARY
- PROPOSED FIRE HYDRANT

FIRE DEPARTMENT NOTES

- 1) PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY FOR TIPS POLICY 1-10-4 (NFC 901.4.5).
- 2) PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH TIPS POLICY 1-10-1.
- 3) POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE, UPC 1001.4