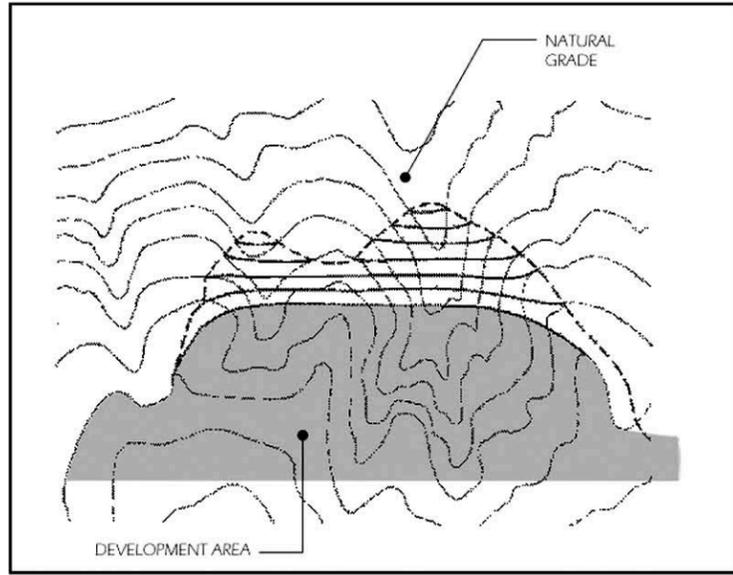
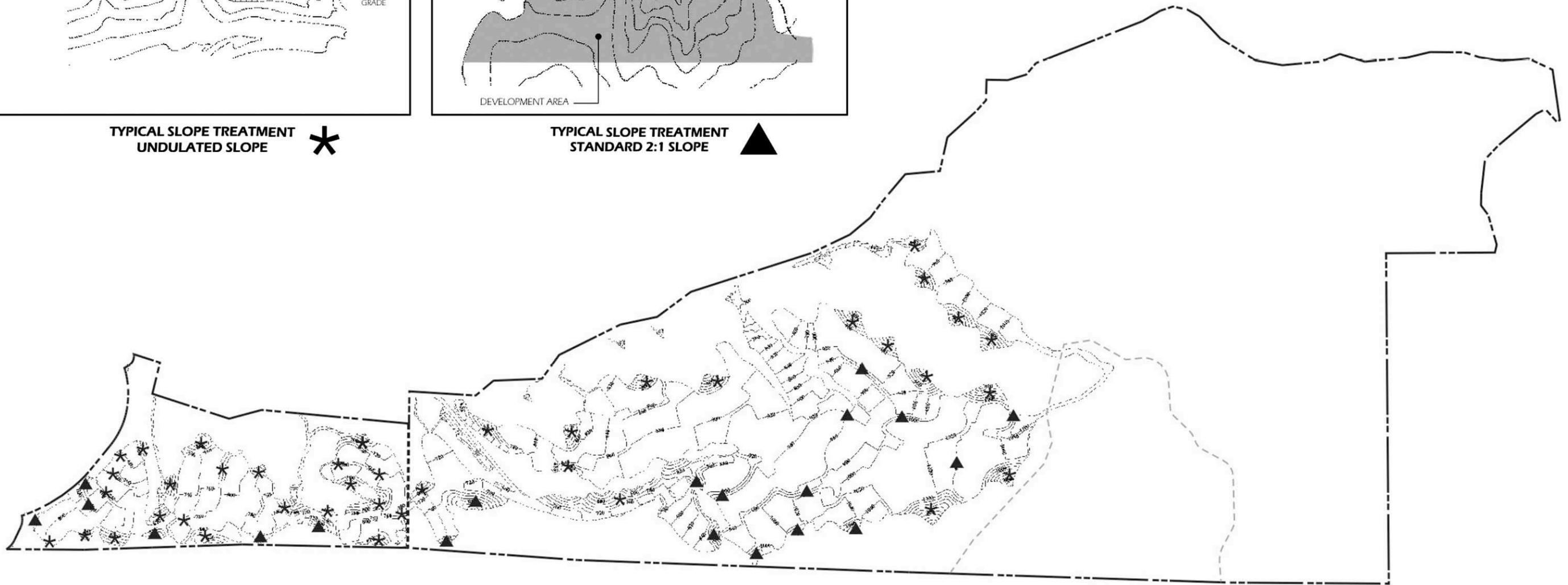


TYPICAL SLOPE TREATMENT
UNDULATED SLOPE *



TYPICAL SLOPE TREATMENT
STANDARD 2:1 SLOPE ▲



DESIGN

This section provides general criteria for grading, drainage, architecture, landscaping, brush management, lighting, and conservation. The guidelines set forth in this section are intended to provide general criteria for development while also allowing flexibility, and are not intended to restrict the creativity of architects and designers. The guidelines included in this section are, therefore, conceptual in nature and are subject to refinement and modification during the Planned Residential Development (PRD) permit and Tentative and Final Map stages of Precise Plan development. Adherence to the general design criteria will result in a high quality residential community unified by an overall landscape design theme that is consistently applied throughout the Precise Plan area. When followed, these guidelines will ensure that development will complement the character of the region and the site.

COMMUNITYWIDE DESIGN OBJECTIVES

Provided below are general communitywide design objectives that should be considered in the development of Rancho Encantada. The Precise Plan should:

- a. Create an individual neighborhood identity.
- b. Create a development that appropriately responds to the physical and visual features of the Precise Plan area.
- c. Preserve key environmental features as specified in this Precise Plan.
- d. Maximize opportunities for views.
- e. Conform to the requirements described in the land use and circulation elements of this Precise Plan.
- f. Incorporate conservation practices into the design and maintenance of buildings and spaces.
- g. Provide sidewalks and pedestrian trails for pedestrian access throughout the site.
- h. Develop a community node to create an activity center for the neighborhood.

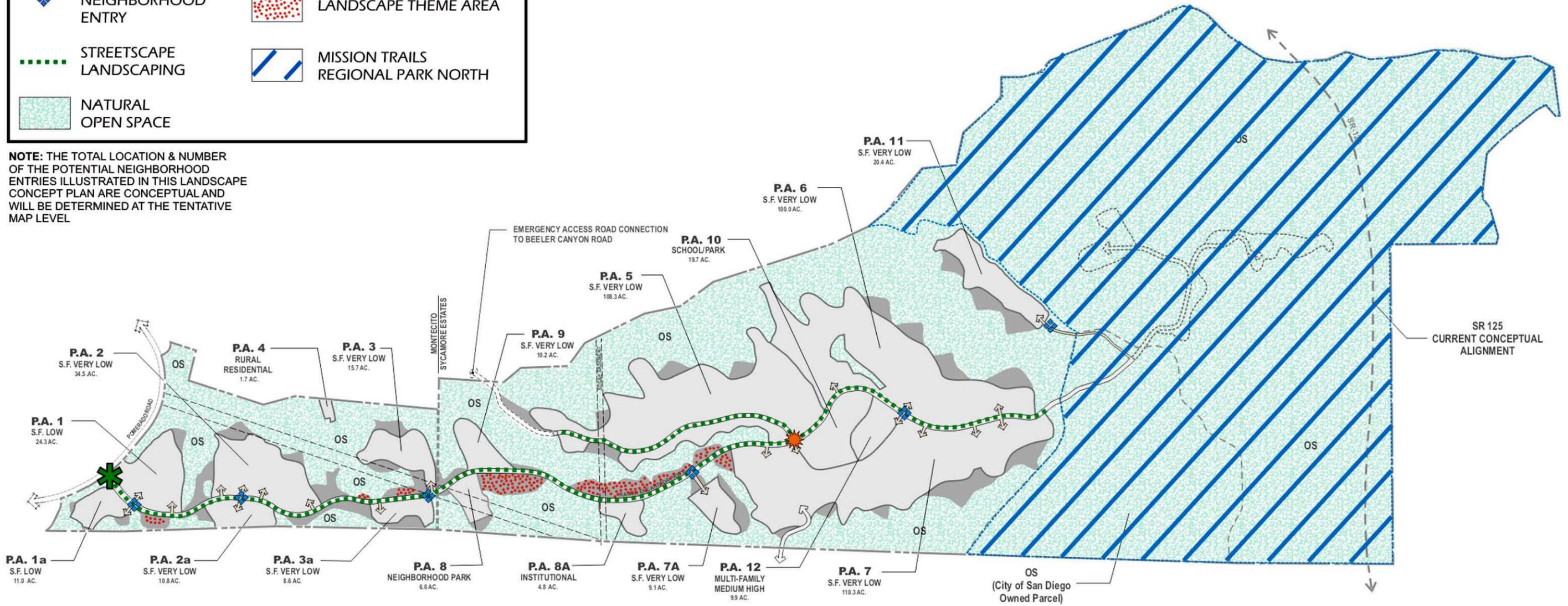
GRADING GUIDELINES

The Rancho Encantada Precise Plan focuses on the retention of major on-site landforms. Individual tentative subdivision maps processed concurrent with or subsequent to approval of this Precise Plan will refine the conceptual grading plans to reflect specific development plans. The Conceptual Grading Plan is directed toward balancing grading on the site by the lowering of mesas and the filling of certain canyon areas in order to preserve intervening canyon slopes in their natural state to the maximum extent feasible. To provide guidance in implementing the Precise Plan and concurrent or subsequent tentative and final maps, the following guidelines have been developed.

LEGEND

	PRIMARY ENTRY		DEVELOPMENT AREA
	SECONDARY ENTRY		REVEGETATED MANUFACTURED SLOPES
	POTENTIAL NEIGHBORHOOD ENTRY		LANDSCAPE THEME AREA
	STREETSCAPE LANDSCAPING		MISSION TRAILS REGIONAL PARK NORTH
	NATURAL OPEN SPACE		

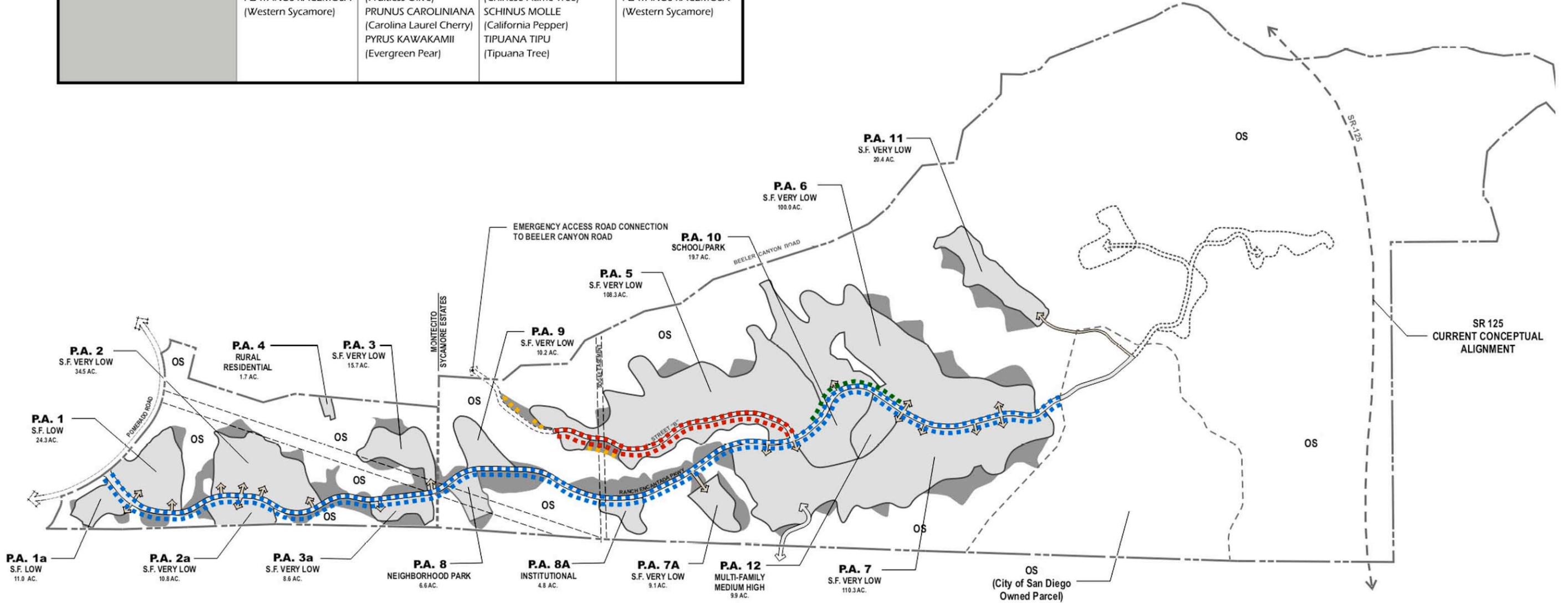
NOTE: THE TOTAL LOCATION & NUMBER OF THE POTENTIAL NEIGHBORHOOD ENTRIES ILLUSTRATED IN THIS LANDSCAPE CONCEPT PLAN ARE CONCEPTUAL AND WILL BE DETERMINED AT THE TENTATIVE MAP LEVEL



- a. Where possible, manufactured slope gradients should be variable, but in no case shall the gradient exceed a 2:1 horizontal to vertical relationship; except for those manufactured slopes less than ten feet (10') high or slopes approved by the City Engineer and City Geologist, which shall not exceed a gradient of 1.5:1, subject to applicable City ordinances. Exterior slopes shall be revegetated to non-irrigated native revegetation.
- b. Gradients for City streets should accommodate adequate site distances at street intersections, consistent with City standards.
- c. Disruption of the SDG&E easement should be avoided by retaining existing support structures at existing grades. Elevation changes within the easement resulting from Precise Plan-related grading operations must be approved by SDG&E and the City of San Diego.
- d. Manufactured slopes over ten feet in height visible from public roads or neighborhood and community public facilities should be contoured or undulated to produce a more naturalized appearance. This guideline shall not apply to obscured or partial views, or to private rear yards. This guideline also shall not apply in areas where such contouring would conflict with a Precise Plan-specific soil engineer's recommendation, where the nature of the terrain makes it physically or economically infeasible, or where implementation of contour grading would result in a significant disturbance to sensitive vegetation. Landscaping techniques using plant material of varying heights can be used in conjunction with contour grading to create an undulated slope appearance. **Figure 12, Slope Treatment Map**, depicts the slopes that are required to be contour graded, as defined by the Rancho Encantada EIR. Prior to the issuance of grading permits, the City of San Diego's Development Services Department shall review grading plans to verify implementation of contour grading of the manufactured slopes shown on **Figure 12**.
- e. View opportunities from residential homes, private yards, and public streets should be maximized through grading of development areas.
- f. Design the grading to ensure that resulting drainage is compatible with the MHPA Land Use Adjacency Guidelines.
- g. All slopes should be prepared to readily support landscaping.
- h. Hillside stability (both during and after construction) should be assured by recognizing soil characteristics, hydrology, and the steepness of the terrain. The Precise Plan should incorporate measures to assure hillside stability as appropriate.
- i. During grading, construction methods should be utilized to minimize erosion and siltation problems during construction.
- j. Preserve the natural topography of the Precise Plan area to the extent feasible.
- k. A naturally appearing transition should be provided between graded slopes and existing landforms.

TREE PLAN

CORRIDOR/SEGMENT	 RANCHO ENCANTADA PARKWAY	 COMMUNITY NODE ALONG RANCHO ENCANTADA PARKWAY	 STREET "B"	 STREET "B"
TREE: BOTANICAL NAME/ COMMON NAME	UPRIGHT BROAD LEAF (10 - 35 m): SUCH AS: PLATANUS ACERIFOLIA (London Plane Tree) PLATANUS RACEMOSA (Western Sycamore)	ORCHARD TREE (3 - 15 m): SUCH AS: CERCIS OCCIDENTALIS (Western Redbud) OLEA EUROPEA (Fruitless Olive) PRUNUS CAROLINIANA (Carolina Laurel Cherry) PYRUS KAWAKAMII (Evergreen Pear)	UPRIGHT DECIDUOUS TREE (5 - 18 m): SUCH AS: JACARANDA MIMOSIFOLIA (Jacaranda) KOELREUTERIA BIPINNATA (Chinese Flame Tree) SCHINUS MOLLE (California Pepper) TIPUANA TIPU (Tipuana Tree)	UPRIGHT BROAD LEAF (10 - 35 m): SUCH AS: PLATANUS ACERIFOLIA (London Plane Tree) PLATANUS RACEMOSA (Western Sycamore)



DRAINAGE AND EROSION CONTROL GUIDELINES

The drainage concept for Rancho Encantada generally conforms to the site's existing drainage pattern, with no significant diversion. As described in Section 3, Public Facilities and Services, a majority of the storm drains will be installed in Precise Plan roadways to accept runoff from development areas. The following guidelines should be considered to reduce runoff and minimize erosion.

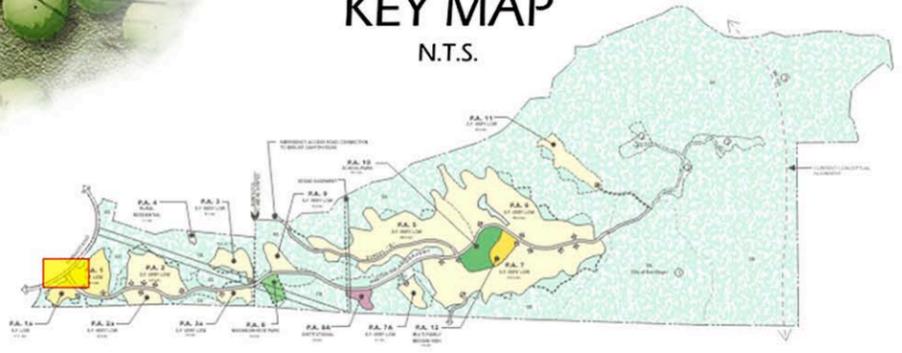
- a. Precise Plan construction and development shall comply with current drainage design policies set forth in the City of San Diego's Drainage Design Manual.
- b. Roadbeds should be sandbagged and desiltation basins should be created where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
- c. All exposed, manufactured slopes shall be landscaped per City of San Diego Land Development Code.
- d. The time period between grading operations and slope landscaping should be minimized to reduce the susceptibility of slopes to erosion.
- e. Sediment production from graded building pads should be controlled with infiltration basins, vegetated basins, vegetated filter strips and detention basins.
- f. Temporary and permanent erosion control facilities should be constructed concurrently with grading operations. This includes such facilities as storm drains, desilting basins, and energy dissipaters.
- g. Rancho Encantada will conform with the MHPA drainage guidelines.
- h. Prior to the issuance of grading permits, a Storm Water Pollution Prevention Plan (SWPPP) shall be prepared. The SWPPP shall contain permanent post-construction Best Management Practices (BMPs) to control the rate, volume, and quality of runoff leaving the site and to reduce the amount of pollutants and sediments discharged from the Precise Plan area. (Refer to the Rancho Encantada final EIR for a list of specific structural and non-structural BMPs.)

ARCHITECTURAL GUIDELINES

The Rancho Encantada Precise Plan area is located east of existing single-family home developments in the Scripps Ranch community and west of Gooden Ranch and the Sycamore Canyon County Open Space Preserve. As such, the land use plan designates low-density homes adjacent to Pomerado Road and very low-density homes in most of the remainder of the site. Multifamily housing is identified for Planning Area 12. The architectural design guidelines for Rancho Encantada are as follows:



KEY MAP
N.T.S.



- a. The massing, composition, materials, and site position of residential homes should be complementary to the surrounding land to achieve compatibility. The height and bulk of buildings should be compatible in scale to the size, shape, and topography of the site and should be harmonious with the setting.
- b. The use of architectural stylistic themes, quality materials and appropriate thematic details should provide an identity to the neighborhoods of Rancho Encantada.
- c. Architecture within Rancho Encantada should evoke the traditional and contemporary materials, forms, and colors that have evolved over time in the San Diego area and the Southern California region.
- d. Within individual planning areas, architectural diversity should be created by manipulating building scale, building materials, colors, and textures in conjunction with architectural features (for example, roofs, windows, doors, fascias and trim), rather than by designing homes that vary greatly in architectural style.
- e. Roofs shall be constructed of nonflammable materials such as clay, terra cotta, concrete tile, or other material consistent with the architecture.
- f. Accessory structures, if provided, should be designed to reflect the scale, architectural style, and materials of the primary residence on the residential lot.
- g. Multifamily housing units (Planning Area 12) shall be designed to a level of detail and architectural style that is comparable to the single-family units. The units shall be designed to provide functional terraces, patios or balconies.
- h. The use of side-loaded garages and/or street facing garages with front setbacks greater than the front setback of the front door, porch or courtyard is encouraged.

LANDSCAPE GUIDELINES

The landscape theme for Rancho Encantada should unify the Precise Plan area and provide an aesthetically pleasing effect. Landscape treatment also should provide for appropriate transitions between development and open space. These guidelines will ensure that the Precise Plan area is landscaped in a manner to establish a sense of community character.

Landscape Design Concept

This Precise Plan identifies community entries, community streetscapes, interface areas, and open space zones, and illustrates the general unifying elements of the landscape design. An illustration of the **Landscape Concept Plan** is depicted on **Figure 13**. As shown on this exhibit, the main community entry will be located at the intersection of Pomerado Road and Rancho Encantada Parkway. Rancho Encantada Parkway will be the primary Precise Plan roadway and will establish the community's landscape theme. **Figure 13a, Street Tree Corridors**, illustrates theme trees located along primary roadways within the Rancho Encantada Precise Plan area.



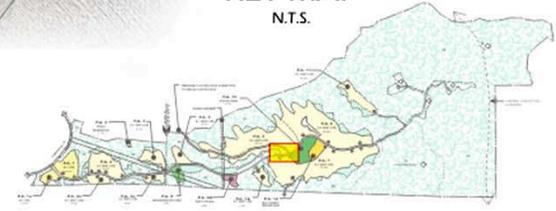
Option A



Option B

Poway Unified School
 - Roofline shown for illustrative purposes only
 - Building form shall address the street to enhance 'village crossroads' theme

KEY MAP
 N.T.S.



General Landscape Guidelines

- a. Landscaping shall comply with the City of San Diego's Land Development Code and the Citywide Landscape Regulations.
- b. Water should be conserved through low-water-using planting and irrigation design.
- c. Fire risk shall be minimized by the management of flammable vegetation (see **Wall and Fence Design Guidelines** in this section.)
- d. Streetscapes and entry treatments should be designed to promote community character and should consist of trees, shrubs, and groundcovers which are selected to establish a distinct character or theme for the Precise Plan.
- e. All manufactured slopes over five feet (5') in height shall be planted with erosion control, fire resistant and self-sufficient plantings.
- f. A compatible plant palette of trees, shrubs and groundcovers shall be used throughout the Precise Plan area. Canopy Street Trees, as illustrated on **Figure 13**, will be used throughout Rancho Encantada and repeated in similar areas of the Precise Plan to reinforce a sense of neighborhood cohesion. Landscape design should not, however, result in monotony or lack of variety or biological diversity.
- g. Only native plants shall be permitted adjacent to the MHPA. The revegetation method involving the grinding of native vegetation removed from the site and replanting of the ground up material, may be used as an alternative for revegetating disturbed areas within the Precise Plan.

Residential Precise Plan Entries

Three types of entry statements are planned for Rancho Encantada, including a primary entry, secondary entries, and neighborhood entries.

Primary Entry

The primary Precise Plan entry will be located at the intersection of Pomerado Road and Rancho Encantada Parkway. This entry will serve as a physical and visual gateway into the Precise Plan, denoting arrival and providing an aesthetically pleasing entry statement which reinforces the identity and distinctiveness of Rancho Encantada. The primary entry will contain blending of signage, lighting and landscaping which reinforces the Precise Plan theme throughout the Precise Plan area. Accent plantings at entries should include trees that are distinctive in form, color or some other visual characteristic, and provide a contrast to the adjacent street tree(s). **Figure 14, Primary Entry**, shows a conceptual illustration of the main entrance to the Precise Plan.

Secondary Entry

A secondary entry will occur interior to the Precise Plan at the intersection of Rancho Encantada Parkway and Street "B" at the entrance to the village core, as shown on **Figure 13**. The secondary entry monumentations should repeat the plant palette and thematic materials of those used at the primary entry. (See **Figure 15, Secondary Entry**.)