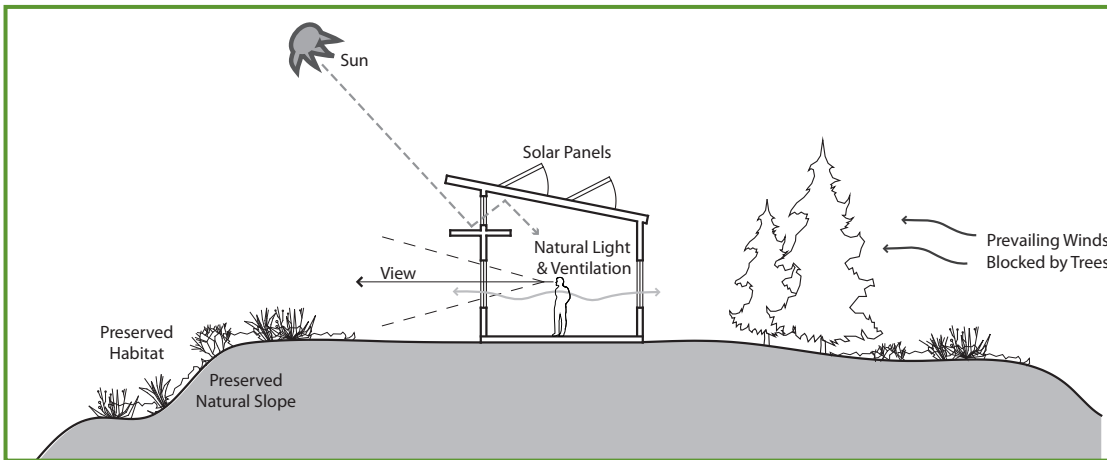


# MULTI-FAMILY DEVELOPMENT GUIDELINES



SOUTHEASTERN ECONOMIC DEVELOPMENT CORPORATION

ADOPTED BY THE REDEVELOPMENT AGENCY 11.24.09 - RESOLUTION # 04461





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## MULTI-FAMILY DEVELOPMENT GUIDELINES

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**PREPARED FOR:**

SOUTHEASTERN ECONOMIC DEVELOPMENT CORPORATION

**PREPARED BY:**

MW STEELE GROUP, INC.

ADOPTED BY THE REDEVELOPMENT AGENCY

11-24-09

## ACKNOWLEDGEMENTS

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# TABLE OF CONTENTS

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## **CHAPTER 1 INTRODUCTION**

A. Goals of the Guidelines .....	1
B. Applicability and Intent of the Guidelines.....	2
C. Regulatory Context.....	3
D. Community Outreach and Participation.....	3
E. Organization of the Guidelines.....	4
F. Administration of the Guidelines .....	5
G. Opportunity Icons.....	5

## **CHAPTER 2 SUSTAINABILITY**

Intent & Key Objectives .....	5
A. Conservation of Natural Resources .....	6
B. Energy Efficiency .....	7
C. Quality Indoor and Outdoor Environments .....	8

## **CHAPTER 3 SITE PLANNING**

Intent & Key Objectives .....	11
A. Context.....	12
B. Historic Resources.....	12
C. Building Siting.....	13
D. Open Space & Outdoor Recreation Areas .....	14
E. Pedestrian Environment & Walkability .....	15
F. Bicycle & Vehicular Circulation & Parking .....	16
G. Access to Dwellings.....	18

## **CHAPTER 4 MIXED-USE**

Intent & Key Objectives .....	19
A. Compatibility .....	20
B. Privacy & Security .....	21
C. Nuisances.....	22
D. Storefront Design.....	23
E. Access & Visibility .....	24

# TABLE OF CONTENTS

---

## **CHAPTER 5 BUILDING DESIGN**

Intent & Key Objectives .....	25
A. Form & Character .....	26
B. Scale & Height .....	26
C. Articulation .....	27
D. Entries & Stairs.....	27
E. Materials & Color .....	28
F. Roofs.....	29
G. Mechanical Equipment and Vents.....	29

## **CHAPTER 6 LANDSCAPE DESIGN**

Intent & Key Objectives .....	31
A. Sustainable Landscape.....	32
B. Definition & Identity .....	32
C. Screening .....	33
D. Maintenance & Irrigation .....	33

## **CHAPTER 7 COMMUNITY FACILITIES AND AMENITIES**

Intent & Key Objectives .....	37
A. Sense of Community.....	38
B. Community Needs & Programs.....	38

## **CHAPTER 8 MISCELLANEOUS SITE ELEMENTS**

Intent & Key Objectives .....	41
A. Walls and Fences .....	42
B. Site Furniture .....	42
C. Trash and Storage Areas .....	43
D. Architectural Screening Elements.....	44
E. Mailboxes.....	44
F. Signage.....	45

## **CHAPTER 9 CONDOMINIUM CONVERSIONS**

Intent & Key Objectives .....	47
A. Procedures .....	48
B. Standards.....	48



## TABLE OF CONTENTS

---

### **CHAPTER 10 SAFETY AND SECURITY**

Intent & Key Objectives .....	51
A. Crime Prevention Through Environmental Design (CPTED) ..	52
B. Opportunities for Surveillance .....	52
C. Hierarchy of Space & Territoriality .....	53
D. Penetrability .....	53
E. Lighting .....	54
F. Vandalism and Graffiti .....	55
G. Security Plan .....	55

### **CHAPTER 11 MANAGEMENT AND MAINTENANCE**

Intent & Key Objectives .....	57
A. On-site Management of Rental Developments .....	58
B. Maintenance .....	58
C. Required Management and Security Plans .....	59
D. Management & Maintenance of For-Sale Developments.....	60

### **APPENDIX**

Appendix A: Glossary of Terms and Acronyms Used in the Guidelines	
Appendix B: List of Relevant Documents	
Appendix C: Summary of Community Outreach	



## CHAPTER 1: INTRODUCTION

### 1-A. GOALS OF THE GUIDELINES

The thoughtful design of multi-family residential, mixed-use buildings and outdoor spaces can contribute to a dynamic, environmentally sustainable, and visually rich urban environment that promotes social interaction, fosters community pride, and instills a sense of safety and security.

The primary purpose of this Multi-Family Development Guidelines Update is twofold. First, the guidelines are updated to reflect and align with Smart Growth principles promoted by the “City of Villages” vision of the San Diego General Plan. Second, four new design components of increasing importance to the Southeastern San Diego Community have been added: Sustainability, Mixed-Use, Condominium Conversions, and Management and Maintenance of For-Sale Developments.

#### San Diego General Plan “City of Villages” Vision

The San Diego General Plan outlines a clear and bold vision for the continued development of San Diego into a “City of Villages.” Through this vision, future urban growth will be accommodated within existing *village centers* that are linked to transit, making efficient use of existing infrastructure and amenities and limiting the pressures of urban sprawl and the consumption of valuable open space and resources.

*The San Diego General Plan defines a “village” as:*

“the mixed-use heart of a community where residential, commercial, employment, and civic uses are all present and integrated. Each village will be unique to the community in which it is located. All villages will be pedestrian-friendly and characterized by inviting, accessible, and attractive streets and public spaces. These spaces will vary from village to village and may consist of: public parks or plazas, community meeting spaces, outdoor gathering spaces, passive or active open space areas that contain desirable landscape and streetscape design amenities, or outdoor dining and market activities. Individual villages will offer a variety of housing types and rents/prices. Over time, villages will be increasingly connected to each other by an expanded regional transit system. The village land use pattern and densities help make transit operate more efficiently, which in turn allows for improved and more cost effective transit services.” (San Diego General Plan, LU-6, Section A: City of Villages Strategy).



SEDC's Area of Influence

The Southeastern San Diego Community Plan supports the “City of Villages” vision through its Village/ Mixed-Use Element, which identifies key Village Centers within the Southeastern San Diego Community and outlines core policies and implementation strategies for achieving “village” development within these areas of the community.

#### Smart Growth

Smart Growth is a movement that gained significant ground in the mid to late 1990’s and now has achieved a widespread audience and effect. It is premised on the fundamental belief in the need to control urban sprawl and concentrate development within existing urban centers that offer high quality infrastructure, amenities, transportation choices and a range of housing choices and increased quality of life. The following are ten principles of Smart Growth:

- Create a Range of Housing Opportunities and Choices
- Create Walkable Neighborhoods
- Encourage Community and Stakeholder Collaboration
- Foster Distinctive, Attractive Communities with a Strong Sense of Place
- Make Development Decisions Predictable, Fair and Cost Effective
- Mix Land Uses
- Preserve Open Space, Farmland, Natural Beauty and Critical Environmental Areas
- Provide a Variety of Transportation Choices

## CHAPTER 1: INTRODUCTION

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- Strengthen and Direct Development Towards Existing Communities
- Take Advantage of Compact Building Design

With the “City of Villages” vision and “Smart Growth” principles as key guiding principles, these Guidelines are intended to achieve the following key goals:

1. Design buildings, landscape and open spaces that are environmentally sustainable and encourage resource conservation, energy efficiency, and high quality living environments.
2. Arrange buildings, open space, parking and circulation to create a site design that is orderly, visually pleasing, and contributes both to the surrounding area and the development itself.
3. Design and build high-quality, mixed-use developments that enhance the pedestrian environment, protect the privacy and security of adjacent residential uses, are compatible with the character of existing residential neighborhoods, and control the potential nuisances that may result from mixing residential and non-residential uses.
4. Construct high quality residential buildings and environments that address the context of existing communities, incorporate sustainable design practices and are visually pleasing to the community and residents.
5. Design and incorporate landscape materials that enhance the appearance of the surrounding neighborhood, contribute to quality open space and living environments, and help define an individual identity for multi-family residential developments.
6. Provide on-site community facilities and amenities to address service needs within the development, to help establish social ties and encourage a sense of community.
7. Provide thoughtfully designed and high-quality site elements that contribute to residents’ comfort and convenience and support daily activities. Encourage the use of site elements that reinforce safety concepts, increase opportunities for social interaction, reduce maintenance costs, and consider environmental factors.

8. Establish clear rules and standards for the conversion of multi-family residential apartments to condominiums to ensure that the quality of the building, its furnishings, and surrounding environments is preserved and enhanced.
9. Promote the use of site planning, landscape design, community involvement, and physical and psychological barriers to enhance safety and security within multi-family residential developments. Apply the principles of Crime Prevention Through Environmental Design (CPTED).
10. Provide adequate and effective management and maintenance of multi-family residential and mixed-use developments to ensure well-maintained buildings and grounds, create a safe and secure environment, maximize resident satisfaction, and improve the stability of the community.

### 1-B. APPLICABILITY & INTENT OF THE GUIDELINES

The Multi-Family Development Guidelines are intended for use by the Southeastern Economic Development Corporation (SEDC) to evaluate multi-family development proposals that request financial or other assistance from SEDC. The guidelines may also be used to evaluate any multi-family and mixed-use project proposed in Southeastern San Diego, including private multi-family development. The Guidelines are applicable within SEDC’s Area of Influence (see map on previous page).

The Guidelines address the site planning, architectural, and landscaping components of development that have an impact on the physical and social fabric of the community. They also address on-site community facilities and safety/security issues. As such, these Guidelines form a standard by which SEDC will evaluate new and/or rehabilitated multi-family housing development proposals.

It is also anticipated that the Multi-Family Development Guidelines will be used as an informative reference for the following:

- Property owners and developers
- Building and landscape designers
- Residents of existing properties in the vicinity of new developments
- Members of the community-at-large
- Members of community planning groups

The intent of the Guidelines is not to limit creativity, but to give direction on the key principles that contribute to high-quality, multi-family developments. Every guideline included herein may not be achievable or applicable in all situations. However, it is anticipated that multi-family developments within the Southeastern Community will respond positively to the objectives of this document and that high levels of creativity will be used to achieve the intent of the Guidelines.

### 1-C. REGULATORY CONTEXT

All developments within SEDC's Area of Influence in the Southeastern Community are subject to the requirements of the current adopted City of San Diego General Plan, City of San Diego Land Development Code, the Southeastern San Diego Planned District Ordinance, and the policies of the Southeastern San Diego Community Plan as well as Redevelopment Plans in the Southeastern Community, where applicable. These Guidelines are intended to be used within these existing regulatory controls. (See Appendix B for a list of policy and regulatory documents that affect the Southeastern Community.)

It is recognized that provision of certain on-site community facilities often requires partnering with other agencies or funding sources that may have their own specific requirements. These Guidelines have been written to provide flexibility in meeting other agency requirements regarding the provision of community facilities; however, the requirements of these Guidelines shall not be used as a substitute for compliance with City of San Diego regulations or requirements.

### 1-D. COMMUNITY OUTREACH AND PARTICIPATION

Input from community stakeholders and institutions was incorporated in the 2000 Multi-Family Development Guidelines. A similar outreach process has been followed for the Multi-Family Development Guidelines Update, to ensure that input was received on multi-family design ideas and concerns, consistent with the stated Guidelines objectives, but also to include the four new tasks of sustainability, mixed-use, condominium conversions, and management and maintenance of for-sale developments.

Input was obtained from a Stakeholder Advisory Committee, comprised of residents, property owners, property managers, developers, and community members. In addition to hosting committee meetings, SEDC held two community workshops at their offices (see

Appendix C for meeting summaries), and also led a public outreach effort that included direct mailings to residents, community groups, apartment managers, developers, and design professionals. Input and comments gathered from the Stakeholder Advisory Committee Meetings and the Community Workshops have been incorporated and considered in these guidelines.

### 1-E. ORGANIZATION OF THE GUIDELINES

The Guidelines are organized into the following ten chapters which address the various components of multi-family and mixed-use residential design:

- Sustainability
- Site Planning
- Mixed-Use
- Building Design
- Landscape Design
- Community Facilities and Amenities
- Miscellaneous Site Elements
- Condominium Conversions
- Safety and Security
- Management and Maintenance

A list of *key objectives* is provided at the beginning of each chapter and serves as an overall guide to the development of high-quality mixed-use and multi-family developments. Each guideline is intended to support these key objectives. Some chapters provide recommendations in addition to guidelines. These are provided as additional information and as suggested techniques that can help accomplish the stated objectives and guidelines. Illustrations are also included to assist in communicating the intent of the guidelines and as examples of successful design strategies.

Appendix A is a Glossary of Terms and Acronyms used in the guidelines. Appendix B comprises a reference bibliography of relevant and helpful literature covering some of the topics and ideas expressed in the guidelines, as well as a list of the regulatory documents that were reviewed in preparation of these Guidelines and that affect development in the Southeastern Community. Summaries of the community meetings and workshops held are provided in Appendix C. These meeting summaries are included to convey the general content of the meetings.

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## 1-F. ADMINISTRATION OF THE GUIDELINES

SEDC staff administers the Multi-Family Development Guidelines. Whenever a development is proposed in the Southeastern community, SEDC recommends that the developer and/or the developer's agent contact SEDC staff as early as possible in the development process. Projects seeking SEDC financial assistance are required to contact SEDC and establish a formal review process prior to seeking land development approvals. An SEDC Project Manager will be assigned to the project. The Project Manager will oversee the project from start to finish and work with the developer to evaluate strategies for incorporating the guidelines into the development. A Project Checklist will be used by SEDC staff to evaluate how well the project meets the objectives of the development guidelines. The checklist may also be used to determine which projects receive funding from SEDC. The Multi-Family Development Guidelines recommend that developers submit specific documents, plans, specifications and supporting information to assist SEDC staff in evaluating the project. These documents should be submitted to the assigned Project Manager in the manner and time specified by the Project Manager.

## 1-G. OPPORTUNITY ICONS



Smart Growth Opportunity



Pedestrian Opportunity



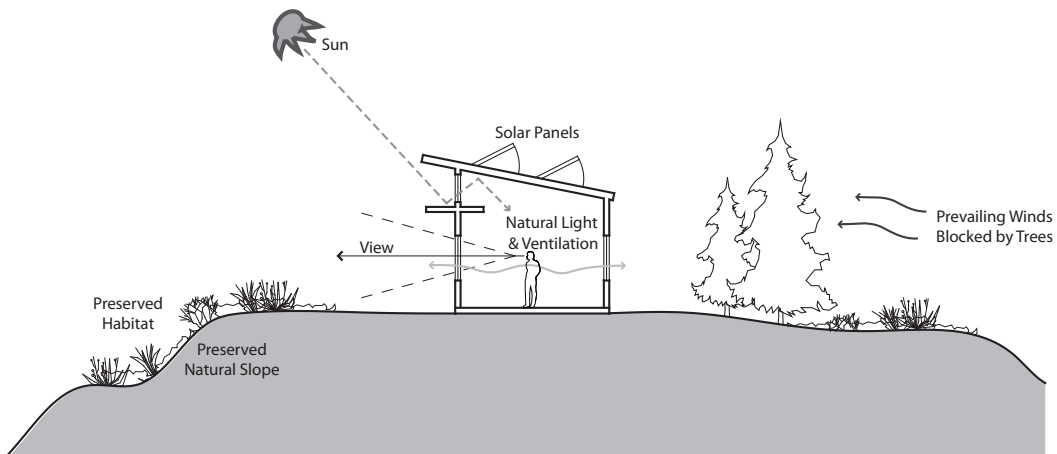
Green Opportunity

**INTENT:**

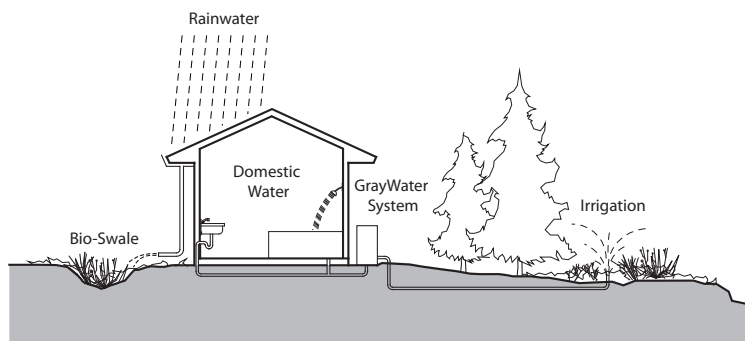
*Design buildings, landscape and open spaces that are environmentally sustainable and encourage resource conservation, energy efficiency, and quality living environments.*

**KEY OBJECTIVES:**

- ❑ **2-A. CONSERVATION OF NATURAL RESOURCES**  
Incorporate techniques and features that promote the conservation of natural resources (such as water, energy, materials and site landscape).
- ❑ **2-B. ENERGY EFFICIENCY**  
Design to maximize energy efficiency and reduce the heating and cooling costs of new structures.
- ❑ **2-C. QUALITY INDOOR AND OUTDOOR ENVIRONMENTS**  
Improve the quality of indoor and outdoor environments.



*When careful attention is given to site design and building placement, new developments can protect natural land forms & habitat, maximize their use of natural sunlight and ventilation, increase views and use existing site features to protect buildings from the elements.*



*As water becomes an increasingly scarce resource in the San Diego region, new developments will need to implement strategies for the conservation, reuse and harvesting of water.*


## CHAPTER 2: SUSTAINABILITY

### A: Conservation of Natural Resources

#### 2-A. CONSERVATION OF NATURAL RESOURCES

*Incorporate techniques and features that promote the conservation of natural resources (such as water, energy, materials and site landscape).*

##### **GUIDELINES:**

-  1. Through the use of compact building design, new developments should minimize their building footprint so as to maximize the amount of open space on site and, where possible, restore native landscape and habitat.
2. For developments proposed on vacant undeveloped land, the amount of site that is disturbed should be limited in order to protect and enhance the rich natural resources of the Southeastern Community, such as its creeks, canyons, trails, rolling topography, and spectacular views. An effort should be made to preserve the natural drainage patterns and existing native landscape of the site.
3. To maximize water efficiency, new landscape designs should incorporate landscape material that is drought tolerant, native, and/or water efficient. The use of California-friendly plants, shrubs and trees is also encouraged (for a list of *California-Friendly*® plants, see the Water Conservation Garden at Cuyamaca College's *Nifty Fifty* list). Water-intensive landscaping, such as turf grass, should be minimal and limited to areas of high use, such as active recreation areas. Turf strips should be avoided; groundcover or shrubs are more appropriate for narrow planting areas (See SEDC's *Going Native Naturally* Publication for recommended native and drought tolerant landscape design techniques).
4. To avoid wasting water or creating unnecessary runoff, new developments should install water-efficient irrigation systems, with automated controls and emergency shutoff valves (see Chapter 6-D: *Maintenance and Irrigation* for additional guidelines).
5. To better preserve and utilize our scarce water resources and to reduce or eliminate the use of potable water for irrigation, developments are encouraged to provide alternative irrigation sources through the use of gray water, rainwater harvesting, or future municipal recycled water (also known as purple pipe).
6. All new and renovated buildings shall provide water-efficient plumbing fixtures (such as low-flow toilets or aerated shower heads). Projects that exceed local and state requirements shall be looked upon favorably.
7. New developments are encouraged to prepare and implement a water conservation plan and best management practices for condominium and apartment complexes; to include storm water management quantity and quality control practices.



*Native and drought-tolerant plants can be attractive and conserve water*



*Greywater Tanks or "Living Machines" are one way to recycle and treat wastewater on-site*



8. All proposed developments should be constructed with high-quality and durable building materials to minimize the replacement costs and construction waste that result from periodic renovations. Where possible, developments should reuse existing site building materials and/or incorporate materials with recycled content to divert the amount of waste generated by construction and demolition.
9. Developments are encouraged to use regional materials (locally harvested, manufactured and/or appropriate to local climate) and rapidly renewable materials (such as bamboo, cork, wheat board, cotton insulation, or wool).
10. All developments shall provide an adequately-sized, conveniently-located and accessible area on site for composting and for the storage and disposal of recyclables (for recycling of paper, glass, plastic and metal waste).



*Rapidly renewable materials, such as bamboo or cork, can be used for countertops, flooring and other building materials*

**2-B. ENERGY EFFICIENCY**

*Design multi-family developments to maximize energy efficiency and reduce the heating and cooling loads of new structures.*

**GUIDELINES:**

1. Buildings should be sited and oriented to take advantage of natural daylight and prevailing breezes for increased cross ventilation, to reduce the need for mechanical air conditioning, and to enhance the functionality of ceiling fans. Buildings should be oriented and designed to reduce heat gain and minimize cooling loads (provide courtyards where possible).
2. Where orientation to the primary street conflicts with solar orientation, variations in the building facade or height should be applied to maximize access to natural light and ventilation.
3. Where possible, developments should reduce the amount of site paving; provide paving material that stays cool and allows water to filter through the soil; increase landscaped areas; and provide shade throughout the site in order to reduce ambient temperatures and solar heat gain on constructed surfaces.
4. Where exterior surface parking is provided, at least half the parking spaces should be covered by a shade structure and/or trees to minimize their visual impact and reduce the solar heat gain/ heat island effect produced when sunlight hits asphalt/ paved areas.
5. Canopy trees should be used to provide solar control for building windows, doors, and outdoor gathering areas. Strategically locate deciduous trees to allow winter sun yet provide summer shade. Take into account the different micro-climates of the southeastern community, where the western-most areas are cooler due to prevailing sea breezes, while areas to the east are warmer.



*Open pavers allow water to seep into the soil, reducing potential contaminated runoff*



*Photovoltaic panels can be mounted on roofs and carports and are a cost-effective and efficient source of renewable energy*

## CHAPTER 2: SUSTAINABILITY

### C: Quality Indoor and Outdoor Environments

6. In order to minimize light pollution and reduce energy use, developments should limit the amount of nighttime light that is projected upward and beyond the site, and should direct light into high-traffic areas of the development. Lighting in parking areas shall be arranged to prevent direct glare into adjacent dwelling units and onto neighboring uses/ properties.
7. Buildings should incorporate high-insulating materials and glazing. Projects that exceed local building code and California Building Code requirements for energy efficiency shall be looked upon favorably.
8. Leakage from electrical conduit, meters, ducts, and pipes should be prevented by providing adequate duct and pipe insulation and through continuous and proactive monitoring and maintenance of building systems.
9. Where possible, developments are encouraged to employ on-site, renewable energy (such as wind, solar or geothermal energy). In addition, or as an alternative to on-site, renewable energy use, developments may purchase renewable energy through a local utility company or certified provider.
10. Where possible, developments are encouraged to provide roof gardens, eco-roofs or other vegetated roof systems to help reduce the solar heat gain of building roofs and to serve as potential shared open space.



*A covered patio protects residents from the elements, while offering access to views, daylight and open space*

### 2-C. QUALITY INDOOR AND OUTDOOR ENVIRONMENTS

*Improve the quality of indoor and outdoor environments.*

#### **GUIDELINES:**

1. Developments should be designed to increase access to adequate daylight, views, open space, and other amenities, from all dwelling units. Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's residents. Private open space (such as a yard, patio or balcony) that is visible and accessible from inside the dwelling is strongly encouraged for all units. Open space areas should be located, oriented and designed to take advantage of sun orientation and prevailing breezes in order to provide a comfortable environment.
2. Where appropriate, developments should incorporate and enable the planting of "edible gardens" or small p-patches that are easily accessible and tended to by residents. Where possible and if adequately maintained and secured, these gardens can serve as community gathering spaces for residents and neighbors to share.
3. Canopy trees, shrubs and seasonal colorful plants should be used in parking areas, passive open space areas and adjacent to seating areas to provide shade, protection from wind, and visual interest.



*Access to natural open space, such as canyons, creeks, or hillsides*



*The roofs of buildings can be used as valuable open space and a good place to grow vegetable gardens*

4. Where possible, buildings should be designed with recessed windows and entries for increased shade and to protect residents from wind, sun and rain.
5. New construction and renovations should incorporate non-polluting and non-toxic materials and finishes with zero or low VOC's (volatile organic compounds).
6. All buildings in new developments are encouraged to provide a permanent, fixed and easy to clean entry mat and adequate exhaust systems in order to control pollutants at building entries.
7. Insulating materials and landscaping should be used to mitigate noises generated within and outside the project site.
-  8. New multi-family developments should consider the needs of an aging population that is increasingly mobile by following principles of universal design in the design and construction of interior and exterior environments. Care should be taken to facilitate access and mobility by providing barrier free environments, ample and adequate pedestrian walkways and elevator access, where possible.
9. New developments should be designed to address the specific challenges and opportunities of the project site, and not be replicas or versions of "stock plans" or model housing prototypes/ tracts.
-  10. New developments should contribute to neighborhood diversity, not homogeneity, by providing a variety of housing types, densities, open spaces and facilities that can serve a range of needs, populations, household sizes, and income levels in the neighborhood. Projects that provide multi-purpose facilities or mixed-use are encouraged.
-  11. Where possible and permitted by governing codes and regulations, developments that are adjacent to natural open space should provide multi-use trails for hiking, bicycling, horseback riding, and other uses so that residents have access to and can appreciate the open space.
-   12. To minimize automobile dependence and encourage the use of alternative modes of transportation, developments should integrate transit (where available) by incorporating existing and proposed transit stops and stations into the project design, by providing direct pedestrian connections to transit, and by orienting buildings to transit areas.
-  13. To minimize automobile dependence and encourage the use of alternative modes of transportation, developments should provide adequate, accessible and conveniently located bicycle parking and storage and accommodate bicycle traffic within the development by incorporating bike lanes or wide circulation paths to facilitate bicycle movement within the development. Where available, developments should provide connections to existing bicycle networks in the neighborhood.



*A simple door mat can capture most ground contaminants*



*Ramps can easily be integrated into a development's design*



*To encourage bike use, all new residential developments should include an area for bicycle parking*



#### INTENT:

*Arrange buildings, open space, parking and circulation to create a site design that is orderly, visually pleasing, and contributes both to the surrounding area and the development itself.*

#### KEY OBJECTIVES:

- 3-A. CONTEXT**  
Arrange buildings, open space, parking and circulation in a way that respects the context of the existing neighborhood, reflects its best design features, and generally is compatible with the character of existing high quality development.
- 3-B. HISTORIC RESOURCES**  
Respect and preserve existing historic resources and neighborhoods in the Southeastern Community in the design of buildings and landscape.
- 3-C. BUILDING SITING**  
Arrange buildings on the site so that they address the existing neighborhood and create quality open spaces.
- 3-D. OPEN SPACE & OUTDOOR RECREATION AREAS**  
Provide residents with accessible, comfortable and usable open spaces and play areas, where they can conduct social activities and engage in passive and active recreation.
- 3-E. PEDESTRIAN ENVIRONMENT & WALKABILITY**  
Encourage and enhance pedestrian circulation within and around the development.
- 3-F. BICYCLE & VEHICULAR CIRCULATION & PARKING**  
Provide convenient, secure and accessible parking that is well integrated into the development and does not overwhelm or conflict with pedestrian circulation and residential areas.
- 3-G. ACCESS TO DWELLINGS**  
Provide good and adequate access to individual dwelling units.



## CHAPTER 3: SITE PLANNING

### A & B: Context & Historic Resources

#### 3-A. CONTEXT

*Arrange buildings, open space, parking and circulation in a way that respects the context of the existing neighborhood, reflects its best design features, and generally is compatible with the character of existing high quality development.*

##### GUIDELINES:

1. New multi-family residential development should be compatible with high quality residential development in the immediate area through the use of complementary building arrangements, buffers, and avoidance of overwhelming building scale and visual obstructions.
2. Existing site amenities such as views, mature trees, and similar natural features unique to the site should be preserved and incorporated into developments whenever possible.
3. Where appropriate, new landscape should complement existing landscape materials, location, and massing on adjacent developments.
4.  Developments should relate directly to the adjacent street, present an attractive and interesting façade to passersby, and appear inviting. Developments that ignore the street and create an isolated enclave are strongly discouraged.
5.  Where public transit, such as the bus or trolley, is located near the development, site design should consider convenience and comfort factors for residents. These include direct access, widened sidewalks, shaded seating opportunities, and weather protection provided near public transit stops.
6. Buildings located on a hillside should step down with the slope in a terraced arrangement and should be screened with planting to avoid a “wall” effect. Structures should be designed to fit into the hillside, complement the land’s natural character and prevent erosion.



*Residential dwelling units that face the street and create an active presence on the street*



*Buildings arranged around a central open space/court*

#### 3-B. HISTORIC RESOURCES

*Respect and preserve existing historic resources and neighborhoods in the Southeastern Community in the design of buildings and landscape.*

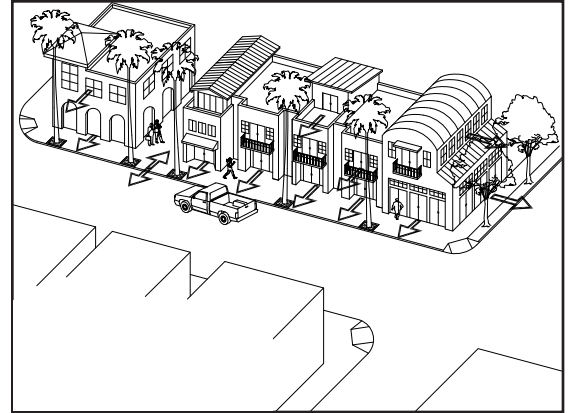
##### GUIDELINES:

1. New developments in historic districts are encouraged to use courtyard siting arrangements, where appropriate, to complement similar siting in the area.
2. Refer to the Sherman Heights & Grant Hill Park Historic Districts Design Guidelines for specific neighborhood guidelines related to these two historic districts.



*Front porches, stoops, balconies and arcades provide a positive street presence*

3. In the Sherman Heights and Grant Hill Park Historic Districts, new developments should preserve predominant lot sizes and contribute to the fine-grain pattern of development existing in the area.
4. Where a proposed development is located near historic buildings, consideration should be given to applying some of the same materials of the nearby historic buildings in the new development.
5. Where a proposed development is located near historic buildings, consideration should be given to applying some of the same building elements, such as porches, balconies, dormers, stoops, arches, roof designs, woodwork and moldings of the nearby historic buildings in the new development.
6. Building colors should fit within the context of colors in the neighborhood.
7. Tree species should match those historically present in neighborhood



*Buildings oriented toward the street with windows & entrances directly facing the street contribute to a more positive street experience*

### 3-C. BUILDING SITING

*Arrange buildings on the site so that they address the street and the existing neighborhood and create quality open spaces.*

#### GUIDELINES:

1. Buildings should be oriented and relate directly to the public street, internal streets and the surrounding neighborhood and generally create an attractive presence.
2. Where a proposed development faces a high-traffic, auto-oriented street, mitigation measures, such as landscape buffers and/or low patio walls, should be provided to reduce noise impacts and protect the privacy of residential units.
3. Doors and windows shall face and be visible from the street to allow residents to have “eyes on the street” for natural surveillance.
4. All portions of the development shall be well integrated into the project’s overall site design. The same design considerations shall be given to appearance, circulation, landscape, and safety issues in the siting of interior and accessory portions of the development.
5. Buildings should be sited and designed to minimize the number of units that directly look into the private living areas and private open space of neighboring units.
6. Buildings should be designed and arranged on site so as to create well-defined open spaces and common areas. For example, buildings can be clustered around courtyards, greenways, and plazas, or form the edge of a trail, creek or canyon.
7. Redevelopment sites should retrofit “superblocks” or “campus-style” developments to follow traditional neighborhood patterns and support greater cohesion and integration among structures and their surrounding neighborhood.



*New residential development that wraps around an existing historic building, using building setbacks and a similar palette of materials and colors so as not to “overwhelm” the historic building*



*The integration of a project’s design with design of the right-of-way directly adjacent to it can result in a more pleasant street environment and also contribute immensely to the quality of the development itself.*

## CHAPTER 3: SITE PLANNING

### D: Open Space & Outdoor Recreation Areas

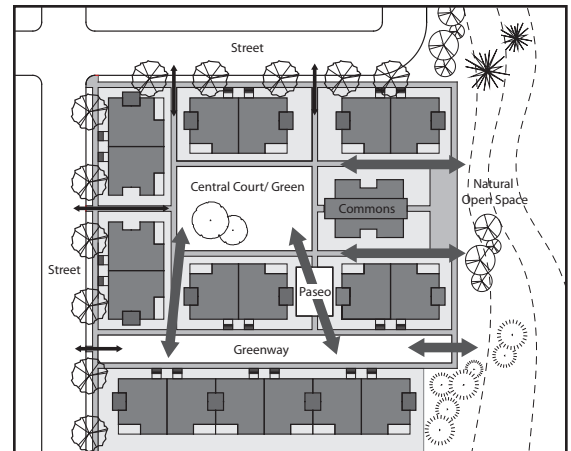
#### 3-D. OPEN SPACE & OUTDOOR RECREATION AREAS \*

Provide residents with accessible, comfortable and usable open spaces and recreation areas, where they can conduct social activities and engage in passive and active uses.

##### GUIDELINES:

1. Open space areas should be located, oriented and designed to take advantage of sunlight and prevailing breezes in order to provide a comfortable environment. Dark and completely shaded open spaces and common areas should be avoided.
2. Open space areas should have well-defined edges, such as walkways, buildings or landscape. Boundaries between private and common open spaces should be clearly defined by elements such as low walls or plant materials.
3. A series of connected open space areas of varying shape, appearance and usage are encouraged.
4. Multi-family developments should be designed to maximize equal access to daylight, views, open space, and other amenities from all dwelling units. Open spaces should be accessible to and conveniently located for the majority of units. Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's residents.
5. Private open space (such as a yard, patio or balcony) that is visible and accessible from inside the dwelling is strongly encouraged for all units.
6. Children's play areas shall be visible from as many units as possible and from private open space areas. Direct, convenient access from ground level units to the communal play area is encouraged.
7. Outdoor play areas shall be located adjacent to common building facilities, such as the laundry room or community center. Play areas shall not be located near public streets, parking, or entry areas unless physically separated by appropriate barriers such as walls, fencing, or dense landscaping.
8. Outdoor play areas should be designated for activities such as bicycle riding, skating, rope jumping and hopscotch. These active play areas shall be safely separated from vehicular use areas.
9. The physical capabilities and play behavior of various age groups, such as tots, older children and teens, are different. In large developments, separate, but not necessarily segregated, play areas or informal outdoor spaces should be provided for each group for safety reasons. Small developments may combine these play areas, such as a tot lot incorporated into the larger activity area for older children.

\* Refer to Chapter 10: Safety & Security *for surveillance of open space*



Large & small open spaces that are connected



Children's play areas should be designed to facilitate adult supervision

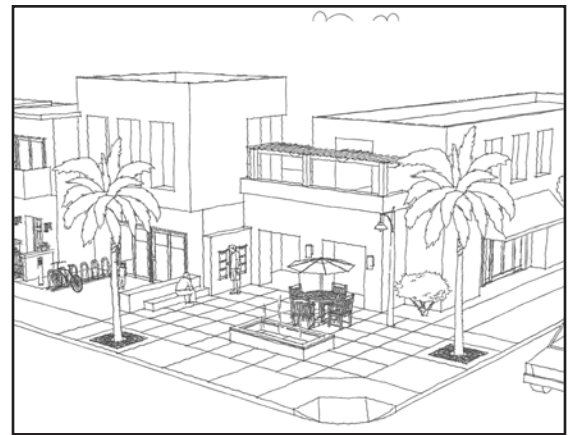


Buildings provide a clear edge or "walls" to the open space



10. Seating areas should be provided where adults can supervise children’s play and also where school-age children can sit. Seating location should consider comfort factors such as sun orientation, shade, and wind.

11. Developments should seek opportunities to provide pedestrian plazas, either within the interior of the development or at building street corners, to help activate street corners, provide a foreground to building entrances, and/or to serve adjacent uses (such as a retail space, café, management office, building lobby, laundry rooms, community room, etc.).



*Street corners provide an opportunity for small plazas and informal gathering spaces*

### **3-E. PEDESTRIAN ENVIRONMENT & WALKABILITY**

*Encourage and enhance pedestrian circulation within and around the development in order to increase safety, provide better access, diminish potential conflicts between pedestrians and automobiles, and encourage social interaction and community-building.*

#### **GUIDELINES:**

1. Developments should incorporate safe pedestrian connections to adjoining residential developments, commercial projects, open space and other compatible land uses.
2. Cross circulation between vehicles and pedestrians shall be minimized. A continuous, clearly marked walkway shall be provided from the parking areas to main entrances of buildings. The use of enhanced paving for crosswalks and entries is encouraged (such as brick, terra-cotta or stone pavers).
3. Walkways and/or corridors shall be provided between residences, parking areas, and all site facilities for safe access. Pedestrian walkways in parking areas should be provided, clearly identified, and made safe and attractive through the use of hardscape design, landscaping and lighting.
4. Access to dwelling units that combines vehicle and pedestrian uses should be avoided as this allows no room to personalize the front entry.
5. Walkways should be designed to encourage resident usage and minimize maintenance. To encourage social interaction, pedestrian circulation shall be designed so residents walk through communal landscaped areas en route to parking, common areas, and other facilities.
6. Walkways should be located to minimize the impact of pedestrians on the privacy of nearby residences or private open space. Avoid siting a walkway directly against a building. A landscaped planting area between walkways and building facades is strongly encouraged.



*Walkway through common open spaces and separated from the building edge*




*Internal walkways encourage socialization and natural surveillance*

## CHAPTER 3: SITE PLANNING

### F: Bicycle & Vehicular Circulation & Parking

7. Adequate, pedestrian-scaled lighting shall be provided along all walkways.

-  8. Proposed developments should provide an interconnected system of paths, sidewalks, corridors, and walkways that are safe and pleasant pedestrian environments, connect all dwelling units and common areas, are well-integrated with the surrounding neighborhood, and provide multiple pedestrian access points.


#### **RECOMMENDATIONS:**

1. Walkways shall be accessible to the elderly and disabled persons and in conformance with the Americans with Disabilities Act (ADA.)

### **3-F. BICYCLE & VEHICULAR CIRCULATION & PARKING**

*Provide adequate bicycle and vehicular circulation to and within a development. Provide convenient, secure and accessible parking for automobiles and bicycles that is well integrated into the development and does not overwhelm or conflict with pedestrian circulation and residential areas.*

#### **GUIDELINES:**

1. Parking areas should be designed to minimize their visual impact. One large parking area, where cars would dominate views and increase the perceived density of the development, shall be avoided.
2. Exterior parking areas shall be divided into a series of small parking courts with convenient access that relates to adjacent dwelling units.
3. For security reasons, dwelling units should have sight lines out to exterior parking areas, but these views should be partially filtered through use of appropriate landscape elements, such as trees.
-  4. Parking areas should be located in the development's interior and not along street frontages. Driveway openings along street frontages should also be minimized.
5. Parking structures, such as garages and carports, should be located where they do not obstruct natural surveillance. Natural surveillance and visibility should be considered in areas where parking is tucked under the building.
6. Blank walls with rows of garage doors that face the public street front shall be avoided. Single-car garage doors, rather than double-car garage doors, are encouraged. Landscaped areas should be provided around garages, tuck-under parking and underground parking entrances, including a few large areas to accommodate trees.



*Carports and garages with shade structures and landscaping*



*Accent landscaping and enhanced paving to accentuate a development's entrance*

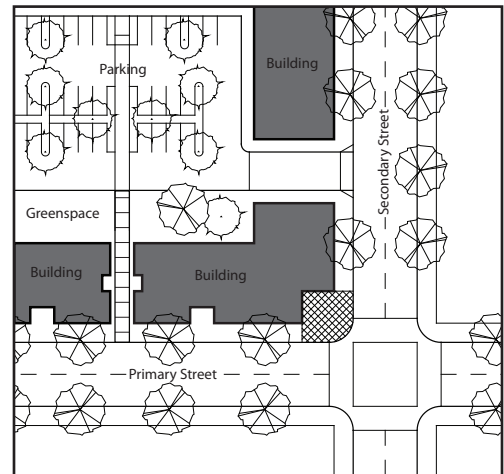


*Public parking areas are separated from private residential with retaining walls and landscape*

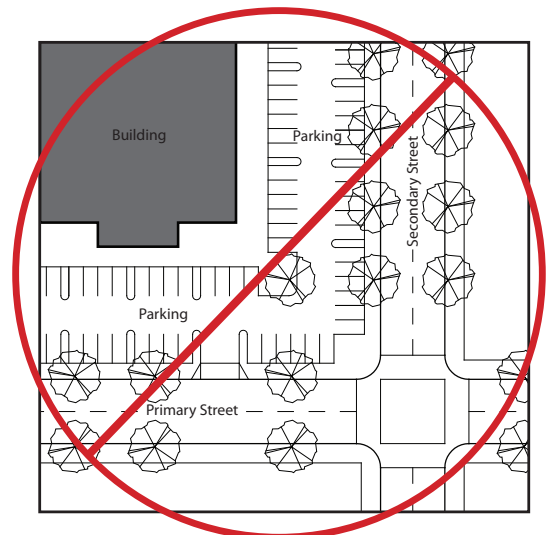
7. Entry drives shall have an adjacent pedestrian entry path. Special accents that define the main entry, create territorial reinforcement, and provide visual interest are strongly encouraged. Examples include architectural detailing, specialty lighting, textured paving, a hardscape decorative border strip along the driveway, and accent plant materials such as specimen trees and flowering plants.
8. For automobile driver convenience, entry driveway locations should be coordinated with existing or planned median openings, where applicable. The number of driveways into the development should be limited in order to reduce the number of street curb cuts.
9. Carports, detached garages, and accessory structures shall be designed as an integral part of the development's architecture. They shall be similar in material, color, and detail to the main buildings of the development. If prefabricated metal carports are used, architectural detailing consistent with the main building should be incorporated.
10. Parking courts shall be well designed, with consideration given to landscape, lighting, building massing, and pedestrian/vehicular circulation. Vehicle speeds should be controlled by appropriate signage, changes in roadway texture, and speed bumps, if necessary.
11. Visitor parking should be clearly identified and distributed throughout the development to provide convenient access to groups of dwellings. A gate should be provided in enclosed parking structures to separate resident parking from visitor parking.
12. Required disabled parking should be located adjacent to community facilities and designated disabled-accessible units.
13. All exterior parking areas should be landscaped at regular intervals with trees and other plantings in median strips, bio-swales, or planting boxes.
14. Landscape in parking areas shall be protected from vehicular and pedestrian damage by means of raised planting surfaces or curbs.
15. Where alleys are proposed within a development, these should be designed to accommodate pedestrian use as well as vehicular/ bike use through the provision of specialty paving, landscaping, shade structures, seating areas and other enhancements to make the alley a more pleasant environment that is conducive to multiple uses and safe for pedestrians.



*Provide opportunities for natural drainage and clearly marked pedestrian paths in parking lots*



**THIS:** *Parking at the rear and interior of a development is preferred*



**NOT THIS:** *Parking along the street frontages is discouraged and should be avoided, wherever possible*

# CHAPTER 3: SITE PLANNING

## G: Access to Dwellings

### 3-G. ACCESS TO DWELLINGS

Provide good and adequate access to individual dwelling units.

#### GUIDELINES:

1. The main entry to each dwelling unit shall be clearly visible from the nearest public circulation walkway. A porch, covered stoop, recessed area or similar entry feature shall be provided at each unit's front entry.
2. Each individual ground level unit should have its own private walkway to the front door.
3. A building's stairwell, and elevator if provided, should be centrally located to the units served and should be visible from as many units as possible. Ground floor units and units served by elevators shall be accessible to physically disabled persons.
4. In buildings with interior corridor access, individual dwelling unit entrances and doors should be accentuated with unique design features, such as recessed entries, specialty lighting, a change in materials and colors, or a dropped soffit. However, recessed entries shall remain visible from the corridor and not create pockets of space which may be considered unsafe or where people may hide.



Clearly marked entrance to individual dwelling unit

#### RECOMMENDATIONS:

1. Shared building entries should be limited to no more than four units, where possible.
2. Walkways and access to dwelling units should be designed to facilitate the moving of furniture by considering minimum widths, heights, and turning angles.
3. Access to interior corridor access buildings, when used, shall be limited to two entry points for security reasons.



Private entry patios and stoops

#### **INTENT:**

*Design and build high-quality, mixed-use developments that enhance the pedestrian environment, protect the privacy and security of adjacent residential uses, are compatible with the character of existing residential neighborhoods, and control the potential nuisances that may result from mixing residential and non-residential uses.*

#### **KEY OBJECTIVES:**

- 4-A. COMPATIBILITY**  
Design mixed use development to be generally compatible with the character of existing high quality residential development.
- 4-B. PRIVACY AND SECURITY**  
Protect the privacy and security of adjacent residential development and generally be compatible with the character of existing high quality development. Safeguard the safety and security of existing and adjacent residential developments and residents through the use of defensible design practices.
- 4-C. NUISANCES**  
Control the potential nuisances that may result from mixing non-residential uses with predominantly residential uses and minimize potential conflicts with surrounding residential uses in regard to parking, loading and hours of operation.
- 4-D. STOREFRONT DESIGN**  
Provide high-quality storefronts that contribute positively to the street experience and enrich the character and identity of the surrounding neighborhood.
- 4-E. ACCESS AND VISIBILITY**  
Design mixed-use developments and storefronts to enable good access, visibility, and transparency, while also improving the pedestrian environment.

## CHAPTER 4: MIXED-USE

### A: Compatibility

#### 4-A. COMPATIBILITY

Locate and design mixed use developments to be generally compatible with the character of existing commercial areas and high quality residential development.

##### GUIDELINES:

1. Wherever possible, mixed-use development should be located in neighborhoods that already have a strong commercial base and/or active uses on the street. Where existing commercial is in close proximity to the proposed development, efforts should be made to provide connections to it and establish a direct relationship to the existing commercial development(s).
2. Mixed-use should be located in areas where small-scale commercial fits into a residential neighborhood or in transition areas where commercial abuts residential.
3. Mixed-use developments may include live/work units. The work space should be directly accessible from the street and relate directly to the street.
4. To facilitate building compatibility with neighboring structures, new mixed-use buildings should provide transitions in building height and mass where the development meets adjacent uses.
5. Storefront design, materials & colors should complement the overall architectural style and character of the development.
6. Mixed-use developments should provide continuous and consistently-designed right-of-way improvements, so that the mixed-use development reads as one unified project.
7. Wherever possible, mixed-use should be provided in development sites that are adjacent to transit, trolley, and identified village center sites along the Market Street, Euclid Avenue, and Imperial Avenue corridors.
8. The types and mix of uses proposed for mixed-use developments should address the particular needs, population groups, and existing resources of the community. For example, bars may be less desirable in areas with a high concentration of families with children.



A change in building materials helps distinguish commercial from residential uses



Awnings, trellises, and arcades can be used to identify and accentuate commercial uses on the ground level



Mixed-use buildings that are designed around public open space and transit stops encourage the use of alternative modes of transportation

**4-B. PRIVACY AND SECURITY**

*Protect the privacy and security of adjacent residential development and generally be compatible with the character of existing high quality development. Safeguard the safety and security of existing and adjacent residential developments and residents through the use of defensible design practices.*

**GUIDELINES:**

1. For privacy and security, and to better differentiate residential and non-residential uses in mixed-use developments, ground-level residential units may be higher than the street level.
2. Where possible and for increased privacy and security, private residential areas should not directly face non-residential uses.
3. Where a mixed-use building faces adjacent residential uses, provide screens, shutters, setbacks or other design elements at building windows to protect the privacy of the residential neighbors.
4. New mixed-use developments should provide a clear demarcation of public and private areas, as well as residential and non-residential areas through the use of separate building entrances, building and landscape design features, building separations, access control or a change in materials.
5. For privacy and security, and to minimize nuisances, mixed-use developments should avoid placing rows of garage doors and/or “back of house” areas adjacent to and facing residential uses. These uses should be located away from the street and to the rear of the development or off an alley.
6. For privacy and security, mixed-use developments should avoid having residential unit windows directly facing each other, should not locate residential unit windows directly above cooking areas or other uses which produce strong odors, and should avoid locating residential unit windows directly above main building lobbies or entrances.
7. Where possible, locate high-traffic areas of a mixed-use development adjacent to non-residential uses.
8. To ensure the consistent and coherent management and maintenance of different uses of a mixed-use development, separate management and maintenance of residential and non-residential building uses is discouraged. Where separate management and maintenance is required, the different management and maintenance companies/ personnel shall follow the same required Management and Security Plans for the entire development.



*Mixed-use developments can protect the privacy and security of residential areas by providing a few steps up to the private entrance of individual residences to help differentiate public and private uses.*



*Awnings, canopies and overhangs, as well as a change in materials at the ground level, help to distinguish commercial from residential uses*

## CHAPTER 4: MIXED-USE

### C: Nuisances

#### 4-C. NUISANCES

Control the potential nuisances that may result from mixing non-residential uses with predominantly residential uses and minimize potential conflicts with surrounding residential uses in regard to parking, loading and hours of operation.

##### GUIDELINES:

1. To reduce potential conflicts, disturbances and security problems, mixed-use developments should establish clear and acceptable rules and hours of operation for non-residential uses. These operating rules should be approved by the Homeowner's Association or the Property Management Company that represents the multi-family residential owners/ tenants.
2. Where possible, mixed-use projects should be designed so as not to promote or increase fast-moving, through traffic in adjacent residential neighborhoods.
3. Mixed-use developments should limit the amount of light reflected from non-residential uses to residential areas of the development.
4. New mixed-use developments should provide high acoustic insulation between different occupancy types to reduce the transmission of noise from one occupied area to another.
5. To minimize disturbances to residential uses, all non-residential work areas of a mixed-use development should be contained within an enclosed building area (outdoor commercial/ industrial, such as mechanical yards, are discouraged). Outdoor storage is prohibited (except for residential uses, where adequately screened).
6. Mixed-use developments should minimize the impact of service areas and truck traffic, deliveries, and staging on the residential areas of the development. This can be accomplished with screening, by providing separate access, parking and staging areas, or by establishing clear rules of operation for the joint use of these areas.
7. The use of berms, planting, setbacks and architectural design to mitigate noise rather than conventional wall barriers is encouraged for mixed-use projects and developments next to transit, trolley, highways or other potential noise-generating uses.
8. Open space, such as pedestrian plazas, paseos, greenways and courtyards should be used to serve dual functions as valuable community space and also as buffers between different uses.



Most of the storefront is transparent and faces the street



Individual entries allow space for personalized signs



4-D. STOREFRONT DESIGN

Provide high-quality storefronts that contribute positively to the street experience and enrich the character and identity of the surrounding neighborhood.



GUIDELINES:

1. Mixed-use developments are encouraged to use awnings, canopies and/or trellises to reduce glare, provide shelter and shade along storefronts. Use the door, window or structural bay patterns of the building façade to guide the placement of awnings or other fenestration and appurtenances. Large, multi-story or internally-lit fabric awnings are prohibited.
2. New mixed-use developments should avoid cluttered facades by controlling the placement, size, material and lighting of signs.
3. To enliven the street and contribute to a pleasant pedestrian environment, new mixed-use developments should have storefronts that face the street, are contiguous to the sidewalk and, wherever possible, encourage the use of sidewalks for outdoor seating, dining or cafes.
4. Storefronts and other street facades in mixed-use developments should preserve views to and down the street and should not obstruct pedestrian traffic.

## CHAPTER 4: MIXED-USE

### E: Access & Visibility

#### RECOMMENDATIONS:

1. Fabric awnings should be made of canvas or Neoprene impregnated fabric; the use of vinyl is discouraged. The height of the awning itself shall be limited to no more than 1/3 of the overall storefront height; the width to a maximum of 20 feet; and the depth to maximum of 6 feet, with an unobstructed placement height of a minimum 8 feet and a maximum 10 feet.

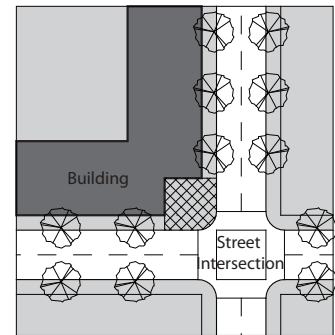
#### 4-E. ACCESS AND VISIBILITY

*Design mixed-use developments and storefronts to enable good access, visibility, and transparency, while also improving the pedestrian environment.*

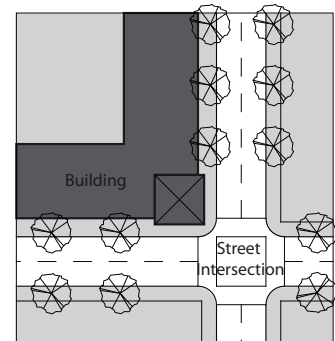
#### GUIDELINES:

1. The number of street curb cuts in mixed-use developments should be limited by such measures as designing shared driveways or by tucking auto access in the rear of the site.
2. Commercial and guest parking in mixed-use developments should be located in a convenient and readily accessible area, so as to avoid the use of residential parking by building tenants or patrons.
3. Access to residential areas in mixed-use developments should be restricted through the use of separate entry gates and doors, electronic key access, or other access control mechanisms.
4. Business lobbies, entries and other high-traffic areas in mixed-use developments should be oriented toward the street, with direct pedestrian access from the street.
5. To enhance visibility and street presence, storefronts in new mixed-use developments should contain clear openings and windows for a minimum of 60% of the total area of the first floor façades facing streets or open spaces.
6. The design of mixed-use developments should accentuate street and building corners by incorporating distinct architectural features, by changing materials and/or by increasing the overall building height at building corners.
7. Pedestrian entries to commercial and retail should be from the street, with individual entries provided for each tenant.
8. Wherever possible, pedestrians should not be required to cross parking lots to access storefronts or commercial areas of a mixed-use development.
9. The first level of a vertical mixed-use development should be designed to accommodate a variety of uses and flexible commercial space arrangements. (A minimum 10 foot floor-to-floor height allows commercial office or retail).

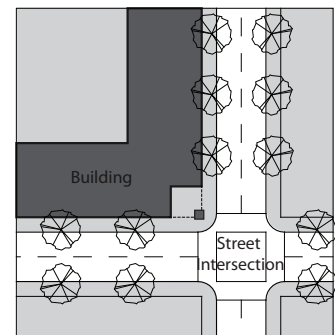
#### Distinct Treatments at Building Corners



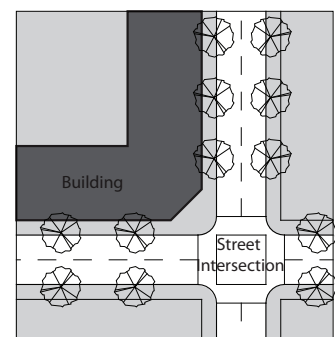
*Small "Plaza"*



*Accentuated "Tower"*



*Recessed Entry*



*Chamfered Corner*

#### INTENT:

*Construct high quality residential buildings and environments that address the context of existing communities, incorporate sustainable design practices and are visually pleasing to the community and residents.*

#### KEY OBJECTIVES:

- 5-A. FORM AND CHARACTER**  
Encourage architectural design that is consistent with the overall character of the proposed development and its surrounding neighborhood.
- 5-B. SCALE AND HEIGHT**  
Control the scale and height of buildings.
- 5-C. ARTICULATION**  
Modulate facades to provide visual interest and variety.
- 5-D. ENTRIES & STAIRS**  
Accentuate building and individual dwelling unit entries and stairs.
- 5-E. MATERIALS & COLORS**  
Use materials and color as important design elements and select quality building materials that are consistent with the overall development.
- 5-F. ROOFS**  
Design roofs that reflect the neighborhood context and add visual interest.
- 5-G. MECHANICAL EQUIPMENT AND VENTS**  
Screen mechanical equipment and vents so they are well integrated with the development and are not a nuisance to residents and neighbors.

# CHAPTER 5: BUILDING DESIGN

## A & B: Form & Character & Scale & Height

### 5-A. FORM & CHARACTER

Encourage architectural design that is consistent with the overall character of the proposed development and its surrounding neighborhood.

#### GUIDELINES:

1. Where the neighborhood has a recognizable architectural theme, style, or character (such as location in a historical district), it should be considered for incorporation into the development's design.
2. To create a unified appearance, all support buildings in the development, such as community rooms, gymnasiums, laundry facilities, carpools, garages, and the management office, shall be compatible in architectural design with the rest of the development.
3. Establish a pattern and hierarchy of building massing and forms to help reduce the visual bulk of the development.

### 5-B. SCALE AND HEIGHT

Control the scale and height of buildings.

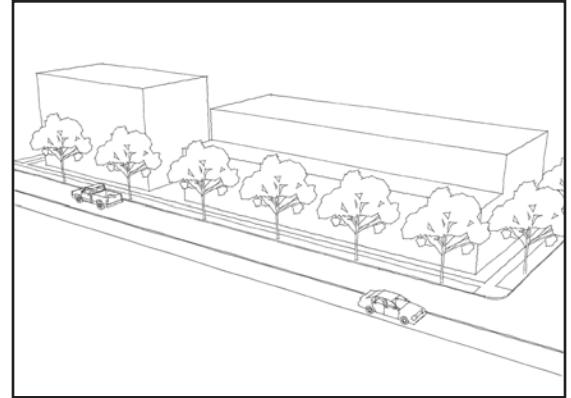
#### GUIDELINES:

1. Buildings shall incorporate smaller-scale architectural elements, such as bay windows, porches, projecting eaves, awnings, and similar elements, to add visual interest and reduce the scale and mass of buildings.
2. Varied or stepped building heights are encouraged, both to provide visual interest and give the appearance of a collection of smaller structures.
3. Building heights at the development's edge should be considered within the context of the project's surroundings, street widths, the adjacent uses, and the distance from adjacent buildings. The development's building height should create a transition from the heights of any adjacent existing residential development, rather than form abrupt height changes.

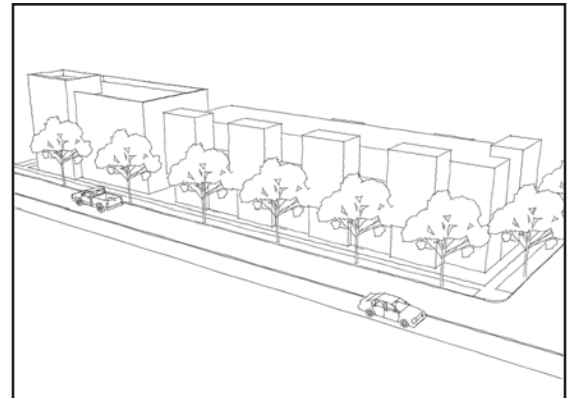


Height transition from existing one-story dwelling to new two-story development

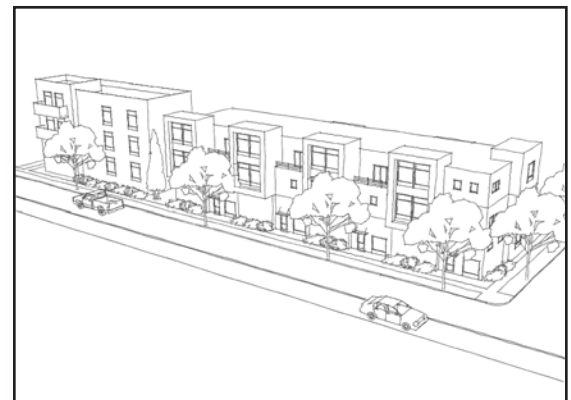
#### Elements of Building Form & Character



**Scale:** The scale of a building can be reduced by breaking up the project into two or more buildings and by stepping back upper levels.



**Massing:** The massing and bulk of a building can be reduced by establishing a pattern of smaller forms that help identify individual townhomes or dwelling units



**Articulation:** The character of a building can be better articulated by coordinating window locations and sizes with the massing

#### 5-C. ARTICULATION

*Modulate facades to provide visual interest and variety.*

##### **GUIDELINES:**

1. Boxy and monotonous facades that lack human scale dimensions and have large expanses of flat wall planes shall be avoided. A defined palette of design elements, such as recessed windows, pop-outs, bay windows, decorative trim and other treatments shall be used selectively and deliberately to add visual interest to the facade. Windows of varied shape, size, and placement are encouraged.
2. Building offsets are required by City of San Diego regulations; however, where it would enhance the overall development, building designers are encouraged to use other creative design solutions, such as color contrast and smaller offsets, to meet the intent of the building offset regulations.
3. Where allowed by the building code, building facades that enclose stairwells should include residential-type windows to reduce the visual bulk of the stairwell and enhance safety. Architectural treatments should also be applied to elevator shafts and stairwells to reduce their visual mass.
4. To provide visual interest and avoid an identical appearance, garage doors should incorporate some architectural detailing that is consistent with the overall development's architectural design, such as patterned garage doors, painted trim, or varied garage door colors.



*Artistic Entry Gate*



*Design elements that add visual interest and human scale*



*Color and windows help make Stairwells and Elevator Shafts a positive design element*

#### 5-D. ENTRIES & STAIRS

*Accentuate building and individual dwelling unit entries and stairs.*

##### **GUIDELINES:**

1. Building lobbies, where provided, should be located in a prominent and visible area of the site, have direct access from the primary street frontage, and contribute to the image and identity of the development. Wherever possible, the mailboxes, bulletin boards, reception desk, and other common areas and amenities (where provided) should be located in or connected to the lobby.
2. Courtyard doors or gates used at building entries shall be attractively designed as an important architectural feature of the building or development.
3. Individual entries shall have a strong relationship with a fronting street, internal walkway, or courtyard, as appropriate to the overall siting concept. A transitional area from the public space or walkway to the private dwelling unit entry, such as a porch, steps, or landscaped walkway, shall be provided.



*Individual entry porches provide opportunities to personalize space*

## CHAPTER 5: BUILDING DESIGN

### E: Materials & Colors

- Each dwelling unit's entry shall be emphasized and differentiated through architectural elements such as porches, stoops, or roof canopies, and detailing such as paint color, trim, materials, or awnings. Opportunities should be provided for residents to personalize their entry by providing ground level space or a wide ledge for potted plants.
- Whenever possible, second floor dwelling units should be served by individual flights of stairs. Where appropriate for the architectural style, the stairway design shall be open to allow views for natural surveillance.
- Where prefabricated metal stairs are used, additional design features such as screen walls, enhanced railings, or accent colors should be used to enhance their appearance. The additional design features shall be consistent with the overall building design.

#### 5-E. MATERIALS & COLORS

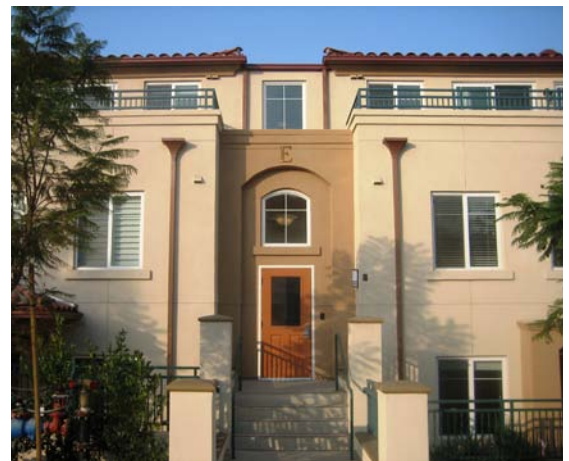
*Use materials and color as important design elements and select quality building materials that are consistent with the overall development.*

##### **GUIDELINES:**

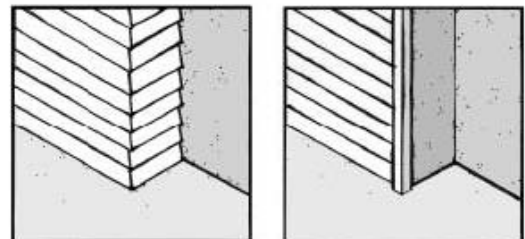
- The development's dwelling units, community facilities, and parking structures shall be unified by a consistent use of building materials, textures, and colors. Exterior columns or supports for site elements, such as trellises and porches, shall utilize materials and colors that are compatible with the rest of the development.
- Building materials shall be durable, require low maintenance, and be of high quality. Frequent changes in building materials should be avoided.
- Color should be used as an important design element in the development's appearance. The predominant colors for main buildings and accessory structures should be limited, should match, and should be generally consistent with an overall color theme for the development. Compatible accent colors are encouraged to enhance important building elements.
- The color of relief, decorative trim, and wood frames should be distinctive yet compatible with the overall building color. Bright or intense colors should be reserved for significant architectural massing, refined detailing such as grillwork, or more transient features such as awnings.
- Materials such as brick, stone, copper, etc. should be left in their natural colors. Such materials should not appear thin and artificial. Veneer should turn corners and avoid exposed edges.



*Ledges and niches allow for personalization of space*



*Use of color to accentuate building entry*



*Veneer materials should turn corners and avoid exposed edges*

### **5-F. ROOFS**

*Design roofs that reflect the neighborhood context and add visual interest.*

#### **GUIDELINES:**

1. Roof pitches and materials should consider the prevailing roof types in the neighborhood, including flat roofs, hipped or gabled roofs, and mansard roofs.
2. Roof lines shall be broken up and varied within the overall horizontal plane. Combinations of roof heights that create variation and visual interest are encouraged.
3. Roofs of accessory structures, such as barbecue areas or carports for example, should be compatible with the overall architectural design of the remainder of the development.



*A select palette of materials and colors can be used to differentiate and emphasize entries, individual unit balconies, and the base of buildings*

### **5-G. MECHANICAL EQUIPMENT AND VENTS**

*Screen mechanical equipment and vents so they are well integrated with the development and are not a nuisance to residents and neighbors.*

#### **GUIDELINES:**

1. Roof-mounted mechanical equipment visible from buildings or a public street should be screened in a manner consistent with the appearance of the building, including materials and color.
2. Mechanical equipment on the ground should be screened from view. Utility meters and equipment should be placed in locations that are not exposed to view from the street or they should be suitably screened, including the use of landscape materials. Screening devices should be compatible with the architecture and color of the adjacent buildings.
3. Roof flashing and vents exposed to public view should be painted to match adjacent surfaces or concealed in a manner consistent with the building's appearance.



*Varied building heights and upper floor setbacks provide an opportunity for different roof pitches and styles*



*Heavy mechanical equipment that is normally located on the roof of a building should be enclosed with louvers, metal grates, or other screening materials to soften their visual impact on neighbors*





#### INTENT:

*Design and incorporate landscape materials that enhance the appearance of the surrounding neighborhood, contribute to quality open space and living environments, and help define an individual identity for multi-family residential developments.*

#### KEY OBJECTIVES:

- 6-A. SUSTAINABLE LANDSCAPE**  
Refer to Chapter 2: Sustainability for sustainable landscape strategies
- 6-B. DEFINITION AND IDENTITY**  
Use landscape elements to provide definition and identity to certain areas or portions of a development.
- 6-C. SCREENING**  
Employ landscape as a natural screen for service areas and potential nuisances
- 6-D. MAINTENANCE AND IRRIGATION**  
Implement adequate maintenance and irrigation techniques to ensure the long-term health of the development's landscape.

## CHAPTER 6: LANDSCAPE DESIGN

### A & B: Sustainable Landscape & Definition & Identity

#### 6-A. SUSTAINABLE LANDSCAPE \*

#### 6-B. DEFINITION AND IDENTITY

*Landscape design and the selection of appropriate plant materials are an important design component of multifamily developments. Use landscape elements to provide definition and identity to certain areas or portions of a development.*

#### **GUIDELINES:**

1. The development's budget should provide for quality landscape design, proper installation and plant sizes that are mature and beautify the development within a reasonable period of time.
2. Landscape shall be used to create an attractive appearance, unify elements within the development and help the development fit within or complement its surroundings. Specific standards for the amount of landscape to be provided are contained in the Landscape Regulations Section of City of San Diego's Land Development Code.
3. Use of landscape is encouraged to define and accentuate specific areas, such as building and parking lot entrances and the main walkways to community facilities.
4. Hardscape materials shall be consistent with the architectural design or style of the development. The use of interlocking pavers, scored concrete, or rough-textured concrete to define site entries is strongly encouraged.
5. Specimen trees and accent plant materials should be used at major focal points, such as the entry to the development or where major walkways intersect with the common open space area.
6. Landscape design and plant materials should be used to help define property lines, the edges of common open space areas, and to distinguish the boundary between private and common open space areas. This can be accomplished by providing strong edges through a distinct change of plant materials, forms, heights and/or colors. Landscaped entry walkways leading from public space to the private dwelling units should use different plant material to reinforce the territorial transition from public to private space.
7. Use plantings to soften building lines and emphasize the positive features of the site. Use plantings to create shadows and patterns against walls.
8. Use dense landscape materials to physically separate children's outdoor play areas from vehicular parking or entry areas.



*Landscape that provides a unifying street appearance*



*Garden walls, plant strips, and shrubs provide an edge and buffer between the public way and private areas*



*A row of plants that follow and define the walkway edge*

\* **Refer to** Chapter 2: Sustainability

9. Canopy trees, shrubs and seasonal colorful plants should be used in parking areas, passive open space areas and adjacent to seating areas to provide shade, protection from wind, and visual interest. Trees with open branching structures and less dense foliage should be used to allow “filtered” views to parking lots for security purposes.

### **6-C. SCREENING**

*Employ landscape as a natural screen for service areas and potential nuisances*

#### **GUIDELINES:**

1. Landscape materials, such as vines, hedges, shrubs, berms or garden walls should be used to help screen mechanical equipment, trash enclosures, parking garages/ lots, maintenance areas, and utilities so that these are not exposed to view from the street, major walkways, or residences within the development.
2. Use vines, shrubs, and trees around garages, tuck-under parking spaces, and underground parking entrances to reduce their visual dominance.
3. Use shrubs to soften building foundations or for screening purposes. Shrub planting should be avoided where security and safety sight lines need to be maintained. Excessive use of shrubs can create security concerns and increase maintenance efforts.



*Landscape materials can help soften building edges and corners and accentuate entries*

### **6-D. MAINTENANCE AND IRRIGATION**

*Implement adequate maintenance and irrigation techniques to ensure the long-term health of the development’s landscape.*

#### **GUIDELINES:**

1. Landscape areas should generally use a three-tiered planting system consisting of ground cover; shrubs and vines; and trees. The use of bark, gravel or leaf mulch to hold in soil moisture is required in all shrub and ground cover areas. The use of gravel should be limited and synthetic materials, such as Astroturf, are discouraged.
2. A combination of spray, bubble and drip irrigation systems is recommended, including automatic scheduling controls and moisture sensors to ensure water efficiency (See SEDC’s *Going Native Naturally* publication for additional irrigation tips and recommendations).
3. Irrigation systems should be inspected and repaired regularly. Residents should be encouraged to report irrigation system malfunctions to management as soon as they are detected.



*Vines are used to screen water valves and fire suppression equipment*

## CHAPTER 6: LANDSCAPE DESIGN

### D: Maintenance & Irrigation

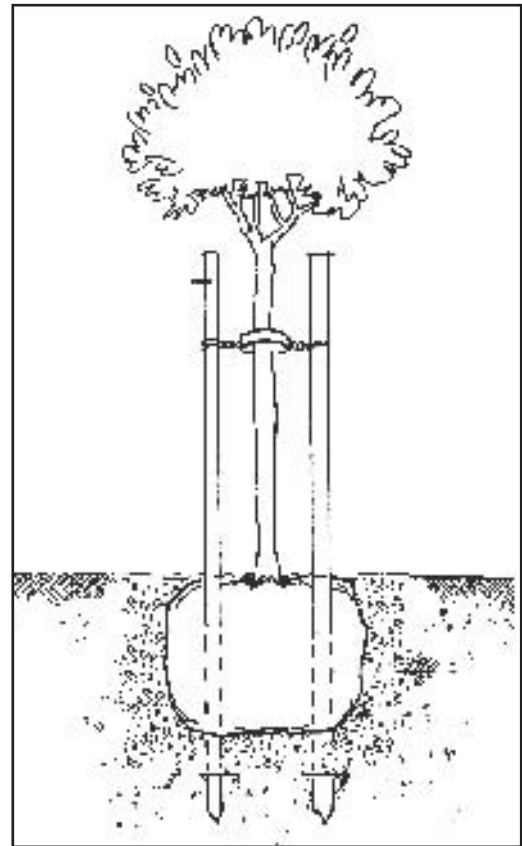
4. All irrigation systems shall be designed to reduce vandalism by placing controls in an appropriate enclosure in a secure location. Locking Quick Coupler Valves should be located in landscaped areas near enclosures.

#### RECOMMENDATIONS:

1. Vines and climbing plants on buildings, trellises, perimeter walls, and fences are encouraged, both to provide an attractive appearance and to minimize graffiti. The maintenance implications of such landscape should be considered.
2. Trees and shrubs should be selected based on their mature size and root characteristics. Plants with root systems that uplift hardscape materials or are considered invasive shall be avoided.
3. Trees and shrubs should not be planted so close together that they create maintenance and security problems at maturity. They shall not completely obstruct views into the development from the public right-of-way, especially views to dwelling entries and common open space areas.
4. Tree height and spread should consider the location of light standards in order to avoid conflicts and maintenance problems as the tree grows. Plant materials shall not interfere with lighting or restrict access to fire hydrants or fire alarm boxes.
5. Trees or large shrubs should not be planted under overhead utility lines or over underground utilities if their growth might interfere with those public utilities. Contact SDG&E for a list of acceptable trees and planting practices near public utilities.
6. All young trees shall be securely staked with double staking and/or guy-wires. Stakes should be lodge pole pine stakes with soft rubber ties that loop around the trunk. Root barriers should be used for any tree placed in paved or other situations where roots could disrupt adjacent paving/curb surfaces.
7. Automatic irrigation controllers shall be installed to ensure that landscaped areas will be watered properly. Solar exposure should be considered when determining irrigation control zones. Rain shut-off devices should be provided at each automatic controller. Backflow prevention devices and anti-siphon valves shall be provided in accordance with City of San Diego regulations.
8. Sprinkler heads and risers should be protected from pedestrians and car bumpers. "Pop-up" heads or low flow irrigation systems that are designed to withstand such conditions shall be used near curbs, sidewalks and internal walkways.

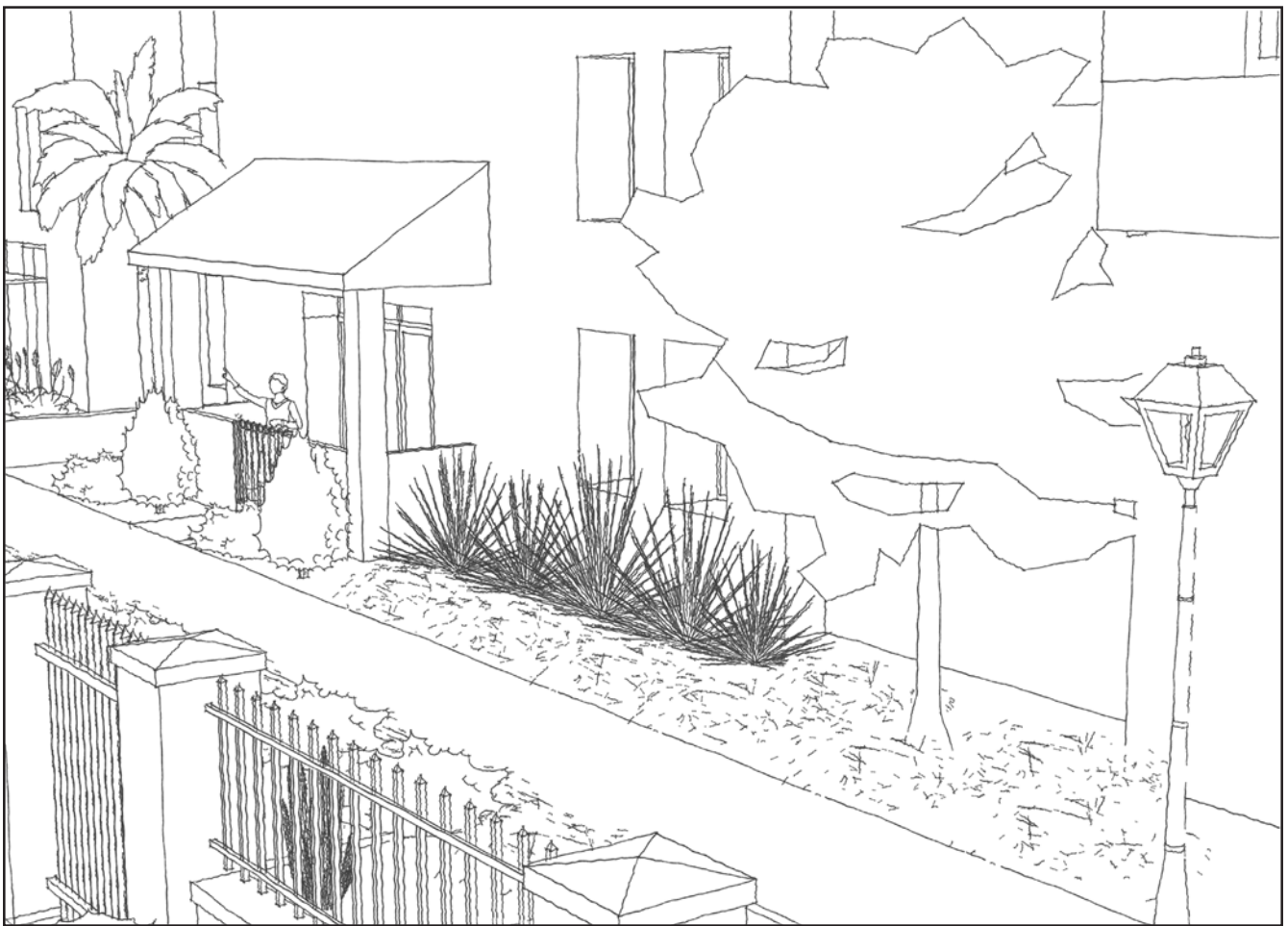


*Drip irrigation is often more effective and conserves water*



*Trees should be securely staked*

9. The landscape irrigation system shall be designed to prevent water run-off and overspray.
10. To prevent water damage to foundations and building facades, an “irrigation free zone” shall occur at all building foundations by locating irrigation heads at least 12 inches from the face of any building. The planting root balls of spreading shrubs can be placed just outside this 12-inch zone and foliage can still spread into the irrigation free zone to soften building foundations.



*A variety of shrubs, plants and trees can be used to complement and define different areas of a development*



#### **INTENT:**

*Provide on-site community facilities to address service needs within the development, to help establish social ties and encourage a sense of community.*

#### **KEY OBJECTIVES:**

- 7-A. SENSE OF COMMUNITY**  
Build a sense of community by providing opportunities for socialization, formal and informal gathering, and for the use of amenities and facilities by the larger community.
- 7-B. COMMUNITY NEEDS AND PROGRAMS**  
Provide facilities, amenities and programs that address community needs and are appropriate and adequate for the multi-family development proposed and its surrounding neighborhood.

## CHAPTER 7: COMMUNITY FACILITIES AND AMENITIES

### A & B: Sense of Community & Community Needs & Programs

#### 7-A. SENSE OF COMMUNITY

*Build a sense of community by providing opportunities for socialization, formal and informal gathering, and for the use of amenities and facilities by the larger community.*

##### GUIDELINES:

1. The location of on-site community facilities, such as a gym, day care center or learning center, should be considered for use by the larger community as well as by the development's residents, wherever possible.
2. Informal outdoor gathering areas and pedestrian nodes that can function as community gathering spaces should be created and incorporated into the overall site design. These areas should relate to the development's common facilities, such as the play areas, courtyards, barbecue area, and community buildings.
3. Dwellings, walkways, and common areas should be arranged so that it's possible for neighbors to meet one another through the natural and daily use of the development.
4. The distance between units facing each other across a common landscaped open space should be sufficient to allow outdoor use and gatherings and to protect the privacy of individual dwelling units.
5. Community facilities and amenities should be located next to proposed and existing open space to enhance their access and visibility and to allow them to become focal points of the development.
6. New developments should take advantage of opportunities to incorporate public art and cultural amenities in the buildings, common areas, and open space areas of the project. Collaboration with local artists, residents and community members is encouraged during the design and construction of the project.

#### 7-B. COMMUNITY NEEDS AND PROGRAMS

*Provide facilities, amenities and programs that address community needs and are appropriate and adequate for the multi-family development proposed and its surrounding neighborhood.*

##### GUIDELINES:

1. The quantity, size, and type of community facilities provided should be appropriate for the development's expected residential mix. The needs of the larger surrounding neighborhood should also be considered.



*This courtyard serves multiple uses as circulation, open space, and play area*



*Gymnasiums and workout rooms provide opportunities for residents to meet and socialize*




*Public art can be well incorporated into any development*



## CHAPTER 7: COMMUNITY FACILITIES AND AMENITIES

### B: Community Needs & Programs

2.  Proposed developments should survey existing neighborhood services and land uses within a 1/2 mile radius of the proposed project site and provide a summary of findings. Development proposals should evaluate opportunities to provide services and/or land uses not currently available in the neighborhood within the proposed development. Wherever possible, proposed developments should provide pedestrian connections and access to existing nearby facilities.
3. Outdoor seating areas for passive social activities (such as reading, conversing, or playing chess or dominoes) are an important part of any development and should be provided in appropriate areas for both adults and children.
4. Partnerships with appropriate resource agencies to provide community facilities and programs for the residents are strongly encouraged.



*Well-shaded and comfortable outdoor seating*



*Some gathering spaces, like this roof deck, can serve as extensions of private living rooms where residents can entertain and enjoy their company*

#### **RECOMMENDATIONS:**

1. If laundry hookups are not provided in the individual dwelling units, then communal laundry facilities shall be provided on-site, and should be located adjacent to play areas and communal areas to facilitate socialization and supervision.
2. New developments should provide the infrastructure and wiring necessary for current and future anticipated information technology needs.
3. On-site facilities that should be considered include a community center, meeting rooms, a learning center/computer center, a day care facility, elder care facility, or communal gardens. Activities for residents, such as after-school programs for children and teens, or adult training classes, should be considered.
4. An informal amphitheater that can be used for seating and children's play, as well as family and social gatherings, may be desirable. Picnic tables, barbecues, and picnic pavilions add to the social ambiance of a community and are encouraged. Location factors should include distance to tot lots, shade, and some degree of privacy.



*Some gathering spaces, like this movie theater, can serve as extensions of private living rooms -where residents can entertain and enjoy their company*



#### INTENT:

*Provide thoughtfully designed and high-quality site elements that contribute to residents' comfort and convenience and support daily activities. Encourage the use of site elements that reinforce safety concepts, increase opportunities for social interaction, reduce maintenance costs, and consider environmental factors.*

#### KEY OBJECTIVES:

- 8-A. WALLS AND FENCES**  
Design walls and fences that are compatible with the overall development, constructed of high quality materials, easy to maintain and secure.
- 8-B. SITE FURNITURE**  
Provide site furniture that is compatible with the overall development, offers opportunities for seating and supports socializing and the enjoyment of open space and common areas.
- 8-C. TRASH AND STORAGE AREAS**  
Consider convenience, accessibility and architectural screening in the design and location of trash and storage areas.
- 8-D. ARCHITECTURAL SCREENING ELEMENTS**  
Provide architectural screening of mechanical and service areas in a way that is compatible with the overall development.
- 8-E. MAILBOXES**  
Locate and design mailboxes to encourage social interaction, to match the surrounding development, and for increased convenience, accessibility, and safety.
- 8-F. SIGNAGE**  
Incorporate signage that best portrays the development's identity, improves wayfinding, and is visible and clear.

## CHAPTER 8: MISCELLANEOUS SITE ELEMENTS

### A & B: Walls & Fences & Site Furniture

#### 8-A. WALLS AND FENCES

*Design walls and fences that are compatible with the overall development, constructed of high quality materials, easy to maintain and secure.*

##### **GUIDELINES:**

1. The design of walls and fences, as well as the materials used, shall be consistent with the overall development's design. Fence and wall color shall be compatible with the development and adjacent properties.
2. Natural materials, such as brick and stone, are encouraged for front yard retaining walls. If poured-in-place concrete is used, it should be treated with a decorative pattern or an exposed aggregate finish. Penetrable fencing material, such as wrought iron, may be used in combination with retaining walls in front yards. To maintain the dwelling unit's strong visual connection with the street, retaining walls in front yards should not exceed two feet in height.
3. Individual dwelling unit patio and yard fences and walls that face the street or common open space areas shall not be so high as to reduce visibility. Outdoor privacy walls between units, however, may be higher for increased privacy.
4. If front yard fences are used, visually penetrable materials such as wrought iron or tubular steel shall be used. Chain link fencing is prohibited.
5. If security fencing is used, attention should be given to its detailed design. Fencing should be an architectural feature of a project, and as such, should form an integral part of the overall character and design of the development. Chain link fencing is prohibited.

#### 8-B. SITE FURNITURE

*Provide site furniture that is compatible with the overall development, offers opportunities for seating and supports socializing and the enjoyment of open space and common areas.*

##### **GUIDELINES:**

1. The design, selection and placement of all site furnishings such as tables, benches, bollards, and trash receptacles shall be consistent and compatible with the overall site design and architectural character of the development.



*Low garden walls and entry gate that complement the surrounding development*



*Transparent fencing along the sidewalk edge*




*Individual dwelling unit gates and patio walls*

- Seating should be provided in both sunny and shaded areas and in areas that offer opportunities for social interaction and informal surveillance (such as a bench near the communal mail box area or benches near tot lot areas and laundry rooms). A variety of sitting area designs, from formal arrangements such as benches, to informal arrangements such as low walls or steps, are encouraged.
- A drinking fountain located near common areas is encouraged. Drinking fountains should be “high/low” to accommodate various age groups and disabled persons.

### 8-C. TRASH AND STORAGE AREAS

*Consider convenience, accessibility and architectural screening in the design and location of trash and storage areas.*

#### **GUIDELINES:**

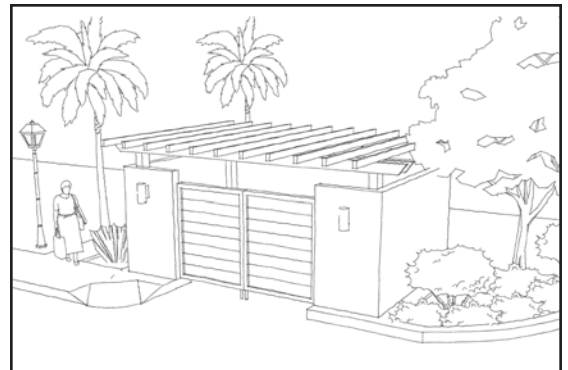
- On-site litter and recycling bins should be located in or adjacent to high use areas such as community facilities, recreation areas, and laundry rooms.
-  Trash enclosures shall be located in convenient but not prominent areas, such as inside parking garages or at the end of parking bays. They should be located in a separate room, walled enclosure or well screened with landscaping to protect adjacent uses from noise and odors. A clear and safe pedestrian route shall be established to each trash area. Residents should not have to wind their way through parked cars to access the trash area.
- Trash enclosures located in exterior areas should be constructed from solid materials and adequately screened from adjacent units with landscaping. All trash enclosures in exterior areas should be covered with a trellis or similar canopy structure.
- Trash rooms inside structured parking garages should be conveniently located and close to elevator lobbies. Adequate lighting, mechanical ventilation and exhaust should be provided, and doors provided with automatic closers and door hold-opens. The room’s walls, doors and fixtures should be durable and constructed for heavy duty use and everyday wear-and-tear.
- Trash receptacles should be accessible for trash collection but should not block circulation drives near loading areas or conflict with parking. For security reasons, trash enclosure locations should not create blind spots or hiding areas.



*Shaded and visible seating areas*



*Variable height drinking fountain for the handicapped and people of all ages*



*A trellis and gate screen the trash enclosure*

## CHAPTER 8: MISCELLANEOUS SITE ELEMENTS

### D & E: Architectural Screening Elements & Mailboxes

#### 8-D. ARCHITECTURAL SCREENING ELEMENTS

*Provide architectural screening of mechanical and service areas in a way that is compatible with the overall development.*

##### **GUIDELINES:**

1. Rooftop mechanical equipment, such as cooling towers, boilers, pumps, and vents, should be adequately screened to protect the views of adjacent neighbors and to mitigate potential nuisances.
2. Architectural screening elements should be constructed of similar materials and finishes as adjacent buildings, and the color should also be compatible with adjacent buildings.
3. Gates should be of a solid material and painted to match architectural screening elements or nearby fences and walls.



*Built-in mailboxes located in an entry lobby and adjacent to signage, bulletin boards and a building directory.*

#### 8-E. MAILBOXES

*Locate and design mailboxes to encourage social interaction, to match the surrounding development, and for increased convenience, accessibility, and safety.*

##### **GUIDELINES:**

1. Where a central bank of mailboxes is provided, these shall be located in highly visible, heavy use areas for convenience, to allow for casual social interaction, and to promote safety.
2. Trash and recycling bins, benches and seating areas, and bulletin boards for posting announcements should be provided in close proximity to the mailbox location.
3. Incorporation of design features, such as a built frame consistent with the development's architectural style, is encouraged for the mailboxes. Pedestal-mounted mailboxes are discouraged, as they can be easily vandalized.



*Protected and durable mailbox station located next to the main parking area*

**8-F. SIGNAGE**

*Signage contributes to a development’s identity as a unique environment. Incorporate signage that best portrays the development’s identity, improves wayfinding, and is highly visible and clear.*

**GUIDELINES:**

1. Professionally designed, creative signage is strongly encouraged, especially for internal directions and building identification.
2. Clear legible entry signage shall be provided to identify the development. Internal circulation signage and visitor parking areas should also be clearly indicated. A directory/ map that shows the location of buildings and individual dwelling units within the development is encouraged.
3. Building numbers and individual unit numbers shall be readily visible, in a consistent location, well lit at night, and compatible with the overall design of the development.
4. Multiple signs within a development should have a standardized format and design for uniformity and consistency. The design, selection and placement of all site signage should be consistent and compatible with the overall site design and architectural character of the development.
5. Building mounted signs should not project above rooflines.



*Clear signs that identify key areas of a development*





#### **INTENT:**

*Establish clear rules and standards for the conversion of multi-family residential apartments to condominiums to ensure that the quality of the building, its furnishings, and surrounding environments is preserved and enhanced.*

#### **KEY OBJECTIVES:**

##### **9-A. PROCEDURES**

To encourage and promote high-quality development and superior living environments, establish clear, fair, consistent and effective procedures for the evaluation of condominium conversions in Southeastern San Diego.

##### **9-B. STANDARDS**

To encourage and promote high-quality development and superior living environments, provide assurances that the proposed development will meet the highest structural, electrical, mechanical, fire and life safety code standards.

## CHAPTER 9: CONDOMINIUM CONVERSIONS

### A & B: Procedures & Standards

#### 9-A. PROCEDURES

*To encourage and promote high-quality development and superior living environments, establish clear, fair, consistent and effective procedures for the evaluation of condominium conversions in Southeastern San Diego.*

##### **GUIDELINES:**

1. All proposed condominium conversions shall follow the standard procedures required under the San Diego Municipal Code, Condominium Conversion Ordinance, Chapter 14, Article 4, Div. 5.
2. All proposed condominium conversions shall adhere to the Tenant Benefits, Rights and Obligations under City of San Diego Condominium Conversion Ordinance, Chapter 14, Article 4, Div. 5.
3. All proposed condominium conversions shall provide an Existing Building Conditions Report and Comparison Table that outlines the existing conditions of the multi-family development and the proposed changes and renovations to be made to the development prior to the condominium conversion.
4. All proposed condominium conversions shall provide evidence that a viable Homeowner's Association (or an acceptable alternative for small projects) will be established for the development.

#### 9-B. STANDARDS

*To encourage and promote high-quality development and superior living environments, provide assurances that the proposed development will meet current structural, electrical, mechanical, fire and life safety code standards.*

##### **GUIDELINES:**

1. Where necessary, condominium conversion projects should upgrade HVAC and electrical systems to comply with prevailing codes and for improved energy efficiency.
2. Where necessary, condominium conversion projects should upgrade windows to comply with current fire and life safety requirements and for improved energy efficiency, thermal comfort and enhanced acoustics.
3. Where necessary, condominium conversion projects should upgrade smoke and fire alarm system to comply with current fire codes.
4. Where required by the building code, condominium conversion projects shall ensure compliance with handicap accessibility standards. Condominium conversions should take into account the needs of an aging and increasingly mobile population by incorporating elements of universal design, including but not limited to elevator access.



*Design elements (such as awnings, railing, color and entry features) help make condominium conversions more appealing and provide a better street presence*



*Improvements to the landscape design features of a development's street facade*

5. To provide the amenities, facilities and general enhanced qualities that are characteristic of traditional condominium developments, developers of condominium conversion projects are encouraged to improve or add landscape and common areas, and upgrade or replace building and dwelling unit appliances and equipment. All building materials with a remaining life of five years should be replaced (as identified in the Building Conditions Report). Covered/ enclosed parking should be provided, where possible.
6. To improve the potentially neglected street presence of existing developments, condominium conversions should take advantage of the opportunity to add street trees and street yards in accordance with San Diego Municipal Code Section 142.0402 and 142.0404 for condominium conversions. Entrances should also be enhanced and accentuated.
7. In addition to complying with local and state requirements, condominium conversion developments are encouraged to install water efficient plumbing fixtures & water heaters for improved water conservation.
8. Wherever possible, condominium conversion developments should provide sufficient parking spaces to meet Municipal Code requirements and provide adequate parking for residents and guests, while reducing the demand for on-street parking.
9. Parking in the front yard is discouraged. Wherever possible, condominium conversion developments should provide off-street parking in rear yards and areas of the development that are away from the street frontage. Where relocating the parking to the rear of the site is not feasible, the parking area should be softened with landscape planting strips and other features to enliven the street presence. *(See illustration)*
10. Condominium conversion projects should provide a variety of dwelling unit configurations to accommodate diverse household types and sizes, from large families to elderly or single-person households. Where possible, room sizes should be adjusted to meet current market standards (such as larger kitchens and bathrooms).



*When parking cannot be relocated to the rear of the site, planting strips between parking stalls ("Hollywood Strips") are a good solution to softening parking in the front yard*



#### INTENT:

*Promote the use of site planning, landscape design, community involvement, and physical and psychological barriers to create a safe environment and prevent crime, vandalism, and graffiti.*

#### KEY OBJECTIVES:

- 10-A. CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)**  
Incorporate CPTED strategies into the design of multi-family developments, whenever possible.
- 10-B. OPPORTUNITIES FOR SURVEILLANCE**  
Provide opportunities for natural surveillance.
- 10-C. HIERARCHY OF SPACE AND TERRITORIALITY**  
Establish a hierarchy of spaces and clearly defined 'territories' within and around the development.
- 10-D. PENETRABILITY**  
Reduce penetrability of private and semi-private areas.
- 10-E. LIGHTING**  
Provide adequate and sufficient lighting for added safety, visibility, and comfort.
- 10-F. VANDALISM AND GRAFFITI**  
Employ techniques to discourage and reduce vandalism and graffiti.
- 10-G. SECURITY PLAN**  
Submit a Security Plan

## CHAPTER 10: SAFETY AND SECURITY

### A & B: Crime Prevention Through Environmental Design (CPTED) & Opportunities for Surveillance

#### 10-A. CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

*Crime Prevention Through Environmental Design supports the fundamental principle that buildings and the spaces around them can be designed to encourage self-policing and to discourage crime. Incorporate the following CPTED strategies into the design of multi-family developments:*

##### GUIDELINES:

1. Use the concept of **natural surveillance**, or “eyes on the street,” by promoting features that maximize the visibility of people, parking, and building entrances.
2. Use the concept of **territorial reinforcement** by promoting features such as landscape plantings, paving designs, and gateway treatments that define property lines and distinguish private space from public space.
3. Use the concept of **natural access control** by designing streets, walkways, building entrances, and development entries to clearly indicate public routes and to discourage access to private areas.
4. Use the concept of **target hardening** by promoting features that reduce “penetrability” and prevent entry or access to dwelling units.

#### 10-B. OPPORTUNITIES FOR SURVEILLANCE

*Provide opportunities for natural surveillance, so that residents are encouraged to take ownership of their neighborhood and contribute to building a sense of community, forming partnerships, and keeping their neighborhood safe.*

##### GUIDELINES:

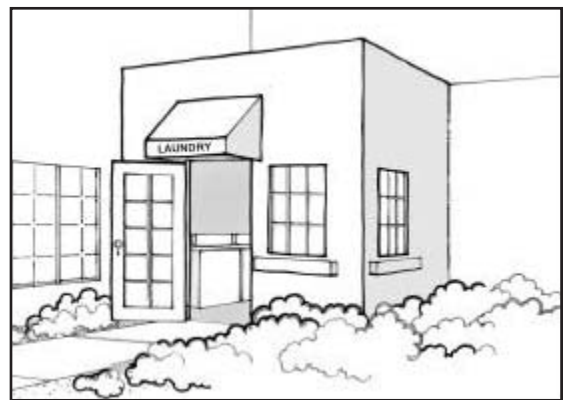
1. Windows and entries shall be placed to maximize natural surveillance of the site. Sight lines from dwelling units to exterior parking areas should be provided.
2. Open spaces, courtyards, circulation corridors, and individual dwelling unit entrances should be designed to be visible from as many dwelling units as possible. Enclosure of private open space should not prevent common open space surveillance by residents.
3. The management office should be located in a central, visible location, and community meeting rooms and other amenities should also be located close to other heavily used areas.
4. Where provided, laundry rooms should be located adjacent to the children’s play area to facilitate supervision. Doors and walls shall have windows to allow natural surveillance both into the laundry room and outside to the surrounding area.



*Use stoops, fences, landscape and raised patios to establish boundaries between public and private areas*



*Security is enhanced when a management office is in a central and highly visible location*



*A laundry room with windows allows open views out to the surrounding area*

#### 10-C. HIERARCHY OF SPACE AND TERRITORIALITY

*Establish a hierarchy of spaces and clearly defined 'territories' within and around the development*

##### **GUIDELINES:**

1. Development design should use a “hierarchy of space” to define territory for public space (streets), community space (common open space, play areas, communal laundry, community center, etc.), and private space (individual units and private open space.) The use of design elements to define the public/private edge, such as special paving, change in building materials, and grade separations, or physical barriers such as landscaping, fences, walls, screens, or building enclosures, are encouraged.
2. Building entrances and individual dwelling unit entries should be accentuated by architectural elements, lighting, and/or landscaping to further emphasize their private nature.



*Grade separations and physical barriers*

#### 10-D. PENETRABILITY

*Reduce penetrability of private and semi-private areas by providing natural barriers, clear demarcation of public and private areas, and access control.*

##### **GUIDELINES:**

1. Doors to community facilities should contain some transparency and be key-controlled by residents. Courtyard gates and shared building entrances that access individual units should automatically lock when closed.
2. Security bars on windows are strongly discouraged. If provided, security bars shall be located only on the inside of windows and have proper emergency release mechanisms.
3. The use of double-paned windows is recommended where needed to minimize breakage and in lieu of security bars.
4. The use of dense plantings to establish a barrier adjacent to ground level units is encouraged. Where appropriate, the use of thorny plants as barrier plantings is encouraged. Mature shrubs located adjacent to buildings should generally be lower than the bottom of windows to maintain open sight lines.



*Planters can both reduce penetrability and enhance the street environment*

## CHAPTER 10: SAFETY AND SECURITY

### E: Lighting



#### RECOMMENDATIONS:

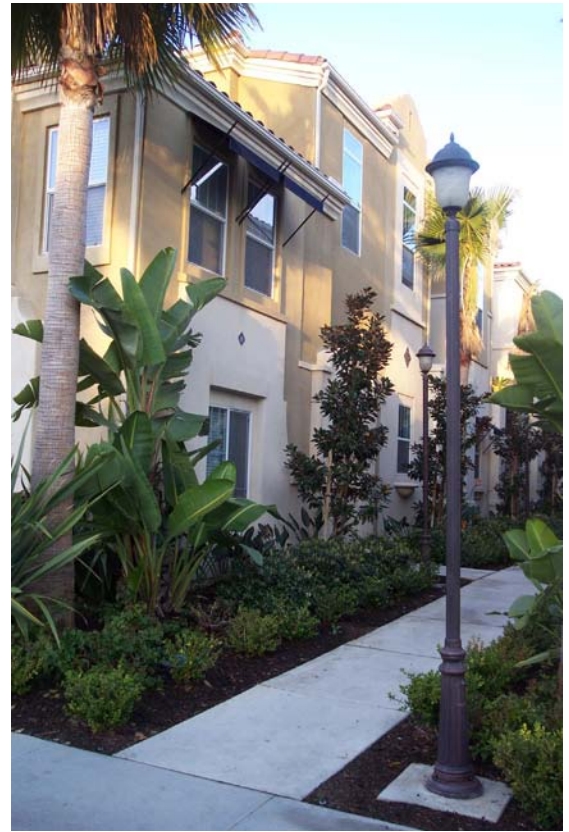
1. All front doors in individual dwelling units shall have a peep hole or other feature to allow residents to see who is at the door before opening it. To prevent break-ins, door knobs shall be 40 inches from any window pane. Door hinges shall be located on the interior side of the door to prevent unauthorized removal. Single cylinder dead bolt locks shall be installed on the exterior doors of all individual dwelling units. Sliding glass doors shall have one permanent door on the outside and the inside moving door shall have a locking device and a pin.

#### 10-E. LIGHTING

*Provide adequate and sufficient lighting for added safety, visibility, and comfort.*

#### GUIDELINES:

1. Lighting levels will vary depending on the specific use and conditions, but the overall consideration shall be to provide lighting levels sufficient that intruders cannot lurk in shadows, that steps and other grade changes are apparent, to enable residents to easily unlock their door or identify visitors on their doorstep, and to reduce theft and vandalism.
2.  Street lighting should be installed along the internal circulation streets. Lighting should be designed to shine downward and eliminate skyward glare. Light standards shall be residential/pedestrian in scale and be spaced appropriately for the fixture, type of illumination and pole height.
3.  Pedestrian-scaled lighting, as well as ambient lighting, shall be located along all walkways, internal corridors, common areas and garages within the development. Whenever possible, install heavy-duty fixtures to prevent vandalism and reduce wear and tear.



*Pedestrian-scaled lighting*



*Pedestrian-scaled lighting*



#### 10-F. VANDALISM AND GRAFFITI

*Employ the following techniques to discourage and reduce vandalism and graffiti:*

##### **GUIDELINES:**

1. A combination of design, maintenance, and community surveillance shall be used to prevent vandalism and graffiti in multi-family developments.
2. The use of highly vulnerable materials shall be avoided, but excessively durable materials should not be used at the expense of appearance.
3. Care should be taken to design to discourage skateboarding in areas not dedicated for that use.
4. Maintenance staffing and budgeting shall allow for prompt repair of vandalism damage. Sometimes normal “wear and tear” is mistaken for vandalism, in which case the equipment/ space may need to be redesigned or maintenance practices changed.
5. Graffiti shall be removed or painted out as soon as possible, but no more than within 24 hours of its appearance. To ensure the required time frame is met, maintenance staff shall have on-hand the designer-specified paint colors of all exterior fences and walls that are potential targets for graffiti. Landscaping, such as vines on walls and barrier plantings, may be used to discourage graffiti. Where there is no conflict with pedestrians, the use of thorny shrubs adjacent to fences may be considered as a possible deterrent to graffiti.
6. Mailboxes shall be located in a highly visible heavy use area, such as in the entrance lobby, adjacent to a management office, or in community facilities, to minimize the possibility of vandalism and theft.

#### 10-G. SECURITY PLAN

*Submit a Security Plan as outlined below.*

##### **GUIDELINES:**

1. Each proposed development shall submit a security site plan that identifies the safety and security features of the site, including text “call outs” that relate to CPTED concepts. The site plan should be supplemented by a security plan report that further describes the safety and security elements of the development.
2. The submitted security plan report shall also indicate any other crime prevention measures that will be provided on-site, such as security patrols, apartment watch groups, and zero tolerance of drugs/crimes. A copy of the security site plan and site plan document will be provided to the police department for their review and recommendations.



#### INTENT:

*Provide adequate and effective management and maintenance of multi-family residential and mixed-use developments to ensure well-maintained buildings and grounds, create a safe and secure environment, maximize resident satisfaction, and improve the stability of the community.*

#### KEY OBJECTIVES:

- ❑ **11-A. ON-SITE MANAGEMENT OF RENTAL DEVELOPMENTS**  
Provide on-site management, management policies, and a manual of rules and regulations for all multi-family developments.
- ❑ **11-B. MAINTENANCE**  
Enforce and sustain the adequate and comprehensive maintenance of all components and areas of a multi-family development.
- ❑ **11-C. REQUIRED MANAGEMENT AND SECURITY PLANS**  
Before obtaining a development permit, submit a Management and Security Plan that includes a copy of the items specified in these guidelines.
- ❑ **11-D. MANAGEMENT & MAINTENANCE OF FOR-SALE DEVELOPMENTS**  
Ensure that, in keeping with the guidelines in this section, for-sale multi-family developments provide high quality management and maintenance programs and policies that are coordinated with the bylaws and structure of homeowner's associations.

# CHAPTER 11: MANAGEMENT AND MAINTENANCE

## A & B: On-site Management & Maintenance

### 11-A. ON-SITE MANAGEMENT OF RENTAL DEVELOPMENTS

*Provide on-site management, management policies, and a manual of rules and regulations for all multi-family developments*

#### **GUIDELINES:**

1. Sufficient space should be provided for the management office and maintenance activities. The development's owners should provide management with a reasonable budget for the operations and maintenance of buildings and landscape.
2. Policies that allow residents to participate in property management, such as increased responsibility for minor repairs and improvements to grounds or landscaping, should be considered.
3. A clearly stated manual of rules and regulations shall be prepared by management to explain the on-site responsibilities of management and residents. At least one copy of the manual shall be given to the residents of each dwelling unit.

### 11-B. MAINTENANCE

*Enforce and sustain the adequate and comprehensive maintenance of all components and areas of a multi-family development*

#### **GUIDELINES:**

1. To facilitate quick removal of graffiti, all wood fences shall be painted or treated with an anti-graffiti coating. Paint color used on fences shall be common colors readily purchased and kept readily available on the development's premises.
2. Concrete or stone capstones are encouraged for the top of stucco garden and patio walls to help prevent water damage from rainfall and moisture.
3. Any exercise, pool, barbecue and play equipment provided on site should be inspected and repaired regularly for reasons of safety and appearance.
4. To eliminate unsightly clutter, residents should be provided a means to dispose of bulky items that cannot easily fit into a dumpster or recycling bin.
5. To minimize the outdoor clutter that can accumulate in private open space areas, private storage space for surf boards, strollers, bicycles, etc., shall be provided for each dwelling unit. Its location should be either inside the building garage or dwelling unit, or outside and immediately adjacent to the unit.
6. Private open space areas shall be kept clean and neat, and shall not be used for outdoor storage or clothes drying.



*Provide well-maintained, well-lighted, and private storage areas within the development*



*Capstones on pilasters, garden walls, and ledges can help minimize water damage and vandalism*

7. Management shall maintain all landscaping and improvements along all property edges. Management shall direct careful attention to maintenance along street edges, especially from the building out to the sidewalk adjacent to the street curb, including any area that may be on the curb side of a fence. Management shall be responsible for irrigating plant materials in this area and for keeping the area free of weeds, litter, and graffiti.

#### **11-C. REQUIRED MANAGEMENT AND SECURITY PLANS**

*Before obtaining a development permit, submit a Management and Security Plan that includes a copy of the following items:*

##### **GUIDELINES:**

1. The lease agreement or homeowners association by-laws.
2. A copy of the residents' manual of rules and regulations that is given out to the development's residents.
3. The resident's manual should include fire exiting procedures, location of fire extinguishers, and instructions for use.
4. The management company's rule enforcement and eviction policies, including the grounds for eviction, eviction procedures, delinquencies, liens and grievance procedures.
5. The maintenance plan, including provisions that outline the management company's commitment to remove graffiti within 24 hours and to maintain all landscaping, fencing, etc., in good condition.
6. A list of any fees/charges that may be imposed on owners or tenants in addition to rent or homeowner's association dues.
7. The resident selection criteria which indicates the management company's procedures to secure good tenants/buyers without illegally discriminating, in accordance with HUD's Fair Housing Practices.
8. A security site plan and a security plan document that indicates what crime prevention measures, such as security patrols, lighting, fencing, watch groups, zero tolerance of drugs/crimes, etc., will be provided on-site. A copy of the security site plan and the security plan document will be provided to the police department.
9. The qualifications and experience of the management company. New companies must be able to demonstrate their understanding of the types of problems and issues that may occur within SEDC's Area of Influence.
10. A resident services and staffing plan that describes the types of services, such as fitness classes, child care, job training, and after-school tutoring programs, that will be made available to the residents and/or community by the developer/management company.

# CHAPTER 11: MANAGEMENT AND MAINTENANCE

## D: Maintenance of For-Sale Developments

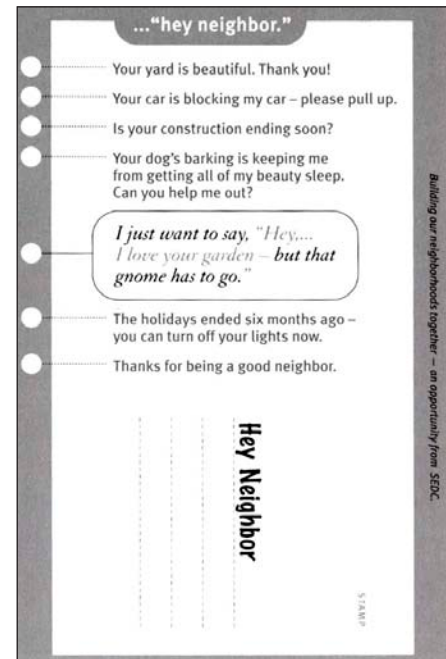
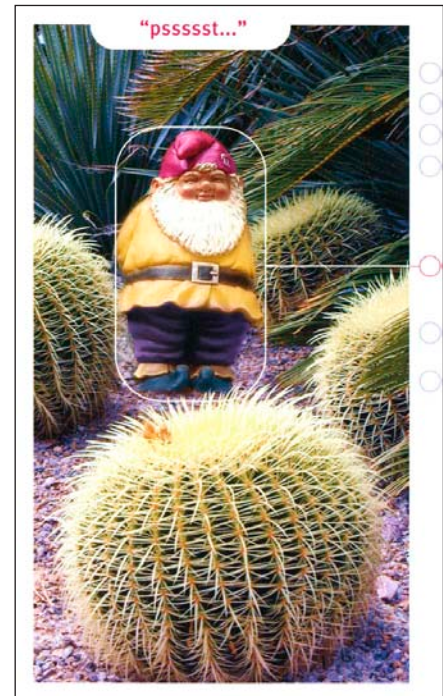
11. A description of staffing capabilities, including staff credentials, and a schedule for on-going staff job training to be held on-site. This should include job descriptions for on-site staff. A schedule for performance evaluation, evaluation criteria, and who reviews and conducts evaluations should also be provided.

### 11-D. MANAGEMENT & MAINTENANCE OF FOR-SALE DEVELOPMENTS

Ensure that, in keeping with the guidelines in this section, for-sale multi-family developments provide high quality management and maintenance programs and policies that are coordinated with the bylaws and structure of homeowner's associations.

#### GUIDELINES:

1. New multi-family residential developments shall submit all Homeowner's Association Manuals, Bylaws and Covenants, Conditions and Restrictions (CC&Rs) for review and to ensure that the above documents address the goals and objectives of these guidelines.
2. All new multi-family residential developments shall provide a copy of their operations and maintenance manual for energy efficient and renewable energy systems, where provided.
3. All new multi-family residential developments shall provide a copy of their operations and maintenance manual for sustainable landscape features, where provided.
4. All new multi-family residential developments are encouraged to participate in and lead the development of Neighborhood Watch programs, Neighborhood Councils or Resident Associations, Volunteer Groups (such as RSVP), or Special Assessment Districts to promote the management, maintenance and safety of their neighborhood. Homeowner's associations and/or property management should make use of SEDC's "Hey Neighbor" post cards and other programs for neighborhood maintenance.
5. Multi-family developments should consider the management and maintenance benefits of designing a self-sustaining and self-maintaining building with the use of sustainable design practices, such as renewable energy, recycling, water reclamation and reuse, drought tolerant landscape, and other techniques that facilitate self-maintenance.
6. Management and maintenance plans of new developments should consider larger building maintenance concerns (such as mechanical and electrical systems) and not simply resort to "curb appeal" or a street-focused maintenance program.



SEDC's "Hey Neighbor" cards are an effective and positive way to encourage neighbors to do their part

## APPENDIX A

### Glossary of Terms and Acronyms Used in the Guidelines

**Architectural Screening** - Covering mechanical, electrical and other building or landscape related equipment with a material that complements and/matches the surrounding development and minimizes the visual and often acoustical impacts of the equipment.

**Bio-Swale; Vegetated Swale** - A landscaped depression with a slight inward slope that is primarily used to convey stormwater runoff from a paved surface. It also provides water filtration and treatment prior to it being drained into a storm drain pipe system.

**“City of Villages”** - A fundamental organizing principle of the San Diego General Plan, based on the concept of focusing future development in the city towards existing urban centers or “villages” that are linked to transit, make efficient use of existing infrastructure and amenities and limit the pressures of urban sprawl and the consumption of valuable open space and resources.

**Compact Building Design** - The concept of minimizing the footprint of buildings to reduce the amount of land consumed and affected by new development.

**Condominium Conversions** - The practice of converting rental apartment buildings into for-sale condominiums.

**Defensible Design, CPTED (Crime Prevention Through Environmental Design)** - A belief that buildings can be made safer by employing key design techniques (such as windows and doors that face the street and provide natural surveillance or “eyes on the street”).

**Eco-Roof, Green Roof, Vegetated Roof** - The practice of installing plant material on the roofs of buildings to reduce the amount of stormwater runoff, keep the roof cool, and provide an amenity for building residents.

**Greywater Tank; Living Machine** - Mechanical and biological tanks that can be installed in an individual development to treat stormwater and used water for reuse in landscape irrigation and sewer conveyance of that development.

**Live/Work** - A building type that accommodates residential and work uses within the same individual building unit.

**Mixed-Use** - A building type that accommodates a mix of activities/uses (residential, commercial, office, etc.) within the same building development.

**Nuisances** - Potential conflicts that can arise when different land uses are in close proximity to each other, such as noise, odors, traffic, health hazards, etc.

**Smart Growth** - A movement that gained significant ground in the mid to late 1990’s and now has achieved a widespread audience and effect. It is premised on the fundamental

belief in the need to control urban sprawl and concentrate development within existing urban centers that offer high quality infrastructure, amenities, transportation choices and a range of housing choices and increased quality of life.

**Solar Heat Gain; Heat Island Effect** - The increase in temperature of a space as a result of solar radiation transmitted through the materials that make up that space. (e.g. in a parking lot, sun hits the asphalt, which absorbs the heat and, in turn, increases the ambient temperature of the parking lot).

**Special Assessment District** - The designation of a neighborhood area where real estate parcels are taxed for the purposes of achieving a direct and unique benefit for that area.

**Stakeholder Advisory Committee** - A committee formed by SEDC with stakeholder representatives from different areas of the Southeastern Community, including land owners, residents, developers, property managers, and community leaders among others. The purpose of the committee is to obtain direction and feedback on the Multi-Family Development Guidelines Update.

**Storm Water Management** - Management practices that are established and defined for a specific project to treat and dispose of storm water (rainwater). Often these include the use of filtration devices, retention areas, and standards for disposal to the storm drain system.

**Sustainability** - The ability to meet the needs of present generations without compromising the needs and security of future generations. Often this term is used with respect to the environment.

**Universal Design** - The concept of providing access and free movement within a development to a diversity of people. This includes access to the physically disabled (through the American with Disabilities Act), but also seniors, children, and a diversity of demographic groups.

**Urban Sprawl** - The widespread, uncontrolled growth of cities in ways that make cities highly dependent on automobiles, consume scarce land and resources, and require major investments in new infrastructure.

**VOC’s** - Volatile Organic Compounds; organic material that emits odors and potential toxins into the atmosphere and affects air quality in a building.

**Walkability** - The characteristics that make a place amenable to pedestrians and encourage people to walk.

**Wayfinding** - The ease with which one is able to move around a development and find one’s way around.

## APPENDIX B

### List of Relevant Documents

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1. City of San Diego General Plan
2. City of San Diego Land Development Code
3. City of San Diego Condominium Conversion Regulations  
(Land Development Code, Chapter 14, Article 4, Division 5)
4. City of San Diego Residential Condominium Conversions Information Bulletin No. 539
5. Southeastern San Diego Community Plan
6. Southeastern San Diego Community Plan - Village/ Mixed Use Element
7. Southeastern San Diego Planned District Ordinance
8. Imperial Avenue Corridor Master Plan
9. Central Imperial Redevelopment Plan
10. Mount Hope Redevelopment Plan
11. Southcrest Redevelopment Plan
12. Sherman Heights & Grant Hill Park Historic Districts Design Criteria and Guidelines
13. City of San Diego Police Department Guide: Crime Prevention Through Environmental Design
14. *Going Native Naturally*, Southeastern Economic Development Corporation
15. *Nifty Fifty Plants for California-Friendly Landscapes*, The Water Conservation Garden at Cuyamaca College
16. Southeastern Economic Development Corporation's "Hey Neighbor" Cards
17. The Center for Universal Design - *Accessible Environments : Toward Universal Design* by Ronald L. Mace et al, 1991.
18. Local Government Commission's *Design Guidelines for Multi-Family Housing*, [http://www.lgc.org/freepub/community\\_design/guidelines/multifamily\\_housing.html](http://www.lgc.org/freepub/community_design/guidelines/multifamily_housing.html)
19. Principles of Smart Growth, <http://www.smartgrowth.org>
20. LEED® for Homes Rating System, <http://www.usgbc.org>
21. LEED® for New Construction Rating System, <http://www.usgbc.org>
22. Build It Green, *Multifamily GreenPoint Rated Checklist*, <http://www.builditgreen.org/greenpoint-rated/guidelines>



## APPENDIX C

### Summary of Community Outreach

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#### **ADVISORY COMMITTEE MEETINGS**

SEDC formed a Multi-Family Development Guidelines Update Advisory Committee, comprised of residents, property owners, property managers, local developers, and community leaders from the Southeastern San Diego Community. This committee held three meetings to discuss, review and provide feedback on the Multi-Family Development Guidelines Update.

The first Advisory Committee meeting was held at SEDC offices on August 13, 2008. During this meeting, the planning consultant introduced the scope of the project, focusing on the four main tasks of sustainability, mixed-use, condominium conversions and management and maintenance of for-sale developments. The consultant also presented examples of existing multi-family housing in Southeastern San Diego and visual examples of potential strategies for the four key tasks of the update, as well as for streets, alleys and walkways. Advisory Committee members provided comments and ideas in response to the examples presented.

The second Advisory Committee meeting was held at SEDC offices on December 4, 2008. This meeting provided SEDC and the consultant with an opportunity to present key guideline topics and solicit general and specific comments from committee members. A handout was distributed for Committee members to provide comments and ideas in response to the guideline topics presented.

The third and final Advisory Committee meeting was held at SEDC offices on September 2, 2009. During this meeting, the consultant presented what was learned from the Advisory Committee and through the Community Workshops, and provided an overview of the guidelines that were revised and added, as well as the general organization of the document. Comments and feedback was provided by committee members on the content, the graphics and illustrations, formatting, and other ideas.

#### **COMMUNITY WORKSHOPS**

SEDC held two community workshops to engage and solicit feedback from community stakeholders, members of the public, Advisory Committee members, and interested individuals in the Southeastern San Diego Community.

The first workshop was held on September 23, 2008 in the SEDC conference room. The planning consultant provided a presentation, which was followed by a roundtable discussion session in two groups. The intent of this workshop was to engage in a discussion about what the community considers to be a “good” multi-family development and, specifically, how this relates to sustainability, mixed-use, condominium conversions and management and maintenance.

The second workshop was held on February 5, 2009 in the SEDC Boardroom. The planning consultant presented the key objectives and organization of the guidelines. The workshop was then split into two review sessions, first to review and provide comments on the new proposed guidelines, and second to review and comment on the existing guidelines. A handout was distributed which outlines the key guidelines objectives and the topics covered by the guidelines. Participants were encouraged to list additional topics not covered and provide feedback on the proposed guidelines for each chapter.

*Workshop agendas and summaries of comments are attached on the following page.*

## APPENDIX C

### Summary of Community Outreach: Workshop Agendas

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**SEDC Multi-family Development Guidelines Update  
Community Workshop  
September 23, 2008  
5:30 – 7:30pm**

- I. Welcome and Introductions**
- II. Presentation: Multi-Family Guideline Concepts & Vocabulary**
- III. Roundtable Discussion**
- IV. Report Back to Larger Group**
- V. Closing Remarks**

## APPENDIX C

### Summary of Community Outreach: Workshop Agendas

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**SEDC Multi-family Development Guidelines Update  
Community Workshop  
February 5, 2009  
5:30 – 7:30pm**

- I. Welcome and Introductions**
- II. Presentation: Key Objectives & Organization of the Guidelines**
- III. Review New Guidelines**
- IV. Review Existing Guidelines**
- V. Report Back to Larger Group**
- VI. Closing Remarks**

## APPENDIX C

### Summary of Community Outreach: Summary of Comments

**M.W. STEELE**  
GROUP, INC.

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ARCHITECTURE | PLANNING

**SEDC MFG Update**

**23 September 2008**

Workshop 1 Table Comments

**Table 1:**

---

**Task 1: Mixed-Use**

- Cozy
- Business and resident friendly
- Fits neighborhood
- Parking
- Self-sustaining

**Task 2: Good Management & Maintenance**

- No butts
- Clean streets and sidewalks
- Full-time upkeep
- Accountability of maintenance
- Code enforcement
- HOA accountability
- RSVP volunteers to identify properties
- SEDC post cards
- Neighbors

**Task 3: Condo Conversions**

- Project that sells
- Size
- Location
- Not all owners (mix)
- Parking

**Task 4: Sustainable Design**

- Use natural elements (sunlight, etc)
- Self maintaining (solar panels, materials, water reuse, etc.)
- Mixed-use
- Water saving methods

## APPENDIX C

### Summary of Community Outreach: Summary of Comments

M.W. STEELE  
GROUP, INC.  
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**SEDC MFG Update**  
**23 September 2008**  
Workshop 1 Table Comments

**Table 2:**

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**Task 1: Mixed-Use**

- Hours of operation
- Complementary uses (what makes sense for Southeastern San Diego?)
- Limit single uses or too much of one type of use (mix it up, meet a variety of needs)
- Separate entrances
- Privacy shades that are built in to project

**Task 2: Good Management and Maintenance**

- Maintenance company that really knows what they are doing (over-trimming of trees)
- Special assessment district controlled by the Diamond BID which sub-contracts out to maintenance companies and service providers (currently being formed in the area)
- Maintenance too street focused and does not address building and systems maintenance (curb appeal versus building operations)
- Enforceable and realistic

**Task 3: Condo Conversions**

- Original benefits of a condo are lost (amenities, common/ open space, "perks") maybe should be called "owned apartment conversions"
- Sustain a community-based ideology that will enhance the existing area without becoming the elephant in the room

**Task 4: Sustainable Design**

- Home designed that reduces costs
- Natural light
- Double-paned windows
- Insulating materials
- Native and climate appropriate plants (eliminate eucalyptus trees!)
- Better and more pedestrian environments (wider and secure sidewalks, etc.)
- Ensure new developments have adequate recycling facilities and storage
- Renewable and recycled/ recyclable materials

## APPENDIX C

### Summary of Community Outreach: Summary of Comments

#### M.W. STEELE GROUP, INC.

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#### SEDC MFG Update

5 February 2009

Workshop 2 Comments

#### General Comments:

- Village concept as foundation for the guideline objectives  
(stated at beginning of introduction to emphasize how this is an underlying goal)

#### Chapter 2: Sustainability

- Reduce the need to drive everywhere by promoting a village concept, where a mix of uses allows people to fulfill their daily needs within a 1/2 mile radius of where they live (this is a comprehensive strategy that can be better stated in the introduction chapter)
- Water recycling on site; grey water techniques can be better emphasized (see added 2-A, #5)
- Leakage of electric energy through poorly-maintained electrical conduits and meters (see added 2-B, #6)
- Roof gardens, eco-roofs, green roofs (see added 2-B, #8)
- Garden access (see added 2-C, #2)
- Pocket gardens (see added 2-C, #2)
- Water efficiency techniques (see 2-A, #3 – 7)

#### Chapter 4: Mixed-Use

- Village concept is key (this is a comprehensive strategy that can be better stated in the introduction chapter)
- Promote social interaction and face-to-face contact (see 3-A #4; 3-B #2; 7-A #3)
- Provide a space for a workshop or hobby shop that may be used by larger community (do we want to start suggesting what uses should go where, or is this better addressed in the community plan?)
- Movable chairs, outdoor seating (see 4-D, #4)
- Flexibility for different users (see added 4-E, #9)
- Best location for mixed-use is adjacent to commercial areas with existing strong businesses (i.e. Market Creek Plaza) – a multi-family mixed-use project should provide connections to existing commercial areas (see added 4-A, #1&2)

#### Chapter 9: Condo Conversions

- Are the square footages, room sizes adequate for today's standards? (i.e. kitchen sizes have increased in the past decade) (see added 9-B #10)
- Consider households that want to downsize (see added 9-B #10)
- How do we control where to allow condo conversions versus where certain properties are better candidates for redevelopment? (by imposing high standards that make the decision to redevelop more attractive)

#### Chapter 11: Management & Maintenance

- Accountability – zero tolerance (example of San Diego Housing Commission property management) (see 11-C #4)
- Laundry facilities should be located in central area that facilitates supervision of children by parents (see 10-B #4)
- There should be places where children and their parents can interact, even if conflicts arise. All social interaction helps to build community. (see 3-C #11; 10-B #3 & #4)
- Assume that most high-density for-sale developments will be operated by a Homeowner's Association (no need to mention this in the guidelines)