

Hilltop and Euclid Site Allowable Density

Within the Hilltop and Euclid site there exist topographical constraints that effectively reduce the net developable area. Development is limited to no greater than 105 single-family dwelling units, the density achievable under the land use designation 5-10 du/ac.

Commercial Floor Area Ratio (FAR) Limitations

Within the SESD CPIOZ there exist topographical and other constraints that effectively reduce the net developable area. To create the desired mix of commercial and residential uses, the commercial FAR regulations of the underlying zone are limited as follows:

- Imperial Crest Area, allowable commercial FAR is 0.3.
- Encantada Area, allowable commercial FAR for parcel 549-130-13 is 0.1.
- Encantada Area, allowable commercial FAR for new mixed use development on vacant portion of lot for parcel 549-130-12 (Second Chance) is 0.01

Southeastern San Diego Development Permit Requirements

Section 1519.0202 of the Southeastern San Diego Planned District Ordinance, Southeastern San Diego Development Permit, shall not apply to projects located within the SESD CPIOZ.

Setbacks for Compatibility

Where the development on CPIOZ parcels abuts residentially-zoned non-CPIOZ parcels, a minimum 6-foot side yard shall be provided adjacent to the residentially-zoned non-CPIOZ parcel. The third story requires a 9-foot setback and additional stories shall be set back 15 feet

Where the development on CPIOZ parcels abuts other CPIOZ parcels, up to 100 linear feet of a building wall may be on the property line. Any third story shall be set back at least 6-feet; each story above the third requires a 15-foot setback.

Interior Water Use

Potable water conservation shall be achieved by projects within the SESD CPIOZ. New residential and commercial/office/retail uses in the SESD CPIOZ shall achieve water savings by implementing the following measures to reduce anticipated single-family and multi-family water use to no more than 138.75, and 83.25 gallons per day per person, respectively (assuming 3.90 persons per household); and, commercial/retail/office water use to 30.4 gallons per day per employee:

- Toilets shall be high efficiency models (not exceed 1.28 gallons per flush);
- Residential kitchen sink fixtures shall not exceed 2 gallons per minute;
- Lavatories shall not exceed 1 gallon per minute;
- Showerheads shall not exceed 1.8 gallons per minute; and,
- Any dishwashers/washing machines provided by the developer shall meet US Environmental Protection Agency Watersense labeling requirements.

Potable water conservation measures required above shall be demonstrated by the applicant on building plans for CPIOZ Type A parcels and plans submitted with the Site Development Permit Application for CPIOZ Type B parcels.

Parking

These parking requirements shall apply to development within the SESD CPIOZ

- Section 142.0525 of the Municipal Code applies to projects with multiple dwelling units within the SESD CPIOZ. The column headed Transit Area in Table 142-05C, shall establish the automobile spaces required. Section 142.0530 of the Municipal Code applies to projects with nonresidential development and mixed use development located within the SESD CPIOZ. The column headed Minimum Required Within a Transit Area in Tables 142-05D, 142-05E, and 142-05F shall establish the automobile spaces required.
- Tandem parking as described in Municipal Code Section 132.0905 is allowable within the SESD CPIOZ.

Building Site Orientation and Design

- Buildings fronting on Imperial Avenue or Market Street shall be organized with primary entries oriented towards Imperial Avenue or Market Street.
- On-site parking shall be located behind or to the sides of buildings.
- Large parking areas shall be avoided. Parking areas shall be divided into a series of small parking courts with direct access to adjacent dwelling units. Dwelling units shall have sight lines out of the parking areas.



Dwelling units oriented to the street

Architectural Design

- At the street level, pedestrian scaled elements such as awnings, public plazas, planters, building bases, and lattices shall be included. Development projects shall include a minimum of three of the following menu of streetscape elements:
 1. Public plazas.
 2. Planters (Street tree landscaping treatments are required as a separate element).
 3. Awnings.
 4. Outdoor seating areas enclosed with a low fence enclosures.
 5. Lattices
 6. Building entry canopies.
 7. Freestanding, pedestrian scaled community informational or wayfinding signs.



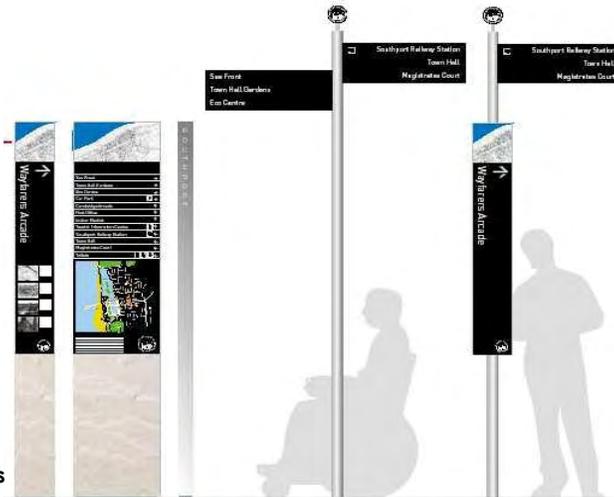
Awnings and Outdoor Seating



Entry Canopy and Planters



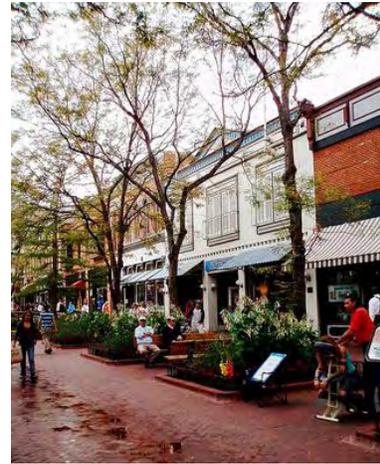
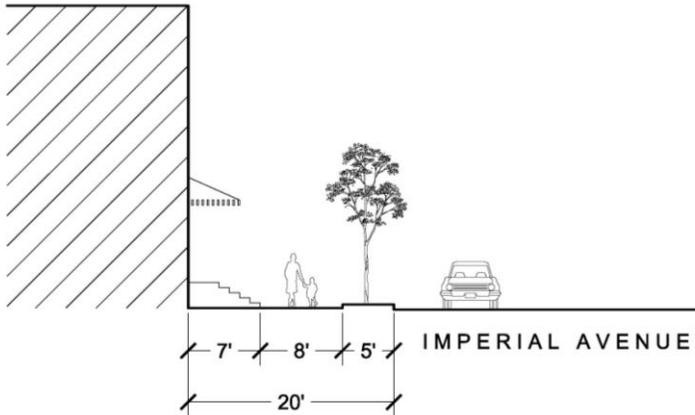
Public Plaza



Informational or Wayfinding Signs

- Between public sidewalks and primary building entries, designs shall include semi-private outdoor spaces. Residential shall include at least one of the following:
 1. seating areas,
 2. courtyards,
 3. stoops,
 4. latticed gateways,
 5. raised planter areas.

- Commercial and mixed-use projects shall be defined by using at least one of the following:
1. outdoor sitting/eating areas,
 2. courtyards,
 3. awnings,
 4. entry shade structures,
 5. raised planters.



- The street wall façade along public right-of-ways shall be architecturally modulated by volumes that are 100 feet in width or less. Volumes along the street wall must be defined by structural bays, and/or substantial reveals or offsets in the wall plane, and by changes in the rhythmic pattern utilizing one or more of the following features:
 1. Window openings or balconies;
 2. Awnings, canopies, or entrances;
 3. Arcades, columns or pilasters;
 4. Materials and color; or
 5. Other architectural features.

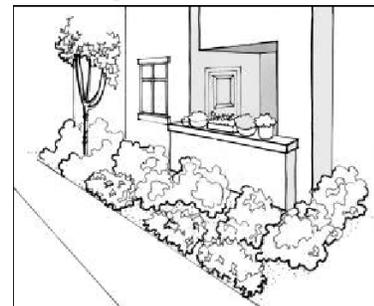
- To create a unified appearance, accessory structures shall be designed as an integral part of the development’s architecture. They shall be similar in material, color, and detail to the main buildings of the development.

- Building facades that enclose stairwells shall include a minimum of one two-foot by two-foot window per floor. Building facades enclosing elevator shafts shall use architectural treatments to reduce the visual mass.

- Garage doors shall incorporate architectural detail that is consistent with the overall development’s architectural design.

- Blank walls with rows of garage doors that face a public right-of-way are prohibited.

- Each dwelling unit’s entry shall include one or more of the following architectural elements:
 1. porches,
 2. stoops, or
 3. roof canopies;
 and, one or more of the following detailing elements:
 1. paint color,
 2. trim,
 3. materials,
 4. ledges, or
 5. awnings.



- Prefabricated metal stairs must include one or more of the following: screen walls, enhanced railings, or accent colors.
- Roof lines shall be broken up and varied within the overall horizontal plane. Combinations of roof heights that create variation are required.
- Roof-mounted mechanical equipment visible from a public right-of-way shall be screened in a manner consistent with the appearance of the building, including materials and color.
- Utility meters and equipment shall be placed in locations that are not exposed to view from the public right-of-way or they shall be screened, including the use of landscape materials. Screening devices shall be compatible with the architecture and color of the adjacent buildings.
- Roof flashing and vents visible from the public right-of-way shall be painted to match adjacent surfaces or concealed in a manner consistent with the building's appearance.

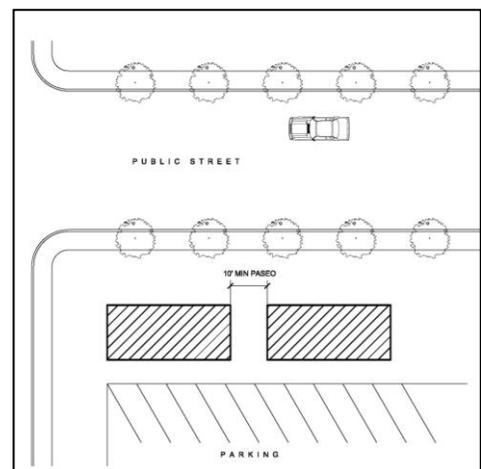


Paseos

- At least one formal walkway (paseo) shall be provided connecting two or more of the following: residential/commercial/mixed use structures, on-site parking, open space, and public rights-of-way. The paseo shall be at least ten feet wide and shall include landscaping/architectural elements to provide a shade canopy over at least 10 percent of the paseo.



10' Wide Minimum Paseo



- Any provided paseos shall include two or more of the following:
 1. landscape planters,
 2. outdoor public seating spaces,
 3. site walls and lighting,
 4. benches.
- Commercial building facades exposed to any provided paseos shall have windows or fixed glazing areas of at least 30 percent of the total surface area of the wall facing the paseo.
- Residential building facades shall have windows or fixed glazing areas of at least 20 percent of the total surface area of the wall facing any provided paseo.

Landscaping and Hardscaping

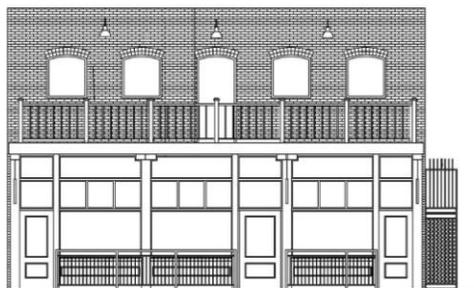
- Tree grates shall be flush with adjacent paving and shall have a minimum 12” diameter tree opening and shall have perforations.
- A paved maintenance strip shall be provided around the perimeter of all traffic medians. Maintenance strips shall be of uniform width and not less than 18” including the curb.
- Planting areas shall be a minimum of 24” wide. If median is too narrow to accommodate maintenance strips and minimum width planting areas, the entire surface shall be attractively paved.

Streetscape

- Driveways along Market Street, Euclid Avenue and Imperial Avenue shall not be allowed unless a secondary driveway access is unavailable. Exceptions include driveways into major parking lots that serve two or more parcels.
- The main entry to each dwelling unit shall be clearly visible from the nearest public right-of-way.

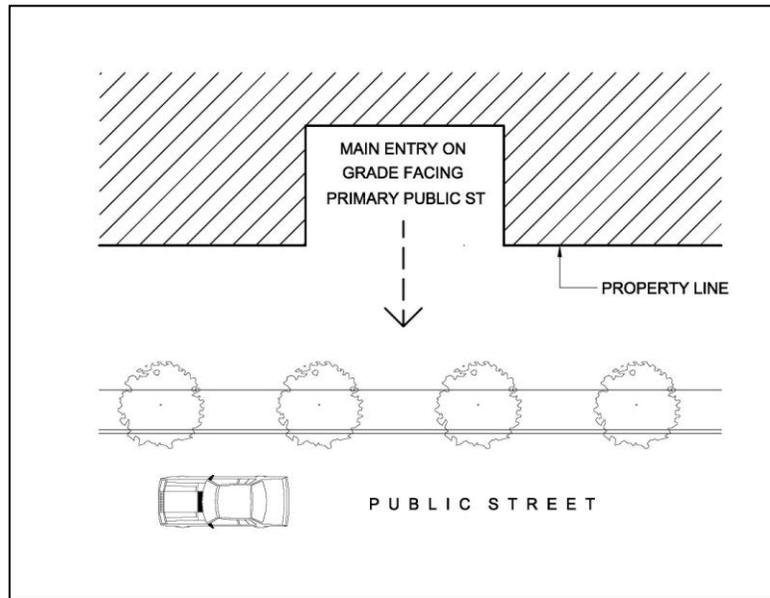
Commercial Frontage

- Commercial frontage shall be broken up so that no single frontage shall exceed 100 feet.
- A minimum of 60 percent of the street facing building façade shall be comprised of clear, non-reflective windows or storefront glass systems that allow views into indoor spaces.

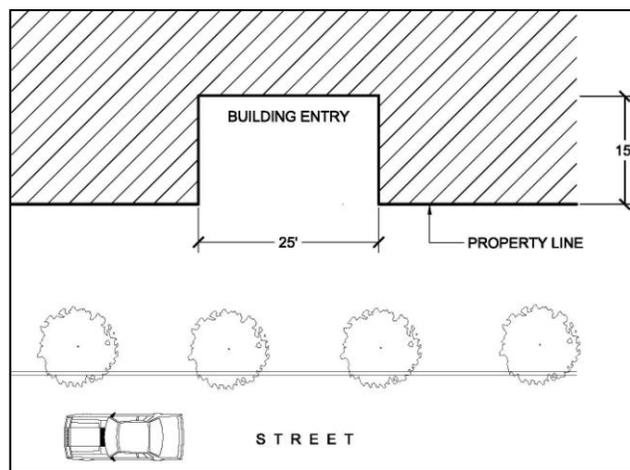


Minimum 60 percent of the street facing building façade at the ground level shall allow views into the indoor spaces.

- A minimum of 25 percent of the side street, or paseo facing building façades shall be comprised of clear, non-reflective windows or storefront glass systems that allow views on indoor spaces.
- Direct access shall be provided facing the public street. Access shall be provided for retail shops located at grade.



- Recessed entrances shall not exceed 25 feet in width and the face of the entry shall be within 15' of the property line.

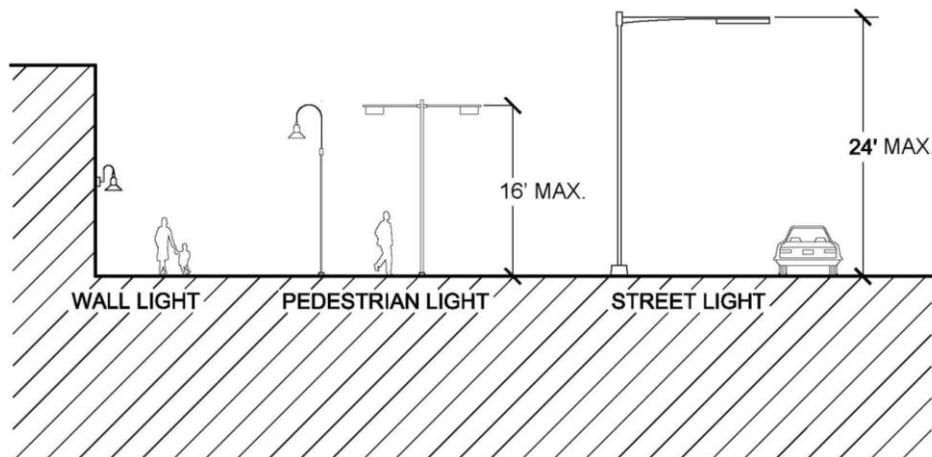


- Walls exposed to streets other than Market Street, Euclid Avenue, or Imperial Avenue or pedestrian passage ways between buildings shall have doors and/or windows, or fixed glazing areas of at least 30 percent of the total surface area of the wall facing these open spaces.

- Visible exterior security gates or bars are not allowed. Interior security systems or enclosures shall not be visible from the exterior of the building during normal business hours.
- Commercial storefronts shall include a minimum of three of the following design elements:
 1. Awnings;
 2. 30” high max. storefront bulkhead or base faced with wood trim, brick or stone veneer, ceramic or glass tile;
 3. Transom windows to maximize natural daylight into the interior spaces;
 4. Pedestrian scaled hanging signage affixed to the building façade; and/or
 5. Outdoor seating area with a maximum 42” high fence enclosure.
- Commercial storefronts on corner lots shall provide one or more of the following elements:
 1. Primary storefront entry;
 2. Outdoor seating area;
 3. Public Plaza;
 4. Location for public art or community informational kiosks.

Lighting

- Lighting for pedestrian corridors and streetscape sidewalks shall provide a minimum lighting standard of 4,000 lumens per fixture. Fixture height shall not exceed 16 feet in height.
- Lighting for open space areas and parking lots shall provide a minimum lighting standard of 8,000 lumens per fixture and shall not exceed 24 feet in height.



- Lighting in parking areas shall be arranged to prevent direct glare into adjacent dwelling units and onto neighboring uses/properties.
- Lighting fixtures on building facades shall be located to provide lighting to entries and public spaces. Fixtures shall be pedestrian scaled and shall be located no higher than 12’ above street level. Fixtures shall not exceed 8,000 lumens per fixture.

Walls and Fences

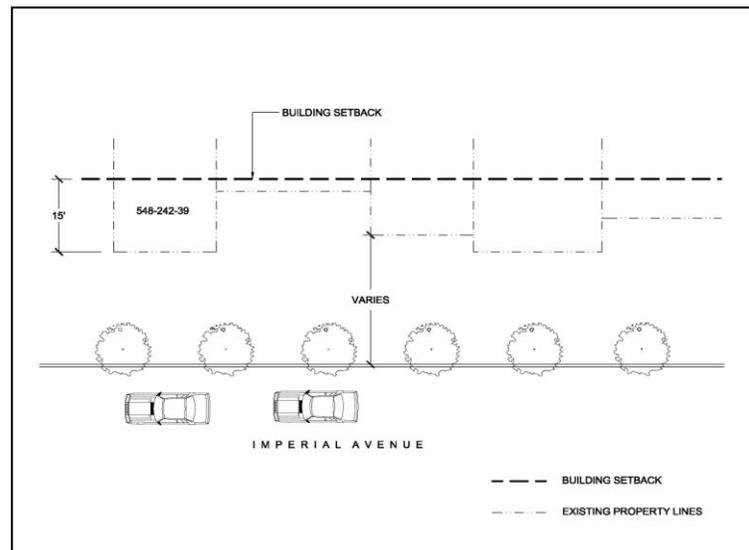
- Chain link fencing is not allowed.

Imperial Avenue Corridor

These additional regulations apply to the Imperial Crest Area (I-805 to Euclid Avenue) and the Encantada Area (61st Street to Woodman Street).

Imperial Crest Area (Figure V-1)

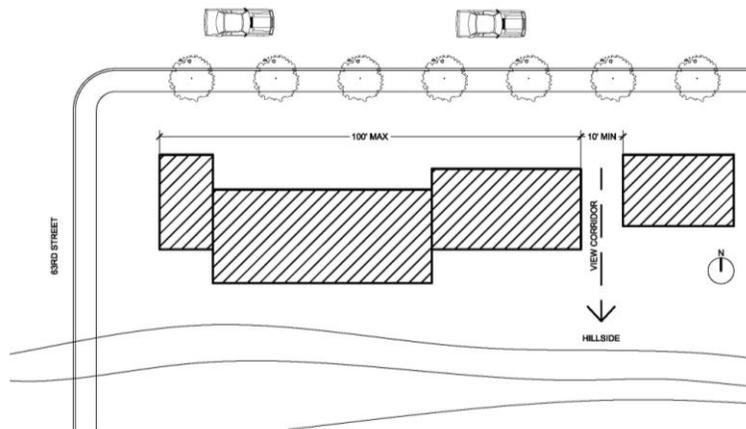
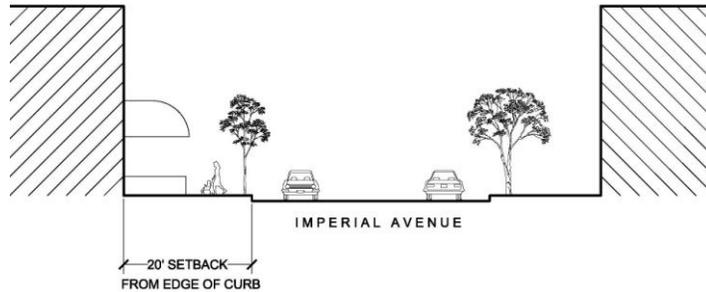
- Setbacks off of Imperial Avenue shall be 20' from the curb (15' feet from the front property line) except for the following conditions:
 1. Setbacks for parcels on the south side of Imperial Avenue between Willie James Jones Avenue to Euclid Avenue shall be uniform based upon a 15' front property line setback from the assessor's parcel number 548-242-39.



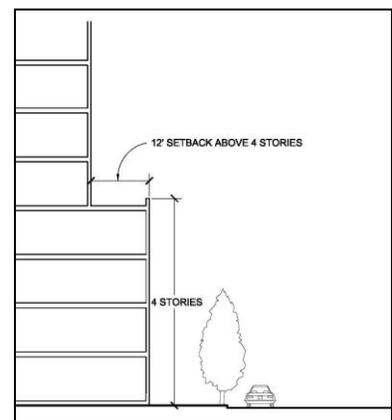
- New street trees along Imperial Avenue in the Imperial Crest area shall be provided in accordance with the SESD CPIOZ Street Tree Corridor Plan Segment B1, Imperial Avenue (See Appendix), planted in tree grates at 30 feet on center, except along Lincoln High School, which shall maintain existing species.
- New street trees along Euclid Avenue in the Imperial Crest area shall be provided in accordance with the SESD CPIOZ Street Corridor Plan Segment B1, Euclid Avenue (see Appendix) planted in tree grates at 30 feet on center.
- Accent or theme street trees at Imperial Crest Gateway intersections (47th Street and Euclid Avenue) shall be provided in accordance with the SESD CPIOZ Street Corridor Plan, Segment B1 Imperial Avenue, and E1, Euclid Avenue (See Appendix) planted in five foot wide parkways or tree grates at 15 feet on center.

Encantada Area (Figure V-1)

- In the Encantada Area, all development along Imperial Avenue shall have a uniform setback of 20 feet from edge of curb, as illustrated below. In addition, in the Encantada Area, buildings facing Imperial Avenue shall maintain a uniform building face setback as shown below.



- A ten-foot wide minimum view corridor from the street level shall be provided at a minimum of every 100 linear feet between 63rd Street and Woodman Street, on the south side of Imperial Avenue.
- New multi-story developments over four-stories shall be set back away from the street to create a staggered look with lower scaled buildings fronting Imperial. Facades above four stories shall be stepped back 12 feet from the lower façade.
- Parkways at residential developments shall be five foot minimum width.



- New street trees along Imperial Avenue in the Encantada Area shall be provided in accordance with the SESD CPIOZ Street Tree Corridor Plan, Segment C2, Imperial Avenue (See Appendix) planted in tree grates at 30 feet on center.

DEVELOPMENT AND DESIGN GUIDELINES - CPIOZ TYPE B REVIEW

The Development and Design Guidelines apply to development proposals in the SESD CPIOZ that require CPIOZ Type B discretionary review. Applicable design guidelines from the Urban Design Element of this Community Plan should also be applied to CPIOZ Type B projects. These guidelines will direct more finite site design, building architecture, and detailed landscape and environmental character design. If there is a conflict between these guidelines and the guidelines from other applicable plans, these guidelines take precedence.

Building Siting

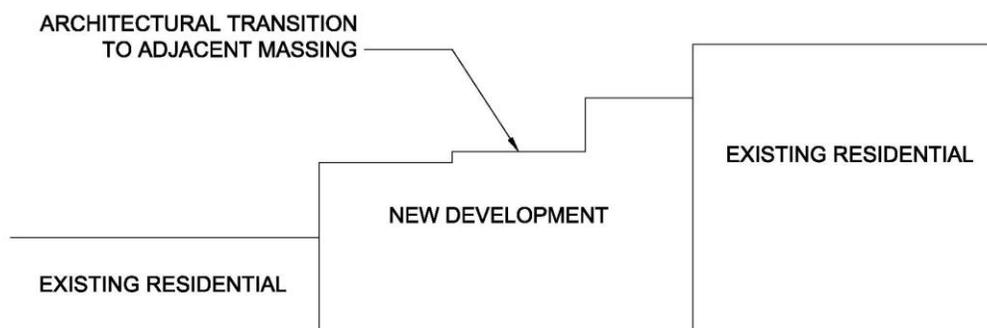
- Buildings should be sited and designed so that windows of neighboring units do not overlook private open spaces likely to be used for private activities.
- Windows should be sited to allow occupants to have “eyes on the street” for natural surveillance.
- The distance between units facing each other across a common landscaped open space should be sufficient for outdoor use and gatherings but should not compromise the privacy of individual dwelling units.



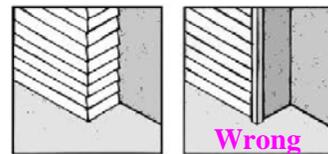
Private open space adjacent to common open space

Architectural Design

- Varied building heights and forms shall be provided, both to provide visual interest and give the appearance of a collection of smaller structures. The development’s building height shall create a transition from the heights of adjacent existing residential development, rather than form abrupt height changes.



- Special care should be used in the design of corner buildings due to their high visibility. Use building design to anchor a district, serve as landmarks and to provide a sense of enclosure for the intersection.
- Courtyard doors or gates used at building entries should be attractively designed as an important architectural feature of the building or development.
- Color should be used as an important design element in the development's appearance. A complementary color palette should be used within any development. Muted tones for the predominant colors of the dwelling units and accessory structures are suggested. Appropriate use of more than one predominant paint color is encouraged. Compatible accent colors are encouraged to enhance important building elements. The color of shadow patterns, relief, decorative trim, and wood frames should be distinctive yet compatible with the overall color palette.
- Materials such as brick, stone, copper, etc. should be left in their natural colors. Such materials should not appear thin and artificial. Veneer should turn corners and avoid exposed edges.



Veneer materials should turn corners and avoid exposed edges

- The design, selection and placement of all site furnishings, such as tables, benches, bollards, and trash receptacles should be compatible with the overall site design and architectural character of the development.
- Downspouts, mailboxes, electrical components and other miscellaneous details shall be concealed or integrated into the building façade.
- Areas shall be provided around parking garages, tuck-under parking and underground parking entrances for landscaping, including a few large areas to accommodate trees.

Open Space

- Residents of new developments should have access to useable open space for recreation and social activities. Open spaces should be conveniently located for the majority of units.
- Open space areas should have well-defined edges, such as walkways, buildings, or landscaping.
- Boundaries between private and common open spaces should be clearly defined by elements such as low walls or plant materials.
- Private open space should be contiguous to the units it serves and should overlook the public right-of-way or common open space.

- Informal outdoor gathering areas and pedestrian nodes that can function as community gathering spaces should be created and incorporated into a project’s overall site design. These areas should relate to the development’s common facilities, such as the play areas, courtyards, laundry facilities, and community buildings.

Paseos

- Safe pedestrian paseo linkages should be provided between buildings and parking areas, open spaces, and adjacent neighborhoods. Paseos should be proportionate to their length and should be no less than 10’ 0” wide.
- Secondary commercial building entries off of a paseo should have a projection and/or hanging identity sign that should project no more than three feet from the face of the building.

Streetscape

- The identity of Imperial Avenue should be reinforced by a pedestrian-oriented streetscape that shall include sidewalks, street lighting and a landscaped parkway with street trees.
- Sidewalks should allow room for wheelchairs together with outdoor spaces for restaurants, semi-public spaces, and planter areas.
- Cross circulation between vehicles and pedestrians should be minimized. A continuous, clearly marked walkway should be provided from the parking areas to main entrances of buildings. Walkways should be provided between residences, parking areas, and all site facilities for safe access.

- Seating surfaces should be an appropriate height above the finished grade and should include arms or other vertical projections to accommodate persons of limited mobility. They should be located in areas that are visible to street and sidewalk activities, but do not impede pedestrian use of adjacent walks.



- Seating should be designed in a way that discourages inappropriate use by skateboarders, stunt bikers, urban campers, etc.

- Bicycle racks should be provided at community nodes such as schools, libraries, retail developments and transit stops. They should be located within public view, but should not impede pedestrian use of adjacent walks.



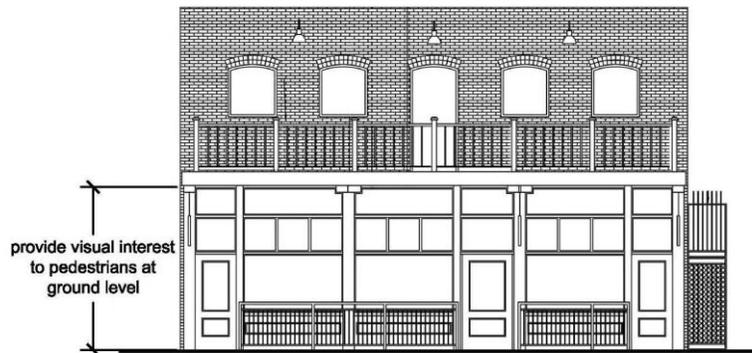
- Waste receptacles should be provided in high traffic areas such as parks, plazas, transit stops and retail developments in conjunction with building entries and/or outdoor seating areas but should not impede pedestrian use of adjacent walks.

- Service access and alleys should be visually minimized from Imperial Avenue and secondary streets and should not be accessed directly from these streets.
- Secondary building entries from paseos, rear parking lots, and from side street building elevations are encouraged.
- Entry drives should have an adjacent pedestrian entry path.
- Special accents that define the main entry, create territorial reinforcement and provide visual interest are strongly encouraged
- Streetscapes should incorporate art and varied textures as a design solution to discourage graffiti and add interest.

Commercial Frontage

These guidelines apply to the Neighborhood Commercial use areas.

- The ground level of buildings should be developed to provide visual interest to pedestrians.
- For restaurant uses, outdoor dining areas should be incorporated in order to create visual interest within the pedestrian walkway and to stimulate pedestrian activity.



- All publicly visible facades of a building should be treated equally in terms of materials, colors, and design details. The building should have a finished appearance on all visible sides.
- Storefront design, materials and colors, at both existing and new buildings, should complement the individual architectural character of each building.
- Awnings or canopies should be used to reduce glare on storefront glass and to shelter the pedestrian standing near the storefront. Cantilever awnings and canopies can also be used so as to keep the sidewalk as clear and unobstructed as possible. Care should be taken to preserve views down the street.



- Awnings or canopies should reflect the door and window openings or structural bays of the building façade.

Adjacency/Compatibility

- New multi-family and mixed-use residential development should be compatible with residential development in the immediate area through the use of complementary building arrangements, buffers, step backs, and avoidance of overwhelming building scale and visual obstructions.

Parking

- Parking should be convenient for residents, customers and visitors and its visual impact from neighboring properties and public rights of way should be softened or minimized.
- Parking courts should be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.
- Parking areas should be located in the development’s interior and not along street frontages, wherever possible. Driveway openings along street frontages should also be minimized.
- All parking areas should provide adequate lighting at nighttime utilizing fixtures that support the scale, character and identity of the Imperial Avenue Corridor.

Landscaping and Hardscaping

- Street trees should be provided in accordance with the SESD CPIOZ Street Corridor Plan (see Appendix)



- Landscaping, such as plant materials, paving, lighting, street furniture and signage should be used as a tool to unify public spaces and development.

- Parkway trees at residential developments should be planted with simple, drought tolerant groundcover. Planting should be of a low-growing habit that will not require hedging to control size, so a green and open effect is maintained into the future

- Deep well watering should be used on all trees planted in pavement to ensure deep root development and reduce the possibility of sidewalk heaving by roots.

- Proposed new medians should be planted in a compatible or similar manner to the enhanced existing medians.

- To highlight their distinct characters, the plant palette for parkways, plazas, parks and other public gathering spaces should vary between segments.

- Sidewalks should be of a single standard concrete mix so as to provide a uniform appearance throughout, except where designated



as enhanced paving, such as crosswalks, plazas, parks, gateways, and enhanced street corners. Historic sidewalk stamps should be preserved and incorporated into new developments to the extent feasible.

- A simple, uniform score joint pattern that is coordinated with the location of tree grates, light poles, building entries and other design elements should be established to provide a cohesive appearance.
- Landscape buffers or screening elements shall be provided that separate public right-of-ways from parking lots and to help soften the visual impact of parking lot edges.
- Where appropriate, new landscaping should complement existing landscape materials, location, and massing on adjacent developments.
- Use of landscaping is encouraged to define and accent specific areas such as building and parking lot entrances and the main walkways to community facilities.
- Different landscape designs and plant materials should be used in the various courtyards and common open space areas of the development to create an individual identity for each space.
- Landscape designs that emphasize water-efficient plants are encouraged. Water-intensive landscaping, such as turf grass, should be concentrated in areas of active recreation or use.
- Vines and climbing plants on buildings, trellises, perimeter walls, and fences subject to graffiti are encouraged, both to provide an attractive appearance and to minimize graffiti.
- To prevent water damage to foundations and building facades, an “irrigation free zone” should occur at all building foundations by locating irrigation heads at least 12 inches from the face of any building. The planting root balls of spreading shrubs can be placed just outside this 12-inch zone and foliage can still spread into the irrigation free zone to soften building foundations.
- Hardscape materials should be consistent with the architectural design or style of the development. The use of interlocking pavers, scored concrete, or rough-textured concrete to define site entries is strongly encouraged. Stamped concrete or colored concrete is not recommended due to excessive maintenance and repair costs associated with its use.
- The use of dense plantings to establish a barrier adjacent to ground level multi-family dwelling units is encouraged. Where appropriate, the use of thorny plants as barrier plantings is encouraged to enhance security. Mature shrubs located adjacent to multi-family residential buildings should generally be lower than the bottom of windows to maintain open sight lines.

Lighting

- Pedestrian lighting oriented for the public right-of-way and commercial properties should compliment any existing lighting fixtures found within the medians. Differing solutions for different areas of the CPIOZ are encouraged.

- Wherever possible pedestrian and vehicular lights should use the same pole to minimize sidewalk clutter.

Security

- Crime Prevention Through Environmental Design (CPTED) strategies should be incorporated into the site design, whenever possible. Contact the City of San Diego Police Department, Neighborhood Policing Resource Team for more information.

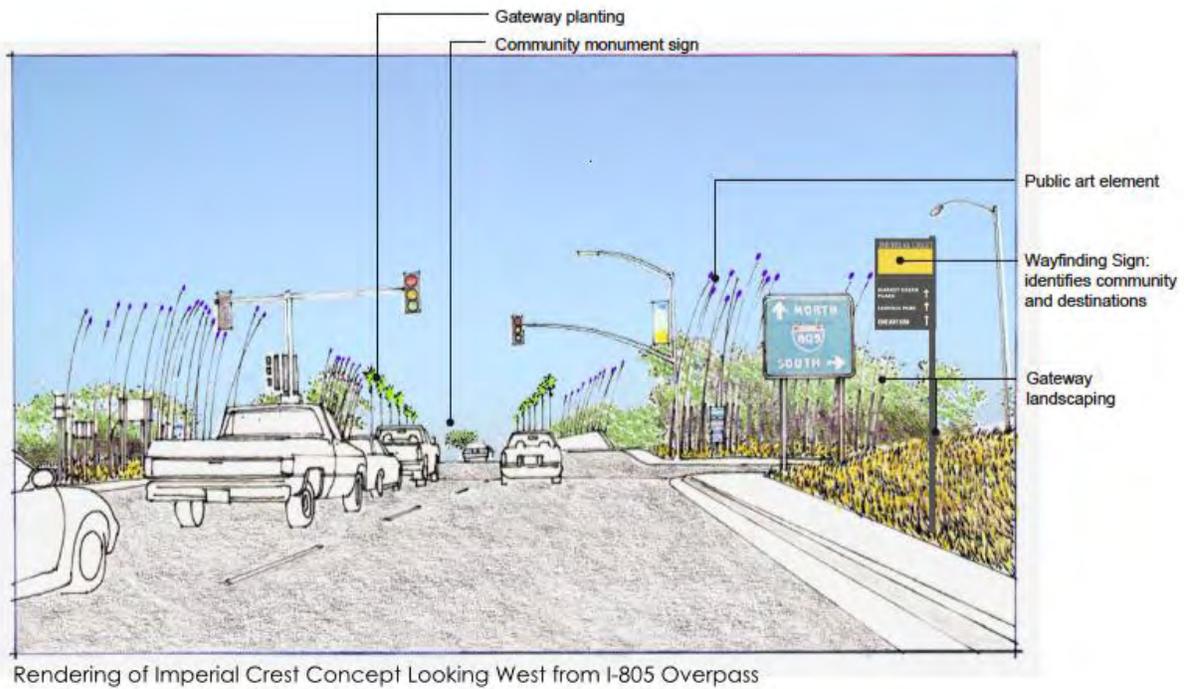
Walls and Fences

- The design of walls and fences, as well as the materials used, should be consistent with the overall development's design. Fence and wall color should be compatible with the development and adjacent properties.
- Natural materials, such as brick and stone, are encouraged for front yard retaining walls. If poured-in-place concrete is used, it should be treated with a decorative pattern or an exposed aggregate finish. Penetrable fencing material, such as wrought iron, may be used in combination with retaining walls in front yards. To maintain the dwelling unit's strong visual connection with the street, retaining walls in front yards should not exceed two feet in height.
- Wall design and selection of materials should consider maintenance issues, especially graffiti removal and long-term maintenance. Concrete capstones on stucco walls are encouraged to help prevent water damage from rainfall and moisture. Graffiti coatings are available in several different product types, including sacrificial coating and non-sacrificial coating. These should be used in graffiti prone areas.
- Individual dwelling unit patio and rear yard fences and walls visible from the development's open space should be no higher than 42 inches for security reasons. Outdoor privacy walls between units, however, may be higher. To increase privacy, it is encouraged that the privacy walls be solid.

Signage

- Wayfinding signage of a uniform size and graphic template should be used throughout the SESD CPIOZ to identify neighborhood institutions, landmarks and nodes, roadways, transit connections, and major roadways.
- All signage should have white or light colored type on a dark background. Type style should be in a simple and legible style, sized for optimal readability.
- Wherever possible, wayfinding, street identification and regulatory signs should be clustered onto existing poles to minimize sidewalk clutter.
- Monument signs should be prominently located at neighborhood gateways.





- Monument signs should reflect the character of the neighborhood and be coordinated with wayfinding graphics.
- Monument signs should be distinct but have common elements to identify the Imperial Avenue Corridor west of I-805, Village Center at Market and Euclid, and Hilltop area.
- Signage contributes to a development's identity as a unique environment. Professionally designed, creative signage is strongly encouraged, especially for internal directions and building identification.
- Building numbers and individual unit numbers should be readily visible, in a consistent location, well lit at night, and compatible with the overall design of a development.
- Exterior signs should be located within the base of the building with concern for the appropriateness of location, size, color, and lighting.
- Sign types should fit within the architectural details of the building they are placed on.
- Pedestrian-level display window signs applied directly to the glass should consist only of lettering without an opaque background.



Visible building numbers help visitors to easily locate units

- Window signs should not obscure the display area. The color of letters should contrast with the display background. Light colored letters or gold leafed letters with dark borders are effective.
- For shops and businesses along Imperial Avenue, smaller pedestrian oriented window signs are encouraged.
- Projection signs should complement the architecture of a building in respect to colors, materials, and structure. Only one projection sign should be allowed per building.
- All projecting signs should be externally lit. External light sources should be shielded from viewers on the street to prevent glare. Flashing or moving signs are strongly discouraged.

Sustainable Design

- Sustainable design features should be incorporated into all projects. The Conservation Element of the General Plan includes policies to implement sustainable design. Examples of features that should be considered include: minimizing energy use through innovative site design and building orientation that address such factors as sun-shade patterns, prevailing winds, landscape, and sun-screens; incorporating energy efficient appliances and lighting; reusing building materials and reducing construction and demolition waste, and using cool roofing materials or vegetated eco-roofs.

Imperial Avenue Corridor

Specific design guidelines are provided for the Imperial Crest Area (I-805 to Euclid Avenue) and the Encantada Area (61st Street to Woodman Street).

Imperial Crest Area

- Primary driveways for autos should be off of streets other than Imperial Avenue or Euclid Avenue.
- Pocket parks or pedestrian paseos should be provided and should align with street corridors or other existing open space features to allow visual linkages between neighborhoods.
- Architectural forms and materials should remain simple and unobtrusive. The intent is to create simple, unembellished building forms that incorporate richer pedestrian elements found at the sidewalk level.
- Exterior building colors for development projects should exude the energy, diversity, and urban vibrancy being proposed for the area. Lincoln High School sets a design precedent for future development of institutional and community facilities. Color pallets should be carefully selected to create a high quality, attractive environment that encourages a sense of community.



Encantada Area

- Additional median planting in new and existing medians should utilize the existing plant palette of *Platanus*. Species should be California Sycamore (*Platanus racemosa*) not London Plane Tree (*Platanus acerifolia*). Additional groundcover and shrubs should be low maintenance, drought tolerant and, to reinforce sense of traveling along a valley floor, riparian plant material such as Ribes and Juncus should also be used. Shrubs and groundcovers will be of a habit that can move in the breeze and does not need to have its size controlled by hedging.
- Median planting at the trolley station should be low maintenance, drought tolerant and distinct from other medians to accent the trolley station and adjacent plaza as a major community node and public gathering space. Shrubs and groundcovers will be allowed to grow to their natural size and shape. Size should not be controlled through severe pruning or hedging.
- Plant palette at plazas and parks should include a variety of low maintenance and low water plant materials with seasonal flowers and/or foliage color. To emphasize the more informal, town and country character of Encantada, plant palette should be naturalistic and include native species. Hedging and other formal landscape devices are inappropriate. Outdoor space definition, boundary articulation and landscape buffers should be achieved by naturalistic mass planting wherever possible.
- Pedestrian scaled lighting along the south side of Imperial Avenue, Trolley Plaza, Encantada Core and parks should complement the existing lighting fixtures found within the existing medians. Pedestrian light poles could have banner arms to advertise community special events.
- Architectural forms and materials should remain simple and unobtrusive.
- Exterior building colors for the Encantada Area and surrounding corridor should be chosen to respond to the natural setting and historic background of the Encantada Area. The vision for the Encantada Area should be more subdued. The natural setting of the canyon edges shall also influence building colors and materials.