
CHAPTER FIVE: COMMUNITY DESIGN GUIDELINES

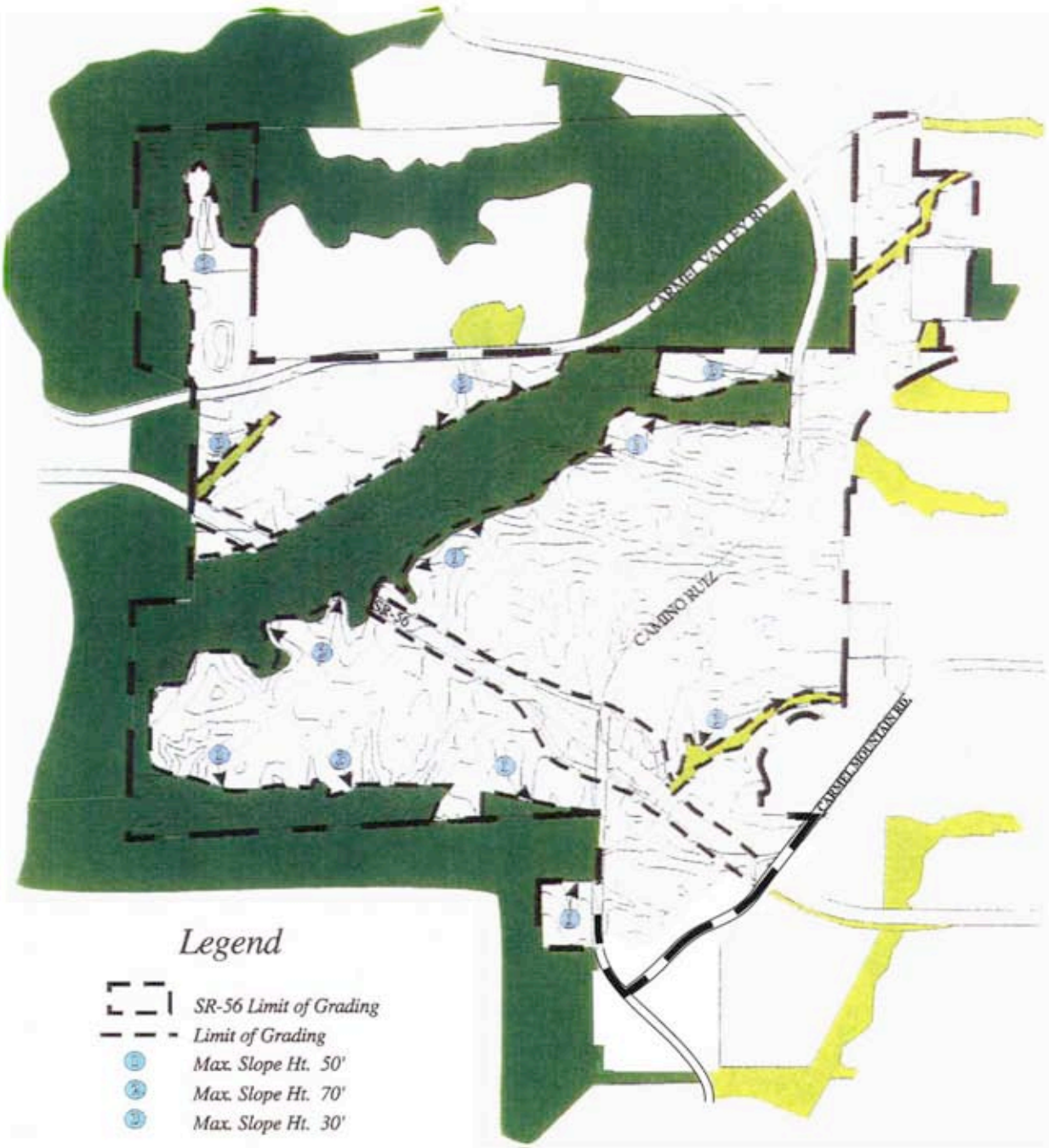
GOAL:

Develop Torrey Highlands as a traditional community of distinct yet complementary neighborhoods that emphasize: pedestrian-oriented design with close proximity and access to institutional, retail and employment center land uses; variegated residential product types from single-family estate to LMXU density multifamily attached in a fine-grained pattern; and unified open space elements.






5.1 IMPLEMENTING PRINCIPLES

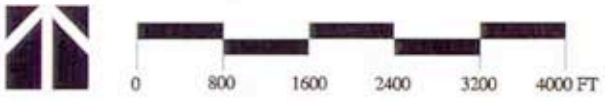
- Employ sensitive landform alteration concepts throughout Torrey Highlands that will guide grading design, including contour grading, variable slope ratios and revegetation with native plant materials.
- Utilize related landscaping, fencing and edge treatments throughout Torrey Highlands to connect the various neighborhoods and activity nodes and provide a coordinated street treatment on major streets throughout the NCFUA.
- Vary building scale, architectural detail and landscape treatments in residential, commercial and Employment Center areas to create an interesting and lively pedestrian environment.
- Facilitate convenient non-motorized transportation access within the Torrey Highlands community through a multi-modal circulation system that incorporates direct, multi-purpose streets, as well as a trail system which accommodates bicycle, equestrian, electric vehicle and pedestrian access throughout the community.
- Provide appropriate interfaces and transitions between differing land uses to minimize adverse impacts.

The design guidelines set forth in this section have been established to provide for the orderly development of the Torrey Highlands Community. They are intended to provide design guidance while providing flexibility through the long-term buildout of the Subarea. The standards address the arrangement and development of commercial, residential and employment center uses consistent with the intent, purpose and goals of the General Plan, including the NCFUA Framework Plan. Application of these guidelines is specifically intended to build upon the Framework Plan guidelines by creating harmonious relationships among land uses within the Subarea; within the rest of the NCFUA; within adjoining communities; and to protect the health, safety and welfare of the community. While a coordinated and complementary design for Torrey Highlands community is desired, a particular design theme is not specified.



Legend

-  SR-56 Limit of Grading
-  Limit of Grading
-  Max. Slope Ht. 50'
-  Max. Slope Ht. 70'
-  Max. Slope Ht. 30'



Grading Plan 5-1
Torrey Highlands Subarea Plan **FIGURE**

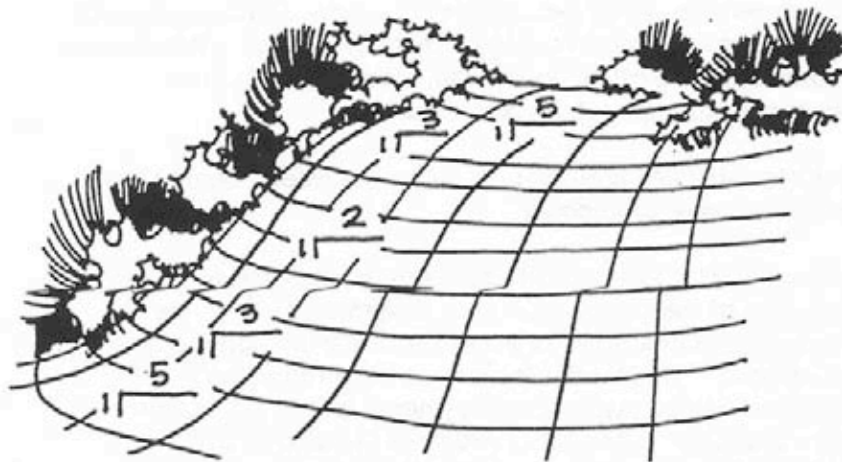
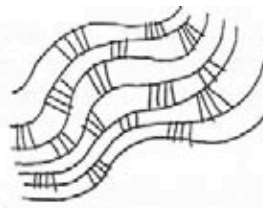
5.2 GRADING

5.2.1 Grading Plan

A conceptual grading plan has been prepared to guide future development of the community. The Concept Grading Plan (**Figure 5-1**) sets the outer limits of development and disturbance along the MSCP Preserve and identifies areas where the natural landforms are to be preserved. The Concept Grading Plan also identifies maximum slope height for development adjacent to open space. All grading for future projects must comply with applicable development regulations. Encroachment beyond the limits of disturbance shall be avoided.

The grading philosophy is to avoid significant grading adjacent to the MSCP Preserve and to retain the sense of existing landforms in development areas. Contour grading shall be used to create artificial slopes with curves and varying slope ratios designed to simulate the appearance of surrounding natural terrain.

Use contour grading for natural terrain appearance



Use variable slope ratios for grading adjacent to the proposed MSCP Preserve

5.2.2 Grading Policies

- Extensive grading and/or terracing that disrupts the natural shape and contour of the site shall be restricted except in the Employment Center, Local Mixed Use Center and Commercial Regional areas where larger pads are required. Where these pads are necessary, grading will be limited to the areas necessary for construction.
- Grading along the edge of the Preserve shall retain the existing characteristics of finger canyons. What limited grading that may occur within the Preserve shall be revegetated with native plant material that is horticulturally and visibly compatible with the Preserve.
- Berming and terracing will be a preferred method which will be used to separate competing land uses. If this cannot be satisfactorily accomplished, a street may serve the same function.
- Manufactured slopes will not exceed a slope ratio greater than 2:1. Variable slope ratios will be used to avoid abrupt changes from pads to slopes.
- Project grading design shall balance cut and fill on-site to avoid the need for excessive importing or exporting of soil.
- Manufactured slopes shall be landscaped with native or drought tolerant plant materials.

5.3 LANDSCAPING

5.3.1 Landscape Concept

The general goals of the landscaping program for Torrey Highlands are to preserve and enhance the natural character of the community, provide a coordinated program for street landscaping and provide fire protection zones between native areas and structures. Edge interface areas will also be created to provide visual blending between uses and appropriate buffers between competing land uses. Several landscape components will be utilized throughout Torrey Highlands: Preserve revegetation areas, slopes and hillsides, major streets and medians, neighborhood areas, edge interface landscaping, fuel management areas and water conservation. **Appendix B** includes a recommended plant list for Torrey Highlands.

5.3.2 Preserve Revegetation Areas

Many areas of the Preserve will be revegetated. The overall goal of restoration is to create and maintain functional habitat areas. Graded areas within the MSCP Preserve will be revegetated with native species and/or in any other manner consistent with the policies prescribed by MSCP staff. Specific restoration guidelines are provided in **Chapter 2, Open Space**, as well as Appendix D of the Torrey Highlands Biological Resources Report Restoration and Enhancement Plan (**Appendix C** of this Plan).

5.3.3 Slopes and Hillsides

Natural and manufactured slopes occur throughout Torrey Highlands. Some slopes will be adjacent to major streets while others will separate land uses. As required by the Landscape Technical Manual:

- All manufactured slopes and hillsides steeper than 6:1 and greater than five feet in height shall be landscaped with native or drought tolerant plant materials.

5.3.4 Streets and Medians

Major streets in Torrey Highlands include Carmel Valley Road, Camino Ruiz and Carmel Mountain Road. Landscaping along major roads shall use street trees selected from the Recommended Plant List for Torrey Highlands (**Appendix B**) to establish continuity and a design theme.

- In general one tree species should be used per street. Because of their limited shade production and tendency to overwhelm pedestrian scale, palm trees should not be used for street trees in Torrey Highlands. The spacing of street trees will vary depending upon the species selected; trees with narrow canopies should be placed closer than those with a broad profile.
- Accent trees should be used at intersections or focal points and should be a different species than the street tree.

5.3.5 Neighborhood Landscape Components

Throughout the distinctive neighborhoods of Torrey Highlands, continuity can be established through the use of landscape themes. Landscape components will also create a visually pleasing and comfortable pedestrian environment. Trees, shrubs and groundcovers shall be selected from the Recommended Plant List for Torrey Highlands (**Appendix B**).

- Use of canopy trees and appropriate accent shrub plant species shall be emphasized throughout the Local Mixed Use Center and the residential areas to create a shaded, pleasant outdoor environment.
- Landscape treatments in the Local Mixed Use Center and in residential neighborhoods shall create a strong, identifiable theme by using street trees to establish continuity; views along streets toward a community focal point (open space vista, public building, street art, historical feature, park structure, etc.) shall be provided and enhanced through use of landscape elements to frame the view.

*LMXU landscape treatments
establish continuity*



- A combination of street trees, ornamental shrubs and groundcovers shall be used along streets to act as a buffer between the pedestrian and the automobile.
- Where roads open up to the Preserve or other open spaces, landscape treatments should consist of low-growing native or drought tolerant annuals, perennials and woody groundcovers; trees shall be located to frame view opportunities.

5.3.6 Edge Interface Landscaping

Edge interface landscaping refers to areas throughout Torrey Highlands which include different land uses adjacent to each other. Examples include the interface between residential areas and the Employment Center, Commercial, Schools and the MSCP preserve.

Landscape setbacks a minimum of ten feet in width shall be provided on the sides of commercial and Employment Center uses adjacent to residential areas; in addition, screening walls should be placed at the ten-foot setback line and landscape berms should be used in the landscape area to adequately separate and buffer uses.

Where schools abut residential uses, residential developments should use appropriate landscape buffer techniques including, but not limited to, grade separation, berming and mass plant species; however, pedestrian circulation shall not be impeded by the buffering. Potentially adverse visual impacts of Employment Center uses shall be mitigated through incorporating grade separation, artificial mounding and mass plant species of non-invasive drought tolerant trees and shrubs; this shall be intended to screen views from the adjacent Preserve, SR-56 and residential areas.

Grade separation useful for screening visual impacts



5.3.7 Fuel Management Areas

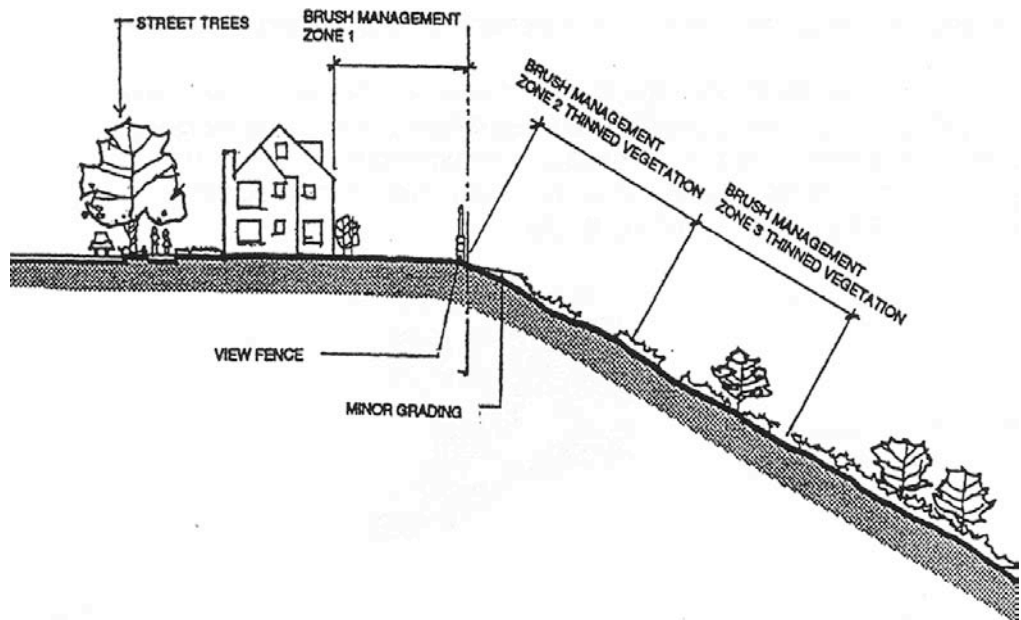
Fuel management areas exist between all structures and vegetation of canyons and hillsides and is intended to preserve, protect and safeguard human lives and property and the natural habitat. Brush management shall comply with the City's Landscape Technical Manual and MSCP staff requirements. For fuel management adjacent to the Preserve, see **Section 2.4.3**.



5.3.8 Water Conservation Measures

Landscape irrigation is a major source of water consumption in the urban environment. In addition to the City's Development Regulations, projects within Torrey Highlands will incorporate the following water conservation strategies:

- Runoff from landscaped areas shall be reduced through utilization of berming, raised planters and drip irrigation.
- Irrigation systems shall be automatic and use low-precipitation sprinkler heads, anti-drain valves, rain switches and other conservation devices.
- Vegetation indigenous to the area and non-invasive, drought tolerant plant materials shall be emphasized in the Torrey Highlands streetscape.
- Use of reclaimed water where available.
- Incorporate low-flow toilets, faucets and other water conserving devices into construction.
- Provide information regarding water conservation measures to new residents at the time of lot purchase.

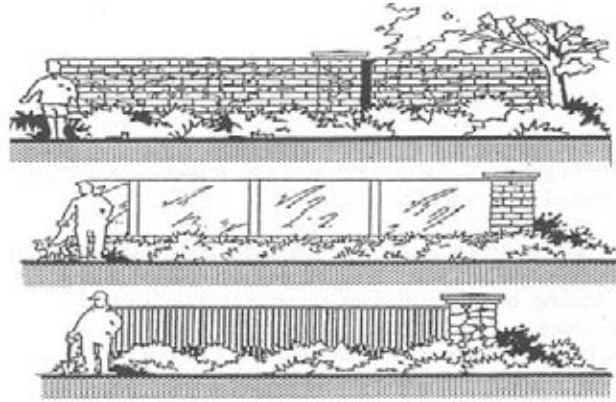


Fuel Management adjacent to the Preserve

5.4 FENCING AND WALLS

5.4.1 Fencing and Walls Concept

Fences and walls in Torrey Highlands will serve several functions including land use buffering and noise attenuation, privacy and security, ornamental treatments and identification. As a potentially highly visual element throughout a community, these structures will all be designed to provide a unifying element and to be aesthetically pleasing. The exact design, height and location shall be determined during the processing of site-specific development plans and fencing regulations.



Fencing and walls serve as sound attenuation, enhance privacy and supply ornamentation

5.4.2 Fencing and Walls Policies

- Earth berms shall be used to replace or supplement walls and fences whenever practical; any sound wall that is required to be over six feet in height must be screened with landscaped berms.
- Walls shall be uniform in design for each project.
- If constructed along the boundaries of the Preserve or an open space, walls, fences and other barriers along the boundaries of the Preserve shall be of an “open” design to permit unobstructed views and vistas of the wildlife corridor and major topographical features of a particular directional orientation (e.g., Black Mountain to the east or Del Mar Mesa to the south).
- Walls and fences shall not prohibit pedestrian, equestrian and bicycle access to streets, the Local Mixed Use Center, commercial developments, parks, community facilities and open space trails.
- Retaining walls are sometimes appropriate to minimize impact to hillside slopes; where used to minimize site impacts, crib walls planted with drought tolerant species are preferred; where block retaining walls are used, landscaping to serve as visual screening shall be provided; retaining walls over six feet in height shall be terraced.

5.5 STREETS AND TRAILS

5.5.1 Streets and Trails Concept

The streets and trails throughout Torrey Highlands, as described in **Chapter 3, Circulation**, will be designed to establish a system for convenient movement of people from residential areas to local and regional goods and services and to recreational areas throughout Torrey Highlands. The following design guidelines further establish the method by which Torrey Highlands neighborhoods will accommodate automobile, alternative technology, electric vehicle, transit, bicycle, equestrian and pedestrian traffic.

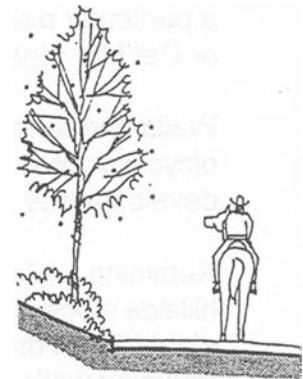
5.5.2 Streets and Trails Policies

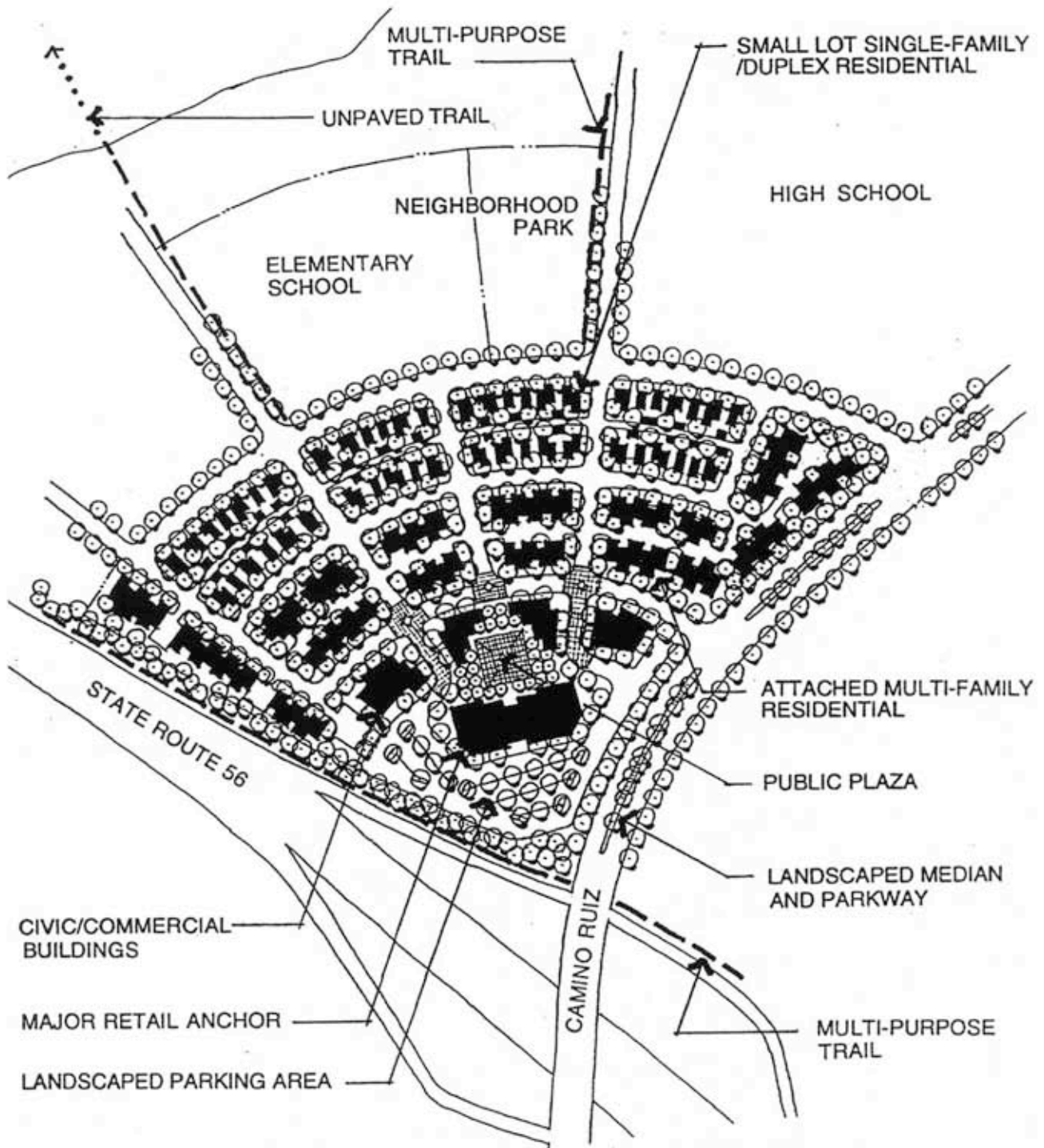
Street Layout and Design

- In the Local Mixed Use Center, streets shall utilize a grid or modified grid system to provide visual landmarks, create a sense of place and promote pedestrian and bicycle circulation.
- In low-density residential areas, a modified-grid system shall be used where topography allows, adapting road design to topography to minimize grading; where cul-de-sacs are used in low-density residential areas, pedestrian throughways shall be used where needed to provide access to destinations.
- Public streets shall extend from residential areas into the Local Mixed Use Center to accommodate pedestrian and bicycle access.
- Open spaces, schools, parks and neighborhoods will be connected with convenient pedestrian walkways and bikeways.
- Street sections shall include landscaping, sidewalks and trail improvements.
- Reduced speeds shall be encouraged in residential areas through use of narrower street designs where permitted by the City Engineering Department.

Pedestrian Ways and Trails

- Unpaved trails in the transition area of the Preserve (see **Chapter 3, Circulation**) shall follow the contour of the land and be “fitted” to the ground to minimize disturbance.
- Where unpaved trails are anticipated for equestrian use, minimum width shall be six feet and desired width shall be ten feet, to accommodate passing and riding two abreast.



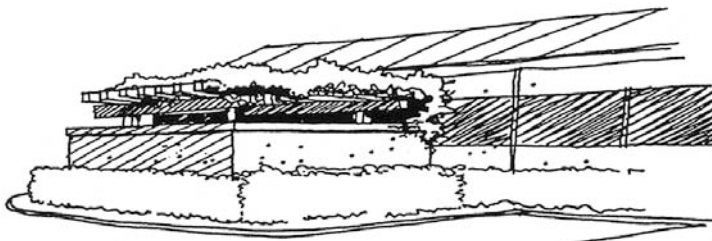


Local Mixed Use Center - Northern Alignment 5-2
 Torrey Highlands Subarea Plan **FIGURE**



Street Furniture

- Utility structures and street furniture shall be designed to complement and reinforce the architectural style of the surrounding buildings; trash bins and utilities shall be screened from public view by solid walls, fences and/or landscaping.



Screened trash bin enclosures

- Transit stops shall be designed and sited in accordance with MTDB guidelines and be located to be convenient to pedestrian areas along Carmel Valley Road and Camino Ruiz, as well as the Local Mixed Use Center; the transit stops shall be recessed for circulation ease; landscape planting shall be designed for a sense of safety and enclosure.

5.6 DEVELOPMENT AREAS

These guidelines are intended to promote creativity and innovation, as well as consistent quality in the implementation of Torrey Highlands neighborhoods. They shall be enforced through discretionary review of Planned Development Permits. **Figure 5-2** illustrates a design scenario for the Central Local Mixed Use Area.

5.6.1 Local Mixed Use Center Policies

- Alleys are encouraged where practical. Street blocks shall be limited in size to 400' by 220' with alleys to facilitate a fine-grained mix of development as illustrated in **Figure 5- 2**.
- Buildings should be arranged to form clearly defined public open space; public spaces shall be located in prominent locations within the core and provide a connection between commercial land uses and public buildings.
- Street-level uses shall encourage a pedestrian-oriented district that supplies consumer goods and services including retail, offices and galleries.
- A pedestrian-friendly environment will be achieved through the use of amenities such as shade trees, street furniture, narrow streets where appropriate, visual landmarks, plazas and courtyards; buildings shall front along the public street and sidewalks and be designed with minimum setbacks.



- Buildings shall be oriented toward the street and placed on or within ten feet of front property line to maintain continuity of street.
- Building facades shall vary and be articulated at street level through the use of arcades and awnings, bay windows and pictures windows, recessed entries and use of landscape planters rather than offsetting planes; articulation above the first story shall be continued through use of outdoor balconies and architectural relief and design; varied roof planes and shapes shall be used.
- The textural and material quality of a building's facade is important; traditional materials including stone, brick, concrete, block and stucco shall be used creatively to provide a sense of permanence; combined with architectural details and landscaping, the buildings can create a sense of connectivity to the street scene and pedestrians; reflective surfaces on buildings are prohibited at street level.

- Street trees shall be used throughout the Local Mixed Use Center; pedestrian seating areas shall be provided at select locations and be improved with benches, shade trees, ornamental landscape accents and trash receptacles.

Street trees used throughout the LMXU center



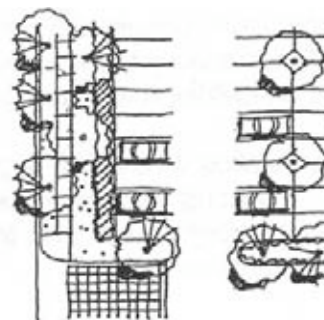
- The Local Mixed Use Center shall be oriented toward the intersection of two interior or "main" streets and away from Camino Ruiz; development of street level, commercial anchors at the four comers of this intersection will provide focus for the Local Mixed Use Center.
- A traditional village atmosphere shall be fostered by encouraging outdoor activities including outdoor seating areas for cafes and restaurants, requiring sidewalk landscaping and building articulation such as awnings, overhangs and arcades; access to the neighborhood park is planned through the use of trails and pathways, as well as potential siting of commercial businesses including cafes and bookstores opposite the park.
- Side roads should focus towards the center of the Local Mixed Use Center providing alternative auto and pedestrian routes into the core area.

Parking

- On-street parking shall be allowed adjacent to sidewalks in the Local Mixed Use Center.
- Alleys shall be permitted in the Local Mixed Use Center to encourage service areas at the rear of buildings.

- Parking lots shall be located to the interior of blocks and/or in the rear of buildings, allowing building frontages to be set back minimal distances from the sidewalk; where parking is located behind buildings, rear entrances shall be provided to the shops and offices in those buildings.
- Parking lots shall be landscaped to prevent vast expanses of asphalt; landscaping shall include low walls and/or landscaping hedges at the perimeter and canopy trees and low shrubs throughout the interior of the parking lots.

Parking lots shall be landscaped to prevent vast expanses of asphalt



- In the Employment/Transit Center, joint use of parking facilities will be integrated between land uses which have differing peak hours through the incorporation of transportation demand management policies and accommodations such as preferential fees.
- Bicycle parking facilities shall be provided throughout the Local Mixed Use Center.
- Parking and pedestrian lighting shall complement the scale and style of the adjacent architectural structures and shall be spaced to meet the lighting requirements of outdoor areas relative to their anticipated uses; lighting shall be shielded to reduce spill-over into adjacent development and open space areas; low-pressure sodium lights shall be preferred.

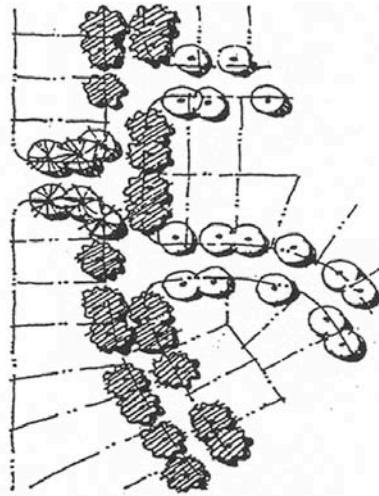
5.6.2 Neighborhood Commercial

The design and development of the 1.5-acre Neighborhood Commercial in the Northern Neighborhood will be subject to Planned Development Permits to ensure high-quality design and construction that will:

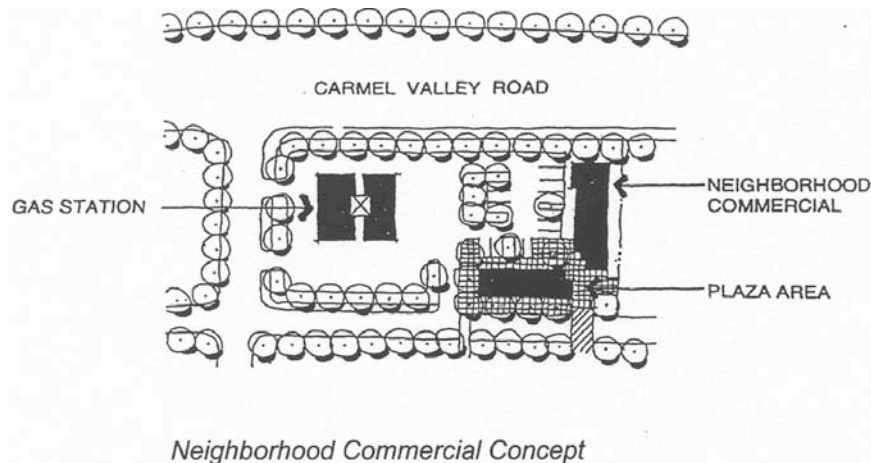
- Provide opportunities for pedestrian activity by incorporating walkways that connect with the surrounding residential areas; a small plaza or courtyard shall be provided as an entry to the commercial development from adjacent residential areas.
- Provide an architectural style for the commercial and gas station that is of high quality and is also compatible with the adjacent residential buildings; building shall be constructed of traditional building materials including stone, brick, concrete and stucco; building facades shall be articulated.

- Provide landscaping that screens parking lots and enhances the area.

Landscape techniques establish a sense of place



- Prepare a signage plan illustrating all signs, including those for the gas station.



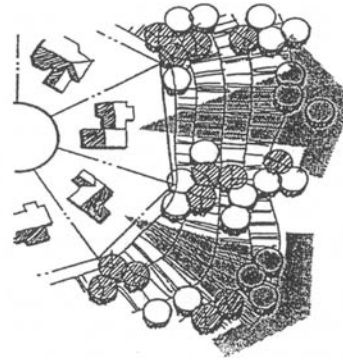
5.6.3 Residential Area Policies

Lot and Neighborhood Design

- Within low-density residential, cul-de-sacs shall be encouraged; streets within residential subdivisions must not inhibit pedestrian circulation or cause additional traffic impacts to other neighborhoods.
- A sense of place shall be established in the residential areas by coordinating lot design, landscape techniques and architectural themes; interconnected trail systems will contribute to unifying the neighborhoods.
- The Local Mixed Use residential areas adjacent to the commercial uses shall consist of a mixture of housing types such as town homes and zero lot-line detached residences; higher densities are to be clustered in locations closest to the commercial areas.

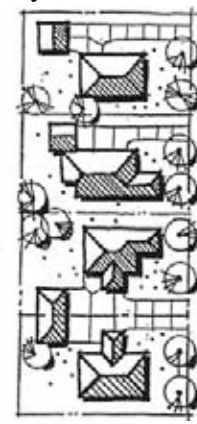
- Canyons and hillside views shall be emphasized as focal points. Lot design shall be adapted to topography and avoid repetitive design.

Canyon and hillside views shall be emphasized



- A fine-grained mix of dwelling units shall be achieved in each residential development area by using a variety of compatible housing product and styles within individual projects.
- Varied building heights and roof massing shall be encouraged along streets to create a visually interesting street scene.
- The CC&Rs shall be established by individual developers which will promote rich architectural detail of dwellings; residential units shall be oriented to the street environment through use of front porches, entries and court yards; window projections and recesses, building overhangs, chimneys, balconies, shade structures and other similar elements shall also be used; a variety of roof types and forms are encouraged.
- Front yard setbacks shall be offset forward or back on adjacent lots to achieve a varied and visually articulated street scene.

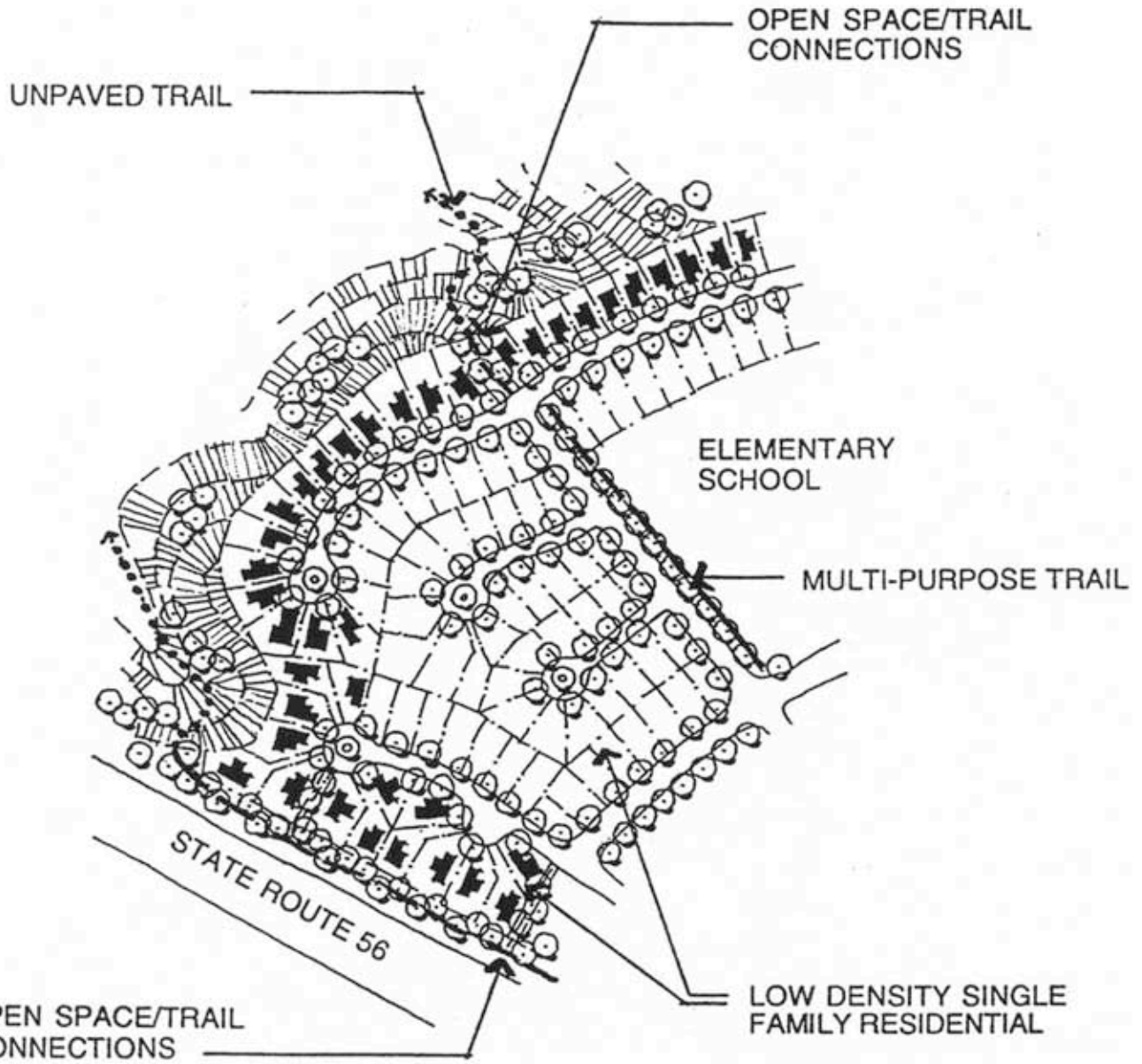
Alleys and garages are encouraged



Residential Interface Conditions

Two elementary schools, two middle schools and a high school will be sited in Torrey Highlands. Design of residential lots adjacent to schools and parks will consider both access to the school and park facilities and privacy for the residential areas.

The SDG&E high-voltage power line easement acts as the western boundary of Torrey Highlands. Appropriate site planning shall be used to buffer residences from transmission lines and the possible substation site. Site planning should include locating single loaded streets, parking lots or landscaped open spaces adjacent to the electrical utilities.



Residential Concept Adjacent to Open Space

5-3

Torrey Highlands Subarea Plan

FIGURE



The south edge of McGonigle Canyon is characterized by steep slopes and several finger canyons. **Chapter 2, Open Space** provides detailed discussion of Preserve guidelines. The following policies supplement and define the buffering and blending of the area between residential uses and the Torrey Highlands Preserve:

- Access into the Preserve from private residential lots will be directed by the use of fencing; access will be provided at common areas as part of the trail system.

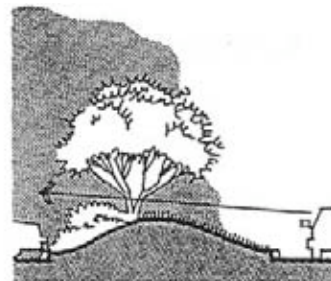
The north edge of McGonigle Canyon is not well defined but, rather, is characterized by gently rising slopes from the canyon bottom, making it necessary to create an edge. The edge conditions at the north side of McGonigle Canyon will include the following:

- A single loaded internal road adjacent to McGonigle Canyon shall be provided where possible, thereby extending the buffer area and the natural site features.
- The transition area within the Preserve shall be dominated by native and naturalizing plant material and may include an unpaved multipurpose trail.

In the southeast portion of Torrey Highlands, Commercial and Employment Center uses are in close proximity to residential areas. Land uses shall be buffered in the following manner:

- Physical separation and screening shall be aided through street layout, setbacks, berming and landscaping.

Landscape berming provides physical separation and screening



- Residential buildings shall be oriented away from the Commercial and Employment Center uses.

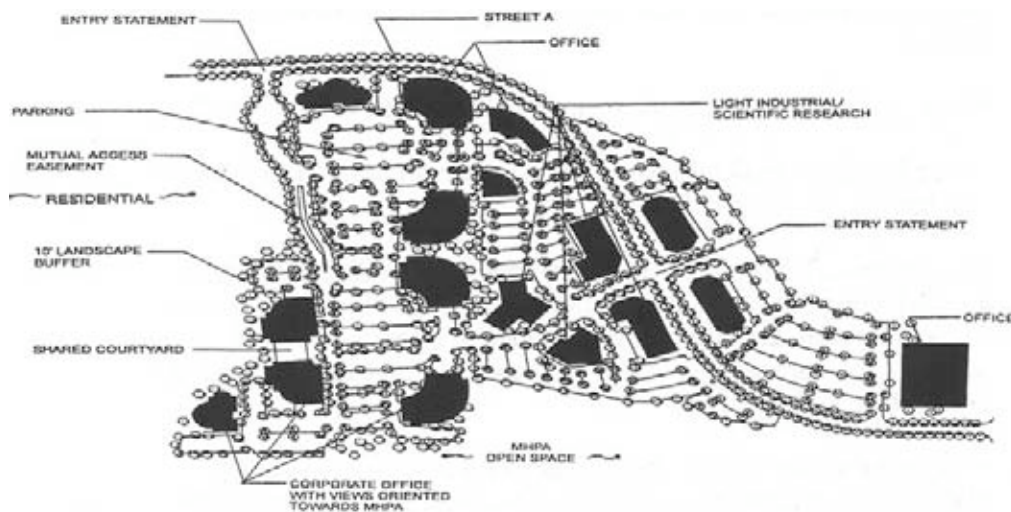
5.6.4 Employment Center

Discretionary review as part of the Planned Development Permit shall be established to ensure that:

- Site design for Employment Center uses shall consider controlled site access; service areas located at the sides and rear of buildings; convenient public access and visitor parking; screened storage, work and mechanical equipment areas; and emphasis on the main building entry and landscaping.

- Mutual access easements and shared driveway access shall be utilized to limit curb cuts along the street frontages and allow maximum landscape area.
- The following elements shall be avoided: large blank, flat wall surfaces; exposed, untreated concrete block walls; large expanses of reflective surfaces; chain link fencing with barbed wire (for security reasons, barbed wire in combination with solid masonry walls, plaster surfaced walls or wooden fences may be acceptable); “stuck on” mansard roofs on a small portion of the roofline; loading doors facing the street; and exposed roof drains.
- Along public streets, landscaped building setbacks ranging from ten to 30-feet shall be provided; in instances where buildings provide pedestrian interest, such as a shop or restaurant placed adjacent to a sidewalk, a maximum 10-foot setback is appropriate.
- Light, neutral colors shall be used on buildings to help reduce their perceived size; contrasting trim and horizontal color bands may help break up the vertical monotony of tall flat walls.
- Buildings shall be oriented to allow shared courtyards or plaza areas to create usable exterior space; individual buildings can be arranged to provide views, define space, suggest orientation or address grade change; buildings shall be sited to create functional spaces.
- Parking shall be managed to allow for shared use where possible.
- Office buildings shall be oriented to take advantage of views into the adjacent open space.
- Pedestrian and bicycle connections shall be provided to the trails located along Street “A” and Camino Ruiz and in the Open Space Amenities; also, provide pedestrian links to support uses and to adjacent residential uses in furtherance of a neo-traditional design concept.
- Architectural styles shall be of high quality and emphasize building materials such as stone, brick and wood; openings for doors and windows shall be recessed into the wall and treated as individual units; shadows created by this treatment will provide articulation to building walls.
- Accessory and support commercial uses will be permitted within the ECITC primary use structures, as a freestanding facility or in an aggregated manner concentrated on a single lot within the ECITC area.
- Distinctive landscaping shall enhance the project site and incorporate the street trees that are used by the adjacent street.
- The mutual access easements will possess distinctive landscaping measures that enhance the project site and comply with the landscaping requirements for public streets as specified in the City’s Landscape Technical Manual and design guidelines specified in this Plan.

- The MHPA guidelines will be followed by considering adjacent lands and addressing such topics of concern as drainage, lighting and landscaping. Lighting shall be directed away from all natural habitat, runoff from parking areas shall not be discharged directly into the MHPA, and invasive species shall not be planted adjacent to the MHPA.
- Buildings shall be set back a minimum of 25 feet from the MHPA.
- Views shall be oriented toward the MHPA and building entrances shall be oriented toward the interior of the ECITC.
- A ten-foot wide section of landscape screening shall be installed between the ECITC and adjacent residential uses.
- Buildings shall be designed to primarily accommodate single-tenant corporate office uses. Ancillary uses shall be limited to 20 percent of the ECITC area. Multi-tenant uses shall be limited to that allowed by project-specific traffic studies.



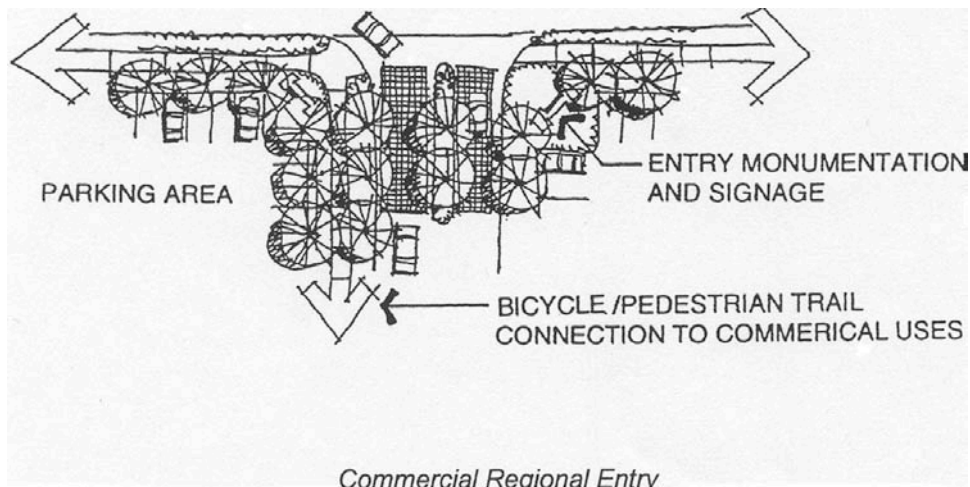
Employment Center Concept

5.6.5 Commercial Regional Policies

Discretionary review through Planned Development Permits shall ensure that Commercial Regional developments adhere to the following guidelines;

- Developments shall be integrated with surrounding land uses where possible; however, landscaped buffer areas, walls or a combination of both shall provide effective visual and noise attenuation between different land uses, loading docks and trash areas; landscaped buffers which incorporate a combination of tree and shrub planting shall be provided along Camino Ruiz and Carmel Mountain Road to screen and soften views of parking areas and buildings; parking lots shall be planted with trees to screen and soften large expanses of parking.

- Buffers and walls shall not prevent pedestrian circulation; an integrated pedestrian circulation system shall be provided which includes convenient pedestrian pathways, crosswalks, and benches; bicycle access into the development and bicycle storage facilities shall also be provided; trees shall be used as directional elements to help identify entryways and circulation.



- Architectural and landscaping themes shall be consistent throughout the development; corporate identification is allowed, but must be consistent with the rest of the development; a unified architectural theme shall be developed for the entire site that is compatible with the architectural design policy contained in the Rancho Peñasquitos Community Plan which states, "Commercial development should enhance the community's appearance by using an appropriate architectural style in buildings, signs and street furniture, such as Spanish mission style (adobe, stucco, tile) and Old West ranch style (wood siding and wood shingles)."
- The appearance of all building sites is especially important given that the site is surrounded by roads and a freeway; a combination of building articulation, building facades, texturing, painting and landscaping shall be used to provide visual variation in building elevations when viewed from the surrounding streets and freeways.
- Long expanses of walls shall be visually reduced by using a combination of: interconnection and overlapping of building forms and heights; horizontal lines or textures; landscaping and clustering of small-scale elements such as planter walls.
- Rooftop equipment and appurtenances shall be screened from views by using parapets or other roof forms.
- The following elements shall be avoided: chain link fencing with barbed wire (for security reasons, barbed wire in combination with solid masonry walls, plaster surfaced walls or wooden fences may be acceptable); "stuck on" mansard roofs on a small portion of the roofline; and exposed roof drains.

- Light, neutral or other approved colors, shall be used on buildings to help reduce their perceived size; contrasting trim and horizontal color bands may help break up the vertical monotony of tall flat walls.