



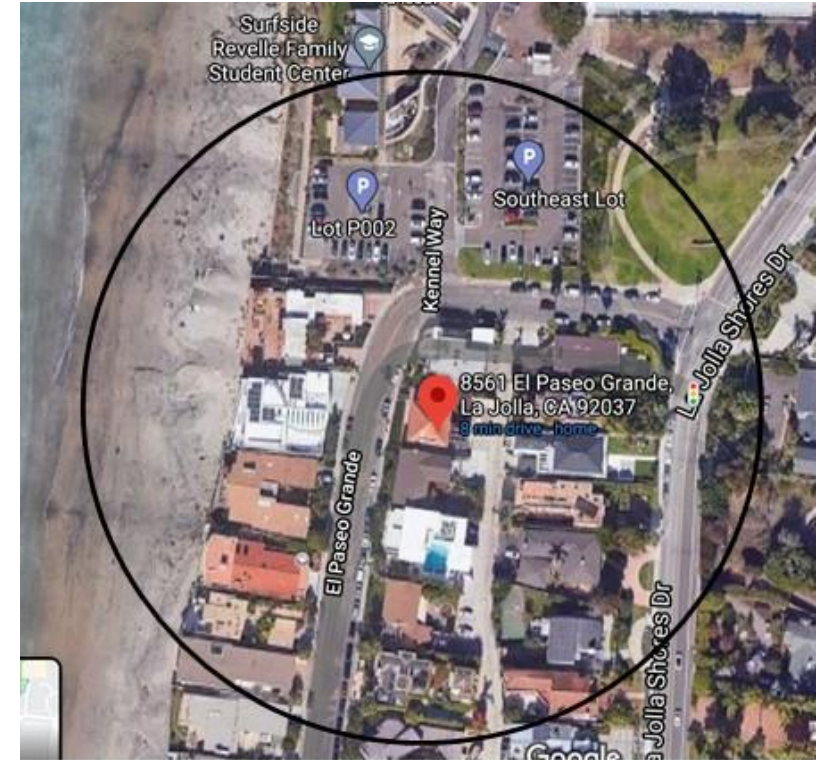
Presentation for the La Jolla Shores Advisory Board

Monday, March 15, 2021

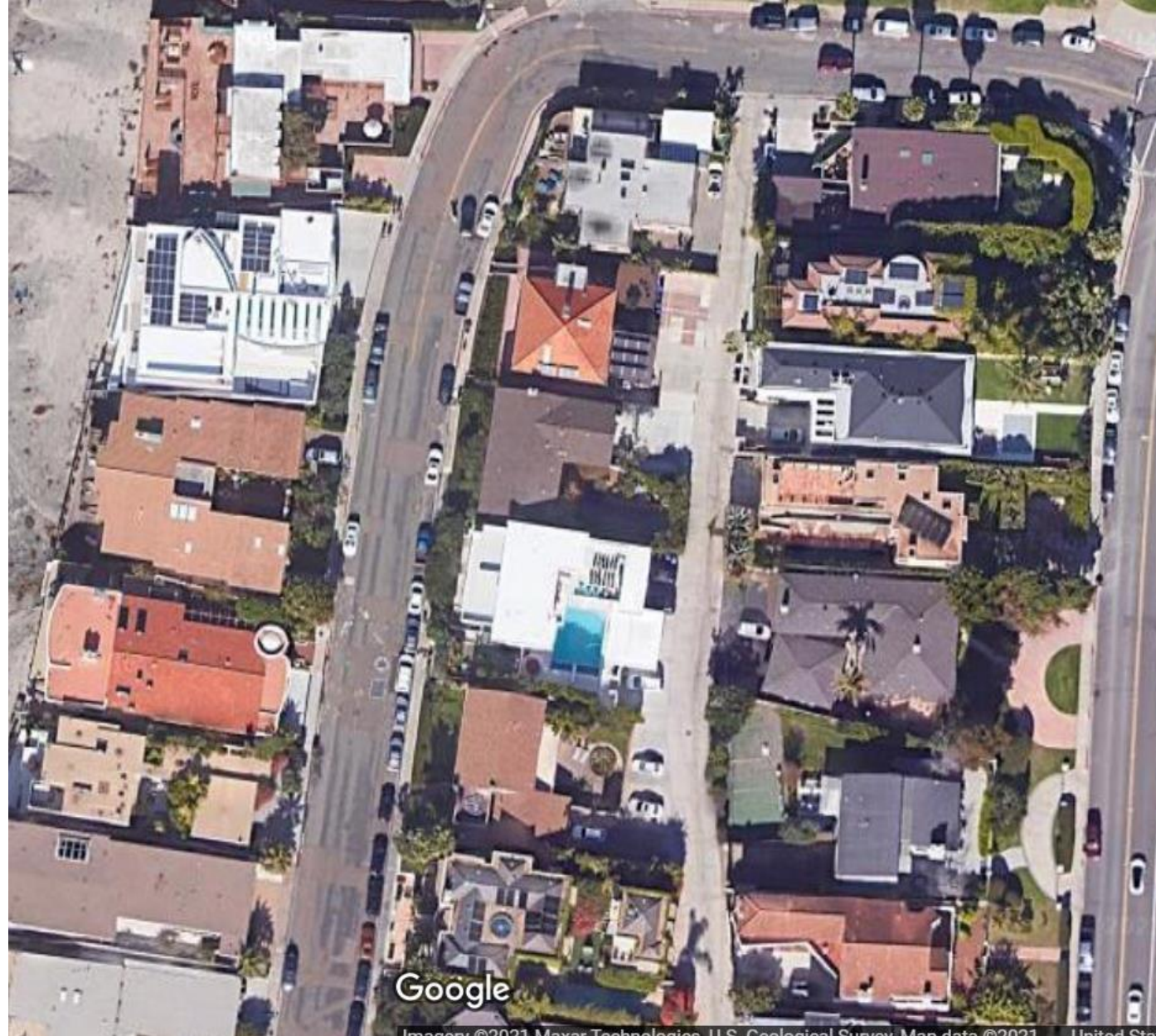


Bulk & Scale 300' Study

Address	Sq. Ft.	Lot size	FAR	Front Setback	Left Setback	Right Setback	Rear Setback
8542 El Paseo Grande	9,553	9,314	102	18	5	5	5
8529 El Paseo Grande	9,119	9,294	98	20	5	5	5
8556 La Jolla Shores Dr	5,543	5,628	97	50	5	5	5
8561 El Paseo Grande Prop.	6,157	6,330	97	15	5	5	20
8542 La Jolla Shores Dr	5,303	5,631	94	50	5	5	5
8558 La Jolla Shores Dr	4,968	5,862	85	50	5	5	10
8569 El Paseo Grande	4,202	5,648	74	15	5	5	10
8554 La Jolla Shores Dr	3,952	5,966	66	50	5	5	18
8545 El Paseo Grande	4,412	8,144	54	15	5	5	5
8553 El Paseo Grande	3,339	6,363	52	15	5	5	30
8550 El Paseo Grande	4,848	9,398	51	18	5	5	5
8562 El Paseo Grande	6,220	13,424	46	18	5	5	5
8585 El Paseo Grande	2,497	5,802	43	50	5	5	5
8554 El Paseo Grande	5,168	12,842	40	18	5	5	5
8552 La Jolla Shores Dr	3,205	8,026	40	50	5	5	20
8550 La Jolla Shores Dr	3,247	8,614	38	50	10	10	50
8558 El Paseo Grande	4,747	13,672	35	18	5	5	5
8537 El Paseo Grande	2,828	8,193	34	20	5	5	40
8564 El Paseo Grande	5,035	17,008	30	18	5	5	5
Note: Project square footage reduced 10% to reflect habitable square footage							



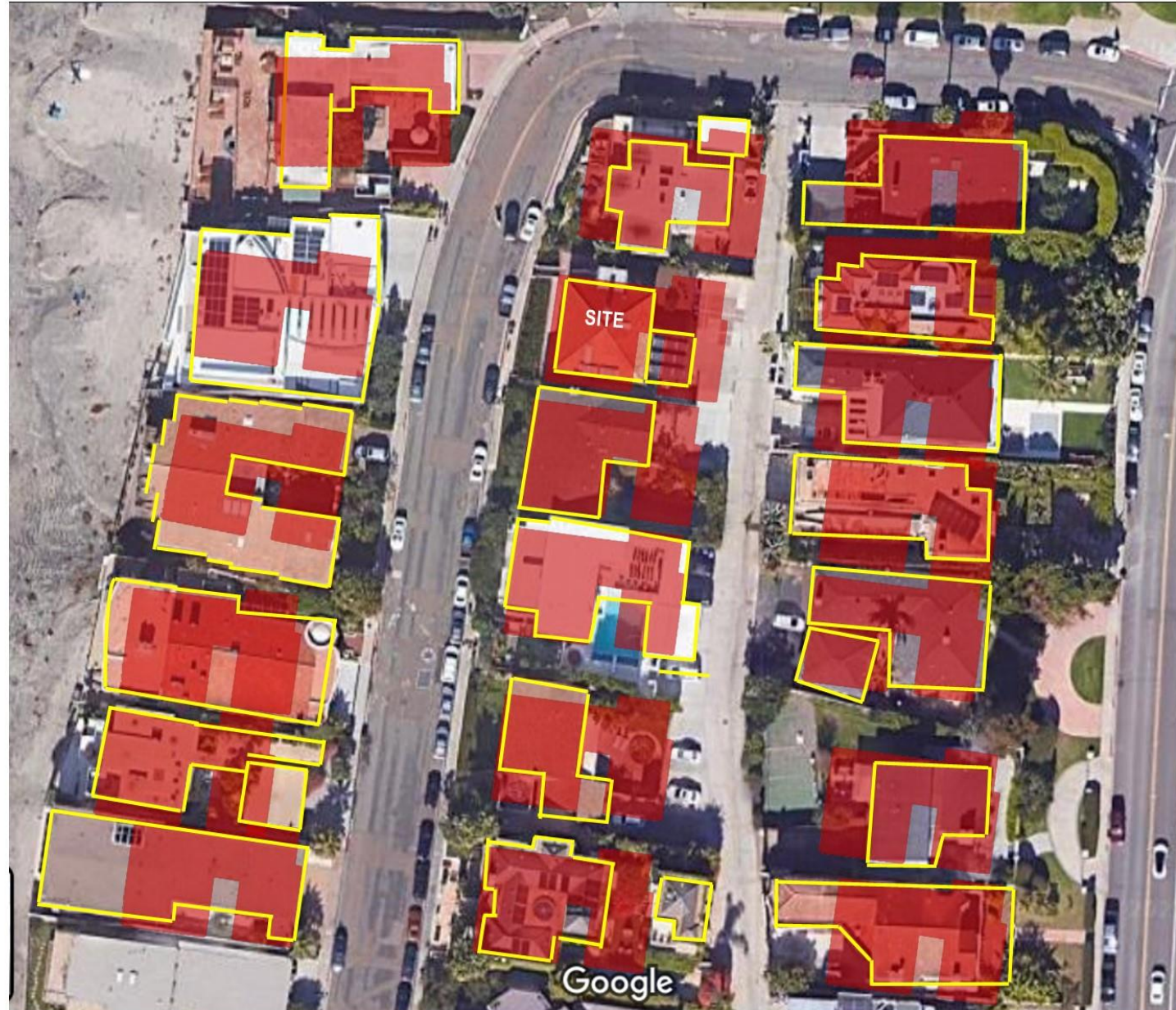
Bulk & Scale Study – 300' Radius



Bulk & Scale Study – 300' Radius – Overlay of Project Site Proposed Footprint

Yellow – Existing Building

Red- Is our project
outline comparison



Bulk & Scale Study – Requested Changes to Proposed Site



- Bulk of square footage is added to the back of property
- Pulled back the front building and pushed back roof, per request for less Bulk & Scale
- Stepped back structures all directions creating a transition from South to North in an overhead view
- Structure from property line 26'- 7-7/8"

Bulk & Scale Study – Panoramic View Photo Montage



1 PANORAMIC VIEW EXISTING PHOTO MONTAGE
SCALE: N.T.S.



2 PANORAMIC VIEW PROPOSED ELEVATION PHOTO MONTAGE
SCALE: N.T.S.



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BARLOW CAPITAL
INVESTMENTS LLC
8561 EL PASO GRANDE
LA JOLLA, CA 92037

REVISIONS
06/18/2020 START OF PROJECT
12/21/2020 COMMUNITY SUBMITTAL
1/18/21 2nd COMMUNITY SUBMITTAL



PHASE COASTAL

PROJECT NO. 2020-17

REVIEWED BY CAM

DRAWN BY PC

DATE 03/10/2021

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SHEET TITLE
EXISTING APPROPOSED
PANORAMIC VIEWS

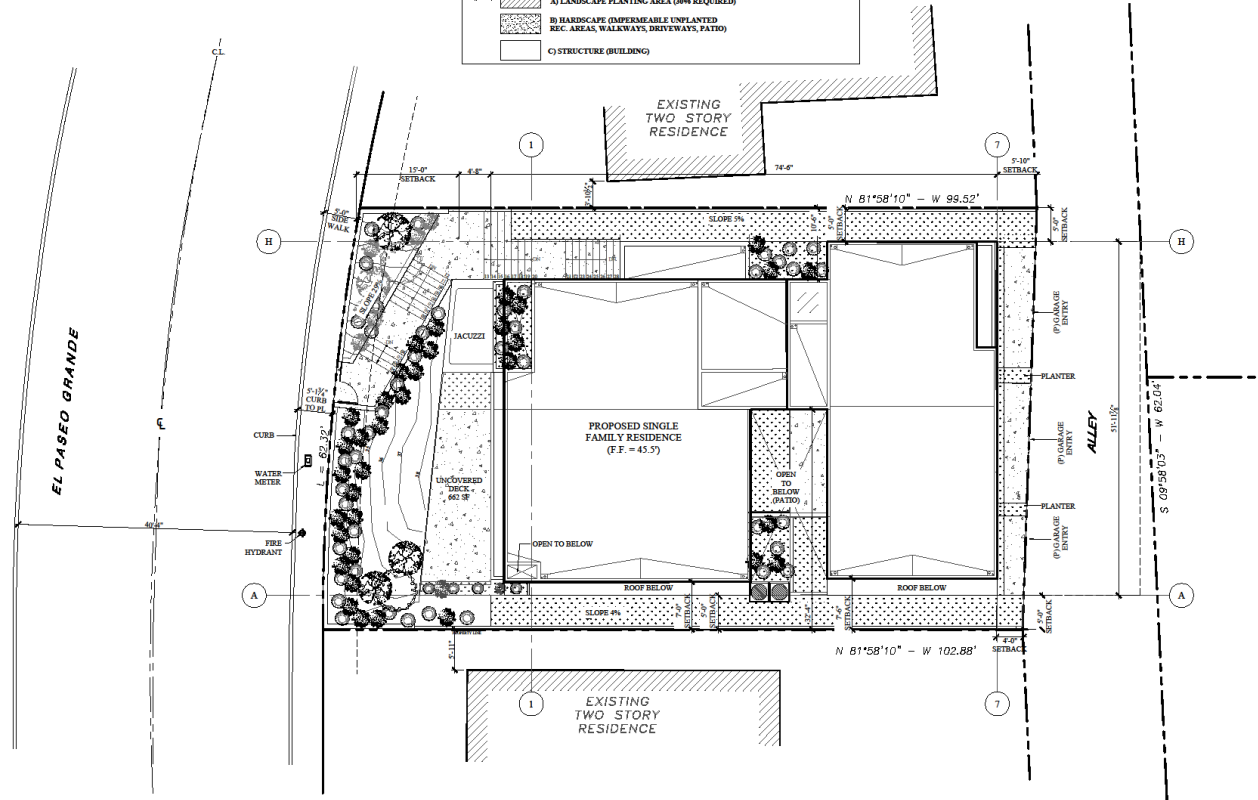
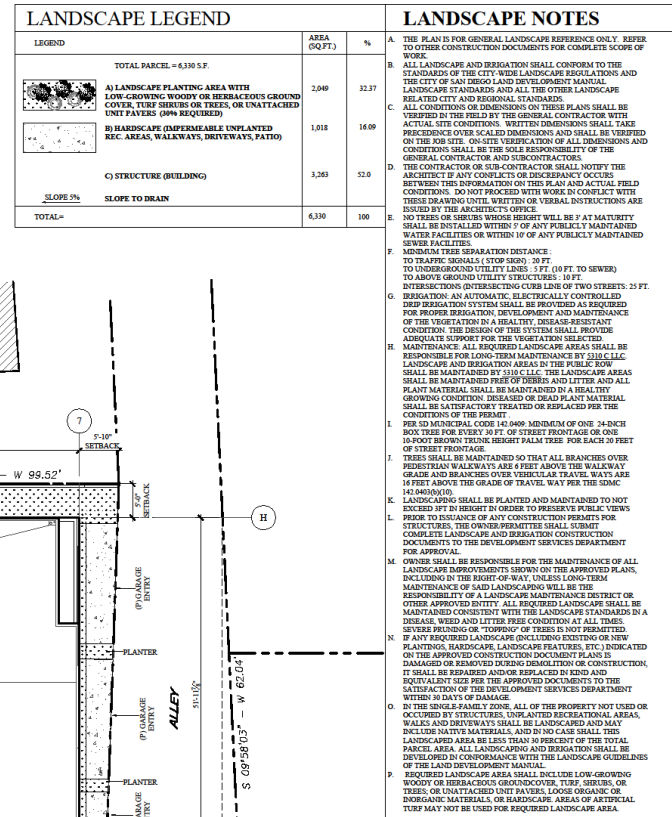
A-5.5

8561 EL PASEO GRANDE, LA JOLLA, CA 92037

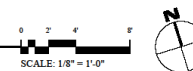
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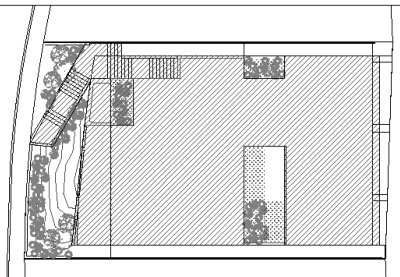
PROPOSED LANDSCAPE PLAN



	
Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo DEA	
	
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REVISIONS: 04/18/2020 START OF PROJECT 12/21/2020 COMMUNITY SUBMITTAL 1/18/21 2nd COMMUNITY SUBMITTAL	
△ △ △	
PHASE	COASTAL
PROJECT NO.	2020-17
REVIEWED BY	CAM
DRAWN BY	PC
DATE	02/26/2021 I hereby certify that I am a duly Licensed Professional Engineer in the State of California, License No. C-19377, and that I have prepared the above drawing in accordance with the provisions of the California Engineering Law and the rules and regulations of the Board of Engineers and Surveyors. I also certify that I am not providing engineering services to anyone other than the client named herein.
SHEET TITLE	PROPOSED LANDSCAPE PLAN
L-1.1	

Proposed Site Plan

IMPERVIOUS AREA N.T.S



SITE SURFACE AREA TABLE

	HATCH	6,331 S.F.
A. TOTAL SITE AREA		
B. TOTAL DISTURBANCE AREA		5,719 S.F.
C. EXISTING AMOUNT OF IMPERVIOUS AREA		3,845 S.F. (60%)
D. EXISTING AMOUNT OF PERVIOUS AREA		2,529 S.F. (40%)
E. PROPOSED AMOUNT OF IMPERVIOUS AREA		4,610 S.F. (72%)
F. PROPOSED AMOUNT OF PERVIOUS AREA		1,577 S.F. (25%)

EARTHWORK AREA CALCULATIONS

CUT QUANTITIES	799.25 CYD
FILL QUANTITIES	120.22 CYD
EXPORT	257.12 CYD
MAX. CUT DEPTH UNDER BLDG. FOOTPRINT	5'-0"
MAX. CUT DEPTH OUTSIDE BLDG. FOOTPRINT	2'-10 1/2"
MAX. FILL DEPTH OUTSIDE THE BUILDING FOOTPRINT	4'-0"

GENERAL SITE NOTES

- THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATIONS TO ALL NEW OR EXISTING WALLS, BASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING UTILITIES THAT COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, BASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICT OR DISCREPANCY OCCURS BETWEEN THE INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWINGS UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT OFFICE.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- ALL GRADES SHOWN PROPOSED ARE EXISTING.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 7'-0" AT MATURITY SHALL BE INSTALLED WITHIN 1'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 1'-0" OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- NO EXISTING OR PROPOSED TRANSIT STOPS AT SITE.
- PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PDPS POLICY P-60-6 (CPC 961.4.4).
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING COASTAL BLUFF AREAS.
- AT THE STORM WATER DISCHARGE LOCATION, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-EROSIVE VELOCITIES.
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- AT THE STORM WATER DISCHARGE LOCATION, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-EROSIVE VELOCITIES.
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 34 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 1.2, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 3 CONSTRUCTION BMP STANDARD CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- PER SDMC SECTION 14.14(H) ONLY NATIVE OR OTHER DROUGHT-TOLERANT PLANT SPECIES SHALL BE USED IN LANDSCAPED AREAS IN ORDER TO MINIMIZE IRRIGATION REQUIREMENTS AND TO REDUCE POTENTIAL SLIDE HAZARDS DUE TO OVER-WATERING OF THE COASTAL BLUFFS.
- NEW SITE DRAINAGE SYSTEM TO CONNECT TO EXISTING SIDEWALK UNDERPIN FOR DISCHARGE TO PUBLIC CONVEYANCE.
- PROPOSED DRAINAGE SHEET FLOWING INTO NEIGHBORING PROPERTIES CANNOT EXCEED EXISTING Q10 FLOW.
- ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 7' AT MATURITY SHALL BE INSTALLED WITHIN 1'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 1'-0" OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- THE PROJECT IS LOCATED WITHIN THE A-1B WATERSHED. THE APPLICANT/PERMITTEE WILL BE REQUIRED TO COMPLY WITH ALL A-1B WATERSHED REQUIREMENTS.

SPECIFIC SITE NOTES

- THE PROJECT PROPOSES TO EXPORT 257.12 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THE PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONSTRUCTION USE PERMIT.
- THERE IS NO TRANSIT STOP ADJACENT TO THIS PROPERTY.
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PDPS POLICY P-60-6 (CPC 961.4.4).
- THE EXISTING SERVICES FOR WATER AND SEWER WILL REMAIN.
- SPECIAL REGULATIONS STATES THAT ALL EQUIPMENT SHALL BE SCREEN FROM PUBLIC VIEW PER SDMC 1510.0402.

SITE LEGEND

- ROOF DRAIN W/ OVERFLOW PREVENTION
- FLOOR AREA DRAIN
- WATER FLOW DIRECTION
- SLOPE TO DRAIN
- DISCHARGE DIRECTION OF GATED UP DRAIN
- ROOF CRICKET OR BUILT UP INSULATION DIRECTING WATER TO DRAIN
- AREA OF ALLEY DEDICATION

KEY NOTES

- (1) (0) FIRE HYDRANT
- (2) (3) WATER METER
- (5) 5 FT. SDCAR BASEMENT PER MAP NO. 60887
- (10) 10 FT. DEDICATION BASEMENT
- (0) CLEAN OUT
- (7) (0) DRAIN LINE
- (8) (0) DISCHARGE DRAIN UNDER SIDEWALK TO GUTTER PER CITY STANDARDS
- (9) (0) HVAC UNITS

LOT: 346-090-21-00
8569 EL PASEO GRANDE

EXISTING TWO STORY RESIDENCE

PROPOSED SINGLE FAMILY RESIDENCE (F.F. = 45.5')

LOT: 346-090-20-00

EXISTING TWO STORY RESIDENCE

8553 EL PASEO GRANDE
LOT: 346-090-19-00

LOT: 346-090-23-00

LOT: 346-090-24-00

NOTE: IF CONCRETE CURBS OR SIDEWALK PANELS HAVE BEEN DETERMINED TO BE DAMAGED/DENIED THAT MUST BE REMOVED AND REPLACED TO FOLLOW THE CITY OF SAN DIEGO'S DESIGN STANDARD: 506-104 CONCRETE CURB, GUTTER, SIDEWALK AND PAVEMENT REMOVAL AND REPLACEMENT

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



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REVISIONS
06/18/2020 START OF PROJECT
12/21/2020 COMMUNITY SUBMITTAL
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PHASE COASTAL

PROJECT NO. 2020-17

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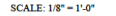
DATE 03/16/2021

Sheets: 1 of 1
Drawing: 1 of 1
Title: 1 of 1
Project: 1 of 1
Phase: 1 of 1
Revision: 1 of 1
Date: 03/16/2021
Author: CAM
Checker: PC
Engineer: CAM
Professional Seal: CAM
Professional Stamp: CAM
Professional License: CAM
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Professional Fax: CAM
Professional Email: CAM
Professional Website: CAM
Professional Social Media: CAM
Professional Bio: CAM
Professional Photo: CAM
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PROPOSED SITE PLAN

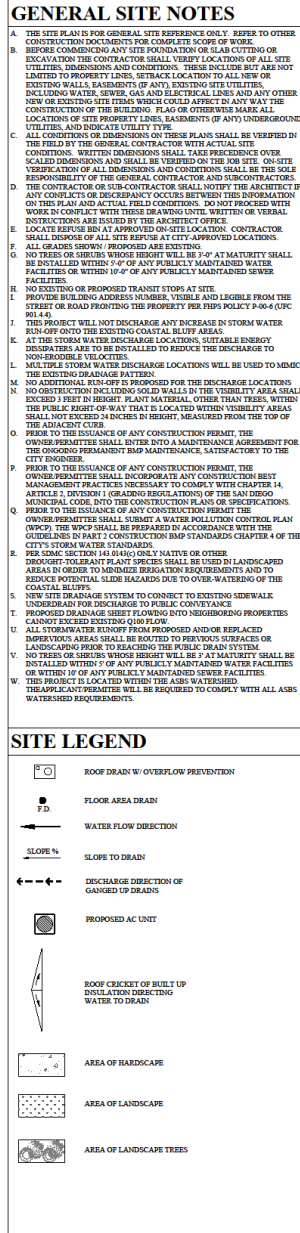
A-1.1

8. Project (2020) Project (2020-17) Barba Louferr Residental CD document A-1.1 Site Plan A-1.1 SITE PLAN Aug Mar 01, 2021 1-9:56am



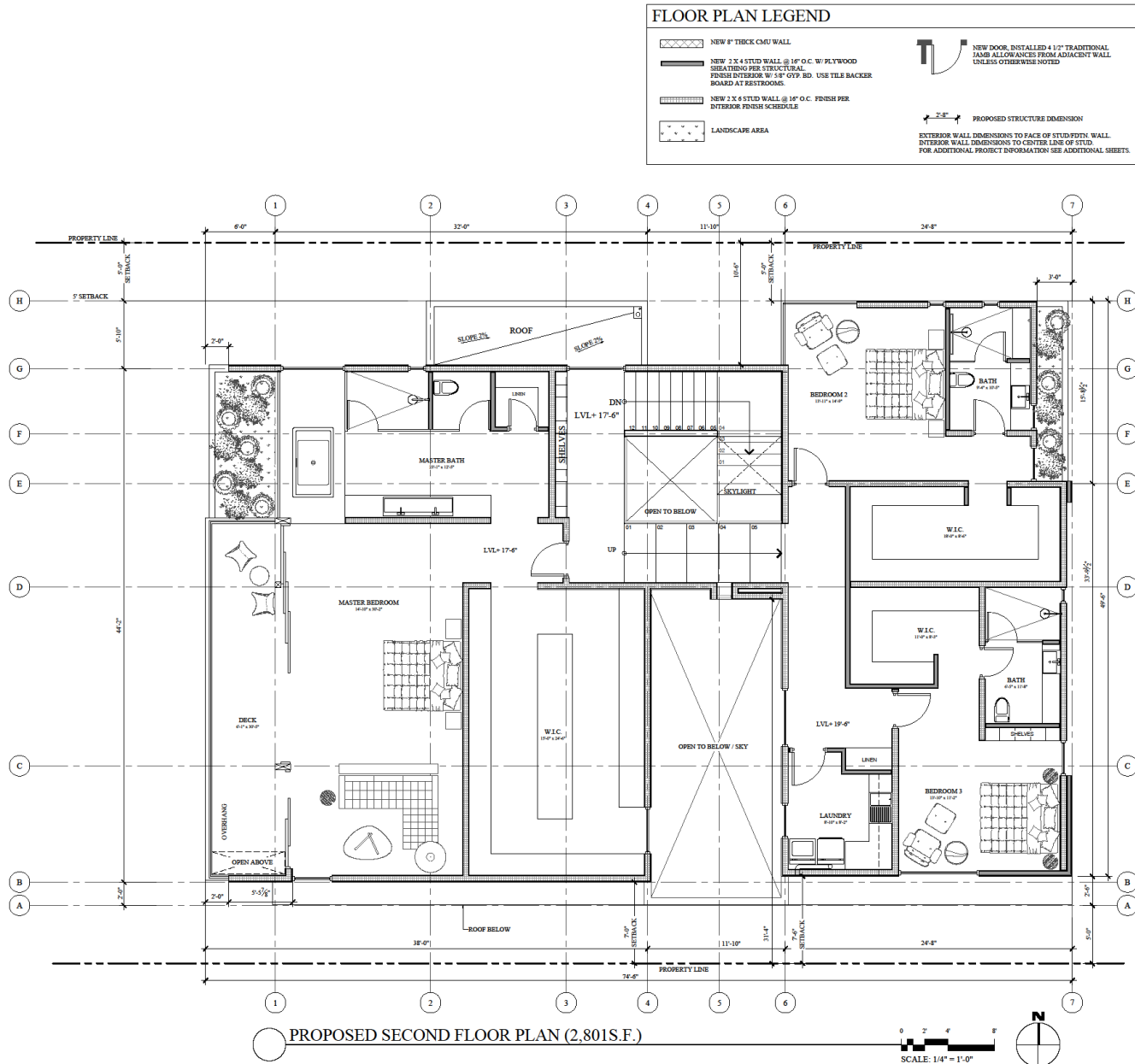
11/11/2019

© Projects 2020 Projects 2020-17 Baños Lowther Residential 3-Architectural Drawings CD documents A-1.3 Storm Water Application by A-1.3 DBA INAGIE P.I.A.N.dog Mar 01 2022 1:10 Satam



	
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              	PROJECT NO. 2020-17 REVIEWED BY CAM DRAWN BY FC DATE 02/26/2021 SHEET TITLE PROPOSED DRAINAGE PLAN A-1.3

Proposed Second Floor Plan



FLOOR FINISHES

A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY BY THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

B. FLOOR TO SITE SLAB INSULATION AND UTILITY IMPOSED FOR DOOR AND WINDOWS SEE SCHEDULES ON A-8.1 FOR INTERIOR FINISH SEE SCHEDULE ON A-8.2

C. EXTERIOR R-13 BATT INSULATION AT ALL NEW EXTERIOR X24 WALLS.

D. R-19 BATT INSULATION AT ALL NEW X26 EXTERIOR DOORS AND RAISED ACCESSIBLE ENTRANCES.

E. R-13 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL.

F. R-30 BATT INSULATION AT CEILING & ROOF AREAS.

G. INSULATION WRAP ON ALL NEW HOT WATER PIPING.

H. R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.

I. R-4.5 DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS.

J. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 3109.1.2 UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH THE TERRY BACKUP C.O.S. 3109.1.3

K. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904.908. AND 909 OF THE CALIFORNIA BUILDING CODE (CBC).

L. PROVIDE 1/2 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION ALL ABS AND PVC TO BE FITTED TO THE WALLS OR CEILING OF THE WALLS AND FLOORS COVERED WITH TYPE X Gypsum BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF THE REMAINING PENETRATIONS SHALL BE PROVIDED.

M. WHOLE BUILDING VENTILATION INDOOR AIR QUALITY EXHAUST FAN WITH VENTILATION RATE OF 150 CFM.

N. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE COVERED WITH MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.

O. SHOWER COMPARTMENT & BATHTUBS W/ INSTALLED SHOWERSHEADS SHALL BE FINISHED W/ A NON-SORBENT SURFACE NOT LESS THAN 1/2" TO A HEIGHT NOT LESS THAN 6 FT ABOVE FLR. CRC §307.2 WATER METERS FOR COMBINED DOMESTIC WATER AND FIREPROTECTOR SHALL BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BLDG OFFICIAL.

P. PENETRATIONS THROUGH THE PUBLIC SEWER SYSTEM SHALL BE CONCEALED TO THE OFFICIAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND HORIZONTAL PENETRATIONS SHALL MEET THE PROVISIONS SPECIFIED IN CBC. SECTION 714 AND CRC. SECTION §302.11. AS APPLICABLE.

Q. ALL DRAINING GROUDES AND FITTINGS WILL BE WATER CONSERVING.

R. OUTDOOR SHOWER DRAINS AND SINKS ARE NOT ALLOWED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER. HOT AND WATER CONNECTIONS ALLOWED.



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Morton

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856 EL PASO GRANDE
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REVISIONS

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10/10/2020 COMMUNITY SUBMITTAL

11/18/21 2nd COMMUNITY SUBMITTAL

△

△

△

PHASE COASTAL

PROJECT NO. 2020-17

REVIEWED BY CAM

DRAWN BY PC

DATE 02/26/2021

I, the undersigned, being a duly qualified and licensed Architect in the State of California, do hereby certify that I am the author of the foregoing drawings and that I am a duly qualified and licensed Architect in the State of California. I am not providing these drawings as part of a contract for professional services. I am not providing these drawings as part of a contract for professional services. I am not providing these drawings as part of a contract for professional services.

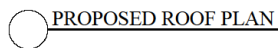
I, the undersigned, being a duly qualified and licensed Architect in the State of California, do hereby certify that I am the author of the foregoing drawings and that I am a duly qualified and licensed Architect in the State of California. I am not providing these drawings as part of a contract for professional services. I am not providing these drawings as part of a contract for professional services. I am not providing these drawings as part of a contract for professional services.

PROPOSED
SECOND FLOOR
PLAN

SHEET TITLE

A-2.3

S:\Project\2020\Project\2020-17 Barba Lowther Residence\3-Architectural Drawings\CD documents\4-1 Roof Plan\A-4.1 Roof Plan\A-4.1 Roof Plan\A-4.1 Roof Plan.dwg, Mar 01, 2021, 10:28 am



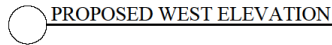
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SCALE: 1/4" = 1'-0"

A-4.1

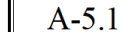


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0 2' 4'

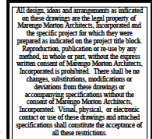
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8 Projects 2020-17 Barba Low-rise Residential 3-Architectural Drawings CD document A-5.1 Elevations Barba 2020-17 Aug. Mar 17, 2021-9 55am



SCALE: 1/4" = 1'



BARLOW CAPITAL
INVESTMENTS LLC
8561 EL PASEO GRANDE
LA JOLLA, CA 92037

REVISIONS
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12/21/2020 COMMUNITY SUBMITTAL
1/18/21 2nd COMMUNITY SUBMITTAL

PHASE COASTAL

PROJECT NO. 2020-17

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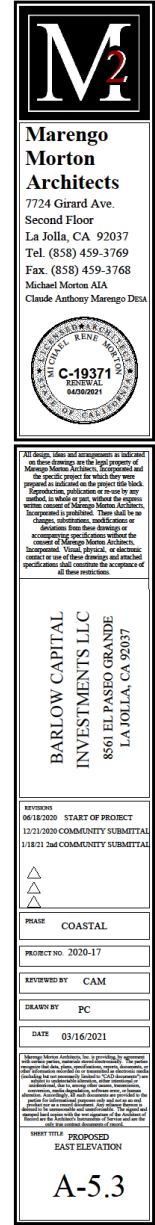
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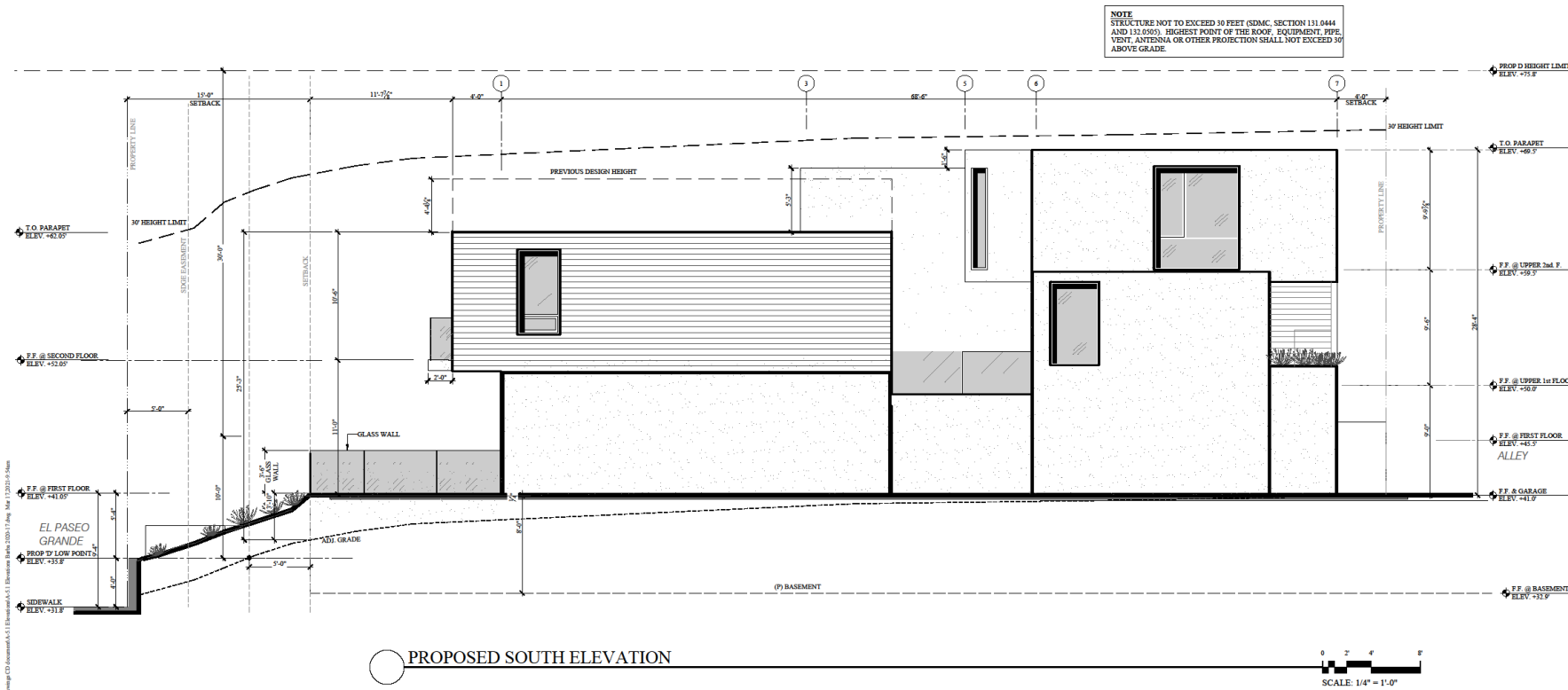
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A-5.2

J. Biochem. Microbiol. 2005; 53: 17. <http://dx.doi.org/10.1007/s10291-005-0017-0> | <http://www.wiley.com> | <http://www.blackwell-synergy.com> | <http://www.blackwell-synergy.com/doi/abs/10.1007/s10291-005-0017-0>



Proposed South Elevation



M²

Marengo
Morton
Architects

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Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DEA

ARCHITECT
C-19371
RENEWAL
04/30/2021

REVISIONS

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PC

DATE

03/16/2021

SHEET TITLE

PROPOSED
SOUTH ELEVATION

A-5.4

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Investments LLC
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La Jolla, CA 92037

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La Jolla, CA 92037

NOTE:
STRUCTURE NOT TO EXCEED 30 FEET (9.14M) SECTION 131.0444
AND 131.050, HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE,
VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'
ABOVE GRADE.

PROPOSED SECTION C

KEY MAP

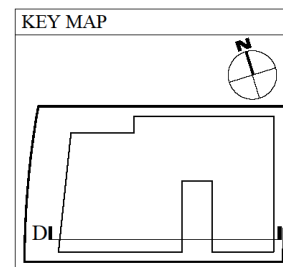
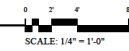
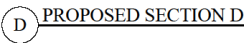
C-19371 RENEWAL BARROW

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Michael Morton AIA
Cinda Anthony Marengo DESA

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LA JOLLA, CA 92037

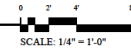
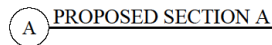
A-6.3

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Marengo Morton Architects	
7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel: (858) 459-3769 Fax: (858) 459-3768 Michael Morton AIA Claude Anthony Marengo DREA	
	
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SHEET TITLE **PROPOSED**
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For questions please contact:



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