



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: April 7, 2016 REPORT NO. PC-16-036

HEARING DATE: April 14, 2016

SUBJECT: Appeal of the Hearing Officer's Decision to Approve a Conditional Use Permit for a Telecommunication Switching Facility Process Three Decision

PROJECT NO. [427117](#)

REFERENCE: [Report to the Hearing Officer; Report No. HO-16-010](#) (Attachments 1-9).

OWNER/
APPLICANT: Time Warner Cable Pacific West LLC/
Stephen Slater

SUMMARY

Issue: Should the Planning Commission approve or deny an appeal of the Hearing Officer's decision to approve a Conditional Use Permit for a telecommunication switching station on a site located at 4020 Convoy Street within the Kearny Mesa Community Planning area?

Staff Recommendation: Deny the appeal and uphold the Hearing Officer's decision to Approve Conditional Use Permit No. 1502164.

Community Planning Group Recommendation: The project was presented to the Kearny Mesa Community Planning Group on September 16, 2015 and on October 16, 2015 as an action item. The community group voted 9-1-0 to recommend approval of the project with no conditions (Attachment 7). Reference the Discussion section of the Hearing Officer Report within Attachment 1, page 4.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15301, (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures). On February 2, 2016, the City Council considered an appeal of the Environmental Determination filed by the Convoy Business Partnership, and voted 9-0 to deny the appeal and approve the Environmental Determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

BACKGROUND

The project proposes to demolish an existing commercial building and construct an approximately 6,238-square-foot, remotely controlled communication switching station on a 0.52-acre site located at 4020 Convoy Street. The industrial site is zoned IL-3-1 and designated for General Commercial uses within the Kearny Mesa Community Plan. The site is currently developed with an existing market/restaurant building which has been vacant since 2011. The project requires a Conditional Use Permit Process Three Decision for the following separately regulated use category: Major Transmission, Relay, or Communication Switching Systems.

The proposed project would construct a maximum 28'-6"- high structure including a cable hub room, direct current power room, service room, electrical room, and an enclosed generator yard. The facility will provide enhanced high speed internet and phone services to business class and residential customers, delivering increased capacity and improved reliability. The facility is designed to be operated and monitored remotely with minimum on-site visits for regular maintenance and testing of equipment. The structure is sited within the northerly portion of the site, allowing for vehicular access and parking along the southerly portion of the property. The access gate to the facility is set back from the building to allow for queuing of vehicles and for the installation of increased landscaping in front of the structure. A total of six parking spaces are required for the facility.

DISCUSSION

The project was approved by the Hearing Officer on February 24, 2016. On March 9, 2016, an appeal of the Hearing Officer's Decision was filed by the Convoy Business District. The grounds for the appeal identified "findings not supported" in three issue areas. The appeal application did not provide specific information in any of the three issue areas. The appeal issues and staff's responses are provided below:

Appeal Issue No. 1: Development is not consistent with the Community Plan

Staff Response: The proposed project is consistent with the Kearny Mesa Community Plan. The site is designated for General Commercial uses within the Community Plan and zoned IL-3-1, a city wide industrial zone. The Community Plan does not specifically address telecommunication switching stations. The proposed use is a separately regulated institutional use allowed in the zone with a Conditional Use Permit regardless of the land use designation.

The Commercial Element of the Community Plan states that properties within the General Commercial land use designation should be allowed to redevelop with a broad array of uses, including both commercial and industrial uses. The Land Development Code's Grouping of Category Section ([Section 131.0111](#)) states the following: *Any use within the institutional, retail sales, commercial services, offices, and vehicle and vehicular equipment sales and services categories is considered a commercial use or commercial development.* Community Plan policies contained within the Commercial Element state that commercial developments within the western Kearny Mesa area

on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..."

The Urban Design Element of the Community Plan contains guidelines for new developments requiring consistency with the scale and character of the surrounding development and transition to older buildings by providing similar building setbacks. The building provides varying step backs from the front property line and conforms to the IL-3-1 zone's front setback requirement of 15 feet, consistent with other developments on the block.

The property is located within the General Plan's Commercial Employment, Retail and Services subarea (CERS) which is intended to address the commercial-related needs of the various community planning areas. The project will provide improved and enhanced internet, telephone, cable and other related services used in the day-to-day operations of those uses located within the CERS designated areas within the Kearny Mesa Community Plan.

The proposed project implements several goals and recommendations of the Community Plan and will not adversely affect the land use plan. Reference the Draft Conditional Use Permit Resolution, Finding No. 1 for staff's detailed analysis of the land use finding (Attachment 4, pages 1 and 2 of 4).

Appeal Issue No. 2: Development is not consistent with the City Municipal Code 141.0416, "Major Transmission, Relay, or Communications Switching Systems" because it does not minimize visibility from adjacent rights-of-way.

Staff Response: The proposed project has been designed to comply with the two separately regulated use regulations (screening requirements) for Major Transmission, Relay, or Communications Switching Systems pursuant to San Diego Municipal Code Section [141.0416](#). These regulations state the following:

- (a) *The structures shall be located on the site so that visibility from adjacent public rights-of-way or adjacent residential development is minimized.*
- (b) *Fences, walls trees and other forms of landscaping shall be used to screen structures from adjacent public rights-of-way or adjacent residential development.*

There are no adjacent residential developments to the site. The proposed landscaping will address the public rights of way visibility issues.

The project proposes new landscape features adjacent to the front of the building along Convoy Street including five new street trees, and drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover. The Sweet Bay trees (two proposed) will provide year-round visual screening and softening of the building. The Incense Cedar (three proposed) is a large tree used which is drought tolerant and can grow to a typical height of 30 to 50 feet. The foliage of this tree is densely massed and vivid green, flowing to the ground. The sweet bay is a small to medium tree with deep green, dense foliage and will reach a typical height of 20 to 30 feet which provides human scale along the walkway. The combination of these two trees, along with the projects proposed accent and foundation shrubs, will provide the required minimized visibility from the Convoy Street public right-of-way.

Appeal Issue No. 3: Development negatively impacts visuals and neighborhood character.

Staff Response: Staff conducted an initial study consistent with the California Environmental Quality Act (CEQA) Guidelines. This review included an analysis of potential impacts to the issue areas of Visual Quality and Neighborhood Character. Upon completion of the review, staff determined that the project would not result in a significant physical effect on the environment and that the project qualified to be exempt. As noted previously in the "Environmental Review" Section of this report, the CEQA determination was appealed, subsequently the City Council denied the appeal and approved the Environmental Determination.

The Urban Design Element of the Kearny Mesa Community Plan contains guidelines which require that developments should be consistent with the scale and character of the surrounding development and transition to older buildings by providing similar building setbacks. The building provides varying step backs from the front property line and conforms to the IL-3-1 zone's front setback requirement of 15 feet, consistent with other developments on the block.

The proposed project is consistent with these guidelines in that the building uses step-back design techniques and new landscape features including five new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover. Perimeter landscaping is proposed consistent with the current landscape regulations. Façade treatments and colors used compliment adjacent properties including the use of plastic surface treatments, awnings and cornice treatments and neutral earth tones. These articulation, façade treatments and landscape features serve to soften the bulk and scale of the building and promote neighborhood compatibility. Reference the Draft Conditional Use Permit Resolution Finding No. 1 within Attachment 4, (pages 1 and 2 of 4) for staff's detailed analysis of the issues relating to neighborhood compatibility.

CONCLUSION:

Staff is recommending the Planning Commission deny the appeal and uphold the Hearing Officer's decision to approve Conditional Use Permit No.1502164. The project is in conformance with the adopted City Council policies and regulations of the Land Development Code, is compatible with neighborhood and does not result in significant visual impacts.

ALTERNATIVES:

1. Deny the appeal and approve Conditional Use Permit No. 1502164, with modifications.
2. Approve the appeal and deny Conditional Use Permit No. 1502164, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse Lowe
Deputy Director
Development Services Department



Sandra Teasley
Development Project Manager
Development Services Department

VACCHI/SMT

Attachments:

- 1-9. Report to the Hearing Officer – Report HO-16-010
10. Staff Memorandum to the Hearing Officer (2.24.16)
11. Appeal Application



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: February 24, 2016

REPORT NO. HO-16-010

ATTENTION: Hearing Officer

SUBJECT: TIME WARNER COM HUB COMMUNICATION SWITCHING
STATION, PROJECT NUMBER - 427117

LOCATION: 4020 Convoy Street

APPLICANT: Stephen Slater

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit for a communication switching station located at 4020 Convoy Street within the Kearny Mesa Community Planning area?

Staff Recommendation(s) - APPROVE Conditional Use Permit No. 1502164.

Community Planning Group Recommendation - The project was presented to the Kearny Mesa Community Planning Group on September 16, 2015 and on October 16, 2015 as action items. The community group voted 9-1-0 to recommend approval of the project with no conditions (Attachment 7). Reference the Discussion section of this report.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures). On February 2, 2016, the City Council considered an appeal of the environmental determination in accordance with San Diego Municipal Code Section 112.0520(d). The City Council voted (9-0) to deny the appeal and approve the environmental determination.

BACKGROUND

The project proposes to demolish an existing commercial building and construct an approximate 6,238-square-foot, unmanned (controlled remotely) communication switching station on a 0.52-acre site located at 4020 Convoy Street. The site is zoned IL-3-1 and designated for General Commercial uses within the Kearny Mesa Community Plan. The site is currently developed with an existing market/restaurant building which has been vacant since 2011. The

project requires a Conditional Use Permit Process 3 pursuant to Land Development Code Section 141.0416 for the following separately regulated use category: Major Transmission, Relay, or Communication Switching Systems.

Environmental Determination Appeal Hearing

As noted above, on February 2, 2016, the City Council considered an appeal of the environmental determination in accordance with San Diego Municipal Code Section 112.0520(d). The City Council voted (9-0) to deny the appeal and approve the environmental determination.

DISCUSSION

The proposed project would construct a maximum 28'-6" high structure including a cable hub room, direct current power room, service room, electrical room, and an enclosed generator yard. The facility will provide enhanced high speed internet and phone services to business class and residential customers, including increased capacity and improved reliability. The facility is designed to operate unmanned and will be remotely monitored with minimum on-site visits for regular maintenance and testing of equipment. The structure is sited within the northerly portion of the site, allowing for vehicular access and parking along the southerly portion of the property. The access gate to the facility is set back from the building to allow for queueing of vehicles and for the installation of increased landscaping in front of the structure. A total of 6 parking spaces are required for the facility.

The project complies with all of the underlying zone regulations, and the separately regulated use requirements. The separately regulated use regulations require that structures are located so that visibility from adjacent public rights-of-way or adjacent residential development is minimized, and that fences, walls, trees and other forms of landscaping are used to screen structures from adjacent public rights-of-way or adjacent residential development. New landscape features adjacent to the front of the building along Convoy Street include 5 new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover as well as decorative fencing, which will provide additional screening. There are no adjacent residential developments to the site.

Community Plan Analysis

The site is designated for General Commercial uses within the Kearny Mesa Community Plan. Plan policies contained within the Commercial Element state that commercial developments within the western Kearny Mesa area on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..." including both commercial and industrial uses.

The Urban Design Element of the Community Plan contains guidelines for general application in the community. Specifically, developments should be consistent with the scale and character of the surrounding development and transition to older buildings by providing similar building

setbacks. New buildings which are larger than existing structures should avoid abrupt differences in building height and mass through the use of step-back techniques. A primary goal of the Urban Design Element is to preserve and enhance the physical environmental, visual appearance, identity and character of the community. The Plan acknowledges that major streets in the community, including Convoy Street, lack aesthetic quality derived from the provision of basic amenities such as landscaped medians, street trees and other urban design elements. Surrounding developments include one, two, and three level buildings with varying setbacks. As noted above, the project will provide new landscaped areas consistent with the city-wide regulations. The building provides varying step backs from the front property line and conforms to the IL-3-1 zone's front setback requirement of 15 feet, consistent with other developments on the block. The project is consistent with the Community Plan.

Community Planning Group Vote:

At the request of the Kearny Mesa Community Planning Group, the applicant presented the project on two occasions as action items. On September 16, 2015, the Community Group requested that the applicant redesign the visual appearance of the east side of the building facing Convoy Street in order to appear more like the surrounding retail structures. The item was scheduled again for the October 21, 2015 meeting in which the applicant presented modified elevations to include façade related changes. These changes include: enlarging windows, plaster surface treatment, various articulation and color finishes, lighting, awnings and cornice treatments. The Community Group voted 9-1-0 to recommend approval of the project on October 21, 2015.

Conclusion:

Staff has reviewed the proposed project and all issues identified through that review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 4). Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES:

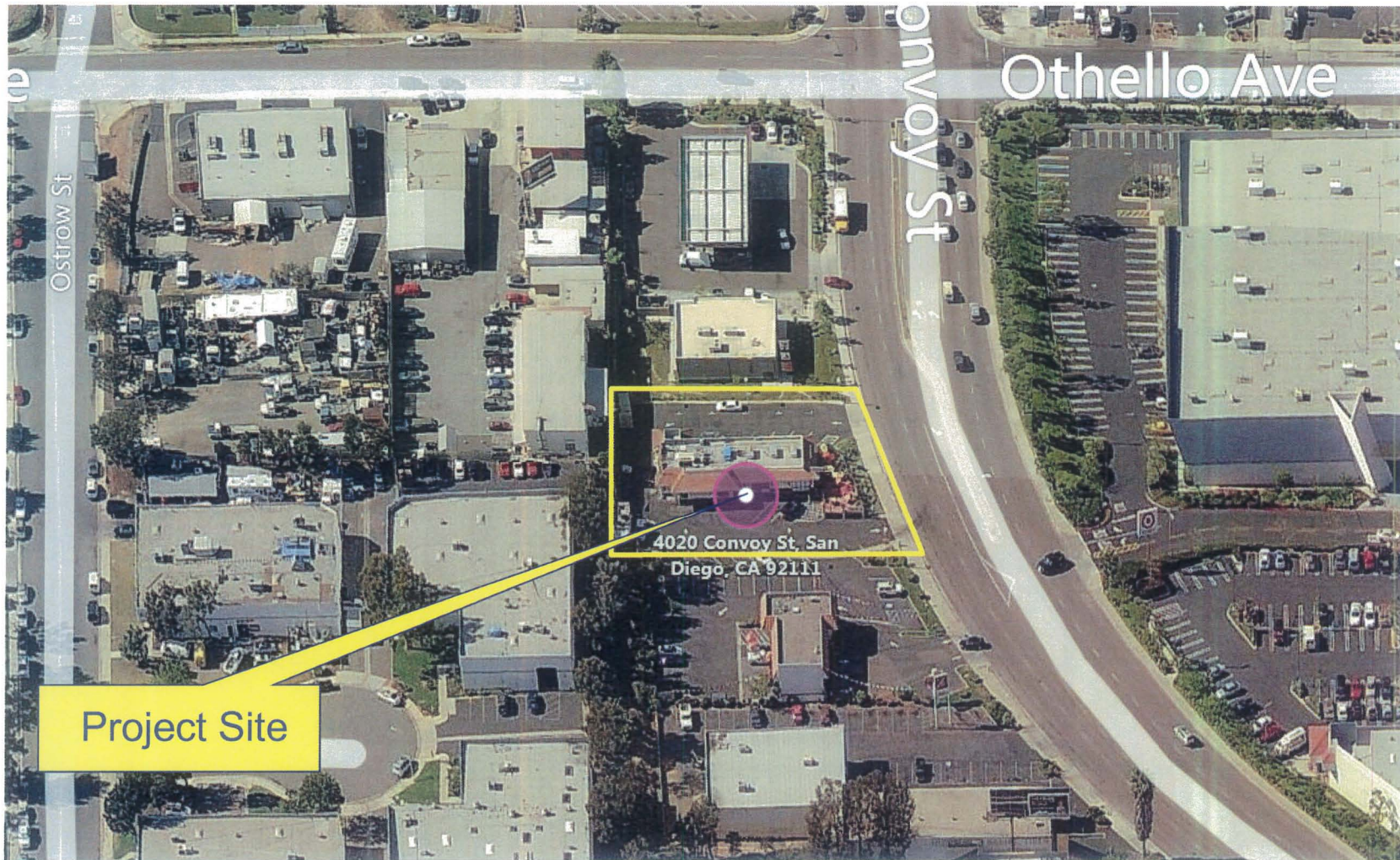
1. Approve Conditional Use Permit No. 1502164, with modifications.
2. Deny Conditional Use Permit No. 1502164, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


Sandra Teasley, Development Project Manager

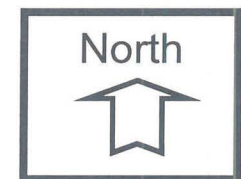
Attachments:

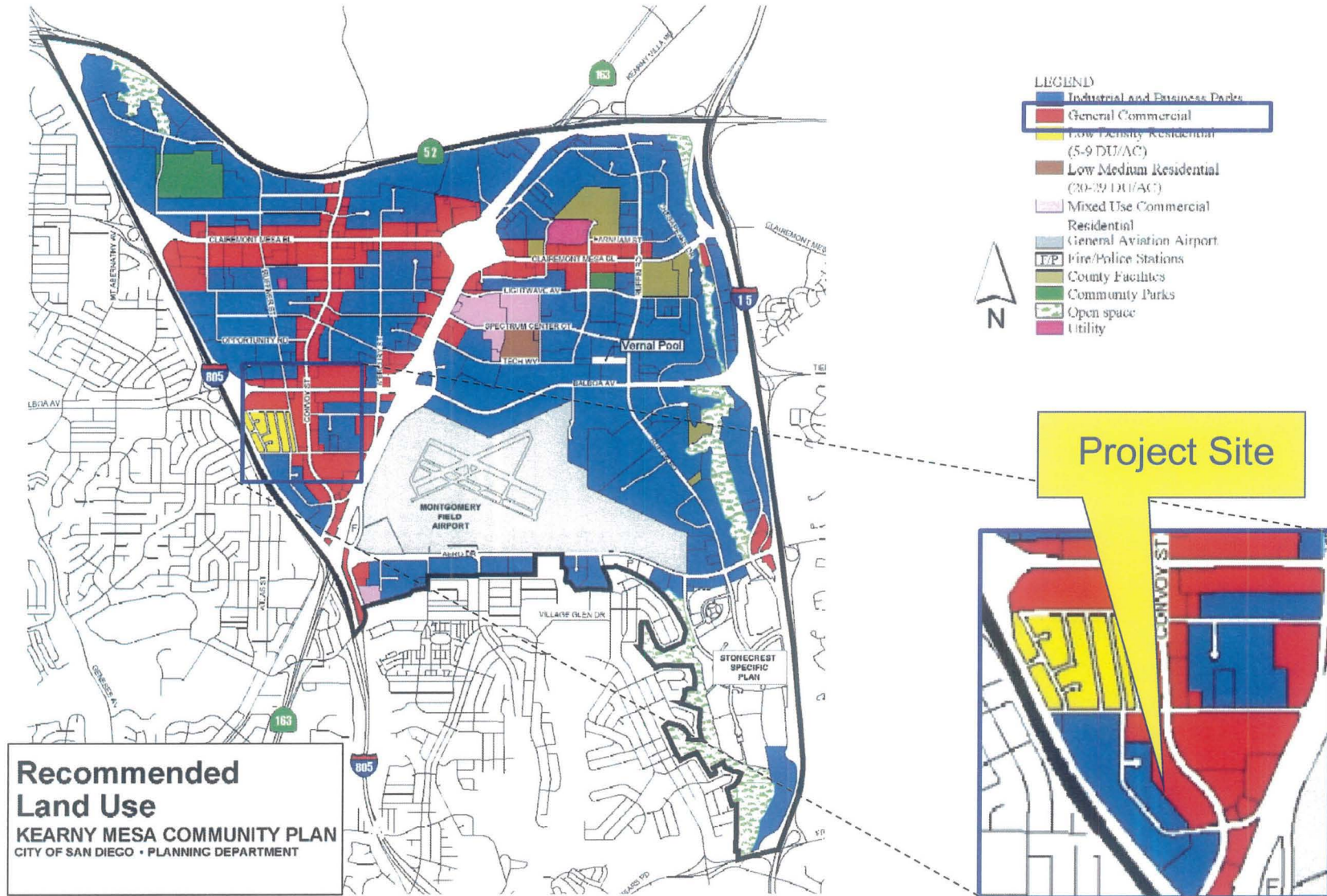
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. Public Correspondence (Opposition Letter dated 10.21.15 / Applicant Response Letter 11.10.15)
9. Project Plans



Aerial Photo

TIME WARNER COM. HUB COMMUNICATION SWITCHING STATION- 4020
CONVOY STREET
PROJECT NO. 427117

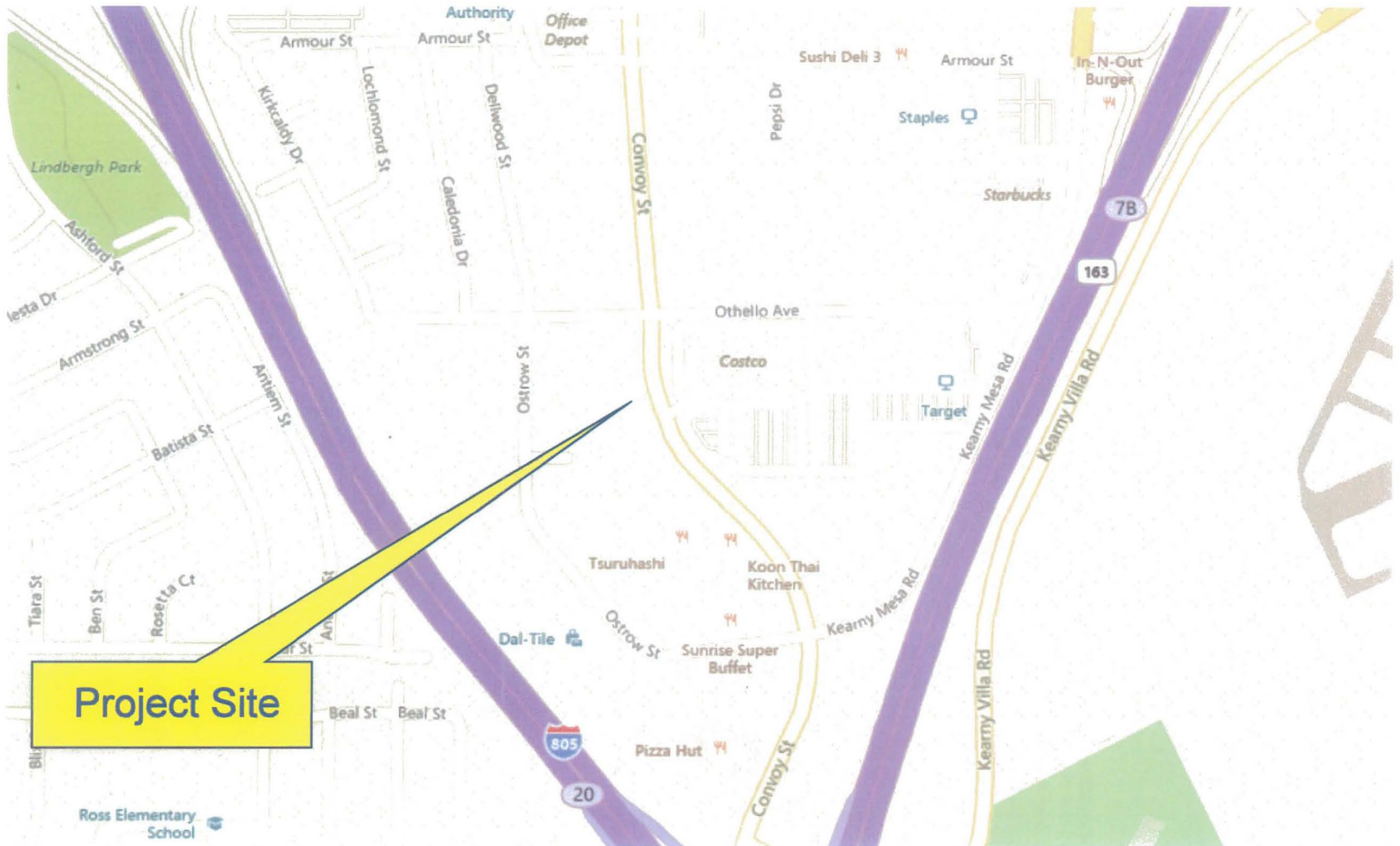




Land Use Map

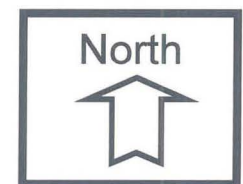
TIME WARNER COM HUB COMMUNICATION SWITCHING STATION 4020
CONVOY ST
PROJECT NO. 427117





Project Location Map

TIME WARNER COM HUB CUP – 4020 CONVOY STREET
PROJECT NO. 427117



HEARING OFFICER
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1502164
TIME WARNER CABLE COM. HUB COMMUNICATION SWITCHING STATION
PROJECT NO. 427117

WHEREAS, TIME WARNER CABLE PACIFIC WEST LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing commercial building and construct a 6,238-square-foot, unmanned (remotely controlled) communication switching station on a site (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1502164), on portions of a 0.52-acre site;

WHEREAS, the project site is located at 4020 Convoy Street in the IL-3-1 zone of the Kearny Mesa Community Plan;

WHEREAS, the project site is legally described as a portion of Lot 3 of Fed-Mart Tract Unit No. 2, Map No. 5625;

WHEREAS, on February 24, 2016 the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1502164 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 30, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 2, 2016, the City Council of the City of San Diego considered an appeal of the CEQA determination and voted to deny the appeal and approve the determination ;

NOW THEREFORE;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 24, 2016:

FINDINGS:

CONDITIONAL USE PERMIT FINDINGS SECTION 126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The site is zoned IL-3-1 and designated for General Commercial uses within the Kearny Mesa Community Plan. The property is located within the General Plan's Commercial Employment,

Retail and Services subarea (CERS) which is intended to address the commercial-related needs of the various community planning areas. The project will provide improved and enhanced internet, telephone, cable and other related services used in the day-to-day operations of those uses located within the CERS designated areas within the Kearny Mesa Community Plan.

The Kearny Mesa Community Plan does not specifically address communication switching stations. The proposed use is a separately regulated institutional use allowed in the zone with a Conditional Use Permit regardless of the land use designation. The Commercial Element of the Community Plan states that properties within the General Commercial land use designation should be allowed to re-develop with a broad array of uses, including both commercial and industrial uses. The Land Development Code's Grouping of Category Section (Section 131.0111) states the following: *Any use within the institutional, retail sales, commercial services, offices, and vehicle and vehicular equipment sales and services categories is considered a commercial use or commercial development.* Plan policies contained within the Commercial Element state that commercial developments within the western Kearny Mesa area on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..."

The Urban Design Element of the Community Plan contains guidelines for general application in the community. Specifically, developments should be consistent with the scale and character of the surrounding development and transition to older buildings by providing similar building setbacks. New buildings which are larger than existing structures should avoid abrupt differences in building height and mass through the use of step-back techniques. A primary goal of the Urban Design Element is to preserve and enhance the physical environmental, visual appearance, identity and character of the community. The Plan acknowledges that major streets in the community, including Convoy Street, lack aesthetic quality derived from the provision of basic amenities such as landscaped medians, street trees and other urban design elements. Surrounding developments include one, two, and three level buildings with varying setbacks. The building provides varying step backs from the front property line and conforms to the IL-3-1 zone's front setback requirement of 15 feet, consistent with other developments on the block.

The proposed project is consistent with these guidelines in that the building uses step-back design techniques and new landscape features including five new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover. Perimeter landscaping is proposed consistent with the current landscape regulations. Façade treatments and colors used compliment adjacent properties including the use of plastic surface treatments, awnings and cornice treatments and neutral earth tones. These articulation, façade treatments and landscape features serve to soften the bulk and scale of the building and implement the streetscape objectives of the Community Plan. The project would demolish an existing market/restaurant building which has been vacant since 2011. The proposed development will be a physical improvement to the existing site by providing a new building, new landscaping and site improvements which implement several recommendations and plan policies, therefore, the proposed development will not adversely affect the land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project was determined to be exempt from environmental review. Additionally, the permit controlling this development contains conditions addressing compliance with the City's regulations

and other regional, State, and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in and frequenting the area. These conditions address requirements relating to storm water runoff, runoff during construction, public improvement repairs, fire protection, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. Prior to issuance of any construction permits for the proposed development, the project plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing, and fire codes.

The project proposes the construction of a 6,238-square-foot, unmanned (remotely controlled) communication switching station. The use is a separately regulated, institutional use which requires a Conditional Use Permit. Separately regulated uses are considered to be conditionally compatible with other uses. Additionally, the Land Development Code's Grouping of Category Section states the following regarding the Institutional Use Category: *This category includes uses that provide unique services that are of benefit to society as a whole.* The facility will provide enhanced high speed internet and phone services to business class and residential customers, including increased capacity and improved reliability. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land development Code including any allowable deviations pursuant to the Land Development Code.

The proposed use is an allowable use in the IL-3-1 zone with a Conditional Use Permit. The development complies with all of the development regulations of the Land Development Code including coverage, parking, landscaping, setbacks and building height. No deviations are requested with this application. The project is also consistent with the separately regulated use regulations contained within Chapter 14 of the Land Development Code for communications switching stations. These regulations require that structures are located so that visibility from adjacent public rights-of-way or adjacent residential development is minimized, and that fences, walls, trees, and other forms of landscaping are used to screen structures from adjacent public rights-of-way or adjacent residential development. New landscape features adjacent to the front of the building along Convoy Street include 5 new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover. There are no adjacent residential developments to the site. Therefore, the proposed development complies with the Land Development Code.

4. The proposed use is appropriate at this proposed location.

The proposed hub facility, which includes a cable hub room, direct current power room, service room, electrical room, and generator yard will provide enhanced high speed internet, cable and telephone services to business and residential customers, including increased capacity and improved reliability. The facility is designed to operate unmanned and will be remotely monitored with minimum on-site visits for regular maintenance and testing of equipment. The development is sited within the northerly portion of the site, allowing for vehicular access and parking along the southerly portion of the property. Currently, surface parking areas surround the existing building to be demolished. The access gate to the facility is setback from the building to allow for queueing of vehicles and for the installation of increased landscaping in front of the structure. Given the institutional nature of the use and limitations on design standards for such structures within the

industry, window treatments and enhanced plaster surface around the entire perimeter of the structure, additional cornices and eave projections are included to provide an element of aesthetics.

The proposed use is consistent with the land use designation of the Kearny Mesa Community Plan and implements several plan policies and recommendations of the General Plan and the Community Plan. The site is designated for General Commercial uses within the Kearny Mesa Community Plan. Plan policies contained within the Commercial Element state that commercial developments within the western Kearny Mesa area on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..." including both commercial and industrial uses. The proposed development complies with all of the regulations of the IL-3-1 zone and the separately regulated use regulations for communication switching stations. Reference Conditional Use Permit Findings Nos. 1 through 3 for additional information for the Record. Therefore, the proposed use is appropriate at this location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1502164 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1502164 a copy of which is attached hereto and made a part hereof.

Sandra Teasley
Development Project Manager
Development Services

Adopted on: February 24, 2016

SAP No. 24005926

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005926

CONDITIONAL USE PERMIT NO. 1502164
TIME WARNER CABLE COM. HUB COMMUNICATION SWITCHING STATION
PROJECT NO. 427117
HEARING OFFICER

This Conditional Use Permit is granted by the Hearing Officer of the City of San Diego to TIME WARNER CABLE PACIFIC WEST LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0416. The 0.52-acre site is located at 4020 Convoy Street IL-3-1 zone of the Kearny Mesa Community Plan. The project site is legally described as a portion of Lot 3 of Fed-Mart Tract Unit No. 2, Map No. 5625;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing commercial building and construct a communication switching station described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 24, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing commercial building;
- b. Construction of a 6,238-square-foot communication switching station to include cable hub room, direct current power room, service room, electrical room, and an enclosed generator yard.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 9, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 13 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for the curb outlet in the Convoy Street Right-of-Way.
14. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Convoy Street, satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, reconstruct the existing driveway with a current City Standard concrete driveway, adjacent to the site on Convoy Street, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Convoy Street, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
20. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.
22. Construction documents for grading shall include the following note: "All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown in Table 142-04F and in accordance with the

standards in the San Diego Municipal Code, Section 142.0411. All required revegetation and erosion control shall be completed within 90 calendar days of the completion of grading or disturbance."

23. Prior to issuance of any construction permits for grading, landscape construction documents shall provide a provisional, non-irrigated hydroseed mix for the purposes of Grading Note 3. Mix shall include no invasive or potentially invasive species. Indicate mix by species, percent purity and live seed. Include application procedures consistent with section 4.4 of the Landscape Standards.

24. Construction documents for grading shall include a vegetated swale section detail showing a minimum dimensioned 3-foot growing medium and will specify liner type. Trees will not be incorporated within an impermeable liner and must have access to the native soil.

25. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

28. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be

maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

31. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

TRANSPORTATION REQUIREMENTS:

32. No fewer than 6 off-street parking spaces (with 6 off-street parking spaces provided; including 1 disabled accessible space) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A," as part of an unmanned communications switching facility. All on-site parking stalls and aisle widths shall be in compliance with requirements of the San Diego Municipal Code (SDMC), and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

33. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD) , on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

34. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities or within five feet of any water facilities.

35. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 24, 2016 and [Approved Resolution Number].

Permit Type/PTS Approval No.: Conditional Use Permit No. 1502164

Date of Approval: 2.24.16

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

SANDRA TEASLEY
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

LLC

TIME WARNER CABLE PACIFIC WEST
Owner/Permittee

By _____
DAN COOPER
VICE PRESIDENT OF CRITICAL
INFRASTRUCTURE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 2

Project Name: Time Warner Com. Hub CUP		Project Number: 427117	Distribution Date: 06/26/2015
Project Scope/Location: KEARNY MESA - (Process 3) Conditional Use Permit to demolish a commercial structure and construct a 6,600 square-foot Communications Switching Station. The 0.50-acre site is located at 4020 Convoy Street in the IL-3-1 zone of the Kearny Mesa Community Plan area within Council District 6.			
Applicant Name: Steve Slater		Applicant Phone Number: (818) 228-8511	
Project Manager: Will Zounes	Phone Number: (619) 687-5942	Fax Number: (619) 446-5245	E-mail Address: WZounes@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 9	Members No 1	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: NONE			
NAME: JEFFREY SALLER		TITLE: KMPG CHAIR	
SIGNATURE: <i>Jeffrey Saller</i>		DATE: 10/21/15	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Project No.

Project Address:

TIME WARNER SWITZ 110B

4020 CONVOY ST. SAN DIEGO, CA.

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title: <u>TIME WARNER SWITCH HUB</u>	Project No. (<u>427117</u>)
--	-------------------------------

Part II - To be completed when property is held by a corporation or partnership
Legal Status (please check):

☒ Corporation ☐ Limited Liability -or- ☐ General) What State? _____ Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☒ No

Corporate/Partnership Name (type or print):

TIME WARNER
☒ Owner ☐ Tenant/Lessee

Street Address:

4020 CONVENT / 10450 PACIFIC CENTER CT.

City/State/Zip:

SAN DIEGO CA 92121

Phone No:

858 635 8874

Fax No:

Name of Corporate Officer/Partner (type or print):

DAN COOPER

Title (type or print):

VICE PRESIDENT

Signature:

[Signature]

Date:

5/29/15

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature:

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature:

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature:

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature:

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature:

Date:

October 21, 2015

Office of the Mayor
City of San Diego
202 C Street, 11th Floor
San Diego, CA 92101

SUBJECT: OPPOSITION TO TIME WARNER CABLE EQUIPMENT FACILITY ON CONVOY

Dear Mayor Faulconer,

This letter is to express our opposition to the proposed Time Warner Cable (TWC) equipment storage facility at 4020 Convoy Street. It is our understanding that TWC is seeking a conditional use permit (case #1500264). It is our intent to appeal this project to the Planning Commission for the following reasons:

- 1) The design is not compatible to nor enhances the character of the community
- 2) The project is not pedestrian-friendly and further divide Convoy's north-south commercial areas
- 3) The use lacks gathering space and does not promote human activity on a bustling corridor

Background

The Convoy District, located in central San Diego in Kearny Mesa, is a neighborhood that has deep cultural ties similar to other areas like Little Italy, Hillcrest and Barrio Logan. In the past 25 years, entrepreneurs and community members have invested money and time growing this area to what has become the cultural and commercial heart for San Diego's 350,000 Asian Pacific American community. Today, the area has developed into one of, if not the largest cluster of Pan-Pacific businesses and institutions anywhere in America.

Members of our community (with a combined seven decades of relevant professional expertise in urban planning, community design, and real estate development) have reviewed the proposed TWC project and concluded the project does not meet the character of the community, and could be detrimental to implementing the city and community's long-term goals. A summary of recent activities:

- The City's promotion of the area as growing small business district;
- SANDAG / City \$600,000 public investment to analyze Smart Growth, mixed-use development in the community, with eventual connection to the region's trolley system;
- The Convoy District was featured as a cultural and dining destination as part of San Diego Tourism Authority's marketing campaign aimed at Latin America & Asia;
- Dozens of media publications the past two years highlighting the area's businesses and emergence as a dining destination. Media features include the New York Times, USA Today, San Diego Magazine, San Diego City Beat, Union Tribune, NBC, and KPBS, among others

We appreciate TWC's effort to meet with us. Unfortunately, their outreach efforts occurred only within the last 2-3 weeks, while it was acknowledged that TWC has been working on this project for several years. Additionally, it has been misrepresented in the community - the proposed project is not permitted by right in the applicable zone and per City code, community review is needed to determine whether and under what conditions may be applicable in order to fully protect the public health, safety, and welfare of the community. At this time, impacts such as noise, aesthetics, and other environmental concerns to small retail businesses and to customers are unclear.

We have presented a number alternative solutions to TWC that could meet the long-term goals of the community, TWC and the City. We request the City to delay your decision, and recommend TWC to

work with the community to come up with an alternative plan that the community could get behind. Feel free to contact us at tim@convoydistrict.com and ping@convoydistrict.com if you have any questions.

Best regards,

Tim Nguyen

Tim Nguyen
Executive Director
Convoy District Partnership

Ping Wang

Dr. Ping Wang
Board Chairman
Convoy District Partnership

Michael Wong

Michael Wong
Board Chairman
Asian Pacific American
Coalition (APAC)

cc:

Hon. Council Member Chris Cate, District 6
Hon. Tom Hom, Past City Council Member
Planning Commission & Hearing Officer, City of San Diego
David Graham, Deputy COO, Neighborhood Services
Elizabeth Studebaker, City Small Business Advocate
Sandra Teasley, Development Project Manager, City of San Diego
Kearny Mesa Planning Group
Peter Chu, Esq., Chinese Consolidated Benevolent Association
Esther Hyun, Korean American Bar Association of San Diego
Su Nguyen, Little Saigon Foundation
Dr. Mitsuo Tomita, Japanese American Citizens League
Katrina Lee, National Association of Asian American Professionals, San Diego
Jack Lee, Korean Chamber of Commerce
Peter Pham, Vietnamese Federation of San Diego
Grace Lin, Taiwanese American Professionals
Bennett Peji, Filipino American Chamber of Commerce
Deven Patel, Federation of Indian Associations of San Diego
Wesley Quach, Ansir Innovation Center
Dr. Allen Chan, Jasmine Seafood Restaurant
Tim Moon, Zion Market
Cris Liang, Common Theory Public House Restaurant
Kim Phan, Crab Hut Restaurant
Michael Tu, Phuong Trang Restaurant
Sean Yeo, Manna BBQ Restaurant
Patrick Chan, Soho Gastropub
Lillian Chu ESQ, Law Offices of Peter Chu
Bryan Tran, East West Bank
Nancy Phung, Cali Baguette Restaurant
Robert Yang, Iceskimo Desserts
Joon Han, Social Entrepreneur
Dennis-Michael Broussard, Silk Road Productions
Robert Ito, Convoy District Advisor
BH Kim, Convoy District Advisor
Gil Ontai, Convoy District Advisor, Urban Planner & Architect
Dan Hom, Co-Chair, Mayor Asian Advisory Board
Faith Bautista, Co-Chair, Mayor Asian Advisory Board
John Ly, Mayor Director of Community Outreach
Time Warner Cable Senior Management Southern California



10 November 2015

Ms. Sandra Teasley
Development Project Manager
City of San Diego
1222 First Ave. M.S. 501
San Diego, CA. 92101

RE: Time Warner Cable Switching (Hub) Facility, 4020 Convoy Street, San Diego, CA.

Dear Ms. Teasley:

As the Applicant's Representative, please accept this letter, on behalf of Time Warner Cable (Applicant), relevant to the subject property and to the applicable Conditional Use Permit (CUP) application. More particularly, I am responding to that certain letter (the subject Letter), dated 21 October 2015, as submitted by Messrs. Nguyen, Wang and Wong. The aforementioned have expressed opposition to the Time Warner Switching Station (also known as a "Switching Hub" or "Switching Facility") which is proposed at the subject location.

Of paramount importance, this application is for a telecommunication switching facility, which will enhance the telecommunication infrastructure of the area, bringing faster internet speeds, enhanced services and more choices for local customers and businesses. It is not an Equipment Storage Facility as described in the subject Letter. Time Warner Cable is respectively seeking a CUP to allow said switching station, which is conditionally permitted in the underlying IL-3-1 light industrial zone, as it is in all commercial zones (excluding only CN and CP). As you know, these types of facilities are routinely installed, welcomed and encouraged not only in San Diego but throughout the United States.

Pursuant to the foregoing, and relative to statements made in the subject Letter, please be advised of the following:

1. The design of the facility has been enhanced and improved with input from local retail architects and commentary provided directly from the Kearny Mesa Planning Group. Time Warner Cable has expended significant additional time and funds to incorporate retail façade enhancements (windows, awnings, lighting, cornice and plaster treatments, as well as extensive landscaping).

The redesign of the facility was specifically reviewed and approved by the Kearny Mesa Planning Group. This project will dramatically enhance the community and the Convoy corridor.

2. The facility has extensive front yard landscaping and compliant setback areas, offering a welcome and pedestrian friendly green space, between auto oriented commercial uses (Jiffy Lube and 7-11) to the north and south. It will serve as an example property, showcasing higher levels of architectural and site design aesthetics, as implemented through the CUP (discretionary review) process.
3. The proposed use is supported by the General Plan and the goals and objectives of the Kearny Mesa Community Plan, as it is clearly a community serving business, offering and providing necessary telecommunication services for the community as well as to local businesses.
4. The proposed use is clearly not detrimental to the public health, safety and welfare. In fact, it is the converse, it will provide the community with a productive, safe, and environmentally friendly community serving installation. Telecommunication switching stations or hubs of this type are conditionally permitted in this zone and are routinely established throughout the City of San Diego. Furthermore, the conditions associated with the application have been determined by Development Services, via an extensive cycle review process, with all relevant disciplines participating. These conditions are extensive, thorough, complex and detailed; being specifically tailored to this facility.
5. Switching stations are permitted with a Conditional Use Permit in the underlying IL-3-1 zone, as well as similar commercial zones pursuant to Section 141.0416 of the San Diego Municipal Code (SDMC). This project will comply with all applicable and relevant sections of the building, zoning, electrical and mechanical codes and the Land Development Code.
6. The proposed use is appropriate at the proposed location as it meets all respective zoning and development codes and, as general city policy, community serving uses are deemed necessary and appropriate, especially when conditioned through discretionary review. The property is bounded by intense commercial uses on both sides and has existing power and fiber runs positioned to serve the hub facility. It is essentially sometimes referred to as a "hub" because fiber and other conduit junction at the facility (underground), increasing the importance of a definitive location. This facility has also been designed with additional architectural enhancements and extensive landscaping that would not be obtainable from a proposed use which did not require discretionary review. The local planning group has endorsed the project, and local retail architects participated in design enhancements to insure the facility blends into the Convoy Street corridor. Furthermore, the facility meets all required setbacks, coverage ratios, code requirements (no variances) and noise ordinances.

For benefit of record, please also be advised that the Applicant and their representative have contacted Messrs. Nguyen, Wang and Wong by email, telephone and personal meetings. While discussions remain on-going, it was the hope of the Applicant that the extensive time, investment and effort expended improving the project during the local planning group process would also satisfy the authors of the subject Letter. As of this writing, that does not appear to be the case. As such, the Applicant has looked

Teasley
p. 3

closely at the suggestions (referenced as "the alternative solutions" in the subject Letter), which were:

- A. Enter into a "land swap" with them, to move the site.
- B. Change the project to a mixed use building, moving the hub facility to a second floor and adding ground floor retail to the project.
- C. Allow them to negotiate on behalf of Time Warner Cable, as related to other locations being replaced by the subject new facility, to get additional time for implementation of items A or B.

After internal review and consideration, Time Warner Cable was not able to proceed with the aforementioned proposed alternatives, as each would essentially render the project infeasible, thereby eliminating a project which brings great benefit to the area, and one which many others in the community support and desire.

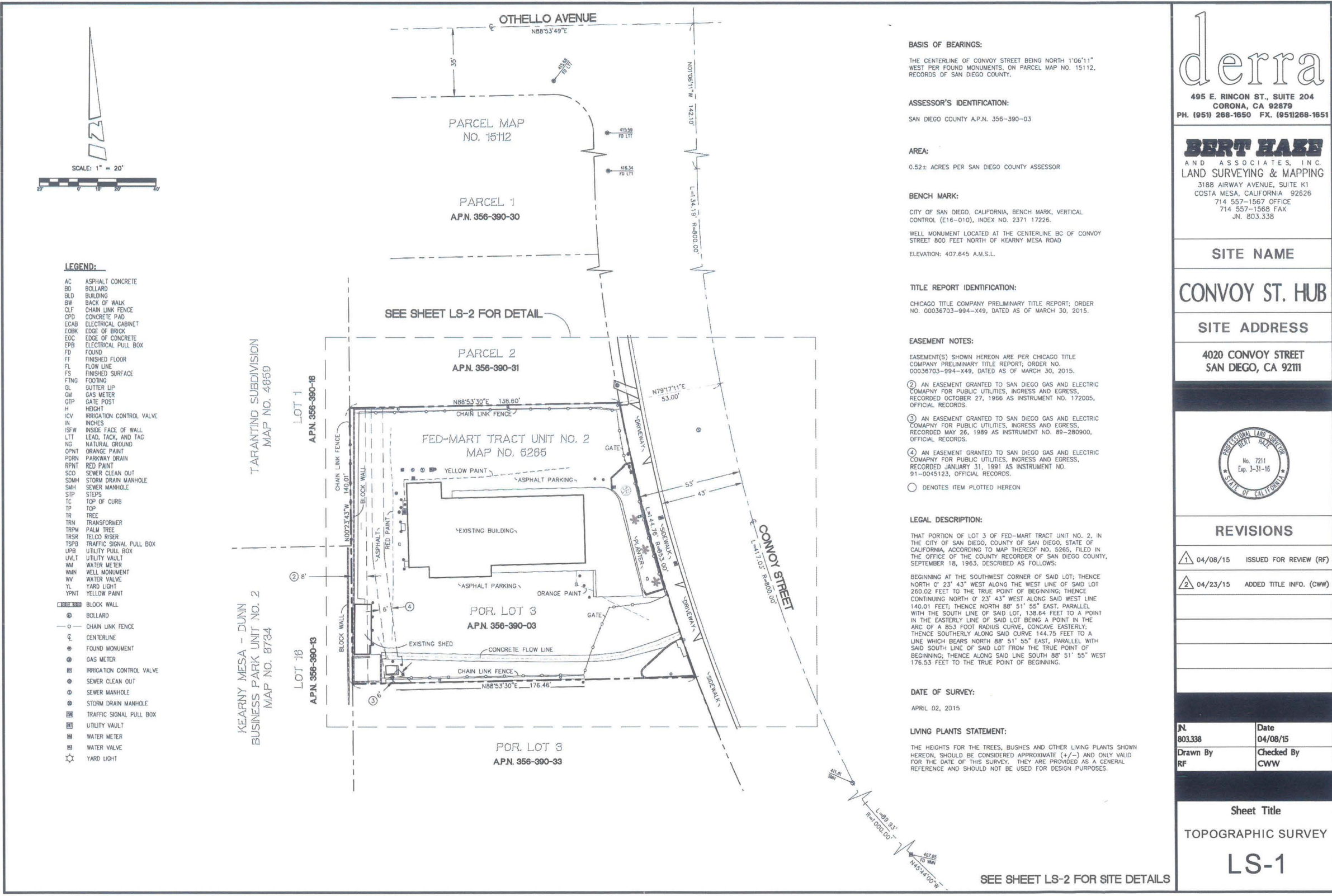
In closing, I assure you that Time Warner Cable is committed to keeping an open, amenable and on-going dialogue with all members of the community, for ways it can implement the proposed use, and bring additional benefits to a community that it eagerly looks forward to becoming part of. Should you have any questions or desire additional information, please contact me directly, without hesitation, at 818-625-9013 or s.slater@blucroix.com

Sincerely,

S.M. Slater

Stephen M. Slater,
Blu Croix Ltd.

Cc: E. Lent, T. Beckers, J. Gabaldon (Time Warner Cable)
B. Atkins, Derra Design
L. Martin, MGAC
P. Robinson, Hecht Solberg



derra

495 E. RINCON ST., SUITE 204
CORONA, CA 92879
PH. (951) 268-1650 FX. (951) 268-1651

BERT HARRIS
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3188 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 803.338

SITE NAME

CONVOY ST. HUB

SITE ADDRESS

4020 CONVOY STREET
SAN DIEGO, CA 92111



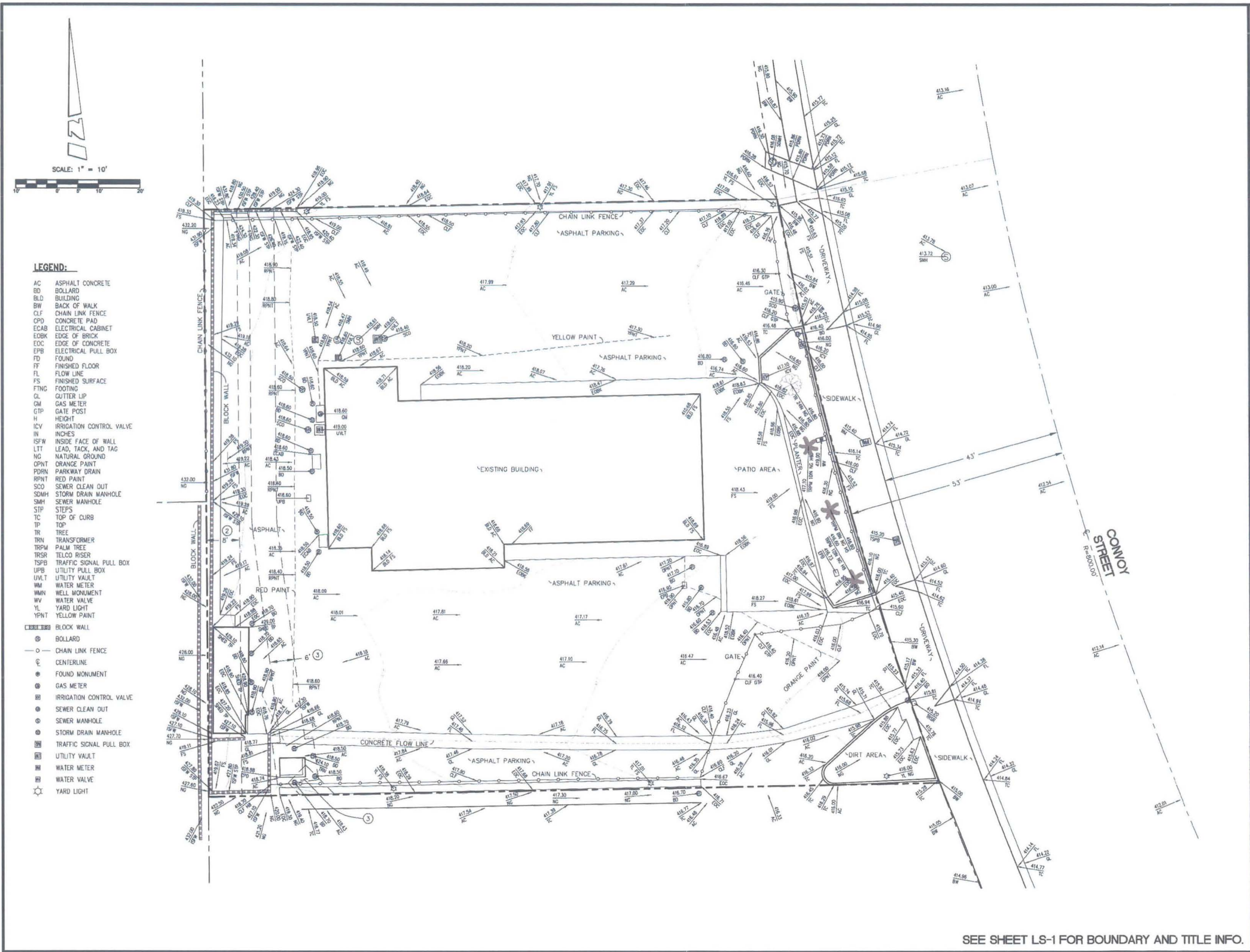
REVISIONS

①	04/08/15	ISSUED FOR REVIEW (RF)
②	04/23/15	ADDED TITLE INFO. (CWW)

N 803.338	Date 04/08/15
Drawn By RF	Checked By CWW

Sheet Title
TOPOGRAPHIC SURVEY
LS-1

CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111



derra

495 E. RINCON ST., SUITE 204
CORONA, CA 92879
PH. (951) 268-1650 FX. (951) 268-1651

BERT HAZZ
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3188 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 803.338

SITE NAME

CONVOY ST. HUB

SITE ADDRESS

4020 CONVOY STREET
SAN DIEGO, CA 92111



REVISIONS

1	04/08/15	ISSUED FOR REVIEW (RF)
2	04/23/15	ADDED TITLE INFO. (CWW)

JN. 803.338	Date 04/08/15
Drawn By RF	Checked By CWW

Sheet Title
TOPOGRAPHIC SURVEY
LS-2

SEE SHEET LS-1 FOR BOUNDARY AND TITLE INFO.

CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL "A PERMIT" / "A NOTICE TO PROCEED HAS BEEN ISSUED."
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBMITTER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET SEQ.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DESIRED OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 627-3200.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME, COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SOG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR ≥ 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

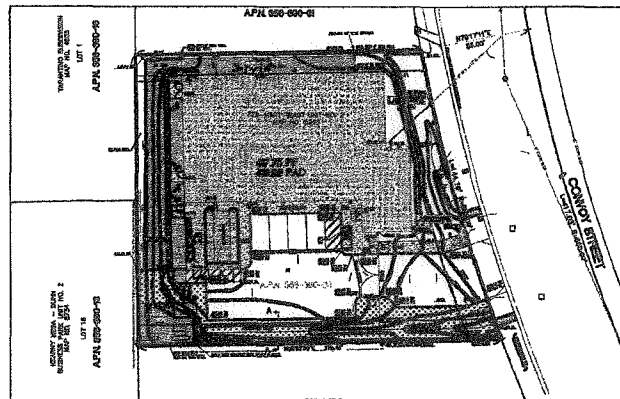
PRIVATE ENGINEERS NOTES:

- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT UNLESS PREVIOUSLY APPROVED.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION PLAN FOR CITY REVIEW.

POST-CONSTRUCTION PERMANENT BMP
OPERATION & MAINTENANCE PROCEDURE DETAILS

PROJECT BMP'S

EC-1 SCHEDULING	SE-8 2-BAG HIGH SANDBAG BARRIER
ES-2 PRESERVATION OF EXISTING VEGETATION	TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
NS-1 WATER CONSERVATION	WE-1 WIND EROSION
NS-6 ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION REPORTING	WM-1 MATERIAL DELIVERY AND STORAGE
SE-4 1-BAG SANDBAG VELOCITY REDUCER	WM-2 MATERIAL USE
SE-7 STREET SWEEPING AND VACUUMING	WM-5 SOLID WASTE MANAGEMENT
	WM-8 CONCRETE WASTE MANAGEMENT

GRADING PLANS FOR:
CONVOY CABLE
HUB FACILITY

KEY MAP

NOT TO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED
REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME),
DATED (THEIR COMPANY PROJECT NO.)
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

DEREK J. MCGREGOR DMC ENGINEERING	DATE	R.C.E. #38483	EXPIRATION DATE
JAMES R. COLEMAN COLEMAN GEOTECHNICAL	DATE	C.E. #229	EXPIRATION DATE
LEE A. SHOEMAKER COLEMAN GEOTECHNICAL 470 WALD IRVINE CA. 92618 TEL 949-872-2582 FAX 949-872-2586	DATE	C.E.G. #1961	EXPIRATION DATE

- FOR SOIL FILE SEE CITY RECORD 5 -

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DEREK J. MCGREGOR R.C.E. #38483 EXP. 3-31-17 DATE
DMC ENGINEERING
CIVIL • SURVEYING • PLANNING • CONSTRUCTION
18 Technology Drive, Suite 100, Irvine, CA 92618
E-Mail: dmc@dmcceng.com (949) 753-9393



NOT FOR CONSTRUCTION

OWNER/APPLICANT

TIME WARNER CABLE
10450 PACIFIC CENTER DRIVE, SAN DIEGO, CA 92121
(858) 635-8808

SITE ADDRESS

4020 CONVOY STREET, SAN DIEGO, CA 92111

TOPOGRAPHY SOURCE

BERT HAZE AND ASSOCIATES, INC. 3188 AIRWAY AVENUE, SUITE K1 COSTA MESA 92626
TOPOGRAPHIC SURVEY OF THE SITE WAS COMPLETED ON APRIL 02, 2015.

BENCHMARK

CITY OF SAN DIEGO, CALIFORNIA, BENCH MARK, VERTICAL CONTROL (E16-010), INDEX NO. 2371 17226. ELEVATION: 407.645 A.M.S.L.
WELL MONUMENT LOCATED AT THE CENTERLINE BC OF CONVOY STREET 800 FEET NORTH OF KEARBY MESA ROAD. ELEVATION: 407.645 A.M.S.L.

TOTAL DISTURBED AREA

0.52+/- ACRES PER SAN DIEGO COUNTY ASSESSOR.

GRADING QUANTITIES

GRADED AREA	0.52 [ACRES]	MAX. CUT DEPTH 4.25' [FT]
CUT QUANTITIES	1,727 [CYD]	MAX CUT SLOPE RATIO (2:1)MAX
FILL QUANTITIES	725 [CYD]	MAX. FILL DEPTH 0.15' [FT]
EXPORT	1,002 [CYD]	MAX FILL SLOPE RATIO (2:1)MAX

THIS PROJECT PROPOSES TO EXPORT 1,002 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

ASSESSORS PARCEL NUMBER

SAN DIEGO COUNTY A.P.N. 356-380-03.

LEGAL DESCRIPTION

THAT PORTION OF LOT 3 OF FED-WART TRACT UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5265, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 18, 1963, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 02°34'3" WEST ALONG SAID WEST LINE 140.01 FEET; THENCE NORTH 88°51'55" EAST, PARALLEL WITH THE SOUTH LINE OF SAID LOT, 136.64 FEET TO A POINT IN THE EASTERLY LINE OF SAID LOT BEING A POINT IN THE ARC OF A 103.5 FEET RADIUS CURVE, CONCAVE EASTERLY; THENCE SOUTHERLY ALONG SAID CURVE 144.75 FEET TO A LINE WHICH BEARS NORTH 88°51'55" EAST, PARALLEL WITH SAID SOUTH LINE OF SAID LOT FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE SOUTH 88°51'55" WEST 176.53 FEET TO THE TRUE POINT OF BEGINNING.

PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

TRAFFIC CONTROL NOTE

(DELETE IF GREATER THAN 5000 ADT)

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-446-5150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

STORM WATER PROTECTION NOTES

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. _____ AND RISK LEVEL/TYPE: CHECK ONE BELOW

<input type="checkbox"/> WPCP	<input type="checkbox"/> COP LUP TYPE 1
<input type="checkbox"/> COP RISK LEVEL 1	<input type="checkbox"/> COP LUP TYPE 2
<input type="checkbox"/> COP RISK LEVEL 2	<input type="checkbox"/> COP LUP TYPE 3
<input type="checkbox"/> COP RISK LEVEL 3	

- CHECK ONE
☐ THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
☐ THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
☐ NOT APPLICABLE

- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP OR SWPPP AS APPLICABLE.

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PITS070112-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION
PITS070112-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2012 EDITION
PITS070112-04	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PITS070112-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION
STANDARD DRAWINGS:	
DOCUMENT NO.	DESCRIPTION
PITS070112-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION
PITS070112-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION

LEGEND

PROPOSED IMPROVEMENTS

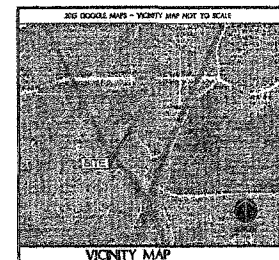
IMPROVEMENT	STANDARD DWGS.	SYMBOL
CURB & GUTTER	SDG-151	
DRIVEWAY	SDG-159	N/A
SIDEWALK	SDG-155	
SIDEWALK CULVERT (TYPE "A")	D-25	
(SAN DIEGO REGIONAL STD. DWGS.)		

EXISTING IMPROVEMENTS

ITEM	SYMBOL
SIDEWALK	
CURB & GUTTER	
DRIVEWAYS	N/A

SHEET INDEX

SHEET DESCRIPTION	SHEET #/RANGE
TITLE SHEET	SHT C-1
CONSTRUCTION NOTES	SHT C-2
PRECISE GRADING AND OFFSITE IMPROVEMENT PLAN	SHT C-3
EROSION CONTROL PLAN	SHT C-4



VICINITY MAP

NO SCALE

ENGINEERING PERMIT NO. _____
DISCRETIONARY PERMIT NO. _____
WHD NO. N/A
CONSTRUCTION SITE
STORM WATER PRIORITY: LOW

PRIVATE CONTRACT

GRADING PLANS FOR CONVOY STREET HUB TITLE SHEET				I.O. NO. _____ PROJECT NO. _____
CITY OF SAN DIEGO, CALIFORNIA Development Services Department SHEET 1 OF 4 SHEETS				V.T.M. _____
FOR CITY ENGINEER	DATE	DATE	DATE	DATE
DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	XXX			
AS-BUILTS				
CONTRACTOR	DATE STARTED	DATE COMPLETED	SHEET C-1	
INSPECTOR				

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING

0 1/2 1
IF THIS BAR DOES
NOT MEASURE 1"
THEN DRAWING IS
NOT TO SCALE.

CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT



STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/8 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/8 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWDMCA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

CURB RAMP NOTE

THE REQUIRED DETECTABLE WARNING (TRUNCATED DOMES) ON CURB RAMPS ARE TO COMPLY WITH THE CITY STANDARDS (SDG-130) AND SPECIFICATIONS. A 12" X 12" (MIN.) SAMPLE OF THE DETECTABLE WARNING, THE PRODUCTS' TEST REPORT AND A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTION MUST BE SUBMITTED TO THE DESIGNATED CITY RESIDENT ENGINEER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THE STANDARDS, SPECIFICATIONS AND SAMPLE SUBMITTAL REVIEW PROCESS WILL RESULT IN THE REMOVAL OR REPLACEMENT OF THE DETECTABLE WARNING AND/OR CURB RAMP(S) AT CONTRACTOR AND/OR OWNER'S EXPENSE.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

A. GENERAL REQUIREMENTS

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDER'S REPRESENTATIVE(S), JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS:

[LIST PROJECT SPECIFIC CONSULTANTS HERE]

NOTE:
FAILURE OF ALL RESPONSIBLE PERMIT HOLDER'S REPRESENTATIVES AND CONSULTANTS TO ATTEND SHALL REQUIRE AN ADDITIONAL MEETING WITH ALL PARTIES PRESENT.

CONTACT INFORMATION:

- a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION AT 858-627-3200.
- b) IT IS ALSO REQUIRED TO CALL THE RE AND MMC AT 858-627-3360 FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS.

2. MMRP COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) # _____ AND/OR ENVIRONMENTAL DOCUMENT # _____, SHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT AND SHALL BE IMPLEMENTED TO THE SATISFACTION OF DSO'S ENVIRONMENTAL DESIGNEE (MMC) AND THE RE. THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTATED (I.E. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.). ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (E.G. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.).

NOTE:
PERMIT HOLDER'S REPRESENTATIVES MUST ALERT THE RE AND MMC IF THERE ARE ANY DISCREPANCIES IN THE PLANS, NOTES OR ANY CHANGES DUE TO FIELD CONDITIONS. ALL CONFLICTS MUST BE APPROVED BY THE RE AND MMC BEFORE THE WORK IS PERFORMED.

3. OTHER AGENCY REQUIREMENTS: EVIDENCE OF COMPLIANCE WITH ALL OTHER AGENCY REQUIREMENTS OR PERMITS SHALL BE SUBMITTED TO THE RE AND MMC FOR REVIEW AND ACCEPTANCE PRIOR TO THE BEGINNING OF WORK OR WITHIN ONE (1) WEEK OF THE PERMIT HOLDER OBTAINING DOCUMENTATION OF THOSE PERMITS OR REQUIREMENTS. EVIDENCE SHALL INCLUDE COPIES OF PERMITS, LETTERS OF RESOLUTION OR OTHER DOCUMENTATION ISSUED BY THE RESPONSIBLE AGENCY.

[LIST PROJECT SPECIFIC REQUIRED PERMITS AND CIVIL PENALTY DOCUMENTS HERE]

4. MONITORING EXHIBITS: ALL CONSULTANTS ARE REQUIRED TO SUBMIT TO THE RE AND MMC, A MONITORING EXHIBIT ON A 11"x17" REDUCTION OF THE APPROPRIATE CONSTRUCTION PLAN, SUCH AS SITE PLAN, GRADING, LANDSCAPE, ETC. MARKED TO CLEARLY SHOW THE SPECIFIC AREAS INCLUDING THE LIMIT OF WORK, SCOPE OF THAT DISCIPLINE'S WORK, AND NOTES INDICATING WHEN IN THE CONSTRUCTION SCHEDULE THAT WORK WILL BE PERFORMED. WHEN NECESSARY FOR CLARIFICATION, A DETAILED METHODOLOGY OF HOW THE WORK WILL BE PERFORMED SHALL BE INCLUDED.

NOTE:
SURETY AND COST RECOVERY - WHEN DEEMED NECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER, THEY MAY REQUIRE ADDITIONAL SURETY INSTRUMENTS OR BONDS FROM THE PERMIT HOLDER TO ENSURE THE LONG TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OFFSET THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING PROJECTS.

5. OTHER SUBMITTALS AND INSPECTIONS: THE PERMIT HOLDER'S REPRESENTATIVES SHALL SUBMIT ALL REQUIRED DOCUMENTATION, VERIFICATION LETTERS, AND REQUESTS FOR ALL ASSOCIATED INSPECTIONS TO THE RE AND MMC FOR APPROVAL PER THE FOLLOWING SCHEDULE:

[LIST ALL AND ONLY PROJECT SPECIFIC REQUIRED VERIFICATION DOCUMENTS AND RELATED INSPECTIONS ON THE TABLE BELOW]

ISSUE AREA	DOCUMENT SUBMITTAL	ASSOC. INSPECTION/APV	NOTES
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B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

[LIST ONLY PROJECT SPECIFIC MMRP ISSUE/CONDITIONS HERE]

ISSUE AREA - CONDITIONS

PRIVATE CONTRACT

GRADING PLANS FOR

CONVOY STREET HUB

BRIEF LEGAL DESCRIPTION

CONSTRUCTION NOTES

CITY OF SAN DIEGO, CALIFORNIA				I.O. NO. _____	
DEVELOPMENT SERVICES DEPARTMENT				PROJECT NO. _____	
SHEET 2 OF 4 SHEETS					
FOR CITY ENGINEER		DATE		V.T.M. _____	
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	XXX				
AS-BUILTS					
CONTRACTOR		DATE STARTED			
INSPECTOR		DATE COMPLETED			

N/A

NAD83 COORDINATES

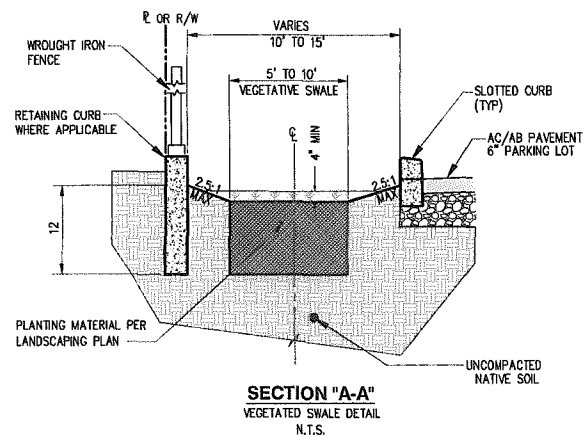
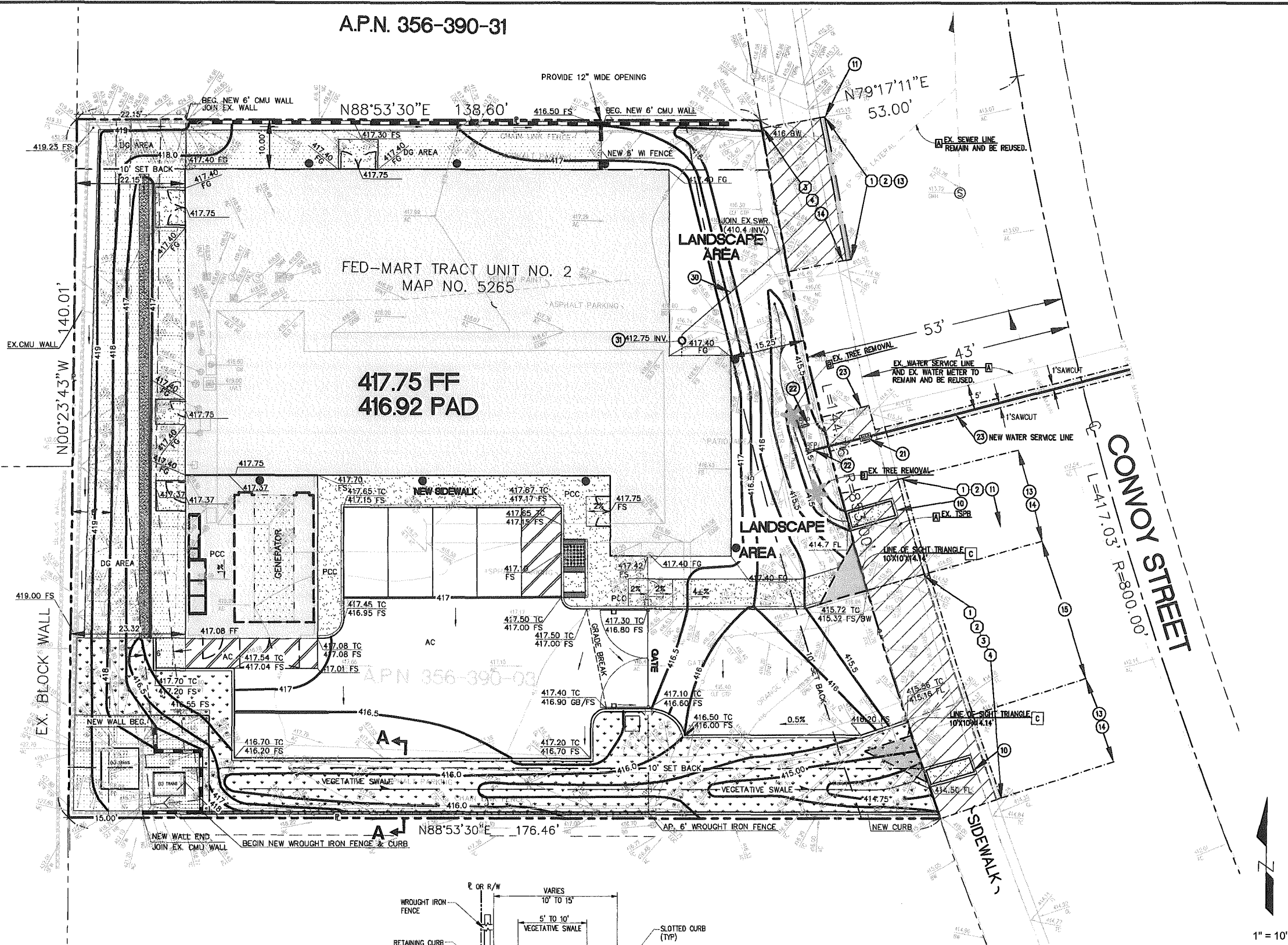
N/A

LAMBERT COORDINATES

SHEET C-2

A.P.N. 356-390-16

A.P.N. 356-390-31

**DEMOLITION NOTES-(OFFSITE):**

- 1 REMOVE EXISTING PAVEMENT SECTION AS NEEDED TO ACCOMMODATE NEW IMPROVEMENTS. DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.
- 2 REMOVE EXISTING CURB AND GUTTER DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.
- 3 REMOVE EXISTING PCC DRIVEWAY APRON. DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.
- 4 REMOVE EXISTING PCC SIDEWALK. DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.

CONSTRUCTION NOTES-OFFSITE IMPROVEMENT(S):

- 10 CONSTRUCT SIDEWALK CULVERT PER SDGSD DWG. D-25.
- 11 CONSTRUCT ASPHALT PAVING, FULL DEPTH SECTION TO MATCH EXISTING PAVEMENT SECTION.
- 12 CONSTRUCT PCC DRIVEWAY APRON PER SAN DIEGO STD. PLAN NO. SDG-159.
- 13 CONSTRUCT TYPE A2-6 CURB AND GUTTER PER SPPWC STD PLAN.
- 14 CONSTRUCT 4\" PCC SIDEWALK PER CITY OF SAN DIEGO STD. PLAN NO. SDG-155.
- 15 RECONSTRUCT TO CURRENT CITY STANDARDS WITH SDG-159 CONCRETE DRIVEWAY.

WATER CONSTRUCTION NOTES:

- 20 CONSTRUCT 1\" WATER SERVICE PER CITY OF SAN DIEGO STANDARD PLAN SDW-150 BEDDING AND BACKFILL PER SDW-107.
- 21 INSTALL WATER METER BOX PER CITY OF SAN DIEGO STANDARD PLAN SDW-113.
- 22 CONSTRUCT 1\" WATER BACK FLOW PREVENTION DEVICE PER CITY OF SAN DIEGO STANDARD PLAN SDW-140.
- 23 CONSTRUCT 1\" IRRIGATION WATER SERVICE PER CITY OF SAN DIEGO STANDARD PLAN SDW-150 BEDDING AND BACKFILL PER SDW-107.

SEWER CONSTRUCTION NOTES:

- 30 CONSTRUCT 4\" SEWER LATERAL SDR-30 SEWER LATERAL PER SAN DIEGO REGIONAL STD. DWG. SDS-101 FOR PERMISSIBLE DEPTH, BEDDING AND BACKFILL PER SDS-110.
- 31 CONSTRUCT SEWER LATERAL CLEAN OUT (OUTSIDE TRAVEL WAY) PER CITY OF SAN DIEGO STD. PLAN SDS-103.

KEY NOTE (S):

- [A] ITEM TO REMAIN.
 [B] SEE LANDSCAPE ARCH. PLAN FOR TREE REMOVALS OR NEW TREE LOCATIONS.
 [C] NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

LEGEND:

- [Hatched Area] CONCRETE REMOVAL LIMITS (AREA SHOWN IS A MINIMUM FIELD CONDITIONS MAY VARY).
 [Stippled Area] REMOVE AREAS OF ASPHALT PAVEMENT (AREA SHOWN IS A MINIMUM FIELD CONDITIONS MAY VARY). DURING THE PATCH PHASE ALL JOINING EDGES SHALL BE CLEAN AND SUITABLE TO THE INSPECTOR.
 [Dot] DOWNSPOUT LOCATIONS

1" = 10'

PRIVATE CONTRACT

GRADING PLANS FOR

CONVOY STREET HUB
 BRIEF LEGAL DESCRIPTION
PRECISE GRADING PLAN AND OFFSITE IMPROVEMENTS

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 4 SHEETS					I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER					V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	XXX				N/A NAD83 COORDINATES
					N/A LAMBERT COORDINATES
AS-BUILTS					
CONTRACTOR	DATE STARTED		DATE COMPLETED		
INSPECTOR			SHEET C-3		

SUBMITTAL: NOVEMBER 02, 2015

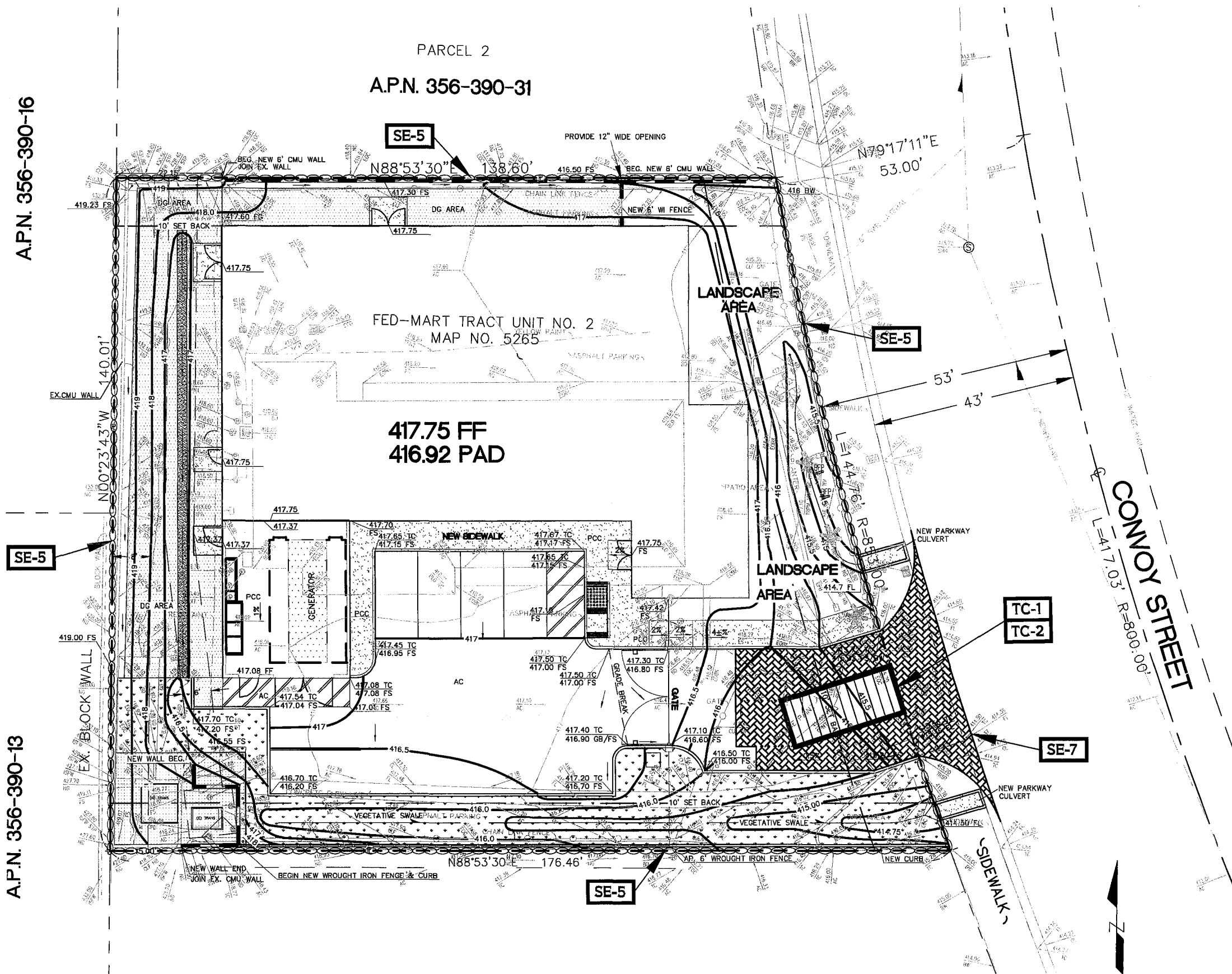
EROSION CONTROL CONSTRUCTION NOTE(S):

- SE-5 FIBER ROLLS
- SE-7 STREET SWEEPING AND VACUUMING
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT WITH CORRUGATED STEEL PANELS ON CRASHED AGGREGATE
- TC-2 STABILIZED CONSTRUCTION ROADWAY

A.P.N. 356-390-16

A.P.N. 356-390-13

PARCEL 2
A.P.N. 356-390-31



PRIVATE CONTRACT				
GRADING PLANS FOR				
CONVOY STREET HUB BRIEF LEGAL DESCRIPTION EROSION CONTROL PLAN				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 4 SHEETS				I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER				V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				N/A NAD83 COORDINATES
CONTRACTOR				N/A LAMBERT COORDINATES
INSPECTOR				
DATE STARTED _____ DATE COMPLETED _____				SHEET C-4

SUBMITTAL: NOVEMBER 02, 2015

CITY OF SAN DIEGO

Time Warner- Cable Hub Facility

4020 CONVOY STREET

SAN DIEGO, CA 92111

LANDSCAPE PLANS

derra

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terrain
INTEGRATION

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CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111

Revisions

Δ	LAND USE PACKAGE	5/12/15
	DESIGN DEVELOPMENT PKG.	5/29/15
	DESIGN DEVELOPMENT PKG.	6/8/15
	90% CD	7/7/15
	100% CD	7/27/15
	100% CD SUBMITTAL & BID SET	8/12/15
	UPDATED BID SET	8/17/15
Δ	MECHANICAL EQUIPMENT REVISIONS	9/18/15
Δ	CYCLE 2 REVISIONS	10/7/15
Δ	CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By SS	Checked By SS

Sheet Number

Title Sheet

L-0.0



SITE STATISTICS PER ARCHITECT		
TOTAL BUILDING COVERAGE PER SDMC 113.0234:	6,698 SQ. FT.	30.80%
TOTAL GENERATOR YARD	871 SQ. FT.	4.02%
PAVED AREAS:	5,973 SQ. FT.	27.48%
GRAVEL AREAS:	2,764 SQ. FT.	12.62%
LANDSCAPE AREA:	5,452 SQ. FT.	25.08%
GROSS SITE:	21,758 SQ. FT.	100%

DESIGN STATEMENT

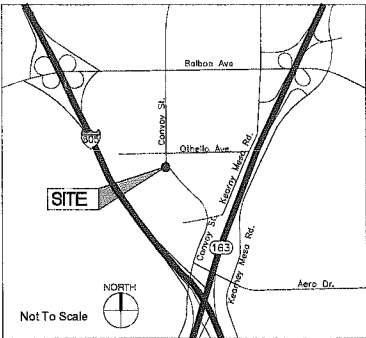
The design intent of this landscape plan is to provide the Owner with a low maintenance, drought tolerant landscape that utilizes California natives in order to conserve water and other resources. The plant material is placed in a natural form amongst a dry cobble bed for a natural look with aesthetic interest. The irrigation system utilizes low volume drip for shrubs and root watering systems for trees in order to better and most efficiently disperse water to each plant.

GENERAL NOTES

- 1) All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- 2) All work shall be performed by a licensed landscape contractor.
- 3) Landscape contractor shall obtain a Landscape Permit from the City of San Diego prior to commencement of work.
- 4) All work shall conform to Standard Specifications for Public Works Construction (SSPWC), latest edition, (published by Building News, 3055 Overland Avenue, Los Angeles, CA) for all work performed and not specifically mentioned herein.
- 5) All work shall be done in accordance with the plans, specifications, and any special requirements of the permit. Any violation will result in the stoppage of all work until the violation is corrected.
- 6) No work shall commence on the project until a pre-construction conference has been held with the Landscape Architect or an authorized representative.
- 7) The contractor shall be responsible for notifying the Landscape Architect for any required site visits as follows:

Pre-construction conference.	48 hrs. notice
Mainline inspection and plant material	48 hrs. notice
Final walk through for completion of improvements	7 day notice
Final walk through for acceptance	7 day notice
- 7) Contractor shall make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Prior to the commencement of work the contractor shall contact Underground Service Alert (800)422-4133 for location of underground utilities.
- 8) Do not willfully proceed with Construction as designed when it is obvious that unknown obstructions, area discrepancies and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the owner. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 9) These plans are intended for planting & irrigation purposes only.
- 10) Maintenance: All required landscape areas shall be maintained by the Owner. There is no landscape in the public right of way that needs to be maintained. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- 11) Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistance condition. The design of the system shall provide adequate support for the vegetation selected. Proposed irrigation includes: Drip and bubblers

VICINITY MAP



SHEET INDEX

DRAWING NAME	SHEET NUMBER
TITLE SHEET & KEY MAP	LA-0.0
IRRIGATION PLAN	LA-1.0
PLANTING PLAN	LA-2.0
IRRIGATION & PLANTING DETAILS	LA-3.0

PROJECT TEAM

PROPERTY OWNER: TIME WARNER CABLE 10455 PACIFIC CENTER DRIVE SAN DIEGO, CA 92121 PHONE: (858) 835-8888 CONTACTS: ANTHONY BECKERS	ELECTRICAL: CD DESIGN GROUP P.O. BOX 4107 IRVINE, CA 92614 PHONE: (949) 387-8476 CONTACTS: CHRIS KARJALA
ARCHITECT: DERRA DESIGN, INC. 259 EL CAMINO REAL SUITE #219 TUSTIN, CA 92780 PHONE: (714) 730-0506 CONTACT: BILL ATKINS	LANDSCAPE ARCHITECT: TERRAIN INTEGRATION, INC. 191 S. ORANGE STREET ORANGE, CA 92668 PHONE: (714) 724-9814 CONTACT: STEPHANIE SHERMOEN
STRUCTURAL: CONSULTING ENGINEERING, INC. 112 EAST CHAPMAN AVENUE SUITE D ORANGE, CA 92668 PHONE: (714) 997-9120 CONTACT: SHUCRI YAGHI	CIVIL: SWCE 1740 EAST GARRY AVE, SUITE 112 SANTA ANA, CA 92704 PHONE: (949) 832-5852 CONTACT: JESSE GREEN
MECHANICAL & PLUMBING: OPTIMUM ENERGY DESIGN 5300 EAST LA PALMA AVENUE ANAHEIM, CA 92807 PHONE: (714) 892-2277 CONTACT: ABBY BANERJEE	
GENERAL CONTRACTOR: TO BE DETERMINED	

derra

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 Carlsbad, CA 92008
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Job No.
1580C

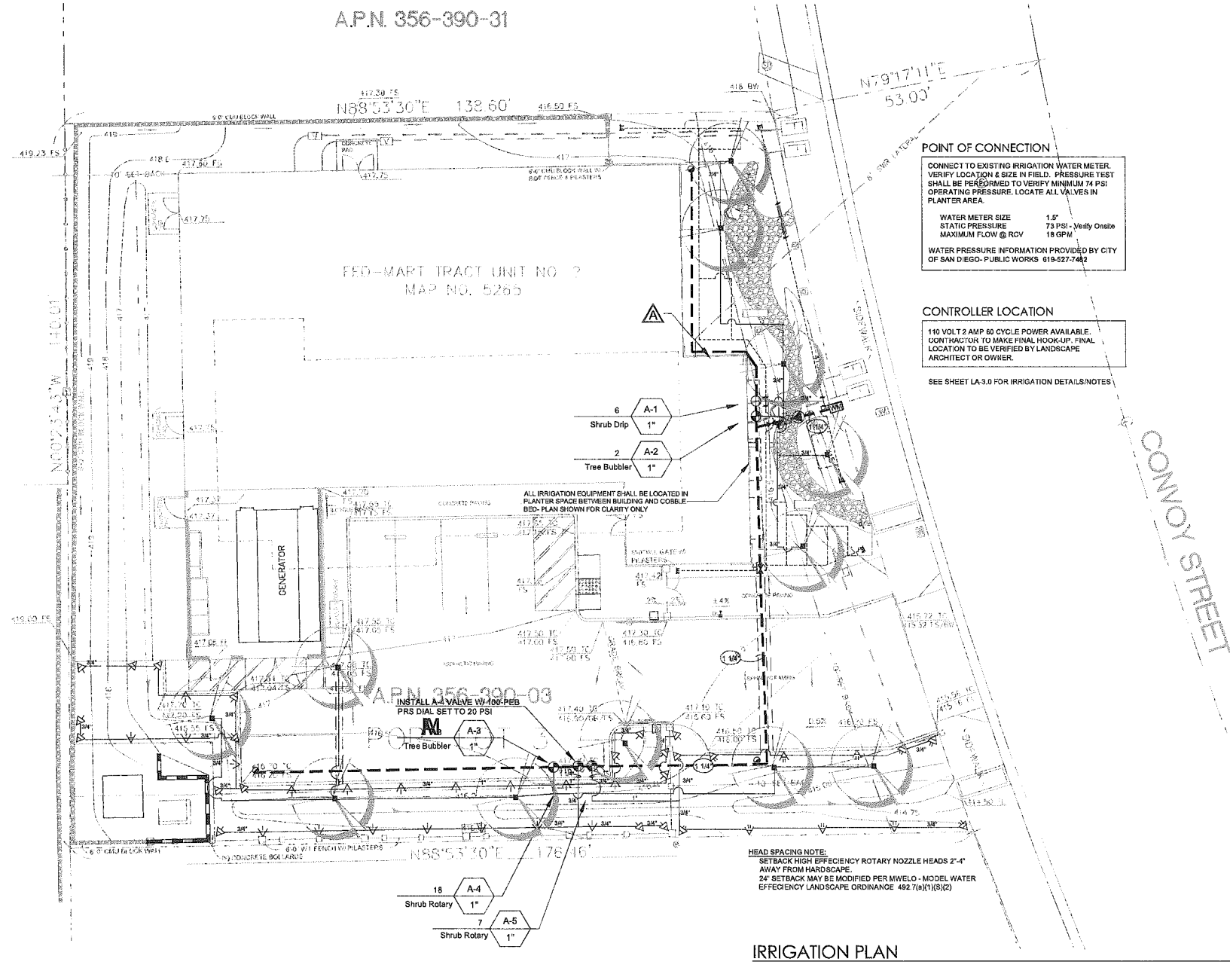
Date
05/01/2015

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SS

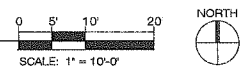
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Sheet Number
Irrigation Plan

L-1.0



IRRIGATION PLAN



Irrigation Notes

- ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE COORDINATED AND INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGES AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL EXISTING AND NEW SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH NO OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- USE CHECK VALVES WHEN LOW HEAD DRAINAGE OCCURS.
- ALL LATERAL LINE AND MAINLINE INSTALLED UNDER PAVING TO BE PROVIDED WITH PIPE SLEEVING (TIMES LINE SIZE) SEE IRRIGATION DETAILS FOR DEPTHS.
- ALL CONTROLLER/VALVE WIRING INSTALLED UNDER PAVING TO BE PROVIDED WITH PIPE SLEEVING.
- INSTALL PRESSURE COMPENSATING SCREENS TO SPRAY HEADS TO PREVENT OVERSPRAY OR MISTING ONTO WALKS, WALLS, PAVING, ETC. PER MANUFACTURER'S RECOMMENDATIONS.
- A REDUCED COPY OF THE APPROVED AS-BUILT IRRIGATION PLAN COLOR CODED BY STATIONS AND LAMINATED IN PLASTIC, SHALL BE MOUNTED ON THE INSIDE OF THE CONTROLLER ENCLOSURE FOR MAINTENANCE PERSONNEL AT THE TIME OF THE FINAL ACCEPTANCE.
- THE CONTRACTOR'S GUARANTEE SHALL CONSIST OF SECTION 308-7 OF THE STANDARD SPECIFICATIONS AND THE FOLLOWING: THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF WORK. SHOULD THE CONTRACTOR FAIL DURING THE GUARANTEE PERIOD TO EXPEDITIOUSLY CORRECT A DEFECT UPON WRITTEN NOTIFICATION BY THE CITY, THE CITY SHALL CAUSE THE WORK TO BE CORRECTED AND BILL THE ACTUAL COSTS INCURRED TO THE CONTRACTOR. DEFECT CORRECTIONS SHALL INCLUDE THE COMPLETE RESTORATION OF EXISTING IMPROVEMENTS THAT WERE DAMAGED AS A RESULT OF THE DEFECT.

Irrigation Legend

SYMBOL	IRIGMODEL NO.	DESCRIPTION	PSI	GPM	RADIUS	ARC
	RAINBIRD 1806-R13-18	6" POP-UP HEAD W/HIGH EFFICIENCY ROTARY NOZZLE	20	33.66	13'-14"	Q, H
	RAINBIRD 1806-R13-18	6" POP-UP HEAD W/HIGH EFFICIENCY ROTARY NOZZLE	30	43.86	15'-16"	Q, H
	RAINBIRD RW5-B-C-401	DEEPROOT WATERING SYSTEM (2) PER TREE W/ BUBBLER NOZZLE	30	.28		
	RAINBIRD XB-20PC-PC	20" X 1/2" DISTRIBUTION TUBING	30	.03		
	RAINBIRD MDCFCAR-MDCFCOLP	MANUAL FLUSH VALVE CAP & COMPRESSION COUPLER-INSTALL IN EMITTER BOX				
	RAINBIRD ARV50	1" AIR/VACUUM RELIEF VALVE INSTALL IN EMITTER BOX-INSTALL (1) RELIEF VALVE PER DRIP VALVE ZONE				
	RAINBIRD MDCF	EASY FIT FITTING AND ADAPTER FOR PVC TO DISTRIBUTION TUBING TRANSITION				
	RAINBIRD XT-700	NON-PRESSURE LATERAL PVC SCH 40 WITH PVC SCH 40 FITTINGS. BURY SLEEVED PVC MIN. 12" BELOW GRADE FOR PEDESTRIAN, 30" FOR VEHICULAR PAVING. BURY UNSLEEVED PVC 12" BELOW GRADE. SIZE NOTED ON PLAN.				
	RAINBIRD 33-QUICK	RAINBIRD XT-700 DISTRIBUTION TUBING-BURIED 2" BELOW FINISH GRADE				
	RAINBIRD 33-QUICK	NIBCO T113-LINE SIZED GATE VALVE-LINE SIZE				
	RAINBIRD 33-QUICK	RAINBIRD 33-QUICK QUICK COUPLING VALVE-1" SIZE				
	RAINBIRD 33-QUICK	RAINBIRD PER SERIES REMOTE CONTROL VALVE-SIZE NOTED ON PLAN				
	RAINBIRD 33-QUICK	RAINBIRD X12Z-175-PRF CONTROL ZONE KIT FOR DRIP SYSTEM				
	RAINBIRD 33-QUICK	RECO BACKFLOW DEVICE-825 YA-SMALL FOOTPRINT "N-SHAPE"-1.5" INSTALL IN STRONGBOX/LT. PRODUCTS-#8890-22CR LOW PROFILE, SMOOTH TOUCH ENCLOSURE				
	RAINBIRD 33-QUICK	GRISWOLD #2220 PRESSURE REGULATING MASTER VALVE (NORMALLY CLOSED)-1.25"-SET AT 60 PSI				
	RAINBIRD 33-QUICK	PRESSURE MAINLINE-3/4" TO 2" PVC SCH 40. BURY SLEEVED PVC MIN. 18" BELOW GRADE FOR PEDESTRIAN, 30" FOR VEHICULAR PAVING. BURY UNSLEEVED PVC MIN. 18" BELOW GRADE				
	RAINBIRD 33-QUICK	PIPE SLEEVING PVC SCH 80 FOR MAINLINE AND WIRES UNDER VEHICULAR PAVING, SCH 40 FOR MAINLINE, WIRES AND LATERALS UNDER PEDESTRIAN PAVING. EXTEND 12" BEYOND EDGE OF PAVING				
	RAINBIRD 33-QUICK	WIRE SLEEVING PVC SCH 40. BURY MIN. 24" BELOW GRADE, EXTEND MIN. 12" BEYOND EDGE				
	RAINBIRD 33-QUICK	RAINBIRD ESP-SMT SMART MODULAR AUTOMATIC IRRIGATION CONTROLLER W/ SMT-Y SOIL MOISTURE SENSOR KIT-WALL MOUNT ON OUTSIDE WALL IN STAINLESS STEEL LOCKING METAL CABINET. ALL WIRING SHALL BE SLEEVED UNDER HARDSCAPE PER PLANS. SEASONALLY ADJUST SOIL MOISTURE SENSOR.				

Lateral Pipe Sizing

FLOW (GPM)	PIPE SIZE
0-8	3/4"
8.1-12	1"
12.1-22	1-1/4"
22.1-28	1-1/2"
28.1-45	2"
45.1 +	2-1/2"

Irrigation Calculations & Point of Connection

Pressure Calculation	VALVE A-4	Water Use Calculation
1.5" WATER METER MAINLINE- 12" @ 114"	0.0	MAWA= 47 X 0.82 X (0.55 X 4.51) + (0.45 X 1.0) = 11,083 GAL/YEAR
REMOTE CONTROL VALVE	0.5	EAUW= SHRUBS W/ DRIP (47) (0.82) (0.20 X 1,707) + 0.90 = 11,083 GAL/YEAR
LATERALS	2.9	EAUW= TREES W/ BUBBLERS (47) (0.82) (0.40 X 208) + 0.90 = 2,852 GAL/YEAR
FITTINGS	5.0	EAUW= SHRUBS W/ ROTARY (47) (0.82) (0.20 X 2,601) + 0.90 = 17,833 GAL/YEAR
PRESSURE AT HEAD	0.1	TOTAL EAUW= 31,738 GAL/YEAR
ELEVATION	20	
MISCELLANEOUS	0.5	
PRESSURE LOSS	3.0	
AVAILABLE PRESSURE	32 PSI	
SET PRESSURE REGULATOR @	73 PSI	
ADJUST IN FIELD AS NEEDED	50 PSI	

Controller 'A'

HYDROZONE	VALVE #	PLANT FACTOR	IRIGATED AREA	IRRIGATION METHOD	IRRIGATION EFFICIENCY
LOW WATER SHRUB	A-1	0.2	1,707 S.F.	DRIP	0.80
MEDIUM WATER TREE	A-2	0.4	64 S.F.	BUBBLER	0.85
LOW WATER SHRUB	A-3	0.4	144 S.F.	BUBBLER	0.85
LOW WATER SHRUB	A-4	0.2	1,658 S.F.	ROTARY	0.85
LOW WATER SHRUB	A-5	0.2	945 S.F.	ROTARY	0.85

Irrigation Schedule Recommendation

- ESTABLISHMENT PERIOD
 SHRUB DRIP ZONE
 300 MINUTES EVERY 4 DAYS
 TREE BUBBLER ZONE
 15 MIN EVERY 4 DAYS
- SEASONAL ADJUST AS NEEDED
 - SCHEDULE WATER BETWEEN 7am - 8am
 - CYCLE A 30-35 MINUTE RUN TIME LIMIT OR UNTIL RUNOFF OCCURS
 - CONTRACTOR TO ADJUST IRRIGATION SCHEDULE TO BUILT ONSITE CONDITIONS AS NEEDED

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
 LANDSCAPE ARCHITECT SIGNATURE
 DATE 5-1-15



derra

435 E. Finsen Street, Suite 204
Corona, CA 92879
PH: 951.253.1650 FAX: 951.253.1651

terraIN

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Revisions

Δ LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/29/15
DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
Δ MECHANICAL EQUIPMENT REVISIONS	9/18/15
Δ CYCLE 2 REVISIONS	10/7/15
Δ CLIENT REVISIONS	11/2/15

Job No. 1580C Date 05/01/2015

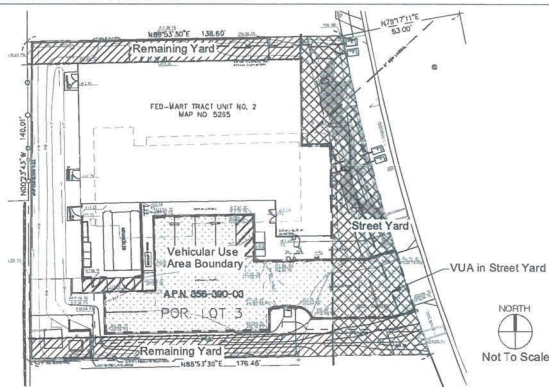
Drawn By SS Checked By SS

Sheet Number

Planting Plan

L-2.0

LANDSCAPE CALCULATIONS



LOT 1
A.P.N. 356-390-16

Landscape Calculations Worksheet

Industrial Development in RM and C Zones
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 3,715 sq. ft. x 25% = 928.75 sq. ft.	2,840 sq. ft.	1,711.25 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 3,715 sq. ft. x 0.06 = 185.75 points	200 points	14.25 points

REMAINING YARD

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 2,353 sq. ft. x 30% = 705.9 sq. ft.	2,051 sq. ft.	1,345.1 sq. ft.

Plant Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 2,353 sq. ft. x 0.06 = 117.7 points	164 points	26.4 points

Landscape Calculations Worksheet

Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

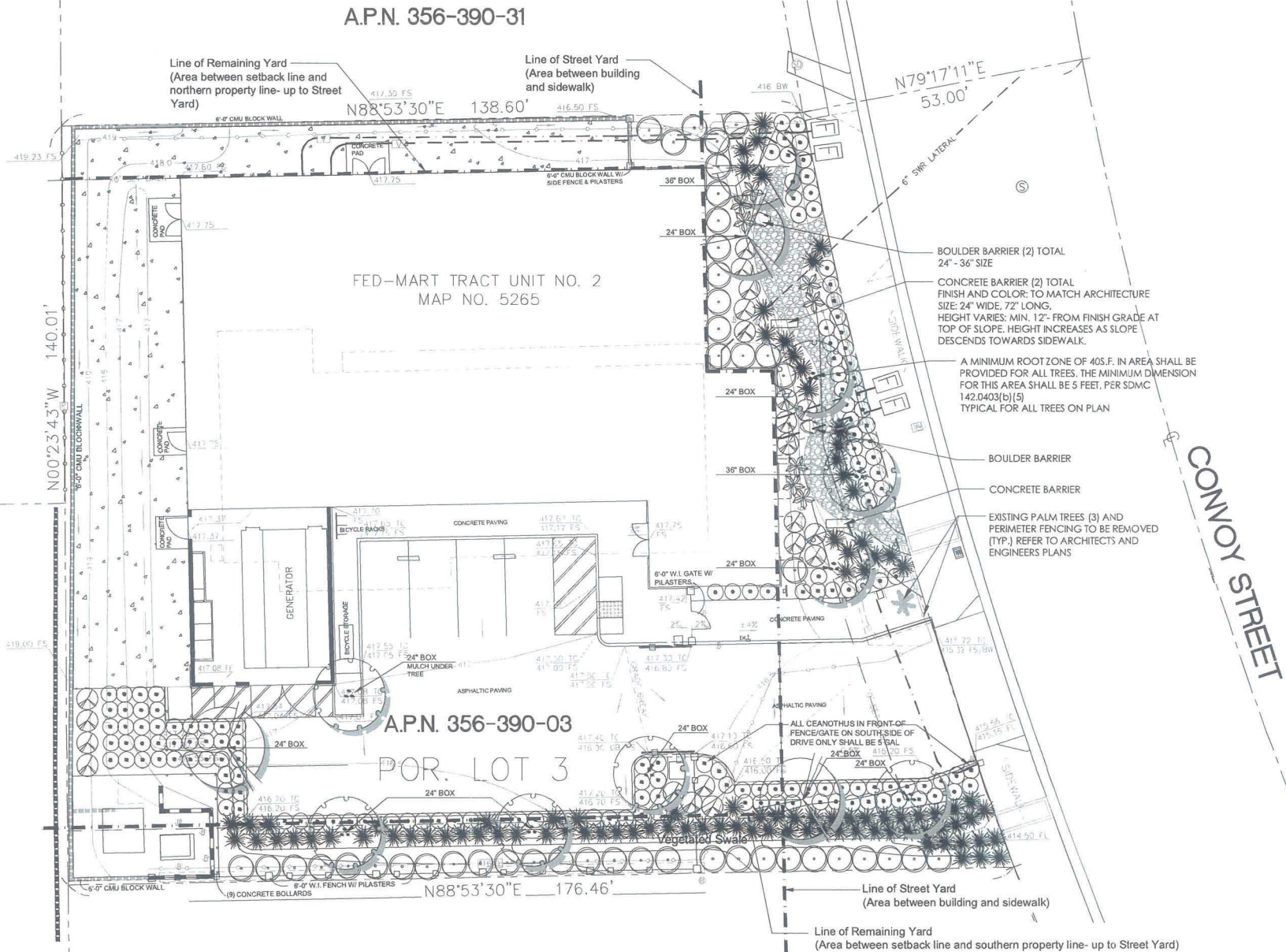
VEHICULAR USE AREA (142.0405 - 142.0407)

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')	Plant Points Provided	Excess Points Provided
Total VUA: 5,186 sq. ft. x 0.05 = 259.4 points	302 points	43.6 points

Points achieved through trees (at least half): 140 points

STREET YARD	REMAINING YARD	VEHICULAR USE AREA
QTY SIZE POINTS	QTY SIZE POINTS	QTY SIZE POINTS
5 24" BOX 100	52 5 GAL 104	52 5 GAL 104
2 36" BOX 100	2 5 GAL 40	2 5 GAL 40
TOTAL POINTS 200	TOTAL POINTS 144	TOTAL POINTS 302

A.P.N. 356-390-31



FED-MART TRACT UNIT NO. 2
MAP NO. 5265

A.P.N. 356-390-03

POR. LOT 3

PLANTING PLAN

Planting Notes

- TREE MATERIAL SPECIFIED MUST MEET SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED ON PLAN. IF THE CONTRACTOR CANNOT LOCATE MATERIAL OF ACCEPTABLE SIZE AT THE TIME OF INSTALLATION, CONTACT LANDSCAPE ARCHITECT FOR SPECIES SUBSTITUTION; DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT OWNER WILL NOT BE ALLOWED. TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- PLANTS NOT MEETING THE REQUIREMENTS OF THESE SPECIFICATIONS SHALL BE CONSIDERED TO BE DEFECTIVE. THEY MUST BE IMMEDIATELY REMOVED AND REPLACED (WHETHER PLANTED OR NOT) WITH NEW ACCEPTABLE AND APPROVED PLANTS OF THE REQUIRED SIZE, SPECIES AND VARIETY AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR OR OTHER SHALL NOT PRUNE, TRIM, TOP OR ALTER THE SHAPE OF TREES OR PLANTS EXCEPT AS APPROVED BY THE LANDSCAPE ARCHITECT.
- ANY MAJOR DIFFERENCES OR FIELD CONDITIONS NOT ADDRESSED IN THE PLANS OR THAT SEEM TO BE IN CONFLICT WITH EXISTING CONDITIONS OR PLANS MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO DO SO MAY RESULT IN EXTRA WORKSERVICES BY CONTRACTOR WITH NO ADDITIONAL COST TO CLIENT OR LANDSCAPE ARCHITECT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR ANY DAMAGE TO EXISTING SITE HARDSCAPE, SOFTSCAPE, OR ARCHITECTURE BROUGHT ABOUT FROM LANDSCAPE INSTALLATION OR REMOVAL.
- EXISTING PLANT MATERIAL TO BE REMOVED BY BEST INDUSTRY PRACTICES. REPAIR PRACTICE TO BE APPROVED BY OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- INSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS- 2% MINIMUM
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREES FOR 1 YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER/OWNERS REPRESENTATIVE.
- PLANT SHRUBS WITH FERTILIZER TABLETS AT HALF THE DEPTH OF THE ROOT BALL. PLANTING TABLETS SHALL BE 21 GRAM AGRIFORM OR EQUAL- 1 TABLET/ 1 GAL., 2 TABLETS/ 5 GAL.
- PLANTING HOLE SHALL BE DUSTED WITH GYPSUM OR EQUIVALENT ON ALL SIDES AND BOTTOM. GYPSUM SHALL BE BLENDED THOROUGHLY WITH THE BACKFILL SOIL AND AMENDMENTS UTILIZED COMPLETELY IN THE BACKFILL.

AND PLANTING PROCESS. A SHALLOW DRAINAGE SUMP OR TREE WELL SHALL BE REQUIRED AROUND ALL SHRUB & TREE PLANTING.

- ALL PLANT MATERIAL SHALL BE APPROVED AT THE SITE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL PLANT MATERIAL WHICH IS REJECTED SHALL BE RETURNED AT NO COST TO THE OWNER.
- FERTILIZER SHALL BE A COMMERCIAL GRADE OF THE INORGANIC OR ORGANIC TYPE, PRODUCED IN PELLETIZED, GRANULAR OR SLURRY FORM. ADDITIONAL ADDITIVES ARE RECOMMENDED DEPENDING ON SOIL CONDITIONS, E.G. SOIL SULFUR, IRON SULFATE, CALCIUM/MAGNESIUM SULFATE. FERTILIZER SHALL CONFORM TO CITY STANDARDS.
- CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY DRAINAGE COURSE OR SWALE TO BE BLOCKED FROM CONVEYANCE OF WATER FROM SITE. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE MAINTAINED.
- CONTRACTOR SHALL MAINTAIN AND PROTECT IN PLACE EXISTING PLANT MATERIAL THAT IS TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGED PLANT MATERIALS AT HIS COST.
- PER CITY OF SAN DIEGO M.C. 142.0403 (b)(8) - ANY PLANT MATERIAL REQUIRED THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL. APPROVED ON PLAN. REQUIRED SHRUBS THAT DIES 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15 GAL. SIZE. REQUIRED TREES THAT DIE 3 YEARS OR AFTER SHALL BE REPLACED WITH 60" BOX MATERIAL. SIZE. THE CITY MANAGER MAY AUTHORIZE ADJUSTMENT OF THE SIZE & QUANTITY OF REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN AN ACCESSIBLE AREAS OR WHERE THE EXISTING PLANT BEING REPLACED IS LARGER THAN A 15 GALLON SHRUB OR 60" BOX TREE.

MINIMUM TREE SEPARATION DISTANCE:

- 10'-0" FROM ABOVE GROUND UTILITIES
- 5'-0" FROM UNDERGROUND UTILITIES (10'-0" FROM SEWER)
- 20'-0" FROM TRAFFIC SIGNALS/ STOP SIGNS
- 10'-0" FROM DRIVEWAY ENTRIES
- 25'-0" FROM INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)

CONTRACTOR TO VERIFY EXISTING AND PROPOSED SITE CONDITIONS PRIOR TO PLANTING TREES.

IF DISCREPANCIES OCCUR, LANDSCAPE ARCHITECT IS TO BE NOTIFIED AND TREE PLACEMENTS SHALL BE ADJUSTED ACCORDINGLY.

FAILURE TO DO SO THAT RESULT IN CHANGES TO THE PLAN, THERE SHALL BE NO COST TO OWNER OR LANDSCAPE ARCHITECT.

Planting Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	MATURE SIZE (HxW)	REMARKS
TREE							
	CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	3	MED-LOW	60' x 15'	STANDARD
	LAURUS NOBILIS	SWEET BAY	24" BOX	7	LOW	20' x 15'	STANDARD
ACCENT & FOUNDATION SHRUBS							
	AGAVE SHAWII OR HESPEROYUCCA WHIPPLEI	SHAW AGAVE OR OUR LORDS CANDLE	5 GAL	8	LOW	2' x 3'	@ 3'-0" O.C.
	DENDROMECON HARFORDII	ISLAND BUSH POPPY	5 GAL	44	VERY LOW	6' x 8'	@ 5'-0" O.C. MAX
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	102	LOW	4' x 4'	@ 4'-0" O.C.
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	21	VERY LOW	4' x 4'	@ 4'-0" O.C.
GROUND COVER							
	CEANOETHUS 'CENTENNIAL'	CENTENNIAL CEANOETHUS	1 GAL	120	LOW	8' x 4'	@ 3'-0" O.C.
	COBBLESTONE		4"-8" SIZE	735 s.f.	NA	NA	COBBLE SET IN MORTAR BASE
	STABILIZED DECOMPOSED GRANITE			3,204 s.f.	NA	NA	BROWN-TAN COLOR

NOTE:

- DECOMPOSED GRANITE SHALL HAVE A COMMERCIAL GRADE STABILIZER INCORPORATED INTO IT OR TOPICALLY SPRAYED
- IF TOPICALLY APPLIED- APPLY PRIOR TO DG COMPACTION AND AFTER DG COMPACTION
- DECOMPOSED GRANITE SHALL BE 2" MINIMUM WITH 3" GRAVEL BASE BELOW BOTH COMPACTED AT EACH APPLICATION.
- ALL PLANTERS NOT COVERED BY DECOMPOSED GRANITE OR COBBLE SHALL RECEIVE A 2" LAYER OF SHREDDED BARK MULCH WITH WEED BARRIER BELOW
- FINISH GRADE OF PLANTERS, BEFORE MULCH IS APPLIED, SHALL LIE 1"-2" BELOW ADJACENT FINISH SURFACE IN ALL AREAS FOR WATER QUALITY MANAGEMENT
- INSTALL ROOT BARRIERS FOR ANY TREE WITHIN 5'-0" OF HARDSCAPE OR MAJOR UTILITY- SEE DETAIL
- ALL EXISTING PLANT MATERIAL SHALL BE REMOVED DURING DEMOLITION OF THE SITE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LANDSCAPE ARCHITECT SIGNATURE DATE

DIG ALERT



DIAL TOLL FREE 1-800-327-2600 AT LEAST TWO DAYS BEFORE YOU DIG



derra

495 E. Rincon Street, Suite 204
Corona, CA 92679
Ph: 951.268.1650 Fax: 951.268.1651

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Revisions

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	5/12/15
2	REVISIONS TO PLANTING PLAN	5/12/15
3	REVISIONS TO PLANTING PLAN	5/12/15
4	REVISIONS TO PLANTING PLAN	5/12/15
5	REVISIONS TO PLANTING PLAN	5/12/15
6	REVISIONS TO PLANTING PLAN	5/12/15
7	REVISIONS TO PLANTING PLAN	5/12/15
8	REVISIONS TO PLANTING PLAN	5/12/15
9	REVISIONS TO PLANTING PLAN	5/12/15
10	REVISIONS TO PLANTING PLAN	5/12/15

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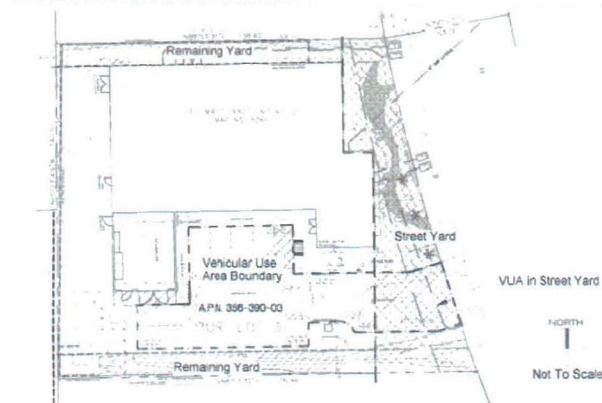
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LANDSCAPE CALCULATIONS



Landscape Calculations Worksheet

Industrial Development in RM and C Zones
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 3,715 sq. ft. x 25% = 928.75 sq. ft.	2,840 sq. ft.	1,711.25 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 3,715 sq. ft. x 0.05 = 185.75 points	200 points	14.25 points

REMAINING YARD

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 2,353 sq. ft. x 30% = 705.9 sq. ft.	2,051 sq. ft.	1,345.1 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 2,353 sq. ft. x 0.05 = 117.7 points	144 points	26.4 points

Landscape Calculations Worksheet

Vehicle Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch tree) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 6 ft. trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (VUA) (142.0405)

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Planting Points Required	Plant Points Provided	Excess Points Provided
Total VUA 5,168 sq. ft. x 0.05 = 258.4 points	302 points	43.6 points

Points achieved through trees (at least half) 140 points

STREET YARD	REMAINING YARD	VEHICULAR USE AREA
QTY SIZE POINTS	QTY SIZE POINTS	QTY SIZE POINTS
5 24" BOX 100	52 5 GAL 104	36 1 GAL 36
2 36" BOX 40	2 40" BOX 40	62 5 GAL 124
TOTAL POINTS 200	TOTAL POINTS 144	7 140
		TOTAL POINTS 302

Planting Notes

- TREE MATERIAL SPECIFIED MUST MEET SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED ON PLAN. IF THE CONTRACTOR CANNOT LOCATE MATERIAL OF ACCEPTABLE SIZE AT THE TIME OF INSTALLATION CONTACT LANDSCAPE ARCHITECT FOR SPECIES SUBSTITUTION. DOWNZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT OWNER WILL NOT BE ALLOWED. TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
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Planting Legend

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STABILIZED DECOMPOSED GRANITE			3,204 s.f.	NA	NA	BROWN-TAN COLOR	

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- FINISH GRADE OF PLANTERS, BEFORE MULCH IS APPLIED, SHALL LIE 1"-2" BELOW ADJACENT FINISH SURFACE IN ALL AREAS FOR WATER QUALITY MANAGEMENT.
- INSTALL ROOT BARRIERS FOR ANY TREE WITHIN 5'-0" OF HARDSCAPE OR MAJOR UTILITY- SEE DETAIL.
- ALL EXISTING PLANT MATERIAL SHALL BE REMOVED DURING DEMOLITION OF THE SITE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LANDSCAPE ARCHITECT SIGNATURE
DATE

5-1-15

DATE

A.P.N. 356-390-31

Line of Remaining Yard
(Area between setback line and northern property line- up to Street Yard)

Line of Street Yard
(Area between building and sidewalk)

FED-MART TRACT UNIT NO. 2
MAP NO. 5265

A.P.N. 356-390-03

POR. LOT 3

BOULDER BARRIER (2) TOTAL
24" - 36" SIZE

CONCRETE BARRIER (2) TOTAL
FINISH AND COLOR: TO MATCH ARCHITECTURE

SIZE: 24" WIDE, 72" LONG.

HEIGHT VARIES: MIN. 12" FROM FINISH GRADE AT TOP OF SLOPE. HEIGHT INCREASES AS SLOPE DESCENDS TOWARDS SIDEWALK.

A MINIMUM ROOT ZONE OF 40S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. PER SDMC 142.0403(b)(5) TYPICAL FOR ALL TREES ON PLAN

BOULDER BARRIER

CONCRETE BARRIER

EXISTING PALM TREES (3) AND PERIMETER FENCING TO BE REMOVED (TYP. REFER TO ARCHITECTS AND ENGINEERS PLANS)

Line of Street Yard
(Area between building and sidewalk)

Line of Remaining Yard
(Area between setback line and southern property line- up to Street Yard)

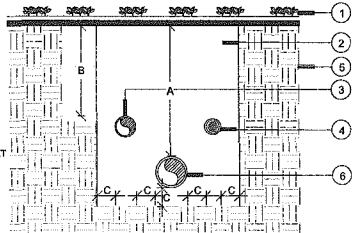
PLANTING PLAN

0 5 10 20
SCALE: 1" = 10'-0"

NORTH

MINIMUM PIPE COVERAGE SHALL BE AS FOLLOWS:

- A. PRESSURE LINES:
• LESS THAN 3" INNER DIAMETER - 18" COVER
• 3" INNER DIAMETER - 24" COVER
• 4" INNER DIAMETER - 30" COVER
B. LATERAL LINES:
• LESS THAN 3" INNER DIAMETER - 12" COVER
• 3" INNER DIAMETER - 18" COVER
C. ALL PIPE UNDER PAVING AND ROADS SHALL BE SLEEVED AT REQUIRED DEPTHS



LEGEND

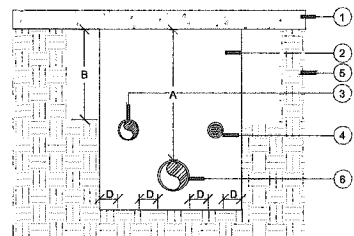
1. FINISH GRADE
2. CLEAN COMPACTED BACKFILL
3. LATERAL LINES
4. CONTROL WIRES
5. UNDISTURBED SOIL
6. PRESSURE MAINLINE

Pipe Installation

n.t.s.

MINIMUM PIPE COVERAGE SHALL BE AS FOLLOWS:

- A. SLEEVES UNDER ROADS:
• 6" OR LESS IN DIAMETER - 36" COVER
• GREATER THAN 6" IN DIAMETER - 48" COVER
• SCHEDULE 40 PVC
B. SLEEVES UNDER PAVING (NON-ROADS):
• LESS THAN 3" INNER DIAMETER - 30" COVER
• 3" INNER DIAMETER - 36" COVER
• SCHEDULE 40 PVC



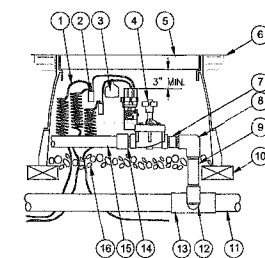
LEGEND

1. ROADWAY PAVING OR PEDESTRIAN PAVING
2. SAND BACKFILL COMPACTED TO THE DENSITY OF EXISTING SOIL
3. LATERAL LINES IN SCH 40 SLEEVE
4. CONTROL WIRES IN SCH 40 SLEEVE
5. UNDISTURBED SOIL
6. PRESSURE MAINLINE IN SCH 40 SLEEVE

- NOTES:
1) PVC SLEEVES TO BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED
2) DETAIL ALSO FOR PIPE INSTALLED IN ROCK SOIL
3) METALLIC BACKED LOCATING TAPE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF THE SLEEVE, 12 INCHES DIRECTLY ABOVE THE SLEEVE. TAPE SHALL BE MARKED "IRRIGATION" IN TWO INCH CAPITAL LETTERS EVERY THREE FEET ALONG THE TAPE

Sleeving Detail

n.t.s.

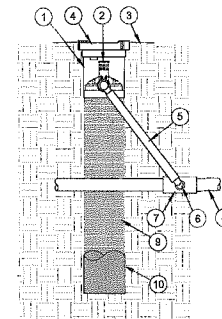


LEGEND

1. 30' LINEAR LENGTH OF WIRE, COILED
2. WATERPROOF CONNECTION
3. ID TAG
4. REMOTE CONTROL VALVE
5. GREEN VALVE BOX W/ LOCKING LID, HEAT BRANDED W/ 'RCV'
6. TOP OF MULCH - FINISH GRADE SHALL BE 2" BELOW TOP OF LID
7. PVC SCH 80 NIPPLE (CLOSE)
8. PVC SCH 40 ELL
9. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
10. BRICK (1 OF 4)
11. PVC MAINLINE PIPE
12. SCH 80 NIPPLE (2" LENGTH, HIDDEN) AND SCH 40 ELL
13. PVC SCH 40 TEE OR ELL
14. PVC SCH 40 MALE ADAPTER
15. PVC LATERAL PIPE (N.T.S.)
16. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

Remote Control Valve

n.t.s.



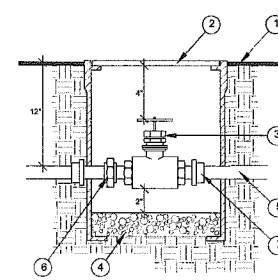
LEGEND

1. ROOT WATERING SYSTEM
2. SUBMER Emitter
3. FINISH GRADE
4. 4" LOCKING GRATE (INCLUDED)
5. 12" SWING ASSEMBLY (INCLUDED)
6. 1/2" MALE NPT INLET (INCLUDED)
7. PVC SCH 40 TEE OR ELL
8. PVC OR POLYETHYLENE LATERAL PIPE
9. 4" WIDE X 30" LONG RIGID BASKET WEAVE CANISTER (INCLUDED)
10. OPTIONAL: ROCK (RWS-SOCK) FOR SANDY SOILS

- NOTES:
1. 4" (10.2 CM) GRATE IS ALSO AVAILABLE IN PURPLE (RWS-GRATE-P)
2. INSTALL PRODUCT SO THAT THE GRATE IS EVEN WITH FINISH GRADE OR TOP OF MULCH.
3. OPTIONAL: SAND SOCK (RWS-SOCK) IS 34" (86.4 CM) IN LENGTH TO COVER MESH BASKET AREA.
4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
5. ONCE RWS HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

Root Zone Watering System

n.t.s.



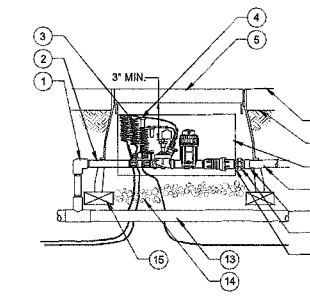
LEGEND

1. FINISH GRADE
2. GREEN PLASTIC VALVE BOX W/ LOCKING LID, HEAT BRANDED W/ LABEL 'GV'
3. GATE VALVE
4. ONE CUBIC FT. OF 3/4" CRUSHED ROCK
5. PVC MAINLINE
6. BRASS UNION
7. PVC MALE ADAPTER (2 REQUIRED)

- NOTE:
INSTALL VALVE BOX SUCH THAT THE TOP OF THE COVER IS 2" ABOVE FINISH GRADE IN GROUND COVER AREAS AND FLUSH WITH CONCRETE AND TURF AREAS
ALL GATE VALVES OVER 2" IN SIZE SHALL BE BOX HANDLE GATE VALVES

Gate Valve

n.t.s.

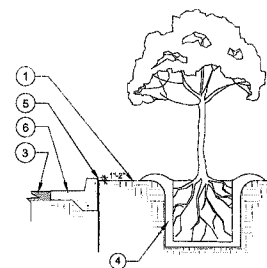


LEGEND

1. PVC SCH 40 ELL
2. PVC SCH 80 NIPPLE
3. 30' LINEAR LENGTH OF WIRE, COILED
4. WATER PROOF CONNECTION - RAINBIRD SPLICE
5. GREEN VALVE BOX W/ COVER - W/ LOCKING LID - HEAT BRANDED 'RCV'
6. TOP OF MULCH
7. FINISH GRADE
8. CONTROL ZONE KIT
9. PVC LATERAL
10. PVC SCH 80 MALE ADAPTER
11. PVC SCH 80 UNION FOR SERVING ASSEMBLY
12. PVC SCH 80 NIPPLE - CLOSE
13. PVC MAINLINE
14. BRICK (1 OF 4)
15. PVC SCH 40 TEE OR ELL

Control Zone Kit

n.t.s.

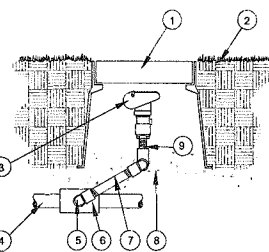


LEGEND

1. FINISH GRADE - 1" - 2" BELOW ADJACENT HURDSCAPE
2. CONCRETE CURB
3. ROADWAY PAVING
4. BACKFILL
5. DEEP ROOT CONTROL BARRIER, 20 L.F. CENTERED ON TRUNK - DO NOT WRAP TRUNK
6. ADJACENT CONCRETE SURFACE
7. ADJACENT UTILITIES

Rootbarrier Detail

n.t.s.

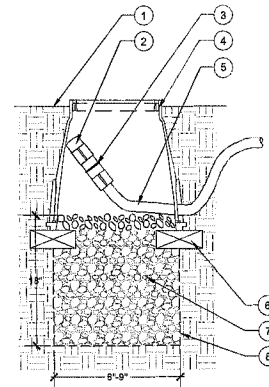


LEGEND

1. GREEN 10" ROUND VALVE BOX WITH LOCKING BOLT LID AND HEAT BRANDED LABEL 'CC'
2. FINISH GRADE
3. QUICK COUPLER VALVE
4. PRESSURE SUPPLY LINE
5. PVC STREET ELL (2 REQUIRED) SCH 80
6. PVC TEE
7. PVC SCH 80 NIPPLE
8. 3 CU. FT. CRUSHED ROCK SUMP
9. THREADED NIPPLE SCH 80

Quick Coupler Valve

n.t.s.



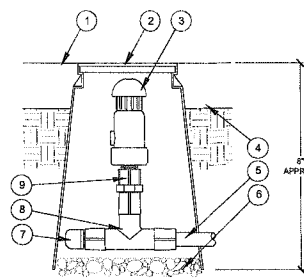
LEGEND

1. FINISH GRADE
2. FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS - RAIN BIRD MDCFCAP
3. EASY FIT COUPLING: RAIN BIRD MDCFCAP
4. GREEN SUBTERRANEAN Emitter BOX: RAIN BIRD SEB 7XB
5. SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE - NON-POTABLE: XTSP DRIPLINE
6. BRICK (TWO TOTAL)
7. CLEAN GRAVEL FILTER MATERIAL - VARYING SIZE FROM 3/4" TO 2 1/2"
8. FILTER FABRIC

- NOTE:
1. ALLOW A MINIMUM OF 4-6 INCHES OF DRIPLINE TUBING IN VALVE BOX. FLUSHED DISCHARGE SHALL BE CONTAINED IN VALVE BOX.

Flush Valve

n.t.s.



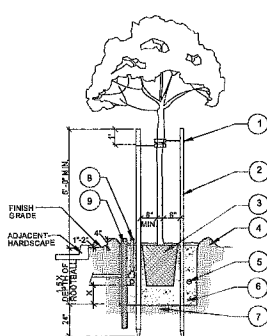
LEGEND

1. TOP OF MULCH
2. GREEN 6-INCH ROUND VALVE BOX
3. AIR RELIEF VALVE - RAINBIRD ARV050
4. FINISH GRADE
5. PVC PIPE
6. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
7. END CAP - RAINBIRD MDCFCAP
8. TEE - RAINBIRD MDCFTEE
9. ADAPTER - RAINBIRD MDCFT8FPT

- NOTE:
1. LOCATE AIR RELIEF VALVE AT HIGHEST POINT OF THE DRIP ZONE.
2. INSTALL (1) AIR RELIEF VALVE PER DRIP ZONE

Air Relief Valve

n.t.s.



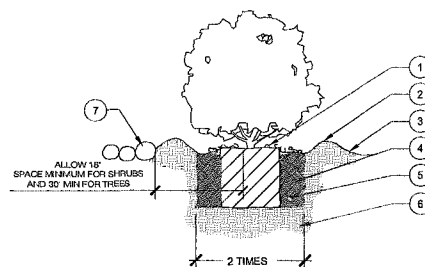
LEGEND

1. "SUPER Z-LOC" or "Z-LOC" TREE TIE SECURE TO STAKE PER MANUFACTURER'S RECOMMENDATION - SEE BELOW BRANCHING YOKES OF TREE
2. LODGEPOLE PINE STAKES: 1 STAKE FOR 5 GALLON 2 STAKES FOR 15 GALLON / 24" BOX
3. SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLING. INSTALL 2" MINIMUM WOOD CHIP MULCH. DO NOT COVER WITH DECOMPOSED GRANITE
4. WATER BASIN / REMOVE ONCE PLANT IS ESTABLISHED PER LANDSCAPE ARCH DIRECTION
5. GPO POWER FERTILIZER TABLETS. APPLICATION RATES PER TABLE. REFER TO PLANTING NOTES
6. BACKFILL MIX PER NOTES
7. NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. GROUND SURFACE TO ENSURE PROPER DRAINAGE FOR HEALTHY GROWTH OF PLANT
8. IRRIGATION BURBLER - INSTALL PER IRRIGATION PLAN
9. 1.5" PERFORATED PIPE - EXTEND 12" BELOW BASE OF ROOT BALL

- NOTE:
1. USE ROOT BARRIERS WHENEVER TREES ARE PLANTED WITHIN 5 FT. OF ANY STRUCTURE, CONCRETE FLATWORK, CURB & GUTTER, UTILITIES, ETC.
2. INSTALL ROOT GUARD BARRIERS PER MANUFACTURER'S RECOMMENDATION

Tree Planting Detail

n.t.s.

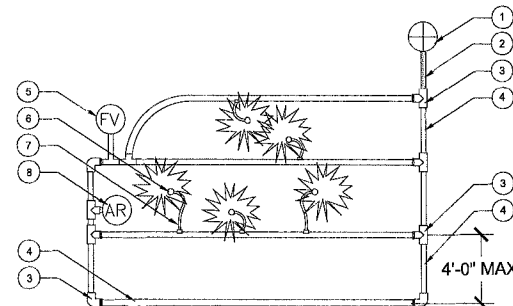


LEGEND

1. ROOTBALL
2. WATER BASIN
3. FINISH GRADE
4. BACKFILL MIX
5. PLANT TAB
6. UNDISTURBED SOIL
7. ADJACENT COBBLE

Shrub Planting

n.t.s.

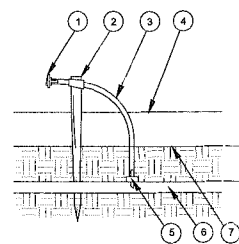


LEGEND

1. REMOTE CONTROL VALVE
2. PVC SCH 40
3. MDCF FITTING & ADAPTER
4. XT-700 DISTRIBUTION TUBING
5. FLUSH VALVE
6. DIFFUSER CAP ON TUBING STAKE
7. 1/4" X 90 DISTRIBUTION TUBING AND XERI-BUG Emitter

Drip Tubing Layout

n.t.s.



LEGEND

1. DIFFUSER BUG CAP
2. 1/4" TUBING STAKE
3. 1/4" DISTRIBUTION TUBING
4. TOP OF MULCH
5. XERI-BUG Emitter
6. XT-700 DISTRIBUTION TUBING - BURIED
7. FINISH GRADE

Drip Emitter Assembly

n.t.s.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
LANDSCAPE ARCHITECT SIGNATURE DATE



PROPOSED CABLE HUB FACILITY FOR:

TIME WARNER CABLE
THE POWER OF YOU

CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111

REVISIONS		
LAND USE PACKAGE	5/12/15	
DESIGN DEVELOPMENT PKG.	5/29/15	
DESIGN DEVELOPMENT PKG.	6/8/15	
90% CD	7/7/15	
100% CD	7/27/15	
100% CD SUBMITTAL & BID SET	8/12/15	
UPDATED BID SET	8/17/15	
MECHANICAL EQUIPMENT REVISIONS	9/18/15	
CYCLE 2 REVISIONS	10/7/15	
CLIENT REVISIONS	11/2/15	

Job No. 1580C	Date 05/01/2015
Drawn By SS	Checked By SS

Sheet Number
Planting & Irrigation
Details
L-3.0

derra
 425 E. Rincon Street, Suite 204
 Corona, CA 92679
 Ph: 951.266.1650 Fax: 951.266.1651

PROPOSED CABLE HUB FACILITY FOR:

TIME WARNER CABLE
 THE POWER OF YOU

CONVOY HUB FACILITY
 4020 CONVOY STREET
 SAN DIEGO, CA 92111

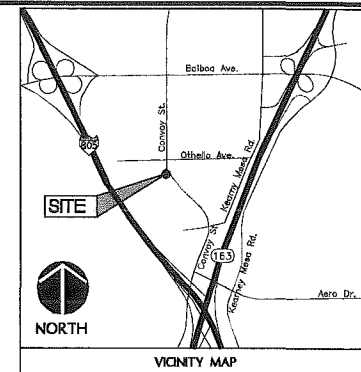
Revisions

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Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
 Existing/Demo Site Plan

A-0



KEYNOTE LEGEND

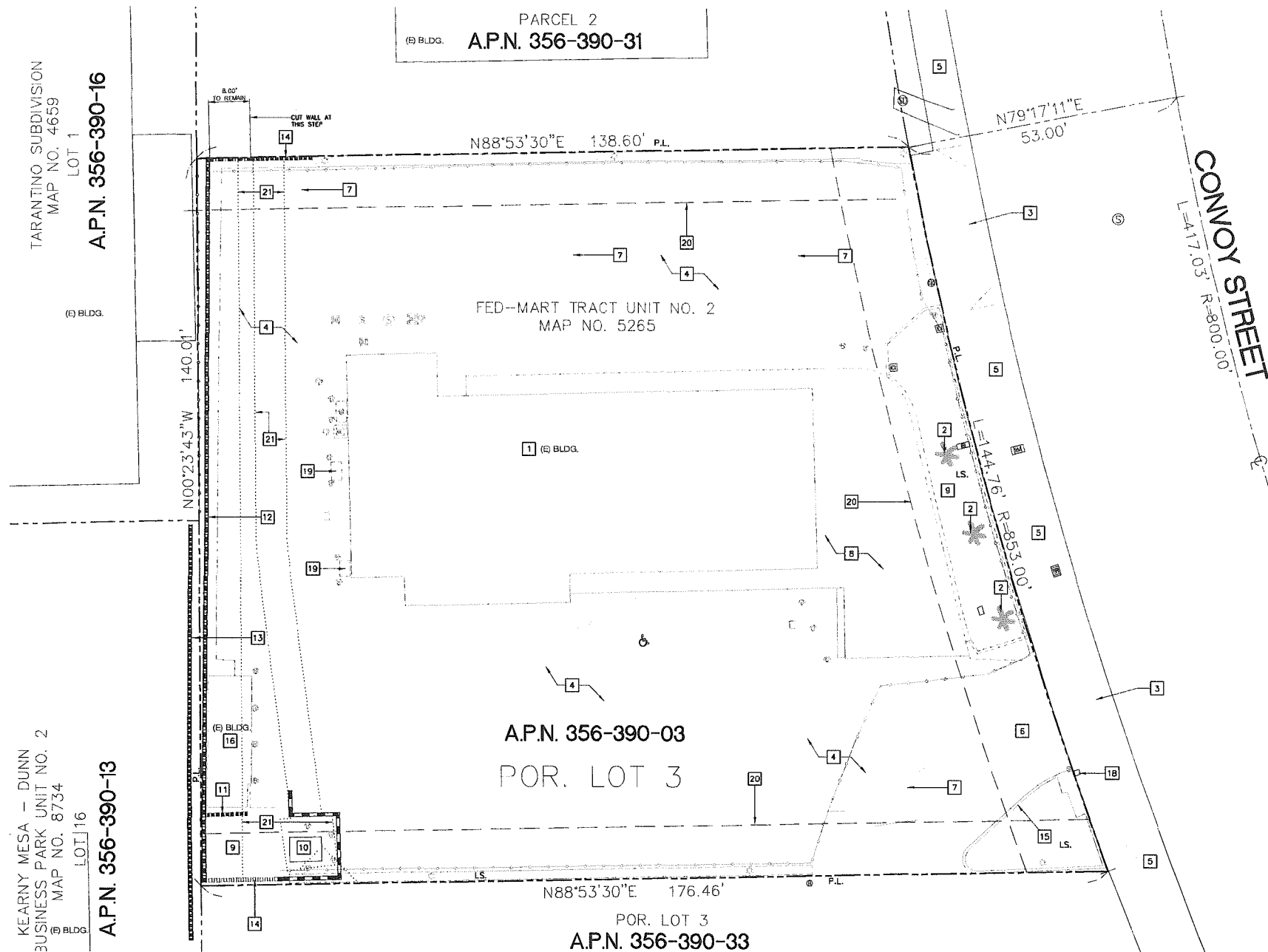
- 1 EXISTING RESTAURANT BUILDING TO BE COMPLETELY REMOVED (YEAR BUILT - 1969)
- 2 EXISTING TREE TO BE REMOVED
- 3 EXISTING DRIVEWAY TO BE REMOVED - SEE SITE PLAN AT SHEET A-1.0 FOR PROPOSED IMPROVEMENT
- 4 EXISTING ASPHALTIC CONCRETE DRIVE/PARKING AREA TO BE COMPLETELY REMOVED
- 5 EXISTING PUBLIC SIDEWALK IN THE RIGHT OF WAY TO REMAIN - PROTECT IN PLACE
- 6 EXISTING DRIVEWAY CUT-IN TO REMAIN
- 7 EXISTING TOPO LINE - GRADING TO BE MODIFIED - SEE GRADING PLAN
- 8 EXISTING CONC. FLATWORK TO BE COMPLETELY REMOVED
- 9 EXISTING CONC. TO BE REMOVED
- 10 (E) TRANSFORMER BY SDG&E
- 11 CMU WALL TO BE REMOVED
- 12 (E) RETAINING WALL TO REMAIN
- 13 EXISTING RETAINING WALL AT NEIGHBORING LOT (NOT A PART)
- 14 EXISTING FENCE WALL TO REMAIN
- 15 EXISTING CONC. PLANTER CURB TO BE REMOVED
- 16 EXISTING BUILDING TO BE REMOVED
- 17 RESERVED
- 18 EXISTING TELEPHONE RISER - PROTECT IN PLACE
- 19 EXISTING EQUIPMENT TO BE REMOVED
- 20 REQUIRED BUILDING SETBACK LINE
- 21 SDG&E RECORDED EASEMENT
- 22 SDG&E RECORDED EASEMENT

ABBREVIATIONS

LS. LANDSCAPE AREA
 P.L. PROPERTY LINE

SYMBOL LEGEND

- EXISTING DOMESTIC WATER METER
- EXISTING TREE TO BE REMOVED
- GAS METER TO BE REMOVED
- EXISTING STORM DRAIN MANHOLE
- UTILITY VAULT TO BE REMOVED - FILL VOID PER SOIL REPORT
- EXISTING CLEANOUT TO BE REMOVED
- EXISTING BOLLARD TO REMAIN
- EXISTING BOLLARD TO BE REMOVED
- EXISTING SEWER ACCESS TO BE REMOVED
- EXISTING SEWER ACCESS TO REMAIN
- EXISTING LIGHT STANDARD TO BE REMOVED
- EXISTING CHAIN LINK FENCE TO BE REMOVED
- EXISTING CONC. BLOCK FENCE WALL TO REMAIN
- EXISTING CONC. BLOCK RETAINING WALL TO REMAIN
- CONCRETE FLATWORK

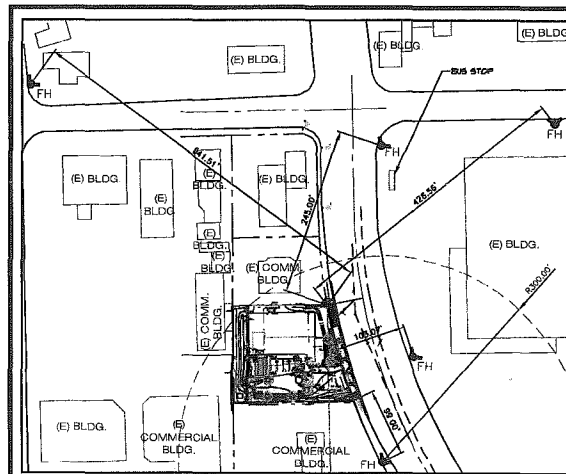


Existing/Demo Site Plan



TARANTINO SUBDIVISION
 MAP NO. 4659
 LOT 1
 A.P.N. 356-390-16

KEARNY MESA - DUNN
 BUSINESS PARK UNIT NO. 2
 MAP NO. 8734
 LOT 16
 A.P.N. 356-390-13



Hydrant Plan

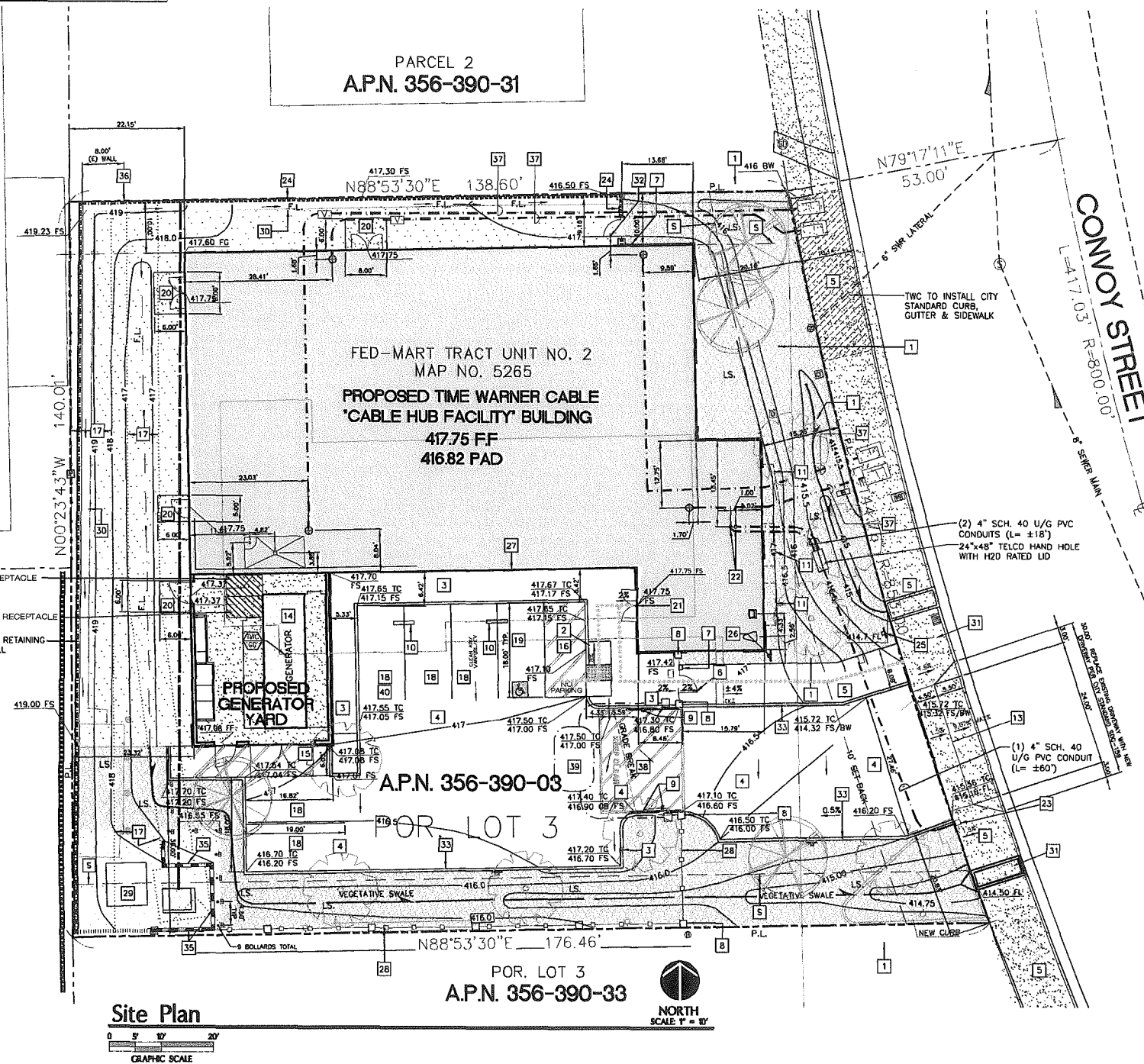
0 50' 100' 200'
GRAPHIC SCALE



TARANTINO SUBDIVISION
MAP NO. 4659
LOT 1
APN. 356-390-16

DESIGNATED 4x6 AREA FOR WASTE RECEPTACLE
DESIGNATED 4x6 AREA FOR RECYCLING RECEPTACLE
(E) RETAINING WALL

KEARNY MESA - DUNN
BUSINESS PARK UNIT NO. 2
MAP NO. 8734
LOT 16
APN. 356-390-13



Site Plan

0 5' 10' 20'
GRAPHIC SCALE

POR. LOT 3
A.P.N. 356-390-33



0 5' 10' 20'
GRAPHIC SCALE

PROJECT STATISTICS:

SITE STATISTICS:

TOTAL BUILDING COVERAGE PER SDMC 113.0234:	6,698 SQ. FT.	30.80%
TOTAL GENERATOR YARD	871 SQ. FT.	4.02%
PAVED AREAS:	5,973 SQ. FT.	27.48%
GRAVEL AREAS:	2,784 SQ. FT.	12.62%
LANDSCAPED AREA:	5,452 SQ. FT.	25.08%
GROSS SITE:	21,758 SQ. FT.	100%

SITE SETBACKS:

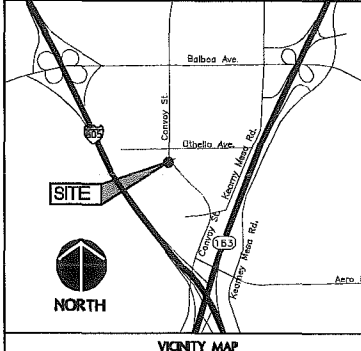
	REQUIRED	PROPOSED
FRONT	15'	15'-3" (EAST)
SIDE	10'	10'-0" (NORTH)
REAR	-	22'-1" (WEST)

PARKING

PARKING PROVIDED (AS DETERMINED BY CUP)	STANDARD STALLS = 5
TOTAL PARKING STALLS PROVIDED:	VAN ACCESSIBLE STALLS = 1

CONSTRUCTION DATA:

JURISDICTION:	CITY OF SAN DIEGO
CURRENT ZONING:	L-3-1
TYPE OF CONSTRUCTION:	B-8
OCCUPANCY (NEW BUILDING):	8/5-1
POWER COMPANY:	SDG&E
BUILDING HEIGHT:	29'-0"



GENERAL REQUIREMENTS

AUTOMATIC LANDSCAPE IRRIGATORS SHALL BE INSTALLED IN SUCH A WAY THAT IT DOESN'T SPRAY ON THE BUILDING.

CONSTRUCTION WASTE SHALL BE REDUCED BY 50%. WASTE TO BE HANDLED BY A HAULER CERTIFIED BY THE CITY OF SANTA ANA. WASTE MANAGEMENT SHALL MEET ALL SANTA ANA WASTE MANAGEMENT ORDINANCES.

100% OF ALL TREES, STUMPS, ROCKS & ASSOCIATED VEGETATION & SOILS SHALL BE REUSED OR RECYCLED. FOR ADDITIONAL REQUIREMENTS, SEE SHEET T-2

KEYNOTE LEGEND

- NEW ITEM
REQUIRED SETBACK LINE
- NEW TREE - SEE LANDSCAPE DRAWINGS
 - CURB RAMP
 - CONCRETE FLATWORK
 - ASPHALTIC CONCRETE DRIVE/PARKING AREA
 - CONCRETE PEDESTRIAN SIDEWALK
 - NEW 36" WIDE SWINGING WROUGHT-IRON GATE. GATE SHALL REMAIN UNLOCKED FROM THE INSIDE (PROVIDE PANIC HARDWARE FOR ONE-WAY EXIT TRAVEL). PROVIDE KEYS ENTRY FROM THE PUBLIC SIDE.
 - KNOX BOX INSTALLED ON GATE OR WALL FOR EMERGENCY SERVICES ACCESS - MOUNT 5' ABV. ADJ. GRADE.
 - CMU PILASTER
 - ELECTRICALLY OPERATED PAIR OF 10' NEW WROUGHT-IRON SWINGING GATES. PROVIDE KNOX OVERRIDE KEY SWITCH WITH DUST COVER MTD. AT 48" ABV. FIN. GRD. FOR EMERGENCY SERVICES ACCESS. SWITCH TO BE READILY VISIBLE & LABELED WITH 1/2" HIGH RED LETTERS READING "FIRE DEPT."
 - UPON ACTIVATION OF THE KEY SWITCH, THE GATE SHALL OPEN & REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH.
 - CONCRETE WHEEL STOP
 - BUILDING MOUNTED METAL CANOPY
 - REPLACE DRIVEWAY CURB WITH CONTINUOUS CONCRETE SIDEWALK IN LINE WITH EXISTING PEDESTRIAN SIDEWALK
 - REMOVE & REPLACE (E) DRIVEWAY CURB CUT WITH NEW CITY STANDARD DRIVEWAY AND CURB CUT 1000KW STAND-BY BACKUP GENERATOR WITHIN SOUND ATTENUATING CMU ENCLOSURE. OVER SUB BASE FUEL TANK OVER THICKENED CONCRETE PAD
 - PAVEMENT STRIPED LOADING AREA
 - PAVEMENT STRIPED ACCESSIBLE PATH
 - EXISTING EASEMENT - SEE SURVEY
 - 9'-0" x 18'-0" STANDARD PARKING STALL
 - 9'-0" x 18'-0" VAN ACCESSIBLE PARKING STALL
 - CONCRETE LANDING (STOOP) AT DOOR
 - PRIMARY BUILDING ENTRY
 - TELOO RISER (2 TOTAL)
 - (E) AT&T TELCO PEDESTAL (TWO P.O.C.) - STUB UP (1) 4" SCH. 40 PVC CONDUIT INSIDE (E) PEDESTAL NEW 6'-0" HIGH CMU SITE WALL - SEE STRUCTURAL
 - DIRECTIONAL SIGNAGE POINTING TO PUBLIC TRANSIT
 - ACCESSIBLE ENTRANCE SIGNAGE
 - ACCESSIBLE PARKING SIGNAGE ON BUILDING FACE
 - NEW 6'-0" HIGH WROUGHT-IRON SITE FENCE
 - NEW ELECTRICAL TRANSFORMER
 - NEW GUTTER
 - NEW PARKWAY CULVERT
 - 36" WIDE WROUGHT-IRON ACCESSIBLE FIRE ACCESS GATE
 - RED PAINTED CURB
 - FIRE LANE SIGNAGE
 - NEW RETAINING WALL PER CIVIL
 - CONSTRUCTION JOINT AT NEW TO EXISTING WALL
 - (4) 4" SCHEDULE 40 UNDERGROUND CONDUITS
 - STRIPED PAVED AREA AND PROVIDE 12" HIGH WHITE LETTERING STATING "KEEP CLEAR"
 - EMBED PROTECTION LOOP IN PAVEMENT FOR REQUEST TO EXIT
 - PARKING SPACE DESIGNATED FOR CLEAN LOW EMITTING, FUEL EFFICIENT VEHICLE - PROVIDE 6" HIGH LETTERING IN GREEN STATING "CLEAN AIR/VANPOOLEV"

ABBREVIATIONS

L.S.	LANDSCAPE AREA (REFER TO LANDSCAPE PKG.)
P.L.	PROPERTY LINE
F.L.	FLOW LINE

SYMBOL LEGEND

- EXISTING FIRE HYDRANT
DOMESTIC WATER METER
WATER VALVE
SEWER MANHOLE
STREET SIGN
IRRIGATION CONTROL VALVE
TRAFFIC SIGNAL PULL BOX
ENTRY KIOSK - GATE CONTROLLER TO HAVE KNOX SWITCH FOR EMERGENCY SERVICES ACCESS
NEW TRAFFIC BOLLARD
YARD LIGHT
EXISTING CONC. BLOCK FENCE WALL
EXISTING CONC. BLOCK RETAINING WALL
6" HIGH WROUGHT IRON FENCE ON 6" WIDE CONC. CURB
GRAVEL AREA - SEE LANDSCAPE PLANS FOR MORE INFORMATION
LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR MORE INFORMATION
NEW CONCRETE FLATWORK
REQUIRED ACCESSIBLE PATH OF TRAVEL MINIMUM 48" CLEAR IN WIDTH (32" MIN. AT DOORWAYS AND GATES)
NEW FIBER VAULT
NEW FIBER VAULT WITH H2O TRAFFIC RATED LID
FIBER ENTRY POINT INTO BUILDING

derra
495 E. Bincon Street, Suite 204
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PROPOSED CABLE HUB FACILITY FOR:

TIME WARNER CABLE
THE POWER OF YOU



CONVOY HUB FACILITY

4020 CONVOY STREET,
SAN DIEGO, CA 92111

Revisions

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100% CD	7/27/15
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CLIENT REVISIONS	11/2/15

Job No.
1580C
Date
05/01/2015
Drawn By
ADJ
Checked By
WGA

Sheet Title
Site Plan

A-1.0

PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
THE POWER OF YOU

CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111

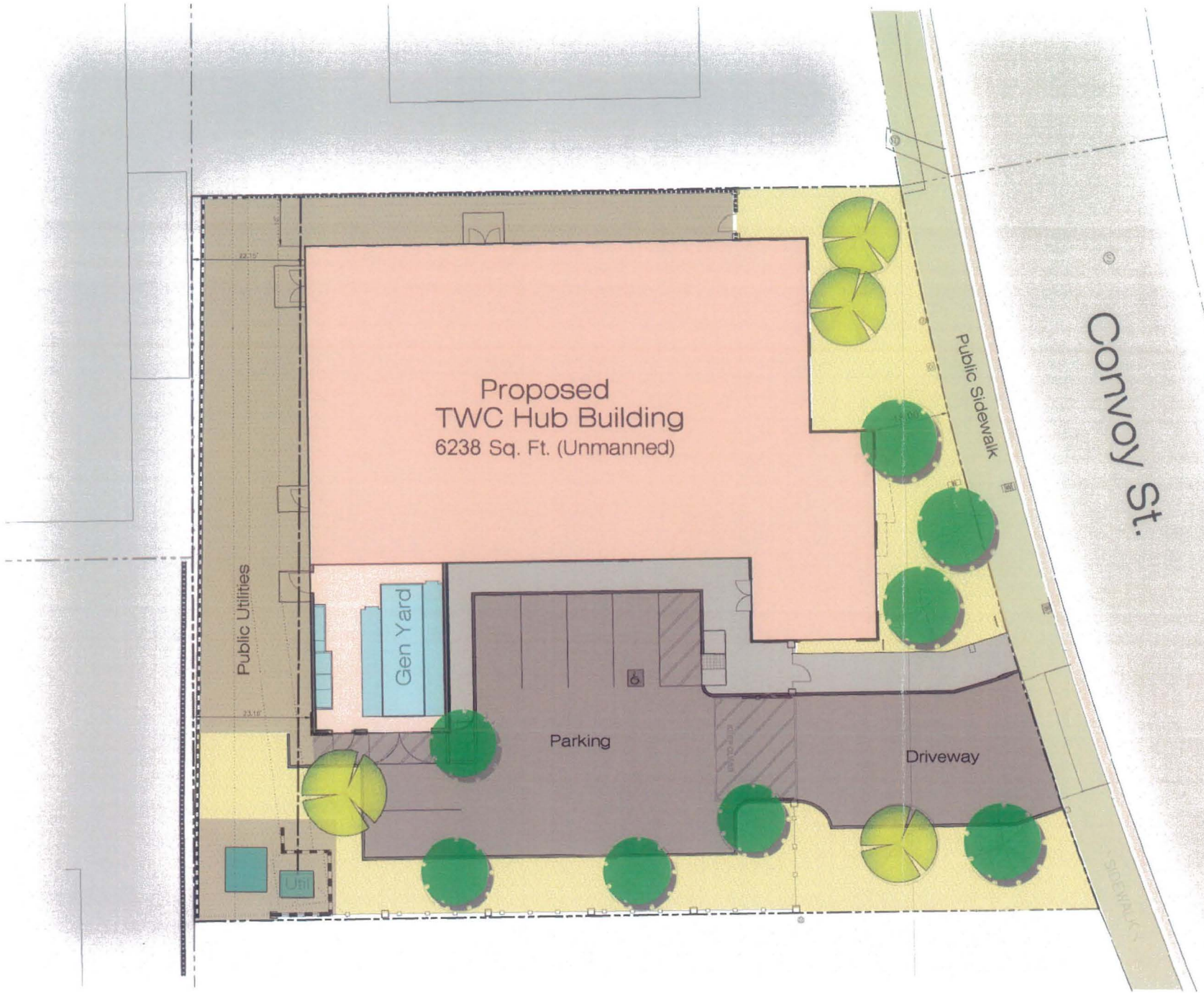
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Δ MECHANICAL EQUIPMENT REVISIONS	9/18/15
Δ CYCLE 2 REVISIONS	10/7/15

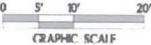
Job No. 1580C	Date 05/01/2015
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Sheet Title
Site Plan

A-1.0



Site Plan



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PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
THE POWER OF YOU

CONVOY HUB FACILITY
4020 CONVOY STREET
SAN DIEGO, CA 92111

Revisions

LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/29/15
DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
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CLIENT REVISIONS	11/2/15

Job No. 1580C Date 05/01/2015
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Sheet Title
Site Accessibility

A-1.1

KEY NOTES

- 1 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE ENTRANCE MTD. AT 60" A.F.F.
- 2 REQUIRED CLEAR LEVEL LANDING SPACE. LANDING SPACE - 2% MAX. SLOPE/CROSS SLOPE
- 3 4" TRAFFIC BLUE STRIPPING (36" CENTER TO CENTER OF STRIPE)
- 4 H20 TRAFFIC RATED LIDS AT VAULTS AND CULVERTS SHALL BE PEDESTRIAN RATED AND FLUSH TO ADJACENT PAVEMENT
- 5 PROVIDE SIGNAGE INDICATING DIRECTION TO ACCESSIBLE FACILITY
- 6 PROVIDE A TACTILE EXIT SIGN AT 40" A.F.F. - SEE ACCESSIBLE SIGNAGE NOTES ON THIS PAGE FOR REQUIREMENTS.
- 7 PROVIDE SIGNAGE INDICATING DIRECTION TO PUBLIC TRANSPORTATION
- 8 3x6" SWINGING WROUGHT-IRON GATE. PROVIDE LEVER TYPE HARDWARE. GATE TO BE SELF LOCKING AT EXTERIOR - GATE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. OPENING THE GATE SHALL NOT REQUIRE GRASPING, OR TWISTING OF THE WRIST. FORCE NEEDED TO OPERATE GATE SHALL NOT EXCEED 5#. SURFACE OF LANDING ON THE PUSH SIDE OF THE GATE, WITHIN 10' OF THE GATE SHALL HAVE A SMOOTH SURFACE
- 9 -RESERVED-
- 10 SLOPE AND CROSS SLOPE SHALL NOT EXCEED 2% MAXIMUM AT ACCESSIBLE SPACE OR LOADING AREA
- 11 PROVIDE TRUNCATED DOMES TO 36" IN THE DIRECTION OF TRAVEL AT THE BASE OF THE RAMP

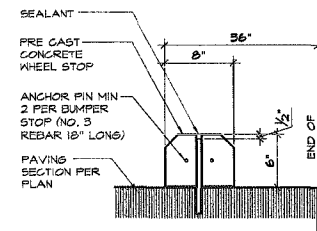
SYMBOLS

ACCESSIBLE PATH OF TRAVEL WITH LESS THAN 5% SLOPE AND MAX. 2% CROSS SLOPE TYPICAL. WALK SURFACE SHALL BE AT LEAST AS SLIP-RESISTANT AS A MEDIUM SALTED FINISH. GROUND/FLOOR SURFACE ALONG ROUTE & ROOM IT SERVES SHALL BE STABLE, FIRM & SLIP RESISTANT. THERE SHALL BE NO GRATINGS OR ABRUPT CHANGES IN EXCEEDING 1/2"

NOTES

1. PER CBC 2010 SEC. 1103B - An accessible route of travel complying with section 1114b.1.2 shall connect all elements and spaces within a building or facility.

Exception 1:
Floors or portions of floors not customarily occupied, and frequented only by service personnel for repair or maintenance purposes.



WHEEL STOP

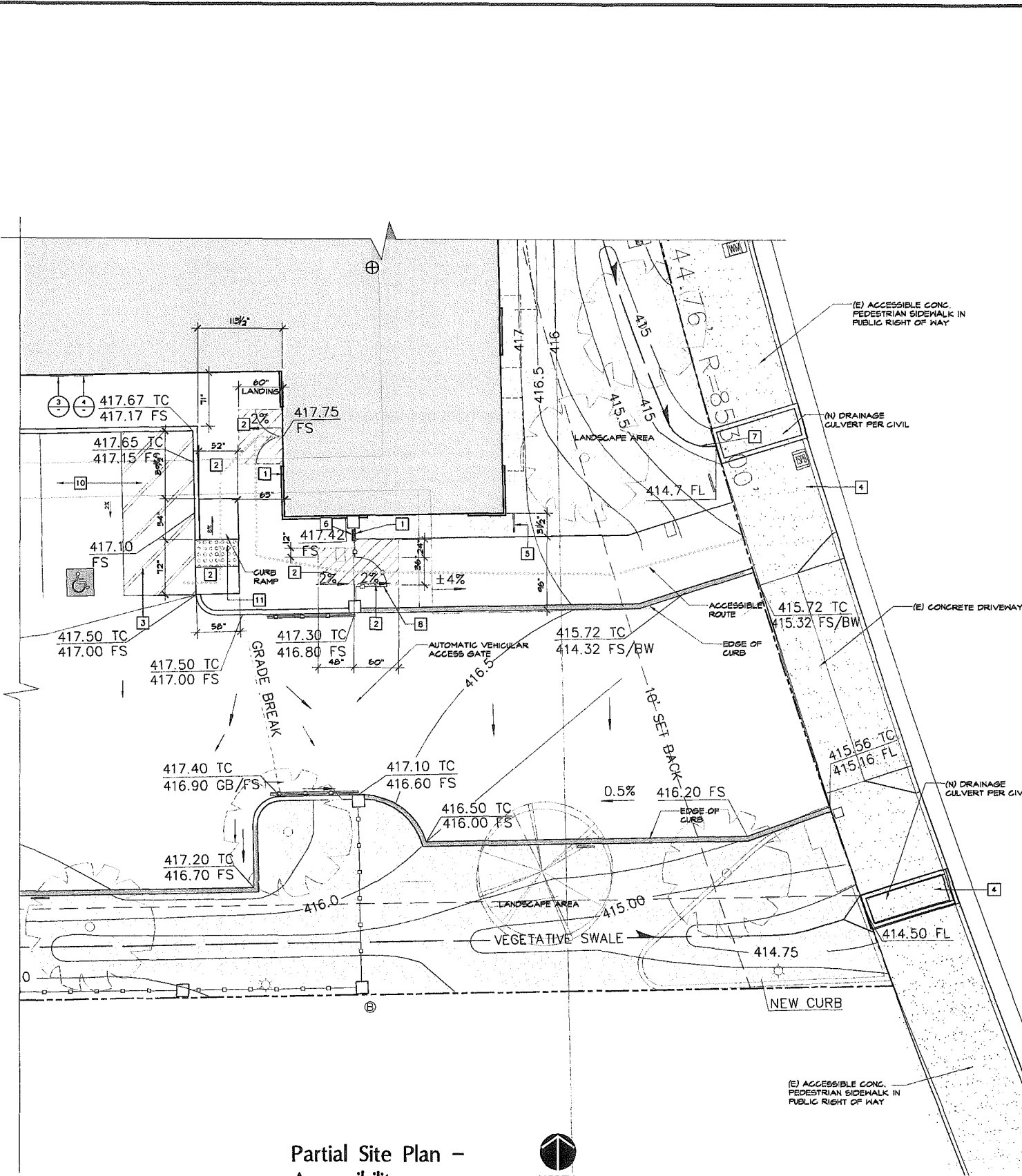
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RESERVED

SCALE: -

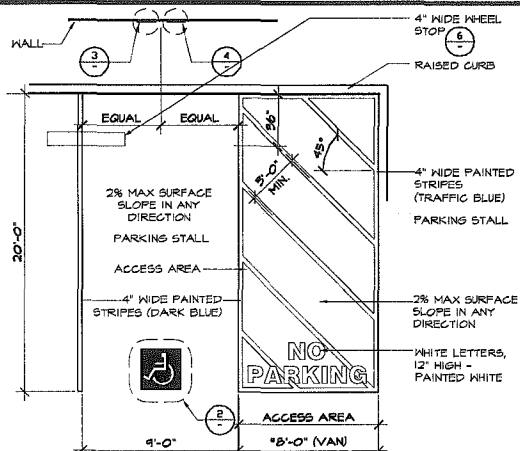
RESERVED

SCALE: 1-1/2" = 1'-0"



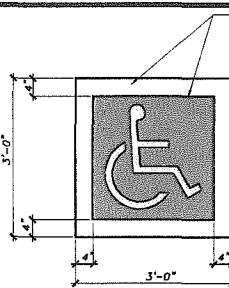
Partial Site Plan - Accessibility

GRAPHIC SCALE
0 4' 8' 16'
NORTH
SCALE 3/8" = 1'-0"
FOR FACILITY ACCESSIBILITY - SEE SHEET A-3.0



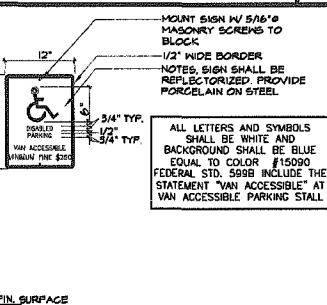
VAN ACCESSIBLE PARKING STALL

SCALE: 1/4" = 1'-0"



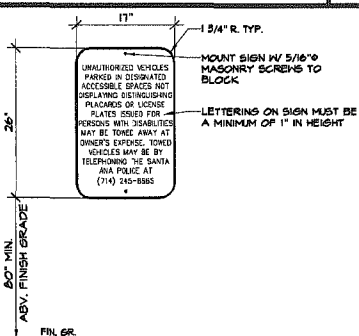
INT'L. SYMBOL OF ACCESSIBILITY

SCALE: 3/4" = 1'-0"



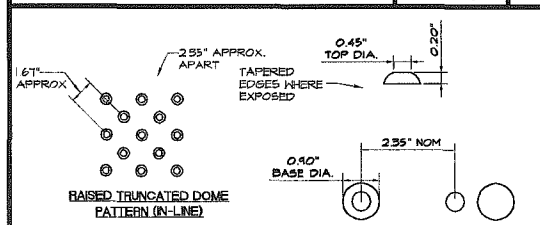
VAN ACCESSIBLE PARKING SIGNAGE

SCALE: 1" = 1'-0"



PARKING SIGNAGE

SCALE: 1" = 1'-0"



NOTES:
ONLY APPROVED DIVISION OF STATE ARCHITECT ACCESS COMPLIANCE (DSA/AC) APPROVED DETECTABLE WARNING PRODUCTS & DIRECTIONAL SURFACES SHALL BE INSTALLED IN ACCORDANCE WITH CBC SECTION 1133B.6.5.
THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES (LIGHT-ON-DARK OR DARK-ON-LIGHT). THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. WIDTH OF DETECTABLE WARNING TO BE 36"

DETECTABLE WARNING

SCALE: 3" = 1'-0"

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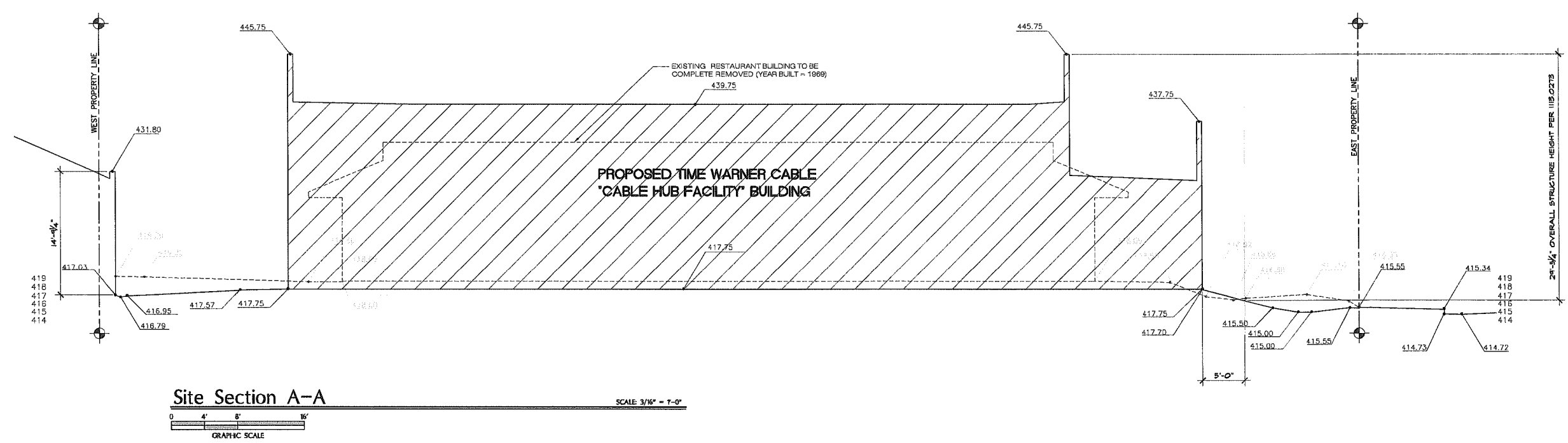
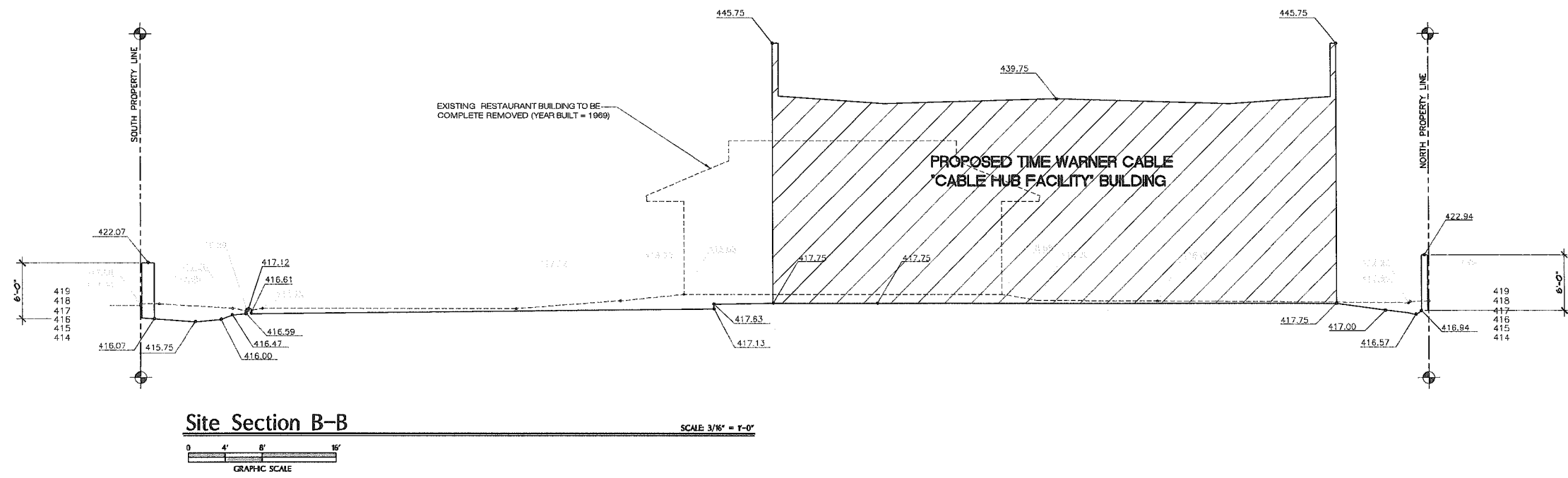
Revisions

△	LAND USE PACKAGE	5/12/15
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△	DESIGN DEVELOPMENT PKG.	6/8/15
△	90% CD	7/7/15
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△	100% CD SUBMITTAL & BID SET	8/12/15
△	UPDATED BID SET	8/17/15
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△	CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
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Sheet Title
Site Sections

A-1.2



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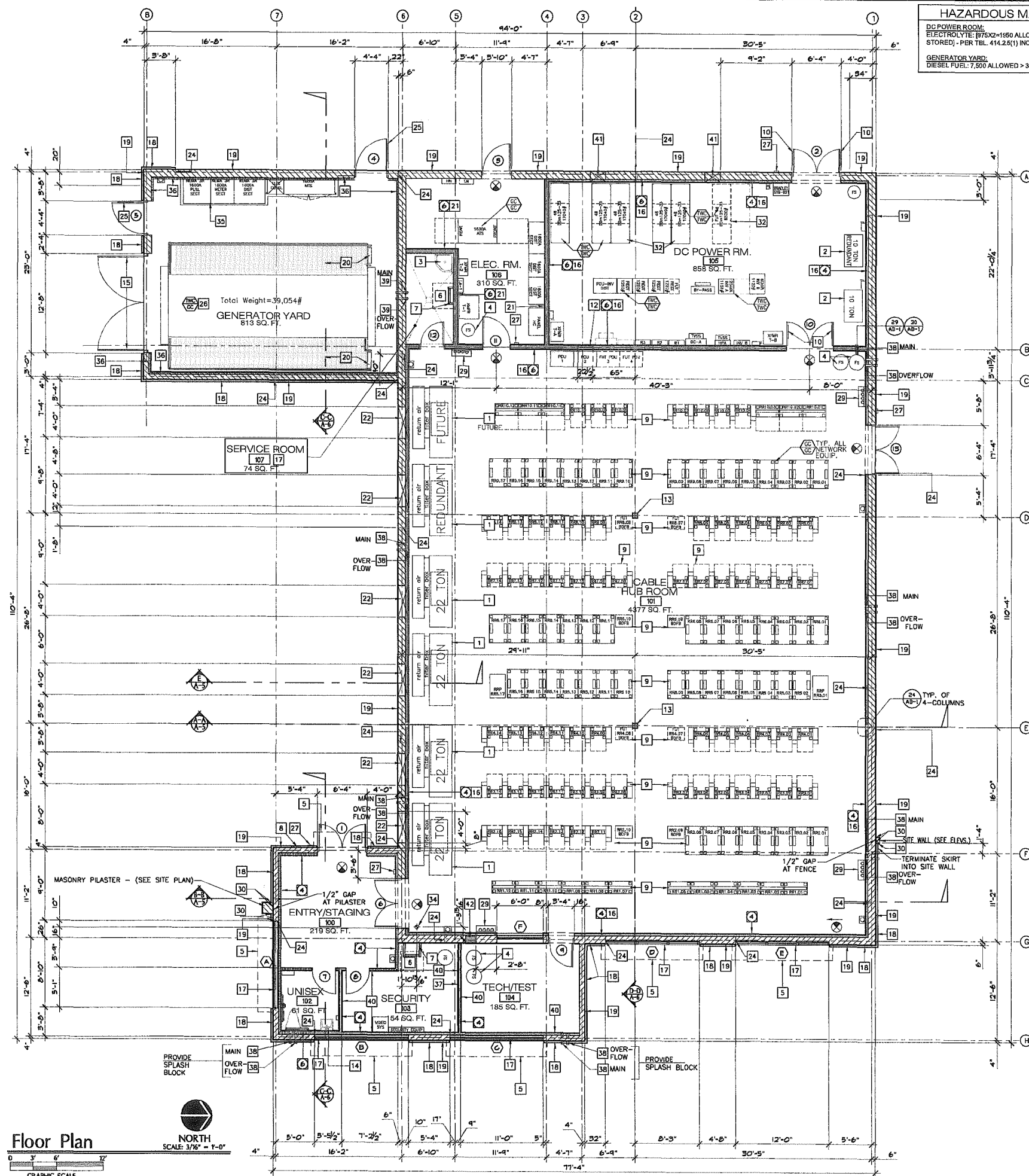
Revisions

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△ DESIGN DEVELOPMENT PKG.	6/8/15
△ 90% CD	7/7/15
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Sheet Title
Building Floor Plan

A-3.0



HAZARDOUS MATERIALS

DC POWER ROOM:
ELECTROLYTE: 1975X2-1591 ALLOWED-1591 GALLONS
STORED - PER TBL. 414.2(5)(1) INCREASE, NOTE B.
GENERATOR YARD:
DIESEL FUEL: 7,500 ALLOWED > 3410 GALLONS STORED.

BUILDING FLOOR PLAN KEY NOTES

- 22-TON AC UNIT, PER MECHANICAL PLANS
- 10 TON AC UNIT, PER MECHANICAL PLANS
- JANITORS FLOOR SINK - SEE PLUMBING PLANS
- FIRE SUPPRESSION STORAGE CYLINDER, PER FIRE SUPPRESSION PLANS
- FABRIC AWNING ON METAL FRAME OVER WINDOW
- 30"x36" ROOF ACCESS HATCH AT METAL ROOF DECK ABOVE
- 20'-1/4" WIDE ROOF HATCH ACCESS LADDER. FIXED ACCESS LADDERS SHALL COMPLY WITH COR TITLES, SEC. 3277 (DEPT. OF INDUSTRIAL RELATIONS)
- PROVIDE NO-SMOKING SIGNAGE
- TELECOMMUNICATIONS EQUIPMENT THROUGHOUT HUB ROOM BY OTHERS. SEE 15 FOR ANCHORING
- PROVIDE BATTERY SIGNAGE AT DOOR
- SIGNAGE SHALL BE PROVIDED AT DOOR STATING 'ROOF ACCESS'
- CONTRACTOR TO FRAME WINDOW FOR CABLE PATHWAY - CTR. OF OPG. AT 10'-0" A.F.F. - PROTECT PENETRATIONS WITH INTUMESCENT PILLOWS PER U.L. W-L-8050 (MAX 20.6" VERTICAL OPENING)
- 6"x8" T.S. COLUMN PER STRUCTURAL PLANS. COLUMNS TO BE COATED WITH INTUMESCENT COATING
- PROVIDE INST-HOT AT SINK PER PLUMBING PLANS
- METAL GENERATOR YARD GATES - SEE 9
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD OVER 5/8" PLYWOOD OVER 5 MIL MYLAR VAPOR BARRIER THIS SIDE OF WALL ASSEMBLY.
- STOREFRONT GLASS WITH VIEW PANELS BEHIND, PAINTED BLACK
- 3" WIDE SKIRT WITH EXTERIOR PLASTER FINISH
- EXT. CEMENT PLASTER FINISH OVER PRECISION BLOCK CMU WALL - SEE ELEVATIONS
- PROVIDE STEEL WORKING PLATFORM & ACCESS LADDER AT GENERATOR
- 5/8" TYPE 'X' GYPSUM BOARD OVER METAL FRAMED WALL
- 8'-0" HIGH OPENING WITH METAL SCREENED LOUVER VENT PER MECH.
- (1) PAIR OF 6'-0" WIDE X 13'-10" HIGH METAL GATES
- MASONRY CONTROL JOINT LOCATION
- PROVIDE DIESEL HAZARD SIGNAGE AT DOOR
- 1000 KW DIESEL GENERATOR IN SOUND ATTENUATING ENCLOSURE - ON RAISED CONCRETE PAD
- CARD READER, REFER TO DOOR SCHEDULE
- UNFINISHED CMU WALL
- CONDUIT STUB UP THROUGH SLAB & SUPPORT UP WALL
- TERMINATE SKIRT INTO PILASTER (PROVIDE PLASTER EXPANSION JOINT WHERE SKIRT MEETS SITE WALL OR PILASTER)
- FIBER ENTRY THROUGH 4" RAISED CONC. CURB - ROUTE UP WALL PER BATTERY RACK LOCATION (SEE SHEET T-5 FOR BATTERY INFORMATION)
- SECURE TO SLAB PER 19
- OCCUPANCY LOAD DETERMINATION PER CBC TBL. 1004.1.1
- DEMARICATION POINT (BRASS PIN IN CONCRETE)
- 6" HIGH HOUSEKEEPING PAD AT ELECTRICAL GEAR
- INSTALL 2-1/2" THK. 'ACOUSTIBLOCK' ALL WEATHER SOUND PANELS 4' OFF FINISH FLOOR, CONTINUING TO TOP OF GEN YARD WALL - SECURE TO CMU FACE WITH 5" MASONRY SCREWS AT ALL PROVIDED ATTACHMENT HOLES
- PROVIDE 4"x8" FIRE RESISTIVE PLYWOOD TELEPHONE BACKBOARD (120V DUPLEX OUTLET AND GROUND PER ELECTRICAL DRAWINGS)
- ROOF DRAIN DOWN WALL (CONCEALED IN FURRING)
- ROOF DRAIN DOWN WALL
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD OVER 5/8" PLYWOOD THIS SIDE OF WALL ASSEMBLY.
- PROVIDE OPENING IN WALL TO RECEIVE 24"x24" SCREENED/PAINTED METAL LOUVER VENT - SEE MECHANICAL PLANS
- CONTRACTOR TO CUT IN WINDOW FOR CABLE PATHWAY - CTR. OF OPG. AT 10'-2" A.F.F. - PROTECT PENETRATIONS WITH INTUMESCENT PILLOWS PER U.L. W-J-8001

NOTES

- THE FOLLOWING HAZARDOUS MATERIALS/QUANTITIES ARE A PART OF THIS APPLICATION FOR PERMIT:
DC POWER ROOM - 1591 GALLONS OF ELECTROLYTE (SEE SHEET T-5)
GENERATOR YARD - 3425 GALLONS OF DIESEL FUEL (SEE SHEET T-6)
- ALL OCCUPIED PARTS OF THE BUILDING SHALL BE PROVIDED WITH AT LEAST 1 FOOTCANDLE OF LIGHT AT THE FLOOR LEVEL
- PROVIDE MECHANICAL VENTILATION FOR EACH AREA ROOM IN ACCORDANCE WITH CBC AND MECHANICAL CODE (CMC) REQUIREMENTS FOR EACH TYPE OF USE
- CBC SECTION 1205.3, ARTIFICIAL LIGHT. ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 100 FOOTCANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30' ABOVE THE FLOOR
- SEE SHEET A-3.0 FOR ADDITIONAL EXITING SIGNAGE REQUIREMENTS
- MECHANICAL VENTILATION IS REQUIRED IN ALL HABITABLE ROOMS TO BE IN ACCORDANCE WITH CBC AND CMC. SEE MECHANICAL PACKAGE.

WALL LEGEND

12 x 8 x16 FULLY GROUTED PRECISION BLOCK CMU WALL		
8 x 8 x16 FULLY GROUTED PRECISION BLOCK CMU WALL		
LIGHT GAUGE METAL STUD WALL WITH STUDS AT 16" ADDITIONAL ASSEMBLY FEATURES/FINISH/THICKNESS AS NOTED - EXTEND FRAMING & FINISH TO MTL. DECK ABV.		28 AB-1
LIGHT GAUGE METAL STUD WALL WITH STUDS AT 16" ADDITIONAL ASSEMBLY FEATURES/FINISH/THICKNESS AS NOTED - EXTEND FRAMING & FINISH TO 9'-2" ABV. F.F.		
LIGHT GAUGE METAL STUD WALL TIGHT TO CMU WALL: ADDITIONAL ASSEMBLY FEATURES/FINISH METAL WALL THICKNESS AS NOTED - EXTEND STUD WALL FRAMING & GYP. BD. FINISH TO MTL. DECK ABV.		27 AB-1
LIGHT GAUGE METAL STUD WALL TIGHT TO CMU WALL: ADDITIONAL ASSEMBLY FEATURES/FINISH METAL WALL THICKNESS AS NOTED - EXTEND STUD WALL FRAMING & GYP. BD. FINISH TO 9'-2" ABV. F.F.		

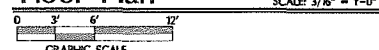
WALL KEYS

3-5/8"x1-1/2" 20 GAUGE METAL STUDS	4
6"x1-1/2" 18 GAUGE METAL STUDS	6

SYMBOLS

- MINIMUM 2A10:BC FIRE EXTINGUISHER (USE 20 BC IN GENERATOR YARD) WITHIN 75' TRAVEL DISTANCE FOR EACH 6,000 SQ. FEET OR PORTION THEREOF.
- INTERNALLY ILLUMINATED WALL MOUNTED EXIT SIGN. SHADING INDICATES LIGHTED FACE. ARROW INDICATES CHEVRON DIRECTIONAL INDICATOR. SIGN SHALL BE LABELED IN ACCORDANCE WITH UL924
- (4) 4" PVC DIVERSE FIBER CONDUIT RISER IN 4" HIGH CONCRETE BASE

Floor Plan



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Sheet Title
Building Accessibility
& Exiting

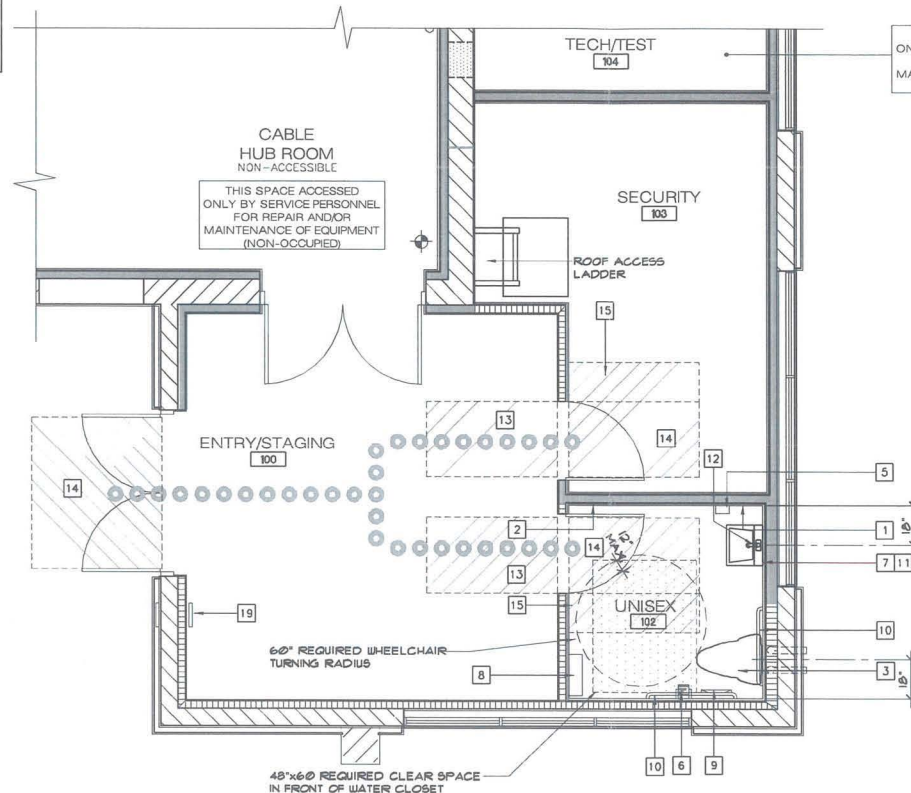
A-3.1

KEY NOTES

- 5/8" TYPE 'X' WATER RESISTANCE GYP. BD., TYP. AT ALL WALLS WITHIN UNISEX RESTROOM.
- PROVIDE NON-ABSORBANT, WATER RESISTANT FINISH ON WALLS WITHIN UNISEX RESTROOM TO 48" A.F.F.
- FLOOR MOUNTED WATER CLOSET - MOUNTED AT 17" MIN AND 19" MAX MEASURE TO TOP OF 2" HIGH TOILET SEAT WITH FLUSH CONTROLS MOUNTED ON OPEN SIDE OF WATER CLOSET AT A MAXIMUM OF 44" FROM FINISH FLOOR.
- WALL HUNG LAVATORY - MINIMUM OF 17" IN HORIZONTAL DEPTH AND MOUNTED WITH THE RIM OR COUNTER EDGE NO HIGHER THAN 34" ABOVE FINISH FLOOR. HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE COVERED WITH RESILIENT MATERIAL AND THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY.
- WALL MOUNTED SOAP DISPENSER WITH OPERABLE PARTS MOUNTED WITHIN 40" OF FINISH FLOOR.
- TOILET PAPER DISPENSER MOUNTED AT A MINIMUM HEIGHT OF 19" FROM FINISH FLOOR.
- MIRROR ABOVE LAVATORY WITH BOTTOM EDGE OF REFLECTING SURFACE MOUNTED WITHIN 40" OF FINISH FLOOR.
- COMBINATION PAPER TOWEL DISPENSER/TRASH RECEPTACLE WITH OPERABLE PARTS MOUNTED WITHIN 40" OF FINISH FLOOR.
- TOILET SEAT COVER DISPENSER WITH OPERABLE PARTS MOUNTED WITHIN 40" OF FINISH FLOOR.
- GRAB BAR.
- WRAP DRAIN & HOT WATER PIPING WITH WITH RESILIENT MATERIAL.
- FAUCET CONTROLS - OPERATION OF CONTROLS SHALL NOT REQUIRE TWISTING OF THE WRIST OR GRASPING FOR OPERATION.
- 48" DEEP CLEAR DOOR APPROACH.
- 60" DEEP DOOR CLEAR LANDING AT SWING SIDE OF DOOR.
- 18"W. x 60" DEEP DOOR CLEAR SPACE AT PULL SIDE OF DOOR.
- PROVIDE A SIGN WITH THE 'INTERNATIONAL SYMBOL OF ACCESSIBILITY', INDICATING THAT THE FACILITY IS ACCESSIBLE MTD. AT 60" A.F.F.
- ACCESSIBLE SIGNAGE AT DOORWALL.
- 4" HIGH MIN. TILE COVE BASE.
- ACCESSIBLE EXIST SIGNAGE AT WALL.

NOTE:
ALL PLUMBING FIXTURES SHALL COMPLY WITH 5.303.2.3 OF THE CALIFORNIA GREEN BUILDING CODE. SEE SHEET T-2 FOR REQUIRED FLOW RATES.

ALL OTHER SPACES NOT SHOWN ON THIS SHEET ARE ACCESSED ONLY BY SERVICE PERSONNEL FOR REPAIR AND/OR MAINTENANCE OF EQUIPMENT (NON-OCCUPIED)

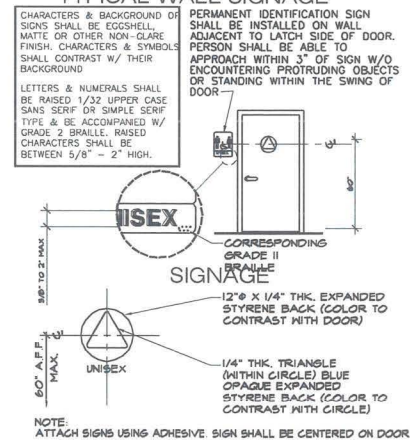


SCALE:
3/8" = 1'-0"

1

ACCESSIBLE FLOOR PLAN

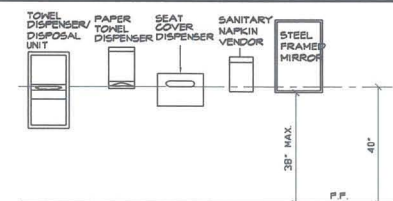
TYPICAL WALL SIGNAGE



RESTROOM SIGNAGE

SCALE:
NONE

2



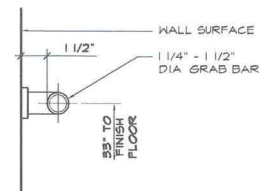
* SEE ENLARGED TOILET PLAN & INTERIOR ELEVATION DWGS. FOR TOILET ACCESSORY LOCATIONS.
* ALL ACCESSORIES ARE TO BE HANDICAP ACCESSIBLE WITH A MAXIMUM REACH HGT. OF 40" (3'-4") A.F.F.

RESTROOM ACCESSORIES

SCALE:
NONE

3

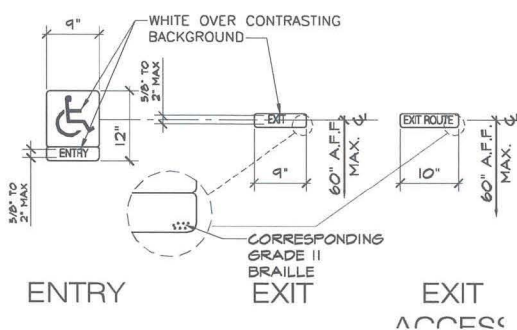
- NOTES:
- GRAB BARS AT WATER CLOSET, SIDE BAR SHALL BE 42" LONG AND EXTEND 24" IN FRONT OF WATER CLOSET. REAR BAR SHALL BE 36" LONG. BOTH BARS SHALL BE MOUNTED 33" ABOVE FINISH FLOOR.
 - BARS SHALL BE 1 1/4" TO 1 1/2" IN DIAMETER AND PROVIDE 1 1/2" CLEARANCE FROM WALL.
 - BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 LBS. POINT LOAD IN BENDING, SHEAR TENSION.
 - SURFACE OF WALL ADJACENT TO GRAB BAR SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.



GRAB BAR REQUIREMENTS

SCALE:
1-1/2" = 1'-0"

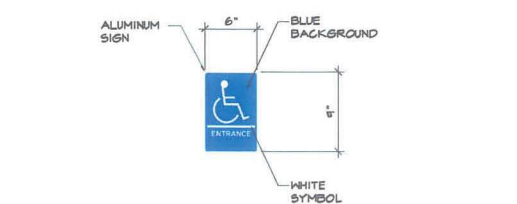
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ENTRY/EXIT SIGNAGE

SCALE:
3/4" = 1'-0"

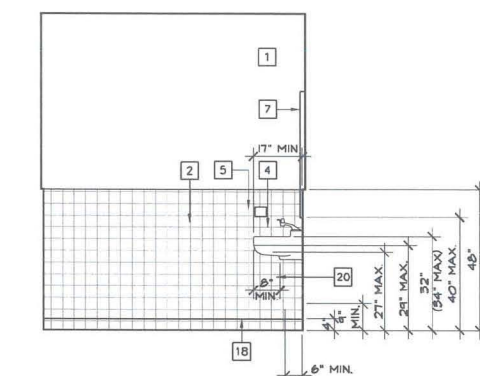
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ACCESSIBLE FACILITY SIGNAGE

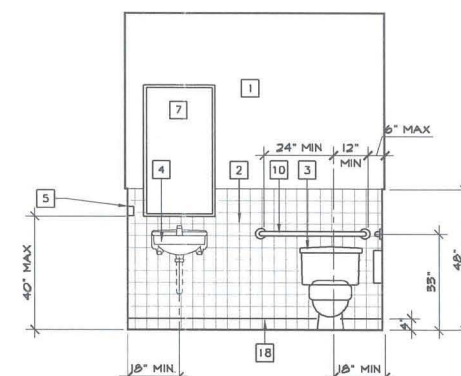
SCALE:
1-1/2" = 1'-0"

6



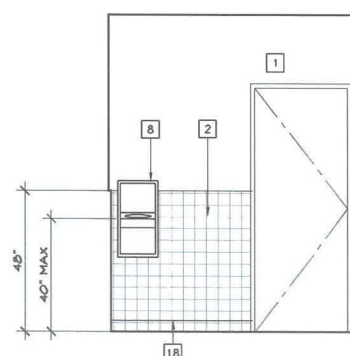
Unisex Wall A

SCALE: 1/2" = 1'-0"



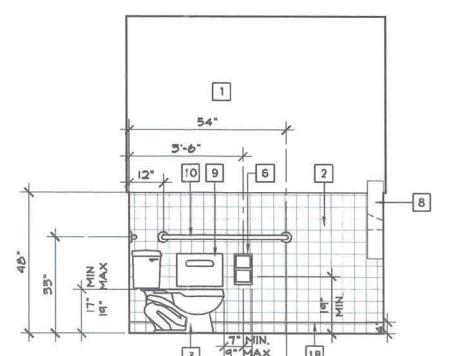
Unisex Wall C

SCALE: 1/2" = 1'-0"



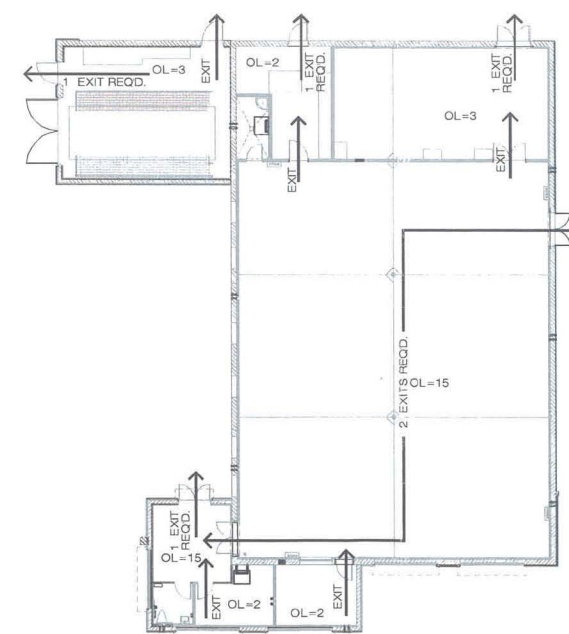
Unisex Wall G

SCALE: 1/2" = 1'-0"



Unisex Wall E

SCALE: 1/2" = 1'-0"



Exiting Plan

SCALE: 3/16" = 1'-0"



NORTH

SCALE: 3/16" = 1'-0"

GRAPHIC SCALE

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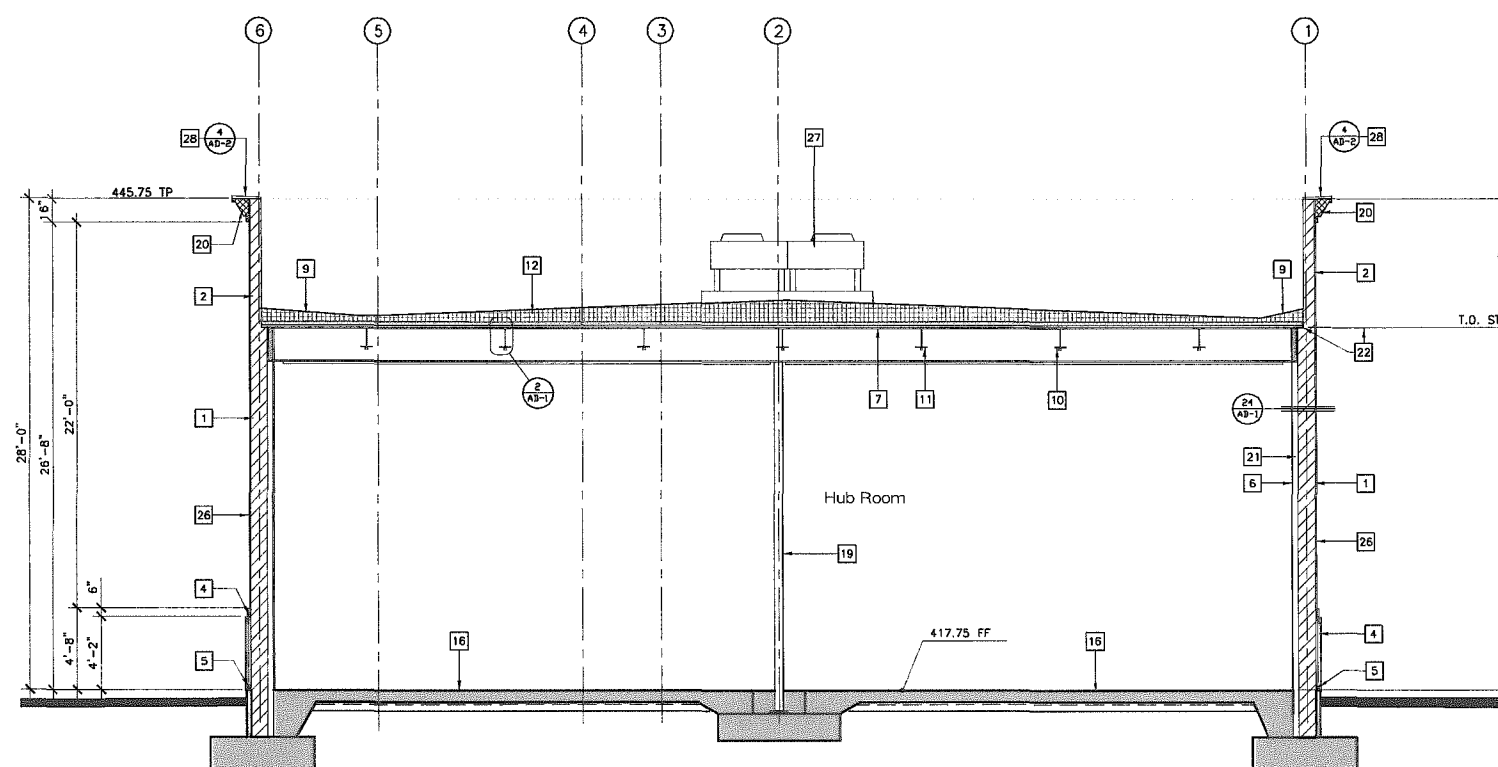
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Job No. 1580C	Date 05/01/2015
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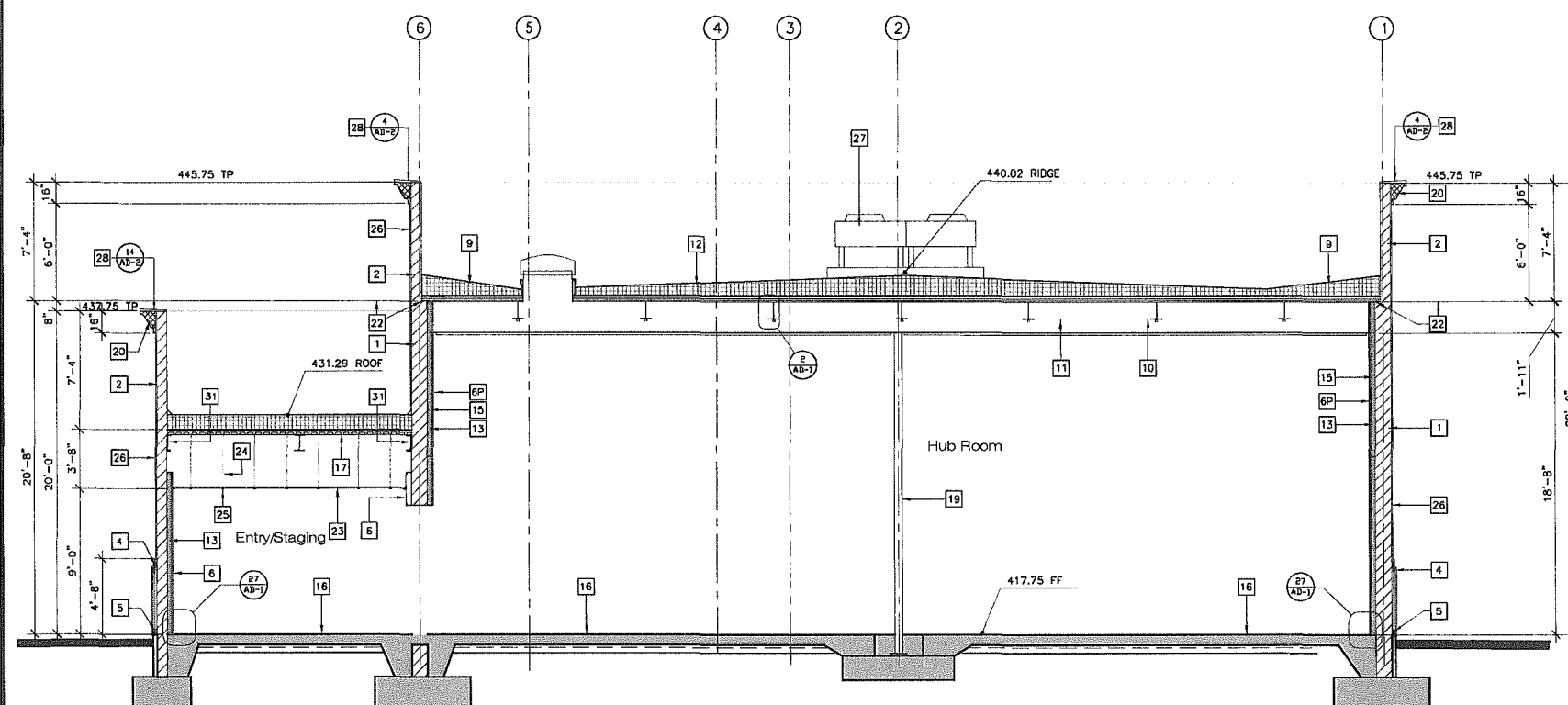
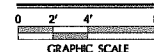
Sheet Title
Building Sections

A-5



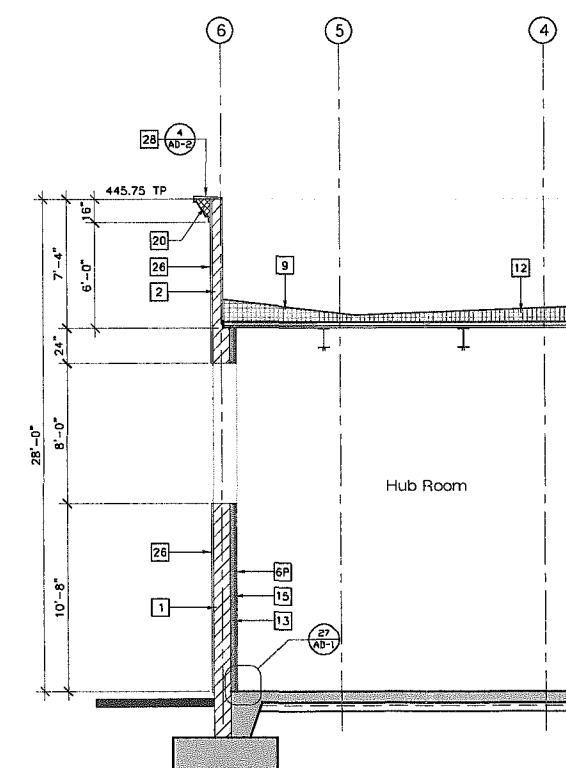
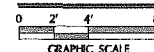
Section A-A

SCALE: 1/4"=1'-0"



Section B-B

SCALE: 1/4"=1'-0"



Section E

SCALE: 1/4"=1'-0"



- ## NOTES

- | | |
|----|---|
| 1 | 12 x 8 x 16 SOLID GROUT PRECISION BLOCK CMU WALL |
| 2 | 8 x 8 x 16 SOLID GROUT PRECISION BLOCK CMU WALL |
| 3 | GENERATOR SLAB, PER STRUCTURAL |
| 4 | 2 x SKIRT FRAMING |
| 5 | (2) 2 x 4 PTDF |
| 6 | GYPSSUM BOARD FINISH |
| 6P | GYPSSUM BOARD FINISH OVER PLYWOOD BACKING |
| 7 | EXPPOSED UNDERSIDE OF METAL DECK - (PRIME/INTUMESCENT PAINT) |
| 8 | FABRICATED FABRIC AWNING ON STEEL FRAME - SEE ELEVATIONS FOR FINISH REQUIREMENTS |
| 9 | CRICKET TYPICAL |
| 10 | PURLINS @ 8'-0" O.C., U.N.O., PER STRUCTURAL WITH CONTINUOUS UNISTRUT AT BTM. MIDDLE OF METAL WELDED ALONG ITS LENGTH WHERE INDICATED ON SHEET A-4.1 |
| 11 | SUPPORT BEAM PER STRUCTURAL WITH CONTINUOUS UNISTRUT AT BOTTOM MIDDLE OF METAL WELDED ALONG ITS LENGTH WHERE INDICATED ON SHEET A-4.1 |
| 12 | ROOF DECK - TPA SINGLE PLY ROOF MEMBRANE O/ (1) LAYER BUR MEMBRANE O/ FIBERBOARD SUBSTRATE BY TREMCO O/ MIN. (2) LAYERS 2" THK. RIGID INSULATION BOARD (RWMAX MULTI-MAX FA-3, LARR # 25378) O/ 4" CONC. TOPPING W/ WELDED FIBRIC O/ 20 GA METAL ROOF DECK |
| 13 | R-13 BATT INSULATION WITHIN METAL STUD WALL CAVITY |
| 14 | DOOR, SEE FLOOR PLAN |
| 15 | LIGHT-GAUGE REPETITIVE METAL STUD FRAMED WALL |
| 16 | CONCRETE SLAB PER STRUCTURAL |
| 17 | EXPPOSED UNDERSIDE OF METAL DECK - UNFINISHED |
| 18 | RESERVED |
| 19 | 8"x6" TS COLUMN PER STRUCTURAL PLANS. EXPPOSED COLUMNS TO BE PAINTED WITH 1-HOUR INTUMESCENT PAINT |
| 20 | FOAM TRIM (SEE ELEVATIONS) |
| 21 | STEEL COLUMN PER STRUCTURAL |
| 22 | LINE OF TRANSITION FROM 11'-5 3/8" WIDE CMU BLOCK TO 7'-5 3/8" WIDE CMU BLOCK |
| 23 | TYPICAL SUSPENDED CEILING PANEL |
| 24 | TYPICAL SUSPENDED CEILING SUPPORT WIRE |
| 25 | TYPICAL SUSPENDED CEILING SUPPORT GRID |
| 26 | EXTERIOR CEMENT PLASTER FINISH |
| 27 | MECH. EQUIP. ON ROOF |
| 28 | PROVIDE COPING AT TOP OF PARAPET WALL |
| 29 | RESERVED |
| 30 | RESERVED |
| 31 | C-CHANNEL LEDGER PER STRUCTURAL |
| 32 | FIXED STOREFRONT WITH 3/8" GYP. BD. VIEW PANEL (SMOOTH TEXTURE/PAINTED) |

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SAN DIEGO, CA 92111

Revisions

Δ	LAND USE PACKAGE	5/12/15
Δ	DESIGN DEVELOPMENT PKG.	5/29/15
Δ	DESIGN DEVELOPMENT PKG.	6/8/15
Δ	90% CD	7/7/15
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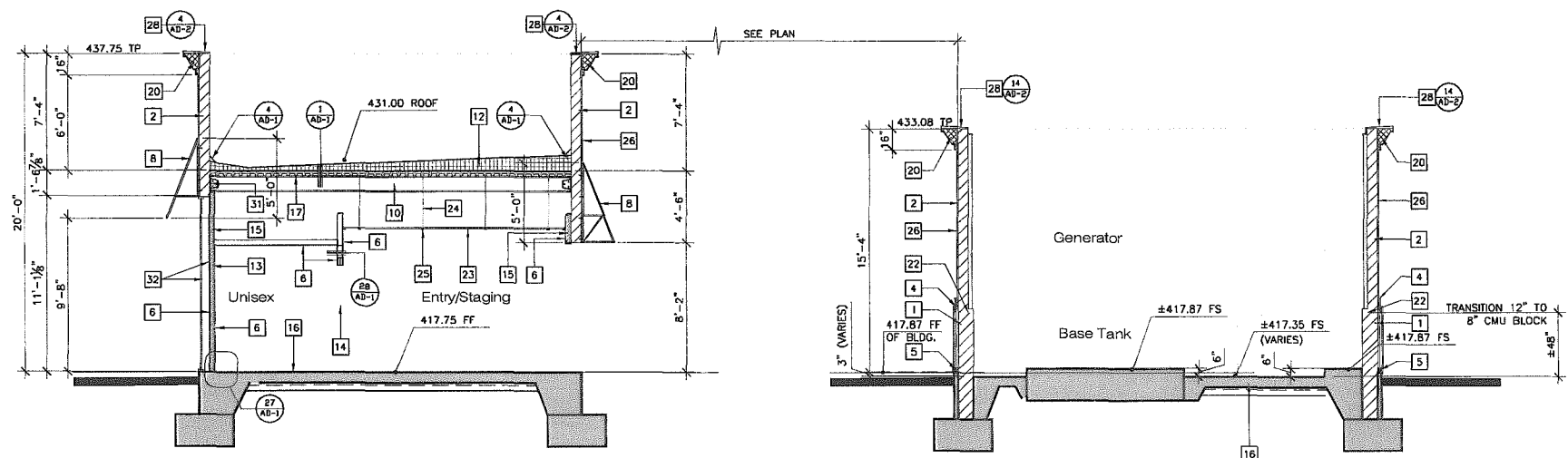
Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
Building Sections

A-6

NOTES

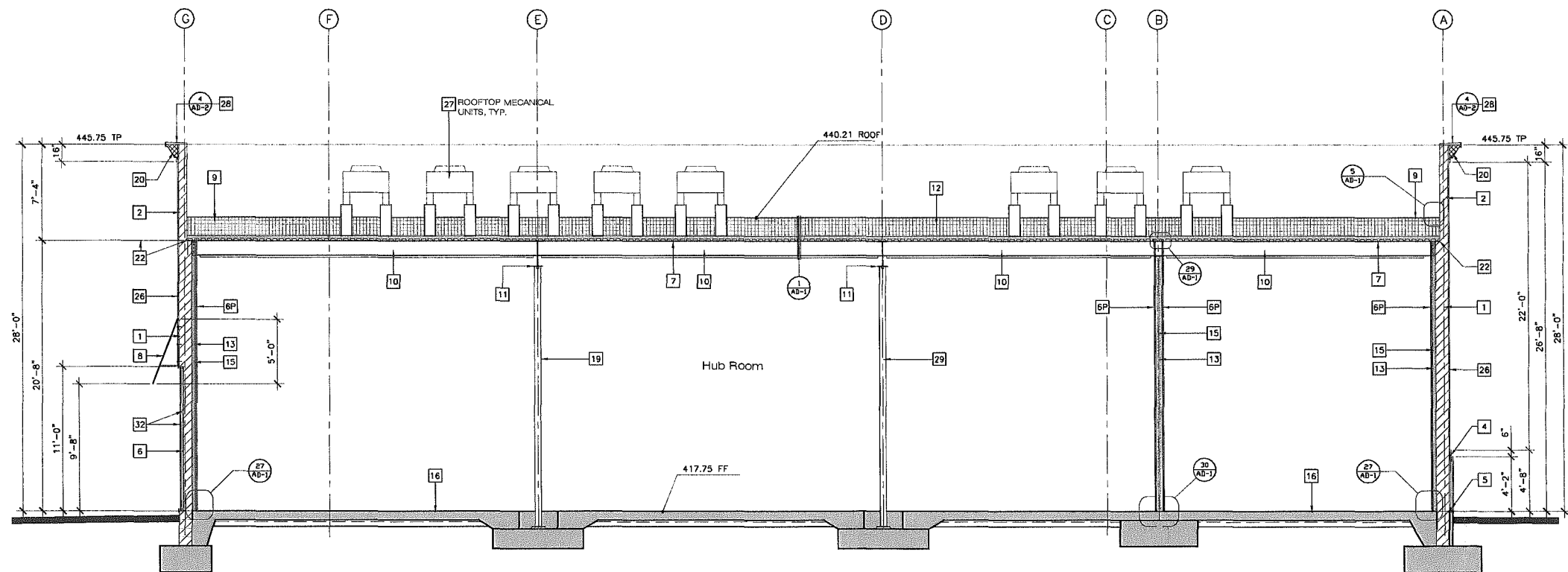
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- 18 RESERVED
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- 20 FOAM TRIM (SEE ELEVATIONS)
- 21 STEEL COLUMN PER STRUCTURAL
- 22 LINE OF TRANSITION FROM 11'-5/8" WIDE CMU BLOCK TO 7'-5/8" WIDE CMU BLOCK
- 23 TYPICAL SUSPENDED CEILING PANEL
- 24 TYPICAL SUSPENDED CEILING SUPPORT WIRE
- 25 TYPICAL SUSPENDED CEILING SUPPORT GRID
- 26 EXTERIOR CEMENT PLASTER FINISH
- 27 MECH. EQUIP. ON ROOF
- 28 PROVIDE COPING AT TOP OF PARAPET WALL
- 29 RESERVED
- 30 RESERVED
- 31 C-CHANNEL LEDGER PER STRUCTURAL
- 32 FIXED STOREFRONT WITH 3/8" GYP. BD. VIEW PANEL (SMOOTH TEXTURE/PAINTED)



Section C-C



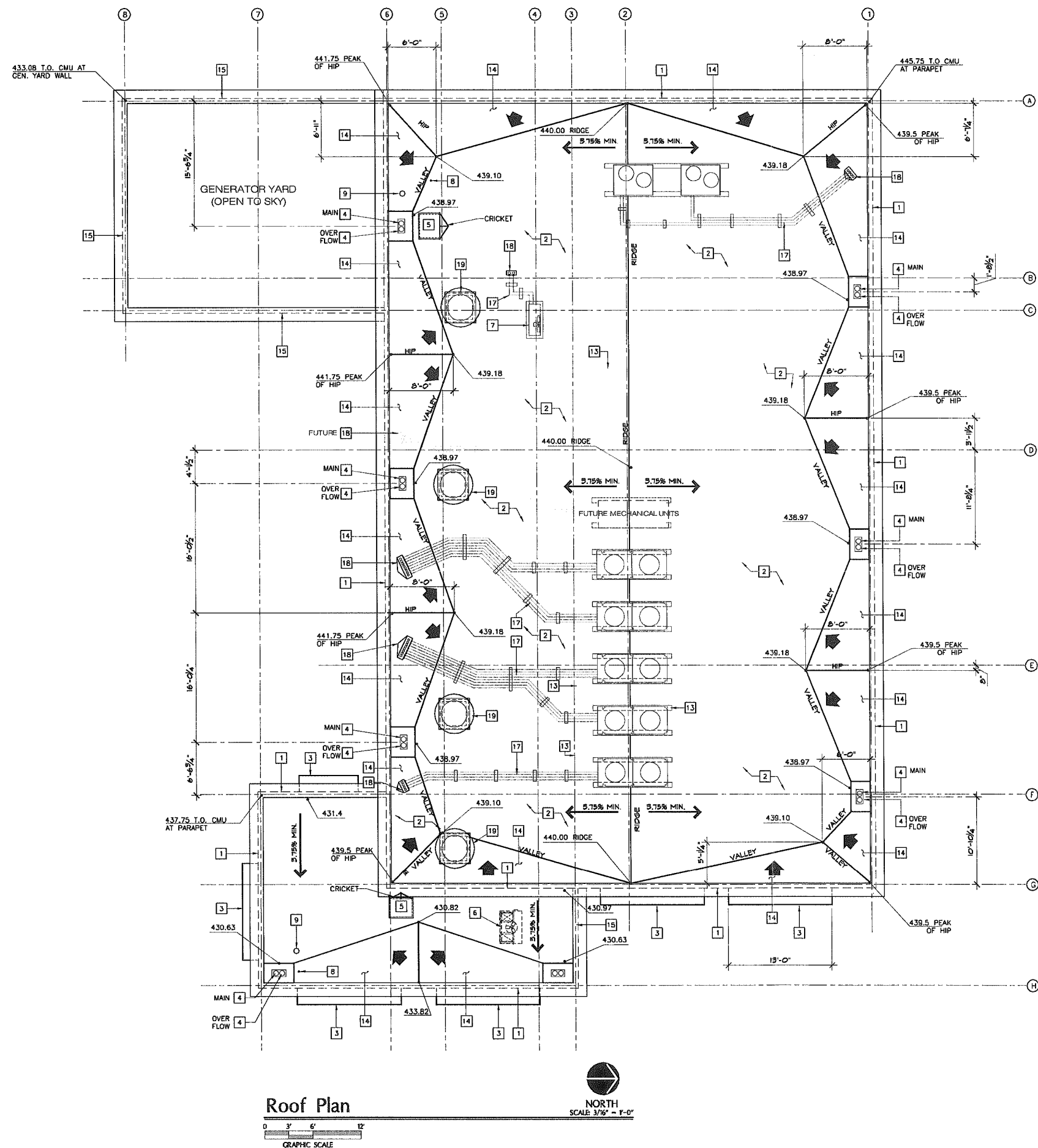
SCALE: 1/4"=1'-0"



Section D-D



SCALE: 1/4"=1'-0"



ROOF PLAN NOTES

- 1 FOAM CORNICE TRIM AT CMU PARAPET WALL WITH METAL COPING AT TOP (14, 2, AD-2, AD-1)
- 2 SINGLE PLY ROOFING TPA ROOFING MEMBRANE OVER PLYWOOD SUBSTRATE OVER LAYERED INSULATION OVER CONCRETE ROOF DECK (1, 2, AD-1, AD-1)
- 3 FABRIC AWNING ON STEEL FRAME BELOW (4, AD-1)
- 4 ROOF DRAIN & OVERFLOW - SEE PLUMBING PLANS (8, 9, AD-1, AD-1)
- 5 30"x36" ROOF ACCESS HATCH (15, AD-1)
- 6 ROOF MOUNTED HEAT PUMP PER MECHANICAL PLANS MOUNTED ON CURB PER MANUFACTURER (4, AD-1)
- 7 ROOF MOUNTED CONDENSING UNIT PER MECHANICAL PLANS MOUNTED ON MIN 8" HIGH EQUIPMENT PLATFORM (21, 22, AD-1, AD-1)
- 8 PLUMBING VENT THROUGH ROOF - SEE PLUMBING PLANS
- 9 EXHAUST FAN VENT THROUGH ROOF PER MECHANICAL PLANS
- 10 ROOFTOP DUCTWORK AS NEEDED PER MECHANICAL - SEE MECHANICAL PLANS FOR ROOF PENETRATION
- 11 RESERVED
- 12 PLUMBING VENT THRU ROOF PER PLUMBING PLANS (11, AD-1)
- 13 TYPICAL RAISED EQUIPMENT SUPPORT SLEEPERS (21, 22, AD-1, AD-1)
- 14 BUILT-UP CRICKET FOR SLOPE (TYPICAL) (5, AD-1)
- 15 FOAM CORNICE TRIM w/ G.I. COPING ATOP GENERATOR YARD WALL (14, AD-2)
- 16 -RESERVED-
- 17 MULTIPLE REFRIGERANT LINES ON DURABLOK SLEEPERS (1, AD-1)
- 18 MULTIPLE REFRIGERANT LINES ROOF PENETRATIONS THROUGH PELICAN HOOD (7, AD-1)
- 19 POWERED VENT HOOD PER MECHANICAL

GENERAL ROOF PLAN NOTES

1. ROOF DRAINAGE CALCULATIONS SHALL BE PREPARED BASED ON A 4/HOUR RAINFALL PER CBC 1811 & CPC CH. 11 - SEE PLUMBING PLANS FOR CALCULATIONS.
2. SECONDARY ROOF DRAINS HAVING THE SAME SIZE AS ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE 2' ABV. THE LOW POINT OF THE ROOF.
3. SECONDARY ROOF DRAINS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT FROM THE ROOF DRAIN LINES.
4. ROOF DRAINAGE WATER LINES ARE CONNECTED TO AN UNDERGROUND DRAIN SYSTEM AND DO NOT FLOW OVER PUBLIC PROPERTY.

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Revisions

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1580C

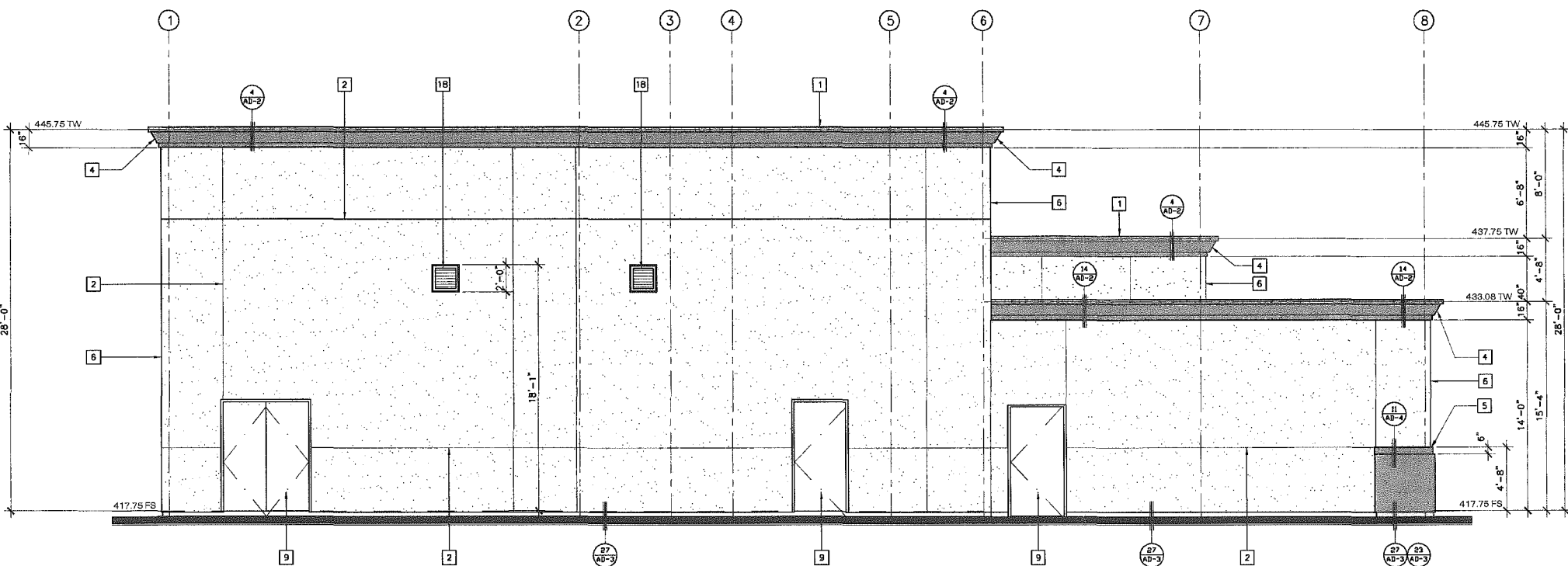
Date
05/01/2015

Drawn By
ADJ

Checked By
WGA

Sheet Title
Roof Plan

A-7



West Elevation

SCALE 1/4"=1'-0"

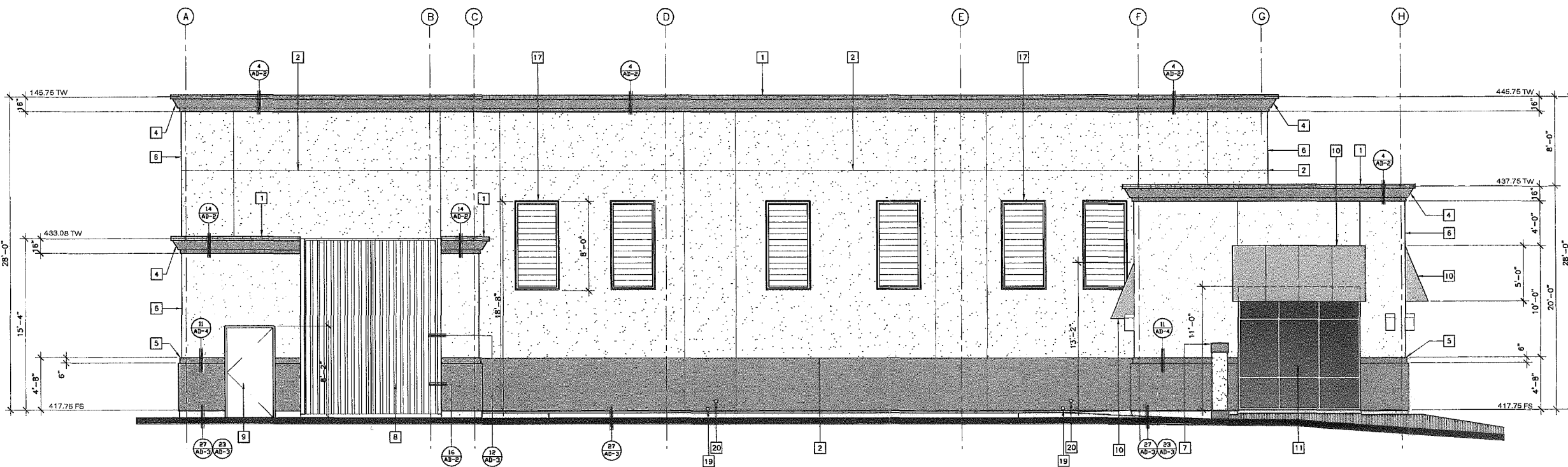


EXTERIOR ELEVATION KEY NOTES

- 1 METAL COPING AT TOP OF PARAPET WALL - 'DUNN EDWARDS' CUSTOM COLOR DE6131
- 2 3/8" METAL REGLET-PRIME/PAINT-'DUNN EDWARDS' 6 AB-3
- 3 G.I. METAL LOUVERS PER MECHANICAL PLANS-PRIME/PAINT-'DUNN EDWARDS' ACCENT COLOR DE6077
- 4 EXTRUDED FOAM TRIM W/ EXT. CEMENT PLASTER FINISH COAT-'DUNN EDWARDS' CUSTOM COLOR DE6131
- 5 3" DEPTH FURRED OUT SKIRT & 6" TRIM BAND W/ 7/8" EXT. CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE6131
- 6 7/8" EXT. CEMENT PLASTER FINISH APPLIED O/PRECISION BLOCK CMU WALL SURFACE -'DUNN EDWARDS' CUSTOM COLOR DE6122
- 7 1" DEEP x 8" H. CMU BAND W/ 7/8" EXT. CEMENT PLASTER FINISH -'DUNN EDWARDS' CUSTOM COLOR DE6122
- 8 PAIR OF 15' H. x 6' W. STEEL GENERATOR YARD GATES-PRIME/PAINT DOOR & FRAME-'DUNN EDWARDS' ACCENT COLOR DE6077
- 9 STEEL DOOR PRIME/PAINT-'DUNN EDWARDS' ACCENT COLOR DE6077
- 10 FABRIC AWNING ON STEEL FRAME-'SUNBRELLA' WALNUT BROWN TWEED 2 AB-4
- 11 CLEAR ANODIZED STOREFRONT. GLAZING TO BE 'GLASSWERKS' COLOR, SOLAR BLUE WITH (BLACK) PAINTED VIEW PANEL BEHIND PANE
- 12 WROUGHT IRON FENCING - PAINTED BLACK 3 AB-3
- 13 WROUGHT IRON PEDESTRIAN GATE - PAINTED BLACK 5 AB-3
- 14 WROUGHT IRON VEHICULAR SWINGING GATE - PAINTED BLACK 20 AB-4
- 15 8' PRECISION BLOCK CMU WALL W/ EXTERIOR CEMENT PLASTER FINISH -'DUNN EDWARDS' CUSTOM COLOR DE6122 TRIM BANDS, USE 'DUNN EDWARDS' CUSTOM COLOR DE6131
- 16 RESERVED
- 17 TYPICAL PAINTED METAL LOUVERS - 'DUNN EDWARDS' DE6077-LRV10 (DEEP BROWN)
- 18 24"x24" SCREENED/PAINTED METAL LOUVER VENT - SEE MECHANICAL PLANS-'DUNN EDWARDS' DE6077-LRV10 (DEEP BROWN)
- 19 STANDARD ROOF DRAIN THROUGH WALL
- 20 OVERFLOW ROOF DRAIN THROUGH WALL

ABBREVIATION KEY

AWN.	AWNING
B.O.	BOTTOM OF
F.S.	FINISH SURFACE
SFT.	STOREFRONT
TW	TOP OF CMU WALL
T.O.	TOP OF



South Elevation

SCALE 1/4"=1'-0"



PROPOSED CABLE HUB FACILITY FOR:

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Revisions

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90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

Job No.
1580CDate
05/01/2015Drawn By
ADJChecked By
WCASheet Title
Elevation

A-8

PROPOSED CABLE HUB FACILITY FOR:
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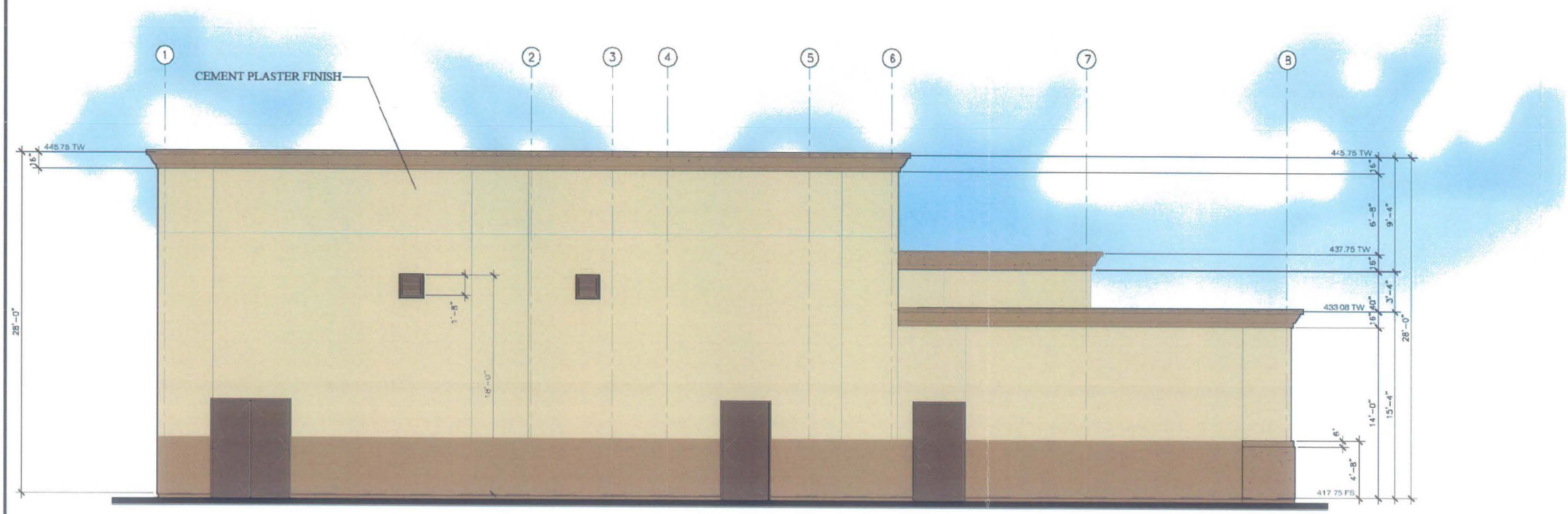
Revisions

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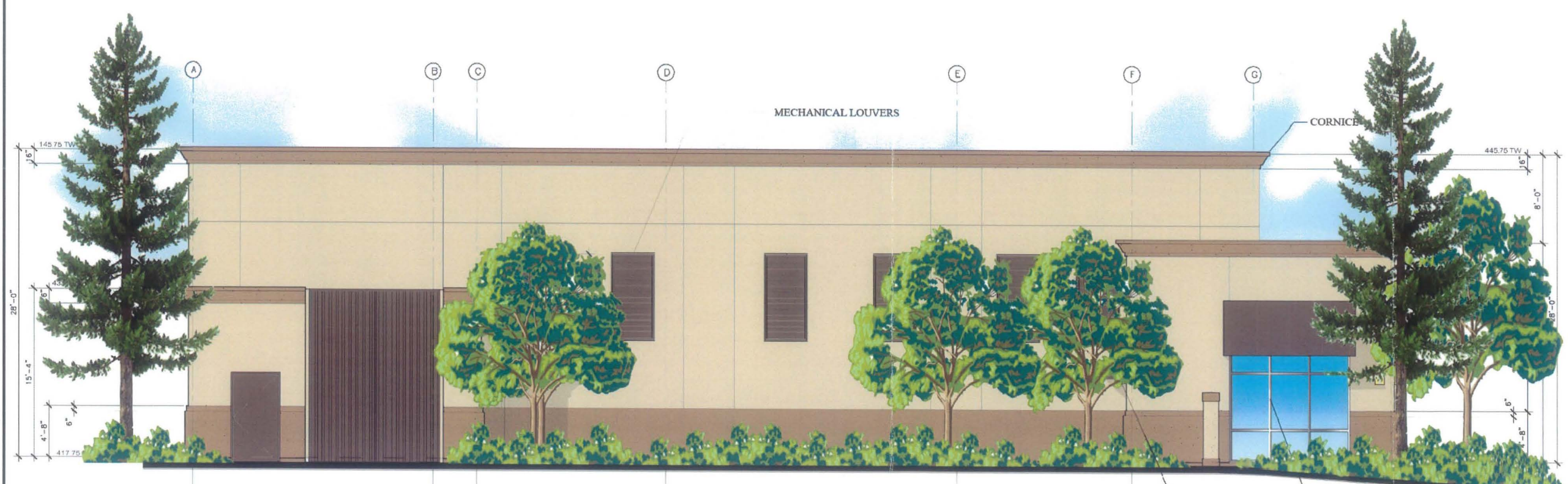
Sheet Title
Elevation

A-8



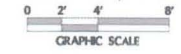
West Elevation

SCALE: 1/4"=1'-0"



South Elevation

SCALE: 1/4"=1'-0"



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Revisions

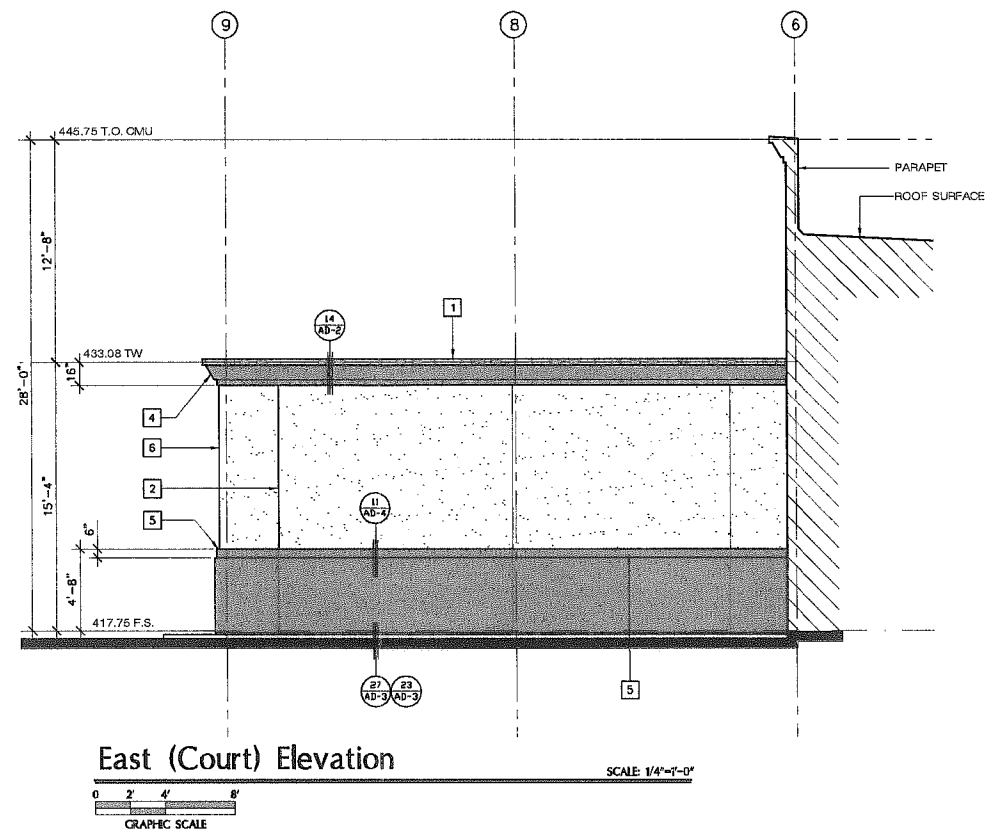
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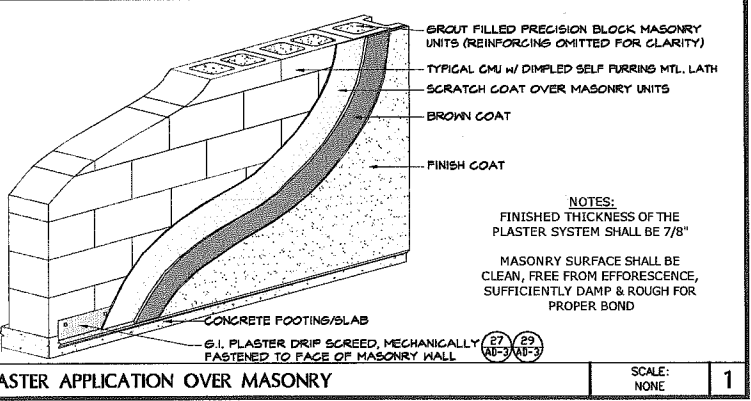
A-9

- EXTERIOR ELEVATION KEY NOTES
- METAL COPING AT TOP OF PARAPET WALL - 'DUNN EDWARDS' CUSTOM COLOR DE8131
 - 3/8" METAL REGLET-PRIME/PAINT- 'DUNN EDWARDS' (AB-3)
 - G.I. METAL LOUVERS PER MECHANICAL PLANS-PRIME/PAINT- 'DUNN EDWARDS' ACCENT COLOR DE6077
 - EXTRUDED FOAM TRIM W/ EXT. CEMENT PLASTER FINISH COAT- 'DUNN EDWARDS' CUSTOM COLOR DE8131
 - 3" DEPTH FURRED OUT SKIRT & 6" TRIM BAND W/ 7/8" EXT. CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE8131
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 - WROUGHT IRON PEDESTRIAN GATE - PAINTED BLACK (AB-3)
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 - 10' HIGH RAISED METAL ADDRESS LETTERS OF ANODIZED ALUMINUM
 - TYPICAL PAINTED METAL LOUVERS - 'DUNN EDWARDS' DE8077-LRV10 (DEEP BROWN)
 - CONTEMPORARY WALL MTD. LIGHT FIXTURE PER ELECTRICAL
 - STANDARD ROOF DRAIN THROUGH WALL
 - OVERFLOW ROOF DRAIN THROUGH WALL
- ABBREVIATION KEY
- | | |
|------|-----------------|
| AWN. | AWNING |
| B.O. | BOTTOM OF |
| F.S. | FINISH SURFACE |
| SFT. | STOREFRONT |
| TW | TOP OF CMU WALL |
| T.O. | TOP OF |



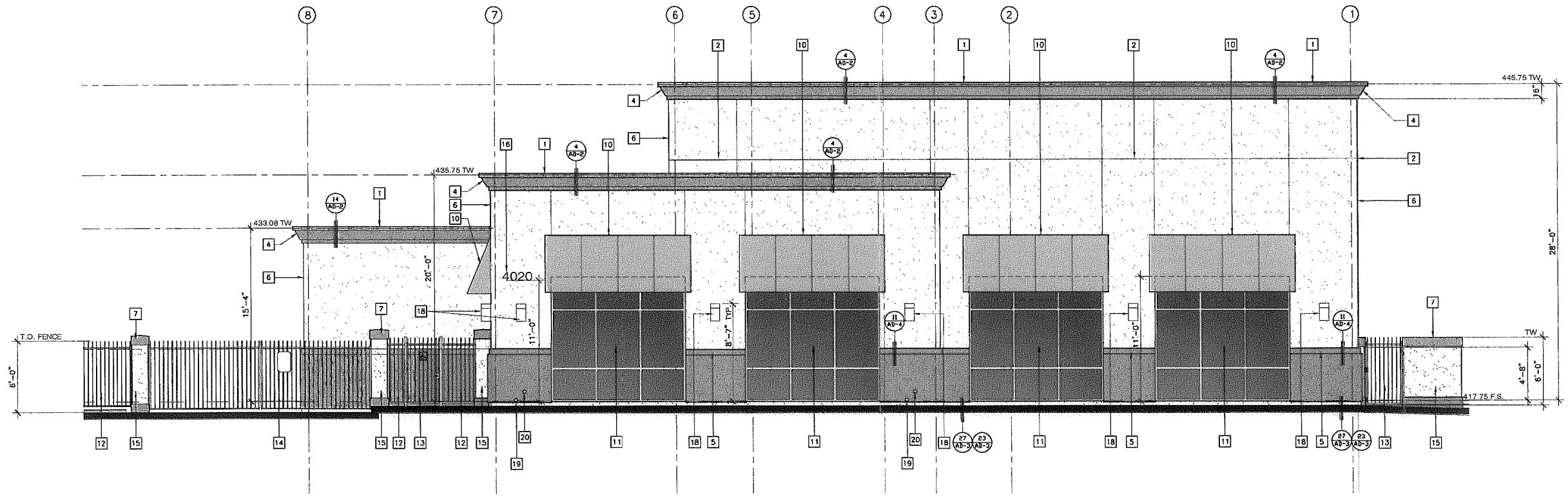
East (Court) Elevation

SCALE: 1/4"=1'-0"



PLASTER APPLICATION OVER MASONRY

SCALE: NONE



East Elevation

SCALE: 1/4"=1'-0"



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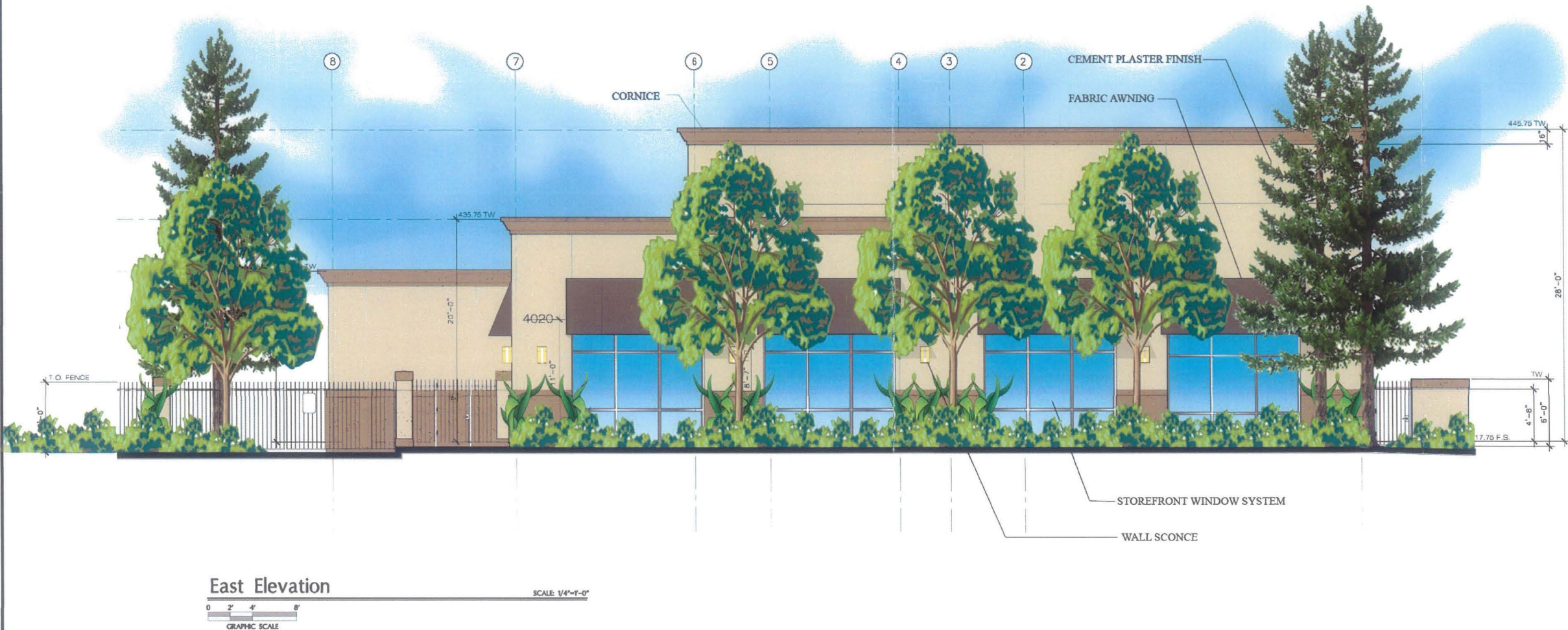
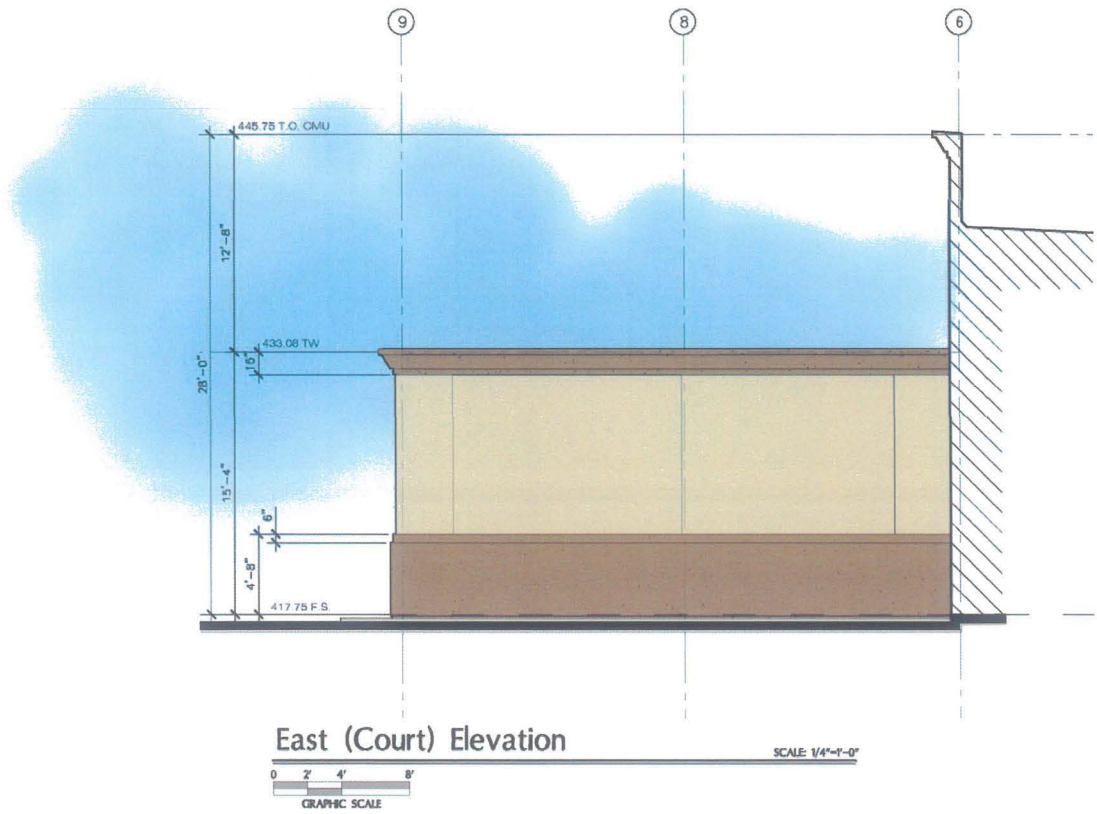
Revisions

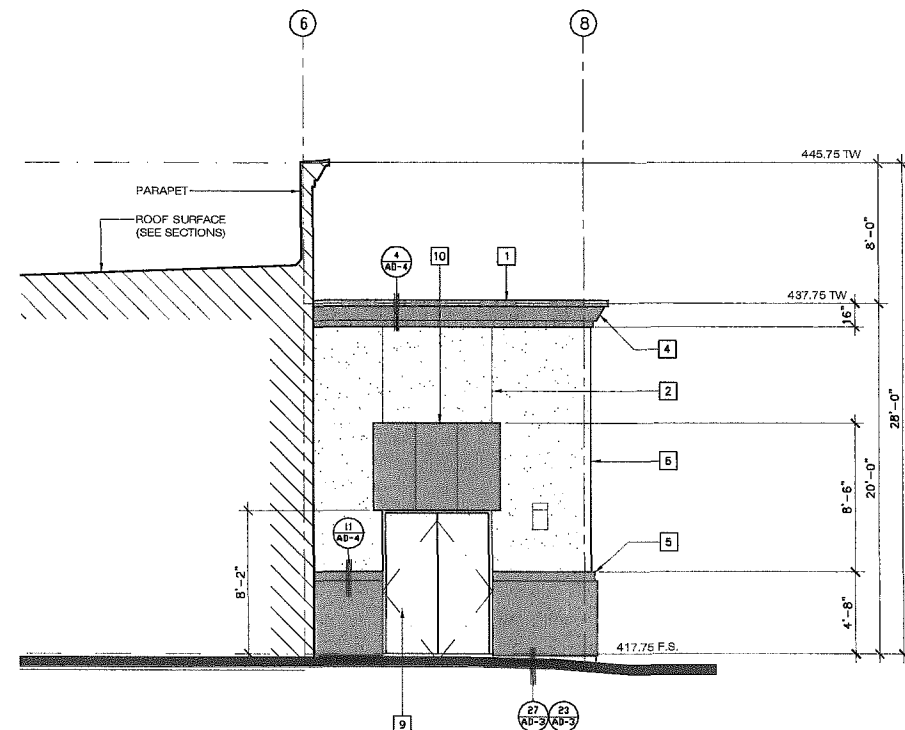
△ LAND USE PACKAGE	5/12/15
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△ CYCLE 2 REVISIONS	10/7/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
Elevation

A-9





West (Court) Elevation

SCALE: 1/4"=1'-0"



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- 1 METAL COPING AT TOP OF PARAPET WALL - 'DUNN EDWARDS' CUSTOM COLOR DE8131
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- 11 CLEAR ANODIZED STOREFRONT. GLAZING TO BE 'GLASSWORKS' COLOR, SOLAR BLUE WITH (BLACK) PAINTED VIEW PANEL BEHIND PANE ³ AB-3
- 12 WROUGHT IRON FENCING - PAINTED BLACK ⁵ AB-3
- 13 WROUGHT IRON PEDESTRIAN GATE - PAINTED BLACK ²⁰ AB-3
- 14 WROUGHT IRON VEHICULAR SWINGING GATE - PAINTED BLACK ¹⁰ AB-3
- 15 8" PRECISION BLOCK CMU WALL W/ EXTERIOR CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE8122 TRIM BANDS, USE 'DUNN EDWARDS' CUSTOM COLOR DE8131 ¹⁰ AB-3
- 16 RESERVED
- 17 TYPICAL PAINTED METAL LOUVERS - 'DUNN EDWARDS' DE6077-LRV10 (DEEP BROWN)
- 18 -RESERVED-
- 19 STANDARD ROOF DRAIN THROUGH WALL
- 20 OVERFLOW ROOF DRAIN THROUGH WALL

ABBREVIATION KEY

AWN.	AWNING
B.O.	BOTTOM OF
F.S.	FINISH SURFACE
SFT.	STOREFRONT
TW.	TOP OF CMU WALL
T.O.	TOP OF

PROPOSED CABLE HUB FACILITY FOR:

TIME WARNER CABLE
 THE POWER OF YOU


CONVOY HUB FACILITY

 4020 CONVOY STREET
 SAN DIEGO, CA 92111

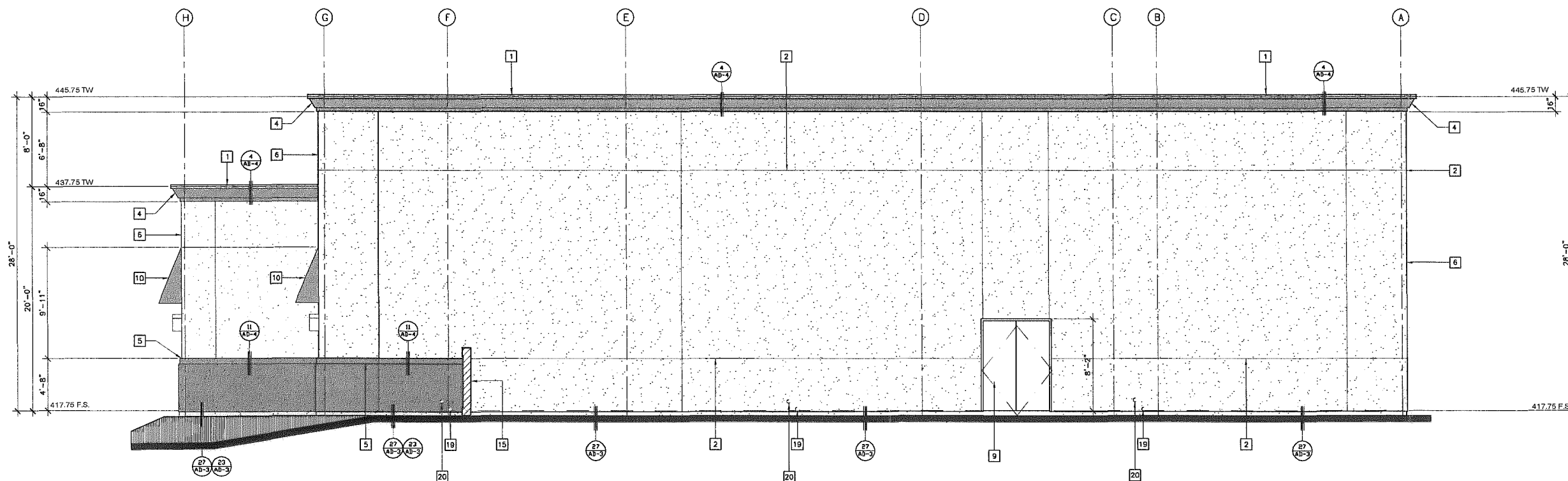
Revisions

Δ	LAND USE PACKAGE	5/12/15
Δ	DESIGN DEVELOPMENT PKG.	5/29/15
Δ	DESIGN DEVELOPMENT PKG.	6/8/15
Δ	90% CD	7/7/15
Δ	100% CD	7/27/15
Δ	100% CD SUBMITTAL & BID SET	8/12/15
Δ	UPDATED BID SET	8/17/15
Δ	MECHANICAL EQUIPMENT REVISIONS	9/18/15
Δ	CYCLE 2 REVISIONS	10/7/15
Δ	CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WCA

 Sheet Title
 Elevation

A-10



North Elevation

SCALE: 1/4"=1'-0"



derra
 495 E. Rincon Street, Suite 204
 Corona, CA 92879
 Ph: 951.268.1650 Fax: 951.268.1651

PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
 THE POWER OF YOU



CONVOY HUB FACILITY
 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

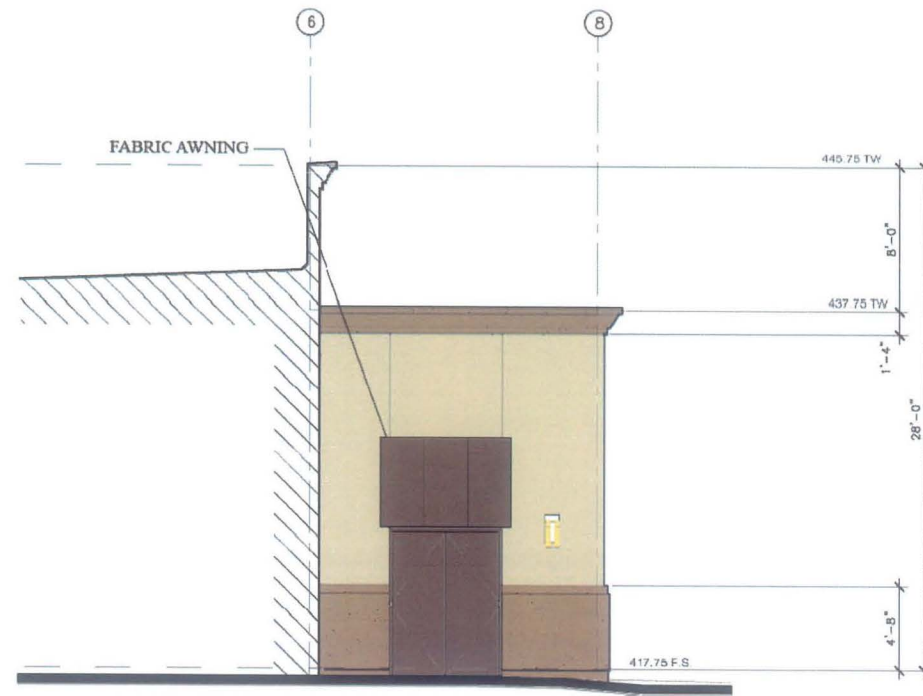
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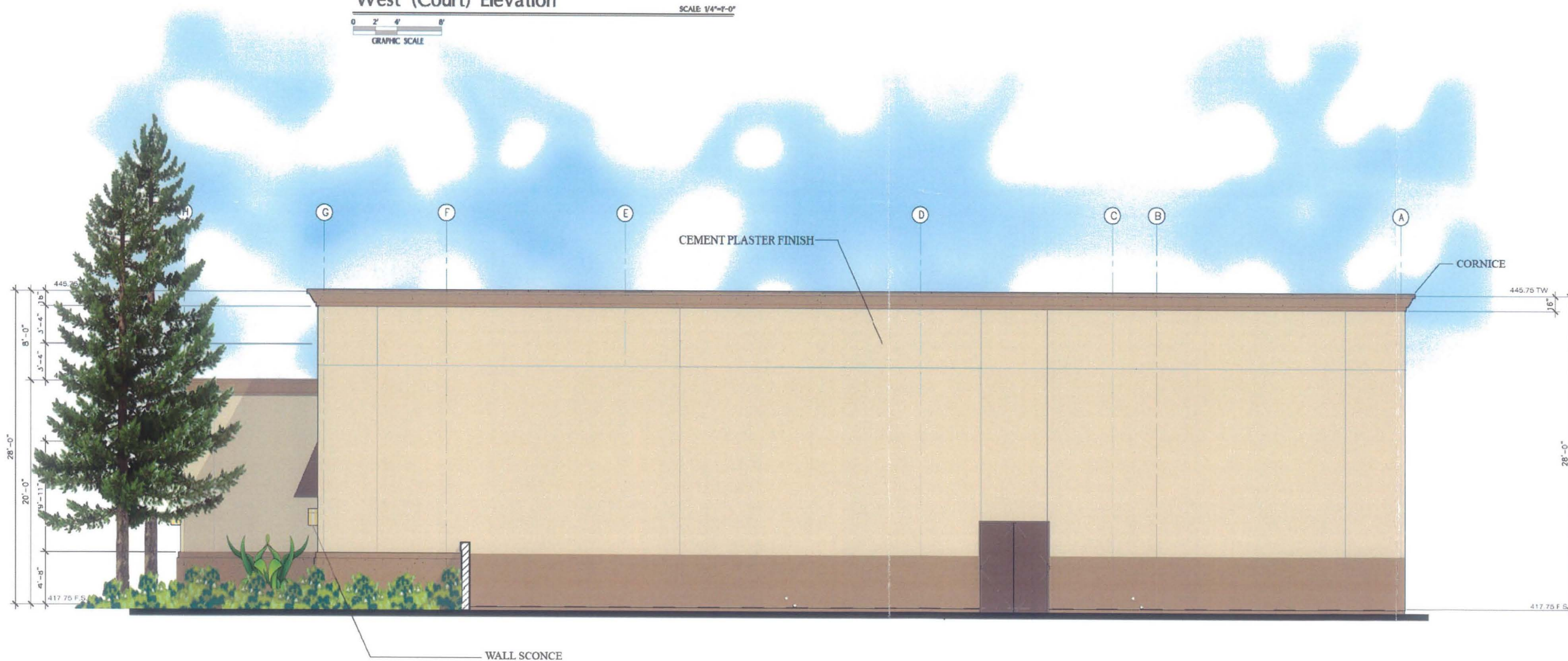
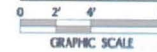
Sheet Title
Elevation

A-10



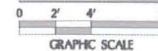
West (Court) Elevation

SCALE 1/4"=1'-0"



North Elevation

SCALE 1/4"=1'-0"





THE CITY OF SAN DIEGO

MEMORANDUM

DATE: February 19, 2016

TO: Hearing Officer/Hearing Officer Agenda 2.24.16

FROM: Sandra Teasley, Development Project Manager, Development Services Department *SMT*

SUBJECT: Time Warner Com Hub Project No. 427117; Item 5

The purpose of this memorandum is to include two additional public letters as part of the Hearing Officer Report, received on the above referenced project. Staff inadvertently did not include with "Attachment 8." Please reference the enclosed correspondence from the San Diego Regional Chamber of Commerce (dated 1.20.16) and the attached correspondence from the Asian Business Association of San Diego (dated 1.28.16).

Thank You

SANDRA TEASLEY

Enclosures:

Referenced Correspondences



414 West Broadway, Suite 1000
 San Diego, CA 92101-3585
 p. 619.544.1300

www.sdchamber.org

January 20, 2016

Sandra Teasley
 City of San Diego
 Development Services – Planning
 1222 First Ave M.S. 501
 San Diego, CA 92101

RE: Support for the Time Warner Cable "Convoy Hub" Communications Switching Station

Dear Ms. Teasley,

On behalf of the San Diego Regional Chamber of Commerce (Chamber), I am writing to express our support for the proposed Time Warner Cable "Convoy Hub" Communications Switching Station. With approximately 2,500 members representing an estimated 300,000 employees, the Chamber is actively involved in land use decisions that empower economic development. The Chamber is dedicated to promoting a business-friendly environment and growing the local economy.

Time Warner Cable's Switching Station is necessary to strengthen telecommunication infrastructure and connectivity by housing the necessary equipment to facilitate their internet, data and communication services. This unmanned facility is a core component of Time Warner Cable's business plan to improve service to their customers within the region. The proposed property was purchased four years ago specifically because of the zoning, space and location, and purchased with the intent to be used to expand the company's footprint and improve operation.

After extensive community outreach, and working closely with the Kearny Mesa Planning Group, Time Warner Cable has substantially enhanced the project to include full size retail windows, awnings, lighting and extensive façade articulation. This project will substantially upgrade the space from its current, unused state to one that has the aesthetics of an area that is prime for additional building and subsequent opportunities for commerce without increasing traffic.

The Chamber also firmly supports the City of San Diego's staff determination that the project meets the required findings of the Conditional Use Permit process and that the project is Categorically Exempt under applicable CEQA guidelines.

If you have any questions, please do not hesitate to contact Sean Karafin, Executive Director of Policy and Economic Research, at (619) 544-1352 or skarafin@sdchamber.org.

Sincerely,

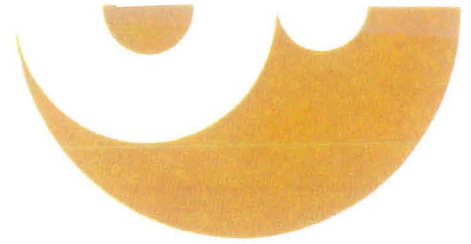
A handwritten signature in black ink, appearing to read 'J. Sanders'.

Jerry Sanders
 President & CEO
 San Diego Regional Chamber of Commerce



Asian Business Association
of San Diego

P 858-277-2822 F 858-277-2622 W www.abasd.org
7675 Dagget Street, Suite 340, San Diego, CA 92111



January 28, 2016

Via Electronic Mail and First Class Mail

Council President Sherri Lightner and
San Diego City Council
202 C Street, 10th Floor
San Diego, California 92101

Re: Kearny Mesa Time Warner Cable Facility - City Council Docket of February 2, 2016 at 2:00 p.m. /
Project No. 427117

Dear Council President Lightner and City Council Members:

I am the Chairman of the Board of Directors of the Asian Business Association ("ABA"), a non-profit organization of almost 500 members serving close to 30,000 employees in our region. The ABA serves to unite, promote and advocate the San Diego Asian business community. One of ABA's major goals is to drive economic development through investments into our community.

I am writing, alongside our President and CEO, to express the ABA's support for the proposed Time Warner Cable communication switching station ("Switching Station") located at 4020 Convoy Street in the Kearny Mesa area of San Diego. This type of infrastructure investment into this Switching Station will greatly enhance internet, data, video, and telephone services to ABA members and the Convoy / Kearny Mesa community.

On behalf of the ABA, we respectfully request that you deny the appeal to the Switching Station environmental determination. By supporting this project, San Diego can further strengthen the vibrant Kearny Mesa's commercial corridor.

Very truly yours,

Earl Wong
Chairman of the Board of Directors
Asian Business Association

Wendy Urushima-Conn
President & CEO
Asian Business Association

Cc: City Councilmember Chris Cate (via e-mail)
Sandra Teasley, Project Manager, City of San Diego (via e-mail)
Joe Gabaldon, Time Warner Cable (via e-mail)
Paul Robinson, Hecht Solberg Robinson Goldberg & Bagley (via e-mail)



City of San Diego
Development Services
1222 First Ave. 3rd Floor
San Diego, CA 92101

THE CITY OF SAN DIEGO

Development Permit/ Environmental Determination Appeal Application

FORM
DS-3031
AUGUST 2015

In order to assure your appeal application is successfully accepted and processed, you must read and understand Information Bulletin 505, "Development Permits/Environmental Determination Appeal Procedure".

1. Type of Appeal:

- ☒ Appeal of the Project
☐ Appeal of the Environmental Determination

2. Appellant: Please check one ☐ Applicant ☐ Officially recognized Planning Committee ☒ "Interested Person"
(Per M.C. Sec. 113.0103)

Name: Tim Nguyen, Wesley Quach, Michael Wong E-mail Address: wesley.quach@gmail.com; tim@convoydistrict.com
Address: 4646 Convoy St Suite 103 City: San Diego State: CA Zip Code: 92111 Telephone: (858) 336-9869

3. Project Name:

Time Warner Com Hub

4. Project Information

Permit/Environmental Determination & Permit/Document No.: 427117	Date of Decision/Determination: 02/24/16	City Project Manager: Sandra Teasley
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Decision: (Describe the permit/approval decision)
Exempt from Environmental

5. Grounds for Appeal: (Please check all that apply)

- ☐ Factual Error ☐ New Information
☐ Conflict with other matters ☐ City-wide Significance (Process Four decisions only)
☒ Findings Not Supported

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

Development is not consistent with the Community Plan.

Development is not consistent with City Municipal Code 141.0416 "Major Transmission, Relay, or Communications Switching Systems" because it does not minimize visibility from adjacent rights-of-way.

Development negatively impacts visuals and neighborhood character.

RECEIVED

MAR 9 2016

DEVELOPMENT SERVICES

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Michael Wong

Date: 3/9/16

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

DS-3031 (08-15)