



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: June 23, 2016 REPORT NO. PC-16-49

HEARING DATE: June 30, 2016

SUBJECT: SILVERGATE RANCHO BERNARDO. Process Five Decision

PROJECT NUMBER: 425893

REFERENCE: Community Plan Amendment Initiation (Report No. P-15-001), Planning Commission Agenda of January 15, 2015.

OWNER/APPLICANT: Americare Health & Retirement, Inc/Matthew Petree

### SUMMARY:

Issue: Should the Planning Commission recommend that the City Council approve the construction of a 200 unit residential care facility located at 16061 Avenida Venusto within the Rancho Bernardo Community Planning area?

### Staff Recommendations:

1. RECOMMEND the City Council **Adopt** Mitigated Negative Declaration No. 425893 and **Adopt** the Mitigation, Monitoring and Reporting Program;
2. RECOMMEND the City Council **Approve** General Plan and Community Plan Amendment No. 1498309;
3. RECOMMEND the City Council **Approve** Planned Development Permit No. 1498311;
4. RECOMMEND the City Council **Approve** Site Development Permit No. 1498312; and,
5. RECOMMEND the City Council **Approve** Conditional Use Permit No. 1498313.

Community Planning Group Recommendation: On May 19, 2015, the Rancho Bernardo Community Planning Board voted 11-0-0 to recommend approval of the project with no conditions (Attachment 9).

Environmental Review: Mitigated Negative Declaration No. 425893 has been prepared for the

project in accordance with state of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

**Fiscal Impact Statement:** None associated with this action. All costs associated with the processing for this project are paid by the applicant.

**Housing Impact Statement:** The project proposes to construct a residential care facility on a 10.88-acre vacant site in the Rancho Bernardo Community Planning area. No residential units are existing or proposed. The Rancho Bernardo Community Plan designates the site as Educational. The underlying zone is RS-1-14, which would allow for the development of a residential care facility with the approval of a Conditional Use Permit. The proposed project will allow the construction of a residential care facility which provides housing for individuals with disabilities or special needs.

## BACKGROUND

The project proposes to construct a 223,797-square-foot residential care facility on a vacant 10.88-acre site located at 16061 Avenida Venusto in the RS-1-14 Zone within the Rancho Bernardo Community Planning Area. The project site consists of one previously graded vacant lot originally planned as an elementary school for the Poway School District. In May 2012, the Poway Unified School District designated the site as "surplus" property after their Real Estate Property Advisory Committee determined there was no current or future need to develop the site as a school. In December 2013, the Poway School District sold the property to Americare Health & Retirement, Inc.

The parcel is currently designated Educational. The proposed Community Plan Amendment would re-designate the parcel to Residential (Low Density 1-9 du/ac) which would allow for the development of a residential care facility providing assisted living and/memory care for seniors with a Conditional Use Permit. The site is located in the middle of a developed area. Directly to the north is the Bernardo Heights Community Center, to the west and south are existing residences and to the east is designated open space that is privately owned by the Bernardo Heights Association.

On January 15, 2015 the Planning Commission initiated a Community Plan/General Plan Amendment to redesignate the site from Educational to Residential. Reference the Community Plan Analysis section of this report (Attachment 9).

The proposed project is a State-licensed, age-restricted Residential Care Facility for the Elderly (RCFE) which will be strictly regulated through a Conditional Use Permit and the California Department of Social Services. Based on the Planning Commission Classification of Use determination made on April 11, 2013, the Glen at Scripps Ranch facility was determined to be most like a Residential Care Facility. City staff requested that the Planning Commission recommendation to the Development Services Director be applied City-wide to similar facilities with the exception of those in Prop "A" Lands. Since the proposed Residential Care Facility will be use-restricted by the implementation of a Conditional Use Permit and State licensing requirements, the care units cannot be considered or converted to individual dwellings units or multiple dwelling unit housing available to the general public for rent or ownership.

The project requires four approvals and a Mitigated Negative Declaration. A General Plan Amendment is required to revise the Land Use Plan map from Educational to Residential for this site and a Community Plan Amendment is required to re-designate the site from Educational to Residential land use designation. A Planned Development Permit (PDP) is required for deviations to building height and the allowance of monument signs. A Site Development Permit is required as the site contains environmentally sensitive lands, and a Conditional Use Permit is required to operate a residential care facility for seven or more persons.

## DISCUSSION

### Project Description:

The project proposes the construction of a 200 unit residential care facility within 16 buildings, including a common dining facility building and a club house building. The units consist of three housing types identified as apartments, cottages, and memory care units. A total of 20 single story cottage type units are proposed within nine duplexes and two single unit buildings, 132 apartment type units, and 48 memory care type units. A clubhouse building is proposed at the center of the apartment and assisted living/memory care wings (Attachment 14). The cottage units located within the southern half of the site, are comprised of a mix of two bedrooms, two bedrooms with den, and three bedroom units each a two car garage. The apartment units are located in the three-story wings in the middle of the site, and on the third floor of the central clubhouse (Attachment 12). The apartment units are a mix of studios, and one bedroom and two bedroom units. The three story clubhouse will provide common areas and activities rooms including a library, lounge, theater, game room, art studio, health center and fitness room. Located on the north end of the site, the memory care building is a two-story structure and includes a mix of private rooms with private bathrooms and private rooms with semi-private bathrooms. The project also includes an underground parking structure for residents and employees, a central outdoor courtyard and garden, and, outdoor activity areas including walking trails, a pool, and recreational areas. The facility will be regulated by the California Department of Social Services and would include 24 hour care, seven days a week.

The architectural style selected for the development is Mediterranean. This style is consistent with the Rancho Bernardo Community Plan which emphasizes the importance of maintaining a Mediterranean architectural style throughout the community. Architectural features of the project include rectangular floor plates, symmetrical primary facades, stucco walls with accent plaster or stone detail, tiled roofs and towers, arched windows, articulated doors and keystone ornamentation. A total of 201 parking spaces will be provided where 123 are required.

### Community Plan Analysis:

This analysis discusses a range of issues and benefits associated with the proposed community plan amendment and development project, including issues identified in Report to Planning Commission No. PC-15-001, as well as those that the Planning Commissioners directed staff to consider at the initiation of the plan amendment. The proposal to redesignate the subject property from Educational to Residential (low density 1-9 du/ac) requires an amendment to the Rancho Bernardo Community Plan to change the land use designation from Educational to Residential (low density 1-9 du/ac) and to revise the Land Use map in the General Plan from Institutional and Public, Semi-Public Facilities to



Residential. The site was deemed surplus by the Poway Unified School District and sold to the applicant in 2013 after having been offered for public use.

The proposed residential care facility does not contain dwelling units based upon the definition of a dwelling unit in the Land Development Code. The proposed use is considered "group housing" and is regulated by the California Department of Social Services. While group housing does not have dwelling units, it is a residential use and would conform to the proposed residential-low density designation. The approval of this plan amendment would increase the amount of land in Rancho Bernardo available for housing of people in need of residential care facilities, which is consistent with General Plan Housing Element policies that support the provision of housing for people with special needs that include the elderly and people with disabilities.

The proposed amendment would implement several policies in the Rancho Bernardo Community Plan. Specifically, the Housing and Residential land use Element of the Rancho Bernardo Community Plan has residential objectives including: to encourage a housing inventory consisting of a wide variety of housing types and prices, to maintain the existing quality and character of Rancho Bernardo in all new development and to develop a high quality residential environment. The proposal would implement these goals through a project that provides: a variety of housing type including assisted living and independent cottages, a design that complements the existing quality and character of the neighborhood with stucco exteriors, tile roofs and use of wrought iron, a high quality environment including location in an established residential area with opportunities for outdoor recreation, gardening and on-site dining alternatives. In particular, the proposal would provide additional housing facilities for the elderly and people with disabilities that provide a level of sheltered living that was not as prevalent in the community.

The Circulation Element of the Rancho Bernardo Community Plan has an objective to provide a system that minimizes areas of conflict between pedestrian, bicycles and motor vehicle traffic while adequately serving all three transportation modes. The proposal would help implement this objective by providing pedestrian amenities that could provide additional opportunities for connectivity to adjacent open space and minimize conflict with bicycles and motor vehicles. The proposal would not result in any significant transportation-related impacts, based on a Traffic Impact Study prepared by Fehr & Peers, from August 2015 utilizing City of San Diego significance criteria. Therefore, no traffic improvements are required.

The Open Space, Parks and Recreation Element of the Rancho Bernardo Community Plan has objectives to provide park and recreation facilities that meet the needs of all age groups and interests in the Rancho Bernardo community and meet or exceed citywide standards. The proposal would implement this proposal through a design that features private recreation facilities including a swimming pool, bocce ball court and community garden. In addition, public space would be offered by addition of a tot lot and dog area, benches and decorative light standards, meandering public sidewalk along Avenida Venusto and a pedestrian path forming a connection to designated open space to the east of the project site, as well as around the perimeter of the site.

The proposed amendment would facilitate development consistent with several policies in the General Plan. The General Plan Land Use Element has goals for Balanced Communities and Equitable Development including: community and neighborhood-specific strategies and implementation measures to achieve equitable development. Among the policies to implement those goals are: promote development of balanced communities that take into account community-



wide involvement, participation, and needs (LU-H.1); ensure that neighborhood development and redevelopment addresses the needs of older people, particularly those disadvantaged by age, disability, or poverty (LU-H-1,d); provide a full range of senior housing from active adults to convalescent care in an environment conducive to the specific needs of the senior population (LU-H.1, f).

The proposed amendment appears consistent with the General Plan's goals for Balanced Communities and Equitable Development because the land use plan initiation is the first step towards the applicant's intent to propose a residential care facility for this site. A residential care facility would represent a key aspect of a full range of senior housing from active adult to convalescent care in an environment conducive to the specific needs of the senior and elderly population, as the proposal would provide assisted living, memory care and convalescent care in an environment conducive to needs of seniors. The proposed plan amendment would also be consistent with the city's practice to apply zoning that is consistent with community plan land use designations to ensure their implementation. Residential care facilities are classified as a residential use category in the Municipal Code, and the redesignation action would also bring the land use into conformity with the site's current zoning (RS-1-14). Additionally, the residential designation at a low-density (1-9 du/ac) will ensure future development is compatible with the surrounding neighborhood, a community concern expressed during initial discussions of the proposal.

The proposal would implement a goal for Open Space and Landform Preservation in the Conservation Element of the General Plan for preservation and long-term management of the natural landforms and open spaces that help make San Diego unique. The site, including the open space area immediately east of the subject site was of community concern regarding its stability. A Preliminary Geotechnical Investigation prepared by Geosoils, dated 06-27-2014, under the section "Slope Stability" found the slopes to be generally considered stable. The Geosoils report also found no adverse geological structures, such as faults, landslides, fractures or joints, or secondary seismic hazards that would preclude development.

The proposal would implement a policy in the General Plan Recreation Element to include recreation needs in community plans, consistent with a Parks Master Plan, to ensure that facilities and programs reflect community preferences, including the growing demand for senior activities (RE-B.3). The proposed project would provide a swimming pool, tot lot, dog area, bocce ball court, meandering public sidewalk and interconnected pedestrian path to open space for residents to use. The proposed project would not result in a significant increase in the demand for parks or other off-site recreational facilities and would not result in the need for new park facilities or expansion of existing park facilities per the Mitigated Negative Declaration.

The proposal would implement General Plan Conservation Element goals regarding Climate Change & Sustainable Development through a project that would qualify for a Leadership in Energy & Environmental Design (LEED) Certification for Building Design and Construction. LEED Certification would be implemented through an extensive rooftop photovoltaic (PV) solar system that is intended to offset a significant portion of the project's energy demands. A centralized commercial greywater system intended to meet a significant portion of the project's irrigation needs is being proposed, meeting head on the water challenges in the current drought conditions. Drought resistant, water-wise planting throughout the project, along with the use of artificial turf in several recreational areas is proposed. Rainwater capturing biofiltration basins onsite, reducing the strain on municipal stormwater drains, energy saving LED lighting fixtures for interior and exterior lighting fixtures, low

flow plumbing fixtures including toilets, showerheads and faucets round out the sustainability features.

The Public Facilities, Services and Safety Element of the General Plan has a goal to provide the public facilities and services needed to serve the existing population and new growth. The proposed change in use would not adversely affect the existing levels of fire protection services to the area and would not require the construction of a new or expanded existing facility. Police protection services are already provided in the area and the proposed project would not adversely affect existing levels of police protection or create a significant new demand, nor would it require the construction of a new facility or expansion of an existing facility per the Mitigated Negative Declaration. In addition, a Gray Water Feasibility Analysis prepared by CGK Consulting Engineers, dated September 2015 demonstrated the proposed project's compliance with the allocated sewage capacity. Also, extension of infrastructure would not be required, only a connection to it, per the Mitigated Negative Declaration.

The General Plan Urban Design Element has goals for a pattern and scale of development that provides visual diversity, choice of lifestyle, opportunities for social interaction, and that respects desirable community character and context. A policy regarding residential design is to provide innovative designs for a variety of housing types to meet the needs of the population (UD-B1, c). The proposed project would implement this policy by offering a residential care facility to meet the demand for assisted senior housing/choice of lifestyle in the community with opportunities for social interaction, as well as possible opportunities to the broader community. Another specific Urban Design policy for residential design is to integrate new construction with the existing fabric and scale of development in surrounding neighborhoods. Taller or denser development is not necessarily inconsistent with older, lower-density neighborhoods, but must be designed with sensitivity to existing development (UD-B1, a). The proposal would implement this policy through a design that features one-story cottages facing Avenida Venusto with the taller, two and three-story assisted living structures located further back in the interior of the site. The proposal would be compatible with the existing neighborhood in terms of height, bulk, scale, setback, open space, landscaping, parking and architecture. The taller buildings, placed further back in the interior of the site and screened with trees and landscaping, together with the cottages fronting the right-of-way, would better integrate the development within the predominately two-story neighboring development.

The Noise Element of the General Plan has recommendations to require noise reducing site design, and/or traffic control measures for new development in areas of high noise to ensure that the mitigated levels meet acceptable decibel limits. Standard construction noise control methods including adhering to permissible hours of operation (7:00 a.m. to 7:00 p.m.), maintaining equipment in proper operating condition, and placing staging areas at furthest locations from noise sensitive receivers, are expected to be sufficient for reducing noise impacts to a less than significant level. Long term, operational noise associated with a residential care facility is typically lower than the levels associated with the original use as an elementary school and would not reach a level of significance, according to the Mitigated Negative Declaration.

Staff recommends support for the plan amendment for several reasons. The designated education site was determined surplus by the school district and subsequently sold to the applicant; the proposed residential land use fits within the residential neighborhood and with zoning already in place; the housing type fits a community need for special needs housing; and the project is designed to minimize effect of bulk/scale along Avenida Venusto to fit in with the neighborhood while



incorporating the architectural style of the neighborhood. The project also provides onsite recreational amenities and pedestrian trails with a link to designated open space.

Environmental Analysis:

The project required the preparation of a Mitigated Negative Declaration (MND) for potential impacts to biological and paleontological resources. Biological impacts require mitigation measures to contribute to the City of San Diego Habitat Acquisition Fund (HAF) for the loss of 0.3-acres of Diegan Coastal Sage Scrub (Tier II habitat) and 3.8-acres of Non-Native Grassland (Tier IIIB habitat) resulting in a 4.1-acre equivalent contribution to the HAF plus a ten percent (10%) administration fee. Additional mitigation includes an onsite paleontological monitor during grading activities. The project now avoids or mitigates any potentially significant environmental impacts to these resources in accordance with the California Environmental Quality Act.

Project-Related Issues:

Deviations

The proposed project includes deviations to structure height and to monument sign allowance. The deviations were analyzed by staff to determine consistency with the goals and recommendations of the Community Plan, the purpose and intent of the RS-1-14 zone, and the Planned Development Permit ordinance. Four of the structures will exceed the allowable height limit of 35 feet, ranging from 47'-6" to 55'-0" measured at pre-existing grade and 41'-6" to 47'-1" measured from finished grade as noted below:

**Height Deviation Table (Pre-Existing and Finished Grade Measurements)/ 35 feet Maximum Allowed**

	<b>Assisted Living Structure (West Wing)</b>	<b>Assisted Living Structure (East Wing)</b>	<b>Memory Care</b>	<b>Club House</b>
Max Structure Height at Pre-Existing Grade	53 feet 4 inches to 55 feet	53 feet 3 inches	47 feet 6 inches	52 feet 6 inches to 55 feet
Max Structure Height at Finished Grade	41 feet 6 inches	41 feet 6 inches	44 feet 8 inches	47 feet 1 inch

The project proposes a maximum structural height of 55 feet, 20 feet above the allowable height limit measured above pre-existing grade in order to accommodate roof elements that will enhance the architectural aesthetic of the buildings. The 55-foot maximum height is requested by the applicant to address potential minor variations that may occur during the development of the construction drawings for the proposed west wing and club house buildings. The roof elements exceeding the height limit are consistent in architectural style with the Community Plan. The project provides over 3,000 linear feet of enhanced landscaped pathways and is designed to be ADA accessible with walkways that do not exceed three percent in slope. In order to achieve the flat terrain, the existing sloped pad must be filled on the northern half of the site. Since the building height must be measured from pre-existing grade, the proposed fill contributes to the need for a height deviation.

In addition, the project incorporated Mediterranean architecture with peaked tile roofs and towers to be compatible with design of neighboring developments rather than using a design with flat and lower pitched roofs. The proposed design results in the need for a maximum height deviation of 20 feet from pre-existing grade and 12 feet one inch from finished grade. The buildings located on the northern half of the site that necessitate the height deviation are buffered from public view by the existing natural slope and a grove of large mature Aleppo pine trees located along Avenida Venusto. The buildings are also set back over 100 feet from the street beyond a slope on both the west and south sides of the site. Staff supports the maximum 12-foot one inch height deviation from finished grade due to the topographic conditions and required fill necessary to level the site. Additionally, as the buildings will be set back from the street and sited internally within the property, the building's visibility from the right-of-way and adjacent properties will be reduced.

A sign deviation is requested as monument signs are not allowed in single family zones. The project proposes four two-foot high monument signs at the driveway entrances. Single family residential zones are only allowed street address numbers at one half square-foot inch and a one square foot name plate. Staff supports the sign deviation as the entry signage serves as wayfinding for its senior population, guests, service providers and emergency vehicles to identify the project and provides a unique sense of individual community identity.

The intent of Planned Development Permits are to allow flexibility in the application of development regulations to accommodate, to the greatest extent possible, an equitable balance of development types, intensities, styles, site constraints, project amenities, public improvements and community and City benefits. Additionally, flexibility should be considered where application of the base zone development regulations would restrict design options and result in a less desirable project. The project site contains constraints due to the topographic conditions and its irregular shape. These factors limit design opportunities.

The residential care facility is consistent with the design standards of the Planned Development Permit which requires a comparative analysis of the surrounding developments. The overall height and massing proposed is generally consistent with the development pattern of the surrounding community. The facility was designed to incorporate all of the architectural guidelines that are an integral part of the neighborhood. Adherence to these guidelines facilitates compatibility with the neighborhood. The project meets the purpose and intent of the Planned Development Permit and provides additional housing for people with disabilities and special needs which is a community and City benefit.

#### Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project and draft conditions of approval (Attachments 5 -8). Staff recommends that the Planning Commission recommend approval of the project as proposed.



## ALTERNATIVES

1. Recommend Approval to the City Council project for General Plan and Community Plan Amendment No. 1498309, Planned Development Permit No. 1498311, Site Development Permit No. 1498312, and Conditional Use Permit No. 1498313 with modifications.
2. Recommend Denial to the City Council of the General Plan and Community Plan Amendment No. 1498309, Planned Development Permit No. 1498311, Site Development Permit No. 1498312, and Conditional Use Permit No. 1498313 if the findings required approve the project cannot be affirmed.

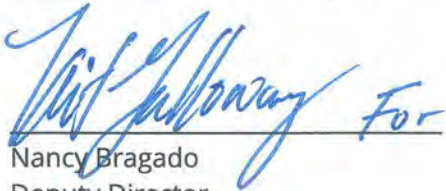
Respectfully submitted,



Elyse Lowe  
Deputy Director  
Development Services Department



William Zounes  
Development Project Manager  
Development Services Department



Nancy Bragado  
Deputy Director  
Planning Department

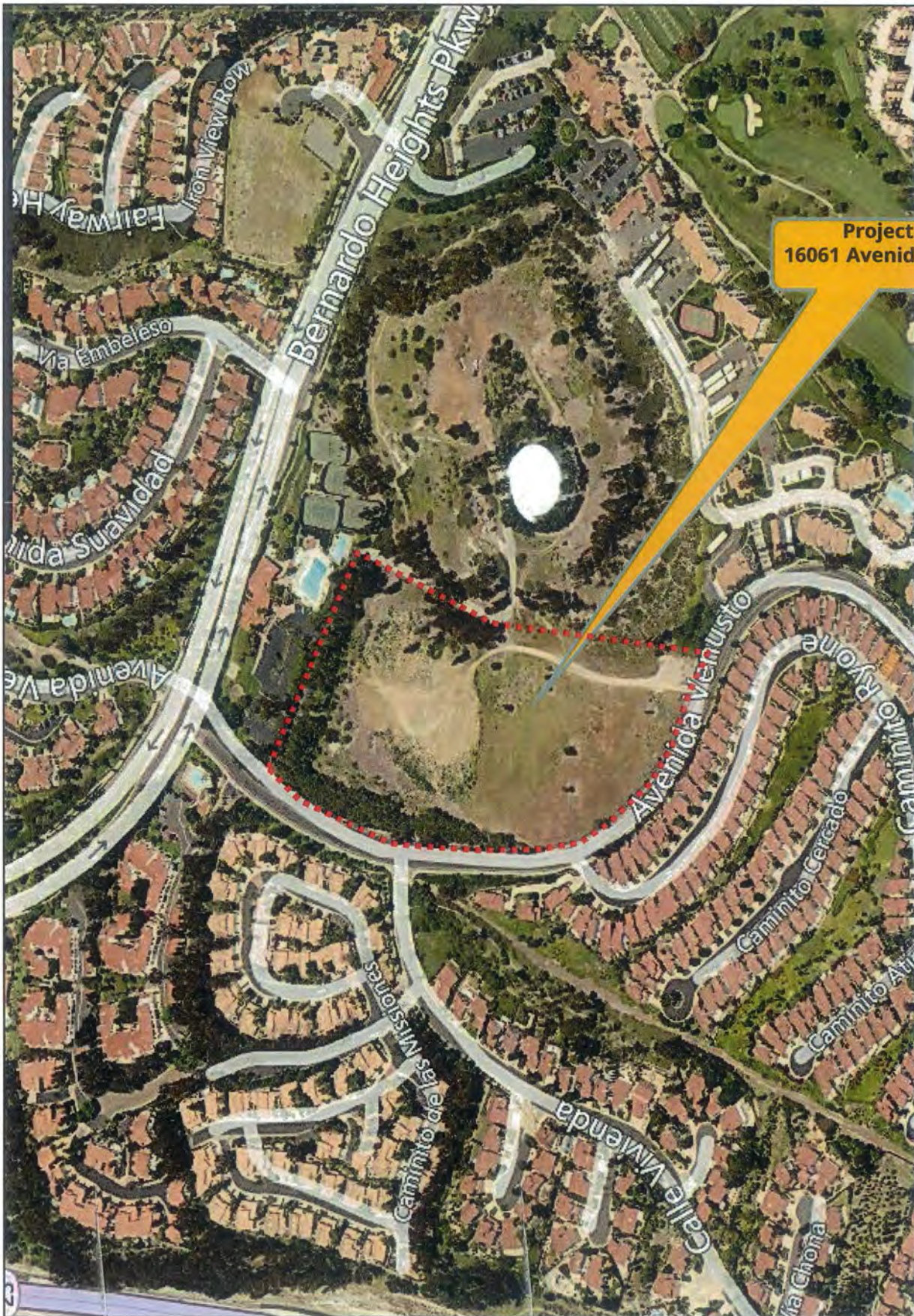
VACCHI/WZ

## Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit with Conditions
6. Draft Resolution with Findings
7. Draft Environmental Resolution
8. Draft General and Community Plan Resolution
9. Community Plan Amendment Initiation Resolution
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Proposed Amendment Site for Rancho Bernardo Community Plan
13. Project Rendering
14. Project Plans



# Attachment 1 Aerial Photograph of Site



Project Site  
16061 Avenida Venusto

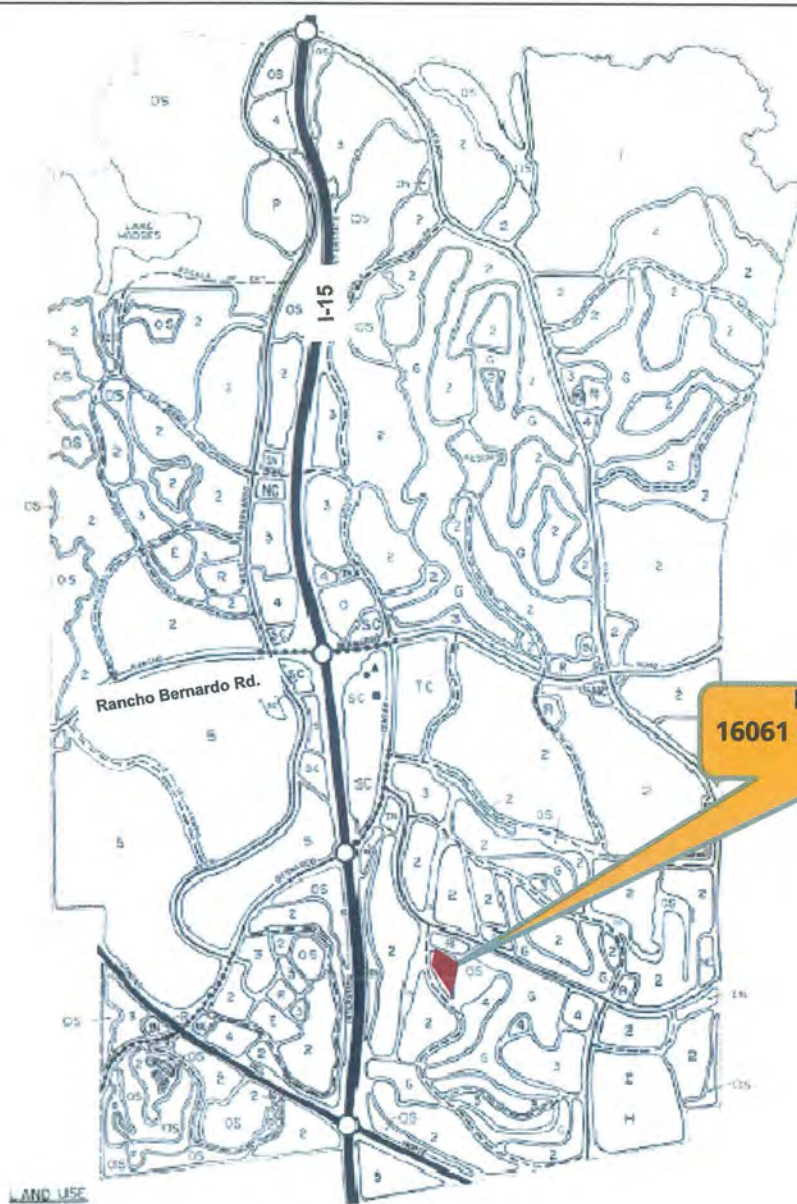
## Aerial Photograph (Birds Eye)

Silvergate Rancho Bernardo Project No. 425893  
16061 Avenida Venusto





# Attachment 2 Community Plan Land Use Map



**Project Site**  
16061 Avenida Venusto

- LAND USE**
- RESIDENTIAL**
- 1 VERY LOW 5-10% A
  - 2 LOW 1-4% B
  - 3 LOW-MEDIUM 9-14% C
  - 4 MEDIUM 4-20% D
- COMMERCIAL**
- TC TOWN CENTER
  - NC NEIGHBORHOOD
  - SC SPECIALIZED
  - OF OFFICE
  - RS RESORT
- INDUSTRIAL**
- I INDUSTRY
- EDUCATIONAL**
- E ELEMENTARY
  - INT INTERMEDIATE
  - HS HIGH SCHOOL

- INSTITUTIONAL**
- IN INSTITUTION & FIRE STATION
  - LS LIBRARY
  - MS MUSEUM
- RECREATIONAL**
- P PUBLIC PARK
  - R PRIVATE RECREATION
  - G GOLF COURSE
  - OS OPEN SPACE
- CIRCULATION**
- FW FREEWAY
  - EXP EXPRESSWAY
  - GL 6-LANE MAJOR STREET
  - AL 4-LANE MAJOR STREET
  - CS COLLECTOR STREET

**RANCHO BERNARDO  
COMMUNITY PLAN**



DATE OF PLAN 1995  
PLANNING DEPARTMENT  
APRIL 1995

**Rancho Bernardo Land Use Plan**

Silvergate Rancho Bernardo Project No. 425893

16061 Avenida Venusto



**Rancho Bernardo Community Plan Map**  
Rancho Bernardo Community Plan





**Project Site**  
16061 Avenida Venusto

## Attachment 3 Project Location Map



### Project Location Map

**Silvergate Rancho Bernardo Project No. 425893**  
**16061 Avenida Venusto**



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Silvergate Rancho Bernardo	
<b>PROJECT DESCRIPTION:</b>	The construction of a 200-unit assisted living and memory care facility	
<b>COMMUNITY PLAN AREA:</b>	Rancho Bernardo	
<b>DISCRETIONARY ACTIONS:</b>	Community Plan Amendment/Planned Development Permit/Site Development Permit/Conditional Use Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Educational	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> RS-1-14		
<b>HEIGHT LIMIT:</b> 35 feet		
<b>LOT SIZE:</b> 10.9-acres		
<b>FLOOR AREA RATIO:</b> 0.60 maximum.		
<b>FRONT SETBACK:</b> 15 feet.		
<b>SIDE SETBACK:</b> 4 feet		
<b>STREETSIDE SETBACK:</b> 10feet.		
<b>REAR SETBACK:</b> 10 feet		
<b>PARKING:</b> 123 spaces required, 201 provided		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Private Recreation/Residential; RS-1-14/RM-1-1	Bernardo Heights Community Center
<b>SOUTH:</b>	Residential; RS-1-14	Residential Development
<b>EAST:</b>	Open Space; RS-1-14	Water Tank; Residential
<b>WEST:</b>	Residential; RS-1-14/RM-1-1	Residential Development
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Height deviation and a deviation to allow entry signs.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On May 19, 2016 the Rancho Bernardo Community Planning Board voted 11-0-0 to recommend approval of the project.	

RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

WHEN RECORDED MAIL TO  
CITY CLERK  
MAIL STATION 2A

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INTERNAL ORDER NUMBER: 24004903SPACE ABOVE THIS LINE FOR RECORDER'S USE

Planned Development Permit No. 1498311  
Site Development Permit No. 1498312  
Conditional Use Permit No. 1498313

**SILVERGATE RANCHO BERNARDO - PROJECT NO. 425893 [MMRP]**  
City Council

This Planned Development Permit No. 1498311, Site Development Permit No. 1498312, and Conditional Use Permit No. 1498313 is granted by the City Council of the City of San Diego to AMERICARE HEALTH & RETIREMENT, INC., Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 122.0105, 126.0602, 143.0110, and 141.0312. The 10.8-acre site is located at 16061 Avenida Venusto, in the RS-1-14 zone within the Rancho Bernardo Community Plan. The project site is legally described as: Lot 5 of Bernardo Heights Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 9606 as filed in the Office of the County Recorder of San Diego County, April 4, 1980;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a 200-unit residential care facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated xxxxxx, on file in the Development Services Department.  
The project shall include:

- a. 200-unit, 223,797 square-foot residential care facility for senior citizens as follows:
- b. Deviations:
  - i. Height deviation of 55 feet maximum where 35 feet is allowed
  - ii. Four, two-foot high monument signs where ground signs are not allowed.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;



- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by xxxxxx.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA],



executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in



defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 425893 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 425893, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: biological resources and paleontological resources

**ENGINEERING REQUIREMENTS:**

15. The project proposes to export 1,296 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan is subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private storm drain connection into the Public storm drain system in the Avenida Venusto right-of-way.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of two current City Standard curb return access driveways, per approved Exhibit "A," adjacent to the site on Avenida Venusto, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard sidewalk per approved Exhibit "A," adjacent to the site on Avenida Venusto, satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional four feet on Avenida Venusto to provide a 14 foot curb-to-property-line distance, satisfactory to the City Engineer.
22. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Applicant must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard storm drain system, per approved Exhibit "A", adjacent to the site in the Avenida Venusto right-of-way, satisfactory to the City Engineer.
24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard curb ramps per Standard Drawing SDG-130 and SDG-132 with truncated domes, at the project entrance on Avenida Venusto, per approved Exhibit 'A', satisfactory to the City Engineer.
25. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.
26. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code (SDMC), into the construction plans or specifications.
27. Prior to the issuance of any construction permit, the Water Quality Technical Report will be subject to final review and approval by the City Engineer.
28. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-00090DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2007-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
29. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be



submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

**LANDSCAPE REQUIREMENTS:**

30. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

31. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

**PLANNING/DESIGN REQUIREMENTS:**

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. All signs associated with this development shall be consistent with sign criteria established by the approved Exhibit "A".

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the San Diego Municipal Code.

37. The proposed access gate to the adjacent open space area will remain locked until a sustainable trail has been designed, approved by the City of San Diego, and installed in accordance with the approved trail plan.

38. All employee parking shall be restricted within the project site and employees shall be discouraged from parking on adjacent residential streets.

39. All deliveries to the facility shall occur between 7:00 AM and 7:00 PM.
40. Prior to the issuance of the first construction, construction information including contact information shall be provided to nearby Home Owners Associations and the Planning Board Chair in order to facilitate rapid response if problems associated with construction occur.

**TRANSPORTATION REQUIREMENTS:**

41. Prior to the first occupancy permit, the owner/permittee shall install one new 25 foot wide driveway on Avenida Venusta opposite and centered with the existing Caminito Ryone right of way. Said driveway must be standard driveway SDG-160 and perpendicular to the right-of-way, satisfactory to the City Engineer.
42. The Owner/Permittee shall install all-way stop signs at the intersection of Avenida Venusto/ Caminito Ryone/project driveway, to the satisfaction of the City Engineer.
43. The Owner/Permittee shall relinquish abutter's rights onto Avenida Venusto with the exception of one new 25 foot wide driveway on Avenida Venusta opposite and centered with the existing Caminito Ryone right of way, to the satisfaction of the City Engineer.
44. Prior to the first occupancy permit, the Owner/Permittee shall remove the existing contiguous sidewalk and install a minimum of a 5-foot noncontiguous sidewalk from the driveway on Avenida Venusta opposite and centered with the existing Caminito Ryone right of way to the southern end of the parcel, satisfactory to the City Engineer.
45. A minimum of 123 off-street automobile parking spaces (201 provided), 5 motorcycle, 26 bicycle parking spaces and two loading zones shall be permanently maintained on the property within the approximate location shown on the Exhibit "A." Further, all parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate decision maker.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
47. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.



48. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of the gray water system in a manner satisfactory to the Public Utilities Director and the City Engineer. The gray water system shall irrigate a minimum of 89,978 Square feet of the proposed landscape as shown on the approved Exhibit "A".

49. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

50. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

51. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**GEOLOGY REQUIREMENTS:**

52. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

53. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on xxxxxx.

**Attachment 5**  
**Draft Permit with Conditions**

Permit Type/PTS Approval No.: PDP No. 1498311/CUP No. 1498313/ SDP No. 1498312  
Date of Approval: XX

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Elyse Low  
Deputy Director

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

DRAFT



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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**[Name of Company]**

Owner/Permittee

By \_\_\_\_\_  
Americare Health & Retirement, Inc.

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

CITY COUNCIL RESOLUTION NO. \_\_\_\_\_  
PLANNED DEVELOPMENT PERMIT NO. 1498311  
SITE DEVELOPMENT PERMIT NO. 1498312  
CONDITIONAL USE PERMIT NO. 1498313  
**SILVERGATE RANCHO BERNARDO – PROJECT NO. 425893**  
**[MMRP]**

WHEREAS, AMERICARE HEALTH & RETIREMENT, INC, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit, Site Development Permit, and Conditional Use Permit to construct a 223,797 square-foot, 200-unit residential care facility known as the Silvergate Rancho Bernardo project, located at 16061 Avenida Venusto, and legally described as Lot 5 of Bernardo Heights Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 9606 as filed in the Office of the County Recorder of san Diego County, April 4, 1980, in the Rancho Bernardo Community Plan area, in the RS-1-14 zone; and

WHEREAS, on June 30, 2016, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) No. 1498311, Site Development Permit (SDP) No. 1498312, and Conditional Use Permit (CUP) No. 1498313, and pursuant to Resolution No. \_\_\_\_\_-PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,



BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to PDP No. 1498311, SDP No. 1498312, and CUP No. 1498313:

**A. PLANNED DEVELOPMENT PERMIT – SECTION 126.0604**

**1. The proposed development will not adversely affect the applicable land use plan.**

The proposal to redesignate the subject property from Educational to Residential (low density 1-9 du/ac) requires an amendment to the Rancho Bernardo Community Plan to change the land use designation from Educational to Residential (low density 1-9 du/ac) and to revise the Land Use map in the General Plan from Institutional and Public, Semi-Public Facilities to Residential. The site was deemed surplus by the Poway Unified School District and sold to the applicant in 2013 after having been offered for public use. While residential care facilities do not typically contain dwelling units based upon the definition of dwelling unit in the Land Development Code, the proposed use may be considered 'group housing' and would conform to the proposed residential-low density designation. The approval of this plan amendment would increase the amount of land in Rancho Bernardo available for housing of people in need of residential care facilities, which is consistent with General Plan Housing Element policies that support the provision of housing for people with special needs that include the elderly and people with disabilities.

The proposed amendment would implement several policies in the Rancho Bernardo Community Plan. Specifically, the Housing and Residential land use Element of the Rancho Bernardo Community Plan has residential objectives including: to encourage a housing inventory consisting of a wide variety of housing types and prices, to maintain the existing quality and character of Rancho Bernardo in all new development and to develop a high quality residential environment. The proposal would implement these goals through a project that provides: a variety of housing type including assisted living and independent cottages, a design that complements the existing quality and character of the neighborhood with stucco exteriors, tile roofs and use of wrought iron, a high quality environment including location in an established residential area with opportunities for outdoor recreation, gardening and on-site dining alternatives. In particular, the proposal would provide additional housing facilities for the elderly and people with disabilities that provide a level of sheltered living that was not as prevalent in the community.

The Circulation Element of the Rancho Bernardo Community Plan has one objective to provide a system that minimizes areas of conflict between pedestrian, bicycles and motor vehicle traffic while adequately serving all three transportation modes. The proposal would help implement this objective by providing pedestrian amenities that could provide additional opportunities for connectivity to adjacent open space and minimize conflict with bicycles and motor vehicles. The proposal would not result in any significant transportation-related impacts, based on a Traffic Impact Study prepared by Fehr & Peers, from August 2015 utilizing City of San Diego significance criteria. Therefore, no traffic improvements are required.

The Open Space, Parks and Recreation Element of the Rancho Bernardo Community Plan has objectives to provide park and recreation facilities that meet the needs of all age groups and interests in the Rancho Bernardo community and meet or exceed citywide standards. The proposal would implement this proposal through a design that features private recreation facilities including a

swimming pool, bocce ball court and community garden. In addition, public space would be offered by addition of a tot lot and dog area, benches and decorative light standards, meandering public sidewalk along Avenida Venusto and a pedestrian path forming a connection to designated open space to the east of the project site, as well as around the perimeter of the site.

The proposed amendment would facilitate development consistent with several policies in the General Plan. The General Plan Land Use Element has goals for Balanced Communities and Equitable Development including: community and neighborhood-specific strategies and implementation measures to achieve equitable development. Among the policies to implement those goals are: promote development of balanced communities that take into account community-wide involvement, participation, and needs (LU-H.1); ensure that neighborhood development and redevelopment addresses the needs of older people, particularly those disadvantaged by age, disability, or poverty (LU-H-1,d); provide a full range of senior housing from active adults to convalescent care in an environment conducive to the specific needs of the senior population (LU-H.1, f).

The proposed amendment is consistent with the General Plan's goals for Balanced Communities and Equitable Development because the land use plan initiation is the first step towards the applicant's intent to propose a residential care facility for this site. A residential care facility would represent a key aspect of a full range of senior housing from active adult to convalescent care in an environment conducive to the specific needs of the senior and elderly population, as the proposal would provide assisted living, memory care and convalescent care in an environment conducive to needs of seniors. The proposed plan amendment would also be consistent with the city's practice to apply zoning that is consistent with community plan land use designations to ensure their implementation. Residential care facilities are classified as a residential use category in the Municipal Code, and the redesignation action would also bring the land use into conformity with the site's current zoning (RS-1-14). Additionally, the residential designation at a low-density (1-9 du/ac) will ensure future development is compatible with the surrounding neighborhood, a community concern expressed during initial discussions of the proposal.

The proposal would implement a policy in the General Plan Recreation Element to include recreation needs in community plans, consistent with a Parks Master Plan, to ensure that facilities and programs reflect community preferences, including the growing demand for senior activities (RE-B.3). The proposed project would provide a swimming pool, tot lot, dog area, bocce ball court, meandering public sidewalk and interconnected pedestrian path to open space for residents to use. The proposed project would not result in a significant increase in the demand for parks or other off-site recreational facilities and would not result in the need for new park facilities or expansion of existing park facilities per the Mitigated Negative Declaration.

The proposal would implement General Plan Conservation Element goals regarding Climate Change & Sustainable Development through a project that would qualify for a Leadership in Energy & Environmental Design (LEED) Certification for Building Design and Construction. LEED Certification would be implemented through an extensive rooftop photovoltaic (PV) solar system that is intended to offset a significant portion of the project's energy demands. A centralized commercial greywater system intended to meet a significant portion of the project's irrigation needs is being proposed, meeting head on the water challenges in the current drought conditions. Drought resistant, water-wise planting throughout the project, along with the use of artificial turf in several recreational areas is



proposed. Rainwater capturing biofiltration basins onsite, reducing the strain on municipal stormwater drains, energy saving LED lighting fixtures for interior and exterior lighting fixtures, low flow plumbing fixtures including toilets, showerheads and faucets round out the sustainability features.

The Public Facilities, Services and Safety Element of the General Plan has a goal to provide the public facilities and services needed to serve the existing population and new growth. The proposed change in use would not adversely affect the existing levels of fire protection services to the area and would not require the construction of a new or expanded existing facility. Police protection services are already provided in the area and the proposed project would not adversely affect existing levels of police protection or create a significant new demand, nor would it require the construction of a new facility or expansion of an existing facility per the Mitigated Negative Declaration. In addition, a Gray Water Feasibility Analysis prepared by CGK Consulting Engineers, dated September 2015 demonstrated the proposed project's compliance with the allocated sewage capacity. Also, extension of infrastructure would not be required, only a connection to it, per the Mitigated Negative Declaration.

The General Plan Urban Design Element has goals for a pattern and scale of development that provides visual diversity, choice of lifestyle, opportunities for social interaction, and that respects desirable community character and context. A policy regarding residential design is to provide innovative designs for a variety of housing types to meet the needs of the population (UD-B1, c). The proposed project would implement this policy by offering a residential care facility to meet the demand for assisted senior housing/choice of lifestyle in the community with opportunities for social interaction, as well as possible opportunities to the broader community. Another specific Urban Design policy for residential design is to integrate new construction with the existing fabric and scale of development in surrounding neighborhoods. Taller or denser development is not necessarily inconsistent with older, lower-density neighborhoods, but must be designed with sensitivity to existing development (UD-B1, a). The proposal would implement this policy through a design that features one-story cottages facing Avenida Venusto with the taller, two and three-story structures located further back in the interior of the site. The proposal would be compatible with the existing neighborhood in terms of height, bulk, scale, setback, open space, landscaping, parking and architecture. The taller buildings, placed further back in the interior of the site and screened with trees and landscaping, together with the cottages fronting the right-of-way, would better integrate the development within the predominately two-story neighboring development.

The Noise Element of the General Plan has recommendations to require noise reducing site design, and/or traffic control measures for new development in areas of high noise to ensure that the mitigated levels meet acceptable decibel limits. Standard construction noise control methods including adhering to permissible hours of operation (7:00 a.m. to 7:00 p.m.), maintaining equipment in proper operating condition, and placing staging areas at furthest locations from noise sensitive receivers, are expected to be sufficient for reducing noise impacts to a less than significant level. Long term, operational noise associated with a residential care facility is typically lower than the levels associated with the original use as an elementary school and would not reach a level of significance, according to the Mitigated Negative Declaration. Therefore, the proposed development will not adversely affect the applicable land use plan, as proposed to be amended.



**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project including the review of grading design, provisions of a structures, private drainage infrastructure, architecture, landscape, and environmental impacts, has been designed to conform with the City of San Diego's codes, policies, and regulation whose primary focus is the protection of the public's health, safety and welfare. The conditions of approval of the project requires compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would reside and/or work at the site and within the community. Conditions of approval address parking, driveways, accessibility, and the appearance of landscaping. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features such as source control and treatment control BMP's and Water Pollution Control Plan. Additionally the project will incorporate a state of the art grey water system designed to capture water waste from showers, lavatories, laundries, and other clear water discharge. This water is then used to supplement the surrounding landscape irrigation and other non-potable water systems.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Prior to the actual construction of the project, City staff will review construction plans against the Uniform Building Code to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare. Therefore, the proposed project will not be detrimental to the health, safety and general welfare of persons residing or working in the area.

**3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The project proposes a 200-unit residential care facility. The project's proposal includes a Community Plan Amendment to the Rancho Bernardo Community Plan, a PDP for deviations to height and signage, a Site Development Permit for environmentally sensitive lands, and a Conditional Use Permit to operate a residential care facility.

The proposed project includes deviations to structure height and to monument sign allowance. The deviations were analyzed by staff to determine consistency with the goals and recommendations of the Community Plan, the purpose and intent of the RS-1-14 zone, and the Planned Development Permit ordinance. Four of the structures will exceed the allowable height limit of 35 feet, ranging from 47'-6" to 55'-0" measured at pre-existing grade and 41'-6" to 47'-1" measured from finished grade as noted below:



**Height Deviation Table (Pre-Existing and Finished Grade Measurements)/ 35 feet Maximum Allowed**

	<b>Assisted Living Structure (West Wing)</b>	<b>Assisted Living Structure (East Wing)</b>	<b>Memory Care</b>	<b>Club House</b>
Max Structure Height at Pre-Existing Grade	53 feet 4 inches to 55 feet	53 feet 3 inches	47 feet 6 inches	52 feet 6 inches to 55 feet
Max Structure Height at Finished Grade	41 feet 6 inches	41 feet 6 inches	44 feet 8 inches	47 feet 1 inch

The project proposes a maximum structural height of 55 feet above pre-existing grade for the proposed assisted living building (west wing) and the club house in order to accommodate roof elements that will enhance the architectural aesthetic of the buildings. Additionally the 55-foot maximum height noted above is requested by the applicant to address potential minor variations of that may occur during the development of the construction drawings for the proposed west wing and club house buildings. The roof elements exceeding the height limit are consistent in architectural style with the Community Plan. The project provides over 3,000 linear feet of enhanced landscaped pathways and is designed to be ADA accessible with walkways that do not exceed three percent in slope. In order to achieve the flat terrain, the existing sloped pad must to be filled on the northern half of the site. Since the building height must be measured from pre-existing grade, the proposed fill contributes to the need for a height deviation.

In addition, the project's Mediterranean architecture with peaked tile roofs and towers, selected in order to be compatible with neighboring developments, results in the need for a height deviation. The buildings located on the northern half of the site that necessitate the height deviation are buffered from public view by the existing natural slope and a grove of large mature Aleppo pine trees located along Avenida Venusto. The buildings are also set back over 100 feet from the street beyond a slope on both the west and south sides of the site. Staff supports the over height condition due to the fact that it is primarily created by topographic conditions and required fill necessary to level the site. Additionally, as the buildings will be set back from the street and sited internally within the property, the building's visibility from the right of way and adjacent properties will be reduced.

A sign deviation is requested as monument signs are not allowed in single family zones. The project proposes four two-foot high monument signs at the driveway entrances. Single family residential zones are only allowed street address numbers at one half square-foot inch and a one square foot name plate. Staff supports the sign deviation as the entry signage serves as wayfinding for its senior population, guests, service providers and emergency vehicles to identify the project and provides a unique sense of individual community identity.

The intent of the Planned Development Permit is to allow flexibility in the application of development regulations to accommodate, to the greatest extent possible, an equitable balance of development types, intensities, styles, site constraints, project amenities, public improvements and community and City benefits. Additionally, flexibility should be considered where application of the base zone



development regulations would restrict design options and result in a less desirable project. The project site contains constraints due to the topographic conditions, its irregular shape, and the fact that it is an infill lot. These factors limit design opportunities.

The proposed development is consistent with the design standards of the Planned Development Permit which requires a comparative analysis of the surrounding developments. The overall height and massing proposed is generally consistent with the development pattern of the surrounding community. As noted above, the facility was designed to incorporate all of the architectural guidelines that are an integral part of the neighborhood. Adherence to these guidelines facilitates compatibility with the neighborhood. The project meets the purpose and intent of the Planned Development Permit and provides additional housing opportunities with site amenities for residents, which is a community and City benefit.

Therefore the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

**B. SITE DEVELOPMENT PERMIT – SECTION 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan.**

The proposal to redesignate the subject property from Educational to Residential (low density 1-9 du/ac) requires an amendment to the Rancho Bernardo Community Plan to change the land use designation from Educational to Residential (low density 1-9 du/ac) and to revise the Land Use map in the General Plan from Institutional and Public, Semi-Public Facilities to Residential. The site was deemed surplus by the Poway Unified School District and sold to the applicant in 2013 after having been offered for public use. While residential care facilities do not typically contain dwelling units based upon the definition of dwelling unit in the Land Development Code, the proposed use may be considered 'group housing' and would conform to the proposed residential-low density designation. The approval of this plan amendment would increase the amount of land in Rancho Bernardo available for housing of people in need of residential care facilities, which is consistent with General Plan Housing Element policies that support the provision of housing for people with special needs that include the elderly and people with disabilities.

The proposed amendment would implement several policies in the Rancho Bernardo Community Plan. Specifically, the Housing and Residential land use Element of the Rancho Bernardo Community Plan has residential objectives including: to encourage a housing inventory consisting of a wide variety of housing types and prices, to maintain the existing quality and character of Rancho Bernardo in all new development and to develop a high quality residential environment. The proposal would implement these goals through a project that provides: a variety of housing type including assisted living and independent cottages, a design that complements the existing quality and character of the neighborhood with stucco exteriors, tile roofs and use of wrought iron, a high quality environment including location in an established residential area with opportunities for outdoor recreation, gardening and on-site dining alternatives. In particular, the proposal would provide additional



housing facilities for the elderly and people with disabilities that provide a level of sheltered living that was not as prevalent in the community.

The Circulation Element of the Rancho Bernardo Community Plan has an objective to provide a system that minimizes areas of conflict between pedestrian, bicycles and motor vehicle traffic while adequately serving all three transportation modes. The proposal would help implement this objective by providing pedestrian amenities that could provide additional opportunities for connectivity to adjacent open space and minimize conflict with bicycles and motor vehicles. The proposal would not result in any significant transportation-related impacts, based on a Traffic Impact Study prepared by Fehr & Peers, from August 2015 utilizing City of San Diego significance criteria. Therefore, no traffic improvements are required.

The Open Space, Parks and Recreation Element of the Rancho Bernardo Community Plan has objectives to provide park and recreation facilities that meet the needs of all age groups and interests in the Rancho Bernardo community and meet or exceed citywide standards. The proposal would implement this proposal through a design that features private recreation facilities including a swimming pool, bocce ball court and community garden. In addition, public space would be offered by addition of a tot lot and dog area, benches and decorative light standards, meandering public sidewalk along Avenida Venusto and a pedestrian path forming a connection to designated open space to the east of the project site, as well as around the perimeter of the site.

The proposed amendment would facilitate development consistent with several policies in the General Plan. The General Plan Land Use Element has goals for Balanced Communities and Equitable Development including: community and neighborhood-specific strategies and implementation measures to achieve equitable development. Among the policies to implement those goals are: promote development of balanced communities that take into account community-wide involvement, participation, and needs (LU-H.1); ensure that neighborhood development and redevelopment addresses the needs of older people, particularly those disadvantaged by age, disability, or poverty (LU-H-1,d); provide a full range of senior housing from active adults to convalescent care in an environment conducive to the specific needs of the senior population (LU-H.1, f).

The proposed amendment is consistent with the General Plan's goals for Balanced Communities and Equitable Development because the land use plan initiation is the first step towards the applicant's intent to propose a residential care facility for this site. A residential care facility would represent a key aspect of a full range of senior housing from active adult to convalescent care in an environment conducive to the specific needs of the senior and elderly population, as the proposal would provide assisted living, memory care and convalescent care in an environment conducive to needs of seniors. The proposed plan amendment would also be consistent with the city's practice to apply zoning that is consistent with community plan land use designations to ensure their implementation. Residential care facilities are classified as a residential use category in the Municipal Code, and the redesignation action would also bring the land use into conformity with the site's current zoning (RS-1-14). Additionally, the residential designation at a low-density (1-9 du/ac) will ensure future development is compatible with the surrounding neighborhood, a community concern expressed during initial discussions of the proposal.

The proposal would implement a policy in the General Plan Recreation Element to include recreation needs in community plans, consistent with a Parks Master Plan, to ensure that facilities and programs

reflect community preferences, including the growing demand for senior activities (RE-B.3). The proposed project would provide a swimming pool, tot lot, dog area, bocce ball court, meandering public sidewalk and interconnected pedestrian path to open space for residents to use. The proposed project would not result in a significant increase in the demand for parks or other off-site recreational facilities and would not result in the need for new park facilities or expansion of existing park facilities per the Mitigated Negative Declaration.

The proposal would implement General Plan Conservation Element goals regarding Climate Change & Sustainable Development through a project that would qualify for a Leadership in Energy & Environmental Design (LEED) Certification for Building Design and Construction. LEED Certification would be implemented through an extensive rooftop photovoltaic (PV) solar system that is intended to offset a significant portion of the project's energy demands. A centralized commercial greywater system intended to meet a significant portion of the project's irrigation needs is being proposed, meeting head on the water challenges in the current drought conditions. Drought resistant, water-wise planting throughout the project, along with the use of artificial turf in several recreational areas is proposed. Rainwater capturing biofiltration basins onsite, reducing the strain on municipal stormwater drains, energy saving LED lighting fixtures for interior and exterior lighting fixtures, low flow plumbing fixtures including toilets, showerheads and faucets round out the sustainability features.

The Public Facilities, Services and Safety Element of the General Plan has a goal to provide the public facilities and services needed to serve the existing population and new growth. The proposed change in use would not adversely affect the existing levels of fire protection services to the area and would not require the construction of a new or expanded existing facility. Police protection services are already provided in the area and the proposed project would not adversely affect existing levels of police protection or create a significant new demand, nor would it require the construction of a new facility or expansion of an existing facility per the Mitigated Negative Declaration. In addition, a Gray Water Feasibility Analysis prepared by CGK Consulting Engineers, dated September 2015 demonstrated the proposed project's compliance with the allocated sewage capacity. Also, extension of infrastructure would not be required, only a connection to it, per the Mitigated Negative Declaration.

The General Plan Urban Design Element has goals for a pattern and scale of development that provides visual diversity, choice of lifestyle, opportunities for social interaction, and that respects desirable community character and context. A policy regarding residential design is to provide innovative designs for a variety of housing types to meet the needs of the population (UD-B1, c). The proposed project would implement this policy by offering a residential care facility to meet the demand for assisted senior housing/choice of lifestyle in the community with opportunities for social interaction, as well as possible opportunities to the broader community. Another specific Urban Design policy for residential design is to integrate new construction with the existing fabric and scale of development in surrounding neighborhoods. Taller or denser development is not necessarily inconsistent with older, lower-density neighborhoods, but must be designed with sensitivity to existing development (UD-B1, a). The proposal would implement this policy through a design that features one-story cottages facing Avenida Venusto with the taller, two and three-story structures located further back in the interior of the site. The proposal would be compatible with the existing neighborhood in terms of height, bulk, scale, setback, open space, landscaping, parking and architecture. The taller buildings, placed further back in the interior of the site and screened with



trees and landscaping, together with the cottages fronting the right-of-way, would better integrate the development within the predominately two-story neighboring development.

The Noise Element of the General Plan has recommendations to require noise reducing site design, and/or traffic control measures for new development in areas of high noise to ensure that the mitigated levels meet acceptable decibel limits. Standard construction noise control methods including adhering to permissible hours of operation (7:00 a.m. to 7:00 p.m.), maintaining equipment in proper operating condition, and placing staging areas at furthest locations from noise sensitive receivers, are expected to be sufficient for reducing noise impacts to a less than significant level. Long term, operational noise associated with a residential care facility is typically lower than the levels associated with the original use as an elementary school and would not reach a level of significance, according to the Mitigated Negative Declaration. Therefore, the proposed development will not adversely affect the applicable land use plan, as proposed to be amended.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project including the review of grading design, provisions of a structures, private drainage infrastructure, architecture, landscape, and environmental impacts, has been designed to conform with the City of San Diego's codes, policies, and regulation whose primary focus is the protection of the public's health, safety and welfare. The conditions of approval of the project requires compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would reside and/or work at the site and within the community. Conditions of approval address parking, driveways, accessibility, and the appearance of landscaping. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features such as source control and treatment control BMP's and Water Pollution Control Plan. Additionally the project will incorporate a state of the art grey water system designed to capture water waste from showers, lavatories, laundries, and other clear water discharge. This water is then used to supplement the surrounding landscape irrigation and other non-potable water systems.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Prior to the actual construction of the project, City staff will review construction plans against the Uniform Building Code to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare. Therefore, the proposed project will not be detrimental to the health, safety and general welfare of persons residing or working in the area.

**3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project proposes a 200-unit residential care facility. The project's proposal includes a Community Plan Amendment to the Rancho Bernardo Community Plan, a PDP for deviations to height and signage, a Site Development Permit for environmentally sensitive lands, and a Conditional Use Permit to operate a residential care facility.

The proposed project includes deviations to structure height and to monument sign allowance. The deviations were analyzed by staff to determine consistency with the goals and recommendations of the Community Plan, the purpose and intent of the RS-1-14 zone, and the Planned Development Permit ordinance. Four of the structures will exceed the allowable height limit of 35 feet, ranging from 47'-6" to 55'-0" measured at pre-existing grade and 41'-6" to 47'-1" measured from finished grade as noted below:

**Height Deviation Table (Pre-Existing and Finished Grade Measurements)/ 35 feet Maximum Allowed**

	<b>Assisted Living Structure (West Wing)</b>	<b>Assisted Living Structure (East Wing)</b>	<b>Memory Care</b>	<b>Club House</b>
Max Structure Height at Pre-Existing Grade	53 feet 4 inches to 55 feet	53 feet 3 inches	47 feet 6 inches	52 feet 6 inches to 55 feet
Max Structure Height at Finished Grade	41 feet 6 inches	41 feet 6 inches	44 feet 8 inches	47 feet 1 inch

The project proposes a maximum structural height of 55 feet above pre-existing grade for the proposed assisted living building (west wing) and the club house in order to accommodate roof elements that will enhance the architectural aesthetic of the buildings. Additionally the 55-foot maximum height noted above is requested by the applicant to address potential minor variations of that may occur during the development of the construction drawings for the proposed west wing and club house buildings. The roof elements exceeding the height limit are consistent in architectural style with the Community Plan. The project provides over 3,000 linear feet of enhanced landscaped pathways and is designed to be ADA accessible with walkways that do not exceed three percent in slope. In order to achieve the flat terrain, the existing sloped pad must to be filled on the northern half of the site. Since the building height must be measured from pre-existing grade, the proposed fill contributes to the need for a height deviation.

In addition, the project's Mediterranean architecture with peaked tile roofs and towers, selected in order to be compatible with neighboring developments, results in the need for a height deviation. The buildings located on the northern half of the site that necessitate the height deviation are buffered from public view by the existing natural slope and a grove of large mature Aleppo pine trees located along Avenida Venusto. The buildings are also set back over 100 feet from the street beyond a slope on both the west and south sides of the site. Staff supports the over height condition due to the fact that it is primarily created by topographic conditions and required fill necessary to level the site. Additionally, as the buildings will be set back from the street and sited internally within the property, the building's visibility from the right of way and adjacent properties will be reduced.

A sign deviation is requested as monument signs are not allowed in single family zones. The project proposes four two-foot high monument signs at the driveway entrances. Single family residential zones are only allowed street address numbers at one half square-foot inch and a one square foot name plate. Staff supports the sign deviation as the entry signage serves as wayfinding for its senior



population, guests, service providers and emergency vehicles to identify the project and provides a unique sense of individual community identity.

The intent of the Planned Development Permit is to allow flexibility in the application of development regulations to accommodate, to the greatest extent possible, an equitable balance of development types, intensities, styles, site constraints, project amenities, public improvements and community and City benefits. Additionally, flexibility should be considered where application of the base zone development regulations would restrict design options and result in a less desirable project. The project site contains constraints due to the topographic conditions, its irregular shape, and the fact that it is an infill lot. These factors limit design opportunities.

The proposed development is consistent with the design standards of the Planned Development Permit which requires a comparative analysis of the surrounding developments. The overall height and massing proposed is generally consistent with the development pattern of the surrounding community. As noted above, the facility was designed to incorporate all of the architectural guidelines that are an integral part of the neighborhood. Adherence to these guidelines facilitates compatibility with the neighborhood. The project meets the purpose and intent of the Planned Development Permit and provides additional housing opportunities with site amenities for residents, which is a community and City benefit.

Therefore the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

**Environmentally Sensitive Lands – Supplemental Findings – Section 126.0504(b)**

**1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The site was previously mass graded and originally planned as an elementary school for the Poway School District. However, the Poway School District sold the 10.88-acre property to Americare Health & Retirement, Inc. in December 2013. This in-fill parcel is located in the middle of a developed area. Directly to the north is the Bernardo Heights Community Center, to the west and south are existing residences and to the east is a water tank surrounded by designated open space that is privately owned by the Bernardo Heights Association.

A Mitigated Negative Declaration was prepared for the project which included a review of a biology study, geotechnical report, water quality technical report, biology study, green house gas report, traffic impact study, waste management plan, acoustical analysis study, gray water feasibility study, and water study. The documents concluded that mitigation measures were required for potential impacts to biological and paleontological resources. Mitigation measures require that contributions to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 0.3-acres of Diegan Coastal Sage Scrub (Tier II habitat) and 3.8-acres of Non-Native Grassland (Tier IIIB habitat) resulting in a 4.1-acre equivalent contribution to the HAF plus a ten percent (10%) administration fee. The contribution will be collected prior to the issuance of any construction permit. Additional mitigation includes a

Paleontological monitor be on site during grading activities to ensure if unique or unusual fossils are encountered that they will be removed from the site and curated. Therefore the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

**2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The site is not located with a flood plain and has been previously graded to a relatively flat pad except on the eastern portion of the property the grade slopes up to a water storage tank and on the north portion of the property the site slopes down to the Bernardo Heights Community Center. Proposed finish grading is designed to have drainage flow various storm water filtering facilities avoiding runoff to the public streets. According to the City of San Diego's Seismic Safety Study, the project is located within geologic hazards zones 27 and 53 as shown on the City's Seismic Safety Study Geologic Hazards Maps. Zone 27 is characterized by slide-prone formations. Zone 53 is characterized by level or sloping terrain, unfavorable geologic structure, low to moderate risk. In addition, the project site is not located on nor is it adjacent to an earthquake fault. The project would be required to utilize proper engineering design and utilization of standard construction practices, to be verified at the grading permit stage. Because the project is not located in a high fuel area, Brush Management is not required. The project will divert runoff into bio retention basins to avert erosion. Therefore the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosion forces, flood hazards, or fire hazards.

**3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

A Mitigated Negative Declaration was prepared for the project which included a review of a biology study, geotechnical report, water quality technical report, biology study, green house gas report, traffic impact study, waste management plan, acoustical analysis study, gray water feasibility study, and water study. The documents concluded that mitigation measures were required for potential impacts to Biological Resources and Paleontological Resources. Mitigation measures require that contributions to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 0.3-acres of Diegan Coastal Sage Scrub (Tier II habitat) and 3.8-acres of Non-Native Grassland (Tier IIIB habitat) resulting in a 4.1-acre equivalent contribution to the HAF plus a ten percent (10%) administration fee. The contribution will be collected prior to the issuance of any construction permit. Additional mitigation includes a paleontological monitor be on site during grading activities to ensure if unique or unusual fossils are encountered that they will be removed from the site and analyzed for historic records. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

**4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.**

The site is not within or adjacent to the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan Therefore the project is not inconsistent with the City's MSCP.



**5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The site is located approximately 15 miles from a public beach or shoreline therefore the project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

A Mitigated Negative Declaration was prepared for the project which included a review of a biology study, geotechnical report, water quality technical report, biology study, green house gas report, traffic impact study, waste management plan, acoustical analysis study, gray water feasibility study, and water study. The documents concluded that mitigation measures were required for potential impacts to biological and paleontological resources. Mitigation measures require that contributions to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 0.3-acres of Diegan Coastal Sage Scrub (Tier II habitat) and 3.8-acres of Non-Native Grassland (Tier IIIB habitat) resulting in a 4.1-acre equivalent contribution to the HAF plus a ten percent (10%) administration fee. The contribution will be collected prior to the issuance of any construction permit. Additional mitigation includes a Paleontological monitor be on site during grading activities to ensure if unique or unusual fossils are encountered that they will be removed from the site and analyzed for historic records. Therefore the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

**CONDITIONAL USE PERMIT – SECCIÓN 126.0305**

**1. The proposed development will not adversely affect the applicable land use plan.**

The proposal to redesignate the subject property from Educational to Residential (low density 1-9 du/ac) requires an amendment to the Rancho Bernardo Community Plan to change the land use designation from Educational to Residential (low density 1-9 du/ac) and to revise the Land Use map in the General Plan from Institutional and Public, Semi-Public Facilities to Residential. The site was deemed surplus by the Poway Unified School District and sold to the applicant in 2013 after having been offered for public use. While residential care facilities do not typically contain dwelling units based upon the definition of dwelling unit in the Land Development Code, the proposed use may be considered 'group housing' and would conform to the proposed residential-low density designation. The approval of this plan amendment would increase the amount of land in Rancho Bernardo available for housing of people in need of residential care facilities, which is consistent with General Plan Housing Element policies that support the provision of housing for people with special needs that include the elderly and people with disabilities.

The proposed amendment would implement several policies in the Rancho Bernardo Community Plan. Specifically, the Housing and Residential land use Element of the Rancho Bernardo Community Plan has residential objectives including: to encourage a housing inventory consisting of a wide variety of housing types and prices, to maintain the existing quality and character of Rancho Bernardo in all new development and to develop a high quality residential environment. The proposal would implement these goals through a project that provides: a variety of housing type including assisted living and independent cottages, a design that complements the existing quality and character of the

neighborhood with stucco exteriors, tile roofs and use of wrought iron, a high quality environment including location in an established residential area with opportunities for outdoor recreation, gardening and on-site dining alternatives. In particular, the proposal would provide additional housing facilities for the elderly and people with disabilities that provide a level of sheltered living that was not as prevalent in the community.

The Circulation Element of the Rancho Bernardo Community Plan has an objective to provide a system that minimizes areas of conflict between pedestrian, bicycles and motor vehicle traffic while adequately serving all three transportation modes. The proposal would help implement this objective by providing pedestrian amenities that could provide additional opportunities for connectivity to adjacent open space and minimize conflict with bicycles and motor vehicles. The proposal would not result in any significant transportation-related impacts, based on a Traffic Impact Study prepared by Fehr & Peers, from August 2015 utilizing City of San Diego significance criteria. Therefore, no traffic improvements are required.

The Open Space, Parks and Recreation Element of the Rancho Bernardo Community Plan has objectives to provide park and recreation facilities that meet the needs of all age groups and interests in the Rancho Bernardo community and meet or exceed citywide standards. The proposal would implement this proposal through a design that features private recreation facilities including a swimming pool, bocce ball court and community garden. In addition, public space would be offered by addition of a tot lot and dog area, benches and decorative light standards, meandering public sidewalk along Avenida Venusto and a pedestrian path forming a connection to designated open space to the east of the project site, as well as around the perimeter of the site.

The proposed amendment would facilitate development consistent with several policies in the General Plan. The General Plan Land Use Element has goals for Balanced Communities and Equitable Development including: community and neighborhood-specific strategies and implementation measures to achieve equitable development. Among the policies to implement those goals are: promote development of balanced communities that take into account community-wide involvement, participation, and needs (LU-H.1); ensure that neighborhood development and redevelopment addresses the needs of older people, particularly those disadvantaged by age, disability, or poverty (LU-H-1,d); provide a full range of senior housing from active adults to convalescent care in an environment conducive to the specific needs of the senior population (LU-H.1, f).

The proposed amendment is consistent with the General Plan's goals for Balanced Communities and Equitable Development because the land use plan initiation is the first step towards the applicant's intent to propose a residential care facility for this site. A residential care facility would represent a key aspect of a full range of senior housing from active adult to convalescent care in an environment conducive to the specific needs of the senior and elderly population, as the proposal would provide assisted living, memory care and convalescent care in an environment conducive to needs of seniors. The proposed plan amendment would also be consistent with the city's practice to apply zoning that is consistent with community plan land use designations to ensure their implementation. Residential care facilities are classified as a residential use category in the Municipal Code, and the redesignation action would also bring the land use into conformity with the site's current zoning (RS-1-14). Additionally, the residential designation at a low-density (1-9 du/ac) will ensure future development is



compatible with the surrounding neighborhood, a community concern expressed during initial discussions of the proposal.

The proposal would implement a policy in the General Plan Recreation Element to include recreation needs in community plans, consistent with a Parks Master Plan, to ensure that facilities and programs reflect community preferences, including the growing demand for senior activities (RE-B.3). The proposed project would provide a swimming pool, tot lot, dog area, bocce ball court, meandering public sidewalk and interconnected pedestrian path to open space for residents to use. The proposed project would not result in a significant increase in the demand for parks or other off-site recreational facilities and would not result in the need for new park facilities or expansion of existing park facilities per the Mitigated Negative Declaration.

The proposal would implement General Plan Conservation Element goals regarding Climate Change & Sustainable Development through a project that would qualify for a Leadership in Energy & Environmental Design (LEED) Certification for Building Design and Construction. LEED Certification would be implemented through an extensive rooftop photovoltaic (PV) solar system that is intended to offset a significant portion of the project's energy demands. A centralized commercial greywater system intended to meet a significant portion of the project's irrigation needs is being proposed, meeting head on the water challenges in the current drought conditions. Drought resistant, water-wise planting throughout the project, along with the use of artificial turf in several recreational areas is proposed. Rainwater capturing biofiltration basins onsite, reducing the strain on municipal stormwater drains, energy saving LED lighting fixtures for interior and exterior lighting fixtures, low flow plumbing fixtures including toilets, showerheads and faucets round out the sustainability features.

The Public Facilities, Services and Safety Element of the General Plan has a goal to provide the public facilities and services needed to serve the existing population and new growth. The proposed change in use would not adversely affect the existing levels of fire protection services to the area and would not require the construction of a new or expanded existing facility. Police protection services are already provided in the area and the proposed project would not adversely affect existing levels of police protection or create a significant new demand, nor would it require the construction of a new facility or expansion of an existing facility per the Mitigated Negative Declaration. In addition, a Gray Water Feasibility Analysis prepared by CGK Consulting Engineers, dated September 2015 demonstrated the proposed project's compliance with the allocated sewage capacity. Also, extension of infrastructure would not be required, only a connection to it, per the Mitigated Negative Declaration.

The General Plan Urban Design Element has goals for a pattern and scale of development that provides visual diversity, choice of lifestyle, opportunities for social interaction, and that respects desirable community character and context. A policy regarding residential design is to provide innovative designs for a variety of housing types to meet the needs of the population (UD-B1, c). The proposed project would implement this policy by offering a residential care facility to meet the demand for assisted senior housing/choice of lifestyle in the community with opportunities for social interaction, as well as possible opportunities to the broader community. Another specific Urban Design policy for residential design is to integrate new construction with the existing fabric and scale of development in surrounding neighborhoods. Taller or denser development is not necessarily inconsistent with older, lower-density neighborhoods, but must be designed with sensitivity to existing

development (UD-B1, a). The proposal would implement this policy through a design that features one-story cottages facing Avenida Venusto with the taller, two and three-story structures located further back in the interior of the site. The proposal would be compatible with the existing neighborhood in terms of height, bulk, scale, setback, open space, landscaping, parking and architecture. The taller buildings, placed further back in the interior of the site and screened with trees and landscaping, together with the cottages fronting the right-of-way, would better integrate the development within the predominately two-story neighboring development.

The Noise Element of the General Plan has recommendations to require noise reducing site design, and/or traffic control measures for new development in areas of high noise to ensure that the mitigated levels meet acceptable decibel limits. Standard construction noise control methods including adhering to permissible hours of operation (7:00 a.m. to 7:00 p.m.), maintaining equipment in proper operating condition, and placing staging areas at furthest locations from noise sensitive receivers, are expected to be sufficient for reducing noise impacts to a less than significant level. Long term, operational noise associated with a residential care facility is typically lower than the levels associated with the original use as an elementary school and would not reach a level of significance, according to the Mitigated Negative Declaration. Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project including the review of grading design, provisions of a structures, private drainage infrastructure, architecture, landscape, and environmental impacts, has been designed to conform with the City of San Diego's codes, policies, and regulation whose primary focus is the protection of the public's health, safety and welfare. The conditions of approval of the project requires compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would reside and/or work at the site and within the community. Conditions of approval address parking, driveways, accessibility, and the appearance of landscaping. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features such as source control and treatment control BMP's and Water Pollution Control Plan. Additionally the project will incorporate a state of the art gray water system designed to capture water waste from showers, lavatories, laundries, and other clear water discharge. This water is then used to supplement the surrounding landscape irrigation and other non-potable water systems.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Prior to the actual construction of the project, City staff will review construction plans against the Uniform Building Code to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare. Therefore, the proposed project will not be detrimental to the public health, safety and welfare.



**3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project proposes a 200-unit residential care facility. The project's proposal includes a Community Plan Amendment to the Rancho Bernardo Community Plan, a PDP for deviations to height and signage, a Site Development Permit for environmentally sensitive lands, and a Conditional Use Permit to operate a residential care facility.

The proposed project includes deviations to structure height and to monument sign allowance. The deviations were analyzed by staff to determine consistency with the goals and recommendations of the Community Plan, the purpose and intent of the RS-1-14 zone, and the Planned Development Permit ordinance. Four of the structures will exceed the allowable height limit of 35 feet, ranging from 47'-6" to 55'-0" measured at pre-existing grade and 41'-6" to 47'-1" measured from finished grade as noted below:

**Height Deviation Table (Pre-Existing and Finished Grade Measurements)/ 35 feet Maximum Allowed**

	<b>Assisted Living Structure (West Wing)</b>	<b>Assisted Living Structure (East Wing)</b>	<b>Memory Care</b>	<b>Club House</b>
Max Structure Height at Pre-Existing Grade	53 feet 4 inches to 55 feet	53 feet 3 inches	47 feet 6 inches	52 feet 6 inches to 55 feet
Max Structure Height at Finished Grade	41 feet 6 inches	41 feet 6 inches	44 feet 8 inches	47 feet 1 inch

The project proposes a maximum structural height of 55 feet above pre-existing grade for the proposed assisted living building (west wing) and the club house in order to accommodate roof elements that will enhance the architectural aesthetic of the buildings. Additionally the 55-foot maximum height noted above is requested by the applicant to address potential minor variations of that may occur during the development of the construction drawings for the proposed west wing and club house buildings. The roof elements exceeding the height limit are consistent in architectural style with the Community Plan. The project provides over 3,000 linear feet of enhanced landscaped pathways and is designed to be ADA accessible with walkways that do not exceed three percent in slope. In order to achieve the flat terrain, the existing sloped pad must to be filled on the northern half of the site. Since the building height must be measured from pre-existing grade, the proposed fill contributes to the need for a height deviation.

In addition, the project's Mediterranean architecture with peaked tile roofs and towers, selected in order to be compatible with neighboring developments, results in the need for a height deviation. The buildings located on the northern half of the site that necessitate the height deviation are buffered from public view by the existing natural slope and a grove of large mature Aleppo pine trees located along Avenida Venusto. The buildings are also set back over 100 feet from the street beyond a slope on both the west and south sides of the site. Staff supports the over height condition due to the fact

that it is primarily created by topographic conditions and required fill necessary to level the site. Additionally, as the buildings will be set back from the street and sited internally within the property, the building's visibility from the right of way and adjacent properties will be reduced.

A sign deviation is requested as monument signs are not allowed in single family zones. The project proposes four two-foot high monument signs at the driveway entrances. Single family residential zones are only allowed street address numbers at one half square-foot inch and a one square foot name plate. Staff supports the sign deviation as the entry signage serves as wayfinding for its senior population, guests, service providers and emergency vehicles to identify the project and provides a unique sense of individual community identity.

The intent of the Planned Development Permit is to allow flexibility in the application of development regulations to accommodate, to the greatest extent possible, an equitable balance of development types, intensities, styles, site constraints, project amenities, public improvements and community and City benefits. Additionally, flexibility should be considered where application of the base zone development regulations would restrict design options and result in a less desirable project. The project site contains constraints due to the topographic conditions, its irregular shape, and the fact that it is an infill lot. These factors limit design opportunities.

The proposed development is consistent with the design standards of the Planned Development Permit which requires a comparative analysis of the surrounding developments. The overall height and massing proposed is generally consistent with the development pattern of the surrounding community. As noted above, the facility was designed to incorporate all of the architectural guidelines that are an integral part of the neighborhood. Adherence to these guidelines facilitates compatibility with the neighborhood. The project meets the purpose and intent of the Planned Development Permit and provides additional housing opportunities with site amenities for residents, which is a community and City benefit.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

**4. The proposed use is appropriate at the proposed location.**

The project proposes a 200-unit residential care facility. The project's proposal includes a Community Plan Amendment to the Rancho Bernardo Community Plan to redesignate the site from Education to Residential, a PDP for deviations to height and signage, a Site Development Permit for environmentally sensitive lands, and a Conditional Use Permit to operate a residential care facility.

The General Plan Land Use element has goals for balanced communities and equitable development, including community and neighborhood specific strategies and implementation measures to achieve equitable development. Among the policies to implement these goals are: 1) promote development of balanced communities that take into account communitywide involvement, participation, and needs; 2) ensure that neighborhood development and redevelopment addresses the needs of older people, particularly those disadvantaged by age, disability, or poverty; and 3) provide a full range of senior housing from active adults to convalescent care in an environment conducive to the specific needs of the senior population.



The proposed community plan amendment is consistent with the General Plan's goals for balanced communities and equitable development. The proposed residential care facility would represent a key aspect of a full range of senior housing from active adult to convalescent care in an environment conducive to the specific needs of the senior population. The Rancho Bernardo community plan includes the following objectives: 1) develop a high quality residential environment, to encourage a housing inventory consisting of a wide variety of housing types and prices and to maintain the existing quality and character of Rancho Bernardo in all new developments. The community plan policies for retirement housing state that projects should be compatible with the existing neighborhood and should be evaluated as to height, bulk, scale, setback, open space, landscaping, parking and architectural quality. The community plan also has policies for residential design, including, creating street frontages with architectural and landscape interest for both pedestrian and neighboring residents. The proposed project would implement community plan goals because senior housing is specifically supported by the Rancho Bernardo community plan and would contribute to the creation of a wide variety of housing types, prices, and architectural continuity. Also, the planned enhanced streetscape would implement policies for residential design to create street frontages with compatible landscape design.

The proposed facility is an allowed use in the zone with a Conditional Use Permit. The development is a compatible use given the surround mix of land uses. The proposed development is appropriate at this location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that PDP (PDP) No. 1498311, Site Development Permit (SDP) No. 1498312, and Conditional Use Permit (CUP) No. 1498313 is granted to AMERICARE HEALTH & RETIREMENT INC, Inc, Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, on [DATE], AmeriCare Health and Retirement, Inc. submitted an application to the Development Services Department for Amendments to the General Plan and Rancho Bernardo Community Plan, Planned Development Permit, Site Development Permit, and Conditional Use Permit for the Silvergate Rancho Bernardo Project; and

WHEREAS, the matter was SET FOR A PUBLIC HEARING TO BE CONDUCTED BY THE CITY COUNCIL of the City of San Diego; and

WHEREAS, the issue was heard by the CITY COUNCIL on [DATE]; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the CITY COUNCIL considered the issues discussed in Mitigated Negative Declaration No. 425893 prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the CITY COUNCIL that it is certified that the Mitigated Negative Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public



review process, has been reviewed and considered by the CITY COUNCIL in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the CITY COUNCIL finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the CITY COUNCIL hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this CITY COUNCIL in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the CITY CLERK, 202 C STREET, SAN DIEGO, CA 92101.

BE IT FURTHER RESOLVED, that the CITY CLERK is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
Shannon Thomas

ATTACHMENT(S):      Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**

MITIGATION MONITORING AND REPORTING PROGRAM

**[INSERT PERMITS/APPROVALS/ENTITLEMENTS/ACTIONS]**

PROJECT NO. \_\_\_\_\_

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No .425893 shall be made conditions of Planned Development Permit, Site Development Permit, and Conditional Use Permit as may be further described below.

MITIGATION, MONITORING AND REPORTING PROGRAM:

**A. GENERAL REQUIREMENTS – PART I**

**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary,



overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II**

**Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

***Qualified Paleontologist***  
***Qualified Biologist***

**Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

**CONTACT INFORMATION:**

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
  - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
2. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.  
  
***None required.***
  3. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or**

programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

4. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>Document Submittal/Inspection Checklist</b>		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification	Prior to Pre-construction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Pre-construction Meeting
Biology	Biological Reports	Nesting Bird Site Observations
Paleontology	Paleontological Reports	Paleontology Site Observations
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

## **C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

### **BIOLOGICAL RESOURCES – DIEGAN COASTAL SAGE SCRUB AND NON-NATIVE GRASSLAND**

#### **Habitat Acquisition Fund (HAF)**

Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/permits and Building Plans/Permits, the owner/ permittee shall contribute to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 0.3-acres of Diegan Coastal Sage Scrub (Tier II habitat) and 3.8-acres of Non-Native Grassland (Tier IIIB habitat). This fee is based on mitigation ratios as established in the City of San Diego Biology Guidelines of 1:1 for Diegan Coastal Sage Scrub preserved within the MHPA and 0.5:1 ratio for Non-Native Grassland preserved within the MHPA. Therefore, the total resulting mitigation required for direct project impacts is a total of a 4.1-acre equivalent contribution to the HAF plus a ten percent (10%) administrative fee.

### **BIOLOGICAL RESOURCES (RAPTORS/GENERAL BIRDS)**

#### **Nesting Birds**

To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur



outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

#### **PALEONTOLOGICAL RESOURCES**

##### **I. Prior to Permit Issuance**

###### **A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

###### **B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

##### **II. Prior to Start of Construction**

###### **A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.



**B. PI Shall Attend Precon Meetings**

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
  - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored  
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
  - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

**III. During Construction**

**A. Monitor Shall be Present During Grading/Excavation/Trenching**

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

**B. Discovery Notification Process**



1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
  3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
    - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
    - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
    - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

#### **IV. Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.
    - a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
    - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
    - c. Potentially Significant Discoveries  
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
    - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction



1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**V. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
  1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
    - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with the San Diego Natural History Museum  
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
  2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  4. MMC shall provide written verification to the PI of the approved report.
  5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
  1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
  2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
  1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
  2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
  1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.



**[INSERT MMRP LANGUAGE]**

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

**Attachment 8**  
**Draft General and Community Plan Resolution**

(R-2016-    )

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, on \_\_\_\_\_, the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the General Plan and the Rancho Bernardo Community Plan; and

WHEREAS, AMERICARE HEALTH & RETIREMENT, INC, requested an amendment to the General Plan to amend the Land Use map to change the site from Institutional and Public, Semi-Public Facilities to Residential and to the Rancho Bernardo Community Plan to redesignate a 10.8-acre site located 16061 Avenida Venusto, from Educational to Residential (low density 1-9 du/ac);

WHEREAS, the site is legally described as Lot 5 of Bernardo Heights Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 9606 as filed in the Office of the County Recorder of San Diego County, April 4, 1980, City of San Diego, County of San Diego, State of California; and

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the General Plan; and

WHEREAS, the Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the amendment to the General Plan, a copy of which is on file in the Office of the City Clerk as Document No. RR-\_\_\_\_\_.  
\_\_\_\_\_.



**Attachment 8**  
**Draft General and Community Plan Resolution**

BE IT FURTHER RESOLVED, by the Council of the City of San Diego, that it adopts the amendments to the Rancho Bernardo Community Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-\_\_\_\_\_.

APPROVED: JAN GOLDSMITH, City Attorney

By \_\_\_\_\_

Deputy City Attorney

MJL:pev

INSERT Date

Or.Dept:DSD

R-2016- INSERT

Form=r-t.frm(61203wct)

CITY OF SAN DIEGO  
M E M O R A N D U M

DATE: January 29, 2015

TO: AmeriCare Health & Retirement, Inc.

FROM: Tony Kempton, Associate Planner, Planning Department

SUBJECT: Silvergate Community Plan Amendment Initiation

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Please be informed that initiation of a community plan amendment to redesignate an approximately 10.88-acre site at 16061 Avenida Venusto in the Rancho Bernardo community plan area from Educational to Residential (low density 1-9 du/ac) was approved by the Planning Commission by a vote of 6-0-0 on January 15, 2015. Although staff believes that the proposed amendment meets the necessary criteria for initiation, staff has not fully reviewed the applicant's proposal. Therefore, by initiating this community plan amendment, neither the staff nor the Planning Commission is committed to recommend in favor or denial of the proposed amendment.

Tony Kempton

TK

cc: Lou Del Angella, Chair, Rancho Bernardo Community Planning Board



PLANNING COMMISSION RESOLUTION NO. PC-4646

INITIATING AN AMENDMENT TO THE 1978 RANCHO BERNARDO COMMUNITY  
PLAN TO REDESIGNATE LAND FROM EDUCATIONAL TO RESIDENTIAL THAT  
ALLOWS A STATE-LICENSED RESIDENTIAL CARE FACILITY

WHEREAS, on January 15, 2015, the Planning Commission of the City of San Diego held a public hearing to consider a request to amend the 1978 Rancho Bernardo Community Plan adopted as Document RR-220568, and including its subsequent amendments to redesignate a 10.88-acre site located at 16061 Avenida Venusto from educational to residential; and

WHEREAS the 2008 General Plan will be amended due to the Rancho Bernardo community plan being part of the Land Use Element of the adopted general plan; and

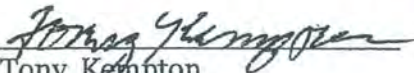
WHEREAS, the Planning Commission considered Report No. PC-15-001 as well as all maps, exhibits, evidence and testimony; NOW, THEREFORE,

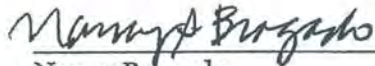
BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby initiates the requested Community Plan and General Plan Amendment based on its compliance with the initiation criteria found in policy LU-D.10 of the Land Use Element of the General Plan and specifically addressed in Report No. PC-15-001; and

BE IT FURTHER RESOLVED that in anticipation of a future concurrent development project that would allow construction of a residential care facility at the 10.88-acre site, the Planning Commission directs staff to consider the following issue(s) in addition to all of the issues identified in Report No. PC-15-001:

- Zone to match land use designation
- Adequate park facilities for anticipated residents
- Access for potential residents to private recreation facilities
- Evaluation of cumulative effects of proposal on park deficiencies, emergency response times, roadway and sewer capacity, sewer odor
- Compatibility of proposal regarding bulk, scale, project design and density with residential nature of neighborhood
- Effect of traffic, noise, parking on anticipated residents

BE IT FURTHER RESOLVED, that this initiation does not constitute an endorsement of a project proposal. This action allows the future development project to become a complete submittal and will allow staff analysis to proceed.

  
Tony Kempton  
Staff Planner

  
Nancy Bragado  
Deputy Director, Planning

Initiated: January 15, 2015  
By a vote of: 6-0-0

## ***Rancho Bernardo Community Planning Board***

P.O. Box 270831, San Diego, CA 92198

[www.rbplanningboard.com](http://www.rbplanningboard.com)

June 13, 2016

William Zounes  
City of San Diego, Development Project Manager  
Development Services Department  
1222 First Avenue, MS 301  
San Diego, CA 92101-4101

Tony Kempton  
City of San Diego, Community Planner  
1010 Second Avenue, Suite 1200  
East Tower, M.S. 413  
San Diego, CA 92101

RE: Silvergate Care Facility, Rancho Bernardo - CUP/PDP/Community Plan Amendment  
(Project No. 425893; 24004903)

Dear Mr. Zounes and Mr. Kempton:

The Ranch Bernardo Community Planning Board (Planning Board) began its review of the Silvergate Care Facility over a year ago, when the applicant requested an initiation of a community plan amendment. At that time, the Planning Board considered the request to initiate a community plan amendment to change the land use designation of the proposed project site from elementary school to low density residential development. After some deliberation, the Planning Board recommended approval of the initiation request.

Following initiation of the plan amendment, the Planning Board's Development Review Committee (DRC) worked closely with the applicant in the review of the site development plans associated with the proposed Conditional Use Permit, Planned Development Permit, and Site Development Permit, as well as the proposed language changes for the Rancho Bernardo Community Plan. In addition, the DRC considered the valuable information provided by City staff in the various assessment letters prepared for the project. The DRC's primary focus was on ensuring that all aspects of the project were consistent with the guidance provided in the Rancho Bernardo Community Plan, and that the project design and operation would be compatible with the surrounding residential communities in Bernardo Heights. Upon completion of the DRC's review of the project proposals and draft Mitigated Negative Declaration, recommendations were forwarded to the full Planning Board for consideration.



**Attachment 10**  
**Community Planning Group Recommendation**

On May 19, 2016, the Rancho Bernardo Community Planning Board unanimously (11-0-0) approved the following motion for the Silvergate Care Facility:

- 1) Recommend approval of an amendment to the Rancho Bernardo Community Plan to redesignate the project site from elementary school to low density residential (1-9 units per NRA) and to include in the Community Plan the proposed plan language stating that this site is designated for 200 assisted living units as a State licensed residential care facility.
- 2) Recommend approval of the Planned Development Permit and Site Development Permit with the following conditions:
  - The proposed off-site cut slope to be located adjacent to the eastern property line within an existing open space easement shall be contour graded and revegetated with native plants and/or a hydroseed mix of appropriate native coastal sage scrub species and that the slope shall be maintained until the vegetation meets the success criteria established by the City. Appropriate erosion control measures shall also be implemented and maintained until the site has been successfully revegetated.
  - The existing landscaped slope adjacent to Avenida Venusto (along the western property boundary) shall be rehabilitated by removing all dead and dying shrubs and fallen trees and branches followed by the installation of new shrubs and/or trees where needed to improve the overall appearance of the slope from the roadway and adjacent sidewalk. In addition, if *Pennisetum setaceum* (Fountain Grass) is planted on the site, as shown on the landscaping plans, the City shall ensure that only the red cultivar, which is sterile, is installed on the site, as fountain grass is characterized by the California Invasive Plant Council as a moderate threat to native habitat.
- 3) Recommend approval of the Conditional Use Permit with the following conditions (with the incorporation of these conditions into the CUP, the Planning Board believes the required findings for a CUP can be made):
  - Ensure that the proposals for signage and curb cuts remain consistent with the development plans provided for the May 19, 2016 Planning Board meeting; specifically curb returns should not be permitted at the project entry points and internal stop signs shall be installed where the interior street approaches an entry point.
  - Require that the proposed access gate to the adjacent open space area remain locked until a sustainable trail has been designed, approved by the City, and installed in accordance with the approved trail plan.
  - Require that all lighting, particularly at the two main entries, shall be fully shielded and designed to be consistent with existing dark skies policies intended to protect the Palomar Observatory and adjacent residents.
  - Require that all employee parking shall be accommodated within the project site and employees shall be discouraged from parking on adjacent residential streets.
  - Require that all deliveries to the facility only occur between 7:00 AM and 7:00 PM to reduce noise impacts related to back up bells and truck travel at the project entry points.
  - Require that prior to commencement of construction, a project information hot line is established and this information be disseminated to nearby HOAs and the Planning Board Chair in order to facilitate rapid response to any problems associated with construction activities (e.g., construction starting too early, excessive dirt on public streets, inappropriate parking of construction vehicles).

**Attachment 10**  
**Community Planning Group Recommendation**

The Rancho Bernardo Community Planning Board appreciates the assistance provided by City staff during our review of this proposal. We also appreciate the applicant's responsiveness to issues raised, as well as the amount of time the applicant spent with the DRC in addressing various aspects of the project.

Thank you for the opportunity to provide this input. Please keep the Planning Board posted on upcoming hearing dates for this project.


Sincerely,

Mike Lutz  
Chair, Rancho Bernardo Community Planning Board

cc: Councilman Mark Kersey, District 5



## Ownership Disclosure Form

<b>Project Title:</b>  <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"><b>Part II - To be completed when property is held by a corporation or partnership</b></div> <b>Legal Status (please check):</b>  <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. _____ <input type="checkbox"/> Partnership	<b>Project No. (For City Use Only)</b>  
<p><u>By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached    <input type="checkbox"/> Yes    <input type="checkbox"/> No</u></p>	
<div style="border-bottom: 1px solid black; margin-bottom: 5px;">Corporate/Partnership Name (type or print): AmeriCare Health &amp; Retirement, Inc.</div> <div style="display: flex; justify-content: space-between;"><div><input checked="" type="checkbox"/> Owner    <input type="checkbox"/> Tenant/Lessee</div></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">Street Address: 140 Lomas Santa Fe Dr, Suite 103</div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">City/State/Zip: Solana Beach/ CA/ 92075</div> <div style="display: flex; justify-content: space-between;"><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Phone No: (858) 792-0696</div><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Fax No: (858) 792-7190</div></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">Name of Corporate Officer/Partner (type or print): David G. Petree</div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">Title (type or print): President/CEO</div> <div style="display: flex; justify-content: space-between;"><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Signature : </div><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Date: 5/20/2015</div></div>	<div style="border-bottom: 1px solid black; margin-bottom: 5px;">Corporate/Partnership Name (type or print):</div> <div style="display: flex; justify-content: space-between;"><div><input type="checkbox"/> Owner    <input type="checkbox"/> Tenant/Lessee</div></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">Street Address:</div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">City/State/Zip:</div> <div style="display: flex; justify-content: space-between;"><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Phone No:</div><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Fax No:</div></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">Name of Corporate Officer/Partner (type or print):</div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;">Title (type or print):</div> <div style="display: flex; justify-content: space-between;"><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Signature :</div><div style="border-bottom: 1px solid black; margin-bottom: 5px;">Date:</div></div>
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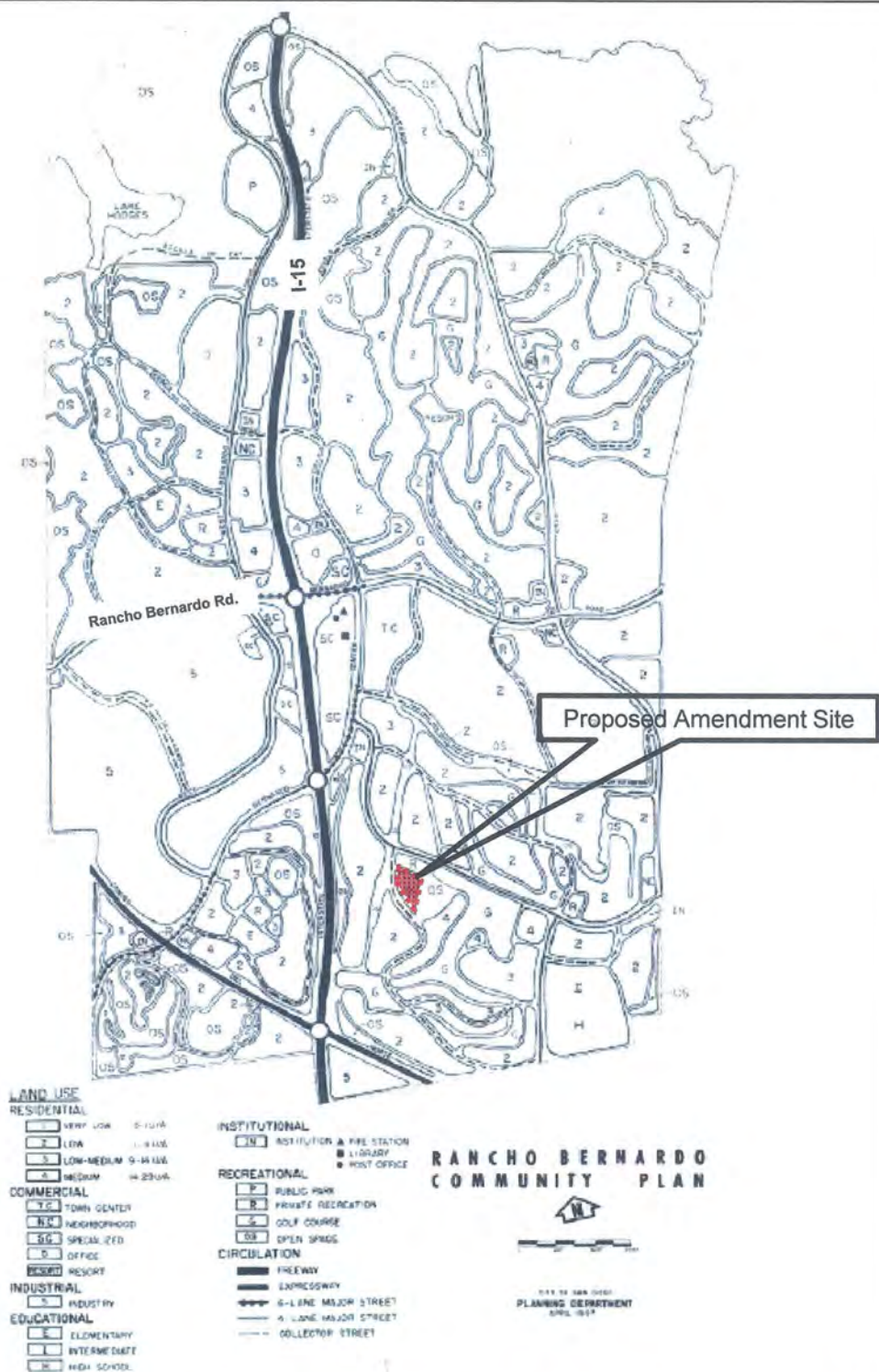


Attachment 12  
Proposed Amendment Site from the Rancho Bernardo Community Plan



# Rancho Bernardo Existing Land Use Plan

Silvergate Rancho Bernardo Project No. 425893  
16061 Avenida Venusto



**Rancho Bernardo Community Plan Map**  
Rancho Bernardo Community Plan







## Project Rendering

**Silvergate Rancho Bernardo Project No. 425893**  
**16061 Avenida Venusto**



#### SITE INFORMATION

ADDRESS:	16061 AVENIDA VENUSTO, SAN DIEGO, CA
PARCEL:	10.883 ACRES (474,063 SF)
ASSESSORS PARCEL#:	274-840-06
LEGAL DESCRIPTION:	PARCEL 5 OF PARCEL MAP 9606
CURRENT ZONING:	RS-1-14 w/ "RESIDENTIAL CARE FACILITIES" ALLOWED w/ CONDITIONAL USE PERMIT.
CURRENT COMMUNITY PLAN:	RANCHO BERNARDO COMMUNITY PLAN - ELEMENTARY SCHOOL.
PROPOSED ENTITLEMENT:	MAINTAIN EXISTING ZONING VIA PLANNED DEVELOPMENT PERMIT, CONDITIONAL USE PERMIT & SITE DEVELOPMENT PERMIT. PROJECT ALSO REQUIRES COMMUNITY PLAN AMENDMENT TO RANCHO BERNARDO COMMUNITY PLAN.
RANCHO BERNARDO COMMUNITY PLAN AMENDMENT:	REQUEST FOR INITIATION OF COMMUNITY PLAN AMENDMENT WAS APPROVED 1/15/15 BY PLANNING COMMISSION PER PROJECT # 380393 TO CHANGE DESIGNATION FROM EDUCATION TO RESIDENTIAL (LOW DENSITY 1-9 DU/AC) THAT ALLOWS A STATE LICENSED RESIDENTIAL CARE FACILITY (PER THE PLANNING COMMISSION RESOLUTION NO PC-4646)

#### PROJECT NARRATIVE

SILVERGATE RANCHO BERNARDO IS A NEW STATE-LICENSED RESIDENTIAL CARE FACILITY FOR THE ELDERLY (RCFE) LOCATED IN THE BERNARDO HEIGHTS COMMUNITY OF RANCHO BERNARDO ON AVENIDA VENUSTO. THE SITE WAS ORIGINALLY PLANNED AS AN ELEMENTARY SCHOOL FOR THE POWAY SCHOOL DISTRICT BUT THEY SOLD THE 10.883 ACRE PARCEL TO AMERICARE HEALTH & RETIREMENT IN DECEMBER 2013 AND AMERICARE IMMEDIATELY COMMENCED DESIGN/PLANNING THROUGHOUT 2014 INCLUDING A PRELIMINARY REVIEW WITH THE CITY OF SAN DIEGO DATED 8/6/14 PROJECT # 380393, IO # 24004803, RANCHO BERNARDO. AT THE TIME, THE FOLLOWING SIGNIFICANT ISSUES WERE CLARIFIED:

- HEIGHT - HEIGHT DEVIATION WAS CLARIFIED TO NEED A PROCESS 4 PLANNED DEVELOPMENT PERMIT (PDP) WHICH IS PART OF THIS APPLICATION. WE ARE REQUESTING A 55' HEIGHT TO NATURAL GRADE TO ACCOMMODATE TILE ROOF ELEMENTS AND TOWERS FOR ENHANCED ARCHITECTURE THAT IS CONSISTENT WITH THE RANCHO BERNARDO COMMUNITY PLAN.
- SPLIT DRIVEWAY - THE MAIN VEHICULAR ENTRANCE NO LONGER HAS A DRIVE WITH A CENTER LANDSCAPE MEDIAN. THE ENTRY DRIVE IS NOW 30FT WIDE CONTINUOUS. HOWEVER, CURB RETURNS ARE PROPOSED AT AVENIDA VENUSTO SINCE DRIVE WILL HAVE AN ILLUMINATED INTERSECTION AT AVENIDA VENUSTO.
- TENTATIVE PARCEL MAP - PROJECT NO LONGER WILL BE SUBDIVIDING THE PROPERTY.
- CONDITIONAL USE PERMIT - THE APPLICATION INCLUDES A CONDITIONAL USE PERMIT TO ALLOW A STATE LICENSED RESIDENTIAL CARE FACILITY. (PROCESS 3)
- COMMUNITY PLAN AMENDMENT - COMMUNITY PLAN AMENDMENT INITIATION WAS APPROVED BY PLANNING COMMISSION 1/15/15 PER PLANNING COMMISSION RESOLUTION NO. PC-4646 FOR CHANGE IN DESIGNATION FROM EDUCATION TO RESIDENTIAL (LOW DENSITY 1-9 DU/AC) THAT ALLOWS A STATE LICENSED RESIDENTIAL CARE FACILITY.

#### OTHER ITEMS ADDRESSED:

- SENSITIVE BIOLOGICAL RESOURCES - BIOLOGICAL REPORT IS PROVIDED TO ADDRESS THE EXTENT AND MITIGATION OF COASTAL SAGE SCRUB AND NON-NATIVE GRASSES. A SITE DEVELOPMENT PLAN APPLICATION IS INCLUDED TO ADDRESS IMPACTS.
- COMMON DINING FACILITIES - A CENTRAL DINING FACILITY IS PROVIDED FOR PROJECT SINCE THE ENTIRE COMPLEX CONSISTS OF ASSISTED LIVING ACCOMMODATIONS. HOWEVER, FULL KITCHENS WILL BE PROVIDED AT THE COTTAGES (20 TOTAL) AND PENTHOUSE (6 TOTAL) UNITS AS THESE UNITS WILL SERVE A TRANSITIONAL RESIDENT THAT CAN CHOOSE FROM A MENU OF ASSISTED LIVING SERVICES WHICH MAY OR MAY NOT INCLUDE MEAL SERVICES.
- PARKING - PROJECT IS SUBSTANTIALLY OVER PARKED WITH 201 SPACES WHERE 123 SPACES ARE REQUIRED PER PLANNING COMMISSION RESOLUTION #4896-C AND CITY OF SAN DIEGO DEVELOPMENT SERVICES PRELIMINARY REVIEW L644-003A. PARKING IS PROVIDED BASED ON THIS SPECIFIC CRITERIA SINCE COMMERCIAL PARKING STANDARDS ARE DEEMED NOT APPROPRIATE TO INCLUDE MOTORCYCLE AND BICYCLE PARKING SPACES. SEE TRAFFIC REPORT
- TRAFFIC - A FOCUSED TRAFFIC REPORT IS PROVIDED TO ADDRESS TRAFFIC GENERATION BY PROJECT WITH 650 ADT.
- CONDOMINIUM - SINCE THIS IS STRICTLY A RESIDENTIAL CARE FACILITY, THERE WILL BE NO NEED FOR A CONDOMINIUM MAP.

#### PLANNING CONCEPT

SILVERGATE RANCHO BERNARDO HAS BEEN CAREFULLY PLANNED TO MEET ALL THE NEEDS OF ITS RESIDENTS. IN ADDITION TO NUMEROUS COMMUNITY AMENITY FEATURES IN THE CLUBHOUSE AND COMMON DINING FACILITY, THE 10.88 ACRES AFFORDS THE OPPORTUNITY TO PROVIDE THE FOLLOWING EXTERIOR AMENITIES FOR INDIVIDUAL OR GROUP ACTIVITIES:

- GARDEN CLUB - A FORMAL RAISED PLANTER AREA AND CITRUS GROVE IS PROVIDED FOR RESIDENTS WITH GREEN THUMBS.
- COURTYARD - THE EXTERIOR FOCAL POINT OFF THE CLUBHOUSE AND COMMON DINING FACILITIES IS THE COURTYARD WHERE A WATER POND AND CENTRAL WATER FOUNTAINS PROVIDE A CALM AMBIENT EXTERIOR ENVIRONMENT FOR PARTIES, EXTERIOR DINING, AND PASSIVE RESIDENT ACTIVITIES.
- THE COMMONS - IS THE CENTER OF SILVERGATE RANCHO BERNARDO'S ACTIVE FUNCTIONS WITH LAP POOL, POOL HOUSE, AND ACTIVITIES TO INCLUDE PUTTING GREEN, LAWN BOWLING, BOCCIE BALL AND CROQUET.
- TOT LOT/DOG WALK - A FEATURE OFFERED TO BOTH THE SILVERGATE RESIDENTS AND ITS NEIGHBORS IS A COMMUNITY TOT LOT AND DOG WALK.
- SITE PLANNING - CAREFUL ATTENTION WAS PAID TO THE PROJECTS SITE PLANNING WHERE WE STRATEGICALLY LOCATED THE SINGLE STORY COTTAGES, WITH GENEROUS SETBACKS EXCEEDING 45FT, IN THE MOST VISIBLE SOUTHERN SECTOR OF THE PROPERTY CONSISTENT WITH NEIGHBORING SINGLE FAMILY HOMES ACROSS AVENIDA VENUSTO. THE SITE IS DOMINATED BY A VIRTUAL FOREST OF ESTABLISHED EVERGREEN TREES AROUND THE NORTHERN SECTOR OF THE SITE AND THIS IS WHERE WE HAVE PLANNED THE TWO AND THREE STORY ASSISTED LIVING COMPONENTS, WITH EQUALLY GENEROUS SETBACKS EXCEEDING 85FT, TO BEST BUFFER THE VISUAL IMPACTS ON NEIGHBORS ACROSS AVENIDA VENUSTO.

#### VICINITY MAP



#### PLANNED DEVELOPMENT PERMIT:

- DEVIATION TO ALLOW FOR 55' HEIGHT LIMIT (CURRENTLY @ 35' BASIC) PER 113.0270 TO ACCOMMODATE TILE ROOFS & TOWERS AND GRADING OF SLOPING SITE.

- WAIVER OF REQUIRED NON-CONTIGUOUS SIDEWALK ALONG AVENIDA VENUSTO FOR THE NORTHERN 700' PORTION OF SIDEWALK. WAIVER REQUESTED DUE TO CONFLICTS w/ EXISTING SLOPES & UTILITIES.
- DEVIATION TO ALLOW MONUMENT SIGNS WHERE SIGNAGE IS NOT ALLOWED IN A RESIDENTIAL ZONE.

#### SITE DEVELOPMENT PERMIT:

PROPERTY CONTAINS SENSITIVE BIOLOGICAL RESOURCES (COASTAL SAGE SCRUB & NATIVE GRASSES) WHICH WILL BE REMOVED & MITIGATED PRIOR TO GRADING. SEE INCLUDED BIOLOGICAL REPORT BY CUMMINGS & ASSOCIATES.

#### CONDITIONAL USE PERMIT:

CUP REQUIRED TO ALLOW FOR RESIDENTIAL CARE FACILITY IN THE RS-1-14 ZONE.

#### PROJECT TEAM INFORMATION

<b>OWNER/APPLICANT</b> AMERICARE HEALTH 145 LOMAS SANTA FE DRIVE SOLANA BEACH, CA 92076 ATTN: MATTHEW PETREE 858-792-0996 x110 mtpetree@americarehr.com	<b>LANDSCAPE ARCHITECT</b> JULIA 3918 NORMAL ST. SAN DIEGO, CA 92103 ATTN: JOHN D. TAYLOR ASLA, LEEDS AP 619-294-4477 x156 john@jktua.com	<b>GEOTECHNICAL ENGINEER</b> GEOSOLIS INC 5741 PALMER WAY CARLSBAD, CA 92010 ATTN: JOHN FRANKLIN O 760-438-3155 franklin@geosolisinc.com
<b>ARCHITECT</b> NDA 1220 ROSECRANS ST. BOX #328 SAN DIEGO, CA 92106 ATTN: GARY NOGLE 619-297-8066 x11 garyn@ndaa.com	<b>TRAFFIC ENGINEER</b> DEMO CONSULTANTS 401 WEST A ST #900 SAN DIEGO, CA 92101 ATTN: DAWN L. WILSON (619) 294-3190 d.wilson@tehrandpeers.com	<b>GREENHOUSE GAS EVALUATION</b> SCENARIOS & EMISSIONS ASSOCIATES 1328 KAIMALINO LANE SAN DIEGO, CA 92109 ATTN: DR. VALERIE L. THOMPSON, PRINCIPAL 858-488-2987 vltrn@earthlink.net
<b>CIVIL ENGINEER</b> OMEGA ENGINEERING CONSULTANTS INC 4340 VIEWRIDGE AVE. SUITE B SAN DIEGO, CA 92123 ATTN: SEAN SAVAGE R.C.E.P.L.S. O 619-622-0888 O 658-434-8620 sean@omega-consultants.com	<b>BIOLOGIST</b> CUMMINGS & ASSOCIATES P.O. BOX 1009 RAMONA, CA 92065 ATTN: GRETCHEN CUMMINGS 760-440-0349 gretchen.bc@sbcglobal.net	<b>ACOUSTICAL ANALYSIS REPORT</b> ELIAD ASSOCIATES INC ACOUSTICAL & ENVIRONMENTAL CONSULTANTS 210 SOUTH JUNIPER STREET, SUITE 100 ESCONDIDO, CA 92025 ATTN: AMY HOOD (760) 738-5570 ahood@ellarassociates.com

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#### UNIT TABULATION

<b>ASSISTED LIVING:</b>	STUDIO (425 SF) 1 BDRM (750 SF) 2 BDRM (ASSISTED LIVING w/ KITCHENS) (1050 SF) PENTHOUSE (ASSISTED LIVING w/ KITCHENS) (1181 SF) TOTAL ASSISTED LIVING UNITS	30 UNITS 72 UNITS 24 UNITS 6 UNITS 132 UNITS
<b>MEMORY CARE SUITES:</b>	TOTAL MEMORY CARE ASSISTED LIVING UNITS	48 UNITS 132 UNITS
<b>COTTAGES:</b>	2 BDRM/2BA (1250 SF) 2 BDRM + DEN/2 BA (1350 SF) 3 BDRM/2BA (1450 SF) TOTAL COTTAGES	10 UNITS 8 UNITS 2 UNITS 20 UNITS
<b>TOTAL ASSISTED LIVING UNITS:</b>	ASSISTED LIVING UNITS	180 UNITS
<b>PARKING TABULATIONS</b>	PROVIDED PARKING • SUBTERRANEAN PARKING • MEMORY CARE SURFACE PARKING • GUEST PARKING • COTTAGES (2 COVERED/UNIT) • COTTAGE GUESTS TOTAL PARKING PROVIDED	87 SPACES 19 SPACES 43 SPACES 40 SPACES 12 SPACES 198 SPACES
<b>REQUIRED PARKING</b>	PER PLANNING COMMISSION RESOLUTION #4896-C & CITY OF SAN DIEGO DEVELOPMENT SERVICES PRELIMINARY REVIEW L644-003A • ASSISTED LIVING & MEMORY CARE @ 1 SPACE/UNIT x 150 UNITS • PENTHOUSE & 2 BDRM UNITS (w/ KITCHENS) @ 1 SPACE/UNIT x 30 UNITS • COTTAGES 2 BEDROOM (w/ KITCHENS) @ 2 SPACES/UNIT x 10 UNITS • COTTAGES 2 BEDROOM (w/ DEN) @ 2.25 SPACES/UNIT x 8 UNITS • COTTAGES 3 BEDROOM @ 2.25 SPACES/UNIT x 2 UNITS TOTAL PARKING REQUIRED	50 SPACES 30 SPACES 20 SPACES 18 SPACES 5 SPACES 123 SPACES

#### DRAWING SYMBOLS

---	PROPERTY LINE
---	FURNITURE (NIC)
---	EDGE OF OVERHEAD PLANES
---	CENTER LINE
---	FACE OF STUD DIMENSION LNO
---	CENTER LINE DIMENSION LNO
○ FH	FIRE HYDRANT
1	NEW CONSTRUCTION NOTES
← AT	EXTERIOR ELEVATION

#### AREA CALCULATIONS

ASSISTED LIVING WINGS (3 STORY) CLUBHOUSE (2 STORIES) 6 PENTHOUSE ABOVE CLUBHOUSE COMMON DINING FACILITIES (1 STORY) TOTAL	112,186 SF 16,576 SF 8,278 SF 8,820 SF 145,860 SF
MEMORY CARE SUITES TOTAL	27,908 SF 145,860 SF
COTTAGE: 10 @ 1250 SF 8 @ 1350 SF 2 @ 1450 SF 20 GARAGES	12,500 SF 10,800 SF 2,900 SF 8,000 SF
POOL HOUSE GARDEN STORAGE SUBTERRANEAN PARKING PER 113.0234 @ 13 TOTAL GROSS AREA (FAR = 472)	11,000 SF 11,000 SF 11,000 SF 44,000 SF
SUBTERRANEAN PARKING STRUCTURE (w/ 11,913 SF SUPPORT SPACE)	11,913 SF

#### DEVELOPMENT REGULATIONS

<b>SETBACKS</b> • FRONT • SIDEYARD • REAR	15' REQUIRED - 44'-6" ACTUAL 4' REQUIRED - 4'-0" ACTUAL 10' REQUIRED - 10'-0" ACTUAL
<b>HEIGHT</b> • 35' HEIGHT LIMIT TO NATURAL GRADE PER THE RS-1-14 ZONING. ACTUAL PROPOSED HEIGHT IS 47'-1" TO FINISH GRADE AND 55' TO NATURAL GRADE TO ACCOUNT FOR SITE GRADING AND ROOF ELEMENTS / TOWERS CONSISTENT WITH THE RANCHO BERNARDO COMMUNITY PLAN.	
<b>FAR</b> • FAR FLOOR AREA RATIO	0.80 MAXIMUM - 0.44 ACTUAL
<b>CONSTRUCTION TYPE</b> • CLUBHOUSE - EAST AND WEST WINGS • COMMON DINING, MEMORY CARE • COTTAGES	TYPE I TYPE V-B TYPE V-A
<b>OCCUPANCY</b>	R2.1 & ASSEMBLY

**GEOLOGIC CONDITIONS**  
EXISTING PADDED PARCEL WAS GRADED IN 1980 AND GEOSOLIS INC. PERFORMED NUMEROUS BORINGS TO IDENTIFY UNDERLYING FILL CANYON CONDITIONS. FILL DETERMINED TO BE COMPETENT WITH HIGHLY EXPANSIVE SOILS. GRADING OPERATION WILL INVOLVE REMOVAL AND RECOMPACT OF EXISTING SOILS WITH A BALANCED CUT/FILL ANTICIPATED. THE EXPANSIVE SOILS WILL REQUIRE MITIGATION WITH NUMEROUS OPTIONS OUTLINED IN GEOSOLIS REPORT (SEE ATTACHED). SITE IS LOCATED WITHIN AN AREA ASSIGNED TO GEOLOGIC HAZARD CATEGORY 27. ACCORDINGLY, LANDSLIDES, FAULTS OR SECONDARY SEISMIC HAZARDS WERE INVESTIGATED AND DEEMED TO NOT PRECLUDE DEVELOPMENT.

#### BUILDING CODES

ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF THESE CODES AND ALL APPLICABLE LOCAL ORDINANCES, C.C.R. IS THE CALIFORNIA CODE OF REGULATIONS, THE GOVERNING CODES ARE:

- 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)
- 2013 CALIFORNIA BUILDING CODE PART 2, TITLE 24, CCR
- 2013 CALIFORNIA ELECTRICAL CODE PART 3, TITLE 24, CCR
- 2013 CALIFORNIA MECHANICAL CODE PART 4, TITLE 24, CCR
- 2013 CALIFORNIA FIRE CODE PART 9, TITLE 24, CCR

#### SIGNAGE AREA:

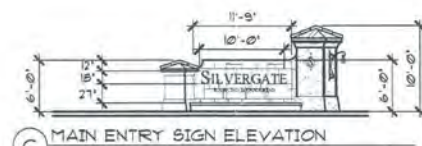
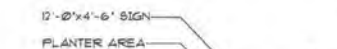
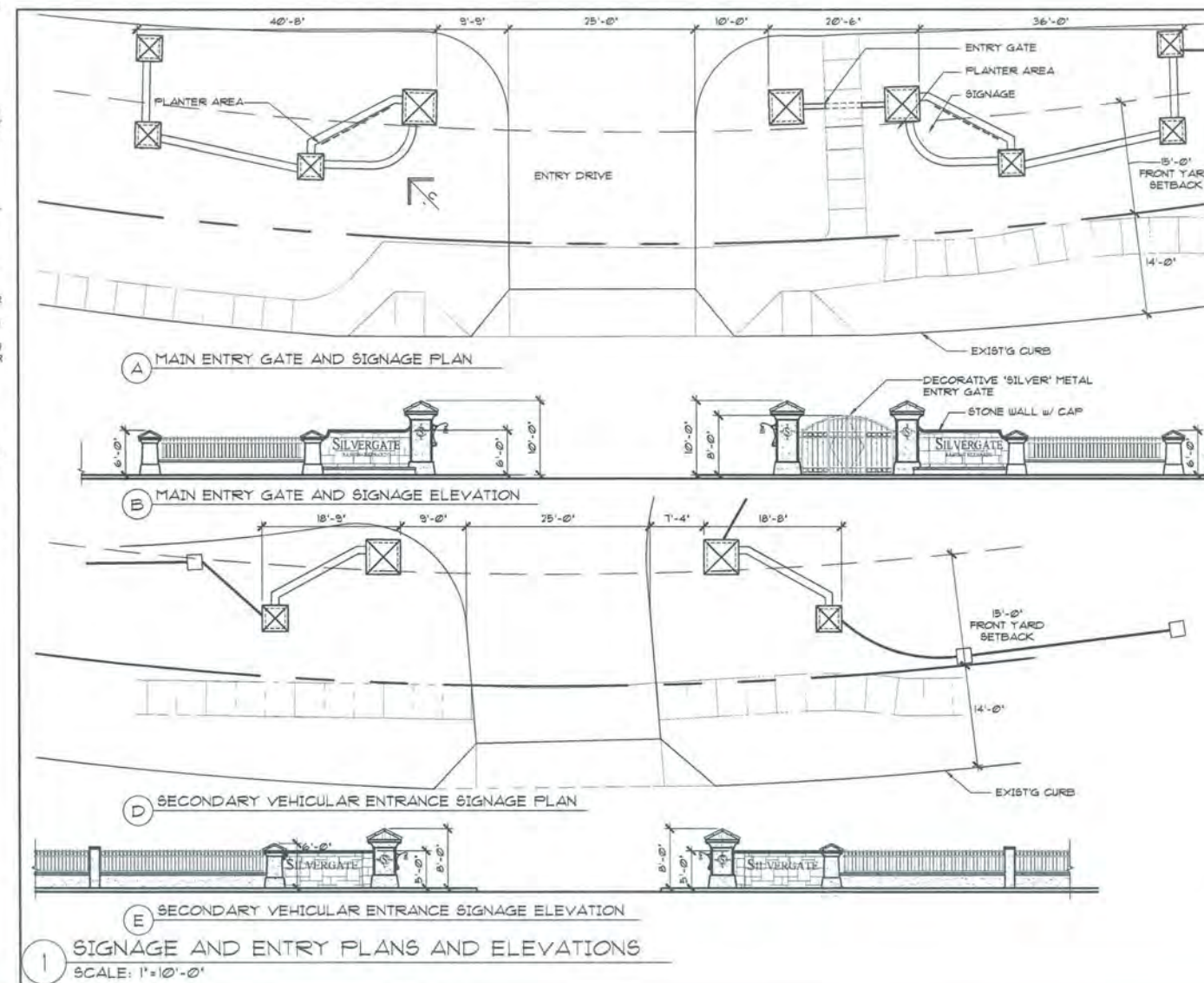
MAIN ENTRY - (2) 10'-0" x 6'-0" • 50 SF  
SECONDARY ENTRY - (2) 10'-0" x 6'-0" • 30 SF

#### SIGNAGE NOTES:

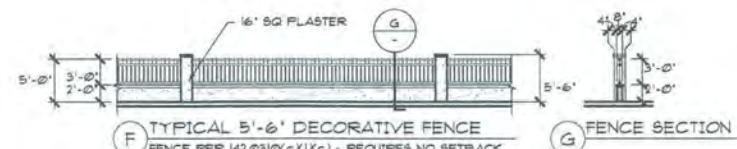
- NO INTERNALLY ILLUMINATED SIGNAGE
- PROVIDE UPLIGHTS TO SIGNS
- ALL LETTERS TO BE METAL LETTERING FEGGED OFF OF MONUMENT SURFACE

#### LIGHTING NOTE:

- ALL LIGHTING WILL BE SHIELDED AND DIRECTED AWAY FROM NEIGHBORS



1 SIGNAGE AND ENTRY PLANS AND ELEVATIONS  
SCALE: 1"=10'-0"







**SILVERGATE**  
Rancho Bernardo

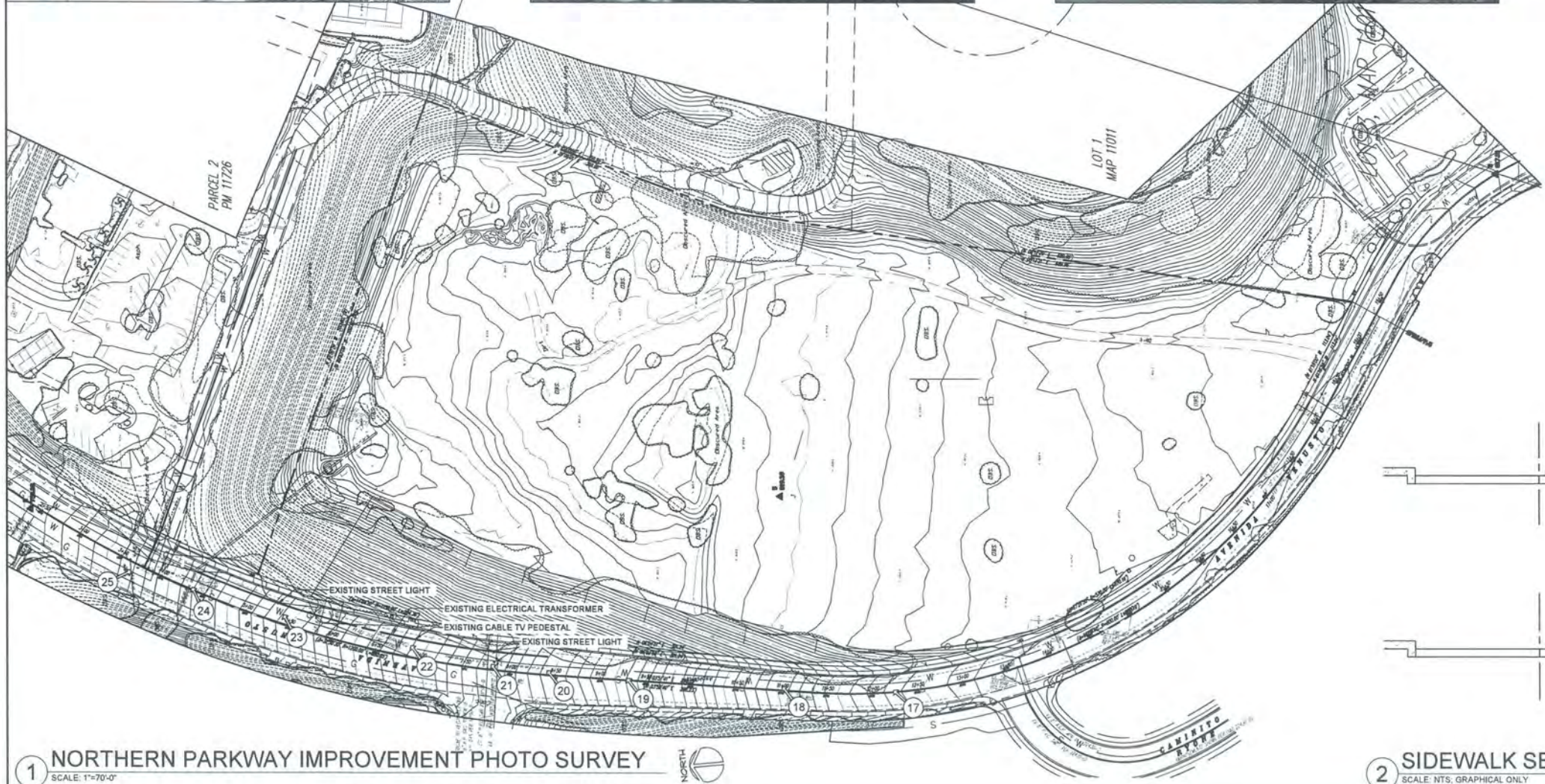
**KTU**  
Planning + Landscape Architecture  
3016 Normal Street  
San Diego, CA 92103  
619.294.4477  
Fax: 619.294.0965

**NDAAGroup**  
8800 W. Highway 161  
San Diego, CA 92128  
Tel: 619.297.8533  
Fax: 619.297.8534

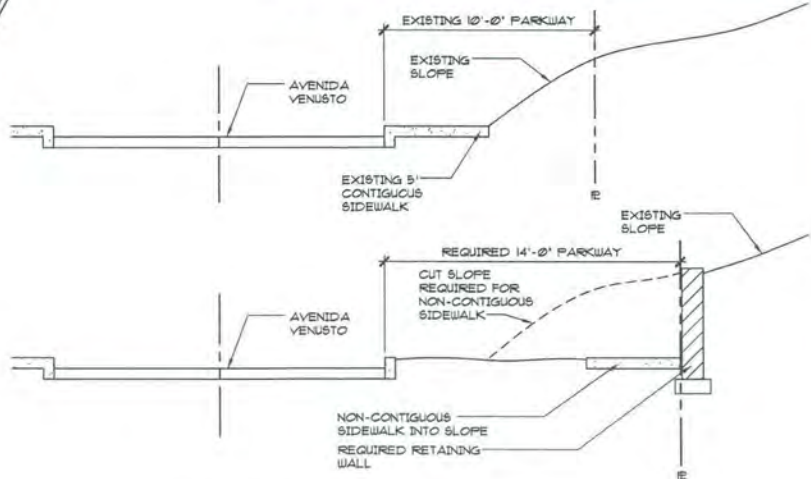
0 20 40 80 120  
SCALE: 1"=40'  
DATE: 4-27-2015

  
NORTH





1 NORTHERN PARKWAY IMPROVEMENT PHOTO SURVEY  
SCALE: 1"=70'-0"

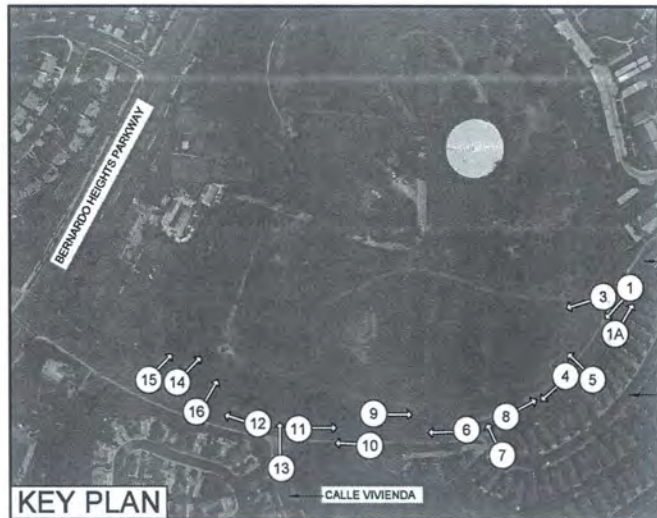


2 SIDEWALK SECTIONS  
SCALE: NTS, GRAPHICAL ONLY

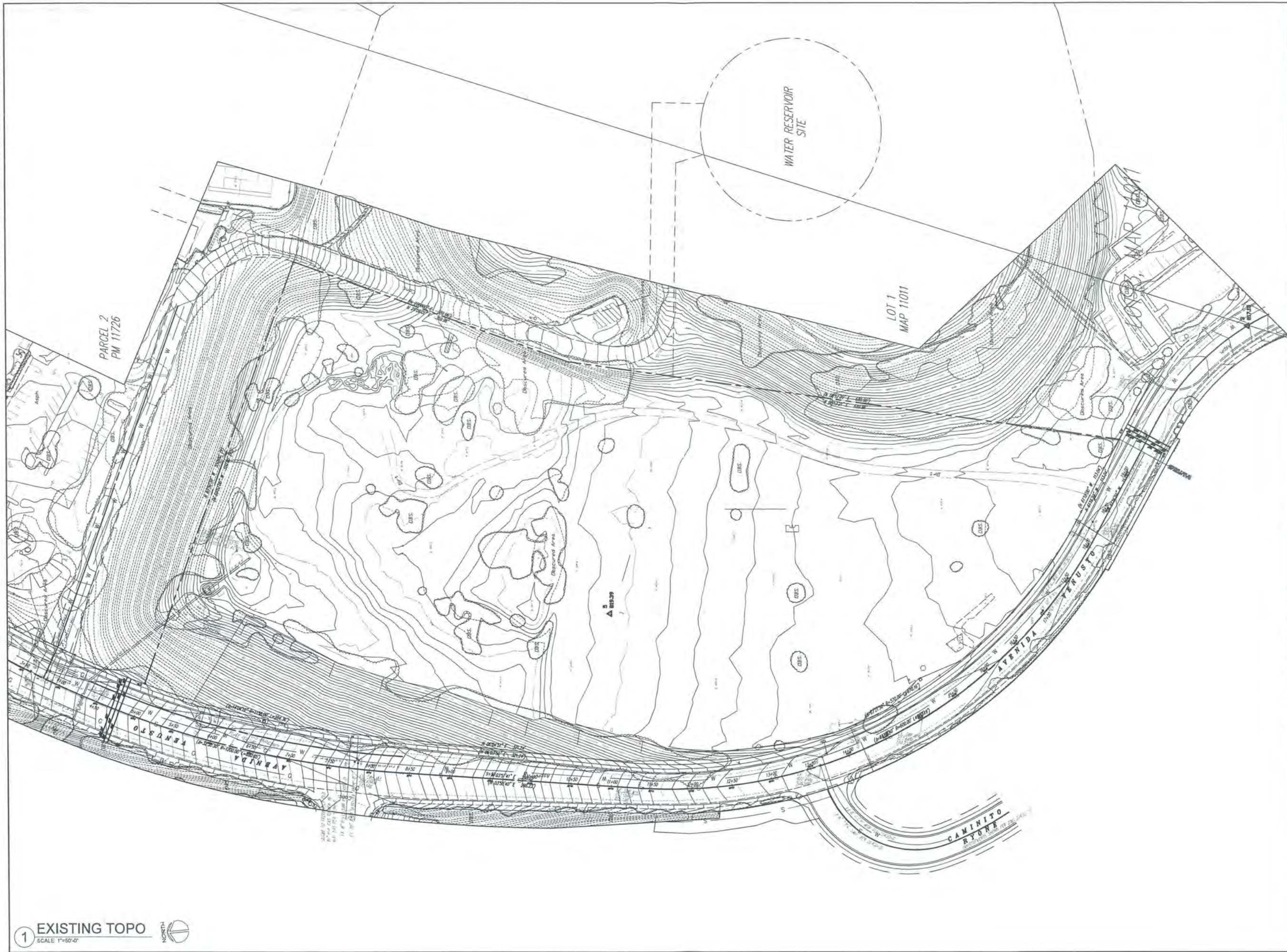
Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15
PLANNING RESUBMITTAL	9-29-15
PLANNING RESUBMITTAL	1-28-16
Revisions	
3-25-2016	

Job Number	
Drawn By	
Checked	
Cad No.	









1 EXISTING TOPO  
SCALE 1"=50'-0"

SITE LEGEND	
PROJECT# 425893	
SITE	

Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15
PLANNING RESUBMITTAL	9-29-15
PLANNING RESUBMITTAL	1-28-16

Revisions	3-25-2016
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Job Number	
Drawn By	
Checked	
Cad No.	



<u>ADDRESS:</u>	16061 AVENIDA VENUSTO, SAN DIEGO, CA
<u>PARCEL:</u>	10.893 ACRES (474,063 SF)
<u>ASSESSORS PARCEL#:</u>	274-840-06
<u>LEGAL DESCRIPTION:</u>	PARCEL 5 OF PARCEL MAP 9609
<u>CURRENT ZONING:</u>	RS-1-14 w/ "RESIDENTIAL CARE FACILITIES" ALLOWED w/ CONDITIONAL USE PERMIT.
<u>CURRENT COMMUNITY PLAN:</u>	RANCHO BERNARDO COMMUNITY PLAN - ELEMENTARY SCHOOL.
<u>PROPOSED ENTITLEMENT:</u>	MAINTAIN EXISTING ZONING W/IA PLANNED DEVELOPMENT PERMIT, CONDITIONAL USE PERMIT & SITE DEVELOPMENT PERMIT. PROJECT ALSO REQUIRES COMMUNITY PLAN AMENDMENT TO RANCHO BERNARDO COMMUNITY PLAN.
<u>RANCHO BERNARDO COMMUNITY PLAN AMENDMENT:</u>	REQUEST FOR INITIATION OF COMMUNITY PLAN AMENDMENT WAS APPROVED 1/15/15 BY PLANNING COMMISSION PER PROJECT # 380393 TO CHANGE

4340 VIEWRIDGE AVE. SUITE 100  
SAN DIEGO, CA 92123  
ATTN: SEAN SAVAGE.

RAMONA, CA 92065  
ATTN: GRETCHEN CUMM  
760-440-0349

ACOSOCIAL & ENVIRONMENTAL  
CONSOLIDATION  
210 SOUTH JUNIPER STREET

TOTAL FARMING REQUIRED		ALL STATES	
1950	100	100	100
1960	95	95	95
1970	90	90	90
1980	85	85	85
1990	80	80	80
2000	75	75	75
2010	70	70	70
2020	65	65	65
2030	60	60	60
2040	55	55	55
2050	50	50	50
2060	45	45	45
2070	40	40	40
2080	35	35	35
2090	30	30	30
2100	25	25	25
2110	20	20	20
2120	15	15	15
2130	10	10	10
2140	5	5	5
2150	0	0	0

11/11/11

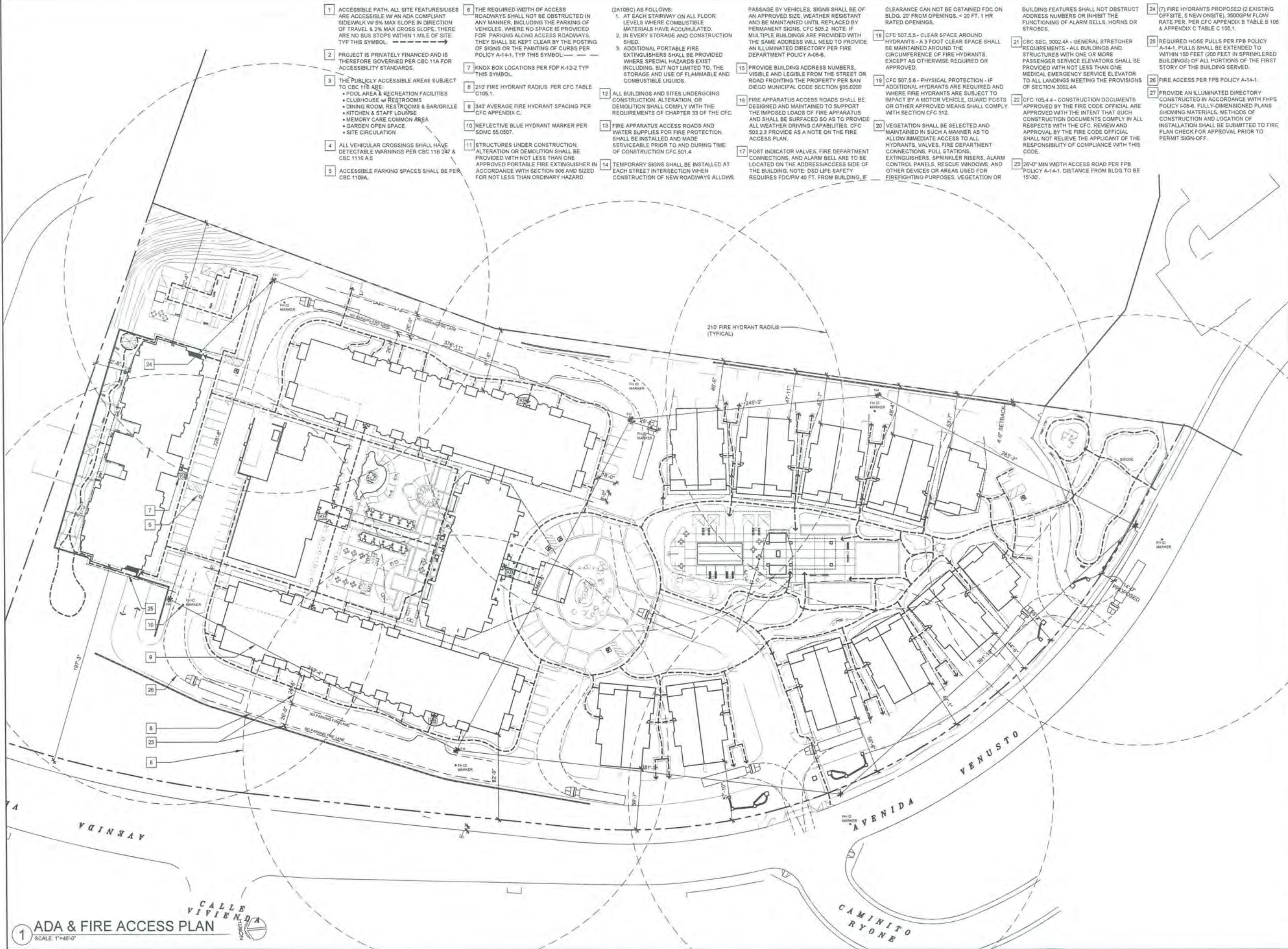
#### BUILDING CODES

## and

## A-01







- 1 ACCESSIBLE PATH. ALL SITE FEATURES/USES ARE ACCESSIBLE W/ AN ADA COMPLIANT SIDEWALK W 5% MAX SLOPE IN DIRECTION OF TRAVEL & 2% MAX CROSS SLOPE. THERE ARE NO BUS STOPS WITHIN 1 MILE OF SITE. TYP THIS SYMBOL.
- 2 PROJECT IS PRIVATELY FINANCED AND IS THEREFORE GOVERNED PER CBC 11A FOR ACCESSIBILITY STANDARDS.
- 3 THE PUBLICLY ACCESSIBLE AREAS SUBJECT TO CBC 11B ARE:
  - POOL AREA & RECREATION FACILITIES
  - CLUBHOUSE w/ RESTROOMS
  - DINING ROOM, RESTROOMS & BAR/GRILLE
  - KITCHEN & STAFF LOUNGE
  - MEMORY CARE COMMON AREA
  - GARDEN OPEN SPACE
  - SITE CIRCULATION
- 4 ALL VEHICULAR CROSSINGS SHALL HAVE DETECTABLE WARNINGS PER CBC 11B 247 & CBC 1116 A.5
- 5 ACCESSIBLE PARKING SPACES SHALL BE PER CBC 1109A.
- 6 THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1, TYP THIS SYMBOL.
- 7 KNOX BOX LOCATIONS PER FDP K-12-2 TYP THIS SYMBOL.
- 8 210' FIRE HYDRANT RADIUS PER CFC TABLE C105.1.
- 9 340' AVERAGE FIRE HYDRANT SPACING PER CFC APPENDIX C.
- 10 REFLECTIVE BLUE HYDRANT MARKER PER SDMG 55.0507.
- 11 STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD.
- 12 ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
- 13 FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION CFC 501.4
- 14 TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS
- (2A10B) AS FOLLOWS:
  1. AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
  2. IN EVERY STORAGE AND CONSTRUCTION SHED.
  3. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.
- 15 PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. CFC 505.2 NOTE: IF MULTIPLE BUILDINGS ARE PROVIDED WITH THE SAME ADDRESS WILL NEED TO PROVIDE AN ILLUMINATED DIRECTORY PER FIRE DEPARTMENT POLICY A-08-6.
- 16 PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 995.0209
- 17 FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.5 PROVIDE AS A NOTE ON THE FIRE ACCESS PLAN.
- 18 CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
- 19 CFC 507.5.6 - PHYSICAL PROTECTION - IF ADDITIONAL HYDRANTS ARE REQUIRED AND WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
- 20 VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR
- 21 BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- 22 CBC SEC. 3002.4A - GENERAL STRETCHER REQUIREMENTS - ALL BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE PROVISIONS OF SECTION 3002.4A
- 23 26'-0" MIN WIDTH ACCESS ROAD PER FFB POLICY A-14-1, DISTANCE FROM BLDG TO BE 15'-30'.
- 24 (7) FIRE HYDRANTS PROPOSED (2 EXISTING OFF SITE, 5 NEW ON SITE), 3500GPM FLOW RATE PER. PER CFC APPENDIX B TABLE B.105 & APPENDIX C TABLE C.105.1.
- 25 REQUIRED HOSE PULLS PER FFB POLICY A-14-1, PULLS SHALL BE EXTENDED TO WITHIN 150 FEET (200 FEET IN SPRINKLERED BUILDINGS) OF ALL PORTIONS OF THE FIRST STORY OF THE BUILDING SERVED.
- 26 FIRE ACCESS PER FFB POLICY A-14-1.
- 27 PROVIDE AN ILLUMINATED DIRECTORY CONSTRUCTED IN ACCORDANCE WITH FFB POLICY 1-08-6, FULLY-DIMENSIONED PLANS SHOWING MATERIALS, METHODS OF CONSTRUCTION AND LOCATION OF INSTALLATION SHALL BE SUBMITTED TO FIRE PLAN CHECK FOR APPROVAL PRIOR TO PERMIT SIGN-OFF.

Attachment 14  
Project Plans  
Sheet 7 of 33

NDAA  
1101 S. BROADWAY, SUITE 400  
SAN ANTONIO, TEXAS 78204  
TEL: 214.222.6000  
WWW.NDAA.COM

**SILVERGATE**  
RANCHO BERNARDO

a Development by AmeriCare Health and Retirement

**SITE LEGEND**  
PROJECT# 425893

**SITE**

Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15
PLANNING RESUBMITTAL	9-29-15
PLANNING RESUBMITTAL	1-28-16

Revisions	3-25-2016
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Job Number	
Drawn By	
Checked	
Cad No.	

**SILVERGATE**  
RANCHO BERNARDO

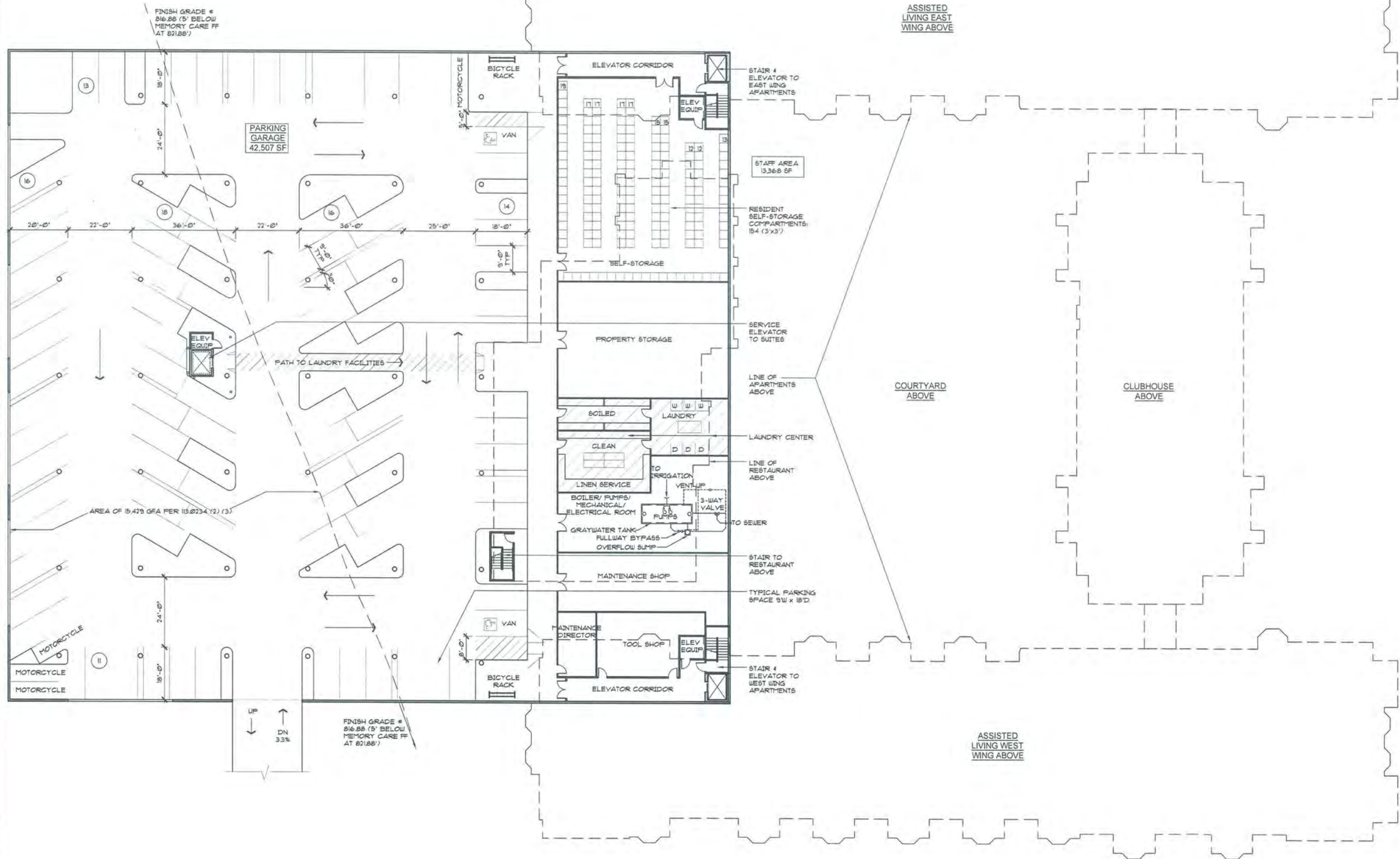
**ADA & FIRE ACCESS PLAN**

Scale 1"=40'-0"

**A-FAP**

SHEET 7 -OF- 27





1 CORE GARAGE FLOOR PLAN  
SCALE 1/16"=1'-0"



PROJECT# 425893

GARAGE

Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15
PLANNING RESUBMITTAL	9-29-15
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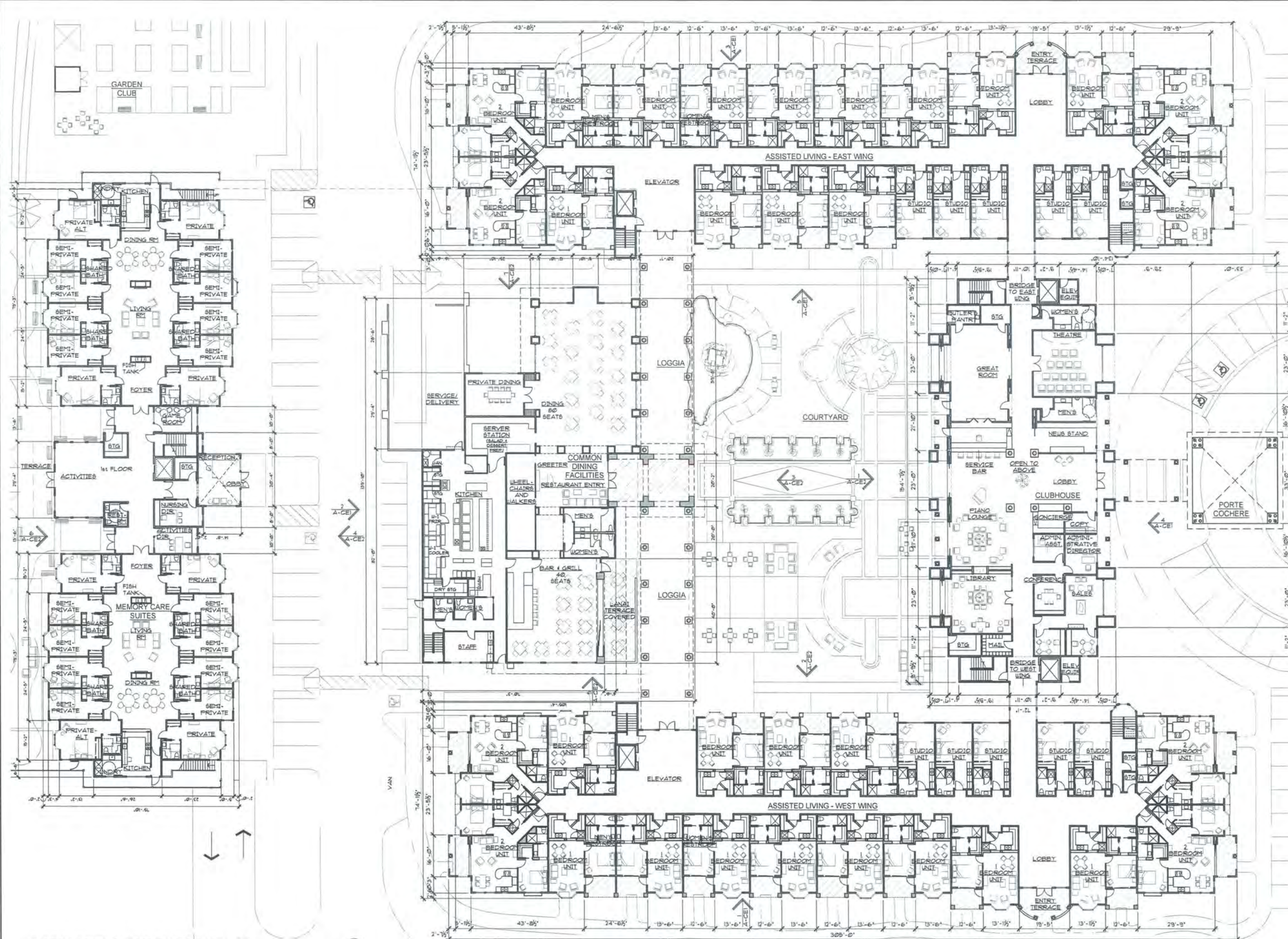


CORE  
GARAGE  
FLOOR  
PLAN

Scale 1/16"=1'-0"

A-G





1 CORE SITE & 1ST FLOOR PLANS  
SCALE: 1/16"=1'-0"

**SITE LEGEND**

PROJECT# 425893

MEMORY CARE,  
DINING FACILITY,  
ASSISTED LIVING &  
CLUBHOUSE

Issue Dates

PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15
PLANNING RESUBMITTAL	9-29-15
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Revisions

3-25-2016
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Job Number

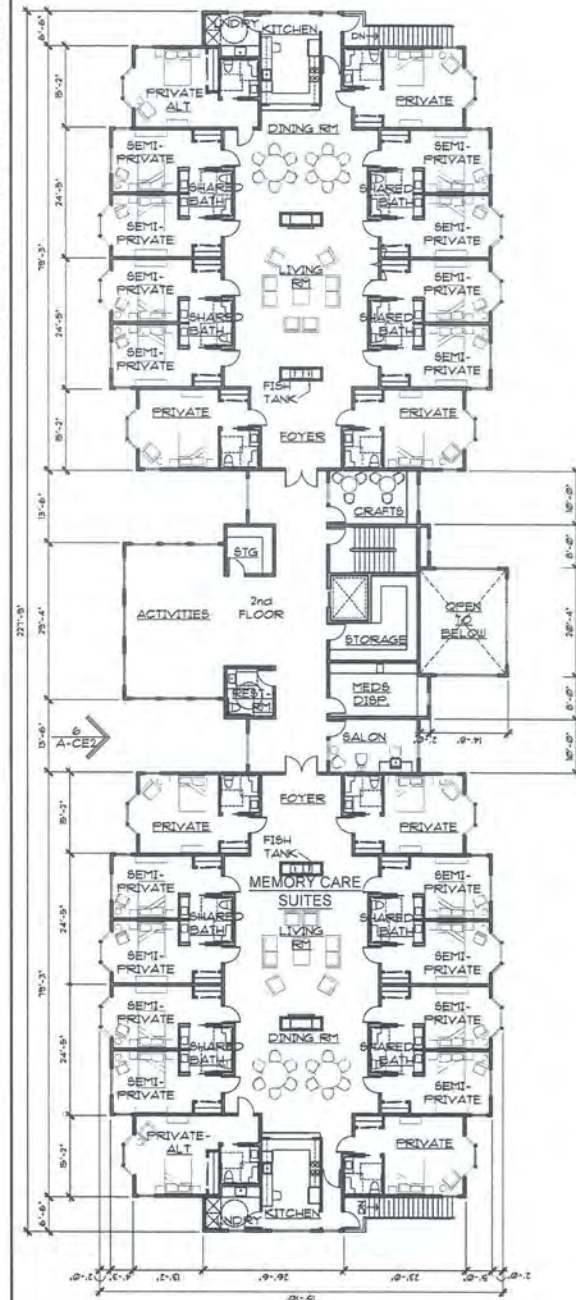
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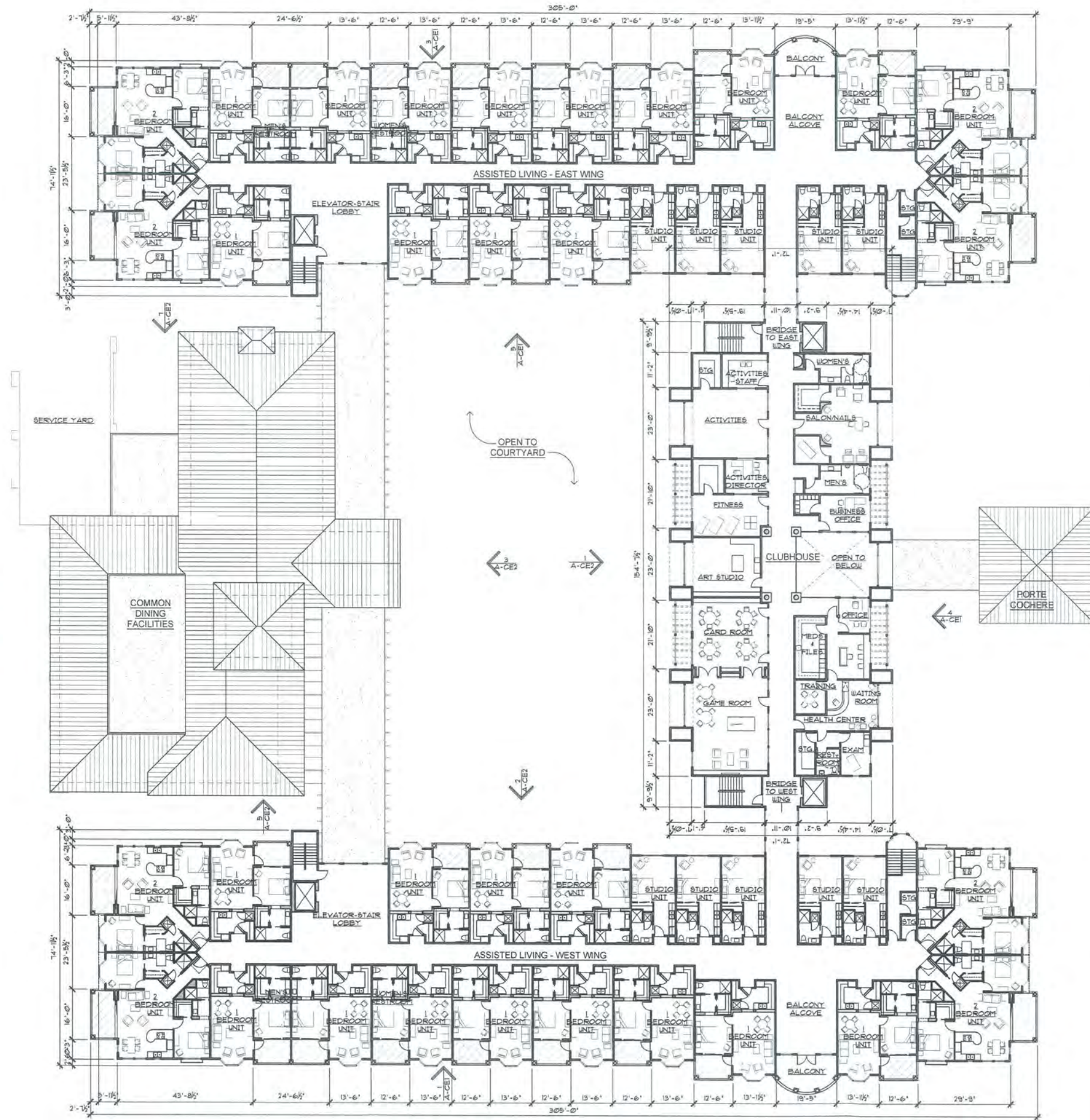
Cad No.







1 OVERALL 2ND FLOOR PLANS  
SCALE: 1/16"=1'-0"



1221 Alameda Street, Suite 400  
San Diego, CA 92101  
Tel: 619-297-0016  
www.ndaarchitect.com



SILVERGATE  
RANCHO BERNARDO

a Development by AmeriCare Health and Retirement



SITE LEGEND

PROJECT# 425893  
MEMORY CARE,  
DINING FACILITY,  
ASSISTED LIVING &  
CLUBHOUSE

Issue Dates  
PLANNING SUBMITTAL 5-20-15  
FULL SUBMITTAL 6-12-15  
COMMENTS RESUBMITTAL 8-7-15  
PLANNING RESUBMITTAL 9-29-15  
PLANNING RESUBMITTAL 1-28-16

Revisions 3-25-2016

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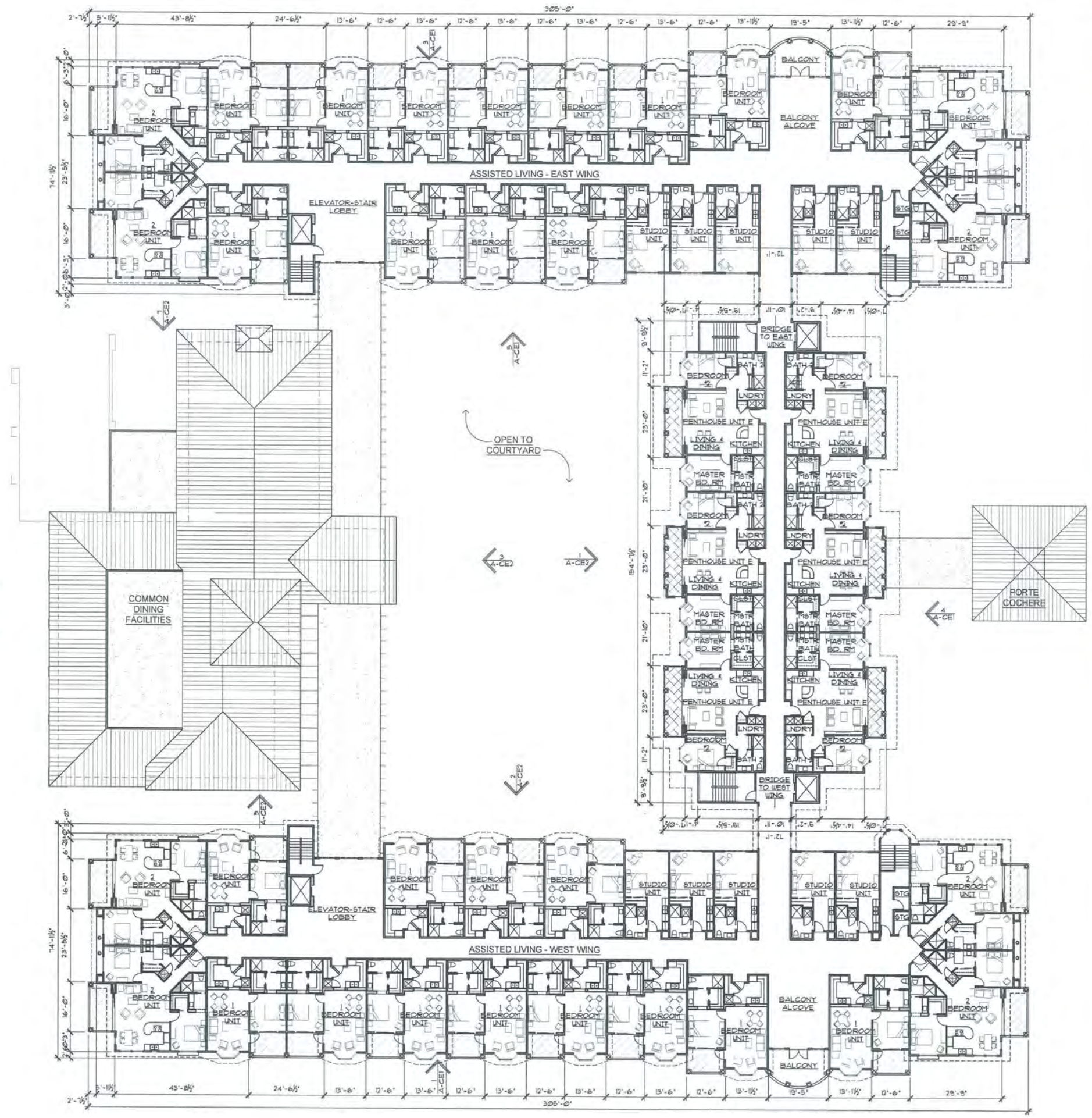
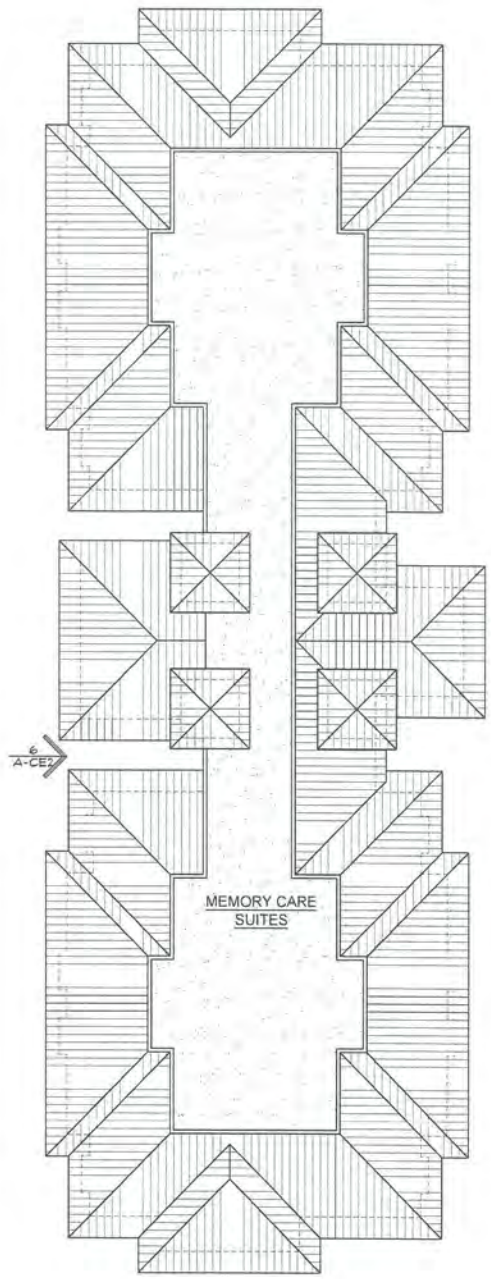
CORE 2ND  
FLOOR  
PLANS

Scale 1/16"=1'-0"

A-C2

SHEET 10-OF- 27





1 OVERALL 3ND FLOOR PLANS  
SCALE: 1/16"=1'-0"



**SITE LEGEND**

PROJECT# 425893

MEMORY CARE,  
DINING FACILITY,  
ASSISTED LIVING &  
CLUBHOUSE

Issue Dates

PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15
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PLANNING RESUBMITTAL	1-28-16

Revisions

3-25-2016
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Job Number  
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Checked  
Cad No.

SILVERGATE  
RANCHO BERNARDO

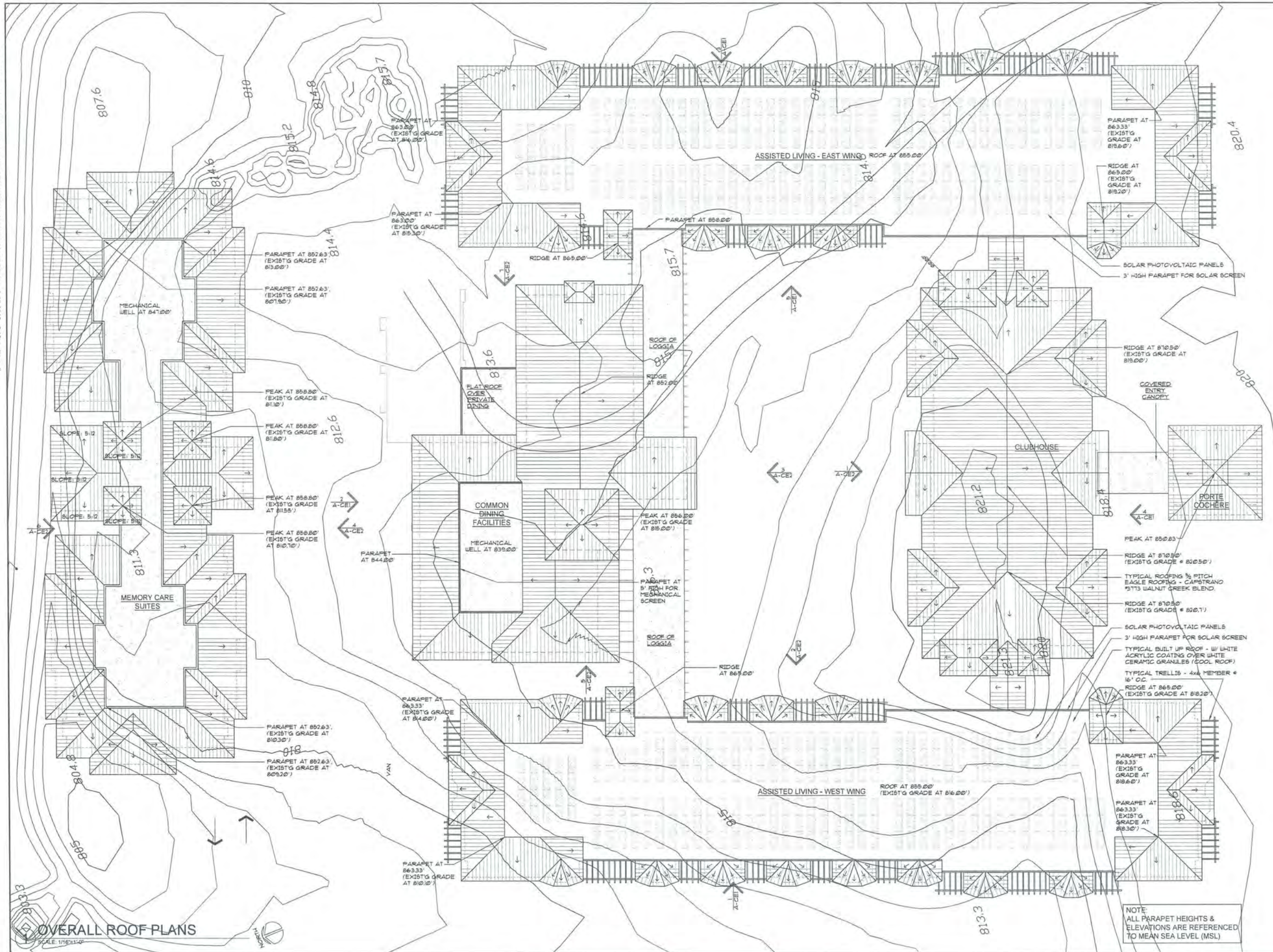
CORE 3RD  
FLOOR  
PLANS

Scale 1/16"=1'-0"

A-C3

SHEET 11-OF- 27







### EXTERIOR FINISH LEGEND

1	<u>TILE ROOFING</u> - 5/12 PITCH, EAGLE ROOFING-CAP, CAPISTRANO #3173 "WALNUT CREEK BLEND".
2	<u>EXTERIOR PLASTER</u> - COLOR TO MATCH BENJAMIN MOORE - "WILMINGTON" TAN #4C 34.
3	<u>ACCENT PLASTER</u> - COLOR TO MATCH BENJAMIN MOORE - "SUGAR COOKIE" #1610-10.
4	<u>EXTERIOR RAILS</u> - DECORATIVE WROUGHT IRON RAILING IN "RUST" FINISH.
5	<u>DETAILED PLASTER</u> - TYPICAL PLASTER w/ DIAGONAL PLASTER CONTROL JOINTS @ 24" O.C.
6	<u>COLUMNS</u> - PRECAST CONCRETE.
7	<u>STOREFRONT WINDOWS</u> - 2" STILE w/ "MEDIUM BRONZE" RUST FINISH.
8	<u>EXTERIOR WINDOWS</u> - VINYL WINDOWS w/ TAN COLOR.

NOTE:  
ALL ROOF ELEVATIONS REFER TO MEAN SEA LEVEL (MSL).

ASSISTED LIVING WEST WING

BRIDGE

PORTE COCHERE OUTLINE — CLUBHOUSE & PENTHOUSE AT 3<sup>RD</sup> FLOOR  
(ELEVATION CALLOUTS TYP PER CLUBHOUSE SOUTH ELEVATION 1/A-42 UNO)

ASSISTED LIVING EAST WING

EXISTING GRADE

FINISH GRADE

4 ASSISTED LIVING & CLUBHOUSE SOUTH ELEVATIONS  
SCALE: 1/16"=1'-0"

SITE LEGEND	
PROJECT# 425893	
MEMORY CARE, DINING FACILITY, ASSISTED LIVING & CLUBHOUSE	
Issue Dates	
PLANNING SUBMITTAL	5-20-15
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Checked	
Cad No.	



**SILVERGATE**  
RANCHO BERNARDO

CORE  
ELEVATIONS

Scale 1/16"=1'-0"

A-CE1

SHEET 13-OF- 27





1 CLUBHOUSE NORTH COURTYARD ELEVATION  
SCALE: 1/16"=1'-0"



2 ASSISTED LIVING EAST COURTYARD ELEVATION  
SCALE: 1/16"=1'-0"

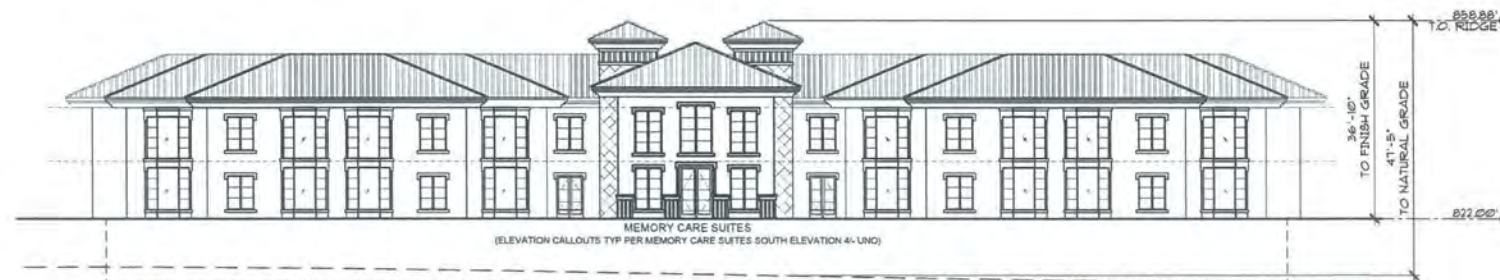
- EXTERIOR FINISH LEGEND**
- 1 TILE ROOFING - 5/12 PITCH, EAGLE ROOFING-CAP, CAPISTRANO #3113 'WALNUT CREEK BLEND'.
  - 2 EXTERIOR PLASTER - COLOR TO MATCH BENJAMIN MOORE - 'WILMINGTON' TAN 4C 34.
  - 3 ACCENT PLASTER - COLOR TO MATCH BENJAMIN MOORE - 'SUGAR COOKIE' #160-10.
  - 4 EXTERIOR RAILS - DECORATIVE WROUGHT IRON RAILING IN 'RUST' FINISH.
  - 5 DETAILED PLASTER - TYPICAL PLASTER w/ DIAGONAL PLASTER CONTROL JOINTS @ 24" O.C.
  - 6 COLUMNS - PRECAST CONCRETE.
  - 7 STOREFRONT WINDOWS - 2" STILE w/ 'MEDIUM BRONZE' RUST FINISH.
  - 8 EXTERIOR WINDOWS - VINYL WINDOWS w/ TAN COLOR.
- NOTE:  
ALL ROOF ELEVATIONS REFER TO MEAN SEA LEVEL (MSL)



3 COMMON DINING FACILITIES SOUTH COURTYARD ELEVATION  
SCALE: 1/16"=1'-0"



4 MEMORY CARE SUITES SOUTH ELEVATION  
SCALE: 1/16"=1'-0"



6 MEMORY CARE SUITES NORTH ELEVATION  
SCALE: 1/16"=1'-0"



5 COMMON DINING FACILITIES WEST ELEVATION  
SCALE: 1/16"=1'-0"



7 COMMON DINING FACILITIES EAST ELEVATION  
SCALE: 1/16"=1'-0"



**SITE LEGEND**  
PROJECT# 425893  
MEMORY CARE,  
DINING FACILITY,  
ASSISTED LIVING &  
CLUBHOUSE

Issue Dates  
PLANNING SUBMITTAL 5-20-15  
FULL SUBMITTAL 6-12-15  
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SILVERGATE  
RANCHO BERNARDO

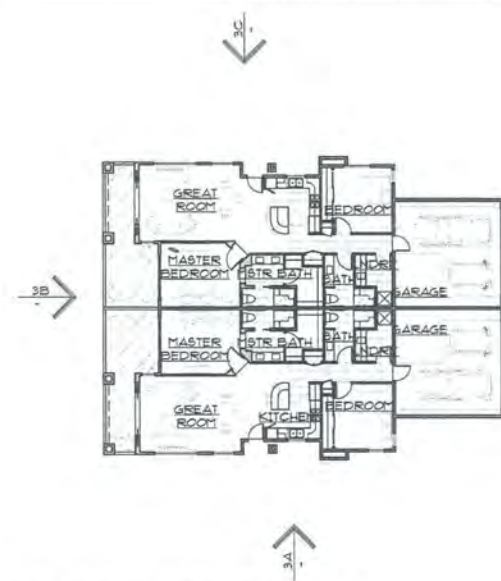
CORE  
ELEVATIONS

Scale 1/16"=1'-0"

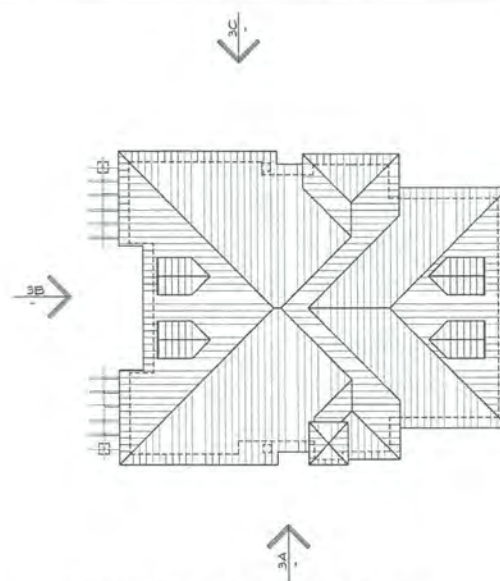
A-CE2

SHEET 14-OF- 27





1 COTTAGE A 1ST FLOOR PLAN  
SCALE: 1/16" = 1'-0"



2 COTTAGE A ROOF PLAN  
SCALE: 1/16" = 1'-0"



A ELEVATION 1



B ELEVATION 2



C ELEVATION 3

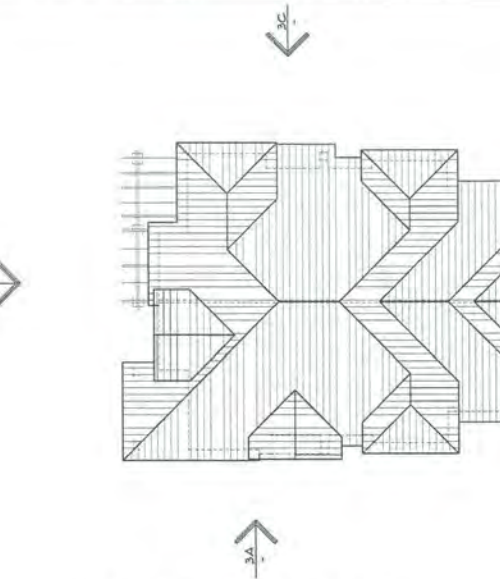


D ELEVATION 4

3 COTTAGE A ELEVATIONS  
SCALE: 1/16" = 1'-0"



4 COTTAGE B 1ST FLOOR PLAN  
SCALE: 1/16" = 1'-0"



5 COTTAGE B ROOF PLAN  
SCALE: 1/16" = 1'-0"



A ELEVATION 1



B ELEVATION 2



C ELEVATION 3

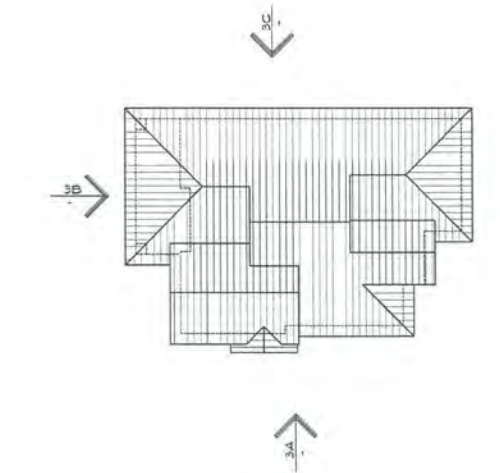


D ELEVATION 4

6 COTTAGE B ELEVATIONS  
SCALE: 1/16" = 1'-0"



7 COTTAGE C 1ST FLOOR PLAN  
SCALE: 1/16" = 1'-0"



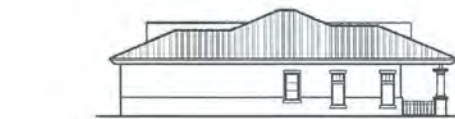
8 COTTAGE C ROOF PLAN  
SCALE: 1/16" = 1'-0"



A ELEVATION 1



B ELEVATION 2



C ELEVATION 3



D ELEVATION 4

9 COTTAGE C ELEVATIONS  
SCALE: 1/16" = 1'-0"



SITE LEGEND

PROJECT# 425893

COTTAGES  
A, B & C

Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	6-7-15
PLANNING RESUBMITTAL	9-29-15
PLANNING RESUBMITTAL	1-28-16

Revisions 3-25-2016

Job Number  
Drawn By  
Checked  
Cod No.

SILVERGATE  
RANCHO BERNARDO  
COTTAGES  
A, B, & C  
FLOOR &  
ROOF  
PLANS &  
ELEVATIONS

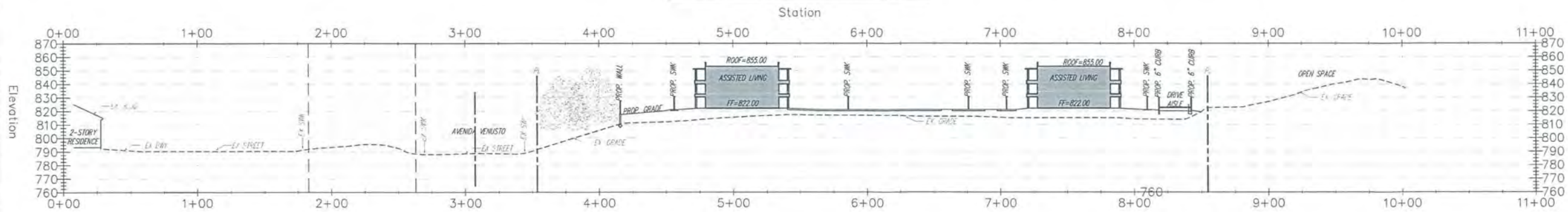
Scale 1/16" = 1'-0"

A-COT

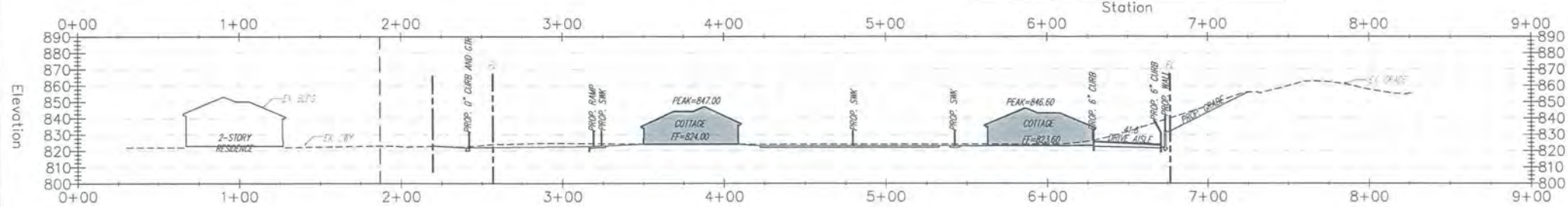
SHEET 15-OF- 27



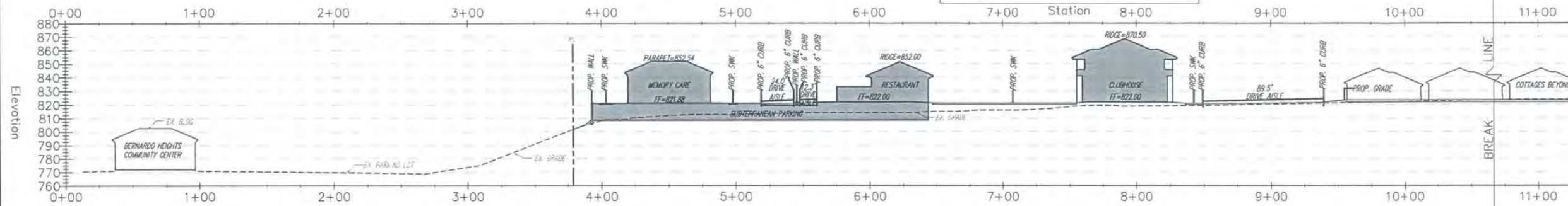
Alignment - A PROFILE



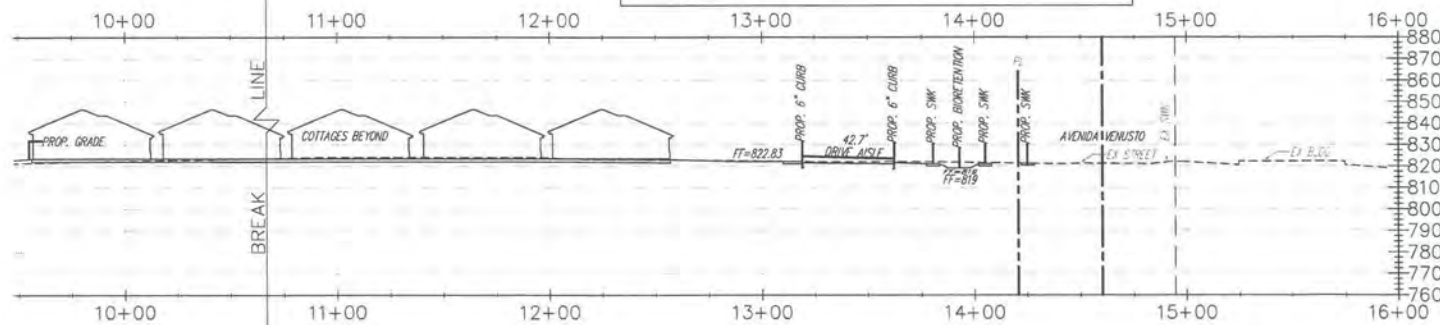
Alignment - B PROFILE



Alignment - C PROFILE



Alignment - C PROFILE cont.



SITE LEGEND  
PROJECT# 425893

SITE

Issue Dates  
PLANNING SUBMITTAL 5-20-15  
FULL SUBMITTAL 6-12-15  
COMMENTS RESUBMITTAL 8-7-15  
PLANNING RESUBMITTAL 9-29-15  
PLANNING RESUBMITTAL 1-28-16

Revisions 3-25-2016

Job Number  
Drawn By  
Checked  
Cad No.



SITE  
SECTIONS

Scale 1"=40'-0"

A-SS

SHEET 16-OF-27





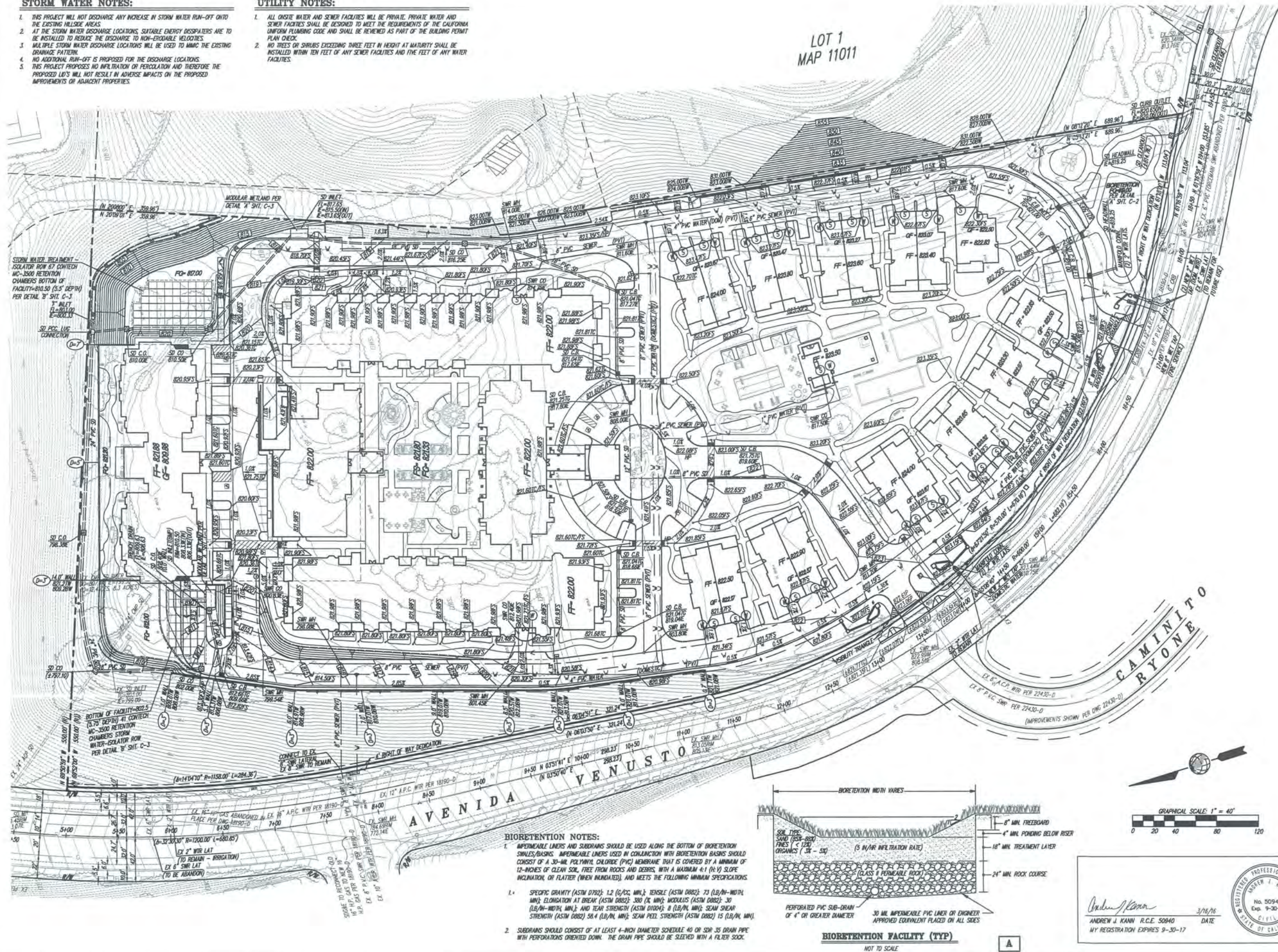


**STORM WATER NOTES:**

1. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
2. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
3. MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
4. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
5. THIS PROJECT PROPOSES NO INFILTRATION OR PERCOLATION AND THEREFORE THE PROPOSED LOT'S WILL NOT RESULT IN ADVERSE IMPACTS ON THE PROPOSED IMPROVEMENTS OR ADJACENT PROPERTIES.

UTILITY NOTES:

1. ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE. PRIVATE WATER AND SEWER FACILITIES SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
2. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.





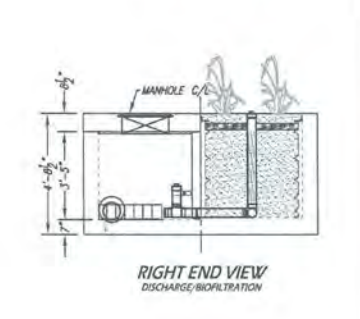
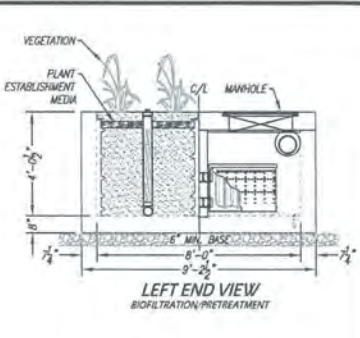
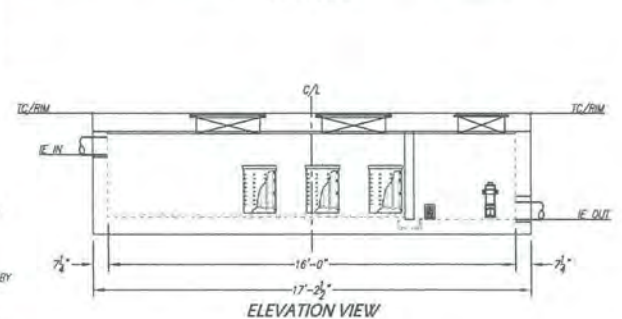
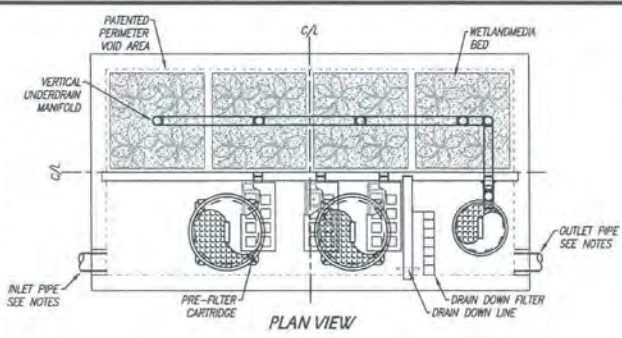
SITE SPECIFIC DATA			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED			
VOLUME BASED (CF)		FLOW BASED (CFS)	
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	#30"	N/A	#24"
WETLAND MEDIA VOLUME (CY)			7.26
WETLAND MEDIA DELIVERY METHOD			TBD
ORIFICE SIZE (DIA. INCHES)			#3.07"
MAXIMUM PICK WEIGHT (LBS)			TBD
NOTES:			

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTERLUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINKING GROUT PER MANUFACTURER'S STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- DROP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



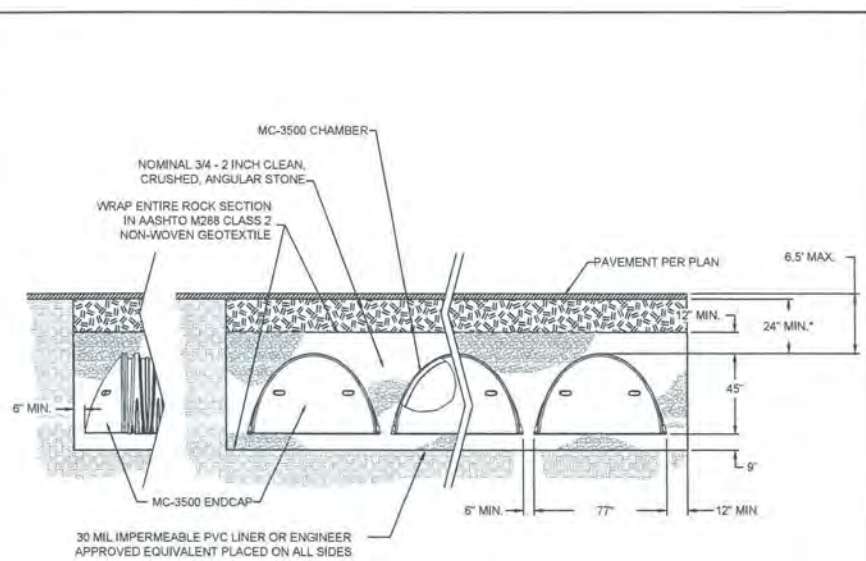
TREATMENT FLOW (CFS)	0.462
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-8-16-V  
STORMWATER BIOFILTRATION SYSTEM  
STANDARD DETAIL

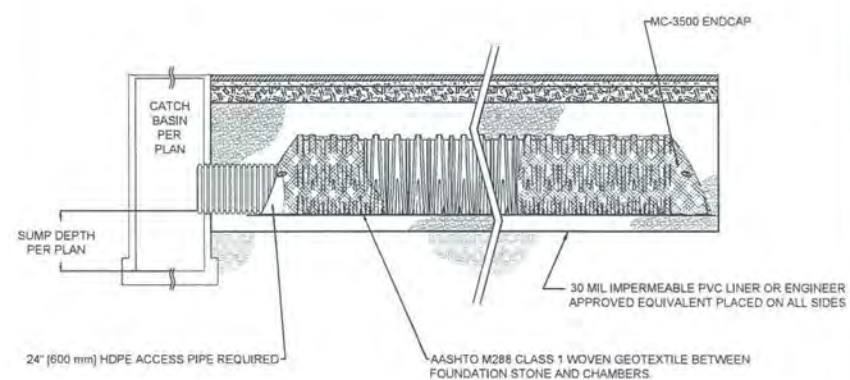
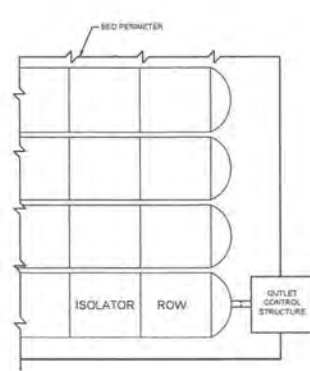
MODULAR WETLAND DETAIL (TYP)

NOT TO SCALE

A



NOTE:  
NUMBER OF CHAMBERS AND ROWS  
AND CONNECTIONS PER PLAN



MC-3500 TYPICAL CROSS-SECTION
SCALE: NTS
DATE:
DRAWN BY:
CHECKED:

MC-3500 OUTLET/ UNDERDRAIN DETAIL
SCALE: NTS
DATE:
DRAWN BY:
CHECKED:

MC-3500 ISOLATOR™ ROW PROFILE
SCALE: NTS
DATE:
DRAWN BY:
CHECKED:

CONTECH MC-3500 RETENTION CHAMBERS DETAIL (TYP)

NOT TO SCALE

B

Professional Engineer stamp for Andrew J. Kann, No. 50940, State of California, dated 3/15/16.

Omega Engineering Consultants  
4345 San Diego, California 92121  
Tel: 619-451-0966  
Fax: 619-451-0967

Omega Engineering Consultants  
4345 San Diego, California 92121  
Tel: 619-451-0966  
Fax: 619-451-0967

SILVERGATE  
RANCHO BERNARDO  
A n c n H u n d R t t

Issue Dates	
Revisions	3-16-2016
Job Number	
Drawn By	
Checked	
Cod No.	

DETAILS

Scale: PER PLAN

C-3

SHEET-OF-



THE BENCHMARK USED FOR THIS SURVEY IS THE BRASS PLUG ON WEST RETURN OF THE INTERSECTION OF BERNARDO HEIGHTS PARKWAY AND AVENIDA VENUSTO AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK, OCTOBER 2011.  
ELEVATION: 743.388  
DATUM: MEAN SEA LEVEL

GROUND TOPOGRAPHIC SURVEYING WAS PERFORMED BY ALTA LAND SURVEYING, INC. ON 03/10/2014

AERIAL TOPOGRAPHIC SURVEYING WAS PERFORMED BY INLAND AERIAL SURVEYS, INC. ON 03/20/2014

### BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35 ADJUSTED, GRID BEARING BETWEEN SECOND ORDER STATIONS '419' AND '432' AS SHOWN ON RECORD OF SURVEY 14492. I.E. N 17°31'25" E

ANY INCREASE IN RUNOFF RESULTING FROM THE DEVELOPMENT OF THE SITE SHALL BE DIRECTED AWAY FROM ANY STEEP HILLSIDE AREAS AND WITHIN INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF.

NOT TO SCALE

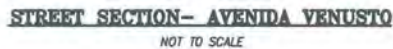
ALL ROOF AREAS SHALL HAVE GUTTER DRAINS TO INTERCEPT STORM WATER. ALL DOWNSPOUTS WILL  
DRAIN DIRECTLY INTO LANDSCAPED AREAS AND THEIR LOCATIONS SHALL BE DETERMINED PRIOR TO  
ISSUANCE OF BUILDING PERMIT.

VISIBILITY AREAS LOCATED NEAR THE DRIVEWAY ENTRY SHALL BE KEPT CLEAR OF ANY LANDSCAPING OR APPURTANCES IN EXCESS OF 3.0' IN HEIGHT.

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE WATER QUALITY TECHNICAL REPORT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER.
4. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER POLLUTION PREVENTION REQUIREMENTS OF THE SAN DIEGO CONSTRUCTION PERMIT, ORDER NO. 2009-0000-0000, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. 19-2007-0001, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
5. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDID) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT, WHEN THE WORKERS OF THE PROJECT ARE SUBJECT TO THE OVERSIGHT OF THE CITY OF SAN DIEGO. A NOTICE OF TERMINATION (NOT) A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION 8.C OF ORDER NO. 2009-0009-0000 AND A COPY SHALL BE SUBMITTED TO THE CITY.

ZONE RS-1-14 PLANNED URBANIZED COMMUNITIES

ALL ON-SITE UTILITIES SHALL BE UNDERGROUND FROM THE IN-LOCATION TO THE POINT OF SERVICE AT THE BUILDING. ANY DEVIATION FROM THIS REQUIREMENT SHALL HAVE THE APPROVAL OF THE ENGINEER OF WORK AND THE CITY ENGINEER.



OWNERSHIP ENTITY: AMERICARE HEALTH AND RETIREMENT  
POINT OF CONTACT: GARY NOBLE  
ADDRESS: 1220 ROSECRANS STREET, BOX 329  
SAN DIEGO, CA 92106  
PHONE NO: (619) 297-8066

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 5 OF BERNARDO HEIGHTS UNIT NO. 4, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9809 AS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 4, 1980.

## 274-840-0500

## TEO

MAP NO. 9609	UNIVERSITY TERRACE IMPROVEMENT PLANS
DWG NO. 18190-D	AVENIDA VENUSTO IMPROVEMENT PLANS
DWG NO. 22430-D	CAMINO RYONE IMPROVEMENT PLANS

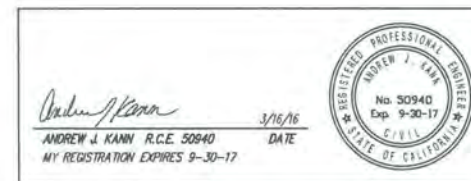
AD	=	AREA DRAIN	(")	=	INCHES OR SECONDS
BF	=	BASEMENT FLOOR	IE	=	INVERT ELEVATION
BW	=	BOTTOM OF WALL	N	=	NORTH OR NORTHING
CONC	=	CONCRETE	P	=	PAVEMENT GRADE
CL	=	CENTER LINE	PCC	=	PORTLAND CEMENT CONC.
CO	=	CLEAN OUT	PE	=	PROFESSIONAL ENGINEER
CY	=	CUBIC YARDS	PV	=	POST INDICATOR VALVE
(°)	=	DEGREES	PROP.	=	PROPOSED
E	=	EAST OR EASTING	PVC	=	POLYVINYL CHLORIDE
EA	=	EACH	PVT	=	PRIVATE
EG	=	EXISTING GRADE	R	=	RADIUS
EL	=	ELEVATION	RD	=	ROAD DRAIN
EP	=	EDGE OF PAVEMENT	R/W	=	RIGHT OF WAY
EX	=	EXISTING	SD	=	STORM DRAIN
(F)	=	FEET OR MINUTES	SS	=	SANITARY SEWER
FF	=	FINISHED FLOOR	SWR	=	SEWER
FG	=	FINISH GRADE	TC	=	TOP OF CURB
FL	=	FLOW LINE	TF	=	TOP OF FOOTING
GB	=	GRADE BREAK	TYP	=	TYPICAL
GR	=	GRADE ELEVATION	TW	=	TOP OF WALL
HDPE	=	HIGH DENSITY POLYETHYLENE	WM	=	WATER METER

SHEET C-1	TITLE SHEET
SHEET C-2	GRADING/UTILITIES
SHEET C-3	DETAILS

TOTAL AMOUNT OF SITE TO BE GRADED: 8.68 ACRES (421,255 SF)  
PERCENT OF TOTAL SITE FINE GRADED: 88.92%  
AMOUNT OF SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 1.56 ACRES.  
PERCENT OF TOTAL SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0% (SITE PREVIOUSLY GRADED)  
AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0 ACRES.  
PERCENT OF SITE WITHIN HILLSIDE REVIEW: 0 %  
AMOUNT OF CUT: 26,296 CUBIC YARDS  
AMOUNT OF FILL: 25,000 CUBIC YARDS  
MAXIMUM HEIGHT OF FILL SLOPE(S): 17 FEET - MAX 2:1 SLOPE RATIO.  
MAXIMUM HEIGHT OF CUT SLOPE(S): 25 FEET - MAX 2:1 SLOPE RATIO.  
AMOUNT OF EXPORT SOIL: 1,296 CUBIC YARDS.  
RETAINING/DRB WALLS: HOW MANY: 5  
MAXIMUM LENGTH: 512 FEET  
MAXIMUM HEIGHT: 14.2 FEET AT NORTHWEST CORNER OF SITE

ITEM	STAKES
CENTERLINE	
PROPERTY LINE	
ROW LINE	
EXISTING CONTOUR	
EXISTING SIGN	
EXISTING UTILITY	
EXISTING STREET LIGHT	
EXISTING CURB & GUTTER	
EXISTING CURB	
EXISTING RIBBON CUTTER	
EXISTING FENCE	
EXISTING FENCE	
EXISTING FENCE	

ITEM	STARS
PROP ROW LINE (4' ROW DEDICATION).	
LIMIT OF WORK (DAYLIGHT LINE).	
PROPOSED STORM DRAIN W/ AREA DRAINS.	
PROPOSED RIP RAP.	
PROPOSED SO CLEANOUT.	
PROPOSED SLOPES (2:1 MAX).	
PROPOSED GRATED INLET.	
PROPOSED CATCH BASIN.	
PROPOSED CONTOUR.	
PROPOSED DRAINAGE DIRECTION & SLOPE.	
PROPOSED SPOT ELEVATION.	
PROPOSED TOP OF CURB ELEVATION.	
PROPOSED FINISHED GRADE.	
PROPOSED RETAINING WALL.	
PROPOSED BUILDING.	
PROPOSED PCC DRIVEWAY.	
PROPOSED BIORIENTATION.	
PROPOSED SEWER MANHOLE (PVT).	
PROPOSED SEWER MAIN (PVT).	
PROPOSED SEWER CLEANOUT (PVT).	
PROPOSED SAWCUT.	
PROPOSED UTILITY SERVICE.	
PROPOSED 2" W/ METER AND BACKFLOW (PVT).	
PROPOSED TRENCH DRAIN.	
PROPOSED STAIRS.	
PROPOSED STORM DRAIN LUG CONNECTION.	
PROPOSED BROW DITCH.	
PROPOSED RETENTION CHAMBERS.	
PROPOSED MODULAR WETLAND.	
PROPOSED FIRE HYDRANT.	
PROPOSED GATE VALVE.	
PROPOSED HEADWALL.	
PROPOSED PEDESTRIAN RAMP.	
PROPOSED FIRE SERVICE BACKFLOW (PVT).	
PROPOSED WATER MAIN (PVT).	
PROPOSED TRASH ENCLOSURE.	
PROPOSED PARKING STALLS.	
PROPOSED FIRE DEPARTMENT CONNECTION (PVT).	
PROPOSED PCC CURB.	
PROPOSED PCC CURB & GUTTER.	
PROPOSED REBBER GUTTER.	
PROPOSED CURB OUTLET.	



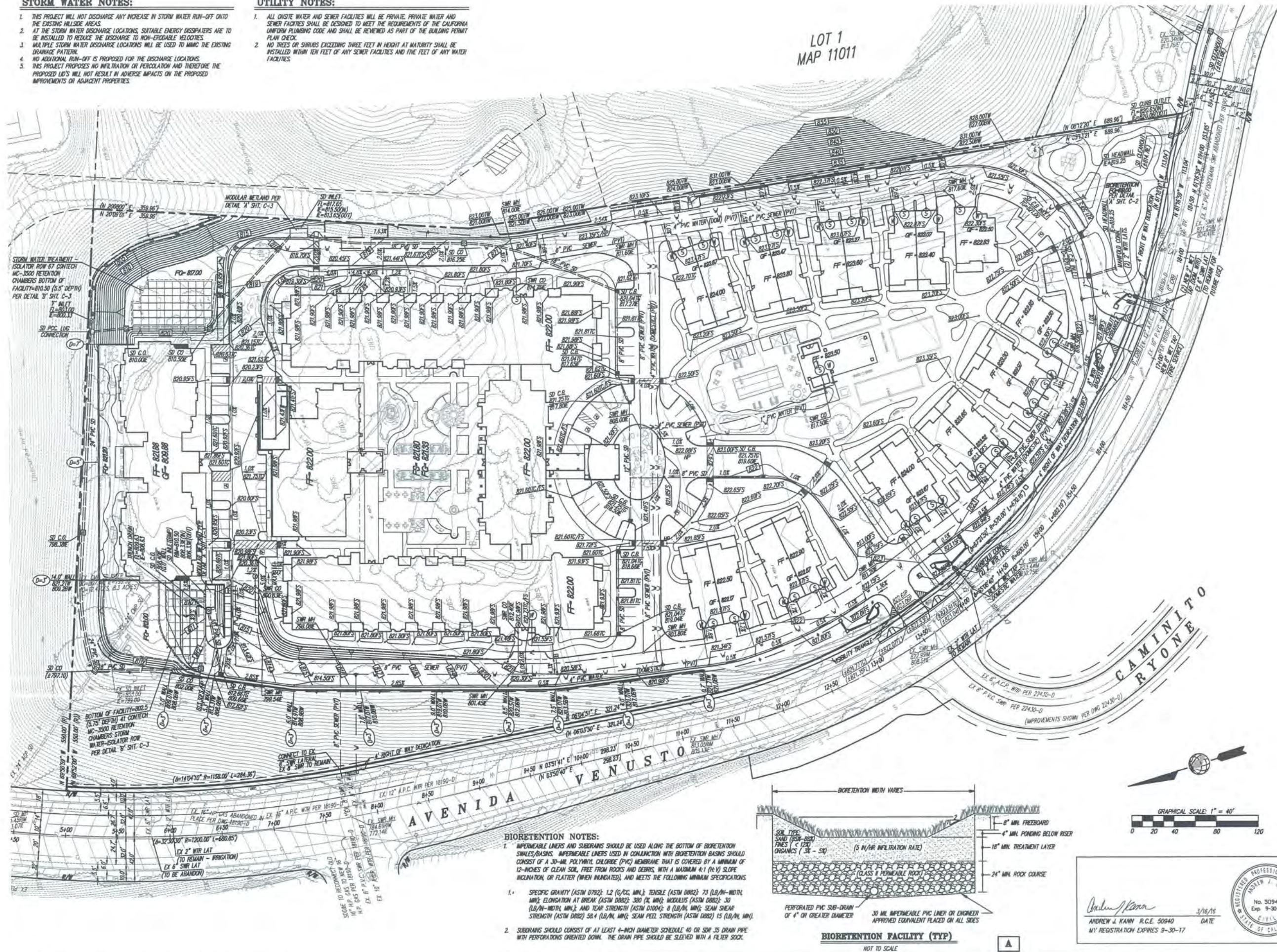


STORM WATER NOTES:

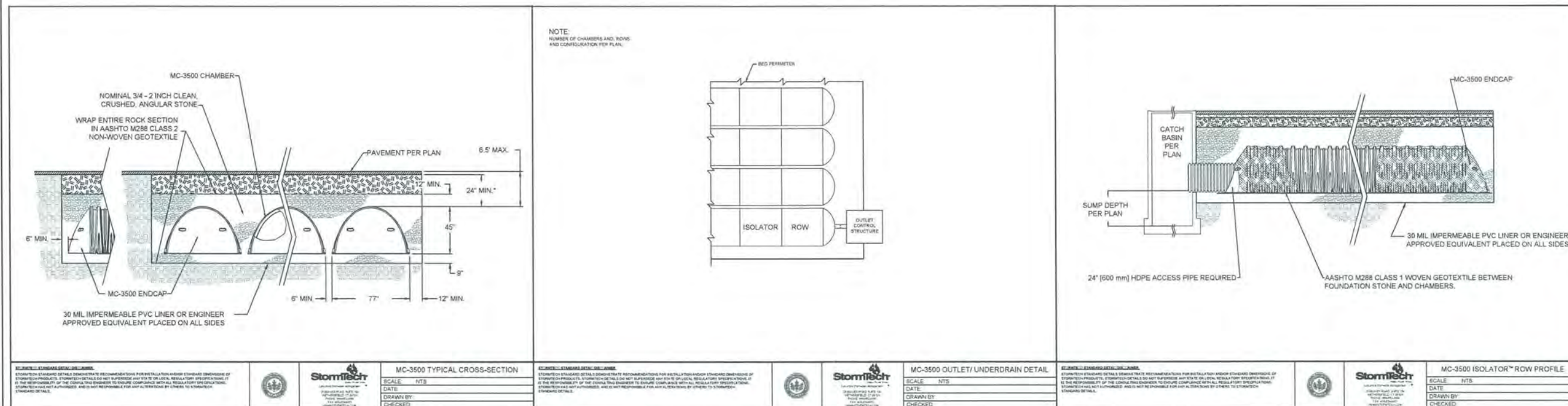
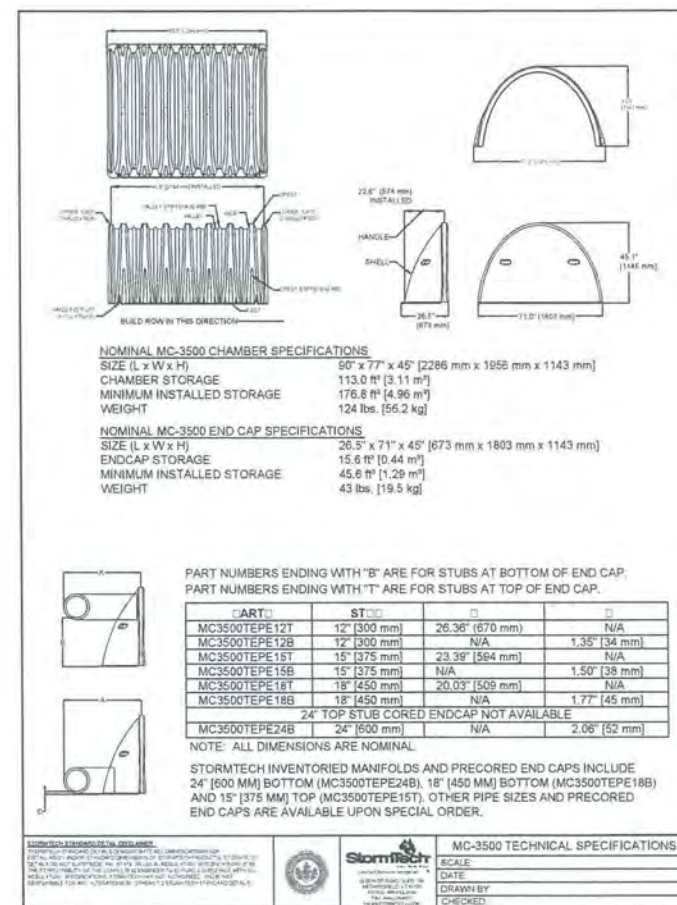
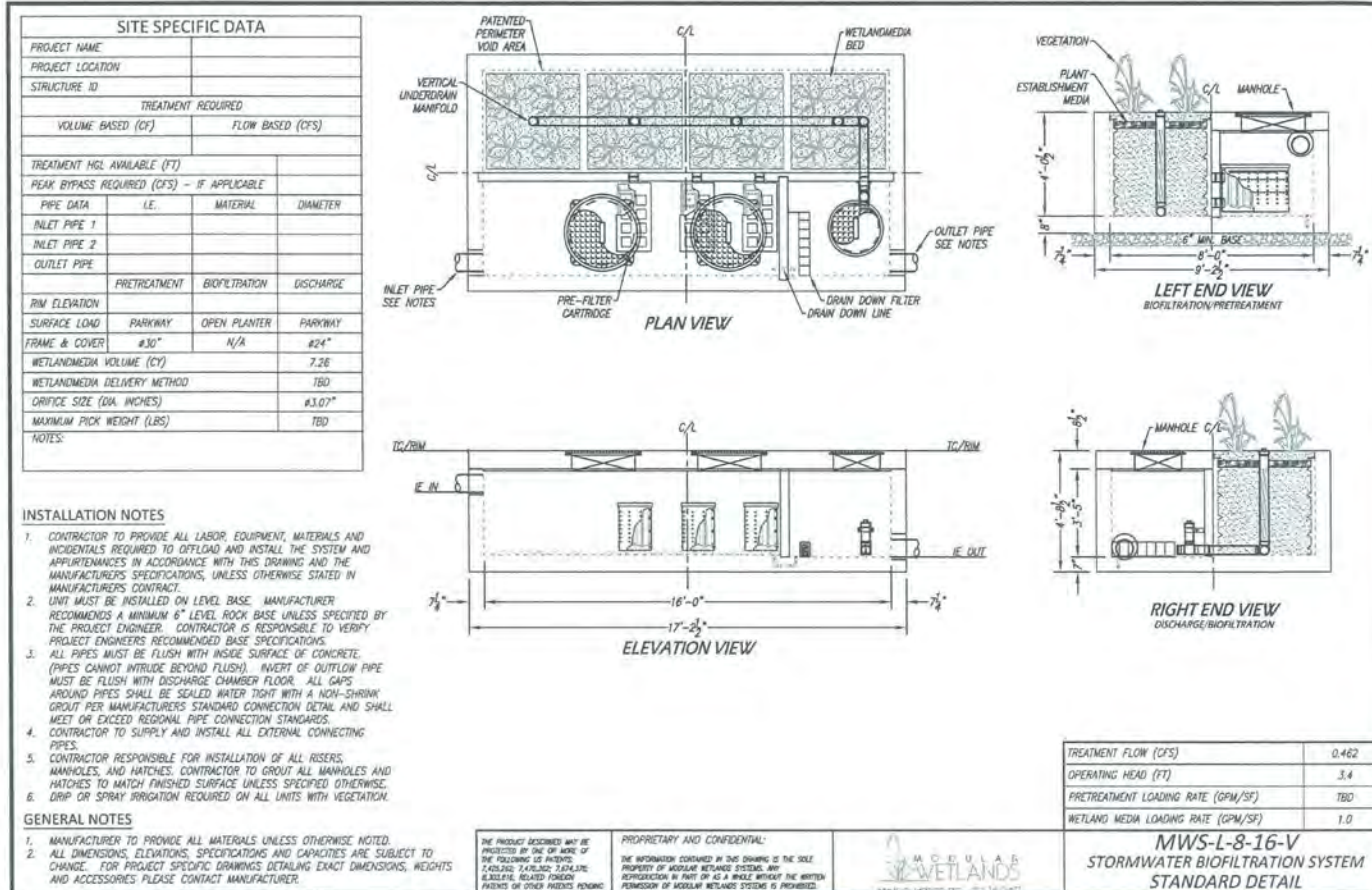
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2. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.







CONTECH MC-3500 RETENTION CHAMBERS DETAIL (TYP)

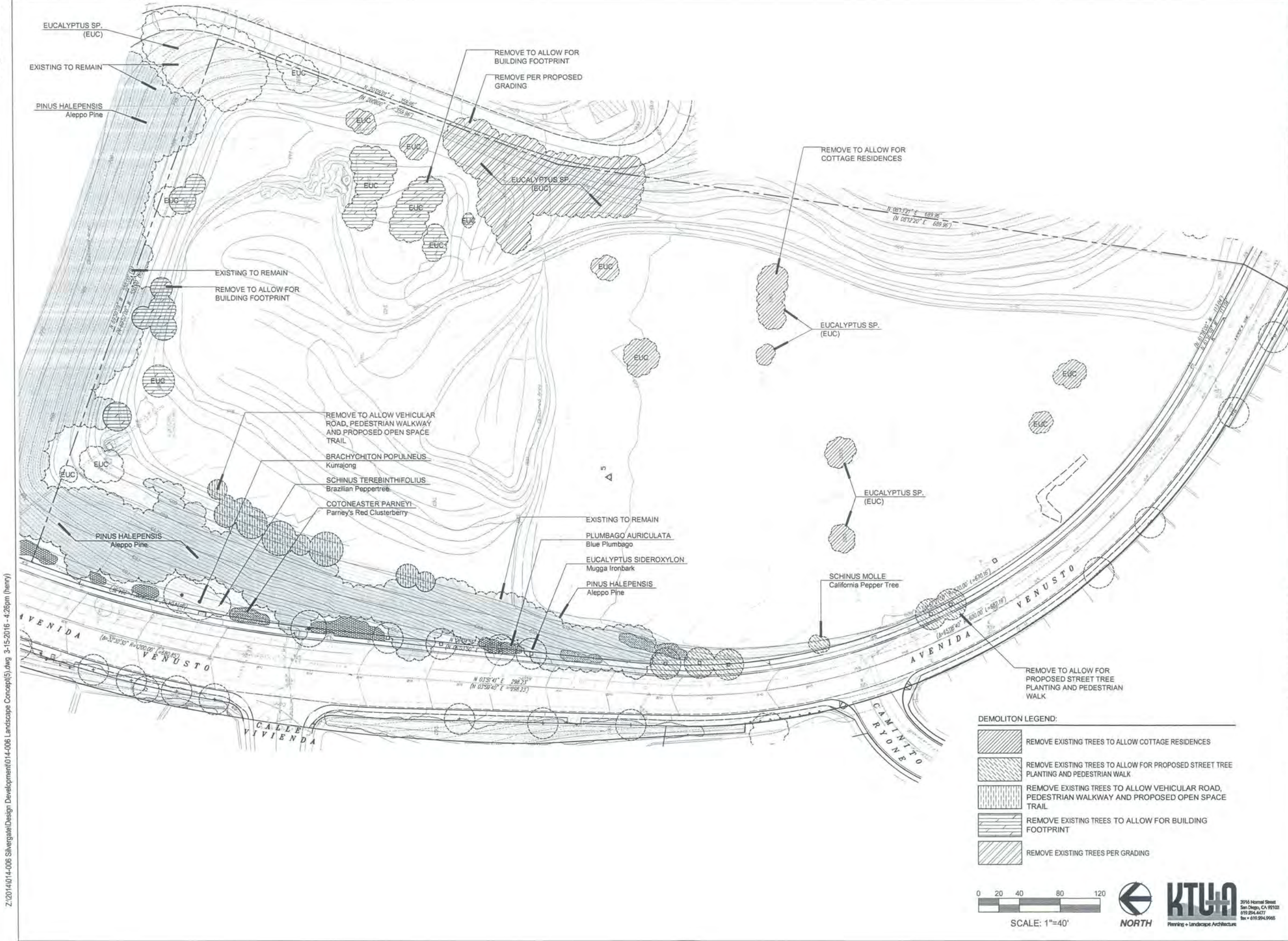


*Andrew J. Mann*  
\_\_\_\_\_  
ANDREW J. MANN R.C.E. 50940  
HY REGISTRATION EXPIRES 9-30-17

3/16/16  
\_\_\_\_\_  
DATE

REGISTERED PROFESSIONAL ENGINEER  
ANDREW J. MANN  
No. 50940  
Exp. 9-30-17  
CIVIL  
STATE OF CALIFORNIA





**SITE LEGEND**  
**SITE**

Issue Dates
PLANNING SUBMITTAL 5-20-15
FULL SUBMITTAL 6-12-15
COMMENTS RESUBMITTAL 8-7-15
PLANNING RESUBMITTAL 9-29-15
PLANNING RESUBMITTAL 1-28-16
PLANNING RESUBMITTAL 3-16-16

Revisions
Job Number
Drawn By
Checked
Cad No.



SITE LEGEND

SITE

Issue Dates
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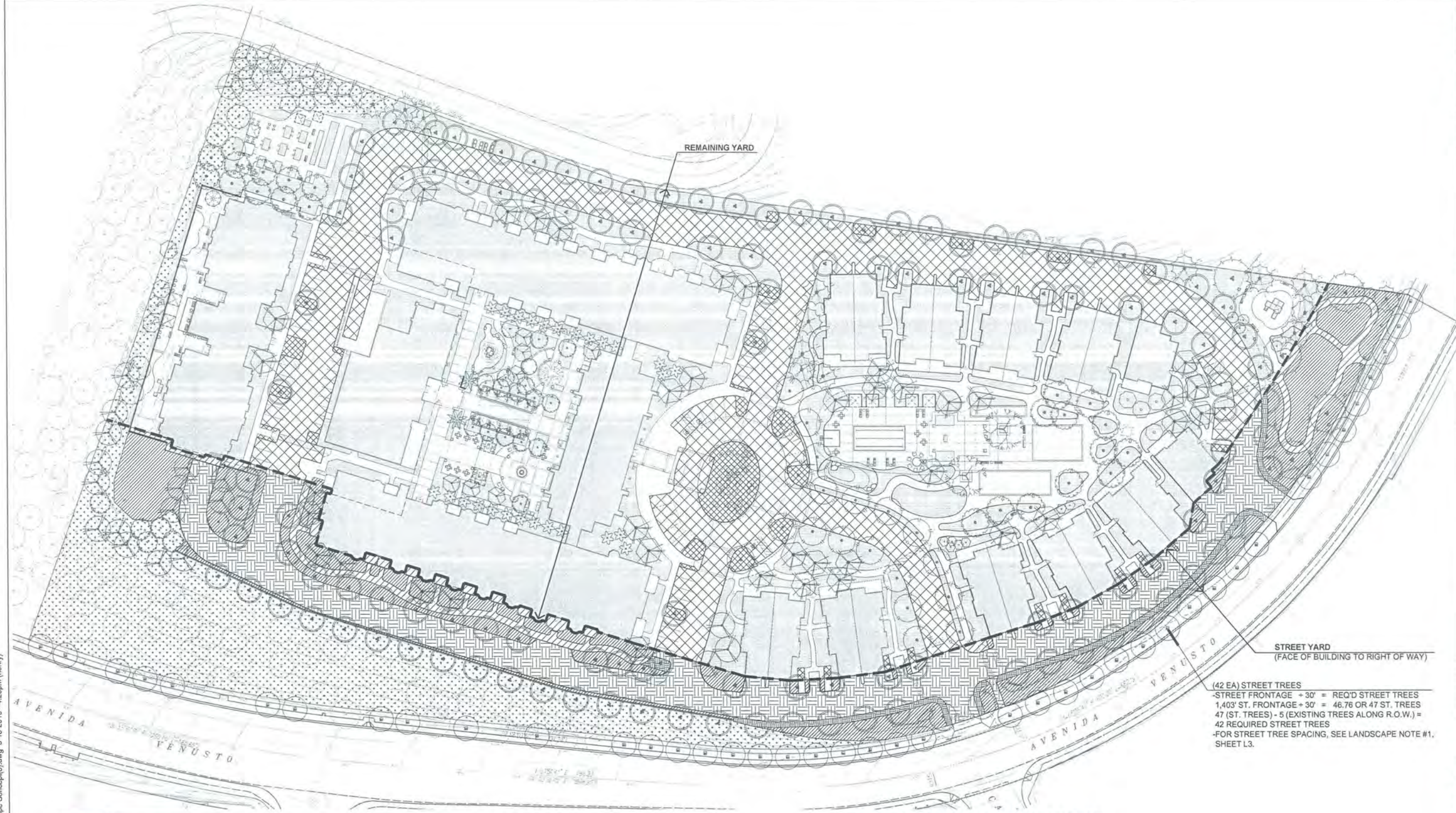


VEHICULAR  
USE AREAS

Scale 1"=40'-0"

L-2

SHEET 17 OF 20



(42 EA) STREET TREES  
-STREET FRONTAGE + 30' = REQ'D STREET TREES  
1,403' ST. FRONTAGE + 30' = 46.76 OR 47 ST. TREES  
47 (ST. TREES) - 5 (EXISTING TREES ALONG R.O.W.) =  
42 REQUIRED STREET TREES  
-FOR STREET TREE SPACING, SEE LANDSCAPE NOTE #1,  
SHEET L3.

City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
(619) 448-5000

**Landscape Calculations Worksheet**  
**Vehicular Use Areas (VUA)**

VEHICULAR USE AREA (≥ 6,000 sf) [142,040sf - 142,040sf]

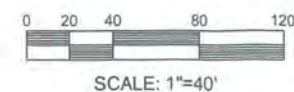
Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: 40,937 sq. ft. x 0.05 = 2,046 sq. ft.	3,951 sq. ft.	1,905 sq. ft.
VUA outside Street Yard: 76,295 sq. ft. x 0.03 = 2,289 sq. ft.	11,757 sq. ft.	9,468 sq. ft.
Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: 40,937 sq. ft. x 0.05 = 2,046 points	3,633 points	1,587 points
VUA outside Street Yard: 76,295 sq. ft. x 0.03 = 2,289 points	4,637 points	2,548 points

LANDSCAPE CALCULATIONS LEGEND

NON-LANDSCAPE AREA	LANDSCAPED AREA	
		VEHICULAR USE AREA (V.U.A.) INSIDE STREET YARD
		VEHICULAR USE AREA (V.U.A.) OUTSIDE STREET YARD
		STREET YARD
		REMAINING YARD
		EXISTING SLOPE

NOTES:

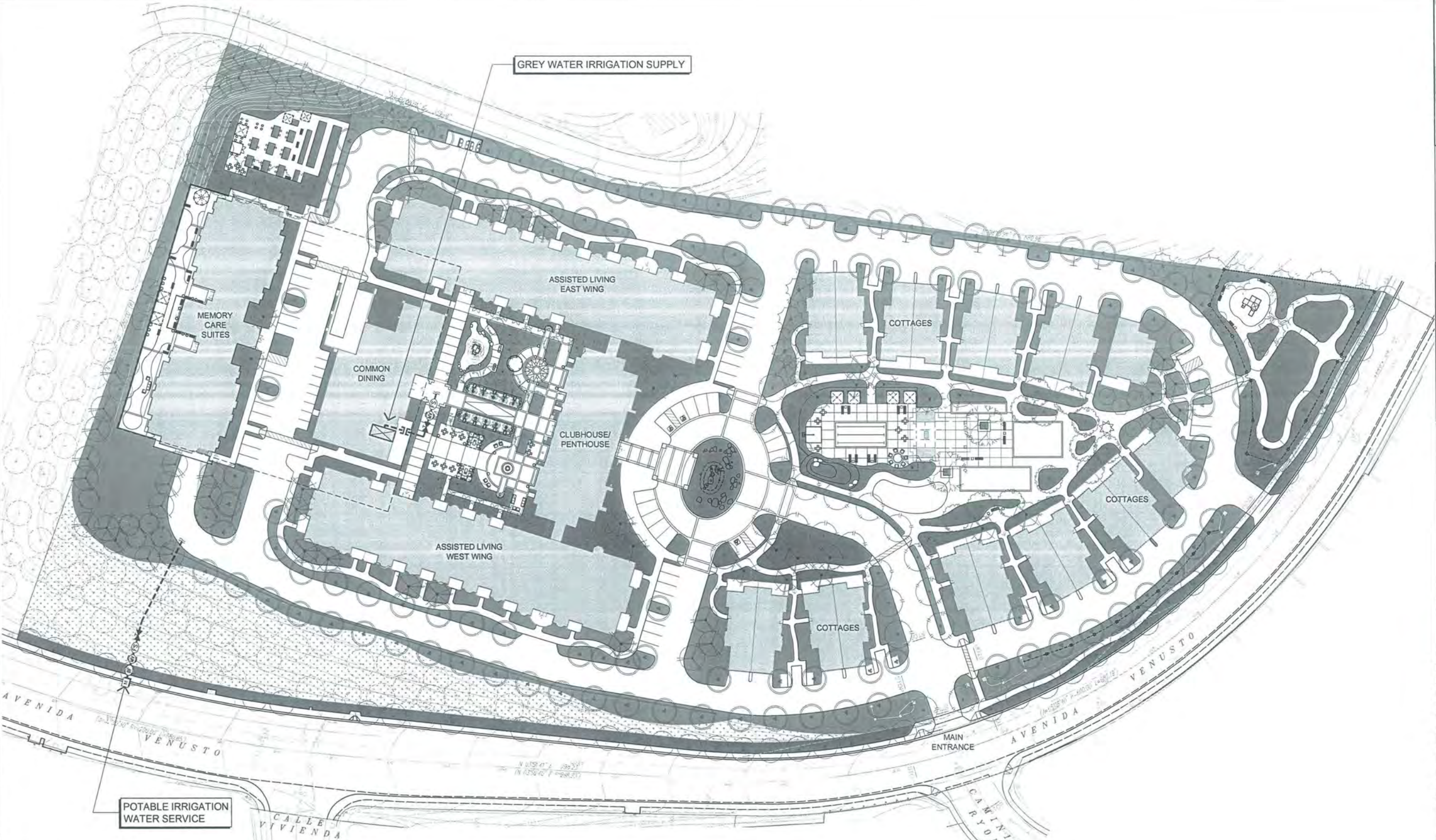
- STREET TREES ARE LOCATED ONE PER THIRTY FEET OF STREET FRONTAGE.
- SHRUBS AND GROUNDCOVERS SPACING SHOWN ARE "AVERAGE TYPICALS" FOR CALCULATION PURPOSES ONLY. THE QUANTITY CALCULATIONS ARE BASED FROM THE PLANT LIST (%) x THE APPLICABLE PLANTING AREA (S.F.), UNLESS OTHERWISE NOTED.



3916 Hornet Street  
San Diego, CA 92108  
619.594.4477  
fax • 619.594.9965



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IRRIGATION WATER DISTRIBUTION AND EQUIPMENT LEGEND:

- POTABLE WATER IRRIGATION (66,094 Sq. Ft.)  
(PUBLIC RIGHT-OF-WAY / PARKWAY, HIGH USE COMMON  
AREAS AND ON-STRUCTURE)

GREY WATER IRRIGATION (95,086 Sq. Ft.)

NON-IRRIGATED EXISTING SLOPE (40,415 Sq. Ft.)
- POINT OF CONNECTION

GREY WATER TANK PER PLUMBING

IRRIGATION WATER METER

BACKFLOW PREVENTER

MASTER VALVE

FLOW SENSOR

ISOLATION VALVE

- GREY WATER CALCULATION (FORMULA):
1.

4,554

GREY WATER GALLONS PROVIDED, OR
- 610

CU. FT (GREY WATER GALLONS x 0.134)
2.

29,291

SQ. FT LANDSCAPE AREA SERVED (1/4" IRRIGATION APPLICATION PER TANK LOAD, TYPICAL, GREY WATER CU. FT x 48 (CONVERSION FACTOR) (12" + 1/4" = 48)
3.

1

TIME(S) TANK LOAD IN A DAY
4.

102,520

SQ. FT AREA FOR IRRIGATION COVERAGE PER WEEK  
(SQ. FT 1/4" IRRIGATION APPLICATION PER TANK LOAD x TIME(S) TANK LOAD IN A DAY x 7 DAYS + DAYS PER WEEK TO IRRIGATE)
5.

0.0208

SQ. FT OF COVERAGE (1/4" + 12")
6.

0.155

GALLONS PER SQ. FT (7.48 GALLONS PER CU. FT x 0.208 SQ. FT)
7.

13,946

GALLONS (0.155 GALLONS x 89,978 SQ. FT)
8.

3.06

DAYS TO IRRIGATE ENTIRE SITE DEVOTED TO GREY WATER (13,946 + 4554)

NOTES:  
1. GREY WATER WILL NOT BE STORED FOR MORE THAN 24 HOUR PERIOD.  
2. (APPROXIMATELY) 4 HRS AND 41 MINS - TIME TO APPLY 1/4" GREY WATER IRRIGATION WITH 0.8 GALLONS PER 24 HRS PERCOLATION RATE TO PREVENT RUN-OFF.

0204080120

SCALE: 1"=40'

NORTH

KTU+H

3916 Normal Street  
San Diego, CA 92108  
619.594.4477  
Fax + 619.594.9955

SILVERGATE

RANCHO BERNARDO

a Development by AmeriCare Health and Retirement

SITE LEGEND

SITE

Issue Dates  
PLANNING SUBMITTAL 5-20-15  
FULL SUBMITTAL 6-12-15  
COMMENTS RESUBMITTAL 8-7-15  
PLANNING RESUBMITTAL 9-29-15  
PLANNING RESUBMITTAL 1-28-16  
PLANNING RESUBMITTAL 3-16-16

Revisions

Job Number  
Drawn By  
Checked  
Cod. No.

SILVERGATE

RANCHO BERNARDO

POTABLE  
AND GREY  
WATER  
IRRIGATION  
DISTRIBUTION  
PLAN

Scale 1"=40'-0"

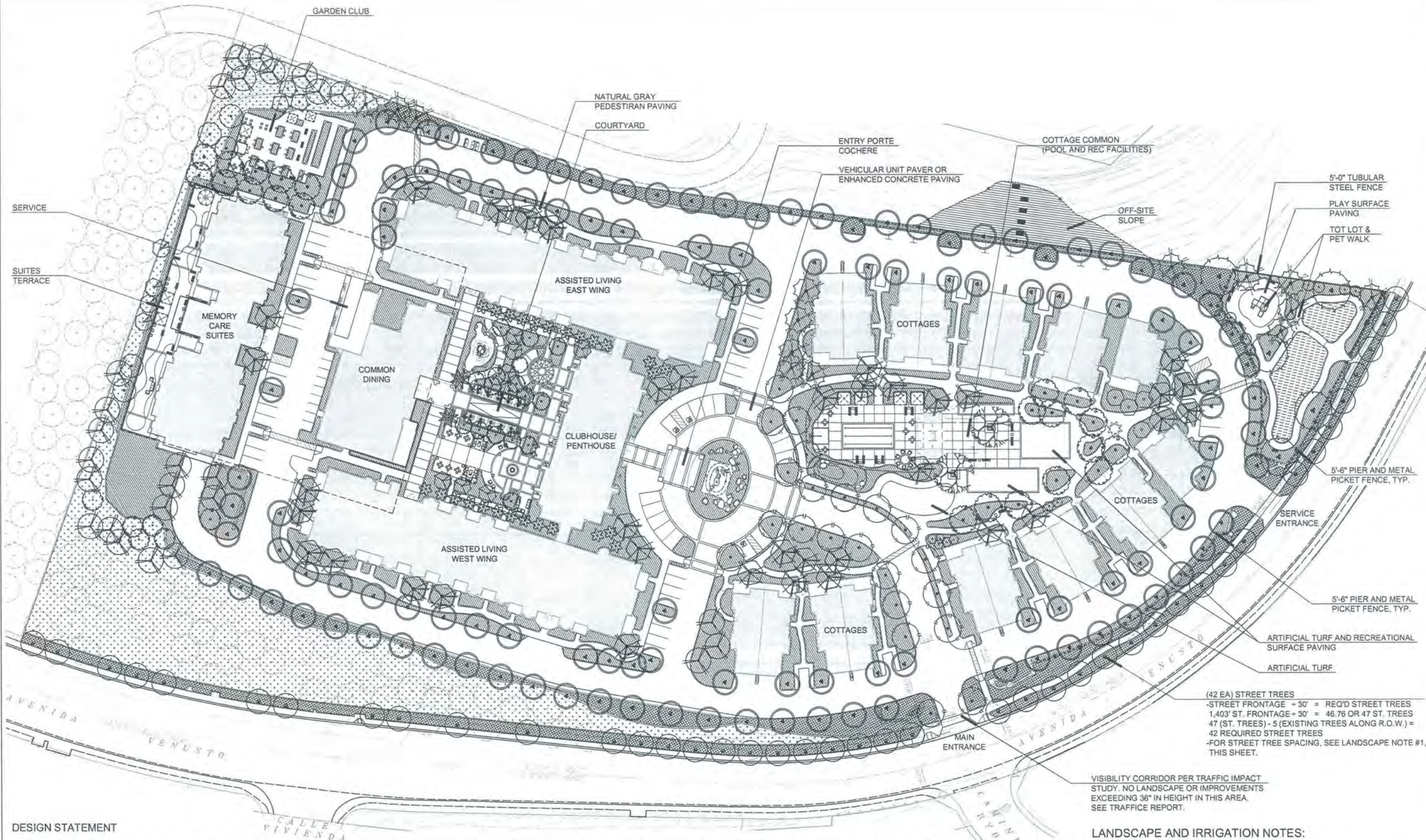
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SHEET 18 OF 20



Issue Dates
PLANNING SUBMITTAL 5-20-15
FULL SUBMITTAL 6-12-15
COMMENTS RESUBMITTAL 8-7-15
PLANNING RESUBMITTAL 9-29-15
PLANNING RESUBMITTAL 1-28-16
PLANNING RESUBMITTAL 3-16-16

Revisions
Job Number
Drawn By
Checked
Cad No.



#### DESIGN STATEMENT

THE GENERAL APPROACH TO LANDSCAPE DESIGN FOR THIS PROJECT GROWS FROM THE SPECIFIC SITE CONTEXT, THE NATURE OF THE FUTURE USER POPULATION, PLANT AND WATER RELATED SUSTAINABLE STRATEGIES, CITY OF SAN DIEGO DEVELOPMENT GUIDELINES, AND THE RESIDENTIAL LAND USE ELEMENT OF THE RANCHO BERNARDO COMMUNITY PLAN.

THE DEVELOPMENT OF SILVERGATE RANCHO BERNARDO WILL CREATE A NEW, RICH, VIBRANT LANDSCAPE COMPATIBLE WITH THE SURROUNDING NEIGHBORHOODS, REPLACING A VACANT FENCED LOT. THE PROJECT WILL OFFER A STYLE OF BUILDING MASSING PROVIDING THE BENEFIT OF SINGLE STORY HOUSING (THE "COTTAGES") ON THE SOUTH HALF OF THE PROPERTY AS A BUFFER BETWEEN NEIGHBORING RESIDENTIAL PROPERTIES AND THE MULTI-STORY RESIDENTIAL CARE BUILDINGS ON THE NORTH HALF OF THE PROPERTY, MAKING THE PROJECT COMPATIBLE WITH THE EXISTING NEIGHBORHOOD PER THE RETIREMENT FACILITIES COMPONENT OF THE RANCHO BERNARDO COMMUNITY PLAN. TREE PLANTING WILL BE USED TO PROVIDE COMPATIBLE SCALE AND BUFFERING AT TALLER BUILDINGS, AND PROVIDE CONTEXTUAL LINKAGE AT THE COTTAGES. PROPOSED TREE PLANTING WILL BE SUPPLEMENTED BY THE EXISTING STAND OF PINE LOCATED AT THE NORTHWEST CORNER OF THE PROPERTY. THE EXISTING PINE STAND IS AN IMPORTANT ASSET IN THE PROJECT PROVIDING MATURE BUFFER, AND GREEN SETTING FOR THE DEVELOPMENT. ALSO, THE PROJECT WILL INCLUDE A PARKWAY ON THE SOUTH END OF THE PROPERTY TO ENHANCE THE DESIGN AESTHETIC IN THE NEIGHBORHOOD ALONG AVENIDA VENUSTO AND PROVIDE PEDESTRIANS WITH A SAFE AND ATTRACTIVE PUBLIC PATH OF ACCESS. A WALKING TRAIL AROUND THE PERIMETER OF THE PROPERTY WITH PLACES OF INTEREST FOR OUTDOOR ACTIVITIES AND EXERCISE IS ALSO A PART OF THE DESIGN. THE NATURE OF THE ARCHITECTURE AND LANDSCAPE, INCLUDING SITING, HEIGHT, BULK, SCALE, SETBACK, OPEN SPACE TRAILS AND AREAS, STREETSCAPE PLANTING AND PARKING STRUCTURE ELEMENT MAKE THE PROJECT COMPATIBLE WITH THE HIGH QUALITY AND ESTABLISHED CHARACTER OF THE EXISTING NEIGHBORHOOD.

THE LOCATION OF THE SITE HAS A STRONG INFLUENCE ON THE DESIGN APPROACH REGARDING WATER USE AND SUSTAINABLE STRATEGIES. THE DESIGN APPROACH INCLUDES SUBSTITUTION OF ARTIFICIAL TURF FOR WATER USING TURF, RECOGNIZING THE ADJACENT RESIDENTIAL CONTEXT OF THE AREA, INTEGRATING THE LANDSCAPE INTO THE CONTEXT OF OFF-SITE VEGETATION, AND THE USE OF GREYWATER FOR IRRIGATION. THE GREYWATER IRRIGATION SYSTEM WILL UTILIZE A HIGH EFFICIENCY MECHANICAL PLANT SYSTEM AND BELOW GRADE DISTRIBUTION SYSTEM ADHERING TO THE APPLICABLE 2007 CALIFORNIA PLUMBING CODE (CPC), TITLE 24, PART 5, CHAPTER 18A, NONPOTABLE WATER REUSE SYSTEMS. THE PLANT PALETTE WILL RESPOND TO THE WATER DELIVERY SYSTEM AND FEATURE PLANTINGS THAT ARE COMPATIBLE WITH GREYWATER IRRIGATION FIELDS. WHEN LOW-WATER USE PLANTS ARE UTILIZED, THEY WILL FOLLOW THE WUOL'S METHODOLOGY OF WATER USE CLASSIFICATIONS TO SYNCHRONIZE PLANT TYPE AND WATER NEEDS. PLANT SELECTIONS FOR THE FRONTAGE LANDSCAPE ALONG AVENIDA VENUSTO WILL BE SELECTED TO INTEGRATE THE PROJECT INTO THE LOCAL RESIDENTIAL CONTEXT. IT IS ANTICIPATED THAT PLANTING IN THE PUBLIC ROW WILL UTILIZE POTABLE WATER. OTHER SUSTAINABILITY MEASURES WILL BE INCORPORATED THROUGH COLLABORATION WITH THE CIVIL ENGINEER, INCLUDING THE USE OF BIO-RETENTION AREAS, FURTHER REDUCING SITE DEMAND ON LOCAL ENERGY, INFRASTRUCTURE, AND UTILITIES.

THE LANDSCAPE IS DESIGNED TO BE APPROPRIATE FOR ASSISTED LIVING RESIDENTS. THE LANDSCAPE DESIGN SEEKS TO ADDRESS THE UNIQUE CHARACTERISTICS OF THE SILVERGATE POPULATION THROUGH THE USE OF PASSIVE AND LOW-ACTIVE RECREATIONAL AMENITIES, OUTDOOR USE OPTIONS, VISUAL INTEREST, AND OPPORTUNITIES FOR HEALTH AND EXERCISE THROUGHOUT THE SITE. CREATING INTEREST FOR THE ASSISTED LIVING POPULATION IS EMBODIED IN PLANT SELECTION, HARDSCAPE MATERIALS AND AMENITIES, AND OTHER FEATURES THAT APPEAL TO THE FIVE SENSES. ADDITIONALLY, EASE OF USER ACCESS, EASE OF PEDESTRIAN AND VEHICULAR VISIBILITY, AND USER POPULATION SAFETY ARE PRIME COMPONENTS OF THE ADA COMPLIANT DESIGN. FINALLY, THE LANDSCAPE DESIGN SEEKS A SYMPATHETIC RELATIONSHIP WITH THE ARCHITECTURE NOT ONLY THROUGH THE PARTIAL DESIGN STYLE, BUT ALSO THROUGH THE EMPHASIS OF MANY INDOOR-OUTDOOR RELATIONSHIPS BETWEEN RESIDENTS AND THE WORLD OUTSIDE THEIR DOORS. VIEWS, OUTDOOR AMENITIES, AND PLACEMENT RELATIONSHIPS ACHIEVE THIS INTEGRAL COMPONENT OF THE OVERALL SITE DESIGN.

IMPORTANTLY, THE PROJECT SHARES A TOT LOT RECREATIONAL AMENITY WITH THE LOCAL NEIGHBORHOOD COMMUNITY; PUBLIC ACCESS FOR THE NEIGHBORHOOD IS PROVIDED FROM AVENIDA VENUSTO, IN ADDITION TO THE TOT LOT, THE AREA ALSO FEATURES A DOG WALK CIRCUIT FOR SILVERGATE RESIDENTS AND NEIGHBORHOOD RESIDENTS ALIKE. THE TOT LOT ALSO SERVES THE GOAL OF CREATING A COMMUNITY THAT HAS AN INTERGENERATIONAL DIMENSION, ALLOWING SILVERGATE RESIDENTS A PLACE TO INTERACT WITH THEIR FAMILIES, AND ALSO SERVING AS A GATHERING PLACE FOR THE ADJACENT LOCAL RESIDENTIAL NEIGHBORHOOD.

CITY OF SAN DIEGO REQUIREMENTS FOR LOW POTABLE WATER USE, PLANT COVERAGE, AND SAFETY OF THE USER POPULATION SUPPORT THE PROJECT GOALS AND ARE DEMONSTRATED IN THE DRAWING SUBMITTAL.

VISIBILITY CORRIDOR PER TRAFFIC IMPACT STUDY. NO LANDSCAPE OR IMPROVEMENTS EXCEEDING 36" IN HEIGHT IN THIS AREA. SEE TRAFFIC REPORT.

#### LANDSCAPE AND IRRIGATION NOTES:

- STREET TREES ARE LOCATED ONE PER THIRTY FEET OF STREET FRONTAGE PER SAN DIEGO MUNICIPAL CODE, 142.0409. STREET TREE AND PUBLIC RIGHT-OF-WAY REQUIREMENTS A(1), STREET TREE QUANTITY AND (2), STREET TREE LOCATIONS.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- THE PRIVATE GREY WATER SHALL BE USED FOR THE ONSITE LANDSCAPE IRRIGATION.



SCALE: 1"=40'



3016 Normal Street  
San Diego, CA 92108  
619 594-4477  
Fax: 619 594-9905



PLANT MATERIAL LEGEND

BOTANICAL NAME	COMMON NAME	(MATURE) HT x SPRD
TREES AND PALMS, SUCH AS:		

STREETSCAPE TREES, SUCH AS:

WUCOLS	100%-36" BOX MIN.	
(M)	JACARANDA MIMOSIFOLIA	JACARANDA 25' x 25'
(M)	LOPHOSTEMON CONFERTUS	BRISBANE BOX 30' x 25'
(M)	PLATANUS ACERIFOLIA	LONDON PLANE TREE 40' x 30'
(L)	QUERCUS AGRIFOLIA	COAST LIVE OAK 20' x 25'
(L)	ULMUS PARVIFOLIA 'TRUE GREEN'	CHINESE ELM 30' x 30'

(INTERIOR) STREET TREES, SUCH AS:

WUCOLS	100%-24" BOX MIN.	
(M)	ARBUS HYBRID 'MARINA'	MARINA STRAWBERRY TREE 20' x 20'
(M)	CUPANOPSIS ANACARDIOIDES	CARROTWOOD TREE 20' x 30'
(M)	GEJERA PARVIFLORA	AUSTRALIAN WILLOW 25' x 20'
(L)	HETEROMELES ARBUTIFOLIA	TOYON 15' x 10'
(M)	LOPHOSTEMON CONFERTUS	BRISBANE BOX 30' x 25'
(M)	PODOCARPUS GRACILIOR	FERN PINE 20' x 10'
(L)	ULMUS PARVIFOLIA 'TRUE GREEN'	CHINESE ELM 30' x 30'
(L)	QUERCUS AGRIFOLIA	COAST LIVE OAK 20' x 25'

ENTRY/ACCENT TREES, SUCH AS:

WUCOLS	100%-24" BOX MIN.	
(M)	ARBUS HYBRID 'MARINA'	MARINA STRAWBERRY TREE 20' x 20'
(M)	CASSIA LEPTOPHYLLA	GOLDEN MEDALLION TREE 20' x 30'
(L)	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE 20' x 20'
(L)	CERCIS OCCIDENTALIS	WESTERN REDBUD 10' x 10'
(L)	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS 40' x 10'
(M)	LAGERSTROEMIA INDICA	CRABE MYRTLE 15' x 10'
(M)	MAGNOLIA G. 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA 20' x 10'
(M)	METROSIDEROS EXCELSUS	NEW ZEALAND CHRISTMAS TREE 20' x 20'
(L)	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE 25' x 25'

DESERT ACCENT TREES, SUCH AS:

WUCOLS	100%-24" BOX MIN.	
(L)	ALOE BARBERAE	TREE ALOE 20' x 10'
(L)	DRACAENA DRACO	DRAGON TREE 15' x 15'
(VL)	YUCCA GLORIOSA	SPANISH DAGGER 8' x 8'

ACCENT PALMS AND CYCADS, SUCH AS:

WUCOLS	100%-24" BOX MIN.	
(M)	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM 30' x 8'
(L)	BRAHEA ARMATA	MEXICAN BLUE PALM 25' x 8'
(L)	BUTIA CAPITATA	PINDO PALM 15' x 10'
(L)	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM 8' x 10'
(M)	CYCAS REVOLUTA	SAGO PALM 4' x 6'
(M)	HOWEA FORSTERIANA	PARADISE PALM 25' x 8'
(L)	PHOENIX DACTYLOFERA 'MEDJOL'	DATE PALM 30' x 10'
(M)	PHOENIX ROEBELII	PYGMY DATE PALM 6' x 3'
(M)	RHAPIS EXCELSA	LADY PALM 6' x 8'
(M)	SYAGRUS ROMANZOFFIANA	QUEEN PALM 30' x 20'
(L)	TRACHYCARPUS FORTUNEI	WINDMILL PALM 10' x 6'

OPEN SPACE AREA TREES, SUCH AS:

WUCOLS	100%-24" BOX MIN.	
(M)	ARBUS HYBRID 'MARINA'	MARINA STRAWBERRY TREE 20' x 20'
(M)	BAUHINIA VARIEGATA	PURPLE ORCHID TREE 20' x 20'
(M)	CEDRUS SPECIES	CEDAR 40' x 20'
(L)	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE 20' x 20'
(M)	CITRUS X LIMON	LEMON TREE 10' x 10'
(M)	CITRUS AURANTIFOLIA	LIME TREE 10' x 10'
(M)	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT 15' x 15'
(M)	FEIJOA SELLOWIANA	PINEAPPLE GUAVA 15' x 18'
(M)	LAGERSTROEMIA INDICA	CRABE MYRTLE 15' x 10'
(M)	MAGNOLIA G. 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA 20' x 10'
(M)	MAGNOLIA G. 'ST. MARY'	'ST. MARY' MAGNOLIA 20' x 20'
(M)	METROSIDEROS EXCELSUS	NEW ZEALAND CHRISTMAS TREE 20' x 20'
(L)	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE 20' x 20'
(M)	PISTACIA CHINENSIS	CHINESE PISTACHE 25' x 25'

BOTANICAL NAME	COMMON NAME	(MATURE) HT x SPRD
SPECIMEN TREE, SUCH AS:		

WUCOLS	FIELD GROWN	
(L)	OLEA EUROPAEA	OLIVE TREE 25' x 25'
SLOPE TREES, SUCH AS:		
WUCOLS	100%-15 GAL. MIN.	
(L)	PINUS ELDERICA	AFGHAN PINE 30' x 15'
(M)	PINUS TORREYANA	STONE PINE 40' x 30'
(M)	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE 30' x 20'
(L)	SCHINUS MOLLE	CALIFORNIA PEPPER 25' x 25'
(L)	QUERCUS AGRIFOLIA	COAST LIVE OAK 20' x 25'
(L)	QUERCUS ILEX	HOLLY OAK 30' x 30'
(M)	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK 40' x 60'

VINES, SUCH AS:

VINES AND ESPALIERS, SUCH AS:

WUCOLS	100%-15 GAL. MIN.	
(L)	BOUGAINVILLEA SPECIES	NO COMMON NAME 10' x 15'
(M)	CALLIANDRA HAEMATOCEPHALA	PINK POWDER PUFF 8' x 10'
(M)	DISTICTIS BUCCINATORIA	BLOOD-RED TRUMPET VINE 15' x 20'
(M)	LONICERA HILDEBRANDIANA	GIANT BURMESE HONEYSUCKLE 15' x 20'
(M)	SOLANDRA MAXIMA	CUP-OF-GOLD VINE 15' x 20'

BUILDING ADJACENT PLANTING

SHRUBS, PERENNIALS AND ANNUALS, SUCH AS:

WUCOLS	30%-5 GAL.   70%-1 GAL.	
(L)	ANIGOZANTHOS HYBRIDS	KANGAROO PAW 4' x 3'
(M)	ASPIDISTRA ELATIOR	CAST-IRON PLANT 2' x 2'
(L)	BACCHARIS PILULARIS	COYOTE BUSH 3' x 6'
(L)	BOUGAINVILLEA SPECIES	NO COMMON NAME 4' x 6'
(L)	CALLISTEMON CITRINUS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH 3' x 3'
(M)	DIANELLA SPECIES	FLAX LILY 2' x 2'
(L)	EUPHORBIA SPECIES	SPURGE 2' x 2'
(M)	FEIJOA SELLOWIANA	PINEAPPLE GUAVA 3' x 4'
(M)	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET 6' x 4'
(M)	LIRIOPE 'GIGANTEA'	GIANT LILY TURF 3' x 3'
(L)	LOBELIA LAXIFLORA	MEXICAN BUSH LOBELIA 2' x 4'
(M)	ROSA SPECIES	ROSE 4' x 6'
(L)	ROSMARINUS SPECIES	ROSEMARY 4' x 6'
(L)	SALVIA SPECIES	SAGE 4' x 6'
(M)	STREUTZIA REGINAE	BIRD-OF-PARADISE 4' x 4'
(M)	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE 2' x 6'
(L)	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY 4' x 6'

SUCCULENTS, SUCH AS:

WUCOLS	30%-5 GAL.   70%-1 GAL.	
(L)	AEONIUM SPECIES	NO COMMON NAME 2' x 2'
(L)	AGAVE SPECIES	AGAVE 4' x 6'
(L)	ALOE SPECIES	ALOE 6' x 4'
(L)	CRASSULA SPECIES	JADE PLANT 4' x 3'
(L)	DRACAENA SPECIES	NO COMMON NAME 10' x 15'
(L)	ECHEVERIA SPECIES	HEN AND CHICKS 2' x 2'
(L)	ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS 2' x 2'
(L)	HESPERALOE PARVIFLORA	RED YUCCA 3' x 2'
(L)	SENECIO SPECIES	NO COMMON NAME 1' x 3'

ORNAMENTAL GRASSES, SUCH AS:

WUCOLS	30%-5 GAL.   70%-1 GAL.	
(L)	ALYOGYNE HUEGELII	BLUE HIBISCUS 6' x 6'
(M)	CEANOETHUS G. H. 'YANKEE POINT'	CALIFORNIA LILAC 2' x 8'
(L)	CISTUS LADANIFER	CRIMSON SPOT ROCKROSE 4' x 4'
(L)	CISTUS PULVERULENTUS 'SUNSET'	ROCKROSE 2' x 6'
(L)	ROSA CALIFORNICA	CALIFORNIA WILD ROSE 4' x 6'
(L)	SALVIA L. 'SANTA BARBARA'	MEXICAN BUSH SAGE 3' x 4'
(M)	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW 2' x 2'

BOTANICAL NAME	COMMON NAME	(MATURE) HT x SPRD
ORNAMENTAL GRASSES, SUCH AS: (CONTINUED)		

WUCOLS	30%-5 GAL.   70%-1 GAL.	
(M)	ARCTOSTAPHYLOS X 'EMERALD CARPET'	DWARF MANZANITA 1' x 3'
(L)	CAREX DIVULSA	BERKELEY SEDGE 1' x 2'
(M)	DIETES VEGETA	FORTNIGHT LILY 3' x 3'
(M)	FESTUCA MAIREI	MOROCCAN FESCUE 2' x 2'
(M)	FESTUCA OVINA GLAUCA	BLUE FESCUE 2' x 2'
(M)	IRIS SIBIRICA 'RUFFLED VELVET'	RUFFLED VELVET SIBERIAN IRIS 4' x 4'
(L)	LANTANA M. 'SUNBURST'	YELLOW TRAILING LANTANA 2' x 8'
(M)	LOMANDRA LONGIFOLIA 'BREEZE'	NO COMMON NAME 2' x 2'
(VL)	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER 2' x 2'
(M)	MUHLBERGIA RIGENS	DEER GRASS 4' x 4'
(L)	PENNISETUM SETACEUM	FOUNTAIN GRASS 4' x 4'
(M)	PENSTEMON X 'RED RIDING HOOD'	RED RIDING HOOD BEARTONGE 2' x 2'
(M)	SESLERIA AUTUMNALIS	AUTUMN DEER GRASS 2' x 2'
(L)	STIPA TENUISSIMA	MEXICAN FEATHER GRASS 2' x 3'

PARKING LOT, STREETSCAPE AND PERIMETER PLANTING

SHRUBS, PERENNIALS AND ANNUALS, SUCH AS:

WUCOLS	30%-5 GAL.   70%-1 GAL.	
(M)	BUXUS MICROPHYLLA JAPONICA	JAPANESE BOXWOOD 3' x 3'
(M)	CALLIANDRA HAEMATOCEPHALA	PINK POWDER PUFF 6' x 8'
(M)	CAMELLIA JAPONICA	CAMELLIA 4' x 6'
(M)	CARISSA MACROCARPA	NATAL PLUM 4' x 5'
(L)	CISTUS SPECIES	ROCKROSE 4' x 4'
(L)	ILEX VOMITORIA 'NANA'	YAUPON 3' x 5'
(M)	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET 6' x 4'
(M)	PITTOSPORUM SPECIES	PITTOSPORUM 5' x 5'
(M)	RHAPHIOLEPIS SPECIES	INDIAN HAWTHORN 3' x 3'
(M)	XYLOSMA CONGESTUM	XYLOSMA 6' x 6'

SLOPE PLANTING

SHRUBS, PERENNIALS AND ANNUALS, SUCH AS:

WUCOLS	50%-1 GAL.   50%-FLATS	
(L)	ACACIA REDOLENS	BANK CATCLAW 5' x 12'
(M)	CEANOETHUS G. H. 'YANKEE POINT'	CARMEL CREEPER 2' x 8'
(L)	CISTUS SPECIES	ROCKROSE 4' x 4'
(L)	LANTANA MONTEVIDENSIS	TRAILING LANTANA 2' x 6'
(L)	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	CREEPING MYOPORUM 1' x 8'
(L)	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY 2' x 4'
(L)	SALVIA LEUCANTHA	MEXICAN BUSH SAGE 3' x 4'

GARDEN

VEGETABLES AND FLOWERS BY RESIDENCE

EXISTING TREES

EXISTING TREES AND PALMS TO REMAIN, SUCH AS:

EUCALYPTUS SP.	NO COMMON NAME
PINUS SP.	NO COMMON NAME

BIORETENTION PLANTING

HYDROSEED MIX 1:

SPECIES	COMMON NAME	BULK #s/ACRE	MIN % PLS*
AGROSTIS PALLENS	SAN DIEGO BENTGRASS	5.00	85
DESCHAMPSIA DANTHONOIDES	ANNUAL HAIRGRASS	1.00	80
EL YMIUS TRITICOIDES 'RIO'	CREEPING WILD RYE	4.00	75
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	2.00	80
FESTUCA MICROSTACHYS	SMALL FESCUE	8.00	80
FESTUCA RUBRA 'MOLATE'	RED FESCUE	10.00	80
HORDEUM BRACHYANTHERUM	MEADOW BARLEY	6.00	80
LUPINUS NANUS	SKY LUPINE	2.00	80
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1.00	80
		38.00	

\*MIN % PLS (PURE LIVE SEED) = SEED PURITY x GERMINATION RATE

SEEDING RATE: 38 LBS PER ACRE

Project No: 014-006	Date: 03/15/2016							
City/Governing Agency: City of San Diego	Landscape Project Type: Ornamental							
Project Name: SILVERGATE RANCHO BERNARDO								
Reference ETO: 55.72	CIMS Station #: 153							
LA (Landscape area): 170,062 sq ft	sq ft:							
SLA (Special Landscape area): 95,086 sq ft	SLA Description: Crop plants 95,086 RW Irrigation 95,086 RW feature/s Active turf Total: 95,086							
MAWA = Maximum Applied Water Allowance (gallons per year) MAWA = (ET o)(0.62)(PF x HA/IE) ET o = Reference evapotranspiration (in inches per year) 0.62 = Conversion factor (to get gallons per sq ft) 0.55 = ET Adjustment Factor (ET/F) (for plant factors and irrigation efficiency) LA = Landscape Area including any SLA (in sq ft) 0.45 = Additional Water Allowance for any SLA SLA = Special Landscape Area (in sq ft)(edible crops, recycl. water features, recycl. water, recreational/active turf areas)								
MAWA = 4,709,462 gal/year								
ETWU = Estimated Total Water use (gallyr) ETWU = (ET o)(0.62)(PF x HA/IE) = 1,274,660 gal/year ETWU(SLA) = (ET o)(0.62)(SLA) = 3,284,879 gal/year Total ETWU = ETWU+ETWU(SLA) = 4,559,539 gal/year								
ET o = Reference ET (inches per year) 0.62 = Conversion factor (to get gallons per sq ft) PF = Plant Factor from WUCOLS* (low: 0.1-0.2, medium: 0.3-0.7, high water use: 0.8-1.0; art. turf: 0.1-0.2; water features: 0.8) HA = Hydrozone Area (very low, low, moderate or high water use, in sq ft) IE = Irrigation Efficiency (0.71 min average; Bubble: 0.85; Spray: 0.55; Microspray: 0.70; Rotator: 0.75; Rotor: 0.70; Drip: 0.80) SLA = Special Landscape Area (in sq ft)(edible crops, recycl. water features, recycl. water, recreational/active turf areas) *WUCOLS = Water Use Classification of Landscape Species								
SLA (sq ft): 95,086								
Hydrozone No.	Plant Water Use Type Classification	Plant	Factor (PF)	Hydrozone Area (HA) (sq ft)	PF x HA (sq ft)	IE	PF x HA / IE	
1	Medium	Tree	0.50	2,528	1,264	0.55	2,299	Spray
2	Medium	Palm	0.50	448	224	0.55	407	Spray
3	Medium	Shrubs/GC	0.40	63,118	25,247	0.80	31,559	Drip
5	Low	Art. Turf	0.10	6,390	639	1.00	639	-
6	Low	Water Features	0.80	2,492	1,994	1.00	1,994	-
HA sq ft Sum:				74,976	Total		36,897	
7	SLA	Tree	1.00	3,056	3,056	1.00	3,056	Drip
8	SLA	Shrubs/GC	1.00	81,311	81,311	1.00	81,311	Drip
9	SLA	Shrubs/GC	1.00	10,719	10,719	1.00	10,719	Drip
SLA sq ft Sum:				95,086	Total SLA		95,086	
					ETWU = 4,559,539 gal/year			
					MAWA = 4,709,462 gal/year			
Estimated Total Water Use meets the Maximum Applied Water Allowance.								

OFF-SITE SLOPE PLANTING

HYDROSEED MIX 2: (W/ TEMPORARY IRRIGATION)

SPECIES	COMMON NAME	BULK #s/ACRE	MIN % PLS*
ACMISPON AMERICANUS	PURSHING LOTUS	2.00	75
ACMISPON GLABER	DEERWEED	6.00	85
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	2.00	10
CAMISSONOPSIS CHEIRANTHIFOLIA	BEACH EVENING PRIMROSE	1.00	80
COLLINSIA HETEROPHYLLA	CHINESE HOUSES	2.00	85
ENCELIA CALIFORNICA	BUSH SUNFLOWER	4.00	25
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	8.00	10
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	3.00	25
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	2.00	85
FESTUCA MICROSTACHYS	SMALL FESCUE	6.00	85
LATHENIA CALIFORNICA	DWARF GOLDFIELDS	1.00	50
LUPINUS SUCCULENTUS	ARROYO LUPINE	2.00	90
MIMULUS AURANTIACUS PUNICEUS	MISSION RED MONKEYFLOWER	2.00	2
SALVIA APIANA	WHITE SAGE	2.00	25
SALVIA MELLIFERA	BLACK SAGE	2.00	40
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	2.00	80
STIPA PULCHRA	PURPLE NEEDLE GRASS	4.00	75
		57.00	

\*MIN % PLS (PURE LIVE SEED) = SEED PURITY x GERMINATION RATE

SEED: 51 LBS PER ACRE  
HEIGHT: 12-54 INCHES  
EMERGENCE: 10-20 DAYS  
ESTABLISHMENT: 50-70 DAYS TO 90% COVER AFTER EMERGENCE

WUCOLS

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES  
WATER NEEDS CATEGORIES:  
HIGH (H), MODERATE (M), LOW (L) AND VERY LOW (VL)



SITE LEGEND

SITE

Issue Dates  
PLANNING SUBMITTAL 5-20-15  
FULL SUBMITTAL 6-12-15  
COMMENTS RESUBMITTAL 8-7-15  
PLANNING RESUBMITTAL 9-29-15  
PLANNING RESUBMITTAL 1-28-16  
PLANNING RESUBMITTAL 3-16-16

Revisions  
Job Number  
Drawn By  
Checked  
Cdd No.

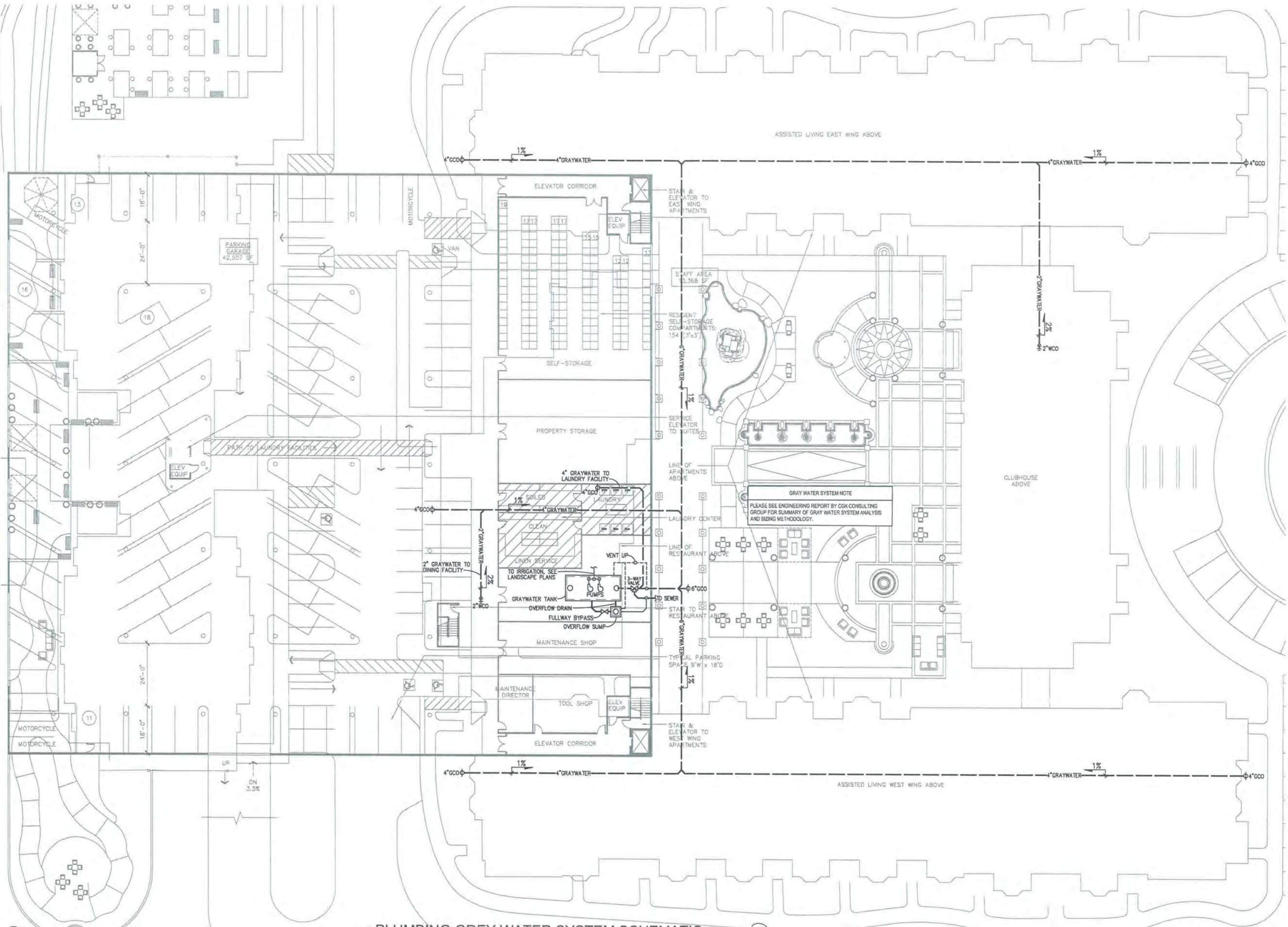


PLANT LIST  
& MAWA  
CALCS

Scale: 1"=40'-0"

L-5





1 PLUMBING GREY WATER SYSTEM SCHEMATIC  
SCALE: 1/16"=1'-0"



SILVERGATE

RANCHO BERNARDO

a development by AmeriCare Health and Retirement



SITE LEGEND

GARAGE

Issue Dates  
PLANNING SUBMITTAL 5-20-15  
FULL SUBMITTAL 6-12-15  
COMMENTS RESUBMITTAL 8-7-15

Revisions 3-25-2016

Job Number  
Drawn By  
Checked  
Ced No.



SILVERGATE  
RANCHO BERNARDO

PLUMBING  
GRAYWATER  
SCHEMATIC  
DIAGRAM

Scale 1/16" = 1'-0"

PS-1









GARAGE

Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15

Revisions	3-25-2016
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Job Number
Drawn By
Checked
Cad No.

## GRAYWATER REPORT

Scale 1/16" = 1'-0"

PS-3

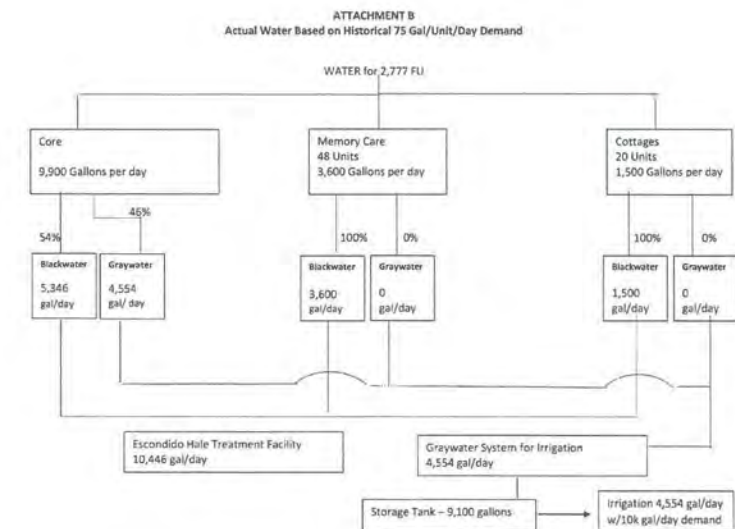
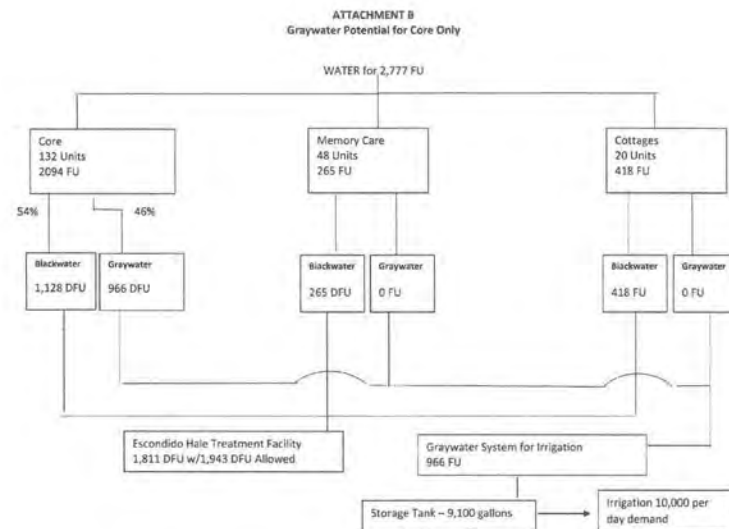
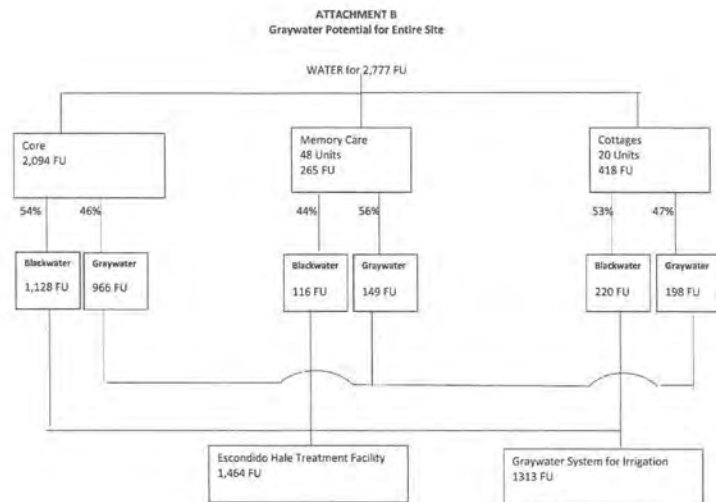
PROJECT: Masters Course  
FIELD: MS  
DATE: 2020/01/20  
ENGINEER: LUC LAMBERT, MSK

It is the Engineer's duty to ensure that the design is in accordance with the relevant standards and specifications.  
The Engineer is not responsible for the design of the structure or the design of the foundation.  
The Engineer is not responsible for the design of the structure or the design of the foundation.

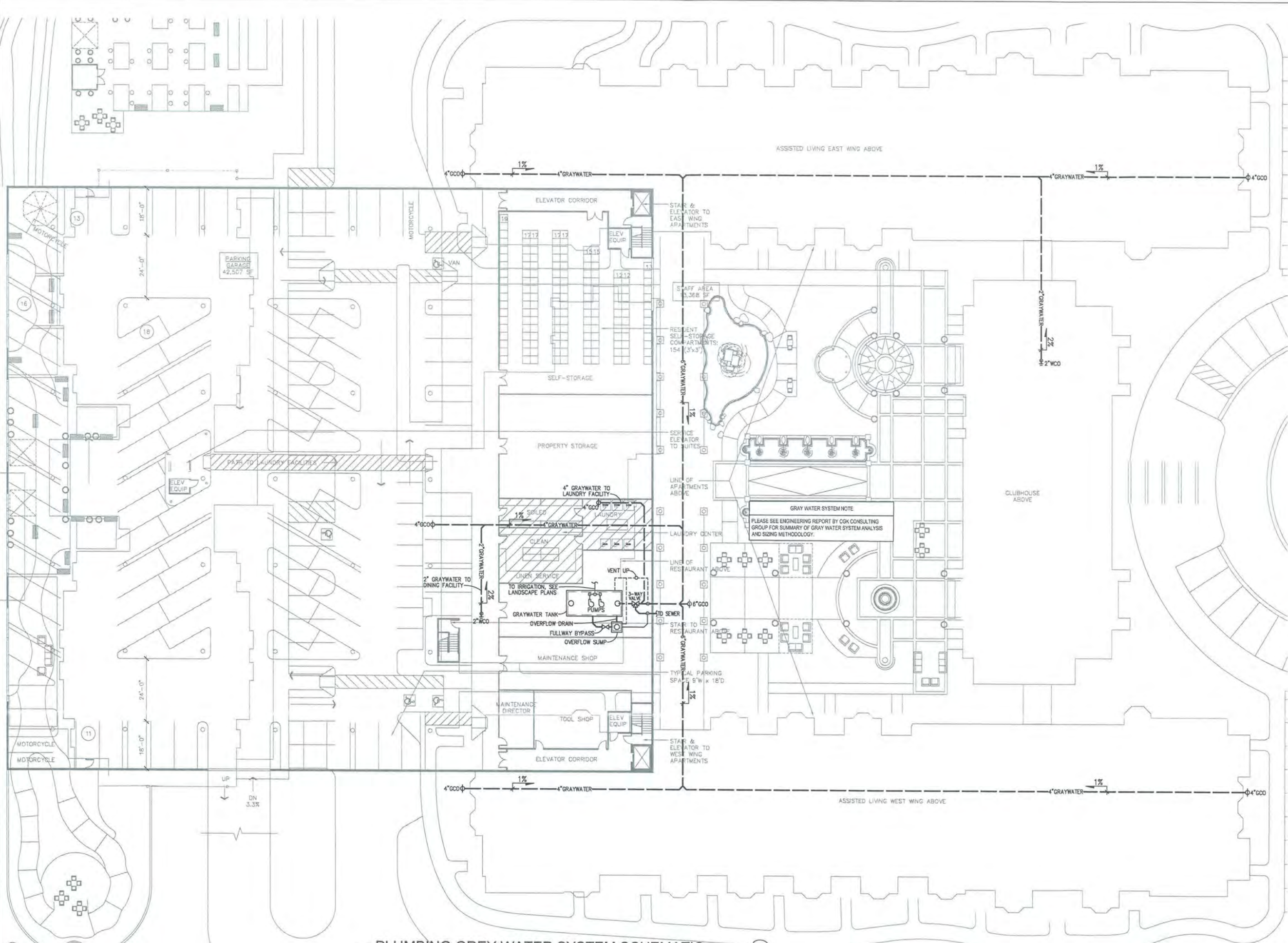
WATER FEATURE UNITS

SEWER FEATURE UNITS

ITEM	WATER FEATURE UNITS										SEWER FEATURE UNITS				
	CONCRETE				BRICK			IRON			SEWER				
	CONCRETE	TOTAL CPW	STANDARD	UNIT	IRON	STANDARD	UNIT	CONCRETE	TOTAL CPW	UNIT	SEWER	STANDARD	UNIT		
1. Curbstone Kerbs, 100mm x 100mm	4	1	4	1	1	1	1	4	1	4	1	1	1		
2. Curbstone Kerbs, 100mm x 100mm	4	1	4	1	1	1	1	4	1	4	1	1	1		
3. Curbstone Kerbs, 100mm x 100mm	4	1	4	1	1	1	1	4	1	4	1	1	1		
4. Curbstone Kerbs, 100mm x 100mm	4	1	4	1	1	1	1	4	1	4	1	1	1		
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111. Curbstone Kerbs, 100mm x 100mm	4	1	4	1	1	1	1	4	1	4	1	1	1		
112. Curbstone Kerbs, 100mm x 1															

[illegible]





1 PLUMBING GREY WATER SYSTEM SCHEMATIC  
SCALE: 1/16"=1'-0"



**SILVERGATE**

RANCHO BERNARDO  
a Development by AmeriCare Health and Retirement



SITE LEGEND

GARAGE

Issue Dates	
PLANNING SUBMITTAL	5-20-15
FULL SUBMITTAL	6-12-15
COMMENTS RESUBMITTAL	8-7-15

Revisions	3-25-2016
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Job Number	
Drawn By	
Checked	
Cad No.	



PLUMBING  
GRAYWATER  
SCHEMATIC  
DIAGRAM

Scale 1/16" = 1'-0"

PS-1



Engineering Report  
Gray Water Feasibility Analysis

Prepared for  
Silvergate Rancho Bernardo



Project #425893

Prepared by:



CGK Consulting Group  
7968 Arjona Drive Suite A112  
San Diego, CA 92126

November, 2015



Engineering Report  
Gray Water Feasibility Analysis  
Silvergate - Rancho Bernardo  
Planned Development Permit  
Project # 425893

Introduction

CGK Consulting Group has been retained to investigate wastewater solutions for the Silvergate Assisted Living development in Rancho Bernardo. A concern has been raised due to the proposed drainage fixture capacity from the project exceeding the City of Escondido's allowance for the site. In an effort to remain in compliance with the City of San Diego's agreement with the City of Escondido the following analysis has been made to mitigate the discharge of waste water from the development.

Gray Water System Overview

Gray water is the capture of non-black water waste such as showers, lavatories, laundries, and other clear water discharge. This water is then used to supplement the surrounding landscape irrigation and is considered non-potable. Gray water can be harvested remotely with small modular units that are spread outside of the units, or captured for the whole site. Several rules apply to gray water systems that must be adhered to. Untreated gray water cannot be stored for longer than 24 hours, and cannot be aerosol sprayed, dripped, or misted above ground. It must be distributed utilizing a subsurface drip tube or weep tube. A diverter is also required to connect the gray water drainage system to the sanitary sewer, and additional waste piping is required to separate drainage from gray water producing fixtures. These systems also require a surge tank, pumps, controls, and some form of basic filtration. For a complete list of requirements see the 2013 California plumbing code Chapter 16.

Silvergate Sanitary Capacity

Silvergate's total drainage fixture unit (DFU) calculation has been estimated at 2,777 DFUs, based upon the architectural layout proposed for the site development permit. Please refer to the calculations at the end of this report for supporting data. Of that total from the entire site, it has been calculated that 1,313 DFUs may be captured as gray water and reused directly for irrigation purposes. The offset of diverting the proposed gray water from the waste water system is 1,464 DFUs of discharge to the city sewer main. Gray water can capture 47% of the waste water, leaving only 53% of the total discharging to the public sewer main. For the City of San Diego's agreement with the City of Escondido the maximum drainage allocation for this development is 1,943 DFUs.

Gray Water System Solution

Due to the building layout on site, it is our preference to capture only the gray water from the Core (east and west apartment wings, clubhouse, dining facilities), which contains the majority of the development's occupancy. We see this as the most practical approach considering it is the most densely populated area, and the gray water can be easily harvested within a centralized space adjacent to this structure's underground parking facility. The Core alone discharges 2,094 DFUs, producing 74% of the total site drainage. Of that total, 956 DFUs or 46% may be captured as gray water. This building alone will bring the site's sanitary waste below the maximum drainage allocation by bringing the remaining site black water discharge rate to 1,811 DFUs, 7% below the requirement. See the attached fixture unit load calculation charts for a breakdown of the Cottages, Memory care unit, Assisted Living Apartments, and the entire site.

Based on an evaluation of the Silvergate Fallbrook residential care facility, a property that AmeriCare Health and Retirement has owned and operated for over 25 years, water usage is estimated at approximately 75 gallons per living unit, per day. Considering the Core consists of 132 living units, we predict our daily average use for this area to be approximately 9,900 gallons per day. Seeing that 46% of that water usage runoff can be captured as gray water, we

CGK Consulting Group  
7968 Arjona Drive Suite A112, San Diego, CA 92126 | T (619) 598-4867 | F (619) 444-1399 | www.cgk-consulting.com



Engineering Report  
Gray Water Feasibility Analysis  
Silvergate - Rancho Bernardo  
Planned Development Permit  
Project # 425893

estimate gathering 4,554 gallons of water per day into our gray water reservoir. This water shall be pumped from the graywater holding tank through a filter permitting the passage of particulates no larger than 100 microns, and be used to irrigate the surrounding landscape within a 24 hour period via a subsurface drip irrigation system. On-site treated non-potable graywater shall be disinfected as needed to ensure the required water quality is obtained at the point of use.

Please refer to drawing PS-1 for a schematic diagram of the gray water solution. This project shall be a site-built solution utilizing a pre-cast concrete storage container, by Jensen Pre-cast, at the size of 8,100 gallons measuring approximately 10'-0"x10'-0"x21'-6"D. A duplex pumping system shall be utilized to take the incoming gray water to pump to the irrigation. All practical gray water shall be drained to this pre-cast container through the 6" gray water (GW) line. A 3-way diverter valve, required by the 2013 California Plumbing Code, is utilized upstream of the storage container in the case that there is an emergency or maintenance issue with the system. An overflow and full bypass line is also provided in the case that the system is overloaded during a unique day. Pumping shall be controlled through an automation system with low-limit, high-limit, and high-high limit switches.

Path Forward

In summary, we believe gray water capture is a viable and efficient means of conserving water that could be implemented by Silvergate RB to satisfy the 1,943 DFU sewer discharge allotment. Please refer to the attached tables for water fixture unit calculations and possible diversion to gray water uses.



Michael A. Caromagno, PE  
Mechanical Engineer  
CA Professional Engineer M35807

CGK Consulting Group  
7968 Arjona Drive Suite A112, San Diego, CA 92126 | T (619) 598-4867 | F (619) 444-1399 | www.cgk-consulting.com



Attachment A  
Supporting drainage fixture unit (DFU) calculations

Engineering Report  
Gray Water Feasibility Analysis  
Silvergate - Rancho Bernardo  
Planned Development Permit  
Project # 425893



PROJECT:  
SILVERGATE - WHITE WING  
PROJECT NO.:  
425893  
DATE:  
11/10/2015

ITEM	WATER FIXTURE UNITS										SEWER FIXTURE UNITS				
	COLD WATER					HOT WATER					SEWER				
	TYPE	QUANTITY	DFU	TYPE	QUANTITY	DFU	TYPE	QUANTITY	DFU	TYPE	QUANTITY	DFU	TYPE	QUANTITY	DFU
Public Restroom - Men's	1	1	1	Public Restroom - Women's	1	1	Public Restroom - Children's	1	1	Public Restroom - Total	3	3	Public Restroom - Men's	1	1
Public Restroom - Women's	1	1	1	Public Restroom - Children's	1	1	Public Restroom - Total	3	3	Public Restroom - Men's	1	1	Public Restroom - Women's	1	1
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