THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: July 21, 2016 REPORT NO. PC-16-066

HEARING DATE: July 28, 2016

SUBJECT: VERIZON "MISSION BAY" AT 1851 SAN DIEGO AVENUE, Process Four Decision

PROJECT NUMBER: 471264

OWNER: 1851 LLC

APPLICANT: Verizon Wireless

SUMMARY:

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 1851 San Diego Avenue in the Uptown Community Planning Area?

Staff Recommendation: Approve Planned Development Permit (PDP) No. 1732882.

Community Planning Group Recommendation: On June 7, 2016, the Uptown Planners voted 13-0-1 to approve the Verizon "Mission Bay" at 1851 San Diego Avenue project with no conditions (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15301 (Existing Facilities) of the CEQA State Guidelines (Attachment 8). This project is not pending an appeal of the Environmental Determination. The Environmental Exemption Determination for this project was made on May 6, 2016 and the opportunity to appeal that determination ended May 20, 2016.

Fiscal Impact Statement: Verizon Wireless is the Financially Responsible Party and is responsible for costs associated with the processing of this permit application.

BACKGROUND

Verizon "Mission Bay" at 1851 San Diego Avenue is an application for a PDP for a WCF at 1851 San Diego Avenue in the CL-6 (Commercial Linear) zone of the Mid-City Communities Planned District. "Mission Bay" is the applicant's name for the project; it is not located within Mission Bay Park. The building at 1851 San Diego Avenue is a multi-tenant commercial building. The site is designated

Commercial/Residential in the Uptown Community Plan. Surrounding uses include Interstate 5 to the south and commercial uses to the west, north, and east (Attachments 1-3).

Council Policy 600-43 assigns preference levels to WCFs proposed on different land uses. As a commercial property in a commercial zone, this project is in the Preference 1 category. Such projects typically require a Process One, Limited Use approval, which is a staff decision. However, this project seeks a height deviation to allow the placement of antennas and the construction of rooftop screens (Attachment 13). This requires a Process Four Planning Commission decision pursuant to SDMC 126.0602(b)(1).

The building at 1851 San Diego Avenue was originally constructed in 1938 and is 42 feet, 9 inches tall. Because the height limit of the CL-6 zone is 30 feet, the building is previously conforming for height. In 1991, Permit No. 91-0302.2 was issued for a WCF concealed by the parapet walls of the building, with an equipment room inside the building. The proposed project exceeds the scope of the previously approved permit, which is no longer able to accommodate the operational needs of the site. In addition, the existing site (as shown on project plans) is not configured as originally approved. This application represents a new, separate Planned Development Permit, and not an amendment to Permit No. 91-0302.2, which will be rescinded if the project is approved.

DISCUSSION

Project Description:

The Verizon "Mission Bay" at 1851 San Diego Avenue project proposes to remove existing rooftop equipment and construct a new WCF consisting of 16 antennas, 16 Remote Radio Units (RRUs), and four surge suppressors proposed inside two new rooftop screens, with associated equipment located in an existing equipment room inside the building. The project is requesting a PDP for a deviation to exceed the height limit of the CL-6 zone, which is 30 feet per SDMC 1512.0309(b)(3)(C). The existing building is approximately 42 feet, 9 inches tall. The proposed project will increase this height to 43 feet, 6 inches.

This represents a 13 foot, 6 inch deviation to the 30-foot height limit of the CL-6 zone; however, it represents an actual height increase of only 9 inches. This minor height increase over the height of the existing building is requested to accommodate the length of the antennas and antenna screen, and it represents the minimum height needed to accommodate the installation.

This property is a desirable location for WCFs as it is commercially zoned and near to freeways, major roads, and residential areas. The height increase is requested to allow the carrier to modernize their previously permitted installation. Although the 1991 permit concealed antennas entirely behind existing building features, modern antennas can no longer fit behind the existing parapet. The proposed rooftop screens have been designed to complement the existing building and will be constructed of Fiber-Reinforced Panels (FRP). The screens will be textured and colored to match the existing building. The screens contain decorative color bands to break up their mass, providing visual relief that complements the building.

The purpose of a PDP is to *"to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations."* By allowing a height deviation that represents a small increase over the height of the existing building, a PDP will allow the applicant the flexibility to reduce visual impacts by integrating a WCF in a way that complements the architecture of the existing building.

Community and General Plan Analysis:

The Uptown Community Plan does not specifically address WCFs. The City's General Plan addresses WCFs in the Urban Design Element (UD-A.15). The visual impact of WCFs should be minimized by concealing them in existing structures, or using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

The proposed project screens antennas from view using structures that will complement the colors and materials of the existing building. This meets the intent of UD-A.15. Therefore, the project meets the objectives of both the Community Plan and the General Plan.

Project Related Issues:

Modern wireless antennas are larger than those previously permitted by Permit No. 91-0302.2. Therefore, integration into the existing parapet or building façade is not feasible as it was with the previous application. The applicant proposes decorative rooftop screens. The building is visible from nearby commercial and residential properties, as well as traffic on adjacent streets and highways. To address the visual impacts of rooftop screens, staff explored alternative designs with the applicant, including stand-alone structures, raising existing parapets, and using other locations on the roof. The current proposal was determined to be the least obtrusive means of providing wireless service for the proposed coverage area.

The increased height requested as a part of this application enables the functional integration of a WCF into an existing building without the need for additional building massing or standalone structures on the property. The WCF will be camouflaged to the maximum extent feasible.

Conclusion:

Based on its design, the project complies with the WCF Regulations (SDMC 141.0420). Staff has prepared draft findings in the affirmative to approve the PDP and recommends approval of PDP No. 1732882 (Attachment 6).

ALTERNATIVES

1. Approve PDP No. 1732882 with modifications.

2. Deny PDP No. 1732882, if the Planning Commission makes findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

Elyse Lowe

Elyse W. Lowe
Deputy Director
Development Services Department

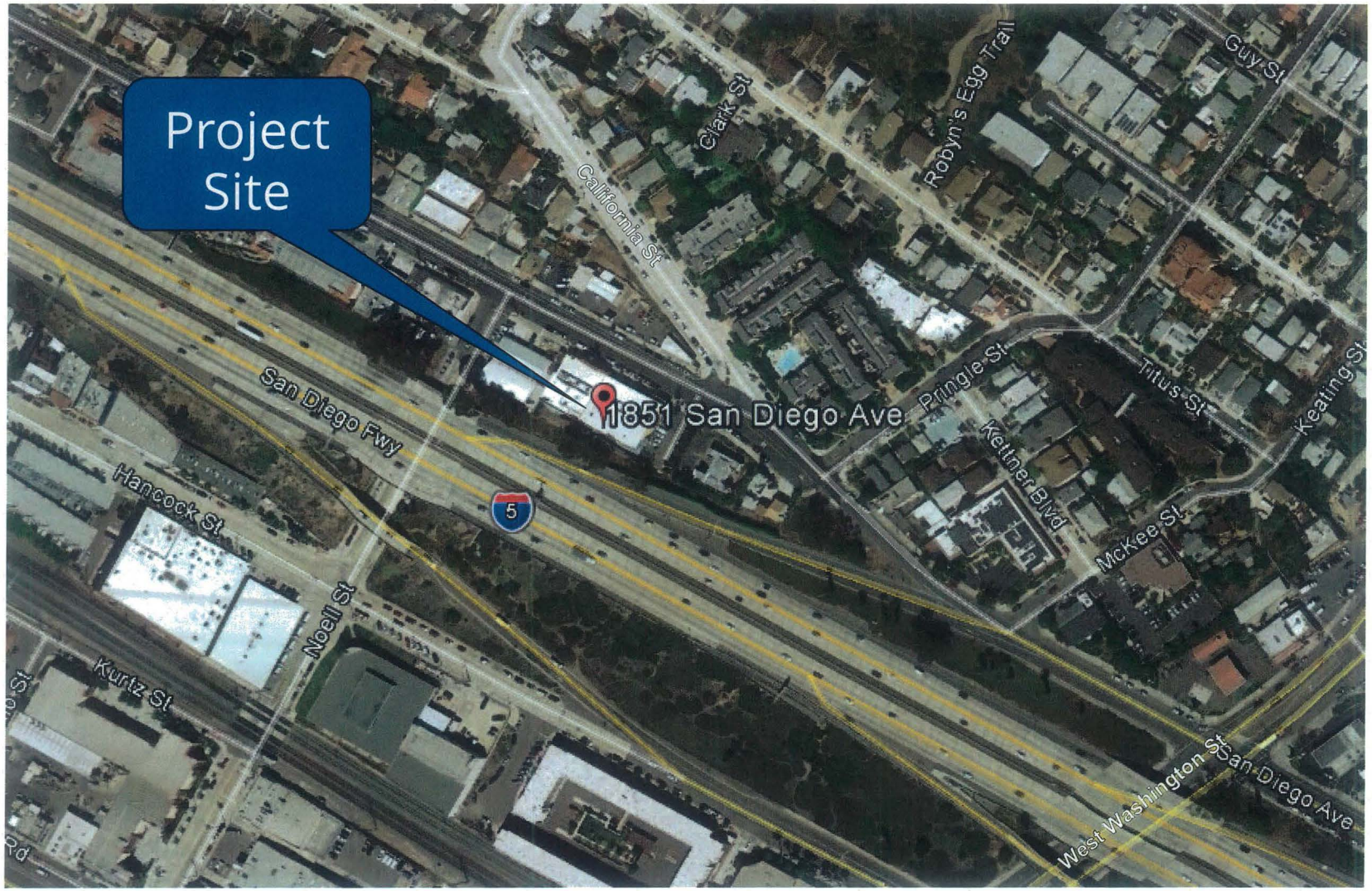
Travis Cleveland
Development Project Manager
Development Services Department

LOWE/TAC

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Photo Survey
10. Community Planning Group Recommendation
11. Ownership Disclosure
12. Photosimulations
13. Project Plans

Aerial Photo

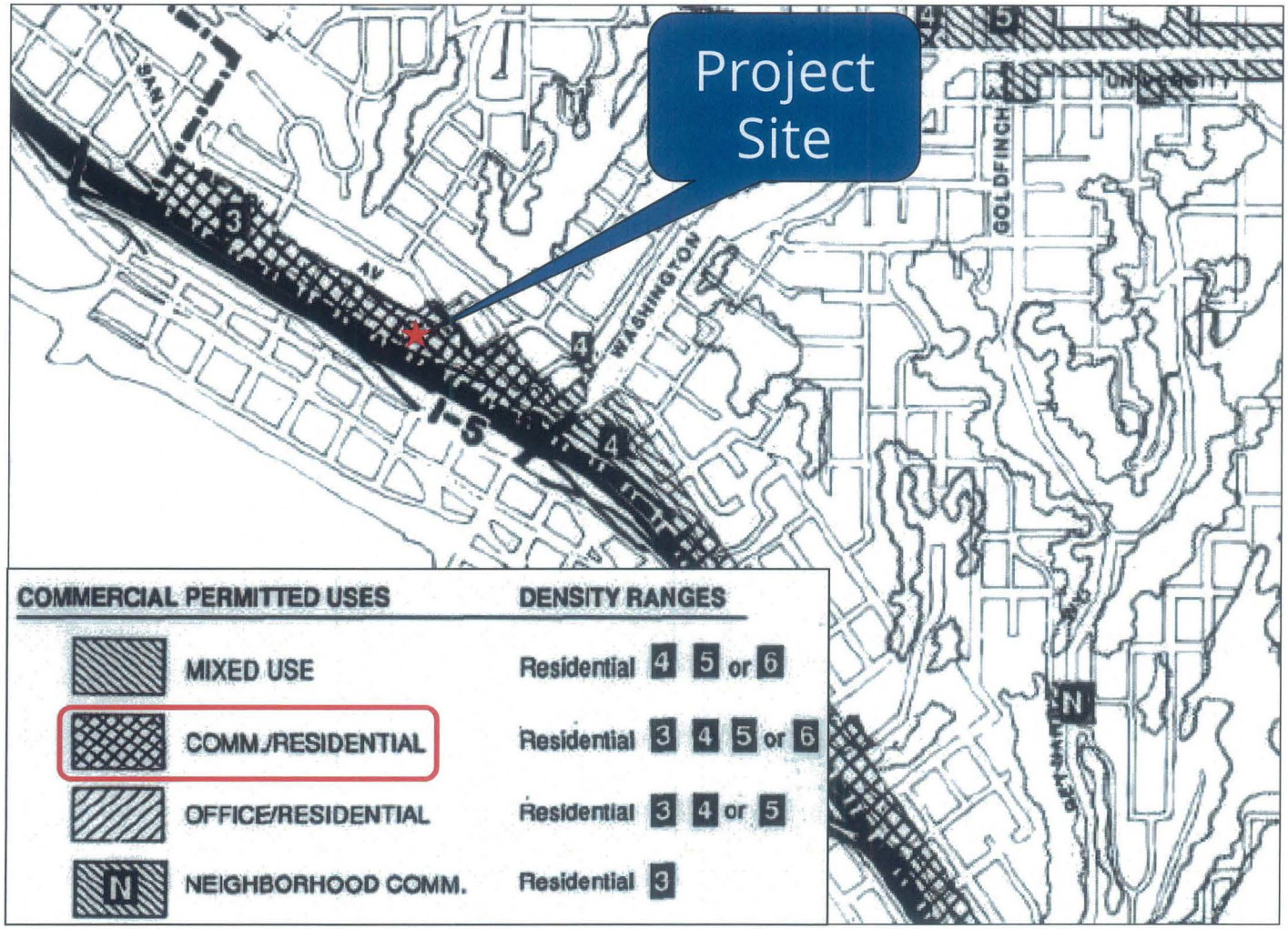


North

Verizon "Mission Bay" at 1851 San Diego Avenue, Project Number 471264
1851 San Diego Avenue

ATTACHMENT 1

Community Plan

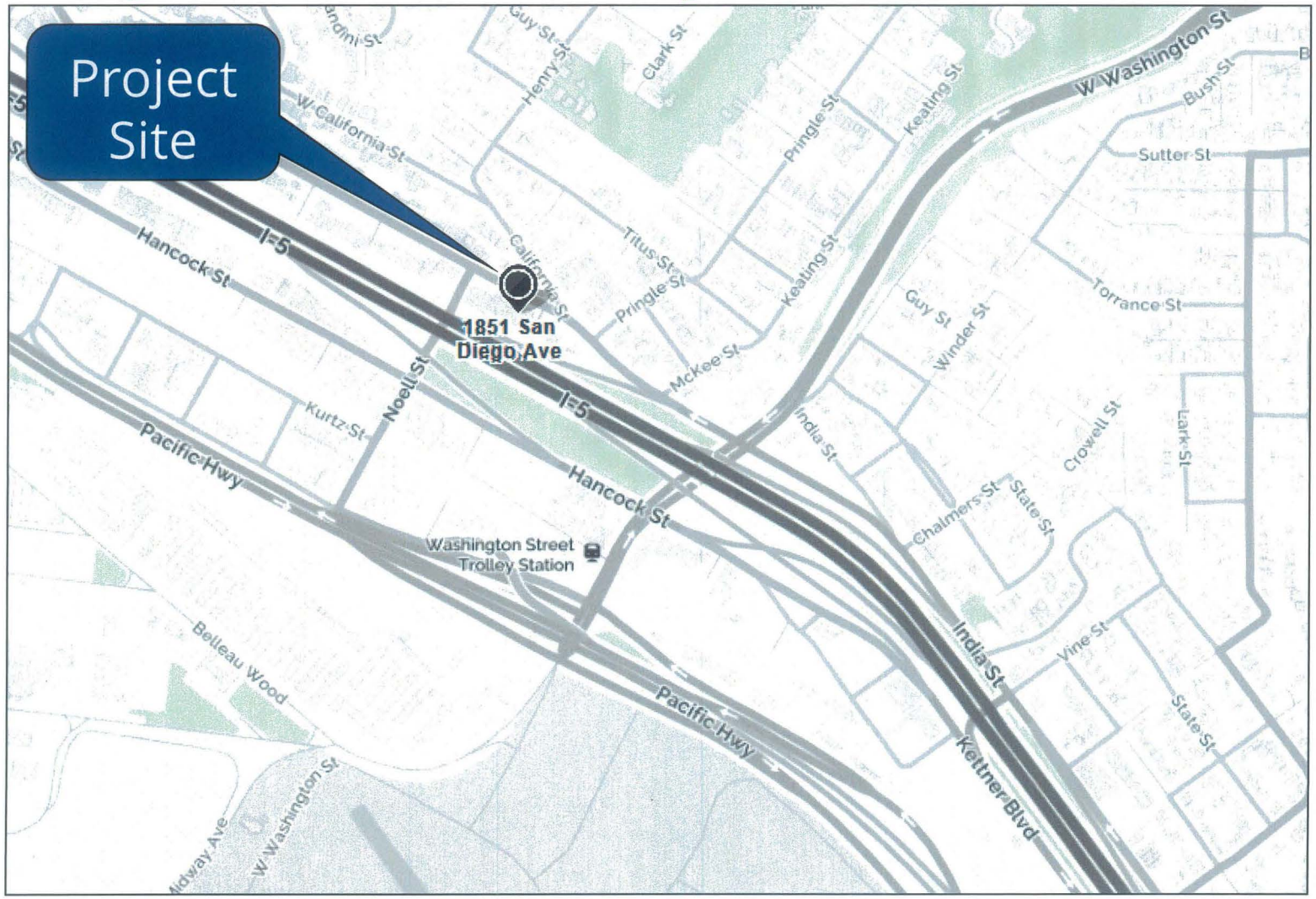


Verizon "Mission Bay" at 1851 San Diego Avenue
1851 San Diego Avenue

North

ATTACHMENT 2

Project Location Map



Verizon "Mission Bay" at 1851 San Diego Avenue
1851 San Diego Avenue

North

ATTACHMENT 3

PROJECT DATA SHEET

PROJECT NAME:	Verizon "Mission Bay" at 1851 San Diego Avenue
PROJECT DESCRIPTION:	16 antennas, 16 Remote Radio Units (RRUs), and 4 surge suppressors proposed inside two new rooftop screens, with associated equipment located in an existing equipment room inside the building.
COMMUNITY PLAN AREA:	Uptown
DISCRETIONARY ACTIONS:	Planned Development Permit (PDP)
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial Residential

ZONING INFORMATION:

ZONE: MCCPD-CL-6
LOT SIZE: 0.55 acres
HEIGHT LIMIT: 30 feet
EXISTING HEIGHT: 42 feet, 9 inches
PROPOSED HEIGHT: 43 feet, 6 inches

ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial Residential; CL-6	Auto Repair
SOUTH:	None	Interstate 5
EAST:	Commercial Residential; CL-6	Commercial
WEST:	Commercial Residential; CL-6	Commercial

DEVIATION REQUESTED:	The project requests a 13 foot, 9 inch deviation from the 30-foot height limit of the CL-6 zone. The existing building is previously conforming at 42 feet, 9 inches in height. The proposed project will construct rooftop antennas and screens at a height of 43 feet, 6 six inches.
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 7, 2016, the Uptown Community Planning Group voted 13-0-1 (one abstention) to approve the Verizon Mission Bay project.

PLANNING COMMISSION
RESOLUTION NO. _____
PLANNED DEVELOPMENT PERMIT NO. 1732882
VERIZON "MISSION BAY" AT 1851 SAN DIEGO AVENUE
PROJECT NO. 471264

WHEREAS, 1851, LLC, Owner, and Verizon Wireless, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1732882), on portions of a 0.55-acre site;

WHEREAS, the project site is located at 1851 San Diego Avenue in the CL-6 zone of the Mid-City Communities Planned District and the Uptown Community Plan area;

WHEREAS, the project site is legally described as: Lots 7 to 10, inclusive, in Block 194 of Middletown, in the City of San Diego, County of San Diego, State of California, according to the map made by J.E. Jackson, filed in together with the northeasterly 1/2 of Sutherland Street, adjacent to Lot 7, as vacated by that certain Resolution No. R-257996 of the City Council of San Diego, recorded on March 3, 1983 as File No. 83-67764 of Official Records;

WHEREAS, on July 28, 2016, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1732882, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 6, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated July 28, 2016.

FINDINGS:

Planned Development Permit Approval- Section §126.0604

1. **The proposed development will not adversely affect the applicable land use plan.**

The adopted Uptown Community Plan does not contemplate Wireless Communication Facilities (WCFs), however, the City of San Diego's General Plan (UD-A.15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood

context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The proposed project consists of 16 antennas, 16 Remote Radio Units (RRUs), and 4 surge suppressors inside two new rooftop screens, with associated equipment located in an existing equipment room inside the building. Pursuant to Land Development Code (LDC) Section 141.0420(c)(1)((A), a WCF in a commercial zone is allowed as a Limited Use, Process One; however, the project requires a PDP to allow the project to exceed the 30-foot height limit of the CL-6 zone. The existing structure is approximately 42 feet, 9 inches in height, representing a previously conforming condition. To allow for rooftop screens, the project proposes to increase this existing height by only nine inches, making the total building height 43 feet, 6 inches.

The project site was permitted by Permit No. 91-0302.2 in 1991 for a WCF screened by existing parapet walls of the structure. Modern antennas can no longer fit behind the existing parapet; therefore, to maintain coverage, new rooftop screens are necessary. The proposed rooftop screens have been designed to complement the existing building and will be constructed of Fiberglass-Reinforced Panels (FRP) to allow wireless signals to pass through. The screens will be textured and painted to match the existing building. The screens contain decorative color bands to break up their mass, providing visual relief that complements the building. The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF will not adversely affect the applicable land use plan or the City's General Plan. Permit 91-0302.2 will be rescinded.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.**

The project is located at 1851 San Diego Avenue in the Uptown Community Plan area. It proposes to remove existing rooftop equipment and construct a new WCF consisting of 16 antennas, 16 Remote Radio Units (RRUs), and 4 surge suppressors proposed inside two new rooftop screens, with associated equipment located in an existing equipment room inside the building.

The project was determined to be exempt from CEQA pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared by SiteSafe, which concluded that the project will be in compliance with FCC standards for RF emissions. Therefore, the project will not

result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

This project is located in the CL-6 zone of the Mid-City Communities Planned District. WCF are permitted in commercial zones as a Limited Use, Process One pursuant to LDC Section 141.0420(c)(1)(A). However, the CL-6 zone has a 30-foot height limit. The existing building is approximately 42 feet, 6 inches tall, and the proposed project will increase this height by nine inches, representing a deviation in height of 13 feet, 6 inches. The project, as compared to the existing building, represents a minimal height increase in order to accommodate the WCF.

The purpose of a PDP is to "to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations." A height deviation to allow rooftop screens on an existing building achieves this purpose by allowing the project to avoid placement of façade-mounted antennas or separate, stand-alone structures on the property. Although such installations would comply with the height limit of the zone, they represent a greater visual impact than the requested deviation. Therefore, the requested deviation allows the project to integrate with the building and reduces visual impacts to adjacent properties. With the exception of the height deviation, the project will comply with the applicable regulations of the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1732882 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1732882, a copy of which is attached hereto and made a part hereof.

_____

Travis Cleveland
Development Project Manager
Development Services

Adopted on: July 28, 2016

IO#: 24006480

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006085

PLANNED DEVELOPMENT PERMIT NO. 1732882
VERIZON "MISSION BAY" AT 1851 SAN DIEGO AVENUE
PROJECT NO. 471264
PLANNING COMMISSION

This Planned Development Permit No. 1732882 is granted by the Planning Commission of the City of San Diego to 1851, LLC, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0604 and 141.0420. The 0.55-acre site is located at 1851 San Diego Avenue in the CL-6 zone of the Mid-City Communities Planned District and the Uptown Community Plan area. The project site is legally described as: Lots 7 to 10, inclusive, in Block 194 of Middletown, in the City of San Diego, County of San Diego, State of California, according to the map made by J.E. Jackson, filed in together with the northeasterly 1/2 of Sutherland Street, adjacent to Lot 7, as vacated by that certain Resolution No. R-257996 of the City Council of San Diego, recorded on March 3, 1983 as File No. 83-67764 of Official Records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 28, 2016, on file in the Development Services Department.

The project shall include:

a. Two eight-foot, four-inch-tall Fiberglass-Reinforced Panel (FRP) screening structures on the roof of an existing building (visible height approximately six feet, six inches over parapets), each concealing 8 panel antennas, 8 Remote Radio Units (RRUs), and two surge suppressors, for a total of 16 antennas, 16 RRUs, and 4 surge suppressors; with associated equipment inside an existing, 330-square-foot interior equipment room;

b. Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment.

c. Deviation to Land Development Code (LDC) Section 1512.0309(b)(3)(C) to allow the project to exceed the 30-foot height limit of the CL-6 zone by 13 feet, six inches;

d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

e. Permit No.91-0302.2 for a previous WCF on the subject property is hereby rescinded.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 12, 2019.

2. The corresponding use of this site expires on August 12, 2026. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.

3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.

4. Under no circumstances, does approval of this permit authorize Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.

5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee

shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2012 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

22. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Rooftop screens must be in good condition at all times to the satisfaction of the Director of Development Services. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego

23. When the Owner/Permittee's permission to use this site for a wireless communication facility expires on August 12, 2026, the Owner/Permittee shall remove from this site the facilities and improvements authorized by this permit and shall restore the property to its original condition. Further, if the site is sold or transferred to another provider, or if the facility or components of the facility are non-operational or no longer used, the Owner/Permittee shall notify the City of such event within 30 days.

24. The photo simulation(s) for the proposed project shall be printed on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

25. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. The entire facility, including all RF-transparent material, shall be painted and textured to match the original building and adjacent building surfaces.

26. The approved antenna dimensions are 72 inches by 18.9 inches by 8.3 inches as illustrated on the Exhibit "A" dated July 28, 2016. Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.

27. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

28. The Permittee shall assure the accuracy and validity of the RF Compliance Report while the WCF is in operation.

29. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

30. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5407 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 28, 2016, by Resolution No. _____.

Permit Type/PTS Approval No.: PDP No. 1732882
Date of Approval: July 28, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

_____

Travis Cleveland
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

1851, LLC
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
NAME:
TITLE:

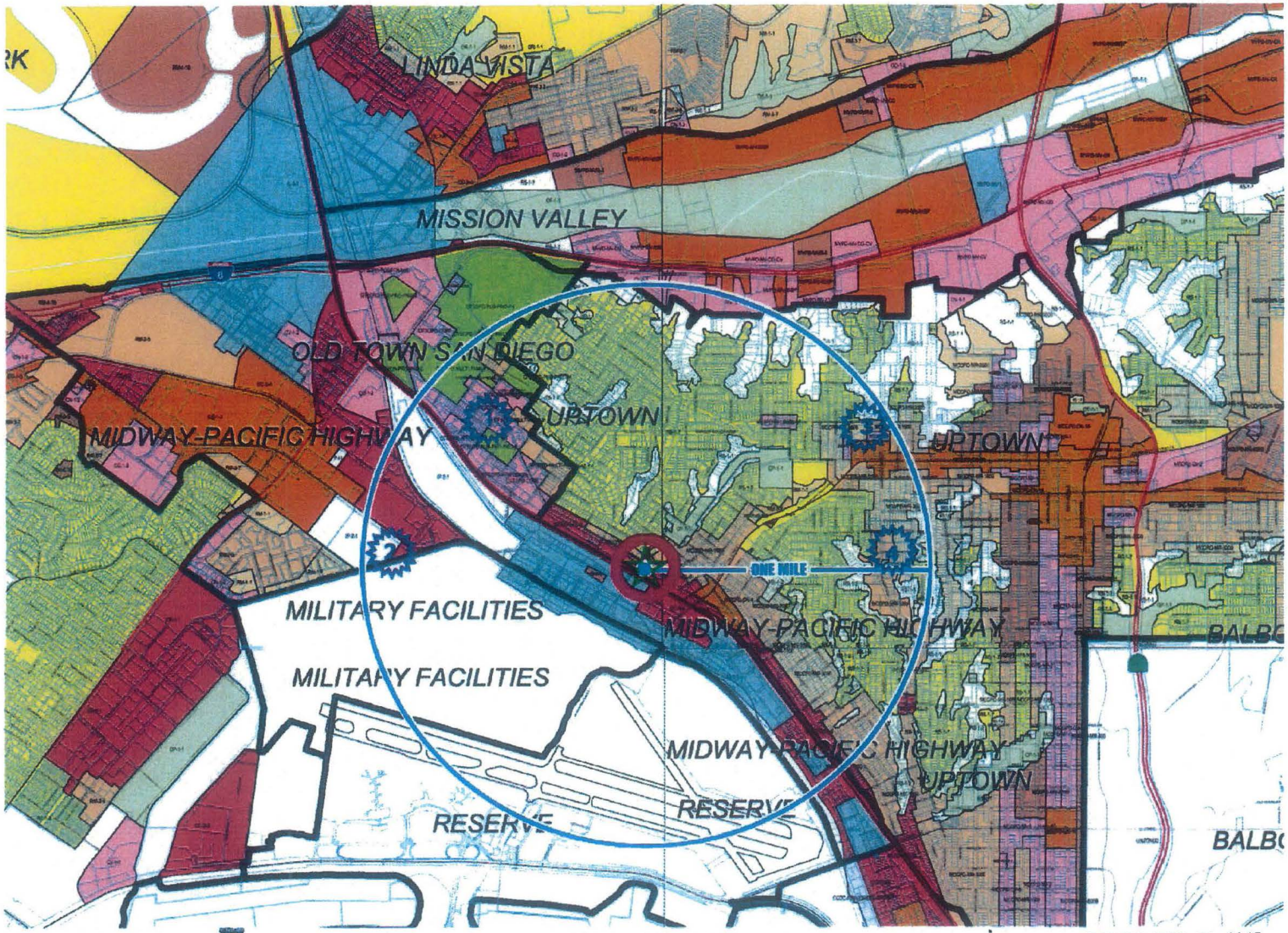
NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

verizon

Legend

- Search Ring
- Selected Site
- Existing sites within 1 mile radius:
  1. Uptown
  2. SD Post Office
  3. Stockton 6
  4. Goldfinch
- Alternative Sites:
  No sites



City of San Diego
Development Services Department

GRID TILE: 14,15, 18 & 19
GRID SCALE: 800
DATE: 8/19/2013 2:00:23 PM

2/5/2016

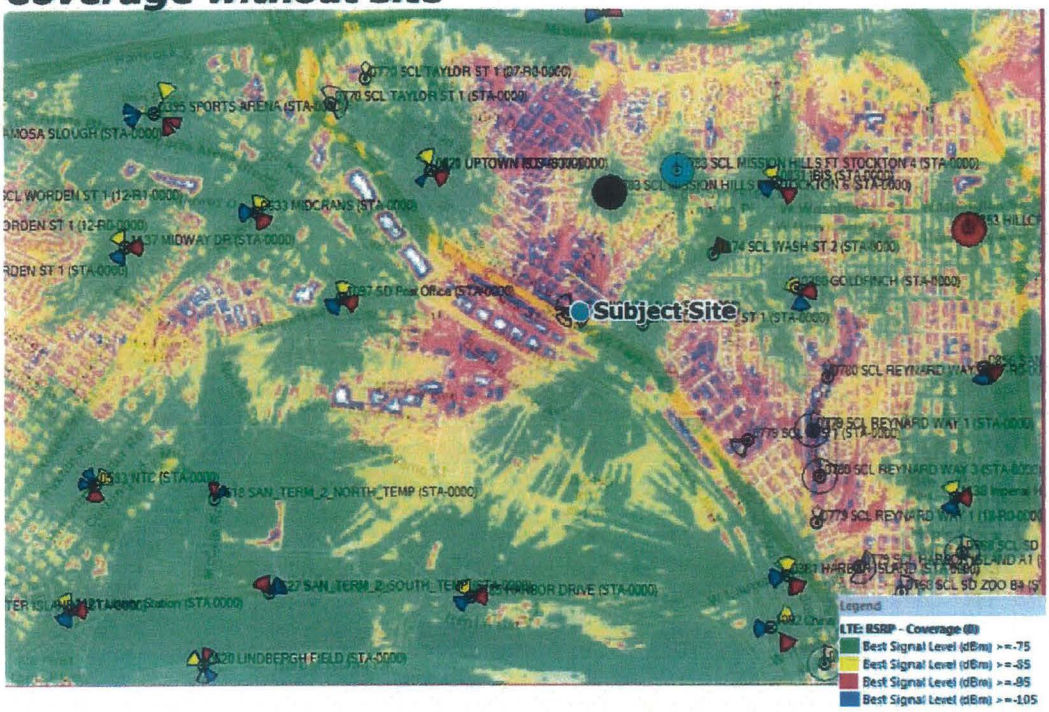
ATTACHMENT 7

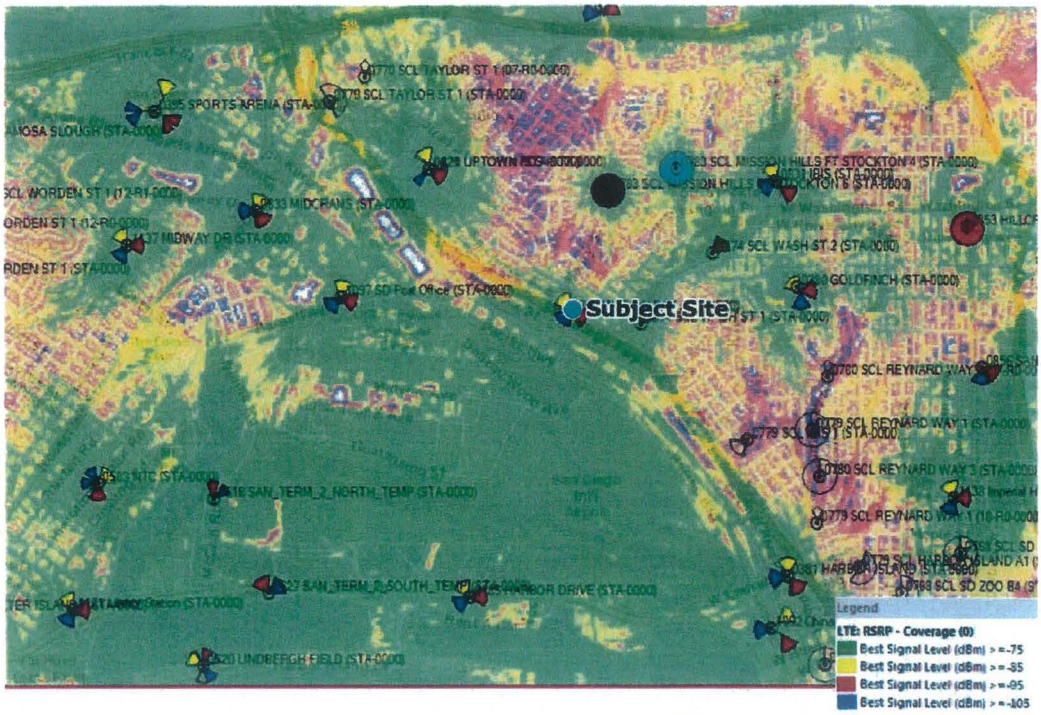
ATTACHMENT 7

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

verizon

Coverage without site





Coverage Levels:

- Excellent
- Good/Variable
- Poor

Coverage with site

2/5/2016

ATTACHMENT 8

NOTICE OF EXEMPTION

(Check one or both)

TO: _X_ Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

_____ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Project Name: Verizon Mission Bay

Project No. 471264

Project Location-Specific: 1851 San Diego Avenue, San Diego, California 92110

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The proposed project includes a Planned Development Permit (PDP) for a WCF consisting of, the removal of all existing antennas and the installation of 16 new antennas, two new RF screen enclosures (for a total of 784 square feet), and 16 RRUs behind the RF screen enclosures. The project is located at 1851 San Diego Avenue in the Uptown Community Plan area on a .55-acre site. The project site is designated Commercial/Residential and it is zoned MCCPD-CL-6.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Curtis Diehl
Plancom
302 State Place, #200
Escondido, CA 92029
(951) 833-5779

Exempt Status: (CHECK ONE)

( ) Ministerial (Sec. 21080(b)(1); 15268);
( ) Declared Emergency (Sec. 21080(b)(3); 15269(a));
( ) Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
(x) Categorical Exemption 15301 (Existing Facilities)

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a WCF consisting of, the removal of all existing antennas and the installation of 16 new antennas, two new RF screen enclosures (for a total of 784 square feet), and 16 RRUs behind the RF screen enclosures , is a negligible expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna L. McPherson /Senior Planner

Signature/Title

May 6, 2016

Date

Check One:

(X) Signed By Lead Agency

( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:

PHOTOGRAPHIC STUDY

PROPOSAL TO MODIFY AN EXISTING
TELECOMMUNICATIONS FACILITY

Verizon Wireless
"Mission Bay PCS"
1851 San Diego Ave
San Diego, CA 92110

Prepared for:
City of San Diego
1222 First Ave.
San Diego, Ca 92104

Prepared by:

PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Alex Hodge, Planning Consultant
(951-764-4713)

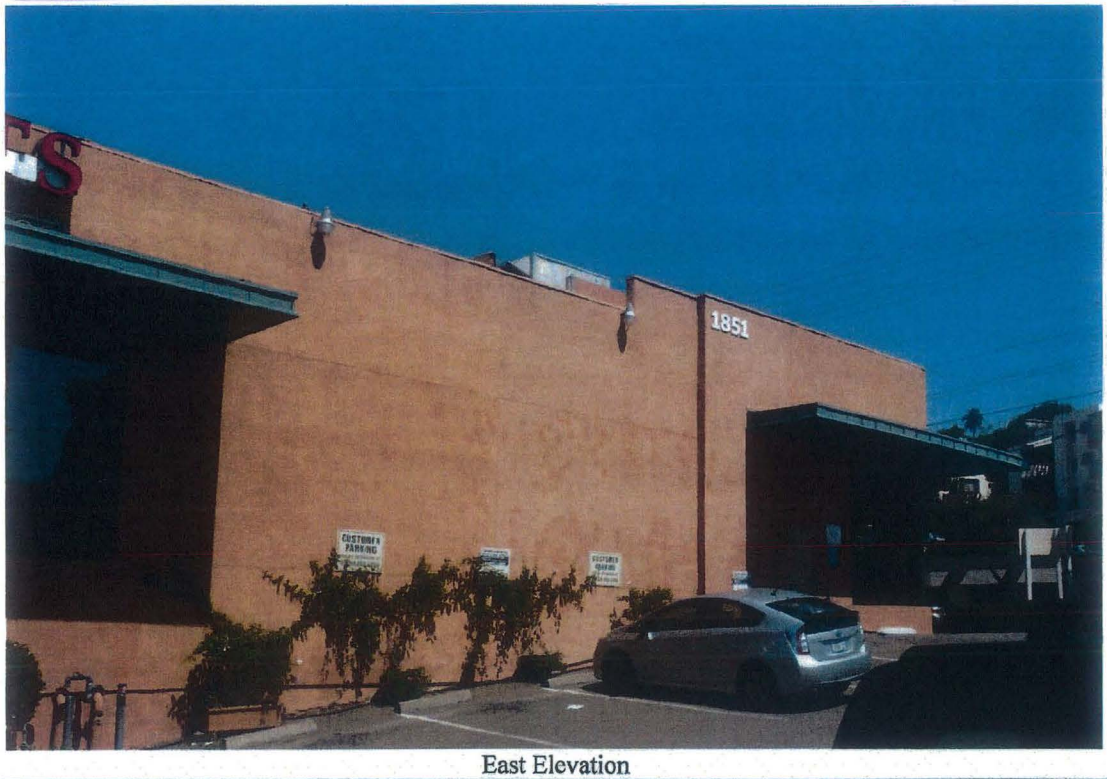
May 7, 2015

verizon wireless

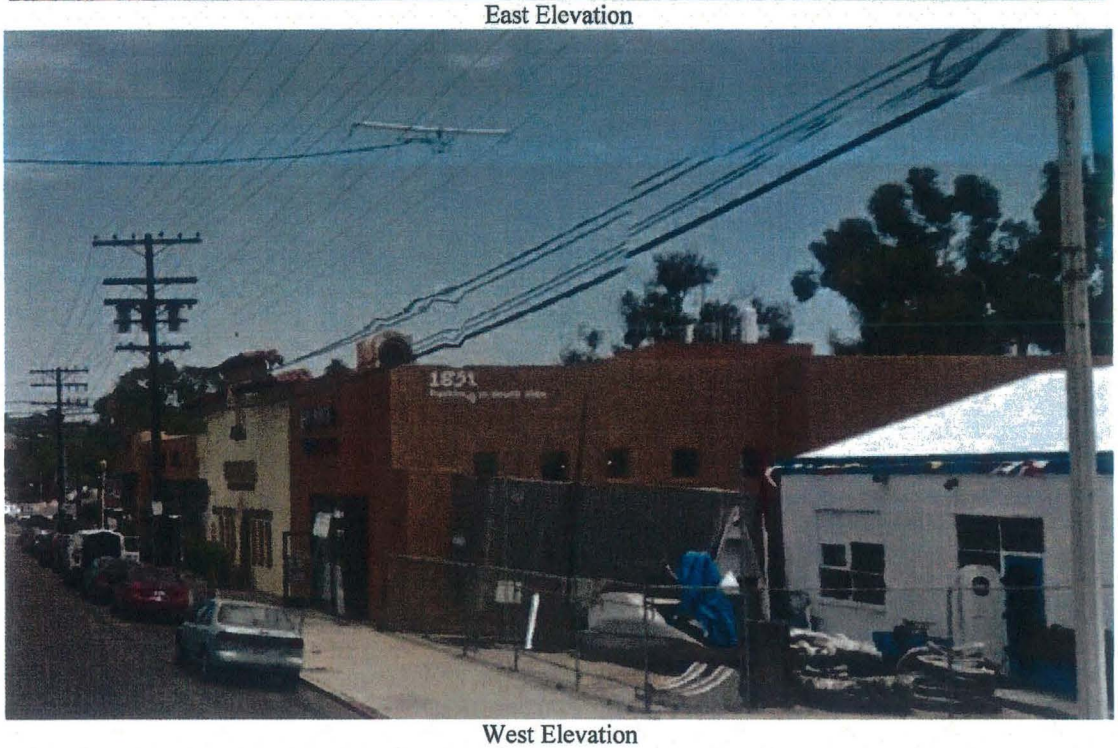
South Elevation

North Elevation

verizon wireless



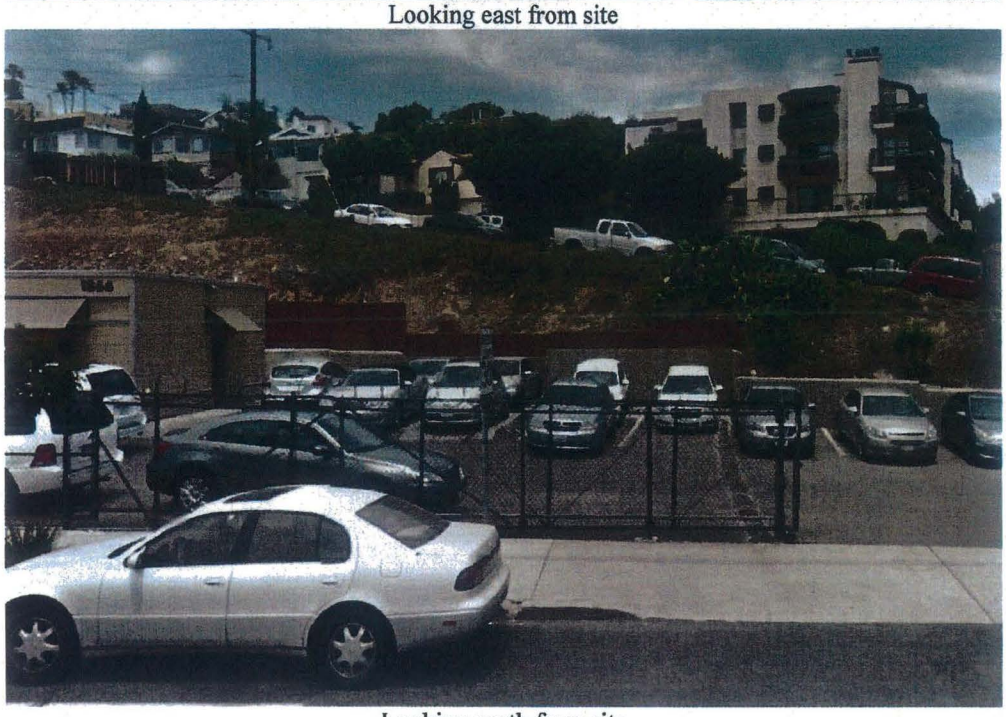
East Elevation



West Elevation

verizon wireless

Looking east from site



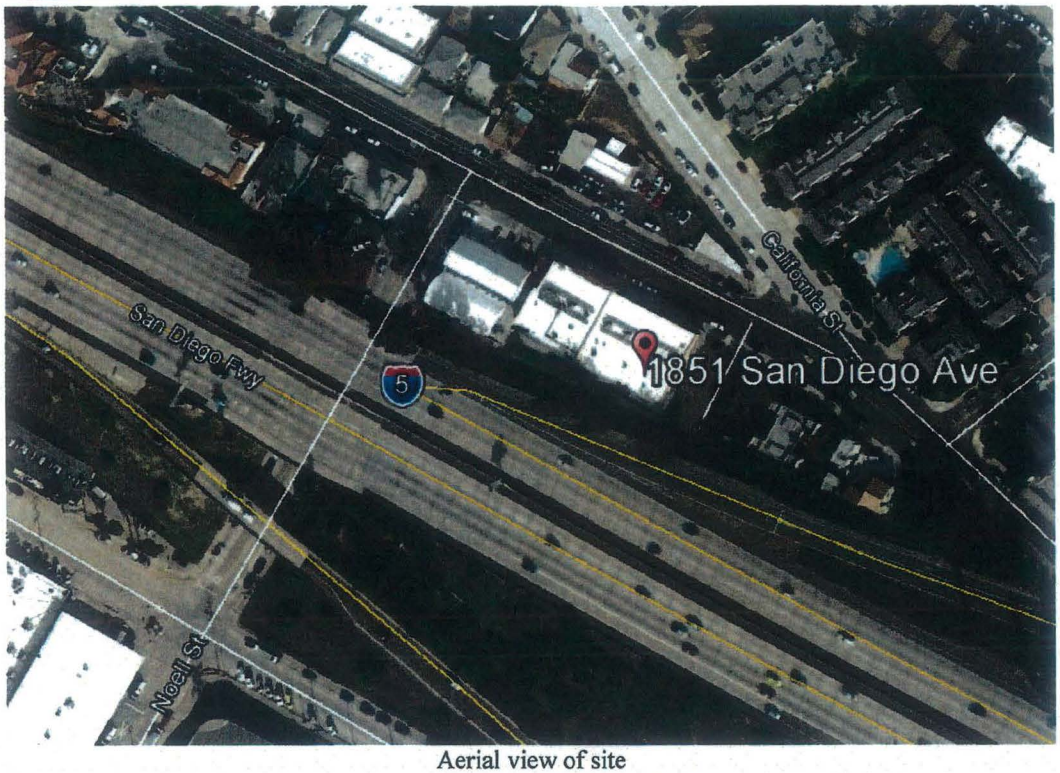
Looking north from site

verizon wireless

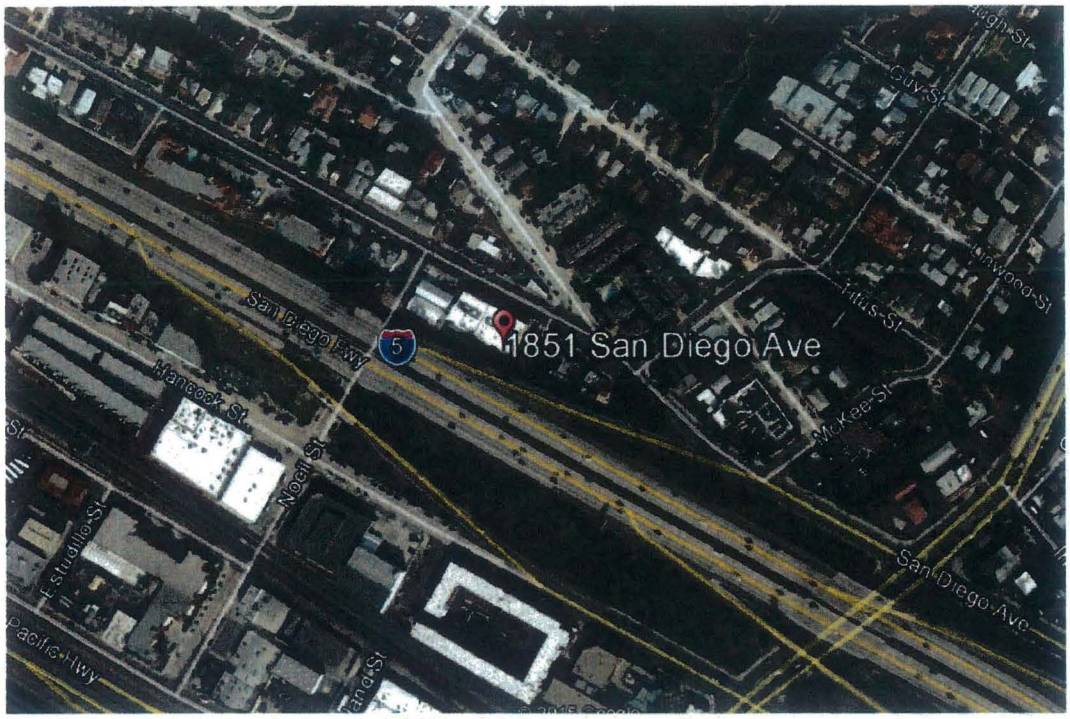
Looking west from site

Looking south from site

verizon wireless



Aerial view of site



Aerial View of site and surroundings

UPTOWN PLANNERS

MEMORANDUM OF MOTION
MOTION APPROVED ON JUNE 7, 2016
BY THE BOARD OF UPTOWN PLANNERS

Motion Approved By Uptown Planners on June 7, 2016:

The board of Uptown Planners passed the following motion regarding the Verizon Mission Bay PDP project at its June 7, 2016 meeting; the project was noticed on the agenda as indicated below:

> **1851 SAN DIEGO AVENUE ("VERIZON MISSION BAY PDP")** -- The proposed project includes a Planned Development Permit (PDP) for a WCF consisting of, the removal of all existing antennas and the installation of 16 new antennas, two new RF screen enclosures (for a total of 784 square feet), and 16 RRUs behind the RF screen enclosures. The project is located at 1851 San Diego Avenue in the Uptown Community Plan area on a .55-acre site. The project site is designated Commercial/Residential and it is zoned MCCPD-CL-6.

A presentation was made by the applicant's representative. After discussion, the board of Uptown Planners passed a motion recommending approval of the project as presented by a unanimous vote..

Voting YES 13 Voting NO 0 Abstain 1 (non-voting chair)

Leo Wilson
Chair, Uptown Planners

City of San Diego
Development Services
1222 First Ave., MS 501
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval being sought. Refer to Municipal Code for info.

☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vacation ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other

Project Title: [illegible]

Project No. (For City Use Only): [illegible]

Project Address: [illegible]

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owners and tenants, if applicable, of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all partners, all joint venturers, partnership, non-profit organization, or trust). Attach additional pages if needed. Note: Attach additional pages if needed. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached: Yes ☐ No ☐

Name of Individual (Type or Print)	Name of Individual (Type or Print)
Owner ☐ Tenant/Lessee ☐ Street Address:	Owner ☐ Tenant/Lessee ☐ Street Address:
City/State/Zip:	City/State/Zip:
Phone No:	Phone No:
Fax No:	Fax No:
Email:	Email:
Signature:	Signature:
Date:	Date:

Project Title

Project No

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check)

Partnership

Additional pages attached Yes No

1851 LLC

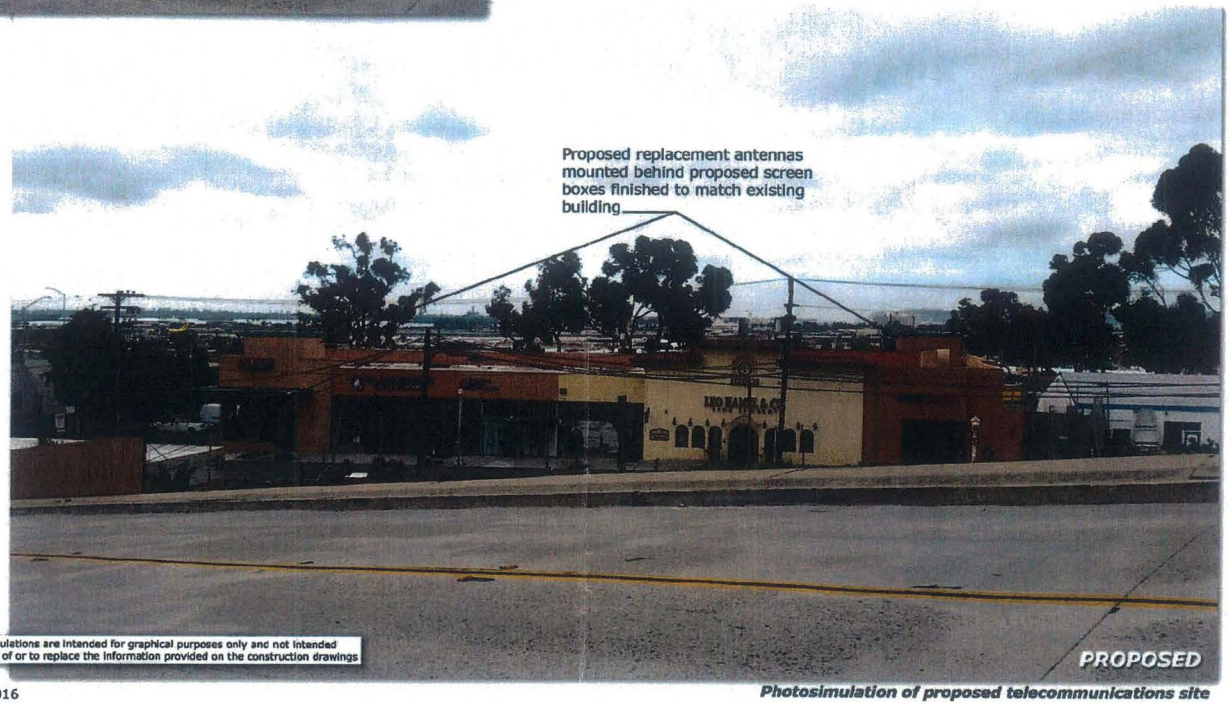
X

1851 San Diego #130
San Diego CA 92110
619-299-1500
Leo Hamel
President

11-10-15

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

verizon



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

4/13/2016

Photosimulation of proposed telecommunications site

ATTACHMENT 12

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

4/13/2016

Photosimulation of proposed telecommunications site

ATTACHMENT 12

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

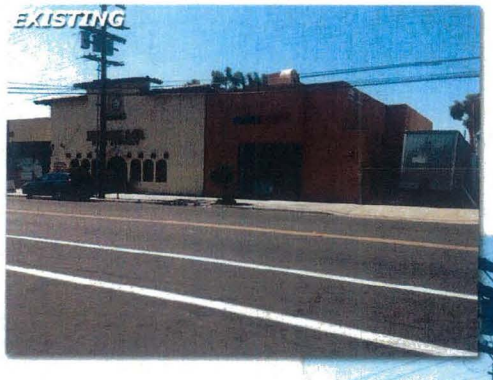
4/11/2016

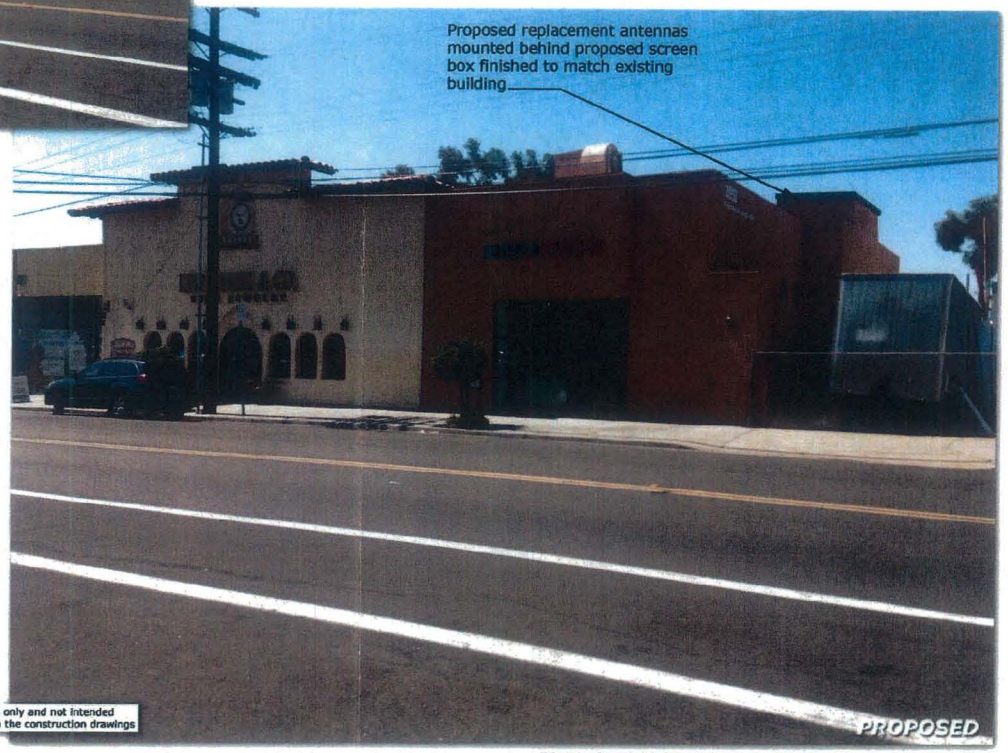
Photosimulation of proposed telecommunications site

ATTACHMENT 12

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

verizon





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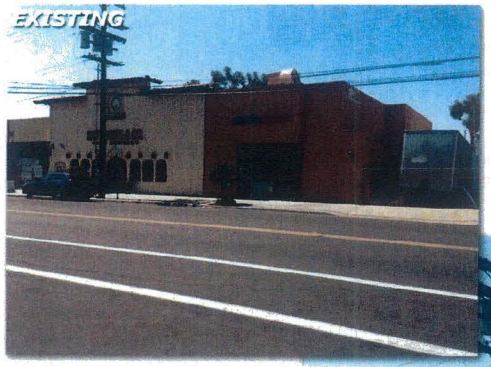
4/13/2016

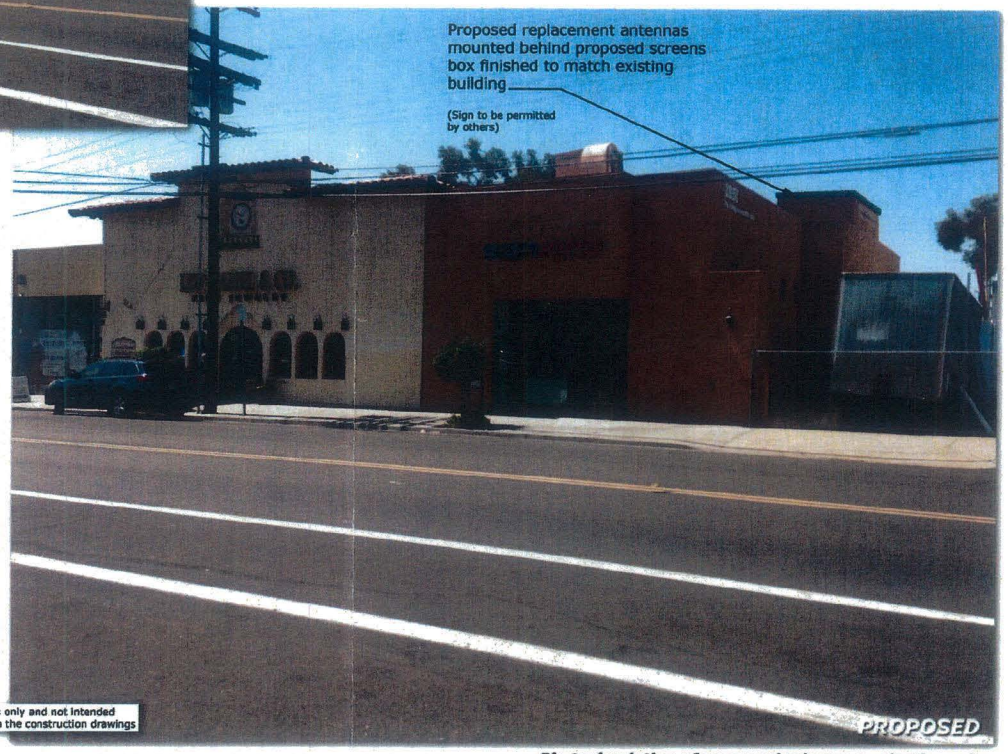
Photosimulation of proposed telecommunications site

ATTACHMENT 12

Mission Bay PCS
1851 San Diego Ave.
San Diego, CA 92110

verizon





These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

4/11/2016

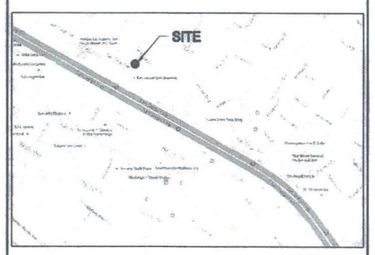
Photosimulation of proposed telecommunications site

ATTACHMENT 12

verizon wireless

MISSION BAY PCS
1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110
MTX-54

VICINITY MAP



THOMAS BROTHERS GUIDE
SAN DIEGO EDITION PAGE: 1268-G6

N

ADDRESS:
1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

COORDINATES (NAD 83):
LATITUDE: 32° 44' 40" NORTH
LONGITUDE: 117° 11' 07" WEST

CONSULTANT TEAM

ARCHITECT:
BOOTH & SUAREZ ARCHITECTURE, INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

LEASING:
PLANCOM, INC.
JILL CLEVELAND
302 STATE PLACE
ESCONDIDO, CA 92029
(760) 420-4833

PLANNING:
PLANCOM, INC.
DIEHL KERRIGAN
302 STATE PLACE
ESCONDIDO, CA 92029
(949) 290-9678

STRUCTURAL ENGINEER:
NEXT STEP DESIGN, INC.
26170 ENTERPRISE WAY, SUITE 400
LAKE FOREST, CA 92630
(949) 215-3339

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92718

OWNER: 185 LLC
1851 ADAMS STREET
SAN DIEGO, CA 92116

JURISDICTION: CITY OF SAN DIEGO

PROJECT DESCRIPTION:

EXISTING VERIZON WIRELESS TELECOMMUNICATIONS FACILITY WITH EXISTING EQUIPMENT ROOM LOCATED IN BUILDING ON FIRST FLOOR WITH TWO (2) VERIZON WIRELESS ANTENNA SECTORS ROOF TOP MOUNTED.
THE FOLLOWING MODIFICATIONS ARE PROPOSED:

- REMOVE ALL EXISTING VERIZON WIRELESS ANTENNAS
- INSTALL TWO (2) NEW RF SCREEN ENCLOSURES (TOTAL 784 S.F.)
- INSTALL FOUR (4) NEW VERIZON WIRELESS ANTENNAS PER SECTOR MOUNT ON ROOF BEHIND PROPOSED RF SCREEN ENCLOSURE (TOTAL OF 16).
- INSTALL FOUR (4) RRUS UNITS PER SECTOR INSIDE PROPOSED RF SCREEN ENCLOSURE BEHIND PROPOSED ANTENNAS (TOTAL OF (16) RRUS)
- INSTALL ONE (1) NEW DEMARCATION JUNCTION BOX (RAYCAP) PER SECTOR INSIDE PROPOSED RF SCREEN ENCLOSURE (TOTAL OF (4))
- INSTALL (4) ADDITIONAL (6x12) POWER/FIBER CABLES FROM EQUIPMENT ROOM TO ROOF TOP ANTENNAS.
- INSTALL THREE (3) DEMARCATION JUNCTION BOXES & TWO (2) 2 VOLT BATTERY RACKS INSIDE EQUIPMENT ROOM
- NO NEW BATTERIES ARE TO BE ADDED AS PART OF THIS PROJECT

LEGAL DESCRIPTION

LOTS 7 TO 10, INCLUSIVE, IN BLOCK 194 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF MADE BY J.E. JACKSON, FILED IN TOGETHER WITH THE NORTHWESTLY 1/2 OF SUTHERLAND STREET, ADJACENT TO LOT 7, AS VACATED BY THAT CERTAIN RESOLUTION NO. R-257996 OF THE CITY COUNCIL OF SAN DIEGO, RECORDER ON MARCH 3, 1983 AS FILE NO. 83-67764 OF OFFICIAL RECORDS.

PROJECT ADDRESS:	1851 SAN DIEGO AVENUE SAN DIEGO, CA 92110
ASSESSORS PARCEL NUMBER:	451-723-02-00
EXISTING ZONING:	C-1
SITE AREA:	23,958 SQ. FT. = 0.55 ACRES
EXISTING EQUIPMENT ROOM AREA:	432.0 SQ. FT. (NO CHANGE)
TYPE OF CONSTRUCTION:	TYPE V-B (NO SPRINKLERS)
EXISTING OCCUPANCY:	B
BUILDING BUILT:	1990

NOTE: THERE ARE ONE EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY (VERIZON WIRELESS)

SHEET SCHEDULE

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA BUILDING CODE, TITLE 24, 2013 EDITION
CALIFORNIA PLUMBING CODE, 2013 EDITION
CALIFORNIA MECHANICAL CODE, 2013 EDITION
CALIFORNIA ELECTRICAL CODE, 2013 EDITION
CALIFORNIA FIRE CODE, 2013 EDITION
CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

SPECIAL INSPECTION NOTES

A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK AND ALL FIELD REPORTS FOR WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTOR OF RECORD, THE ARCHITECT OF RECORD, AND THE GENERAL CONTRACTOR PRIOR TO FINAL APPROVAL FOR OCCUPANCY

(SEE SHEET A-0.2)

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

LICENSED ARCHITECT
KENNETH A. BOOTH
No. C 17748
Exp. 9-31-17
STATE OF CALIFORNIA

PREPARED FOR

verizon wireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

MISSION BAY PCS
1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110
MTX - 54
SAN DIEGO COUNTY

DRAWING DATES

02/13/15	90% ZD (oo)
02/25/15	100% ZD (xrc)
03/03/15	REVISED ZD #1 (oo)
09/04/15	ELEVATION SKETCHES (xrc)
09/09/15	REVISED ZD #2 (oo)
09/18/15	90% CD (oo)
11/11/15	100% CD (cl)
11/19/15	PLANCHECK SUBMITTAL (oo)
12/21/15	PLANCHECK COMMENTS (sv)
02/01/16	REVISED CD (oo) (EME COMPLIANCE)
04/04/16	REVISED CD #2 (oo) (CITY LAND USE)
05/13/16	REVISED CD #3 (oo) (CITY PLANNING)

SHEET TITLE

TITLE SHEET
&
PROJECT DATA

PROJECTS\VERIZON\14291cd

T-1

ATTACHMENT 13

verizonwireless

Verizon Wireless
15505 Sand Canyon Avenue
Irvine, Ca. 92618

LETTER OF AUTHORIZATION
(APPLICATION FOR ZONING/LAND USE ENTITLEMENTS)

Property Address:	1851 San Diego Avenue, San Diego, CA 92110
Vested Owner:	1851 LLC
Assessor's Parcel Numbers:	451-723-02
Verizon Site Name:	Mission Bay

The undersigned authorizes Verizon Wireless (VAW) LLC, a Delaware limited liability company d/b/a Verizon Wireless, with its principal offices at 180 Washington Valley Road, Bedminster, New Jersey 07921, its employees, representatives, agents, and/or consultants, to act as agent on the undersigned's behalf for the sole purpose of obtaining land use approvals, building permits and/or any other entitlements, necessary for the purpose of constructing and operating a wireless telecommunications facility, including FAA filings, on the above identified parcel of land. It is understood that any application may be denied, modified, or approved with conditions, and that such conditions or modifications must be complied with prior to issuance of building permits.

It being further understood that signing this letter of authorization in no way creates an obligation of any kind.

Vested Owner:

By: _____

Print Name: _____

Date: _____

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
305 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

LICENSED ARCHITECT KENNETH A. BOOTH No. C 10768 Exp. 8-31-15 STATE OF CALIFORNIA

PREPARED FOR

verizonwireless

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

MISSION BAY PCS

1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

02/13/15	90% ZD (ao)
02/25/15	100% ZD (xrc)
03/03/15	REVISED ZD #1 (ao)
09/04/15	ELEVATION SKETCHES (xrc)
09/09/15	REVISED ZD #2 (ao)
09/18/15	90% CD (ao)
11/11/15	100% CD (cl)
11/19/15	PLANCHECK SUBMITTAL (ao)
12/21/15	PLANCHECK COMMENTS (sv)
02/01/16	REVISED CD (ao) (EME COMPLIANCE)
04/04/16	REVISED CD #2 (ao) (CITY LAND USE)
05/13/16	REVISED CD #3 (ao) (CITY PLANNING)

SHEET TITLE

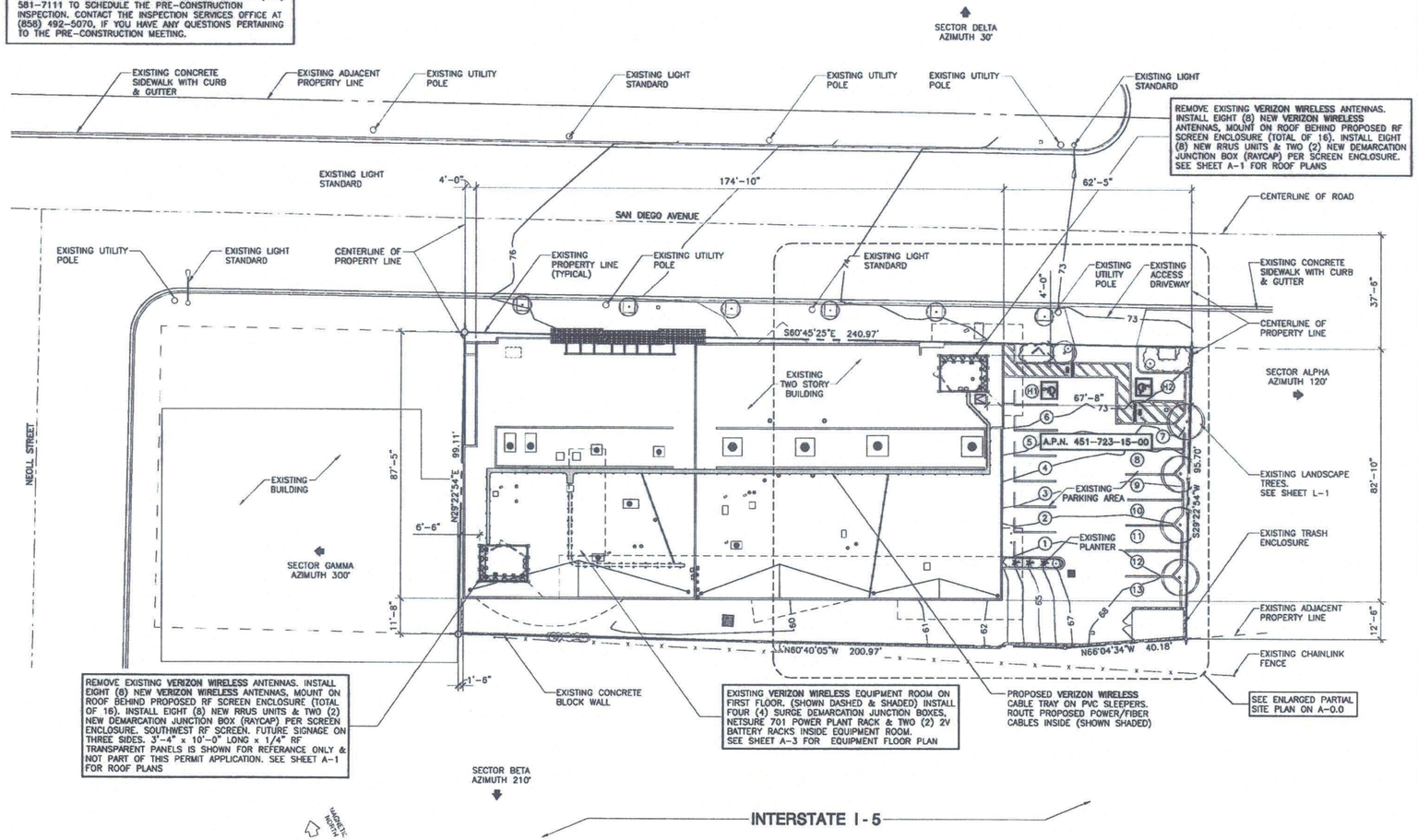
LETTER OF AUTHORIZATION

PROJECTS\VERIZON\14291cd

T-2

ATTACHMENT 13

A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE IN RELATION TO THE PART 77 NOTIFICATION SURFACE REQUIREMENTS. THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED. CALL (858) 581-7111 TO SCHEDULE THE PRE-CONSTRUCTION INSPECTION. CONTACT THE INSPECTION SERVICES OFFICE AT (858) 492-5070, IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION MEETING.



SITE PLAN

SCALE: 1" = 20'-0"

MAGNETIC NORTH

N

EXISTING PARKING SPACES:

(13) STALLS 9'-0" x 18'-0"
(1) HANDICAP VAN STALL 9'-0" x 19'-0" WITH 8'-0" WIDE LOADING ZONE
(1) HANDICAP STALL 9'-0" x 19'-0" WITH 5'-0" WIDE LOADING ZONE
(15) TOTAL SPACES

STORM WATER QUALITY NOTES CONSTRUCTION BMPS

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CAS010875

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREECH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

Lessee's Certificate
Standard Wireless Facility Project
for Post Construction BMPs

I / we the undersigned as Lessee(s) of the property described as

1851 SAN DIEGO AVENUE SAN DIEGO, CA 92110
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

Sediments
Nutrients
Trash & debris
Oxygen Demanding Substance
Oil & Grease
Bacteria & Viruses
Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system
- Preserve existing native trees and shrubs.
- Protect all slopes from erosion

Additionally I/we will,
- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee: Andrey Matskin (print name) Company Name: Verizon Wireless

Lessee: (signature) Date: 7/25/14

GRANDING TABLE:

NONE

CUT:	NONE 0 CU. YD.
FILL:	NONE 0 CU. YD.

LAND DISTURBANCE:

NONE

VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES LEVELS:

AWS EQUIPMENT:
TX FREQUENCY: 2115-2130 MHz
RX FREQUENCY: 1715-1730 MHz

LTE EQUIPMENT:
TX FREQUENCY: 776-787 MHz
RX FREQUENCY: 746-757 MHz

PCS EQUIPMENT:
TX FREQUENCY: 1965-1970 MHz
RX FREQUENCY: 1885-1890 MHz

CDMA EQUIPMENT:
TX FREQUENCY: 880-894 MHz
RX FREQUENCY: 835-849 MHz

BOUNDARY NOTE:
THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A TITLE REPORT WAS NOT PROVIDED AND A BOUNDARY SURVEY WAS NOT PERFORMED

EASEMENTS NOTE:
EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT.

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
305 CARLSBAD VILLAGE DRIVE, SUITE 09
CARLSBAD, CA 92008 (760) 434-8474
LICENSED ARCHITECT KENNETH A. BOOTH No. C 18768 Exp. 9-30-15 STATE OF CALIFORNIA

PREPARED FOR

verizon wireless

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

MISSION BAY PCS

1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

02/13/15	90% ZD (aa)
02/25/15	100% ZD (xrc)
03/03/15	REVISED ZD #1 (aa)
09/04/15	ELEVATION SKETCHES (xrc)
09/09/15	REVISED ZD #2 (aa)
09/18/15	90% CD (aa)
11/11/15	100% CD (cl)
11/19/15	PLANCHECK SUBMITTAL (aa)
12/21/15	PLANCHECK COMMENTS (sv)
02/01/16	REVISED CD (aa) (EME COMPLIANCE)
04/04/16	REVISED CD #2 (aa) (CITY LAND USE)
05/13/16	REVISED CD #3 (aa) (CITY PLANNING)

SHEET TITLE

SITE PLAN

PROJECTS\VERIZON\14291cd

A-0

ATTACHMENT 13

EXISITNG ANTENNA AND COAXIAL CABLE SCHEDULE

SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER ②	RRUS-12	DOWNTILT	SKEW ANGEL	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	FIBER LENGTH (+/- 5')	EQUIPMENT JUMPER LENGTH (+/- 5')	ANTENNA JUMPER LENGTH (+/- 5')	FIBER/ POWER
ALPHA 1	EAST	120°	CCI: HPA-45R-BUU-H6	(1) RRUS13 (1) RRUS13+A2 (1) RRUS32+B2 (1) RRUS32+B4	0°	N/A		4 ①	90'-0"	10'-0"	6'-0"	7/8"
ALPHA 2			CCI: HPA-45R-BUU-H6									
ALPHA 3			CCI: HPA-45R-BUU-H6									
ALPHA 4			CCI: HPA-45R-BUU-H6									
BETA 1	SOUTH	210°	CCI: HPA-45R-BUU-H6	(1) RRUS13 (1) RRUS13+A2 (1) RRUS32+B2 (1) RRUS32+B4	0°	N/A		4 ①	90'-0"	10'-0"	6'-0"	7/8"
BETA 2			CCI: HPA-45R-BUU-H6									
BETA 3			CCI: HPA-45R-BUU-H6									
BETA 4			CCI: HPA-45R-BUU-H6									
GAMMA 1	WEST	300°	CCI: HPA-45R-BUU-H6	(1) RRUS13 (1) RRUS13+A2 (1) RRUS32+B2 (1) RRUS32+B4	0°	N/A		4 ①	90'-0"	10'-0"	6'-0"	7/8"
GAMMA 2			CCI: HPA-45R-BUU-H6									
GAMMA 3			CCI: HPA-45R-BUU-H6									
GAMMA 4			CCI: HPA-45R-BUU-H6									
DELTA 1	NORTH	30°	CCI: HPA-45R-BUU-H6	(1) RRUS13 (1) RRUS13+A2 (1) RRUS32+B2 (1) RRUS32+B4	0°	N/A		4 ①	90'-0"	10'-0"	6'-0"	7/8"
DELTA 2			CCI: HPA-45R-BUU-H6									
DELTA 3			CCI: HPA-45R-BUU-H6									
DELTA 4			CCI: HPA-45R-BUU-H6									

NOTES:

① INSTALL (4) POWER/FIBER CABLES. ROUTE FROM EQUIPMENT ROOM TO ROOF TOP ANTENNAS. FIELD VERIFY SITE CONDITIONS

② INSTALL FOUR (4) ANTENNAS PER SECTOR (TOTAL OF SIXTEEN (16) ANTENNAS)

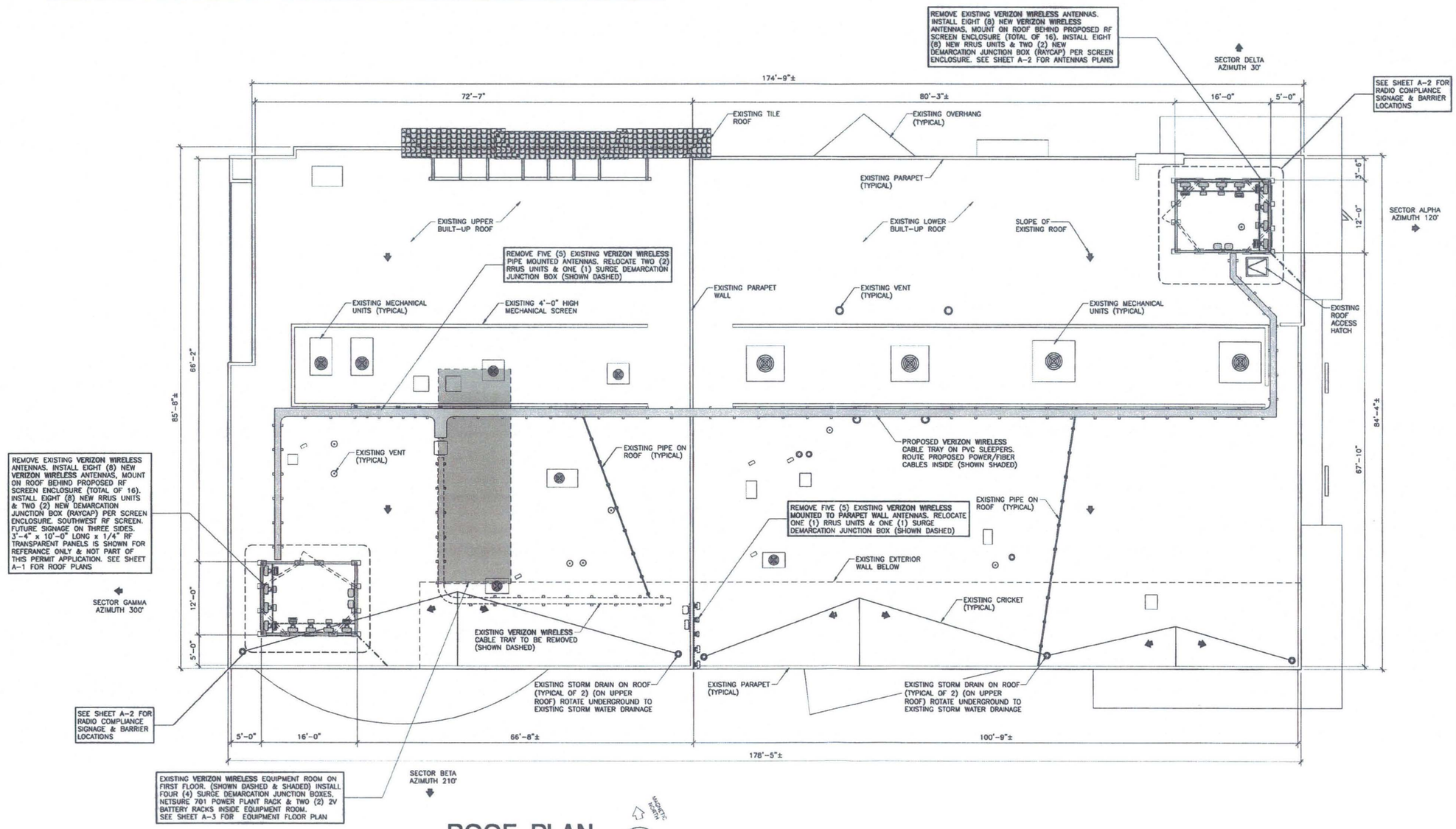
PROPOSED ANTENNAS:

"CCI":	HPA-45R-BUU-H6	72.0" LENGTH x 18.9" WIDE x 8.3" DEEP	WEIGHT:	90.38 LBS.

EXISTING ANTENNA TO BE REMOVED:

"ANTEL":	(1) BXA-70063/2CF	24.0" LENGTH x 11.2" WIDE x 5.2" DEEP	WEIGHT:	5.0 LBS.
"ANTEL":	(2) BXA-70063/4CF	47.4" LENGTH x 11.2" WIDE x 5.2" DEEP	WEIGHT:	9.9 LBS.
"ANTEL":	(2) BXA-171063/4CF	25.2.0" LENGTH x 6.1" WIDE x 4.1" DEEP	WEIGHT:	6.0 LBS.
"ANTEL":	(2) BXA-171063/8CF	48.5" LENGTH x 6.1" WIDE x 4.1" DEEP	WEIGHT:	10.5 LBS.
"ANTEL":	(2) WPA-80063/2CF	23.8" LENGTH x 11.8" WIDE x 3.9" DEEP	WEIGHT:	7.0 LBS.
"CSS":	(1) X7CAP-465-VMO	50.5" LENGTH x 12.5" WIDE x 7.1" DEEP	WEIGHT:	24.3 LBS.

1 / A6



ROOF PLAN

SCALE: 1/8" = 1'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
305 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474
LICENSED ARCHITECT KENNETH A. BOOTH No. C 16768 Exp. 8-31-17 STATE OF CALIFORNIA

PREPARED FOR

verizonwireless

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

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1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

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05/13/16	REVISED CD #3 (aa) (CITY PLANNING)

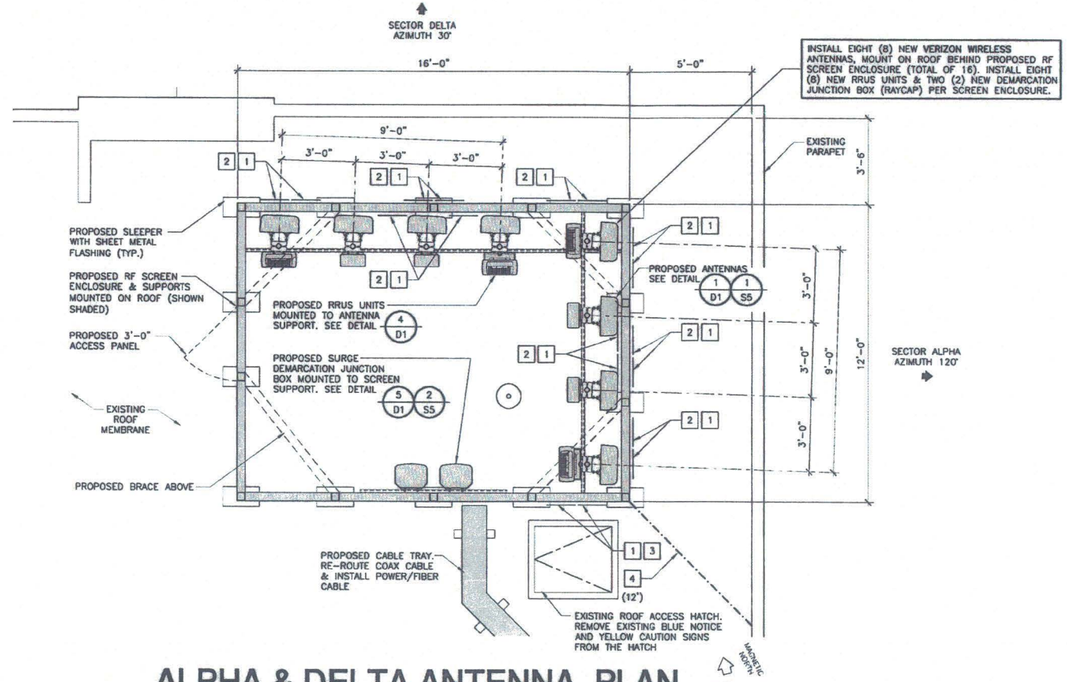
SHEET TITLE

ROOF PLAN

PROJECTS\VERIZON\14291cd

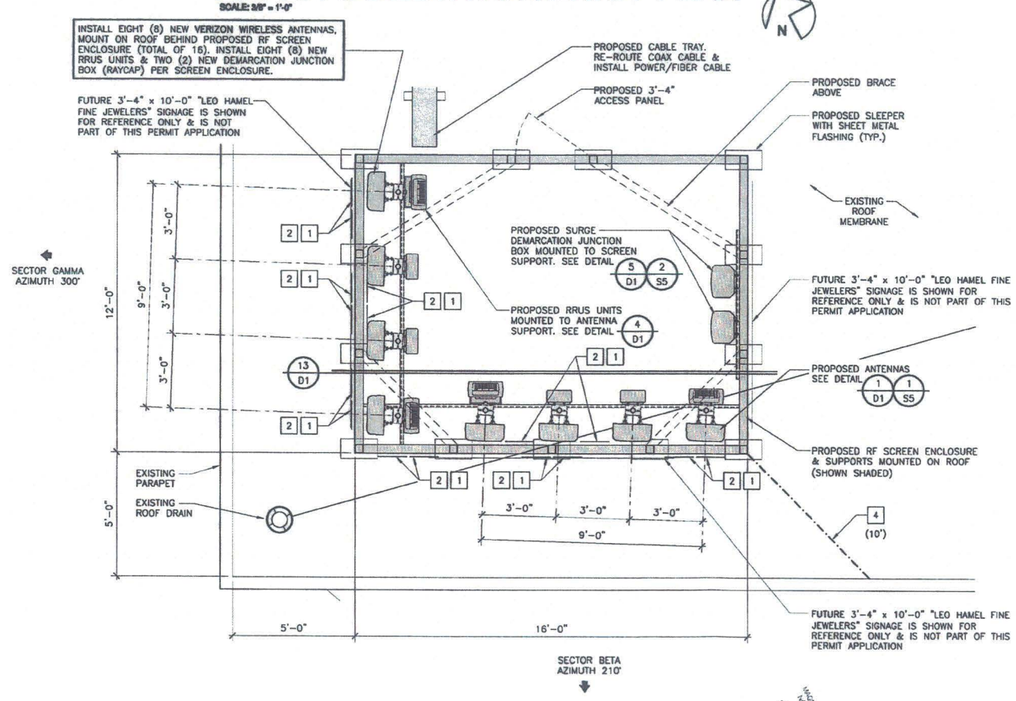
A-1

ATTACHMENT 13



ALPHA & DELTA ANTENNA PLAN

SCALE: 3/8" = 1'-0"



BETA & GAMMA ANTENNA PLAN

SCALE: 3/8" = 1'-0"

RADIO COMPLIANCE SIGNAGE KEY NOTES

1	VERIZON NOTICE "GUIDELINES" SIGN. SEE DETAIL	26 D2
2	VERIZON "WARNING" SIGN (RED). SEE DETAIL	27 D2
3	VERIZON "INFORMATION" SIGN. SEE DETAIL	28 D2
4	PLASTIC CHAIN OR PAINTED BARRIER	

NOTE: REMOVE THE EXISTING SIGNAGE AND BARRIERS FROM THE PREVIOUS ANTENNA SECTORS

BOOTH & SUAREZ
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325 CARLSBAD VILLAGE DRIVE, SUITE D2
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LICENSED ARCHITECT KENNETH A. RIVERS No. C 17566 Exp. 8-31-17 STATE OF CALIFORNIA

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verizon wireless

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(949) 222-7000

APPROVALS

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SAN DIEGO COUNTY

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05/13/16	REVISED CD #3 (ao) (CITY PLANNING)

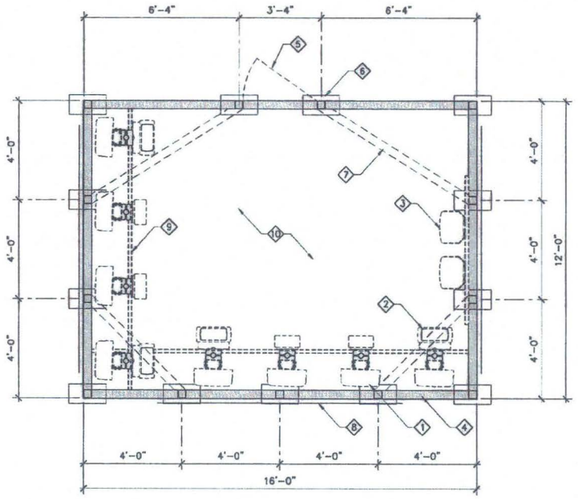
SHEET TITLE

ANTENNA PLAN

PROJECTS\VERIZON\14291cd

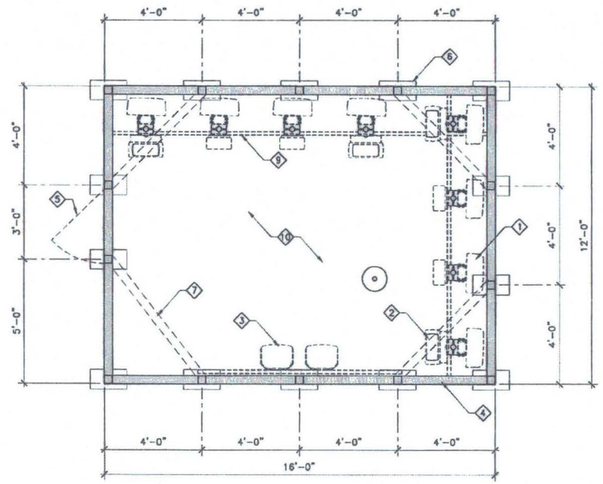
A-2

ATTACHMENT 13



RF SCREEN FRAMING PLAN (BETA & GAMMA)

SCALE: 3/8" = 1'-0"



RF SCREEN FRAMING PLAN (ALPHA & DELTA)

SCALE: 3/8" = 1'-0"

KEYED NOTES:

1. PROPOSED VERIZON ANTENNAS INSIDE NEW ROOF TOP RF SCREEN ENCLOSURE (SHOWN DASHED)
2. PROPOSED RRUS UNIT MOUNTED INSIDE NEW ROOF TOP RF SCREEN ENCLOSURE (SHOWN DASHED)
3. PROPOSED RAYCAP DEMARCATION JUNCTION BOX MOUNTED INSIDE NEW ROOF TOP RF SCREEN ENCLOSURE (SHOWN DASHED)
4. PROPOSED NEW VERIZON ROOF TOP RF SCREEN ENCLOSURE & SUPPORT. TEXTURE & PAINT TO MATCH EXISTING
5. PROPOSED 3'-0" ACCESS PANEL
6. PROPOSED SLEEPER WITH SHEET METAL FLASHING (TYP.)
7. PROPOSED ANGLE BRACE ABOVE (TYP.)
8. FUTURE 3'-4" x 10'-0" "LEO HAMEL FINE JEWELERS" SIGNAGE IS SHOWN FOR REFERENCE ONLY & IS NOT PART OF THIS PERMIT APPLICATION
9. PROPOSED ANTENNA SUPPORT
10. EXISTING ROOF MEMBRANE. REPAIR AS REQUIRED
11. PROPOSED 3'-4" ACCESS PANEL

MATERIAL SPECIFICATION

FIBERGLASS PANELS, TUBES, PLATES, BOLTS, STUDS & NUTS. THESE PRODUCTS ARE MANUFACTURED BY

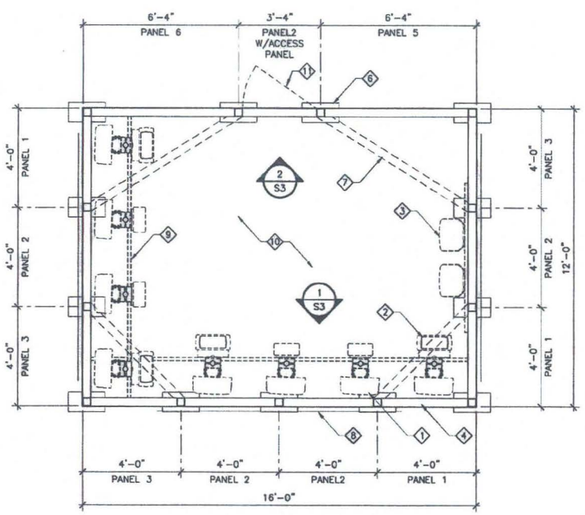
HI TECH COMPOSITE STRUCTURES, INC. (SCREENS)
1266 SE LAKE RD, SUITE 700
REDMOND, OR 97756

THIS PRODUCT IS APPROVED BY:
THE CITY OF LOS ANGELES, RESEARCH REPORT, RR 25520

CLASS OF PLASTICS SHALL BE CC1
MAX. FLAME SPREAD RATING OF 25

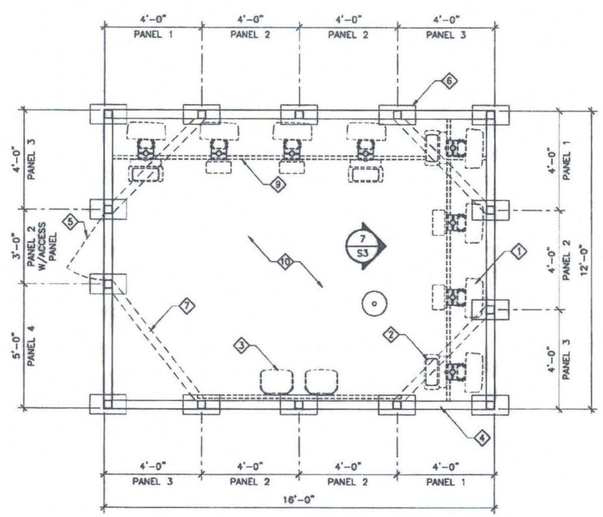
MATERIAL SPECIFICATION (FIBERGLASS)

STRUCTURAL SHAPES:	FRP PULTRUDED STRUCTURAL SHAPES
STRUCTURAL PLATES:	FIBERPLATE MOLDED FRP PLATE
STRUCTURAL BOLTS:	1/2" FRP THREADED ROD FIBER-REINFORCED THERMOPLASTIC NUT



RF SCREEN PANEL PLAN (BETA & GAMMA)

SCALE: 3/8" = 1'-0"



RF SCREEN PANEL PLAN (ALPHA & DELTA)

SCALE: 3/8" = 1'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
395 CARLSBAD VILLAGE DRIVE, SUITE D2
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LICENSED ARCHITECT KENNETH A. BOOTH No. C 17711 Exp. 9-31-17 STATE OF CALIFORNIA

PREPARED FOR

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MTX - 54

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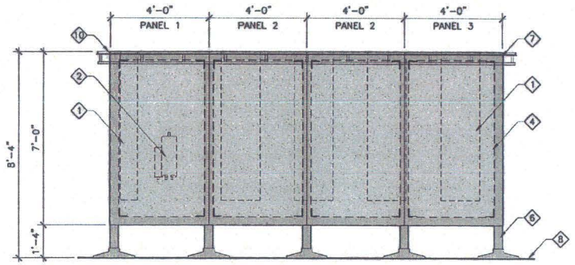
SHEET TITLE

RF SCREEN FRAMING & PANEL PLANS

PROJECTS\VERIZON\14291cd

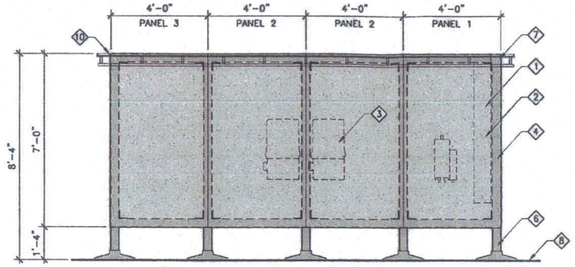
A-2.1

ATTACHMENT 13



RF SCREEN ELEVATION A (BETA & GAMMA)

SCALE: 3/8" = 1'-0"



RF SCREEN ELEVATION A (ALPHA & DELTA)

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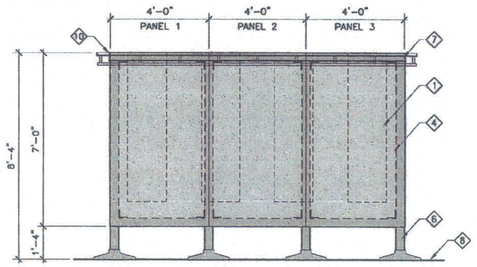
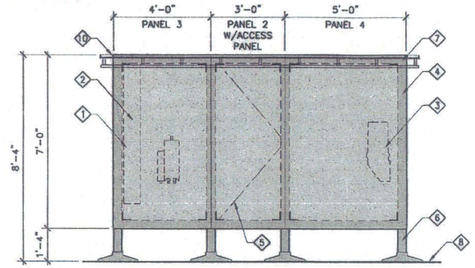


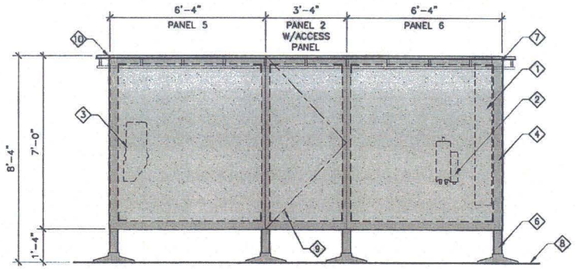
RF SCREEN ELEVATION B (BETA & GAMMA)

SCALE: 3/8" = 1'-0"



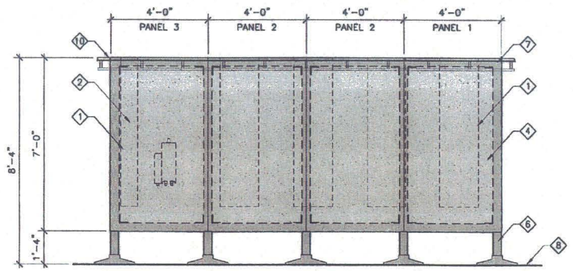
RF SCREEN ELEVATION B (ALPHA & DELTA)

SCALE: 3/8" = 1'-0"



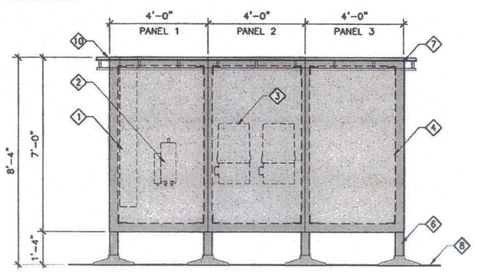
RF SCREEN ELEVATION C (BETA & GAMMA)

SCALE: 3/8" = 1'-0"



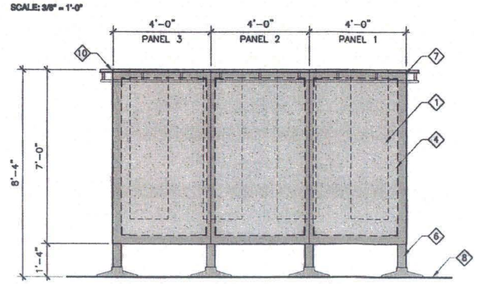
RF SCREEN ELEVATION C (ALPHA & DELTA)

SCALE: 3/8" = 1'-0"



RF SCREEN ELEVATION D (BETA & GAMMA)

SCALE: 3/8" = 1'-0"

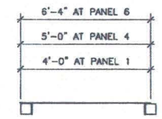


RF SCREEN ELEVATION D (ALPHA & DELTA)

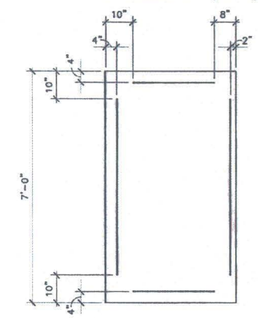
SCALE: 3/8" = 1'-0"

NOTE 1:
PRIOR TO FABRICATION, THE FIBERGLASS MANUFACTURER SHALL VERIFY DIMENSIONS IN FIELD. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL.

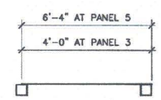
NOTE 2:
FIBERGLASS MANUFACTURER SHALL TEXTURE & DETAIL PANELS TO MATCH EXISTING ADJACENT SURFACES. GENERAL CONTRACTOR SHALL PAINT MATERIAL TO MATCH EXISTING ADJACENT SURFACES.



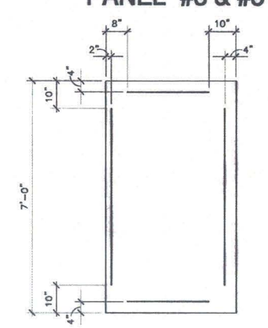
PLAN VIEW
SCALE: 1/2"=1'-0"
PANEL #1, #4, & #6



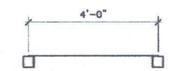
ELEVATION
SCALE: 1/2"=1'-0"
PANEL #1, #4, & #6



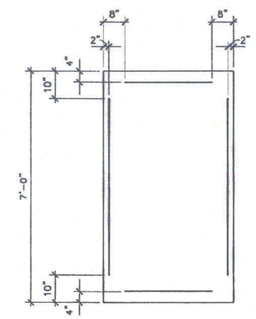
PLAN VIEW
SCALE: 1/2"=1'-0"
PANEL #3 & #5



ELEVATION
SCALE: 1/2"=1'-0"
PANEL #3 & #5



PLAN VIEW
SCALE: 1/2"=1'-0"
PANEL #2



ELEVATION
SCALE: 1/2"=1'-0"
PANEL #2

KEYED NOTES:

1. PROPOSED VERIZON ANTENNAS INSIDE NEW ROOF TOP RF SCREEN ENCLOSURE (SHOWN DASHED)
2. PROPOSED RRUS UNIT MOUNTED INSIDE NEW ROOF TOP RF SCREEN ENCLOSURE (SHOWN DASHED)
3. PROPOSED RAYCAP DEMARCATION JUNCTION BOX MOUNTED INSIDE NEW ROOF TOP RF SCREEN ENCLOSURE (SHOWN DASHED)
4. PROPOSED NEW VERIZON ROOF TOP RF SCREEN ENCLOSURE & SUPPORT. TEXTURE & PAINT TO MATCH EXISTING
5. PROPOSED 3'-0" ACCESS PANEL
6. 4 x 4 RF POST & PITCH POCKET
7. PROPOSED CAP
8. EXISTING ROOF MEMBRANE. REPAIR AS REQUIRED
9. PROPOSED 3'-4" ACCESS PANEL
10. RF TRANSPARENT FAUX DECORATIVE TRIM TO MATCH BUILDING COVER HANG

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LICENSED ARCHITECT KENNETH A. BOOTH No. C 14766 Exp. 9-30-15 STATE OF CALIFORNIA

PREPARED FOR

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(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

MISSION BAY PCS

1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

02/13/15	90% ZD (ao)
02/25/15	100% ZD (xrc)
03/03/15	REVISED ZD #1 (ao)
09/04/15	ELEVATION SKETCHES (xrc)
09/09/15	REVISED ZD #2 (ao)
09/18/15	90% CD (ao)
11/11/15	100% CD (cl)
11/19/15	PLANCHECK SUBMITTAL (ao)
12/21/15	PLANCHECK COMMENTS (sv)
02/01/16	REVISED CD (ao) (EME COMPLIANCE)
04/04/16	REVISED CD #2 (ao) (CITY LAND USE)
05/13/16	REVISED CD #3 (ao) (CITY PLANNING)

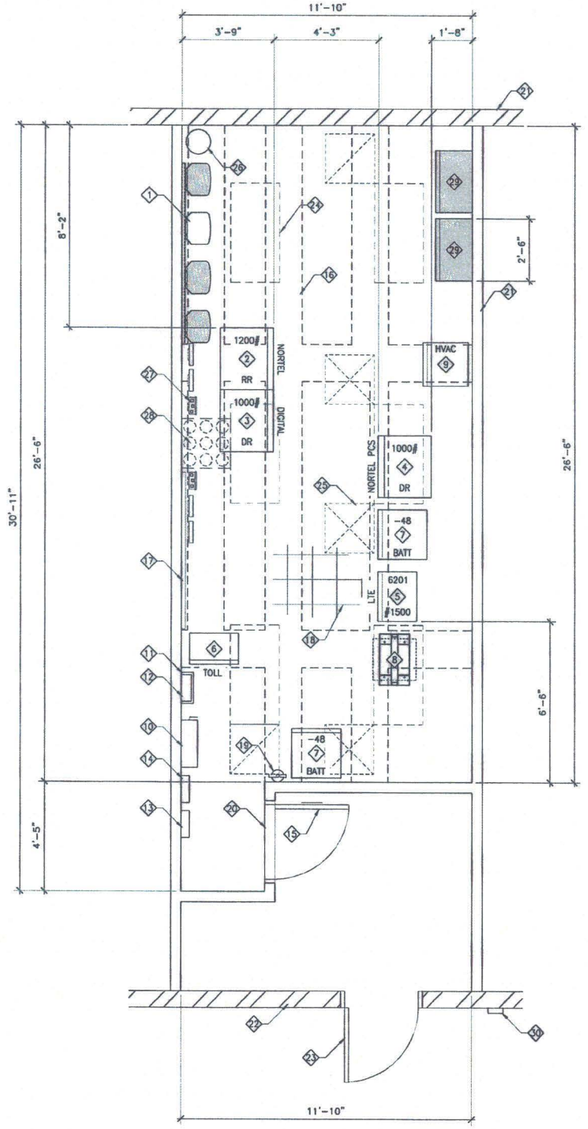
SHEET TITLE

SCREEN PANEL PLANS & ELEVATIONS

PROJECTS\VERIZON\14291cd

A-2.2

ATTACHMENT 13



EQUIPMENT ROOM FLOOR PLAN

SCALE: 3/8" = 1'-0"

MAGNETIC NORTH

N

EQUIPMENT FLOOR PLAN NOTES:

1. EXISTING ONE (1) VERIZON SURGE DEMARCATION JUNCTION BOX (RAYCAP) MOUNTED ON WALL. INSTALL THREE (3) ADDITIONAL SURGE DEMARCATION JUNCTION BOXES (RAYCAP)
2. EXISTING VERIZON NORTEL DIGITAL EQUIPMENT RADIO RACK (RR)
3. EXISTING VERIZON NORTEL DIGITAL EQUIPMENT RACK (DR)
4. EXISTING VERIZON NORTEL PCS EQUIPMENT RACK (DR)
5. EXISTING VERIZON 'LTE' RBS 6201 INDOOR EQUIPMENT CABINET (TYPICAL OF 1)
6. EXISTING VERIZON TOLL RACK
7. EXISTING VERIZON BATTERY RACK INDOOR EQUIPMENT CABINET (TYPICAL OF 2)
8. EXISTING NETSURE 701 POWER PLANT RACK
9. EXISTING HVAC UNIT
10. EXISTING MANUAL TRANSFER SWITCH MOUNTED TO WALL
11. EXISTING 200 AMP ELECTRICAL PANEL MOUNTED TO WALL BELOW
12. EXISTING PHASE MONITOR PANEL MOUNTED TO WALL ABOVE
13. EXISTING AUTO PULSE CONTROL PANEL MOUNTED TO WALL
14. EXISTING BATTERY ACID SPILL KITS CAPABLE OF NEUTRALIZING ACID SPILL
15. EXISTING 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON SIGNAGE
16. EXISTING OVERHEAD 18" CABLE LADDER @ +7'-6" (SHOWN DASHED)
17. EXISTING WALL MOUNTED TELCO BOARD
18. EXISTING 12" x 12" x 1/8" VINYL FLOOR TILES
19. EXISTING WALL MOUNTED CLASS 4A; 40B; C FIRE EXTINGUISHER
20. EXISTING ALUMINUM THRESHOLD
21. EXISTING BUILDING INTERIOR WALL
22. EXISTING BUILDING EXTERIOR WALL
23. EXISTING BUILDING EXTERIOR DOOR
24. EXISTING SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 6)
25. EXISTING SURFACE MOUNTED SUPPLY & RETURN AIR DISTRIBUTION (TYPICAL OF 5)
26. EXISTING FIRE SUPPRESSION TANKS
27. EXISTING DIPLEXERS UNITS MOUNTED TO EXISTING OVERHEAD CABLE LADDER (TYPICAL OF 6)
28. EXISTING OVER HEAD CABLE PORTS IN T-BAR CEILING ABOVE (SHOWN DASHED) WITH (15) 7/8" COAX CABLES & (2) POWER/FIBER CABLES. FIELD VERIFY. INSTALL (2) ADDITIONAL POWER/FIBER CABLES FROM EQUIPMENT ROOM TO ROOF TOP ANTENNAS
29. INSTALL TWO (2) 2V BATTERY RACKS.
30. INSTALL 4 DIGIT LOCK BOX MOUNTED TO EXTERIOR WALL (WITH ROOF ACCESS KEYS)

NO NEW BATTERIES ARE TO BE ADDED AS PART OF THIS PROJECT

BATTERY SIGNAGE NOTES (29 D2) (30 D2)

EXISTING SIGNAGE TO THE VERIZON EQUIPMENT ENCLOSURE WHICH SHALL STATE THE FOLLOWING:

1. THE ROOM CONTAINS ENERGIZED BATTERY SYSTEMS.
2. THE ROOM CONTAINS ENERGIZED ELECTRICAL CIRCUITS.
3. THE BATTERY ELECTROLYTE SOLUTIONS, WHERE PRESENT, ARE CORROSIVE LIQUIDS

CALIFORNIA FIRE CODE SECTION 608 STATIONARY STORAGE BATTERY SYSTEMS

1. ALL BATTERIES SHALL BE PROVIDED WITH SAFETY VENTING CAPS.
2. VRLA BATTERY SYSTEMS SHALL BE PROVIDED WITH A LISTED DEVICE OR OTHER APPROVED METHOD TO PRECLUDE, DETECT AND CONTROL THERMAL RUNAWAY.
3. THE BATTERY ROOM SHALL BE EQUIPPED WITH A BATTERY ACID NEUTRALIZATION KIT CAPABLE OF NEUTRALIZING A SPILL FROM THE LARGEST BATTERY (2.48 GALLONS)
4. THE EXISTING ROOM IS EQUIPPED WITH A SENSOR CONTROLLED VENTILATION SYSTEM THAT WILL ACTIVATE WHEN HYDROGEN LEVELS EXCEED 1.0 PERCENT OF THE TOTAL ROOM VOLUME
5. EXISTING "CAUTION" SIGN & NFPA 704 PLACARD ARE MOUNTED TO DOOR OF BUILDING
6. EXISTING BATTERY RACK ANCHORS ARE DESIGNED TO RESIST SEISMIC LOADS IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE.
7. EXISTING AUTOMATIC SMOKE DETECTOR SHALL BE INSTALLED ON THE CEILING OF THE BATTERY ROOM. THE SMOKE DETECTOR SHALL BE MONITORED BY AN APPROVED CENTRAL PROPRIETARY OR REMOTE SERVICE STATION WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

EXISTING BATTERY SUMMARY

EXISTING: (2) BATTERY RACKS = 24 BATTERIES
PROPOSED: (2) BATTERY RACKS = 00 BATTERIES

EXISTING: BATTERY RACK

(20) FIAMM 12UMTX170 – 5 STRING
2.24 GAL. PER BATTERY: 2.24 x 20 = 44.8 GAL.

TOTAL GALLONS: = 44.8 GAL.

EXISTING: BATTERY RACK

(16) FIAMM12FAT180 – 4 STRING
2.20 GAL. PER BATTERY: 2.20 x 16 = 35.20 GAL.

TOTAL GALLONS: = 35.20 GAL.

PROPOSED: (2) BATTERY RACK

(00) FIAMM12FAT180 – 0 STRING
0.00 GAL. PER BATTERY: 0.00 x 00 = 00.00 GAL.

TOTAL GALLONS: = 00.00 GAL.

TOTAL GALLONS OF SULFURIC ACID: = 00.00 GAL.

PROVIDE NFPA 704 PLACE CARD ON GATE OF EXISTING ENCLOSURE

SUMMARY:

* 00.00 GALLONS > 50 GALLONS
* THIS SITE MUST COMPLY WITH THE REQUIREMENTS SET FORTH IN SECTION 608 OF THE CALIFORNIA FIRE CODE. (EXCEEDS 50 GAL MAXIMUM)
* 125.76 GALLONS > 50 GALLONS
* COUNTY HAZMAT BUSINESS PLAN IS NOT REQUIRED

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APPROVALS

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SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

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09/04/15	ELEVATION SKETCHES (xrc)
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09/18/15	90% CD (ao)
11/11/15	100% CD (ci)
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12/21/15	PLANCHECK COMMENTS (sv)
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04/04/16	REVISED CD #2 (ao) (CITY LAND USE)
05/13/16	REVISED CD #3 (ao) (CITY PLANNING)

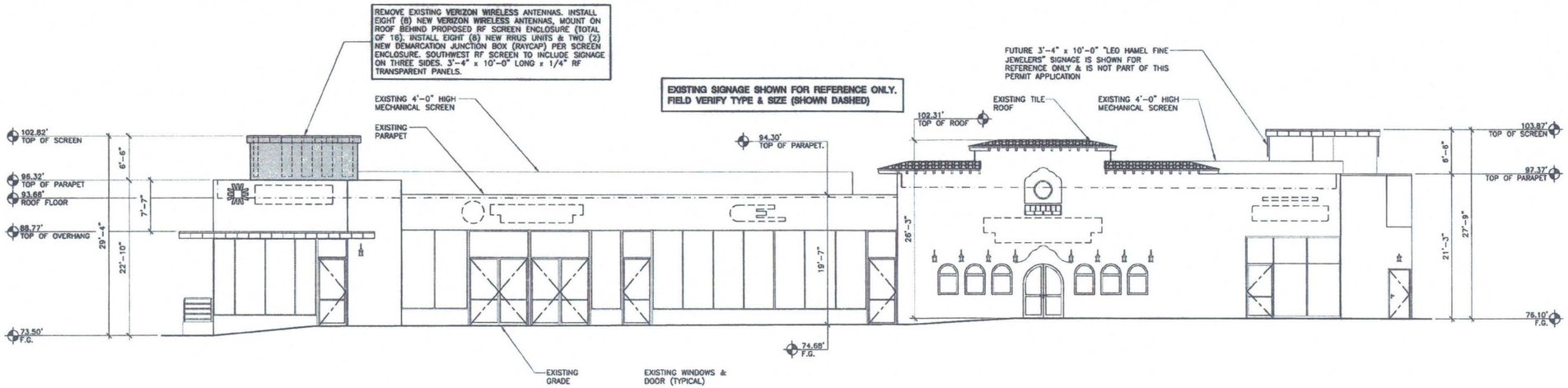
SHEET TITLE

EQUIPMENT ROOM FLOOR PLAN

PROJECTS\VERIZON\14291cd

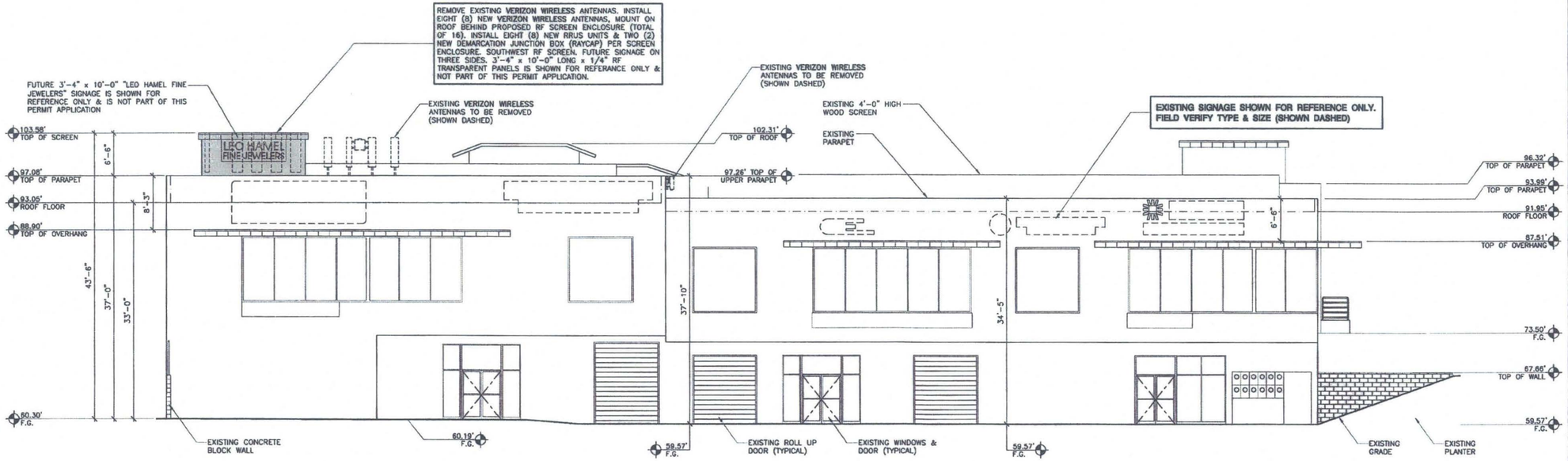
A-3

ATTACHMENT 13



NORTH ELEVATION

SCALE: 1" = 10'-0"



SOUTH ELEVATION

SCALE: 1" = 10'-0"

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APPROVALS

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RF	DATE
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PROJECT NAME

MISSION BAY PCS

1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

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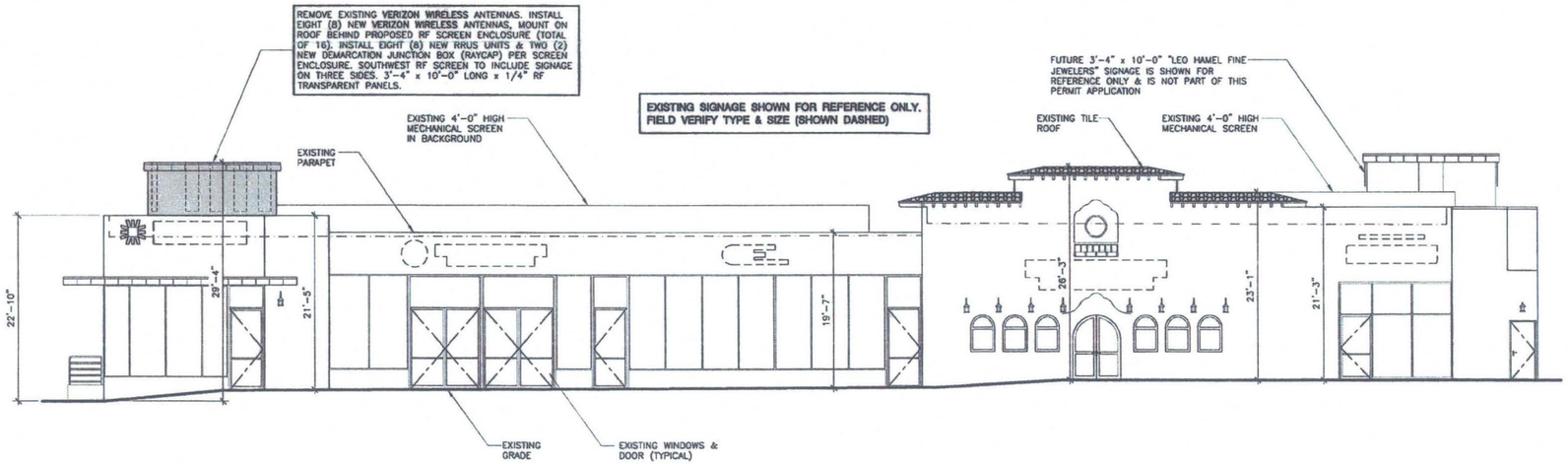
SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\14291cd

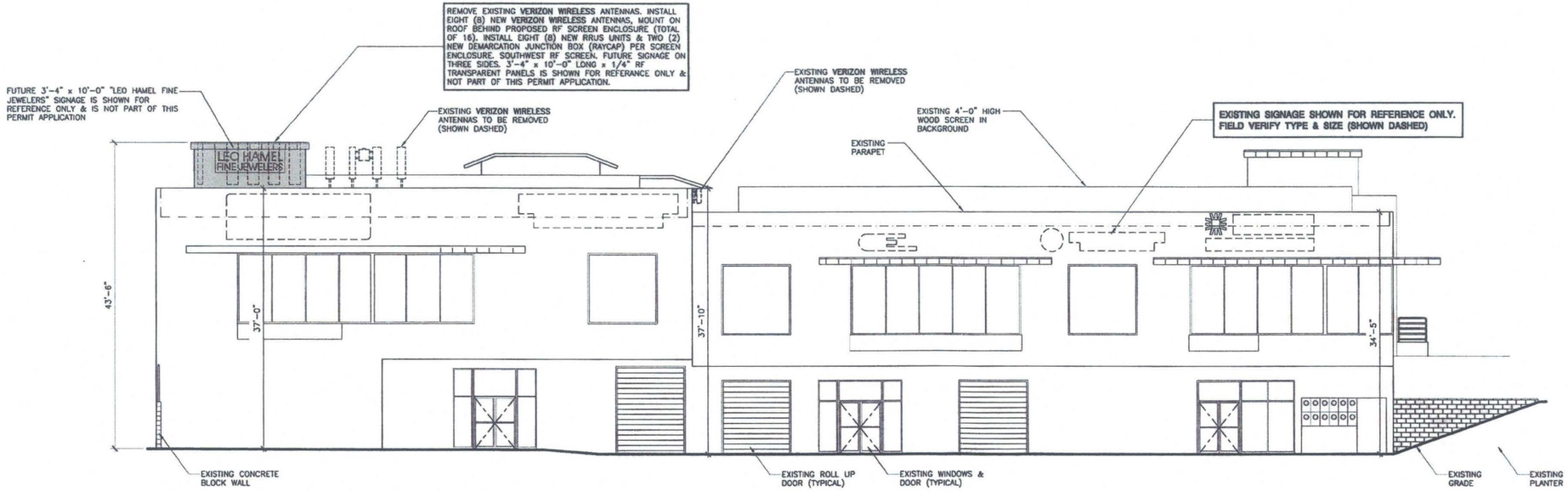
A-4

ATTACHMENT 13



PLUMB LINE NORTH ELEVATION

SCALE: 1" = 10'-0"



PLUMB LINE SOUTH ELEVATION

SCALE: 1" = 10'-0"

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APPROVALS

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1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

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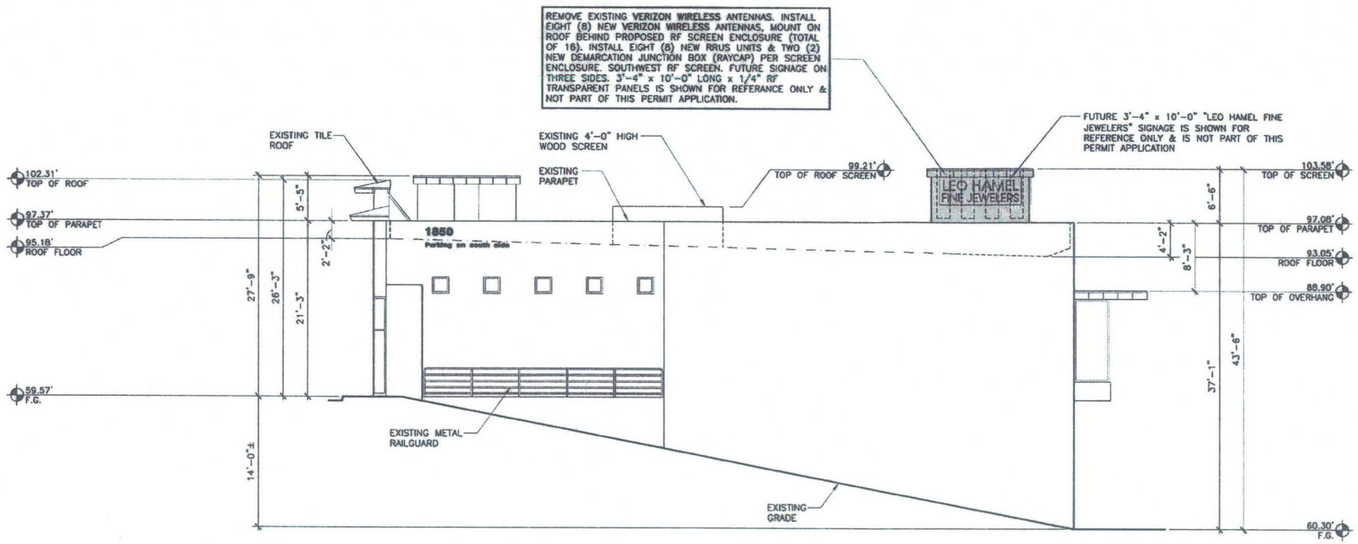
SHEET TITLE

PLUMB LINE EXTERIOR ELEVATIONS

PROJECTS\VERIZON\14291cd

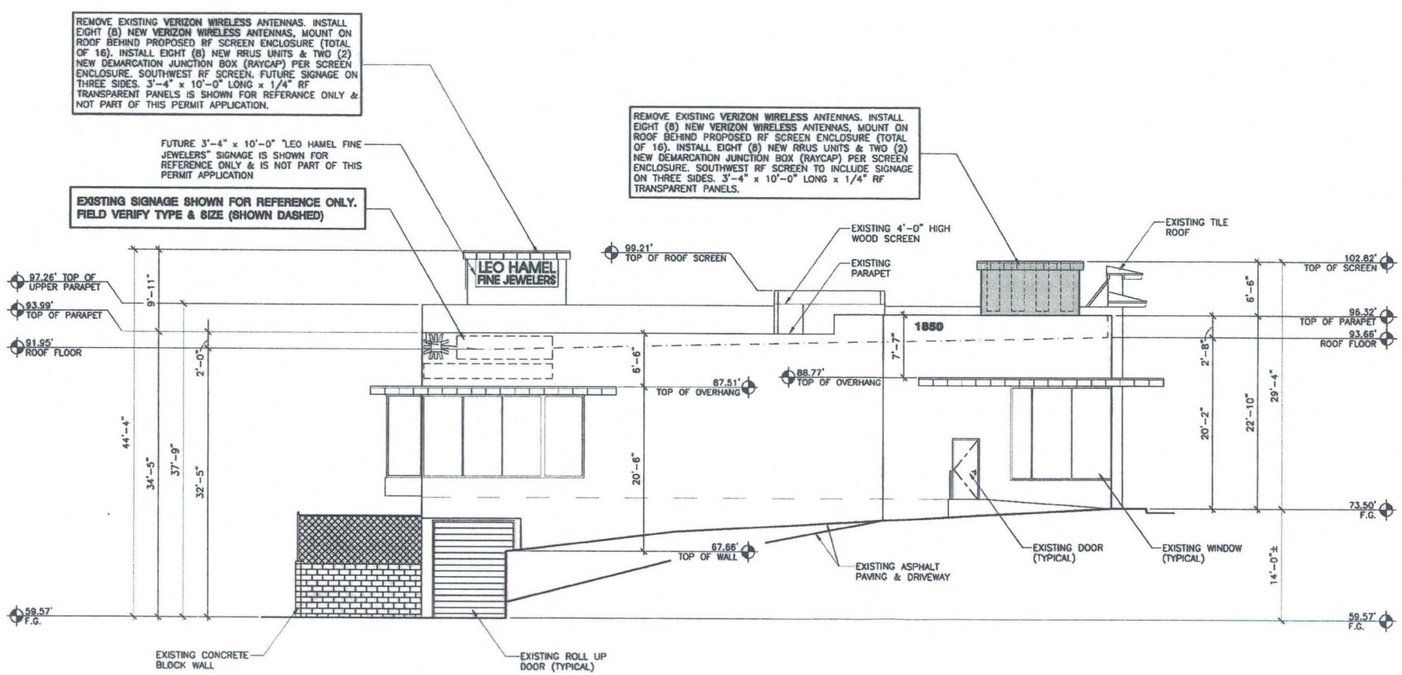
A-4.1

ATTACHMENT 13



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

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APPROVALS

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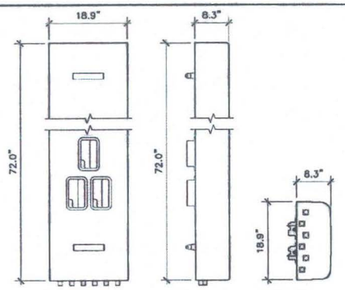
SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\14291cd

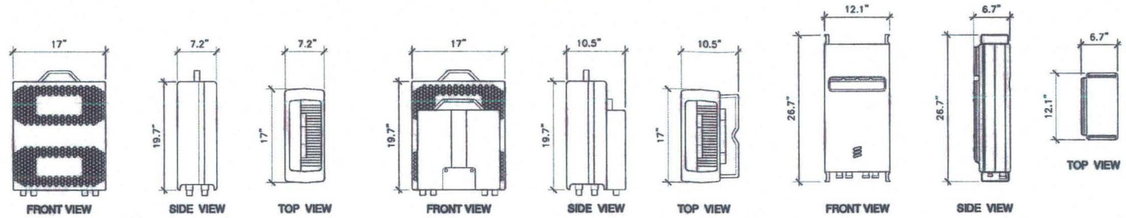
A-5

ATTACHMENT 13



"CCI"
MODEL: HPA-45R-BUU-H6
WEIGHT: 77.2 LBS.

ANTENNA SPECS — SCALE N.T.S. — 1



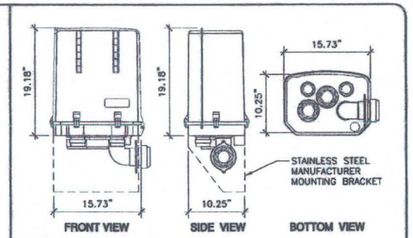
RRUS - B13 — WEIGHT: 51.0 LBS.

RRUS - A2 B13 — WEIGHT: 74.0 LBS.

RRUS - 32 B2 OR B4 — WEIGHT: 60.0 LBS.

NOTE:
RRU UNITS SHALL NOT BE MOUNTED HORIZONTALLY OR UPSIDE DOWN.

REMOTE RADIO UNITS SPECS — SCALE: NONE — 4

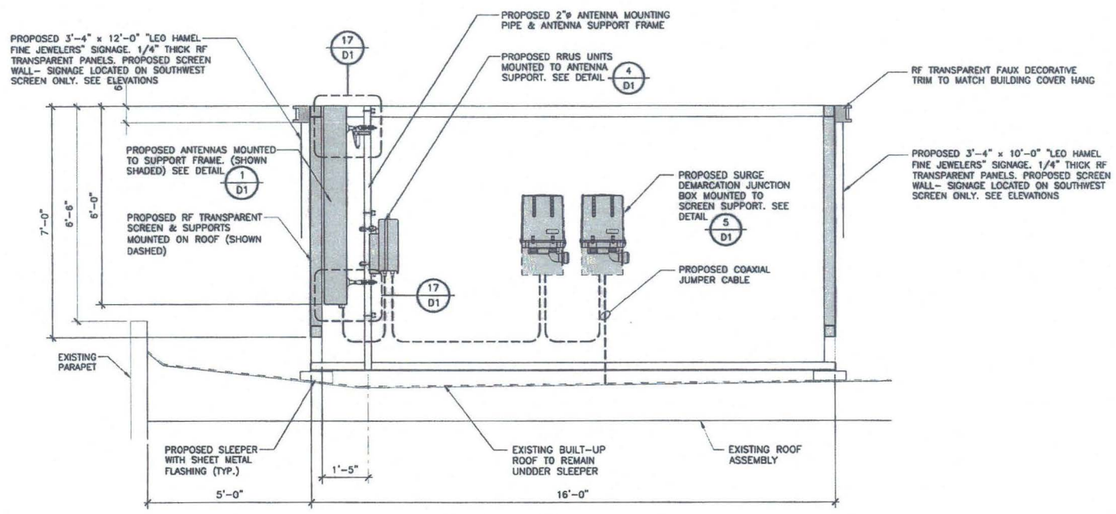


RAYCAP RCMDC-4750-PF-48
WEIGHT: 21.5 LBS.

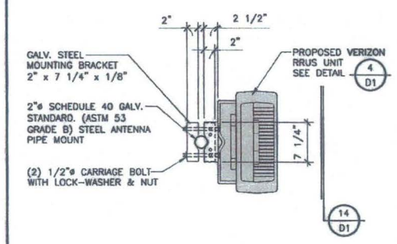
RAYCAP RCMDC-3315-PF-48 WITH SURGE SUPPRESSOR
WEIGHT: 26.9 LBS.

NOTE:
DISTRIBUTION BOX (RAYCAP) SHALL NOT BE MOUNTED HORIZONTALLY OR UPSIDE DOWN.

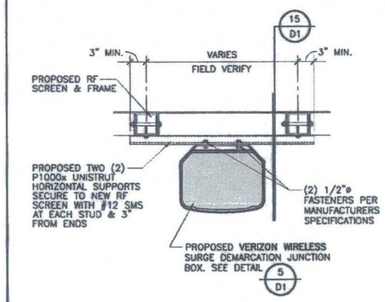
DISTRIBUTION BOX (RAYCAP) — SCALE: NONE — 5



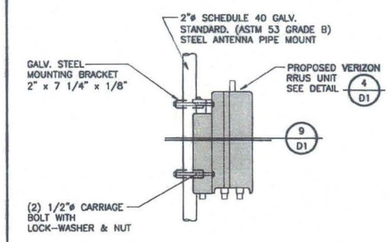
ANTENNA MOUNTING DETAIL — SCALE 1/2"=1'-0" — 13



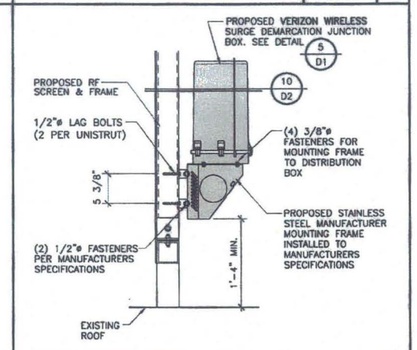
RRUS MOUNTING DETAIL — SCALE: 1"=1'-0" — 9



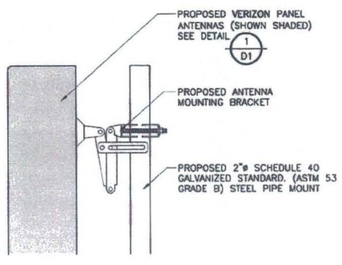
DISTRIBUTION BOX MOUNTING — SCALE: 1"=1'-0" — 10



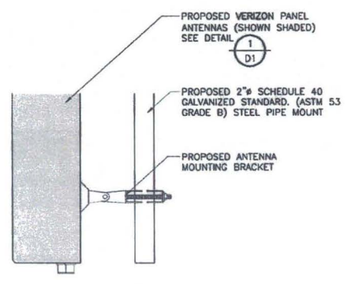
RRUS MOUNTING DETAIL — SCALE: 1"=1'-0" — 14



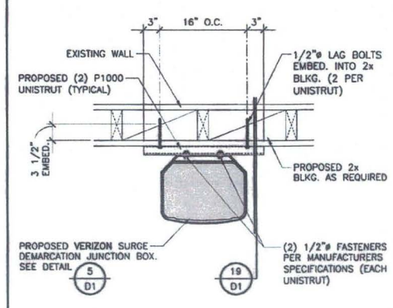
DISTRIBUTION BOX MOUNTING — SCALE: 1"=1'-0" — 15



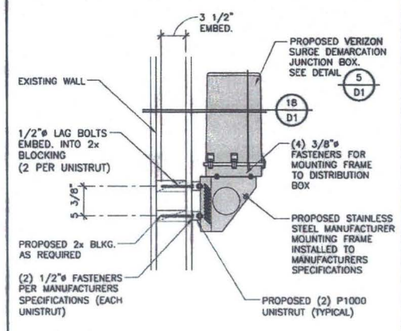
ANTENNA PIPE MOUNT — SCALE 1 1/2"=1'-0" — 16



ANTENNA PIPE MOUNT — SCALE 1 1/2"=1'-0" — 17



DISTRIBUTION BOX MOUNTING — SCALE: 1"=1'-0" — 18



DISTRIBUTION BOX MOUNTING — SCALE: 1"=1'-0" — 19

NO DETAIL THIS SPACE

20

BOOTH & SUAREZ
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325 CARLSBAD VILLAGE DRIVE SUITE D2
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LICENSED ARCHITECT KENNETH A. BOOTH No. C 18768 Exp. 8-31-17 STATE OF CALIFORNIA

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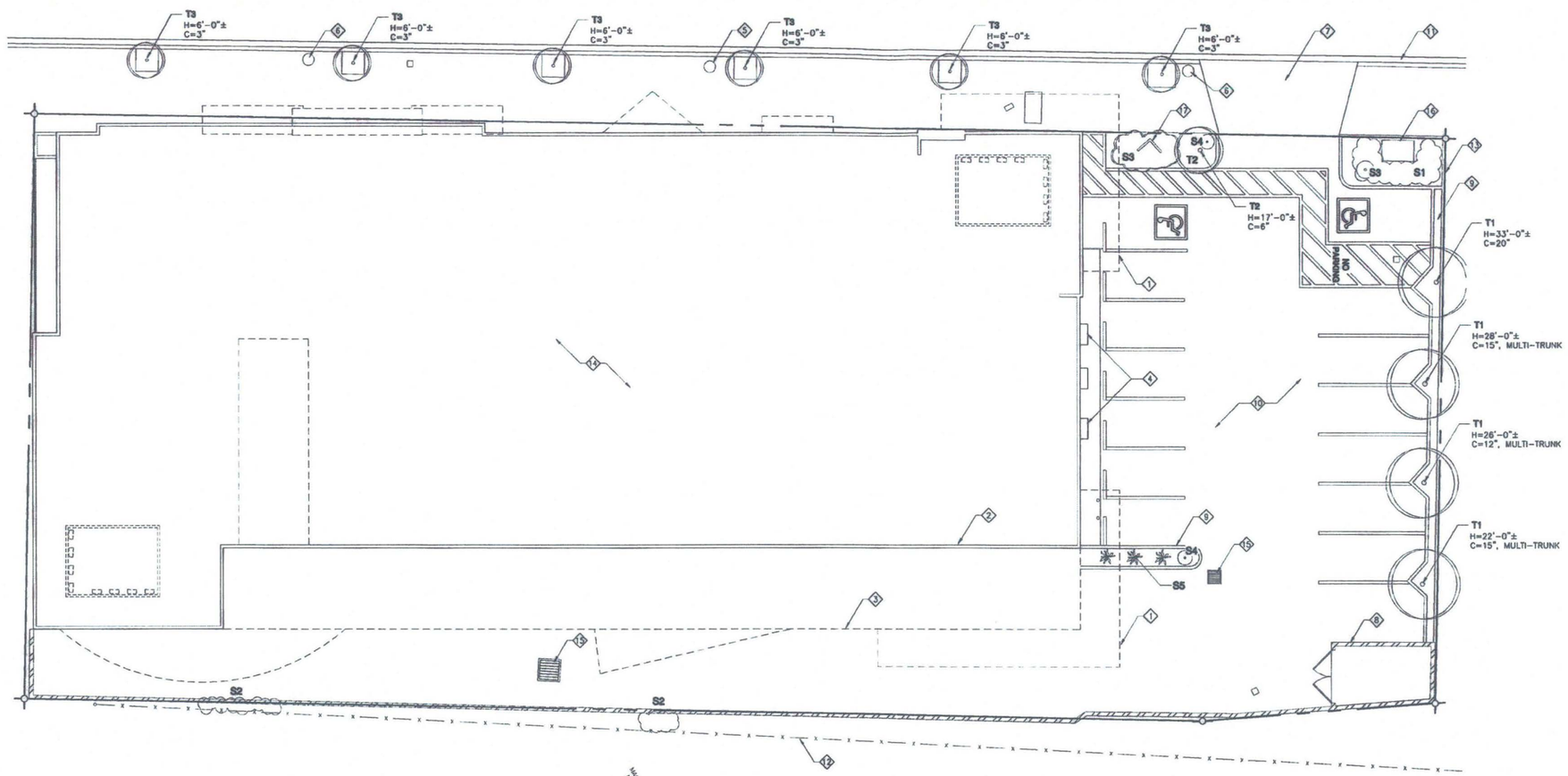
SHEET TITLE

DETAILS

PROJECTS\VERIZON\14291cd

D-1



LANDSCAPE DEVELOPMENT PLAN

SCALE: 1/8" = 1'-0"

NOTE:
ADDITIONAL LANDSCAPE IS NOT PROPOSED AS PART OF THIS PROJECT

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN AN MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREES TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
   ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
   ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
   TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
   UNDERGROUND UTILITY LINES - 5 FEET
   INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
   ABOVE GROUND UTILITY STRUCTURES - 10 FEET
   DRIVEWAY (ENTRIES) - 10 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
14. ALL PRUNING SHALL COMPLY WITH THE NATIONAL ARBORIST ASSOCIATION. NO TOPPING OR PRUNING OF VEHICULAR USE AREA TRESS INTO TOPIARY/HEDGE FORMS IS ALLOWED. TRESS SHALL BE ALLOWED TO GROW TO THEIR FULL HEIGHT AND WIDTH TO PROVIDE THE INTENDED SHADE OVER PAVED PARKING SURFACES.

EXISTING PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
T1	MELALEUCA QUINQUENERVIA	CAJEPUT	EXISTING	4	HEIGHT: 22' - 33' SPREAD: 20' - 30'
T2	FICUS RUBIGINOSA	RUSTY LEAF FIG	EXISTING	1	HEIGHT: 17' SPREAD: 12'-0"±
T3	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	EXISTING	6	HEIGHT: 6' SPREAD: 4'-0"±
S1	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE BUSH	EXISTING	1	10' HEIGHT 10' SPREAD
S2	BOUGAINVILLEA 'SAN DIEGO RED'	BOUGAINVILLEA VINE	EXISTING	2	10' HEIGHT 10' SPREAD
S3	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	EXISTING	HEDGE	10' HEIGHT 10' SPREAD
S4	PHILODENDRON SPECIES	PHILODENDRON (LARGE SHRUB)	EXISTING	2	10' HEIGHT 10' SPREAD
S5	AGAPANTHUS AFRICANUS	LILY OF THE NILE	EXISTING	7	10' HEIGHT 10' SPREAD
	PELARGONIUM PELTATUM	IVY GERANIUM	EXISTING	PLANTER BOX	

KEYED NOTES:

1. OUTLINE OF OVERHANG ABOVE (SHOWN DASHED FOR CLARITY)
2. EXISTING EXTERIOR WALL AT GRADE
3. EXISTING FLOOR ABOVE (SHOWN DASHED FOR CLARITY)
4. EXISTING DECORATIVE LANDSCAPE BOXES (TYPICAL OF 3)
5. EXISTING LIGHT STANDARD
6. EXISTING UTILITY POLE
7. EXISTING ACCESS DRIVEWAY
8. EXISTING TRASH ENCLOSURE
9. EXISTING PLANTER
10. EXISTING PARKING AREA
11. EXISTING CONCRETE SIDEWALK WITH CURB & GUTTER
12. EXISTING CHAINLINK FENCE
13. EXISTING PROPERTY LINE
14. EXISTING TWO STORY BUILDING
15. EXISTING STORM DRAIN INLET
16. EXISTING ELECTRICAL TRANSFORMER
17. EXISTING SIGN

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(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

MISSION BAY PCS

1851 SAN DIEGO AVENUE
SAN DIEGO, CA 92110

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

09/18/15	90% CD (ao)
11/11/15	100% CD (cl)
11/19/15	PLANCHECK SUBMITTAL (ao)
12/21/15	PLANCHECK COMMENTS (sv)
02/01/16	REVISED CD (ao) (EME COMPLIANCE)
04/04/16	REVISED CD #2 (ao) (CITY LAND USE)
05/13/16	REVISED CD #3 (ao) (CITY PLANNING)

SHEET TITLE

LANDSCAPE DEVELOPMENT PLAN

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