



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: July 21, 2016

[REPORT NO. PC-16-070](#)

HEARING DATE: July 28, 2016

SUBJECT: FRANCIS PARKER MASTER PLAN AMENDMENT. Process Four.

PROJECT NUMBER: [412987](#)

OWNER/APPLICANT: Francis Parker School

SUMMARY:

Issue: Should the Planning Commission approve an amendment of the prior permits for the Francis Parker School located at 6501 Linda Vista Road in the Linda Vista Community Plan area?

Staff Recommendations:

1. ADOPT Mitigated Negative Declaration No. 412987 and ADOPT a Mitigation Monitoring and Reporting Program; and
2. APPROVE Planned Development Permit No. 1445155 and Site Development Permit No. 1445156.

Community Planning Group Recommendation: On February 22, 2016 the Linda Vista Planning Group voted 7:1:0 to recommend approval of the project.

Environmental Review: A Mitigated Negative Declaration No. 412987 has been prepared for the project in accordance with State of California Environmental Quality Act Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented to reduce, to a level below significance, all potential impacts identified in the environmental review process.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The developed portion of the Linda Vista Campus is designated School/Institution uses in the Linda Vista Community Plan. The use of the site as an educational facility will have no impact on the housing supply within the City of San Diego.

BACKGROUND

The developed portion of the site is designated by the [Linda Vista Community Plan](#) Land Use map for School/Institution uses (Attachment 1). The site, zoned OR-1-1 & RM-1-1, is located at 6501 Linda Vista Road, southeast of Linda Vista Road and southwest of Northrim Court (Attachment 2). The [22.45-acre site](#) is developed with the Francis Parker School (Attachment 3). Northwest of the Francis Parker School are the Mark Twain High School and the University of San Diego campuses. To the north is a Kingdom Hall of Jehovah's Witnesses, a Baha'i Faith Center and an existing single dwelling unit housing development, to the northeast is a 7-Eleven store and to the east and south is the North Rim development, a multi-unit residential condominium property.

The project site is located within an existing urbanized area, characterized by a northeast-southwest trending mesa top that makes up the northerly two-thirds of the site. The site's perimeter is partially ringed by a series of ravines that cut into the edges of the mesa top from the south and south west. Elevations on the site range from approximately 220 to 286 feet above mean sea level. The mesa top is fully developed with the existing campus. The combination of natural topography and prior grading for the existing campus results in a mesa sloping very gradually from north to south. The site contains slopes in excess of twenty-five percent that face south, southwest, and west and connect with an adjacent larger canyon. In addition, a large manufactured excavated slope of up to approximately eighty feet in height was created for development of the adjacent Northrim Townhomes project immediately to the southwest of the existing athletic field. The Project site is not within any mapped floodplain, is outside the limits of any floodway or special flood hazard area, is not subject to landslide and there are no known active fault traces that underlie or project toward the site.

Francis Parker School (School) has operated in Mission Hills since 1912. The School now operates at two sites. The Lower School for students in grades pre-kindergarten through five is located at 4201 Randolph Street in Mission Hills. The Middle and High School is located at 6501 Linda Vista Avenue in Linda Vista.

Prior to 1959, the project site was owned by the United States Government and was operated as part of Camp Kearny. In 1959, the Episcopal Diocese purchased the site and obtained a conditional use permit to begin operating the San Miguel School for Boys, a college preparatory boarding school for students in grades 7-12.

In 1971, the Episcopal Diocese combined the San Miguel School for Boys with The Bishop's School in La Jolla, which at that time was a school for girls. The combined school became a coeducational program and consolidated its operations in La Jolla. In the same year, 1971, the School, a non-profit public benefit corporation, purchased what was then a 47-acre site for its present use as an educational facility for students in grades 6-12. In 1977, the School subdivided the 47-acre site into two parcels. The School kept the parcel that is the Project site of 22.45 acres to continue to operate the school and, in 1978, sold the remaining parcel of approximately 24.55 acres.

In conjunction with the School's subdivision of the property in 1977, the School dedicated to the City the right-of-way for Northrim Court, a public street maintained by the City, which forms the eastern boundary of the project site. The School maintained its access rights onto Northrim Court from the parcel that the School kept, Parcel 1 of Parcel Map 5465. The buyer who purchased Parcel 2 from the School ultimately developed Parcel 2 into the Northrim Court condominium project.

In 2005, the School obtained Conditional Use Permit No. 84874, Planned Development Permit No. 84875 and Site Development Permit No. 215276 (prior Permit) (Attachment 4) to allow the School to demolish some of the old 1950's buildings and to make improvements to the campus. With an understanding that learning is enhanced by state-of-the art buildings that incorporate inspired architecture, natural light, fresh air, and environmentally sustainable technologies, the renovation of the Linda Vista campus, begun in 2005 demonstrates the School's ongoing commitment to a tradition of progressive education.

At the School's request in 2014, the City cancelled the conditional use permit issued in 2005 and all previous conditional use permits, as the school use is now allowed by right in the RM-1-1 zone (Attachment 5). The School now seeks to amend the prior permits to complete the renovations to the campus begun in 2005 (Attachment 6).

DISCUSSION

Project Description

The Francis Parker Master Plan Amendment (Project) proposes to amend the prior Permit approved by the Planning Commission on May 12, 2005. The campus consists of a middle school and a high school with a student population of 800. All new development would occur within the development footprint of the existing school (Attachment 5). The Project proposes to increase student population to 940 students, demolish three buildings totaling approximately 41,229 square feet, and add new buildings of approximately 103,182 square feet. The new buildings would include a kitchen and dining hall, an athletic complex including a gymnasium, two multi-purpose student centers, and a lab space/maker's space. The Project includes construction of a two-level underground parking structure providing 279 parking spaces, an outdoor aquatic center, and reorienting the existing football field to add an eight-lane track for track and field events. The total Gross Floor Area (GFA) on the site would calculate to be 0.25 where 0.75 is allowed. The total GFA on the site would measure 236,935 square feet, which is an increase of 67,734 square feet above what was authorized by the prior Permit.

Required Approvals

The proposed Project requires approval of a Planned Development Permit and Site Development Permit to amend the prior Permit to allow an increase of the student population and new development within the existing development footprint of the property. A Planned Development Permit is also required to allow deviations for the new development.

Deviations

The amendment integrates proposed new facilities with existing facilities into one comprehensive master plan for the School. The Project has been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for coverage, open space, grading, landscaping and all other relevant requirements of the RM-1-1 zone, with three deviations as allowed through the Planned Development Permit process. These deviations would allow building heights to increase slightly to allow for elevator shafts necessary for compliance with Americans with Disability Act accessibility requirements, light standards for an elevated sports deck previously approved for the School, and a reduced street side yard setback.

The three deviations from the RM-1-1 regulations are as follows:

Deviations from the RM-1-1 Regulations (SDMC Section 131.0431)			
Regulation No.	Code	Proposed	Building/Area/Facility
Overall Structure Height (Sec. 131.0431(e))	39 feet 6 inches, maximum	41 feet 2 inches *	Elevator shafts for Dining Hall and Athletic Offices
Overall Structure Height (Sec. 131.0431(e))	35 feet, maximum	47 feet **	Six light standards for the previously approved sports deck
Street Side Yard Setback (Sec.131.0443(d)(3))	123 feet minimum (distance based on lot width)	25 feet	From property line along west side at Northrim Court

* The allowed overall structure height is 39' 6", based on a zoning height limitation of thirty feet plus a grade differential of nine feet six inches as allowed per LDC Section 113.0270(a)(2)(B). The overall structure height to the top of the elevator shafts is 41' 2", which exceeds the allowed overall structure height by one foot eight inches.

** The allowed overall structure height is thirty-five feet, based on a zoning height limitation of thirty feet plus a grade differential of five feet as allowed per LDC Section 113.0270(a)(2)(B). From the ground level to the top of the light standards, the overall structure height is 47 feet, which exceeds the allowed overall structure height by twelve feet.

The maximum height limit is a function of the development regulations of the base zone, RM-1-1, and the rules for the calculation and measurement found in [LDC Section 113.0270\(a\)\(2\)\(B\)](#). The request for a one foot eight inch deviation from the maximum overall structure height for the Dining Hall and Athletic Offices is needed to accommodate an elevator shaft in each of the buildings (Attachment 6). These elevator shafts are required to comply with the American with Disabilities Act accessibility requirements. The allowed overall structure height is 39' 6", based on a zoning height limitation of thirty feet plus a grade differential of nine feet six inches as allowed per LDC Section 113.0270(a)(2)(B). The overall structure height to the top of the elevator shafts is 41' 2", which exceeds the allowed maximum overall structure height by one foot eight inches. The height of these elevator shafts are predetermined, based on their mechanical functionality. The portions of the

shafts that extend above the roofline account for less than one percent of the total roof area, and would be architecturally integrated into the building.

The request for a twelve foot deviation from overall maximum structure height would allow lighting of the elevated sports deck for tennis courts and a playing field (Attachment 7). A lighting study prepared for the elevated sports deck determined six light standards, at a height of forty-two feet each measured from the grade below, would be required to adequately light the deck. The specific height of the light standards is needed to provide the proper angle to efficiently illuminate the sports deck. The allowed overall structure height is thirty-five feet, based on a zoning height limitation of thirty feet plus a grade differential of five feet as allowed per LDC Section 113.0270(a)(2)(B). From the ground level to the top of the light standards, the overall structure height is 42' 0", which exceeds the allowed overall structure height by 12' 0".

The proposed lighting would provide additional opportunities for recreational activities and extend the use of the facility. The proposed new lights would be shielded to prevent light falling onto adjacent properties. There are no sensitive receptors immediately adjacent to the elevated sports deck. The elevated sports deck is bounded on the north by Linda Vista Road and on the east by Northrim Court and commercial uses. To the south and west are school facilities, including the reconfigured track and field, which provides a substantial buffer from the multi-dwelling unit residences located east and south of the campus. Additionally, the hours of operation for nighttime sports activities and attendant lighting would be addressed as project features in the draft permit (Attachment 7). These features are described in "the project shall include" section of the draft permit and read as follows:

"Athletic field activities must be ended and athletic field lights must be turned off by 10:00 p.m. except where play-off games enter overtime and California Interscholastic Federation regulations require the game not end in a tie. In no case shall the activities extend beyond or the lights remain on after 11:00 p.m., regardless of the event."

"All outdoor lighting, except lighting deemed necessary for safety and security purposes, must be turned off between 11:00 p.m. and 6:00 a.m."

The request for twenty-five street side yard setback deviation is requested due to the width of the School site. The [LDC Section 131.0443\(d\)\(3\)](#) requires a street side yard setback of ten percent of the lot width. At just over 1,230 linear feet, the required setback is 123 feet. A twenty-five foot street side yard setback would allow for the construction of the proposed Visitor Service building (Building 203) and Athletic Field Storage/Ticket Office (Building 202), which are part of the updated recreational facilities for the School, while maintaining a landscaped separation from Northrim Court. Requiring a 123-foot street side yard setback would either eliminate these two buildings or require expansion of the existing development envelope to accommodate them elsewhere on the property. Such expansion would involve encroaching into the environmentally sensitive slope areas on the site. The reduced setback results in a more desirable project design by consolidating facilities within the existing development envelope and avoiding encroachment into sensitive resources. The proposed twenty-five foot street side yard setback is consistent with the ten to twenty foot street side yard setbacks observed elsewhere in the existing neighborhood. For these reasons, the proposed

development would comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1), are appropriate for this location and would result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

Site Grading

Of the 22.45-acre site, approximately 8.1-acres, or approximately thirty-six percent, of the site will be graded by the Project. All of the grading activities would occur within the existing development footprint established by the prior discretionary permits. No grading would impact any environmentally sensitive lands. The total amount of grading would be approximately 46,000 cubic yards of material. Of the 46,000 cubic yards, 41,000 cubic yards would be excavated for the proposed subterranean two level parking garage and 5,000 cubic yards would be excavated for the manipulation of the site to implement the Project. Grading quantities do not include excavations for building or retaining walls foundations, underground utilities, or shrink swell adjustments of excavation or embankment. The Project would export approximately 45,000 cubic yards of material. The maximum depth of excavation and embankment would be approximately three feet. Maximum height of slopes would be approximately three feet with a 2:1 slope ratio. Retaining walls would total approximately 360 linear feet with a maximum height of fourteen feet.

As established by the previous entitlement permits, the Project site has a defined development footprint. No new development would occur beyond the existing limits of development on the site. The areas of the site which are undeveloped and contain biological resources and/or steep slopes would have a Covenant of Easement granted over these environmentally sensitive lands for the protection of sensitive biological resources and steep hillsides. The protection of these sensitive biological resources and steep hillsides would provide a buffer between the development footprint of the Project and any adjacent property which has environmentally sensitive lands present. The Project site is not within the Multi-Habitat Planning Area of the City's Multiple Species Conservation Plan, and neither connects or is adjacent to any lands designated as Multi-Habitat Planning Area.

Community Plan Analysis

The School is in conformance with the [Linda Vista Community Plan](#) (Community Plan), which states that development and growth are permitted, yet should be regulated to ensure impacts to the surrounding neighborhood are minimized. The Community Plan designates the developed portion of the Linda Vista Campus for School/Institution use, while the perimeter of the property is designated Open Space due to the presence of environmentally sensitive lands.

While the Community Plan acknowledges Frances Parker School as a prestigious institution, the Community Plan also recognizes that impacts from schools in the community can be felt in the form of vehicular traffic and parking shortages that affect neighboring areas. The proposed project meets the goals of Community Plan by increasing the amount of onsite parking available for students, faculty, and staff and emphasizing structured parking rather than surface parking.

The proposed increase of the student population from 800 students to 940 students was studied

and staff determined this population growth would generate an additional 476 average daily trips to the community. The traffic impact analysis concluded direct impacts would result from the growth of the Frances Parker School by 140 students, and identified that the potential impact would be mitigated with the installation of the traffic signal at Linda Vista Road and Northrim Court as a condition of approval. With the installation of the traffic signal, there would be no significant impacts from the project.

The Project is consistent with the General Plan with respect to land use, open space, and conservation. As indicated on [Table LU-4 of the Land Use and Community Planning Element](#) of the General Plan, schools are identified as a use consistent with the "Institutional and Public and Semi-Public Facilities" land use designation. The Project implements conservation policies of the General Plan by incorporating measures to reduce greenhouse gas emissions, energy use, and waste and promote recycling by complying with Title 24 construction standards, the Green Building Code, and other design features. These measures include the installation of energy efficient appliances and lighting (light-emitting diodes) for energy savings, installation of photovoltaic solar panels on the roof of the Performing Arts Center, installation of electric vehicle charging stations in the parking lot, and using variable refrigerant flow with "smart" temperature control thermostats, and cool roof technology.

The Project would expand the School's waste recycling program beyond that required by the regulations. A minimum of seventy-five percent of construction materials would be recycled, including landscaping, concrete, asphalt, foundations, building structures, switch gear, and cable. The Project would also recycle at least fifty percent of its solid waste stream by providing separate storage and collection areas for recyclables and continuing its composting program with the City of San Diego. To reduce water consumption, drought tolerant landscaping and water conserving fixtures for all new construction will be installed, including use of artificial turf for the reconfigured athletic field. Shade trees are proposed in all parking lots and on the south and west sides of new buildings. Improved storm water quality will be achieved by treating all project-related run-off within the storm water treatment system which utilizes natural bio-filtration to treat storm water run-off from parking lots, driveways, and buildings. The Project is also consistent with policies in the Conservation Element encouraging preservation of urban canyons and hillsides by limiting Project improvements to the existing development footprint and preserving the existing open space through a Covenant of Easement for open space purposes.

The Urban Design Element of the General Plan expresses guiding principles of building upon existing communities and developments. The Project will build upon the existing community by maximizing the existing development footprint and thereby avoiding disturbance to the sensitive canyon and hillside areas on the site, replacing old structures and re-investing in new infrastructure and buildings which will be energy efficient, improving storm water quality, and other facility improvements.

The Project also respects and implements policy directives specifically relating to the School site as expressed in the Community Plan, with respect to traffic, parking, open space preservation, and other community concerns, while allowing for the School expansion. In these ways, the proposed development will not adversely affect the applicable land use plan.

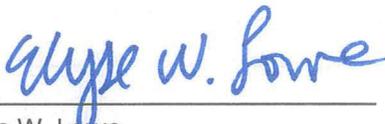
Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the Project (Attachments 9 and 10) and draft conditions of approval (Attachment 11). Staff recommends the Planning Commission approve the Project as proposed.

ALTERNATIVES

1. Approve Planned Development Permit No. 1445155 and Site Development Permit No. 1445156, with modifications.
2. Deny Planned Development Permit No. 1445155 and Site Development Permit No. 1445156, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe
Deputy Director
Development Services Department



John S. Fisher
Development Project Manager
Development Services Department

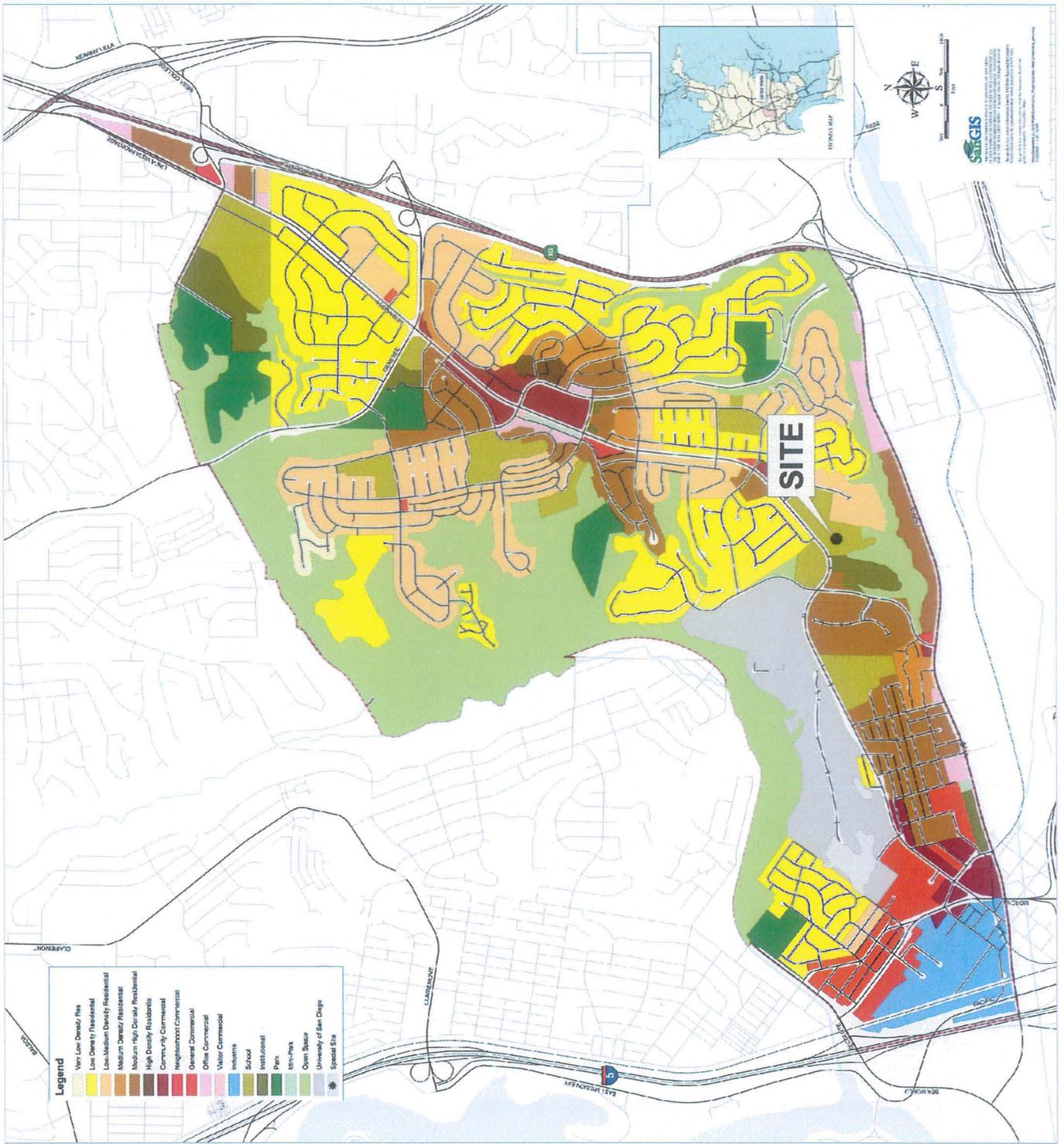
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Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph
4. Conditional Use Permit No. 84874, Planned Development Permit No. 84875 and Site Development Permit No. 215276
5. CUP Cancellation 2014
6. Project Site Plan
7. Dining Hall and Athletic Offices elevations, Sheet A2.0
8. Elevated Sports Deck plan and elevations, Sheet A1.7
9. Draft Environmental Resolution
10. Draft Permit Resolution with Findings
11. Draft Permit with Conditions
12. Remaining Project Plans
13. Community Planning Group Recommendation
14. Ownership Disclosure Statement
15. Project Data Sheet

LINDA VISTA COMMUNITY PLANNING AREA
COMMUNITY PLAN LAND USE MAP

CITY OF SAN DIEGO
City Planning and Community Investment





SITE

VIA LAS CUMBRES

LINDA VISTA RD

ULRIC ST

FRIARS RD

FASHION VALLEY RD

SANDAG Technical Services - GIS

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Date: 7/13/2016



AERIAL MAP

CITY OF SAN DIEGO • DEVELOPMENT SERVICES DEPARTMENT



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DOC # 2005-1020509



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NOV 28, 2005 10:58 AM

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 80.00
PAGES: 25



2005-1020509

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SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER 42-2561

CONDITIONAL USE PERMIT NO. 84874
PLANNED DEVELOPMENT PERMIT NO. 84875
SITE DEVELOPMENT PERMIT (ESL) NO. 215276
FRANCIS PARK SCHOOL
AMENDMENT TO CONDITIONAL USE PERMIT NO. 94-0207
CITY COUNCIL

This conditional use permit/planned development permit/site development permit (ESL) amendment to Conditional Use Permit No. 94-0207 is granted by the Council of the City of San Diego to Francis Parker School, a California Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0305, 126.0504, 126.0604 and 125.1001. The 23-acre site is located at 6501 Linda Vista Road in the RM-1-1 (Residential Multi-Family) zone of the Linda Vista Community Plan. The project site is legally described as Parcels 1 and 2 of Parcel Map No. 5465.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to increase the number of students from 700 to 800, and accommodate phased modifications on the campus to include demolition, renovation and construction of new school facilities to include deviations to height and setback requirements, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 28, 2005, on file in the Development Services Department.

The project or facility shall include:

- a. Demolition of a total of ten existing buildings; renovation of a total of three existing buildings; and construction of a total of fifteen new buildings - and associated structures, serving middle and upper school (junior high and high school) educational uses. Said buildings to include administration and maintenance buildings, student union, multi-purpose rooms; library, arts studios, fine arts theater and music rooms, cafeteria and gymnasium, locker rooms and field house, athletic fields and courts, parking structure and tennis courts, off-street surface and bus parking lots,

ORIGINAL

field lighting, and tennis court fencing totaling approximately 160,000 sq. ft. of floor area;;

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking facilities;
- d. Accessory improvements including retaining walls, fences, signs, lighting, and recreational facilities; and
- e. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

~~1. Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.~~

2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.

4. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

5. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO 18394. Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

9. Prior to issuance of any building or grading permits, the Owner/Permittee shall submit all proposed building facility plans to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," the Master Plan and design guidelines. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the

discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program [MMRP]. These MMRP conditions are incorporated into the permit by reference or authorization for the project.

12. As conditions of Conditional Use Permit No. 84874, Planned Development Permit No. 84875 and Site Development Permit No. 215276, the mitigation measures specified in the MMRP, and outlined in Mitigated Negative Declaration, LDR No. 31079 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, LDR No. 31079 satisfactory to the City Manager and City Engineer. Prior to issuance of the first building and/or grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Biological Resources
Health and Safety
Noise

14. Prior to issuance of any construction permit, the applicant shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

15. The Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A," Brush Management Plan.

16. Prior to issuance of any building permits, a complete set of brush management construction documents shall be submitted for approval to the City Manager and the Fire Marshall. The construction documents shall be in Substantial Conformance with Exhibit "A" and shall comply with the Uniform Fire Code, MC section 0889.0201, the Landscape Standards, and San Diego Municipal Code/Land Development Code SDMC/LDC section 142.0412 (Ordinance - 18451).

17. The Brush Management Program shall consist of two zones consistent with the Brush Management regulations of SDMC/LDC section 142.0412 as follows: A minimum 40-foot zone One with no required zone Two shall extend along eastern portions of the

Lot from the Existing Field House – Bldg 001 to the New Middle School Classrooms – Bldg 203. A standard 25-foot zone One and 30-foot zone Two shall extend along eastern portions of the Lot from the Existing Middle School Classrooms – Bldg 103. A minimum 28-foot zone One and 30-foot zone Two shall be provided over the west portion of the Lot adjacent to the Science Classrooms – Bldg 105 and Upper School Classrooms/ Commons – Bldgs 100 through 102.

18. Within zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) are not permitted, while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and the City Manger's approval.

19. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."

20. In zones One and Two, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape section and the Environmental Analysis section.

21. Prior to final inspection and the issuance of any Certificate of Occupancy for any building, the approved Brush Management Program shall be implemented.

22. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

23. Regarding Phases One and Two only, all new plant material located on the mesa, within Phase One and Two construction, shall obtain a maximum height of thirty-feet at maturity.

ENGINEERING REQUIREMENTS:

24. Prior to the issuance of any construction permit, the Applicant shall incorporate any construction Best Management Practices [BMP's] necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

25. Prior to the issuance of any construction permit the Applicant shall incorporate and show the type and location of all post-construction BMP's on the final construction drawings, in accordance with the approved Water Quality Technical Report.

26. Prior to the issuance of a building permit the applicant shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the SDMC in a manner satisfactory to the City Engineer.

27. Development of this project shall comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm

Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan [SWPPP] and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent [NOI] shall be filed with the SWRC.

28. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99 08 DWQ.

LANDSCAPE REQUIREMENTS:

29. No change, modification, or alteration shall be made to the project unless appropriate application or amendment of this Permit shall have been granted by the City.

30. Prior to issuance of any engineering permits for grading, construction documents for the re-vegetation and hydro seeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A."

31. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

32. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A," Landscape Concept Plan. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

33. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Concept Plan. Construction plans shall take into account a forty square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under SDMC/LDC section 142.0403(b) 5.

34. All existing landscape to remain during phased construction shall be protected in place per Exhibit "A," Landscape Development Plan. Stockpiling, material storage, grading, and other activities shall be prohibited within the drip line of all trees designated to remain without monitoring of a certified consulting arborist. Any root or canopy pruning associated with demolition or new construction shall be under the direction of a certified, consulting arborist.

35. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections consistent with the phased construction delineated on Exhibit "A." A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

36. All required landscape shall be maintained in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

37. The Permittee or subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by the City Manager.

38. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within thirty days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

39. Consistent with Condition No. 66, no fewer than 290 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.

40. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

41. **Height, Maximum 30-foot Height Limit**
- a. **Building Height -- Building Nos. 105, and 300 would observe a maximum height of 35-feet.**
 - b. **Building 200 shall observe a maximum height of thirty-feet from the current grade, with the objective of minimizing intrusion on the neighbors' sight lines.**
 - c. **Athletic Field Light Poles -- Poles A and F would observe a maximum height of seventy-feet; Poles B and E would observe a maximum height of ninety-feet; and Poles C and D would observe a maximum height of 80-feet.**
42. **A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.**
43. **Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.**
44. **All signs associated with this development shall be consistent with sign criteria established by Citywide sign regulations.**
45. **Use of On-Campus Athletic Fields and Campus Lighting - with regard to lighting on the Francis Parker School premises, it is the purpose and intent of the following conditions to ensure compliance with SDMC/LDC section 142.0740, Outdoor Lighting Regulations, and to minimize off-site impacts. Lighting for events held on any athletic field shall comply with minimum standards of the California Interscholastic Federation [CIF] and National Federation of State High [NFSH] Schools Association. Outdoor field lighting shall be designed and installed to the specifications detailed in the lighting study, Sports Area Light Study & Recommendations, as prepared on February 29, 2004, by Dream Engineering, Inc.**
46. **All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC, including LDC section 142.0740, Outdoor Lighting Regulations..**
47. **Prior to the issuance of any building permits, complete outdoor lighting information shall be submitted to the Development Services Department, Land Development Review Division, for review and approval. Complete lighting information shall include a plan view photometric analysis indicating an isofoot candle plot and a point by point plot to include all areas within the private property and to extend a minimum of 50 feet beyond the property line, construction details as necessary to direct installation of the outdoor lighting system, manufacturers name, visors, prisms, lenses and reflectors and a lighting plan locating each fixture in plan view and a legend. The outdoor lighting system shall be designed, manufactured and installed to allow shading,**

adjusting, and shielding of the light source so all outdoor lighting is directed to fall only onto the same premises as light sources are located.

48. Prior to the issuance of any occupancy permit, a night inspection shall be required to verify compliance of the outdoor lighting system. No light shall be directed to fall outside the property line. Light levels throughout the development shall be the least practical level necessary to effectively illuminate the operation. Sky glow or light halo shall be reduced to the greatest extent practical. The Owner/Permittee, or an authorized representative, shall provide an illuminance meter to measure light levels as required to establish conformance with the conditions of this Permit during the night inspection. Night inspections may require additional fees as determined by the City Manager.

49. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

50. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers, and latticework.

51. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A."

52. This Permit may be developed in phases. Each phase shall be constructed consistent with the conditions and exhibits approved for each respective phase (per the approved Exhibit "A").

53. An evening event shall be defined as an athletic game or other event on the athletic fields that takes place after 8:00 p.m. No restriction shall be placed on events that end before 8:00 p.m.

- a. The School shall be limited to a total of fifty-evening events per year, and no more than three in a week.

54. Lights will be turned off no later than 10:00 p.m. except in the case where a play-off game enters overtime and California Interscholastic Federation [CIF] regulations require that the game not end in tie. In no case shall the lights stay on after 11:00 p.m. regardless of the event.

55. The School shall not conduct activities on the athletic fields earlier than 8:00 a.m. on Saturdays and 9:00 a.m. on Sundays.

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56. All outdoor lighting, including search lights, shall be turned off between 11:00 p.m. and 6:00 a.m.

WASTEWATER REQUIREMENTS:

57. All on-site wastewater systems shall be private.

WATER REQUIREMENTS:

58. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) and the disconnection at the main of all existing unused services, as needed, within the rights-of-way adjacent to the project site, in a manner satisfactory to the Director of the Water Department and the City Engineer. All on-site water facilities shall be private including domestic, fire, and irrigation systems.

59. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each water service, existing and proposed, in a manner satisfactory to the Director of the Water Department and the City Engineer.

60. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall design and construct new public water facilities, into acceptable alignments and right-of-way, in the event any public water facility adjacent to the project site loses integrity due to the construction and grading activities associated with this development, in a manner satisfactory to the Director of the Water Department and the City Engineer.

61. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Marshal, the Director of the Water Department and the City Engineer.

62. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Director of the Water Department and the City Engineer.

63. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Water facilities as shown on the approved Exhibit "A" shall be modified at final engineering to comply with standards.

**METROPOLITAN TRANSIT DEVELOPMENT BOARD (MTDB)
REQUIREMENTS:**

64. There are two existing bus stops within the project site. To comply with ADA requirements, sidewalks that comprise the bus stop passenger loading areas should measure ten-feet wide and twenty-five feet long.

65. Should access to either of these bus stops be impaired during the construction process, the Owner/Permittee shall notify San Diego Transit at (619) 238-0100, in advance of any impairment.

GEOLOGY REQUIREMENTS:

66. Proposed cut and fill slopes greater than ten-feet in height shall not exceed a gradient of 50-percent (two horizontal-feet to one vertical-foot).

67. An updated geotechnical report will required as grading plans are developed for the project. The geotechnical consultant must review, sign and stamp the grading plans as part of the plan review and grading permit issuance process. A Final As-Building Report is required within fifteen days of completion of grading operations.

68. Additional geotechnical information such as verification of as-graded or existing soil conditions needed for design of structure foundations will be subject to approval by the Division of Building and Safety prior to issuance of building permits.

TRANSPORTATION DEVELOPMENT REQUIREMENTS:

69. All off-street parking spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A," at a parking rate of 0.31 parking spaces per campus individual. Prior to the issuance of any building permit for each project building phase, the applicant shall provide minimum parking in correlation with campus population (campus population = students + faculty + staff) phasing as follows:

- a. Phase 1 of the proposed project shall provide 270 automobile parking spaces for a campus population of 871.
- b. Phases 2 and 3 of the proposed project shall provide a total of 277 automobile parking spaces for a campus population of 877.
- c. Phase 4 of the proposed project shall provide a total of 290 automobile parking spaces for a campus population of 932.

All on-site parking stalls and aisle widths shall be in compliance with requirements of the SDMC/LDC, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the City Manager.

70. Prior to the issuance of any building permits, applicant shall record an Irrevocable Offer of Dedication [IOD] of seven-feet in width extending 300-feet west of the existing limit line at the traffic signal at the main entrance on Linda Vista Road, satisfactory to the City Engineer. This required IOD is to accommodate a potential future improvement by Francis Parker (or any other future project which warrants it) or another party of construction of a Right Hand Turn Lane [RHTL] on east bound Linda Vista Road into the main entrance of the school. Whoever is responsible for the future widening of Linda

Vista Road would be responsible for the costs of future improvements or for utility relocation costs when and if the RHTL is installed.

71. Prior to the issuance of any building permits, the applicant shall submit improvement plans for the widening of the outside eastbound lane on Linda Vista Road by five-feet to accommodate a twenty-foot wide lane for 155-feet west of existing limit line at the main entrance on Linda Vista Road plus sixty-foot transition to the existing curb, satisfactory to the City Engineer. Also, prior to issuance of the first occupancy permit, the Applicant shall complete the above improvement and have it accepted by the City.

72. This project shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer.

THE FOLLOWING CONDITIONS ARE HEREBY INCORPORATED INTO THIS PERMIT:

73. The height of the library (Building 200) shall be reduced from the height on the plans submitted for the CUP amendment. The neighbors have asked that the height of the building not exceed thirty-feet from the current grade, with the objective of minimizing intrusion on the neighbors' sight lines. The school has agreed to reduce the height of the building by a combination of building height and grade reduction, to be worked out during construction design. The result shall be that the ridgeline of the building shall not exceed an elevation of 305-feet above sea level, with the exception of a portion of approximately thirty-feet of ridgeline that will contain a skylight; the skylight shall be constructed with the minimum possible additional elevation, not to exceed nine-inches (305-feet and 9-inches above sea level.)

74. The light poles to be constructed to light the athletic fields shall be colored or painted, and maintained, in a flat, non-reflective color in either pale grey or blue-grey, depending on colors available from the manufacturer.

75. The parties agree that the conditions in the amended CUP will require the school mitigate amplified noise in the area of the athletic fields by acquiring specific amplifiers and loud speakers. The parties agree that once this new equipment has been installed and tested, they shall jointly meet to set amplification levels that meet the minimum athletic event needs of the school but are the least disruptive to the neighbors. The school agrees to allow the neighbors to monitor noise levels in the future to ensure compliance with the CUP.

76. The school agrees to install sound attenuation materials inside the existing batting cages, or take other additional measures, to minimize the sound generated from activities in the batting cages.

77. The school agrees to paint the exterior of the existing Field House building. The building will be painted in flat, non-reflective paint in colors to be determined that are

similar to, and blend in with, the colors of the other existing buildings on campus and with the new buildings to be constructed in the Master Plan.

~~78. -- All new landscape choices will be varieties that are known to regularly reach~~
maximum heights of approximately thirty-feet when mature.

INFORMATION ONLY:

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

A Development Impact Fee [DIF] of \$84,259.51 is required for this project and is due at the time of building permit issuance. This fee is based upon the determination that the project will result in an increase of 66,661 square feet over what currently exists on the site. A Housing Trust Fund [HTF] impact fee of \$53,328.80 on nonresidential development is required for this project and is due at the time of building permit issuance. This fee is based on a rate of \$0.80 per square foot of school use. Pursuant to Ordinance No.0-17454, the HTF impact fee is dedicated for affordable housing.

APPROVED by the Council of the City of San Diego on June 28, 2005 by Resolution No. R-300618.

AUTHENTICATED BY THE CITY MANAGER

By Amy Halbert
CITY OF SAN DIEGO

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

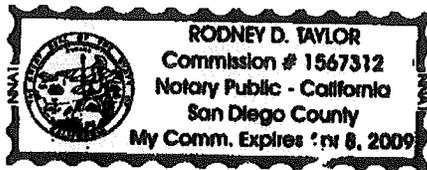
FRANCIS PARKER SCHOOL
Owner/Permittee

By Grant Bell

By _____

NOTE: Notary acknowledgments must be attached per Civil Code section 1180 et seq.

PERMIT/OTHER - Permit Shell 11-01-04



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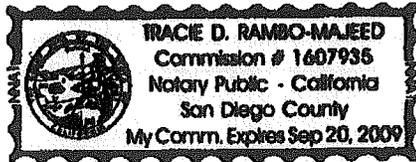
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of San Diego } ss.

On NOV. 22, 2005, before me, Tracie D. Rambo-Majeed (Notary)
personally appeared Gary Halbert

[X] personally known to me
[] proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.
Tracie D. Rambo-Majeed
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document: Permit (CUP/PDP/SDP) Francis Parker School

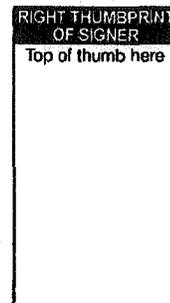
Title or Type of Document: June 28, 2005 Number of Pages:

Signer(s) Other Than Named Above: none

Capacity(ies) Claimed by Signer

- Signer's Name: Gary Halbert
[X] Individual
[] Corporate Officer — Title(s):
[] Partner — [] Limited [] General
[] Attorney in Fact
[] Trustee
[] Guardian or Conservator
[] Other:

Signer Is Representing: City of San Diego



ORIGINAL

CALIFORNIA JURAT WITH AFFIANT STATEMENT

State of California

County of SAN DIEGO

} ss. 651-96-7488

- See Attached Document (Notary to cross out lines 1-6 below)
- See Statement Below (Lines 1-5 to be completed only by document signer[s], *not* Notary)

1 _____

2 _____

3 _____

4 _____

5 _____

6 [Signature] _____

Signature of Document Signer No. 1

Signature of Document Signer No. 2 (if any)

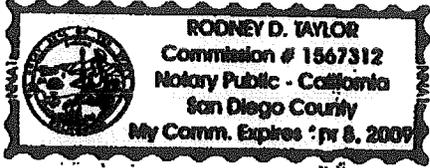
Subscribed and sworn to (or affirmed) before me on this 16th day of November, 2005, by

(1) Grant Lichman
Name of Signer

- Personally known to me
- Proved to me on the basis of satisfactory evidence to be the person who appeared before me (.) (,)

(2) _____
Name of Signer

- Personally known to me
- Proved to me on the basis of satisfactory evidence to be the person who appeared before me.)



Signature of Notary Public

Place Notary Seal Above

OPTIONAL

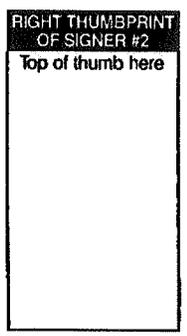
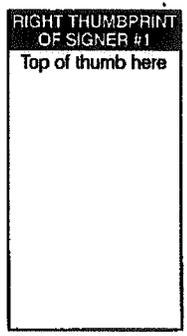
Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Further Description of Any Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____



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DOC# 2014-0555069



Dec 17, 2014 09:50 AM
 OFFICIAL RECORDS
 Ernest J. Dronenburg, Jr.,
 SAN DIEGO COUNTY RECORDER
 FEES: \$27.00

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**CANCELLING ALL CONDITIONAL USE PERMITS AND THEIR AMENDMENTS
 RELATED TO A SCHOOL USE AT THE PROJECT SITE**

WHEREAS, on October 2, 2014, Francis Parker School, a California corporation, filed a request with the City of San Diego pursuant to San Diego Municipal Code [SDMC] 126.0110 to cancel Conditional Use Permit No. 84874 and all previous Conditional Use Permits and their Amendments, recorded or unrecorded, referring to the project site related to a school use; and

WHEREAS, the project site is located at 6501 Linda Vista Road in the RM-1-1 and OR-1-1 zones of the Linda Vista Community Planning area; and

WHEREAS, the project site is legally described as

PARCELS 1 AND 2 OF PARCEL MAP NO. 5465 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 6, 1977; and

WHEREAS, San Diego Municipal Code [SDMC] Section 126.0110 provides that once a Conditional Use Permit has been utilized, the City of San Diego Development Services Department may cancel a Conditional Use Permit where the use complies with all the use regulations of the Municipal Code; and

WHEREAS, on October 14, 2014, the City of San Diego Development Services Department has determined that the school use at the project site is a use permitted by the underlying RM-1-1 zone and no longer requires a Conditional Use Permit; and

WHEREAS, on October 14, 2014, the City of San Diego Development Services Department has determined that no negative impacts would result from this cancellation and that the Owner/Permittee is aware that Planned Development Permit No. 84875/Site Development Permit (ESL) No. 215276 is still valid and applicable and regulates any future improvements or uses at the site;

NOW, THEREFORE,

BE IT RESOLVED, by the undersigned that all conditional use permits and any unrecorded amendments thereto are hereby cancelled and no longer in effect on the project site described herein, including without limitation the following conditional use permits recorded in Official Records:

CONDITIONAL USE PERMIT NO. 84874, FRANCIS PARK SCHOOL, AMENDMENT TO CONDITIONAL USE PERMIT NO. 94-0207, CITY COUNCIL, approved by the Council of the City of San Diego on June 28, 2005, recorded November 28, 2005 as a portion of Instrument No. 2005-1020509 of Official Records.

CONDITIONAL USE PERMIT NO. 84874, FRANCIS PARK SCHOOL, AMENDMENT TO CONDITIONAL USE PERMIT NO. 94-0207, PLANNING COMMISSION RECOMMENDATION, recorded July 25, 2005 as Instrument No. 2005-0626752 of Official Records.

CONDITIONAL USE PERMIT NO. 94-0207, HEARING OFFICER, AMENDMENT TO CONDITIONAL USE PERMIT NO. 86-0089, FRANCIS PARKER SCHOOL EXPANSION, passed and adopted by the Hearing Officer on May 18, 1994, recorded on June 20, 1994 as Instrument No. 94-0391546 of Official Records.

PLANNING COMMISSION RESOLUTION NO. 6192, GRANTING CONDITIONAL USE PERMIT NO. 86-0089 (Amendment to CUP NO. 10-614-0), passed and adopted by the Planning Commission of The City of San Diego on March 20, 1986, recorded on June 23, 1989 as Instrument No. 86-0252154 of Official Records.

CONDITIONAL USE PERMIT NO. 2540-PC/AMENDMENT NO. 1, PLANNING COMMISSION, passed and adopted on November 30, 1978, recorded January 25, 1979 as Instrument No. 79-041662 of Official Records; and

BE IT FURTHER RESOLVED, that Planned Development Permit No. 84875/Site Development Permit (ESL) No. 215276 is still valid and in effect at the project site herein described and this action of cancelling all Conditional Use Permits related to a school use in no way rescinds, alters, amends or diminishes any of the facility description or conditions contained in Planned Development Permit No 84875/Site Development Permit (ESL) No. 215276, recorded November 28, 2005 as a portion of Instrument No. 2005-1020509 of Official Records.



Gary Geiler
Senior Planner
Development Services Department

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)
On December 12, 2014 before me, Stacie L. Maxwell, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Gary Gaitor
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

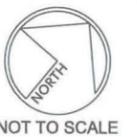
Description of Attached Document
Title or Type of Document: CUP Cancellation Document Date:
Number of Pages: Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)
Signer's Name:
[] Corporate Officer -- Title(s):
[] Partner -- [] Limited [] General
[] Individual [] Attorney in Fact
[] Trustee [] Guardian or Conservator
[] Other:
Signer Is Representing:

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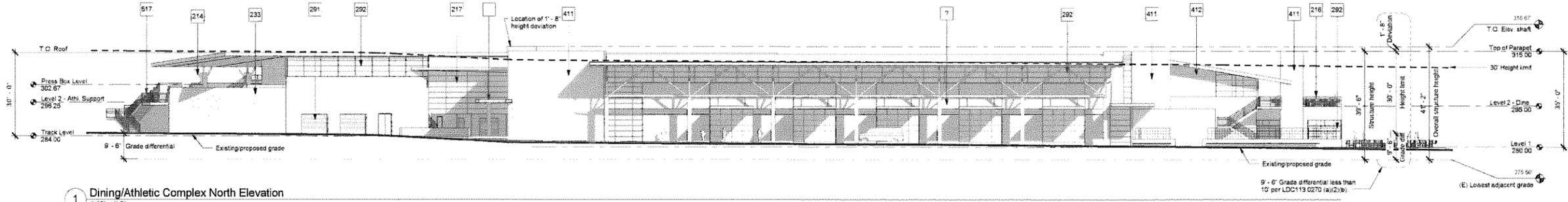


FRANCIS PARKER SCHOOL

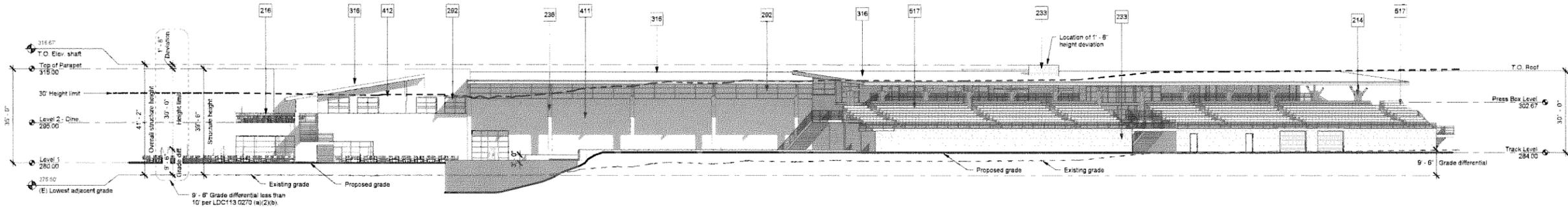


FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

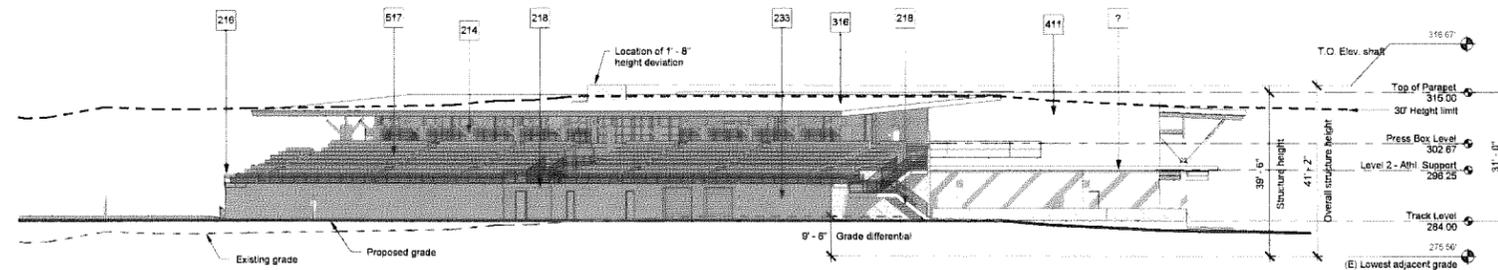
AMENDS PDP 84875/SDP 215276



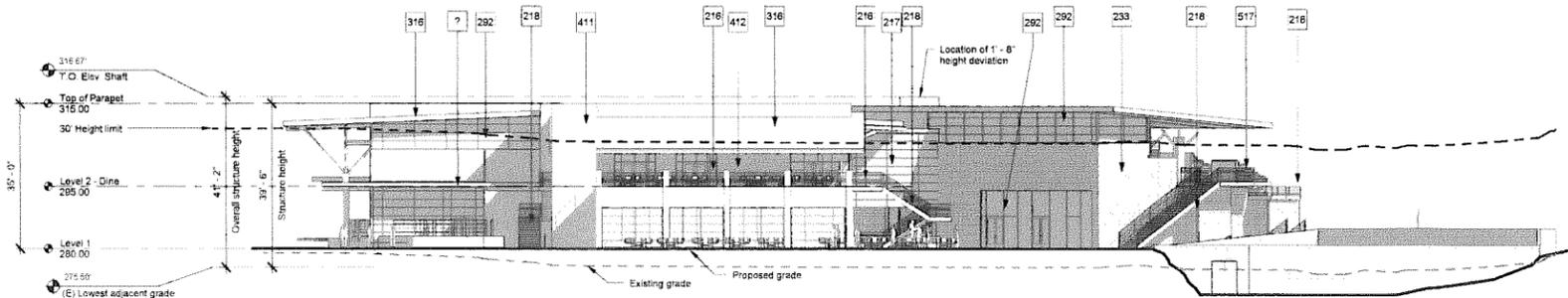
1 Dining/Athletic Complex North Elevation
1/16" = 1'-0"



2 Dining/Athletic Complex South Elevation
1/16" = 1'-0"



3 Dining/Athletic Complex East Elevation
1/16" = 1'-0"



4 Dining/Athletic Complex West Elevation
1/16" = 1'-0"

Elevation / Section Keynotes

- 214 Exposed Steel Framing - Galvanized Finish
- 215 Steel Trillis - Galvanized Finish
- 216 Steel Guardrail - Galvanized Finish
- 217 Steel Lattice Screen - Galvanized Finish
- 218 Exterior Slab with Galvanized Steel Stingers and Precast Concrete Treads
- 233 Bead Blasted CMU
- 236 C.I.P. Concrete
- 291 Door per plan
- 292 Window per plan
- 316 Standing Seam metal roof
- 411 Smooth Hard Trowel Exterior Plaster - Integral color to match existing buildings
- 412 Wood Siding - Stained to match existing buildings
- 517 Metal Bleachers

Elevation Notes

1. All measurements noted as "Structure height" taken as plumb line measurement vertically through the structure to existing or proposed grade, whichever is lower, at each point indicated.

* PROJECT TEAM *

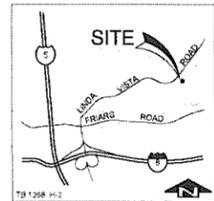
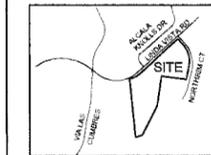
OWNER/APPLICANT
FRANCIS PARKER SCHOOL
6501 LINDA VISTA ROAD
SAN DIEGO, CA 92111
CONTACT: WAYNE HOLTAN
TEL: (619) 427-1739

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* PROJECT LOCATION *



CCS 83 COORDINATE = 186°1N-62°7E
LAMBERT COORDINATE = 221-1712

Prepared By
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Project Address
6501 LINDA VISTA ROAD

Project Name
FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

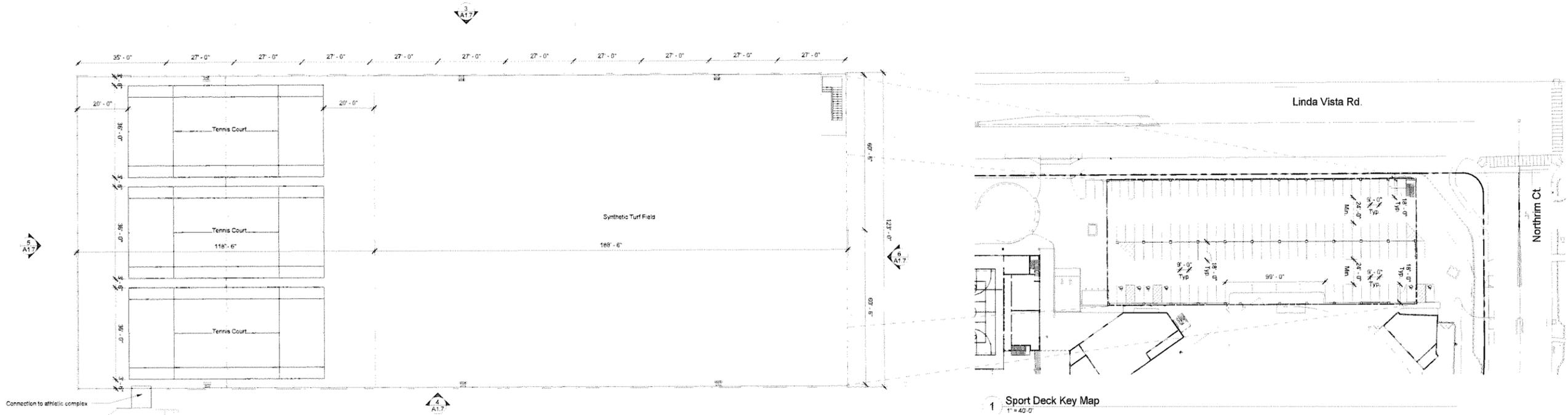
Sheet Title
Dining/Athletic Complex
Elevations

Revision	Date	By	Checked
Revision 10			
Revision 9			
Revision 8			
Revision 7			
Revision 6			
Revision 5			
Revision 4			
Revision 3			
Revision 2	09/25/2015		
Revision 1	08/20/2015		
Original Date	02/07/2015		
Sheet	16	of	35
P109	58475		

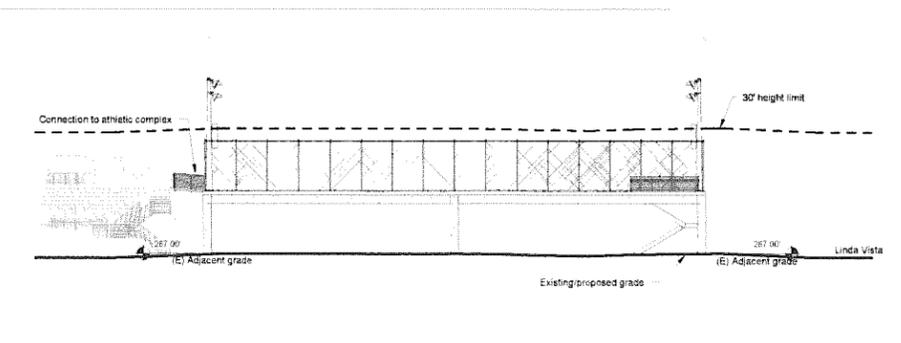
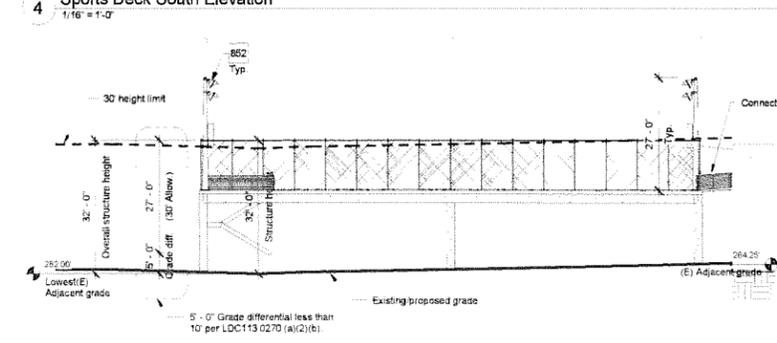
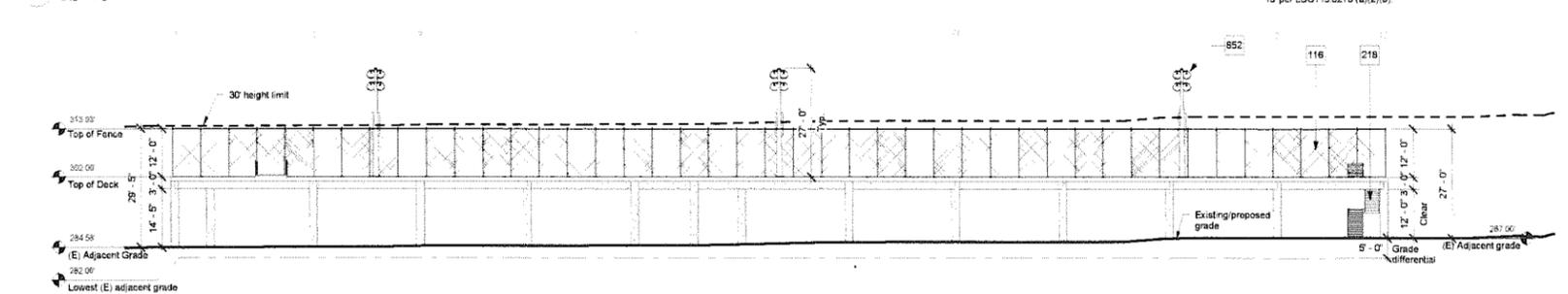
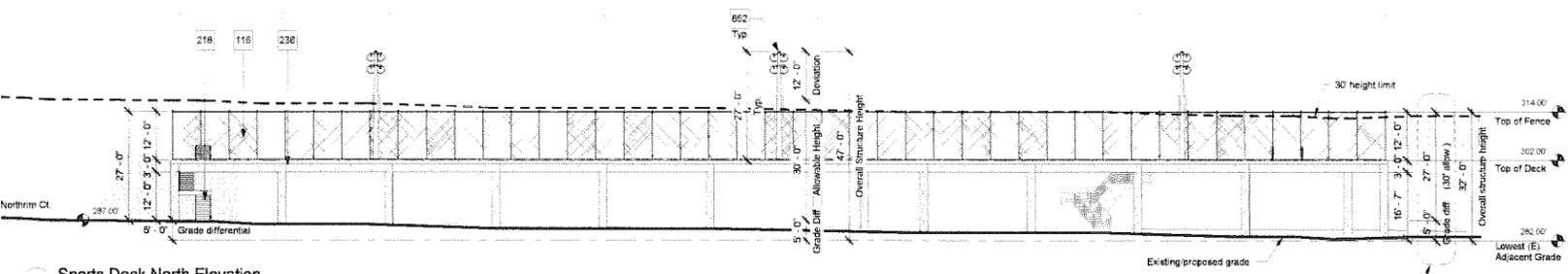


FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



2 Elevated Sports Deck Floor Plan
1/16" = 1'-0"

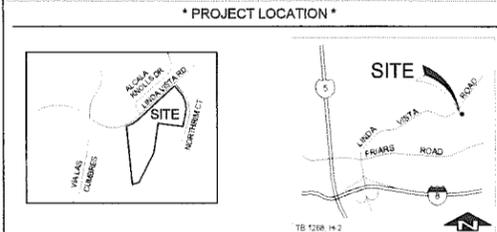


Elevation / Section Keynotes

116	Chain Link Fence - black vinyl coated
216	Exterior Stair with Galvanized Steel Stringers and Precast Concrete Treads
236	C.I.P. Concrete
852	Stadium lighting - light poles to be painted a flat, non-reflective light grey

*** PROJECT TEAM ***

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92110 CONTACT: MIKE ROEHART TEL: (658) 427-1738	ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-6393
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CCS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

Prepared By domusstudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: Wayne Holtan TEL: (619) 692-6393	Revision 10 Revision 9 Revision 8 Revision 7 Revision 6 Revision 5 Revision 4 Revision 3 Revision 2 Revision 1
Project Address 6501 LINDA VISTA ROAD	05/21/2015 12/11/2015 (No Change) 08/28/2015 08/23/2015 03/27/2015
Project Name FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE	Original Date: 03/27/2015
Sheet Title Elevated Sports Deck	Sheet: 14 of 25 PTSR: 34575



RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on March 6, 2015, Francis Parker School submitted an application to Development Services Department for a Planned Development Permit and Site Development Permit for the Francis Parker Master Plan Amendment (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on July 28, 2016; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 412987 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
John S. Fisher
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

Planned Development Permit No. 1445155 and Site Development Permit No. 1445156

PROJECT NO. 412987

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 412987 shall be made conditions of Planned Development Permit No. 1445155 and Site Development Permit No. 1445156 as may be further described below.

- I. MITIGATION, MONITORING AND REPORTING PROGRAM:
 - A. **GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)**
 1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), plans, specification, details, etc. to ensure the MMRP requirements are incorporated into the design.
 2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
 3. These notes must be shown within the first three sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
 4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
 5. **SURETY AND COST RECOVERY** – The DSD Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED 10 WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Paleontology Monitor, a representative from The City of San Diego Local Enforcement Agency (LEA) and a 40-hour Hazwoper-trained environmental professional experienced in the identification of burn ash.

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number **412987** and/or Environmental Document Number 412987, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. **MONITORING EXHIBITS**
All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that

discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Paleontology	Paleontology Report	Paleontology Site Observation

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

PALEONTOLOGICAL RESOURCES MITIGATION

Paleo-1

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.

2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as**

in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.

2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVr). The CSVr's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.

- b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
 - C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate

- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

TRANSPORTATION/TRAFFIC

Trans-1

Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the installation of a new traffic signal at the intersection of Linda Vista Road and Northrim Court, with signal interconnect to the adjacent traffic signals, and install striping to provide a left-turn lane and right-turn lane on Northrim Court, satisfactory to the City Engineer.

Hazards and Hazardous Materials

Haz Mat-1

I. Prior to Start of Construction/Preconstruction Meeting

Prior to the issuance of the grading permit, the applicant shall provide verification, in letter form, to the Mitigation Monitoring and Coordination Section (MMC) that the City of San Diego LEA has reviewed and approved the proposed Health and Safety Work Plan as required in the approved Burn Ash Management Plan (AECOM, December 2015). The safety plan is for the treatment and disposal of hazardous materials or contaminated soils that may be encountered within the project site.

The work plan would contain specific procedures for encountering both expected and unexpected contaminants. The plan would prescribe safe work practices, contaminant monitoring, personal protective equipment, emergency response procedures, and safety training requirements for the protection of construction workers and third parties. The health and safety plan would meet the requirements of 29 CFR 1910 and 1926 and all other applicable federal, state, and local requirements.

II. During Construction

A. Monitoring

- 1. All grading or excavation that disturbs surface soil and or soil to a depth of three feet below ground surface will require observation by a 40-hour Hazwoper-trained environmental professional experienced in the identification of burn ash. If burn ash

is identified, grading or excavation will stop and a burn ash management plan and the community health and safety plan will be immediately implemented.

2. If burn ash-containing soil is encountered it will be managed in accordance with the site specific burn ash management plan and the elements of the community health and safety plan, including air monitoring, will be implemented as long as burn ash-containing soil is exposed. If burn ash is encountered during grading that cannot be managed in place an appropriate regulator-approved cap, as defined in the burn ash management plan, it will be profiled and disposed of under manifest, at an appropriately licensed off-site facility.

III. End of Construction

A. Final Clearance

1. Following the completion of grading, a report will be submitted to the LEA, detailing the results of the on-site observations and corrective action measures implemented with regard to observed burn ash materials.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

PLANNING COMMISSION RESOLUTION NO.
PLANNED DEVELOPMENT PERMIT NO. 1445155 and
SITE DEVELOPMENT PERMIT NO. 1445156
FRANCIS PARKER MASTER PLAN AMENDMENT PROJECT NO. 412987
Amending Planned Development Permit No. 84875 and
Site Development Permit No. 215276

WHEREAS, FRANCIS PARKER SCHOOL, a non-profit public benefit corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to increase student population to 940 students, demolish three buildings of approximately 41,229 square feet, add new buildings of approximately 103,182 square feet, construct a two-level underground parking structure providing 279 parking spaces, bringing the total parking spaces on the site to 517 spaces, and an outdoor aquatic center, and reorient the existing football field to add an eight-lane track for track and field events, with three deviations (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1445155 and 1445156), on portions of a 22.45 acre site;

WHEREAS, the project site is located at 6501 Linda Vista Road in the OR-1-1 & RM-1-1 zones of the Linda Vista Community Plan;

WHEREAS, the project site is legally described as Parcel 1 of Parcel Map No. 5465, filed January 6, 1977 in the Office of the County Recorder of San Diego County, State of California;

WHEREAS, on July 28, 2014, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1445155 and Site Development Permit No. 1445156, amending Planned Development Permit No. 84875 and Site Development Permit No. 215276, pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated July 28, 2014,.

FINDINGS:

Planned Development Permit – Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The Francis Parker School (School) proposes amending Planned Development Permit No. 84875 and Site Development Permit No. 215276 to authorize an update to the Master Plan for its Linda Vista Campus (Project). The Linda Vista Campus comprises a Middle School and Upper School. The 22.45-acre site is located at 6501 Linda Vista Road in the Linda Vista Community Plan area. The Project site is designated "School/Institution" and "Open Space" in the Linda Vista Community Plan (Community Plan) and "Institutional & Public Semi-Public" in the City of San Diego General Plan (General Plan). The Project consists of increasing student population to 940 students, demolishing three buildings of approximately 41,229 square feet, adding new buildings of approximately 103,182 square feet, constructing a two-level underground parking

structure providing 279 parking spaces, bringing the total parking spaces on the site to 517 spaces, and an outdoor aquatic center, and reorienting the existing football field to add an eight-lane track for track and field events with three deviations. All new construction will be contained within the existing development footprint and is for educational uses and activities. The existing education facility and proposed improvements are consistent with the "School/Institution" land use designation of the Community Plan and the "Institutional & Public Semi-Public" land use designation of the General Plan.

The Community Plan identifies the site as the Francis Parker Middle School and High School and provides policy direction as to its use and operation. The Project is consistent with these policies which provide that development and growth of the School facility is to be regulated to ensure that impacts to the surrounding neighborhood, especially traffic and circulation impacts, are minimized. The proposed increase of the student population from 800 students to 940 students will generate an additional 476 average daily trips to the community. The traffic impact analysis prepared for the Project concluded direct impacts will result from the growth of the Frances Parker School by 140 students, yet the potential impact will be mitigated with the installation of the traffic signal at Linda Vista Road and Northrim Court as a condition of approval. With the installation of the traffic signal there will be no significant impacts from the project.

Specific policies of the Community Plan applicable to the Project include provision of on-campus parking for students, faculty, and staff, with an emphasis on structured parking rather than surface parking lots, all of which are proposed by the Project. In addition, improvements to internal automobile circulation are proposed to result in added length to student drop-off areas and the re-location of one driveway to reduce queuing of automobiles onto public roadways and to improve traffic safety, as demonstrated by the Project's Traffic Impact Analysis. Consistent with these policies, development of the School is regulated by a Planned Development Permit and Site Development Permit.

The Community Plan also identifies specific policies regarding areas designated as open space. These policies include avoiding grading and development of hillsides and canyons designated as open space, and the provision that areas to be preserved as open space should be restricted by dedication of an open space easement, or by other means. The Project development is contained within the established development footprint and avoids encroachment into hillsides and canyons. Further, the Project proposes the granting of a Covenant of Easement to the City of San Diego over these areas, consistent with the Community Plan's policies on open space.

The Project is consistent with the General Plan with respect to land use, open space, and conservation. As indicated on Table LU-4 of the Land Use and Community Planning Element of the General Plan, schools are identified as a use consistent with the "Institutional and Public and Semi-Public Facilities" land use designation. The Project implements conservation policies of the General Plan, incorporating measures to reduce greenhouse gas emissions, energy use, and waste and promote recycling by complying with Title 24 construction standards, the Green Building Code, and other design features. These measures include the installation of energy efficient appliances and lighting (light-emitting diodes) for energy savings, installation of photovoltaic solar panels on the roof of the Performing Arts Center, installation of electric vehicle charging stations in the parking lot, and using variable refrigerant flow with "smart" temperature control thermostats, and cool roof technology. The Project will expand the School's

waste recycling program beyond what is required by the regulations. A minimum of seventy-five percent of construction materials will be recycled, that includes landscaping, concrete, asphalt, foundations, building structures, switch gear, and cable. The Project will also recycle at least fifty percent of its solid waste stream by providing separate storage and collection areas for recyclables and continuing its composting program with the City of San Diego. To reduce water consumption, drought tolerant landscaping and water conserving fixtures for all new construction will be installed, including use of artificial turf for the reconfigured athletic field. Shade trees are proposed in all parking lots and on the south and west sides of new buildings. Improved storm water quality will be achieved by treating all project-related run-off within the storm water treatment system which utilizes natural bio-filtration to treat storm water run-off from parking lots, driveways, and buildings. The Project is also consistent with policies in the Conservation Element encouraging preservation of urban canyons and hillsides by limiting Project improvements to the existing development footprint and preserving the existing open space through a Covenant of Easement for open space purposes. All of these design features are incorporated into the Project design and/or the conditions of approval.

The Urban Design Element of the General Plan expresses guiding principles of building upon existing communities and developments. The Project will build upon the existing community by maximizing the existing development footprint and thereby avoiding disturbance to the sensitive canyon and hillside areas on the site, replacing old structures and re-investing in new infrastructure and buildings which will be energy efficient, improving storm water quality, and other facility improvements.

The Project respects and implements policy directives specifically relating to the School site as expressed in the Community Plan, with respect to traffic, parking, open space preservation, and other community concerns, while allowing for the School expansion. In these ways, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the Project for this site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional City staff to determine construction will comply with all regulations, and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and that the final construction will comply with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, or welfare of persons residing or working in the area.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than will be achieved if designed in strict conformance with the development regulations of the

applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The Project is an amendment to the prior Planned Development Permit No. 84875 and Site Development Permit No. 215276 for the School. The amendment integrates proposed new facilities with existing facilities into one comprehensive master plan for the School. The Project has been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for coverage, open space, grading, landscaping, and all other relevant requirements of the RM-1-1 zone, with three deviations as allowed through the Planned Development Permit process. These deviations allow for building heights to increase slightly to allow elevator shafts to comply with the Americans with Disability Act accessibility requirements, increase height of light standards for an elevated playing area previously approved for the School, and a reduction in the street side yard setback requirement.

The three deviations from the RM-1-1 regulations are as follows:

Deviations from the RM-1-1 Regulations (SDMC Section 131.0431)			
Regulation No.	Code	Proposed	Building/Area/Facility
Overall Structure Height (Sec. 131.0431(e))	39 feet 6 inches, maximum	41 feet 2 inches *	Elevator shafts for Dining Hall and Athletic Offices
Overall Structure Height (Sec. 131.0431(e))	35 feet, maximum	47 feet **	Six light standards for the previously approved sports deck
Street Side Yard Setback (Sec.131.0443(d)(3))	123 feet minimum (distance based on lot width)	25 feet	From property line along west side at Northrim Court

* The allowed overall structure height is 39' 6", based on a zoning height limitation of thirty feet plus a grade differential of nine feet six inches as allowed per LDC Section 113.0270(a)(2)(B). The overall structure height to the top of the elevator shafts is 41' 2", which exceeds the allowed overall structure height by one foot eight inches.

** The allowed overall structure height is thirty-five feet, based on a zoning height limitation of thirty feet plus a grade differential of five feet as allowed per LDC Section 113.0270(a)(2)(B). From the ground level to the top of the light standards, the overall structure height is 47 feet, which exceeds the allowed overall structure height by twelve feet.

The deviation from the maximum overall structure height required by LDC Section 131.0431(e) for Building 900 and Building 201B is needed to accommodate an elevator shaft in each of the buildings. These elevator shafts are required to comply with the American with Disabilities Act accessibility requirements. The allowed overall structure height is 39' 6", based on a zoning height limitation of thirty feet plus a grade differential of nine feet six inches as allowed per LDC Section 113.0270(a)(2)(B). The overall structure height to the top of the elevator shafts is 41' 2", which exceeds the allowed maximum overall structure height by one foot eight inches. The height of these elevator shafts are predetermined, based on their mechanical functionality. The

portions of the shafts that extend above the roofline account for less than one percent of the total roof area, and will be architecturally integrated into the building.

The deviation from overall maximum structure height required by LDC Section 131.0431(e) will allow lighting of the elevated playing area. A lighting study prepared for the elevated playing area determined six pole lights, at a height of twenty-seven feet each measured from the deck, are required to adequately light the deck. The specific height of the light standards is needed to provide the proper angle to efficiently illuminate the playing area. The allowed overall structure height is thirty-five feet, based on a zoning height limitation of thirty feet plus a grade differential of five feet as allowed per LDC Section 113.0270(a)(2)(B). From the ground level to the top of the light standards, the overall structure height is 47' 0", which exceeds the allowed overall structure height by 12' 0". The proposed lighting will provide additional opportunities for recreational activities and extend the use of the facility. The height of the light standards is well below the height allowed for light standards on the adjacent sports field. These lights will be shielded to prevent light falling onto adjacent properties. There are no sensitive receptors immediately adjacent to the playing area. The playing area is bounded on the north by Linda Vista Road and on the east by Northrim Court and commercial uses. To the south and west are school facilities, including the reconfigured track and field, which provides a substantial buffer from the multi-dwelling unit residences located east and south of the campus. Additionally, the hours of operation for nighttime sports activities, and attendant lighting, are governed by the Planned Development Permit No. 1445155 and Site Development Permit No. 14451564.

The deviation from LDC Section 113.0443(d)(3) is required due to the width of the School site. At just over 1,230 linear feet, the required street side yard setback is 123 feet. A 25-foot street side yard setback will allow for the construction of the proposed Visitor Service building (Building 203) and Athletic Field Storage/Ticket Office (Building 202) that are part of the updated recreational facilities for the school, while maintaining a landscaped separation from Northrim Court. Requiring a 123-foot street side yard setback will either eliminate these two buildings or require expansion of the existing development envelope to accommodate them elsewhere on the property. Such expansion will involve encroaching into the sensitive slope areas on the project site. The reduced setback results in a more desirable project design by consolidating facilities within the existing development envelope and avoiding encroachment into sensitive resources. The proposed twenty-five foot street side yard setback is consistent with the ten to twenty foot street side yard setbacks observed elsewhere in the existing neighborhood. For these reasons, the proposed development will comply with the regulations of the Land Development Code including the proposed deviations pursuant to Section 126.0602(b)(1), which are appropriate for this location, and will result in a more desirable project than will be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

Site Development Permit – Section 126.0504**1. The proposed development will not adversely affect the applicable land use plan.**

The project site is designated for "School/Institution" and "Open Space" uses by the Linda Vista Community Plan and "Institutional & Public Semi-Public" uses by the General Plan. The Francis Parker School is a private, non-profit educational facility founded in 1912. The Project is an amendment to the prior approved Planned Development Permit No. 84875 and Site Development Permit No. 215276 for the School. The amendment integrates proposed new facilities with existing facilities into one comprehensive master plan for the School. Based on the above, and as reflected in the plans, studies, and analyses prepared for the project, the proposed development will not adversely affect the applicable land use plan. For additional information, see Planned Development Permit Finding #1 above which is incorporated by reference.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the Project for this site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations, and the inspection of construction to assure construction permits are implemented in accordance with the approved plans, and that the final construction will comply with all regulations. The proposed development will not be detrimental to the health, safety, or general welfare of persons residing or working in the area.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The Project has been designed to comply with the regulations of the San Diego Municipal Code, including requirements for coverage, open space, grading, landscaping and all other requirements of the development criteria for the RM-1-1 zone, with deviations as allowed through the Planned Development Permit process. Implementation of the Project as proposed will require three deviations. For additional information, see Planned Development Permit Finding # 3 above which is incorporated by reference.

A. Supplemental Findings – Environmentally Sensitive Lands**1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The Project is an amendment to the PDP/SDP for the School. The amendment integrates proposed new facilities with existing facilities into one comprehensive master plan for the School. As established by the prior approved Planned Development Permit No. 84875 and Site Development Permit No. 21527, the project site has a defined development footprint. The southern portion of the Project site contains steep slopes and sensitive biology, as defined by the Environmentally Sensitive Lands regulations.

All proposed development is located within the development footprint established by the prior approved Planned Development Permit No. 84875 and Site Development Permit No. 21527 and will not encroach into environmentally sensitive lands. A Covenant of Easement will be granted over the remaining on-site environmentally sensitive lands for the protection of sensitive biological resources and steep hillsides. Of the 22.45-acre site approximately 8.1-acres, or approximately thirty-six percent, of the site will be graded by the Project. No disturbance of environmentally sensitive lands will occur with the implementation of the Project.

The Project site is located within an existing urbanized area, characterized by a northeast-southwest trending mesa top that makes up the northerly two-thirds of the site. The site's perimeter is partially ringed by a series of ravines that cut into the edges of the mesa top from the south and south west. Elevations on the site range from approximately 220 to 286 feet above mean sea level. The mesa top is fully developed with the existing campus. The combination of natural topography and prior grading for the existing campus results in the mesa top sloping very gradually from north to south, ravines that make up the southerly one-third contain slopes in excess of twenty-five percent that face south, southwest, and west and connect with a larger adjacent canyon. In addition, a large manufactured excavated slope of up to approximately eighty feet in height was created for development of the adjacent Northrim Townhomes project immediately to the southwest of the existing athletic field. Portions of these slopes contain steep slopes and sensitive biology, as defined by the Environmentally Sensitive Lands regulations.

The Project required submission of several technical reports prepared by individuals licensed by the state of California to practice in these professional fields. These technical reports were reviewed by city staff also licensed by the State to practice their technical specialties. A Geotechnical Report was prepared by CTE Inc., a Conceptual Grading/Drainage Plan was prepared by Michael Baker International, Inc., a Storm Water Quality Management Plan was prepared by Michael Baker International, Inc., and a Soil Management Plan/Burn Ash Management Plan was prepared by AECOM. Review of these technical reports when considered in total indicates the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands. In addition, all proposed development is located within the established development footprint, and avoids encroachment into the perimeter sensitive lands.

Therefore, based on the above, and as reflected in the plans, studies, and analyses prepared for the Project, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

Per the hydrology report, the Project site is not within any mapped floodplain and is outside the limits of any floodway or special flood hazard area. Per the preliminary geotechnical report, the Project site is not subject to landslide and there are no known active fault traces that underlie or project toward the site. Also, the site is not located within an earthquake fault zone as defined by the Alquist-Priolo Earthquake Fault Zoning Act.

To address potential fire hazards, a Fire Access Plan was prepared for the Project. The Fire Access Plan was reviewed and accepted by the City for compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, emergency access, and brush management.

The Project improvements will occur within the existing development footprint established by the prior approved Planned Development Permit No. 84875 and Site Development Permit No. 21527. Of the 22.45-acre site approximately 8.1-acres, or approximately thirty-six percent, of the site will be graded by the Project. All of the grading activities will occur within the existing development footprint established by the prior discretionary permits. No grading will impact any environmentally sensitive lands. The total amount of all grading will be approximately 46,000 cubic yards of material. Of the 46,000 cubic yards, 41,000 cubic yards will be excavated for the proposed subterranean two level parking garage, 5,000 cubic yards will be excavated for the manipulation of the site to implement the Project. Grading quantities do not include excavations for building or retaining walls foundations, underground utilities or shrink swell adjustments of excavation or embankment. The Project will export approximately 45,000 cubic yards of material. The maximum depth of excavation and embankment will be approximately three feet. Maximum height of slopes will be approximately three feet with a 2:1 slope ratio. Retaining walls will total approximately 360 linear feet with a maximum height of approximately fourteen feet. No disturbance of Environmentally Sensitive Lands will occur with the implementation of the Project.

Therefore, the proposed development will minimize the alteration of natural landforms by remaining within an established development footprint and, based on technical studies and plans prepared for the Project, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The Project is contained within the development footprint established by the prior approved Planned Development Permit No. 84875 and Site Development Permit No. 21527. The site is within a fully urbanized area. The site is bounded on the north by Linda Vista Road, on the east by Northrim Court and multi-dwelling unit residential development, to the west by the San Diego Office of Education, and to the west and south are two north/south trending undeveloped open space areas. As established by the previous entitlement permits, the Project site has a defined development footprint. The areas of the site which are undeveloped and contain biological resources and/or steep slopes will have a Covenant of Easement granted over these environmentally sensitive lands for the protection of sensitive biological resources and steep

hillsides. The protection of these sensitive biological resources and steep hillsides will provide a buffer between the development footprint of the Project and any adjacent property which has environmentally sensitive lands present. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The Project integrates the proposed new facilities with existing facilities into one comprehensive master plan for the School. The Project site is not within the Multi-Habitat Planning Area of the City's Multiple Species Conservation Plan, and neither connects or is adjacent to any lands designated Multi-Habitat Planning Area. As established by the previous permits, the project site has a defined development envelope. Therefore the development is consistent with the City of San Diego's Multiple Species Conservation Program Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The 22.45-acre site is located at 6501 Linda Vista Road in the OR-1-1 & RM-1-1 zones within the Linda Vista Community Plan area. The site is more than two miles from Mission Bay, more than three miles from San Diego Bay and approximately 4.5 miles from the Pacific Ocean. The drainage design of the Project, the Best Management Practices that address stormwater runoff and the responsible management of the site will assure the Project will not impact the local shoreline sand supply and will not contribute to the erosion of public beaches 4.5 miles to the west. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed development is an amendment to the prior approved Planned Development Permit No. 84875 and Site Development Permit No. 21527 for the School. The Project integrates the proposed new facilities with existing facilities into one comprehensive master plan for the School. All of the mitigation required as a condition of the permit has been determined to be appropriate for the Project according to current best practices and scientific analysis as is reasonably known or expected. All mitigation required of the Project is balanced and reasonably related to, and calculated to alleviate, negative impacts created by the proposed development so that negative impacts will not be the result of the proposed development. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1445155 and Site Development Permit No. 1445156 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form,

exhibits, terms and conditions as set forth in Permit Nos. 1445155 and 1445156, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: July 28, 2016

IO#: 24005672

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005672

PLANNED DEVELOPMENT PERMIT NO. 1445155 and
SITE DEVELOPMENT PERMIT NO. 1445156
FRANCIS PARKER MASTER PLAN AMENDMENT PROJECT NO. 412987
Amending Planned Development Permit No. 84875 and
Site Development Permit No. 215276
PLANNING COMMISSION

This Planned Development Permit No. 1445155 and Site Development Permit No. 1445156, amending Planned Development Permit No. 84875 and Site Development Permit No. 215276, is granted by the Planning Commission of the City of San Diego to FRANCIS PARKER SCHOOL, a non-profit public benefit corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0604 and 126.0504. The 22.45-acre site is located at 6501 Linda Vista Road in the OR-1-1 & RM-1-1 zones of the Linda Vista Community Plan. The project site is legally described as Parcel 1 of Parcel Map No. 5465, filed January 6, 1977 in the Office of the County Recorder of San Diego County, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to increase student population to 940, demolish three buildings of approximately 41,229 square feet, retain existing buildings of approximately 133,753 square feet, add new buildings of approximately 103,182 square feet, construct a two-level underground parking structure providing 279 parking spaces, bringing the total parking spaces on the site to 517 spaces, and an outdoor aquatic center, and reorient the existing football field to add an eight-lane track for track and field events, with three deviations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 28, 2016, on file in the Development Services Department.

The project shall include:

- a. Increase student population to 940, demolish three buildings of approximately 41,229 square feet, retain existing buildings of approximately 133,753 square feet, and add new buildings of approximately 103,182 square feet, construction of a two-level underground parking structure providing 279 parking spaces bringing the total parking spaces on the site to 517 spaces, an outdoor aquatic center and reorient the existing football field to add an eight-lane track for track and field events, with three deviations;
- b. Three deviations from the RM-1-1 regulations are as follows:

Deviations from the RM-1-1 Regulations (SDMC Section 131.0431)			
Regulation No.	Code	Proposed	Building/Area/Facility
Overall Structure Height (Sec. 131.0431(e))	39 feet 6 inches, maximum	41 feet 2 inches *	Elevator shafts for Dining Hall and Athletic Offices
Overall Structure Height (Sec. 131.0431(e))	35 feet, maximum	47 feet **	Six light standards for the previously approved sports deck
Street Side Yard Setback (Sec.131.0443(d)(3))	123 feet minimum (distance based on lot width)	25 feet	From property line along west side at Northrim Court

* The allowed overall structure height is 39' 6", based on a zoning height limitation of thirty feet plus a grade differential of nine feet six inches as allowed per LDC Section 113.0270(a)(2)(B). The overall structure height to the top of the elevator shafts is 41' 2", which exceeds the allowed overall structure height by one foot eight inches.

** The allowed overall structure height is thirty-five feet, based on a zoning height limitation of thirty feet plus a grade differential of five feet as allowed per LDC Section 113.0270(a)(2)(B). From the ground level to the top of the light standards, the overall structure height is 47 feet, which exceeds the allowed overall structure height by twelve feet.

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. 517 off-street parking spaces;
- e. Energy efficient appliances and lighting (light-emitting diodes) for energy savings, installation of photovoltaic solar panels on the roof of the Performing Arts Center, installation of electric vehicle charging stations in the parking lot, use variable refrigerant flow with "smart" temperature control thermostats, and cool roof technology, expansion of the School's waste recycling program, with a minimum of seventy-five percent of construction materials to be recycled, as well as landscaping, concrete, asphalt, foundations, building structures, switch gear, and cable, and recycling at least fifty percent

of its solid waste stream by providing separate storage and collection areas for recyclables, implementation of a composting program with the City of San Diego, a reduction in water consumption, installation of drought tolerant landscaping and water conserving fixtures for all new construction, including use of artificial turf for the reconfigured athletic field and shade trees are proposed in all parking lots and on the south and west sides of new buildings;

- f. 1. Athletic field activities will end and athletic field lights turned off by 10:00 p.m. except where play-off games enter overtime and California Interscholastic Federation regulations require the game not end in a tie. In no case will the activities extend beyond or the lights remain on after 11:00 p.m., regardless of the event;
2. All outdoor lighting, except lighting deemed necessary for safety and security purposes, will be turned off between 11:00 p.m. and 6:00 a.m.;
3. Activities on the athletic fields will begin no earlier than 8:00 a.m. on Saturdays and 9:00 a.m. on Sundays;
4. Evening events, defined for purposes of this project as events that continue past 8:00 p.m. and which take place wholly or partially on the athletic fields, will be limited to sixty evening events per year, and no more than three in any one week, Sunday to Saturday;
5. The public address (PA) system on the athletic fields will be located on the northwestern portion of the fields to ensure a minimum distance of 296 feet between the PA system and the property line and the sound output of the PA system at this location will be limited to 90 dBA. Alternatively, upon approval by the Development Services Department of an updated Noise Attenuation Study, a PA system may be located in another location, including on the east side of the athletic fields facing west, provided that the one-hour average sound level does not exceed the City's Noise Ordinance;
6. Solid waste will be managed in compliance with the Waste Management Plan prepared for the Francis Parker School – Linda Vista Campus Master Plan Update, by KLR Planning, dated June 2015;
7. The athletic fields lighting system will provide no more than 4.7 foot-candles along the property line with Linda Vista Road and no more than 3.0 foot-candles along the property line adjacent to Northrim Court;
8. If facilities are rented out for use in the evening or on a weekend, the Northrim Court gate will be either closed and locked or a traffic monitor, trained by licensed traffic engineers consistent with California State and National guidelines, will be posted on-site at the driveway to direct traffic entering and leaving the campus at this driveway;
9. During school arrival peak periods 7:30 – 8:30 a.m. and school departure peak periods 2:30 – 3:30 p.m., Monday through Friday, traffic monitors, trained by licensed traffic engineers consistent with California State and National guidelines, will be posted on-site at the Alcala Knolls driveway, the garage access driveway on Linda Vista Road, and the Northrim Court driveway to direct traffic entering and leaving the campus;
10. During Special Events, each defined as an event that occurs during times when school classes are in session which event is expected to draw more than 200 vehicles to the campus, traffic monitors, trained by licensed traffic engineers consistent with California State and National guidelines, will be posted on-site at the Alcala Knolls driveway, the garage access driveway on Linda Vista Road, and the Northrim Court driveway to direct traffic entering and leaving the campus;

11. During all special events as defined in f.10 above, the "Special Event Parking and Traffic Control Procedures" provided in Appendix K of the Traffic Impact Analysis for Francis Parker School Master Plan Update, dated February 12, 2016, will be maintained and utilized;

12. The driveway to be constructed on Northrim Court will not be open for construction traffic use; and

- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 12, 2019.

2. This Planned Development Permit No. 1445155 and Site Development Permit No. 1445156 amends and supersedes Planned Development Permit No. 84875 and Site Development Permit No. 215276 as described on the approved Exhibit "A." Where there is a conflict between this Permit and Planned Development Permit No. 84875 and Site Development Permit No. 215276, this Permit shall prevail. The entitlement and conditions of Planned Development Permit No. 84875 and Site Development Permit No. 215276 shall remain in force and effect except to the extent amended by this Permit.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions,

including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. This Permit may be developed in phases. All development shall be consistent with the conditions and the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

14. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 412987 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 412987 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources (Paleontology)
 Hazards and Hazardous Materials
 Transportation/Traffic

ENGINEERING REQUIREMENTS:

16. The project proposes to export 45,000 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard concrete driveways, per approved Exhibit "A", adjacent to the site on Linda Vista Road and Northrim Court, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard SDG-102 bus stop slab adjacent to the site on Linda Vista Road, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of approval of the ministerial permit.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices maintenance, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
24. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-0009 DWQ as amended by Order No. 2012-0006 DWQ and the San Diego Regional Water Quality Control Board (SDRWQCB) Order No. R9-2013-0001, as amended by Order Nos. R9-2015-0001 and R9-2015-0100. Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.
25. Copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2012-0006-DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2012-0006-DWQ.
26. Prior to the issuance of any construction permit, the Storm Water Quality Management Plan and Hydrology Study shall be subject to final review and approval by the City Engineer.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of construction permits for grading, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A."
28. Prior to issuance of construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall

provide a forty square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A." These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

30. Prior to issuance of any construction permits for buildings, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A."

31. The Owner/Permittee shall maintain all landscape in a disease-, weed-, and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

33. The Owner/Permittee shall ensure that all proposed landscaping, especially landscaping adjacent to native habitat, shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the City of San Diego's Land Development Manual, Landscape Standards are prohibited.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

34. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A."

35. Prior to issuance of any construction permits for grading, Landscape Construction Documents required for the construction permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

36. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshal. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412 (Ordinance 19413).

37. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."

38. In Zone One, plant material shall visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis Section and the Environmental Analysis Section of the Development Services Department.

39. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is to be revegetated, fifty percent of the planting area shall be seeded with material that does not grow taller than twenty-four inches in height.

40. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshal and Development Services Department approval.

41. The Brush Management Program shall consist of two zones consistent with the Brush Management Regulations of the Land Development Code Section 142.0412 as follows:

- A. Zone One: A standard Zone One of 25-feet shall be observed along the southeast perimeter extending from Buildings 102, 103, 400, 302, and 303. A Zone One of forty-feet shall extend from the southeast corner of Building 700 to the edge of the concrete walkway at the top of slope. Along the southwest portion of the campus, Zone One shall measure a minimum of forty-feet and encompass the entire width of the paved interior fire access roadway extending from Buildings 102, 101, 100, and 105. A thirty-foot Zone One at Building 105 will be observed where the access road narrows.
- B. Zone Two: A standard Zone Two of thirty-feet shall be observed along the southeast perimeter extending from Buildings 102, 103, 400, 302, and 303. At the southeast corner of Building 700, Zone Two may be decreased by two-feet for every one-foot expansion of Zone One. Therefore Zone Two shall taper to an end point where Zone One is forty-feet or greater. At Building 105, a 20-foot Zone Two shall be observed. No Zone Two is required along the paved interior fire access roadway as Zone One is forty-feet or greater.

PLANNING/DESIGN REQUIREMENTS:

42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

43. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC. All lights will be shielded to prevent light falling onto adjacent properties. The light level from the new playing field lights shall be zero at the property line.
44. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources, in accordance with SDMC section 143.0152.
45. All signs associated with this development shall be consistent with the sign criteria established by the City-wide sign regulations.
46. No mechanical equipment, tank, duct, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers, and latticework.
47. Prior to issuance of building permits, construction documents shall fully illustrate compliance with the City-wide Storage Standards for trash and recyclable materials to the satisfaction of the Development Services Department. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupant of and service providers to the project.

TRANSPORTATION REQUIREMENTS:

48. The Owner/Permittee shall maintain the 290 parking spaces required by Planned Development Permit No. 84875 and Site Development Permit No. 215276, on the site, or enter into one or more off-site parking agreements to the satisfaction of the City Engineer, at all times during construction of all phases authorized by this Permit. At the completion of all phases of construction authorized by this Permit, the Owner/Permittee shall maintain no fewer than 306 parking spaces (517 spaces proposed) on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.
49. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of all non-utilized driveways along the project's frontage on Linda Vista Road with current City Standard curb and gutter, satisfactory to the City Engineer.
50. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the installation of a 130 foot median along the project's frontage on Linda Vista Road as shown on the approved Exhibit "A," satisfactory to the City Engineer.
51. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the installation of a new traffic signal at the intersection of Linda Vista Road and Northrim

Court, with signal interconnect to the adjacent traffic signals, and install striping to provide a left-turn lane and right-turn lane on Northrim Court, satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS:

52. Prior to issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department.

53. Prior to exoneration of the bond and grading permit close-out, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

54. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate above ground private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. Back flow prevention devices are typically located on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required back flow prevention devices to be located below grade or within the structure.

55. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

56. All proposed public water and sewer facilities, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto.

57. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 28, 2016 by Resolution [Approved Resolution Number].

DRAFT

Permit Type/PTS Approval No.: PDP No. 1445155 and SDP No. 1445156

Date of Approval: July 28, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Francis Parker School,
a non-profit public benefit corporation
Owner/Permittee

By _____
Kevin Yaley
Head of School

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

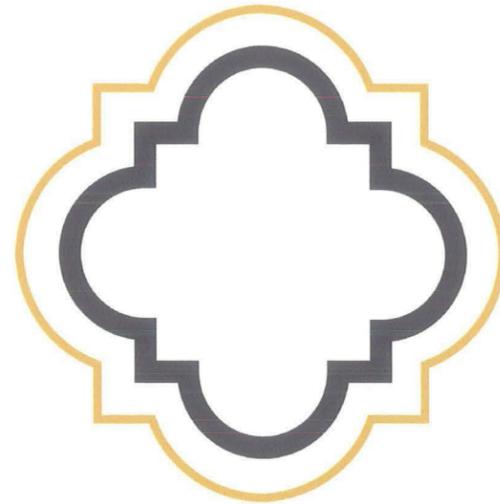
CERTIFICATION STATEMENT:

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS, AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL:

Jeff Barfield
JEFF BARFIELD, AICP DATE: 8/28/2015



FRANCIS PARKER SCHOOL

as far as the mind can see

DEVELOPMENT SUMMARY

PROPOSED USE
PROJECT PROPOSES AN UPDATE TO THE EXISTING MASTER PLAN FOR THE FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS. A PRIVATE MIDDLE AND UPPER SCHOOL SERVING GRADES 6-12. THE PROJECT AMENDS PLANNED DEVELOPMENT PERMIT NO. 84875/SDP DEVELOPMENT PERMIT (ESL) NO. 215276.

THE BUILDING SUMMARY ON SHEET C-1 PROVIDES A TABULATION OF BUILDINGS TO BE DEMOLISHED, BUILDINGS TO REMAIN, AND PROPOSED BUILDINGS. BUILDING NUMBERS CORRESPOND TO THE SCHOOL'S CURRENT NUMBERING SCHEME, WITH A REFERENCE TO BUILDING NUMBERS PREVIOUSLY USED IN APPROVED PDP NO. 84875/SDP NO. 215276. AS MODIFIED BY SCR NO. 1 (PTS 1334) AND SCR NO. 2 (PTS 31579).

THIS AMENDMENT INCLUDES DEMOLITION OF:
• EXISTING BUILDING NO. 001
• EXISTING BUILDING NO. 002
• EXISTING BUILDING NO. 003

THIS AMENDMENT PROPOSES THE FOLLOWING NEW FACILITIES:
• BUILDING NO. 106 UPPER SCHOOL STUDENT CENTER
• BUILDING NO. 200 GYMNASIUM
• BUILDING NO. 201 LANCER LOBBY
• BUILDING NOS. 201A AND 201B ATHLETIC COMPLEX AND OFFICES
• BUILDING NO. 202 FIELD STORAGE/TICKET OFFICE
• BUILDING NO. 203 VISITOR SERVICES
• BUILDING NO. 300 MIDDLE SCHOOL MULTI-PURPOSE
• BUILDING NO. 401 MAKER'S SPACE
• BUILDING NO. 900 DINING HALL
• SUBTERRANEAN PARKING GARAGE UNDER BUILDING NOS. 200 AND 900
• GH #2 GUARD HOUSE AT EASTERN LINDA VISTA ENTRANCE
• OUTDOOR AQUATIC CENTER (POOL & BLEACHERS)
• RE-ORIENTATION OF ATHLETIC FIELD
• ADDITION OF REGULATION RUNNING TRACK
• GH #3 AT NORTHERN COURT ENTRANCE

EXISTING USE
FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS, AN INDEPENDENT MIDDLE AND UPPER SCHOOL SERVING GRADES 6-12.

REQUIRED PERMITS/APPROVALS
PROJECT REQUIRES AN AMENDMENT TO PLANNED DEVELOPMENT PERMIT NO. 84875/SDP DEVELOPMENT PERMIT (ESL) NO. 215276.

NOTE: ALL PREVIOUS CONDITIONAL USE PERMITS AND AMENDMENTS THERETO FOR THIS PROPERTY WERE CANCELED BY RESOLUTION RECORDED AS DOCUMENT NO. 2014-0565659.

EXISTING DEVIATIONS GRANTED PER PDP NO. 84875/SDP (ESL) NO. 215276 TO BE RETAINED WITH THIS AMENDMENT
• BUILDINGS 105 AND 300 (NOW BUILDING 500) - BUILDING HEIGHT OF 35'
• BUILDING 200 (NOW BUILDING 400) HEIGHT NOT TO EXCEED 30 FEET FROM 2005 GRADE
• ATHLETIC FIELD LIGHT POLES: 17, 50 AND 90' IN HEIGHT
• ENCROACHMENT INTO STEEP SLOPE AND SENSITIVE HABITAT (APPROVED ESL LIMITS ARE SHOWN ON SHEET C-4)
• 12 SURFACE PARKING SPACES INTO STREET SIDE YARD SETBACK

DEVIATIONS REQUESTED WITH THIS AMENDMENT
HEIGHT DEVIATION REQUESTED FROM ALLOWED OVERALL STRUCTURE HEIGHT PER MUNI. CODE SEC. 113.0270(A)(2)(B) REQUESTED TO ACCOMMODATE ELEVATOR SHAFT ON BUILDING NO. 900 (DINING HALL) AND ELEVATOR SHAFT ON BUILDING NO. 201B (ATHLETIC OFFICES). HEIGHT DEVIATION REQUESTED FROM ALLOWED OVERALL STRUCTURE HEIGHT PER MUNI. CODE SEC. 113.0270(A)(2)(B) REQUESTED TO ACCOMMODATE SIX POLE LIGHTS FOR ELEVATED SPORTS DECK. SEE SHEETS A1.7 AND A2.0 FOR DETAILED AREAS OF PROPOSED HEIGHT DEVIATION.

DEVIATION REQUESTED FROM MUNI. CODE SEC. 113.0440(D)(3) TO ALLOW A STREET SIDE SETBACK OF 25 FEET ALONG NORTH RIM COURT, WHERE A MINIMUM 10 FEET OF 10% OF THE PREMISES WIDTH, WHICHEVER IS GREATER, IS REQUIRED.

LEGAL DESCRIPTION
PARCEL 1 OF PARCEL MAP NO. 5465, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED JANUARY 5, 1977 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ASSESSOR PARCEL NUMBER
437-020-12

ADDRESS
6501 LINDA VISTA ROAD

TYPE OF CONSTRUCTION
I/A WITH AUTOMATIC FIRE SPRINKLER SYSTEM FOR AREA INCREASE

OCCUPANCY CLASSIFICATION
ASSEMBLY - A-1
EDUCATION - E
OFFICES - B
STORAGE - S
PARKING - S-2

ZONING
EXISTING: RM-1-1 WITHIN AREA OF DEVELOPMENT. OR-1-1 (PERIMETER SLOPES) - NO CHANGE PROPOSED.

GENERAL PLAN DESIGNATION
INSTITUTIONAL & PUBLIC AND SEMI-PUBLIC FACILITIES - NO CHANGE PROPOSED.

LINDA VISTA COMMUNITY PLAN DESIGNATION
SCHOOL, OPEN SPACE (PERIMETER SLOPES) - NO CHANGE PROPOSED.

SITE AREA
22.45 ACRES GROSS, 22.04 NET

GROSS FLOOR AREA
EXISTING (TO REMAIN) 133,753 SF
PROPOSED 103,182 SF
TOTAL GFA 236,935 SF

SEE SHEET A0.1 FOR GFA BREAKDOWN

ALLOWED FLOOR AREA RATIO
0.15

PROPOSED FLOOR AREA RATIO
0.25 SEE SHEET A0.1 FOR FAR CALCULATION

GEOLOGIC HAZARD CATEGORY
52

LANDSCAPE SQUARE FOOTAGE
SEE SHEETS LC-1.0 AND LC-2.0 FOR LANDSCAPE CALCULATIONS

SHEET INDEX:

SHEET NO.:	SHEET TITLE:
1	T-1: TITLE SHEET
2	C-1: CIVIL SITE PLAN
3	C-2: GRADING, DRAINAGE & UTILITIES PLAN
4	C-3: SITE CROSS SECTIONS
5	C-4: EXISTING CONDITIONS
6	AD-1: ARCHITECTURAL SITE PLAN
7	AD-2: ACCESSIBILITY PLAN
8	A1.1: DINING/ATHLETIC COMPLEX MAIN LEVEL
9	A1.2: DINING/ATHLETIC COMPLEX UPPER LEVEL
10	A1.3: ATHLETIC COMPLEX LOWER LEVEL & PARKING LEVEL 1
11	A1.4: PARKING LEVEL 2
12	A1.5: ATHLETIC COMPLEX ROOF PLAN
13	A1.6: VISITOR SERVICES
14	A1.7: ELEVATED SPORTS DECK
15	A1.8: GUARD HOUSE #2 & #3
16	A2.0: DINING/ATHLETIC COMPLEX ELEVATIONS
17	A2.1: DINING/ATHLETIC COMPLEX SECTIONS
18	AE1.1: SPORTS FIELD LIGHTING STUDY
19	AE1.2: SPORTS DECK LIGHTING STUDY
20	LC-1.0: LANDSCAPE DEVELOPMENT PLAN
21	LC-1.1: LANDSCAPE DEVELOPMENT PLAN ENLARGEMENT
22	LC-1.2: LANDSCAPE DEVELOPMENT PLAN LEGEND, NOTES, & INTERIM PARKING
23	LC-1.3: LANDSCAPE CALCULATIONS PLAN
24	LC-2.0: BRUSH MANAGEMENT PLAN
25	LC-3.0: AREA OF WORK PLAN

MAXIMUM HEIGHT
30' REQUIRED AND PROPOSED EXCEPT AS ALLOWED BY DEVIATION GRANTED PER PDP NO. 84875/SDP (ESL) NO. 215276 AND AS IDENTIFIED ON SHEETS A1.7 AND A2.0

PARKING
REQUIRED PARKING FOR GRADES 6-8:
30 SPACES PER 1,000 SF OF ASSEMBLY
4,000 SF OF ASSEMBLY (BLDG 300, 2ND FLOOR)
30 SF X (4,000 / 1,000) = 120 SPACES REQUIRED

REQUIRED PARKING FOR GRADES 9-12:
31 SPACES PER 1,000 SF OF ASSEMBLY
3,000 SF OF ASSEMBLY (BLDG 106)
31 SF X (3,000 / 1,000) = 93 SPACES REQUIRED

REQUIRED PARKING FOR GRADES 10-12:
1 SPACE PER 5 STUDENTS
455 STUDENTS IN GRADES 10-12
1 SF X (455 / 5) = 93 SPACES REQUIRED

TOTAL PARKING REQUIRED = 306 SPACES

PARKING PROVIDED:
SURFACE PARKING 238 SPACES
UNDERGROUND PARKING 293 SPACES
TOTAL PARKING PROVIDED 521 SPACES

TOTAL PARKING INCLUDES:

ACCESSIBLE SPACES
REQUIRED RATIO: 2% OF OVERALL PARKING SPACES PROVIDED
CALCULATION: 02 X 521 = 10.42 SPACES
VAN ACCESSIBLE REQUIRED: 1 PER 8 ACCESSIBLE SPACES
ACCESSIBLE SPACES REQUIRED: 11, INCLUDING 1 VAN ACCESSIBLE
ACCESSIBLE SPACES PROVIDED: 11, INCLUDING 1 VAN ACCESSIBLE

LOW-EMISSION/CARPOOL SPACES
REQUIRED RATIO: 8% OF MINIMUM REQUIRED AUTO SPACES
CALCULATION: 0.08 X 306 (MINIMUM REQUIRED AUTO) = 24.48
DESIGNATED LOW-EMISSION/CARPOOL SPACES REQUIRED: 25
DESIGNATED LOW-EMISSION/CARPOOL SPACES PROVIDED: 25

ADDITIONAL PARKING

MOTORCYCLE PARKING
REQUIRED RATIO: 2% OF MINIMUM REQUIRED AUTO SPACES
CALCULATION: 0.02 X 306 (MINIMUM REQUIRED AUTO) = 6.12
MOTORCYCLE SPACES REQUIRED: 7
MOTORCYCLE SPACES PROVIDED: 7

BICYCLE PARKING
REQUIRED RATIO FOR SHORT-TERM: 0.1 SPACE PER 1,000 SF OF BUILDING FLOOR AREA, EXCLUDING AREA DEVOTED TO PARKING
CALCULATION: 214,842 SF (EXCLUDES PARKING AND PHANTOM FLOOR AREA) / 1,000 = 214.842 X 1 = 21.4843
SHORT-TERM BICYCLE SPACES REQUIRED: 22

REQUIRED RATIO FOR LONG-TERM: 5% OF MINIMUM REQUIRED AUTO SPACES
CALCULATION: 0.05 X 306 (MINIMUM REQUIRED AUTO) = 15.3
LONG-TERM BICYCLE SPACES REQUIRED: 16

TOTAL SHORT- AND LONG-TERM BICYCLE SPACES REQUIRED: 38
TOTAL SHORT- AND LONG-TERM BICYCLE SPACES PROVIDED: 38

SCHOOL BUS PARKING
SCHOOL BUS SPACES PROVIDED: 13

SEE SHEETS C-1, A1.3, AND A1.4 FOR PARKING CALCULATION AND DETAILS

EXISTING STRUCTURES
SEE HISTORICAL SURVEY REPORT PREPARED BY LAW OFFICE OF MARIE BURKE LIA, INCLUDED WITH THIS AMENDMENT

PEDESTRIAN PATH OF TRAVEL
SEE SHEET A0.2

NEAREST BUS STOP
LINDA VISTA ROAD AT ALCALA KNOLLS DRIVE (MTS ROUTE # 44)

SOURCE OF TOPOGRAPHY
AERIAL SURVEY BY VERTICAL MAPPING RESOURCES, INC. APRIL 2007 WITH SUPPLEMENTAL SURVEY BY RBF CONSULTING, AUGUST 2014 AND JANUARY 2015

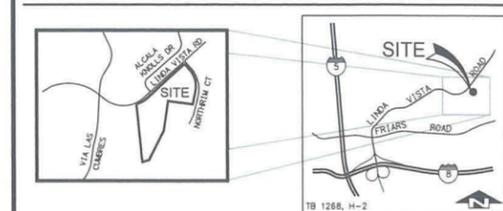
BENCHMARK
BRASS PLUS AT SOUTHEAST CURB RETURN OF LINDA VISTA ROAD AND GLIDDEN STREET PER CITY OF SAN DIEGO VERTICAL CONTROL. ELEV = 300.156 MSL (CITY DATM NGVD 1929)

BASIS OF BEARINGS
CALIFORNIA COORDINATE SYSTEM (NAD 83) ZONE 5 AS DETERMINED BY THE LINE BETWEEN STATION 945 AND STATION 949 PER RDS 14492 WITH A BEARING OF N43°07'56"E

* PROJECT TEAM *

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: MIKE RINEHART TEL: (858) 427-1739	ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTMAN TEL: (619) 692-9393
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 236-1462

* PROJECT LOCATION *



CCS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

Prepared By: MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: 12/11/2015 Revision 2: 08/28/2015 Revision 1: 08/23/2015
Project Address: 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111	Original Date: 02/27/2015
Project Name: FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE	Sheet 1 of 25 PTS# 412887

Sheet Title:
TITLE SHEET

SHEET T-1

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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

BUILDING SUMMARY				
BUILDINGS TO BE DEMOLISHED				
BLDG NO	BUILDING PURPOSE	FIRST LEVEL SF	SECOND LEVEL SF	TOTAL SF
101	FIELD HOUSE	120,011	(1,132)	121,143
102	MIDDLE SCHOOL LOCKER ROOMS	18,451	0	18,451
302	CAMPUS AND MIDDLE SCHOOL STPM	13,828	0	13,828
TOTAL		152,290	0	152,290

EXISTING BUILDINGS TO REMAIN					
BLDG NO	PREVIOUS BLDG NO	BUILDING PURPOSE	FIRST LEVEL SF	SECOND LEVEL SF	TOTAL SF
100	101	UPPER SCHOOL OFFICES AND CLASSROOMS	3,106	3,106	6,212
101	101	UPPER SCHOOL CLASSROOMS	4,554	4,554	9,108
102	102	UPPER SCHOOL CLASSROOMS	3,240	3,240	6,480
103	103	UPPER SCHOOL CLASSROOMS	6,028	3,208	9,236
104	104	UPPER SCHOOL CLASSROOMS	1,451	0	1,451
105	105	UPPER SCHOOL SCIENCE CENTER	7,796	7,296	15,092
300-001	001	MIDDLE SCHOOL MATH SERVICES CLASSROOMS	6,684	0	6,684
300-002	002	MIDDLE SCHOOL OFFICE AND CLASSROOMS	7,159	7,159	14,318
600	600	LIBRARY	5,442	4,092	9,534
300-003	003	ADMINISTRATIVE STUDENT SERVICES	11,402	11,912	23,314
501	501	TRANSPORTATION & MAINTENANCE WORK SHED	699	0	699
600	600	VISUAL ARTS, MIDDLE SCHOOL COMMUNITY ART GALLERY	3,022	6,555	9,577
700	700	LEGISLATIVE HALL (ORINELLO HALL)	5,413	0	5,413
800	800	THEATRE	4,319	3,019	7,338
900	900	PROFESSIONAL ARTS CENTER (RAC)	4,181	1,742	5,923
00-001	001	GUARD HOUSE	73	0	73
TOTAL			77,546	54,867	132,413

PROPOSED BUILDINGS					
BLDG NO	BUILDING PURPOSE	FIRST LEVEL SF	SECOND LEVEL SF	PHANTOM FLOOR SF	TOTAL SF
106	UPPER SCHOOL STUDENT CENTER CLASSROOMS	1,000	1,000	0	2,000
306	GYMNASIUM AND SECOND LEVEL CLASSROOMS	24,500	3,767	20,890	49,157
307	VISITOR LOBBY	3,287	0	1,181	4,468
201A	ATHLETIC COMPLEX WITH PRESS BOX AND OFFICES	5,569	3,106	0	8,675
201B	ATHLETIC COMPLEX WITH OFFICES	5,482	2,644	0	8,126
302	FIELD STORAGE/FORECAST OFFICE	1,561	0	0	1,561
303	VISITOR SERVICES	1,173	0	0	1,173
305	MIDDLE SCHOOL MULTIPURPOSE	3,200	0	0	3,200
401	LOCKER SPACE	4,038	0	0	4,038
600	DRIVING HALL	7,492	4,823	0	12,315
600	GUARD HOUSE	73	0	0	73
600	GUARD HOUSE	73	0	0	73
TOTAL		59,663	21,300	22,019	102,982

TOTAL GFA	
EXISTING TO REMAIN	PROPOSED BUILDINGS
132,413 SF	102,982 SF
TOTAL	235,395 SF

PARKING SUMMARY	
REQUIRED PARKING FOR GRADES 9-12	PARKING SPACE DESIGNATION
35 SPACES PER 1,000 SF OF ASSEMBLY	4,000 SF OF ASSEMBLY (BLDG 303, 2ND FLOOR)
30 SP X (14.000 - 1.000) = 120 SPACES REQUIRED	17-86 VISITORS
	67-114 VISITORS
	115-238 STUDENTS
REQUIRED PARKING FOR GRADES 9-12 OFFICES	1.283 STUDENTS
20,015 AT-LETIC COMPLEX WITH OFFICES	
302 FIELD STORAGE/FORECAST OFFICE	
303 VISITOR SERVICES	
305 MIDDLE SCHOOL MULTIPURPOSE	
401 LOCKER SPACE	
600 DRIVING HALL	
600 GUARD HOUSE	
600 GUARD HOUSE	
TOTAL PARKING PROVIDED = 521 SPACES	

ACCESSIBLE SPACES
 REQUIRED RATIO: 2% OF OVERALL PARKING SPACES PROVIDED
 CALCULATION: 0.02 X 521 = 10.42 SPACES
 VAN ACCESSIBLE REQUIRED: 1 PER 6 ACCESSIBLE SPACES
 ACCESSIBLE SPACES PROVIDED: 11, INCLUDING 1 VAN ACCESSIBLE
 ACCESSIBLE SPACES PROVIDED: 11, INCLUDING 1 VAN ACCESSIBLE

LOW EMISSION CARPOOL SPACES
 REQUIRED RATIO: 8% OF MINIMUM REQUIRED AUTO SPACES
 CALCULATION: 0.08 X 306 (MINIMUM REQUIRED AUTO) = 24.48
 DESIGNATED LOW EMISSION CARPOOL SPACES REQUIRED: 25
 DESIGNATED LOW EMISSION CARPOOL SPACES PROVIDED: 25

ADDITIONAL PARKING
 MOTORCYCLE PARKING
 REQUIRED RATIO: 2% OF MINIMUM REQUIRED AUTO SPACES
 CALCULATION: 0.02 X 306 (MINIMUM REQUIRED AUTO) = 6.12
 MOTORCYCLE SPACES PROVIDED: 7
 MOTORCYCLE SPACES PROVIDED: 7

BICYCLE PARKING
 REQUIRED RATIO: 1% OF MINIMUM REQUIRED AUTO SPACES
 CALCULATION: 0.01 X 306 (MINIMUM REQUIRED AUTO) = 3.06
 SHORT-TERM BICYCLE SPACES PROVIDED: 22

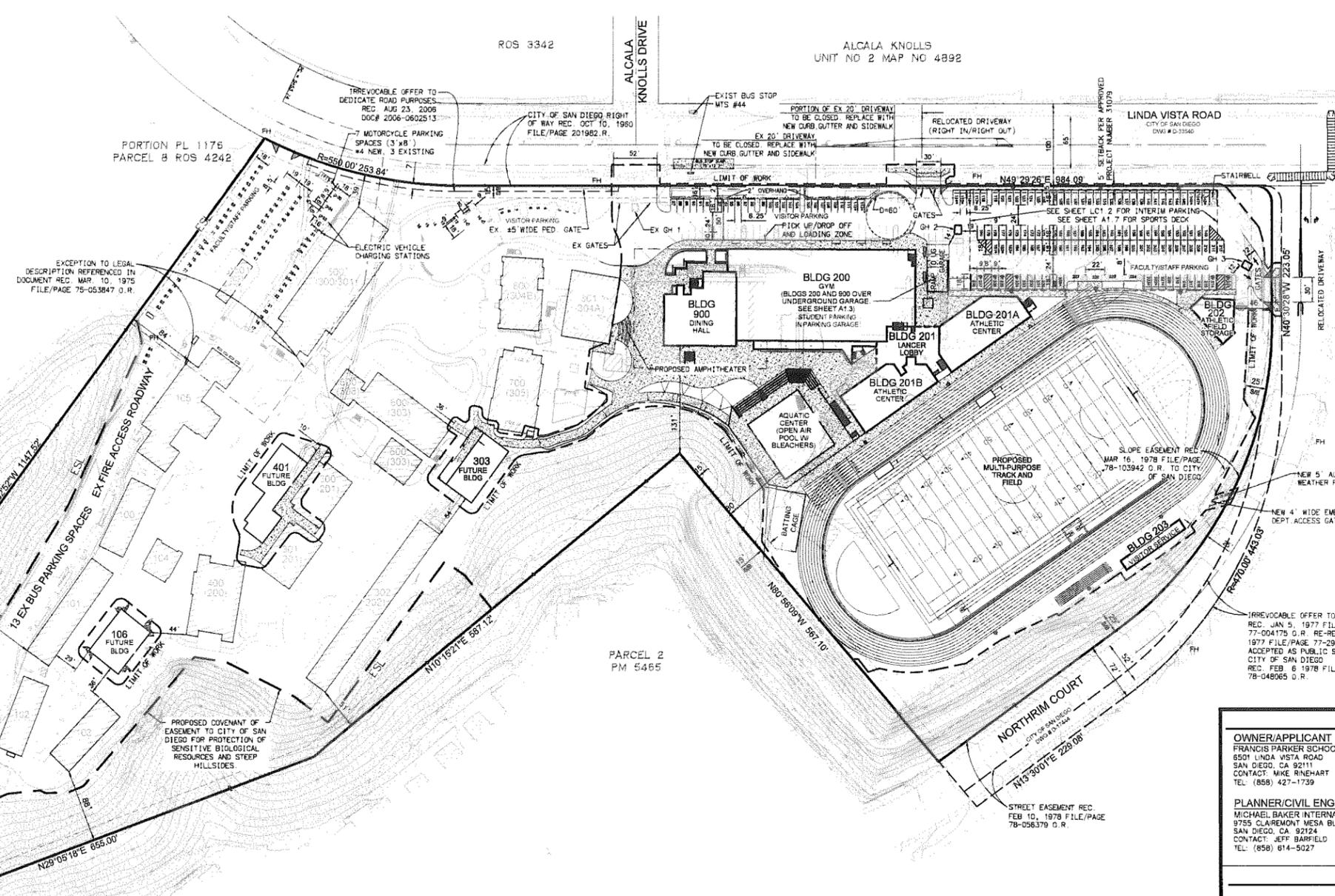
REQUIRED RATIO FOR LONG-TERM BICYCLE SPACES PROVIDED: 3%
 CALCULATION: 0.03 X 306 (MINIMUM REQUIRED AUTO) = 9.18
 LONG-TERM BICYCLE SPACES PROVIDED: 16

TOTAL SHORT- AND LONG-TERM BICYCLE SPACES PROVIDED: 38
 TOTAL SHORT- AND LONG-TERM BICYCLE SPACES PROVIDED: 38

SCHOOL BUS PARKING
 SCHOOL BUS SPACES PROVIDED: 13

FIRE NOTE

- BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4) SHALL BE PROVIDED.
- FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-00-1 SHALL BE PROVIDED.
- AN ILLUMINATED DIRECTORY IN ACCORDANCE WITH FHPS POLICY I-00-6 SHALL BE PROVIDED.
- ALL BUILDINGS SHALL BE SPRINKLERED.



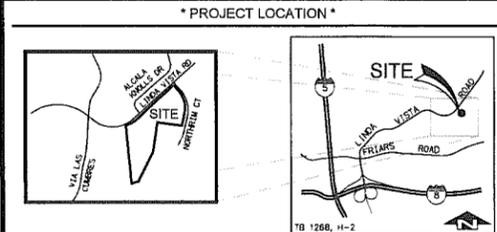
LEGEND		EXISTING IMPROVEMENTS (CONT'D)		EXISTING IMPROVEMENTS (CONT'D)	
IMPROVEMENT	SYMBOL	ITEM	SYMBOL	ITEM	SYMBOL
FINISH SPOT ELEVATION	508.00	EX PROPERTY LINE	---	EX EASEMENTS	---
EXISTING SPOT ELEVATION	x (508.00)	EX SETBACK LINE	---	WATER GATE VALVE	---
LIMIT OF WORK	---	EXISTING CONTOUR	---	BACKFLOW PREVENTER	---
FINISH MINOR CONTOUR	---	EXISTING BUILDING	---	FDC & PIV CONNECTION	---
FINISH MAJOR CONTOUR	---	EX SPOT ELEVATION	---	FENCE	---
GRADE BREAK	---	EX FIRE HYDRANT (FH)	---	THRUST BLOCK	---
DAYLIGHT LINE	---	EX FIRE SERVICE	---	CAP	---
TOP/TOE OF SLOPE	---	EX WATER	---	UTILITY RISER	---
SURFACE FLOW DIRECTION	---	EX SEWER	---	ROOF DRAIN	---
PEDESTRIAN CONCRETE PAVEMENT (PC)	---	EX STORM DRAIN	---	POST/POLE	---
STORM DRAIN CATCH BASIN	---	EX GAS	---	LIGHT POLE	---
RETAINING WALL/SITE WALL/BLDG	---	EX TELEPHONE	---	AREA LIGHT	---
PROPOSED BUILDING	---	EX ELECTRIC	---	TRAFFIC LIGHT	---
DENOTES CURRENT BLDG NUMBER	---	SEWER MANHOLE	---	BOLLARD	---
DENOTES OLD BLDG NUMBER	---	SEWER CLEANOUT	---	AREA DRAIN	---
GUARD HOUSE	---	STORM DRAIN MANHOLE	---	IRRIGATION CONTROL VALVE	---
RACK FOR BICYCLES	---	CDS STORMWATER TREATMENT	---	IRRIGATION CONTROL BOX	---
WHEELSTOP	---			MAJOR CONTOUR	---
PARKING STALL NUMBER	---			RETAINING WALL	---
LOW EMISSION CARPOOL	---			LANDSCAPE WALL	---
PARKING STALL NUMBER	---			TREE: 10" - 18"	---
SETBACK	---			CATCH BASIN	---
				LANDSCAPE PINE TREE	---
				PALM TREE	---
				WHEELSTOP	---

GENERAL NOTES

- SEE SHEET C-4 FOR LIMITS OF ES.
- SEE SHEET C-4 FOR EXISTING EASEMENTS AND DISPOSITION. NO NEW EASEMENTS PROPOSED.
- SEE SHEET C2 FOR GRADING, DRAINAGE AND UTILITIES.
- SEE SHEET C4 FOR SITE SECTIONS.

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6501 LINDA VISTA ROAD
SAN DIEGO, CA 92124

Project Name:
FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

Original Date: 02/27/2015
Sheet: 2 of 25
PDS# 412987

Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4: 05/21/2016
Revision 3: 12/11/2015
Revision 2: 08/28/2015
Revision 1: 05/23/2015

Sheet Title:
CIVIL SITE PLAN

SHEET C-1

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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

GRADING TABULATIONS*

TOTAL AREA OF SITE TO BE GRADED:	81.1 AC
% OF SITE TO BE GRADED:	36.1%
AMOUNT OF CUT:	5,000 CUBIC YARDS
AMOUNT OF FILL:	1,000 CUBIC YARDS
AMOUNT OF EXPORT:	4,000 CUBIC YARDS
AMOUNT OF IMPORT:	0 CUBIC YARDS
MAX. VERTICAL DEPTH OF CUT:	3 FEET*
MAX. OVERALL HEIGHT OF CUT SLOPE:	3 FEET, 2:1 MAX. SLOPE RATIO
MAX. VERTICAL DEPTH OF FILL:	3 FEET
MAX. OVERALL HEIGHT OF FILL SLOPE:	3 FEET, 2:1 MAX. SLOPE RATIO
TOTAL LENGTH OF RETAINING WALLS:	360 FEET
MAX. HEIGHT OF RETAINING WALLS:	14 FEET

NOTES:

- * GRADING QUANTITIES AS SHOWN DO NOT INCLUDE EXCAVATION FOR BUILDING CONSTRUCTION, SITE RETAINING WALLS, UNDERGROUND UTILITIES, REMEDIAL GRADING, BULKING AND/OR SHRINKAGE ADJUSTMENTS.
- ** APPROXIMATELY 41,000 CY OF EXCAVATION MAY RESULT FROM THE CONSTRUCTION OF THE TWO-LEVEL UNDERGROUND PARKING GARAGE, ATHLETIC CENTER, AND AQUATIC CENTER.

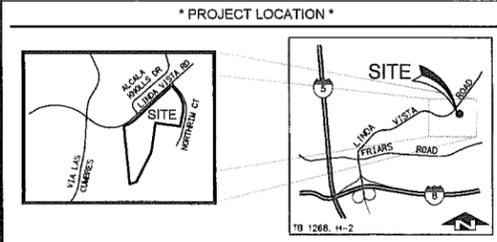
- GENERAL NOTES:**
- ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFIED PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - ALL DRIVEWAYS AND ASSOCIATED SIDEWALKS TO COMPLY WITH CURRENT ADA AND CITY STANDARDS.
 - NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
 - ALL ON-SITE WATER AND SEWER FACILITIES ARE TO BE PRIVATE.
 - ALL EXISTING UTILITIES IMPACTED BY PROPOSED BUILDING FOOTPRINTS OR OTHER SITE IMPROVEMENTS ARE TO BE DEMOLISHED AND REROUTED ACCORDINGLY.

- STORM WATER NOTES:**
- DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL BOARD REQUIREMENTS OF STATE WATER RESOURCES CONTROL BOARD (SWRCB) NO. 2009-0009 DRQ AND THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) ORDER NO. R9-2007-001, WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. IN ACCORDANCE WITH SAID PERMIT, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND A MONITORING PROGRAM PLAN SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES, AND A NOTICE OF INTENT (NOI) SHALL BE FILED WITH THE SWRCB. A COPY OF THE ACKNOWLEDGMENT FROM THE SWRCB THAT AN NOI HAS BEEN RECEIVED FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF SAN DIEGO WHEN RECEIVED. FURTHER, A COPY OF THE COMPLETED NOI FROM THE SWRCB SHOWING THE PERMIT NUMBER FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF SAN DIEGO WHEN RECEIVED. IN ADDITION, THE OWNER(S) AND SUBSEQUENT OWNER(S) OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT AND BY SWRCB ORDER NO. 2009-0009-DRQ, AND ANY SUBSEQUENT AMENDMENTS THEREO, SHALL COMPLY WITH SPECIAL PROVISIONS AS SET FORTH IN SWRCB ORDER NO. 2009-0009-DRQ.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE FINAL CONSTRUCTION DRAWINGS, CONSISTENT WITH THE APPROVED WATER QUALITY TECHNICAL REPORT.
 - THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
 - A REDUCTION OF UNMITIGATED STORM WATER RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

*** PROJECT TEAM ***

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*** PROJECT LOCATION ***

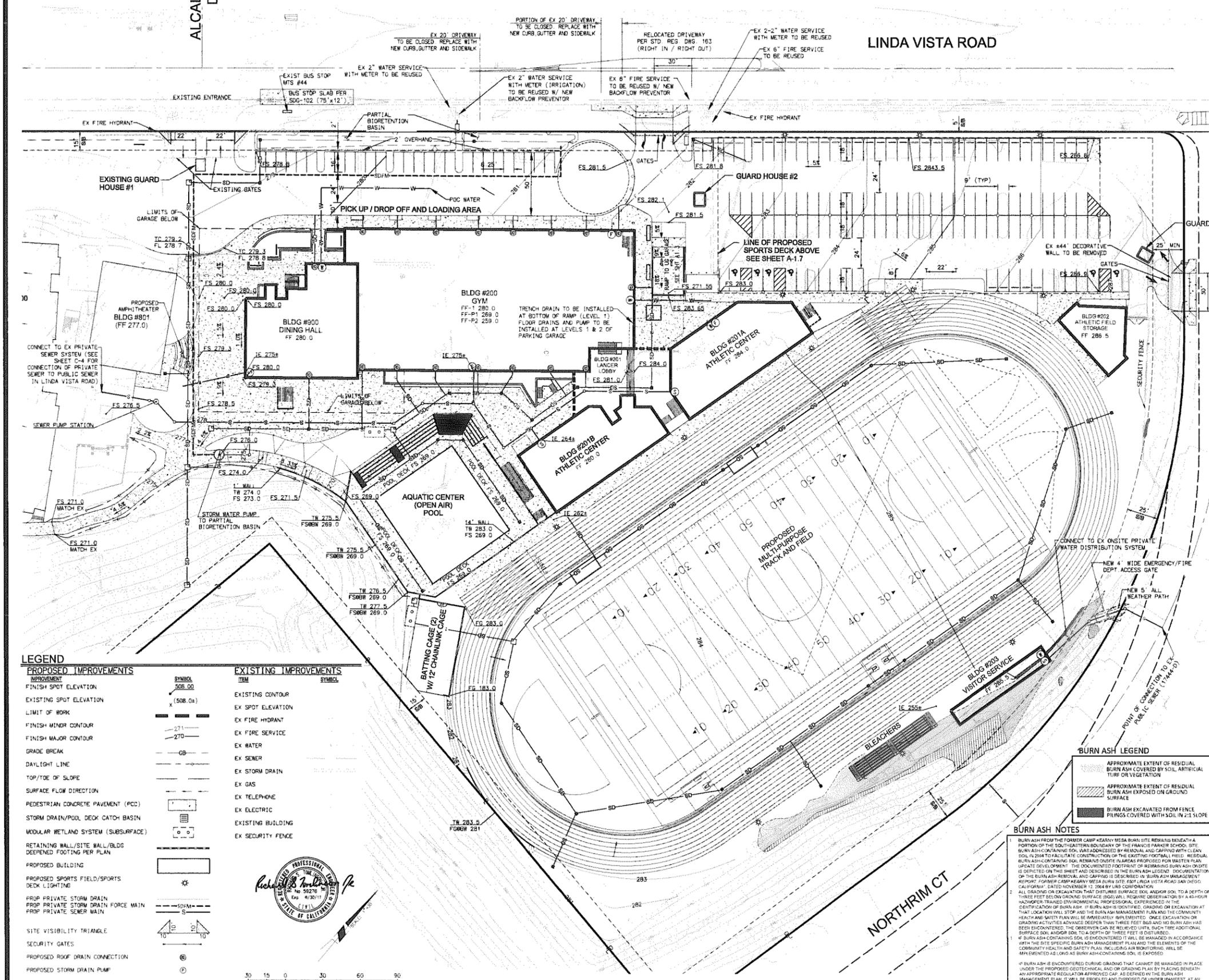


CCS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

Prepared By: MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD #700 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: 05/21/2016 Revision 4: 01/19/2016 Revision 3: 12/11/2015 Revision 2: 09/28/2015 Revision 1: 05/23/2015 Original Date: 02/27/2015 Sheet 3 of 25 PTS# 412987
Project Address: 650 LINDA VISTA ROAD SAN DIEGO, CA 92111	
Project Name: FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE	
Sheet Title: GRADING, DRAINAGE AND UTILITIES PLAN	

SHEET C-2

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LEGEND

PROPOSED IMPROVEMENTS	SYMBOL	EXISTING IMPROVEMENTS	ITEM	SYMBOL
FINISH SPOT ELEVATION	(Symbol)	EXISTING CONTOUR	(Symbol)	(Symbol)
EXISTING SPOT ELEVATION	(Symbol)	EX SPOT ELEVATION	(Symbol)	(Symbol)
LIMIT OF WORK	(Symbol)	EX FIRE HYDRANT	(Symbol)	(Symbol)
FINISH MINOR CONTOUR	(Symbol)	EX FIRE SERVICE	(Symbol)	(Symbol)
FINISH MAJOR CONTOUR	(Symbol)	EX WATER	(Symbol)	(Symbol)
GRADE BREAK	(Symbol)	EX SEWER	(Symbol)	(Symbol)
DAYLIGHT LINE	(Symbol)	EX STORM DRAIN	(Symbol)	(Symbol)
TOP/TOE OF SLOPE	(Symbol)	EX GAS	(Symbol)	(Symbol)
SURFACE FLOW DIRECTION	(Symbol)	EX TELEPHONE	(Symbol)	(Symbol)
PEDESTRIAN CONCRETE PAVEMENT (PCC)	(Symbol)	EX ELECTRIC	(Symbol)	(Symbol)
STORM DRAIN/POOL DECK CATCH BASIN	(Symbol)	EXISTING BUILDING	(Symbol)	(Symbol)
MODULAR WETLAND SYSTEM (SUBSTRATE)	(Symbol)	EX SECURITY FENCE	(Symbol)	(Symbol)
RETAINING WALL/SITE WALL/BLDG DEPENDENT FOOTING PER PLAN	(Symbol)			
PROPOSED BUILDING	(Symbol)			
PROPOSED SPORTS FIELD/SPORTS DECK LIGHTING	(Symbol)			
PROP PRIVATE STORM DRAIN	(Symbol)			
PROP PRIVATE STORM DRAIN FORCE MAIN	(Symbol)			
PROP PRIVATE SEWER MAIN	(Symbol)			
SITE VISIBILITY TRIANGLE	(Symbol)			
SECURITY GATES	(Symbol)			
PROPOSED ROOF DRAIN CONNECTION	(Symbol)			
PROPOSED STORM DRAIN PUMP	(Symbol)			
SETBACK	(Symbol)			
EX SETBACK LINE	(Symbol)			

BURN ASH LEGEND

- APPROXIMATE EXTENT OF RESIDUAL BURN ASH COVERED BY SOIL, ARTIFICIAL TURF OR VEGETATION
- APPROXIMATE EXTENT OF RESIDUAL BURN ASH EXPOSED ON GROUND SURFACE
- BURN ASH EXCAVATED FROM FENCE PILING COVERED WITH SOIL IN 2:1 SLOPE

BURN ASH NOTES

- BURN ASH FROM THE FORMER CAMP KEARNEY MESA BURN SITE REMAINS BENEATH A PORTION OF THE EDUCATION WARDEN OF THE FRANCIS PARKER SCHOOL SITE. BURN ASH CONTAINING SOIL WAS ADDRESSED BY REMOVAL AND CAPPING WITH CLEAN SOIL IN 2014 TO FACILITATE CONSTRUCTION OF THE SAFFORD FOOTBALL FIELD. RESIDUAL BURN ASH CONTAINING SOIL REMAINS ON-SITE IN AREAS PROPOSED FOR MASTER PLAN UPDATE DEVELOPMENT. THE DOCUMENTED FOOTPRINT OF REMAINING BURN ASH ON-SITE IS DETICED ON THIS SHEET AND DESCRIBED IN THE BURN ASH LEGEND. DOCUMENTATION OF THE BURN ASH REMOVAL AND CAPPING IS DESCRIBED IN "BURN ASH MANAGEMENT REPORT" FOR THE CAMP KEARNEY MESA BURN SITE (PDP 157444-D) AND SAN DIEGO CALIFORNIA, DATED NOVEMBER 12, 2014 BY LINS CORPORATION.
- ALL GRADING OR EXCAVATION THAT DISTURBS SURFACE SOIL AND/OR SOIL TO A DEPTH OF THREE FEET BELOW GROUND SURFACE (REGULATORY REQUIREMENT) BY A 48-HOUR HANDPICKED TRAINED ENVIRONMENTAL PROFESSIONAL EXPERIENCED IN THE IDENTIFICATION OF BURN ASH. IF BURN ASH IS IDENTIFIED, GRADING OR EXCAVATION AT THAT LOCATION WILL STOP AND THE BURN ASH MANAGEMENT PLAN AND THE COMMUNITY HEALTH AND SAFETY PLAN WILL BE IMMEDIATELY IMPROVED. ONCE EXCAVATION OR GRADING ACTIVITIES ADVANCE DEEPER THAN THREE FEET BELOW GROUND AND BURN ASH HAS BEEN ENCOUNTERED, THE OBSERVER CAN BE RE-EMPLOYED WITH THE ADDITIONAL SURFACE SOIL AND/OR SOIL TO A DEPTH OF THREE FEET IS DISTURBED.
- IF BURN ASH CONTAINING SOIL IS ENCOUNTERED, IT WILL BE MANAGED IN ACCORDANCE WITH THE SITE SPECIFIC BURN ASH MANAGEMENT PLAN AND THE ELEMENTS OF THE COMMUNITY HEALTH AND SAFETY PLAN. INCLUDING AIR MONITORING WILL BE IMPLEMENTED AS LONG AS BURN ASH CONTAINING SOIL IS EXPOSED.
- IF BURN ASH IS ENCOUNTERED DURING GRADING THAT CANNOT BE MANAGED IN PLACE UNDER THE PROPOSED GEOTECHNICAL AND/OR GRADING PLAN BY PLACING BENEATH AN APPROPRIATE REGULATION APPROVED OR IS DESCRIBED IN THE BURN ASH MANAGEMENT PLAN, IT WILL BE PROPEL AND DISPOSED OF UNDER MARSHET AT AN APPROXIMATELY LICENSED OFF SITE FACILITY.
- FOR OWNERS: THE COMPLETION OF GRADING, A REPORT WILL BE SUBMITTED TO THE LEA, DETAILING THE RESULTS OF ON-SITE OBSERVATIONS AND CORRECTIVE ACTION MEASURES IMPLEMENTED WITH REGARD TO OBSERVED BURN ASH MATERIALS, IF ANY.

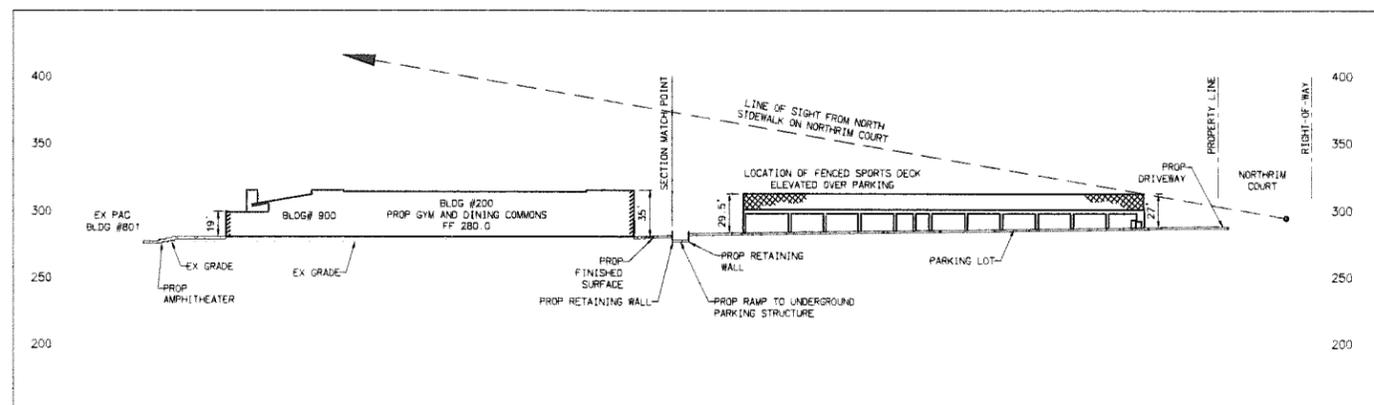
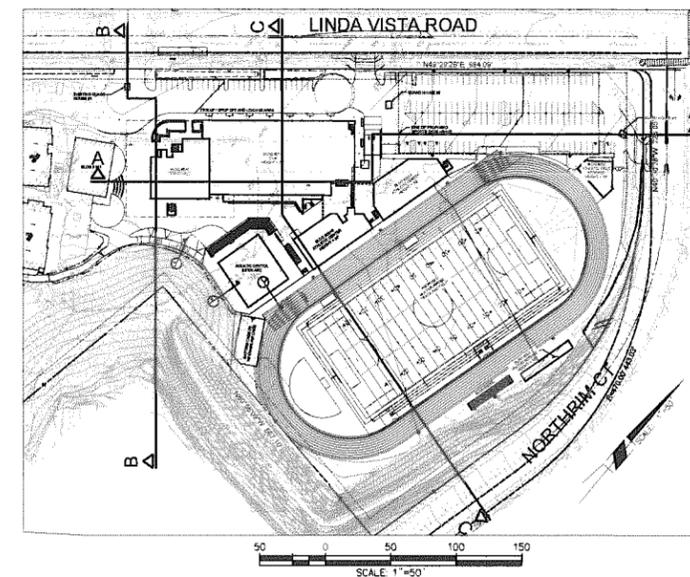


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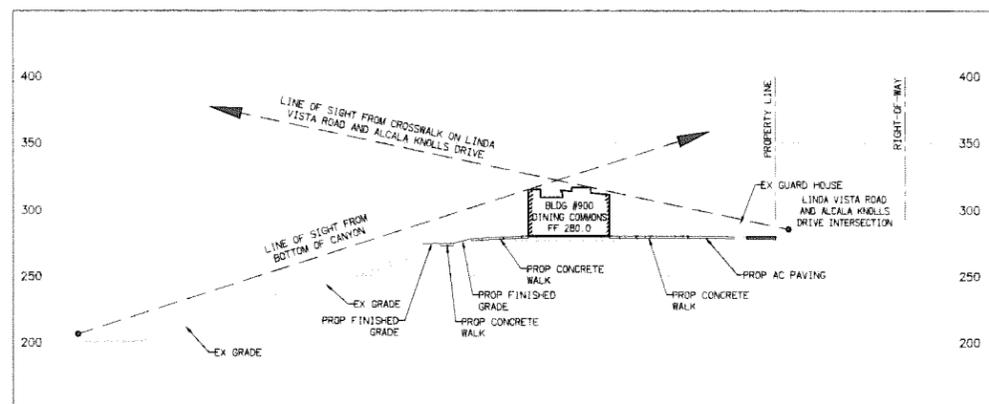
ATTACHMENT 1 2

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

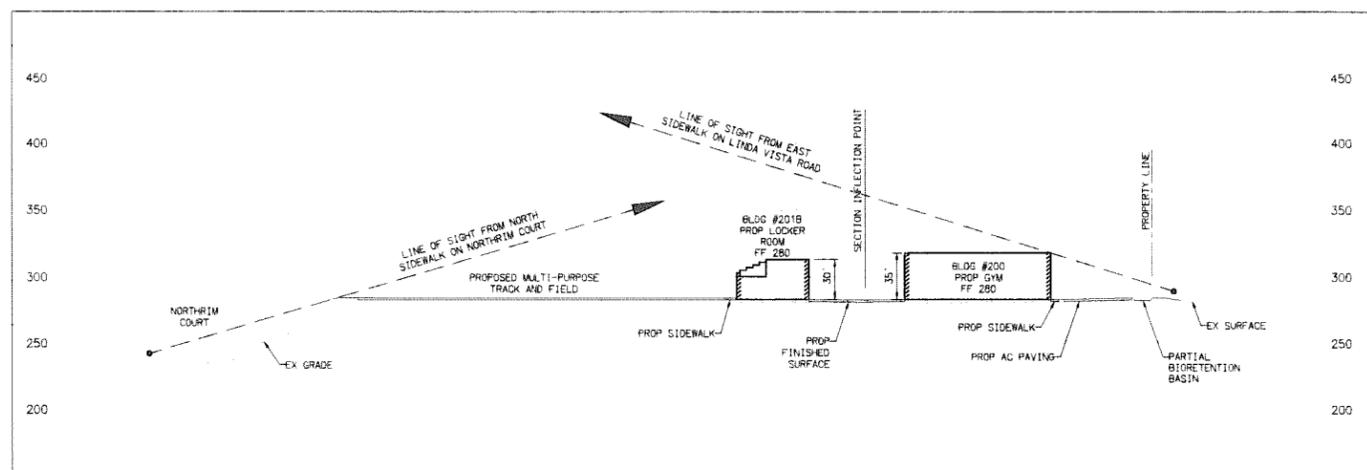
AMENDS PDP 84875/SDP 215276



A-A SITE SECTION
SCALE: 1"=50'

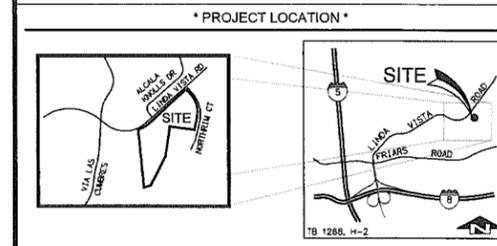


B-B SITE SECTION
SCALE: 1"=50'



C-C SITE SECTION
SCALE: 1"=50'

* PROJECT TEAM *	
OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92124 CONTACT: MIKE RIEHART TEL: (658) 427-1739	ARCHITECT DOMUSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393
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CCS 83 COORDINATE = 1881N-6276E
LAMBERT COORDINATE = 221-1712

Prepared By: MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD. #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (658) 614-5027	Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: 05/21/2016 Revision 3: 12/11/2015 Revision 2: 08/28/2015 Revision 1: 05/23/2015 Original Date: 02/27/2015 Sheet 4 of 25 P-TS# 412987
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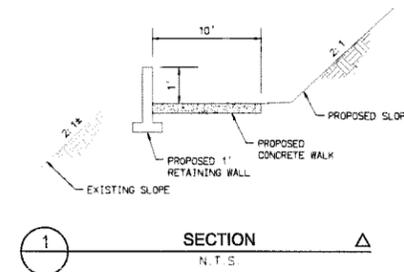
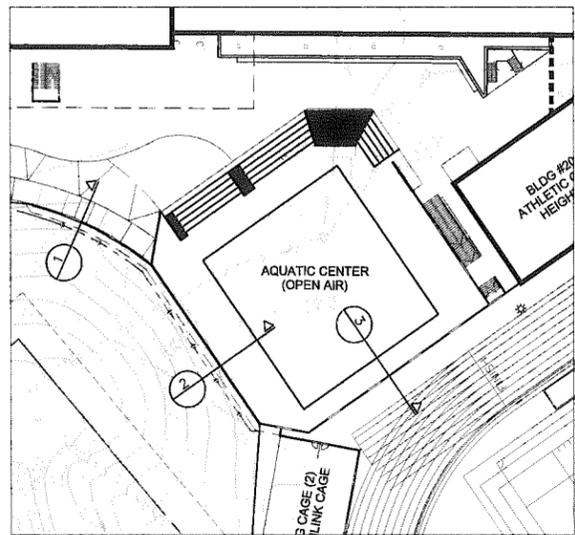
Project Address:
6501 LINDA VISTA ROAD
SAN DIEGO, CA 92111

Project Name:
FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

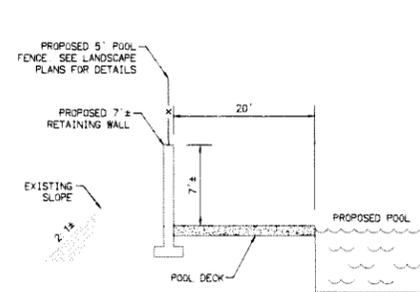
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SITE CROSS SECTIONS

SHEET C-3

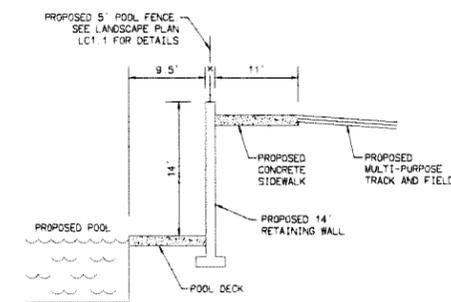
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SECTION 1
N.T.S.



SECTION 2
N.T.S.



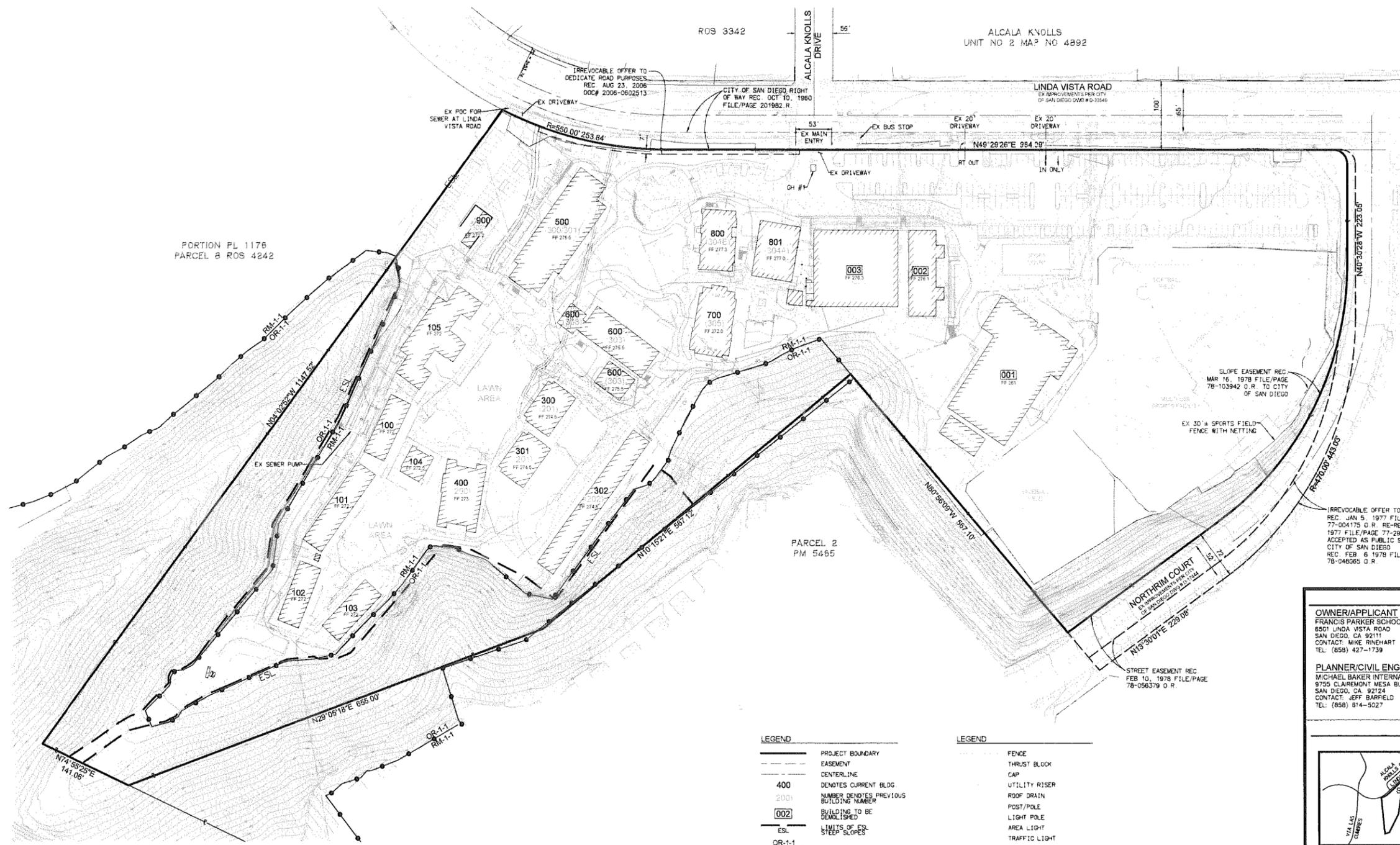
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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

ATTACHMENT 1 2

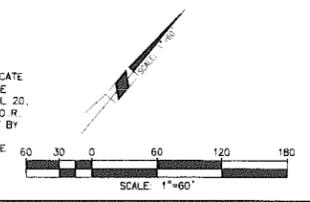
ATTACHMENT 1 2



PORTION PL 1176
PARCEL 8 ROS 4242

PARCEL 2
PM 5465

LINDA VISTA
UNIT NO 2
RESUBDIVISION NO 2
MAP NO 4119



LEGEND

---	PROJECT BOUNDARY
- - - -	EASEMENT
400	DENOTES CURRENT BLDG
200	NUMBER DENOTES PREVIOUS BUILDING NUMBER
002	BUILDING TO BE DEMOLISHED
ESL	LIMITS OF ESL STEEP SLOPES
OR-1-1	ZONE BOUNDARY
RM-1-1	ZONE BOUNDARY
---	SEWER LINE
---	STORM DRAIN PIPE
---	WATER LINE
---	FIRE SERVICE
---	ELECTRICAL
---	TELEPHONE
---	GAS LINE
---	CABLE TV
---	SEWER MANHOLE
---	SEWER CLEANOUT
---	STORM DRAIN MANHOLE
---	ODS STORMWATER TREATMENT
---	CATCH BASIN
---	AREA DRAIN
---	FIRE HYDRANT
---	WATER METER
---	WATER GATE VALVE
---	BACKFLOW PREVENTER
---	FDC & PIV CONNECTION

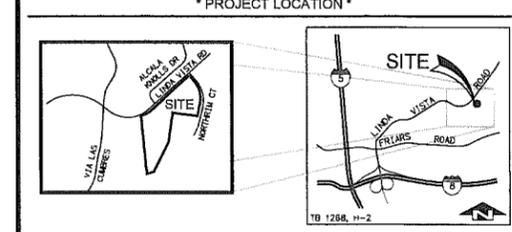
LEGEND

---	FENCE
---	THRUST BLOCK
---	CAP
---	UTILITY RISER
---	ROOF DRAIN
---	POST/POLE
---	LIGHT POLE
---	AREA LIGHT
---	TRAFFIC LIGHT
---	BOLLARD
---	AREA DRAIN
---	IRRIGATION CONTROL VALVE
---	IRRIGATION CONTROL BOX
---	MAJOR CONTOUR
---	RETAINING WALL
---	LANDSCAPE WALL
---	BUILDING
---	SPOT ELEVATION
---	ASPHALT CONCRETE
---	CONCRETE
---	CONDUIT
---	FINISH FLOOR
---	FLOW LINE
---	TOP OF GRATE
---	TREE: 10" - 18"
---	TREE: 3" - 8"
---	CALLIPER TREE
---	PALM TREE

- GENERAL NOTES:**
1. ALL EXISTING EASEMENTS TO REMAIN
 2. NO MHPA ONSITE OR IN VICINITY
 3. NO ENCRoACHMENTS PROPOSED INTO ESL

*** PROJECT TEAM ***

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CCS 83 COORDINATE = 1881N-6276E
LAMBERT COORDINATE = 221-1712

Prepared By:	MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD. #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (658) 814-5027
Project Address:	6501 LINDA VISTA ROAD SAN DIEGO, CA 92111
Project Name:	FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE
Sheet Title:	EXISTING CONDITIONS

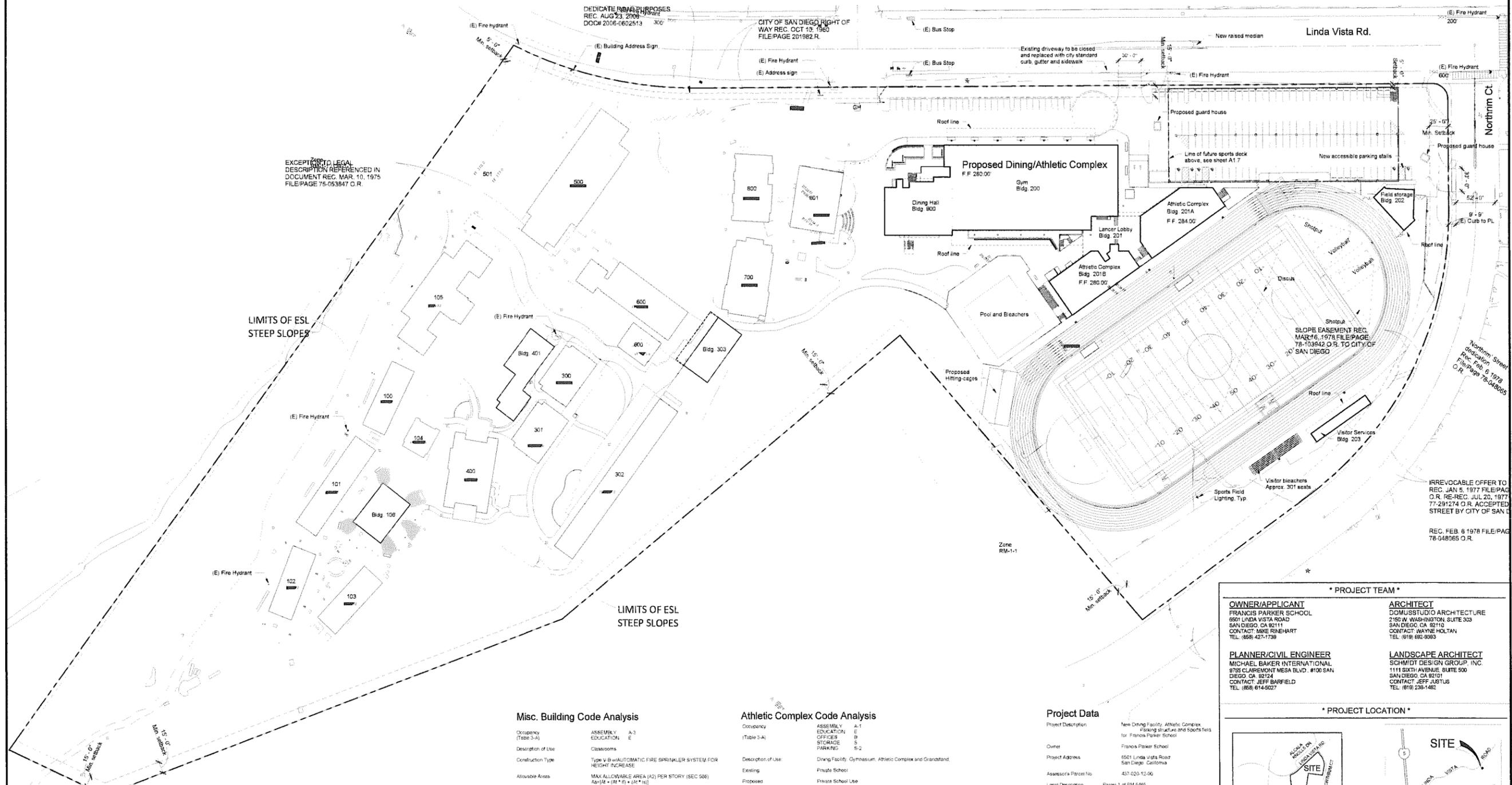
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Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	08/28/2015
Revision 1:	05/23/2015
Original Date:	02/27/2015
Sheet	5 of 25
P15#	412587

SHEET C-4

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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



1 Architectural Site Plan
1" = 50'-0"

Existing Buildings to Remain

Bldg	Building Purpose	Number of floors	Gross Floor Area
100	Upper school offices and classrooms	2	6,072
101	Upper school classrooms	2	9,106
102	Upper school classrooms	2	6,096
103	Upper school classrooms	2	6,056
104	Upper school commons	1	1,451
105	Upper school science center	2	15,952
300/301	Middle school math/science classrooms	2	6,984
302	Middle school office and classrooms	1	14,318
400	Library	2	10,274
500	Administration/student services	2	23,303
501	Transportation and maintenance work bay	1	899
600	Visual Arts, Middle School commons, Art Gallery	1	14,575
700	Lecture hall (J. Crivello Hall)	1	5,473
800	Music	2	7,692
801	Performing Arts Center (PAC)	1	8,827
GH 1	Guard house	1	73
Total Gross Floor Area			133,753 SF

Total Gross Floor Area and FAR Calculation

Site Area: 959,981 SF
 FAR Maximum: .75
 B.F.A. Allowable: 959,981 * .75 = 719,986 SF
 Total Existing and Proposed B.F.A.: 133,753 + 103,182 = 236,935 SF
 FAR Proposed: 236,935 / 959,981 = .26

Proposed Buildings - Gross Floor Area

Number	Name	Area
106	Upper School Student Center First Level	3,000 SF
106	Upper School Student Center Second Level	3,000 SF
200	Gymnasium	24,500 SF
200	Gymnasium Second Level Classrooms	3,767 SF
200	Gym Phantom Floor	20,856 SF
201	Lancer Lobby	3,367 SF
201	Lancer Lobby Phantom Floor	1,163 SF
201A	Athletic Complex	5,606 SF
201A	Athletic Complex Press Box and Offices	3,166 SF
201B	Athletic Complex	5,482 SF
201B	Athletic Complex Offices	2,544 SF
202	Field Storage	1,901 SF
203	Visitor Services	1,173 SF
303	Middle School Multi-purpose First Level	3,000 SF
303	Middle School Multi-purpose Second Level	4,000 SF
401	Maker's Space	4,000 SF
900	Dining Hall - Lower Level	7,488 SF
900	Dining Hall - Upper Level	4,823 SF
GH 2	Guard House	73 SF
GH 3	Guard House	73 SF
Total Area		103,182 SF

Misc. Building Code Analysis

Occupancy (Table 3-A)	ASSEMBLY A-3	EDUCATION E
Description of Use	Classrooms	
Construction Type	Type IV w/ AUTOMATIC FIRE SPRINKLER SYSTEM FOR HEIGHT INCREASE	
Allowable Areas	MAX ALLOWABLE AREA (A2) PER STORY (SEC 506) A ₂ = (A * F) + (A * I)	
	BASIC ALLOWABLE (A4) A-3 6,000 SF (Table 503)	
	I ₂ = 2 (Sec 506.3) I ₂ = 75 (for yards on all 4 sides)	
	A ₂ = (6,000 + (5,000 * .75) + 10,500 (MAX ALLOWABLE A-3))	
	I ₂ = 2 (Sec 506.3) I ₂ = 75 (for yards on all 4 sides)	
	MIXED USE SEPARATED OCCUPANCIES	
Allowable Height	MAX HT: 42' PER TABLE 503 / 1 Story - Type IV	

Proposed Buildings - Non-Gross Floor Area

Name	Area
Gymnasium Covered Porch - Front	1,256 SF
Gymnasium Covered Porch - Rear	1,225 SF
Parking Level 1	47,092 SF
Parking Level 2	44,724 SF
Parking Ramp	3,511 SF
Athletic Complex Basement Patio	2,578 SF
Athletic Complex Basement	6,314 SF
Covered Bleacher Seating	4,324 SF
Sports Deck	37,790 SF
Dining Covered Terrace	858 SF
Grand total	149,675 SF

Athletic Complex Code Analysis

Occupancy (Table 3-A)	ASSEMBLY A-1	EDUCATION E	OFFICES B	STORAGE S	PARKING S-2
Description of Use	Dining Facility, Gymnasium, Athletic Complex and Grandstand				
Existing	Private School				
Proposed	Private School Use				
Construction Type	TYPE IV w/ AUTOMATIC FIRE SPRINKLER SYSTEM FOR AREA INCREASE				
Allowable Areas	MAX ALLOWABLE AREA (A2) PER STORY (SEC 506) A ₂ = (A * F) + (A * I)				
	BASIC ALLOWABLE (A4) A-1 15,500 SF (Table 503)				
	I ₂ = 2 (Sec 506.3) I ₂ = 75 (for yards on all 4 sides)				
	A ₂ = (15,500 + (15,500 * .75) + (15,500 * .75)) = 58,125 (MAX ALLOWABLE A-1) (SPRINKLERED)				
	A ₂ = (15,500 + (15,500 * .75) + (15,500 * .75)) = 58,125 (MAX ALLOWABLE S-2) (SPRINKLERED)				
	PROPOSED: 41,684 SF - MAX PER STORY A-1 (AS CALCULATED PER CBC REG 2.1) 56,903 - MAX PER STORY S-2 (SPRINKLERED AT PARKING GARAGE)				
	MIXED USE SEPARATED OCCUPANCIES				
Allowable Height	MAX HT: 65' PER TABLE 503 / 3 Stories - Type IIA				

Sports Deck Code Analysis

Occupancy (Table 3-A)	PARKING S-2
Description of Use	Sports Deck
Construction Type	TYPE IV-A
Allowable Areas	MAX ALLOWABLE AREA (A2) PER STORY (SEC 506) A ₂ = (A * F) + (A * I)
	BASIC ALLOWABLE (A4) S-2 38,000 SF (Table 503)
	I ₂ = 75 (for yards on all 4 sides)
	A ₂ = (38,000 + (38,000 * .75) + 68,250 (MAX ALLOWABLE S-2 (NON SPRINKLERED)))
	PROPOSED: 37,790 SF - MAX PER STORY S-2 (SPORTS DECK)
Allowable Height	MAX HT: 65' PER TABLE 503 / 3 Stories - Type IIA

Project Data

Project Description	New Dining Facility, Athletic Complex, Parking structure and Sports field for Francis Parker School
Owner	Francis Parker School
Project Address	6501 Linda Vista Road, San Diego, California
Assessor's Parcel No.	437-020-12-00
Legal Description	Parcel 1 of PM 5485
Existing Zoning	RM-1.1 (open space)
Proposed Zoning	RM-1.1 (open space)
Group Lot Area	22.45 acres
Net Lot Area	22.04 acres
Existing Building To Remain	133,753 SF
Proposed Addition	103,182 SF
Proposed Total	236,935 SF
Sanitation District	City of San Diego
Telephone	AT&T
Gas & Electric	San Diego Gas & Electric
Water District	City of San Diego
School District	San Diego Unified School District
Fire Area Ratio	.75
Existing Height Limit	30 FT Max Allowed
Proposed Height	See sheets A1, A7, A2, 0.
Parking	Surface parking: 234 spaces Parking structure: 283 spaces Total: 517 spaces

*** PROJECT TEAM ***

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*** PROJECT LOCATION ***

CCS 83 COORDINATE = 1861N+6276E
 LAMBERT COORDINATE = 221-1712

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Project Address
 6501 LINDA VISTA ROAD

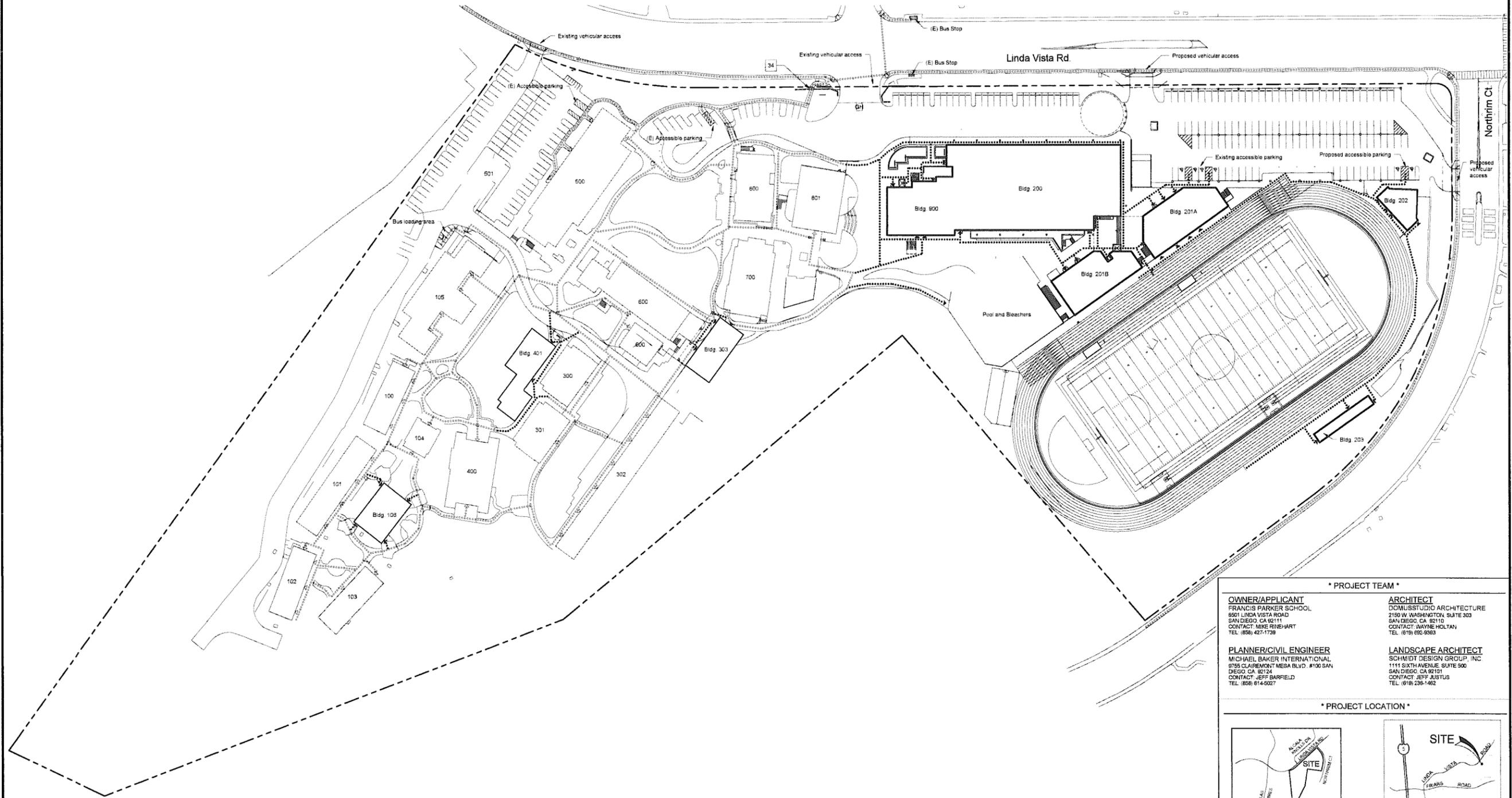
Project Name
 FRANCIS PARKER SCHOOL
 LINDA VISTA CAMPUS
 MASTER PLAN UPDATE

Sheet Title
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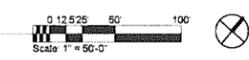
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 domusstudio

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



1 Accessibility Plan
1" = 50'-0"



Site Notes

34 Existing gate to remain as part of existing accessible path of travel. Not in scope of work.

Legend

- Existing Approved Accessible Path of travel
- Proposed Accessible Path of travel
- Existing building
- Proposed building
- △ Existing Accessible entrance
- Future proposed building
- ▲ Proposed Accessible entrance

*** PROJECT TEAM ***

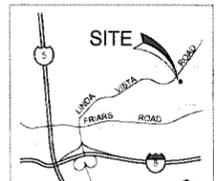
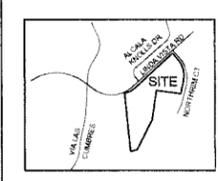
OWNER/APPLICANT
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*** PROJECT LOCATION ***



CCS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

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Project Address:

6501 LINDA VISTA ROAD

Project Name:

FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

Sheet Title:

Accessibility Plan

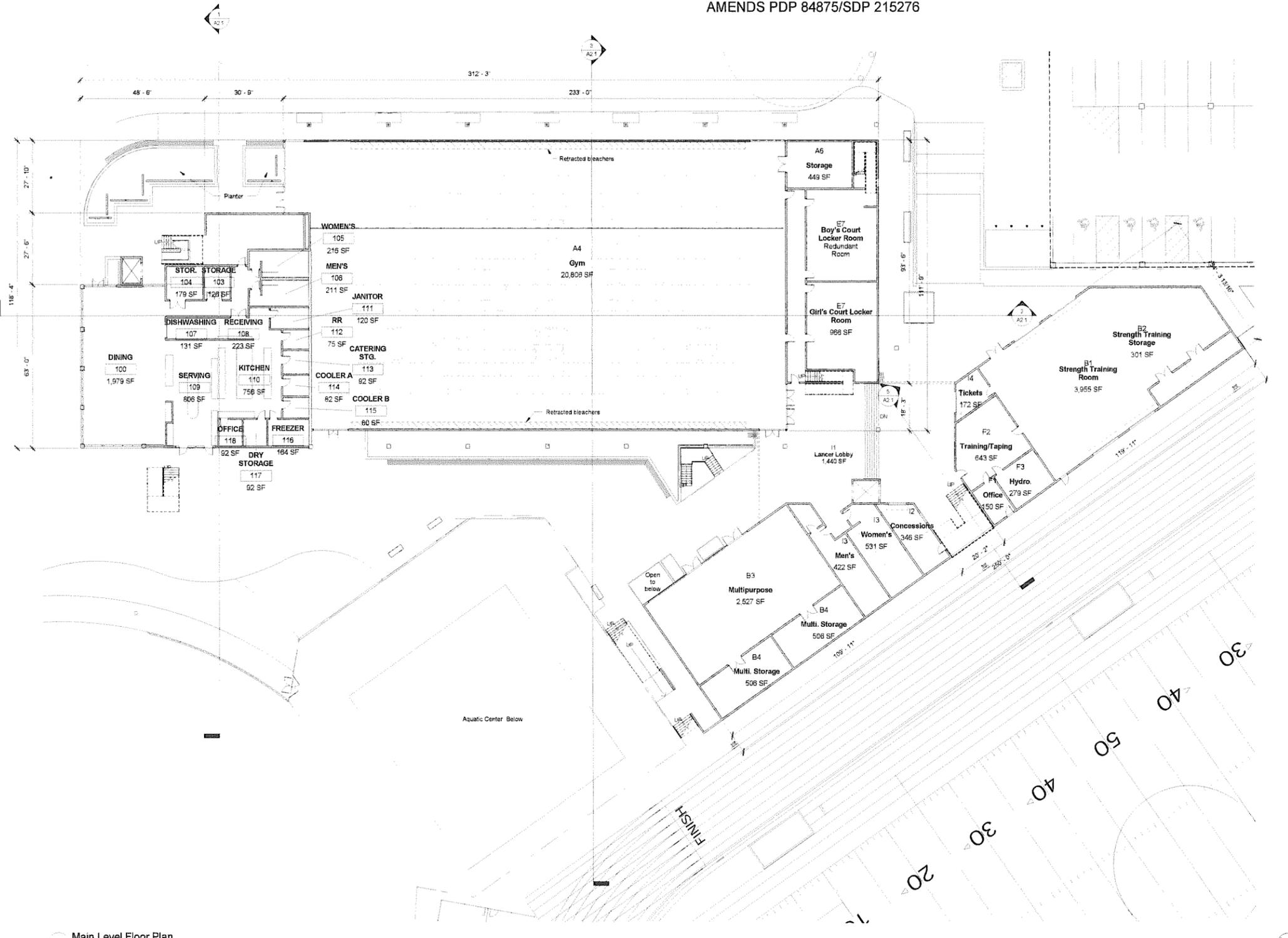
Revision 10	
Revision 9	
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Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	12/11/2015
Revision 2	08/28/2015
Revision 1	06/23/2015
Original Date	02/07/2014
Sheet	7 of 25
PTSD	14875

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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

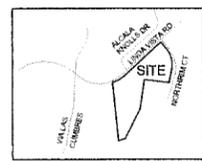
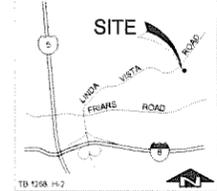


1 Main Level Floor Plan
1/16" = 1'-0"

*** PROJECT TEAM ***

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*** PROJECT LOCATION ***

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LAMBERT COORDINATE = 2214-1712

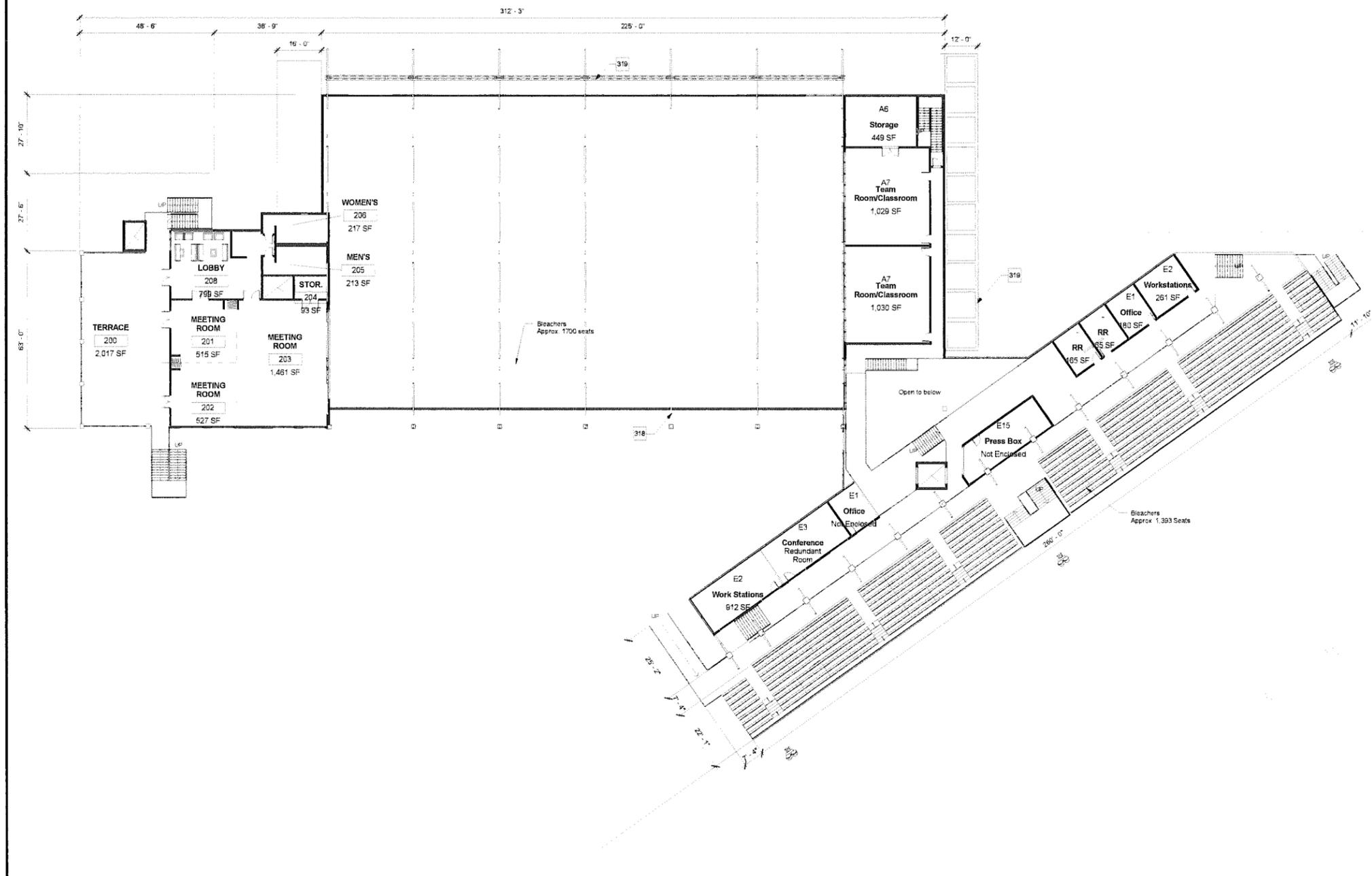
Prepared By domusstudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393	Revision 10 _____ Revision 9 _____ Revision 8 _____ Revision 7 _____ Revision 6 _____ Revision 5 _____ Revision 4 06/21/2016 Revision 3 12/11/2015 (Per Change) Revision 2 08/26/2015 Revision 1 05/22/2015 Original Date 02/27/2015
Project Address 6501 LINDA VISTA ROAD	Sheet 8 of 25 PDS# 84875
Project Name FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE	Sheet Title Dining/Athletic Complex Main Level

A1.1

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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



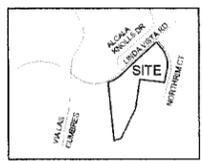
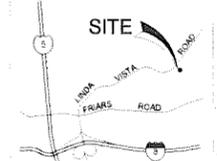
- Floor Plan Notes**
- 318 Root truss
 - 319 Truss

1 Upper Level Floor Plan
1/16" = 1'-0"

* PROJECT TEAM *

<p>OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: MIKE REINHART TEL: (656) 427-1739</p>	<p>ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393</p>
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* PROJECT LOCATION *

CCS 83 COORDINATE = 1851N 6276E
LAMBERT COORDINATE = 221-1712

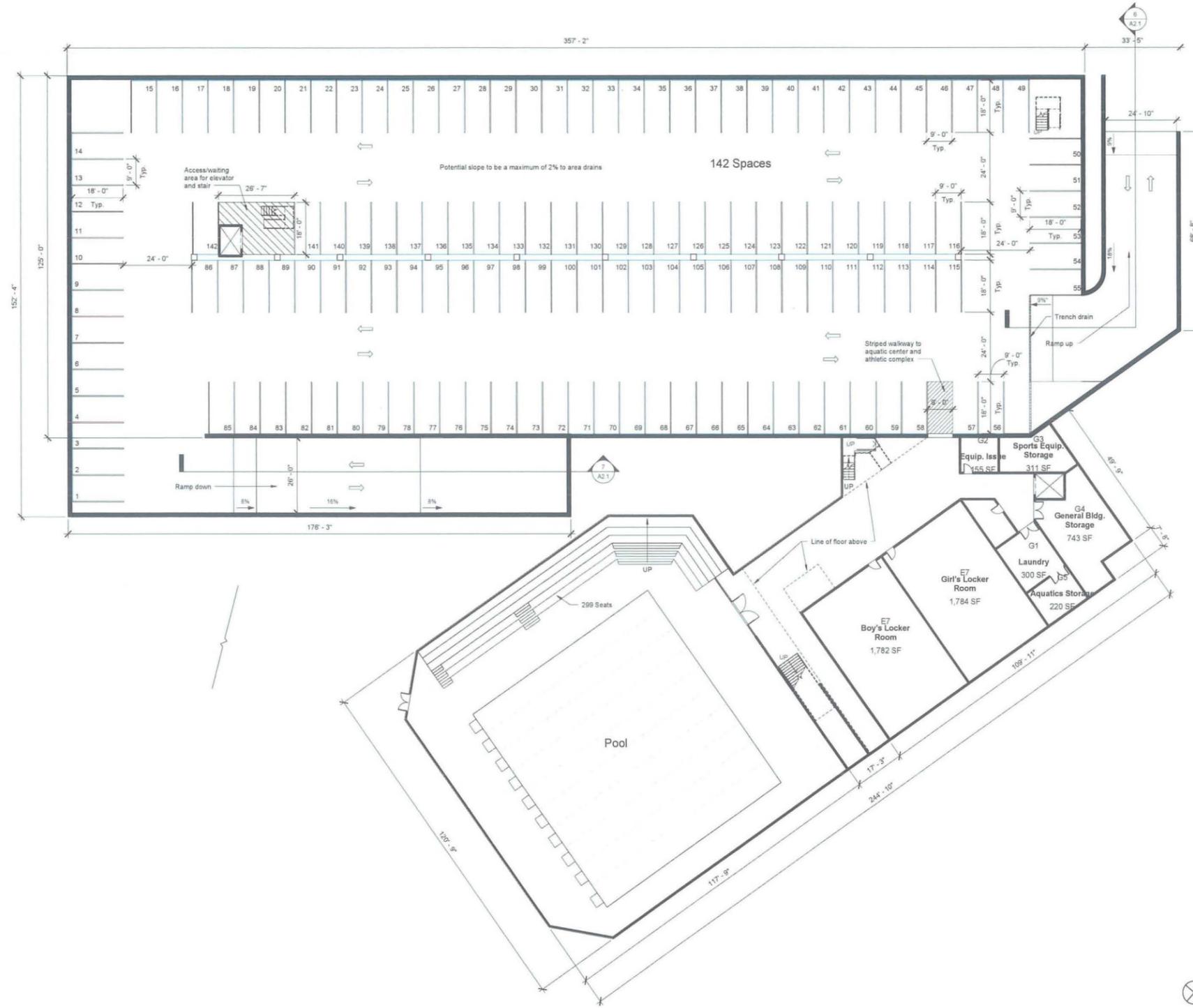
<p>Prepared By: domusstudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393</p> <p>Project Address: 6501 LINDA VISTA ROAD</p> <p>Project Name: FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE</p> <p>Sheet Title: Dining/Athletic Complex Upper Level</p>	<table border="0"> <tr><td>Revision 10</td><td>_____</td></tr> <tr><td>Revision 9</td><td>_____</td></tr> <tr><td>Revision 8</td><td>_____</td></tr> <tr><td>Revision 7</td><td>_____</td></tr> <tr><td>Revision 6</td><td>_____</td></tr> <tr><td>Revision 5</td><td>_____</td></tr> <tr><td>Revision 4</td><td>09/21/2015</td></tr> <tr><td>Revision 3</td><td>12/11/2015 (No Change)</td></tr> <tr><td>Revision 2</td><td>06/28/2015</td></tr> <tr><td>Revision 1</td><td>06/25/2015</td></tr> <tr><td>Original Date</td><td>02/27/2015</td></tr> <tr><td>Sheet</td><td>9 of 25</td></tr> <tr><td>PTSP</td><td>64875</td></tr> </table>	Revision 10	_____	Revision 9	_____	Revision 8	_____	Revision 7	_____	Revision 6	_____	Revision 5	_____	Revision 4	09/21/2015	Revision 3	12/11/2015 (No Change)	Revision 2	06/28/2015	Revision 1	06/25/2015	Original Date	02/27/2015	Sheet	9 of 25	PTSP	64875
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Revision 9	_____																										
Revision 8	_____																										
Revision 7	_____																										
Revision 6	_____																										
Revision 5	_____																										
Revision 4	09/21/2015																										
Revision 3	12/11/2015 (No Change)																										
Revision 2	06/28/2015																										
Revision 1	06/25/2015																										
Original Date	02/27/2015																										
Sheet	9 of 25																										
PTSP	64875																										

A1.2

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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

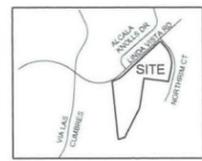


1 Lower Level & Parking Level 1 Floor Plan
1/16" = 1'-0"

*** PROJECT TEAM ***

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92110 CONTACT: MIKE RINEHART TEL: (619) 427-1739	ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAIREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 614-0027	LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 236-1462

*** PROJECT LOCATION ***



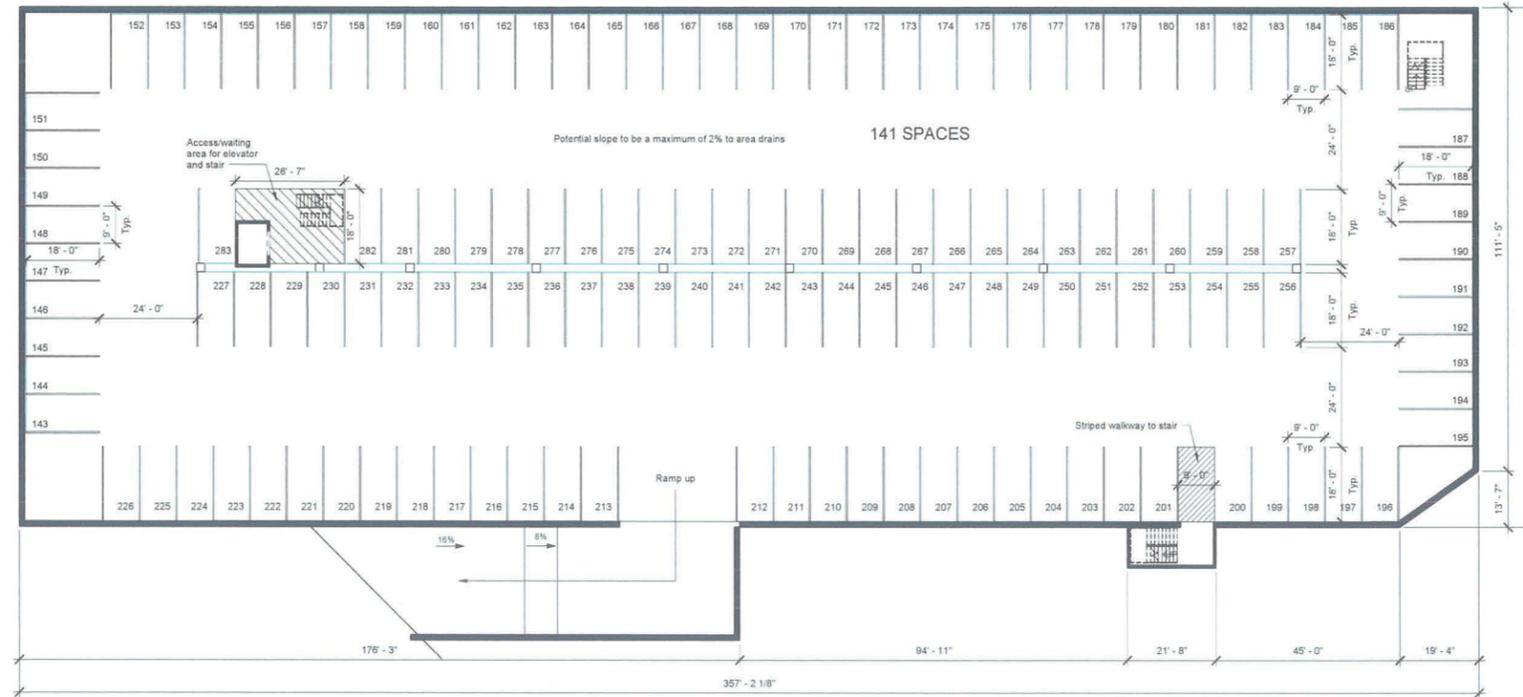

CCS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

Prepared By: domusstudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393	Revision 10 _____ Revision 9 _____ Revision 8 _____ Revision 7 _____ Revision 6 _____ Revision 5 _____ Revision 4 _____ Revision 3 _____ Revision 2 09/28/2015 Revision 1 09/23/2015 Original Date 02/27/2015
Project Address: 6501 LINDA VISTA ROAD	Sheet 10 of 20 PT# 84875
Project Name: FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE	
Sheet Title: Athletic Complex Lower Level & Parking Level 1	

A1.3
domusstudio

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



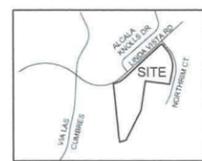
2 Parking Level 2
1/16" = 1'-0"



* PROJECT TEAM *

<p>OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: MIKE REINHART TEL: (858) 427-1739</p> <p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAIREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-9227</p>	<p>ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393</p> <p>LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92104 CONTACT: JEFF JUSTUS TEL: (619) 236-1462</p>
---	---

* PROJECT LOCATION *




CDS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

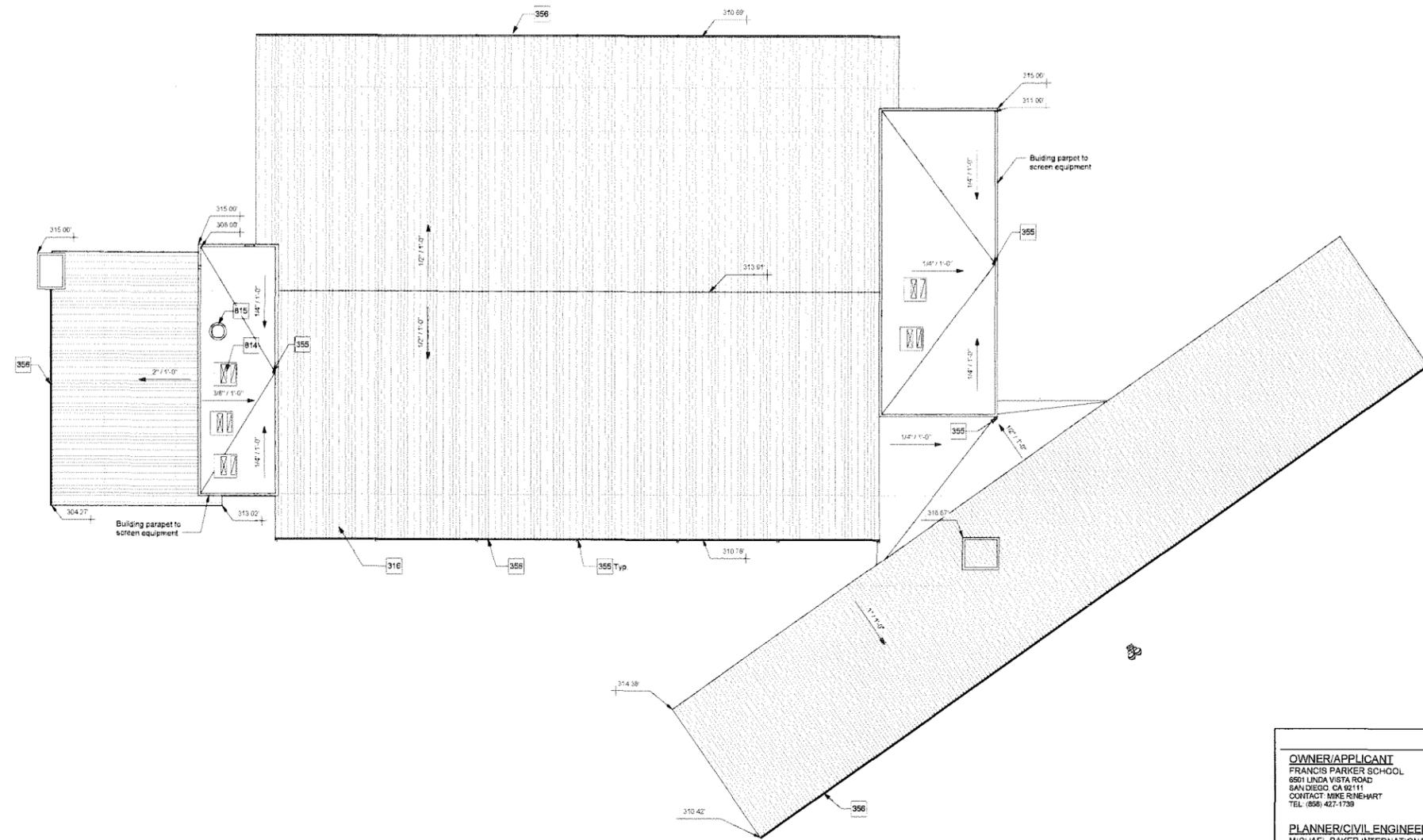
<p>Prepared By: domusstudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393</p> <p>Project Address: 6501 LINDA VISTA ROAD</p> <p>Project Name: FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE</p> <p>Sheet Title: Parking Level 2</p>	<table border="0"> <tr><td>Revision 10</td><td>_____</td></tr> <tr><td>Revision 9</td><td>_____</td></tr> <tr><td>Revision 8</td><td>_____</td></tr> <tr><td>Revision 7</td><td>_____</td></tr> <tr><td>Revision 6</td><td>_____</td></tr> <tr><td>Revision 5</td><td>_____</td></tr> <tr><td>Revision 4</td><td>_____</td></tr> <tr><td>Revision 3</td><td>_____</td></tr> <tr><td>Revision 2</td><td>02/28/2015</td></tr> <tr><td>Revision 1</td><td>06/23/2015</td></tr> <tr><td>Original Date</td><td>02/27/2015</td></tr> <tr><td>Sheet</td><td>11 of 26</td></tr> <tr><td>PTSR</td><td>84875</td></tr> </table>	Revision 10	_____	Revision 9	_____	Revision 8	_____	Revision 7	_____	Revision 6	_____	Revision 5	_____	Revision 4	_____	Revision 3	_____	Revision 2	02/28/2015	Revision 1	06/23/2015	Original Date	02/27/2015	Sheet	11 of 26	PTSR	84875
Revision 10	_____																										
Revision 9	_____																										
Revision 8	_____																										
Revision 7	_____																										
Revision 6	_____																										
Revision 5	_____																										
Revision 4	_____																										
Revision 3	_____																										
Revision 2	02/28/2015																										
Revision 1	06/23/2015																										
Original Date	02/27/2015																										
Sheet	11 of 26																										
PTSR	84875																										

A1.4

domusstudio
ARCHITECTURE

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



1 Roof Plan
1/16" = 1'-0"

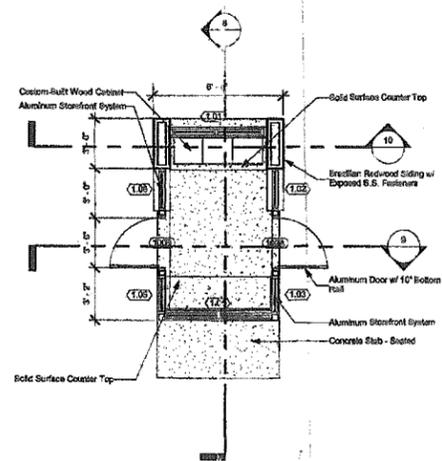
- Roof Plan Notes**
- 316 Standing Seam metal roof
 - 355 Roof drain
 - 356 Gutter to downspout
 - 814 Mechanical Unit
 - 815 Exhaust fan

* PROJECT TEAM *																											
<p>OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: MIRE RINEHART TEL: (619) 427-1739</p>	<p>ARCHITECT DOMUSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393</p>																										
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (658) 614-5027</p>	<p>LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 900 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 238-1462</p>																										
* PROJECT LOCATION *																											
<p>CCS 83 COORDINATE = 1861N-6278E LAMBERT COORDINATE = 221-1712</p>																											
<p>Prepared By domustudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: Wayne Holtan TEL: (619) 692-9393</p> <p>Project Address 6501 LINDA VISTA ROAD</p> <p>Project Name FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE</p> <p>Sheet Title Athletic Complex Roof Plan</p>	<table border="1"> <tr> <td>Revision 10</td> <td></td> </tr> <tr> <td>Revision 9</td> <td></td> </tr> <tr> <td>Revision 8</td> <td></td> </tr> <tr> <td>Revision 7</td> <td></td> </tr> <tr> <td>Revision 6</td> <td></td> </tr> <tr> <td>Revision 5</td> <td></td> </tr> <tr> <td>Revision 4</td> <td></td> </tr> <tr> <td>Revision 3</td> <td></td> </tr> <tr> <td>Revision 2</td> <td>08/08/2015</td> </tr> <tr> <td>Revision 1</td> <td>06/23/2015</td> </tr> <tr> <td>Original Date</td> <td>02/07/2015</td> </tr> <tr> <td>Sheet</td> <td>12 of 25</td> </tr> <tr> <td>PTSA</td> <td>54875</td> </tr> </table>	Revision 10		Revision 9		Revision 8		Revision 7		Revision 6		Revision 5		Revision 4		Revision 3		Revision 2	08/08/2015	Revision 1	06/23/2015	Original Date	02/07/2015	Sheet	12 of 25	PTSA	54875
Revision 10																											
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Revision 3																											
Revision 2	08/08/2015																										
Revision 1	06/23/2015																										
Original Date	02/07/2015																										
Sheet	12 of 25																										
PTSA	54875																										

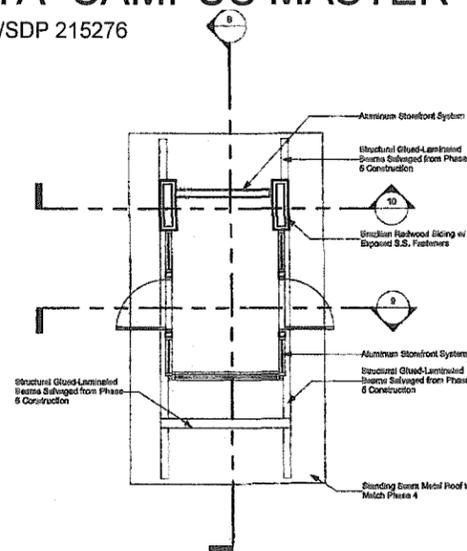


FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

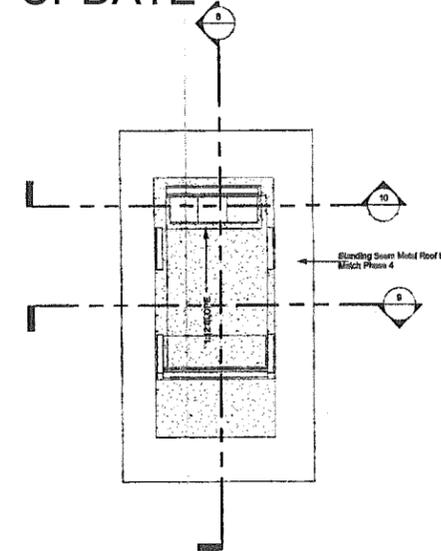
AMENDS PDP 84875/SDP 215276



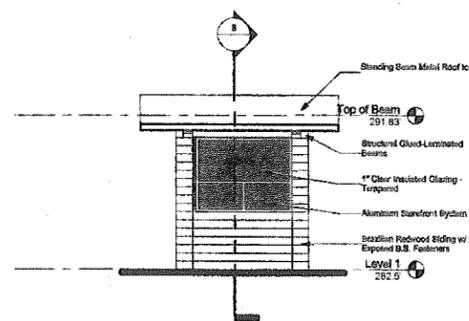
1 GUARDHOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"



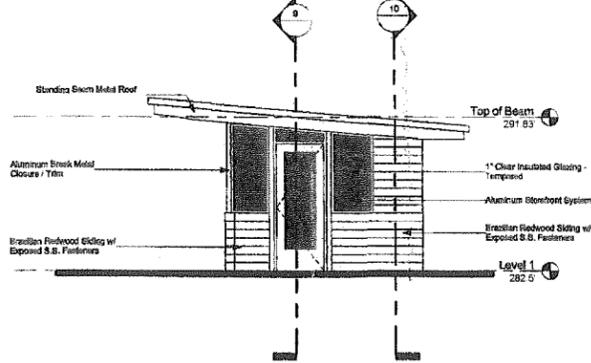
2 GUARDHOUSE RCP
SCALE: 1/4" = 1'-0"



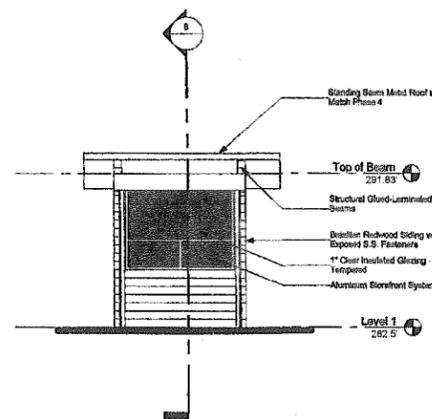
3 GUARDHOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"



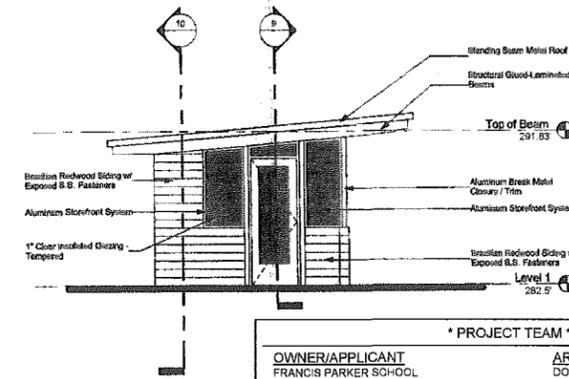
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



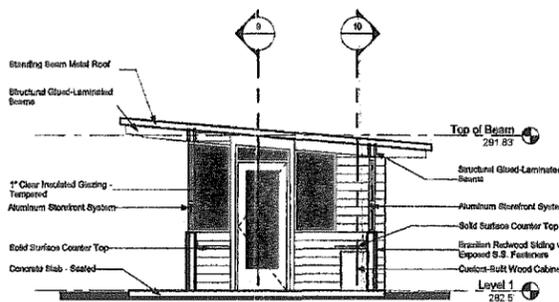
5 EAST ELEVATION
SCALE: 1/4" = 1'-0"



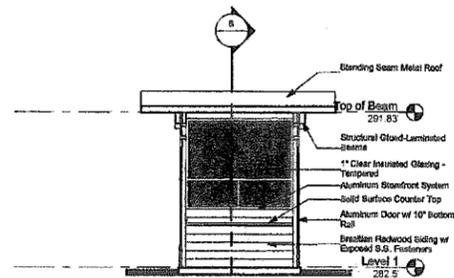
6 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



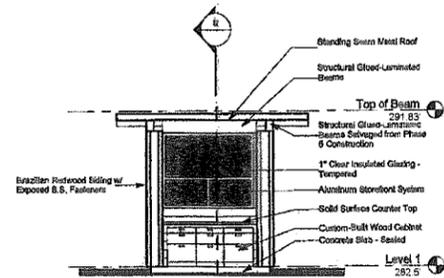
7 WEST ELEVATION
SCALE: 1/4" = 1'-0"



8 LONGITUDINAL SECTION



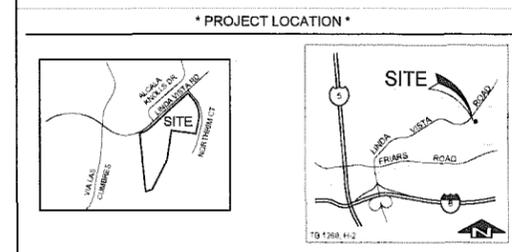
9 TRANSVERSE SECTION



10 TRANSVERSE SECTION

*** PROJECT TEAM ***

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: MIKE REINHART TEL: (619) 427-1739	ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 614-5527	LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SOUTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 236-1462



CGS 83 COORDINATE = 1851N-6276E
LAMBERT COORDINATE = 221-1712

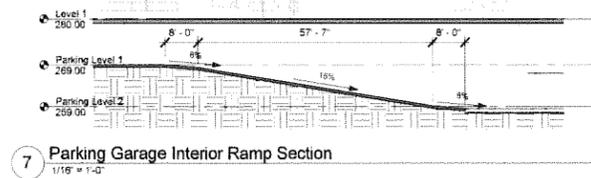
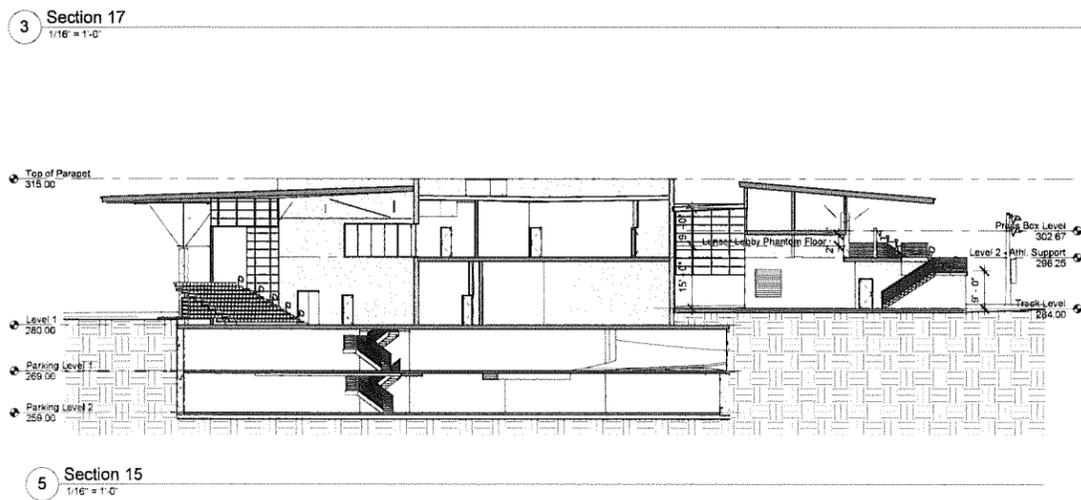
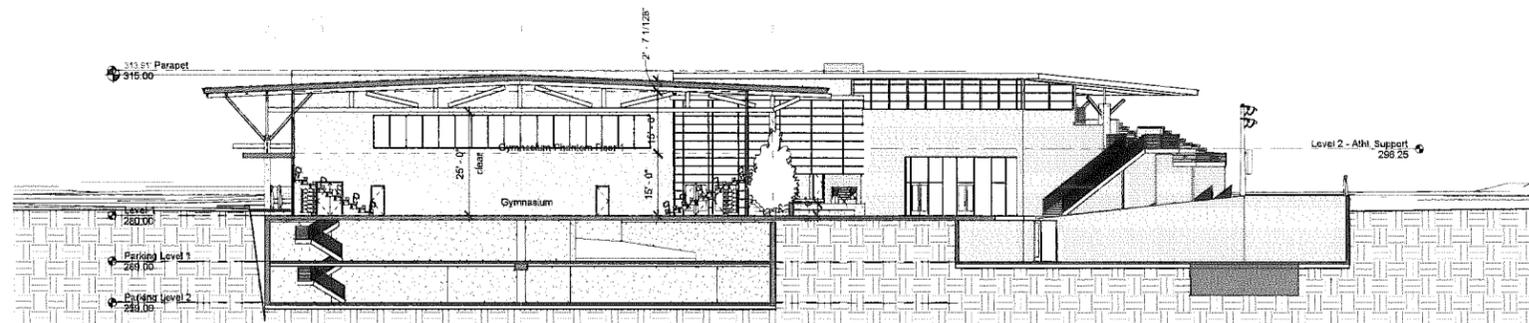
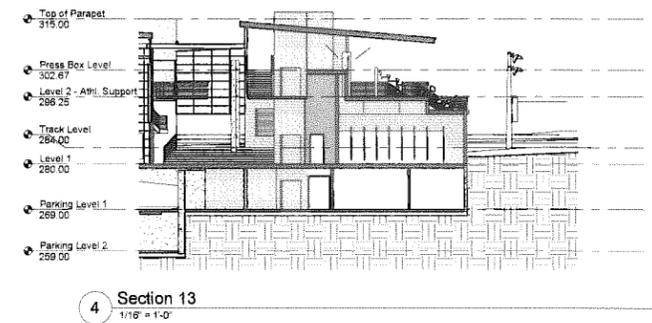
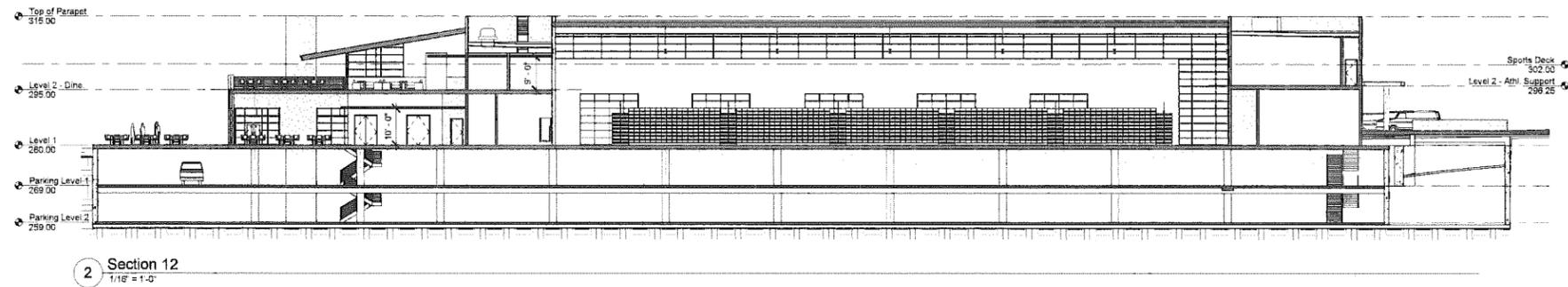
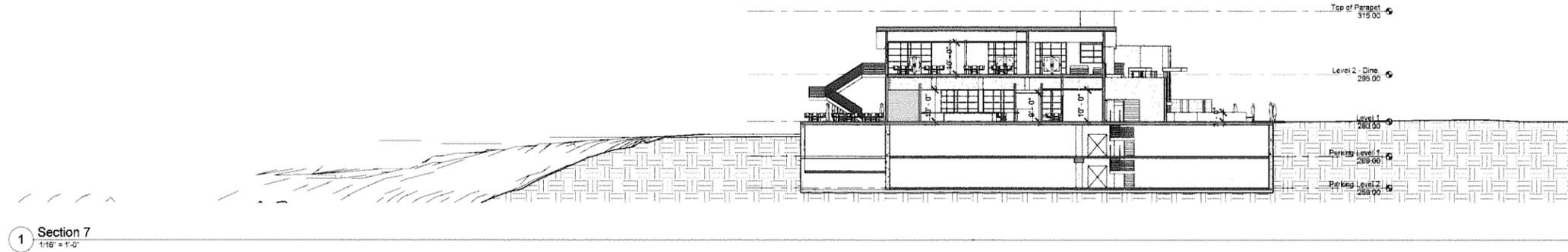
Prepared By: domusstudio architecture 2150 West Washington, Suite 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393	Revision 10 _____ Revision 9 _____ Revision 8 _____ Revision 7 _____ Revision 6 _____ Revision 5 _____ Revision 4 _____ Revision 3 _____ Revision 2 08/02/2015 Revision 1 06/23/2015 Original Date 02/07/2015
Project Address: 6501 LINDA VISTA ROAD	Sheet 15 of 25 PT# 6875
Project Name: FRANCIS PARKER SCHOOL LINDA VISTA CAMPUS MASTER PLAN UPDATE	

Guard House #2 & #3



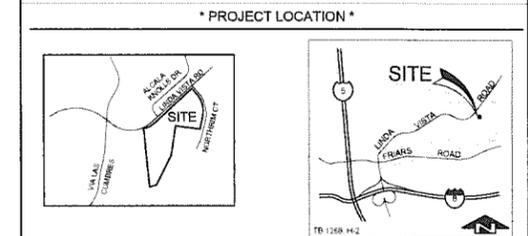
FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



*** PROJECT TEAM ***

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92110 CONTACT: MIKE RINEHART TEL: (619) 427-1739	ARCHITECT DOMUSSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WYNNE HOLTAN TEL: (619) 692-9393
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 5755 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 614-9027	LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 238-1462



CCS 83 COORDINATE = 1861N-8276E
LAMBERT COORDINATE = 221-1712

Prepared By
domusstudio architecture
2150 West Washington, Suite 303
SAN DIEGO, CA 92110
CONTACT: WYNNE HOLTAN
TEL: (619) 692-9393

Project Address
6501 LINDA VISTA ROAD

Project Name
FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

Sheet Title
Dining/Athletic Complex
Sections

Revision 10	_____
Revision 9	_____
Revision 8	_____
Revision 7	_____
Revision 6	_____
Revision 5	_____
Revision 4	_____
Revision 3	_____
Revision 2	09/28/2015
Revision 1	09/23/2015
Original Date	02/27/2015
Sheet	17 of 28
PTSR	84875



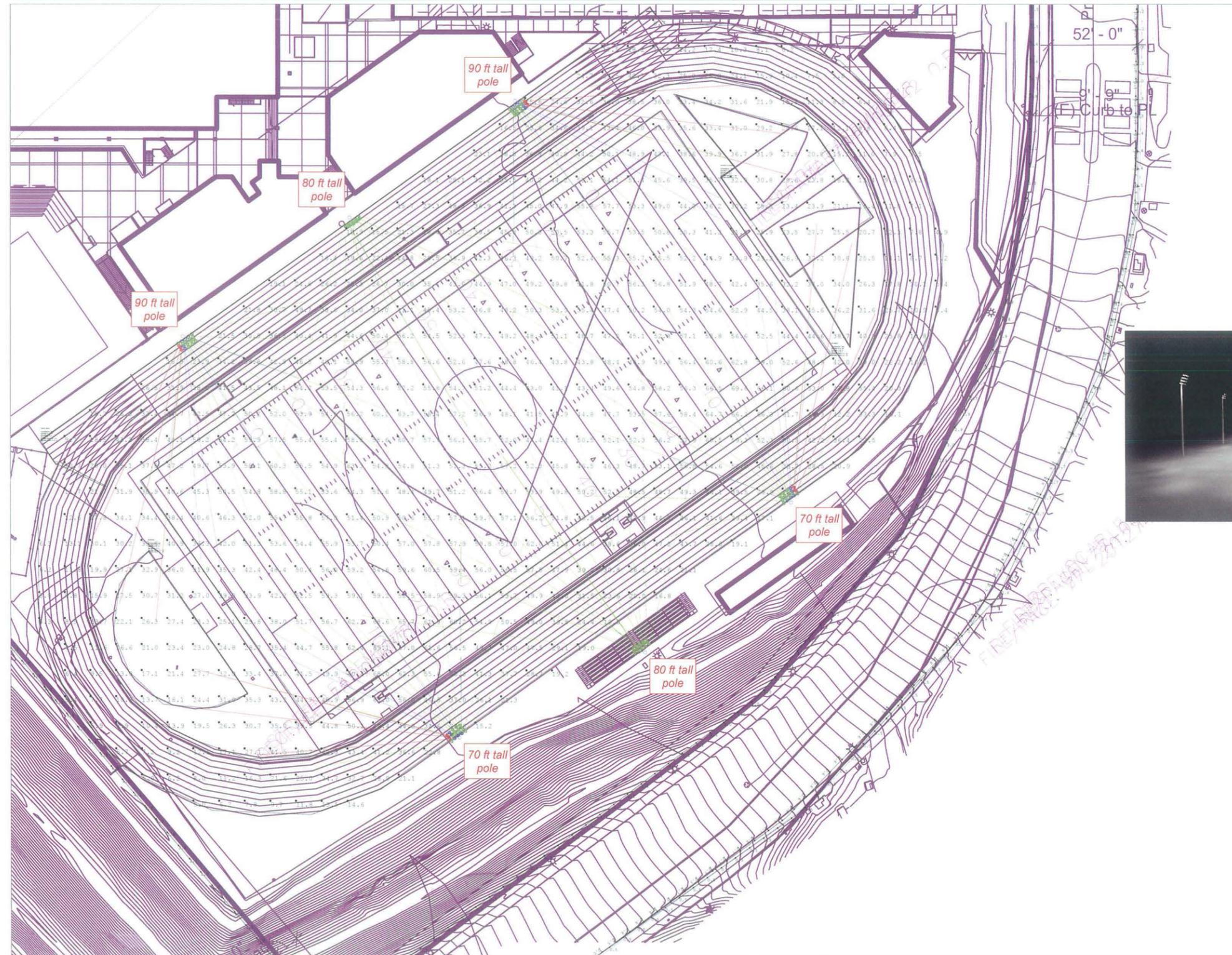
FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

***Lighting calculation results are based on photometric data provided by manufacturers and industry standards regarding reflectance of surfaces.

Symbol	Label	Qty	Description	Lum. Watts	No. Lamps	Lumens/Lamp	Lum. Lumens	Lum. Eff. (%)	LLD	LDD	BF	UDF	LLF	Filename
○	MD1 3	78	SLS1500H3xV2	1610	1	172000	112323	65	0.800	0.800	1.000	1.000	0.640	SLS1500H-3-V2.IES
○	MD1 4	20	SLS1500H4xV2	1610	1	172000	113845	66	0.800	0.800	1.000	1.000	0.640	SLS1500H-4-V2.IES
○	MD1 2	12	SLS1500H2xV2	1610	1	172000	101190	59	0.800	0.800	1.000	1.000	0.640	SLS1500H-2-V2.IES

Label	CalcType	Units	Avg	IES Avg Recomm.	Max	Min	Avg/Min	Max/Min	IES Uniform. Recomm.	Grid Z
Curb Line_Horizontal	Illuminance	Fc	0.44	-	0.7	0.1	4.40	7.00	-	N.A
Curb Line_ObtusiveLt_Vertical	Obtrusive Light	-	2.76	-	2.9	2.5	1.10	1.16	-	N.A
Field	Illuminance	Fc	38.40	-	69.6	4.9	7.84	14.20	-	3
Property Line_Horizontal	Illuminance	Fc	1.26	-	5.5	0.2	6.30	27.50	-	N.A
Football	Illuminance	Fc	51.96	30 (50 per Owner)	69.6	29.2	1.78	2.38	3:1	3
Highjump	Illuminance	Fc	25.47	30	32.9	17.1	1.49	1.92	4:1	3
Shotput_Volleyball	Illuminance	Fc	27.21	30	36.7	16.4	1.66	2.24	4:1	3
Track_lanes	Illuminance	Fc	22.08	20	55.4	4.9	4.51	11.31	4:1	3

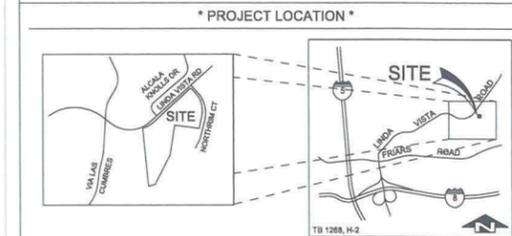


ROOM CHARACTERISTICS
 CEILING REFLECTANCE: n/a
 WALL REFLECTANCE: n/a
 FLOOR REFLECTANCE: Ground: 20%
 CALC. PLANE HEIGHT: 3ft A.F.G
 OTHER IMPORTANT INFORMATION: All Elevations not modeled.
 (2) 70ft Poles, (2) 80ft Poles, (2) 90ft Poles



*** PROJECT TEAM ***

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92121 CONTACT: MIKE RINEHART TEL: (658) 427-1739	ARCHITECT DOMUSTUDIO ARCHITECTURE 2150 W. WASHINGTON, SUITE 303 SAN DIEGO, CA 92116 CONTACT: WAYNE HOLTAN TEL: (619) 692-9393
PLANNER/CIVIL ENGINEER RBF CONSULTING 9765 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (658) 614-6027	LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 236-1442



CCS 83 COORDINATE = 1861N-8276E
 LAMBERT COORDINATE = 221-1712

Prepared By:
 Michael Wall Engineering
 4115 Somers Valley Blvd.
 SAN DIEGO, CA 92121
 CONTACT: Steve Barry
 TEL: (658) 531-8813

Project Address:
 6501 LINDA VISTA ROAD

Project Name:
 FRANCIS PARKER SCHOOL
 LINDA VISTA CAMPUS
 MASTER PLAN UPDATE

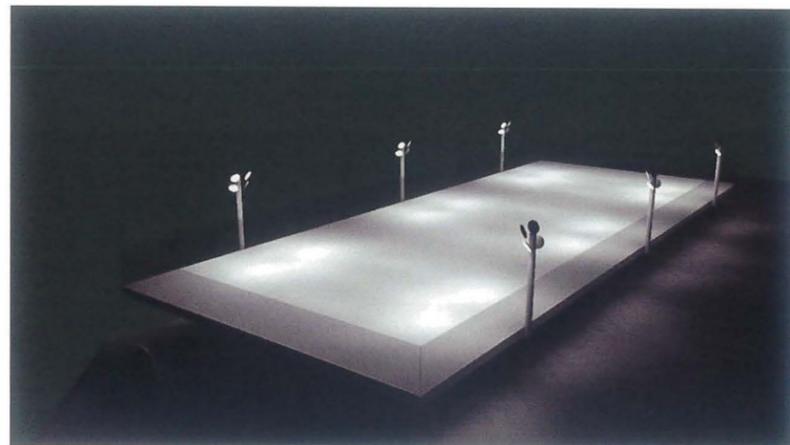
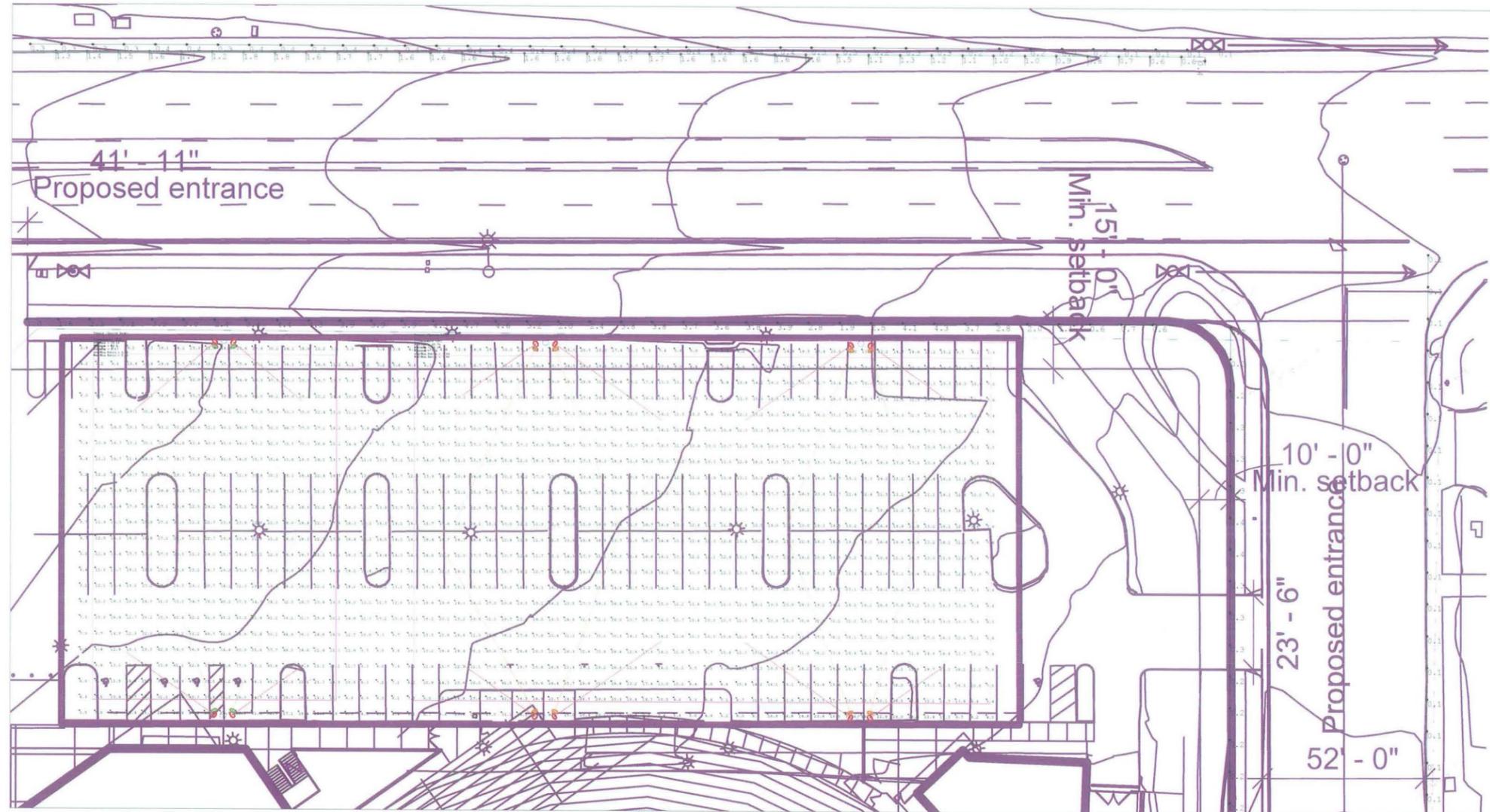
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 Sports Field Lighting
 Study

Revision 10: _____	Revision 1: _____
Revision 9: _____	Revision 2: _____
Revision 8: _____	Revision 3: _____
Revision 7: _____	Revision 4: _____
Revision 6: _____	Revision 5: _____
Revision 5: _____	Revision 6: _____
Revision 4: _____	Revision 7: _____
Revision 3: _____	Revision 8: _____
Revision 2: _____	Revision 9: _____
Revision 1: _____	Revision 10: _____
Original Date: 02/27/2015	Sheet: 18 of 35
PT38 412987	

AE1.1
 MICHAEL WALL ENGINEERING

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



ROOM CHARACTERISTICS
 CEILING REFLECTANCE: n/a
 WALL REFLECTANCE: n/a
 FLOOR REFLECTANCE: Ground: 20%
 CALC. PLANE HEIGHT: 3ft A.F.G
 OTHER IMPORTANT INFORMATION: All pole heights are 27 ft. Elevations not modeled.

Calculation Summary

Label	CalcType	Units	Avg	IES Avg Recomm.	Max	Min	Avg/Min	Max/Min	IES Uniform. Recomm.	Grid Z
Boundary_E_Horizontal	Illuminance	Fc	0.24	-	0.4	0.1	2.40	4.00	-	N.A
Boundary_N_Horizontal	Illuminance	Fc	3.02	-	4.7	0.6	5.03	7.83	-	N.A
Curb_E_Horizontal	Illuminance	Fc	0.10	-	0.1	0.1	1.00	1.00	-	N.A
Curb_N_Horizontal	Illuminance	Fc	0.32	-	0.4	0.1	3.20	4.00	-	N.A
Curb_N_ObtrusiveLight_Vertical_Ill	Obtrusive Light	Fc	1.40	-	1.8	0.6	2.33	3.00	-	N.A
Sports Deck	Illuminance	Fc	21.38	-	59.9	2.8	7.64	21.39	-	22
Soccer (Sports Deck)	Illuminance	Fc	20.71	20	43.0	5.4	3.84	7.96	4:1	
Tennis (Sports Deck)	Illuminance	Fc	29.16	30	59.9	6.2	4.70	9.66	2.5:1	

Luminaire Schedule

Symbol	Label	Qty	Description	Lum. Watts	No. Lamps	Lumens/Lamp	Lum. Lumens	Lum. Eff.(%)	LLD	LDD	BF	UDF	LLF	Filename
⊙	M02 6	12	SLS1000Hx-x6x-V2	1080	1	108000	53377	49	0.800	0.800	1.000	1.000	0.640	sls1000h-6-v2.ies
⊙	M01 4	4	SLS1500Hx4xV2	1610	1	172000	113845	66	0.800	0.800	1.000	1.000	0.640	sls1500h-4-v2.ies
⊙	M02 4	8	SLS1000Hx-x4x-V2	1080	1	108000	72003	67	0.800	0.800	1.000	1.000	0.640	sls1000h-4-v2.ies

***Lighting calculation results are based on photometric data provided by manufacturers and industry standards regarding reflectance of surfaces.

*** PROJECT TEAM ***

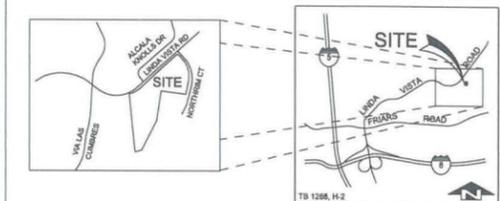
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*** PROJECT LOCATION ***



CCS 83 COORDINATE = 1861N-6276E
 LAMBERT COORDINATE = 221-1712

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Revision 10:	
Revision 9:	
Revision 8:	
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Revision 4:	
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Original Date:	02/27/2015
Sheet:	15 of 25
PT#:	412987

Project Address:
 6501 LINDA VISTA ROAD

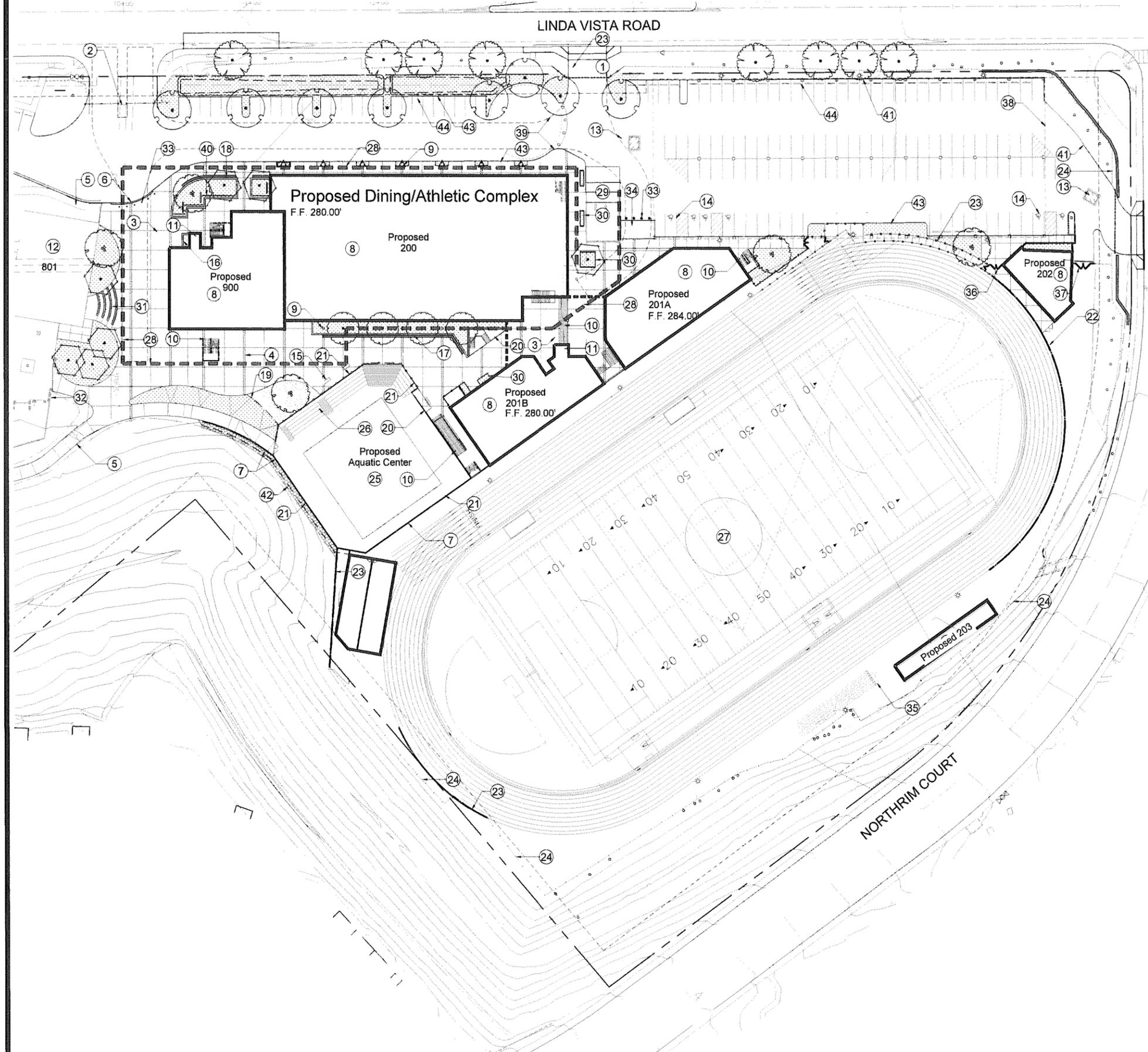
Project Name:
 FRANCIS PARKER SCHOOL
 LINDA VISTA CAMPUS
 MASTER PLAN UPDATE

Sheet Title:
 Sports Deck Lighting
 Study

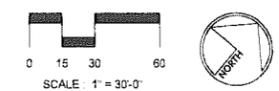


FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



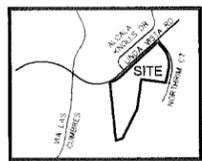
REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
1	PROPOSED DRIVEWAY PER CIVIL PLANS
2	EXISTING ENTRANCE
3	PROPOSED INTEGRAL COLOR CONCRETE
4	PROPOSED ENHANCED CONCRETE ACCENT BAND
5	EXISTING CONCRETE SIDEWALK
6	PROPOSED 6" ROLLED CURB PER CIVIL PLANS
7	PROPOSED RETAINING WALL PER CIVIL PLANS. COLOR TO BE EARTH TONE TO BE CONSISTENT WITH EXISTING CAMPUS ARCHITECTURE
8	PROPOSED BUILDING PER ARCHITECTURAL PLANS
9	PROPOSED SUPPORT COLUMN PER ARCHITECTURAL PLANS
10	PROPOSED STAIRS PER ARCHITECTURAL PLANS
11	PROPOSED ELEVATOR PER ARCHITECTURE PLANS
12	EXISTING BUILDING TO REMAIN PER ARCHITECTURAL SITE PLAN
13	PROPOSED GUARD HOUSE
14	EXISTING ACCESSIBLE PARKING SPACE
15	PROPOSED BENCH
16	PROPOSED 36" HT. RAISED PLANTER WALL - SEE DETAIL ON SHEET LC-1.2
17	PROPOSED 36" HT. RAISED PLANTER WALL WITH INTEGRATED BENCH
18	PROPOSED 36" HT. RAISED PLANTER WALL WITH INTEGRATED BENCH AND GREEN-SCREEN
19	PROPOSED CONCRETE MOW CURB
20	PROPOSED 42" HEIGHT RAILING
21	PROPOSED 5' HEIGHT TUBULAR STEEL POOL FENCING EMBEDDED INTO CMU WALL
22	PROPOSED 42" HEIGHT FENCING
23	PROPOSED SECURITY FENCING
24	EXISTING FENCING
25	PROPOSED POOL
26	PROPOSED POOL BLEACHER SEATING
27	PROPOSED MULTI-PURPOSE TRACK AND FIELD
28	LIMIT OF PROPOSED BELOW GRADE PARKING STRUCTURE
29	PROPOSED PARKING STRUCTURE ACCESS RAMP
30	PROPOSED PRE-MANUFACTURED CONCRETE RAISED PLANTER
31	PROPOSED OUTDOOR AMPHITHEATER
32	EXISTING CONCRETE SEAT WALL
33	PROPOSED REMOVABLE BOLLARD
34	PROPOSED FIRE ACCESS, DELIVERY, AND MAINTENANCE RAMP
35	PROPOSED VISITOR BLEACHERS
36	PROPOSED PEDESTRIAN ACCESS GATE
37	PROPOSED VEHICULAR ACCESS GATE
38	PROPOSED MULTI-PURPOSE FIELD ABOVE PARKING FUTURE PHASE
39	PROPOSED FIRE ACCESS
40	PROPOSED GREEN-SCREEN ELEMENT IN RAISED PLANTER
41	EXISTING 6" CURB TO REMAIN
42	COASTAL SAGE SCRUB SLOPE PLANTING. REPAIR AS NEEDED. SEE PLANTING LEGEND FOR APPROPRIATE PLANTS
43	PROPOSED 6" CURB
44	PROPOSED 6" WHEEL STOP



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*** PROJECT LOCATION ***




CCS 83 COORDINATE = 1861N-6276E
LAMBERT COORDINATE = 221-1712

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LC-1.1


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FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

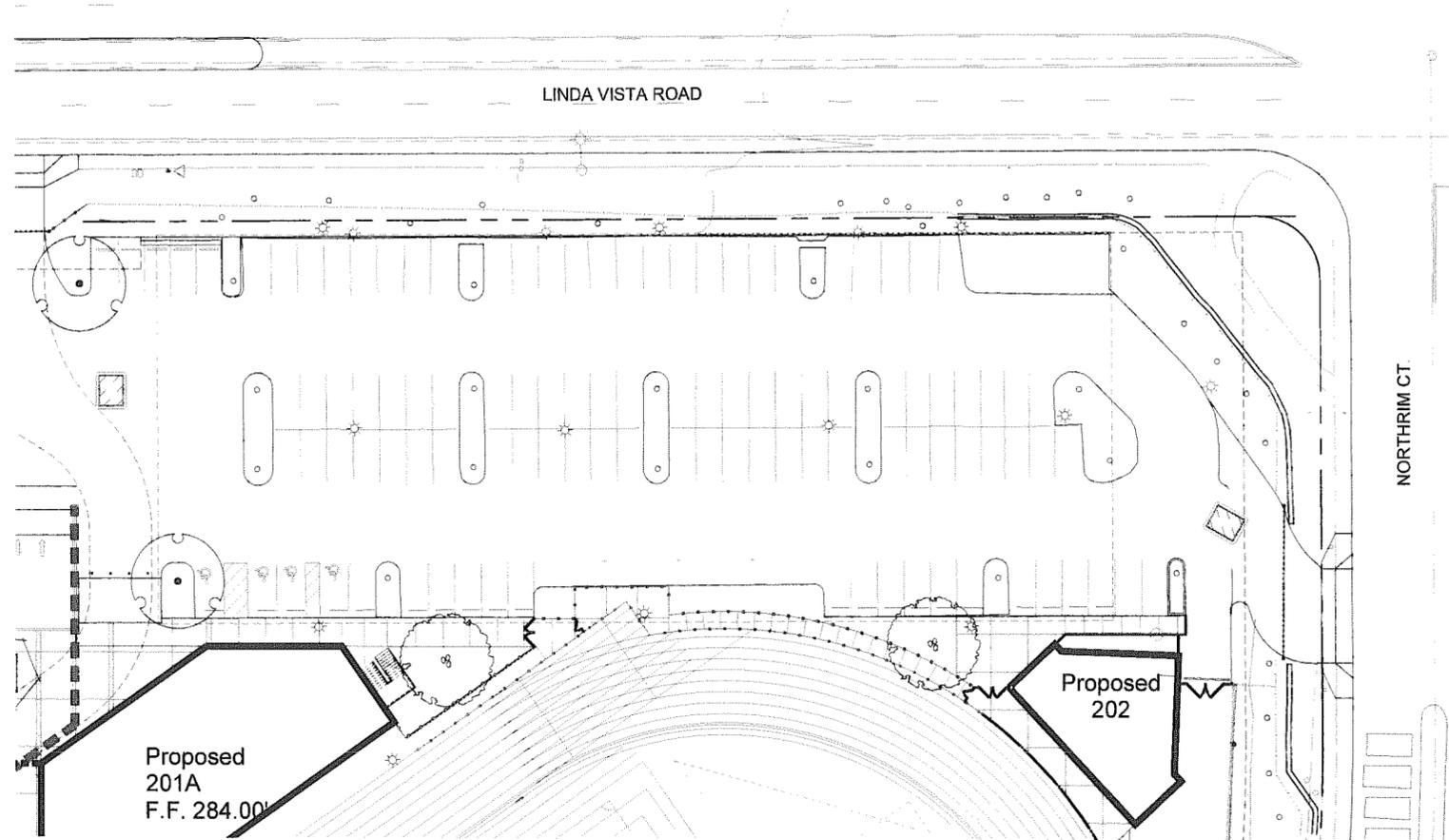
ATTACHMENT 1 2

PLANT SCHEDULE

SYM	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE	QTY	FORM / FUNCTION
	PARKING LOT TREES PINUS CANARIENSIS / CANARY ISLAND PINE PYRUS CALLERYANA 'ARISTOCRAT' TM / ARISTOCRAT FLOWERING PEAR TRISTANIA CONFERTA / BRISBANE BOX	48" BOX (100%)	25Wx50H	8	EVERGREEN / UPRIGHT / PARKING SHADE PARKING LOT TREES
	EVERGREEN TREES PINUS CANARIENSIS / CANARY ISLAND PINE QUERCUS AGRIFOLIA / COAST LIVE OAK QUERCUS ILEX / HOLLY OAK QUERCUS LOBATA / VALLEY OAK	24" BOX (100%)	40Wx40H	5	EVERGREEN / ROUNDED / UPRIGHT SHADE AND ACCENT
	ACCENT TREES CERCIS CANADENSIS / EASTERN REDBUD CERCIS OCCIDENTALIS / WESTERN REDBUD LAGERSTROEMIA INDICA / CRAPE MYRTLE PYRUS CALLERYANA 'ARISTOCRAT' TM / ARISTOCRAT FLOWERING PEAR	24" BOX (100%)	15Wx20H	7	SEMI-DECIDUOUS FLOWERING ROUNDED/ COLOR ACCENT
	EXISTING TREES TO REMAIN				
	VERTICAL ACCENT GEIJERA PARVIFLORA / AUSTRALIAN WILLOW MELALEUCA QUINQUENERVIA / CAJUPUT TREE TRISTANIA CONFERTA / BRISBANE BOX	24" BOX (100%)	25Wx35H	4	EVERGREEN UPRIGHT / PYRAMIDAL VERTICAL ACCENT
	STREET TREES KOELREUTERIA BIPINNATA / CHINESE FLAME TREE	24" BOX (100%)	30Wx30H	8	
	VINES BOUGAINVILLEA X SAN DIEGO RED / BOUGAINVILLEA FICUS PUMILA / CREEPING FIG			7	
	SHRUBS ABELIA X GRANDIFLORA / GLOSSY ABELIA AGANTHUS MOLLIS / BEAR'S BREED BOUGAINVILLEA X 'OO-LA-LA' TM / OO-LA-LA BOUGAINVILLEA CALLUNDA TWEEDEI / TRINIDAD FLAME BUSH CISTUS X PURPUREUS / ORCHID ROCKROSE CYRTOMIUM FALCATUM / HOLLY FERN DIETES VEGETA / AFRICAN IRIS ECHINUM CANDICANS / PRIDE OF MADEIRA ELAEAGNUS PLUNGENS 'FRUITLANDI' / SILVERBERRY FATSIA JAPONICA / JAPANESE FATSIA GALVEZIA SPECIOSA / ISLAND BUSH SNAPDRAGON GREVILLEA LAVANDULACEA 'TANLINDA' / LAVENDER GREVILLEA GREVILLEA X 'NOBELLI' / GREVILLEA GREVIA OCCIDENTALIS / LAVENDER STARFLOWER HEMEROCALLIS X HYBRID / DAYLILY HEUCHERA X 'AMBER WAVES' / CORAL BELLS LANTANA MONTEVIDENSIS / TRAILING LANTANA LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER LIGUSTRUM TEXANUM / TEXAS PRIVET LONICERA JAPONICA / JAPANESE HONEYBUCKLE MYRTUS COMMUNIS 'COMPACTA' / DWARF MYRTLE SALVIA LEUCANTHA / MEXICAN BUSH SAGE TULSINGHA VIOLACEA / SOCIETY GARLIC WOODWARDIA FIMBRATA / GIANT CHAIN FERN XYLOSMA CONGESTUM / SHINY XYLOSMA	CONTAINER SIZE 16 GAL 5% 5 GAL 25% 1 GAL 75%	SPACING 60" O.C. 48" O.C. 24" O.C. 72" O.C. 24" O.C. 36" O.C. 48" O.C. 60" O.C. 48" O.C. 24" O.C. 48" O.C. 72" O.C. 18" O.C. 12" O.C. 24" O.C. 24" O.C. 48" O.C. 80" O.C. 24" O.C. 60" O.C. 24" O.C. 48" O.C. 60" O.C.		
	COASTAL SAGE SCRUB ARGENTOPHYLLUS DENSIFLORA / VINE HILL MANZANITA ARTESISA CALIFORNICA / CALIFORNIA SAGEBRUSH BACCHARIS FILLULARIS / DWARF COYOTE BRUSH CEANOTHUS SPP. / WILD LILAC ELYMUS CONDENSATUS / GIANT WILD RYE ENCELIA CALIFORNICA / CALIFORNIA ENCELIA ERIGONUM CINERUM / ASH-LEAF BUCKWHEAT HETEROMELES ARBUTIFOLIA / TUDOR MALOSMA LAURINA / LAUREL SUMAC RHUS INTEGRIFOLIA / LEMONADE BERRY SALVIA APIANA / WHITE SAGE SALVIA MELILLIFERA / BLACK SAGE	5 GAL 15% 1 GAL 85%			
	LAWN CYNDON DACTYLON / BERMUDA GRASS				

INTERIM PARKING LAYOUT - 113 TOTAL SPACES (109 STANDARD + 4 ADA)

SCALE 1" = 20'



Proposed
201A
F.F. 284.00'

Proposed
202

OVERALL DESIGN INTENT

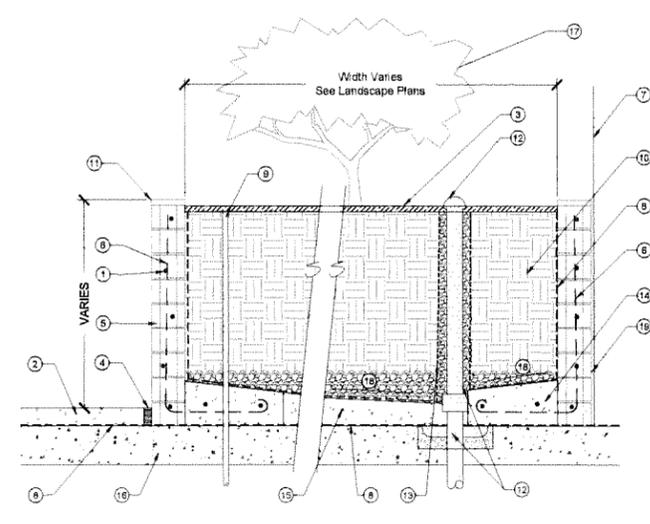
THE LANDSCAPE CONCEPT FOR FRANCIS PARKER SCHOOL AIMS TOWARD THOUGHTFULLY INTEGRATING THE BUILT MESA ENVIRONMENT WITH THE SURROUNDING SLOPE AND CANYON ENVIRONMENTS. THE CONCEPT FURTHER DERIVES FROM FUNCTIONAL AND AESTHETIC GOALS CENTERED ON DEVELOPING A SUSTAINABLE, LOW WATER USE, AND LOW-IMPACT LANDSCAPE.

THE PRIMARY INTENT OF THE DESIGN IS SUPPORTED BY THE USE OF LANDSCAPE ELEMENTS SUCH AS CALIFORNIA NATIVE AND NATURALIZING PLANT MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. THESE PLANT MATERIALS ARE WELL SUITED TO SELECTIVELY SOFTENING AND VEILING THE ARCHITECTURAL MASSES WHILE PROVIDING A SENSE OF IDENTITY AND HARMONY WITH THEIR SURROUNDINGS. PAVING MATERIALS ARE INTENDED TO BE PERMEABLE WHEREVER POSSIBLE AND PAVING SURFACES ARE OPTIMIZED FOR EFFICIENCY OF USE TO MINIMIZE THEIR EXTENT.

WE FORESEE AN INTEGRAL ENVIRONMENT OF NATIVE PLANT MATERIALS THAT ENGAGE BUILDINGS AND OTHER SITE FEATURES IN THE FORM OF OUTDOOR CLASSROOMS. THESE ARE TO DEVELOP AS GARDENS OF NATIVE AND NATURALIZING GRASSES, SHRUBS, AND MEADOWS THAT SUPPORT AND STRENGTHEN THE COLLEGIATE ENVIRONMENT AT FRANCIS PARKER SCHOOL.

LANDSCAPE & IRRIGATION MAINTENANCE NOTES

- AN AUTOMATIC, WATER-EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.
- IRRIGATION SYSTEMS SHALL MEET THE FOLLOWING DESIGN REQUIREMENTS:
 - INCLUDE AND INSTALL A CITY-APPROVED ELECTRONICALLY CONTROLLED AUTOMATIC RAIN SHUT-OFF DEVICE. APPROVED DEVICES INCLUDE W.C.S. RAINGUARD, TORO RAINSWITCH, AND HILTON MINI-CLICK.
 - INCLUDE AND INSTALL A CITY-APPROVED MOISTURE SENSING DEVICE. APPROVED DEVICES INCLUDE W.C.S. 'HYDROVISOR' & RAINBIRD AQUA MISTER.
 - INCLUDE AND INSTALL LOW PRECIPITATION RATE SPRINKLER NOZZLES. HEADS SHALL BE PLACED TO MINIMIZE OVERSPRAY AND TO REDUCE RUN-OFF OF WATER FROM OVERWATERING.
 - INCLUDE AND INSTALL AN AUTOMATIC ELECTRIC CONTROLLER THAT SHALL BE SEASONALLY ADJUSTED TO OPERATE THE IRRIGATION SYSTEM WITH THE LEAST PRACTICAL AMOUNT OF WATER APPLIED.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER (FRANCIS PARKER SCHOOL). LANDSCAPE AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITION OF THE PERMIT.
- THE OWNER (FRANCIS PARKER SCHOOL) SHALL ALSO BE RESPONSIBLE FOR MAINTAINING PLANT AND IRRIGATION MATERIAL WITHIN THE RIGHT-OF-WAY.
- REQUIRED PER CITY, ROOT BARRIERS: ROOT BARRIER ARE REQUIRED FOR ALL STREET TREES WITHIN 6' OF ANY HARDSCAPE, CURBS OR WALLS. THEY SHALL BE 24" DEEP, 0.8" THICK, AND BE PLACED FLUSHED WITH THE TOP OF ANY ADJACENT HARDSCAPE OR CURB AND BE CENTERED 10' ON EITHER SIDE OF THE TREE (20' LONG TOTAL). SEE CITY DETAIL #746.
- TREE SELECTIONS FOR LINDA VISTA RD. FRONTAGE ARE PER THE LINDA VISTA STREET TREE PLAN.
- MINIMUM TREE/IMPROVEMENT SEPARATION DISTANCE:
 - TRAFFIC SIGNALS/STOP SIGN - 20 FT
 - UNDERGROUND UTILITY LINES - 5 FT
 - ABOVE GROUND UTILITY STRUCTURES - 10 FT
 - DRIVEWAYS - 10 FT
- PLACE YELLOW OR ORANGE TEMPORARY FENCE AROUND TREE AT DRIP LINE. STOCKPILING, TOPSOIL, MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC & STORAGE IS PROHIBITED WITHIN THE DRIP LINE. PROTECT ROOTS FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING & DRYING DURING RE-WATERING. MAINTAIN EXISTING GRADE WITHIN THE DRIP LINE. CUT ROOTS APPROXIMATELY 6" FROM NEW CONSTRUCTION & SEAL CUT WITH WOOD PAINT MADE BY FLINTKOTE OR APPROVED EQUAL. MAINTAIN & DOCUMENT A TREE-WATERING SCHEDULE DURING CONSTRUCTION. REPLACE DAMAGED TREES WITH ONE OF EQUAL SIZE.



- LEGEND:**
- HORIZONTAL REINFORCEMENT PER STRUCTURAL ENGINEER
 - ADJACENT TOPPING SLAB
 - 2" LAYER OF MULCH
 - EXPANSION JOINT
 - 8" X 8" X 16" CMU BLOCK OR CAST-IN-PLACE PLANTER WALL
 - VERTICAL REINFORCEMENT PER STRUCTURAL ENGINEER
 - BUILDING WALL PER ARCHITECTURE PLANS
 - WATER PROOFING AND DRAINAGE BOARD PER ARCHITECTURE PLANS
 - IRRIGATION LATERAL LINE
 - LIGHTWEIGHT PLANTER MIX
 - CONCRETE WALL CAP
 - DRAIN PER MECHANICAL ENGINEER
 - ROOTBARRIER WRAP AROUND GRAVEL AT DRAIN. EXTEND FABRIC THROUGH PLANTER LINER
 - STRUCTURAL PLANTER FOOTING
 - CONCRETE FILL AT PLANTER, SLOPE TO DRAIN
 - STRUCTURAL SLAB, SLOPE TO DRAIN
 - PLANT MATERIAL
 - SLOPE TO DRAIN
 - 1" AIR SPACE
- NOTES:**
- ALL PENETRATIONS TO LINER MUST BE SEALED SO AS NOT TO ALLOW FOR ROOT OR WATER TO SEEP THROUGH.
 - PROVIDE SEALANT AND WATERPROOFING AT ALL PENETRATIONS.
- 1 PLANTER OVER PODIUM**
1/2" = 1'-0"

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*** PROJECT LOCATION ***

COS 83 COORDINATE = 1881N-8276E
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Project Name:
FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

Sheet: 22 of 25
PDS# 412587

Sheet Title:
LANDSCAPE DEVELOPMENT PLAN LEGEND, NOTES, & INTERIM PARKING

LC-1.2
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ATTACHMENT 1 2

FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276

NOTES

BRUSH MANAGEMENT ZONE NOTES

1. FOR PLANTING WITHIN BRUSH MANAGEMENT ZONE, REFER TO LANDSCAPE DEVELOPMENT PLANS AND LEGEND SHEET LC-1.1.
2. FOR UNMODIFIED PORTION OF EXISTING CAMPUS, BRUSH MANAGEMENT ZONES HAVE BEEN DETERMINED ACCORDING TO THE REQUIREMENTS SET FORTH IN §142.0412(B)(1). [ALSO REFER TO DIAGRAM 142.04D] WHEREIN IT IS STATED THAT PROPERTIES WITH TENTATIVE MAP APPROVAL PRIOR TO NOVEMBER 15, 1989 CAN HAVE ZONE 1 INCLUDED ON SLOPES GREATER THAN 4:1 ADJACENT TO STEEP SLOPES WITH A HEIGHT GREATER THAN OR EQUAL TO 50'. THE BRUSH MANAGEMENT PROGRAM SHALL CONSIST OF TWO ZONES CONSISTENT WITH THE BRUSH MANAGEMENT REGULATIONS OF THE LAND DEVELOPMENT CODE SECTION 142.0412 AS FOLLOWS: A MINIMUM OF 62-FT ZONE ONE WITH NO REQUIRED ZONE TWO SHALL EXTEND ALONG EASTERN PORTIONS OF THE LOT FROM THE PROPOSED AQUATIC CENTER TO THE EXISTING MIDDLE SCHOOL CLASSROOMS (BLDG 302). A STANDARD 25-FT ZONE ONE AND 30-FT ZONE TWO SHALL EXTEND ALONG EASTERN PORTIONS OF THE LOT FROM THE EXISTING MIDDLE SCHOOL CLASSROOMS (BLDG 302) TO THE UPPER CLASSROOMS (BLDG 103). A MINIMUM 28-FT ZONE ONE AND 30-FT ZONE TWO SHALL BE PROVIDED OVER THE WEST PORTION OF THE LOT ADJACENT TO THE SCIENCE CLASSROOMS (BLDG 105) AND UPPER SCHOOL CLASSROOMS/COMMONS (BLDG 100 THROUGH 102).

BRUSH MANAGEMENT DESIGN METHOD

A COMBINATION OF PLANT MATERIALS, IRRIGATION ZONES AND MAINTENANCE TECHNIQUES WORK TOGETHER TO MAINTAIN AN APPROPRIATE BALANCE BETWEEN SUSTAINABLE ECOSYSTEM MANAGEMENT AND OPTIMIZED FUEL REDUCTION. PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR LOW HEIGHT AND LARGE PERCENTAGE OF PERENNIAL AND HERBACEOUS MATERIALS FROM PART OF THE PLANTING MIXTURES WITHIN ZONES 1 AND 2. THESE MATERIALS ABSORB AND RETAIN A HIGHER PERCENTAGE OF WATER CONTENT IN COMPARISON TO MOST OTHER WOODY SPECIES AND ARE THEREFORE FIRE RETARDANT. ALL PLANTINGS IN ZONE 1 ARE TO BE PERMANENTLY IRRIGATED BY AN AUTOMATIC SURFACE DRIP IRRIGATION SYSTEM, SUPPLEMENTED BY A MICRO-SPRAY IRRIGATION SYSTEM WHERE ADJACENT TO STRUCTURES. THE APPROPRIATE SCHEDULE FOR THINNING AND TRIMMING OF TREES AND SHRUBS WITHIN THE MANAGEMENT ZONES IS SUPPLEMENTED BY THE COLLECTION AND REMOVAL OF ALL LITTER AND DEBRIS THAT IS DEPOSITED ON TOP OF STRUCTURES.

MORE THAN 40' FROM NATIVE / NATURALIZED VEGETATION, NO BRUSH MANAGEMENT REQUIRED

OUTER LIMIT OF EXISTING APPROVED BRUSH MANAGEMENT ZONE ONE

EXISTING APPROVED BRUSH MANAGEMENT ZONE ONE

EXISTING APPROVED BRUSH MANAGEMENT ZONE TWO

ZONE TWO REQUIREMENTS (65)

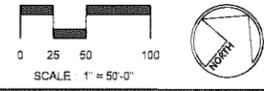
- (1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- (2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- (3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
- (4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- (5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL, INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION.
 - (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - (B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - (C) ALL NEW ZONE TWO PLANTINGS SHALL, IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A). REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
 - (D) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
 - (E) EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142.04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

ZONE ONE REQUIREMENTS (35)

- (1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- (2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
- (3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- (4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- (5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - (B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- (7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

LINDA VISTA ROAD

NORTHIM CT.



*** PROJECT TEAM ***

<p>OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: WAINIE RINEHART TEL: (619) 427-1759</p>	<p>ARCHITECT DOMUSSTUDIO ARCHITECTURE 2450 W WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAINIE RINEHART TEL: (619) 692-9392</p>
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 3755 CLAREMONT MESA BLVD, #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 814-5027</p>	<p>LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (619) 236-1462</p>

*** PROJECT LOCATION ***

CCS 83 COORDINATE = 1861N-6278E
LAMBERT COORDINATE = 221-1712

Prepared By:
SCHMIDT DESIGN GROUP, INC.
1111 SIXTH AVENUE, SUITE 500
SAN DIEGO, CA 92101
CONTACT: JEFF JUSTUS
TEL: (619) 236-1462

Project Address:
6501 LINDA VISTA ROAD
SAN DIEGO, CA 92111

Project Name:
FRANCIS PARKER SCHOOL
LINDA VISTA CAMPUS
MASTER PLAN UPDATE

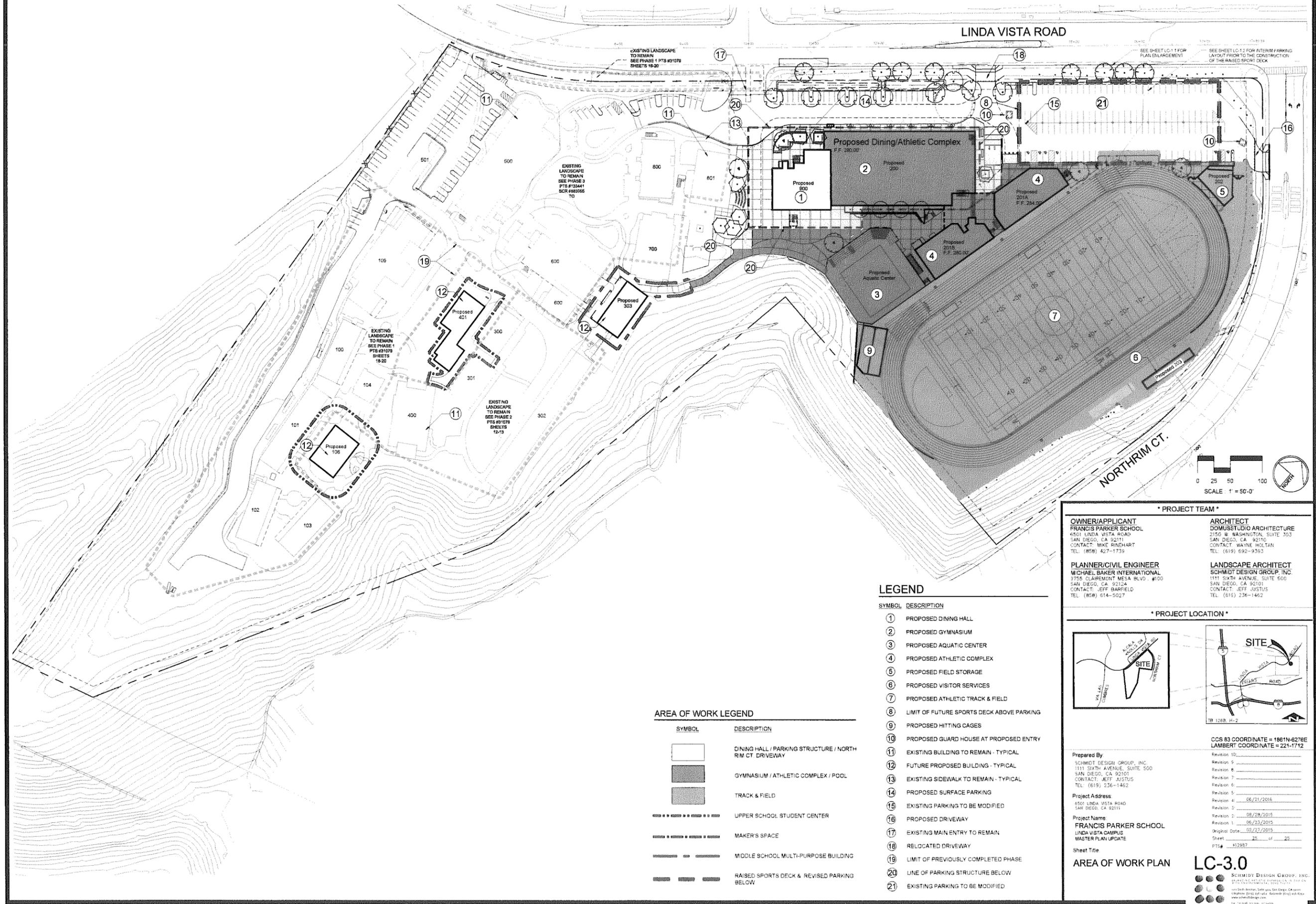
Sheet Title:
BRUSH MANAGEMENT PLAN

Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4: 06/21/2016
Revision 3: 12/11/2015
Revision 2: 08/28/2015
Revision 1: 05/23/2015
Original Date: 02/27/2015
Sheet 24 of 25
PTS# 412987

LC-2.0
SCHMIDT DESIGN GROUP, INC.
1111 SIXTH AVENUE, SUITE 500
SAN DIEGO, CA 92101
CONTACT: JEFF JUSTUS
TEL: (619) 236-1462
www.schmidtgroup.com

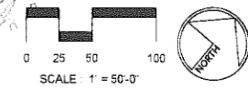
FRANCIS PARKER SCHOOL - LINDA VISTA CAMPUS MASTER PLAN UPDATE

AMENDS PDP 84875/SDP 215276



LINDA VISTA ROAD

NORTH RIM CT.



LEGEND

- | SYMBOL | DESCRIPTION |
|--------|---|
| ① | PROPOSED DINING HALL |
| ② | PROPOSED GYMNASIUM |
| ③ | PROPOSED AQUATIC CENTER |
| ④ | PROPOSED ATHLETIC COMPLEX |
| ⑤ | PROPOSED FIELD STORAGE |
| ⑥ | PROPOSED VISITOR SERVICES |
| ⑦ | PROPOSED ATHLETIC TRACK & FIELD |
| ⑧ | LIMIT OF FUTURE SPORTS DECK ABOVE PARKING |
| ⑨ | PROPOSED HITTING CAGES |
| ⑩ | PROPOSED GUARD HOUSE AT PROPOSED ENTRY |
| ⑪ | EXISTING BUILDING TO REMAIN - TYPICAL |
| ⑫ | FUTURE PROPOSED BUILDING - TYPICAL |
| ⑬ | EXISTING SIDEWALK TO REMAIN - TYPICAL |
| ⑭ | PROPOSED SURFACE PARKING |
| ⑮ | EXISTING PARKING TO BE MODIFIED |
| ⑯ | PROPOSED DRIVEWAY |
| ⑰ | EXISTING MAIN ENTRY TO REMAIN |
| ⑱ | RELOCATED DRIVEWAY |
| ⑲ | LIMIT OF PREVIOUSLY COMPLETED PHASE |
| ⑳ | LINE OF PARKING STRUCTURE BELOW |
| ㉑ | EXISTING PARKING TO BE MODIFIED |

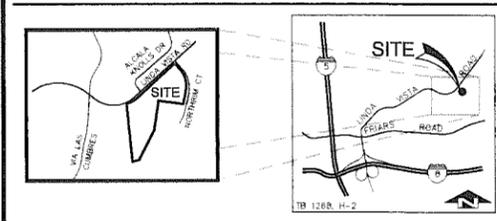
AREA OF WORK LEGEND

SYMBOL	DESCRIPTION
[White Box]	DINING HALL / PARKING STRUCTURE / NORTH RIM CT DRIVEWAY
[Grey Box]	GYMNASIUM / ATHLETIC COMPLEX / POOL
[Dark Grey Box]	TRACK & FIELD
[Dashed Line]	UPPER SCHOOL STUDENT CENTER
[Dotted Line]	MAKER'S SPACE
[Thick Dashed Line]	MIDDLE SCHOOL MULTI-PURPOSE BUILDING
[Thin Dashed Line]	RAISED SPORTS DECK & REVISED PARKING BELOW

* PROJECT TEAM *

OWNER/APPLICANT FRANCIS PARKER SCHOOL 6501 LINDA VISTA ROAD SAN DIEGO, CA 92111 CONTACT: MIKE RINCHART TEL: (858) 427-1739	ARCHITECT DOMUSTUDIO ARCHITECTURE 2150 W WASHINGTON, SUITE 303 SAN DIEGO, CA 92110 CONTACT: WAYNE HOLTZ TEL: (619) 592-9393
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 3755 CLAREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT SCHMIDT DESIGN GROUP, INC. 1111 SIXTH AVENUE, SUITE 500 SAN DIEGO, CA 92101 CONTACT: JEFF JUSTUS TEL: (615) 236-1462

* PROJECT LOCATION *



CCS 83 COORDINATE = 1861N-6276E
 LAMBERT COORDINATE = 221-1712

Prepared By:
 SCHMIDT DESIGN GROUP, INC.
 1111 SIXTH AVENUE, SUITE 500
 SAN DIEGO, CA 92101
 CONTACT: JEFF JUSTUS
 TEL: (615) 236-1462

Project Address:
 6501 LINDA VISTA ROAD
 SAN DIEGO, CA 92111

Project Name:
 FRANCIS PARKER SCHOOL
 LINDA VISTA CAMPUS
 MASTER PLAN UPDATE

Sheet Title:
 AREA OF WORK PLAN

REVISION NO.	DATE	DESCRIPTION
Revision 10		
Revision 9		
Revision 8		
Revision 7		
Revision 6		
Revision 5		
Revision 4	06/21/2016	
Revision 3		
Revision 2	08/28/2015	
Revision 1	06/23/2015	
Original Date	02/27/2015	
Sheet	25 of 25	
P15#	412987	

LC-3.0
 SCHMIDT DESIGN GROUP, INC.
 1111 SIXTH AVENUE, SUITE 500
 SAN DIEGO, CA 92101
 TEL: (615) 236-1462
 WWW.SCHMIDTDESIGN.COM



LINDA VISTA PLANNING GROUP

Post Office Box 710174, San Diego, CA 92171

www.LindaVista.org/lvpg



Minutes of the February 22, 2016 Meeting

Meeting opened at 5:37 pm by Noli Zosa, Chair. The Pledge of Allegiance was led by Doug. Roll Call by Lauree Camarato.

Members present: Noli Zosa, Lauree Camarato, Doug Beckham, Margarita Castro, Oscar Marin, Dorothy Perez (6:40), Vicki Van Dyk, Keith Warner, Howard Wayne, Kimberly Weber.

Members absent: Jo-Ann Carini, Drew Corley, Guadalupe Flores, Ralph Perez, Tisha Rocha and 4 vacancies.

10 members present. 93 visitors present (approximate count due to large turn out).

Motion by Doug Beckham to approve the **February 22, 2016 draft agenda** as amended to include 2016 Election item. Elections will be held at the LVPG March 28th meeting from 4:30 to 5:30 pm. Seconded by Keith Warner, agenda approved as amended 8-0. (**Note:** The chair doesn't vote, except in cases of a tie.) Amended agenda approved.

Approval of Meeting Minutes from **November 2015** meeting. Motion by Doug Beckham to approve November 23, 2015 meeting minutes, seconded by Keith Warner. Vote: 8-0-0. Minutes approved.

Approval of Meeting Minutes from **January 2016** meeting. Motion by Keith Warner to approve January 2016 meeting minutes, seconded by Vicki Van Dyk. Vote: 8-0-0. Minutes approved.

Reports by Government Representatives:

- Police Department: Dave Surwilo-American Flag presentation to the LVPG
- Congress & State Legislature (Senate/Assembly): None
- County & City: (Mayor/City Attorney/City Council/Planning/Development Services/Board of Supervisors/SANDAG) - none

Sheldon Zeman – Councilman Sherman's Office:

- #45 grand opening event Fire Station
- construction to begin in June/July 2016. Skate Park
- Newsletters District

• **Lieberman – Planning Dept.** Tara

- Manager Linda Vista/Morena Corridor Project (informational item) Project

Announcements & Public Comment on Non-Agenda Items:

- Howard Wayne: Density Bonus for Low Income Housing. Requesting the City Council revisit policy.
- Daniel S. – running for School Board.
- Janet Kaye: Multi-cultural Fair April 23 and Linda Vista 75th Anniversary events (flyers for both)

Chairman's Report:

Noli Zosa: None at this time

Committee Reports & Updates:

- Bylaws & Elections – Howard Wayne Chair (appointed at the meeting)
- Graffiti – none
- Landscape Maintenance Assessment District – none
- Morena Blvd Planning Area Study (as hoc) – Howard Wayne: Committee met last week to determine vision. Next meeting will be April 11 at 6: pm at Humane Society.
- Riverwalk Development (ad hoc) – Doug Beckham
- Traffic – Doug Beckham: committee voted to approve traffic light at Osler and Ulric
- Transportation – none
- Zoning & Land Use – Margarita Castro: will report

Representative Committees:

- Community Planners Committee – (vacant)
- Linda Vista Collaborative – Kim Heinle: Bayside Events this week. Wednesday-County workshop on Urban Agriculture 4:00 pm. Black History month event at 6:00 pm
- Historical Society – Oscar Marin
- Kearny Mesa Recreation Council – (vacant)
- Mission Bay Park – Kimberly Weber
- Mission Valley River Preserve – (vacant)
- Tecolote Canyon Advisory Committee – Kimberly Weber
- Linda Vista Recreation Council – Doug Beckham: Skate Board Park ground breaking in July.
- Linda Vista Town Council – Doug Beckham: Linda Vista 75th Anniversary Celebration

Action Items:

1. **Future Fire Stations** – As outlined in the Citygate report – Presenters:
 - a. Marti Emerald, Council President Pro Tem: Overview of CityGate and the Building of new Fire Stations. Requesting support of the Bond measure from the LVPG. The LVPG will be added to the list of other Community Planning groups that support a Fire House Bond.
 - b. Brian Fennessy, Fire Chief.
 - c. Chris Olsen, Office of Independent Budget Analyst

Questions from the LVPG members and public comments and questions.

Motion by Doug Beckham to accept the Fire House Bond proposal as presented by Marti Emerald and Citygate. Additionally, LVPG to add their name to the list of Community Planning groups that currently support the Fire House Bond proposal. Second by Keith Warner. Vote 8-0. Motion carried.

2. **Francis Parker High School Master Plan Update.** (Project #412987) Jim Bartell introduced staff members from Francis Parker. Kevin Yaley gave an overview of the Master Plan Update. Questions and comments by the LVPG members and the community. Parking garage and traffic flow in and out of North Rim Court.
Margarita Castro, Chair of Sub-Committee: reminder to the public that the LVPG is an advisory group. All issues that have been discussed have been approved with the City.
Motion by Margarita Castro to accept the Francis Parker Master Plan Update, with the stipulation that the City will address the concerns of the driveway and traffic flow on North Rim Court with Francis Parker. Second by Doug Beckham. Vote 7-1-0. Motion carried.

3. **Traffic Light at Osler and Ulric Street.** Presentation by Mr. Michael Beraud; Principal at Linda Vista Elementary School. This area has become a student safety issue for children at this school. Margarita Castro: DIF, Safety Grant Program, Capital Improvement Program are funding sources. **Motion by Margarita Castro to recommend to City Staff that that construction of a traffic light be supported by LVPG and funding to be found by Safety Grants, DIF, Capital Improvement Programs or other optional funding that is available. Second Doug Beckham. Vote: 8-0-0. Motion carried.**
4. **T-Mobile –University of San Diego** (Project #425312 & #425334) Christopher Ford will give a presentation for (2) Neighborhood Use Permits (NUP) for two Wireless Communication Facilities (WCF). One permit is for a WCF on the roof of the USD Science Building. The other WCF will be located on the roof of the Jenny Craig Pavilion. (No proposed new work – renewal of 10 year permit only). **Motion by Margarita Castro to accept renewal of both T-Mobile NUP permits as presented, second by Doug. Vote: 8-0-0. Motion carried.**
5. **7-Eleven CUP for Beer and Wine License at 6110 Friars Rd.** Jose Candara, Southland Corporation and Allen Sipe, Sr. Project Architect will give a presentation of the 7-Eleven CUP for Beer and Wine License. (7-Eleven will be taking over the location of the former sushi restaurant – 2,500 sq ft of space). **Informational item only at this time. Action will be taken at next meeting if the Notice of Application process is completed and LVPG has been notified by the City.**

Informational Items:

- 1) **SD County Air Pollution Control District:** Kathleen Keehan will provide information to tame traffic in neighborhoods.
Overview of the greenhouse climate action plan. Encourage citizens to walk or bike.
- 2) **Elections for Planning Committee:** Howard Wayne gave each member an application and Noli Zosa will verify with Tom Cleary on which members are up for re-election.

Suggested Items for March 2016 Agenda:

Next Meeting is scheduled for Monday, March 28, 2016 at 5:30 P.M. at the Linda Vista branch library.

1. 2016 Elections
2. 7-Eleven CUP tabled from February meeting (tentative)
3. Michael Prinz – City of SD (update on Morena District)
4. Density Bonus: City to revisit

Adjournment:

Motion by K. Warner to adjourn the meeting, second by K. Weber. Meeting adjourned at 8:43 pm by N. Zosa

Respectfully submitted,
Lauree Camarato
Secretary



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other PDP/SDP Amendment

Project Title Project No. For City Use Only
 Francis Parker School - Linda Vista Campus Master Plan Update
 Project Address:
 6501 Linda Vista Road, San Diego, CA 92111

Part I - To be completed when property is held by Individual(s) (See reverse side)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Project Title: Francis Parker School - Linda Vista Campus Master Plan Update	Project No. (For City Use Only)
---	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? CA
 Corporate Identification No. _____
 Partnership
 A non-profit public benefit corporation

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Francis Parker School, a non-profit public benefit corporation

Owner Tenant/Lessee

Street Address:
6501 Linda Vista Road

City/State/Zip:
San Diego, CA 92111

Phone No: (858) 427-1739 Fax No: (858) 569-7504

Name of Corporate Officer/Partner (type or print):
Mike Rinehart

Title (type or print):
Head of Finance and Operations

Signature : M. Rinehart Date: 2/26/2015

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

DOC # 2010-0601630

RECORDING REQUESTED BY:
 Stewart Title of California
 WHEN RECORDED MAIL TO
 AND MAIL TAX STATEMENTS TO:
 Francis Parker School
 6501 Linda Vista Road
 San Diego, CA 92111-7396



NOV 05, 2010 8:00 AM

OFFICIAL RECORDS
 SAN DIEGO COUNTY RECORDER'S OFFICE
 DAVID L. BUTLER, COUNTY RECORDER

FEES: 18.00
 OC: OC

2560

PAGES: 2

TITLE ORDER NO. 7034-332702
 ESCROW NO. 7003-332702
 APN. 437-020-12-00/443-311-01-00

SP
 2P

SPA

**GRANT DEED****THE UNDERSIGNED GRANTOR(S) DECLARE(S):**

DOCUMENTARY TRANSFER TAX is: 0.00 R & T 11911 CITY TAX is:

Monument Preservation Fee is:

- computed on full value of property conveyed, or
 computed on full value less value of liens and encumbrances remaining at time of sale.
 Unincorporated area: City of San Diego, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Francis Parker School, a non-profit public benefit corporation who acquired title as Francis W. Parker School, a non-profit public benefit corporation

hereby GRANT(S) to

Francis Parker School, a non-profit public benefit corporation

the following described real property in the City of San Diego, County of San Diego, State of California:

Parcel A:

Parcel 1 of Parcel Map No. 5465, in the City of San Diego, County of San Diego, State of California, filed January 6, 1977 in the Office of the County Recorder of San Diego County.

Parcel B:

Parcel 1 of Parcel Map No. 19157, in the City of San Diego, County of San Diego, State of California, filed February 11, 2003 in the Office of the County Recorder of San Diego County.

This deed is being recorded to memorialize a name change only.**This space left intentionally blank.**

2561

Grant Deed (Page 2 of 2)

FRANCIS PARKER SCHOOL, a California non-profit public benefit corporation

Dated: 11/2/2010

STATE OF CALIFORNIA

COUNTY OF SAN DIEGO

By: *Michael E. Lowry*
MICHAEL E. LOWRY
Its: Chief Financial Officer

On November 2, 2010 before me, Shirley L. Woodson, Notary Public, personally appeared Michael E. Lowry, who proved to me on the basis of satisfactory evidence to be the person, whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *Shirley L. Woodson*



(Seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

PROJECT DATA SHEET

PROJECT NAME:	Francis Parker Master Plan Amendment (Project No. 412987)	
PROJECT DESCRIPTION:	Increase student population to 940 students, demolish three buildings totaling approximately 41,229 square feet, and add new buildings of approximately 103,182 square feet. The new buildings would include a kitchen and dining hall, an athletic complex including a gymnasium, two multi-purpose student centers, and a lab space/maker's space. The Project includes construction of a two-level underground parking structure providing 279 parking spaces, an outdoor aquatic center, and reorienting the existing football field to add an eight-lane track for track and field events, with three deviations.	
COMMUNITY PLAN AREA:	Linda Vista	
DISCRETIONARY ACTIONS:	Planned Development Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	School/Institution and Open Space	
<u>ZONING INFORMATION</u>		
<p>ZONE: RM-1-1 and OR-1-1</p> <p>HEIGHT LIMIT: 30 feet maximum required</p> <p>LOT SIZE: 6,000 square-foot minimum required</p> <p>FLOOR AREA RATIO: 0.75 maximum permitted</p> <p>FRONT SETBACK: 20 feet required for 50% of the building envelope width and 15 feet required for 50% of the building envelope</p> <p>SIDE SETBACK: 8 feet minimum required</p> <p>STREETSIDE SETBACK: 10 feet or 10% of premises width whichever is greater</p> <p>REAR SETBACK: 15 feet minimum</p> <p>PARKING: 306 required</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, RS-1-7	Residential
SOUTH:	Residential, RM-1-1	Residential and Open Space
EAST:	Residential, RM-1-1	Residential and Open Space
WEST:	Open Space, RM-1-1	Educational, Offices and Open Space
DEVIATIONS OR VARIANCES REQUESTED:	Three deviations; building heights to increase slightly, increased height of light standards for an elevated sports deck and a reduced street side yard setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 22, 2016 the Linda Vista Planning Group voted 7:1:0 to recommend approval of the project.	