



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: September 1, 2016 REPORT NO. PC-16-076

HEARING DATE: September 8, 2016

SUBJECT: SPECTRUM III AND IV. Process Five Decision

PROJECT NUMBER: [422478](#)

OWNER/APPLICANT: ARE-SD REGION 23, LLC, a Delaware Limited Liability Company

SUMMARY:

Issues: Should the Planning Commission recommend approval to the City Council of an application for the demolition and construction of two existing research and development buildings on a 13.77 acre site located at 3115-3215 Merryfield Row in the University Community Plan Area?

Staff Recommendations:

1. Recommend the City Council ADOPT Mitigated Negative Declaration No. 422478/SCH No. 2016061047 and ADOPT the Mitigation, Monitoring, and Reporting Program; and
2. Recommend the City Council APPROVE Coastal Development Permit No. 1580366; and
3. Recommend the City Council APPROVE Site Development Permit No. 1580368; and
4. Recommend the City Council APPROVE Tentative Map No. 1580398 and Easement Vacation No. 1580371.

Community Planning Group Recommendation: On May 24, 2016, the University Community Planning Group voted 15-1-2 to recommend approval of the project with conditions (Attachment 17).

Environmental Review: A Mitigated Negative Declaration (MND) No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which would reduce the potential impacts to below a level of significance.

Housing Impact Statement: There is no housing impact associated with this proposal.

BACKGROUND

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the University Community Plan Area (UCP), Prime Industrial Lands, Community Plan Implementation Overlay Zone-B (CPIOZ-B), Coastal Height Limitation Overlay Zone, the First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area) (Attachments 1-6). In addition, the property is located within the City's Parking Impact Overlay Zone (Coastal and Campus Impact Areas), Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1) and the Accident Potential Zone for Marine Corps Air Station (MCAS) Miramar. The IP-1-1 zoning allows for research and development uses with some limited manufacturing and the UCP designates the site as Industrial and the Industrial Element of the plan more specifically identifies the site for Scientific Research. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project site contains Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's Multiple Species Conservation Plan (MSCP) Subarea, and the Multi-Habitat Planning Area (MHPA) is mapped onsite and adjacent to the project (Attachment 7). The parcel has been previously graded and developed with two research and development buildings constructed in 1996-1997. On July 1, 1996, the existing development was approved under Coastal Development Permit (CDP)/Hillside Review Permit (HRP) No. 96-7939 (Attachment 8). That same year, a Substantial Conformance Review (SCR) was approved to allow a greenhouse, cooling tower and emergency generator to 3115 Merryfield Row. On June 10, 2015, CDP No. 1447486/Site Development Permit (SDP) No. 1447488 was approved to allow for a lot line adjustment to transfer 12,796 square feet to the adjacent property (Attachment 9).

DISCUSSION

Project Description:

The project proposes the to demolish existing research and development buildings totaling 156,653 square feet and to construct a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III), and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. Including the accessory uses/non trip generation square footage, at build out, the project's overall gross floor area will be 203,200 square feet. As a component of the project, the proposed new research and development building would achieve a Leadership in Energy and Environmental Design (LEED) Silver Certification. The project is also requesting an MHPA Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred

prior to the implementation of the City's MSCP (Attachment 7). The Boundary Line Correction is incorporated in the CDP and SDP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other environmentally sensitive lands located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

The property is located approximately 0.9 miles from the Pacific Ocean in an area just east of Torrey Pines Road between the sea and the first public roadway paralleling the sea. Merryfield Row is not designated as a public view corridor and does not contain intermittent or partial vistas, viewshed or scenic overlooks with views toward the Pacific Ocean. The proposed development will not encroach upon any existing physical accessway that is legally used by the public to access the coast, or any proposed public accessway as identified in the UCP and the Local Coastal Program Land Use Plan.

The buildable footprint area ranges from approximately 358 feet above Mean Sea Level (MSL) at the east end of the Spectrum III building to 343 feet above MSL at the lowest elevation of the Spectrum IV building, and is located above the 100 year floodplain. The topography of the site creates various building heights for both the proposed buildings (Attachment 19). Sheet A4.1 through A4.3 provides 18 elevation exhibits demonstrating that the structures and any projections will not exceed the maximum height limit allowed by the City's Coastal Height Limitation Overlay Zone.

Required Approvals:

The proposed development will be located on private property and proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process 3 CDP and SDP to amend CDP/ HRP No. 96-7939, for development on a site that contains ESL, and for development within the CPIOZ-B; and a Process 5 Tentative Map (TM) to reconfigure the existing four lots into two lots, including an Easement Vacation (EV) to vacate four easements on the site and due to consolidation all action are and processed concurrently as a Process 5. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Community Plan Analysis:

The project site is located within the Torrey Pines Subarea of the UCP. The UCP designates the site as Industrial, and the Industrial Element of the plan more specifically identifies the site for scientific research. The sites are also subject to CPIOZ-B. The purpose of the CPIOZ is to provide supplemental development regulations that are tailored to specific sites within community plan areas of the City to ensure that new development is consistent with the goals, objectives and proposals of the community plan or compatible with surrounding development. The CPIOZ was incorporated into the UCP on January 12, 1988 (Resolution No. R-270138) and addresses land use and intensity, bulk and scale, and architectural design of buildings, structures and signs.

The project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP which calls for Scientific Research use at existing or approved development at the time of adoption of the UCP. The UCP was adopted in 1987 and the project site was previously approved for development totaling 242,000 square feet, but was adjusted to 204,000 square feet due to the lot line adjustment approved under CDP No. 1447486/SDP No. 1447488. The project would not exceed this development intensity and ensure consistency with the goals, objectives and proposals of the UCP, the development plans have been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B.

Environmental Analysis:

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines and addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. An MMRP would be implemented with this project, and the following is a brief outline on the potential impacts discussed in the MND:

Biological Resources: Approximately 0.69 acres of the project site overlaps the existing MHPA. To develop the project site, a boundary line correction is required to eliminate approximately 0.18 acres of the lot previously graded and developed in conjunction with TM Map 89-0269, and subsequently developed, would be corrected out of the MHPA. This area contains developed lands and the proposed MHPA- The boundary line correction would move the MHPA boundary line east to the outer edge of the southeastern edge of the parking lot. Due to the MHPA adjacency, "edge effects" could result because of the potential introduction of drainage, toxics, lighting, noise, invasives, grading, barriers, and brush management indirectly affecting adjacent habitat and wildlife species. Indirect impacts to the MHPA would be considered significant, but would be avoided through compliance with the MHPA Land Use Adjacency Guidelines (LUAG) as outlined in the City's MSCP Subarea Plan.

Biological resources were originally analyzed and mitigated through dedication of an open space easement for direct impacts to coastal sage scrub in the La Jolla Spectrum Final Environmental Impact Report 89-0269/SCH No. 91071013. Mitigation measures were implemented when the entire project site was graded. An area of Tier II habitat has since re-established within the previously entitled development footprint and the project would result in impacts to a 0.19-acre portion of that re-established coastal sage scrub (Tier II). However, this impact would not require mitigation as it has already been mitigated under the previous development approvals, which satisfies the requirements.

The project has the potential to result in direct impacts nesting Cooper's hawk and other raptors, within the project site. To mitigate this potential impact, preconstruction surveys would be required to determine presence and/or absence of nesting Cooper's hawk. Therefore, as detailed within Section V of the MND, with implementation of the MMRP, potential biological resource impacts would be reduced to below a level of significance.

Paleontological Resources: The project site is underlain by Very Old Palaeic Deposits (also known as the Lindavista Formation), the Scripps Formation, and previously placed fill. The Lindavista

Formations is assigned moderate resource sensitivity for paleontological resources and the Scripps formation is assigned high resource sensitivity for paleontological resources. The grading associated with the project exceeds the City's Significance Determination Thresholds, consequently, paleontological monitoring is required during all grading and/or excavation activities. Therefore, a MMRP, detailed within Section V of the MND, would be implemented to ensure that significant impacts to paleontological resources are reduced to below a level of significance.

Transportation/Circulation: The majority of the traffic for the project, 67 percent, is expected to travel southbound, either on North Torrey Pines Road (10 percent), or on Genesee Avenue towards the I- 5 freeway (57 percent). The Caltrans I-5/Genesee Avenue Interchange Project is fully funded and anticipated to be completed by 2017. The project causes an exceedance of the threshold for the Genesee Avenue/I-5 SB ramps without the completion of the I-5/Genesee Avenue Interchange Project, and the impact would be considered significant if the project's second phase (Spectrum III building) were to open prior to completion of the Caltrans project. To ensure that the project's second phase is not generating any trips which would significantly impact the Genesee Avenue/I-5 SB ramps, a mitigation measure is included which require that no Certificate of Occupancy is granted for the second phase until the I-5/Genesee Avenue Interchange Project is complete. This mitigation measure would reduce this impact to below a level of significance.

Project-Related Issues:

Easement Vacations - The site has been previously graded and developed with two research and development buildings that were constructed in 1996-1997, and includes four 24 foot wide water easements within the property boundary (Attachment 10). The existing public utility mains are located within the General Utilities and Street Access easement (Merryfield Row) located along the northern property line. The existing 24 foot wide water easements are proposed to be vacated as part of the redevelopment of the site. All of the utilities servicing the new development shall be private so there is no present or prospective use for the easement, either for the facility or purpose for which they were originally acquired, or for any other public use of a like nature that can be anticipated.

Airport Land Use Compatibility - The property is located within the Airport Land Use Compatibility Overlay Zone (ALUCPOZ), the Airport Influence Area (Review Area 1) and the Accident Potential Zone (APZ-2) for MCAS Miramar. The ALUCPOZ regulations in San Diego Municipal Code (SDMC) Chapter 13, Article 2, Division 15 became effective on January 2012. CDP/HRP No. 96-7939 and all amendments and SCRs were approved prior to this date, which establish the baseline for the property.

SDMC Section 132.1535(b)(3), states: "Previously conforming non-residential development may be reconstructed, altered, or expanded where the development would not increase the maximum number of people allowed on the site unless otherwise allowed by Section 132.1535(d)." City staff conducted an extensive analysis of the CDP/HRP No. 96-7939 and subsequent actions (including the building records for the existing buildings) and determined that the proposed development would not increase the maximum number of people allowed on the site.

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted UCP, SDMC, and the General Plan, thus, staff recommends approval of the project.

ALTERNATIVES

1. Recommend the City Council ADOPT Mitigated Negative Declaration and ADOPT the Mitigation, Monitoring, and Reporting Program; and APPROVE Coastal Development Permit No. 1580366, Site Development Permit No. 1580368, Tentative Map No. 1580398 and Easement Vacation No. 1580371, with modifications.
2. Recommend the City Council DO NOT ADOPT Mitigated Negative Declaration and DO NOT ADOPT the Mitigation, Monitoring, and Reporting Program; and DENY Coastal Development Permit No. 1580366, Site Development Permit No. 1580368, Tentative Map No. 1580398 and Easement Vacation No. 1580371, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe
Deputy Director
Development Services Department



Jeffrey A. Peterson
Development Project Manager
Development Services Department

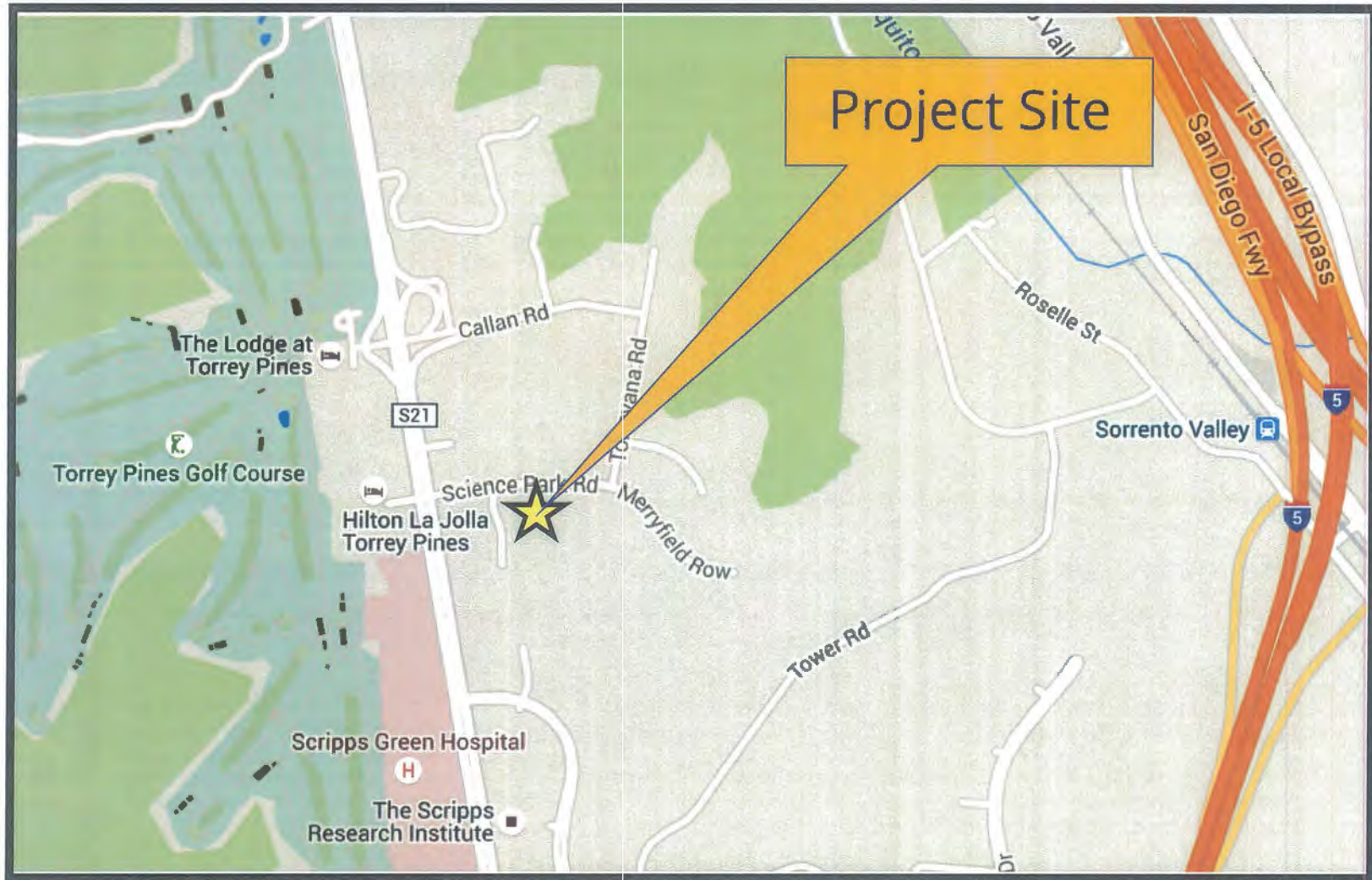
LOWE /JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. First Public Road Map
6. Coastal Overlay Jurisdiction Map
7. MHPA Boundary and Vegetation Map
8. Coastal Development Permit/Hillside Review Permit No. 96-7939
9. Coastal Development Permit No. 1447486/Site Development Permit No. 1447488
10. Easement Vacation Location Drawing
11. Project Data Sheet
12. Draft Permit Resolution with Findings

13. Draft Permit with Conditions
14. Draft Tentative Map and Easement Vacation Resolution with Findings
15. Draft Tentative Map and Easement Vacation Conditions
16. Draft Environmental Resolution with MMRP
17. Community Planning Group Recommendation
18. Ownership Disclosure Statement
19. Project Plans

Internal Order Number: 24005849



Location Map

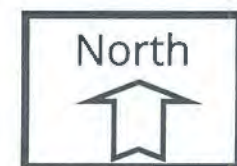
Spectrum III and IV; Project No. 422478
3115-3215 Merryfield Row

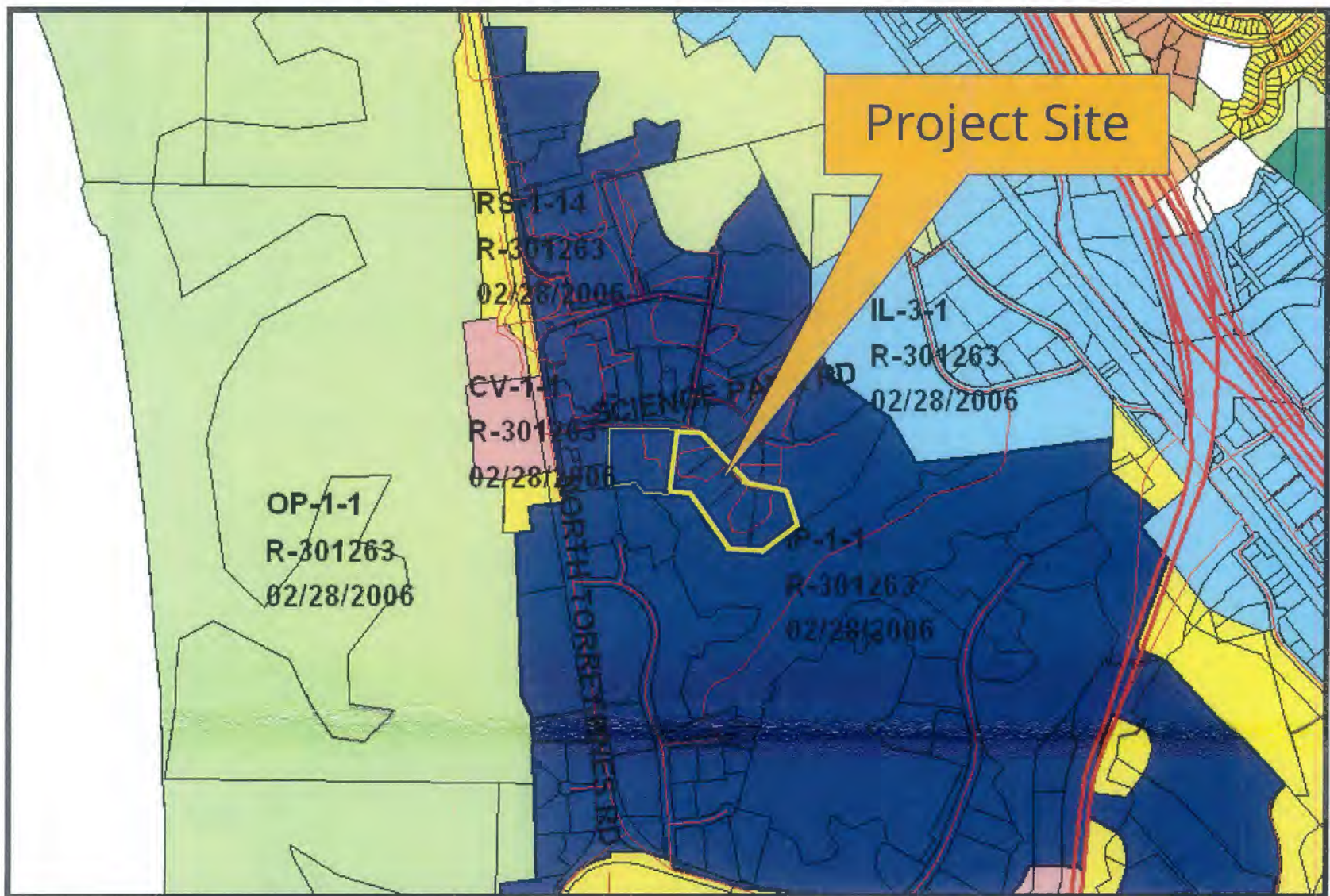




Aerial Photograph

Spectrum III and IV; Project No. 422478
3115-3215 Merryfield Row

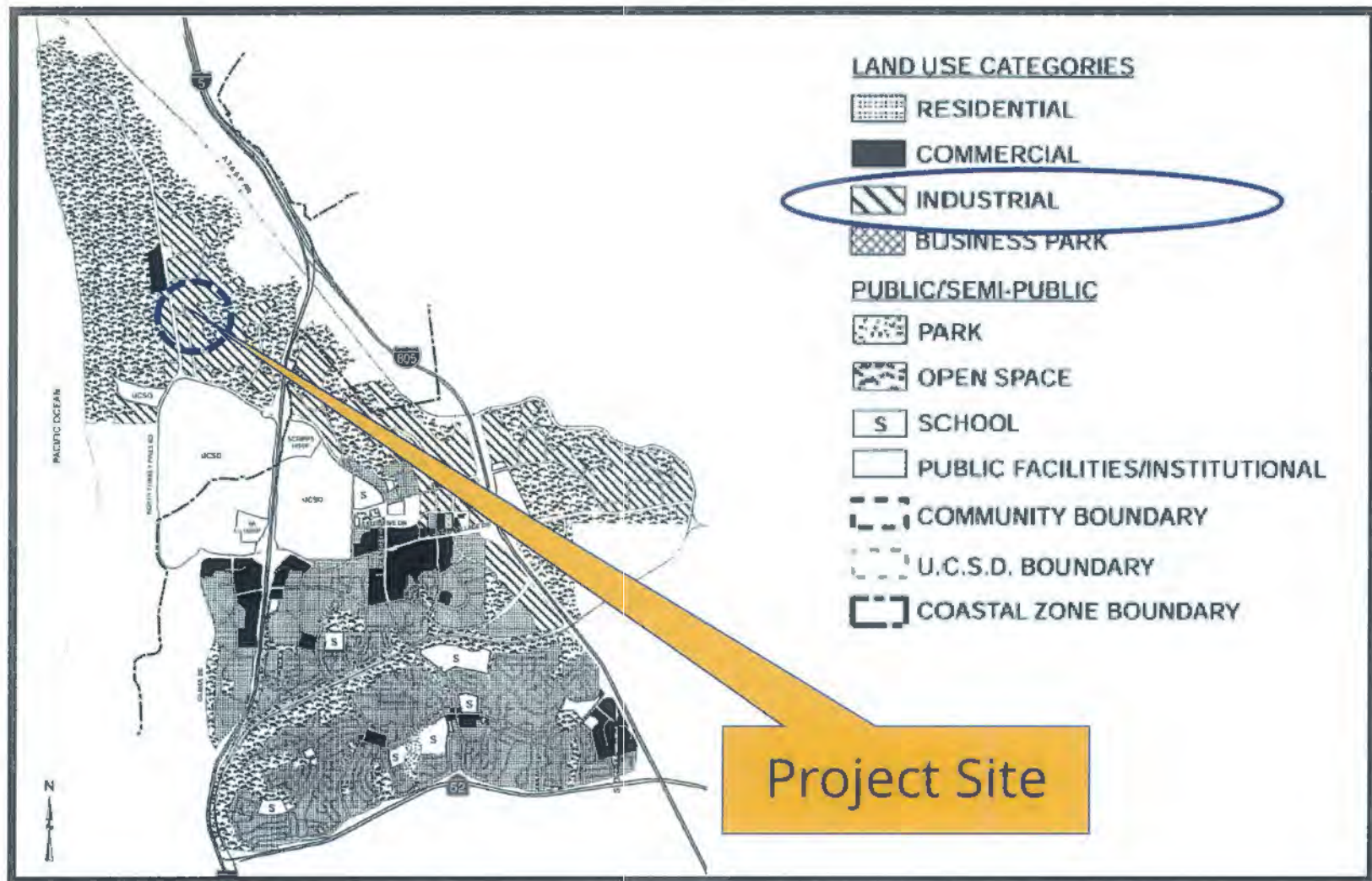




Zoning Map (IP-1-1 Zoning)

Spectrum III and IV; Project No. 422478
3115-3215 Merryfield Row



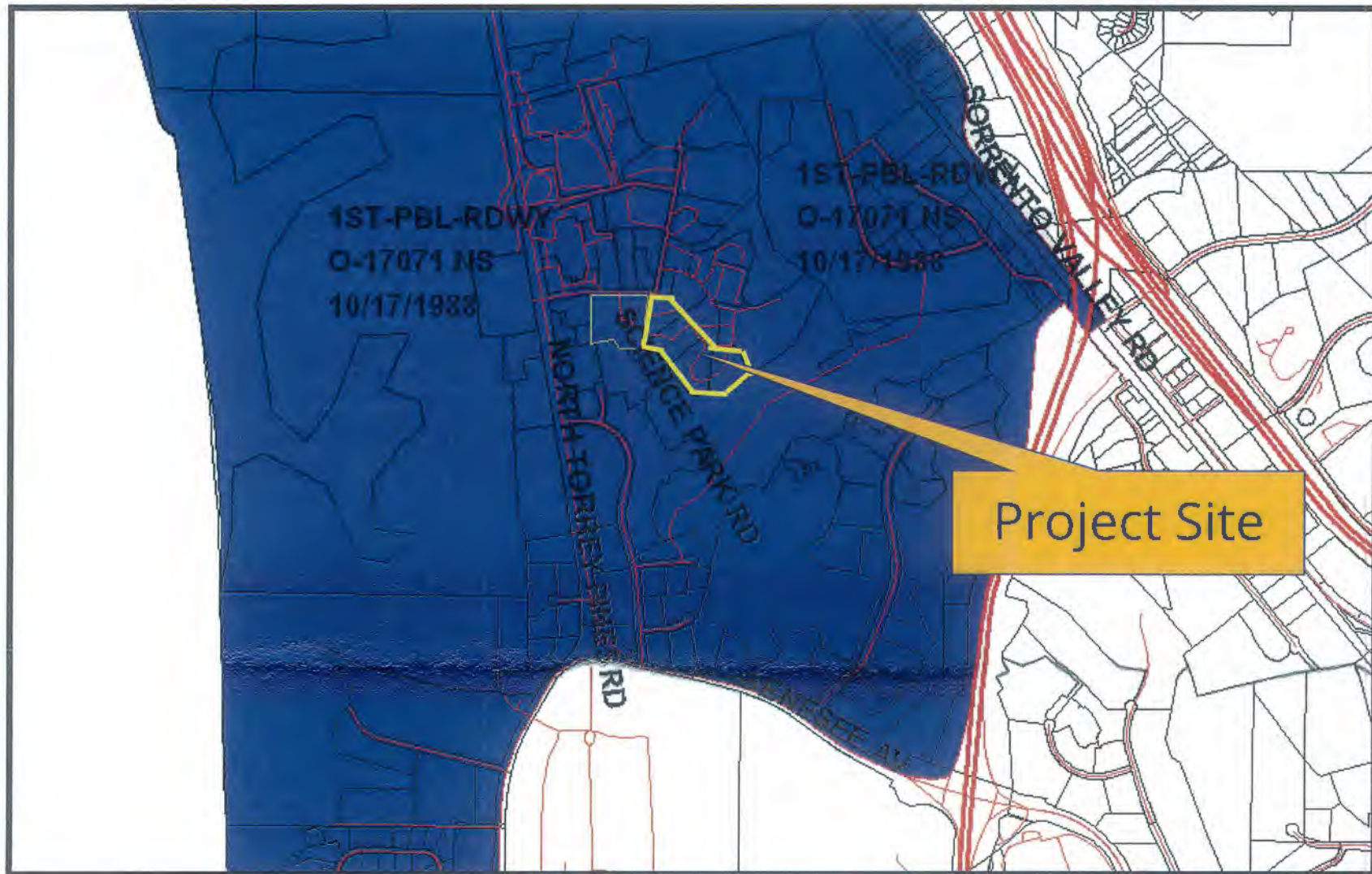


University Community Land Use Map

Spectrum III and IV; Project No. 422478

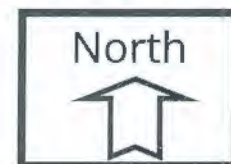
3115-3215 Merryfield Row

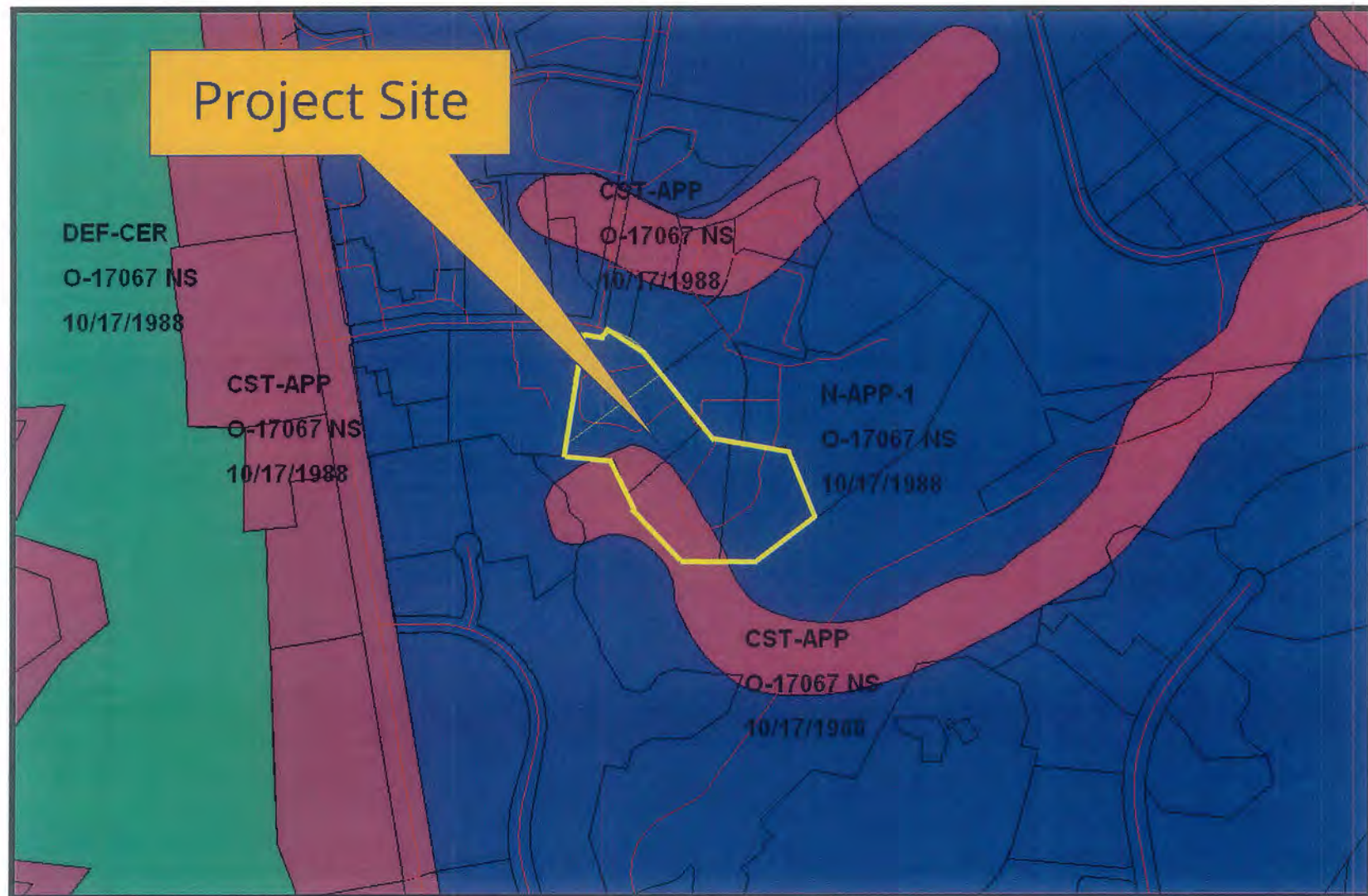




First Public Road Map

Spectrum III and IV; Project No. 422478
3115-3215 Merryfield Row



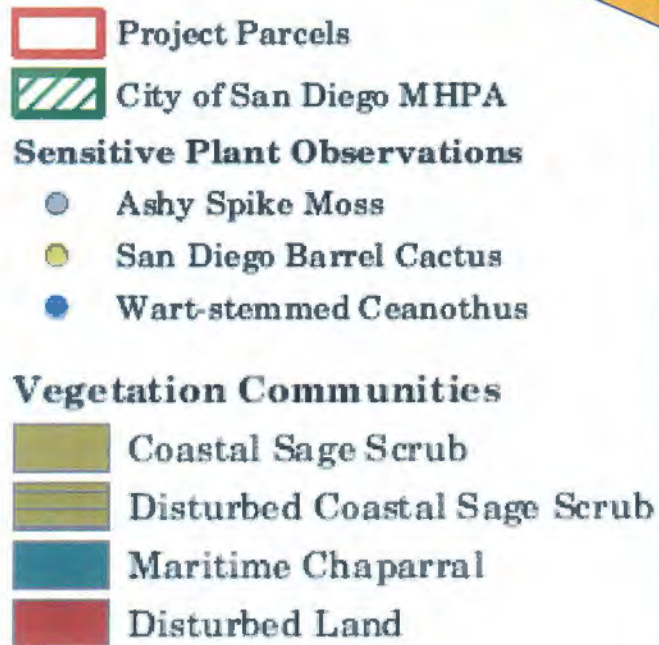


Coastal Overlay Jurisdiction Map

Spectrum III and IV; Project No. 422478
3115-3215 Merryfield Row



Project Site



MHPA Boundary and Vegetation

Spectrum III and IV; Project No. 422478
3115-3215 Merryfield Row



DOC 1998-0463621

JUL 24, 1998 2:11 PM

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES

AND WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501

283

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 47.00



1998-0463621

SPACE ABOVE THIS LINE

COASTAL DEVELOPMENT PERMIT/HILLSIDE REVIEW PERMIT
NUMBER 96-7939
CARRAMERICA
CITY MANAGER

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This Permit is granted by the City Manager of the City of San Diego to the CARRAMERICA REALTY CORPORATION, Owner/Permittee pursuant to the Municipal Code of the City of San Diego. The 14.2 acre site is located at 3115 and 3215 Merryfield Row in the SR (Scientific Research) zone of the University Community Plan. The project site is legally described as Lots 9,10,11&12 of the La Jolla Spectrum according to Map No. 12990, La Jolla, State of California.

Subject to the terms and conditions set forth in this permit, permission is granted to Owner/Permittee to develop 2 two-story scientific research buildings totaling 156,820 square feet described as, and identified by size, dimension, quantity, type and location on the approved Exhibits "A", dated July 1, 1998 on file in the Office of Development Services. The facility shall include:

- a. 156,820 square feet of scientific research uses within two 2-story buildings;
- b. Landscaping (planting, irrigation and landscape related improvements); and
- c. Off-street parking facilities; and
- d. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted Community Plan, California Environmental Quality Act guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this permit, and any other applicable regulations of the Municipal Code in effect for this site.

1. Construction, grading or demolition must commence and be pursued in a diligent manner within 36 months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within 36 months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the Municipal Code requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decisionmaker.

ORIGINAL

28

2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this permit be conducted on the premises until:

- a. The Permittee signs and returns the Permit to Development Services; and
- b. The Permit is recorded in the office of the San Diego County Recorder.

3. Unless this permit has been revoked by the City of San Diego the property included by reference within this permit shall be used only for the purposes and under the terms and conditions set forth in this permit unless otherwise authorized by the City Manager.

4. This permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.

5. The utilization and continued use of this permit shall be subject to the regulations of this and any other applicable governmental agencies.

6. Issuance of this permit by the City of San Diego does not authorize the applicant for said permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. Section 1531 et seq.)

7. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and/or site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," dated July 1, 1998, on file in the Office of Development Services. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this discretionary permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded special rights which the holder of the Permit is obtaining as a result of this Permit. It is the intent of the City that the Owner of the property which is the subject of this Permit either utilize the property for any use allowed under the zoning and other restrictions which apply to the property or, in the alternative, that the Owner of the property be allowed the special and extraordinary rights conveyed by this Permit, but only if the Owner complies with all the conditions of the Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing

ORIGINAL

fees, to bring a request for a new Permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the Permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed Permit and the condition(s) contained therein.

10. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the Coastal Commission of the Notice of Final Action, following all appeals.

11. Prior to recordation of this permit with the County Recorder, a fee of \$11,022.86 shall be deposited with Development Services for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the applicant and verified by Development Services.

ENGINEERING REQUIREMENTS:

12. The drainage system proposed for this project, as shown on the approved plans, is subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the applicant shall obtain a grading permit from the City Engineer (referred to as an "engineering permit") for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to the certificate of occupancy, the applicant shall complete a storm water detention basin easement exchange satisfactory to the City Engineer, note an easement exchange requires City Council approval (PROCESS 5).

15. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 92-08-DWQ (NPDES General Permit No. CAS000002), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be developed and implemented concurrently with the commencement of grading activities, and a complete and accurate Notice of Intent (NOI) shall be filed with the SWRCB. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received.

16. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 92-08-DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 92-08-DWQ.

209

TRANSPORTATION DEVELOPMENT REQUIREMENTS:

17. Prior to certificate of occupancy, applicant shall provide double yellow center striping through the intersection of Science Park Road / Torreyana Avenue to the satisfaction of City Engineer.

18. Prior to certificate of occupancy, applicant shall install a stop sign on Merryfield Row (private road) at its intersection with Torreyana Road to the satisfaction of City Engineer

ENVIRONMENTAL REQUIREMENTS:

19. If grading will occur between March 1 and August 15 (breeding season for the California gnatcatcher), a gnatcatcher survey shall be completed. If survey results are negative, than no further mitigation is required. If gnatcatchers are present and grading is to occur during the breeding season, then a temporary 4-6 foot wall or berm shall be constructed at the slope edge. However, if the applicant chooses not to conduct a gnatcatcher survey, then the temporary wall or berm shall be constructed.

20. Alternative mitigation measures may be proposed by the applicant, and if acceptable to the Environmental Review Manager, may replace the above mitigation measures.

21. If grading is to occur before March 1 and after August 15, no mitigation measures would be required.

22. Lighting of all developed areas adjacent to the Multiple Habitat Planning Area (MHPA) shall be directed away from the MHPA. Where necessary, development shall provide adequate shielding with non-invasive plant materials (preferably natives), berming and/or other methods to protect the MHPA and sensitive species from night lighting.

PLANNING/DESIGN REQUIREMENTS:

23. No fewer than 470 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibits "A," dated July 1, 1998, on file in the Office of Development Services. Parking spaces shall comply at all times with Division 8 of the Municipal Code and shall not be converted for any other use unless otherwise authorized by the City Manager.

24. Regulations of the underlying zone(s) shall apply unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

25. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone,

whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

26. A topographical survey conforming to the provisions of the Municipal Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the permittee.

27. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

28. All signage associated with this development shall be consistent with the sign regulations of the underlying SR (Scientific Research) zone.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located.

30. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

31. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

32. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

33. No mechanical equipment, tank, duct, elevator enclosure, cooling tower or mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers and latticework.

34. No merchandise, material or equipment shall be stored on the roof of any building.

35. No mechanical equipment shall be erected, constructed, or enlarged on the roof of any building on this site, unless all such equipment is contained within a completely enclosed architecturally integrated structure.

36. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked "Exhibit A".

200

LANDSCAPE REQUIREMENTS:

37. Prior to issuance of any grading, or building permits, complete landscape construction documents, including plans, details and specifications (including a permanent automatic irrigation system unless otherwise approved), shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Concept Plan, dated July 1, 1998, on file in the Office of Development Services. No change, modification or alteration shall be made unless appropriate application or amendment of this Permit shall have been granted.

38. Prior to issuance of grading permits, interim landscape and erosion control measures, including hydroseeding of all disturbed land (all slopes and pads), shall be submitted to the satisfaction of the City Manager (including the Environmental Section) and City Engineer. All plans shall be in substantial conformance to Exhibit "A," dated July 1, 1998, on file in the Office of Development Services and all other applicable conditions of related permits.

39. The timely erosion control including planting and seeding of all slopes and pads consistent with the approved plans is considered to be in the public interest and the Permittee shall initiate such measures within 45 days from the date that the grading of the site is deemed to be complete. Such erosion control and the associated irrigation systems (temporary and/or permanent) and appurtenances shall be installed in accordance with the approved plans and the *Landscape Technical Manual*.

40. Prior to issuance of any Certificate of Occupancy it shall be the responsibility of the Permittee to install all required landscape and obtain all required landscape inspections and to obtain a No Fee Street Tree Permit for the installation, establishment and on-going maintenance of all street trees. Copies of these approved documents must be submitted to the City Manager.

41. All required landscape shall be maintained in a disease, weed and litter free condition at all times and shall not be modified or altered unless this Permit has been amended. Modifications such as severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The Permittee, or subsequent Owner shall be responsible to maintain all street trees and landscape improvements consistent with the standards of the *Landscape Technical Manual*.

42. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved plans is damaged or removed during demolition, it shall be repaired and/or replaced in kind and equivalent size per the approved plans within 30 days of completion of construction by the Permittee. The replacement size of plant material after three years shall be the equivalent size of that plant at the time of removal (the largest size commercially available and/or an increased number) to the satisfaction of the City Manager.

43. Access to underground utilities shall be accomplished from the parking areas and no additional access roadways are to be installed within the transitional landscape and/or open space easement.

ORIGINAL

44. The Brush Management Program is based on the Fire Department's fire Hazard Severity Classification of "Moderate". The permittee shall implement the following conditions in accordance with the Brush Management Program shown on Exhibit "A" dated July 1, 1998, Brush Management Plan, on file in the Office of Development Services.

a) Prior to the issuance of any building permits, a complete set of brush management construction documents shall be submitted for approval to the City Manager and the Fire Chief. The construction documents shall be in substantial conformance with Exhibit A and shall comply with the Uniform Fire Code, and the Landscape Technical manual on file at the Office of the City Clerk.

45. The Brush Management Zone shall be 60 feet.

46. Within Zone One, combustible accessory structures with less than one-hour fire rating are not permitted, including, but not limited to, wood decks, trellises, gazebos, etc. Non-combustible accessory structures and/or combustible accessory structures with a minimum fire rating of one hour or more, may be approved by the Fire Chief and City Manager.

47. All requirements for fire resistive construction and other architectural features shall conform to the applicable City and Regional Building Code Standards. The Fire Chief may consider deviation from these conditions or may require additional conditions at the time of final inspection if it is determined an eminent health and safety risk still exists.

48. Plant material shall be selected to visually blend with the hillside vegetation. No invasive plant species shall be permitted.

49. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on site with the contractor and Development Services to discuss and outline the implementation of the Brush Management Program."

a) Prior to issuance of any Certificate of Occupancy for any building, the approved Brush Management Program shall be implemented.

b) The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Technical Manual, Section Six.

WATER UTILITIES REQUIREMENTS:

51. Prior to the issuance of any building permits, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department and the City Engineer. If more than two (2) fire hydrants or thirty (30) equivalent dwelling units are located on a dead-end main then the Owner/Permittee shall install a looped water system.

52. Prior to the issuance of any building permits, the Owner/Permittee shall design any proposed public water and sewer facilities to the most current edition of the "City of San Diego Water & Sewer Design Guide." Proposed facilities that do not meet the current standards shall be private.

53. Prior to the issuance of any building permits, the Owner/Permittee shall grant adequate water, sewer, and/or access easements, including vehicular access to each appurtenance (meters, blow offs, air valves, manholes, etc.), for all public water and sewer facilities that are not located within paved public rights-of-way, satisfactory to the Water and Metropolitan Wastewater Departments' Managers. Vehicular access roadbeds shall be a minimum of 20 feet wide and surfaced with suitable approved material satisfactory to the appropriate Department Manager. Minimum easement widths: water mains with services or fire hydrants - 24 feet, sewer mains with manholes - 20 feet. No structures of any kind shall be installed in or over any easement prior to the applicant obtaining an encroachment removal agreement.

54. Providing water and sewer facilities for this development is dependent upon prior construction of certain water and sewer facilities in previously approved TM 89-0269 in this area. If they have not been constructed when required for this development, then the construction of certain portions of these previously approved water and sewer facilities, as required by the City Engineer, will become off-site improvements required for this development.

55. All common areas and/or open spaces that require irrigation shall be irrigated with reclaimed water as specified in City Council Ordinance O-17327. The Owner/Permittee shall design and install a reclaimed water distribution system within the development in accordance with "Rules and Regulations for Reclaimed Water Use and Distribution within the City of San Diego" satisfactory to the Metropolitan Wastewater Department Manager. The irrigation system shall initially be supplied from the potable water system until reclaimed water is available. The system shall be designed to allow the conversion from potable to reclaimed water service and avoid any cross connections between the two systems.

APPROVED by the City Manager of the City of San Diego on July 1, 1998.

291

CITY MANAGER
RESOLUTION NO. D729
COASTAL DEVELOPMENT PERMIT/HILLSIDE REVIEW PERMIT NO. 96-7939
CARRAMERICA

WHEREAS, the CARRAMERICA REALTY CORPORATION, Owner/Permittee, filed an application with the City of San Diego for a permit to develop 156,820 square feet of scientific research uses within two two-story buildings as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 96-7939, on portions of a 14.2 acre site, and;

WHEREAS, the project site is located at 3115 and 3215 Merryfield Row in the SR (Scientific Research) zone of the University Community Plan, and;

WHEREAS, the project site is legally described as Lots 9,10,11&12 of the La Jolla Spectrum according to Map No. 12990, La Jolla, State of California, and;

WHEREAS, on July 1, 1998, the City Manager of the City of San Diego considered Coastal Development Permit and Hillside Review Permit No. 96-7939 pursuant to the Municipal Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the City Manager of the City of San Diego as follows:

That the City Manager adopts the following written Findings, dated July 1, 1998.

FINDINGS:

COASTAL DEVELOPMENT PERMIT FINDINGS:

- A. THE PROPOSED DEVELOPMENT WILL NOT ENCROACH UPON ANY EXISTING PHYSICAL ACCESSWAY LEGALLY UTILIZED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN AN ADOPTED LCP LAND USE PLAN; NOR WILL IT OBSTRUCT VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS FROM PUBLIC VANTAGE POINTS.

The CarrAmerica La Jolla Spectrum project is situated inland more than 1.5 miles from the ocean within an existing approved scientific research Industrial park, and is not located on or adjacent to any existing public accessway, nor is it adjacent to any view corridors identified in the adopted Local Coastal Program Land Use Plan. Therefore, the proposed project will not encroach upon any physical accessway utilized by the public, and will not obstruct views to and along the ocean or any other scenic coastal areas from public vantage points.

B. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT MARINE RESOURCES, ENVIRONMENTALLY SENSITIVE AREAS, OR ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES.

The proposed development will not adversely affect marine resources, environmentally sensitive areas, or archeological or paleontological resources. The sensitive slope area adjacent to the project is not being disturbed because the proposed grading for this project does not extend beyond the limits of the previously graded areas approved as part of the La Jolla Spectrum Planned Industrial Development project. Potential impacts to water quality of the adjacent open space areas are being mitigated by erosion and drainage features incorporated into the project design. Special lighting has been incorporated to minimize light intrusion into the adjacent open space area. Potential indirect noise impacts to sensitive species (California gnatcatcher) will be mitigated by avoiding grading during the breeding season or by construction of a noise barrier during the grading operation, if sensitive species are found to be affected.

C. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REQUIREMENTS RELATED TO BIOLOGICALLY SENSITIVE LANDS AND SIGNIFICANT PREHISTORIC AND HISTORIC RESOURCES AS SET FORTH IN THE RESOURCE PROTECTION ORDINANCE, CHAPTER X, SECTION 101.0462 OF THE SAN DIEGO MUNICIPAL CODE, UNLESS BY THE TERMS OF THE RESOURCE PROTECTION ORDINANCE, IT IS EXEMPTED THEREFROM.

Pursuant to the terms of the Resource Protection Ordinance, this project, located in the Coastal Zone, is exempt from chapter X, Section 101.0462 of the City of San Diego Municipal Code.

D. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT RECREATIONAL OR VISITOR-SERVING FACILITIES OR COASTAL SCENIC RESOURCES.

The La Jolla Spectrum CarrAmerica project is located within an existing approved and previously graded scientific research business park, and contains no recreational or visitor serving facilities or coastal scenic resources. Therefore, the proposed development will not adversely affect recreational, visitor-serving facilities or coastal scenic resources.

E. THE PROPOSED DEVELOPMENT WILL BE SITED AND DESIGNED TO PREVENT ADVERSE IMPACTS TO ENVIRONMENTALLY SENSITIVE HABITATS AND SCENIC RESOURCES LOCATED IN ADJACENT PARKS AND RECREATION AREAS, AND WILL PROVIDE ADEQUATE BUFFER AREAS TO PROTECT SUCH RESOURCES.

The project is not located on or near environmentally sensitive recreation areas, scenic resources, or adjacent parks. Open space slopes will not be directly impacted by the proposed grading, and potential indirect impacts to the open space slope areas have been fully addressed by the site design features, project conditions, and appropriate mitigation measures. The proposed development will not alter the natural land forms because the proposed grading does not extend beyond the limits of previously graded areas. The adjacent steep sensitive slopes are being retained in their natural state. Brush management mitigation is accomplished through the use of adequate setbacks from the canyon rim which will not cause any impacts to the vegetation on the adjacent sensitive slope areas.

F. THE PROPOSED DEVELOPMENT WILL MINIMIZE THE ALTERATIONS OF NATURAL LANDFORMS AND WILL NOT RESULT IN UNDUE RISKS FROM GEOLOGIC AND EROSIONAL FORCES AND/OR FLOOD AND FIRE HAZARDS.

The CarrAmerica project will be developed on previously graded pads approved as part of the original Planned Industrial Development permit for the La Jolla Spectrum project. The proposed project does not propose additional significant grading. Project conditions require erosion control measures and compliance with State Water Resources Control Board requirements for discharge of storm water and waste discharge. Brush Management practices are required as project conditions and will minimize risks from fire hazards. Therefore, the proposed development will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.

G. THE PROPOSED DEVELOPMENT WILL BE VISUALLY COMPATIBLE WITH THE CHARACTER OF SURROUNDING AREAS, AND WHERE FEASIBLE, WILL RESTORE AND ENHANCE VISUAL QUALITY IN VISUALLY DEGRADED AREAS.

The proposed development will be visually compatible with the character of surrounding areas and will enhance the visual quality in visually degraded areas. The proposed project includes building height limitations, setbacks from the canyon rim, massing, and architectural design features which are similar in character to surrounding developments. In addition, the proposed project conforms with the development regulations and design guidelines of originally approved La Jolla Spectrum Planned Industrial Development Permit, and the underlying SR (Scientific Research) zone.

H. THE PROPOSED DEVELOPMENT WILL CONFORM WITH THE GENERAL PLAN, THE LOCAL COASTAL PROGRAM, AND ANY OTHER APPLICABLE ADOPTED PLANS AND PROGRAMS.

The CarrAmerica project, which proposes scientific research uses, is located in an area designated in the Progress Guide and General Plan, University Community Plan, and the North City Local Coastal Program for scientific research uses. The CarrAmerica project is consistent with the permitted land uses and development regulations of the underlying SR (Scientific Research) zone.

HILLSIDE REVIEW PERMIT FINDINGS:

A. THE SITE IS PHYSICALLY SUITABLE FOR THE DESIGN AND SITTING OF THE PROPOSED DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL RESULT IN MINIMUM DISTURBANCE OF SENSITIVE AREAS.

The site is physically suitable for the design and siting of the proposed buildings. The proposed project will not result in the disturbance of any undisturbed hillside review designated areas. The development will occur totally within previously graded areas on the top of an existing mesa with no encroachment into the sensitive slope areas adjacent to the project.

B. THE GRADING AND EXCAVATION PROPOSED IN CONNECTION WITH THE DEVELOPMENT WILL NOT RESULT IN SOIL EROSION, SILTING OF LOWER SLOPES, SLIDE DAMAGE, FLOODING, SEVERE SCARRING OR ANY OTHER GEOLOGICAL INSTABILITY WHICH WOULD AFFECT HEALTH, SAFETY AND GENERAL WELFARE AS APPROVED BY THE CITY ENGINEER. DISTURBED SLOPES ARE PLANTED WITH NATIVE AND SELF SUFFICIENT VEGETATION.

The CarrAmerica project will be developed on previously graded pads approved as part of the original Planned Industrial Development permit for the La Jolla Spectrum project. The proposed project does not propose additional significant grading. The sensitive steep slopes adjacent to the project will not be disturbed. Project conditions require erosion control measures and compliance with State Water Resources Control Board requirements for discharge of storm water and waste discharge. The project design includes detention basins, siltation traps and energy dissipaters in an effort to control and reduce drainage impacts. Landscaping and Brush Management practices are required as project conditions. The project also implements building setbacks which adequately mitigate fire hazards in compliance with the City's Brush Management Standards without the need for further impacts to the sensitive vegetation.

C. THE PROPOSED DEVELOPMENT RETAINS THE VISUAL QUALITY OF THE SITE, THE AESTHETIC QUALITIES OF THE AREA AND THE NEIGHBORHOOD CHARACTERISTICS BY UTILIZING PROPER

STRUCTURAL SCALE AND CHARACTER, VARIED ARCHITECTURAL TREATMENTS, AND APPROPRIATE PLANT MATERIAL.

The CarrAmerica project retains the visual quality of the site and the aesthetic qualities of the area by utilizing proper structural bulk and scale, architectural treatments, and appropriate landscaping consistent with the previous approval of the planned industrial development permit for the La Jolla Spectrum project.


- D. THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE OPEN SPACE ELEMENT OF THE GENERAL PLAN, THE OPEN SPACE AND SENSITIVE LAND ELEMENT OF THE COMMUNITY PLAN, ANY OTHER ADOPTED APPLICABLE PLAN, AND THE ZONE. THE APPLICANT HAS DISCUSSED THE FEASIBILITY OF OPEN SPACE DEDICATIONS OR EASEMENTS WITH APPROPRIATE CITY STAFF.**

The CarrAmerica project is consistent with the originally approved La Jolla Spectrum planned industrial development permit, which proposes development and designates open space areas that are consistent with the Progress Guide and General Plan and the University Community Plan.

- E. THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE QUALITATIVE DEVELOPMENT GUIDELINES AND CRITERIA AS SET FORTH IN DOCUMENT NO. RR-262129 "HILLSIDE DESIGN AND DEVELOPMENT GUIDELINES".**

The CarrAmerica project proposes development, including brush management, outside of the previously undisturbed Hillside Review area and sensitive slope areas, and is in conformance with the qualitative development guidelines and criteria of the Hillside Design and Development Guidelines.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the City Manager, Coastal Development Permit and Hillside Review Permit 96-7939 are hereby GRANTED by the City Manager to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 96-7939, a copy of which is attached hereto and made a part hereof.



Mike Westlake
Development Project Manager

Adopted on: July 1, 1998

296

ALL-PURPOSE CERTIFICATE

Type/Number of Document: CDP/HRP 96-7939
 Date of Approval: July 1, 1998

STATE OF CALIFORNIA



 Mike Westlake, Development Project Manager

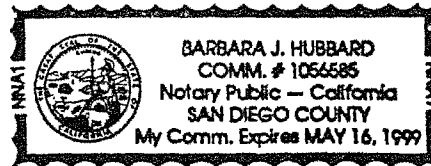
COUNTY OF SAN DIEGO

On July 2, 1998 before me, BARBARA J. HUBBARD (Notary Public), personally appeared Mike Westlake, Development Project Manager of Development Services of the City of San Diego, personally known to me to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

Signature

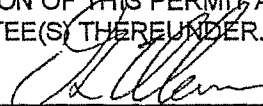

 Barbara J. Hubbard



(Seal)

PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF PERMITTEE(S) THEREUNDER.

Signed 
 Typed Name Dwight Merriman

Signed _____
 Typed Name _____

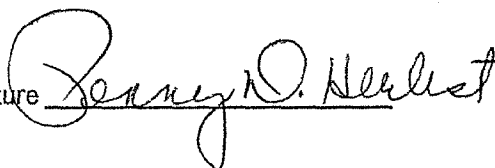
STATE OF California
 CARRAMERICA REALTY CORPORATION

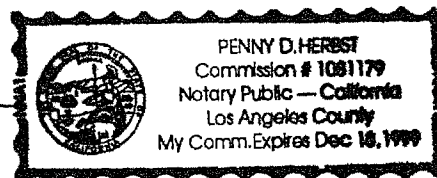
COUNTY OF Orange

On July 21, 1998 before me, Penny D. Herbst (Name of Notary Public) personally appeared Dwight Merriman, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature





(Seal)

ORIGINAL

1 of 5

**CITY OF SAN DIEGO
DEVELOPMENT SERVICES
HEARING OFFICER HEARING
202 C STREET, COUNCIL CHAMBERS
MINUTES
JULY 1, 1998
8:30 ITEMS**

Hearing Officer: Gene Lathrop
Recording Secretary: Beverly Allen
Deadline for Appeal: July 16, 1998, 5:00 p.m.
Request for Continuances: One

Gene Lathrop gave the hearing and appeal processes and introduced the items on the agenda.

ITEM 2 EIR ADDENDUM

ACTION:	CERTIFIED	Reso. #D-728
ENVIRONMENTAL PLANNER:	MYRA HERRMANN	
PROJECT NUMBER:	96-7939	
PROJECT NAME:	CARRAMERICA	
PROJECT MANAGER	MIKE WESTLAKE	
RECOMMENDATION:	APPROVAL	
ACTION:	APPROVED ON CONSENT,	Reso. #D-729

An application for a Coastal Development Permit and a Hillside Review Permit to develop 156,820 square-feet of scientific research uses within two buildings on a previously graded 14.2-acre site. The subject property is located at **3115-3215 Merryfield Row** within the University Community Planning Area.

SPEAKER SLIPS IN FAVOR

MARK ROWSON, Latitude 33, 4180 La Jolla Village Drive, #330

PATRICIA RUSSELL, CarrAmerica, 3611 Harbor Boulevard, Suite 230, Costa Mesa

RUSSELL REX, 2827 Presidio Drive

DOC# 2015-0347631



Jul 02, 2015 12:09 PM

OFFICIAL RECORDS

Ernest J. Dronenburg, Jr.,

SAN DIEGO COUNTY RECORDER

FEES: \$117.00

PAGES: 35

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

35
10

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004990

COASTAL DEVELOPMENT PERMIT NO. 1447486
SITE DEVELOPMENT PERMIT NO. 1447488
LA JOLLA SPECTRUM - PROJECT NO. 383639 [MMRP]
AMENDMENT TO COASTAL DEVELOPMENT PERMIT /
HILLSIDE REVIEW PERMIT NO. 96-7939
HEARING OFFICER

This Coastal Development Permit No. 1447486 and Site Development Permit No. 1447488, an amendment to Coastal Development Permit /Hillside Review Permit No. 96-7939, is granted by the Hearing Officer of the City of San Diego to ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 14.2-acre site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Planning Area, Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, Parking Impact Overlay Zone (Coastal and Campus Impact Areas), and Council District 1. The project site is legally described as: Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a lot line adjustment with the adjacent property; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 10, 2015, on file in the Development Services Department.

The project shall include:

- a. A lot line adjustment of 12,796 square feet from Lot 12 of Map No. 12990 located at 3115-3215 Merryfield Row and transfers the area to Lot 4 of Map No. 6229 located at 3013-3033 Science Park Road;

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **July 1, 2018**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION, NO. 383639, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION, NO. 383639, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of

the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Biological Resources
Historical Resources (archaeology)
Paleontological Resources

MAP CHECK REQUIREMENTS:

15. Prior to the issuance of any construction permit, a lot line adjustment Parcel Map shall be recorded at the County to adjust the lines between Lot 4 of Map No. 6229 and Lot 12 of Map No. 12990, and shall be in substantial conformity to Exhibit "A."

DEVELOPMENT REQUIREMENTS:

16. All of the conditions contained in Coastal Development Permit/Hillside Review Permit No. 96-7939 shall remain in effect.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

APPROVED by the Hearing Officer of the City of San Diego on June 10, 2015 and Resolution No. HO-6831-2.

Permit Type/PTS Approval No.: CDP No. 1447486 &
SDP No. 1447488
Date of Approval: June 10, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT



Alex Hempton
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

ARE – SD Region No. 23, LLC, a Delaware limited liability company

**By: Alexandria Real Estate Equities, L.P., a Delaware
limited partnership, Managing Member**

**By: ARE-QRS CORP., a Maryland corporation,
General Partner**

Signature: _____
Name (Print): _____
Title: _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

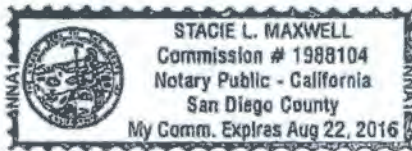
County of San DiegoOn July 2 2015 before me, Stacie L. Maxwell, Notary Public
Date Here Insert Name and Title of the Officerpersonally appeared Alex Hampton

Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature

[Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Lanolla Spectrum Document Date: June 10, 2015Number of Pages: 5 Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer — Title(s): _____☐ Partner — ☐ Limited ☐ General☐ Individual ☐ Attorney in Fact☐ Trustee ☐ Guardian or Conservator☐ Other: _____

Signer Is Representing: _____

Signer's Name: _____

☐ Corporate Officer — Title(s): _____☐ Partner — ☐ Limited ☐ General☐ Individual ☐ Attorney in Fact☐ Trustee ☐ Guardian or Conservator☐ Other: _____

Signer Is Representing: _____

ORIGINAL

Permit Type/PTS Approval No.: CDP No. 1447486 &
SDP No. 1447488

Date of Approval: June 10, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

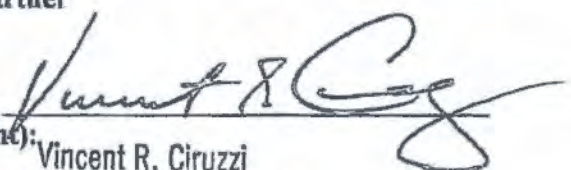
**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ARE – SD Region No. 23, LLC, a Delaware limited liability company

By: Alexandria Real Estate Equities, L.P., a Delaware
limited partnership, Managing Member

By: ARE-QRS CORP., a Maryland corporation,
General Partner

Signature: 
Name (Print): Vincent R. Ciruzzi
Title: Senior Vice President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

"A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document."

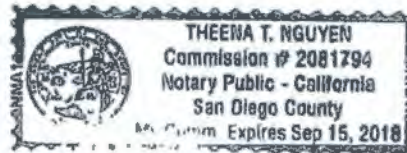
State of California
County of San Diego

On 2/1/15 before me, Theena Nguyen "Notary Public", personally appeared Vincent Ciruzzi, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____



ORIGINAL

HEARING OFFICER
 RESOLUTION NO. HO-6831-2
 COASTAL DEVELOPMENT PERMIT NO. 1447486
 SITE DEVELOPMENT PERMIT NO. 1447488
LA JOLLA SPECTRUM - PROJECT NO. 383639 [MMRP]
 AMENDMENT TO COASTAL DEVELOPMENT PERMIT /
 HILLSIDE REVIEW PERMIT NO. 96-7939

WHEREAS, ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a lot line adjustment of 12,796 square feet from Lot 12 of Map No. 12990 located at 3115-3215 Merryfield Row and transfers the area to Lot 4 of Map No. 6229 located at 3013-3033 Science Park Road (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1447486 and No. 1447488), on portions of a proposed 14.2-acre site;

WHEREAS, the project site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Planning Area, Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, Parking Impact Overlay Zone (Coastal and Campus Impact Areas), and Council District 1;

WHEREAS, the project site is legally described as: Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992;

WHEREAS, on June 10, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1447486 and Site Development Permit No. 1447488 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 10, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to Coastal Development Permit (CDP)/Hillside Review Permit (HRP) No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road.

This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and Site Development Permit (SDP) No. 1390733.

The property is located approximately 0.71-miles from the Pacific Ocean. The property is located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed lot line adjustment would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the University Community Planning (UCP) or the Local Coastal Program Land Use Plan.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. The lot line adjustment would occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site.

A Mitigated Negative Declaration (MND) No. 383639 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science Park Road project sites

and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed coastal development would not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, identified as Prime Industrial Lands, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Coastal Height Limitation Overlay Zone (CHLOZ), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The zoning designation allows for research and development uses with some limited manufacturing and the UCP designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The property is located approximately 0.71-miles from the Pacific Ocean. The property is located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed lot line adjustment would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located

within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/ HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The property is located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. The properties are located approximately 0.71-miles from the Pacific Ocean. The lot line adjustment would be located on private property and would occur within the previously disturbed and developed portion of the site. The existing development does not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site and public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this development. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment complies with the public access and recreation policies of Chapter 3 of the California Coastal Act.

II Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, identified as Prime Industrial Lands, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), CHLOZ, CPIOZ-B, First Public Roadway, and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The zoning designation allows for research and development uses with some limited manufacturing and the UCP designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

A MND No. 383639 has been prepared for the project in accordance with State of CEQA Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science Park Road project sites and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures. The project shall comply with the development conditions in effect for the subject property as described in CDP No. 1447486 and SDP No. 1447488, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the lot line adjustment would not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site, including conformance with the applicable regulations of the Land Development Code (LDC).

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains ESL in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the MSCP MHPA extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. The lot line adjustment would occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site.

A MND No. 383639 has been prepared for the project in accordance with CEQA Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science

Park Road project sites and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment would not result in any disturbance to ESL.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the lot line adjustment would create any alteration of natural land forms and would not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains ESL in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the MSCP MHPA extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. The lot line adjustment would occur

within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains ESL in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the MSCP MHPA extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development is consistent with the City of San Diego's MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the lot line adjustment would not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

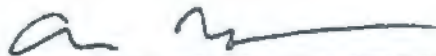
6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

A MND No. 383639 has been prepared for the project in accordance with State of CEQA Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science Park Road project sites and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance.

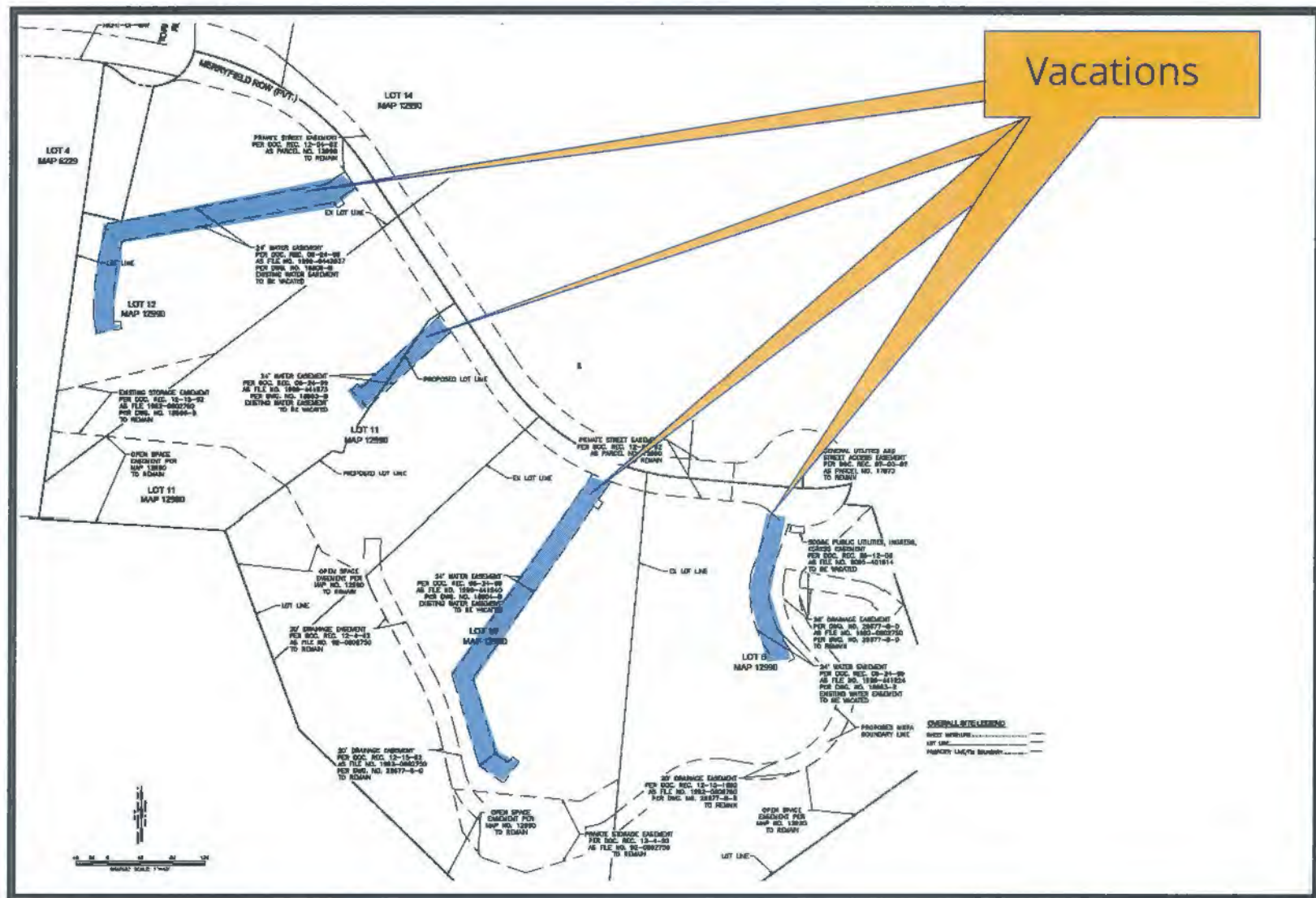
BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1447486 and Site Development Permit No. 1447488 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1447486 and No. 1447488 a copy of which is attached hereto and made a part hereof.



Alex Hempton
Development Project Manager
Development Services

Adopted on: June 10, 2015

Internal Order No. 24004990



PROJECT DATA SHEET

PROJECT NAME:	Spectrum III and IV; Project No. 422478	
PROJECT DESCRIPTION:	Demolition of two existing research and development buildings and construction of two Research & Development buildings on a 13.77 acre site.	
COMMUNITY PLAN AREA:	University	
DISCRETIONARY ACTIONS:	Coastal Development Permit, Site Development Permit, Tentative Map and Easement Vacation	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p>ZONE: IP-1-1</p> <p>HEIGHT LIMIT: 30-feet (Coastal Height Limitation Overlay Zone)</p> <p>LOT SIZE: 40,000 square feet</p> <p>FLOOR AREA RATIO: 2.0</p> <p>LOT COVERAGE: NA</p> <p>FRONT SETBACK: 20-foot (min.) and 25-foot (std.)</p> <p>SIDE SETBACK: 15-feet</p> <p>STREETSIDE SETBACK: NA</p> <p>REAR SETBACK: 25-feet</p> <p>PARKING: 625 spaces proposed with a Transportation Demand Management Plan</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Industrial; IP-1-1	Research and Development
SOUTH:	Industrial; IP-1-1	Research and Development
EAST:	Industrial; IP-1-1	Research and Development
WEST:	Industrial; IP-1-1	Research and Development
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On May 24, 2016, the University Community Planning Group voted 15-1-2 to recommend approval of the project with conditions.	

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION GRANTING COASTAL DEVELOPMENT PERMIT NO. 1580366 AND SITE DEVELOPMENT PERMIT NO. 1580368 FOR THE SPECTRUM III AND IV PROJECT - PROJECT NO. 422478 [MMRP]; WHICH AMEND COASTAL DEVELOPMENT PERMIT NO. 1447486, SITE DEVELOPMENT PERMIT NO. 1447488, AND COASTAL DEVELOPMENT PERMIT/HILLSIDE REVIEW PERMIT NO. 96-7939

WHEREAS, ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a Coastal Development Permit and Site Development Permit, to demolish two existing research and development buildings and construct two research and development buildings, and effect a Multiple Habitat Planning Area Boundary Line correction, and make associated site improvements, on a 13.77 acre parcel of land known as the Spectrum III and IV project (Project); and

WHEREAS, the project site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Plan, Prime Industrial Lands, Community Plan Implementation Overlay Zone (CPIOZ-B), Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). In addition, the property is located within the Parking Impact Overlay Zone (Coastal and Campus Impact Areas), Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1), the Accident Potential Zone for Marine Corps Air Station (MCAS) Miramar, and Council District 1; and

WHEREAS, the property is legally described as Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992; and

WHEREAS, on September 8, 2016, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 1580366 and Site Development Permit No. 1580368, and pursuant to Resolution No. _____ voted to recommend approval; and

WHEREAS, under Charter section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 1580366 and Site Development Permit No. 1580368:

I. Coastal Development Permit - Section 126.0708(a)

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the University Community Plan (UCP), Prime Industrial Lands, Community Plan Implementation Overlay Zone (CPIOZ-B), Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The project proposes to

demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. Including the accessory uses/non trip generation square footage, at build out, the project's overall gross floor area will be 203,200 square feet. As a component of the proposed project, the proposed new research and development building would achieve a Leadership in Energy and Environmental Design (LEED) Silver Certification.

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project site contains Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's Multiple Species Conservation Plan (MSCP) Subarea, and the Multi-Habitat Planning Area (MHPA) is mapped onsite and adjacent to the project.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting an MHPA Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

The property is located approximately 0.9 miles from the Pacific Ocean. The property is located in an area just east of Torrey Pines Road between the sea and the first public roadway paralleling the sea. Merryfield Row is not designated as a view corridor and does not contain an intermittent or partial vista, viewshed or scenic overlooks with views toward the Pacific Ocean. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP and the Local Coastal Program Land Use Plan.

The buildable footprint area ranges from approximately 358 feet above Mean Sea Level (MSL) at the east end of the Spectrum III building to 343 feet above MSL at the lowest elevation of the Spectrum IV building, and is located above the 100 year floodplain. The topography of the site creates various building heights for both the proposed buildings. Sheet A4.1 through A4.3 provides 18 elevation exhibits demonstrating that the structures and any projections will not exceed the maximum height limit allowed by the Coastal Height Limitation Overlay Zone.

The proposed development will be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the

development has been designed to meet the development regulations of the underlying zone and would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project site contains ESL in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's MSCP Subarea, and the MHPA is mapped onsite and adjacent to the project.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting an MHPA -Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

A Mitigated Negative Declaration (MND) No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. A Mitigation, Monitoring and Reporting Program (MMRP) will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed coastal development would not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, Prime Industrial Lands, CPIOZ-B, Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

The property is located approximately 0.9 miles from the Pacific Ocean. The property is located in an area just east of Torrey Pines Road between the sea and the first public roadway paralleling the sea. Merryfield Row is not designated as a view corridor and does not contain an intermittent or partial vista, viewshed or scenic overlooks with views toward the Pacific Ocean. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP and the Local Coastal Program Land Use Plan.

The buildable footprint area ranges from approximately 358 feet above Mean Sea Level (MSL) at the east end of the Spectrum III building to 343 feet above MSL at the lowest elevation of the Spectrum IV building, and is located above the 100 year floodplain. The topography of the site creates various building heights for both the proposed buildings. Sheet A4.1 through A4.3 provides 18 elevation exhibits demonstrating that the structures and any projections will not exceed the maximum height limit allowed by the Coastal Height Limitation Overlay Zone.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, for all of these reasons, the development is in conformity with the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, Prime Industrial Lands, CPIOZ-B, Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The property is located in an area just west of Sorrento Valley Road between the sea and the first public roadway paralleling the sea. The property is located approximately 0.9 miles from the Pacific Ocean. The proposed development would be located on private property and would occur within the previously disturbed and developed portion of the site. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP and the Local Coastal Program Land Use Plan.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site and public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this development. Therefore, the proposed development complies with the public access and recreation policies of Chapter 3 of the California Coastal Act.

II Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, Prime Industrial Lands, CPIOZ-B, Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. The proposed development would be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents.

The IP-1-1 zoning allows for research and development uses with some limited manufacturing and the project site is located within the Torrey Pines Subarea of the UCP. The UCP designates the site as Industrial, and the

Industrial Element of the plan more specifically identifies the site for scientific research. The sites are also subject to CPIOZ-B. The purpose of the CPIOZ is to provide supplemental development regulations that are tailored to specific sites within community plan areas of the City to ensure that new development is consistent with the goals, objectives and proposals of the community plan or compatible with surrounding development. The CPIOZ was incorporated into the UCP on January 12, 1988 (Resolution No. R-270138) and addresses land use and intensity, bulk and scale, and architectural design of buildings, structures and signs.

The project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP, which calls for Scientific Research use at existing or approved development at the time of adoption of the UCP. The UCP was adopted in 1987 and the project site was previously approved for development totaling 242,000 square feet, but was adjusted to 204,000 square feet due to the lot line adjustment approved under Coastal Development Permit (CDP) No. 1447486/ Site Development Permit (SDP) No. 1447488. The project would not exceed this development intensity and to ensure consistency with the goals, objectives, and proposals of the UCP, the development plans have been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B. Therefore, the proposed development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/ Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The permit for the project includes various

conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in CDP No. 1580366 and SDP No. 1580368, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. As a component of the proposed project, the proposed new research and development building would achieve a LEED Silver Certification.

The proposed development would be located on private property and has been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development is in conformance with the applicable regulations of the Land Development Code (LDC).

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project sites contain ESL in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's MSCP Subarea, and the MHPA is mapped onsite and adjacent to the project.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting a MHPA -Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/ Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the site is physically suitable for the design and siting of the proposed development and the development would result in minimum disturbance to ESL.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and

development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

The proposed development would be located on private property and has been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/ Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed development has been designed to minimize the alteration of natural land forms and would not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project proposes to demolish two existing research and development buildings and the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. As a component of the proposed project, the proposed new research and development building would achieve a LEED Silver Certification.

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project sites contain ESL in the form of steep hillsides and sensitive biological resources. The project site lies within the

boundaries of the City's MSCP Subarea, and the MHPA is mapped onsite and adjacent to the project.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting a MHPA -Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan will be implemented with the project and all landscaping proposed will utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed development has sited and designed to prevent adverse impacts on any adjacent ESL.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project sites contain ESL in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's MSCP Subarea, and the MHPA is mapped onsite and adjacent to the project.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting a MHPA -Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan will be implemented with the project and all

landscaping proposed will utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed development is consistent with the City of San Diego's MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, and is approximately 0.9 miles from the Pacific Ocean. The property is located in an area just east of Torrey Pines Road and the entire area is located between the sea and the first public roadway paralleling the sea. The proposed development will be located on private property and will occur within the previously disturbed and developed portion of the site. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, any negative impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Coastal Development Permit No. 1580366 and Site Development Permit No. 1580368 are granted to ARE-SD REGION 23, LLC, a Delaware

Limited Liability Company, Owner and Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF SAN DIEGO OF THE CITY OF SAN DIEGO, CALIFORNIA, ON _____.

APPROVED: JAN I. GOLDSMITH, City Attorney

By _____

NAME

Deputy City Attorney

ATTY/SEC. INITIALS

DATE

R- INSERT

Reviewed by Jeffrey A. Peterson, DPM

Internal Order No. 24005849

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005849

COASTAL DEVELOPMENT PERMIT NO. 1580366
SITE DEVELOPMENT PERMIT NO. 1580368
SPECTRUM III AND IV - PROJECT NO. 422478 [MMRP]
AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 1447486,
SITE DEVELOPMENT PERMIT NO. 1447488, AND
COASTAL DEVELOPMENT PERMIT/
HILLSIDE REVIEW PERMIT NO. 96-7939
CITY COUNCIL

This Coastal Development Permit No. 1580366 and Site Development Permit No. 1580368, an amendment to Coastal Development Permit No. 1447486, Site Development Permit No. 1447488, and Coastal Development Permit /Hillside Review Permit No. 96-7939 is granted by the City Council of the City of San Diego to ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 13.77 acre site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Plan, Prime Industrial Lands, Community Plan Implementation Overlay Zone (CPIOZ-B), Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). In addition, the property is located within the Parking Impact Overlay Zone (Coastal and Campus Impact Areas), Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1), the Accident Potential Zone for Marine Corps Air Station (MCAS) Miramar, and Council District 1. The project site is legally described as: Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of two existing research and development buildings and construction of two research and development buildings, and a Multiple Habitat Planning Area Boundary Line correction, described and identified by size, dimension, quantity, type, and location

on the approved exhibits [Exhibit "A"] dated _____, on file in the Development Services Department.

The project shall include:

- a. Demolition of two existing research and development buildings totaling 156,653 square feet and construction of a 57,372 square foot research and development building located at 3115 Merryfield Row and a 145,828 square foot research and development building located at 3215 Merryfield Row;
- b. Multiple Habitat Planning Area Boundary Line Correction;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A 10,576 square foot accessory mechanical enclosure;
- f. Leadership in Energy and Environmental Design (LEED) Silver Level Certification; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will

promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. This Permit supersedes Coastal Development Permit No. 1447486, Site Development Permit No. 1447488, and Coastal Development Permit /Hillside Review Permit No. 96-7939.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

14. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 422478/SCH NO. 2016061047, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION, NO. 422478/SCH NO. 2016061047, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Paleontological Resources
- Transportation/Circulation

GEOLOGY REQUIREMENTS:

16. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The Owner/Permittee shall obtain a determination of adequacy from the Geology Section of the Development Services Department regarding the report or letter prior to issuance of any construction permits.

17. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The Owner/Permittee shall obtain a determination of adequacy from the Geology Section of the Development Services Department regarding the as-graded geotechnical report prior to exoneration of the bond and grading permit close-out.

ENGINEERING REQUIREMENTS:

18. The Owner/Permittee shall demonstrate that this Coastal Development Permit/Site Development Permit complies with all Conditions of the Final Map for the Tentative Map No.1580380.
19. The project proposes to export 14,086 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
20. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
24. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
25. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2007-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
26. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

28. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete Landscape Construction Documents showing the brush management zones on the property in substantial conformance with Exhibit 'A' in accordance with the Landscape Standards and to the satisfaction of the Development Services Department.

29. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

31. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

32. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit documentation that substantiates the material for the wood decking will meet the Wildland Urban Interface Class 'A' requirements for flame spread.

33. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

34. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

MULTIPLE SPECIES CONSERVATION PROGRAM:

36. Prior to recordation of the first parcel map and/or issuance of any grading permits, the on-site Multiple Habitat Planning Area [MHPA] to the City's Multiple Species Conservation Program [MSCP] preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Conveyance of any land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. To facilitate MHPA conveyance, any non-fee areas shall have covenant of easements for MHPA lands placed over them if located in the MHPA, and be maintained in perpetuity by the owner/ Permittee/Applicant unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

37. The issuance of this permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (EAS) and any amendments thereto (16 U.S.C. Section 1531 et seq.).

In accordance with authorization granted to the City of San Diego from the USFWS pursuant to Sec. 10(a) of the ESA and by the CDFG pursuant to Fish & Game Code sec. 2835 as part of the Multiple Species Conservation Program (MSCP), the City of San Diego through the issuance of this Permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement (IA), executed on July 17, 1997 and on File in the Office of the City Clerk as Document No. 00-18394.

Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS or CDFG, except in the limited circumstances described in Section 9.6 and 9.7 of the IA.

For lands identified as mitigation but not yet dedicated, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

PLANNING/DESIGN REQUIREMENTS:

38. Processing, manufacturing, or storage of bulk quantities of hazardous materials (greater than 10,000 gallons) shall not be permitted on the premises.

39. Prior to issuance of building permits, the Owner/Permittee shall provide documentation that the project has been submitted to the U.S. Green Building Council for review and will achieve at least a Leadership in Energy and Environmental Design (LEED) Silver Certification. Construction documents shall note all criteria included in the design and construction of the project as identified in the LEED certification application.

40. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

41. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations.

42. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

43. The Owner/Permittee shall provide parking at all times in accordance with the San Diego Municipal Code for research and development use at a minimum ratio of 2.5 vehicle parking spaces per 1,000 square feet of use and maximum ratio of 4.0 vehicular parking spaces per 1,000 square feet of use (625 spaces proposed) in the approximate locations shown on Exhibit 'A.' All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate decision maker.

44. The Owner/Permittee shall not convert the space shown on Exhibit 'A' as mechanical, electrical, ventilation, utility, or amenity space from its designated use to any trip generating use unless an equal or greater amount of trip generating square footage were to be removed or designated as non-trip generating square footage through appropriate review of the Development Services Department.

45. Prior to the issuance of any certificate of occupancy, the Owner/Permittee shall implement the Transportation Demand Management (TDM) Plan as outlined in the access analysis dated April 28,

2016 and submit annual monitoring reports for a period of five (5) years for review and approval by the City Engineer.

46. Prior to Final Inspection for Building A, the I-5/Genesee Avenue Interchange Project must be fully constructed and open to traffic.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

47. Prior to the issuance of any building permits, the Owner/Permittee shall vacate the existing water easements as shown on the approved Exhibit 'A,' in a manner satisfactory to the Public Utilities Director and the City Engineer.

48. Prior to the recordation of the easement vacation, all public water facilities shall be abandoned or privatized, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

49. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new public water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director, the City Engineer.

50. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

51. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

52. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on _____ and Resolution
No. _____.

Permit Type/PTS Approval No.: CDP No. 1580366
SDP No. 1580368

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**ARE-SD Region No. 23, LLC,
a Delaware limited liability company**

**By: Alexandria Real Estate Equities, L.P.,
a Delaware limited partnership,
Managing Member**

**By: ARE-QRS CORP., a Maryland corporation,
General Partner**

By: _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CITY COUNCIL RESOLUTION NUMBER R-_____

TENTATIVE MAP NO. 1580398 AND EASEMENT VACATION NO.
1580371; SPECTRUM III AND IV - PROJECT NO. 422478 [MMRP]

WHEREAS, ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Subdivider and Permittee, and RICK ENGINEERING COMPANY, Engineer, submitted an application to the City of San Diego for a tentative map (Tentative Map No. 1580398) and easement vacation (Easement Vacation No. 1580371) for the SPECTRUM III AND IV project (Project). The project site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Plan, Prime Industrial Lands, Community Plan Implementation Overlay Zone (CPIOZ-B), Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). In addition, the property is located within the Parking Impact Overlay Zone (Coastal and Campus Impact Areas), Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1), the Accident Potential Zone for Marine Corps Air Station (MCAS) Miramar, and Council District 1. The property is legally described as Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992; and

WHEREAS, the Map proposes the Subdivision of a 13.77 acre site into two (2) lots for a commercial development; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on September 8, 2016, the Planning Commission of the City of San Diego considered Tentative Map No. 1580398 and Easement Vacation No. 1580371, and pursuant to Resolution No. _____, the Planning Commission voted to recommend City Council approval of the map; and

WHEREAS; under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on _____, the City Council of the City of San Diego considered Tentative Map No. 1580398 and Easement Vacation No. 1580371, and pursuant to San Diego Municipal Code sections 125.0440, 125.1040, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1580398:

1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the University Community Plan (UCP), Prime Industrial Lands, Community Plan Implementation Overlay Zone (CPIOZ-B), Coastal Height Limitation Overlay Zone, First Public Roadway Overlay Zone, and Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and

chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. The proposed subdivision would be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents.

The IP-1-1 zoning allows for research and development uses with some limited manufacturing and the project site is located within the Torrey Pines Subarea of the UCP. The UCP designates the site as Industrial, and the Industrial Element of the plan more specifically identifies the site for scientific research. The sites are also subject to CPIOZ-B. The purpose of the CPIOZ is to provide supplemental development regulations that are tailored to specific sites within community plan areas of the City to ensure that new development is consistent with the goals, objectives and proposals of the community plan or compatible with surrounding development. The CPIOZ was incorporated into the UCP on January 12, 1988 (Resolution No. R-270138) and addresses land use and intensity, bulk and scale, and architectural design of buildings, structures and signs.

The project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP, which calls for Scientific Research use at existing or approved development at the time of adoption of the UCP. The UCP was adopted in 1987 and the project site was previously approved for development totaling 242,000 square feet, but was adjusted to 204,000 square feet due to the lot line adjustment approved under Coastal Development Permit (CDP) No. 1447486/ Site Development Permit (SDP) No. 1447488. The project would not exceed this development intensity and ensure consistency with the goals, objectives, and proposals of the UCP, the development plans have been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B. Therefore, the proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. The proposed subdivision would be located on private property and has been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents. Therefore, the proposed subdivision will comply with the applicable regulations of the Land Development Code (LDC).

3. The site is physically suitable for the type and density of development.

The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project site contains Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's Multiple Species Conservation Plan (MSCP) Subarea, and the Multi-Habitat Planning Area (MHPA) is mapped onsite and adjacent to the project.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting a MHPA Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan will be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

A Mitigated Negative Declaration (MND) No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. A Mitigation, Monitoring and Reporting Program (MMRP) will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project site contains ESL in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's MSCP Subarea, and the MHPA is mapped onsite and adjacent to the project. The property is located approximately 0.9 miles from the Pacific Ocean.

The parcel has been previously graded and developed with two research and development buildings that were constructed in 1996-1997. Therefore, the project is also requesting a MHPA-Boundary Line Correction to correct the MHPA boundary where legal grading and construction of surface parking occurred prior to the implementation of the City's MSCP.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan will be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the subdivision or the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan will be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

An MND No. 422478/SCH No. 2016061047 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Biological Resources, Paleontological Resources, and Transportation/Circulation. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Tentative Map (TM) No. 1580398 and Easement Vacation (EV) No. 1580371, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to

issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the subdivider/permittee shall be required to obtain grading and public improvement permits. Therefore, the proposed subdivision or the type of improvement would not be detrimental to the public health, safety and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project site is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The project site contains ESL in the form of steep hillsides and sensitive biological resources. The project site lies within the boundaries of the City's MSCP Subarea, and the MHPA is mapped onsite and adjacent to the project. The property proposes to vacate four 24 foot wide water easements within the property boundary. The existing utility mains are located within the General Utilities and Street Access easement (Merryfield Row) that is located along the northern property line. The existing 24 foot wide water easements only serve the project site. All of the utilities servicing the new project on site shall be private. There is no present or prospective use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

Therefore, the design of the subdivision or the type of improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of a 57,372 square foot research and development building with 148 subterranean parking spaces located at 3115 Merryfield Row (Spectrum III) and a 145,828 square foot research and development building with 290 subterranean parking spaces located at 3215 Merryfield Row (Spectrum IV). A proposed mechanical yard and chiller room equipment enclosure (both areas are open to the light and air) will be located within the parking lot area between the two buildings. Including the accessory uses/non trip generation square footage, at build out, the overall gross floor area will be 203,200 square feet. As a component of the proposed project, the proposed new research and development building would achieve a Leadership in Energy and Environmental Design (LEED) Silver Certification. The design of the subdivision has taken into account the best use of the land to minimize grading. With the design of the proposed subdivision, each structure will have the opportunity through building materials, site orientation, architectural treatments, placement, and selection of plant materials, to provide to the extent feasible for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP. The IP-1-1 zoning allows for research and development uses with some limited manufacturing and the project site is located within the Torrey Pines Subarea of the UCP and the UCP designates the site as Industrial. The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of two new research and development building on the site. Therefore, the proposed commercial subdivision would not have any effects on the housing needs of the region.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that portions of four 24 foot wide water easements located within the project boundaries as shown in Tentative Map No. 1580398, shall be vacated, contingent upon the recordation of the approved Parcel Map for the project, and that the following findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference:

9. There is no present or prospective use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated. (San Diego Municipal Code § 125.1040(a)).

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The site has been previously graded and developed with two research and development buildings that were constructed in 1996-1997, which include four 24 foot wide water easements within the property boundary. The existing public utility mains are located within the General Utilities and Street Access easement (Merryfield Row) that is located along the northern property line. The existing 24 foot wide water easements were only serving the project site and are proposed to be vacated as part of the redevelopment of the site to allow for the construction of the new research and development buildings. All of the utilities servicing the new development shall be private. Therefore, there is no present or prospective use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

10. The public will benefit from the abandonment through improved utilization of the land made available by the abandonment. (San Diego Municipal Code § 125.1040(b)).

The site has been previously graded and developed with two research and development buildings that were constructed in 1996-1997, which include four 24 foot wide water easements within the property boundary. The existing public utility mains are located within the General Utilities and Street Access easement (Merryfield Row) that is located along the northern property line. The existing 24 foot wide water easements were only serving the project site and are proposed to be vacated as part of the redevelopment of the site to allow for the construction of the new research and development buildings. All of the utilities servicing the new development shall be

private. Therefore, the public would benefit through improved utilization of the land and no longer have to maintain the public utilities facilities within the property boundary that are only servicing this parcel of land.

11. The abandonment is consistent with any applicable land use plan. (San Diego Municipal Code § 125.1040(c)).

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP. The IP-1-1 zoning allows for research and development uses with some limited manufacturing. The project site is located within the Torrey Pines Subarea of the UCP and the UCP designates the site as Industrial. The project proposes to demolish two existing research and development buildings and to reconfigure the existing four lots into two lots for the construction of two new research and development building on the site. The existing 24 foot wide water easements were only serving the project site and are proposed to be vacated as part of the redevelopment of the site to allow for the construction of the new research and development buildings. All of the utilities servicing the new development shall be private. Therefore, the vacation of the easements would not adversely affect any applicable land use plan.

12. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by this abandonment or the purpose for which the easement was acquired no longer exists. (San Diego Municipal Code § 125.1040(d)).

The site has been previously graded and developed with two research and development buildings that were constructed in 1996-1997, which include four 24 foot wide water easements within the property boundary. The existing public utility mains are located within the General Utilities and Street Access easement (Merryfield Row) that is located along the northern property line. The existing 24 foot wide water easements were only serving the project site and are proposed to be vacated as part of the redevelopment of the site to allow for the construction of the new research and development buildings. All of the utilities servicing the new development shall be private. Therefore, the public facility for which the easements were originally acquired will not be detrimentally affected by this vacation.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Tentative Map No. 1580398 and Easement Vacation No. 1580371, hereby granted to ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Subdivider and Permittee, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: JAN I. GOLDSMITH, City Attorney

By

[Attorney]

Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
R-_____

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24005849

CITY COUNCIL
CONDITIONS FOR TENTATIVE MAP NO. 1580398
EASEMENT VACATION NO. 1580371
SPECTRUM III AND IV - PROJECT NO. 422478 [MMRP]
ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map will expire on _____.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Parcel Map to subdivide the lots shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Map No. 1580398 and Easement Vacation No. 1580371 shall conform to the provisions of Coastal Development Permit No. 1580366 and Site Development Permit No. 1580368.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

7. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be

located above ground on private property, in line with the service and immediately adjacent to the right-of-way

9. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

10. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
11. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.
12. All Easement Vacations within the project boundary to be vacated per California Streets and Highways Code prior to the recordation of the Parcel Map.

PUBLIC UTILITIES DEPARTMENT

13. The existing water easements shall be vacated prior to the recordation of the Parcel Map.
14. Prior to the recording of the Parcel Map, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

MULTIPLE SPECIES CONSERVATION PROGRAM

15. Prior to recordation of the first parcel map and/or issuance of any grading permits, the on-site Multiple Habitat Planning Area [MHPA] to the City's Multiple Species Conservation Program [MSCP] preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Conveyance of any land in fee to the City shall require approval from the Park and

Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. To facilitate MHPA conveyance, any non-fee areas shall have covenant of easements for MHPA lands placed over them if located in the MHPA, and be maintained in perpetuity by the owner/ Permittee/Applicant unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

16. The issuance of this permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (EAS) and any amendments thereto (16 U.S.C. Section 1531 et seq.).

In accordance with authorization granted to the City of San Diego from the USFWS pursuant to Sec. 10(a) of the ESA and by the CDFG pursuant to Fish & Game Code sec. 2835 as part of the Multiple Species Conservation Program (MSCP), the City of San Diego through the issuance of this Permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement (IA), executed on July 17, 1997 and on File in the Office of the City Clerk as Document No. 00-18394.

Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS or CDFG, except in the limited circumstances described in Section 9.6 and 9.7 of the IA.

For lands identified as mitigation but not yet dedicated, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24005849

RESOLUTION NUMBER R-_____
 DATE OF FINAL PASSAGE _____

A RESOLUTION ADOPTING MITIGATED NEGATIVE DECLARATION NO.
 422478/SCH NO. 2016061047, AND THE MITIGATION, MONITORING AND
 REPORTING PROGRAM FOR THE SPECTRUM III AND IV - PROJECT NO.
 422478 [MMRP]

WHEREAS, on December 8, 2015, ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, submitted an application to Development Services Department for a Coastal Development Permit, Site Development Permit, Tentative Map, and Easement Vacation for the Spectrum III and IV project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, on September 8, 2016, the Planning Commission of the City of San Diego considered Mitigated Negative Declaration No. 422478/SCH No. 2016061047, and the Mitigation Monitoring and Reporting Program, and pursuant to Planning Commission Resolution No. _____, the Planning Commission voted to recommend City Council adopt Mitigated Negative Declaration No. 422478/SCH No. 2016061047, and the Mitigation Monitoring and Reporting Program; and

WHEREAS, the issue was heard by the City Council on _____; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the City Council considered the issues discussed in Mitigated Negative Declaration No. 422478/SCH No. 2016061047 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council, that it is certified that the Mitigated Negative Declaration No. 422478/SCH No. 2016061047 has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the City Council in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the City Council finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the City Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the CITY CLERK, 202 C STREET, SAN DIEGO, CA 92101.

BE IT FURTHER RESOLVED, that the CITY CLERK is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: JAN I. GOLDSMITH, City Attorney

By _____
NAME
Deputy City Attorney

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM****MITIGATED NEGATIVE DECLARATION NO. 422478/SCH NO. 2016061047 FOR THE
SPECTRUM III AND IV - PROJECT NO. 422478 [MMRP]**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 422478/SCH No. 2016061047 shall be made conditions of Coastal Development Permit No. 1580366, Site Development Permit No. 1580368, Tentative Map No. 1580398 and Easement Vacation No. 1580371 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice to Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD) (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/information/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The DSD Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The Permit Holder/Owner is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit Holder's Representative(s), Job Site Superintendent, and the following consultants: Qualified Biologist
Qualified and Paleontological Monitor

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200.**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360.**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 422478 and/or Environmental Document Number 422478, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.
- Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**
3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: ***Not Applicable***
 4. **MONITORING EXHIBITS:** All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific

areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Land Use	Land Use Adjacency Issues CVSRs	Land Use Adjacency Issue Site Observations
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Biology Reports	Biology/Habitat Restoration Inspection
Paleontology	Paleontology Reports	Paleontology Site Observation
Traffic	Traffic Reports	Traffic Features Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIOLOGICAL RESOURCES (RESOURCE PROTECTION DURING CONSTRUCTION)

I. Prior to Construction

- A. **Biologist Verification** – The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's

biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.

- B. **Preconstruction Meeting** – The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow-up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. **Biological Documents** – The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), environmentally sensitive land (ESL) Ordinance, project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state, or federal requirements.
- D. **BCME** – The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME), which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and U.S. Fish and Wildlife Service [USFWS] protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City Assistant Deputy Director (ADD)/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. **Avian Protection Requirements** – To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities.

If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e., appropriate follow-up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and

include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section or Resident Engineer, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.

- F. **Resource Delineation** – Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora and fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education** – Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. **Monitoring** – All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. **Subsequent Resource Identification** – The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna on-site (e.g., flag plant specimens for avoidance during access, etc.). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, CEQA, and other applicable local, state, and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

BIOLOGICAL RESOURCES (RAPTOR NESTING)

To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities.

If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. If Cooper Hawk is present, a 300-foot avoidance buffer shall be established around an active nest within the MHPA consistent with the City MSCP Subarea Plan and the Biology Guidelines (2012). The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the preconstruction survey, no further mitigation is required.

Land Use (MSCP)

Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify the Applicant has accurately represented the project's design in or on the Construction Documents (CD's/CD's consist of Construction Plan Sets for Private Projects and Contract Specifications for Public Projects) are in conformance with the associated discretionary permit conditions and Exhibit "A", and also the City's Multi-Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines. The applicant shall provide an implementing plan and include references on/in CD's of the following:

- A. **Grading/Land Development/MHPA Boundaries** - MHPA boundaries on-site and adjacent properties shall be delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the development footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.
- B. **Drainage** - All new and proposed parking lots and developed areas in and adjacent to the MHPA shall be designed so they do not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
- C. **Toxics/Project Staging Areas/Equipment Storage** - Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Where applicable, this requirement shall be incorporated into leases on publicly-owned property when applications for renewal occur. Provide a note in/on the CD's that states: *"All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."*
- D. **Lighting** - Lighting within or adjacent to the MHPA shall be directed away/shielded from the MHPA and be subject to City Outdoor Lighting Regulations per LDC Section 142.0740.
- E. **Barriers** - New development within or adjacent to the MHPA shall be required to provide barriers (e.g., non-invasive vegetation; rocks/boulders; 6-foot high, vinyl-coated chain link or equivalent fences/walls; and/or signage) along the MHPA boundaries to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- F. **Invasives** - No invasive non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- G. **Brush Management** - New development adjacent to the MHPA shall be set back from the MHPA to provide required Brush Management Zone 1 area on the building pad outside of the MHPA. Zone 2 may be located within the MHPA provided the Zone 2 management will be the responsibility of an HOA or other private entity except where narrow wildlife corridors require it to be located outside of the MHPA. Brush management zones will not be greater in size than currently required by the City's regulations, the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done and vegetation clearing shall be prohibited within native coastal

sage scrub and chaparral habitats from March 1-August 15 except where the City ADD/MMC has documented the thinning would be consist with the City's MSCP Subarea Plan. Existing and approved projects are subject to current requirements of Municipal Code Section 142.0412.

- H. **Noise** - Due to the site's location adjacent to or within the MHPA where the Qualified Biologist has identified potential nesting habitat for listed avian species, construction noise that exceeds the maximum levels allowed shall be avoided during the breeding seasons for the following: coastal California Gnatcatcher (march 1 through August 15). If construction is proposed during the breeding season for the species, U.S. Fish and Wildlife Service protocol surveys shall be required in order to determine species presence/absence. If protocol surveys are not conducted in suitable habitat during the breeding season for the aforementioned listed species, presence shall be assumed with implementation of noise attenuation and biological monitoring. When applicable (i.e., habitat is occupied or if presence of the covered species is assumed), adequate noise reduction measures shall be incorporated as follows:

COASTAL CALIFORNIA GNATCATCHER (Federally Threatened)

Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between March 1 and August 15, the breeding season of the coastal California gnatcatcher, until the following requirements have been met to the satisfaction of the City Manager:

- A. A qualified biologist (possessing a valid endangered species act section 10(a)(1)(a) recovery permit) shall survey those habitat areas within the MHPA that would be subject to construction noise levels exceeding 60 decibels [dB(a)] hourly average for the presence of the coastal California gnatcatcher. Surveys for the coastal California gnatcatcher shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife service within the breeding season prior to the commencement of any construction. If gnatcatchers are present, then the following conditions must be met:
 - I. Between March 1 and August 15, no clearing, grubbing, or grading of occupied gnatcatcher habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - II. Between March 1 and August 15, no construction

activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(a) hourly average at the edge of occupied gnatcatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(a) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the city manager at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or

- III. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(a) hourly average at the edge of habitat occupied by the coastal California gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(a) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (August 16).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB (A) hourly average or to the ambient noise level if it already exceeds 60 dB (A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

- B. If coastal California gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the city manager and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1 and August 15 as follows:

I. If this evidence indicates the potential is high for coastal California gnatcatcher to be present based on historical records or site conditions, then condition A.III shall be adhered to as specified above.

II. If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans, but prior to the first precon meeting, whichever is applicable, the ADD Environmental designee shall verify that the requirements for paleontological monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to MMC identifying the PI for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.

2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- B. *PI Shall Attend Precon Meetings***
1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a precon meeting that shall include the PI, CM, and/or Grading Contractor, RE, BI, if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related precon meetings to make comments and/or suggestions concerning the paleontological monitoring program with the CM and/or Grading Contractor.
 - a. If the PI is unable to attend the precon meeting, the Applicant shall schedule a focused precon meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 2. Identify Areas to be Monitored - Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.
- III. *During Construction***
- A. *Monitor Shall be Present During Grading/Excavation/Trenching***
1. The monitor shall be present full time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The CM is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.

2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the CSV. The CSVs shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils), the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract.
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries - In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8 A.M. on the next business day.
 - b. Discoveries - All discoveries shall be processed and documented using the existing procedures detailed in Section III - During Construction.
 - c. Potentially Significant Discoveries - If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8 A.M. on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The CM shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

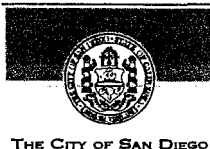
- A. *Preparation and Submittal of Draft Monitoring Report*
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the paleontological monitoring program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the paleontological recovery program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum - The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the paleontological monitoring program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. *Handling of Fossil Remains*
1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- C. *Curation of fossil remains: Deed of Gift and Acceptance Verification*
1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. *Final Monitoring Report(s)*
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

Transportation / Circulation

Prior to issuance of occupancy of Building A, the I-5/Genesee Avenue Interchange Project shall be fully constructed and open to traffic.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Spectrum III & IV		Project Number: 422478		Distribution Date: 12/8/2015	
Project Scope/Location: *SUSTAINABLE BUILDING EXPEDITE* (PROCESS 5) CDP/SDP/VTM/EV to Amend CDP/HRP No. 96-7939 to demolish a R&D bldg, and SDP to construct a 119,246 sq ft r&d bldg; construct a 7,060 sq ft addition to an existing r&d bldg; site retaining walls, retention basins, and MHPA boundary line adjustment (BLA) located at 3115 - 3215 Merryfield Row. The 13.77 acre site is located in the IP-1-1 Zone, Coastal Overlay (App and Non-App) zones within the University Community Plan .CD 1					
Applicant Name: Chris Aeria				Applicant Phone Number: 619- 929-3953	
Project Manager: Jeffrey A. Peterson		Phone Number: (619) 446-5237	Fax Number: (619) 321-3200	E-mail Address: JAPeterson@sandiego.gov	
Committee Recommendations (To be completed for Initial Review):					
<input checked="" type="checkbox"/> Vote to Approve		Members Yes 15	Members No 1	Members Abstain 2 chair (1)	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS: ① Non-native plants ② Check Bird strikes ③ If Alexandria sells the property, then the five year					
NAME: Jandy KRUER			TITLE: Chair monitoring of		
SIGNATURE: Jandy Krueger			DATE: 5/24/16 TDM starts over.		
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Project No. For City Use Only

Spectrum III & IV CDP/SDP

Project Address:

3115 & 3215 Merryfield Row, San Diego, CA 92121

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

ARE-SD Region No. 23, LLC

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

10996 Torreyana Road, Suite 250

City/State/Zip:

San Diego, CA 92121

Phone No:

(858) 638-2800

Fax No:

Signature:

Date:

4-24-2015

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

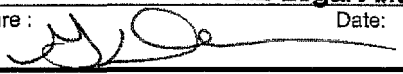
Project Title: <u>Spectrum III & IV CDP/SDP</u>	Project No. (For City Use Only) _____
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☒ Corporation ☐ Limited Liability -or- ☐ General) What State? CA Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☒ No

Corporate/Partnership Name (type or print): <u>ARE-SD Region No.23, LLC</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>10996 Torreyana Road, STE 250</u> City/State/Zip: <u>San Diego, CA 92121</u> Phone No: _____ Fax No: _____ <u>(858) 638 - 2800</u> Name of Corporate Officer/Partner (type or print): <u>Gary Dean</u> <u>Senior Vice President</u> <u>RE Legal Affairs</u> Title (type or print): Signature :  Date: <u>5/11/15</u>	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): Signature : _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): Signature : _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): Signature : _____ Date: _____

Supplement to Ownership Disclosure Form for ARE//Spectrum 3/4 (Project No. 422478)

ARE – SD Region No. 23. LLC. a Delaware limited liability company

Managing (and Sole) Member: Alexandria Real Estate Equities, L.P., a Delaware limited partnership

Alexandria Real Estate Equities, L.P., a Delaware limited partnership

General Partner: ARE-QRS CORP., a Maryland corporation

ARE-QRS CORP., a Maryland corporation

Joel S. Marcus, CEO and Founder

Dean A. Shigenaga, Executive VP, CFO and Treasurer

Jennifer J. Banks, General Counsel and Corporate Secretary

Gary Dean, Senior VP

Daniel J. Ryan, Executive VP, Regional Marketing Director

Bret E. Gossett, Senior VP

Vincent R. Ciruzzi, Senior VP

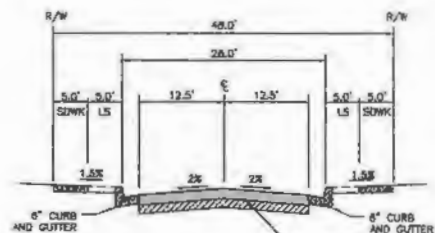
Stephen Pomerence, VP

These individuals are a subset of ARE-QRS Corp officers and oversee and are responsible for the San Diego region

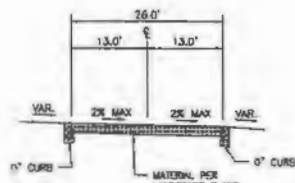
SPECTRUM PROJECT

TENTATIVE MAP NO. 1580380
SDP NO. 1580366, CDP NO. 1580368

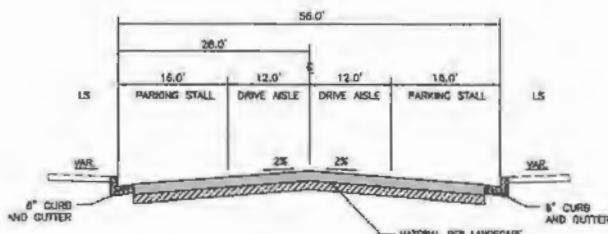
SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/TENTATIVE MAP/EASEMENT VACATION



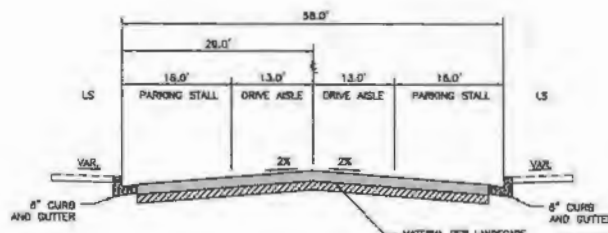
TYPICAL SECTION
MERRYFIELD ROW
NTS



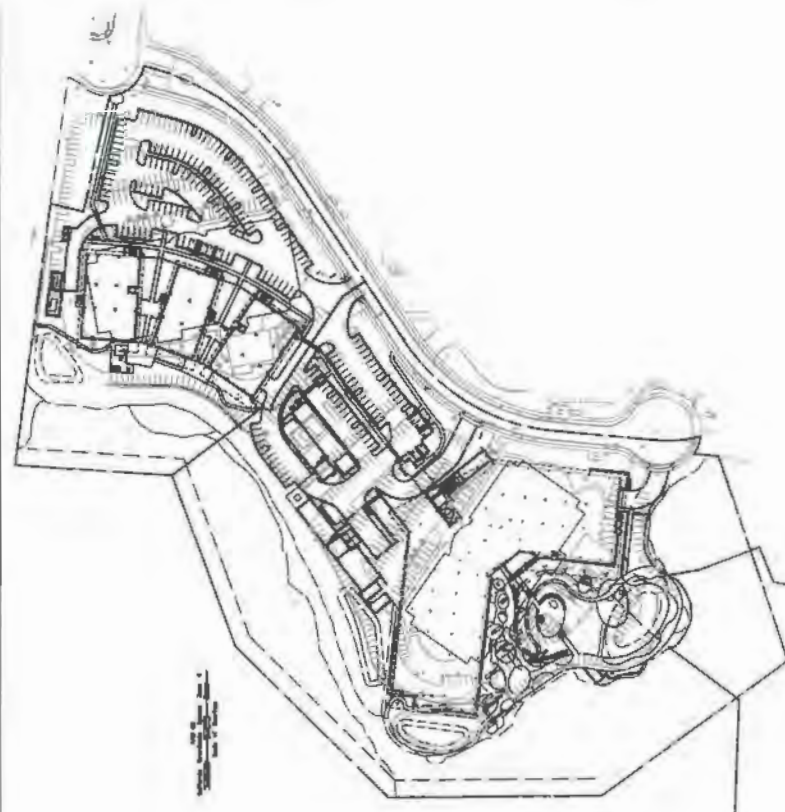
TYPICAL SECTION
FIRE LANE
NTS



TYPICAL SECTION
24' DRIVING LANE
NTS



TYPICAL SECTION
26' DRIVING LANE
NTS



KEY MAP
SCALE 1"=50'

SHEET INDEX

SHEET	SHEET No
TITLE SHEET & GENERAL NOTES	TM-1
SITE PLAN	TM-2
DEMOLITION PLAN	TM-3
EASEMENT VACATION	TM-4 & TM-5

OWNERS CERTIFICATE

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS. IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE THE ENGINEER OF WORK MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS, WHICH THE ENGINEER OF WORK DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS. ALL PLAN CHANGES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

NAME: ALEXANDRIA REAL ESTATE EQUITIES, INC.
ADDRESS: 10896 TORREYANA ROAD
SAN DIEGO, CA 92121
TEL: _____

BY: _____ DATE: _____

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

JOHN D. GOODARD JR. R.C.E. NO. 33037

RICK ENGINEERING COMPANY
3620 FRANKS ROAD
SAN DIEGO, CA 92110
(619) 291-0707
FAX (619) 291-4165
www.rickeng.com



DATE: _____



PROJECT DESCRIPTION

THE PROPOSED PROJECT ENTAILS THE DEMOLITION OF THE EXISTING 79,759 GROSS SQUARE FOOT (GFA) BUILDING LOCATED 3115 MERRYFIELD ROW AND CONSTRUCTION OF A NEW 119,248 GFA MULTI-STORY BUILDING WITH SUBTERRANEAN PARKING IN ITS PLACE AND RENOVATION AND EXPANSION OF THE EXISTING 76,894 GFA BUILDING LOCATED AT 3215 MERRYFIELD ROW FOR A TOTAL OF 203,200 GFA AT BUILD-OUT.

THE PROJECT IS LOCATED WITHIN SUBAREA 9 OF THE UNIVERSITY COMMUNITY PLAN AND PROPOSED A DEVELOPMENT INTENSITY OF 20,000 SQUARE FEET PER NET ACRE BUT WILL BE MITIGATED DOWN TO A PEAK-HOUR TRIP GENERATION RATE EQUIVALENT TO THAT GENERATED BY A PROJECT OF 16,000 SQUARE FEET PER NET ACRE. THE PROJECT FURTHER PROPOSED MINOR DEVIATIONS TO THE BLUFF EDGE SETBACK REQUIREMENTS CONTAINED IN THE EXISTING ENTITLEMENTS.

LEGAL DESCRIPTION

LOTS 10, 11, & 12 OF THE LA JOLLA SPECTRUM ACCORDING TO MAP THEREOF NO. 12990, AND LOT "B" OF PARCEL MAP NO. 17873, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA.

ASSESSORS PARCEL NUMBER

340-200-5,10,11,12 & 20

NUMBER OF LOTS

EXISTING: 4
PROPOSED: 2

GROSS SITE AREA

13.77 ACRES (596,821 S.F.)

OWNER/APPLICANT

ALEXANDRIA REAL ESTATE EQUITIES, INC.
10896 TORREYANA ROAD
SAN DIEGO, CA 92121

SITE ADDRESS

3115-3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE SOUTHWEST BRASS PLUG LOCATED ON N. TORREY PINES ROAD AT SCRIPPS CLINIC SLY ENTRANCE. PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK DATED AUGUST 1989.
BM ELEVATION: 441.085, MSL, PER U.S.C.S. ADJUSTMENT OF 1970

ABBREVIATIONS

AB	AGGREGATE BASE	WBC	MISCELLANEOUS
AC	ASPHALT CONCRETE	MOD	MODIFIED
BB	BROOKS BOX	NTS	NOT TO SCALE
CD	CLEANOUT	PA	PLANTER AREA
CG	DECOMPOSED GRANITE	PP	PROTECT IN PLACE
DWG	DRAWING	PL	PROPERTY LINE
DWT	DRIVEWAY	PVT	PRIVATE
ELEC	ELECTRICAL	PROP	PROPOSED
EX OR EXIST	EXISTING	R/W	RIGHT-OF-WAY
FC	FACE OF CURB	SEW	SEWER
FG	FINISH GRADE	SD	STORM DRAIN
FGBW	FINISH GRADE BACK OF WALL	SSWSO	SAN DIEGO REGIONAL STANDARD
FGFW	FINISH GRADE FACE OF WALL	TR	THRUST BLOCK
FSFW	FINISH SURFACE FACE OF WALL	TC	TOP OF CURB
FL	FLOW LINE	TCO	TOP OF CLEANOUT
FS	FINISH SURFACE/FIRE SERVICE	TF	TOP OF FOOTING
GB	GRADE BREAK	TO	TOP OF GRADE
HORIZ	HORIZONTAL	TP	TOP OF PIPE
IE	INVERT ELEVATION	TW	TOP OF WALL
MAX	MAXIMUM	TYP	TYPICAL
MH	MANHOLE	VERT	VERTICAL
MIN	MINIMUM	WTR	WATER

GRADING TABULATIONS

ON-SITE GRADING:	
TOTAL AMOUNT OF SITE TO BE GRADED:	6.75 A.C.
PERCENT OF TOTAL SITE TO BE GRADED:	48.4%
AMOUNT OF TOTAL CUT:	4,023 CUBIC YARDS
AMOUNT OF TOTAL FILL:	19,109 CUBIC YARDS
AMOUNT OF IMPORT OR EXPORT:	14,086 CUBIC YARDS (EXPORT)
MAX. VERTICAL DEPTH OF CUT:	2.18 FEET
MAX. VERTICAL DEPTH OF FILL:	8 FEET, 2:1 MAX. SLOPE RATIO
MAX. OVERALL HEIGHT OF CUT SLOPE:	11.75 FEET
MAX. OVERALL HEIGHT OF FILL SLOPE:	8 FEET, 2:1 MAX. SLOPE RATIO
* QUANTITIES ARE FOR THE SITE ONLY, SEE BUILDING EXCAVATION NUMBERS BELOW	

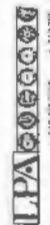
BUILDING A AND B EARTHWORK	
AMOUNT OF CUT:	50,974 CY
AMOUNT OF FILL:	0.00 CY
MAX DEPTH OF VERTICAL CUT:	37.8ft
MAX DEPTH OF VERTICAL FILL:	0.0ft

GENERAL NOTES

- TENTATIVE MAP NO. 1580380
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBOWNER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBOWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- ALL ON-SITE WATER AND SEWER SERVICES ARE PRIVATE, UNLESS OTHERWISE NOTED.
- DATE OF TOPOGRAPHY: 02/13/2015
- AERIAL FLOWN ON 02/24/2015
- LAMBERT COORDINATES:
NAD27 26S-169E
NAD83 90S-525E
- DATUM: CCS83 1991.35, ZONE 6
- PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL MAP.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
- AT THE STORM WATER DISCHARGE LOCATION, SUITABLE PERMIT LOG SPATERS ARE TO BE INSTALLED TO REDUCE THE VELOCITY TO NON-ERODING VELOCITIES.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.

FIRE NOTES

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE FROM THE STREET ON THE ROAD FRONTING THE PROPERTY ON FIRE POLICY P-1 (JF 901.4.4).
- PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FIRE POLICY A-02-1.
- AN ILLUMINATED DIRECTORY IN ACCORDANCE WITH FIRE POLICY J-00-6, SHALL BE PROVIDED.
- ALL BUILDINGS WILL BE SPRINKLERED.




SPECTRUM 3.3 & 4

3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for:
ALEXANDRIA REAL ESTATE EQUITIES, INC.

SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/TENTATIVE MAP/EASEMENT VACATION

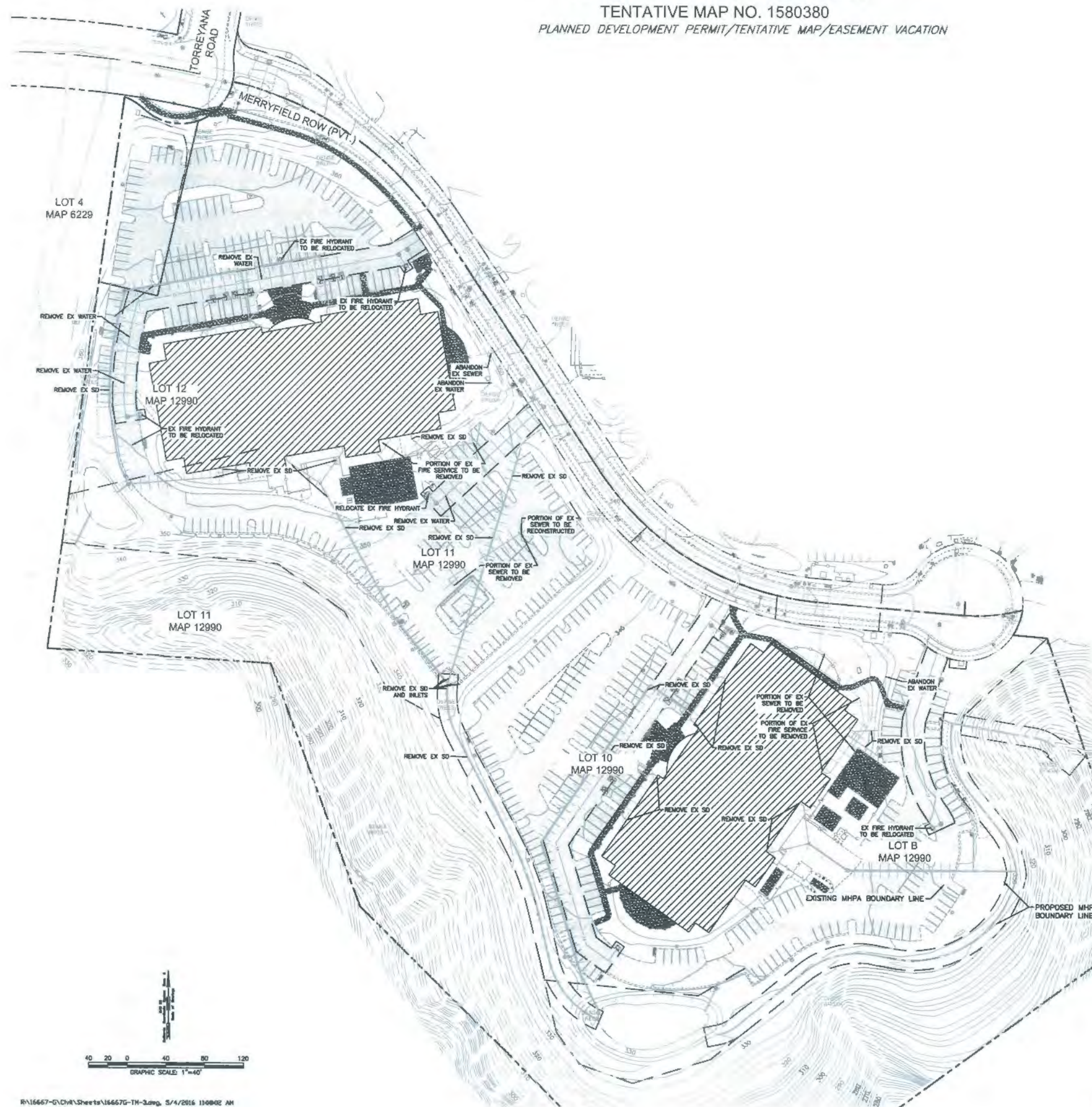


PROPOSED MHP
BOUNDARY LINE

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SPECTRUM PROJECT
TENTATIVE MAP NO. 1580380
PLANNED DEVELOPMENT PERMIT/TENTATIVE MAP/EASEMENT VACATION

ATTACHMENT 19

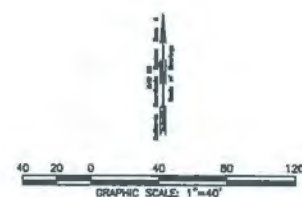


DEMOLITION LEGEND

---	BOUNDARY LINE
---	LIMIT OF DEMO
---	UTILITY REMOVAL/ABANDONMENT
---	EX ASPHALT TO BE REMOVED
---	EX CONCRETE TO BE REMOVED
---	EX BUILDING TO BE REMOVED

OVERALL SITE LEGEND

---	SHEET WATCHLINE
---	LOT LINE
---	PROPERTY LINE/TM BOUNDARY



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JOHN D. GOODARD JR.

R.C.E. NO. 33037

DATE



SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for:
ALEXANDRIA REAL ESTATE EQUITIES, INC.

This map is a preliminary map and is not intended to be used for any purpose other than to show the general location of the property and the proposed development. It is not intended to be used for any purpose other than to show the general location of the property and the proposed development.

Sheet No.	Revision	Date
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Sheet No.	Revision	Date
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10		

Job No. 1580380
Date 03.17.2016
Checked by EJ
Scale

DEMOLITION
PLAN

TM-3

01/17/16 10:41



RICK
ENGINEERING COMPANY
8400 TRINITY ROAD
SAN DIEGO, CA 92110
(619) 591-4165
rickengineering.com



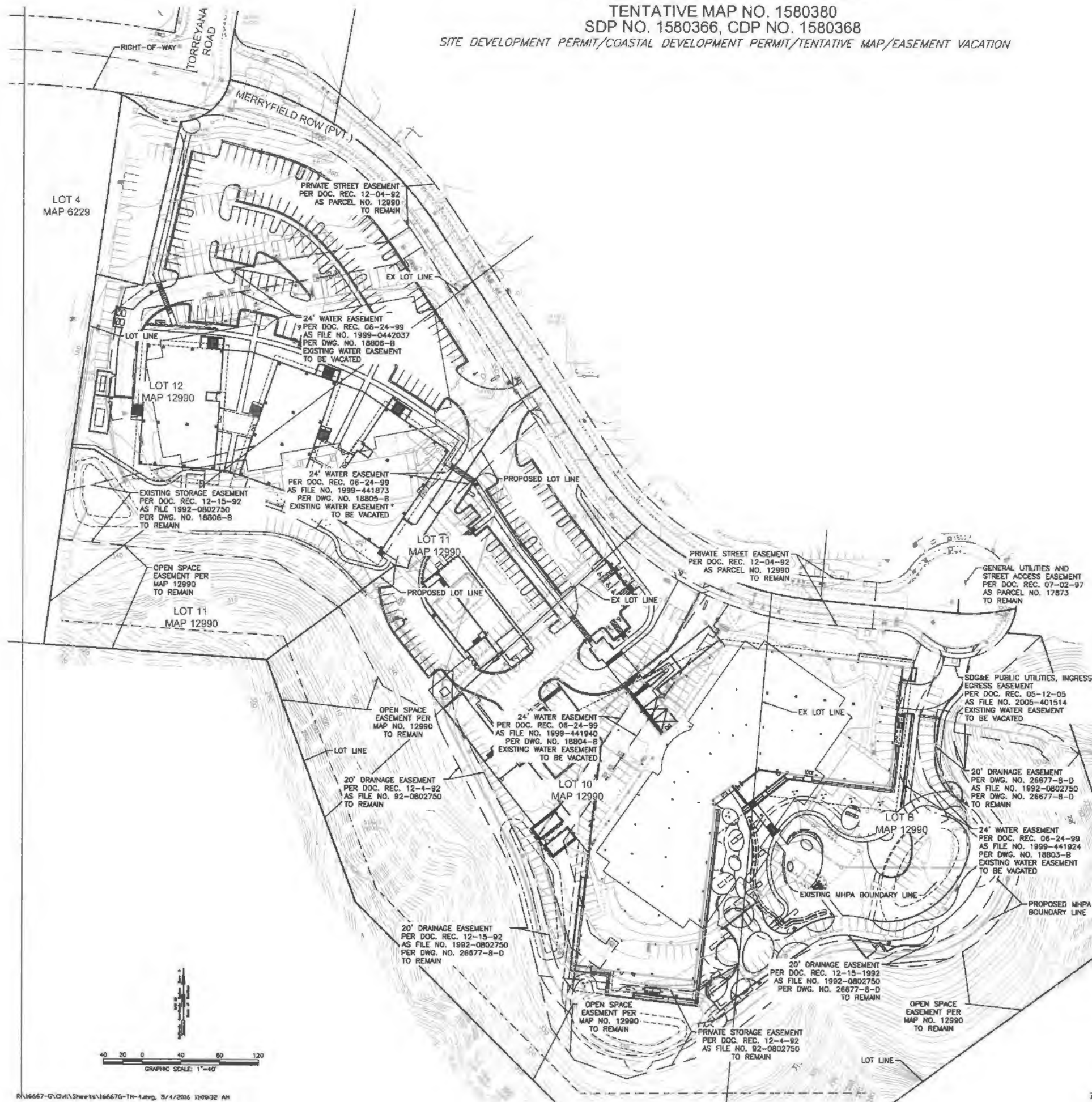
231 14th Street
San Diego, California 92101

ATTACHMENT 19

SPECTRUM PROJECT

TENTATIVE MAP NO. 1580380
SDP NO. 1580366, CDP NO. 1580368

SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/TENTATIVE MAP/EASEMENT VACATION



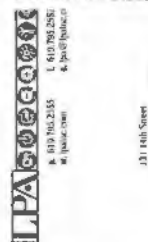
LEGEND

RIGHT OF WAY
EASEMENT
LOT LINE
EXIST. PVC WATER MAIN
EXIST. WATER SERVICE
EXIST. PVC SEWER MAIN
EXIST. SEWER LATERAL
EX. STORM DRAIN
EX. STORM DRAIN CLEANOUT
EX. CATCH BASIN

OVERALL SITE LEGEND

SHEET MATCHLINE
LOT LINE
PROPERTY LINE/TM BOUNDARY

ATTACHMENT 19



SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
Developed for
ALEXANDRIA REAL ESTATE EQUITIES, INC.

This map is a preliminary map and is not intended to be used for any purpose other than to show the general location of the property and the easements. It is not a legal document and should not be relied upon for any legal purpose. The map is subject to change without notice and is not a guarantee of accuracy. The map is prepared by the engineer and is not a representation of the actual conditions on the ground. The map is prepared for the use of the engineer and is not a representation of the actual conditions on the ground.

Sheet	Date
1	03/27/2016
2	03/27/2016
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Sheet	Date
1	03/27/2016
2	03/27/2016
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Checked by
Scale

EASEMENT
VACATION

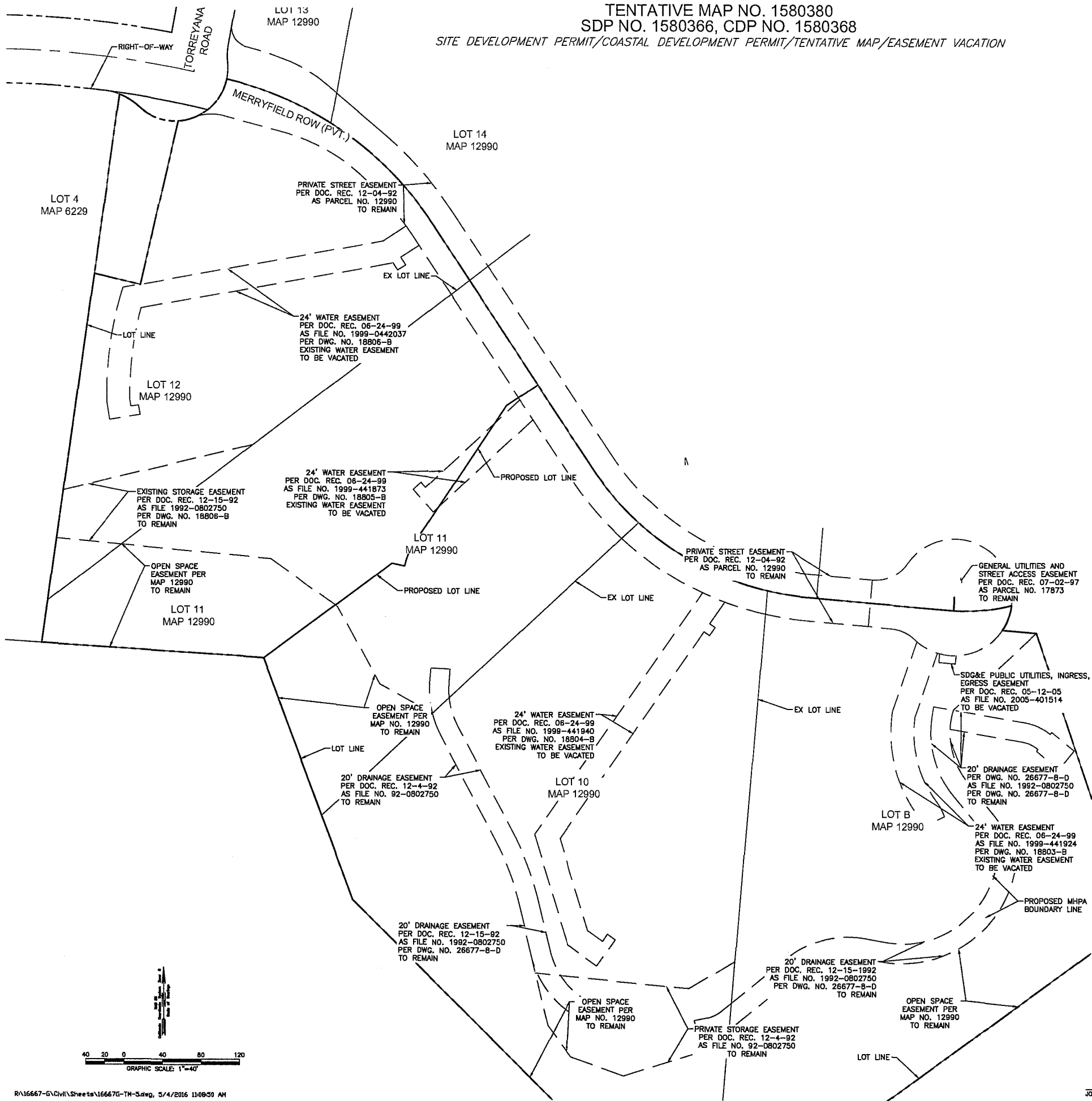
TM-4
SHEET 4 OF 10



SPECTRUM PROJECT

TENTATIVE MAP NO. 1580380
SDP NO. 1580366, CDP NO. 1580368

SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/TENTATIVE MAP/EASEMENT VACATION



LEGEND

- RIGHT OF WAY
- EASEMENT
- LOT LINE
- EXIST. PVC WATER MAIN
- EXIST. WATER SERVICE
- EXIST. PVC SEWER MAIN
- EXIST. SEWER LATERAL
- EX. STORM DRAIN
- EX. STORM DRAIN CLEANOUT
- EX. CATCH BASIN

OVERALL SITE LEGEND

- SHEET MATCHLINE.....
- LOT LINE.....
- PROPERTY LINE/TM BOUNDARY.....

ATTACHMENT 19



SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

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9	10/20/16
10	10/20/16

Job No. 15028.10
Date 03.17.2016
Checked by EJ
Scale

EASEMENT
VACATION

TM-5
SHEET 6 OF 41



JOHN D. GOODARD JR. R.C.E. NO. 33037

DATE



SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
Developed for
ALEXANDRIA REAL ESTATE EQUITIES, INC.

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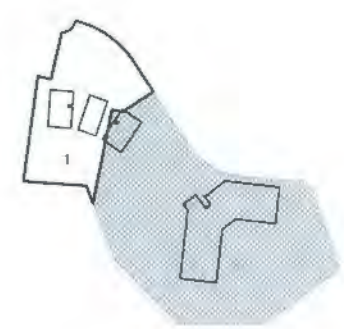
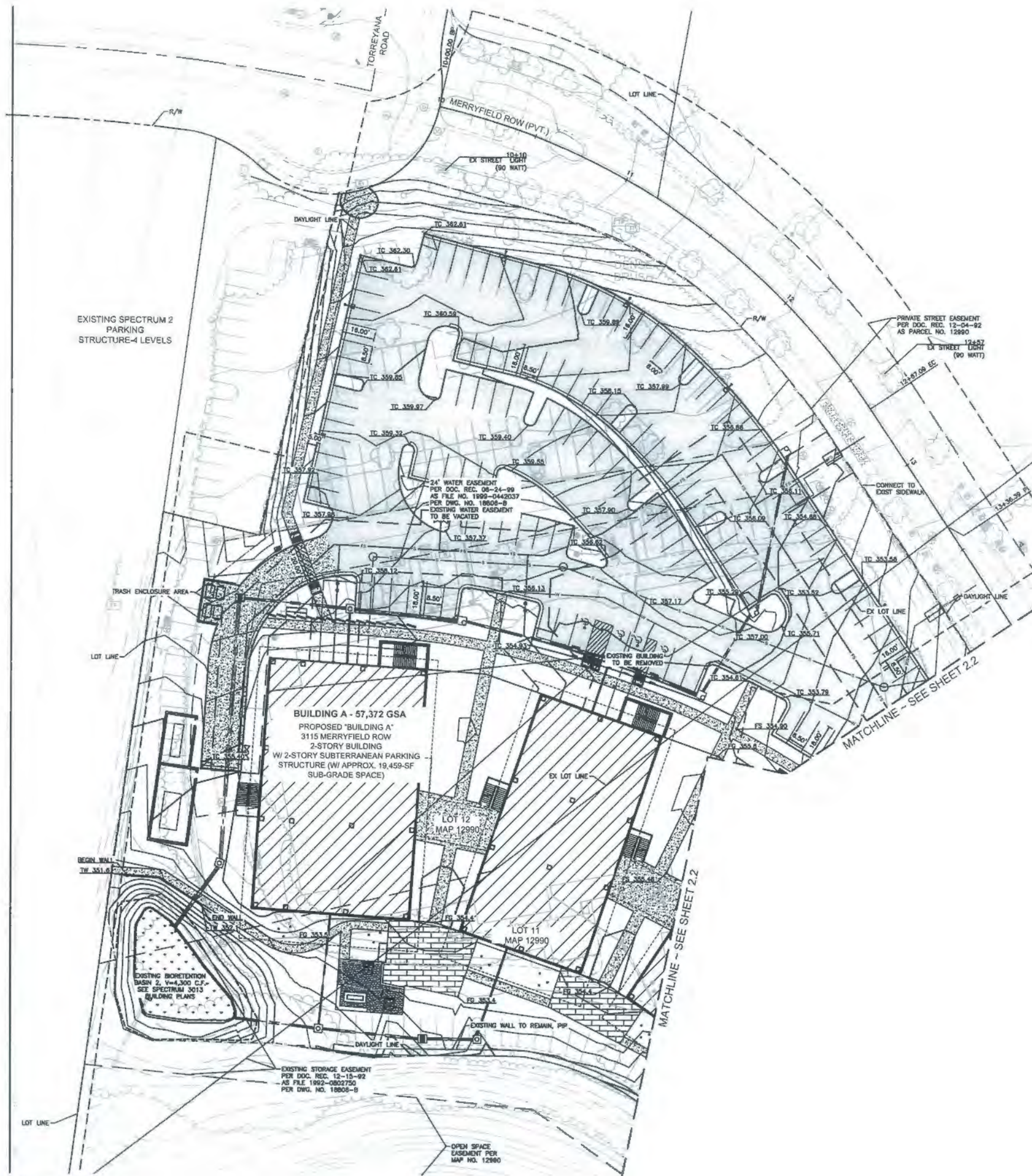
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10	ISSUED FOR PERMIT	03/17/2014

GRADING PLAN

C2.1



KEY MAP - AREA 1

FOR UTILITY INFORMATION SEE SHEET C3.1

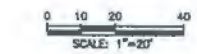
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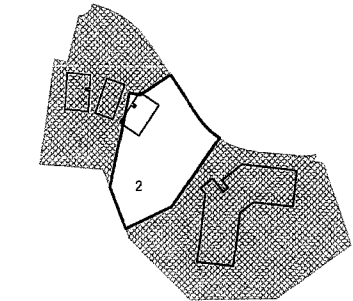
- RIGHT OF WAY
- CURB & GUTTER
- EASEMENT
- LOT LINE
- EXIST. PVC WATER MAIN
- EXIST. WATER SERVICE
- EXIST. PVC SEWER MAIN
- EXIST. SEWER LATERAL
- EX. STORM DRAIN
- EX. STORM DRAIN CLEANOUT
- EX. CATCH BASIN
- DAYLIGHT LINE/LIMITS OF GRADING
- RETAINING WALL (PVT.)
- STORM DRAIN (PVT.)
- ROUND AREA DRAIN (PVT.)
- TYPE 1 CATCH BASIN
- TYPE A-C C.O. (PVT.)
- TYPE B CURB INLET (PVT.)
- CHILLED WATER (PVT.)
- SEWER LATERAL (PVT.)
- CONCRETE PAVING
- DECOMPOSED GRANITE PAVING
- OG PATH
- BIOTRETION AREA (PVT.)
- PROPOSED BUILDING FOOTPRINT
- ASPHALT CONCRETE PAVING SECTION
- TRUNCATED DOWNSLOPED G-30
- TURF BLOCK
- WOOD DECKING PER ARCHITECTURAL PLANS

GRADING QUANTITIES:

TOTAL AMOUNT OF SITE TO BE GRADED:	8.97 A.C.
PERCENT OF TOTAL SITE TO BE GRADED:	67.4%
AMOUNT OF TOTAL CUT:	5,023 *CUBIC YARDS
AMOUNT OF TOTAL FILL:	19,109 *CUBIC YARDS
AMOUNT OF IMPORT OR EXPORT:	14,086 *CUBIC YARDS (EXPORT)
MAX. VERTICAL DEPTH OF CUT:	7.19 FEET
MAX. OVERALL HEIGHT OF CUT SLOPE:	8 FEET, 2:1 MAX. SLOPE RATIO
MAX. VERTICAL DEPTH OF FILL:	11.75 FEET
MAX. OVERALL HEIGHT OF FILL SLOPE:	8 FEET, 2:1 MAX. SLOPE RATIO
* QUANTITIES ARE FOR THE SITE ONLY, SEE BUILDING EXCAVATION NUMBERS BELOW	

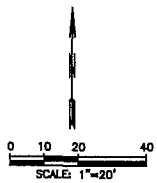
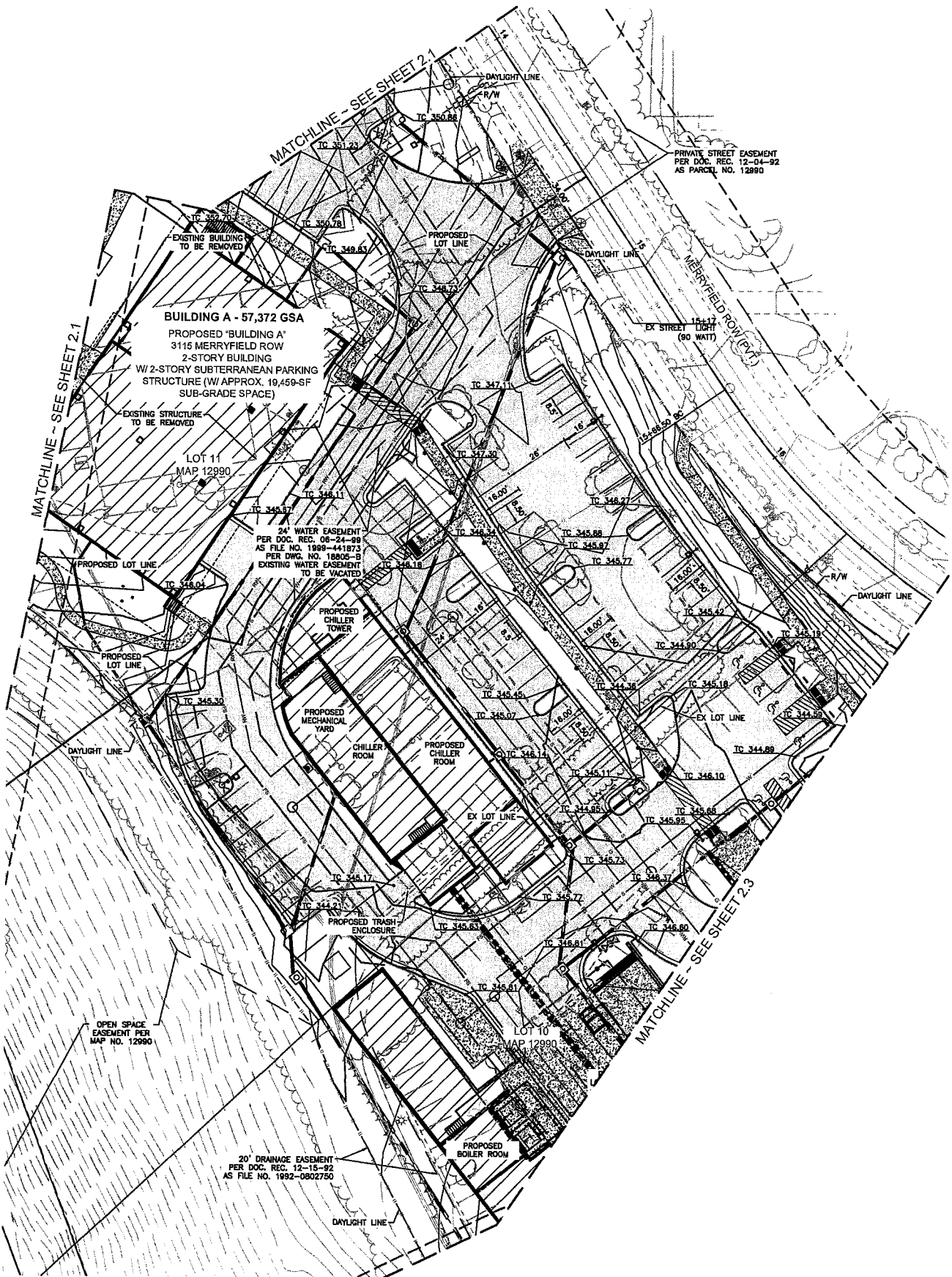
BUILDING A AND B EARTHWORK	50,974 CY
AMOUNT OF CUT:	0.00 CY
MAX DEPTH OF VERTICAL CUT:	37.88'
MAX DEPTH OF VERTICAL FILL:	0.00'





KEY MAP - AREA 2

FOR UTILITY INFORMATION SEE SHEET C3.2



LPA
LANDSCAPE ARCHITECTS
P. 619.795.2655
F. 619.7
W. lpa.com
131 14th Street
San Diego, California 92101

RICK
ENGINEERING COMPANY
2405 PHASE ROAD
SAN DIEGO, CA 92110
P. 619.591.4165
F. 619.591.4165
W. rickeng.com
San Luis Obispo
California



SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
Developed for
ALEXANDRIA REAL ESTATE EQUITIES, INC.

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Revision	Date

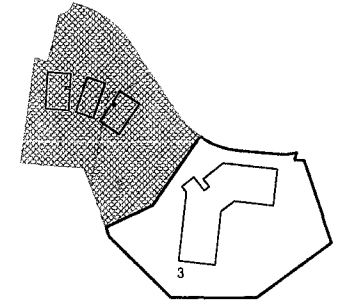
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REB/AMTTAL	12/09/2015
SUB/LOP AMENDMENT PACKAGE	02/24/2016
REB/AMTTAL	03/17/2016
SUB/LOP AMENDMENT PACKAGE	04/09/2016
REB/AMTTAL	

Job No. 150509.10
Date 03.17.2016
Checked by R
Scale

GRADING PLAN

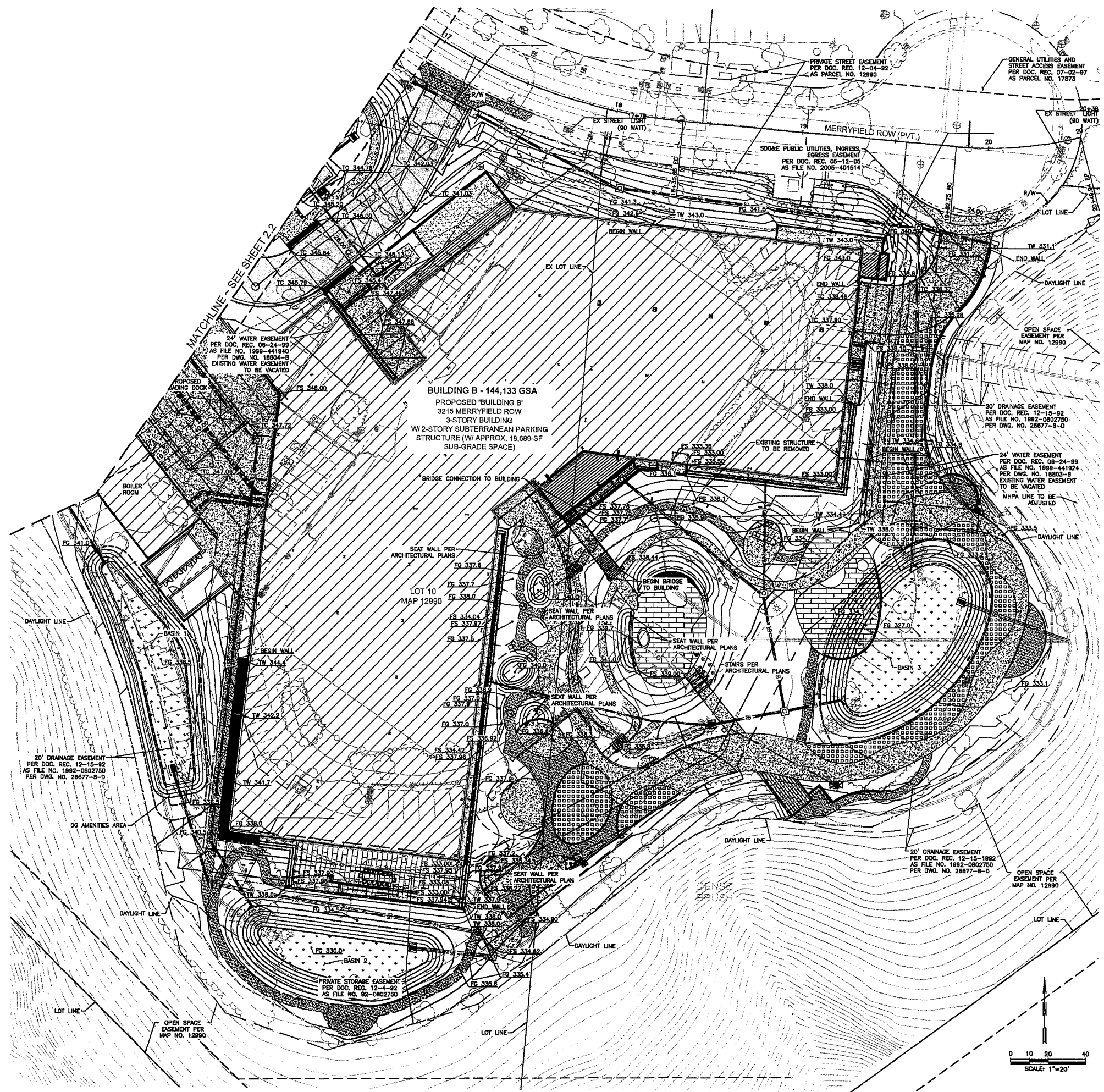
C2.2

SHEET 8 OF 41



KEY MAP - AREA 3

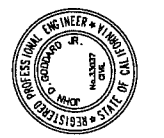
FOR UTILITY INFORMATION SEE SHEET C3.3



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LPA
Landscape Planning Associates
P. 619.295.5255
F. 619.295.5255
W. lpa.com
E. lpa@lpa.com

RICK
ENGINEERING COMPANY
3400 MARIN ROAD
SAN MARINO, CA 91766
P. 909.391.1100
F. 909.391.1101
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E. rickeng@rickeng.com



SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
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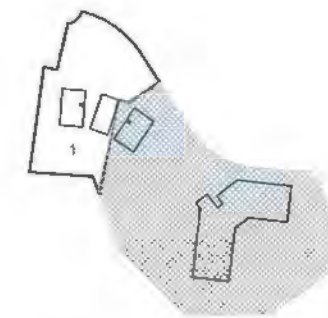
Revision	Date	Description
1	04/18/2016	Initial Issue

Submitted	Date
S&P LOP AMENDMENT PACKAGE	03/20/15
S&P LOP AMENDMENT PACKAGE	03/20/15
RESUBMITTAL	03/20/15
S&P LOP AMENDMENT PACKAGE	03/20/15
RESUBMITTAL	03/20/15
S&P LOP AMENDMENT PACKAGE	03/20/15
RESUBMITTAL	03/20/15
Job No.	15028.10
Date	03.17.2016
Checked by	EJ
Scale	

GRADING PLAN

C2.3

SHEET 2 OF 11



KEY MAP - AREA 1

CPA  **L. GIBBY**
019.795.2555
www.gibby.com

RICK
ENGINEERING COMPANY

5620 PRINCE ROAD
SAN DIEGO, CA 92110
619.291.8707
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San Diego, California 92101

SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

ALEXANDRIA REAL ESTATE EQUITIES, INC.

concerns. The following are the most important factors to consider when evaluating a company's financial health:

- 1. **Revenue Growth:** A company with strong revenue growth is likely to be profitable in the long run.
- 2. **Profitability:** A company with high profitability is likely to be able to pay dividends and reinvest in the business.
- 3. **Debt Levels:** A company with high debt levels is likely to be more vulnerable to economic downturns.
- 4. **Market Position:** A company with a strong market position is likely to be able to maintain its competitive advantage.
- 5. **Management:** A company with strong management is likely to be able to execute its strategy effectively.

By considering these factors, investors can make more informed decisions about which companies to invest in.

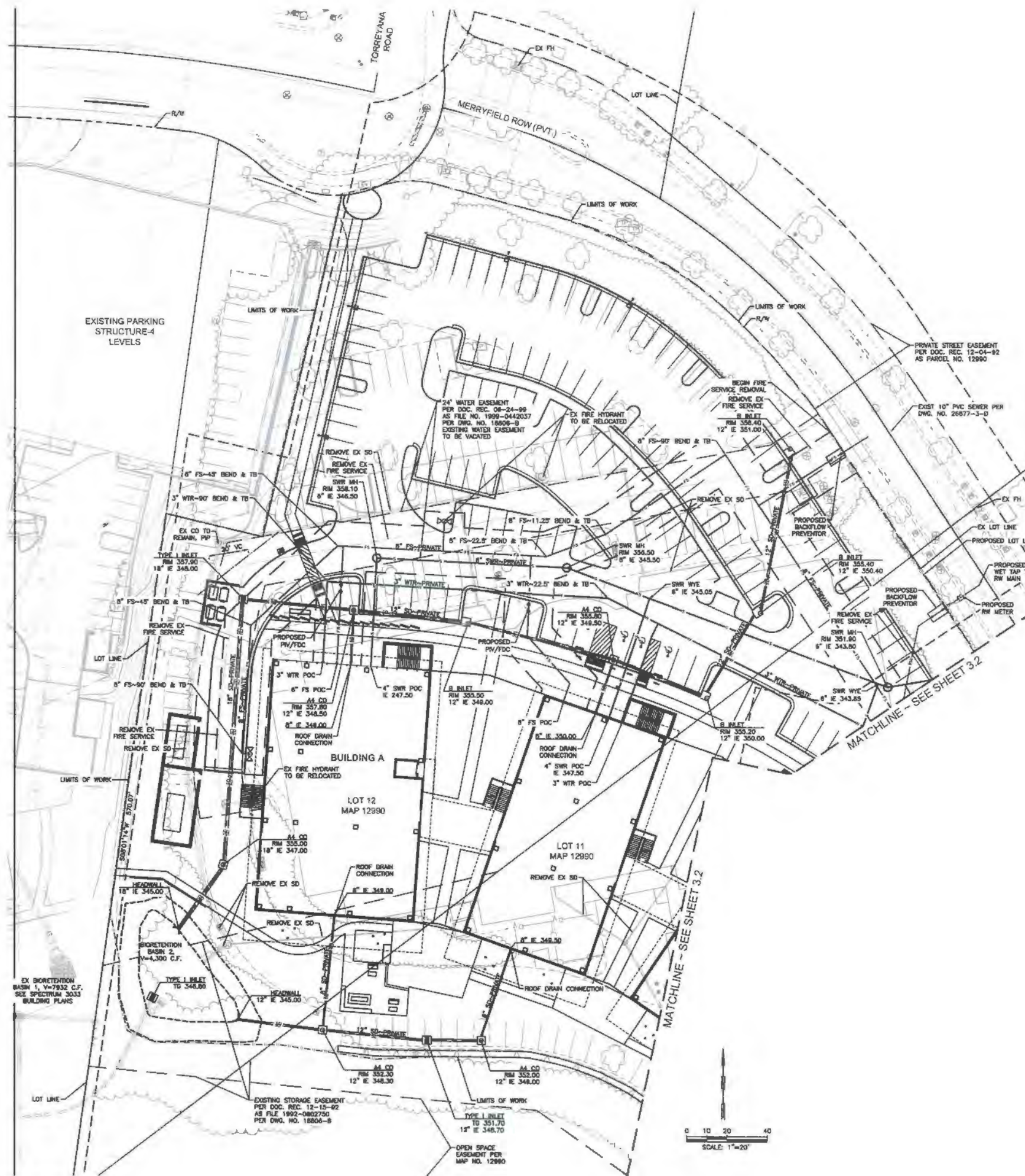
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Submittal	Date
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SOP/CDP AMENDMENT PACKAGE	12/03/2015
PER SUBMITTAL	
SOP/CDP AMENDMENT PACKAGE	02/24/2016
RESUBMITTAL	
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PER SUBMITTAL	
SOP/CDP AMENDMENT PACKAGE	04/19/2016
RESUBMITTAL	

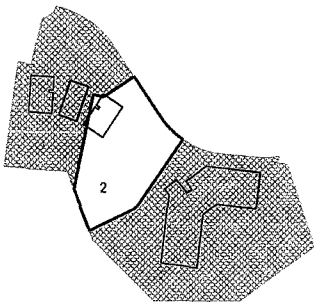
UTILITY PLAN

C3.1

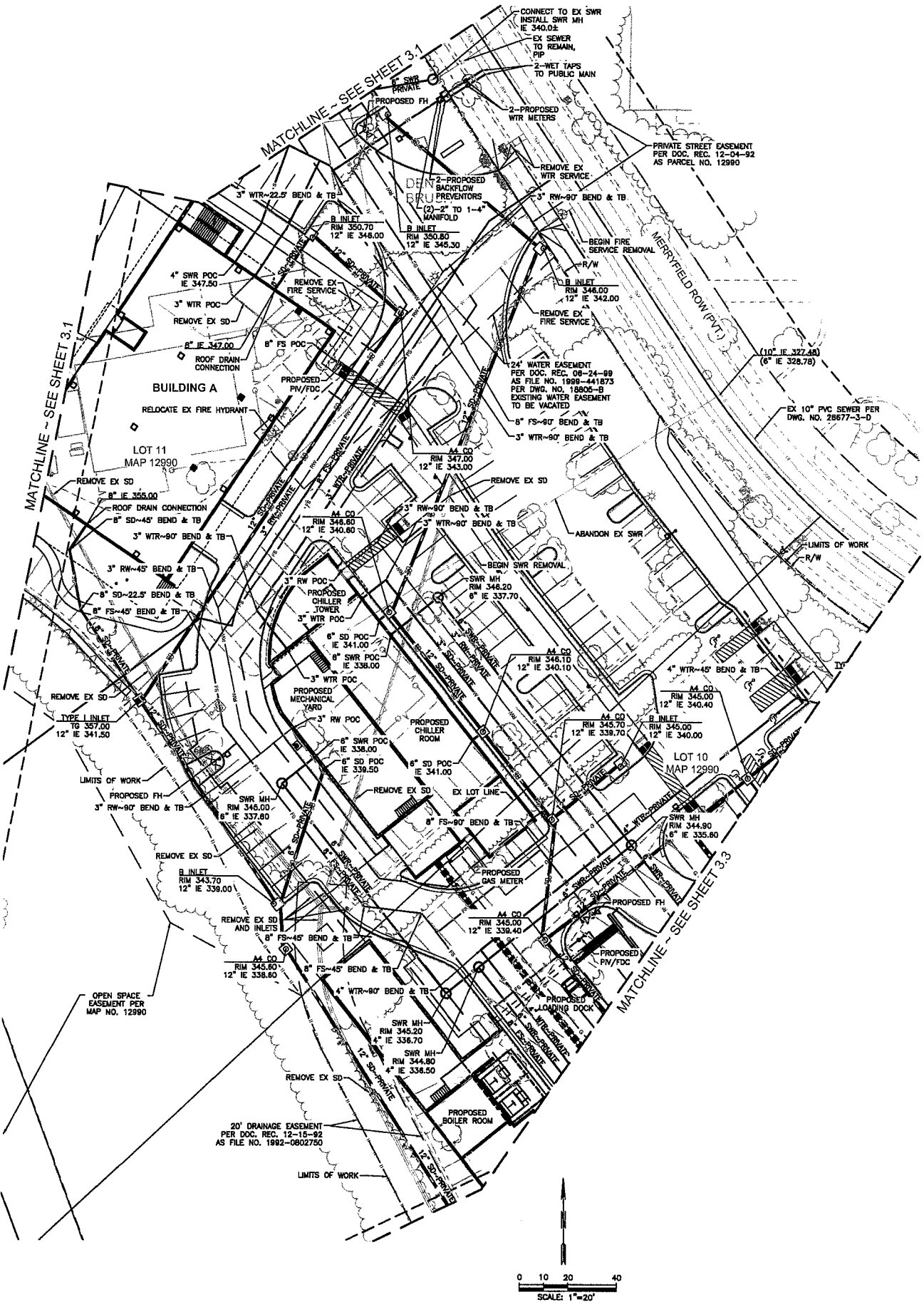
ATTACHMENT 19



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KEY MAP - AREA 2



LEGEND

- RIGHT OF WAY
- EASEMENT
- LOT LINE
- EXIST. PVC WATER MAIN
- EXIST. WATER SERVICE
- EXIST. PVC SEWER MAIN
- EXIST. SEWER LATERAL
- EX. STORM DRAIN
- EX. STORM DRAIN CLEANOUT
- EX. CATCH BASIN
- STORM DRAIN (PVT.)
- TYPE I CATCH BASIN
- TYPE A-4 C.O. (PVT.)
- TYPE B CURB INLET (PVT.)
- CHILLED WATER (PVT.)
- SEWER LATERAL (PVT.)
- EXIST. FIRE HYDRANT TO BE RELOCATED

NOTE: ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE. PRIVATE WATER AND SEWER FACILITIES SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

SPECTRUM 3 & 4

3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for
ALEXANDRIA REAL ESTATE EQUITIES, INC.

This set of plans was prepared by the undersigned, a duly licensed Professional Engineer in the State of California, and is submitted for the record. It is hereby certified that the plans were prepared by the undersigned or under the direct supervision and to the best of the undersigned's knowledge and belief, they conform to the requirements of the California Uniform Plumbing Code and the California Building Code, and that the undersigned is not aware of any facts or circumstances which would render the plans misleading or deceptive.

Revision	Date

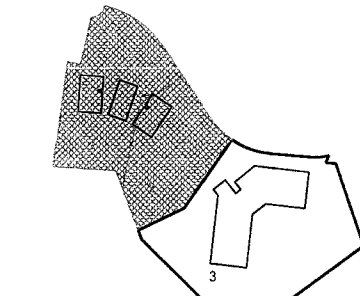
Submitted	Date
SUP/LOP AMENDMENT PACKAGE	08/26/2015
SUP/LOP AMENDMENT PACKAGE	08/26/2015
RESUBMITTAL	08/26/2015
SUP/LOP AMENDMENT PACKAGE	02/24/2016
RESUBMITTAL	08/17/2016
SUP/LOP AMENDMENT PACKAGE	08/17/2016
RESUBMITTAL	08/17/2016
SUP/LOP AMENDMENT PACKAGE	08/17/2016
RESUBMITTAL	08/17/2016

Job No. 15028.10
Date 05.17.2016
Checked by EJ
Scale

UTILITY PLAN

C3.2

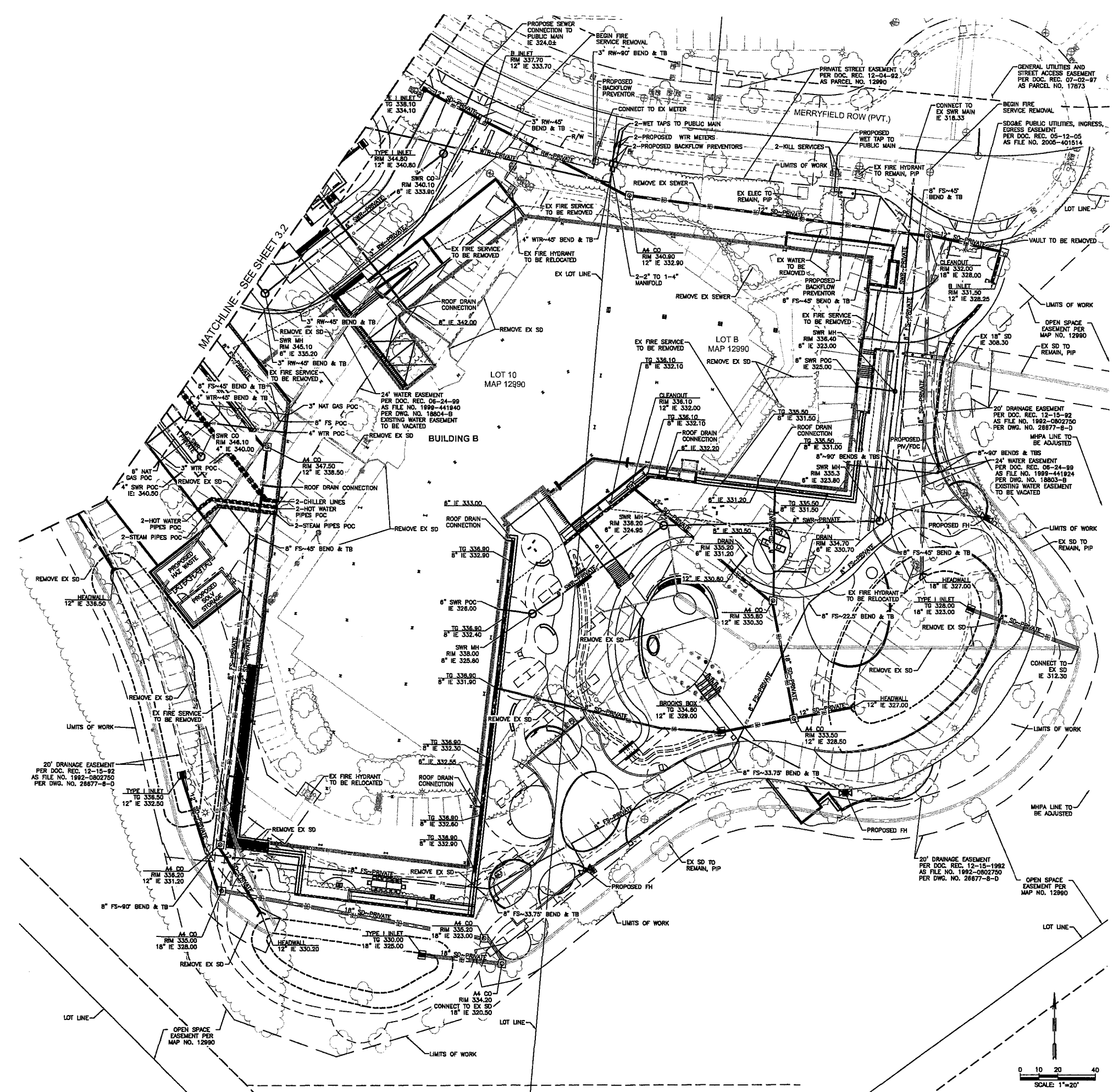
SHEET 11 OF 41



KEY MAP - AREA 3

- LEGEND**
- RIGHT OF WAY
 - EASEMENT
 - LOT LINE
 - EXIST. PVC WATER MAIN
 - EXIST. WATER SERVICE
 - EXIST. PVC SEWER MAIN
 - EXIST. SEWER LATERAL
 - EX. STORM DRAIN
 - EX. STORM DRAIN CLEANOUT
 - EX. CATCH BASIN
 - STORM DRAIN (PVT.)
 - TYPE I CATCH BASIN
 - TYPE A-4 C.O. (PVT.)
 - TYPE B CURB INLET (PVT.)
 - CHILLED WATER (PVT.)
 - SEWER LATERAL (PVT.)
 - EXIST. FIRE HYDRANT TO BE RELOCATED

NOTE: ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE. PRIVATE WATER AND SEWER FACILITIES SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.



SCALE: 1"=20'

LP

RICK

ENGINEERING COMPANY

3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

PH: 619.593.4465
FAX: 619.593.4465
WWW.RICKENGINEERING.COM

PROFESSIONAL ENGINEER - CIVIL

NO. 10000

EXPIRATION DATE: 12/31/2018

SPECTRUM 3 & 4

3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for: ALEXANDRIA REAL ESTATE EQUITIES, INC.

Drawn	Check	Date
SDP/LOCP AMENDMENT PACKAGE	10/09/2015	
SDP/LOCP AMENDMENT PACKAGE	12/09/2015	
RESUBMITTAL		
SDP/LOCP AMENDMENT PACKAGE	02/26/2016	
RESUBMITTAL		
SDP/LOCP AMENDMENT PACKAGE	09/17/2016	
RESUBMITTAL		
SDP/LOCP AMENDMENT PACKAGE	04/12/2017	
RESUBMITTAL		

Job No. 150208.10

Date 03.17.2016

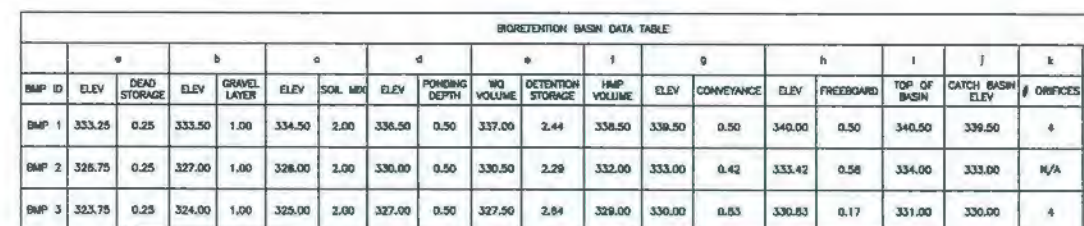
Checked by EJ

Scale

UTILITY PLAN

C3.3

SHEET 12 OF 41





SPECTRUM 3 & 4
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
Developed for
ALEXANDRIA REAL ESTATE EQUITIES, INC.

This sheet is part of a project prepared by LPA and RICK for the project described above. It is to be used in conjunction with the other sheets in the project. The user of this sheet is responsible for verifying the accuracy of the information contained herein and for obtaining all necessary permits and approvals. The user of this sheet is also responsible for obtaining all necessary insurance and bonding. The user of this sheet is not to be held responsible for any errors or omissions in this sheet or for any consequences arising from the use of this sheet.

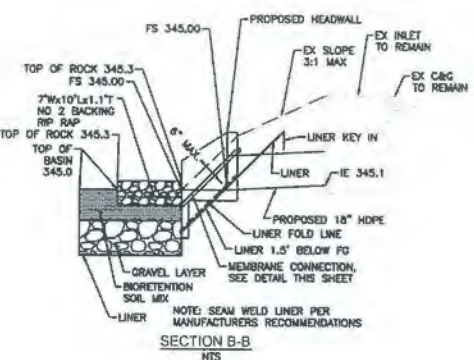
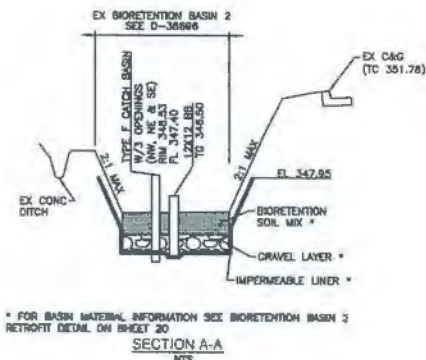
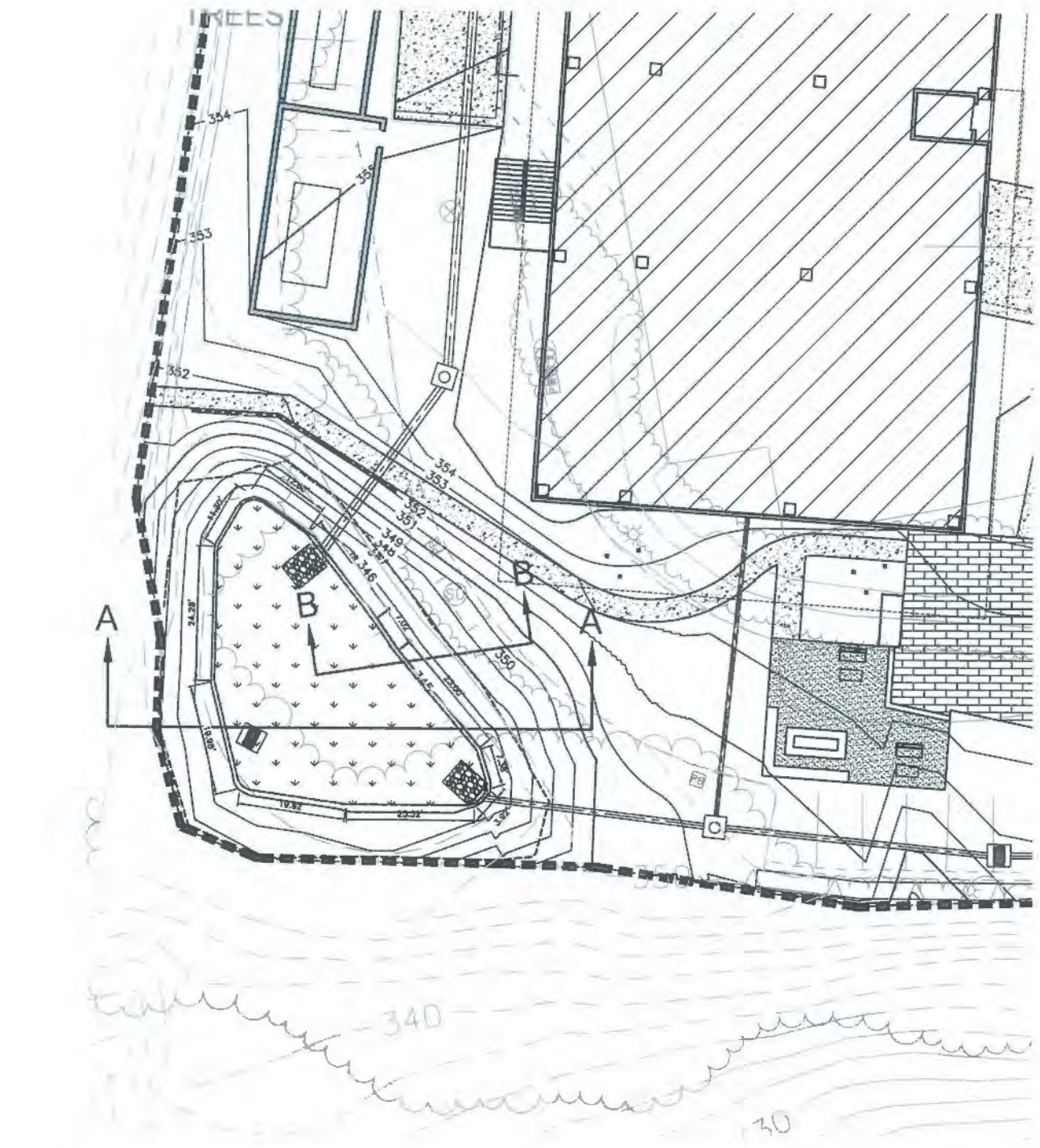
Revision	Date	Description
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2	02/22/2015	REVISED FOR PERMIT
3	02/22/2015	REVISED FOR PERMIT
4	02/22/2015	REVISED FOR PERMIT
5	02/22/2015	REVISED FOR PERMIT
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10	02/22/2015	REVISED FOR PERMIT

Revision	Date	Description
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2	02/22/2015	REVISED FOR PERMIT
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7	02/22/2015	REVISED FOR PERMIT
8	02/22/2015	REVISED FOR PERMIT
9	02/22/2015	REVISED FOR PERMIT
10	02/22/2015	REVISED FOR PERMIT

BMP SHEET

C4.3

SHEET 18 OF 21



[illegible]

EXISTING TREES WITH THIS SYMBOL TO BE PROTECTED IN PLACE

EXISTING STREET TREES WITH THIS SYMBOL TO BE PROTECTED IN PLACE

NOTE: REFER TO CONCEPTUAL LANDSCAPE PLANS FOR TREE AND PLANTING LEGEND.

DESIGN STATEMENT

THE DESIGN INTENT OF THE PROJECT IS TO RE-WAIVE AND MODERNIZE THE CURRENT SPECTRUM 3 & 4 SITE FOR FUTURE TENANTS. THE PLANNING DESIGN IS INTENDED TO BE DROUGHT TOLERANT AND TIE IN WITH THE EXISTING SURROUNDINGS AS WELL AS THE PLANNED ADJACENT DEVELOPMENT. THE DESIGN WILL BE A MIX OF OPEN SPACE, DROUGHT TOLERANT PLANTING AND DROUGHT TOLERANT ANNUAL PLANTING THAT WILL HIGHLIGHT DIFFERENT PEDESTRIAN AREAS AND PEDESTRIAN CIRCULATION THROUGH THE SITE. SINCE THIS PROJECT LIES WITHIN A BUSINESS MANAGEMENT ZONE, THESE PARTICULAR DESIGN PARAMETERS WILL BE REQUIRED TO ENSURE THE PROJECT SITE IS PROTECTED FROM POTENTIAL BURN RISKS. THEREFORE, THE DESIGN NEAR THE BUILDINGS TO ALLOW FOR GROUP OUTDOOR MEETINGS AND ADDITIONAL OUTDOOR WORK SPACE. ALL PATHWAYS WILL BE ADA COMPLIANT PROVIDING EQUAL ACCESS TO ALL AMENITIES AND SITE ELEMENTS. BOUQUET-BETENTION BASINS ARE PROPOSED AROUND THE SITE THAT WILL AID IN TREATING STORMWATER RUNOFF. LOW WATER PLANTING AND PLANTING WILL HELP MINIMIZE THE AMOUNT OF WATER USED ON THE SITE AS WELL AS MINIMIZE OVERSPRAY AND ADDED WATER THAT WOULD NEED TO BE TREATED IN THE PROPOSED BOUQUET-BETENTION BASINS.

NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATION AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. MINIMUM TREE SEPARATION DISTANCE
 - a. TRAFFIC SIGNALS / STOP SIGN - 30'
 - b. UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 - c. ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - d. DRIVEWAY (ENTRIES) - 10 FEET
3. INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 - a. MINIMUM ROOT ZONE OF 4052' IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR A TREE SHALL BE 5 FEET, PER SDMC 12.04.04(C)(5)
4. IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 12.04.04(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT MANNER. THE DESIGN OF THE SYSTEM SHALL PROVIDE SUFFICIENT SUPPORT FOR VEGETATION SELECTION.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER, LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. ALL PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTED MEASURES WILL BE PROVIDED:
 1. A BRIGHT YELLOW ORANGE DANGER WARNING FENCE WILL BE PLACED ALONG EXISTING TREES AT THE Drip Line.
 2. STOCKPILING, TOPSOIL, DISBURSANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE Drip Line.
 3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.





SPECTRUM III & IV
3115 AND 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
Developed for

NOTE: ALL LANDSCAPE VIGNETTES ARE INTENDED TO UNDERSTAND DESIGN INTENT, SEE SHEET L0.1 FOR LANDSCAPE CALCULATIONS WORKSHEET.
NOTE: LANDSCAPE QUANTITIES, POINTS, AND AREA SHOWN ON THIS PLAN REFLECT PLANT MATERIALS PER THIS SHEET ONLY.
NOTE: SEE SHEET L0.1-L0.3 FOR CONCEPTUAL LANDSCAPE PLAN.
NOTE: SEE SHEET L0.3 FOR BRUSH MANAGEMENT PLAN.

DATE	REVISION
10/28/01	1. INITIAL DESIGN
11/15/01	2. REVISED DESIGN
12/15/01	3. REVISED DESIGN
01/15/02	4. REVISED DESIGN
02/15/02	5. REVISED DESIGN
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Job No. 1028 SC
Date 04/18/2010
Checked by AG GP
Scale AS NOTED
LANDSCAPE VIGNETTE

L0.2
SHEET 17 OF 41

LANDSCAPE NOTES

- NOTES:
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY OF SAN DIEGO AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL.
 2. MINIMUM TREE SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET; ABOVE GROUND UTILITY STRUCTURES - 10 FEET; UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER); DRIVEWAY (ENTRANCES) - 10 FEET.
 3. A MINIMUM ROOT ZONE OF 405.7 IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIVISION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(3)(5).
 4. IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY SDMC 142.0403(3) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
 5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 6. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTED MEASURES WILL BE PROVIDED:
 1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 2. STOCKPILING, TOPSOIL DISBURSANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IRRIGATION MAINTENANCE NOTES

- A. THE SITE WILL BE IRRIGATED OFF OF THE TWO (2) EXISTING 1.5" RECYCLED WATER METERS (#1285139 & #1285139). THE SITE WILL BE MAINTAINED BY THE OWNER.
- B. THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR. AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.
- C. THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE.
2. MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS.
3. PLACE WATER MEASURING RECEPTABLES.
4. TAKE READINGS OF WATER LEVEL IN RECEPTABLES AND RECORD RESULTS.
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY. FREQUENTLY: QUARTERLY.

IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH AS NECESSARY. FREQUENTLY: MONTHLY.

DO - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED. FREQUENTLY: QUARTERLY.

REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES - VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED. FREQUENTLY: QUARTERLY.

MAINLINE & LATERALS - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH. FREQUENTLY: QUARTERLY.

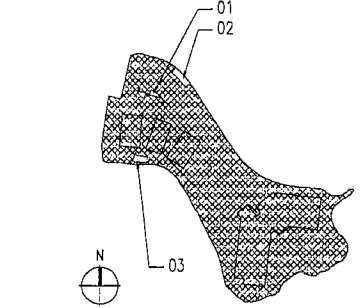
SPRINKLERS - VISUALLY CHECK FOR ANY BROKEN MISALIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED. FREQUENTLY: WEEKLY.

BLINDS AND STRAINERS - VISUALLY CHECK FOR LEAKS, BROKEN FITTING, CLEAN AND FLUSH SCREENS.

AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 26, DIVISION 1 OF THE SAN DIEGO COUNTY CODE.

NOTE:
1. LANDSCAPE VIGNETTES ARE INTENDED TO UNDERSTAND POINTS DERIVED FROM LANDSCAPE PLAN AND TO UNDERSTAND DESIGN INTENT. SEE SHEET L0.1 FOR LANDSCAPE CALCULATIONS WORKSHEET.
2. LANDSCAPE QUANTITIES, POINTS, AND AREA SHOWN ON THIS PLAN REFLECT PLANT MATERIALS PER THIS SHEET ONLY.
3. SEE SHEET L0.1-L0.3 FOR CONCEPTUAL LANDSCAPE PLAN.
4. SEE SHEET L0.3 FOR BRUSH MANAGEMENT PLAN.

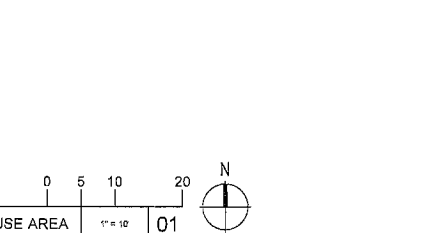
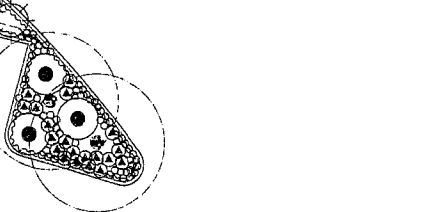
NOTE:
THE ILLUSTRATIONS, GRAPHICS AND NOTES DEPICTED IN THIS DOCUMENT ARE CONCEPTUAL. THE INTENT OF THIS DOCUMENT IS TO PROVIDE THE GUIDELINES FOR DEVELOPMENT AND CONSTRUCTION OF FUTURE BUILDING(S), SITE WORK, AND PARKING ON THIS SITE IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF SAN DIEGO MUNICIPAL CODE, COMMUNITY PLAN AND COASTAL DEVELOPMENT REGULATIONS, WHILE MAINTAINING THE FLEXIBILITY TO ADJUST WITHIN THE GUIDELINES ESTABLISHED, BASED ON THE PROGRAM NEEDS OF THE POTENTIAL TENANT.



KEY MAP - AREA 2

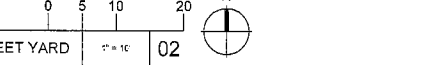
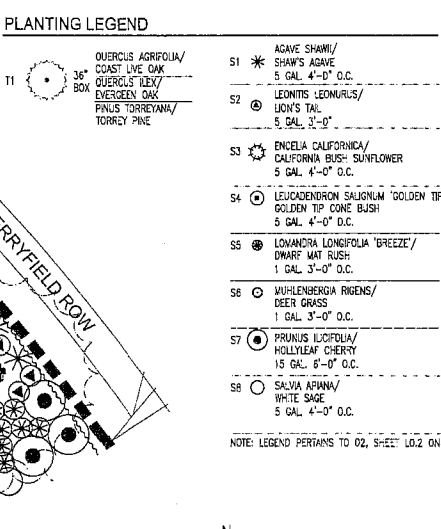
PLANTING LEGEND

- T1 36" BOX
- CHLOPSIS LINEARIS/ DESERT WILLOW
 - ARJIS LANCEA/ AFRICAN SUMAC
 - PLATANUS RACEMOSA/ CALIFORNIA SYCAMORE
- S1 40' ARISTOTAPHYLOS 'CARNE. SUR/' CARMEL S.R. MANZANITA 1 GAL. 2'-0" O.C.
- S2 40' BACCHARIS PILULARIS 'PIGEON POINT/' COYOTE BRUSH 1 GAL. 6'-0"
- S3 40' CEANOTHUS GRISOLIS HORIZONTALIS 'YANKEE POINT/' CARMEL MOUNTAIN LIAC 1 GAL. 5'-0" O.C.
- S4 40' FESTUCA GAUCHA 'ELIJAH BLUE/' BLUE FESCUE 1 GAL. 1'-0" O.C.
- NOTE: LEGEND PERTAINS TO 01, SHEET L0.2 ONLY



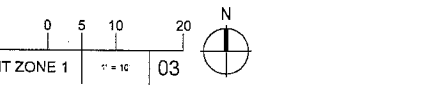
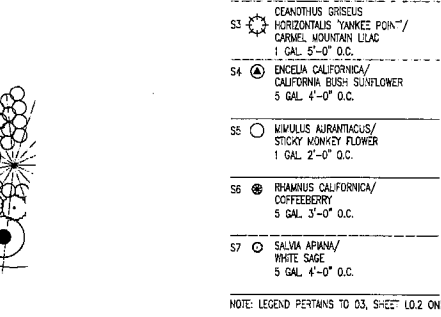
PLANTING LEGEND

- T1 36" BOX
- QUERCUS AGROFOLIA/ COAST LIVE OAK
 - QUERCUS LEX/ EVERGREEN OAK
 - PINUS TORREYANA/ TORREY PINE
- S1 40' AGAVE SHAWII/ SHAW'S AGAVE 5 GAL. 4'-0" O.C.
- S2 40' LEONITIS LEONURUS/ LYONS' TAIL 5 GAL. 3'-0"
- S3 40' ENCELA CALIFORNICA/ CALIFORNIA BUSH SUNFLOWER 5 GAL. 4'-0" O.C.
- S4 40' LEUCODENDRON SAUCUM 'GOLDEN TIP/' GOLDEN TIP CONE BUSH 5 GAL. 4'-0" O.C.
- S5 40' LEONANDRA LONGIFOLIA 'BREEZE/' DWARF WAT RUSH 1 GAL. 3'-0" O.C.
- S6 40' MUEHLENBERGIA RIGENS/ DEER GRASS 1 GAL. 3'-0" O.C.
- S7 40' PRUNUS LUCIDOLIA/ HOLLYLEAF CHERRY 15 GAL. 6'-0" O.C.
- S8 40' SALVIA APARNA/ WHITE SAGE 5 GAL. 4'-0" O.C.
- NOTE: LEGEND PERTAINS TO 02, SHEET L0.2 ONLY



PLANTING LEGEND

- T1 36" BOX
- ACACIA BAILEYANA/ COOTAMUNDRA WATTLE
 - PINUS TORREYANA/ TORREY PINE
 - QUERCUS AGROFOLIA/ COAST LIVE OAK
- S1 40' AGAVE SHAWII/ SHAW'S AGAVE 5 GAL. 4'-0" O.C.
- S2 40' BACCHARIS PILULARIS 'PIGEON POINT/' COYOTE BRUSH 1 GAL. 6'-0"
- S3 40' CEANOTHUS GRISOLIS HORIZONTALIS 'YANKEE POINT/' CARMEL MOUNTAIN LIAC 1 GAL. 5'-0" O.C.
- S4 40' ENCELA CALIFORNICA/ CALIFORNIA BUSH SUNFLOWER 5 GAL. 4'-0" O.C.
- S5 40' MIMULUS AURANTIACUS/ STICKY MONKEY FLOWER 1 GAL. 2'-0" O.C.
- S6 40' RHAPHANUS CALIFORNICA/ COFFEEBERRY 5 GAL. 3'-0" O.C.
- S7 40' SALVIA APARNA/ WHITE SAGE 5 GAL. 4'-0" O.C.
- NOTE: LEGEND PERTAINS TO 03, SHEET L0.2 ONLY



CALCULATIONS					
TOTAL SHRUB AREA : 1069 S.F.					
SHRUB	RATIO	AREA	QTY.	POINTS	
S1	15%	202.20 S.F.	58	58	
S2	35%	185.20 S.F.	15	15	
S3	35%	185.20 S.F.	22	22	
S4	15%	202.20 S.F.	233	233	
		TOTAL AREA	TOTAL QTY.	TOTAL POINTS	
		1345 S.F.	308	328	
TREE TYPE	BOX SIZE	QTY.	POINTS		
PARKING	36" BOX	7	350		

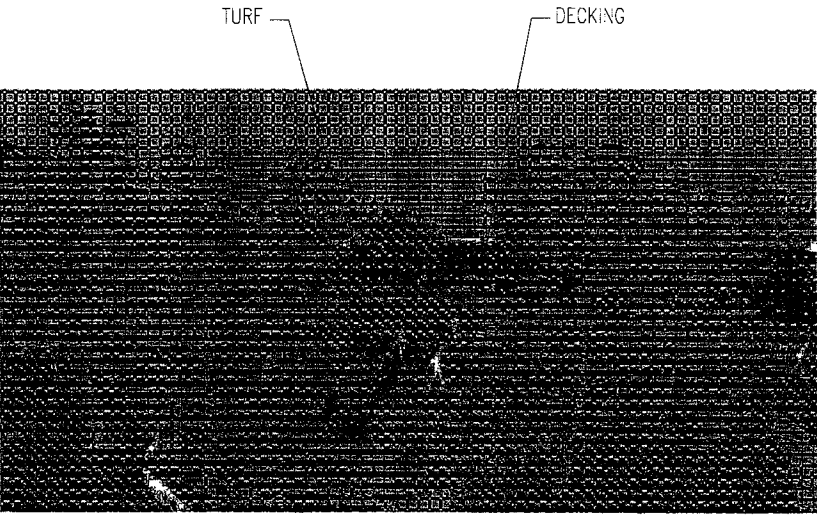
* CALCULATIONS SHOWN PROVIDE ONLY A SAMPLE OF LANDSCAPE CALCULATIONS AS REFERENCE. SEE SHEET L0.1 FOR COMPLETE LANDSCAPE CALCULATIONS WORKSHEET.

CALCULATIONS					
TOTAL SHRUB AREA : 2,004 S.F.					
SHRUB	RATIO	AREA	QTY.	POINTS	
S1	5%	100.2 S.F.	7	14	
S2	10%	200.4 S.F.	23	46	
S3	20%	400.8 S.F.	26	52	
S4	10%	200.4 S.F.	13	26	
S5	15%	300.6 S.F.	33	33	
S6	15%	300.6 S.F.	33	33	
S7	5%	100.2 S.F.	3	30	
S8	20%	400.8 S.F.	26	52	
		TOTAL AREA	TOTAL QTY.	TOTAL POINTS	
		2,004 S.F.	164	286	
TREE TYPE	BOX SIZE	QTY.	POINTS		
STREET	36" BOX	3	150		

* CALCULATIONS SHOWN PROVIDE ONLY A SAMPLE OF LANDSCAPE CALCULATIONS AS REFERENCE. SEE SHEET L0.1 FOR COMPLETE LANDSCAPE CALCULATIONS WORKSHEET.

CALCULATIONS					
TOTAL SHRUB AREA : 1289 S.F.					
SHRUB	RATIO	AREA	QTY.	POINTS	
S1	10%	128.9 S.F.	7	14	
S2	30%	386.7 S.F.	10	10	
S3	10%	128.9 S.F.	5	5	
S4	15%	193.3 S.F.	11	22	
S5	15%	193.3 S.F.	44	44	
S6	10%	128.9 S.F.	13	26	
S7	10%	128.9 S.F.	7	14	
		TOTAL AREA	TOTAL QTY.	TOTAL POINTS	
		1025 S.F.	97	135	
TREE TYPE	BOX SIZE	QTY.	POINTS		
PERIMETER	36" BOX	2	100		

* CALCULATIONS SHOWN PROVIDE ONLY A SAMPLE OF LANDSCAPE CALCULATIONS AS REFERENCE. SEE SHEET L0.1 FOR COMPLETE LANDSCAPE CALCULATIONS WORKSHEET.





SPECTRUM III & IV
3115 AND 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

continued

This study is the first to provide information on the health and safety of people in the transportation sector in the United States. The study included a representative national survey of 100,000 U.S. workers in the transportation sector, including truck drivers, bus drivers, and other transportation workers. The study found that transportation workers are at a higher risk of injury and illness than other workers. The study also found that transportation workers are more likely to be injured or ill if they are not properly trained or if they are not following safety protocols. The study highlights the need for improved safety training and protocols for transportation workers.

Revision	Date
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[illegible]

BRUSH MANAGEMENT PLAN

L0.3

ATTACHMENT 19



IRRIGATION MAINTENANCE NOTES

- A. THE SITE WILL BE IRRIGATED OFF OF THE TWO (2) EXISTING 1.5" RECYCLED WATER METERS (#285139 & #1285139). THE SITE WILL BE MAINTAINED BY THE OWNER.
B. THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR. AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.
C. THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE
2. MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS
3. PLACE WATER MEASURING RECEPTACLES
4. TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT

CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY. FREQUENT: QUARTERLY
IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH. ADJUST AS NECESSARY. FREQUENT: MONTHLY
DOGS - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED. FREQUENT: QUARTERLY
REPAIRS - VISUALLY INSPECT FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED. FREQUENT: QUARTERLY
MAINLINE & LATERALS - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH. FREQUENT: QUARTERLY
SPRINKLERS - VISUALLY CHECK FOR ANY BROKEN MISALIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED. FREQUENT: WEEKLY
FILTERS AND STRAINERS - VISUALLY CHECK FOR LEAKS, BLOCKED FITTING, CLEAN AND FLUSH SCREENS.

AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDIT HANDBOOK. THE LANDSCAPE IRRIGATION AUDIT TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE SAN DIEGO COUNTY CODE.

LANDSCAPE NOTES

- NOTES:
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL. LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. MINIMUM TREE SEPARATION DISTANCE
TRAFFIC SIGNALS / STOP SIGN - 20
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRANCE) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
3. A MINIMUM ROOT ZONE OF 405 SQ. FT. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5).
4. IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTED MEASURES WILL BE PROVIDED:
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISBURSANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

SCIENCE PARK ROAD

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8. THE SITE WILL BE IRRIGATED OFF OF THE TWO (2) EXISTING 1.5" RECYCLED WATER METERS (#1285136 & #1285139). THE SITE WILL BE MAINTAINED BY THE OWNER.

9. THE CONTRACTOR WILL CONDUCT AN IRRIGATION ADJUST USING A CERTIFIED IRRIGATION AUDITOR, AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

C. THE IRRIGATION ADJUST WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE
2. MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS.
3. PLACE WATER MEASURING RECEPTACLES.
4. TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS.
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH. ADJUST AS NECESSARY. FREQUENT: MONTHLY

SDC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED. FREQUENT: QUARTERLY

SEV - CONTROL VALVES, ISOLATION VALVES AND QUICK CLOSURE VALVES - VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WEAR CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED. FREQUENT: QUARTERLY

MAINT & LAB - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH. FREQUENT: QUARTERLY

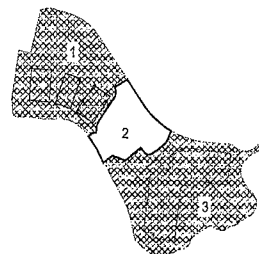
SPRINKLERS - VISUALLY CHECK FOR ANY BROKEN MISALIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, ADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED. FREQUENT: WEEKLY

FILTERS AND STRAINERS - VISUALLY CHECK FOR LEAKS, BROKEN FITTING, CLEAN AND FLUSH SCREENS.

ALDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE SAN DIEGO COUNTY CODE.

NOTES:



1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS / STOP SIGN = 20 FEET
UNDERGROUND UTILITY LINES = 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES = 10 FEET
DRIVEWAY (ENTRIES) = 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) = 25 FEET
3. A MINIMUM OF TWO FEET OF 405'S IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS SHALL BE 5 FEET, PER SOME 405'S.
4. IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER RING DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND JUNK, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTED MEASURES WILL BE PROVIDED:
 - a. A BRIGHT YELLOW OR ORANGE TYPHOGRAPHIC FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - b. STAKING, TOPSOIL, DISHWASHER, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - c. TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - d. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.



TREE LIST		(NOM)	NC COMMON NAME	- UNLESS	NOTED ON PLAN		
REF.	SYM.	DESCRIPTION	SIZE/ SZING	WATER USE	QTY.	MATURE HT./ SPREAD	FORM/ FUNCTION
11		CHLOPSIS - NEARS/ DESERT WILLOW	36" BOX/ PER PLAN	LOW (0.1-0.3)		15-40' HT./ 15-40' WT.	PARKING LOT/ CANOPY TREE
		PLATANUS BACCHOSA/ CALIFORNIA SYCAMORE	36" BOX/ PER PLAN	MOD. (0.4-0.6)	54	40-80' HT./ 30-50' WT.	
		R-US LANCEA/ AFRICAN SUMAC	36" BOX/ PER PLAN	LOW (0.1-0.3)		20-30' HT./ 20-30' WT.	
12		AZIZA JULIBRIS/ SLIKTIZE	48" BOX/ PER PLAN	MOD. (0.4-0.6)		25-40' HT./ 28-40' WT.	SMALL-YELOW/ FLOWERING ACCELY TREE
		CORNUS NUTTALL/ WESTERN DOGWOOD	48" BOX/ PER PLAN	MOD. (0.4-0.6)	17	40-50' HT./ 20-30' WT.	
		PARKMANSIA FLORIDA/ BLUE PALM VERDE	48" BOX/ PER PLAN	LOW (0.1-0.3)		25-30' HT./ 25-30' WT.	
13		QUERCUS AGRIFOLIA/ COAST LIVE OAK	36" BOX/ PER PLAN	LOW (0.1-0.3)		30-60' HT./ 40-70' WT.	STREET AND PERIMETER TREES TO TIE IN WITH SURRO. JOBS LANDSCAPE
		QUERCUS ILEX/ EVERGREEN OAK	36" BOX/ PER PLAN	LOW (0.1-0.3)	41	30-60' HT./ 30-60' WT.	
		PINUS TORREYANA/ TORREY PINE	36" BOX/ PER PLAN	LOW (0.1-0.3)		40-70' HT./ 25-40' WT.	
14		ACACIA BAILEYANA/ COASTALNARURA WATTLE	36" BOX/ PER PLAN	LOW (0.1-0.3)		20-30' HT./ 20-30' WT.	BRUSH MANAGEMENT
		PINUS TORREYANA/ TORREY PINE	36" BOX/ PER PLAN	LOW (0.1-0.3)	19	40-70' HT./ 25-40' WT.	ZONE 1/ SLOPE TRANSITION
		QUERCUS AGRIFOLIA/ COAST LIVE OAK	36" BOX/ PER PLAN	LOW (0.1-0.3)		30-60' HT./ 40-70' WT.	
E11		EXISTING TREE				EXISTING TREES ON PLAN TO REMAIN AND TO BE PROTECTED IN PLACE	

SHRUB LIST	DESCRIPTION	SIZE/ SIZING	WATER USE	Q/ QTY	MATURE SPREAD	HT/ FORM	FUNCTION
S1	AGAVE SHAW'S AGAVE	5 GAL/ 4'-0" - 4'-0"	LOW (0.1-0.3)	58/ 25	12-3' HT/ 3'-4' WD	SUCCESS ACCENT	
	ENCEDIA CALIFORNICA/ CALIFORNIA BUSH SUNFLOWER	4'-0" GAL/ (0.1-0.3)	LOW	108/ 150	3' HT/ 5' WD	EVERGREEN MASS PLANT	
	LEONITIS LEONURUS/ LION'S TAIL	3 GAL/ 3'-0" - 3'-0"	LOW (0.1-0.3)	208/ 1,814	4-6' HT/ 4' WD	COLORFUL ACCENT PLANTING	
	LEUCODENDRON SALICUM/ "GOLDEN TIP" "GOLDEN TIP" CONE BUSH	4'-0" GAL/ (0.1-0.3)	LOW	108/ 150	3'-4' HT/ 3' WD	COLORFUL ACCENT PLANTING	
	LOMANDRA LUCIDULA "BREEZE" DWARF NATI BUSH	1 GAL/ 1'-0" - 1'-0"	LOW (0.1-0.3)	158/ 1,261	2-3' HT/ 2'-3' WD	ORNBAMENTAL GRASS, VASS PLANTING	
	NONIENBERGERA RIGENS/ DEER GRASS	3'-0" GAL/ (0.1-0.3)	LOW	158/ 1,261	4-5' HT/ 4' WD	ORNBAMENTAL GRASS, VASS PLANTING	
	FRUNUS LYCOTIA/ HOLLY-LEAF CHERRY	15 GAL/ 6'-0" - 6'-0"	LOW (0.1-0.3)	58/ 11	12-15' HT/ 6-8' WD	EVERGREEN VERTICAL SCREENING	
	SALVA APRINA/ WHITE SALVA	5 GAL/ 4'-0" - 4'-0"	LOW (0.1-0.3)	208/ 1,020	3'-4' HT/ 3'-4' WD	EVERGREEN SHRUB	

GROUNDCOVER LIST	DESCRIPTION	SIZE/ SIZING	WATER USE	% QTY	MATURE HT./ SPREAD	FORM/ FUNCTION
G1	ARISTIDA	1' GA	LOW	132%	4'-2" HT.	SPECIFIC GROUNDCOVER
	"CARVEL SUR" CARVEL SUR MANTANA	2'-0" O.C.	(0-1)	127%	4'-4" HT.	"
	BACOPHAS PULILLAS	1' GA	LOW	358%	1'-2" HT.	SPECIFIC GROUNDCOVER
	"BRED" PONT DWARF CROTON BLUE	1' GA	(0-1)	124	6'-8" HT.	"
	CENOTHUS GISSBURGHII	1' GA	LOW	352%	2'-3" HT.	ACCENT GROUNDCOVER
	HORIZONTALIS "YANKEE POINT"	3'-0" O.C.	(0-1)	173	8'-10" HT.	"
	"MOUNTAIN" LILAC	1' GA	LOW	158%	8'-12" HT.	ACCENT GROUNDCOVER
	FESTUCA BLAUCA	1' GA	(0-1)	130%	8'-12" HT.	"
	"ELIJAH BLUE"	1'-0" O.C.	(0-1)	130%	8'-12" HT.	"
	"ELIJAH BLUE"	1'-0" O.C.	(0-1)	130%	8'-12" HT.	"

BIO-RETENTION LIST	DESCRIPTION	SIZE/ SIZING	WATER USE	QTY/ %	NATURE SPREAD	HT./ FT.	FORM/ FUNCTION
	CHONDROPETALUM TECTORUM/ SMALL CAPE RUSH	5 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	40R/13-4"	HT./ 1,007/3-4"	WD.	BIO-RETENTION PLANTING
	LEYMUS CONSENSUENS 'CANYON PRINCE'/CANYON PRINCE W/10 RZF	1 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	60R/12-3"	HT./ 1,510/2-3"	WD.	BIO-RETENTION PLANTING

HOUSE NAME/PLANT / SUITE / FUNCTION	DESCRIPTION	SIZE / SIZING	WATER USE	% QTY	NATURE HT. / SPREAD	FORM / FUNCTION
BWA	AGAVE SHAWI / SHAW'S AGAVE	5 GAL / 0-1" (LOW)	100%	100%	12-2" HT.	SUCCESS- ACCENT
	BACCHARIS PALMISTAE "PACIFIC PINE"	1 GAL / 0-1" (LOW)	100%	100%	214 3/4" WD.	SPREADING GROUNDCOVER
	COCCYTHUS BRILLIANT	5 GAL / 0-1" (LOW)	100%	100%	30 1/2" - 2" HT. 16" - 5" WD.	SPREADING GROUNDCOVER
	CEANOTHUS ORSUTUS	1 GAL / 0-1" (LOW)	100%	100%	100% 2-2" HT.	ACCENT
	HORIZONTALIS "YANCEY POINT" / CARVEL MOUNTAIN LEG.	5 GAL / 0-1" (LOW)	100%	100%	13" 8" - 10" WD.	GROUNDCOVER
	ENCELIA CALIFORNICA CALIFORNIA BUSH SUNFLOWER	5 GAL / 0-1" (LOW)	100%	100%	15 1/2" 13" HT.	SPREADING SHRUB
	ENCELIA CALIFORNICA BUSH SUNFLOWER	4-6" 0-1" (LOW)	100%	100%	320 5" WD.	SHRUB PLANT
	MINIULAS AUSTRALICUS / STICKY MONKEY FLOWER	1 GAL / 2-0" 0-1" (LOW)	100%	100%	15 1/2" 2-2" HT.	COLORFUL ACCENT
	MINIULAS AUSTRALICUS / STICKY MONKEY FLOWER	2-0" 0-1" (LOW)	100%	100%	1,281 13" HT.	PLANTING
	RHAMNUS CALIFORNICA / COFFEESBERRY	5 GAL / 3-0" 0-1" (LOW)	100%	100%	100% 3-4" HT. 360 3-4" WD.	EVERGREEN SHRUB
	RHAMNUS CALIFORNICA / COFFEESBERRY	3-0" 0-1" (LOW)	100%	100%	360 3-4" WD.	SHRUB PLANT
	SALVIA AFRANA / WHITE SAGE	5 GAL / 4-0" 0-1" (LOW)	100%	100%	100% 3-4" HT. 214 4-5" WD.	EVERGREEN SHRUB
SALVIA AFRANA / WHITE SAGE	4-0" 0-1" (LOW)	100%	100%	214 4-5" WD.	SHRUB PLANT	

TURF	DESCRIPTION	AREA	FORM/ FUNCTION
	TURF	4,989 S.F.	EVENT SPACE/ MULTI-USE SPACE

*NOTE: TREE, SHRUB, GROUND COVER, AND BID-RETENTION QUANTITIES SHOWN REFLECT PLAN MATERIAL AS A WHOLE FOR THE CDP-SOP PACKAGE.

NOTES:

1. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
2. SEE ATTACHED DRAWINGS FOR SITE GRADING.
3. LOCATE, REFUSE AND APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
4. PROPOSED LANDSCAPE SHALL NOT CONFLICT WITH EXISTING UTILITIES.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FOR 180 DAYS AFTER COMPLETION OF THE LANDSCAPING. THE LANDSCAPING SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANTING MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE A INTERIM BERM / TACKLER OR TACKLER BERM BETWEEN APRIL AND AUGUST 31ST FOR DUST - EROSION CONTROL.
7. MAINTENANCE: HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 31ST.
7. PERMANENT REVEGETATION: ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED COVERED BY STRUCTURES, SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 402-04F (14-02-01-1-LAND DEVELOPMENT CODE [LDC]) AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT CODE.
8. PLANT SCHEDULE / REVEGETATION PLANS - INCLUDING - PLANTING PLAN, PLANTING LEGEND, PLANTING NOTES, PLANTING DETAILS: IRRIGATION PLAN WITH PERMANENT IRRIGATION SYSTEM, SPECIFICATIONS, DETAILS WILL BE PROVIDED WITH THE SUBSEQUENT BUILDING PERMIT.
9. THE LANDSCAPE PLANS SHALL BE CONSISTENT WITH THE PER 89-0034 (PDS 3718).
10. THE LANDSCAPE DESIGN IS RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF THE SLOPE REVEGETATION AREA PER THE LAND DEVELOPMENT MANUAL. LANDSCAPE STANDARDS, SECTION 4.5-2, NON-PERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A PERIOD NOT LESS THAN 25 MONTHS.



576 Cathedral Avenue, Suite 17
 Irving, Illinois 60139

SPECTRUM III & IV

RYFIELD ROW
21

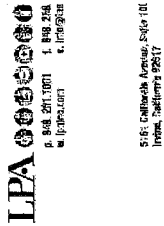
Developed for

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ATTACHMENT 19

CONCEPTUAL
LANDSCAPE
PLAN

L1.2



SPECTRUM III & IV
3115 AND 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121
Developed for

CONCEPTUAL LANDSCAPE PLAN
L1.3
SHEET 1 OF 41

PLANTING LEGEND

(N)C NO COMMON NAME(S) - UNLESS NOTED ON PLAN									
REF.	SYM.	DESCRIPTION	SIZE/ SPREAD	WATER USE	QTY	MATURE HT./ SPREAD	FORM/ FUNCTION		
71	●	CHLORIS LINEARIS/ DEEPT WILLOW	36" BOX/ PER PLAN	LOW (0.1-0.3)	154	13-40' HT./ 15-40' WD.	PARKING LOT CANOPY TREE		
72	●	PLATANUS RADICOSA/ CALIFORNIA Sycamore	36" BOX/ PER PLAN	MOD. (0.4-0.6)	164	40-60' HT./ 30-50' WD.	SHADE TREE		
73	●	R-US LANCEA/ AFRICAN SUMAC	36" BOX/ PER PLAN	LOW (0.1-0.3)	174	20-30' HT./ 20-30' WD.	SHADE TREE		
74	●	ALBIZIA JULIBRESSA/ SILK TREE	48" BOX/ PER PLAN	MOD. (0.4-0.6)	117	25-40' HT./ 25-40' WD.	SHADE TREE		
75	●	CORNUS NUTTALLI/ WESTERN DOGWOOD	48" BOX/ PER PLAN	MOD. (0.4-0.6)	117	25-40' HT./ 25-40' WD.	SHADE TREE		
76	●	PARKINSONIA FLORIDA/ BLUE PALM VERDE	48" BOX/ PER PLAN	LOW (0.1-0.3)	117	25-30' HT./ 25-30' WD.	SHADE TREE		
77	●	QUERCUS AGROFOLIA/ COAST LIVE OAK	36" BOX/ PER PLAN	LOW (0.1-0.3)	117	30-60' HT./ 40-70' WD.	STREET AND PERIMETER TREES		
78	●	QUERCUS LEX/ EVERGREEN OAK	36" BOX/ PER PLAN	LOW (0.1-0.3)	117	30-60' HT./ 40-70' WD.	TIE IN WITH SURROUNDING LANDSCAPE		
79	●	PINUS TORREYANA/ TORREY PINE	36" BOX/ PER PLAN	LOW (0.1-0.3)	117	40-70' HT./ 25-40' WD.	BUSH MANAGEMENT ZONE 1/ SLOPE TRANSITION		
80	●	ACACIA BAILEYANA/ COO-MUNDRA WATTLE	36" BOX/ PER PLAN	LOW (0.1-0.3)	117	20-30' HT./ 20-30' WD.	BUSH MANAGEMENT ZONE 1/ SLOPE TRANSITION		
81	●	PINUS TORREYANA/ TORREY PINE	36" BOX/ PER PLAN	LOW (0.1-0.3)	117	40-70' HT./ 25-40' WD.	BUSH MANAGEMENT ZONE 1/ SLOPE TRANSITION		
82	●	QUERCUS AGROFOLIA/ COAST LIVE OAK	36" BOX/ PER PLAN	LOW (0.1-0.3)	117	30-60' HT./ 40-70' WD.	STREET AND PERIMETER TREES		
ET1	●	EXISTING TREE					EXISTING TREES ON PLAN TO REMAIN AND TO BE PROTECTED IN PLACE		

SHRUB	DESCRIPTION	SIZE/ SPREAD	WATER USE	% QTY	MATURE HT./ SPREAD	FORM/ FUNCTION
S1	AGAVE SHAWII/ SHAW'S AGAVE	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	55%/ 255	2'-3' HT./ 3'-4' WD.	SUCCULENT ACCENT SHRUB
	ENCELIA CALIFORNICA/ CALIFORNIA BUSH	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	105%/ 510	3' HT./ 5' WD.	EVERGREEN SHRUB MASS PLANTING
	LEONOTIS LEONURUS/ LION'S TAIL	5 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	205%/ 1,025	4'-6" HT./ 1'-1'-4" WD.	COLORFUL ACCENT PLANTING
	LEUCODENDRON SALICOLM/ GOLDEN TIP	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	105%/ 510	3'-4' HT./ 4'-5" WD.	COLORFUL ACCENT PLANTING
	LOMANERA LONGIFOLIA/ BREEZE	1 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	155%/ 1,355	2'-3' HT./ 1'-2" WD.	ORNAVENTAL GRASS, MASS PLANTING
	PHORBEA BAI. BUSH	1 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	155%/ 1,355	4'-5" HT./ 1'-2" WD.	ORNAVENTAL GRASS, MASS PLANTING
	PRUNUS LUCIDA/ HOLLYLEAF CHERRY	15 GAL/ 6'-0" O.C.	LOW (0.1-0.3)	55%/ 115	12-15' HT./ 6'-8" WD.	EVERGREEN VERTICAL SCREENING
	SAVIA APIANA/ WHITE SAGE	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	205%/ 1,025	3'-4' HT./ 4'-5" WD.	EVERGREEN SHRUB MASS PLANTING

GROUNDCOVER	DESCRIPTION	SIZE/ SPREAD	WATER USE	% QTY	MATURE HT./ SPREAD	FORM/ FUNCTION
G1	ARCTOSTAPHYLOS CARAMEL SUE	1 GAL/ 2'-0" O.C.	LOW (0.1-0.3)	155%/ 477	1'-2" HT./ 4'-6" WD.	SPREADING GROUNDCOVER
	BACCHARIS PILLULARIS PIGEON POINT	1 GAL/ 6'-0" O.C.	LOW (0.1-0.3)	355%/ 124	1'-2" HT./ 8'-9" WD.	SPREADING GROUNDCOVER
	CEANOTHUS GRISEUS/ HORIZONTALIS YANKEE POINT	1 GAL/ 5'-0" O.C.	LOW (0.1-0.3)	355%/ 178	2'-3' HT./ 8'-10" WD.	ACCENT GROUNDCOVER
	FESTUCA GLAUCA/ ELIJAH BLUE	1 GAL/ 1'-0" O.C.	LOW (0.1-0.3)	155%/ 1,909	8-12" HT./ 8-12" WD.	ACCENT GROUNDCOVER

BIO-RETENTION	DESCRIPTION	SIZE/ SPREAD	WATER USE	% QTY	MATURE HT./ SPREAD	FORM/ FUNCTION
B1	CHONDROPETALUM TECTORUM/ SMALL CAPE RUSH	5 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	405%/ 1,007	3'-4" HT./ 3'-4" WD.	BIO-RETENTION PLANTING
	LEYCESTERIA CONDENSATUS/ CANYON PRINCE/CANYON GRASS	1 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	605%/ 1,510	2'-3" HT./ 2'-3" WD.	BIO-RETENTION PLANTING

BRUSH MANAGEMENT/ SLOPE TRANSITION	DESCRIPTION	SIZE/ SPREAD	WATER USE	% QTY	MATURE HT./ SPREAD	FORM/ FUNCTION
BM	AGAVE SHAWII/ SHAW'S AGAVE	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	1105%/ 1,214	2'-3' HT./ 3'-4" WD.	SUCCULENT ACCENT SHRUB
	BACCHARIS PILLULARIS/ PIGEON POINT	1 GAL/ 6'-0" O.C.	LOW (0.1-0.3)	305%/ 238	1'-2" HT./ 8'-9" WD.	SPREADING GROUNDCOVER
	CEANOTHUS GRISEUS/ HORIZONTALIS YANKEE POINT	1 GAL/ 5'-0" O.C.	LOW (0.1-0.3)	1105%/ 1,37	2'-3' HT./ 8'-10" WD.	ACCENT GROUNDCOVER
	ENCELIA CALIFORNICA/ CALIFORNIA BUSH	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	1105%/ 320	3' HT./ 5' WD.	EVERGREEN SHRUB MASS PLANTING
	MINULUS AURANTIACUS/ STICKY MONKEY FLOWER	1 GAL/ 2'-0" O.C.	LOW (0.1-0.3)	1105%/ 1,281	2'-3" HT./ 1'-2" WD.	COLORFUL ACCENT PLANTING
	RHYNCHOSPORA CALIFORNICA/ COFFEEBERRY	5 GAL/ 3'-0" O.C.	LOW (0.1-0.3)	1105%/ 390	3'-4" HT./ 3'-4" WD.	EVERGREEN SHRUB MASS PLANTING
	SAVIA APIANA/ WHITE SAGE	5 GAL/ 4'-0" O.C.	LOW (0.1-0.3)	1105%/ 214	3'-4" HT./ 4'-5" WD.	EVERGREEN SHRUB MASS PLANTING

TURF	DESCRIPTION	AREA	FORM/ FUNCTION
TU	TURF	4,589 S.F.	EVENT SPACE/ MULTI-USE SPACE

*NOTE: TREE, SHRUB, GROUNDCOVER, AND BIO-RETENTION QUANTITIES SHOWN REFLECT PLAN MATERIAL AS A WHOLE FOR THE CDP-SDP PACKAGE.

NOTES:
1. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES, FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
2. SEE CIVIL DRAWINGS FOR SITE GRADING.
3. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATION.
4. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FOR 180 DAYS AFTER HYDROSEEDING. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANTING MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. OVERSEED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER / PACKER AS NEEDED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST - EROSION CONTROL. WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.
7. PERMANENT VEGETATION: ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES, SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F [142.041-LAND DEVELOPMENT CODE (LDC)] AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
8. FULL LANDSCAPE / REVEGETATION PLANS - INCLUDING - PLANTING PLAN, PLANTING LEGEND, PLANTING NOTES, PLANTING DETAILS: IRRIGATION PLAN WITH PERMANENT IRRIGATION SYSTEM, SPECIFICATIONS, DETAILS WILL BE PROVIDED WITH THE SUBSEQUENT BUILDING PERMIT.
9. THE LANDSCAPE PLANS SHALL BE CONSISTENT WITH THE PID 09-0034 (P/S 3718).
10. THE OWNER IS RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF THE SLOPE REVEGETATION AREA. PER THE LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS, SECTION 4.5-2, NON-PERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A PERIOD NOT LESS THAN 25 MONTHS.

IRRIGATION MAINTENANCE NOTES

A. THE SITE WILL BE IRRIGATED OFF OF THE TWO (2) EXISTING 1.5" RECYCLED WATER METERS (#1285139 & #1285139). THE SIZE WILL BE MAINTAINED BY THE OWNER.
B. THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR. AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.
C. THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE.
2. MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS.
3. PLACE WATER MEASURING RECEPTACLES.
4. TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS.
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY. FREQUENT: QUARTERLY.
IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH ADJUST AS NECESSARY. FREQUENT: MONTHLY.
DOZ - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED. FREQUENT: QUARTERLY.
REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES - VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED. FREQUENT: QUARTERLY.
MAINLINE & LATERALS - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH. FREQUENT: QUARTERLY.
SCREENING - VISUALLY CHECK FOR ANY BROKEN MISALIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED. FREQUENT: WEEKLY.
FILTERS AND STRAINERS - VISUALLY CHECK FOR LEAKS, BROKEN FITTING, CLEAN AND FLUSH SCREENS.

AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED NONGRADE AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE SAN DIEGO COUNTY CODE.

CONCEPTUAL LANDSCAPE PLAN

1"=20'

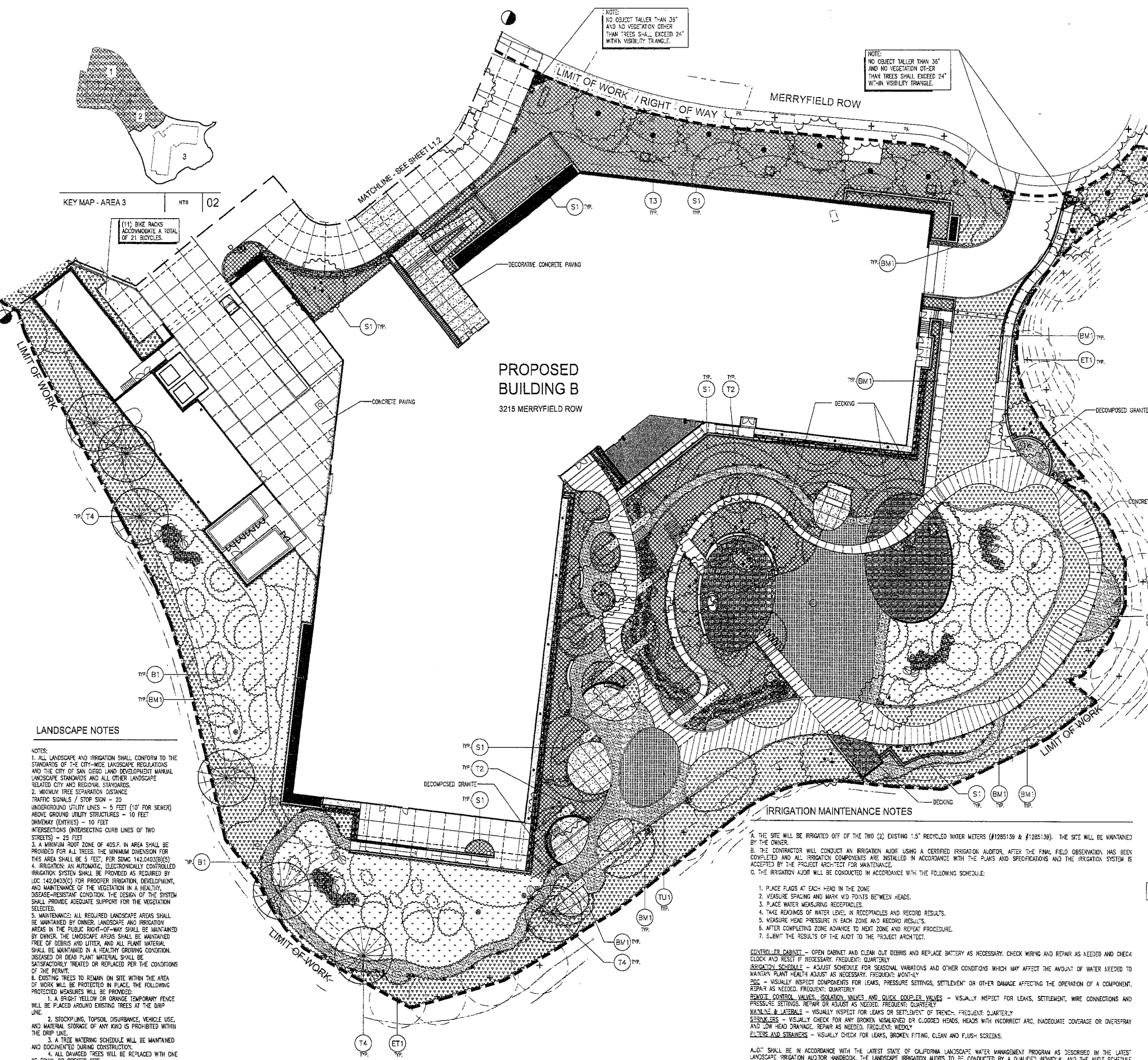
KEY MAP - AREA 3

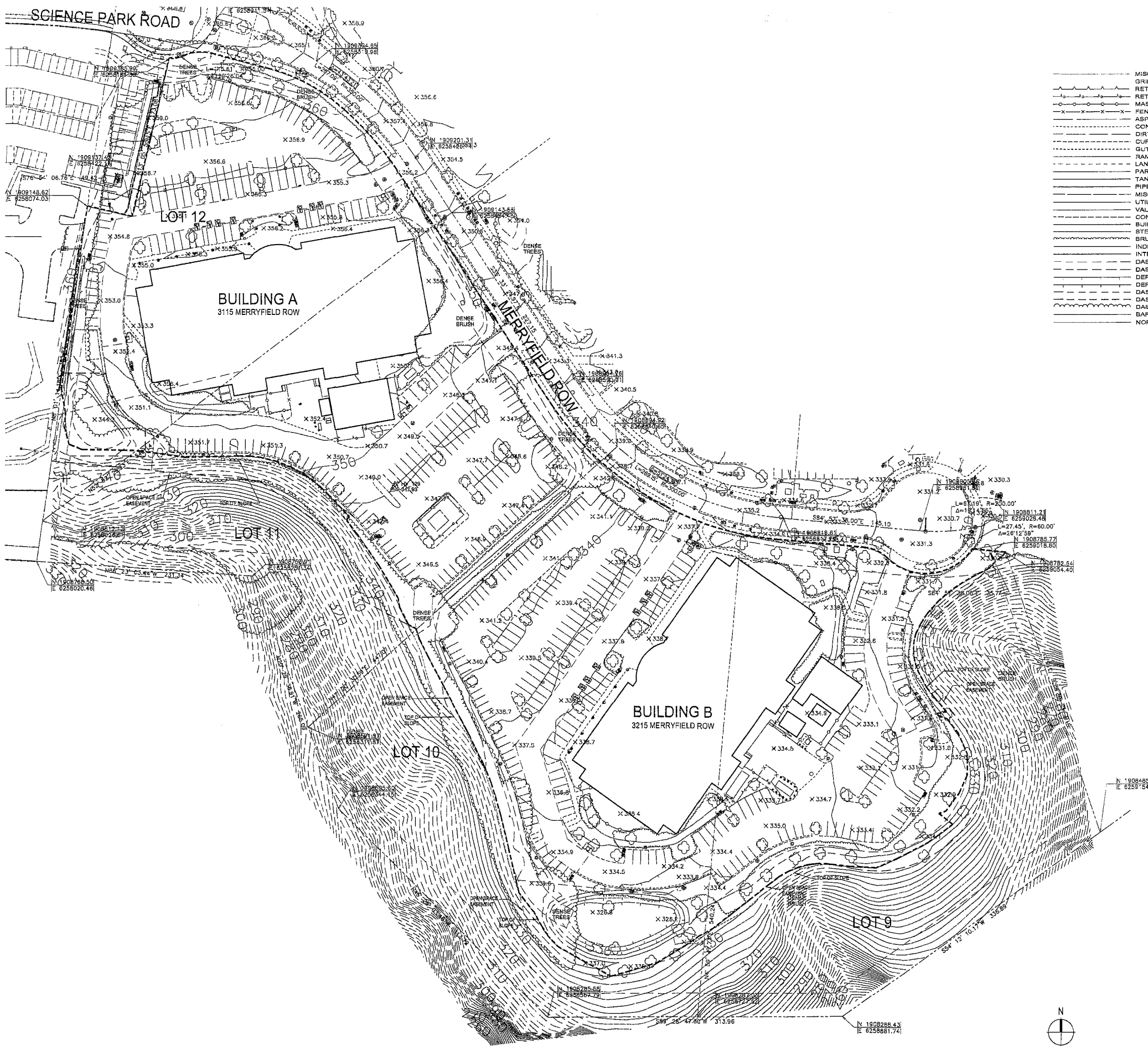
NTS 02
(11) BIKE RACKS
ACCOMMODATE A TOTAL
OF 21 BICYCLES.

LANDSCAPE NOTES

- NOTES:
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. MINIMUM TREE SEPARATION DISTANCE - 20 FEET
TRAFFIC SIGNALS / STOP SIGN - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
3. A MINIMUM ROOT ZONE OF 40S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. PER SDG& 142.0403(B)(3).
4. IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. OVERSEED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTED MEASURES WILL BE PROVIDED:
1. A 5'x6' YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STUMPING, TOPSOIL, DISBURSANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

PROPOSED BUILDING B
3215 MERRYFIELD ROW





MAP LEGEND

- | | |
|------------------|------------------|
| MISC LINE | HORIZ/VERT CONTR |
| GRID BORDER | GRID/CK |
| RETAINING WALL | GUARD POST |
| MASONRY WALL | STREET LIGHT |
| FENCE GENERAL | SIGN (10') |
| ASPHALT EDGE | SIGN (5') |
| CONCRETE EDGE | DRDP INLET |
| DIRT ROAD | STORM DRAIN |
| CURB | FIRE HYDRANT |
| GUTTER EDGE | UNDEF OBJECT SQ |
| RAMP | UNDEF OBJECT RND |
| LANE STRIPING | MANHOLE UNIDENT |
| PARKING STALL | WATER VALVE |
| TANK | SEWER MANHOLE |
| PIPE | ELECT VAULT |
| MISC UTILITIES | PHONE PEDESTAL |
| UTILITY BOX | PHONE MANHOLE |
| VAULT GENERAL | GAS VALVE |
| CONCRETE DITCH | PULL BOX |
| BUILDING | TREE (10') |
| STEPS | SPOT ELEVATION |
| BRUSH LINE | POST |
| INDEX CONTOUR | HANDICAP SYMBOL |
| INTERM CONTOUR | |
| DASH INDEX CONT | |
| DASH INTERM CONT | |
| DEP INDEX CONT | |
| DEP INTERM CONT | |
| DASH DEP IND CON | |
| DASH DEP INTERM | |
| DASH TREE CON | |
| BAR SCALE | |
| NORTH ARROW | |



SPECTRUM III & IV
3115 AND 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for

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NO.	DATE	DESCRIPTION
1	10/28/08	PRELIMINARY
2	11/10/08	REVISED
3	11/10/08	REVISED
4	11/10/08	REVISED
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9	11/10/08	REVISED
10	11/10/08	REVISED

EXISTING
OVERALL
SITE PLAN

A1.0
3-SEP-12 07:41

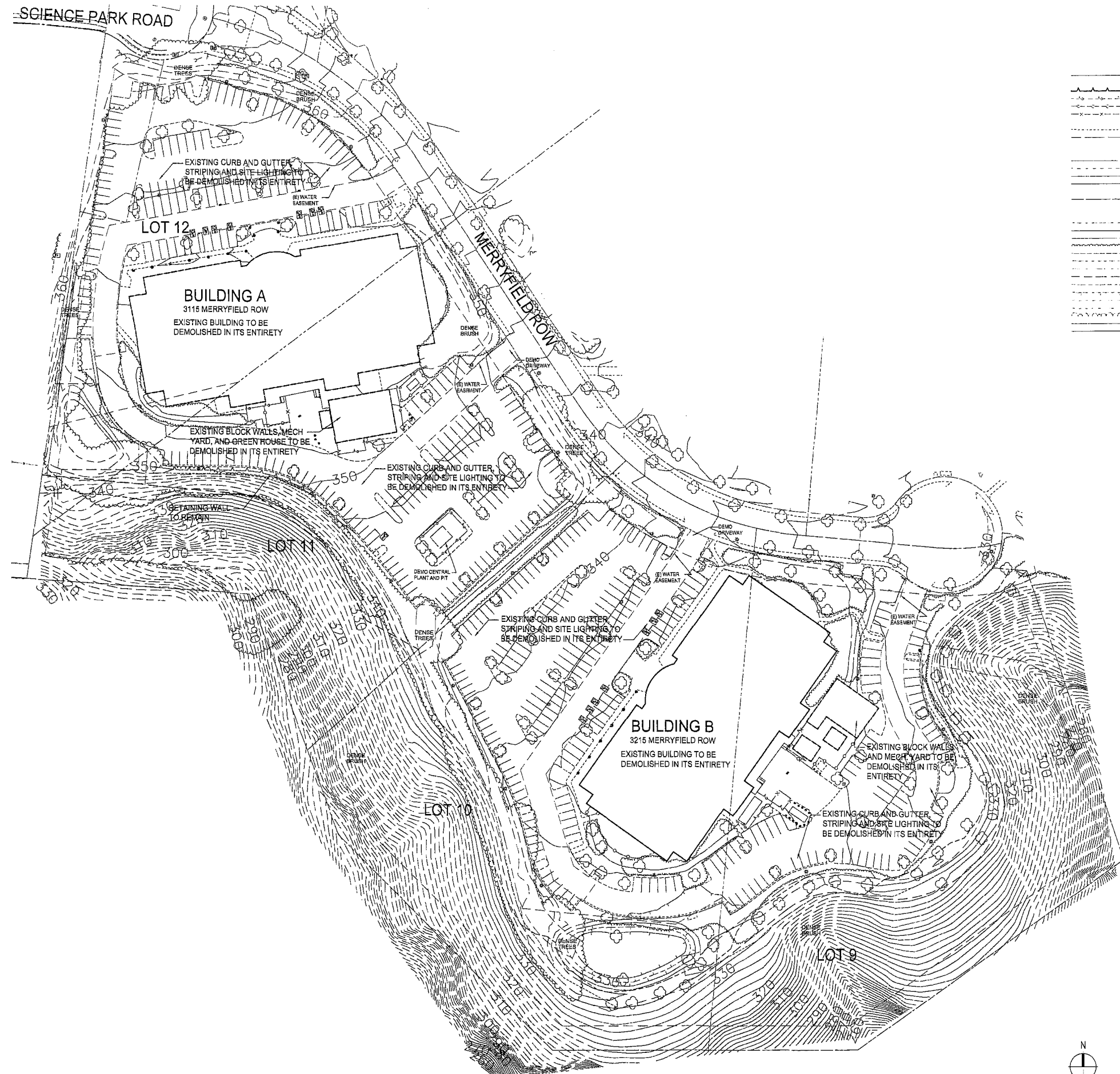
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SCIENCE PARK ROAD

ATTACHMENT 19

MAP LEGEND

- | | |
|-------------------------|------------------|
| MISC LINE | HORIZ/VERT CONTR |
| GRID BORDER | GRIDTICK |
| RETAINING WALL | GUARD POST |
| RETAINING MASONRY | STREET LIGHT |
| MASONRY WALL | SIGN (10') |
| FENCE GENERAL | SIGN (5') |
| ASPHALT EDGE | DROP INLET |
| CONCRETE EDGE | STORM DRAIN |
| DIRT ROAD | FIRE HYDRANT |
| CURB | UNDEF OBJECT SQ |
| GUTTER EDGE | UNDEF OBJECT AND |
| RAMP | MANHOLE UNIDENT |
| LANE STRIPING | WATER VALVE |
| PARKING STALL | SEWER MANHOLE |
| TANK | ELECT VAULT |
| PIPE | PHONE PEDESTAL |
| MISC UTILITIES | PHONE MANHOLE |
| UTILITY BOX | GAS VALVE |
| VAULT GENERAL | PULL BOX |
| CONCRETE DITCH | TREE (10') |
| BUILDING | SPOT ELEVATION |
| STEPS | POST |
| BRUSH LINE | HANDICAP SYMBOL |
| INDEX CONTOUR | |
| INTERM CONTOUR | |
| DASH INDEX CONTOUR | |
| DASH INTERM CONTOUR | |
| DEP INDEX CONTOUR | |
| DEP INTERM CONTOUR | |
| DASH DEP IND CONTOUR | |
| DASH DEP INTERM CONTOUR | |
| DASH TREE CONTOUR | |
| BAR SCALE | |
| NORTH ARROW | |



0 20 40 80
DEMOLITION PLAN
1" = 40'

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LPA 000006
P. 010 705.5016
W. 01010000



SPECTRUM III & IV
3115 AND 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for

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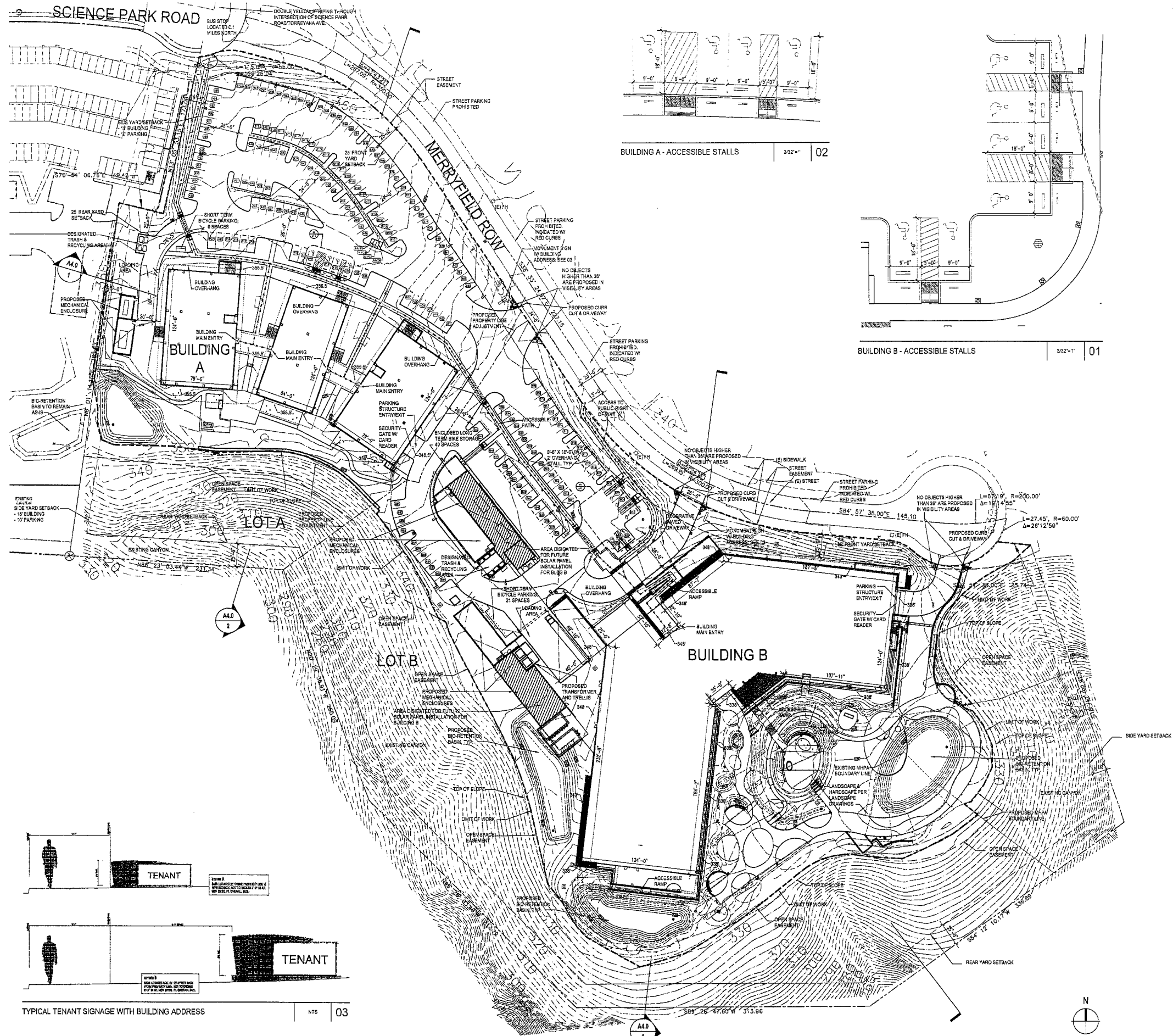
Revision	Date

Revision	Date

Job No. 18028 SC
Date 04/19/2018
Created by BJ
Scale 1"=40'-0"

DEMOLITION OVERALL SITE PLAN
A1.1
S-087123-01

ATTACHMENT 19



BUILDING DESCRIPTION

BUILDING A - 57,372 GFA
PROPOSED BUILDING A
3115 MERRIFIELD ROW
2-STORY BUILDING
W/ 2-STORY SUBTERRANEAN PARKING
STRUCTURE (W/ APPROX. 12,558-SF
SUB-GRADE SPACE)

BUILDING B - 145,828 GFA
PROPOSED BUILDING B
3215 MERRIFIELD ROW
3-STORY BUILDING
W/ 2-STORY SUBTERRANEAN PARKING
STRUCTURE (W/ APPROX. 18,668-SF SUB-GRADE
SPACE)

PARKING TABULATIONS

NOTE: BICYCLE PARKING TABULATIONS, REFER TO TITLE SHEET

NOTE: MOTORCYCLE PARKING TABULATION, REFER TO TITLE SHEET

NOTE: NO ON-STREET PARKING

NOTE: PROVIDE A KIOSK OR BULLETIN BOARD THAT DISPLAYS INFORMATION ON TRANSIT, CAR POOLING, AND RIDE SHARING. LOCATION T.B.D.

BUILDING A - 55,043 S.F. OF R&D

SUB-GRADE STALLS	STANDARD	142
	ACCESSIBLE	06
SURFACE STALLS	STANDARD	61
	ACCESSIBLE	03
TOTAL STALLS		213
PARKING RATIO		3.2/1000

BUILDING B - 127,015 S.F. OF R&D

SUB-GRADE STALLS	STANDARD	281
	ACCESSIBLE	07
SURFACE STALLS	STANDARD	116
	ACCESSIBLE	06
TOTAL STALLS		412
PARKING RATIO		3.9/1000

PUBLIC TRANSIT

BUS STOP LOCATED 0.1 MILES NORTH ON TORREYANA RD.

SUSTAINABILITY

- BELOW IS A LIST OF SUSTAINABLE, CLEAN & GREEN BUILDING DEVELOPMENT ELEMENTS BEING PROPOSED FOR THIS PROJECT
- Construction Activity Pollution Prevention Plan
 - Recycle Storage and Changing Rooms
 - Preferred parking for fuel-efficient vehicles
 - Vegetated open space equal to 20% of project site area
 - Stormwater management plan to manage quality and quantity of stormwater
 - Minimize local land effects: 50% parking spaces under cover and roof
 - SRI greater than 75
 - Elimination of 100K potable water for landscape
 - 45% interior water use reduction
 - Enhanced commissioning
 - 20% energy reduction (high efficiency HVAC, lighting, and envelope)
 - Measurement and verification plan
 - Source and collection of recyclables
 - 75% construction waste diversion
 - 20% regional materials
 - Enhanced air quality with increased ventilation and CO2 sensors
 - Low-volatility materials
 - Wet-dry ready deck-to-deck partitions for pollutant source control
 - Views for 50% of spaces

LEGEND

FIRE HYDRANT	□
TOP OF SLOPE	-----
LIMIT OF WORK	----
OPEN SPACE EASEMENT	----
ENVIRONMENTALLY SENSITIVE LAND	-----
ACCESSIBLE PATH	-----
EXISTING	(E)

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TYPICAL TENANT SIGNAGE WITH BUILDING ADDRESS

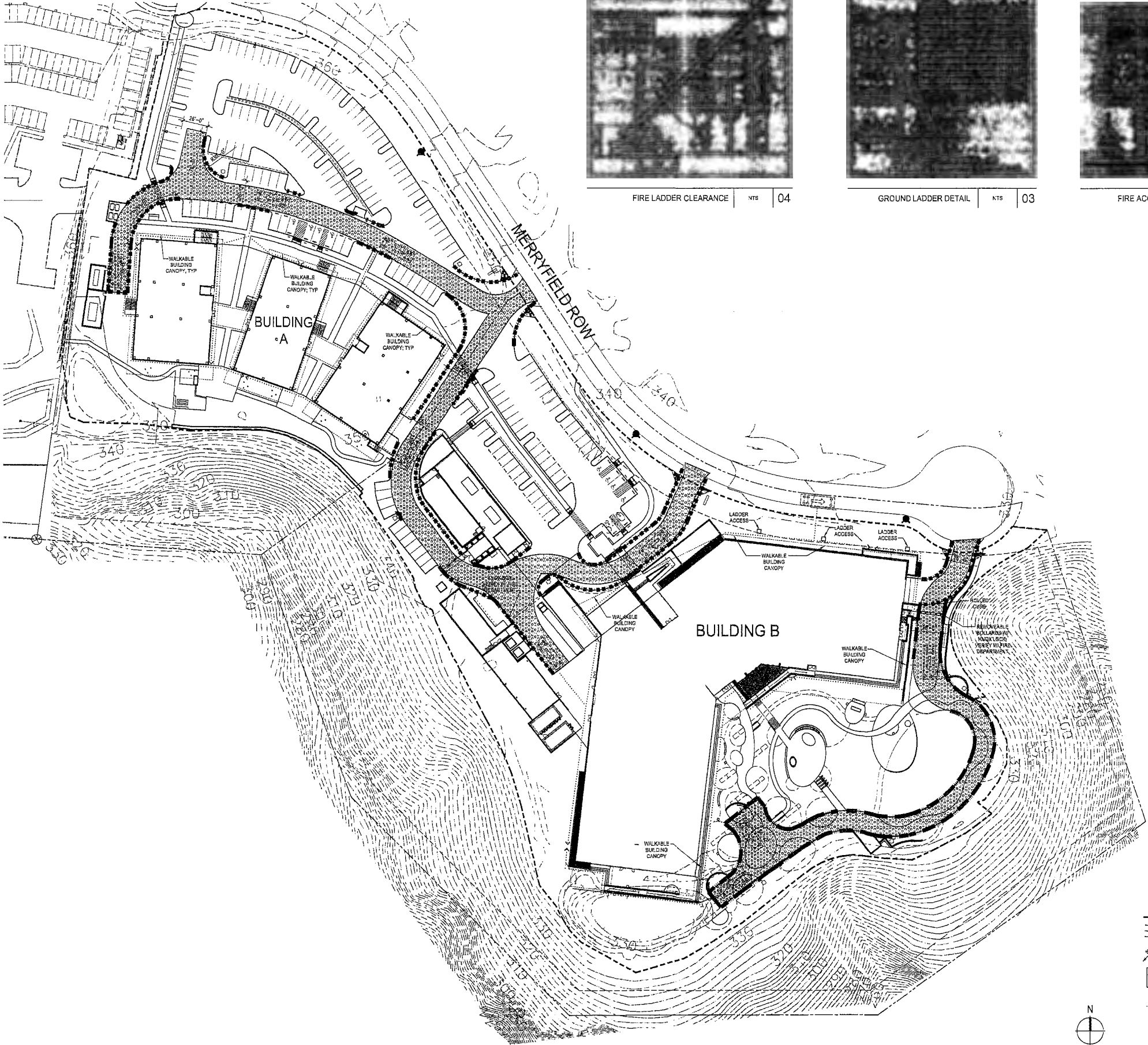
NTS 03

PROPOSED OVERALL SITE PLAN

A1.2

SHEET 24 OF 41

SCIENCE PARK ROAD



FIRE LADDER CLEARANCE NTS 04



GROUND LADDER DETAIL NTS 03



FIRE ACCESS VERTICAL CLEARANCE NTS 02

NOTE:
ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 93 OF THE CDC.

NOTE:
BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209. SEE SHEET A1.2 FOR MONUMENT SIGN LOCATION.

NOTE:
POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS ACCESS SIDE OF THE BUILDING.

NOTE:
IF ADDITIONAL HYDRANTS ARE REQUIRED AND WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CDC 312.

NOTE:
VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBE.

NOTE:
ALL BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE PROVISIONS OF SECTION 302.44.

NOTE:
CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CDC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

LEGEND

- | | | | |
|--|------------------------------|------|--|
| | MINIMUM TRUCK TURNING RADIUS | (C) | EXISTING CONDITION |
| | 20' WIDE FIRE TRUCK ACCESS | ---- | RED CURB W/ WHITE 4" HIGH LETTERS READING "NO PARKING - FIRE LANE" STENCILED EVERY 30 FEET |
| | FIRE TRUCK | ---- | EDGE OF FIRE LANE INDICATED BY CHANGE IN MATERIAL AND/OR IN-GRADE CURB |
| | 200' MAX HOSE PULL | | |
| | (C) FIRE HYDRANT | | |
| | FIRE HYDRANT | | |

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0 20 40 80
FIRE ACCESS PLAN 1" = 40' 01

LPA
1350 Melrose Avenue
San Diego, CA 92103
P: 619.775.3515
F: 619.775.3516
M: 619.775.3517



SPECTRUM III & IV
3115 AND 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

Developed for

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DATE	DESCRIPTION
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06/19/2018	REVISION
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Job No.	15028 SC
Date	06/19/2018
Drawn by	EA
Scale	1" = 40'-0"

FIRE DEPARTMENT
ACCESS PLAN

LPA



1600 National Ave
San Diego, California 92111

SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

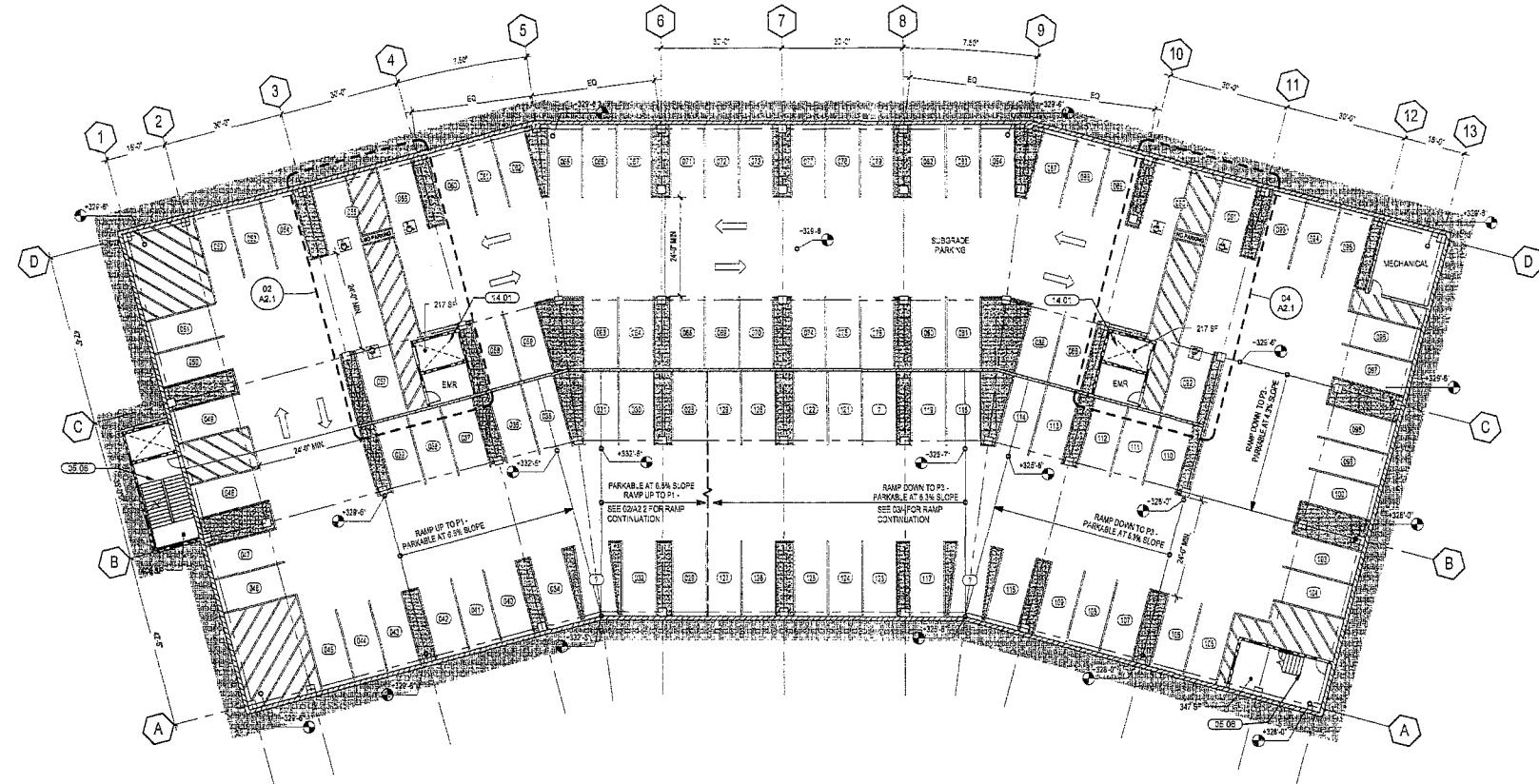
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Item	Description
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CONCEPTUAL FLOOR PLANS - (BUILDING A)

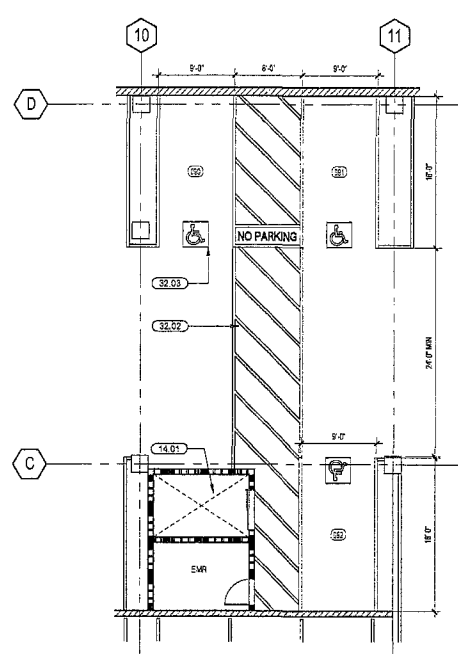
A2.1



P2 - PARKING LEVEL (BUILDING A)

1/16" = 1'-0"

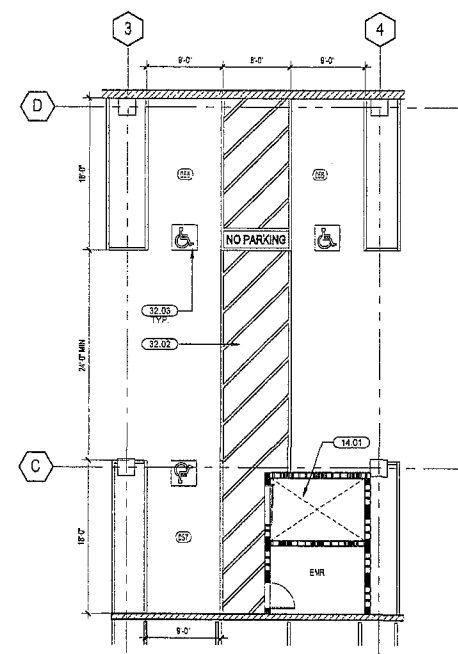
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P2 - ACCESSIBLE STALLS 2

1/16" = 1'-0"

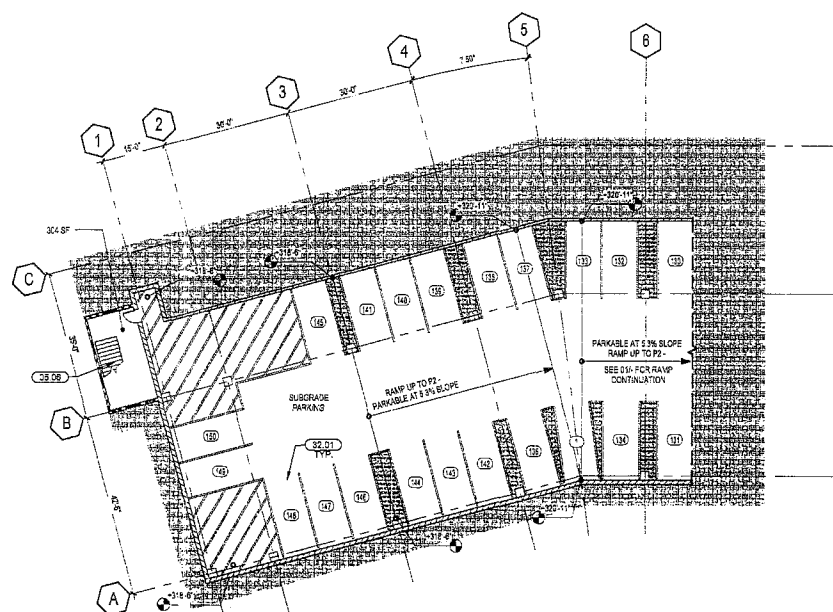
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P2 - ACCESSIBLE STALLS 1

1/16" = 1'-0"

02



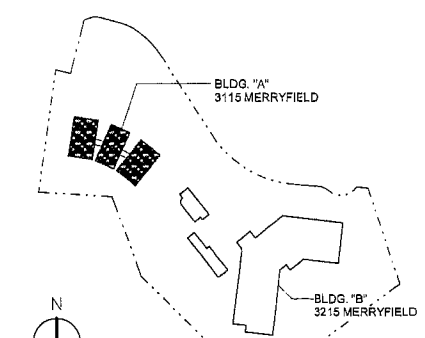
P3 - PARKING LEVEL (BUILDING A)

1/16" = 1'-0"

03

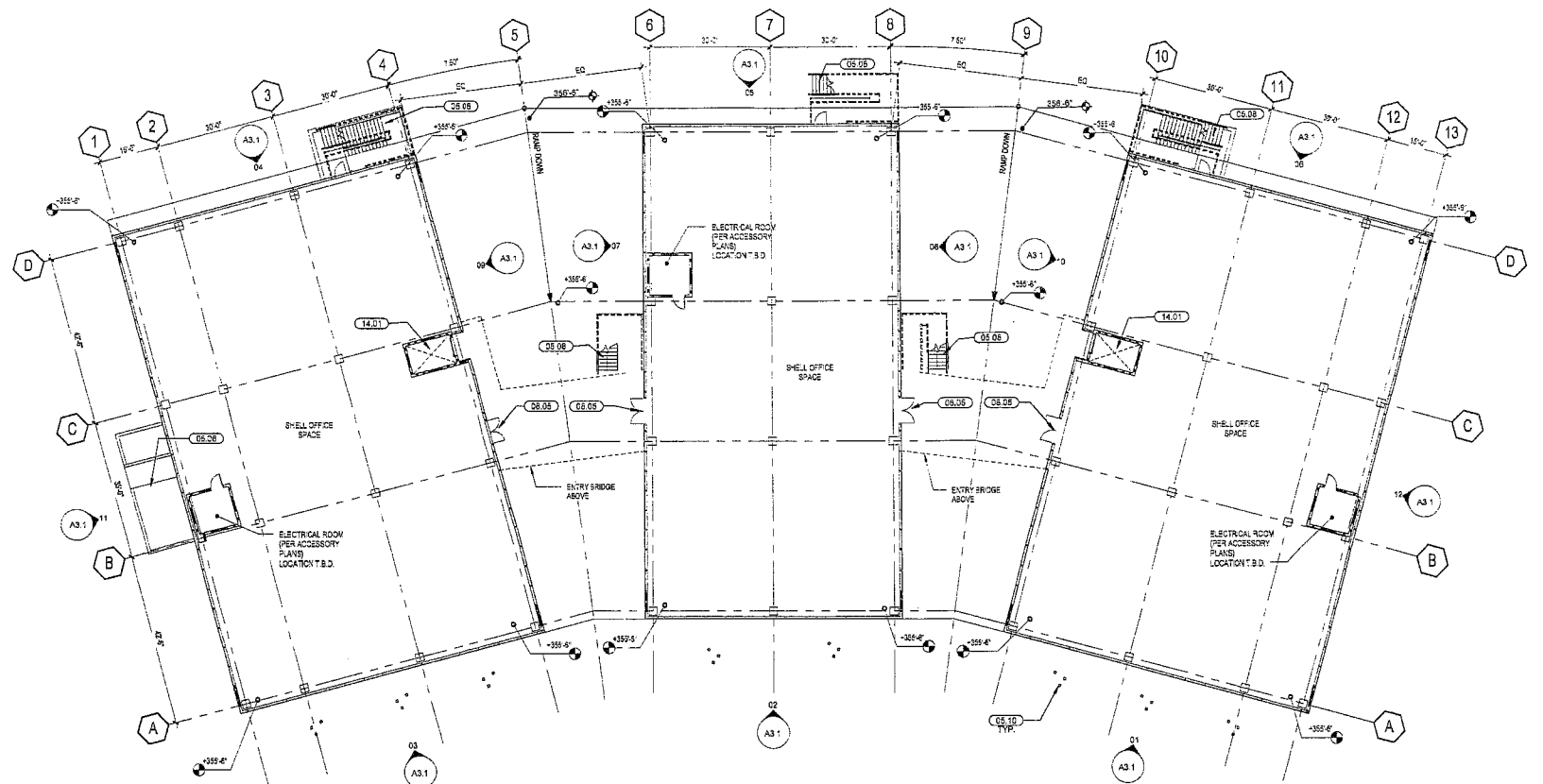
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KEYNOTES

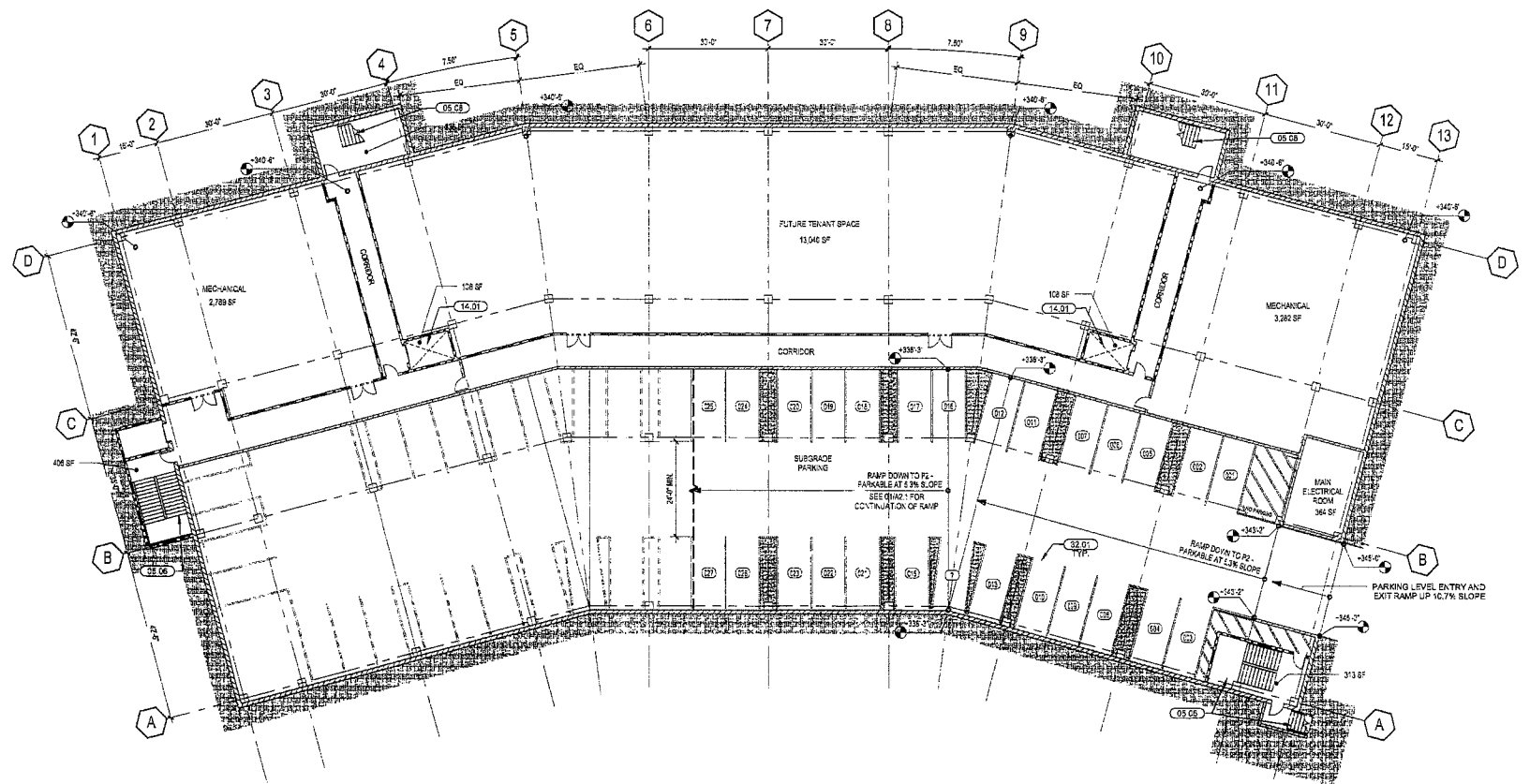
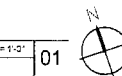


KEY PLAN

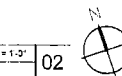
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L1 - FLOOR PLAN - LEVEL 1

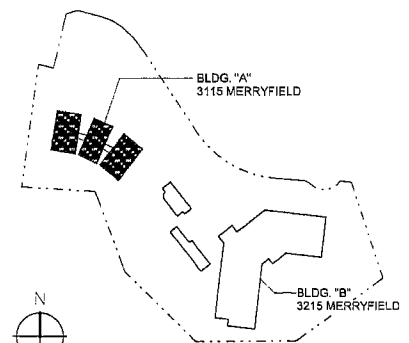


P1 - SUB-GRADE PARKING LEVEL



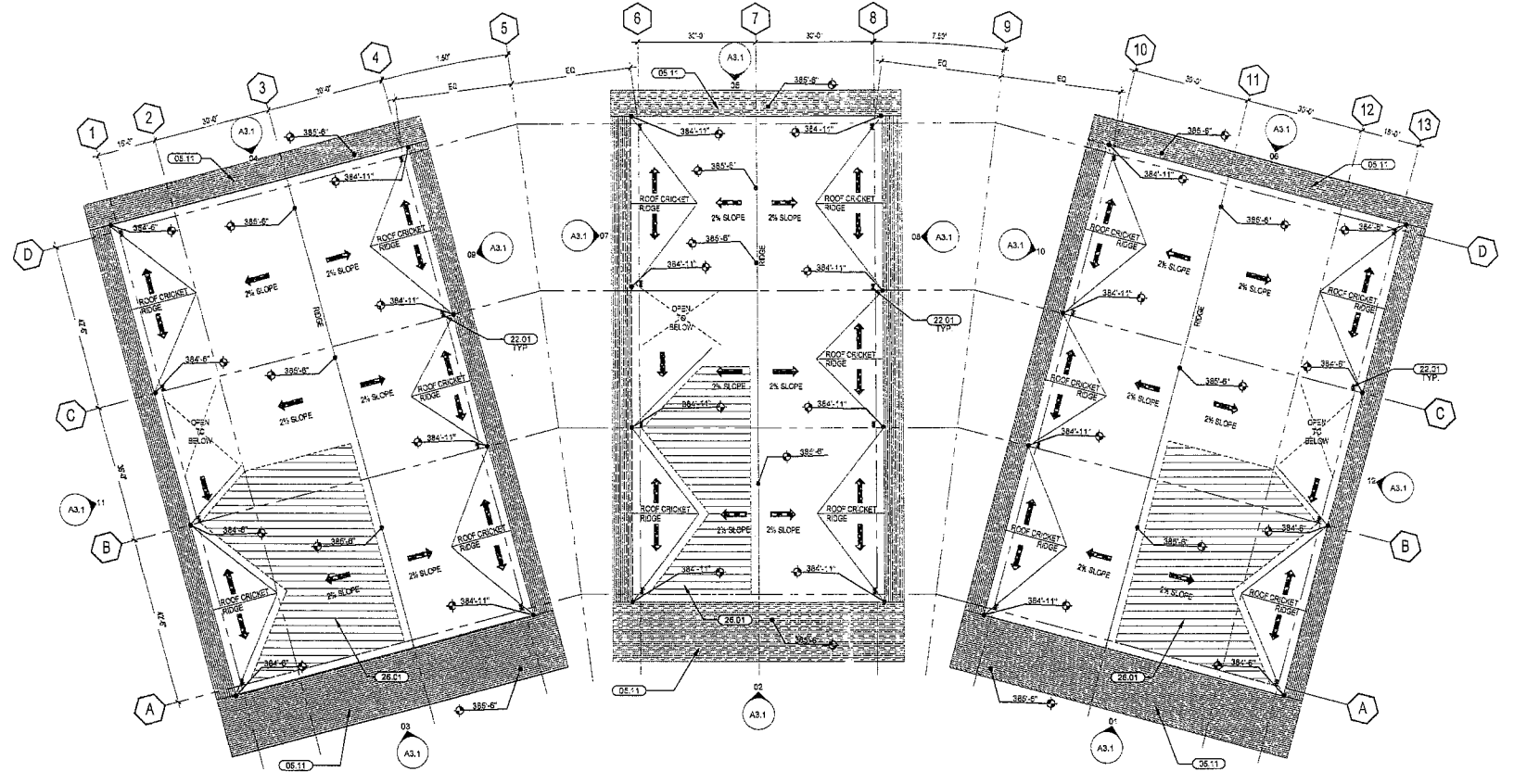
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05 06	EXTERIOR STAIR WITH CUSTOM GUARDRAILS
06 10	CANOPY SUPPORT COLUMNS, H.S.S. COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
08 05	MAIN ENTRY DOOR
14 01	PASSENGER ELEVATOR
32 01	6'-5" X 18'-0" PARKING STALL, TYP LND

KEYNOTES

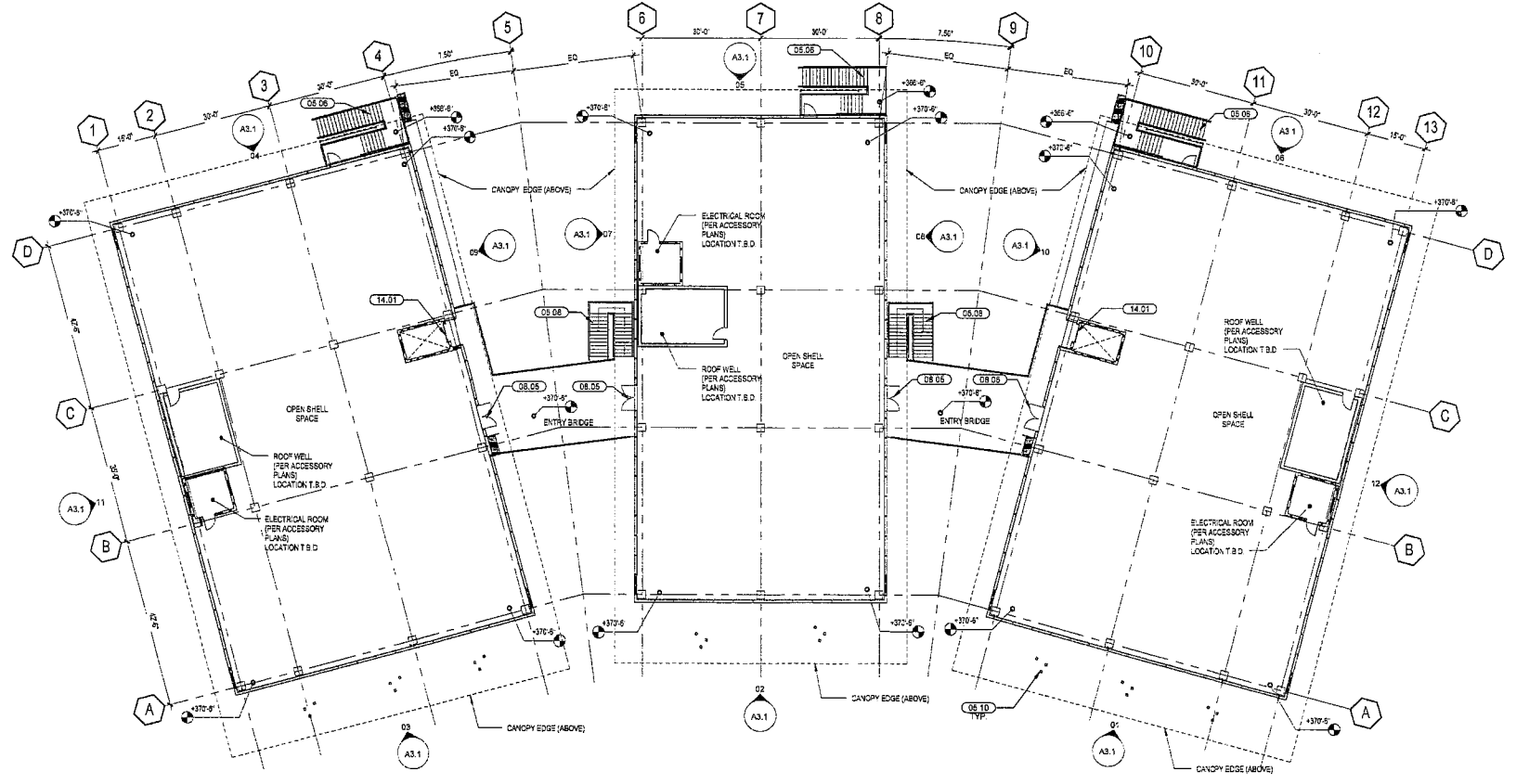


KEY PLAN

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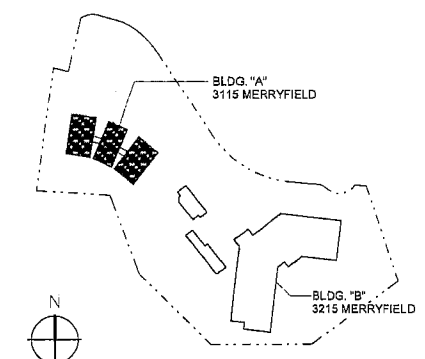
R1 - ROOF PLAN 1/16" = 1'-0" 2



L2 - FLOOR PLAN - LEVEL 2 1/16" = 1'-0" 1

05.06	EXTERIOR STAIR
05.08	EXTERIOR STAIR WITH CUSTOM GLAZERALS
05.10	CANOPY SUPPORT COLLARS, I.E.S. COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
05.11	BUILDING CANOPY, ALUMINUM GRATING, COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
06.05	MAIN ENTRY DOOR
14.01	PASSENGER ELEVATOR
22.01	ROOF DRAIN AND OVERFLOW DRAIN
25.01	AREA DESIGNATED FOR FUTURE SOLAR PANEL INSTALLATION

KEYNOTES



KEY PLAN

NOTE:
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REQUIREMENTS ESTABLISHED BY THE CITY OF SAN DIEGO MUNICIPAL CODE, COUNTY PLANS AND LOCAL ORDINANCES, REGULATIONS, AND
MAINTAINING THE FLEXIBILITY TO ACCEPT OTHER BUILDING STANDARDS BASED ON THE PROGRESS OF THE PROJECT. (SHEET 1 OF 1)

LPA
Landscape Planning Associates
P: 619.776.2330
F: 619.776.2331
E: info@lpa.com
WWW.LPA.COM

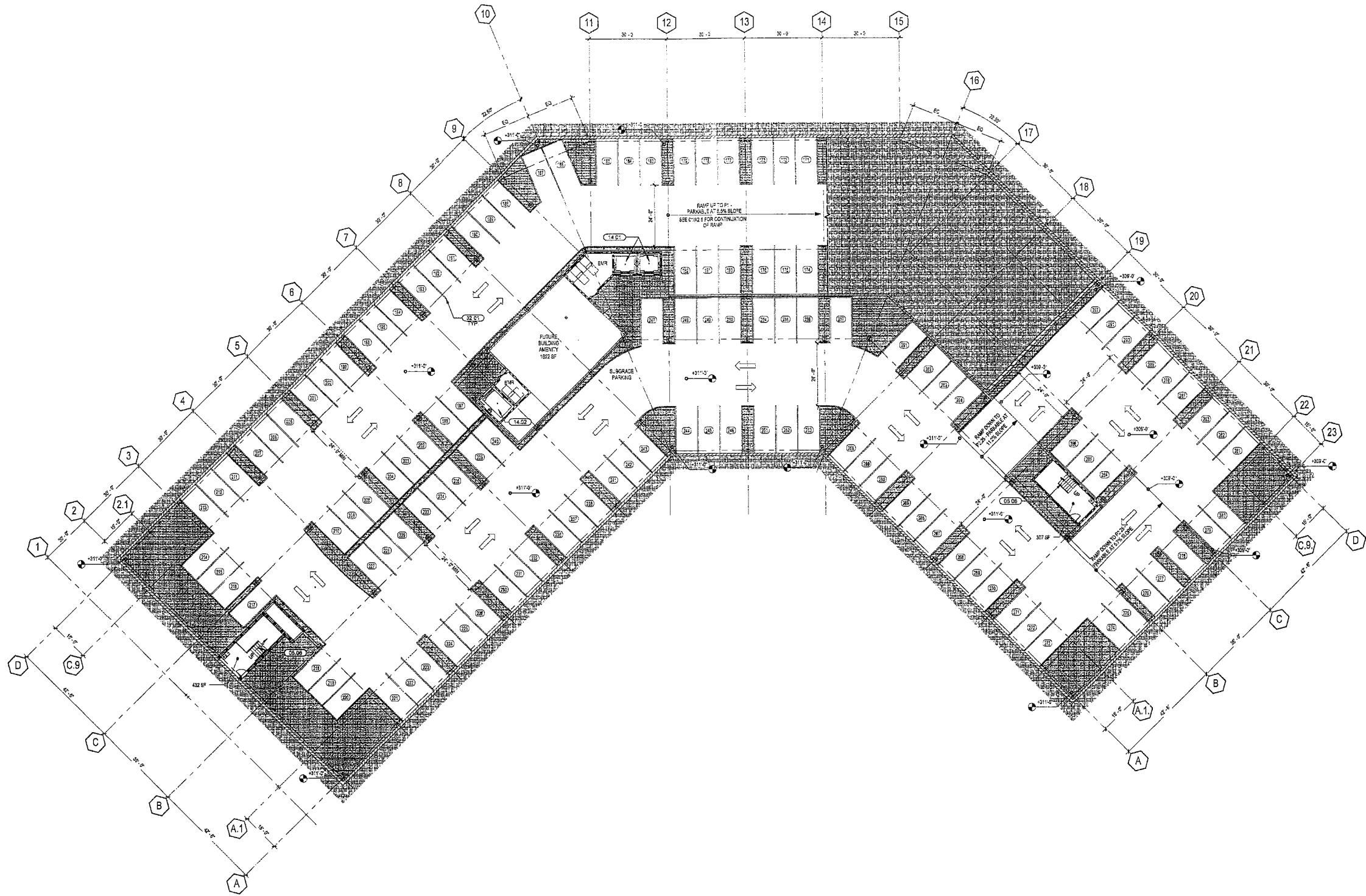


SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

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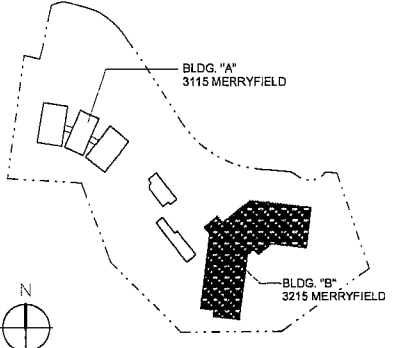
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P2 - PARKING LEVEL 2 1/8" = 1'-0" 1

32.00	JEOPARDY STAIR
14.01	PASSENGER ELEVATOR
14.02	SERVICE ELEVATOR
32.01	18'-0" X 18'-0" PARKING STALL TYP UNC

KEYNOTES



KEY PLAN

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MAINTAINING THE FLEXIBILITY TO ACQUIRE FROM THE BUILDING DEVELOPER, BASED ON THE PROGRAMS OF THE PROJECT. CONTACT

LPA

51762555
1000
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1998 Building Act
San Diego, California 92115

REGISTERED ARCHITECT
Eric Allen
No. C 30824
01/22/21
STATE OF CALIFORNIA

SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

DATE: 04/18/18
BY: [Signature]
CHECKED BY: [Signature]
SCALE: As Indicated

CONCEPTUAL FLOOR
PLAN (BUILDING B)

A2.4

8-SET 28 OF 41



SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

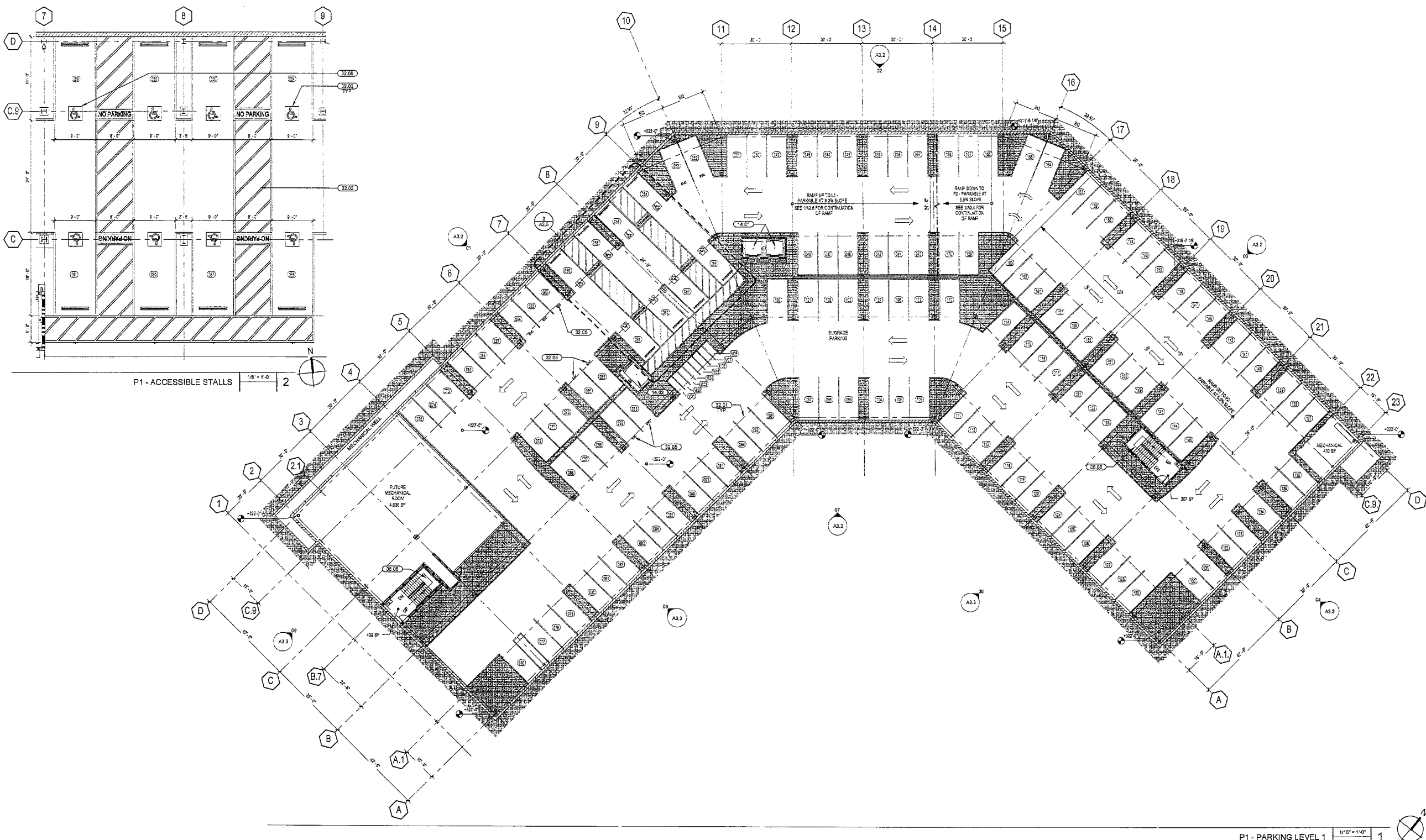
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CONCEPTUAL FLOOR PLAN (BUILDING B)

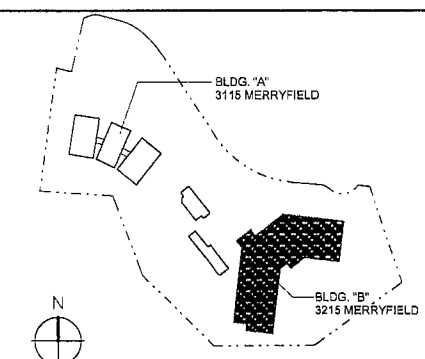
A2.5



P1 - PARKING LEVEL 1 1/8" = 1'-0" 1

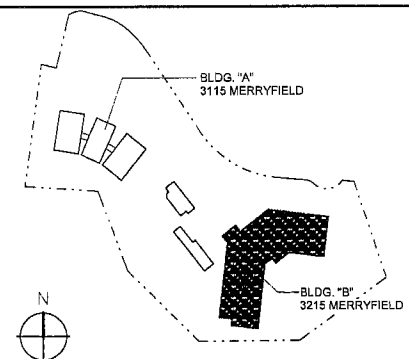
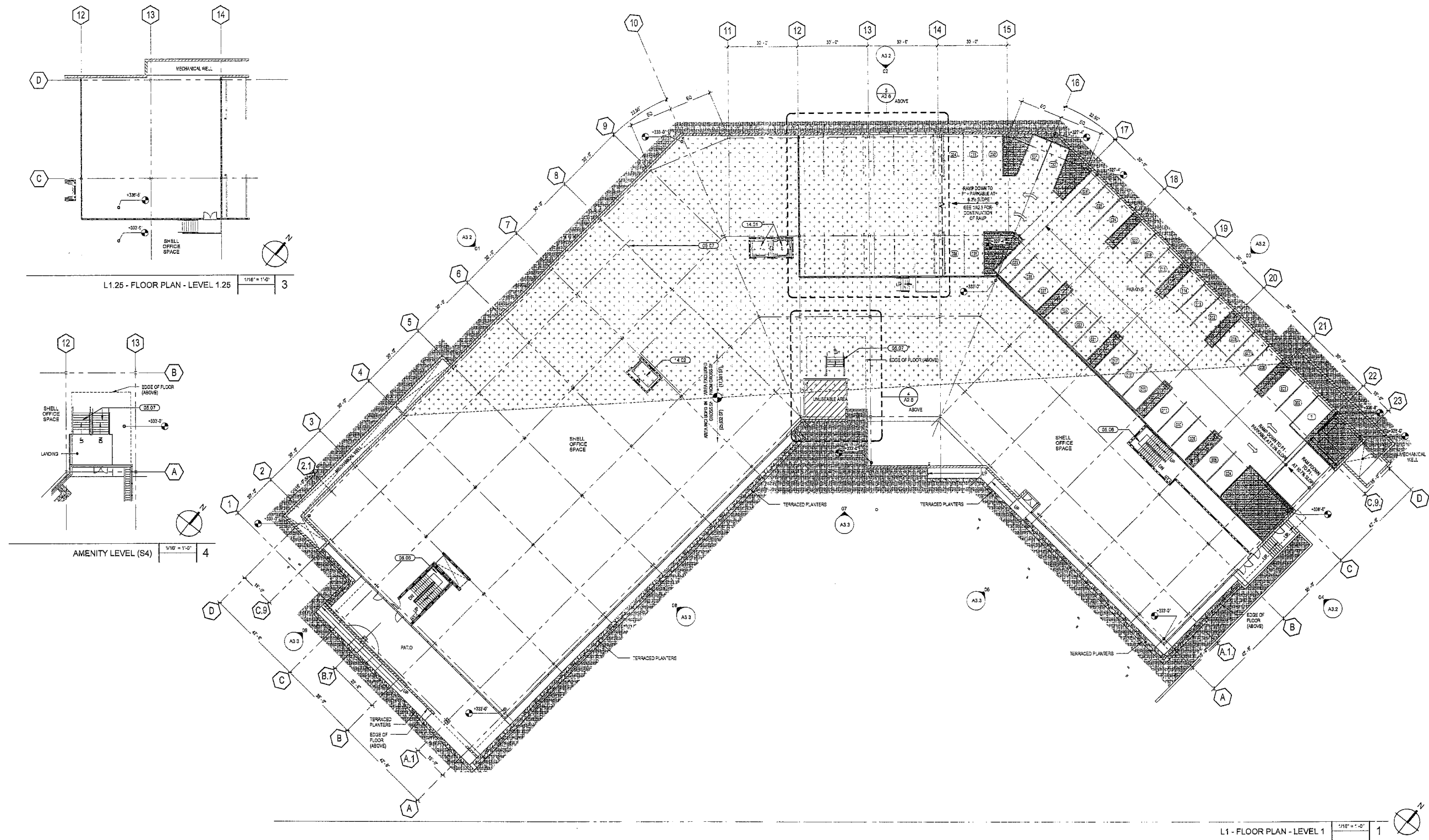
10.00	EXPRESS STAIR
10.01	PASSENGER ELEVATOR
10.02	SERVICE ELEVATOR
10.03	18'0" X 12'0" PARKING STALL TYP
10.04	18'0" X 12'0" ACCESSIBLE PARKING STALL TYP
10.05	18'0" X 12'0" ELECTRIC VEHICLE CHARGING STALL TYP
10.06	18'0" X 12'0" ACCESSIBLE PARKING STALL ELECTRIC VEHICLE CHARGING

KEYNOTES



KEY PLAN

NOTE: THE ILLUSTRATIONS AND NOTES SHOWN IN THIS DOCUMENT ARE CONCEPTUAL. THE INTENT OF THIS DOCUMENT IS TO PROVIDE THE INFORMATION FOR THE CITY OF SAN DIEGO TO CONSIDER THE PROJECT AND TO PROVIDE THE CITY OF SAN DIEGO WITH THE INFORMATION TO CONSIDER THE PROJECT. THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DOCUMENT.

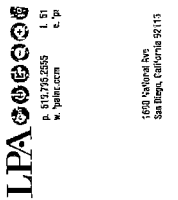


05 06	EGRESS STAIR
05 07	FEATURE STAIR WITH UPGRADED FINISHES
14 01	PASSENGER ELEVATOR
14 02	SERVICE ELEVATOR

KEYNOTES

KEY PLAN

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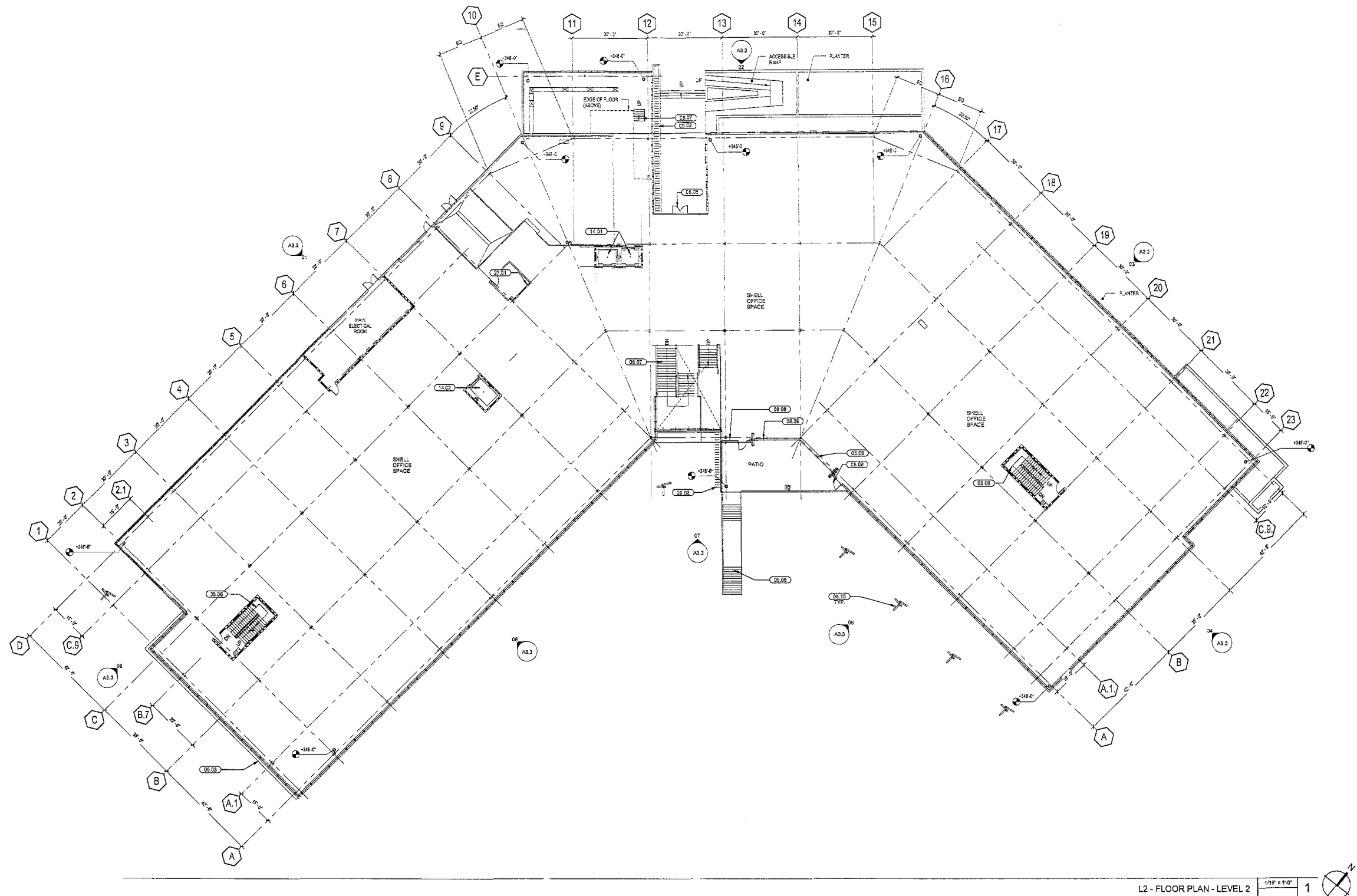
SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

This set of plans, specifications, and notes for the proposed development of the site at 3115 & 3215 Merryfield Row, San Diego, California, is intended to provide the City of San Diego with the information necessary to make a decision on whether to approve the proposed development. The City of San Diego is not responsible for the accuracy or completeness of the information provided in this set of plans, specifications, and notes. The City of San Diego is not responsible for the accuracy or completeness of the information provided in this set of plans, specifications, and notes. The City of San Diego is not responsible for the accuracy or completeness of the information provided in this set of plans, specifications, and notes.

Revision	Description	Date
1	Initial	04/10/18

Author	Eric Allen
Checker	Eric Allen
Designer	Eric Allen
Project Manager	Eric Allen
Client	Eric Allen
Contract	Eric Allen
Address	Eric Allen
City	Eric Allen
State	Eric Allen
Zip	Eric Allen
Country	Eric Allen

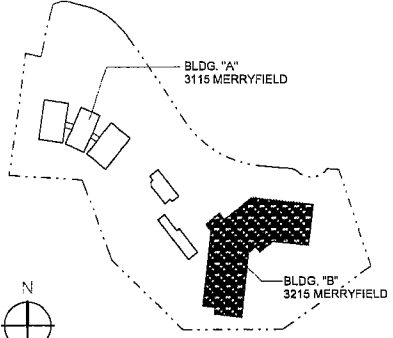
CONCEPTUAL FLOOR PLAN - (BUILDING B)
A2.7
SHEET 38 OF 41



L2 - FLOOR PLAN - LEVEL 2 1/8" = 1'-0" 1

02.01	COMPOSITE METAL HORIZONTAL SHADE FINS
02.02	EXPRESS STAIR
02.03	FEATURE STAIR WITH UPGRADED FINISHES
02.04	EXTERIOR STAIR WITH CUSTOM GUARDRAILS
02.05	CANOPY SUPPORT COLUMNS, H.S.S., COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
02.06	MAIN ENTRY DOOR
02.07	EXPRESS DOOR
02.08	SLIDING DOOR
02.09	FEATURE WALL WITH UPGRADED FINISHES
14.01	PASSENGER ELEVATOR
14.02	SERVICE ELEVATOR
27.01	WALL FOR BACKER BOARD FOR FUTURE NOSE

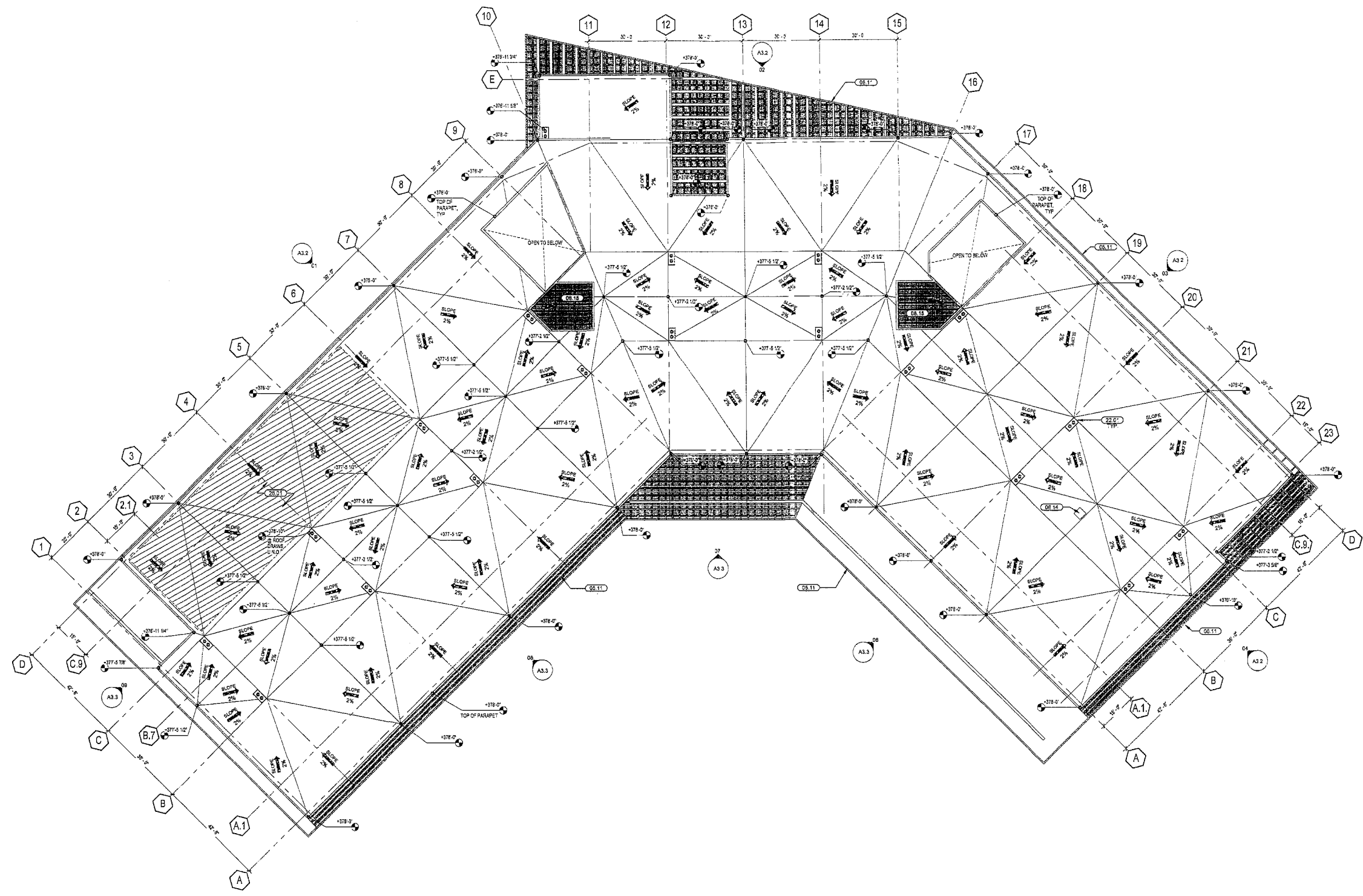
KEYNOTES



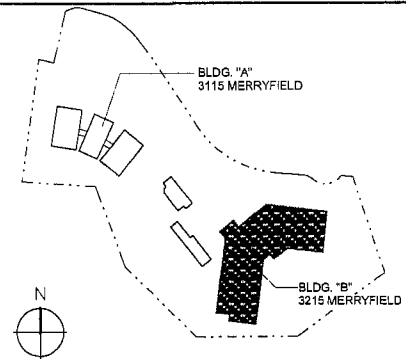
KEY PLAN

NOTE: THE ILLUSTRATIONS, GRAPHS AND NOTES SET FORTH IN THIS DOCUMENT ARE CONCEPTUAL. THE INTENT OF THIS DOCUMENT IS TO PROVIDE THE GUIDELINES FOR THE DESIGN AND CONSTRUCTION OF THE PROPOSED DEVELOPMENT. THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED IN THIS DOCUMENT. THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED IN THIS DOCUMENT. THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED IN THIS DOCUMENT.

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R1 - ROOF PLAN	1/16" = 1'-0"	1	
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KEY PLAN

05 11	BUILDING CANOPY, ALUMINUM GRATING, COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
06 14	ROOF ACCESS HATCH
22 01	ROOF DRAIN AND OVERFLOW DRAIN
26 01	AREA DESIGNATED FOR FUTURE SOLAR PANEL INSTALLATION

KEYNOTES

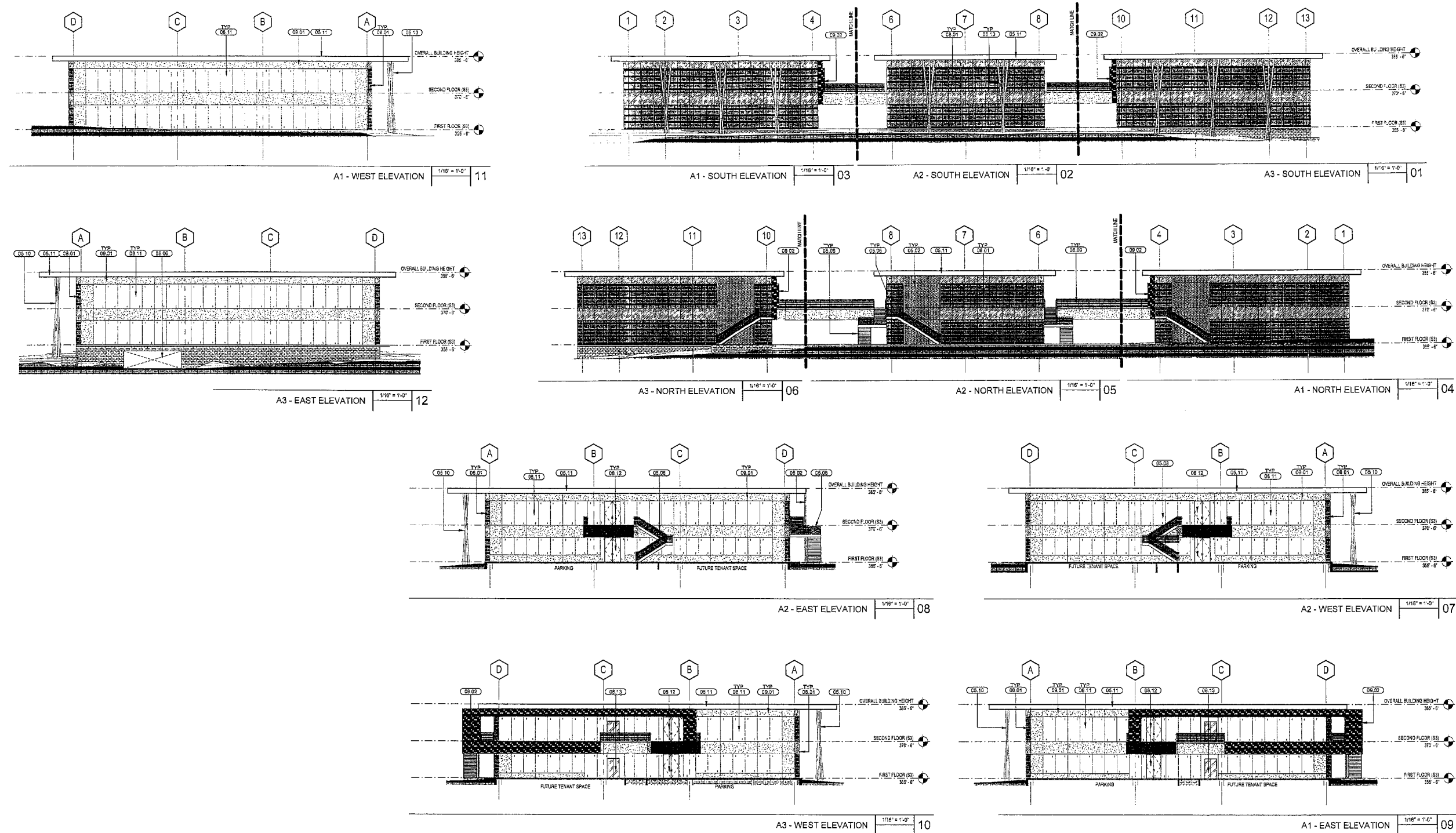
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[illegible]

CONCEPTUAL ROOF
PLAN - (BUILDING B)

A2.9

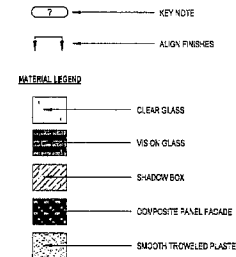
SHEET 34 OF 41



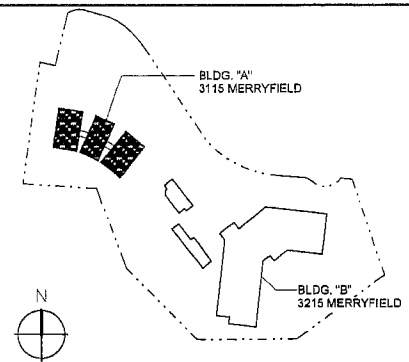
05-02	PERFORATED METAL SCREEN/SU-SHADING SCREEN/FRAMED PANEL,
05-03	LEDRESS STAR
05-04	LEDRESS STAR WITH CUSTOM GRILLS
05-05	CUSTOM GRILLS
05-06	CANOPY SUPPORT COLUMNS, H.S.S. COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND LANDSCAPE
06-01	BUILDING CANOPY, ALUMINUM GRATING, COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND LANDSCAPE
06-02	UNITIZED CURTAIN WALL, BRITLY
06-03	GARAGE ENTRY
06-04	TRUBON IN-KITCHEN SYSTEM
06-05	DOUBLE GLASS ENTRY DOORS
06-06	ELEVATOR DOOR
06-07	EXTERIORLY WATER FINISH
06-08	FEATURE WALL WITH UPGRADED FINISHES

KEYNOTES

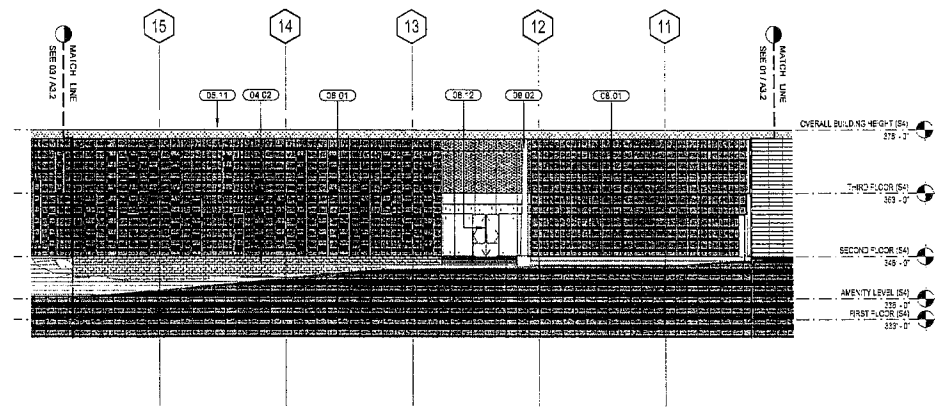
SYMBOL LEGEND



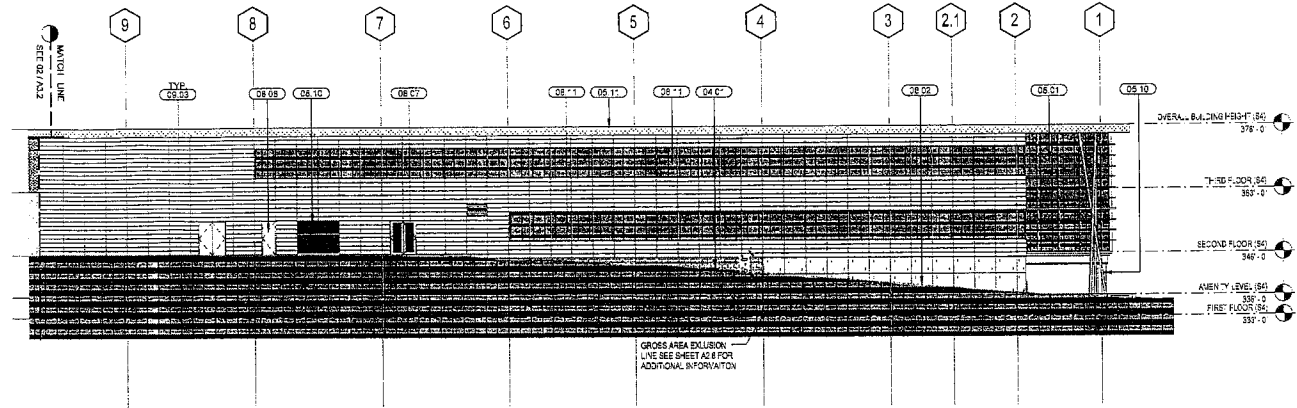
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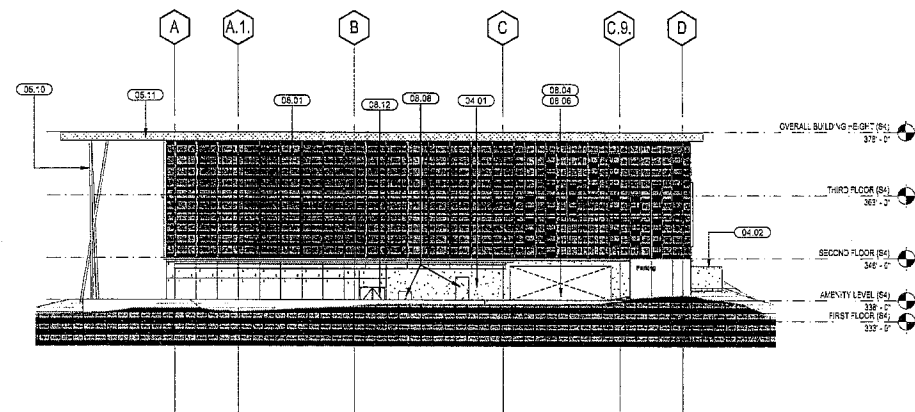
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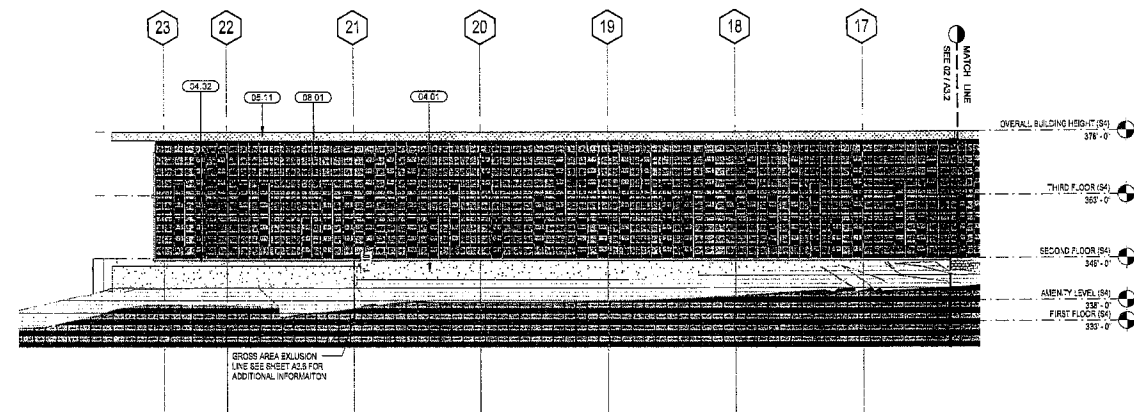
NORTH-WEST ELEVATION	1.16' ± 1.0'	02
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WEST ELEVATION	1/16" = 1'-0"	01
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PARTIAL EAST ELEVATION 1 1/16" = 1'-0" 04

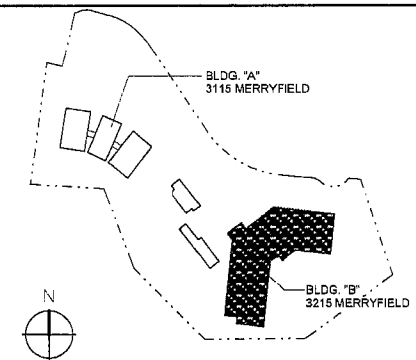


NORTH ELEVATION	$1/16" = 1'-0"$	03
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04-01	CONCRETE MASSORY UNIT WALL WITH 5/8"X20"X16" TROUBLE PLASTER FINISH, COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
04-02	CONCRETE MASSORY UNIT PLASTER WALL WITH 5/8"X20"X16" TROUBLE PLASTER FINISH, COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
04-03	CANOPY SUPPORT COLUMN WITH 5/8" X 8" COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
04-04	CONCRETE MASSORY UNIT WALL WITH 5/8"X20"X16" TROUBLE PLASTER FINISH, COLOR AND TEXTURE TO COMPLEMENT SURROUNDING BUILDINGS AND NATURAL LANDSCAPE
04-05	UNITED CURTAIN WALL SYSTEM
04-06	5" SLOPEPOINT CURTAIN WALL SYSTEM
04-07	CHANGE ENTRY SECURITY GATE
04-08	GARAGE ENTRY
04-09	DOUBLE DOOR
04-10	REFRESH DOOR
04-11	ROLL UP DOOR
04-12	RIBBON WINDOW SYSTEM
04-13	ALUMINUM WINDOW SILLING
04-14	FEATURE WALL WITH BRICKWORK FINISHES
04-15	RAIN SCREEN PANELING

SYMBOL LEGEND

MATERIAL LEGEND



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SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

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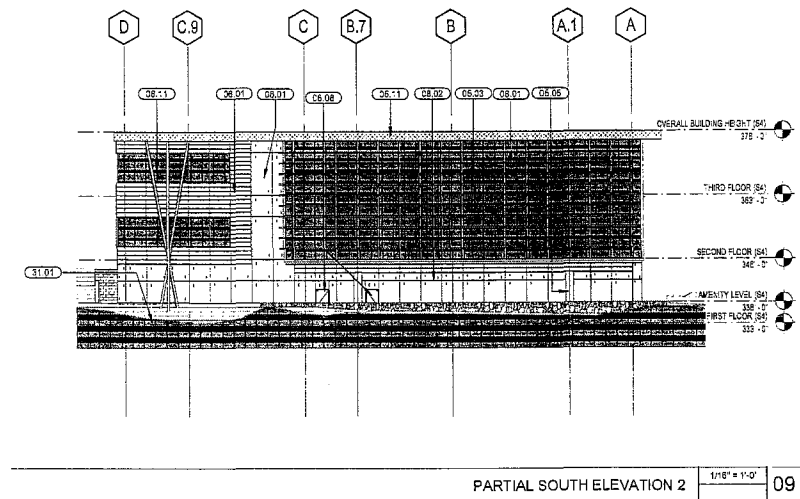
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
CONCEPTUAL
ELEVATIONS -
(BUILDING B)


A3.2

SECRET 5A CF 61


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SYMBOL LEGEND


 — KEY NOTE


 — ALUM. FINISHES


MATERIAL LEGEND

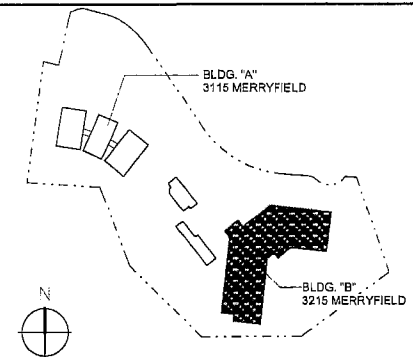
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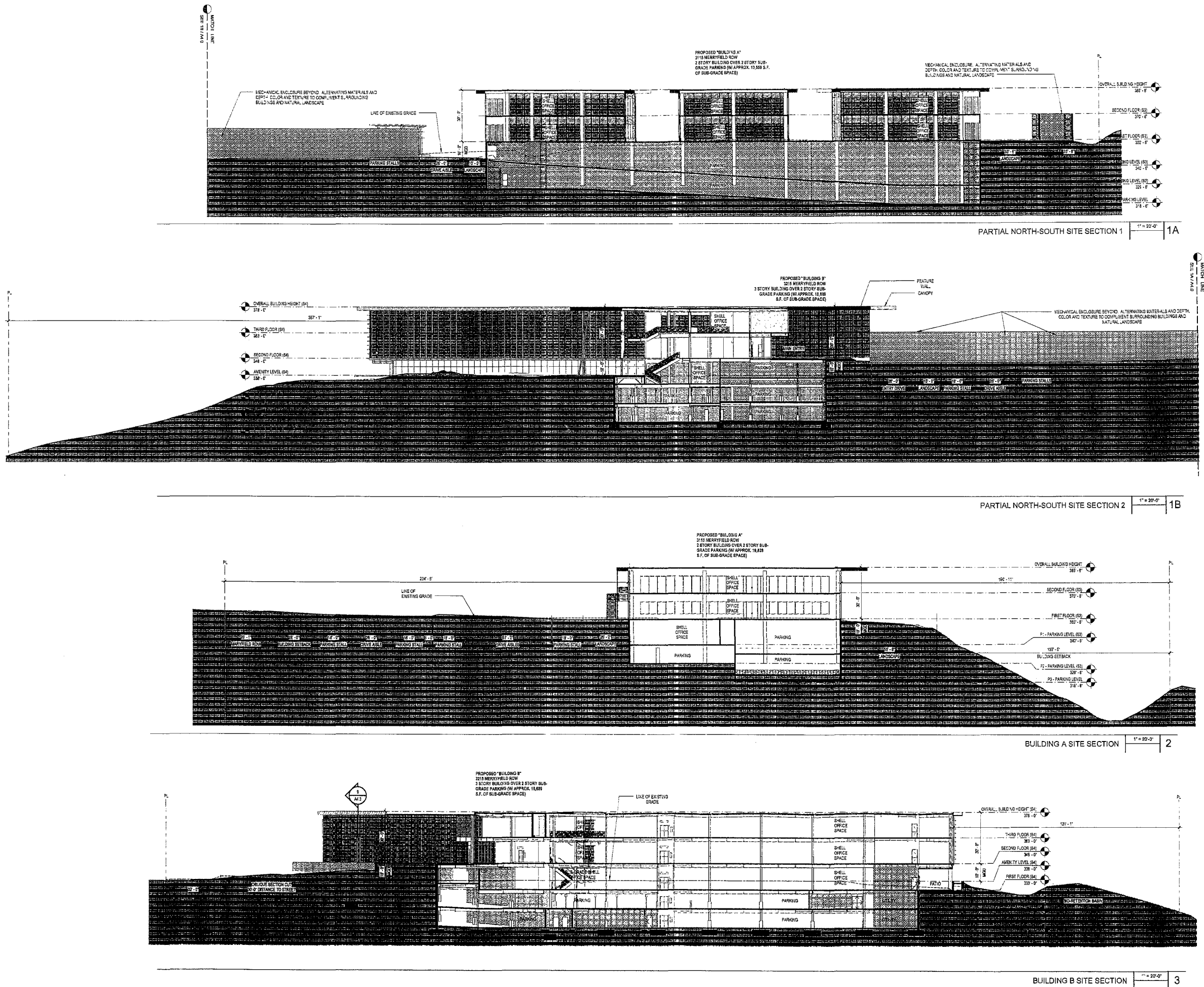
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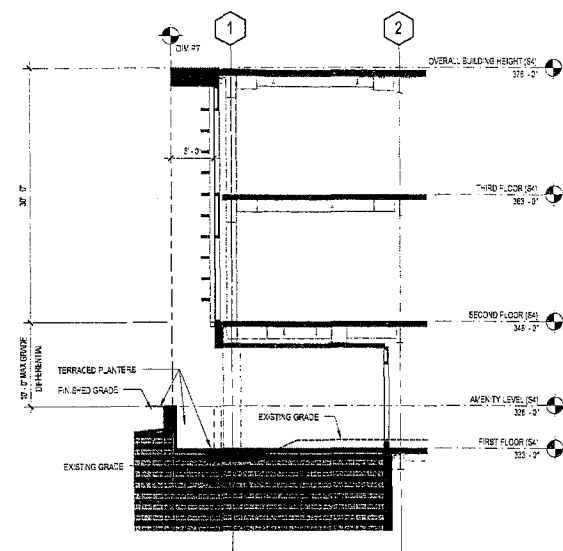
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 — SMOOTH-TRIOMED PLASTER

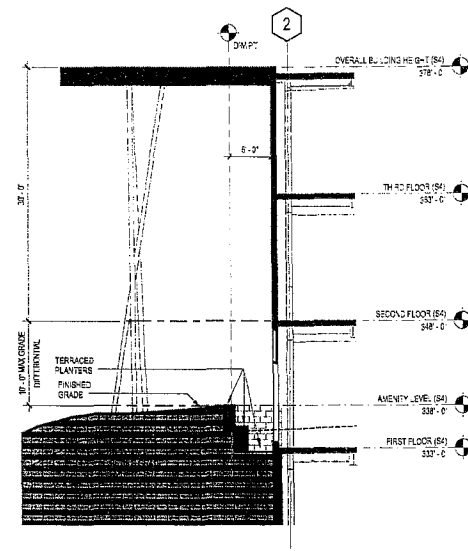


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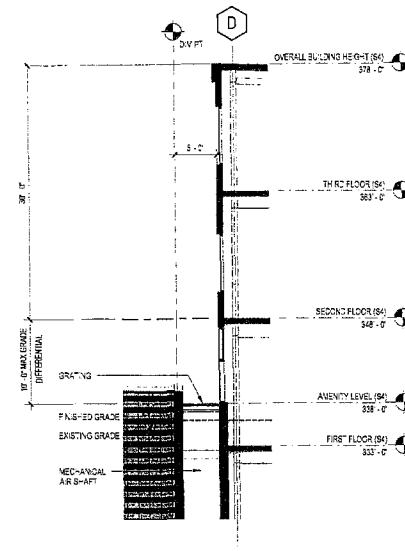




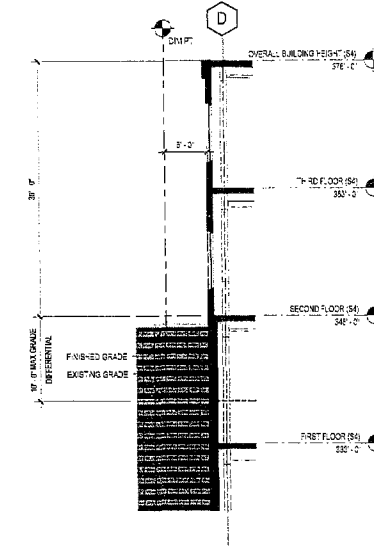
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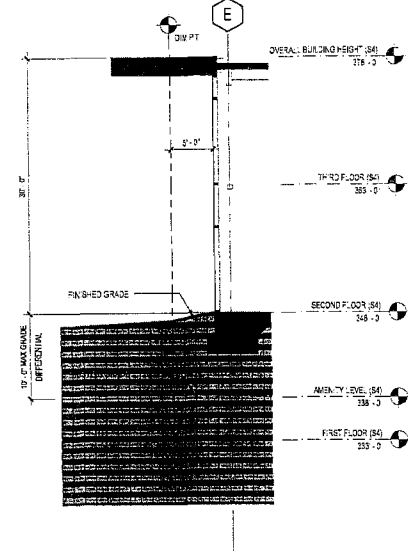
BUILDING B - SECTION 04	1'6" to 1'0"	0
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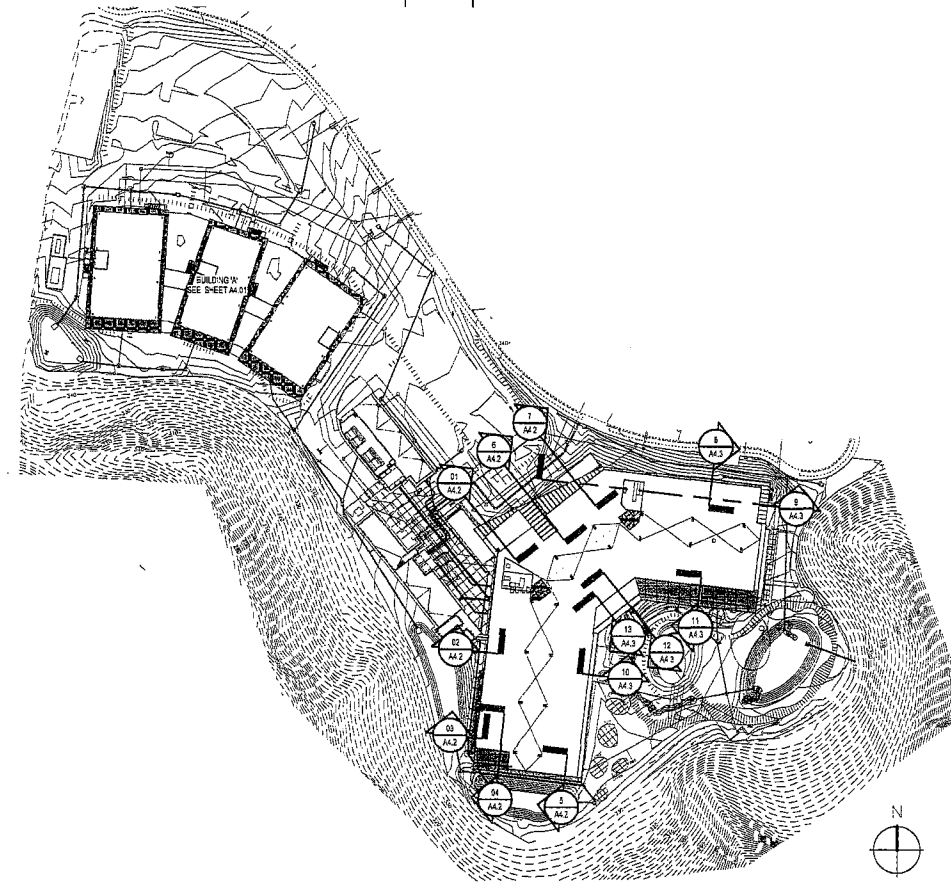
BUILDING B - SECTION 03



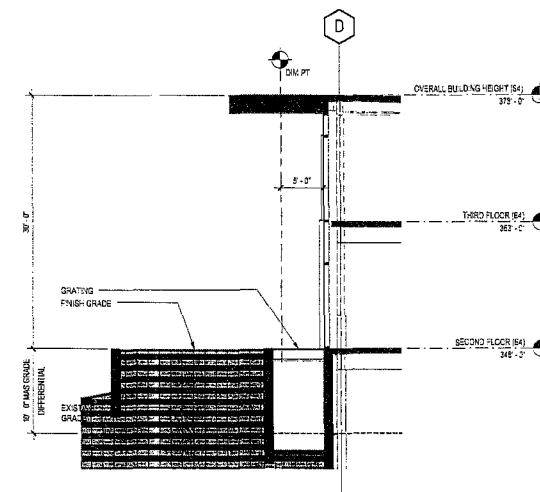
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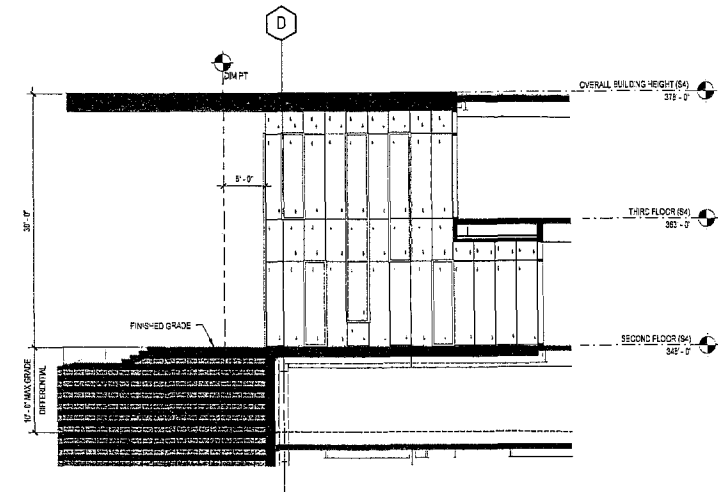
BUILDING B - SECTION 01 | 01



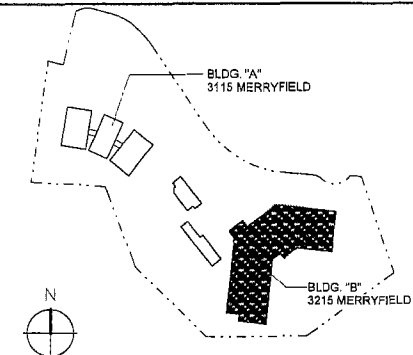
BUILDING B - SECTION KEY PLAN	1" = 80'-0"
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BUILDING B - SECTION 07	1/8" = 1'-0"	7
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BUILDING B - SECTION 06	1/8" = 1'-0"
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KEY PLAN

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[illegible][illegible]

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EDT / COP AMENDMENT PACKAGE RESUBMITTAL	04/16/16

COASTAL HEIGHT
COMPLIANCE
(BUILDING B)

A4.2

1987-10-CE-41

LPA
1500 North Ave
San Diego, CA 92115
P: 619.755.2515
F: 619.755.2516
www.lpa.com

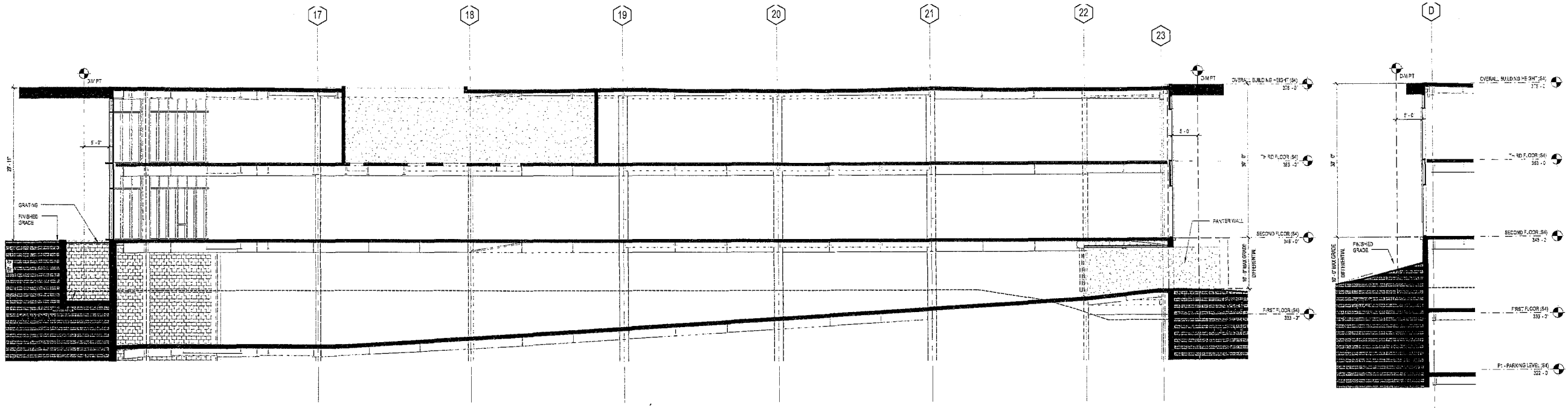


SPECTRUM III & IV
3115 & 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

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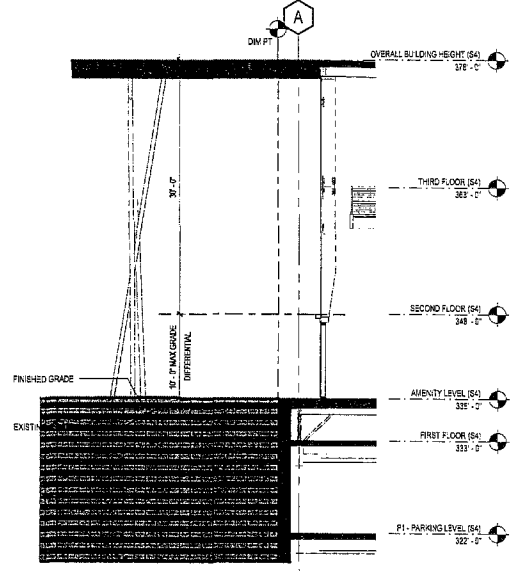
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100	ISSUED FOR PERMITTING	04/18/18

DATE	10/26/10
JOB NO.	04/18/18
DES.	04/18/18
CHECKED BY	04/18/18
SCALE	1/8" = 1'-0"
COASTAL HEIGHT COMPLIANCE (BUILDING B)	
A4.3	
SHEET 41 OF 41	

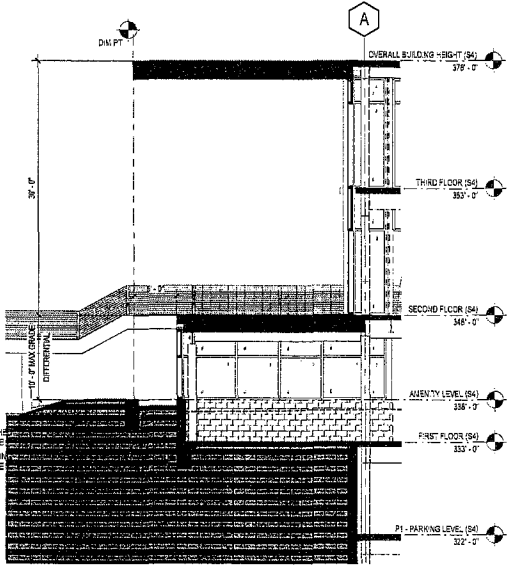


BUILDING B - SECTION 09 1/8" = 1'-0" 9

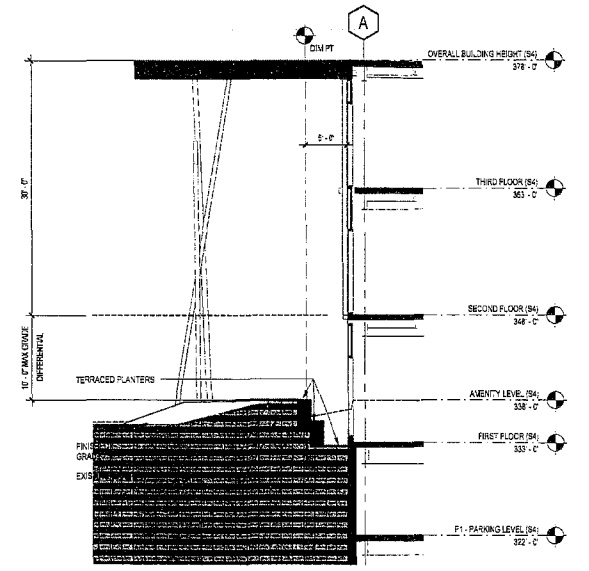
BUILDING B - SECTION 06 1/8" = 1'-0" 8



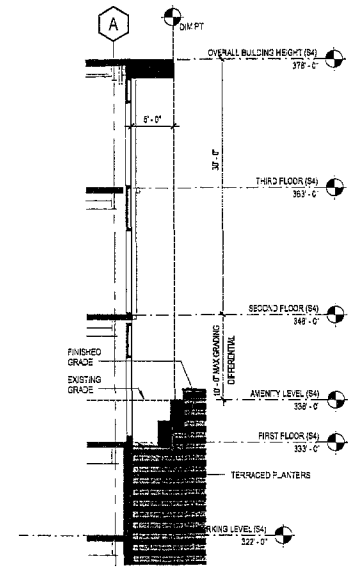
BUILDING B - SECTION 13 1/8" = 1'-0" 13



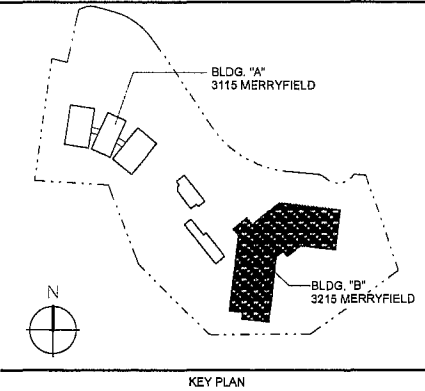
BUILDING B - SECTION 12 1/8" = 1'-0" 12



BUILDING B - SECTION 11 1/8" = 1'-0" 11



BUILDING B - SECTION 10 1/8" = 1'-0" 10



KEY PLAN