



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: November 10, 2016 REPORT NO. PC-16-084  
HEARING DATE: November 17, 2016  
SUBJECT: SAN DIEGO MISSION; Process Four Decision  
PROJECT NUMBER: [432756](#)  
OWNER/APPLICANT: SD Mission Road Communities, LLC, San Diego Habitat for Humanity, and Mission Ridge Homeowners Association

### SUMMARY:

Issue: Should the Planning Commission approval an application for the demolition of two commercial buildings and the construction of 58 residential condominium townhomes that includes six on-site affordable units on a 2.65-acre site located at 10222 and 10306 San Diego Mission Road in the Mission Valley Community Plan area?

### Staff Recommendations:

1. ADOPT Mitigated Negative Declaration No. 432756, and ADOPT the Mitigation Monitoring and Reporting Program; and
2. APPROVE Site Development Permit No. 1685916; and
3. APPROVE Tentative Map No. 1523893.

Community Planning Group Recommendation: On April 6, 2016, the Mission Valley Planning Group vote 16-0-2 to recommend approval of the project with no conditions (Attachment 13).

Environmental Review: Mitigated Negative Declaration No. 432756 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Historical Resources (Archaeology) and Noise. A Mitigation Monitoring and Reporting Program (MMRP) would be implemented with this project, which shall reduce the potential impacts to below a level of significance.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The Mission Valley Community Plan designates the project site for Residential land use and it is located within the Mission Valley Development Intensity District M (DID-M). The 2.65-acre site is entitled to a maximum density of 53 units in accordance with [San Diego Municipal Code \(SDMC\) Section 1514.0304\(c\)](#). The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing a density bonus in accordance with [SDMC Section 143.0715\(a\)](#) to increase the total density to 58 units and will provide six on-site affordable for-sale low-income housing units at 80-percent area median income (AMI).

## BACKGROUND

The project site is located at 10222 and 10306 San Diego Mission Road located in the MVR-2 Zone of the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity District M (DID- M), and the Mission Valley Community Plan area (Attachments 1 through 4). In addition, the site is located within the Airport Influence Area (Review Area 2), Airport Land Use Compatibility Plan (ALUCP) Overlay Zone for Montgomery Field, and the Federal Aviation Administration Part 77 Noticing Area for Montgomery Field. The community plan designates the project site as Residential and is located within the DID-M. The maximum residential density is based on the DID trip allocation, [SDMC Section 1514.0301](#), and expressed in dwelling units per gross acre (du/ac). The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53-units in accordance with SDMC Section 1514.0304(c).

The site consists of two parcels and a portion of a parcel of land fronting Rancho Mission Road from the adjacent condominium development. On June 30, 2016, the adjacent Mission Ridge Homeowners Association granted and recorded an easement (0.209-acres that is approximately 37 feet wide x 243 feet long) along Rancho Mission Road for the purpose of accessing, constructing, installing, using, inspecting, maintaining, repairing and replacing from time to time, pedestrian pathways, concrete curbing, brow ditch, retaining walls, storm water drainage facilities, water quality facilities, and other improvements to SD Mission Road Communities, LLC. The topography of the site along Rancho Mission Road changes from 76 feet at the southeastern corner to 103 feet at the northeastern corner (approximately a 27-foot differential), and along San Diego Mission Road changes from 76 feet at the southwestern corner to 130 feet at the northwestern corner (approximately a 54-foot differential). The site is located above the 100-year floodplain, and is not located within or adjacent to the City's Multiple Habitat Planning Area and does not contain any Environmentally Sensitive Lands as defined in [SDMC Section 113.0103](#).

The site has been previously graded and developed with two commercial buildings that were constructed in 1956 and 1957. A historical assessment was performed and City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The surrounding properties have been previously graded and developed. The properties to the west, north, and east are developed with multi-family housing (condominiums and rental units), are zoned MVR-2 in the MVPDO and the community plan designates the sites as Residential. The properties to the south are developed with a local retail complex and office buildings, are zoned MV-CR in the

MVPDO and the community plan designates the sites as Commercial Retail.

## DISCUSSION

### Project Description:

The project site is located at 10222 and 10306 San Diego Mission Road and includes a portion of the parcel from the adjacent condominium development. The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c). The project is utilizing a density bonus in accordance with SDMC Section 143.0715(a) to increase the total density to 58 units and will provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

The proposed development includes 11 three-story townhomes buildings comprised of three six-unit buildings and eight five-unit buildings, and a total of 132 on-site parking spaces in the form of garages, one covered driveway space in front of the garage door, parallel and van accessible spaces, 35 bicycle and 6 motorcycle spaces. The following table is a breakdown of the unit types:

	<b>Unit Type 1</b> (Includes Affordable Units)	<b>Unit Type 2</b>	<b>Unit Type 3</b>	<b>Unit Type 4</b>
Total Square Footage	1,272	1,669	1,706	1849
Bedroom/Bathroom	3/3	3/2.5	3/3.5	4/3.5
Parking Spaces	2 tandem garage	2 car garage & 1 driveway space	2 car garage	2 car garage
Total Unit Type	11	16	12	19

To promote walkability, the townhomes fronting San Diego Mission Road have been designed to allow direct pedestrian connections from the street and connects with the internal pedestrian circulation system. In addition, the internal driveway has been designed with a one-way vehicle circulation and interior pedestrian walkways that are delineated from traffic areas and set apart to provide a separate circulation system. The buildings include articulation and offsetting planes to create visual interest. In addition, the materials and colors of all the buildings combined delineate the different buildings and reduce the appearance of the buildings.

Development of the project requires a Site Development Permit (SDP) for deviations to the base zone regulations that are requested as part of an affordable housing project, and a Tentative Map (TM) for the development of a 58 residential townhome subdivision. Because the project qualifies as an affordable housing project, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

### Project-Related Issues:

Development Incentive for Affordable Housing Density Bonus - The City allows for development incentives requested by the applicant, consistent with density bonus and as set forth in [SDMC](#)

Section 143.0740. In accordance with SDMC Table 143-07B, the project would be allowed one incentive. The applicant is entitled to the concession or incentive, in the form of a deviation to the development regulations, unless the City makes a written finding of denial based on substantial evidence pursuant to SDMC Section 143.0740(c)(1) and Government Code Section 65915(d)(1). The applicant is requesting one affordable housing incentive, in the form of deviation, as follows:

- Rear Yard Setback: A deviation from the SDMC Section 1514.0304(e) to reduce the required rear yard (northern) setback. The required rear yard incremental setback is 17 feet nine inches, based on a 15-foot minimum plus two-foot nine-inch incremental setback because the buildings are over 24 feet in height. The project proposes a two foot deviation to a 15-foot rear yard setback (Attachment 5-Incentive Location Diagram).

The incentive has been reviewed as it relates to the proposed design of the project, the property configuration, the surrounding development, and the affordable housing density bonus regulations and guidelines. The project shall maintain a minimum 15-foot rear yard setback and is consistent with the community plan, has been designed to address the physical environment, and would not adversely impact the public's health or safety. The incentive is consistent with the intent of the density bonus regulations. There is no substantial evidence pursuant to SDMC or the Government Code sections to deny the applicant's request for the incentive; therefore, staff recommends that the Planning Commission approve the incentive.

Deviations- An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The proposed market rate project includes six units of affordable housing and a request for three deviations. The following are the requested deviations with justifications:

1. Side Yard Setback: A deviation from SDMC Section 1514.0304(e) to reduce the side yard (eastern and western) setbacks. The required side yard incremental setback is 10 feet five inches, based on a 10-foot minimum plus five-inch incremental setback because the buildings are over 24 feet in height. The project proposes eliminating the side yard setback on the eastern property line and a 5 inch deviation to a 10-foot side yard setback on the western property line (Attachment 6-Deviation Location Diagram-1).

*Justification:* The proposed buildings along Rancho Mission Road are separated from the public right-of-way by an existing 37 foot wide parcel of land. Functionally, the buildings are separated from the public right-of-way by the landscaped easement, thus meeting the purpose and intent of the setback regulations.

On the western side of the property, the proposed building at the southwest corner is located 10 feet from property line. A minor deviation is needed for the five-inch incremental setback at the southwestern corner of building due to the topography of the site at this location and the angle of the property line.

2. Retaining Wall Height: A deviation from SDMC Section 142.0310(c) to allow for shorter portions of a six-foot-high retaining wall to be constructed along San Diego Mission Road



within the street side setback, where regulations restrict wall height to a maximum of three feet within the required street side setback (Attachment 6-Deviation Location Diagram-2).

*Justification:* Because it is built on a steep hillside, the project site has significant topographical constraints along San Diego Mission Road. Site constraints are further exacerbated by the proposed dedication of additional right-of-way and by new public street improvements in order to provide bike lanes and on-street parking. As a result, the project has been designed with two terraced three-foot-high retaining walls along the San Diego Mission Road frontage with several breaks to allow for stair access and additional trees and landscaping. At approximately eight locations, the lower wall returns into the upper wall to allow for trees to be planted at the public sidewalk elevation on private property directly adjacent to San Diego Mission Road. At each tree location, an eight-foot-long stretch of six-foot-high retaining wall will be located directly behind the tree to retain the onsite grade. This deviation for wall height is necessary to comply with the City's landscape regulations, and enhance the pedestrian experience along San Diego Mission Road thus better integrating the project into the surrounding community.

3. Off-Setting Planes: A deviation is requested from SDMC Section 1514.0304(h) to reduce the number of off-setting planes. The regulations require each building wall elevation to have building offset variations in a minimum of four vertical or horizontal separations between building planes for each 100-foot length of building elevation, or portion thereof. A separation between building planes is distinguished by an average horizontal or vertical difference of three-feet measured perpendicular to the subject plane. Within any 100-foot length of building elevation, no single plane shall total more than 50-percent or less than 20-percent of the building elevation area.

*Justification:* The off-setting planes requirement ensures that building elements will be broken up and variations will create architectural interest. Due to the significant topographical constraints, impacts to the livability of the units, the fire truck access route, and building separations, the project does not meet all of the minimum off-setting planes requirements. However, the project has met the intent of the regulations through a combination of massing changes and color diversity. This theme occurs on each building vertically and horizontally creating architectural interest in a unified community style, while incorporating various off-setting planes and architectural elements that provide shadows along the building facades as illustrated in the project plans (Attachment 15).

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested incentives and deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC. In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

### Community Plan Analysis:

The project site is located within the Mission Valley Community Plan (MVCP) in an area designated for Residential development. The plan encourages a variety of housing types and densities including attached single-family dwelling units such as townhomes, as proposed. The site is surrounded by other residential developments with similar densities and is across from neighborhood serving retail uses. To reduce the reliance on the automobile as directed by the plan policies, the proposed project is designed with a series of pedestrian paths and staircases to provide easy access to an adjacent bus stop (Bus Route 14, that has a frequency of every hour) and to San Diego Mission Road. The Mission San Diego Trolley stop is approximately 1,500 feet to the south of the project site, within walking distance. The project places residential garages on private streets in order to improve the pedestrian experience. In addition, the project fulfills the MVCP policy to use the affordable housing density bonus program to provide on-site affordable units. This project is consistent with the Mission Valley Community Plan, and does not require a Community Plan Amendment.

### General Plan Analysis

The project site is located in an area designated for Residential development according to the General Plan. The General Plan requires open space for play, recreation, and social or cultural activities, which the project includes with an off-leash pet area, a "Little Lending Library", and residential community gardens. The project conforms to the residential noise standards as required by the General Plan and contributes to the City of Villages strategy by adding higher density housing near transit, with onsite infrastructure to allow direct pedestrian connections from the street and connections with the internal pedestrian circulation system, the project will further promote transit use. The project is consistent with the General Plan and does not require a General Plan Amendment.

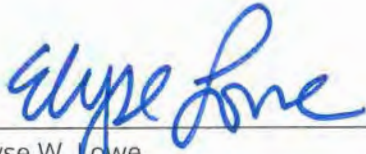
### Conclusion:

With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted MVPDO, SDMC, and the General Plan. In addition, the project would further the City's affordable housing goals by constructing six affordable housing units on-site.

### ALTERNATIVES

1. ADOPT Mitigated Negative Declaration No. 432756, and ADOPT the Mitigation Monitoring and Reporting Program; and APPROVE Site Development Permit No. 1685916 and Tentative Map No. 1523893, with modifications.
2. DO NOT ADOPT Mitigated Negative Declaration No. 432756, and DO NOT ADOPT the Mitigation Monitoring and Reporting Program; and DENY Site Development Permit No. 1685916 and Tentative Map No. 1523893, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe  
Deputy Director  
Development Services Department



Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

L.OWE/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Incentive Location Diagram
6. Deviation Location Diagram
7. Project Data Sheet
8. Draft SDP Permit Resolution with Findings
9. Draft SDP Permit with Conditions
10. Draft TM Resolution with Findings
11. Draft TM Conditions
12. Draft Environmental Resolution
13. Community Planning Group Recommendation
14. Ownership Map and Disclosure Statement
15. Project Plans

Internal Order No. 24006040



## Location Map

**SAN DIEGO MISSION - PROJECT NO. 432756**

10222 and 10306 San Diego Mission Road





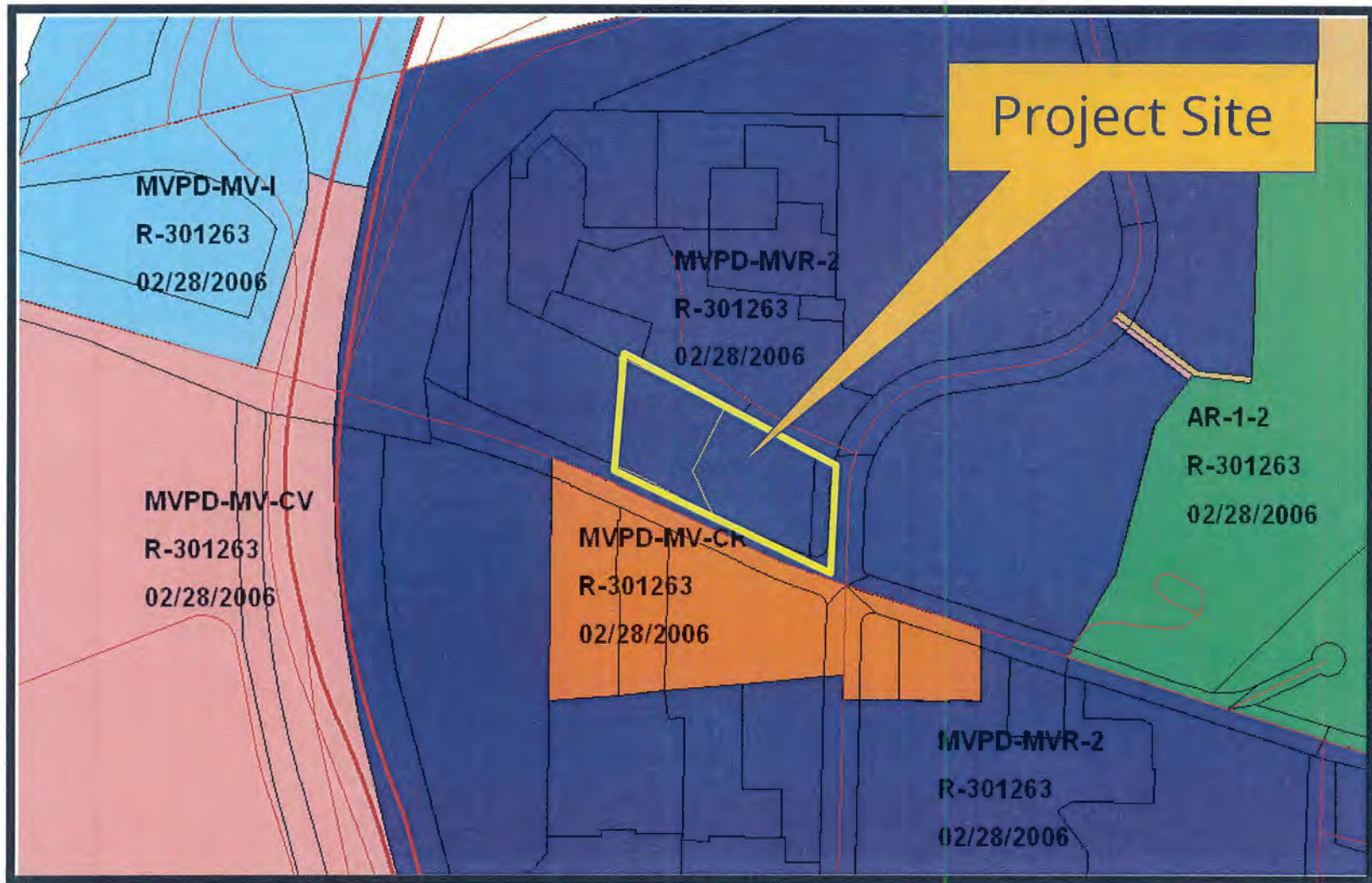


## Aerial Photograph

**SAN DIEGO MISSION - PROJECT NO. 432756**  
10222 and 10306 San Diego Mission Road





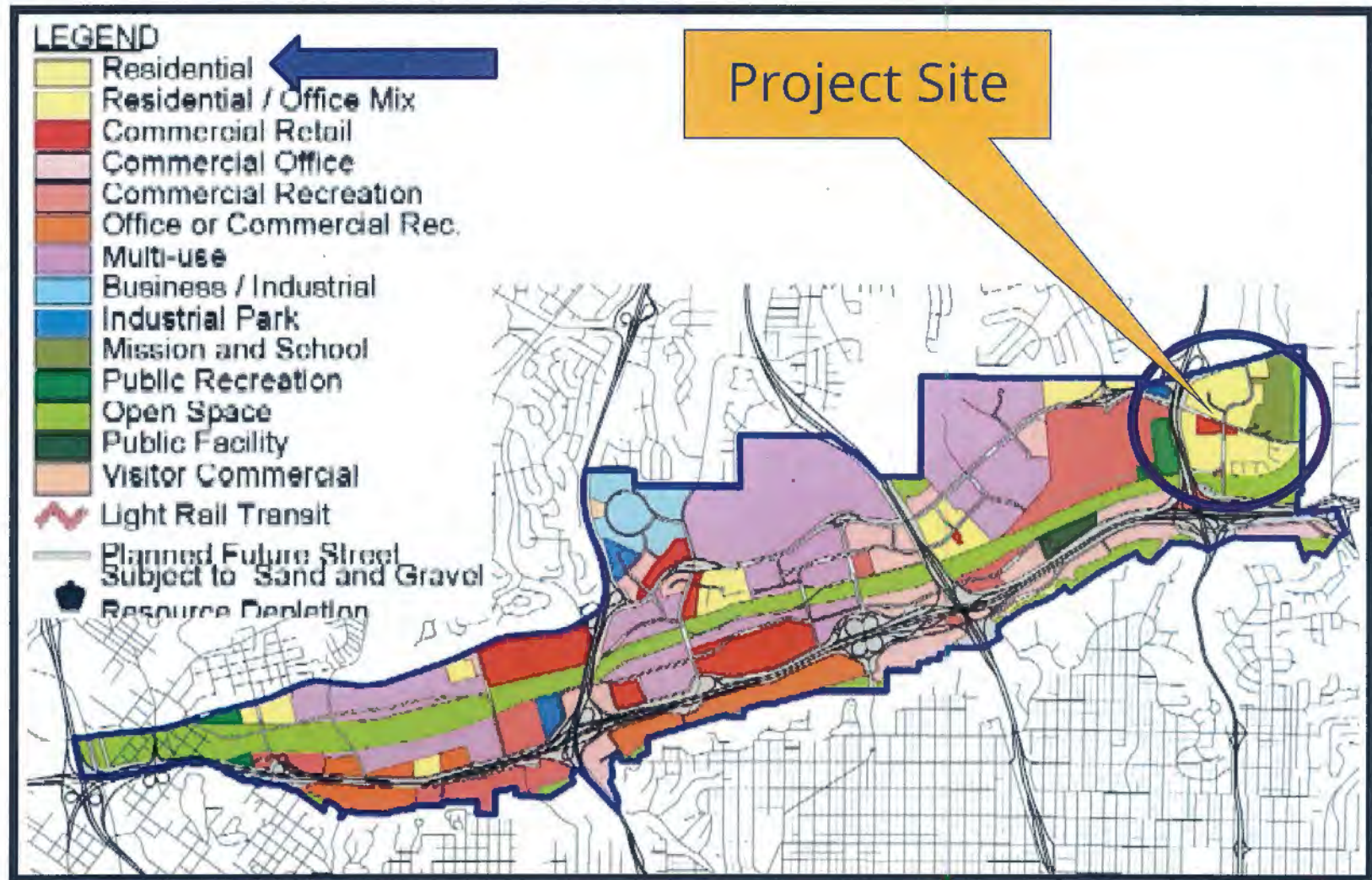


## Zoning Map

**SAN DIEGO MISSION - PROJECT NO. 432756**  
10222 and 10306 San Diego Mission Road







# Mission Valley Community Land Use

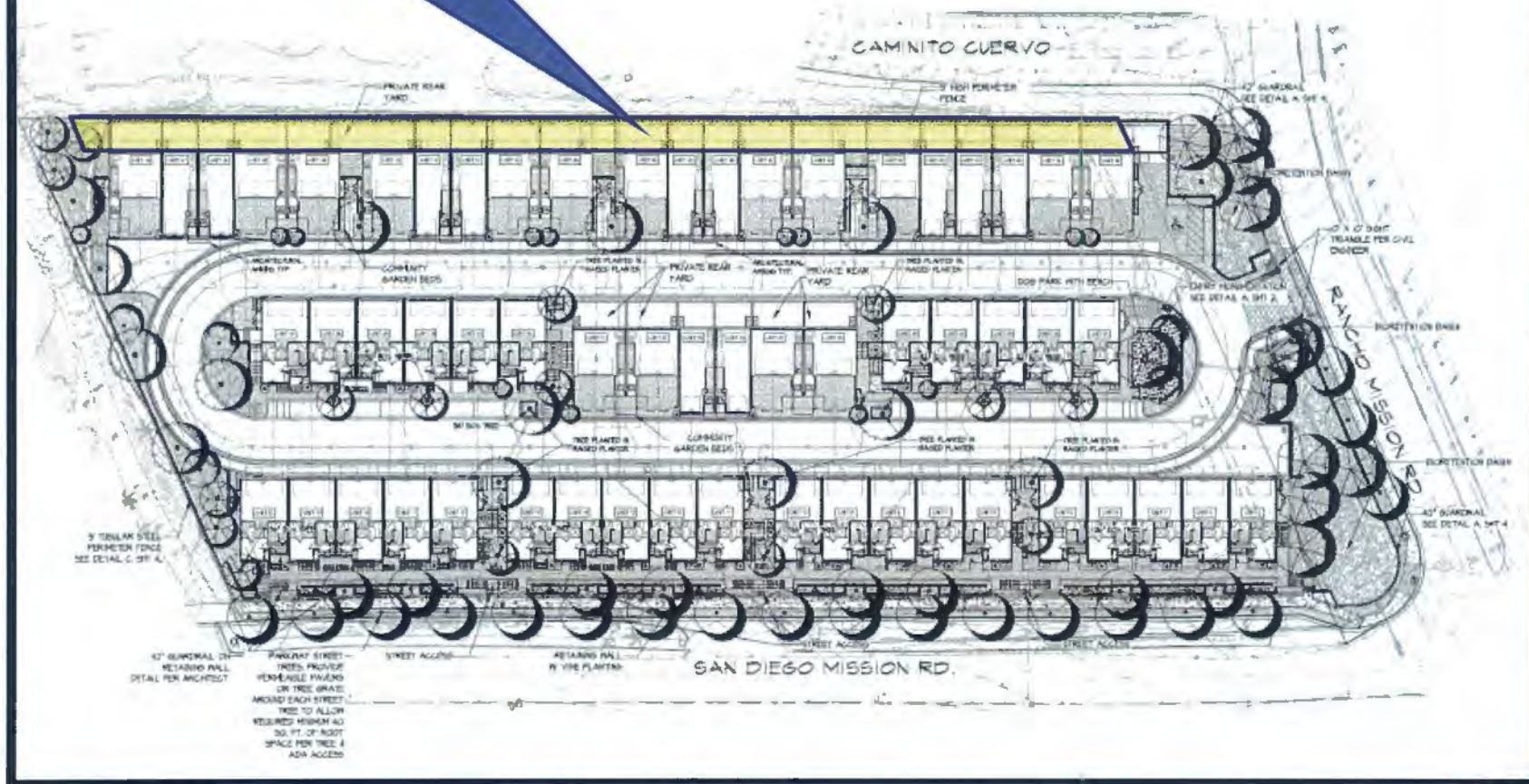
**SAN DIEGO MISSION - PROJECT NO. 432756**

10222 and 10306 San Diego Mission Road





Incentive: Rear Yard Setback



## Incentive Location Diagram

**SAN DIEGO MISSION - PROJECT NO. 432756**

10222 and 10306 San Diego Mission Road





The site plan shows a residential development with multiple rows of units. A blue arrow points from the title 'Deviation 1: Side Yard Setbacks' to a specific area on the plan. A yellow arrow points to a setback area on the right side of the plan. The plan includes various annotations such as 'PRIVATE YARD', 'CAMINO CERRILLO', 'SAN DIEGO MISSION RD.', and 'STREET ACCESS'. It also shows landscaping details like 'TREE PLANTED IN RAISED PLANTER' and 'PRIVATE REAR YARD'.



**SAN DIEGO MISSION - PROJECT NO. 432756**  
10222 and 10306 San Diego Mission Road









PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	San Diego Mission -Project No. 432756	
<b>PROJECT DESCRIPTION:</b>	Demolition of two commercial buildings and the construction of 58 residential condominium townhomes on a 2.65-acre site located at 10222 and 10306 San Diego Mission Road.	
<b>COMMUNITY PLAN AREA:</b>	Mission Valley	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit and Tentative Map	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential	
<p style="text-align: center;"><b><u>ZONING INFORMATION:</u></b></p> <p>           ZONE: MVR-2 Zone (Mission Valley Planned District)            HEIGHT LIMIT: None            LOT SIZE: 7,000 square foot minimum            FLOOR AREA RATIO: 0.50 maximum            FRONT SETBACK: 15 feet + 0.25 incremental for each story of 24 feet            SIDE SETBACK: 10 feet + 0.20 incremental for each story of 24 feet            STREETSIDE SETBACK: NA            REAR SETBACK: 15 feet + 0.20 incremental for each story of 24 feet            PARKING: 132 spaces         </p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential, MVR-2 Zone	Multi-Family Residential
<b>SOUTH:</b>	Commercial Retail, MV-CR	Retail Complex and Office Buildings
<b>EAST:</b>	Residential, MVR-2 Zone	Multi-Family Residential
<b>WEST:</b>	Residential, MVR-2 Zone	Multi-Family Residential
<b>DEVIATIONS</b>	Density Bonus Incentive for rear yard setback. Deviations for side yard setback, retaining wall heights, and off-setting planes.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On April 6, 2016, the Mission Valley Planning Group vote 16-0-2 to recommend approval of the project with no conditions.	

PLANNING COMMISSION  
 RESOLUTION NO. \_\_\_\_\_  
 SITE DEVELOPMENT PERMIT NO. 1685916  
**SAN DIEGO MISSION - PROJECT NO. 432756 [MMRP]**

WHEREAS, SD MISSION ROAD COMMUNITIES, LLC, a Delaware Limited Liability Company, SAN DIEGO HABITAT FOR HUMANITY, INC., a California Non-Profit Corporation, and MISSION RIDGE CONDOMINIUM ASSOCIATION, a California Nonprofit Mutual Benefit Corporation, Owner and Permittee, filed an application with the City of San Diego for a permit for the demolition of two commercial buildings and the construction of 58 residential condominium townhomes consisting of 52 market rate units and six units on-site as affordable for-sale low-income housing units (as described in and by reference to the approved Exhibits 'A' and corresponding conditions of approval for the associated Permit No. 1685916), on portions of a 2.65-acre site; and

WHEREAS, the project site is located at 10222 and 10306 San Diego Mission Road located in the MVR-2 Zone of the Mission Valley Planned District Ordinance and the Development Intensity District M (DID- M), and the Mission Valley Community Plan area. In addition, the site is located within the Airport Influence Area (Review Area 2), Airport Land Use Compatibility Plan (ALUCP) Overlay Zone for Montgomery Field, and the Federal Aviation Administration Part 77 Noticing Area for Montgomery Field; and

WHEREAS, the project site is legally described as Parcel 1: That portion of Lot 44 of Rancho Mission of San Diego, in the City of San Diego, County of San Diego , State of California, as described in the document recorded in the Office of the County Recorder of San Diego County as Document 2015-0119549, recorded on March 16, 2015; Parcel 2: That portion of Lot 44 of Rancho Mission of San Diego, in the City of San Diego, County of San Diego , State of California, as described in the document recorded in the Office of the County Recorder of San Diego County as Document 2014-0327554, recorded on July 31, 2014; and a portion of the open space easement over Lot 7 of Mission Ridge Resubdivision, in the City of San Diego, County of San Diego , State of California, according to Map thereof No. 8234, filed in the Office of the County Recorder of San Diego County, January 6, 1976, adjoining said Parcel 1 on the West and Rancho Mission Road on the East; and

WHEREAS, on November 17, 2016, the Planning Commission of the City of San Diego considered Site Development Permit No. 1685916, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated November 17, 2016.

FINDINGS:

**I. Site Development Permit - Section §126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 10222 and 10306 San Diego Mission Road and a portion of a parcel of land fronting Rancho Mission Road from the adjacent condominium development. On June 30, 2016, the adjacent Mission Ridge Homeowners Association granted and recorded an easement (0.209-acres that is approximately 37 feet wide x 243 feet long) along Rancho Mission Road for the purpose of accessing, constructing, installing, using, inspecting, maintaining, repairing and replacing from time to time, pedestrian pathways, concrete curbing, brow ditch, retaining walls, storm water drainage facilities, water quality facilities, and other improvements to SD Mission Road Communities, LLC. The project site is located in the MVR-2 Zone of the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity District M (DID- M), and the Mission Valley Community Plan area. In addition, the site is located within the Airport Influence Area (Review Area 2), Airport Land Use Compatibility Plan (ALUCP) Overlay Zone for Montgomery Field, and the Federal Aviation Administration Part 77 Noticing Area for Montgomery Field.

The community plan designates the project site for Residential land use and is located within the DID-M. The maximum residential density is based on the DID trip allocation, San Diego Municipal Code (SDMC) Section 1514.0301, and expressed in dwelling units per gross acre (du/ac). The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c). In addition, the project site is located in an area designated for Residential development according to the General Plan.

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing State Density Bonus law to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent area median income (AMI). Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing a density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

A Mitigated Negative Declaration (MND) No. 432756 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Historical Resources (Archaeology) and Noise. A Mitigation, Monitoring and Reporting Program (MMRP) will be implemented with this project, which will reduce the potential impacts to below a level of significance.

The topographical constraints of the project site have been incorporated into the design of the complex to reduce the amount of grading and incorporate on-site storm water basins in compliance with the Storm Water Standards. In addition to the on-site construction, the project includes the dedication of additional right-of-way and the installation of new public street improvements along San Diego Mission Road in order to provide bike lanes and on-street parking. The project will reconstruct the existing curb ramp at the northwest corner of Rancho Mission Road and San Diego Mission Road and the installation of a 30-foot-long raised concrete median along Rancho Mission Road. The project includes the modification of the traffic signal at the intersection of Rancho Mission Road and San Diego Mission Road to be north-south split phasing and reconfigure the southbound travel lanes to include a southbound shared through-right lane and a southbound shared through-left lane.

The project will be required to obtain building permits and a public improvement permit prior to the construction of the multi-family development. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code requirements, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in SDP No. 1685916, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The maximum residential density is based on the DID trip allocation, SDMC Section 1514.0301, and expressed in du/ac. The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c).

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing a density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

In accordance with SDMC Table 143-07B, the project would be allowed one incentive. The applicant is entitled to the concession or incentive, in the form of a deviation to the development regulations, unless the City makes a written finding of denial based on substantial evidence pursuant to SDMC Section 143.0740(c)(1) and Government Code

Section 65915(d)(1). The applicant is requesting one affordable housing incentive, in the form of deviation, as follows:

- **Rear Yard Setback:** A deviation from the SDMC Section 1514.0304(e) to reduce the required rear yard (northern) setback. The required rear yard incremental setback is 17 feet nine inches, based on a 15-foot minimum plus two-foot nine-inch incremental setback because the buildings are over 24 feet in height. The project proposes a two foot deviation to a 15-foot rear yard setback.

The incentive has been reviewed as it relates to the proposed design of the project, the property configuration, the surrounding development, and the affordable housing density bonus regulations and guidelines. The project shall maintain a minimum 15-foot rear yard setback and is consistent with the community plan, has been designed to address the physical environment, and would not adversely impact the public's health or safety. The incentive is consistent with the intent of the density bonus regulations. There is no substantial evidence pursuant to SDMC or the Government Code sections to deny the applicant's request for the incentive.

In addition, the proposed affordable housing project includes a request for three deviations from the applicable development regulations pursuant to a Site Development Permit. The following are the deviations and justifications for the deviations:

1. **Side Yard Setback:** A deviation from SDMC Section 1514.0304(e) to reduce the side yard (eastern and western) setbacks. The required side yard incremental setback is 10 feet five inches, based on a 10-foot minimum plus five-inch incremental setback because the buildings are over 24 feet in height. The project proposes a 0-foot side yard setback on the eastern property line and a 10-foot side yard setback on the western property line.

*Justification:* The proposed buildings along Rancho Mission Road are separated from the public right-of-way by an existing 37 foot wide parcel of land. Functionally, the buildings are separated from the public right-of-way by the landscaped easement, thus meeting the purpose and intent of the setback regulations.

On the western side of the property, the proposed building at the southwest corner is located 10 feet from property line. A minor deviation is needed for the five-inch incremental setback at the southwestern corner of building due to the topography of the site at this location and the angle of the property line.

2. **Retaining Wall Height:** A deviation from SDMC Section 142.0310(c) to allow for short portions of a six-foot-high retaining wall to be constructed along San Diego Mission Road within the street side setback, where the regulation restricts wall height to a maximum three feet within the required street side setback.

*Justification:* Because it is built on a steep hillside, the project site has significant topographical constraints along San Diego Mission Road. Site constraints are further exacerbated by the proposed dedication of additional right-of-way and by new public



street improvements in order to provide bike lanes and on-street parking. As a result, the project has been designed with two terraced three-foot-high retaining walls along the San Diego Mission Road frontage with several breaks to allow for stair access and additional trees and landscaping. At approximately eight locations, the lower wall returns into the upper wall to allow for trees to be planted at the public sidewalk elevation on private property directly adjacent to San Diego Mission Road. At each tree location, an eight-foot-long stretch of six-foot-high retaining wall will be located directly behind the tree to retain the onsite grade. This deviation for wall height is necessary to comply with the City's landscape regulations, and enhance the pedestrian experience along San Diego Mission Road thus better integrating the project into the surrounding community.

3. Off-Setting Planes: A deviation from SDMC Section 1514.0304(h) to reduce the number of off-setting planes, where the regulations require each building wall elevation shall have building offset variations in a minimum of four vertical or horizontal separations between building planes for each 100-foot length of building elevation, or portion thereof. A separation between building planes is distinguished by an average horizontal or vertical difference of three feet measured perpendicular to the subject plane. Within any 100-foot length of building elevation, no single plane shall total more than 50-percent or less than 20-percent of the building elevation area.

*Justification:* The off-setting planes requirement ensures that building elements will be broken up and variations will create architectural interest. Due to the significant topographical constraints, impacts to the livability of the units, the fire truck access route, and building separations, the project does not meet all of the minimum off-setting planes requirements. However, the project has met the intent of the regulations through a combination of massing changes and color diversity. This theme occurs on each building vertically and horizontally creating architectural interest in a unified community style, while incorporating various off-setting planes and architectural elements that provide shadows along the building facades as illustrated in the project plans.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested incentives and deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC). In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

**M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.**

**1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The maximum residential density is based on the DID trip allocation, SDMC Section 1514.0301, and expressed in du/ac. The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c).

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

Therefore, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities. In addition, the proposed development has taken into account the best use of the land to minimize grading and the design will not impede or inhibit any future passive or natural heating and cooling opportunities.

**2. The development will not be inconsistent with the purpose of the underlying zone.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The maximum residential density is based on the DID trip allocation, SDMC Section 1514.0301, and expressed in du/ac. The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c).

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI. Therefore, the proposed development is consistent with the purpose of the underlying zone.

**3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The maximum residential density is based on the DID trip allocation, SDMC Section 1514.0301, and expressed in du/ac. The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c).

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

In accordance with SDMC Table 143-07B, the project would be allowed one incentive. The applicant is entitled to the concession or incentive, in the form of a deviation to the development regulations, unless the City makes a written finding of denial based on substantial evidence pursuant to SDMC Section 143.0740(c)(1) and Government Code Section 65915(d)(1). The applicant is requesting one affordable housing incentive, in the form of deviation, as follows:

- Rear Yard Setback: A deviation from the SDMC Section 1514.0304(e) to reduce the required rear yard (northern) setback. The required rear yard incremental setback is 17 feet nine inches, based on a 15-foot minimum plus two-foot nine-inch incremental setback because the buildings are over 24 feet in height. The project proposes a two foot deviation to a 15-foot rear yard setback.

The incentive has been reviewed as it relates to the proposed design of the project, the property configuration, the surrounding development, and the affordable housing density bonus regulations and guidelines. The project shall maintain a minimum 15-foot rear yard setback and is consistent with the community plan, has been designed to address the physical environment, and would not adversely impact the public's health or safety. The incentive is consistent with the intent of the density bonus regulations. There is no substantial evidence pursuant to SDMC or the Government Code sections to deny the applicant's request for the incentive.

In addition, the proposed affordable housing project includes a request for three deviations from the applicable development regulations pursuant to a Site Development Permit. The following are the deviations and justifications for the deviations:

1. Side Yard Setback: A deviation from SDMC Section 1514.0304(e) to reduce the side yard (eastern and western) setbacks. The required side yard incremental setback is 10 feet five inches, based on a 10-foot minimum plus five-inch incremental setback because the buildings are over 24 feet in height. The project proposes a 0-foot side yard setback on the eastern property line and a 10-foot side yard setback on the western property line.

*Justification:* The proposed buildings along Rancho Mission Road are separated from the public right-of-way by an existing 37 foot wide parcel of land. Functionally, the

buildings are separated from the public right-of-way by the landscaped easement, thus meeting the purpose and intent of the setback regulations.

On the western side of the property, the proposed building at the southwest corner is located 10 feet from property line. A minor deviation is needed for the five-inch incremental setback at the southwestern corner of building due to the topography of the site at this location and the angle of the property line.

2. Retaining Wall Height: A deviation from SDMC Section 142.0310(c) to allow for short portions of a six-foot-high retaining wall to be constructed along San Diego Mission Road within the street side setback, where the regulation restricts wall height to a maximum three feet within the required street side setback.

*Justification:* Because it is built on a steep hillside, the project site has significant topographical constraints along San Diego Mission Road. Site constraints are further exacerbated by the proposed dedication of additional right-of-way and by new public street improvements in order to provide bike lanes and on-street parking. As a result, the project has been designed with two terraced three-foot-high retaining walls along the San Diego Mission Road frontage with several breaks to allow for stair access and additional trees and landscaping. At approximately eight locations, the lower wall returns into the upper wall to allow for trees to be planted at the public sidewalk elevation on private property directly adjacent to San Diego Mission Road. At each tree location, an eight-foot-long stretch of six-foot-high retaining wall will be located directly behind the tree to retain the onsite grade. This deviation for wall height is necessary to comply with the City's landscape regulations, and enhance the pedestrian experience along San Diego Mission Road thus better integrating the project into the surrounding community.

3. Off-Setting Planes: A deviation from SDMC Section 1514.0304(h) to reduce the number of off-setting planes, where the regulations require each building wall elevation shall have building offset variations in a minimum of four vertical or horizontal separations between building planes for each 100-foot length of building elevation, or portion thereof. A separation between building planes is distinguished by an average horizontal or vertical difference of three feet measured perpendicular to the subject plane. Within any 100-foot length of building elevation, no single plane shall total more than 50-percent or less than 20-percent of the building elevation area.

*Justification:* The off-setting planes requirement ensures that building elements will be broken up and variations will create architectural interest. Due to the significant topographical constraints, impacts to the livability of the units, the fire truck access route, and building separations, the project does not meet all of the minimum off-setting planes requirements. However, the project has met the intent of the regulations through a combination of massing changes and color diversity. This theme occurs on each building vertically and horizontally creating architectural interest in a unified community style, while incorporating various off-setting planes

and architectural elements that provide shadows along the building facades as illustrated in the project plans.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested incentives and deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC. In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1685916 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1685916, a copy of which is attached hereto and made a part hereof.

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Jeffrey A. Peterson  
Development Project Manager  
Development Services

Adopted on: November 17, 2016

Internal Order No. 24006040



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**  
**MAIL STATION 2A**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006040

SITE DEVELOPMENT PERMIT NO. 1685916  
**SAN DIEGO MISSION - PROJECT NO. 432756 [MMRP]**  
PLANNING COMMISSION

This Site Development Permit No. 1685916 is granted by the Planning Commission of the City of San Diego to SD MISSION ROAD COMMUNITIES, LLC, a Delaware Limited Liability Company, SAN DIEGO HABITAT FOR HUMANITY, INC., a California Non-Profit Corporation, and MISSION RIDGE CONDOMINIUM ASSOCIATION, a California Nonprofit Mutual Benefit Corporation, Owners and Permittees, pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The 2.65-acre site is located at 10222 and 10306 San Diego Mission Road located in the MVR-2 Zone of the Mission Valley Planned District Ordinance and the Development Intensity District M (DID- M), and the Mission Valley Community Plan area. In addition, the site is located within the Airport Influence Area (Review Area 2), Airport Land Use Compatibility Plan (ALUCP) Overlay Zone for Montgomery Field, and the Federal Aviation Administration Part 77 Noticing Area for Montgomery Field. The project site is legally described as Parcel 1: That portion of Lot 44 of Rancho Mission of San Diego, in the City of San Diego, County of San Diego, State of California, as described in the document recorded in the Office of the County Recorder of San Diego County as Document 2015-0119549, recorded on March 16, 2015; Parcel 2: That portion of Lot 44 of Rancho Mission of San Diego, in the City of San Diego, County of San Diego, State of California, as described in the document recorded in the Office of the County Recorder of San Diego County as Document 2014-0327554, recorded on July 31, 2014; and a portion of the open space easement over Lot 7 of Mission Ridge Resubdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8234, filed in the Office of the County Recorder of San Diego County, January 6, 1976, adjoining said Parcel 1 on the West and Rancho Mission Road on the East.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of two commercial buildings and the construction of 58 residential condominium townhomes; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit 'A'] dated November 17, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of two commercial buildings and the construction of 58 residential condominium townhomes consisting of 52 market rate units and six units on-site as affordable for sale low-income housing units. The proposed development includes 11 three-story townhome buildings comprised of three six-unit buildings and eight-five-unit buildings. The unit sizes consist of 1,272, 1,669, 1,706, and 1849 square feet, and six of the on-site units' shall be for sale low-income affordable housing units;
- b. Development Incentive for Affordable Housing Density Bonus:
  - 1) Rear Yard Setback- A deviation from the SDMC Section §1514.0304(e) to reduce the required rear yard (northern) setback. The required rear yard incremental setback is 17 feet nine inches, based on a 15-foot minimum plus two-foot nine-inch incremental setback since the buildings are over 24 feet in height;
- c. Deviations to the SDMC:
  - 1) Side Yard Setback: A deviation from SDMC Section 1514.0304(e) to reduce the side yard (eastern and western) setbacks. The required side yard incremental setback is 10 feet five inches, based on a 10-foot minimum plus five-inch incremental setback since the buildings are over 24 feet in height;
  - 2) Retaining Wall Height: A deviation from SDMC Section 142.0310(c) to allow for short portions of a six-foot-high retaining wall to be constructed along San Diego Mission Road within the street side setback, where the regulation restricts wall height to a maximum three feet within the required street side setback; and
  - 3) Off-Setting Planes: A deviation from SDMC Section 1514.0304(h) to reduce the number of off-setting planes, where the regulations require each building wall elevation shall have building offset variations in a minimum of four vertical or horizontal separations between building planes for each 100-foot length of building elevation, or portion thereof. A separation between building planes is distinguished by an average horizontal or vertical difference of three feet measured perpendicular to the subject plane. Within any 100-foot length of building elevation, no single plane shall total more than 50-percent or less than 20-percent of the building elevation area;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking;
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **December 2, 2019**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 432756, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION NO. 432756, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources (Archaeology) and Noise

CLIMATE ACTION PLAN (CAP) REQUIREMENTS:

14. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit 'A.' Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

15. The Climate Action Plan strategies as identified on Exhibit 'A' shall be enforced and implemented to the satisfaction of the Development Services Department.

NOISE REQUIREMENTS:

16. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Owner/Permittee shall submit an exterior to interior noise analysis to identify the appropriate sound transmission reduction measures necessary to achieve an interior noise level that would not exceed 45dBA as discussed in the Acoustical Analysis (June 30, 2016) prepared by Davy & Associates, Inc. The following noise reduction measures shall include, but are not limited to:

- Roof ceiling construction shall be roofing on plywood. Batt insulation shall be installed in joist spaces. The ceilings shall be one layer of gypsum board;
- All exterior walls shall be 2-inch by 4-inch studs, spaced 16-inch on center (o.c.) with batt insulation in the stud spaces. Exteriors shall be exterior plaster or stucco. The interiors shall be gypsum board;
- All southwest and northwest facing perimeter windows and glass doors in all buildings shall be glazed with Sound Transmission Class (STC) 29 glazing; and
- All entrance doors shall be solid core with vinyl bulb weather stripping seals on the sides and tops.

AFFORDABLE HOUSING REQUIREMENTS:

17. Prior to issuance of any building permit associated with this Project, Owner/Permittee shall demonstrate compliance with the provisions of Chapter 14, Article 3, Division 7 of the San Diego Municipal Code [SDMC] [Affordable Housing Density Bonus Regulations]. Owner/Permittee shall enter into a written agreement with the San Diego Housing Commission [Agreement] – drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust – that incorporates applicable affordability conditions consistent with the SDMC; specifically including that, in exchange for the City's approval of the Project, which contains a 5% density bonus (three units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide six units with a maximum sales price and housing cost that does not

exceed 35% of 100% of AMI, so as to be considered affordable to moderate-income households earning no more than 100% of the AMI, under Density Bonus Resale and Recapture provisions.

Prior to or concurrently with the closing of each sale by the Developer/Owner to a moderate income household, the Developer/owner shall cause the moderate income purchaser to execute and deliver to the Housing Commission a promissory note, secured by a deed of trust, in favor of the Housing Commission, to enforce the equity sharing requirements set forth in California Government Code Section 65915(c)(2).

The Agreement referenced in the preceding paragraphs will satisfy the requirements of SDMC section 143.1303(d) and therefore, exempt the Project from Chapter 14, Article 2, Division 13 of the San Diego Municipal Code [Inclusionary Affordable Housing Regulations].

GEOLOGY REQUIREMENTS:

18. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

19. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

ENGINEERING REQUIREMENTS:

20. The Site Development Permit shall comply with all Conditions of the Final Map for the Tentative Map No.1523893.

21. The project proposes to export 13,900 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

22. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

23. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

24. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private connection into the Public storm drain system.

25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 24 foot wide concrete driveway, adjacent to the site on Rancho Mission Road, satisfactory to the City Engineer.

26. Prior to the issuance of any building permits the Owner/Permittee shall dedicate 9 feet to 21 feet of project frontage along San Diego Mission Road as shown on Exhibit 'A,' satisfactory to the City Engineer.

27. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Applicant must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

28. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard curb, gutter and sidewalk per approved Exhibit 'A,' adjacent to the site on San Diego Mission Road, satisfactory to the City Engineer.

29. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing curb ramp at the northwest corner of Rancho Mission Road and San Diego Mission Road, with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.

30. Prior to the issuance of any building permit, per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Owner/Permittee shall assure, by permit and bond for the installation of a new street lights adjacent to the site on San Diego Mission Road, satisfactory to the City Engineer.

31. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

32. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

33. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

34. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2007-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

35. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

36. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

37. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

38. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

39. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

40. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

41. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a



Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

42. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

LONG RANGE PLANNING REQUIREMENTS:

43. Prior to issuance of any building permit, the construction documents shall include a contiguous 48 inch wide pedestrian path around the loop driveway as shown in Exhibit 'A.' Vehicular traffic will be a single lane (20 feet wide) flowing counterclockwise from the entry. Owner/Permittee shall provide and maintain a 24-inch buffer to separate the pedestrian circulation from the vehicle circulation.

44. Prior to issuance of any building permit, the construction documents shall include all outdoor staircases identified in Exhibit 'A.' These staircases and connecting pedestrian pathways must be free of any gates.

PLANNING/DESIGN REQUIREMENTS:

45. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the approved written agreement with the San Diego Housing Commission [Agreement] that incorporates applicable affordability conditions consistent with the SDMC.

46. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

47. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

48. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer.

49. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

50. No fewer than 132 off-street parking spaces shall be permanently maintained on the property within the approximate locations shown on the project's Exhibit 'A.' Further, all on-site parking stalls

and aisle widths shall be in compliance with requirements of the San Diego Municipal Code (SDMC), and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

51. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond modification of the traffic signal at the intersection of Rancho Mission Road and San Diego Mission Road to be north-south split phasing and reconfigure the southbound travel lanes to include a southbound shared through-right lane and a southbound shared through-left lane, satisfactory to the City Engineer. The improvements shall be completed and accepted by the City Engineer prior to issuance of any occupancy permit.

52. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the installation of a 30-foot-long raised concrete median along Rancho Mission Road in the approximate location shown on Exhibit 'A' and restriping to extend the two-way left-turn lane from Caminito Cuervo to the raised median, satisfactory to the City Engineer. The improvements shall be completed and accepted by the City Engineer prior to issuance of any occupancy permit.

53. Owner/Permittee shall provide and maintain one-way circulation along the private driveway for internal vehicular circulation as shown on Exhibit 'A,' satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

54. All water and sewer facilities to be constructed within the public ROW or other public easement (including water services and sewer laterals) must be designed and constructed in accordance with criteria established in the most current version of all applicable City of San Diego Water and Sewer Facility Design Guidelines, regulations, standards, and practices pertaining thereto.

55. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the design and construction of all proposed public water and sewer facilities as shown on Exhibit 'A' of the development's associated approved Tentative Map and/or Discretionary Permit.

56. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain a permit to install above ground private back flow prevention as required to protect all water service lines (domestic, fire, and irrigation) in a manner satisfactory to the Director of Public Utilities and the City Engineer. Back flow prevention devices (BFPD's) are typically located on private property, in-line with the water service, and immediately adjacent to the right-of-way. The Public Utilities Department will not permit BFPDs to be located below grade or within the structure.

57. Before any construction permit can be issued under this development permit, the Owner/Permittee shall provide evidence of a City approved County recorded Encroachment Maintenance and Removal Agreement (EMRA) for any pre-existing or proposed encroachment within any public right-of-way or public easement contiguous to the property under review.

58. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten (10) feet of any sewer facilities or within five (5) feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on \_\_\_\_\_ and  
Resolution No. \_\_\_\_\_.

Permit Type/PTS Approval No.: SDP No. 1685916

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manager

NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.

\_\_\_\_\_  
The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this  
Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**SD MISSION ROAD COMMUNITIES, LLC, a Delaware Limited Liability Company**  
Owner

By \_\_\_\_\_  
Print Name:  
Title:

**SAN DIEGO HABITAT FOR HUMANITY, INC., a California Non-Profit Corporation**  
Owner

By \_\_\_\_\_  
Print Name:  
Title:

**MISSION RIDGE CONDOMINIUM ASSOCIATION, a California Nonprofit Mutual Benefit Corporation**  
Owner

By \_\_\_\_\_  
Print Name:  
Title:

NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.

PLANNING COMMISSION  
RESOLUTION NO. \_\_\_\_\_  
TENTATIVE MAP NO. 1523893  
**SAN DIEGO MISSION - PROJECT NO. 432756 [MMRP]**

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WHEREAS, SD MISSION ROAD COMMUNITIES, LLC, a Delaware Limited Liability Company, SAN DIEGO HABITAT FOR HUMANITY, INC., a California Non-Profit Corporation, and MISSION RIDGE CONDOMINIUM ASSOCIATION, a California Nonprofit Mutual Benefit Corporation, Subdivider, and PASCO LARET SUITER & ASSOCIATES, Engineer, submitted an application to the City of San Diego for a tentative map (Tentative Map No. 1523893) for the San Diego Mission project (Project). The project site is located at 10222 and 10306 San Diego Mission Road located in the MVR-2 Zone of the Mission Valley Planned District Ordinance and the Development Intensity District M (DID- M), and the Mission Valley Community Plan area. In addition, the site is located within the Airport Influence Area (Review Area 2), Airport Land Use Compatibility Plan (ALUCP) Overlay Zone for Montgomery Field, and the Federal Aviation Administration Part 77 Noticing Area for Montgomery Field. The property is legally described as Parcel 1: That portion of Lot 44 of Rancho Mission of San Diego, in the City of San Diego, County of San Diego , State of California, as described in the document recorded in the Office of the County Recorder of San Diego County as Document 2015-0119549, recorded on March 16, 2015; Parcel 2: That portion of Lot 44 of Rancho Mission of San Diego, in the City of San Diego, County of San Diego , State of California, as described in the document recorded in the Office of the County Recorder of San Diego County as Document 2014-0327554, recorded on July 31, 2014; and a portion of the open space easement over Lot 7 of Mission Ridge Resubdivision, in the City of San Diego, County of San Diego , State of California, according to Map thereof No. 8234, filed in the Office of the County Recorder of San Diego County, January 6, 1976, adjoining said Parcel 1 on the West and Rancho Mission Road on the East; and

WHEREAS, the Map proposes the Subdivision of a 2.65-acre site into one (1) lot for a 58 unit residential condominium development; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act Section 66491(a) and San Diego Municipal Code (SDMC) Sections 144.0220(a) and 144.0220(b); and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code Section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 58; and

WHEREAS, on November 17, 2016, the Planning Commission of the City of San Diego considered Tentative Map No. 1523893, and pursuant to SDMC Sections 125.0440, and Subdivision Map Act Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1523893:

**1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.**

The project site is located at 10222 and 10306 San Diego Mission Road and a portion of a parcel of land fronting Rancho Mission Road from the adjacent condominium development. On June 30, 2016, the adjacent Mission Ridge Homeowners Association granted and recorded an easement (0.209-acres that is approximately 37 feet wide x 243 feet long) along Rancho Mission Road for the purpose of accessing, constructing, installing, using, inspecting, maintaining, repairing and replacing from time to time, pedestrian pathways, concrete curbing, brow ditch, retaining walls, storm water drainage facilities, water quality facilities, and other improvements to SD Mission Road Communities, LLC. The project site is located in the MVR-2 Zone of the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity District M (DID- M), and the Mission Valley Community Plan area. In

addition, the site is located within the Airport Influence Area (Review Area 2), Airport Land Use Compatibility Plan (ALUCP) Overlay Zone for Montgomery Field, and the Federal Aviation Administration Part 77 Noticing Area for Montgomery Field.

The community plan designates the project site as Residential and is located within the DID-M. The maximum residential density is based on the DID trip allocation, San Diego Municipal Code (SDMC) Section 1514.0301, and expressed in dwelling units per gross acre (du/ac). The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c). In addition, the project site is located in an area designated for Residential development according to the General Plan.

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent area median income (AMI). Therefore, the proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The maximum residential density is based on the DID trip allocation, SDMC Section 1514.0301, and expressed in du/ac. The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c).

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhomes. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

In accordance with SDMC Table 143-07B, the project would be allowed one incentive. The applicant is entitled to the concession or incentive, in the form of a deviation to the development regulations, unless the City makes a written finding of denial based on substantial evidence pursuant to SDMC Section 143.0740(c)(1) and Government Code Section 65915(d)(1). The applicant is requesting one affordable housing incentive, in the form of deviation, as follows:

- Rear Yard Setback: A deviation from the SDMC Section 1514.0304(e) to reduce the required rear yard (northern) setback. The required rear yard incremental setback is 17 feet nine inches, based on a 15-foot minimum plus two-foot nine-inch incremental setback because the buildings are over 24 feet in height. The project proposes a two foot deviation to a 15-foot rear yard setback.

The incentive has been reviewed as it relates to the proposed design of the project, the property configuration, the surrounding development, and the affordable housing density bonus regulations and guidelines. The project shall maintain a minimum 15-foot rear yard setback and is consistent with the community plan, has been designed to address the physical environment, and would not adversely impact the public's health or safety. The incentive is consistent with the intent of the density bonus regulations. There is no substantial evidence pursuant to SDMC or the Government Code sections to deny the applicant's request for the incentive.

In addition, the proposed affordable housing project includes a request for three deviations from the applicable development regulations pursuant to a Site Development Permit. The following are the deviations and justifications for the deviations:

1. Side Yard Setback: A deviation from SDMC Section 1514.0304(e) to reduce the side yard (eastern and western) setbacks. The required side yard incremental setback is 10 feet five inches, based on a 10-foot minimum plus five-inch incremental setback because the buildings are over 24 feet in height. The project proposes a 0-foot side yard setback on the eastern property line and a 10-foot side yard setback on the western property line.

Justification: The proposed buildings along Rancho Mission Road are separated from the public right-of-way by an existing 37 foot wide parcel of land. Functionally, the buildings are separated from the public right-of-way by the landscaped easement, thus meeting the purpose and intent of the setback regulations.

On the western side of the property, the proposed building at the southwest corner is located 10 feet from property line. A minor deviation is needed for the five-inch incremental setback at the southwestern corner of building due to the topography of the site at this location and the angle of the property line.

2. Retaining Wall Height: A deviation from SDMC Section 142.0310(c) to allow for short portions of a six-foot-high retaining wall to be constructed along San Diego Mission Road within the street side setback, where the regulation restricts wall height to a maximum three feet within the required street side setback.

Justification: Because it is built on a steep hillside, the project site has significant topographical constraints along San Diego Mission Road. Site constraints are further exacerbated by the proposed dedication of additional right-of-way and by new public street improvements in order to provide bike lanes and on-street parking. As a result, the project has been designed with two terraced three-foot-high retaining walls along the San Diego Mission Road frontage with several breaks to allow for stair access and additional trees and landscaping. At approximately eight locations, the lower wall returns into the upper wall to allow for trees to be planted at the public sidewalk elevation on private property directly adjacent to San Diego Mission Road. At each tree location, an eight-foot-long stretch of six-foot-high retaining wall will be located directly behind the tree to retain the onsite grade. This deviation for



wall height is necessary to comply with the City's landscape regulations, and enhance the pedestrian experience along San Diego Mission Road thus better integrating the project into the surrounding community.

3. **Off-Setting Planes:** A deviation from SDMC Section 1514.0304(h) to reduce the number of off-setting planes, where the regulations require each building wall elevation shall have building offset variations in a minimum of four vertical or horizontal separations between building planes for each 100-foot length of building elevation, or portion thereof. A separation between building planes is distinguished by an average horizontal or vertical difference of three feet measured perpendicular to the subject plane. Within any 100-foot length of building elevation, no single plane shall total more than 50-percent or less than 20-percent of the building elevation area.

Justification: The off-setting planes requirement ensures that building elements will be broken up and variations will create architectural interest. Due to the significant topographical constraints, impacts to the livability of the units, the fire truck access route, and building separations, the project does not meet all of the minimum off-setting planes requirements. However, the project has met the intent of the regulations through a combination of massing changes and color diversity. This theme occurs on each building vertically and horizontally creating architectural interest in a unified community style, while incorporating various off-setting planes and architectural elements that provide shadows along the building facades as illustrated in the project plans.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested incentives and deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC). In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

### **3. The site is physically suitable for the type and density of development.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The maximum residential density is based on the DID trip allocation, SDMC Section 1514.0301, and expressed in du/ac. The density regulations for DID-M allow for a maximum density of 20 du/ac. The 2.65-acre site is entitled to a maximum density of 53 units in accordance with SDMC Section 1514.0304(c). The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhome subdivision. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52

market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

The site consists of two and a portion of a parcel of land fronting Rancho Mission Road from the adjacent condominium development. On June 30, 2016, the adjacent Mission Ridge Homeowners Association granted and recorded an easement (0.209-acres that is approximately 37 feet wide x 243 feet long) along Rancho Mission Road for the purpose of accessing, constructing, installing, using, inspecting, maintaining, repairing and replacing from time to time, pedestrian pathways, concrete curbing, brow ditch, retaining walls, storm water drainage facilities, water quality facilities, and other improvements to SD Mission Road Communities, LLC. The topography of the site along Rancho Mission Road changes from 76 feet at the southeastern corner to 103 feet at the northeastern corner (approximately a 27-foot differential), and along San Diego Mission Road changes from 76 feet at the southwestern corner to 130 feet at the northwestern corner (approximately a 54-foot differential). The site is located above the 100-year floodplain, and is not located within or adjacent to the City's Multiple Habitat Planning Area and does not contain any Environmentally Sensitive Lands as defined in SDMC Section 113.0103.

Because of the project site significant topographical constraints, the proposed building follow the topography and to promote walkability, the townhomes fronting San Diego Mission Road have been designed to allow direct pedestrian connections from the street and connects with the internal pedestrian circulation system. In addition, the internal driveway has been designed with a one-way vehicle circulation and interior pedestrian walkways that are delineated from traffic areas and set apart to provide a separate circulation system. The buildings include articulation and offsetting planes to create visual interest. In addition, the materials and colors of all the buildings combined delineate the different buildings and reduce the appearance of the buildings.

A Mitigated Negative Declaration (MND) No. 432756 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Historical Resources (Archaeology) and Noise. A Mitigation, Monitoring and Reporting Program (MMRP) will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the site is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhome subdivision. The site is located above the 100-year floodplain, and is not located within or adjacent to the City's Multiple Habitat Planning Area and does not contain any Environmentally Sensitive Lands as defined in SDMC Section 113.0103.

MND No. 432756 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Historical Resources (Archaeology) and Noise. An

MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the 58 unit residential condominium subdivision or the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhome subdivision. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI.

MND No. 432756 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Historical Resources (Archaeology) and Noise. An MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance.

The topographical constraints of the project site have been incorporated into the design of the complex to reduce the amount of grading and incorporate on-site storm water basins in compliance with the Storm Water Standards. In addition to the on-site construction, the project includes the dedication of additional right-of-way and the installation of new public street improvements along San Diego Mission Road in order to provide bike lanes and on-street parking. The project will reconstruct the existing curb ramp at the northwest corner of Rancho Mission Road and San Diego Mission Road and the installation of a 30-foot-long raised concrete median along Rancho Mission Road. The project includes the modification of the traffic signal at the intersection of Rancho Mission Road and San Diego Mission Road to be north-south split phasing and reconfigure the southbound travel lanes to include a southbound shared through-right lane and a southbound shared through-left lane.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Tentative Map No. 1523893, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the subdivider shall be required to obtain grading and public improvement permits. Therefore, the proposed subdivision or the type of improvement would not be detrimental to the public health, safety and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The project site is located at 10222 and 10306 San Diego Mission Road in the MVR-2 Zone of the MVPDO and the DID- M, and the Mission Valley Community Plan area. The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhome subdivision. The site consists of two and a portion of a parcel of land fronting Rancho Mission Road from the adjacent condominium development. On June 30, 2016, the adjacent Mission Ridge Homeowners Association granted and recorded an easement (0.209-acres that is approximately 37 feet wide x 243 feet long) along Rancho Mission Road for the purpose of accessing, constructing, installing, using, inspecting, maintaining, repairing and replacing from time to time, pedestrian pathways, concrete curbing, brow ditch, retaining walls, storm water drainage facilities, water quality facilities, and other improvements to SD Mission Road Communities, LLC.

The site has been previously graded and developed with two commercial buildings that were constructed in 1956 and 1957, and the site contains no public easements. Therefore, the design of the subdivision or the type of improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The proposed subdivision of a 2.65-acre site into 58 residential condominium townhome has taken into account the best use of the land, minimize grading, and incorporate passive or natural heating and cooling opportunities in to the design. The proposed subdivision includes 11 three-story townhomes buildings comprised of three six-unit buildings and eight five-unit buildings. With the design of the proposed subdivision each structure will have the opportunity through building materials, site orientation, articulation and offsetting planes, balconies, and other architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project proposes the demolition of two commercial buildings and the construction of 58 residential condominium townhome subdivision. The project is utilizing density bonus to increase the total density to 58 units and shall provide 52 market rate units and six units on-site as affordable for-sale low-income housing units at 80-percent AMI, and would materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities. The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 58 residential condominium townhomes is consistent with the housing needs anticipated for the Mission Valley community.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 1523893, hereby granted to SD MISSION ROAD COMMUNITIES, LLC, a Delaware Limited Liability Company, SAN DIEGO HABITAT FOR HUMANITY, INC., a California Non-Profit Corporation, and MISSION RIDGE CONDOMINIUM ASSOCIATION, a California Nonprofit Mutual Benefit Corporation, Subdivider, subject to the attached conditions which are made a part of this resolution by this reference.

By \_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006040

PLANNING COMMISSION  
CONDITIONS FOR TENTATIVE MAP NO. 1523893  
**SAN DIEGO MISSION - PROJECT NO. 432756 [MMRP]**  
ADOPTED BY RESOLUTION NO. R-\_\_\_\_\_ ON \_\_\_\_\_

GENERAL

1. This Tentative Map will expire on December 2, 2019.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Tentative Map and Final Map shall conform to the provisions of Site Development Permit No. 1685916.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENVIRONMENTAL/MITIGATION

6. The Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
7. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 432756, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

Project No. 432756  
TM No. 1523893



8. The Subdivider shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION NO. 432756, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources (Archaeology) and Noise

CLIMATE ACTION PLAN (CAP) REQUIREMENTS

9. The Subdivider shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit 'A.' Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."
10. The Climate Action Plan strategies as identified on Exhibit 'A' shall be enforced and implemented to the satisfaction of the Development Services Department

NOISE

11. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Owner/Permittee shall submit an exterior to interior noise analysis to identify the appropriate sound transmission reduction measures necessary to achieve an interior noise level that would not exceed 45dBA as discussed in the Acoustical Analysis (June 30, 2016) prepared by Davy & Associates, Inc. The following noise reduction measures shall include, but are not limited to:
  - Roof ceiling construction shall be roofing on plywood. Batt insulation shall be installed in joist spaces. The ceilings shall be one layer of gypsum board;
  - All exterior walls shall be 2-inch by 4-inch studs, spaced 16-inch on center (o.c.) with batt insulation in the stud spaces. Exteriors shall be exterior plaster or stucco. The interiors shall be gypsum board;
  - All southwest and northwest facing perimeter windows and glass doors in all buildings shall be glazed with Sound Transmission Class (STC) 29 glazing; and
  - All entrance doors shall be solid core with vinyl bulb weather stripping seals on the sides and tops.

GEOLOGY

12. The Subdivider shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
13. The Subdivider shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out

ENGINEERING

14. Prior to the issuance of any construction permit, the Subdivider shall acquire an easement agreement for the land use of the property lying between the easterly boundary line of the approved Tentative Map/ Site Development Permit exhibit and the westerly right-of-way line of Rancho Mission Road together with that portion north of, adjacent to and running along the northerly boundary line of said approved Tentative Map/ Site Development Permit exhibit, satisfactory to the City Engineer.
15. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
16. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
17. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
18. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
19. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public

improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

#### MAPPING

20. Prior to the expiration of the Tentative Map, if approved, a final map subdividing the property into residential condominium ownerships shall be recorded in the office of the County Recorder.
21. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
22. The Final Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

#### PUBLIC UTILITIES DEPARTMENT

23. All water and sewer facilities to be constructed within the public ROW or other public easement (including water services and sewer laterals) must be designed and constructed in accordance with criteria established in the most current version of all applicable City of San Diego Water and Sewer Facility Design Guidelines, regulations, standards, and practices pertaining thereto.
24. Prior to the issuance of any construction permit, the Subdivider shall assure by permit and bond the design and construction of all proposed public water and sewer facilities as shown on Exhibit 'A' of the development's associated approved Tentative Map and/or Discretionary Permit.

25. Prior to the issuance of any construction permit, the Subdivider shall obtain a permit to install above ground private back flow prevention as required to protect all water service lines (domestic, fire, and irrigation) in a manner satisfactory to the Director of Public Utilities and the City Engineer. Back flow prevention devices (BFPD's) are typically located on private property, in-line with the water service, and immediately adjacent to the right-of-way. The Public Utilities Department will not permit BFPDs to be located below grade or within the structure.
26. Before any construction permit can be issued under this development permit, the Subdivider shall provide evidence of a City approved County recorded Encroachment Maintenance and Removal Agreement (EMRA) for any pre-existing or proposed encroachment within any public right-of-way or public easement contiguous to the property under review.
27. No trees or shrubs exceeding three feet in height at maturity shall be installed within ~~ten (10) feet of any sewer facilities or within five (5) feet of any water facilities.~~

**INFORMATION:**

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the

required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

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Internal Order No. 24006040

Project No. 432756  
TM No. 1523893

PLANNING COMMISSION  
RESOLUTION NUMBER \_\_\_\_\_  
A RESOLUTION ADOPTING MITIGATED NEGATIVE DECLARATION NO. 432756 AND  
THE MITIGATION MONITORING AND REPORTING PROGRAM FOR THE  
**SAN DIEGO MISSION - PROJECT NO. 432756 [MMRP]**

WHEREAS, on November 24, 2015, ColRich, representing the property owners, submitted an application to the Development Services Department for a Tentative Map and Site Development Permit for the San Diego Mission project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on November 17, 2016; and

WHEREAS, the Planning Commission considered the issues discussed in the Mitigated Negative Declaration No. 432756 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.



BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

ATTACHMENT(S):      Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A****MITIGATION MONITORING AND REPORTING PROGRAM****TENTATIVE MAP / SITE DEVELOPMENT PERMIT**

PROJECT NO. 432756

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 432756 shall be made conditions of **TENTATIVE MAP / SITE DEVELOPMENT PERMIT** as may be further described below.

**HISTORICAL RESOURCES (ARCHAEOLOGY)****I. Prior to Permit Issuance****A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

**B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction****A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.
- B. PI Shall Attend Precon Meetings
  1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
    - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
  2. Identify Areas to be Monitored
    - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
    - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
  3. When Monitoring Will Occur
    - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
    - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

### III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
  1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
  2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.

3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
  4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
  3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
  4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
    - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
    - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

#### IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public

Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE** determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
  - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
  - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN;
  - c. In order to protect these sites, the Landowner shall do one or more of the following:
    - (1) Record the site with the NAHC;
    - (2) Record an open space or conservation easement on the site;
    - (3) Record a document with the County.
  - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site

utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

- D. If Human Remains are **NOT** Native American
  - 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
  - 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
  - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

#### **V. ~~Night and/or Weekend Work~~**

- A. If night and/or weekend work is included in the contract
  - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  - 2. The following procedures shall be followed.
    - a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
    - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
    - c. Potentially Significant Discoveries  
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
    - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
  - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

#### **VI. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
  - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review



and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**

- a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
- b. Recording Sites with State of California Department of Parks and Recreation  
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
  1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
  2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
  3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
  1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
  2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
  3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
  1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final

Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

## **NOISE**

- I. Construction Noise Mitigation:** Prior to the issuance of the first demolition permit, the applicant shall ensure the following, to the satisfaction of the City of San Diego Development Services Department:
- A. All construction and grading equipment shall be properly maintained.
  - B. All pneumatic tools, vehicles and compressors shall have intake and exhaust mufflers as recommended by the manufacturer.
  - C. Newer diesel generators and compressors listed as "quiet units" shall be utilized.
  - D. Back-up alarms on vehicles that require them shall be disconnected. Signal men shall be used as required by the Federal Department of Transportation.
  - E. Pavement saws shall be used during demolition of the existing asphalt where feasible.
  - F. A temporary shielding wall shall be installed and placed along the north property line of the construction site. The shielding wall shall consist of sound blankets, or plywood on poles or a wood frame. The shielding wall shall have a minimum surface weight of 1.0 psf (pounds per square foot).
  - G. Construction noise reduction methods, such as turning off idling equipment not in use shall be employed.
  - H. Stationary equipment and stockpile areas shall be located as far away from residential areas to the north as feasible.
  - I. Construction activity schedules shall be provided to the Mission Ridge Condominium Association (Association).
  - J. The project shall restrict grading and construction activities to the hours of 7:00 am to 5:00 pm, Monday through Friday. There should be no work on Saturdays, Sundays or legal holidays in accordance with Section 59.0404 of the San Diego Municipal Code.

# MINUTES OF THE REGULAR MEETING OF THE MISSION VALLEY PLANNING GROUP

April 6, 2016

<u>MEMBERS PRESENT</u>	<u>MEMBERS ABSENT</u>	<u>GUESTS</u>
Steve Abbo	Bob Cummings	
Deborah Bossmeyer	Derek Hulse	
Paul Brown	David Norvell	
Perry Dealy		
Robert Doherty	FEDERAL REP'S STAFF	
Randall Dolph	Mark Zambon	
Alan Grant		
Matthew Gillory	STATE STAFF	
Rob Hutsel	Jason Weisz	
John Laraia		
<del>Elizabeth Leventhal</del>		
Andrew Michajlenko	CITY STAFF	
Jim Penner	Nancy Graham	
Keith Pittsford	Liz Saidkhanian	
Marco Sessa		
Dottie Surdi		
Rick Tarbell		
Josh Weiselberg	COUNTY STAFF	

Dottie Surdi, Chair. called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:01 p.m. at the Mission Valley Library Community Room located at 2123 Fenton Parkway, San Diego, CA.

**A. CALL TO ORDER**

Verify Quorum: 18 members were present, constituting a quorum.

**B. PLEDGE OF ALLEGIANCE**

Keith Pittsford led the Pledge of Allegiance.

**C. INTRODUCTIONS / OPENING REMARKS**

Dottie Surdi welcomed everyone to the meeting and reminded those present to sign the sign in sheets.

**C.1 AGENDA CHANGE**

Dottie noted a change in the agenda. Civitas presenter asked Item D be removed from their presentation.

**Keith Pittsford moved to approve the removal of Item D from Civitas agenda. Randall Dolph seconded the motion. Motion was approved 16-0-2 with Marco Sessa and Alan Grant abstaining**

Guests introduced themselves.

**D. APPROVAL OF MINUTES: TABLED.**

Minutes to be approved at the May meeting.

**E. PUBLIC INPUT – NON-AGENDA ITEMS BUT WITHIN THE SCOPE OF AUTHORITY OF THE PLANNING GROUP.**

"The Mission Valley Planning Group has been formed and recognized by the City Council to make recommendations to the City Council, Planning Commission, City staff, and other governmental agencies on land use matters, specifically concerning the preparation of, adoption of, implementation of, or amendment to, the General Plan or a land use plan when a plan relates to the Mission Valley community boundaries. The planning group also advises on other land use matters as requested by the City or other governmental agency."

Mission Valley Planning Group Bylaws as Amended and approved July 2015.

**F. ~~MEMBERSHIP COMMITTEE:~~**

Bob Cummings has resigned the position of Membership Co-Chair. Keith Pittsford announced we have 4 openings on the Mission Valley Planning Group Board.

**G. TREASURER'S REPORT**

Bob Doherty reported that the balance is \$1,357.06.

**H. PUBLIC SAFETY REPORTS**

1. Police Department – Officer Tom Bostedt reported.
2. Fire Department – No report.

**I. GOVERNMENTAL STAFF REPORTS**

1. Mayor's Office  
Anthony George was not present, no report.

2. City Attorney's Office  
Julio DeGuzman was not present, no report.

More information on office can be found at:

<http://www.sandiego.gov/cityattorney/divisions/index.shtml>

3. Council Office-District 7- Councilmember Scott Sherman  
Liz Saidkhanian reported.

More information on office can be found at:

<http://www.sandiego.gov/citycouncil/cd7/>

4. City Planning Update-Nancy Graham

Nancy Graham reported on the upcoming Mission Valley CPU. A Subcommittee meeting was held on March 11, 2016. Minutes attached.

The Mission Valley CPU Subcommittee will meet on Friday April 8, 2016 at 3:00 p.m. at Mission Valley Library with the meeting dedicated to land use issues.

5. State Representatives

a. Senate Member's Office - Sen. Marty Block from the 39<sup>th</sup> Senate District 1.

A representative was not present.

More information can be found at: <http://sd39.senate.ca.gov/>

b. Assembly Member's Office - Shirley Weber from the 79th Assembly District.

George Gastil was not present. No report.

c. Assembly Member's Office - Toni G. Atkins/ Speaker of the Assembly/78th Assembly District.

Jason Weisz reported on current activities.

More information can be found at: <http://asmdc.org/speaker>

6. Federal Representatives

a. Congresswoman Susan Davis' Office

Mark Zambon reported on current activities.

More information is available at: <http://www.house.gov/susandavis/>

b. Congressman Scott Peters' Office

Sarah Czarrecki was not present. No report.

More information is available at: <http://scottpeters.house.gov/>

**J. NEW BUSINESS**

**A. Proj #424475 Public Park at Town & Country Hotel- by Todd Majcher, Lowe Enterprises / Action Item**

Advising on initiation of planning process with City Park Planning for proposed 4.33 acre public park located on site at 500 Hotel Cir N., to include passive recreation opportunities.

Todd gave an invitation to attend a special workshop on April 27, at 6pm, at the Town & Country. Seeking public input on the Park Amenities, etc. Also, noted that the Draft EIR on the entire project is to be released in next few weeks. Will return to Mission Valley Planning Group to discuss all other areas of the project. Dotti Surdi clarified that the Mission Valley Planning Group was only discussing the park at today's meeting.

**Motion:** Designate Parks Ad Hoc Comm as advisory group for design of 4.3 acre Public Park, per City Council Policy 600-33. Rob Hutsel moved to approve, Josh Weiselberg seconded, the vote was 17-0-1 with Andrew Michajlenko abstaining.

**B. Proj #432756 San Diego Mission TM by Tony Pauker / Action Item**

Located at 10222 and 10306 San Diego Mission Road. Requesting (Process 4)

Tentative Map and Site Development Permit to demolish two existing commercial buildings and construct 58 town homes with at least 10% affordable housing units. Seeking to approve zoning deviations. Including: retaining wall height at tree pockets; front yard setback distance (a technicality due to an easement); rear yard setback distance; deviation to the massing/plane change requirement.

DAB: Randy Dolph presented the report from the DAB. Minutes attached.

**Questions:**

Q) Potential for traffic congestion at the site.

A) Justin Ross LOS Engineer. Project adds 31 vehicles at peak times which is considered less than significant. City Staff has signed off on traffic based on allowable usage and zoning.

Q) Andrew Michajlenko asked about size of retaining wall at rear of project.

A) 6' at its highest point.

Several members were complementary of design and site planning.

**Motion:** Recommend the project to the planning commission (Process 4), subject to the comments contained in the DAB report.

Randy Dolph moved the motion, Keith Pittsford seconded. 16-0-2.

**C. Proj CIVITA 4 proposed developments by Mark Radelow / Information Item**

Marco Sessa steps away from planning group to present project.

**1. 62 residential stacked flats for sale by ColRich** located on Lot 1 of Civita Final Map No. 16013 (Map G) within the Terrace District West of the Quarry Falls Specific Plan.

**2. 132 residential for-sale townhomes in various configurations by New Home Co.** located on Lot 8 of Civita Final Map No. 16072 (Map HI) within the Ridgetop District East of the Quarry Falls Specific Plan.

**3. Mixed-use ~440 apartments and ~20,000 SF retail within two podium buildings by Sudberry Properties, Inc.** located on Lot's 2 & 5 of Civita Final Map No. 15878 (Map BC) within the Creekside District Central & East of the Quarry Falls Specific Plan.

Presented as informational item. Submitted to city as substantial conformance review.

**K. OLD BUSINESS****1. Subcommittee Reports:****A. Standing Committees:**

1) Design Advisory Board – Randy Dolph

Randy Dolph reported on the meeting that was held on April 4, 2016 in which Civitas Project presented. Minutes attached.



2) River coalition (Subcommittee chair?) Encouraged attendance at the next meeting which is set for Monday May 2, 2016 at 3:30 p.m. at the Mission Valley Library.

3) Mission Valley Community Plan Update

The Community Plan Update Subcommittee (CPUS) is a standing subcommittee of the Mission Valley Planning Group. A meeting was held on March 11, 2016. Minutes attached. The Mission Valley CPU Subcommittee meets the second Friday of each month from 3:00-4:30 at the Mission Valley Library.

For more information please visit the CPUS website at:

<http://www.sandiego.gov/planning/community/cpu/missionvalley/>

**B. Ad Hoc Committees**

1) Parks – Rob Hutzel

Rob Hutzel reported that committee did not meet as no items were on the agenda.

2) Public Health, Safety and Welfare -- Elizabeth Leventhal

Elizabeth expressed concern regarding the San Diego Police Department "Quality of Life" team as follows:

- The inability to directly contact the team (via phone or email)
- Their staffing levels
- MVPG lack of knowledge of the Quality of Life Team, which could be remedied by an invitation to a future MVPG meeting for a brief report on their activities.

3) Riverwalk

The committee did not meet.

**2. Community Reports**

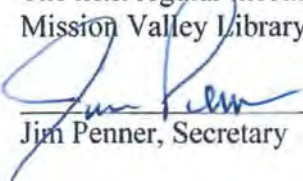
1. San Diego River Coalition

Alan Grant reported the next meeting is April 22, 2016. The committee meets the third Friday of each month from 3:00-4:30 at the Mission Valley Library.

More info at: <http://www.sandiegoriver.org>.

**L. ADJOURNMENT** – There being no further business to be brought before the Committee, the meeting was adjourned at 2:05 P.M.

The next regular meeting will be on Wednesday May 4, 2016 at 12:00 p.m. at the Mission Valley Library, Community Room.

  
Jim Penner, Secretary

5-4-16

**DESIGN ADVISORY BOARD**  
**Mission Valley Planning Group**

April 6, 2016

TO: Dottie Surdi, MVPG Chair

FROM: Randy Dolph, DAB Chair

SUBJECT: Report of April 4, 2016 DAB Meeting

The meeting was called to order at 3:40 P.M. in the Mission Valley Library. Members present were: Paul Dugas, Randy Dolph, Steve Kiss, and Dottie Surdi. Applicant representatives from the Mission Road Townhome project team included Tony Pauker, Will Mack, Jason Shepard, Leigh Olszewski, Graeme Gabriel, Kirk McKinley, and Nancy Keenan. Applicant representatives from the Civita project team included Marco Sessa, Matt Croft, John Glaser, Tim Nguyen, Tony Pauker, Graeme Gabriel, Kirk McKinley. Guests included Kathy McSherry and John Molina.

**10222-10306 Mission Road Townhomes – Action Item**

Tony Pauker with ColRich introduced the team. Nancy Keenan provided an overview of the project. Highlights from the presentation included the following:

- The project consists of 58 for-sale townhomes, in 11 buildings, on a 2.6 acre parcel located at the northwest corner of San Diego Mission Road and Rancho Mission Road. Six units are designated affordable. Units ranged in size from 1,272 to 1,862 sf, all three bedrooms.
- A change in elevation of 40 feet occurs across the site.
- A one-way loop road connects the development. The overall width is 26 feet for fire-lane access and is comprised of a 20-foot-wide road, 2-foot-wide green strip, and a 4-foot-wide concrete band for pedestrian circulation.
- Up-sloping units have small private back yards; down-sloping units have front patios.
- Each building provides a distinctive massing scheme and color palette to differentiate it from the adjacent units.
- Pedestrian routes internal to the site were reviewed.
- Common areas include a small open area (dog park) near the entry, lending library, and small community garden areas between buildings. The common areas near the entry drive were designed to be bio-retention areas.
- Several zoning deviations are being requested, including: retaining wall height at tree pockets; front yard setback distance (a technicality due to an easement); rear yard setback distance; deviation to the massing/plane change requirement, mostly occurring on the sides between buildings.
- Price points were estimated to be in the \$600,000s, with an estimated \$235 HOA fee.

Questions, comments, and concerns included:

- When asked about trash and recycling services, the applicant noted that residents will be responsible for housing their trash and recycling bins in their garage, and moving them curbside on pick-up days. A private trash company will service the development.
- After inquiring about off-street improvements, the applicant commented that San Diego Mission Road will be widened to accommodate on-street parking. The DAB expressed concerns that this parking will be used by other developments in the area, rather than being dedicated to this project.

- As part of a discussion regarding building materials, the applicant noted that the exterior wall construction was primarily stucco painted in different colors, with metal garage doors, metal front doors, and glass windows.
- With predominantly flat roofs, coupled with the change in grade elevation across the site, the DAB expressed concerns that any mechanical equipment on the roof will not be screened from view. The DAB took exception to locating mechanical units on the front patios of down-sloping units.
- Overall, the project was well received by the DAB.

Since this project was before the board as an action item, Kiss initiated a motion to recommend the project to the planning group, subject to addressing the outstanding City Cycle Comments, including, but not limited to, the comment to address screening the mechanical units from view. The motion was seconded by Surdi. The motion was approved 4-0-0. The DAB thanked the team for an exemplary presentation.

#### **Civita – Informational Items (all Substantial Conformance Review – Process 1)**

##### **Civita 40 (New Home Company)**

This project consists of 133 for-sale units as part of the Ridge-Top East District. The units are designed to maximize view opportunities. Units range in size from 1,500 to 2,700 square feet and include balconies in three-story tall buildings. Exterior materials proposed include concrete roof tile, porcelain tile, stone veneer, stucco, and metal railings.

##### **Civita 29 (ColRich Development)**

This project proposes 62 for-sale units on a 2-acre sloping site in the Terrace West District. Seven buildings house the units, ranging in size from 1,400 to 2,200 square feet with 2 to 4 bedrooms. Exterior materials proposed included stucco, horizontal wood siding, vinyl windows, stone veneer, and metal railings.

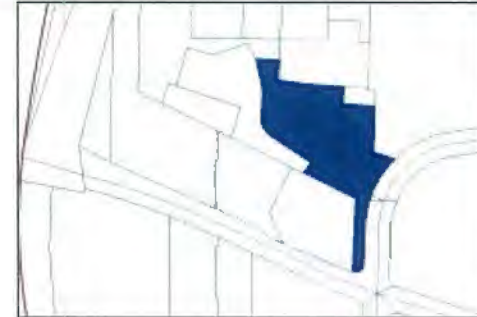
##### **Apartment Project No. 3 (Sudberry Development)**

This project consists of one residential apartment building and one mixed-use building, with a grand total of 463 units and approximately 17,500 square feet of retail space. Several recreation, pool, and amenity areas are included. The 6-story buildings consist of a Type 1 (concrete) podium with Type 5 (wood) construction above. The residential and retail units "wrap" around the parking structure. A total of 849 parking stalls are provided in the parking structure and on grade. Materials proposed for the project include stucco, accent materials (to be determined), glass/windows, storefront, and railings.

Since the projects were before the DAB for information only, the DAB thanked the applicants for their presentation.

The meeting was adjourned at 5:15 P.M., with the next regularly meeting tentatively scheduled for Monday, May 2, 2016.

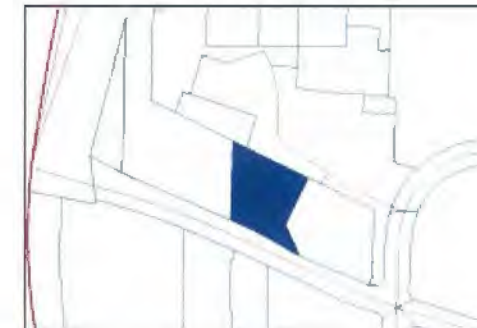
MISSION RIDGE CONDOMINIUM  
ASSOCIATION



SD MISSION ROAD COMMUNITIES, LLC

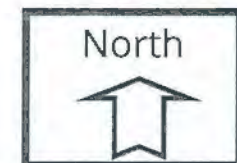


SAN DIEGO HABITAT FOR HUMANITY, INC.



## Ownership Map

SAN DIEGO MISSION - PROJECT NO. 432756  
10222 and 10306 San Diego Mission Road





City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit

☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☒ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other

**Project Title**

SD Mission Road Townhomes

**Project No. For City Use Only**

432756

**Project Address:**

10222 San Diego Mission Road

## Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached** ☒ Yes ☐ No

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature :**

**Date:**

Project Title:  
SD Mission Road Townhomes

Project No. (For City Use Only)

432756

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☒ Corporation ☐ Limited Liability -or- ☒ General) What State? CA Corporate Identification No. \_\_\_\_\_  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☒ Yes ☒ No

Corporate/Partnership Name (type or print):  
San Diego Habitat for Humanity, A CA non-profit corp.

☒ Owner ☐ Tenant/Lessee

Street Address:  
10222 San Diego Mission Road

City/State/Zip:  
San Diego, CA 92108

Phone No: (619)283-4663 Fax No:

Name of Corporate Officer/Partner (type or print):  
Paul Barnes

Title (type or print):  
Chairman of the Board

Signature:  Date: 6/30/2015

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:



Project Title:  
SD Mission Road Townhomes

Project No. (For City Use Only)

432756

**Part II - To be completed when property is held by a corporation or partnership**

Legal Status (please check):

☒ Corporation ☐ Limited Liability -or- ☐ General) What State? CA Corporate Identification No. 95-3006924  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☒ Yes ☒ No

Corporate/Partnership Name (type or print):  
Mission Ridge Homeowners Association

☒ Owner ☐ Tenant/Lessee


Street Address:  
10250 Caminito Cuervo

City/State/Zip:  
San Diego CA 92108

Phone No: 619 584 4094 Fax No:

Name of Corporate Officer/Partner (type or print):  
Terry A Keller

Title (type or print):  
HOA Board President

Signature:  Date: 6-30-2015

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

**MISSION RIDGE HOA**

Terry Keller - President  
 Allen Levine - Vice President  
 Jane Vasquez - Secretary  
 Dave Purkey - Treasurer  
 Sally Gibb - Member at Large

Project No. 432756

**SAN DIEGO HABITAT FOR HUMANITY****2016 Board of Directors****AFFILIATIONS**

NAME	COMPANY	TITLE	SDHFH BOARD
Andrea Petray	Finch, Thornton & Baird	Attorney/Partner	Member
Bernard A. Kulchin	Cubic Corporation	Retired	Member
Cami Mattson			Member
Dan McAllister	County of San Diego	Tax Collector	Member
Jacob Gillette	Wells Fargo Bank	Vice President	Member
James Mastrogany	Bank of America	Retired	Member
Lea Zanjani	California Bank & Trust	1 <sup>st</sup> Vice President & Manager	Vice Chair
Mark Emch	San Diego Convention Center Corporation	Vice President, Finance	Chair/Treasurer
Paul Barnes	Shea Homes San Diego	President San Diego Division	Member
Paul Cunningham	La Jolla Presbyterian Church	Pastor	Member
Paul Yong	Sempra Energy	Vice President, Corporate Tax & Chief Tax Counsel	Secretary
Randy C. Frisch	National University	Vice Chancellor, Business & Administration	Member

Project Title: San Diego Mission	Project No. (For City Use Only) <b>432756</b>
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**Part II - To be completed when property is held by a corporation or partnership**
**Legal Status (please check):**

☐ Corporation    ☒ Limited Liability -or- ☐ General) What State? Del.    Corporate Identification No. 47-3475875  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☒ Yes ☐ No

Corporate/Partnership Name (type or print):  
SD Mission Road Communities, LLC

☒ Owner    ☐ Tenant/Lessee

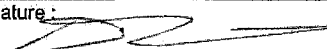
Street Address:  
444 W. Beech Street, Suite 300

City/State/Zip:  
San Diego, CA 92101

Phone No: 858-490-2340    Fax No:

Name of Corporate Officer/Partner (type or print):  
Danny Gabirel

Title (type or print):  
Manager

Signature:     Date: 10/5/2016

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Corporate/Partnership Name (type or print):

☐ Owner    ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:    Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :    Date:

Project Title: San Diego Mission

Project No. 432756

All of the following have an ownership interest in SD Mission Road Communities, LLC:

- San Diego Urban Resi Grand Avenue Partners, LLC, a Delaware limited liability company
  - Oaktree Capital (Financial Partner – Equity Fund)
- San Diego Urban Resi Acquisition Partners, LLC, a Delaware limited liability company
  - CR Oak, LLC, Manager
- CR Oak, LLC, a Delaware limited liability company
  - Danny Gabriel and Graeme Gabriel, Managers
- Gabriel Family Trust dated February 10, 1999
  - Richard Gabriel, Trustee
- Colin Seid 2004 Separate Property Trust dated September 2, 2004
  - Colin Seid, Trustee
- Barry and Brigitte Galgut 2000 Trust dated October 16, 2000
  - Barry Galgut, Trustee
- Graeme Gabriel and Simon Elise Kanter Living Trust dated June 14, 2011
  - Graeme Gabriel, Trustee
- Danny and Dana Gabriel Family Trust dated December 22, 2004
  - Danny Gabirel, Trustee
- The R. Thomas Fair 2006 Trust
  - R. Thomas Fair, Trustee
- ColRich Employee Fund I, LLC, a Delaware limited liability company
  - Danny Gabriel, Manager
- San Diego Mission Road Associates, LLC, a Delaware limited liability company
  - ColRich California, LLC, Managing Member
- ColRich California, LLC, a California limited liability company
  - Danny Gabriel, Manager
- Richard Annis Trust dated 5/3/99
  - Richard Annis, Trustee
- Malin Joint Venture
  - Michael Wallace, Manager
- Jolie Investments, LLC, a California limited liability company
  - Trevor Klein, Manager
- Sunrise Capital Resources, LLC, a Nevada limited liability company
  - Anthony and Stan Jofee, Trustee
- Richard Greenfield Separate Family Trust U-A-D 1/3/01
  - Richard Greenfield, Trustee
- David S. Nagelberg 2003 Revocable Trust dtd 7/02/03
  - David S. Nagelberg, Trustee
- Winco, LLC, an Arizona limited liability company
  - Frederic J. Winssinger, Manager



# SAN DIEGO MISSION ROAD TOWNHOMES

## PRELIMINARY REVIEW SUBMITTAL

DEVELOPMENT SUMMARY:

**SITE:**  
ZONE: MVR-2  
APN(s): 434-031-02, 434-031-03  
AREA: 2.6595 ACRES/ 115,846 SQ. FT.

**USE & OCCUPANCY:**  
RESIDENTIAL GROUP R-3

**TYPE OF CONSTRUCTION:**  
TYPE V-B (FULLY SPRINKLERED)

**CODE INFORMATION:**  
CALIFORNIA BUILDING CODE (CBC) 2013  
CALIFORNIA RESIDENTIAL CODE (CRC) 2013  
CALIFORNIA MECHANICAL CODE (CMC) 2013  
CALIFORNIA PLUMBING CODE (CPC) 2013  
CALIFORNIA ELECTRICAL CODE (CEC) 2013  
CALIFORNIA FIRE CODE (CFC) 2013  
CALIFORNIA ENERGY CODE (CEC) 2013

THE PROJECT SHALL COMPLY WITH THE 2013 STATE OF CALIFORNIA GREEN BUILDING CODE.

**STREET YARD CALCULATION:**  
REQUIRED: 450,49LF x 25 = 11,262SF  
PROPOSED: 12,700SF

**STRUCTURAL DEVELOPMENT COVERAGE:**  
MAXIMUM STRUCTURAL COVERAGE ALLOWED = 50%  
MAXIMUM AREA ALLOWED = 115,846SF x 50% = 57,923SF  
Bldg A = 4,850SF x 1 BLDG. = 4,850SF  
Bldg B = 4,576SF x 1 BLDG. = 4,576SF  
Bldg C = 4,207SF x 5 BLDG. = 21,035SF  
Bldg D = 5,043SF x 1 BLDG. = 5,043SF  
Bldg G = 3,941SF x 3 BLDG. = 11,823SF  
TOTAL FOOTPRINT AREA FOR ALL BUILDINGS = 47,327SF  
47,327SF / 115,846SF x 100 = 40.85%  
DIFFERENCE: 57,923SF - 47,327SF = 10,596SF | 9.15%

PARKING SUMMARY ON SHEET A-2:  
OPEN AREA SUMMARY ON SHEET A-5:

**DENSITY CALCULATION:**  
MVR-2 ALLOWABLE DENSITY = 20 DU/A  
BASE UNIT COUNT = 2,659.5A x 20 DU/A = 53,190DU  
6 AFFORDABLE UNITS / 53,190DU = 11.28% AFFORDABLE

**58 DWELLING UNITS PROPOSED**  
6 LOW INCOME (80% AMI), FOR SALE UNITS PROPOSED  
52 MARKET RATE DWELLING UNITS PROPOSED

6 LOW INCOME (80% AMI) DENSITY BONUS  
= 11.28% AFFORDABLE = 21.5% DENSITY BONUS  
= 53,190DU x 1.215 = 64 UNITS ALLOWED

DENSITY PROPOSED  
= 21.8DU/A = 10% PROPOSED DENSITY BONUS

**INCENTIVES & DEVIATIONS:**  
STATE DENSITY BONUS INCENTIVE:  
1. REQUESTING A REDUCTION IN THE REAR YARD (WESTERN) SETBACK WHICH IS REQUIRED TO BE 17'9" (15' PLUS 2' 9" INCREMENTAL SETBACK AS OUR BUILDINGS ARE OVER 24' IN HEIGHT) FEET PER SAN DIEGO MUNICIPAL CODE (SDMC) SECTION §1514.0304(E).  
DEVIATIONS FROM LAND DEVELOPMENT CODE:  
1. A DEVIATION FROM THE SAN DIEGO MUNICIPAL CODE (SDMC) SECTION §1514.0304(E) IS NEEDED FOR A REDUCTION IN THE FRONT YARD (EASTERN) SETBACK WHICH IS REQUIRED TO BE 17'9" (15' PLUS 2' 9" INCREMENTAL SETBACK AS OUR BUILDINGS ARE OVER 24' IN HEIGHT) FEET.  
2. A DEVIATION FROM THE SAN DIEGO MUNICIPAL CODE (SDMC) SECTION §142.0310 (C) IS NEEDED TO ALLOW FOR SHORT PORTIONS OF 6' HIGH RETAINING WALLS TO BE CONSTRUCTED ALONG SAN DIEGO MISSION RD. WITHIN THE STREET SIDE SETBACK. THE ABOVE SDMC SECTION RESTRICTS WALL HEIGHT TO 3' WITHIN THE REQUIRED STREET SIDE SETBACK.  
3. A DEVIATION FROM THE SAN DIEGO MUNICIPAL CODE (SDMC) SECTION §1514.0304(H) OFF-SETTING PLANES REQUIREMENT IS NEEDED FOR ELEVATIONS THAT DO NOT HAVE THE AVERAGE HORIZONTAL OR VERTICAL DIFFERENCE OF 3 FEET MEASURED PERPENDICULAR TO THE SUBJECT PLANE ON A MINIMUM OF 4 PLANE OFF-SETS. EXHIBITS HAVE BEEN INCLUDED IN THE SET TO ILLUSTRATE THESE AREAS.

**INCREMENTAL SETBACK CALCULATIONS:**  
STREET YARD: [40'-9" - 24'-0"] x 25 = 4'-3" + 15'-0" = 19'-3"  
FRONT YARD: [37'-9" - 24'-0"] x 25 = 3'-6" + 15'-0" = 18'-6"  
SIDE YARD: [25'-10" - 24'-0"] x 2 = 5' + 10'-0" = 10'-5"  
REAR YARD: [37'-9" - 24'-0"] x 2 = 2'-9" + 15'-0" = 17'-9"

BUILDING SUMMARY:

BUILDING COUNT	
BUILDING A	1 BLDG
BUILDING B	1 BLDG
BUILDING C	5 BLDG
BUILDING D	1 BLDG
BUILDING G	3 BLDG
TOTAL	11 BLDG

UNIT COUNT		(UNIT 1)	(UNIT 2)	(UNIT 3)	(UNIT 4)	TOTAL
BUILDING A	1(2 DU)	1(4 DU)	-	-	-	= 6 DU
BUILDING B	1(3 DU)	-	-	-	-	= 3 DU
BUILDING C	-	-	5(2 DU)	5(3 DU)	-	= 25 DU
BUILDING D	-	-	1(2 DU)	1(4 DU)	-	= 6 DU
BUILDING G	3(2 DU)	3(3 DU)	-	-	-	= 15 DU
TOTALS	11 DU	16 DU	12 DU	19 DU	-	= 58 DU

BUILDING A	
UNIT 1	2 DU
UNIT 2	4 DU
TOTAL	6 DU

UNIT 1 (AFFORDABLE UNIT)	
TOTAL LIVING AREA:	1272 sq. ft.
First Floor:	80 sq. ft.
Second Floor:	624 sq. ft.
Third Floor:	568 sq. ft.

UNIT 2	
TOTAL LIVING AREA:	1669 sq. ft.
First Floor:	80 sq. ft.
Second Floor:	600 sq. ft.
Third Floor:	770 sq. ft.

BUILDING B	
UNIT 1	3 DU
UNIT 2	3 DU
TOTAL	6 DU

2 Car Tandem Garage	525 sq. ft.
3 BR, 3 BA	

2 Car Garage	400 sq. ft.
Car Porch	296 sq. ft.
3 BR, 2.5 BA	

BUILDING C	
UNIT 3	2 DU
UNIT 4	3 DU
TOTAL	5 DU

UNIT 3	
TOTAL LIVING AREA:	1708 sq. ft.
First Floor:	350 sq. ft.
Second Floor:	758 sq. ft.
Third Floor:	712 sq. ft.

UNIT 4	
TOTAL LIVING AREA:	1849 sq. ft.
First Floor:	357 sq. ft.
Second Floor:	746 sq. ft.
Third Floor:	812 sq. ft.

BUILDING D	
UNIT 3	2 DU
UNIT 4	4 DU
TOTAL	6 DU

2 Car Garage	437 sq. ft.
Covered Deck	86 sq. ft.
3 BR, 3.5 BA	

2 Car Garage	433 sq. ft.
Covered Deck	72 sq. ft.
4 BR, 3.5 BA	

BUILDING G	
UNIT 1	2 DU
UNIT 2	3 DU
TOTAL	5 DU

PROJECT TEAM INFO:

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**Dahlin Group**  
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**Traffic Engineer**  
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11622 El Camino Real, Suite 100  
San Diego, CA 92130  
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Contact: Justin Rasas

VICINITY MAP: (N.T.S.)



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DEVELOPMENT SUMMARY CONTINUED:

**GREEN BUILDING PRACTICES MAY INCLUDE:**  
- HIGHLY REFLECTIVE ROOF MATERIAL WITH AN AGED SRI GREATER THAN 16.  
- PRE-PLUMBED SOLAR READY UNITS.  
- PRE-PLUMBED LEFT VEHICLE CHARGING HOOK-UPS IN EACH GARAGE.  
- PERMEABLE SURFACE INTEGRATED WITH THE SITE CIRCULATION FOR IMPROVED STORM WATER QUALITY CONTROL.  
- LOW FLOW PLUMBING FIXTURES AT TOILETS, SHOWER HEADS, AND FAUCETS.  
- LOW EFFICACY LIGHTING FIXTURES.  
- WATER USE REDUCTION THROUGH IRRIGATION EFFICIENCY AND DROUGHT TOLERANT PLANTING.  
- HIGH EFFICIENCY HVAC WITH LONG SERVICE LIFE.  
- 92% OF PROPOSED PARKING SPACES ARE COVERED, REDUCING HEAT ISLAND EFFECT.



SITE PLAN NOTES:

**SITE:**  
ZONE: MVR-2  
APN(s): 434-031-02, 434-031-03  
AREA: 2.6595 ACRES/ 115,846 SQ. FT.

**USE & OCCUPANCY:**  
RESIDENTIAL GROUP R-3

**TYPE OF CONSTRUCTION:**  
TYPE V-B (FULLY SPRINKLERED)

INCREMENTAL SETBACK CALCULATIONS ON SHEET A-1

**AMENITY SPACES:**  
125F VERTICAL HERB GARDENING AREA DISTRIBUTED  
THROUGHOUT SITE AT 13 LOCATIONS FOR EACH BUILDING, AND  
SHALL BE MANAGED BY THE HOA.

**REFUSE AND RECYCLABLE MATERIALS CALCULATION:**  
SEE SITE PLAN FOR REFUSE (R) AND RECYCLABLE (M) MATERIAL STORAGE  
AREA LOCATIONS. EACH AREA SQUARE FOOTAGE (125F) EQUALS THE  
REQUIRED SQUARE FOOTAGE FOR EACH 2-6 DWELLING UNIT BUILDINGS.  
TOTAL REFUSE MATERIAL STORAGE AREA = 125F x 12 COUNT = 1445F  
TOTAL RECYCLABLE MATERIAL STORAGE AREA = 125F x 12 COUNT = 1445F  
TOTAL REFUSE AND RECYCLABLE MATERIAL STORAGE AREA = 2890F

**MECHANICAL SCREENING:**  
UTILITIES HOUSED INSIDE CABINETS  
FORCED AIR UNITS HOUSED IN ATTIC SPACES  
CONDENSER UNITS SCREENED FROM VIEW BY FENCES AT BACKYARD  
LOCATIONS, RAILING AT DECK LOCATIONS, AND VERTICAL HERB GARDENS  
PER LANDSCAPE DESIGN TO SCREEN NEAR PORCHES.

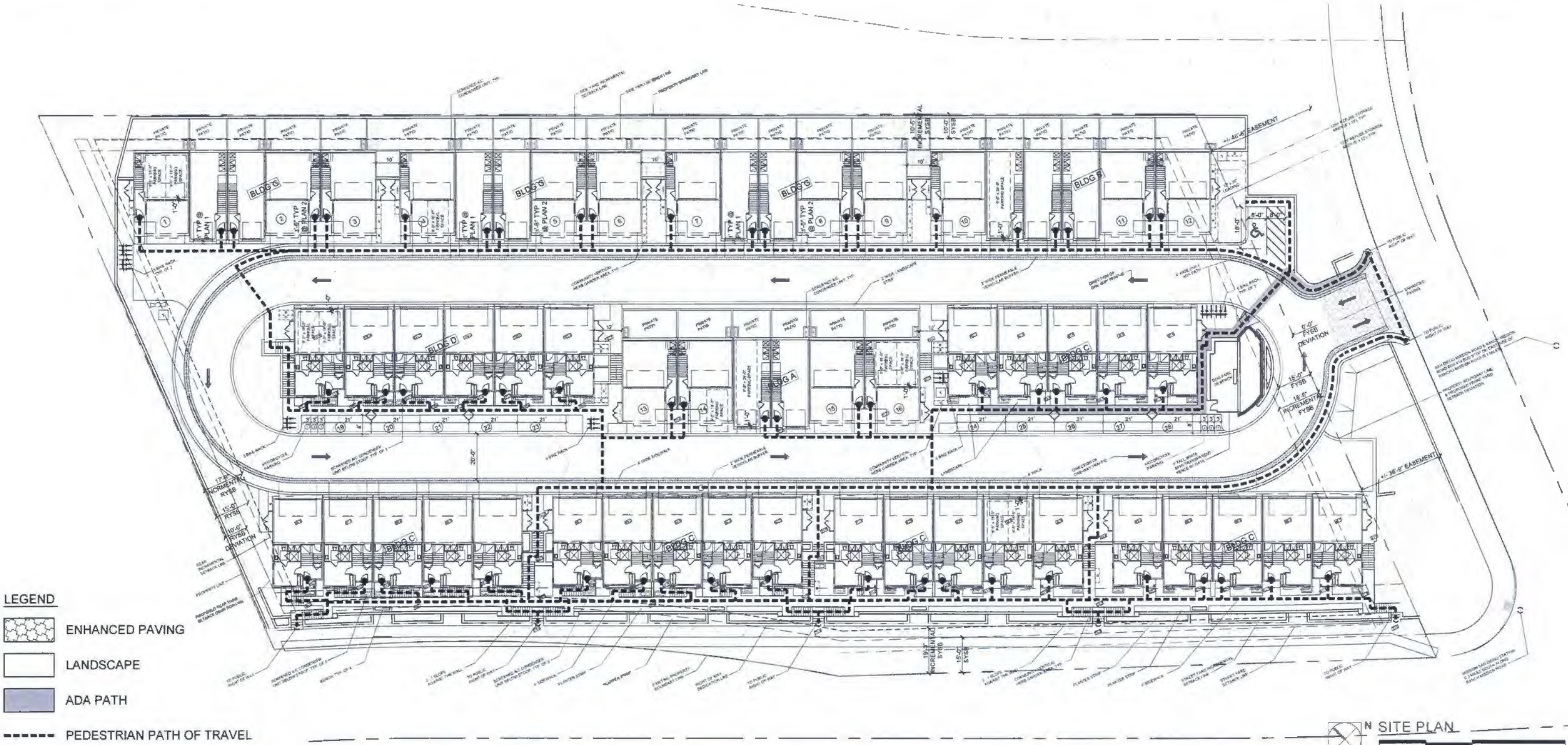
BUILDING COUNT	
BUILDING A:	1 BLDG
BUILDING B:	1 BLDG
BUILDING C:	5 BLDG
BUILDING D:	1 BLDG
BUILDING G:	3 BLDG
TOTAL:	11 BLDG

UNIT COUNT				
	(UNIT 1)	(UNIT 2)	(UNIT 3)	(UNIT 4)
BUILDING A:	1(2 DU)	1(4 DU)	-	-
BUILDING B:	1(3 DU)	1(3 DU)	-	-
BUILDING C:	-	-	5(2 DU)	5(3 DU)
BUILDING D:	-	-	1(2 DU)	1(4 DU)
BUILDING G:	3(2 DU)	3(3 DU)	-	-
TOTALS:	11 DU	16 DU	12 DU	19 DU

OFF-STREET PARKING REQUIRED PER DWELLING UNIT				
	Studio (1.5 Spaces)	2 Bed (2 Spaces)	3-4 Bed (2.25 Spaces)	TOTAL SPACES
58 Units	0	0	58	131
OFF-STREET PARKING PROPOSED				
NAME	TYPE	FACTOR	COUNT	TOTAL
PLAN 1 Affordable	TANDEM GARAGE	1	6	6
PLAN 1	TANDEM GARAGE	1	5	5
PLAN 2	2 CAR GARAGE	2	16	32
PLAN 3	2 CAR GARAGE	2	12	24
PLAN 4	2 CAR GARAGE	2	19	38
CAR PORCH	PLAN 2 DRIVEWAY	1	16	16
PARALLEL	OFF STREET	1	10	10
ACCESSIBLE	VAN	1	1	1
				TOTAL SPACES
				132

BICYCLE PARKING PER DWELLING UNIT	
REQUIRED: 0.6 SPACES / DWELLING UNIT X 58 UNITS = 34.8 SPACES	
TOTAL REQUIRED	35 SPACES
TOTAL PROVIDED = 7 X 5-BIKE RACKS	35 SPACES

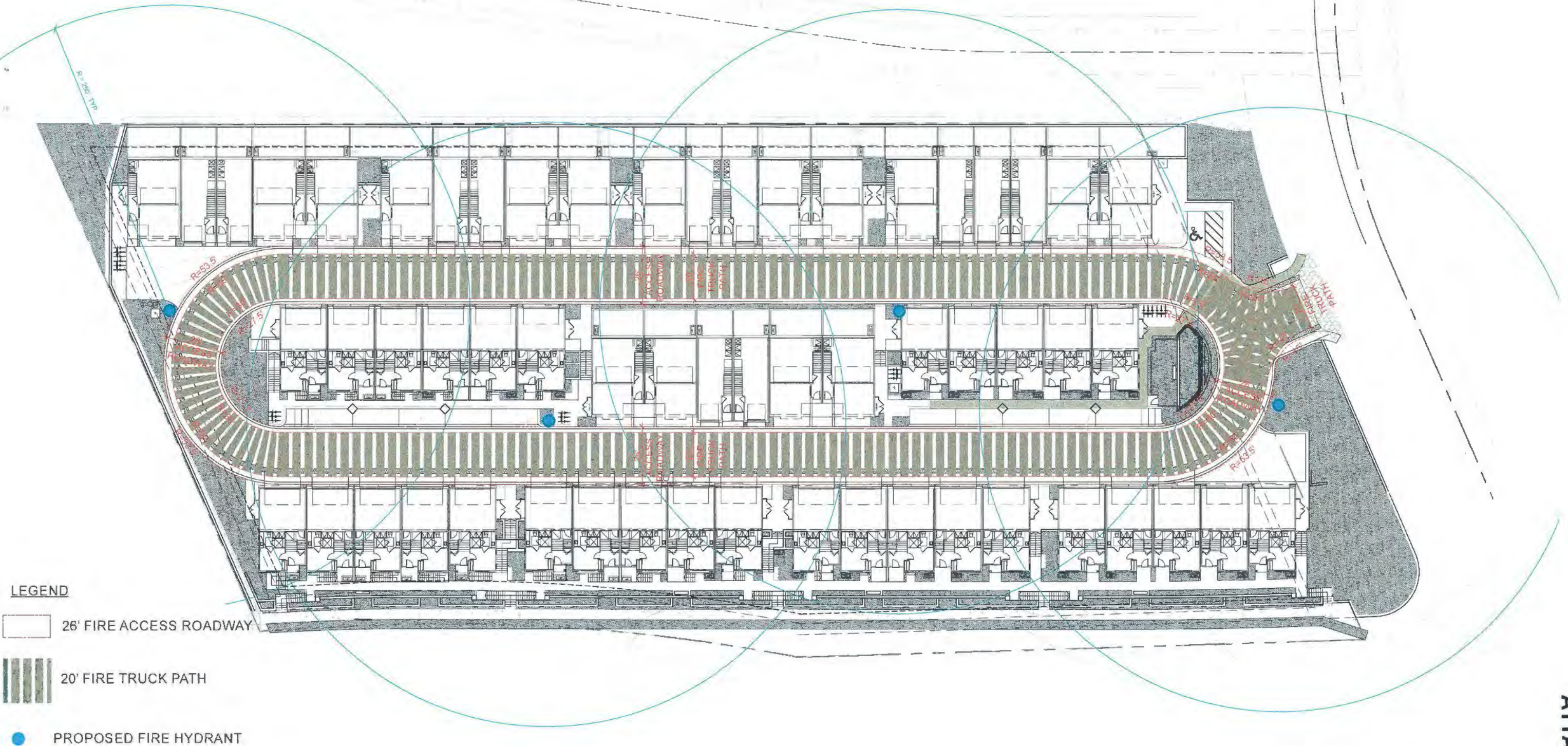
MOTORCYCLE PARKING PER DWELLING UNIT	
REQUIRED: 0.1 SPACES / DWELLING UNIT X 58 UNITS = 5.8 SPACES	
TOTAL REQUIRED	6 SPACES
TOTAL PROVIDED	6 SPACES



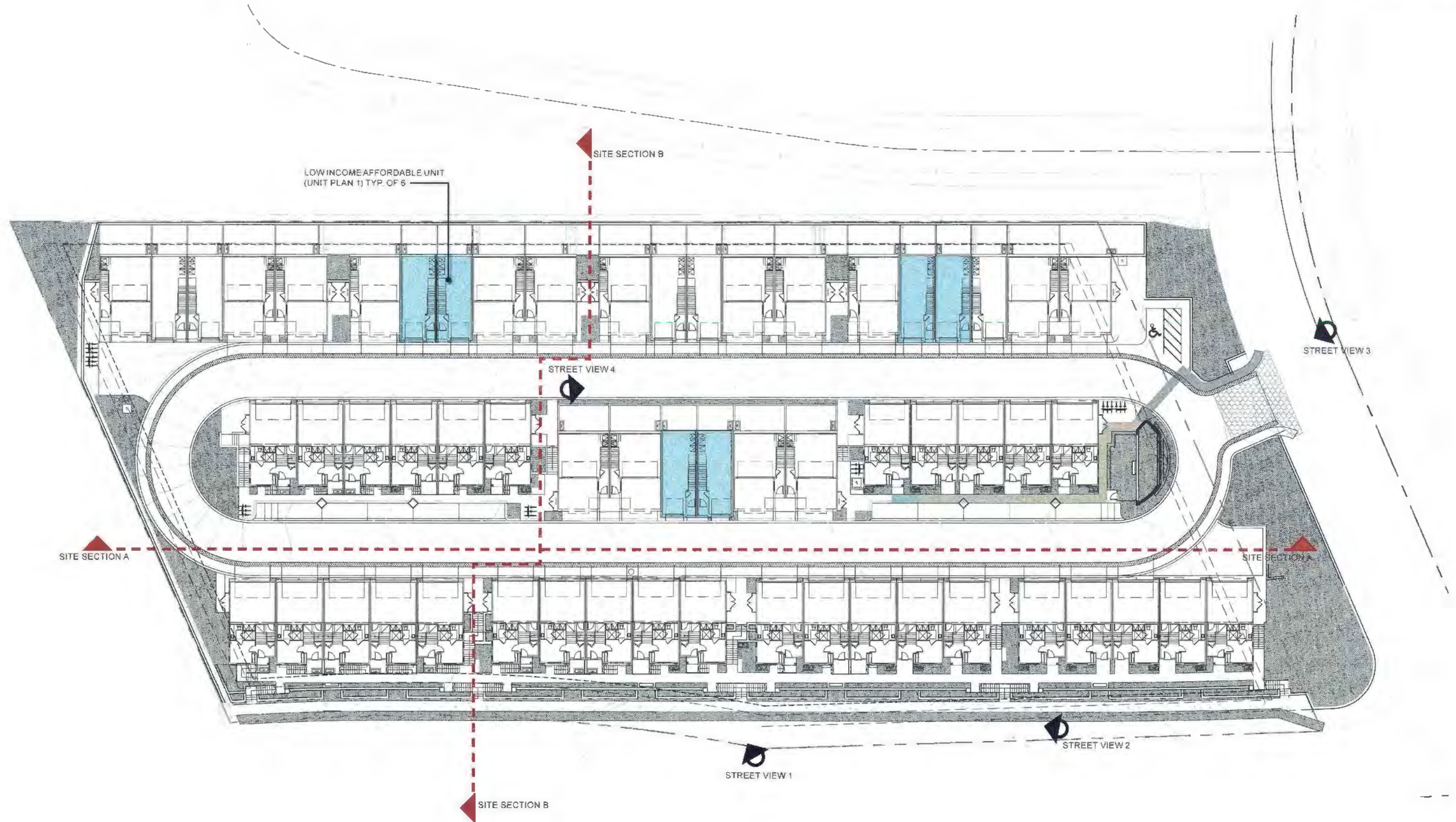


**NOTES:**

- HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING. DSD LIFE SAFETY REQUIRES FDC/PIV 40 FEET FROM THE BUILDING. IF CLEARANCE CAN NOT BE OBTAINED FDC ON BUILDING 20 FEET FROM OPENINGS. < 20 FEET = 1 HOUR RATED OPENINGS.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROLS PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.



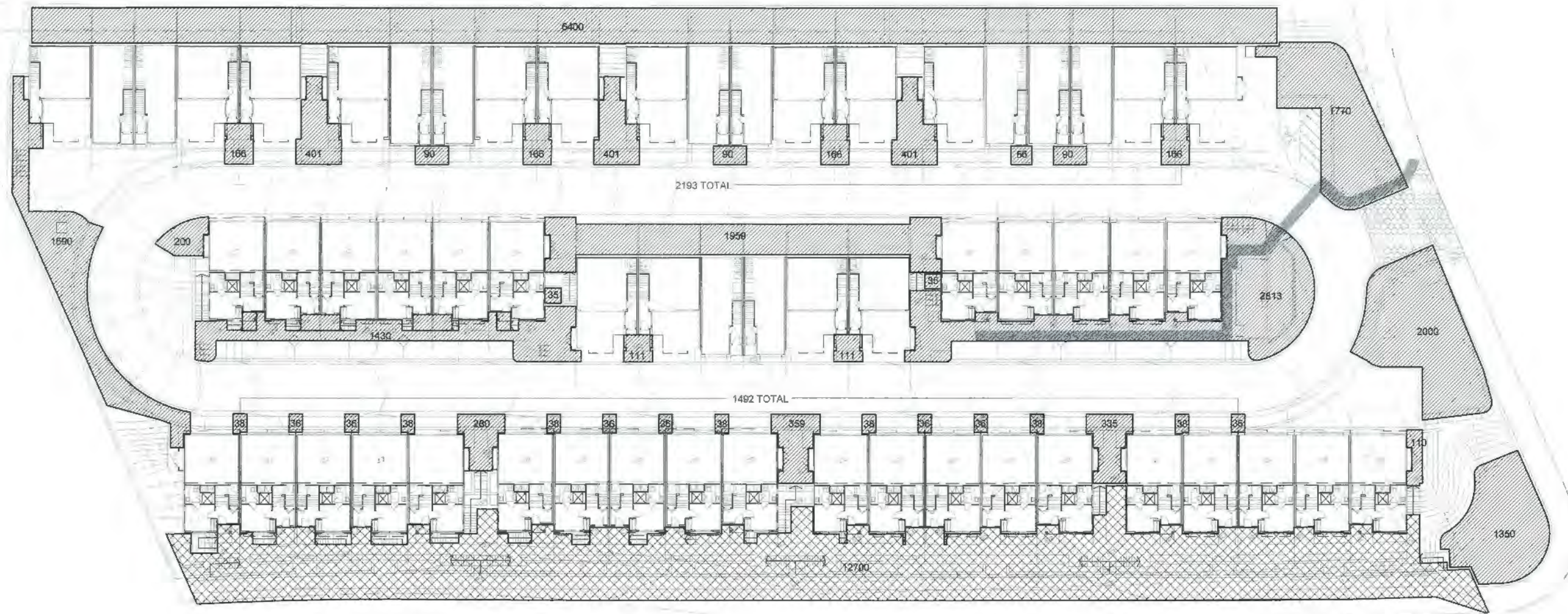




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A-4





**REQUIRED USABLE OPEN AREA:**

MVR-2 @ 653 S.F. OF USABLE OPEN AREA PER DWELLING UNIT

58 UNITS X 653 S.F. = 37,874 S.F.

**USABLE OPEN AREA CALCULATION:**

USABLE OPEN SITE AREA	= 36,299 S.F.
USABLE OPEN AREA FROM DECKS	= 2,160 S.F.
<b>TOTAL USABLE OPEN AREA PROVIDED</b>	<b>= 38,459 S.F.</b>

**USABLE OPEN AREA NOTES:**

- USABLE OPEN AREA SHOWN ON ABOVE SITE PLAN MEASURE A MINIMUM 5' FOOT IN BOTH DIRECTIONS AND HAS AN AVERAGE MODERATE SLOPE OVER THE AREA LESS THAN 10% WITH EXCEPTION TO THE STREET YARD.
- THE STREET YARD AREA IS INCLUDED IN THE USABLE OPEN AREA CALCULATION AND IS TERRACED.
- RELATIVELY FLAT BIO RETENTION BASIN AREAS ARE INCLUDED IN THE USABLE OPEN AREA CALCULATION.



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**A-5**





STREET VIEW 4



STREET VIEW 2



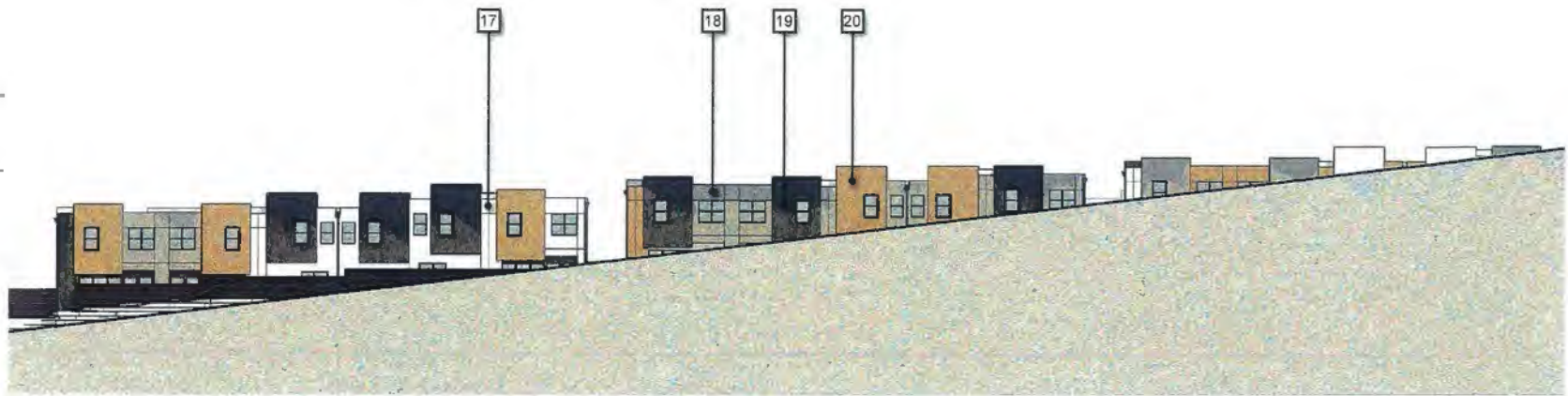
STREET VIEW 3



STREET VIEW 1

SITE PERSPECTIVES  
STREET VIEWS





CAMINITO CUERVO STREET SCAPE



RANCHO MISSION ROAD STREET SCAPE

- KEYNOTES**
- 17 STUCCO BODY 1  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4  
SMOOTH/LIGHT SAND STUCCO FINISH



SAN DIEGO MISSION ROAD STREET SCAPE

CONCEPTUAL STREETSCAPE  
0 20 40 80

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**A-7**





SITE SECTION B

- KEYNOTES**
- 17 STUCCO BODY 1  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4  
SMOOTH/LIGHT SAND STUCCO FINISH



SITE SECTION A

**SITE SECTIONS**

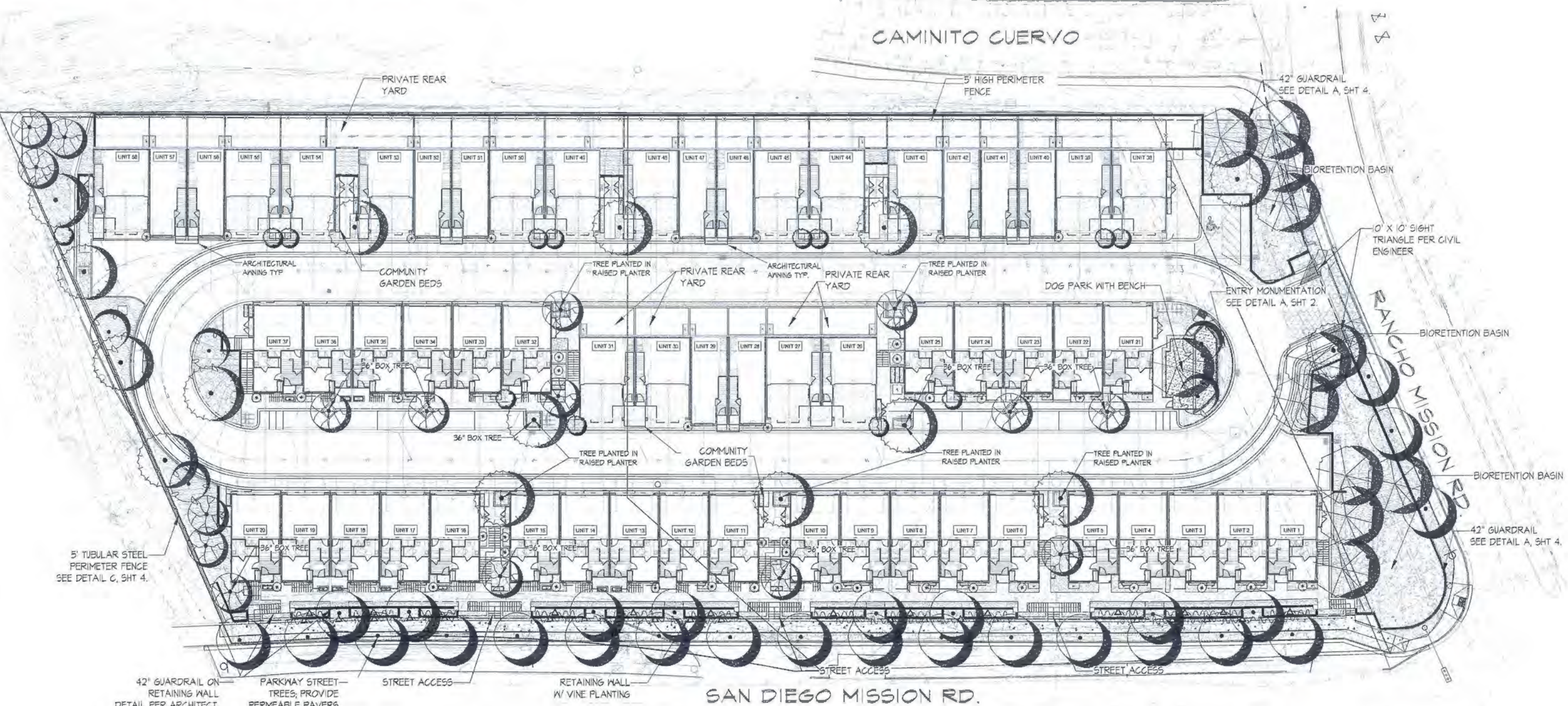
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**A-8**



LANDSCAPE CONCEPT PLAN



**SAN DIEGO MISSION  
ROAD RESIDENCES** SAN DIEGO, CALIFORNIA  
COLRICH COMMUNITIES  
444 WEST BEECH STREET  
SAN DIEGO, CA 92101

SHEET INDEX:		
SEE	SHEET 1	FOR PLANTING PLAN
SEE	SHEET 2	FOR PLANTING L&S DETS & CALCS
SEE	SHEET 3	FOR FENCE & WALL PLAN
SEE	SHEET 4	FOR FENCE & WALL DETS
SEE	SHEET 5	FOR LANDSCAPE CALCS



Prepared By: GMP  
Name: GMP  
Address: 4010 SORRENTO VALLEY BLVD. SUITE 200  
SAN DIEGO, CA 92121  
Phone #: 658-558-8977  
Project Address: SAN DIEGO MISSION ROAD  
Project Name: SAN DIEGO MISSION ROAD RESIDENCES  
Legal Description: \_\_\_\_\_  
Sheet Title: PLANTING PLAN  
GMP JOB #15-071-00









Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	_____
Plot Date:	<u>7.21.2015</u>
Original Date:	<u>9-17-15</u>
Sheet <u>1</u> of <u>5</u> sheets	
PCD/RPO#	_____



# LANDSCAPE CONCEPT PLAN

PLANT LEGEND NOTE: ALL PLANTS SHOWN ON LEGEND MAY ULTIMATELY NOT BE USED AND ADDITIONAL PLANTS MAY BE ADDED ON CONSTRUCTION DOCUMENTS.

## TREES

SYM.	VERTICAL COLUMNAR TREES, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	HYMENOSPORUM FLAVUM	SWEET SHADE	24" BOX	M	
	STENOCAERUS SINATUS	FIREWHEEL TREE	24" BOX	M	
	TRISTANIA CONFERTA	BRISBANE BOX	24" BOX	M	
	SMALL ACCENT TREES, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	ALOE BAINESII	TREE ALOE	24" BOX	L	
	LASERSTROEMIA INDICA	GRAPE MYRTLE	24" BOX	M	
	MAGNOLIA GRANDIFLORA LITTLE GEM	LITTLE GEM DWARF MAGNOLIA	24" BOX	M	
	NARROW/CYLINDRICAL, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	CUPRESSUS SEMPERVIRENS 'TINY TONERS'	DWARF ITALIAN CYPRESS	24" BOX	L	
	PODOCARPUS NAKI	SHRUBBY YEM PODOCARPUS	24" BOX	M	
	SPECIMEN/ACCENT TREES, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	ALBIZIA JULIBRISSIN	SILK TREE	24" BOX	L	
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	L	
	SCHOTFLERA ACTINOPHYLLA	UMBRELLA TREE	24" BOX	M	
	LARGE CANOPY TREES, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	SPATHODEA CAMPANULATA	AFRICAN BULB TREE	24" BOX	M	
	SLMS PARVIFOLIA	CHINESE ELM	24" BOX	M	
	TREES (GENERAL SPACES)				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	ACACIA COGNATA	RIVER HATTEL	24" BOX	M	
	ACACIA STENOCHORDIA	SHOOTING ACACIA	24" BOX	L	
	RHUS LANCEA	AFRICAN SIKAC	24" BOX	L	
	SAN DIEGO MISSION RD. & RANCHO MISSION RD. STREET TREES, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX	M	
	KOELBUTERIA BIPINNATA	CHINESE FLAME TREE	24" BOX	M	
	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	24" BOX	M	
	NOTE: PROVIDE PERMEABLE PAVERS OR TREE GRATE AROUND EACH STREET TREE TO ALLOW REQUIRED MINIMUM 40 SQ. FT. OF ROOT SPACE PER TREE & ADA ACCESS				
	BIORIENTATION TREES, SUCH AS				
	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX	M	
	QUERCUS AGRIIFOLIA	COAST LIVE OAK	24" BOX	VL	

SHRUBS BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS
LARGE CEANOTHUS CONCHA	CONCHA MOUNTAIN LILAC	5 GAL	LOW
SHRUBS CISTUS PURPUREUS	ROCK ROSE	1 GAL	LOW
HEIGHT PHORUM MAORI QUEEN	NEW ZEALAND FLAX	MEDIUM	
PITTOSPORUM T. 'SILVER SHEEN'	SILVER SHEEN KOUHUI	MEDIUM	
PITTOSPORUM T. 'VARIEGATA'	VARIATED HOCK ORANGE	MEDIUM	
ROSA 'ICEBERG'	ICEBERG WHITE ROSE	MEDIUM	
ROSMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	VERY LOW	
RUSSELLIA EQUESTIFORMIS	FIRECRACKER PLANT	MEDIUM	
SALVIA LEUCANTHA	SANTA BARBARA SAGE	LOW	
SALVIA CLEVELANDII	CLEVELAND SAGE	VERY LOW	
STRELITZIA REGINAE	BIRD OF PARADISE	MEDIUM	
NESTINGIA F. 'SMOKEY'	COAST ROSEMARY	LOW	

SHRUBS BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS
SMALL ACANTHUS MOLLIS	BEAR'S BREECH	1 GAL	MEDIUM
SHRUBS ALSTROEMERIA SPP.	PERUVIAN LILY	1 GAL	MEDIUM
HEIGHT ANISOZANTHOS FLAVIDS	RED KANSAS PAM	1 GAL	LOW
BOUSAINVILLEA ROSENKA	ROSENKA SHRUB BOUSAINVILLEA	5 GAL	LOW
OLIVIA MINIATA	TORCH LILY	1 GAL	LOW
LANTANA 'GOLD MOUND'	GOLD SPREADING LANTANA	1 GAL	LOW
LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1 GAL	LOW
MULLENBERGIA RIGENS	DEER GRASS	5 GAL	LOW
PHILODENDRON 'XANADU'	XANADU PHILODENDRON	1 GAL	MEDIUM
SALVIA GREGGII 'HOT LIPS'	HOT LIPS SALVIA	1 GAL	LOW

SHRUBS BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS
SLOPE AGAVE AMERICANA	CENTURY PLANT	5 GAL	LOW
SHRUBS AGAVE FRANZOSINI	AGAVE	5 GAL	LOW
BACCHARIS PILLULARIS T. P.	DWARF COYOTE BRUSH	5 GAL	LOW
CEANOTHUS SPP.	CALIFORNIA LILAC	5 GAL	LOW
CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL	LOW
HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	VERY LOW
LEYMUS CONDENSATUS 'C. P.	CANYON PRINCE WILD RYE	5 GAL	LOW
MULLENBERGIA RIGENS	DEER GRASS	5 GAL	MODERATE
MYOPORUM PARVIFOLIUM 'P.C.	CREEPING MYOPORUM	5 GAL	LOW
RHUS OVATA	SUGAR BUSH	5 GAL	VERY LOW

PARKWAY BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS
SHRUBS ANISOZANTHOS FLAVIDS	RED KANSAS PAM	1 GAL	LOW
CISTUS PURPUREUS	ORCHID ROCKROSE	1 GAL	LOW
LANTANA 'GOLD MOUND'	NEW GOLD LANTANA	1 GAL	VERY LOW
LAVENDULA STOECHAS	OTTO QUAST SPANISH LAVENDER	1 GAL	LOW
RHAPHIDOPHYLLUM UNDELLATUM H.	DWARF YEDDOO HANTHORSE	1 GAL	LOW
SENECIO HANDBALISCAE	BLUE CHALKSTICKS	1 GAL	LOW
BIORIENTATION PLANTS	COMMON NAME	SIZE	MUGOLS
CHONDROPETALUM TECTORUM	SHALL CAPE RUSH	5 GAL	LOW
JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	LOW
LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	5 GAL	LOW
MULLENBERGIA RIGENS	DEER GRASS	1 GAL	LOW

VINES BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS
BOUSAINVILLEA BARBARA KARST	BOUSAINVILLEA	15 GAL	LOW
ALVASTICUS RIVERS	VIOLET TRUMPET VINE	15 GAL	MEDIUM
TRACHELOSPERMUM JASMINODES	STAR JASMINE	15 GAL	MEDIUM
FICUS FUMIDA	CREEPING FIG	15 GAL	MEDIUM

GROUND COVERS	COMMON NAME	SIZE	MUGOLS
CAREX TIMULICOLA	CALIFORNIA MEADOW SEDGE	FLATS	MEDIUM
IN WATER QUALITY BASINS AND OTHER LANDSCAPE AREAS			
BACCHARIS P. 'TWIN PEAKS'	DWARF COYOTE BRUSH	LOW	
MYOPORUM P. 'PULAN GARDEN'	CREEPING MYOPORUM	LOW	
SENECIO MONTEVIDENSIS	BLUE CHALKSTICKS	LOW	
TRACHELOSPERMUM JASMINODES	STAR JASMINE	MEDIUM	
DIANELLA CASABELLA 'CASA BLUE'	BLUE FLAX LILY	MEDIUM	
MULCH (PRIVATE REAR YARDS TO BE INSTALLED BY THE HOME OWNER)			

DECOMPOSED GRANITE	
--------------------	--

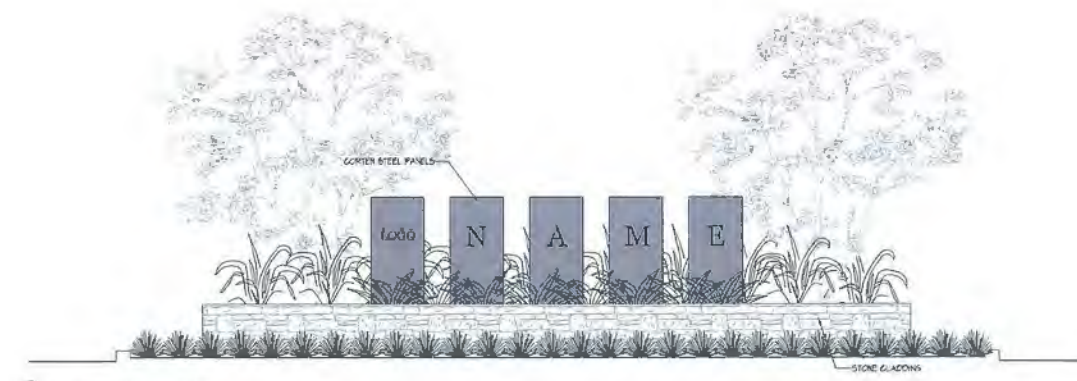
EDIBLE PLANT MATERIAL	VARIES
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## COMMUNITY GARDEN BEDS

EDIBLE PLANT MATERIAL	VARIES
-----------------------	--------

## NOTES

- ALL TREES WITHIN 10' OF ANY HARDSCAPE ELEMENT, SHALL RECEIVE ROOT BARRIERS
- ALL SHRUB AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED BARK MULCH
- SIZE ALL TREES AS SHOWN UNLESS OTHERWISE NOTED ON THE PLAN



(A) ENTRY MONUMENT

## WATER CALCULATIONS

ESTIMATED WATER USE			
EWU (GPD) = ETO x PF x HA x IE			
ETo	= 0.129	AVG. DAILY ETo	4.7 per year
PF	= 0.5	SHRUBS & GROUND COVER (SPRAY/ROTOR)	
		0.8	TURF (SPRAY & ROTOR)
		0.5	SHRUBS (POINT SOURCE & DRIPLINE)
HA	=	SEE BELOW FOR SQUARE FOOTAGE	
IE	= 0.62	CONVERSION FACTOR OF UNITS TO GPD	
		0.65	ROTORS
		0.8	SPRAYS
		0.9	DRIPLINE
		0.85	BUBBLERS
ZONE TYPE	AREA (SQ. FT.)	EWU =	GPD
SHRUB ROTORS		EWU = 0.00	GPD
		(Eto x 0.5 x HA x .62) .85	
TURF ROTORS		EWU = 0.00	GPD
		(Eto x 0.8 x HA x .62) .85	
SHRUB SPRAYS		EWU = 0.00	GPD
		(Eto x 0.5 x HA x .62) .60	
TURF SPRAYS		EWU = 0.00	GPD
		(Eto x 0.8 x HA x .62) .60	
SHRUB DRIPLINE		EWU = 2,279.09	GPD
		(Eto x 0.5 x HA x .62) .90	
TREE BUBBLER		EWU = 0.00	GPD
		(Eto x 0.5 x HA x .62) .85	
TOTAL SQ. FEET:	\$1,385	EWU = 2,279.09	
ACRE:	1.18	GPD	1.82
		502,562	AC. FT./Yr
		GPY	79,214.30
			CU. FT./Yr
*EWU based on watering 5 days per week, 52 weeks per year, with no effective rainfall			
MAWA=Eto x 0.5 x AREA x 0.62	DAILY MAWA:	2,051	
	YEARLY MAWA:	748,679	2.30
		GPY	AC. FT.



(B) BLENDING LIBRARY



(C) RAISED GARDEN BED

## SAN DIEGO MISSION ROAD RESIDENCES

COLRICH COMMUNITIES

444 WEST BEECH STREET  
SAN DIEGO, CA 92101



SHEET INDEX:			
SEE	SHEET 1	FOR PLANTING PLAN	
SEE	SHEET 2	FOR PLANTING LEG DETS & CALCS	
SEE	SHEET 3	FOR FENCE & WALL PLAN	
SEE	SHEET 4	FOR FENCE & WALL DETS	
SEE	SHEET 5	FOR LANDSCAPE CALCS	



4100 Sorrento Valley Blvd.  
San Diego, CA 92121

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T 858-558-8977

LANDSCAPE  
ARCHITECTURE  
& PLANNING

Prepared By:  
Name: GMP

Address: 4100 SORRENTO VALLEY BLVD. SUITE 200  
SAN DIEGO, CA 92121

Phone #: 858-558-8977

Project Address:  
SAN DIEGO MISSION ROAD

Project Name:  
SAN DIEGO MISSION ROAD RESIDENCES

Legal Description:

Sheet Title:  
PLANTING LEGEND, DETAILS & CALCULATIONS

GMP JOB #15-071-00

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	

Plot Date: 7.21.2016

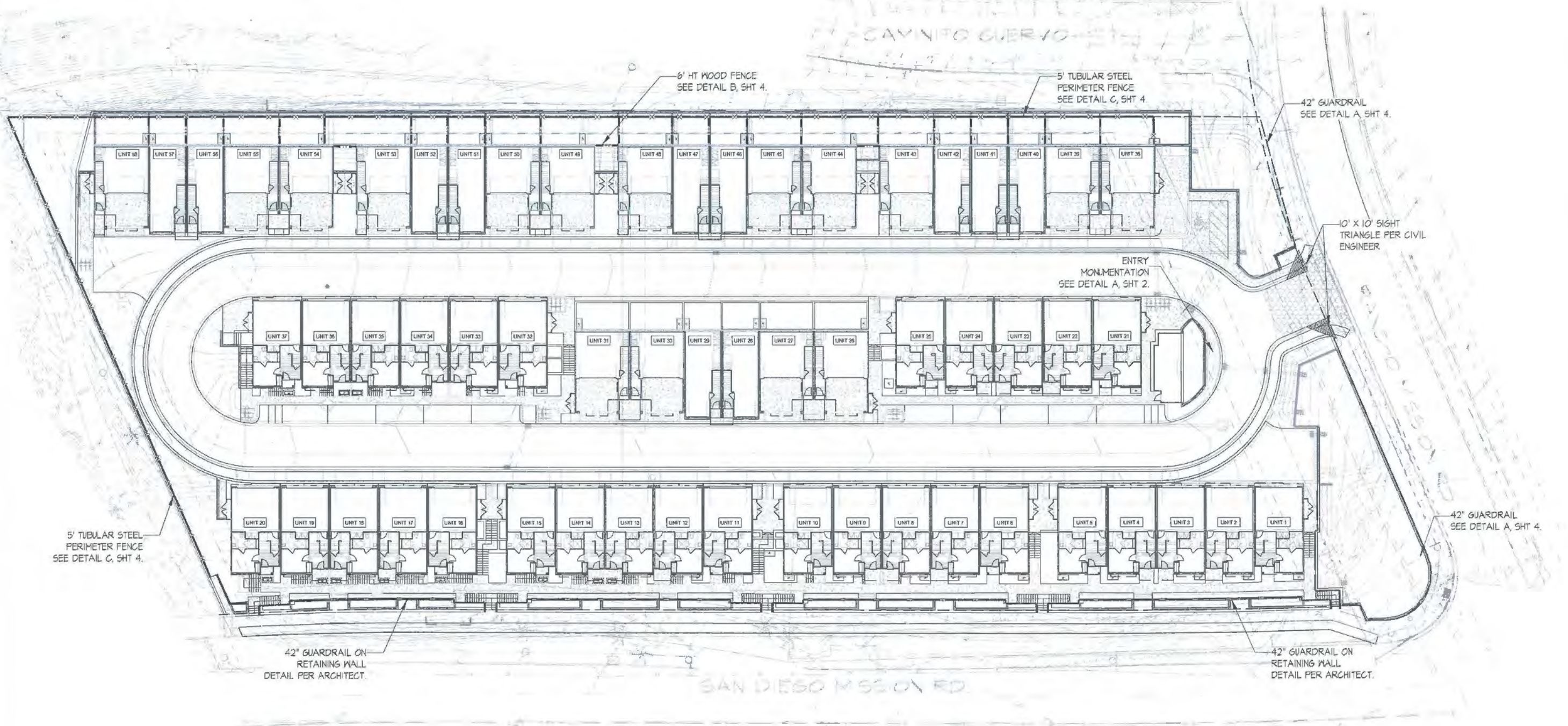
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Sheet 2 of 5 sheets

PCD/RPO#



# FENCE AND WALL PLAN



## SAN DIEGO MISSION ROAD RESIDENCES

COLRICH COMMUNITIES  
444 WEST BEECH STREET  
SAN DIEGO, CA 92101

FENCE & WALL LEGEND	
---	42" GUARDRAIL, DETAIL PER ARCHITECT.
---	42" GUARDRAIL, SEE DETAIL A, SHT 4.
	6' HT WOOD FENCE, SEE DETAIL B, SHT 4.
---	5' HT TUBULAR STEEL FENCE, SEE DETAIL C, SHT 4.



SHEET INDEX		
SEE SHEET 1	FOR PLANTING PLAN	
SEE SHEET 2	FOR PLANTING LEG. DETS 1 CALCS	
SEE SHEET 3	FOR FENCE & WALL PLAN	
SEE SHEET 4	FOR FENCE & WALL DETS	
SEE SHEET 5	FOR LANDSCAPE CALCS	



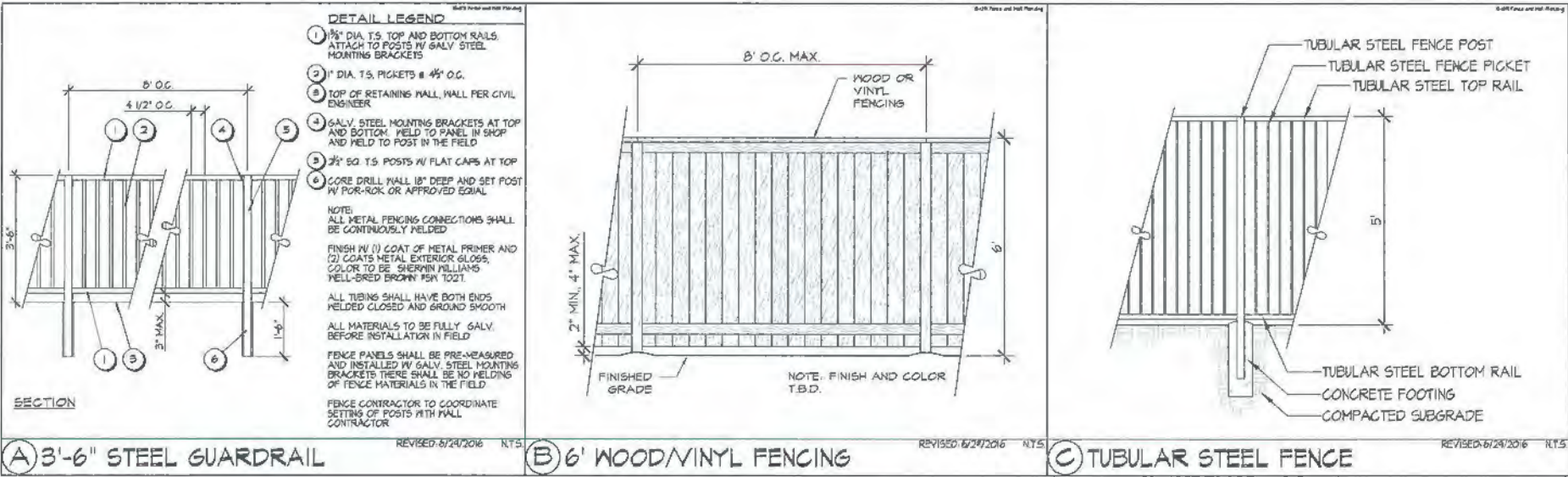
7010 Sorrento Valley Blvd.  
San Diego, CA 92121  
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LANDSCAPE  
ARCHITECTURE  
& PLANNING

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Project Address: SAN DIEGO MISSION ROAD  
Project Name: SAN DIEGO MISSION ROAD RESIDENCES  
Legal Description: \_\_\_\_\_  
Sheet Title: FENCE AND WALL PLAN  
GMP JOB #15-071-00

Revision 14:	_____
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Revision 12:	_____
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Revision 2:	_____
Revision 1:	_____
Plot Date:	<u>7.21.2016</u>
Original Date:	<u>9-17-15</u>
Sheet <u>3</u> of <u>5</u> sheets	
PCD/RPO#	_____



FENCE AND WALL PLAN



SAN DIEGO MISSION  
ROAD RESIDENCES SAN DIEGO, CALIFORNIA  
COLRICH COMMUNITIES  
444 WEST BEECH STREET  
SAN DIEGO, CA 92101

SHEET INDEX:		
SEE	SHEET 1	FOR PLANTING PLAN
SEE	SHEET 2	FOR PLANTING L.S. DETS & CALCS
SEE	SHEET 3	FOR FENCE & WALL PLAN
SEE	SHEET 4	FOR FENCE & WALL DETS
SEE	SHEET 5	FOR LANDSCAPE CALCS



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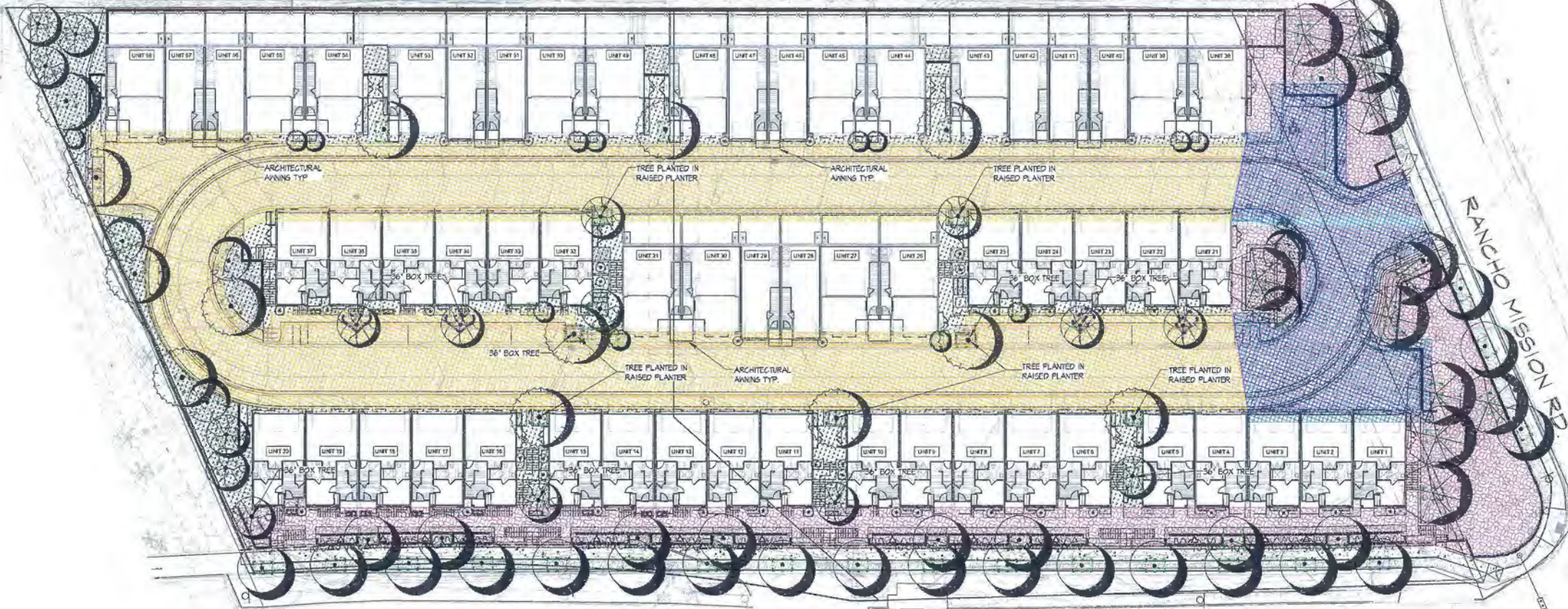
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Name: GMP  
Address: 4010 SORRENTO VALLEY BLVD. SUITE 200  
SAN DIEGO, CA 92121  
Phone #: 658-558-8977  
Project Address: SAN DIEGO MISSION ROAD  
Project Name: SAN DIEGO MISSION ROAD RESIDENCES  
Legal Description: \_\_\_\_\_  
Sheet Title: FENCE AND WALL DETAILS  
GMP JOB #15-071-00

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Revision 13: \_\_\_\_\_  
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Revision 11: \_\_\_\_\_  
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Revision 1: \_\_\_\_\_  
Plot Date: 7.21.2016  
Original Date: 9-17-15  
Sheet 4 of 5 sheets  
PCD/RPO# \_\_\_\_\_



LANDSCAPE CONCEPT PLAN

CAMINITO CUERVO



SAN DIEGO MISSION RD.

LANDSCAPE CALCULATIONS LEGEND



STREET YARD



5'x8' (40 SQ. FT.)  
TREE PLANTING AREA



REMAINING YARD  
(60 POINTS PER BLG, LOCATED  
OUTSIDE STREET YARD)



5'x8' (40 SQ. FT.)  
ARABLE TREE PLANTING  
AREA TO BE COVERED  
IN PERMEABLE PAVERS



VEHICULAR USE AREA INSIDE  
STREET YARD



VEHICULAR USE AREA OUTSIDE  
STREET YARD

ACCORDING TO SAN DIEGO MUNICIPAL CODE 142.0405 THE TOTAL YARD AREA REQUIRED HAS BEEN REDUCED DUE TO AN EXCESS OF POINTS PROVIDED. THE RATIO OF REDUCTION IS 1 SQUARE FOOT FOR EACH EXCESS POINT PROVIDED.

DUE TO THE LINEAR CONFIGURATION OF THE VUA LANDSCAPE WITHIN 5' OF THE VUA HAS BEEN USED TO SATISFY THIS REQUIREMENT COMBINED WITH ARCHITECTURAL AWNINGS OVER ENTRYWAYS AND GARAGES.

ARCHITECTURAL AWNINGS ON BUILDING FACADES HAVE BEEN EXTENDED WHERE POSSIBLE AN ADDITIONAL 30" TO PROVIDE SHADE AND COVER TO THE VUA.

SHEET INDEX:

SEE	SHEET 1	FOR PLANTING PLAN
SEE	SHEET 2	FOR PLANTING L.S., DETS & CALCS
SEE	SHEET 3	FOR FENCE & WALL PLAN
SEE	SHEET 4	FOR FENCE & WALL DETS
SEE	SHEET 5	FOR LANDSCAPE CALCS



**SAN DIEGO MISSION  
ROAD RESIDENCES** SAN DIEGO, CALIFORNIA


COLRICH COMMUNITIES  
444 WEST BEECH STREET  
SAN DIEGO, CA 92101

NOT TO SCALE



LANDSCAPE  
ARCHITECTURE  
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City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
(619) 445-5000

**Landscape Calculations Worksheet**  
Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

**STREET YARD**

\* A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.  
\* At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 22,562 sq. ft. x 50% = 11,281 sq. ft. = 1,640 EXCESS PTS = 9,591 SQ. FT.	10,220 sq. ft.	624 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 22,562 sq. ft. x 0.05 = 1,128 points	2,018 points	1,690 points

Points achieved with trees: 510 points

Points achieved with trees (at least 50%): 260 points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(a)(1)(B)]	Provided
Total Area sq. ft. x 10% =	sq. ft.

**REMAINING YARD - 2 Dwelling Units**

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points in the remaining yard	points	Points

**REMAINING YARD - 3 or more Dwelling Units**

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x 11 # of buildings 660 required	1,235 points	1,300 Points

**VEHICULAR USE AREA (VUA) - See separate worksheet (DS-5)**



City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
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**Landscape Calculations Worksheet**  
Vehicular Use Areas (VUA)

Prepared By: Name: gmp

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Project Name: SAN DIEGO MISSION ROAD RESIDENCES

Legal Description:

Sheet Title: LANDSCAPE CALCULATIONS

GMP JOB #15-071-00

Revision 14: \_\_\_\_\_

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Revision 12: \_\_\_\_\_

Revision 11: \_\_\_\_\_

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Revision 5: \_\_\_\_\_

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Revision 3: \_\_\_\_\_

Revision 2: \_\_\_\_\_

Revision 1: \_\_\_\_\_

Plot Date: 7.21.2016

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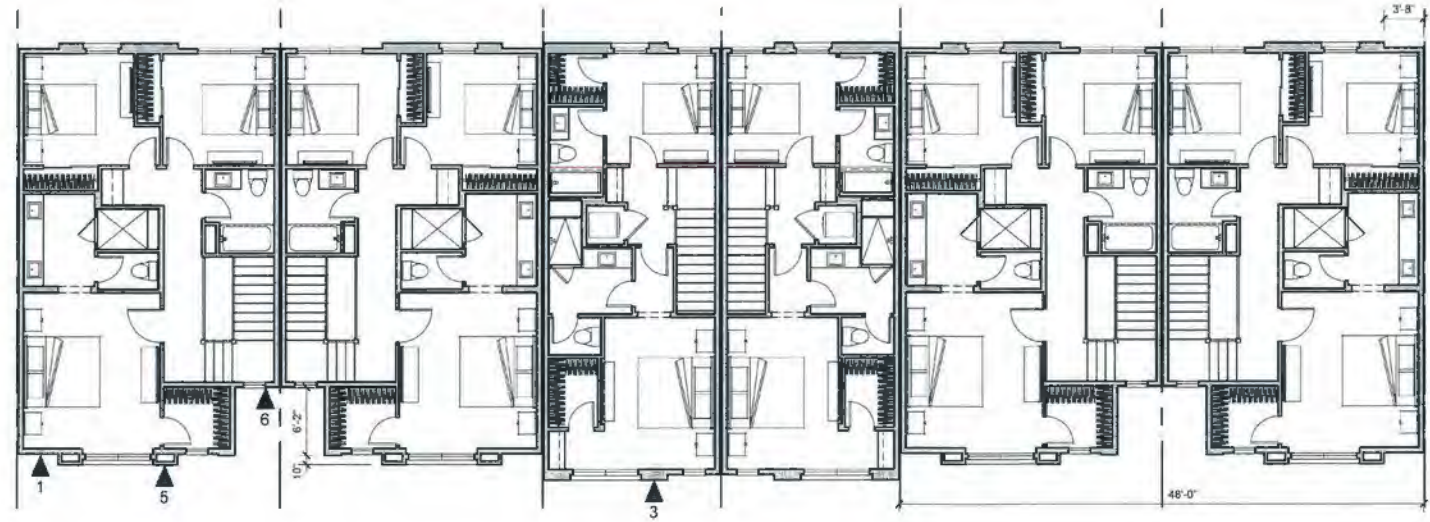
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PCD/RPO# \_\_\_\_\_

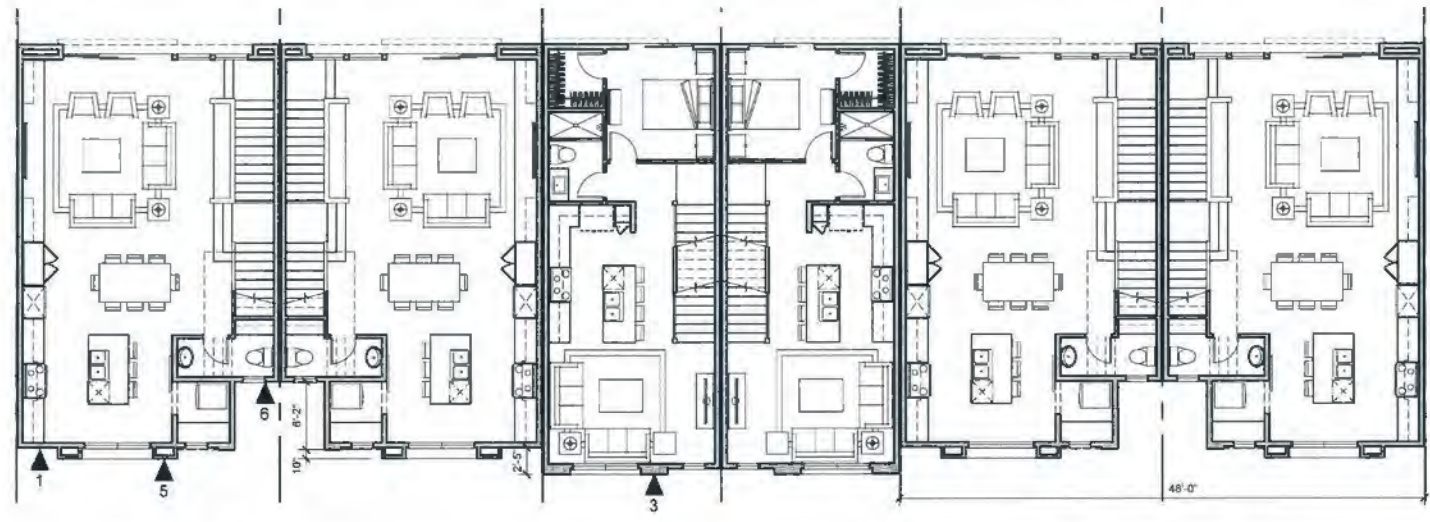
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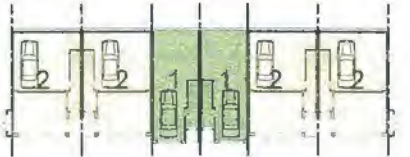
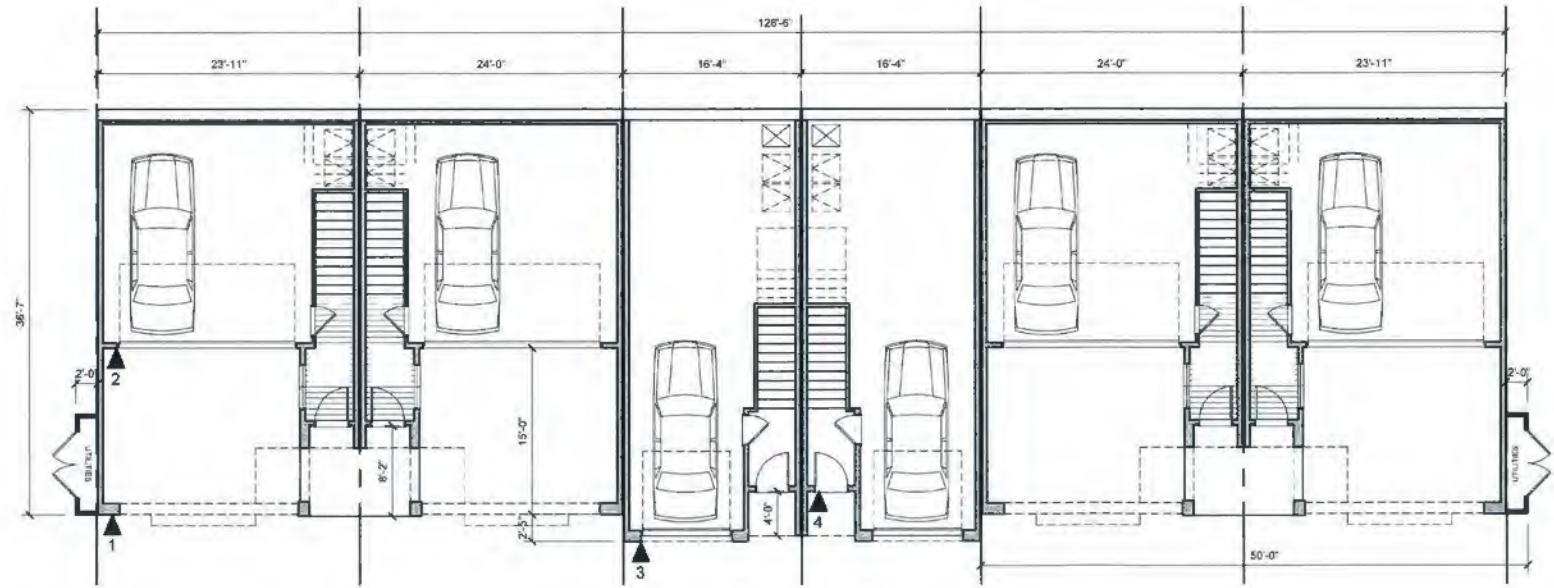
THIRD FLOOR PLAN



SECOND FLOOR PLAN



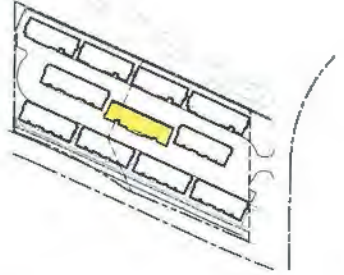
FIRST FLOOR PLAN



BUILDING A	
UNIT 1	2 DU's
UNIT 2	4 DU's
TOTAL	6 DU's

UNIT 1	
TOTAL LIVING AREA:	1272 sq. ft.
First Floor:	80 sq. ft.
Second Floor:	624 sq. ft.
Third Floor:	568 sq. ft.
2 Car Tandem Garage:	525 sq. ft.
3 BR, 3 BA	

UNIT 2	
TOTAL LIVING AREA:	1669 sq. ft.
First Floor:	99 sq. ft.
Second Floor:	800 sq. ft.
Third Floor:	770 sq. ft.
2 Car Garage:	400 sq. ft.
Car Porch:	266 sq. ft.
3 BR, 2.5 BA	



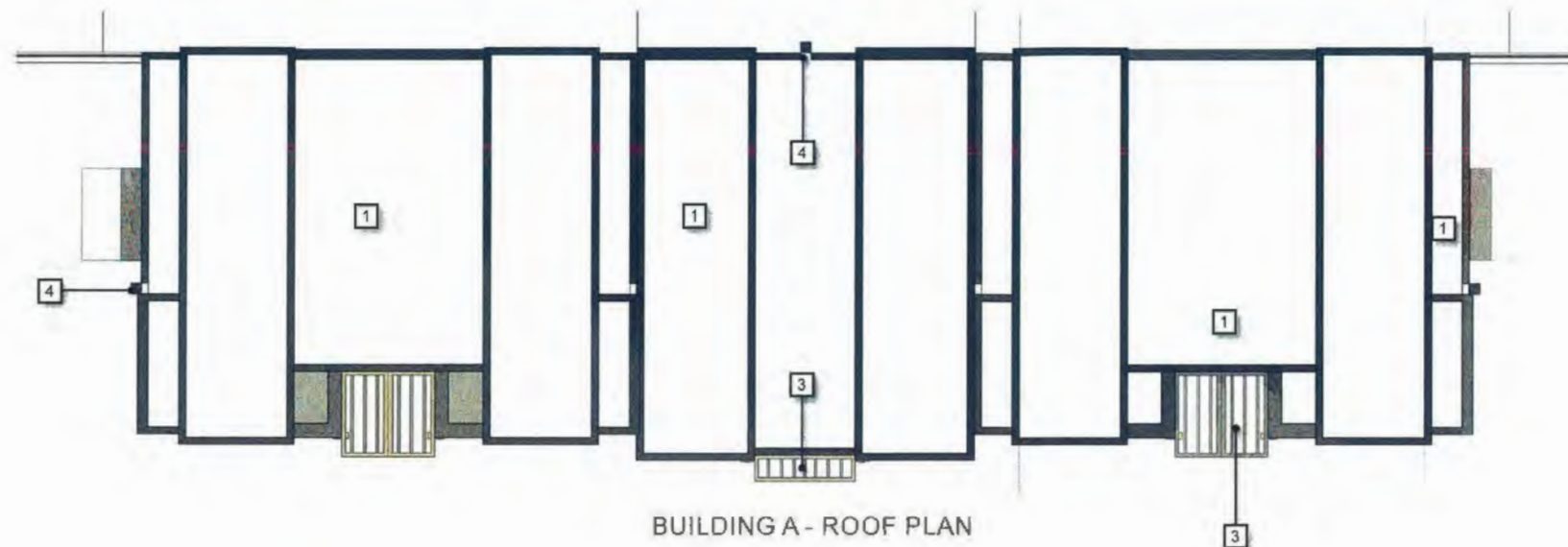
BUILDING A FLOOR PLAN



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858-350-0544

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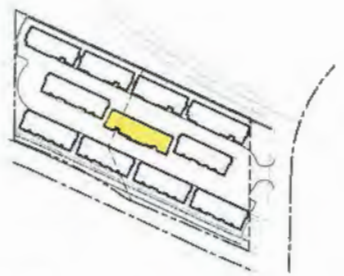


BUILDING A - ROOF PLAN

- KEYNOTES**
- 1 10% ROOF SLOPE BEHIND PARAPET
  - 2 NOT USED
  - 3 METAL AWNING
  - 4 SCUPPER BOX W/ DOWNSPOUT
  - 5 BUILDING ACCENT COLOR
  - 6 VINYL WINDOWS
  - 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
  - 8 SECTIONAL GARAGE DOORS
  - 9 METAL REVEAL J-MOLDING AT DOORS AND WINDOWS
  - 10 METAL REGLET CHANNEL SCREED IN STUCCO
  - 11 UNIT ADDRESS SIGN
  - 12 TRANSOM WINDOW LIGHT
  - 13 POTENTIAL SOLAR PANEL ZONE
  - 14 UTILITY CLOSET
  - 15 RETAINING WALL
  - 16 STACKING GLASS WALL DOORS
  - 17 STUCCO BODY 1  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4  
SMOOTH/LIGHT SAND STUCCO FINISH



BUILDING A - PERSPECTIVE



BUILDING A  
PERSPECTIVE &  
ROOF PLAN



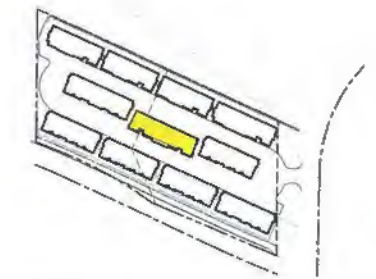
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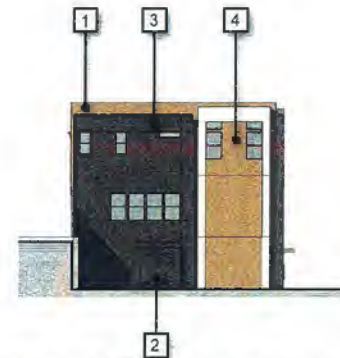
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  - 17 STUCCO BODY 1 SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2 SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3 SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4 SMOOTH/LIGHT SAND STUCCO FINISH



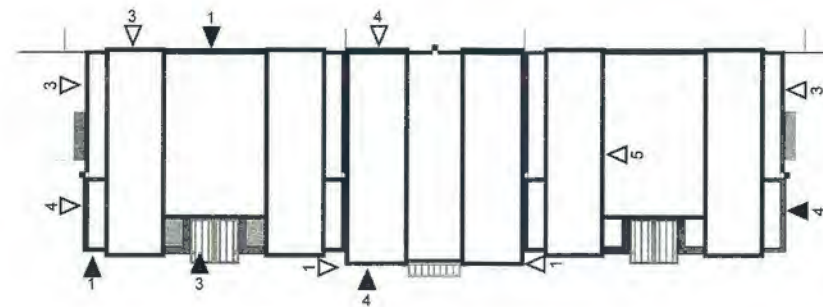
BUILDING A ELEVATIONS







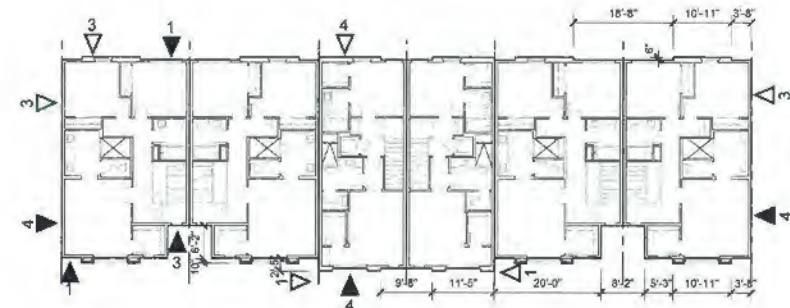
BUILDING A - WEST ELEVATION



BUILDING A - ROOF PLAN



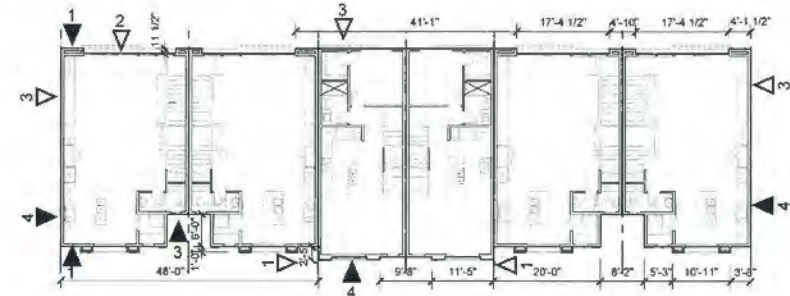
BUILDING A - NORTH ELEVATION



BUILDING A - THIRD FLOOR PLAN



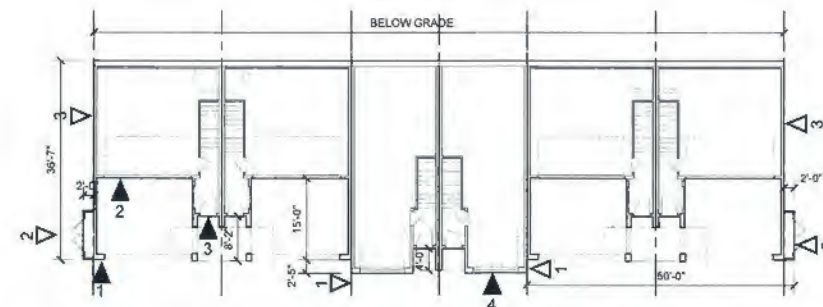
BUILDING A - EAST ELEVATION



BUILDING A - SECOND FLOOR PLAN



BUILDING A - SOUTH ELEVATION



BUILDING A - FIRST FLOOR PLAN

LEGEND

- ▲ COMPLIANT PLANE OFF-SET  
# 4 plan breaks per elevation min.  
3'-0" average plane difference.  
Less than 100' length.  
50% maximum elevation area.  
20% minimum elevation area.
- ▲ PLANE OFF-SET DEVIATION  
# Design achieves plane off-sets through color variation and massing.
- PLANE OFF-SET TAG



BUILDING A PERSPECTIVE 2



BUILDING A PERSPECTIVE 1

BUILDING A  
PLANE BREAKS

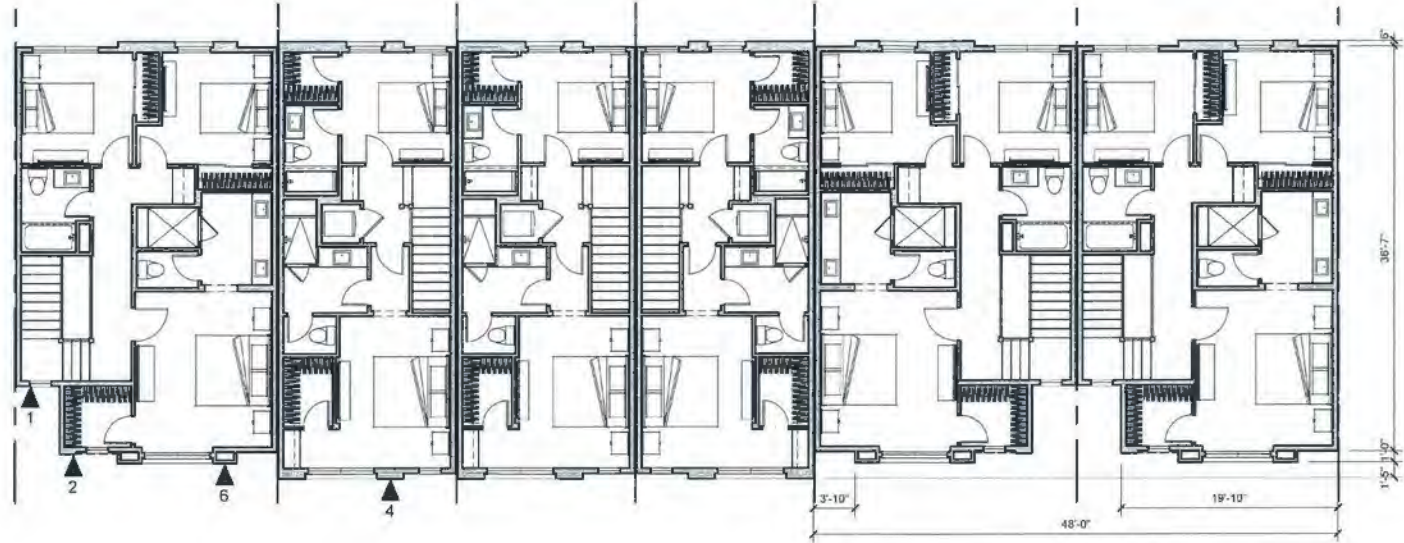
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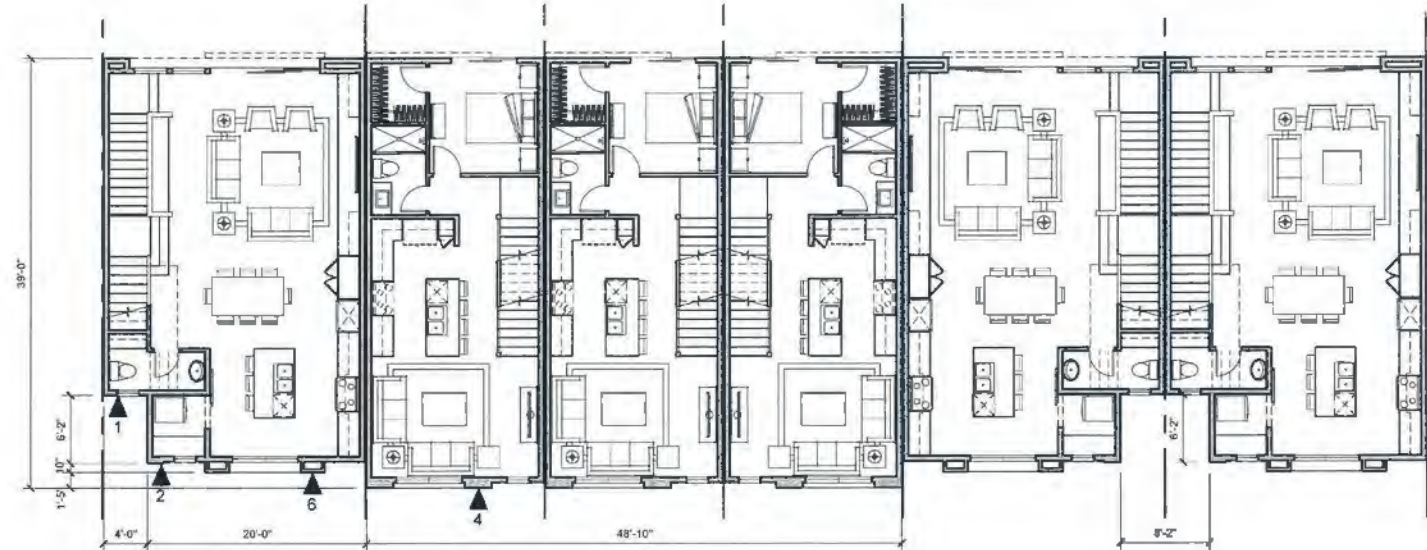
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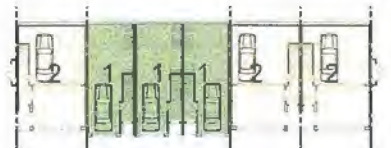
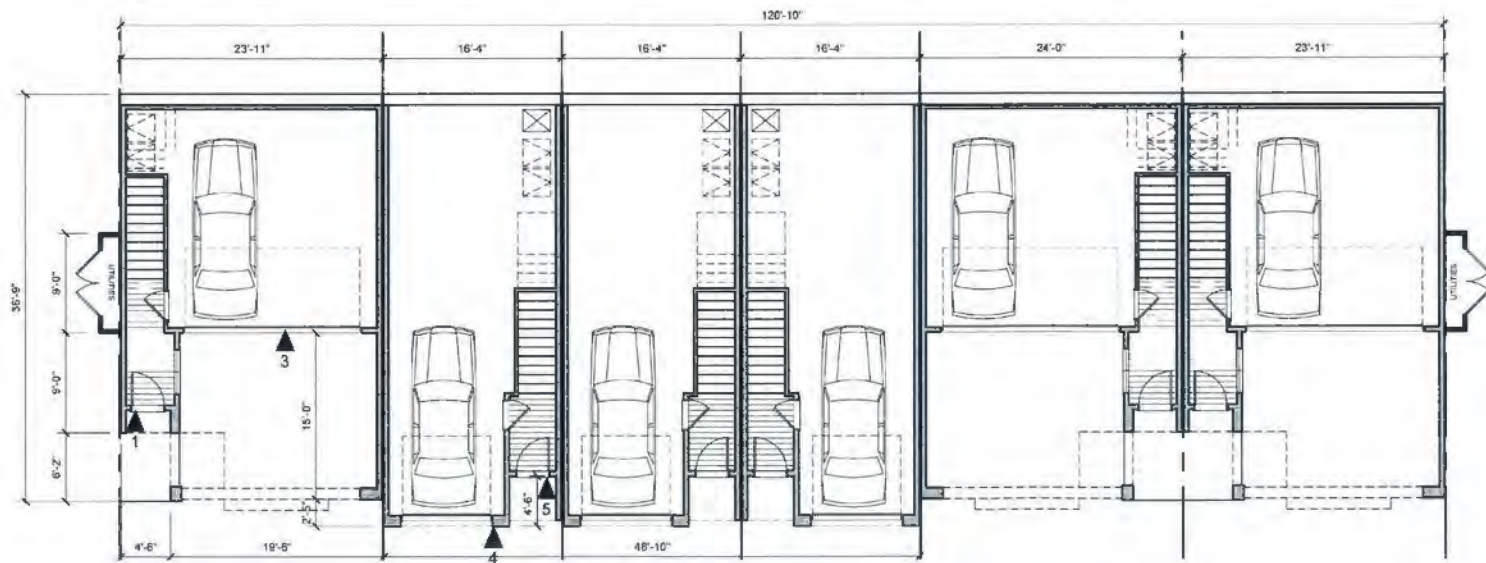
THIRD FLOOR PLAN



SECOND FLOOR PLAN



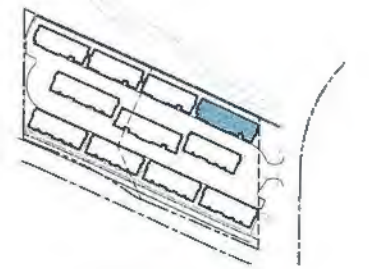
FIRST FLOOR PLAN



BUILDING B	
UNIT 1:	3 DUs
UNIT 2:	3 DUs
TOTAL:	6 DUs

UNIT 1	
TOTAL LIVING AREA:	1272 sq. ft.
First Floor:	80 sq. ft.
Second Floor:	624 sq. ft.
Third Floor:	568 sq. ft.
2 Car Tandem Garage:	525 sq. ft.
3 BR, 3 BA	

UNIT 2	
TOTAL LIVING AREA:	1569 sq. ft.
First Floor:	89 sq. ft.
Second Floor:	800 sq. ft.
Third Floor:	770 sq. ft.
2 Car Garage:	400 sq. ft.
Car Porch:	286 sq. ft.
3 BR, 2.5 BA	



BUILDING B  
FLOOR PLAN



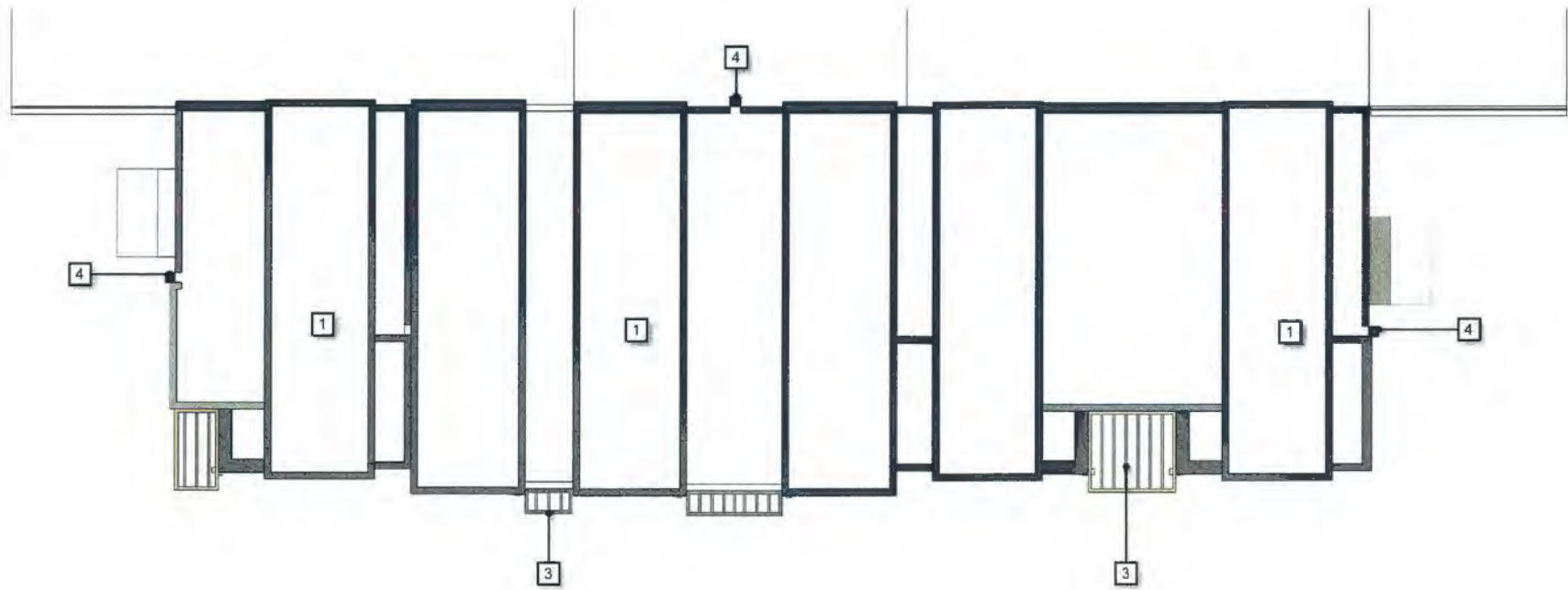
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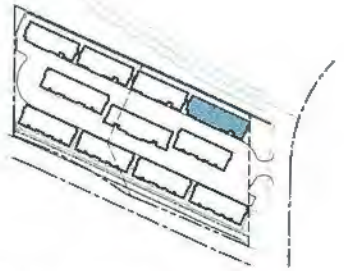
BUILDING B - ROOF PLAN



BUILDING B - PERSPECTIVE

KEYNOTES

- 1 10% ROOF SLOPE BEHIND PARAPET
- 2 NOT USED
- 3 METAL AWNING
- 4 SCUPPER BOX W/ DOWNSPOUT
- 5 BUILDING ACCENT COLOR
- 6 VINYL WINDOWS
- 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
- 8 SECTIONAL GARAGE DOORS
- 9 METAL REVEAL J-MOLDING AT DOORS AND WINDOWS
- 10 METAL REGLET CHANNEL SCREED IN STUCCO
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BUILDING B  
PERSPECTIVE &  
ROOF PLAN



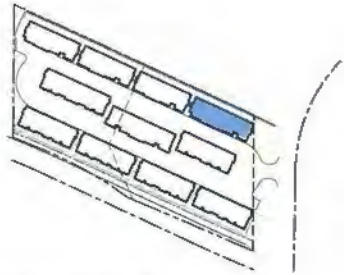
JOB NO. 727.002  
DATE 6-29-16  
539 South Cedros Ave.  
Solana Beach, CA 92075  
858-350-0544

A1.5





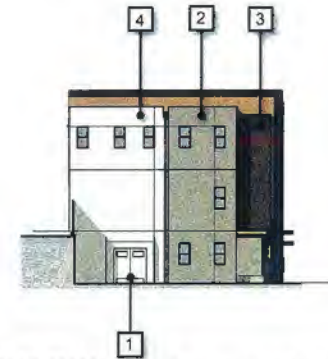
- KEYNOTES**
- 1 10% ROOF SLOPE BEHIND PARAPET
  - 2 NOT USED
  - 3 METAL AWNING
  - 4 SCUPPER BOX W/ DOWNSPOUT
  - 5 BUILDING ACCENT COLOR
  - 6 VINYL WINDOWS
  - 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
  - 8 SECTIONAL GARAGE DOORS
  - 9 METAL REVEAL J-MOLDING AT DOORS AND WINDOWS
  - 10 METAL REGLET CHANNEL SCREED IN STUCCO
  - 11 UNIT ADDRESS SIGN
  - 12 TRANSOM WINDOW LIGHT
  - 13 POTENTIAL SOLAR PANEL ZONE
  - 14 UTILITY CLOSET
  - 15 RETAINING WALL
  - 16 STACKING GLASS WALL DOORS
  - 17 STUCCO BODY 1 SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2 SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3 SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4 SMOOTH/LIGHT SAND STUCCO FINISH



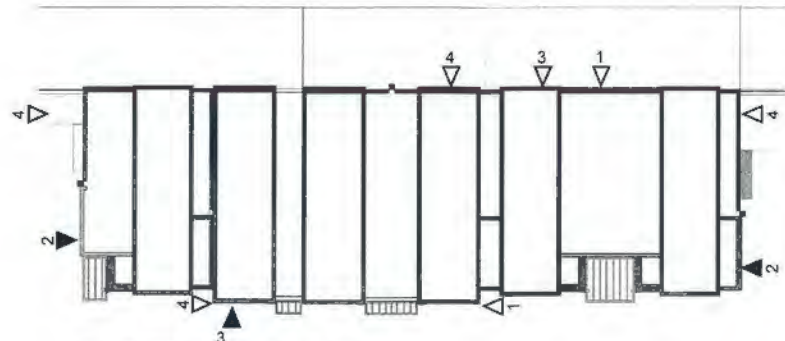
BUILDING B ELEVATIONS



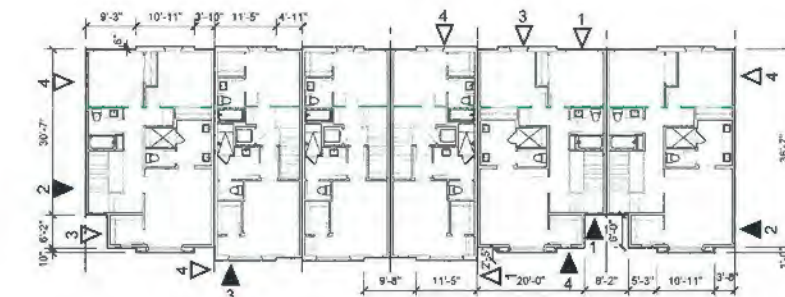




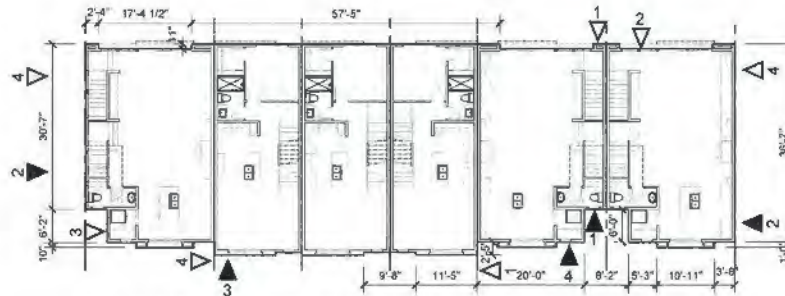
BUILDING B - WEST ELEVATION



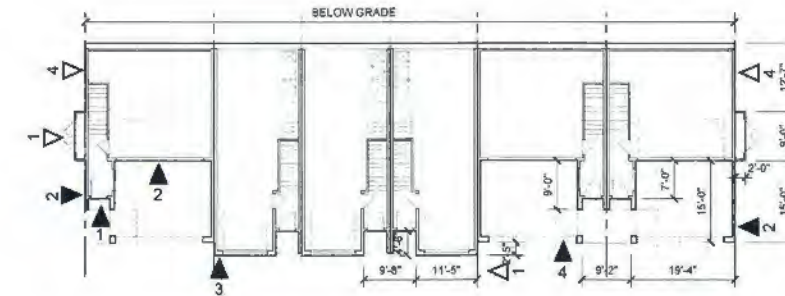
BUILDING B - ROOF PLAN



BUILDING B - THIRD FLOOR PLAN



BUILDING B - SECOND FLOOR PLAN



BUILDING B - FIRST FLOOR PLAN

LEGEND

- ▲ COMPLIANT PLANE OFF-SET  
# 4 plan breaks per elevation min.  
3'-0" average plane difference.  
Less than 100' length.  
50% maximum elevation area.  
20% minimum elevation area.
- ▲ PLANE OFF-SET DEVIATION  
# Design achieves plane off-sets through color  
variation and massing.
- # PLANE OFF-SET TAG



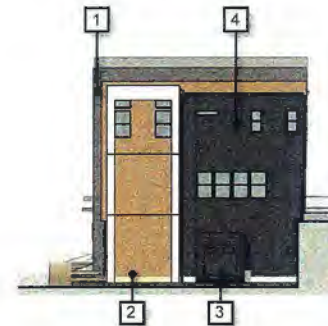
BUILDING B PERSPECTIVE 2



BUILDING B PERSPECTIVE 1



BUILDING B - NORTH ELEVATION



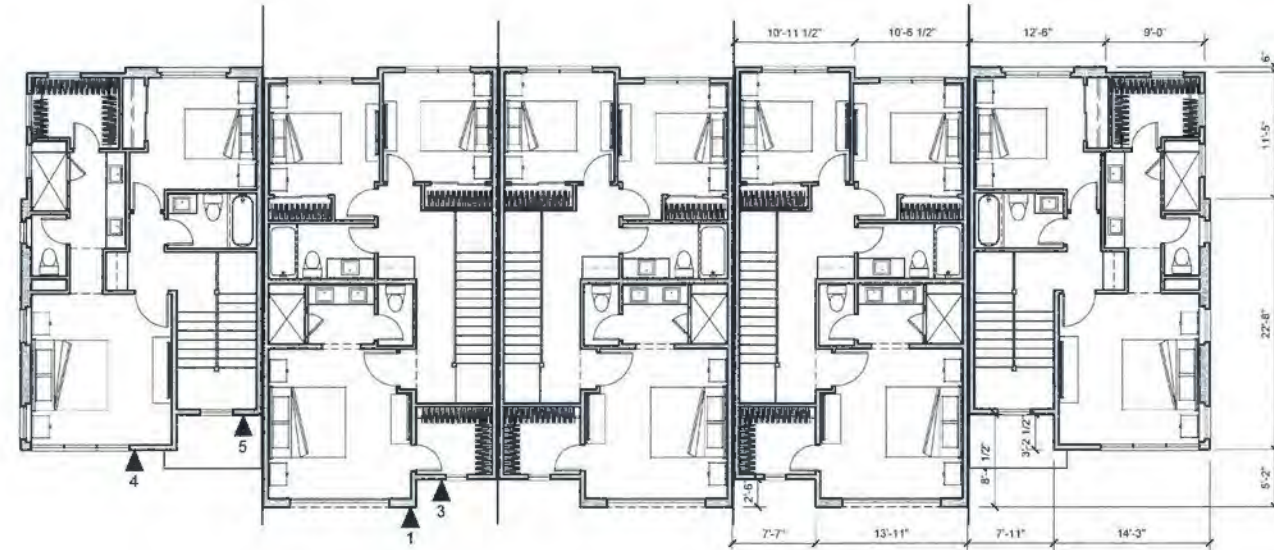
BUILDING B - EAST ELEVATION



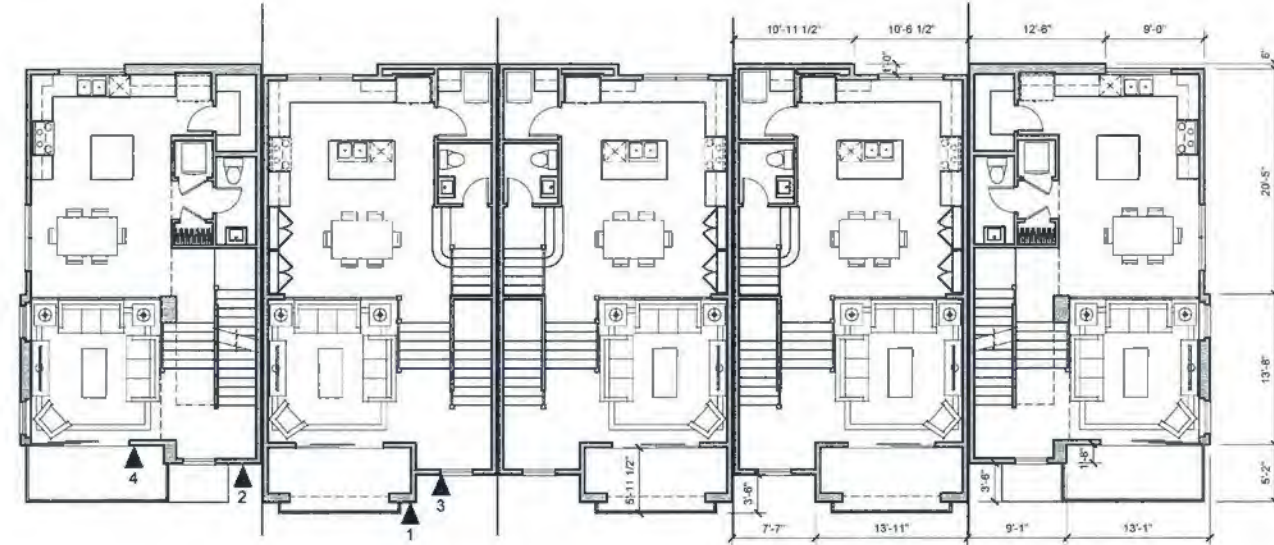
BUILDING B - SOUTH ELEVATION



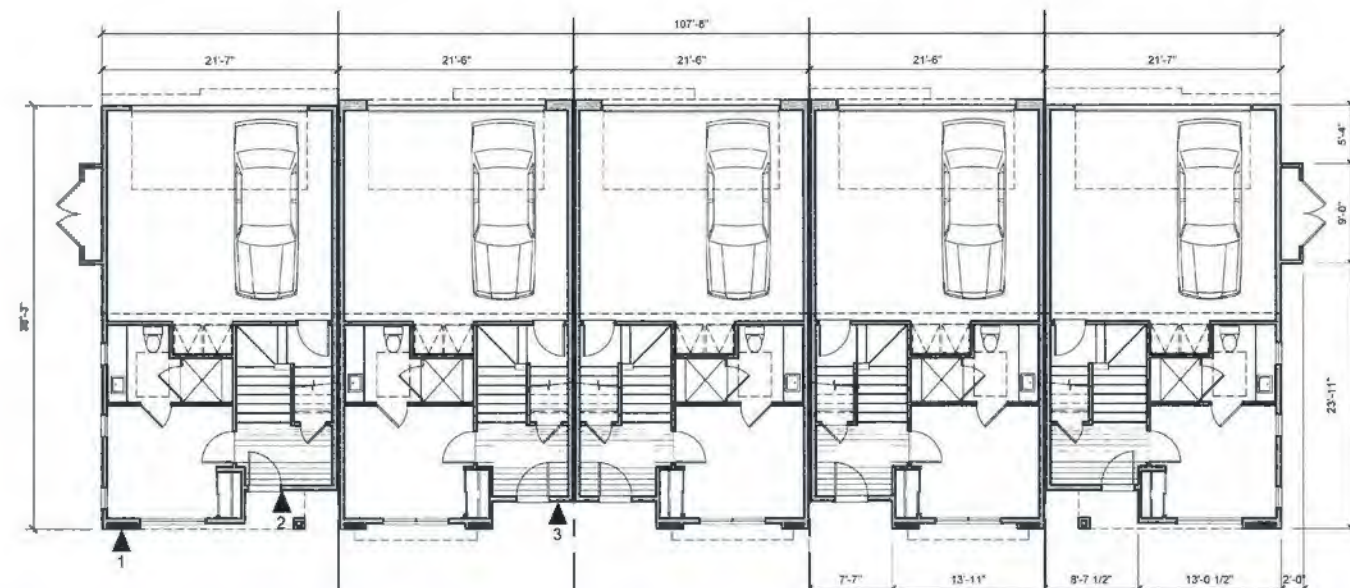
THIRD FLOOR PLAN



SECOND FLOOR PLAN



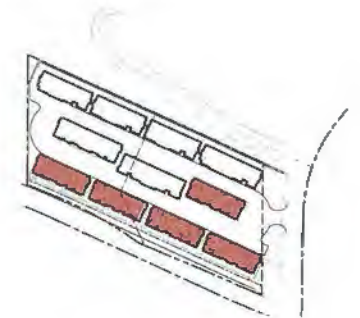
FIRST FLOOR PLAN



BUILDING C	
Unit 3	2 DU's
Unit 4	3 DU's
<b>TOTAL:</b>	<b>5 DU's</b>

<b>UNIT 3</b>	
<b>TOTAL LIVING AREA:</b>	1706 sq. ft.
First Floor:	360 sq. ft.
Second Floor:	756 sq. ft.
Third Floor:	712 sq. ft.
2 Car Garage:	437 sq. ft.
Covered Deck:	66 sq. ft.
<b>3 BR, 3.5 BA</b>	

<b>UNIT 4</b>	
<b>TOTAL LIVING AREA:</b>	1849 sq. ft.
First Floor:	357 sq. ft.
Second Floor:	746 sq. ft.
Third Floor:	812 sq. ft.
2 Car Garage:	433 sq. ft.
Covered Deck:	72 sq. ft.
<b>4 BR, 3.5 BA</b>	



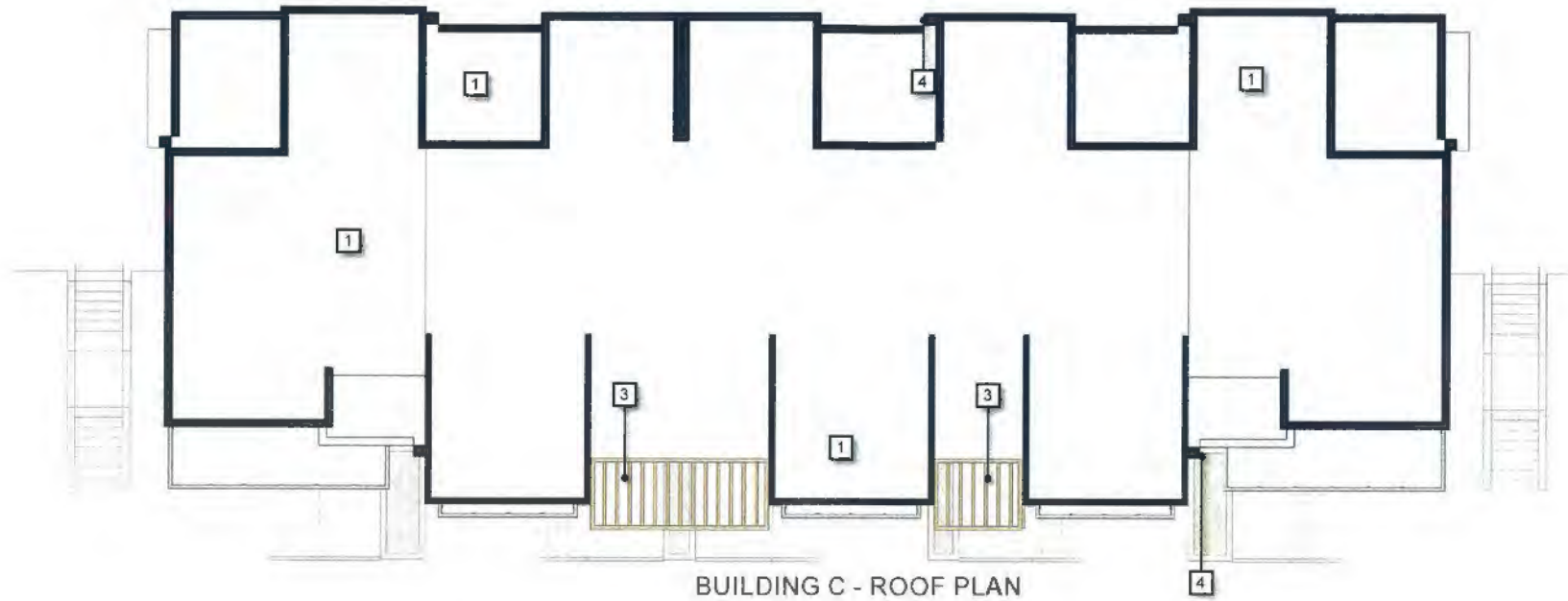
BUILDING C  
FLOOR PLAN



JOB NO. 727.002  
DATE 6-29-16  
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Solana Beach, CA 92075  
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**A1.7**





BUILDING C - ROOF PLAN

- KEYNOTES**
- 1 10% ROOF SLOPE BEHIND PARAPET
  - 2 NOT USED
  - 3 METAL AWNING
  - 4 SCUPPER BOX W/ DOWNSPOUT
  - 5 BUILDING ACCENT COLOR
  - 6 VINYL WINDOWS
  - 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
  - 8 SECTIONAL GARAGE DOORS
  - 9 METAL REVEAL J-MOLDING AT DOORS AND WINDOWS
  - 10 METAL REGLET CHANNEL SCREED IN STUCCO
  - 11 UNIT ADDRESS SIGN
  - 12 TRANSOM WINDOW LIGHT
  - 13 POTENTIAL SOLAR PANEL ZONE
  - 14 UTILITY CLOSET
  - 15 RETAINING WALL
  - 16 STACKING GLASS WALL DOORS
  - 17 STUCCO BODY 1 SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2 SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3 SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4 SMOOTH/LIGHT SAND STUCCO FINISH

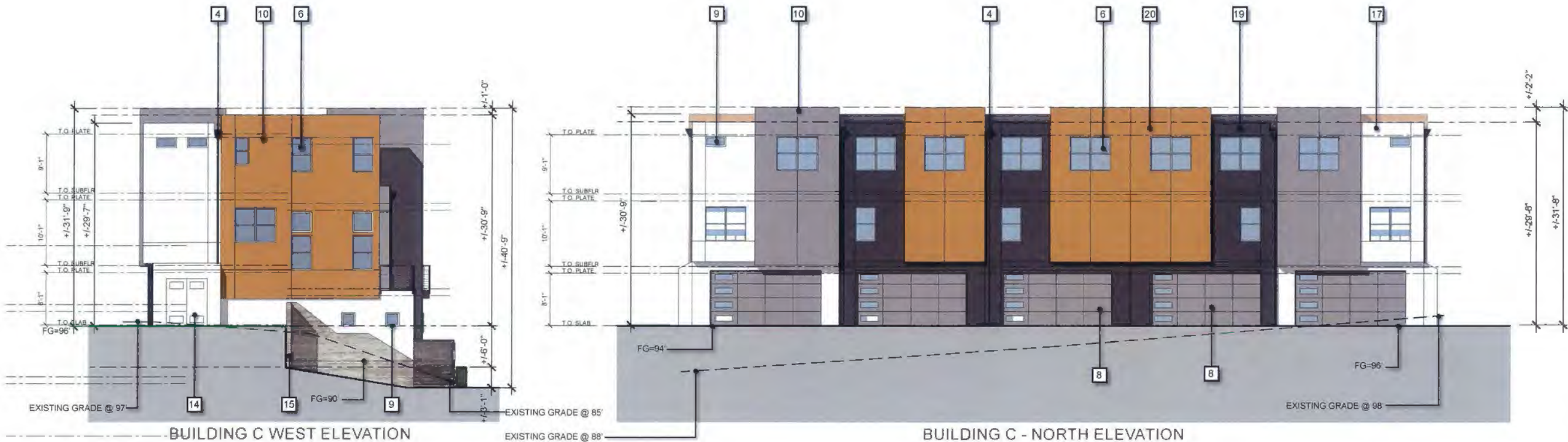


BUILDING C - PERSPECTIVE

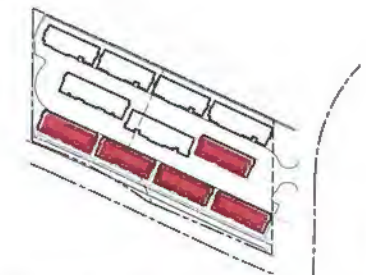
BUILDING C  
PERSPECTIVE &  
ROOF PLAN







- KEYNOTES**
- 1 10% ROOF SLOPE BEHIND PARAPET
  - 2 NOT USED
  - 3 METAL AWNING
  - 4 SCUPPER BOX W/ DOWNSPOUT
  - 5 BUILDING ACCENT COLOR
  - 6 VINYL WINDOWS
  - 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
  - 8 SECTIONAL GARAGE DOORS
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  - 19 STUCCO BODY 3 SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4 SMOOTH/LIGHT SAND STUCCO FINISH



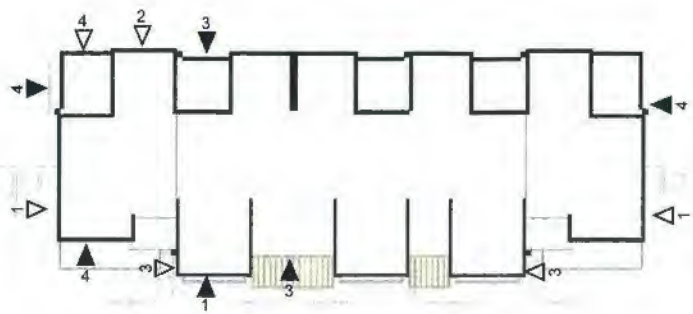
BUILDING C ELEVATIONS







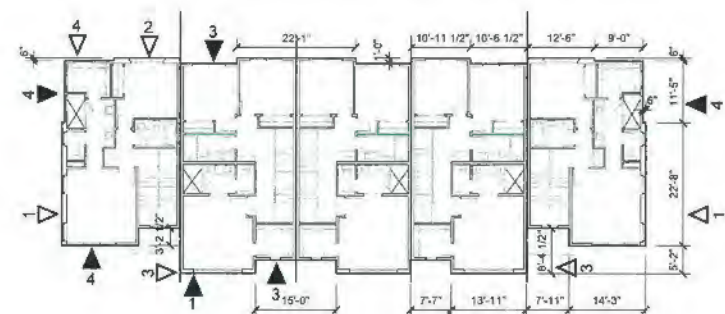
BUILDING C - WEST ELEVATION



BUILDING C - ROOF PLAN



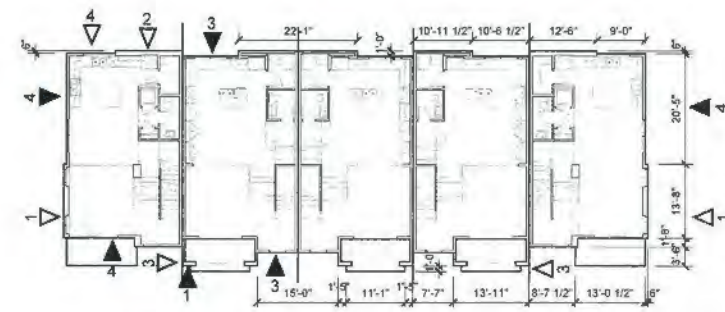
BUILDING C - NORTH ELEVATION



BUILDING C - THIRD FLOOR PLAN



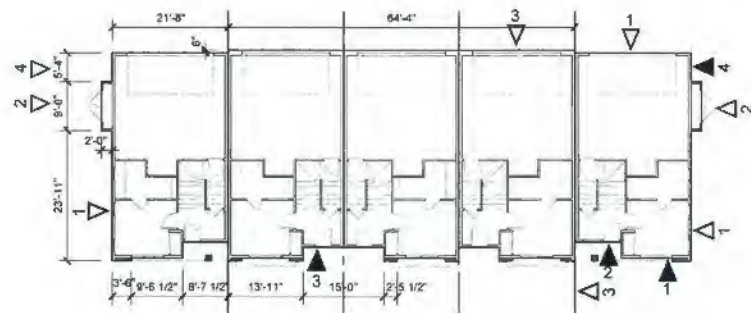
BUILDING C - EAST ELEVATION



BUILDING C - SECOND FLOOR PLAN



BUILDING C - SOUTH ELEVATION



BUILDING C - FIRST FLOOR PLAN

LEGEND

- ▲ COMPLIANT PLANE OFF-SET  
# 4 plan breaks per elevation min.  
3'-0" average plane difference.  
Less than 100' length.  
50% maximum elevation area.  
20% minimum elevation area.
- ▲ PLANE OFF-SET DEVIATION  
# Design achieves plane off-sets through color variation and massing.
- PLANE OFF-SET TAG



BUILDING C PERSPECTIVE 2



BUILDING C PERSPECTIVE 1

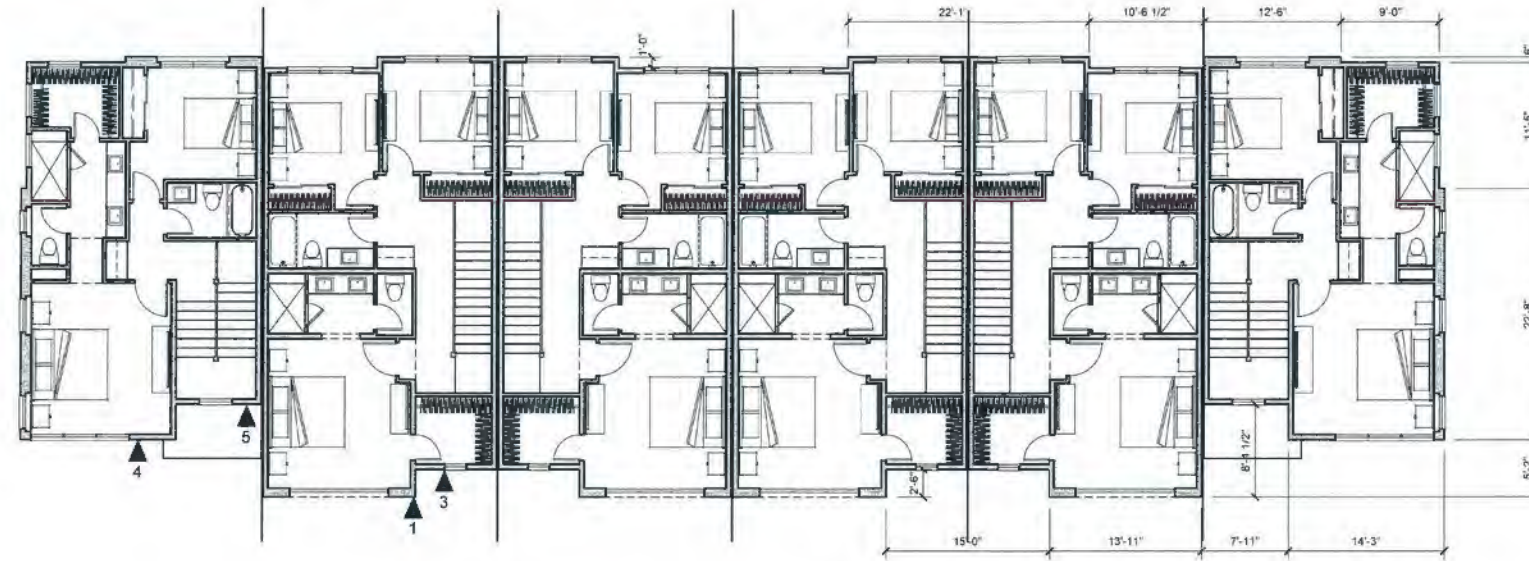
BUILDING C  
PLANE BREAKS

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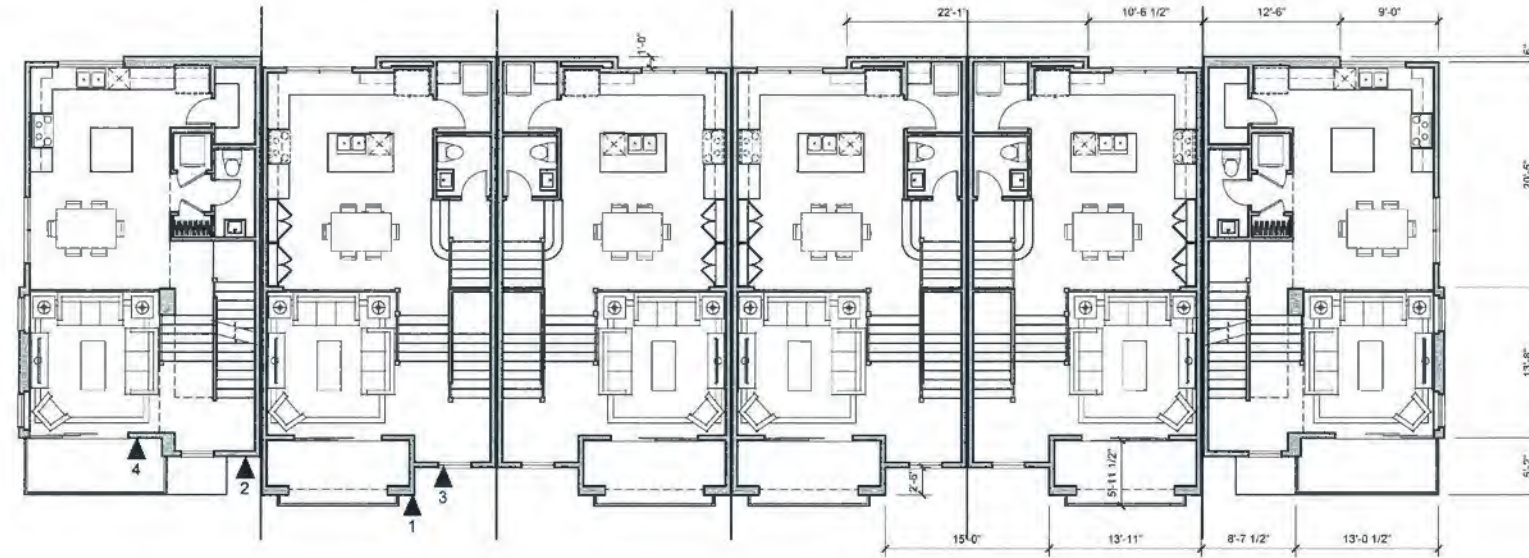
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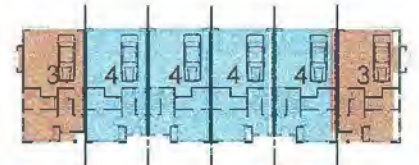
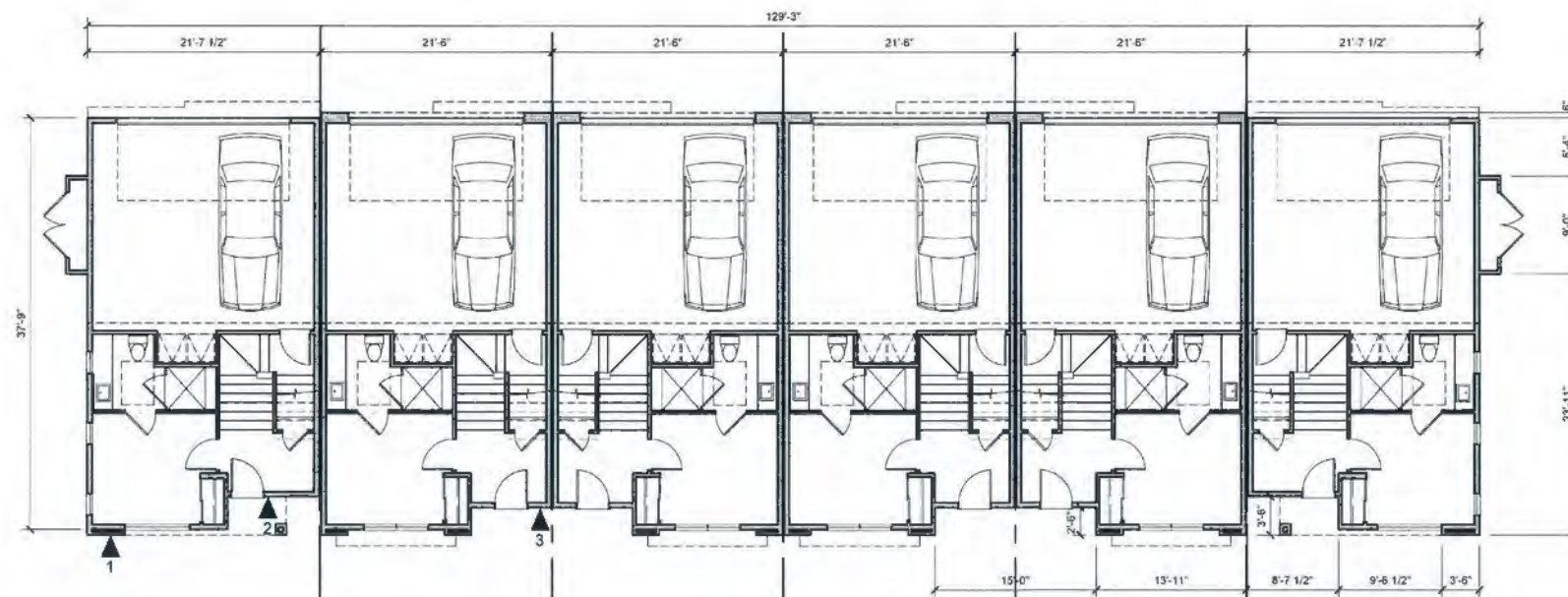
THIRD FLOOR PLAN



SECOND FLOOR PLAN



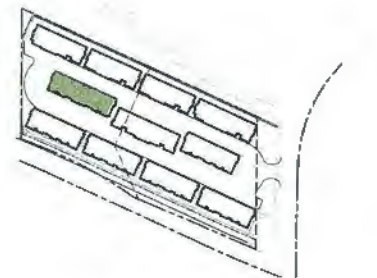
FIRST FLOOR PLAN



BUILDING D	
UNIT 3	2 DU's
UNIT 4	4 DU's
TOTAL:	6 DU's

UNIT 3	
TOTAL LIVING AREA:	1706 sq. ft.
First Floor:	350 sq. ft.
Second Floor:	738 sq. ft.
Third Floor:	712 sq. ft.
2 Car Garage:	437 sq. ft.
Covered Deck:	66 sq. ft.
3 BR, 3.5 BA	

UNIT 4	
TOTAL LIVING AREA:	1849 sq. ft.
First Floor:	357 sq. ft.
Second Floor:	746 sq. ft.
Third Floor:	812 sq. ft.
2 Car Garage:	433 sq. ft.
Covered Deck:	72 sq. ft.
4 BR, 3.5 BA	



BUILDING D  
FLOOR PLAN



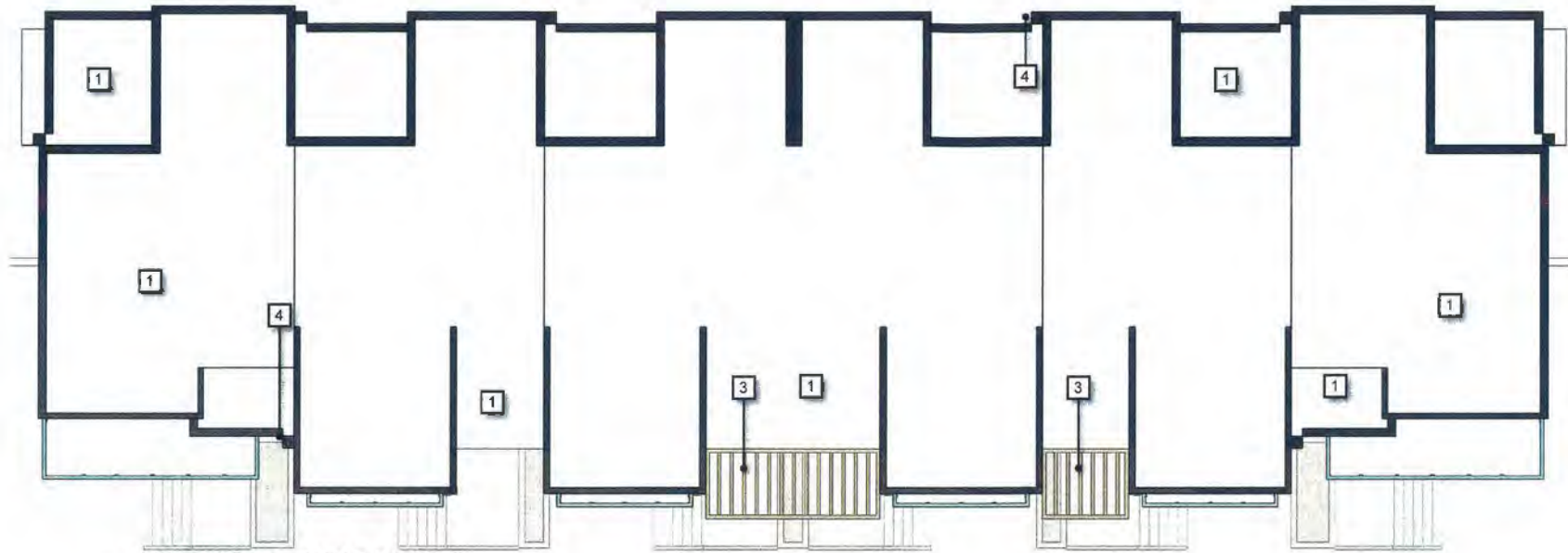
JOB NO. 727.002

DATE 6-29-16

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Solana Beach, CA 92075  
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A1.10



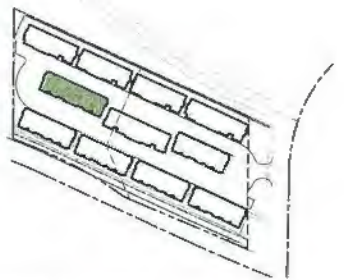


BUILDING D - ROOF PLAN



BUILDING D - PERSPECTIVE

- KEYNOTES**
- 1 10% ROOF SLOPE BEHIND PARAPET
  - 2 NOT USED
  - 3 METAL AWNING
  - 4 SCUPPER BOX W/ DOWNSPOUT
  - 5 BUILDING ACCENT COLOR
  - 6 VINYL WINDOWS
  - 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
  - 8 SECTIONAL GARAGE DOORS
  - 9 METAL REVEAL J-MOLDING AT DOORS AND WINDOWS
  - 10 METAL REGLET CHANNEL SCREED IN STUCCO
  - 11 UNIT ADDRESS SIGN
  - 12 TRANSOM WINDOW LIGHT
  - 13 POTENTIAL SOLAR PANEL ZONE
  - 14 UTILITY CLOSET
  - 15 RETAINING WALL
  - 16 STACKING GLASS WALL DOORS
  - 17 STUCCO BODY 1  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 18 STUCCO BODY 2  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 19 STUCCO BODY 3  
SMOOTH/LIGHT SAND STUCCO FINISH
  - 20 STUCCO BODY 4  
SMOOTH/LIGHT SAND STUCCO FINISH



BUILDING D  
PERSPECTIVE &  
ROOF PLAN



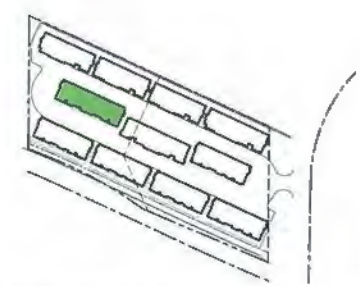
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Solana Beach, CA 92075  
858-350-0544







- KEYNOTES**
- 1 10% ROOF SLOPE BEHIND PARAPET
  - 2 NOT USED
  - 3 METAL AWNING
  - 4 SCUPPER BOX W/ DOWNSPOUT
  - 5 BUILDING ACCENT COLOR
  - 6 VINYL WINDOWS
  - 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
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  - 20 STUCCO BODY 4 SMOOTH/LIGHT SAND STUCCO FINISH



BUILDING D ELEVATIONS







BUILDING D - WEST ELEVATION



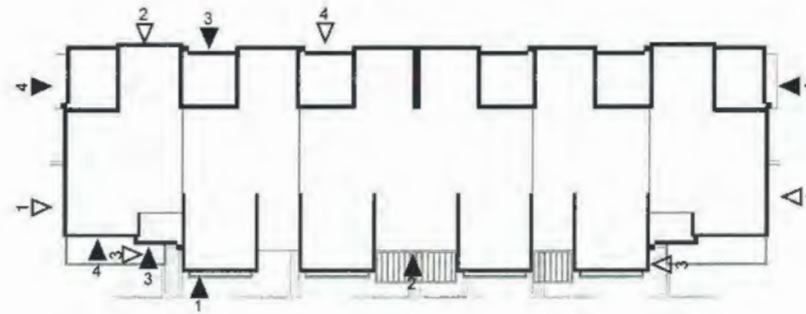
BUILDING D - NORTH ELEVATION



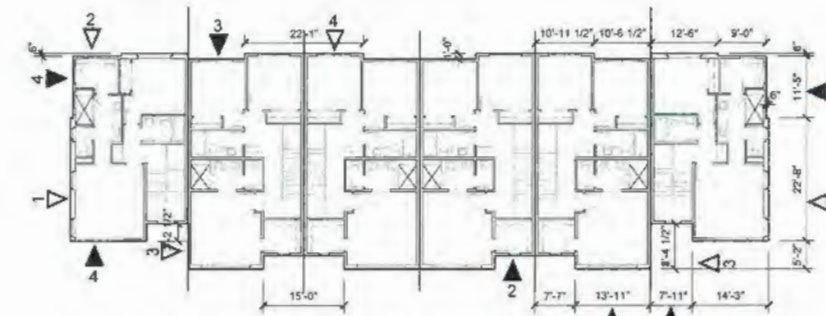
BUILDING D - EAST ELEVATION



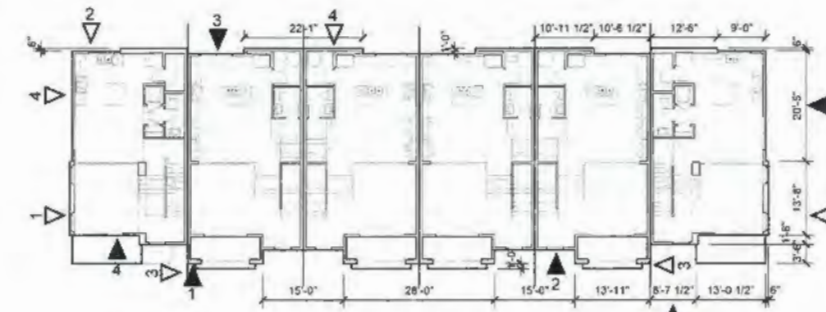
BUILDING D - SOUTH ELEVATION



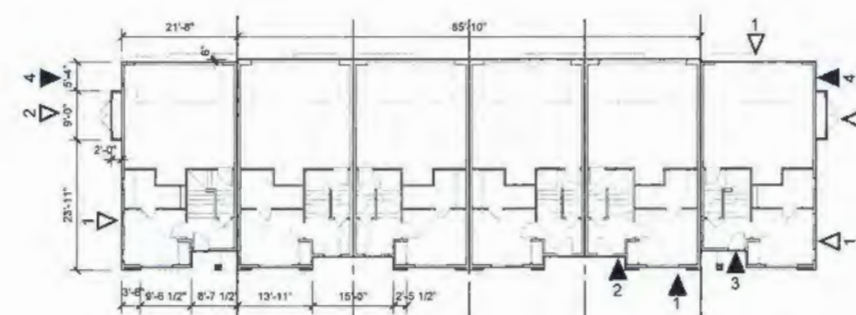
BUILDING D - ROOF PLAN



BUILDING D - THIRD FLOOR PLAN



BUILDING D - SECOND FLOOR PLAN



BUILDING D - FIRST FLOOR PLAN

LEGEND

- ▲ COMPLIANT PLANE OFF-SET  
# 4 plan breaks per elevation min.  
3'-0" average plane difference.  
Less than 100' length.  
50% maximum elevation area.  
20% minimum elevation area.
- △ PLANE OFF-SET DEVIATION  
# Design achieves plane off-sets through color variation and massing.
- # PLANE OFF-SET TAG



BUILDING D PERSPECTIVE 2



BUILDING D PERSPECTIVE 1

BUILDING D  
PLANE BREAKS

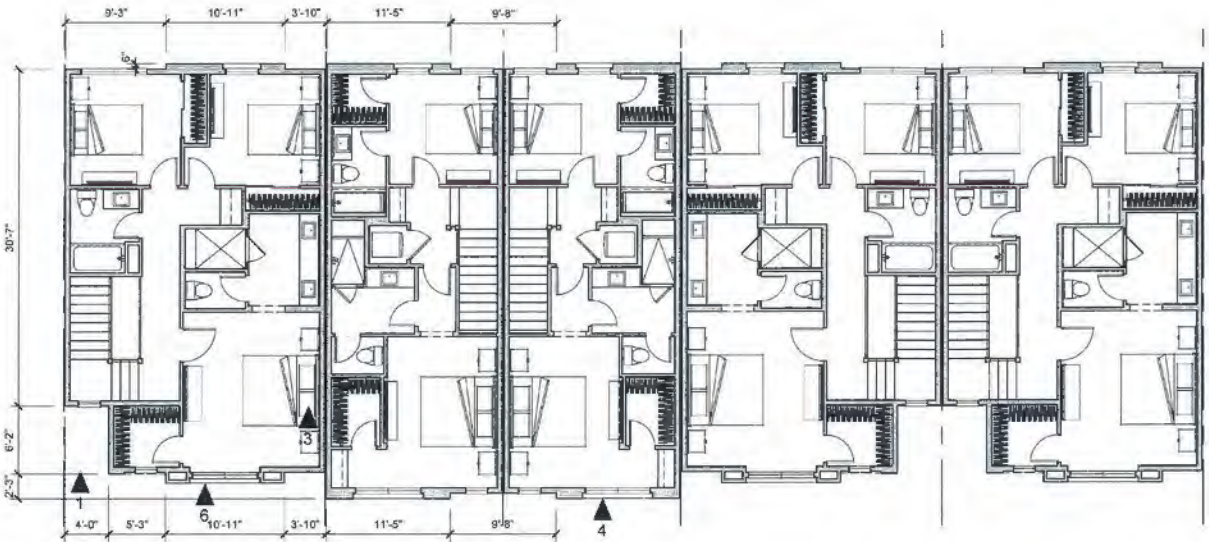
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DATE 6-29-16  
539 South Cedros Ave.  
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A1.12a

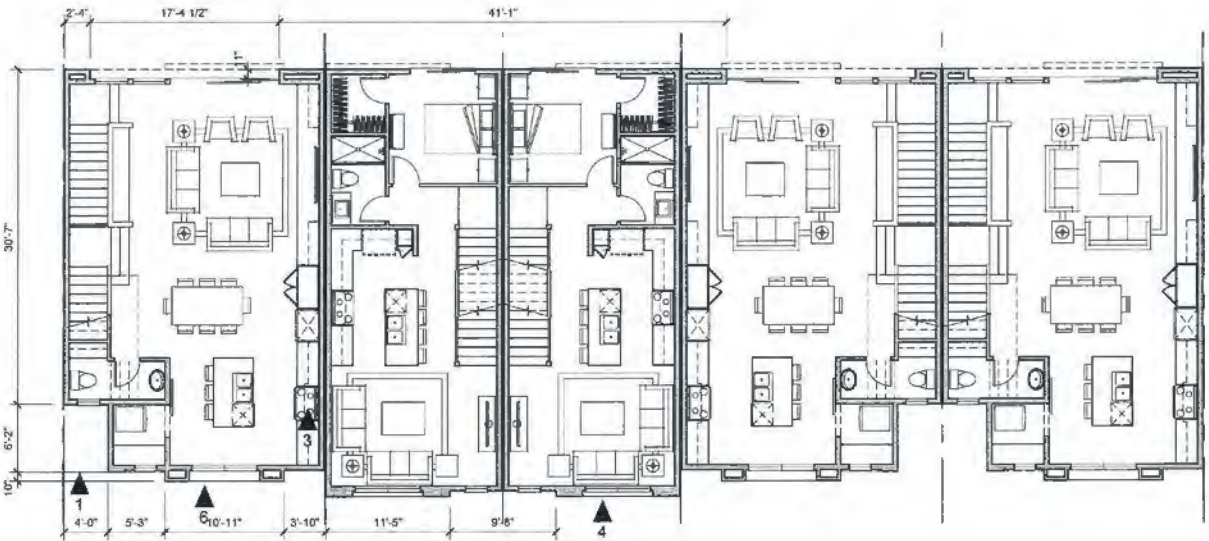




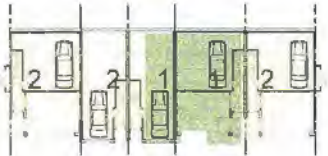
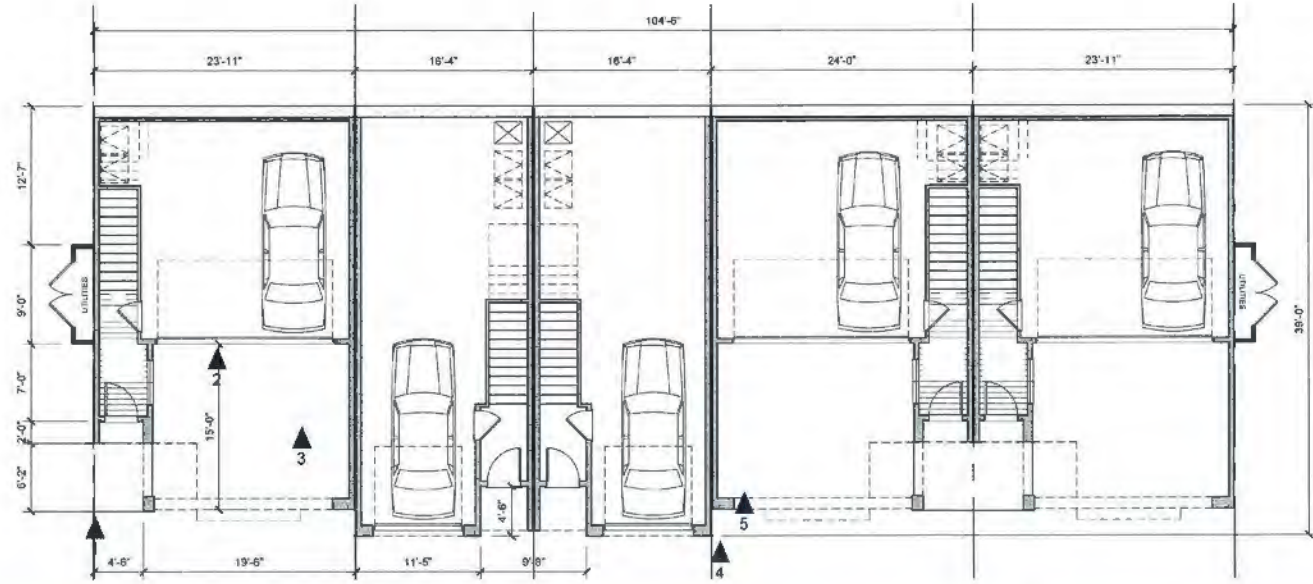
THIRD FLOOR PLAN



SECOND FLOOR PLAN



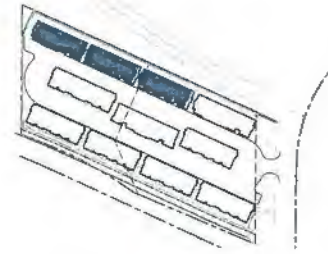
FIRST FLOOR PLAN



BUILDING G	
UNIT 1:	2 DU's
UNIT 2:	3 DU's
TOTAL:	5 DU's

UNIT 1	
TOTAL LIVING AREA:	1272 sq. ft.
First Floor:	90 sq. ft.
Second Floor:	624 sq. ft.
Third Floor:	568 sq. ft.
2 Car Tandem Garage:	525 sq. ft.
3 BR, 3 BA	

UNIT 2	
TOTAL LIVING AREA:	1669 sq. ft.
First Floor:	99 sq. ft.
Second Floor:	800 sq. ft.
Third Floor:	770 sq. ft.
2 Car Garage:	400 sq. ft.
Car Porch:	286 sq. ft.
3 BR, 2.5 BA	



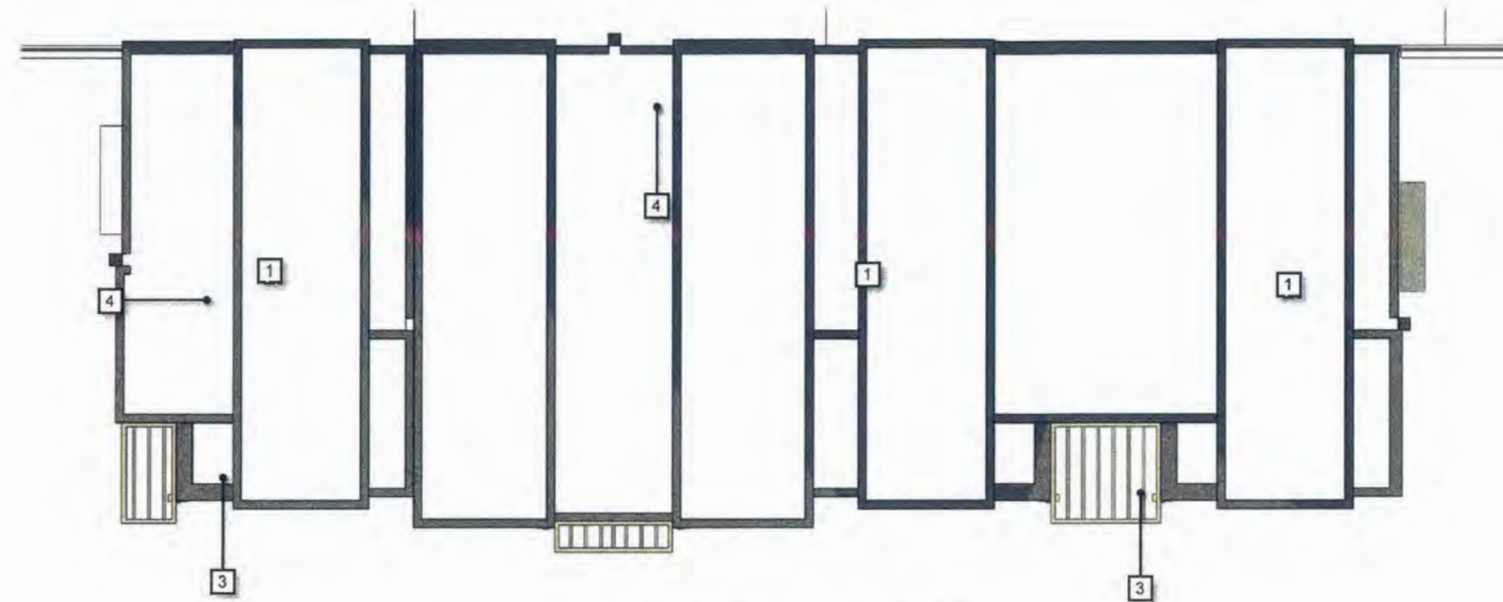
BUILDING G FLOOR PLAN



JOB NO. 727.002  
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858-350-0544

A1.13





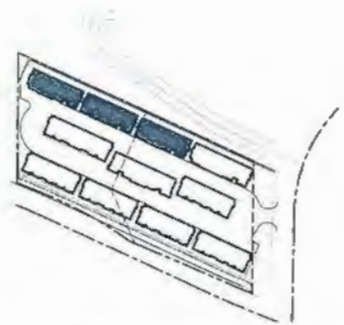
BUILDING G - ROOF PLAN



BUILDING G - PERSPECTIVE

KEYNOTES

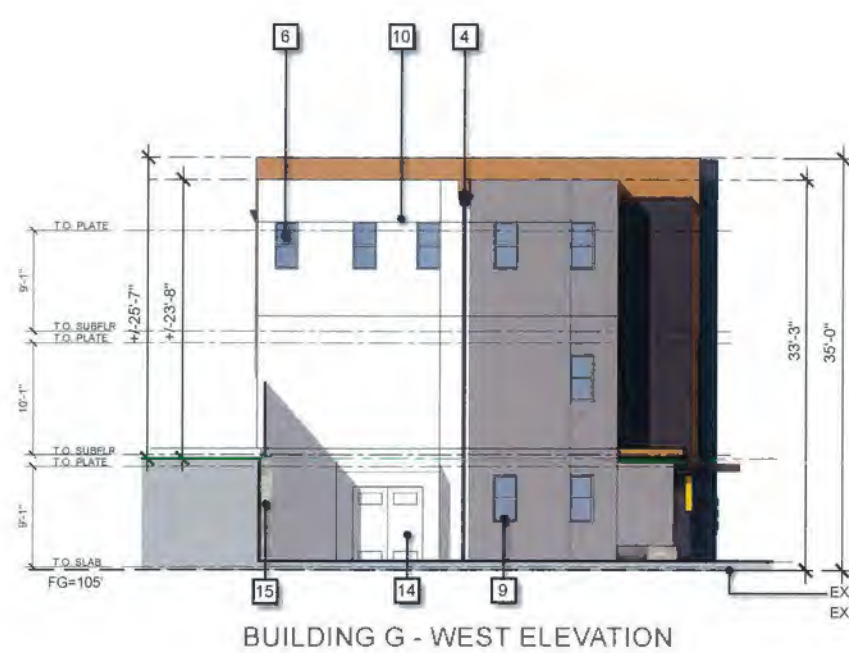
- 1 10% ROOF SLOPE BEHIND PARAPET
- 2 NOT USED
- 3 METAL AWNING
- 4 SCUPPER BOX W/ DOWNSPOUT
- 5 BUILDING ACCENT COLOR
- 6 VINYL WINDOWS
- 7 CONTEMPORARY-STYLE FIBERGLASS FRONT DOORS
- 8 SECTIONAL GARAGE DOORS
- 9 METAL REVEAL J-MOLDING AT DOORS AND WINDOWS
- 10 METAL REGLET CHANNEL SCREED IN STUCCO
- 11 UNIT ADDRESS SIGN
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- 16 STACKING GLASS WALL DOORS
- 17 STUCCO BODY 1  
SMOOTH/LIGHT SAND STUCCO FINISH
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SMOOTH/LIGHT SAND STUCCO FINISH
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- 20 STUCCO BODY 4  
SMOOTH/LIGHT SAND STUCCO FINISH



BUILDING G  
PERSPECTIVE &  
ROOF PLAN

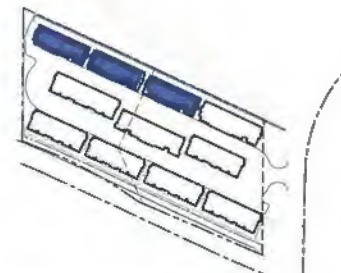
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KEYNOTES

- 1 10% ROOF SLOPE BEHIND PARAPET
- 2 NOT USED
- 3 METAL AWNING
- 4 SCUPPER BOX W/ DOWNSPOUT
- 5 BUILDING ACCENT COLOR
- 6 VINYL WINDOWS
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SMOOTH/LIGHT SAND STUCCO FINISH
- 20 STUCCO BODY 4  
SMOOTH/LIGHT SAND STUCCO FINISH



BUILDING G  
ELEVATIONS







BUILDING G - WEST ELEVATION



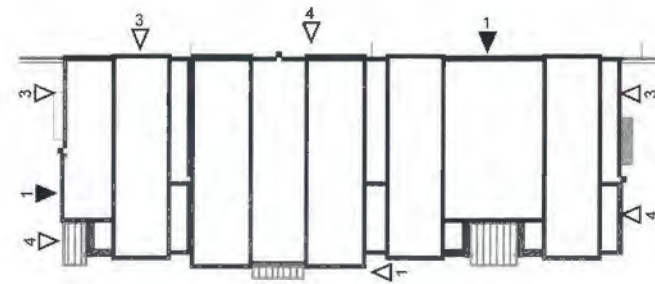
BUILDING G - NORTH ELEVATION



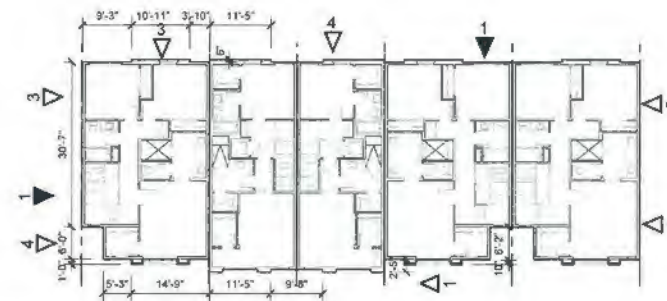
BUILDING G - EAST ELEVATION



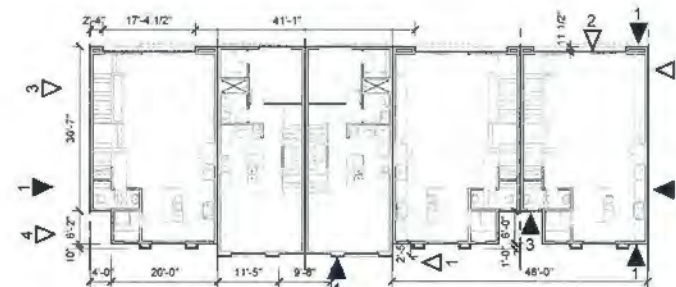
BUILDING G - SOUTH ELEVATION



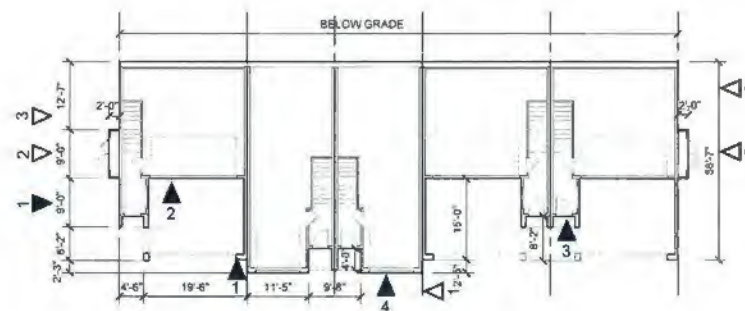
BUILDING G - ROOF PLAN



BUILDING G - THIRD FLOOR PLAN



BUILDING G - SECOND FLOOR PLAN



BUILDING G - FIRST FLOOR PLAN

LEGEND

- ▲ COMPLIANT PLANE OFF-SET  
# 4 plan breaks per elevation min.  
3'-0" average plane difference.  
Less than 100' length.  
50% maximum elevation area.  
20% minimum elevation area.
- ▲ PLANE OFF-SET DEVIATION  
# Design achieves plane off-sets through color  
variation and massing.
- PLANE OFF-SET TAG



BUILDING G PERSPECTIVE 2



BUILDING G PERSPECTIVE 1

BUILDING G  
PLANE BREAKS

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Solana Beach, CA 92075  
858-350-0544

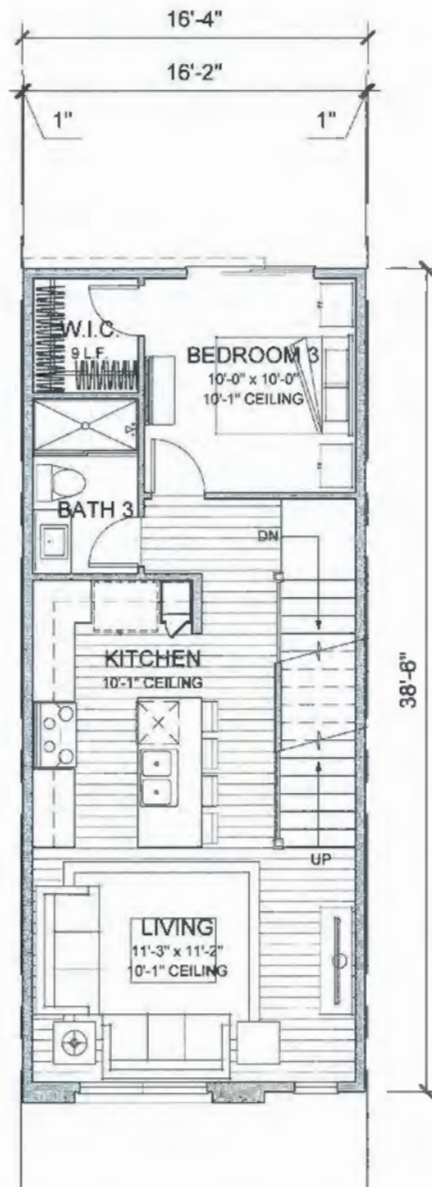


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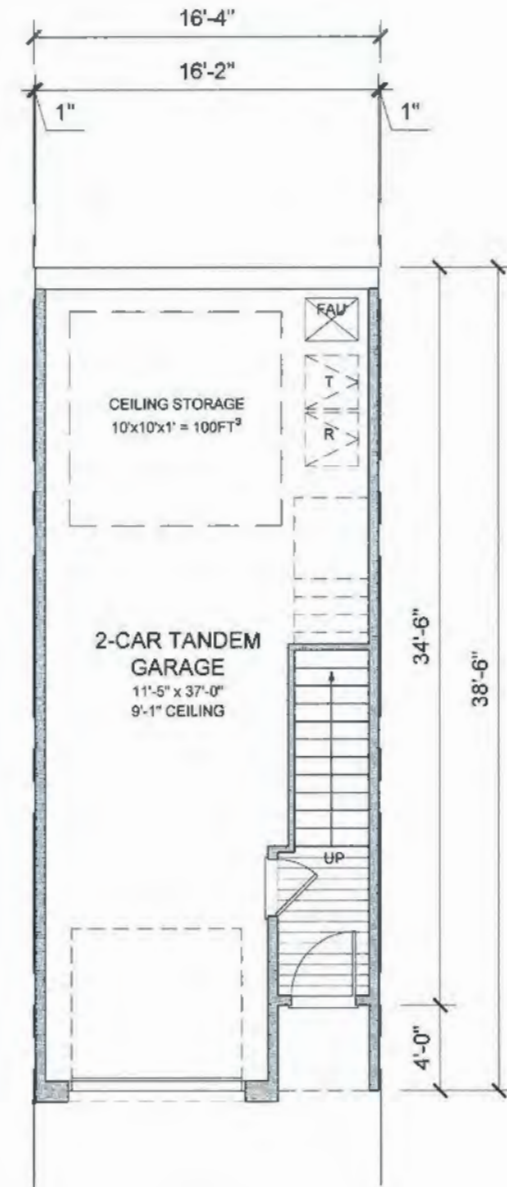




THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

UNIT 1	
TOTAL LIVING AREA:	1272 sq. ft.
First Floor:	80 sq. ft.
Second Floor:	624 sq. ft.
Third Floor:	568 sq. ft.
2 Car Tandem Garage	525 sq. ft.
3 BR, 3 BA	

UNIT PLAN 1  
FLOOR PLAN



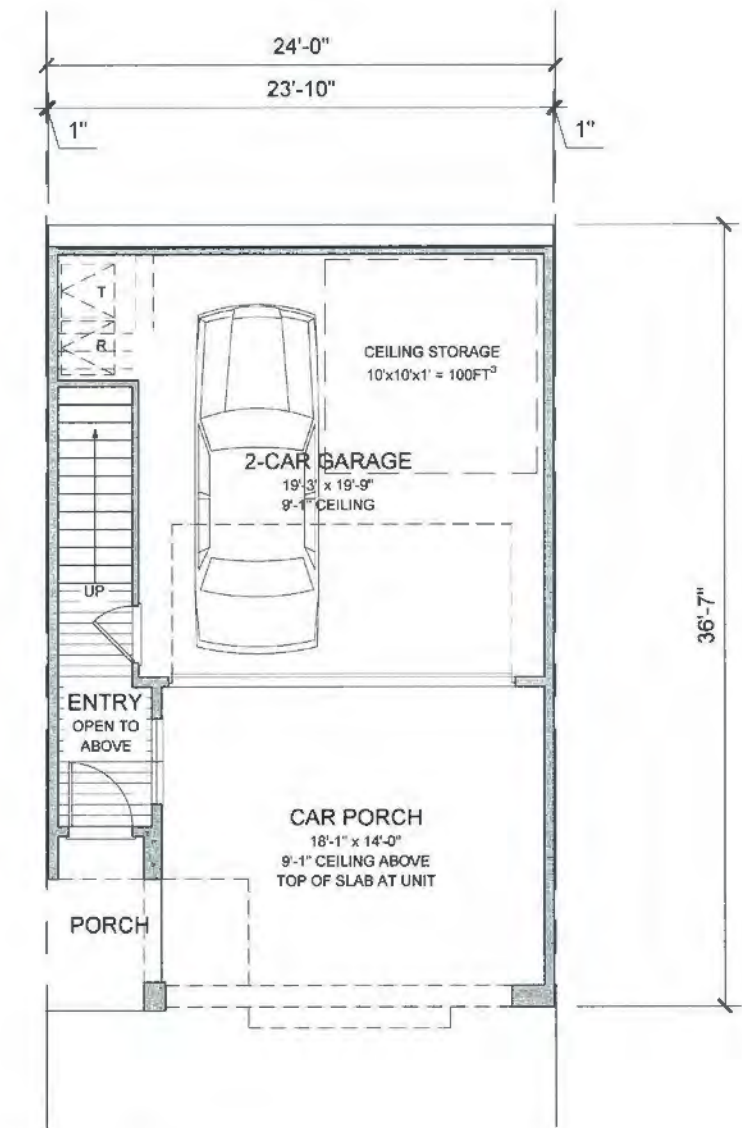
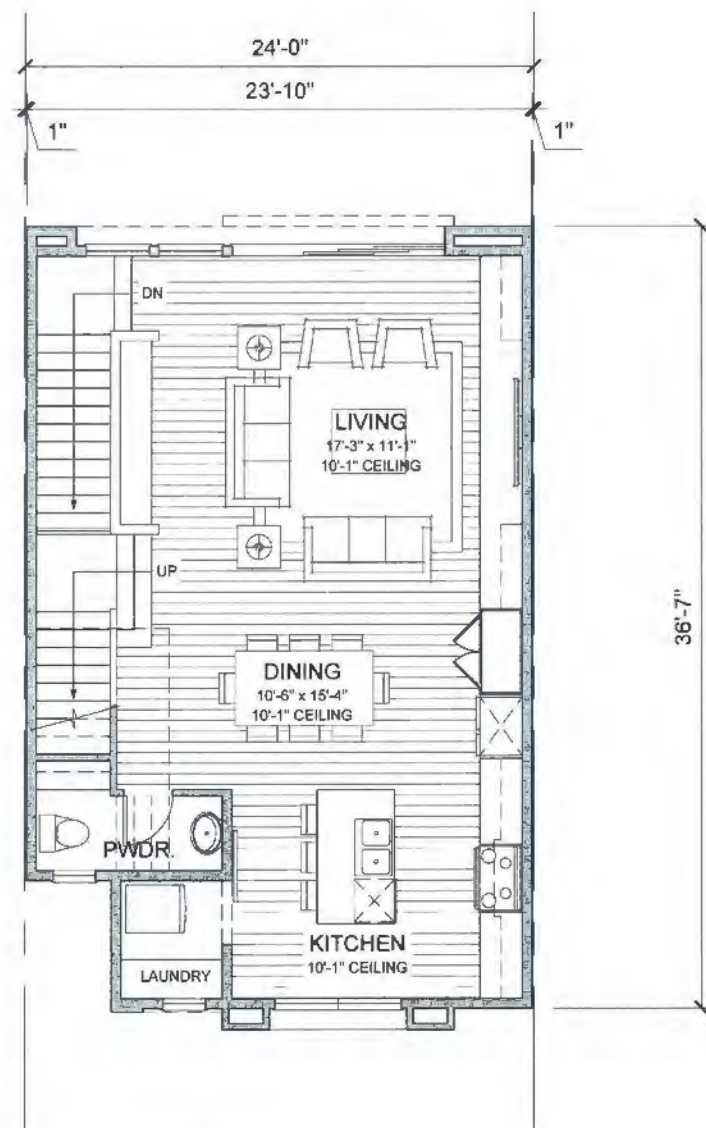
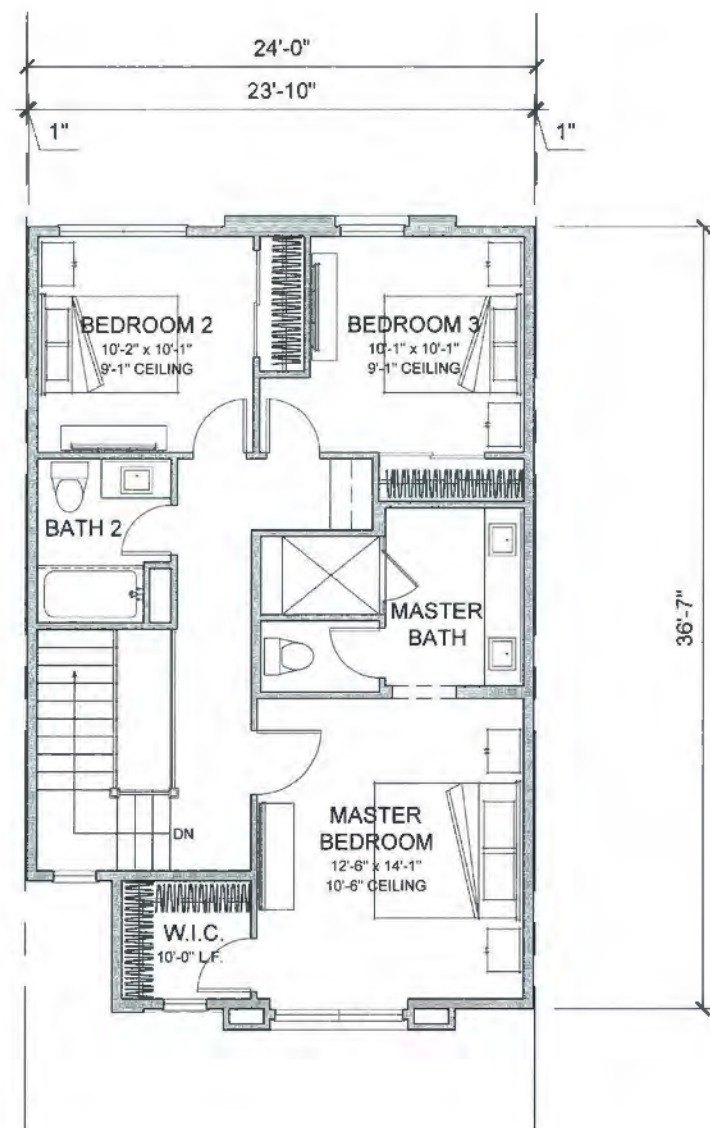
JOB NO. 727.002

DATE 6-29-16

539 South Cedros Ave.  
Solana Beach, CA 92075  
858-350-0544

A2.1





<b>UNIT 2</b>	
<b>TOTAL LIVING AREA:</b>	<b>1889 sq. ft.</b>
First Floor:	99 sq. ft.
Second Floor:	800 sq. ft.
Third Floor:	770 sq. ft.
2 Car Garage:	400 sq. ft.
Car Porch:	289 sq. ft.
3 BR, 2.5 BA	

UNIT PLAN 2  
FLOOR PLAN



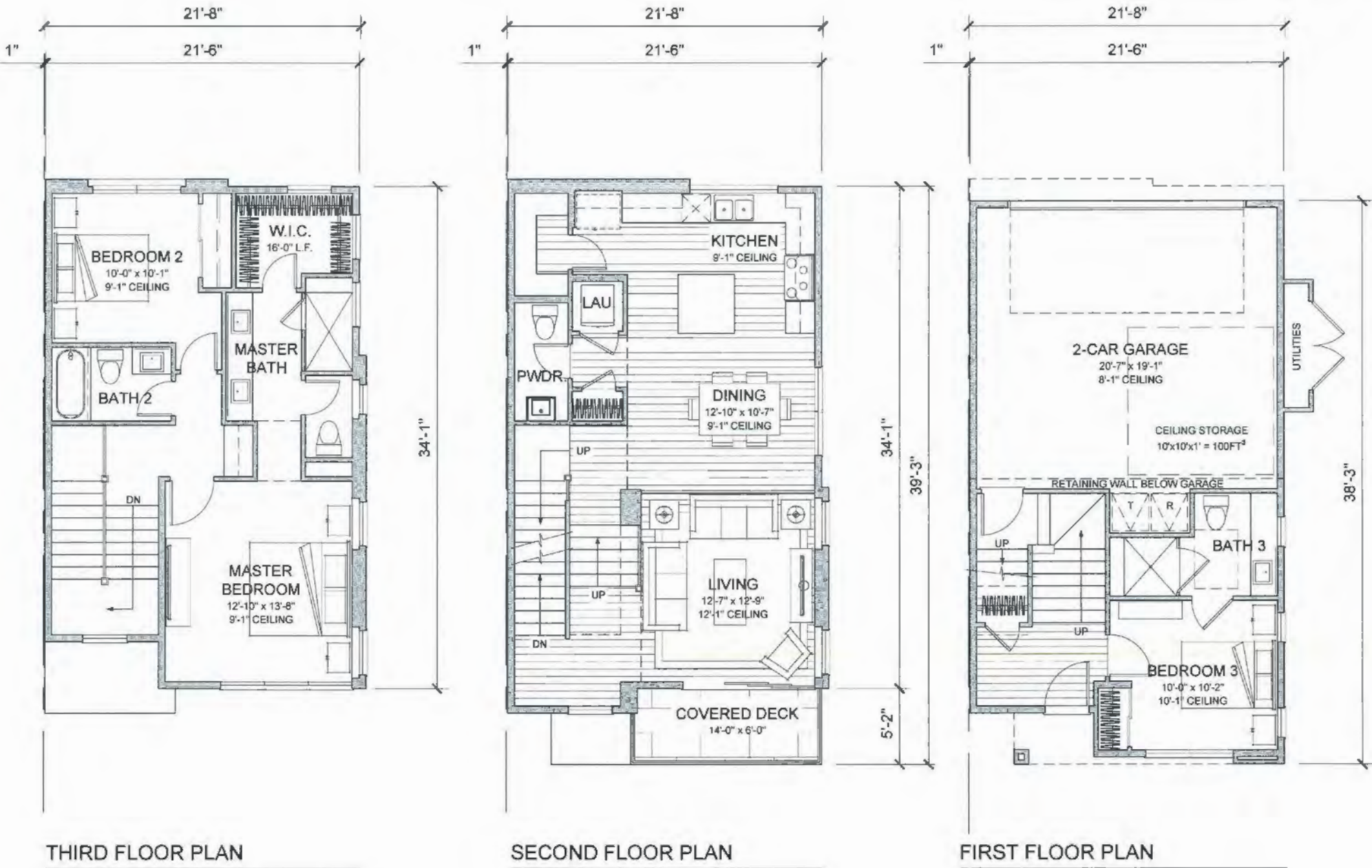
JOB NO. 727.002

DATE 6-29-16

539 South Cedros Ave.  
Solana Beach, CA 92075  
858-350-0544

**A2.2**





UNIT 3	
TOTAL LIVING AREA:	1706 sq. ft.
First Floor:	359 sq. ft.
Second Floor:	758 sq. ft.
Third Floor:	712 sq. ft.
2 Car Garage:	437 sq. ft.
Covered Deck:	66 sq. ft.
3 BR. 3.5 BA.	

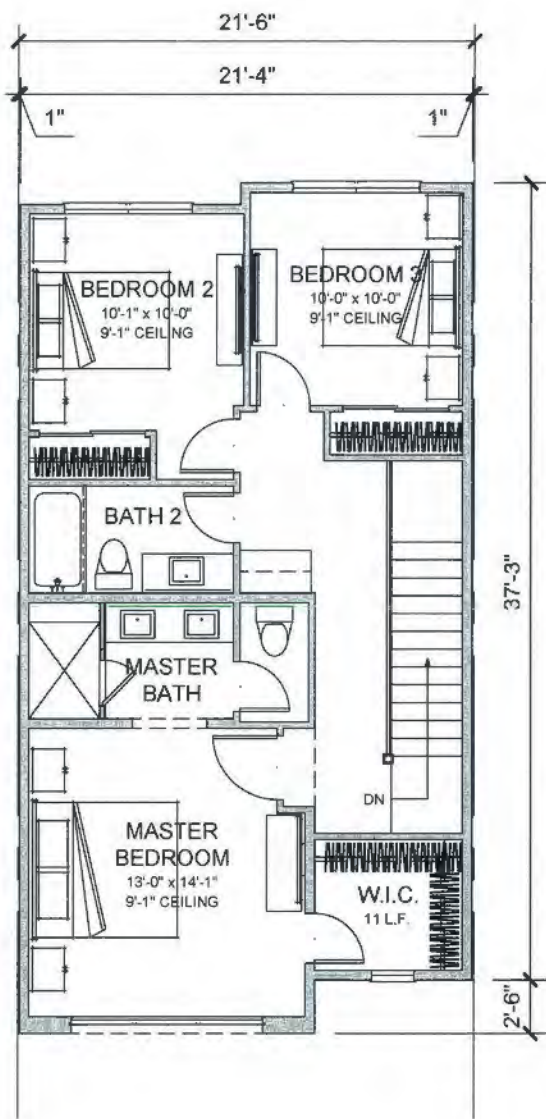
UNIT PLAN 3  
FLOOR PLAN



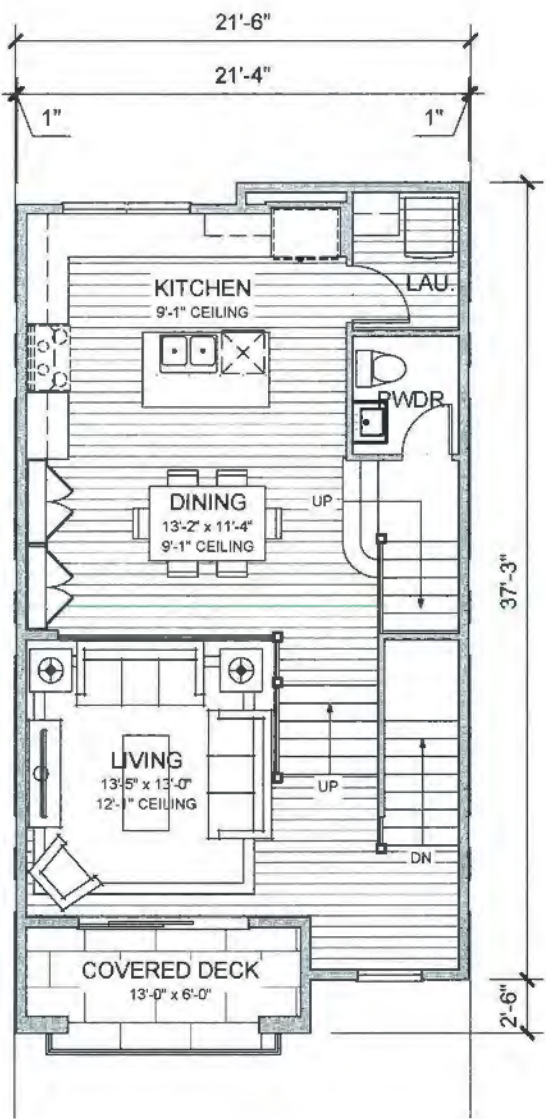
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DATE 6-29-16  
539 South Cedros Ave.  
Solana Beach, CA 92075  
858-350-0544

A2.3

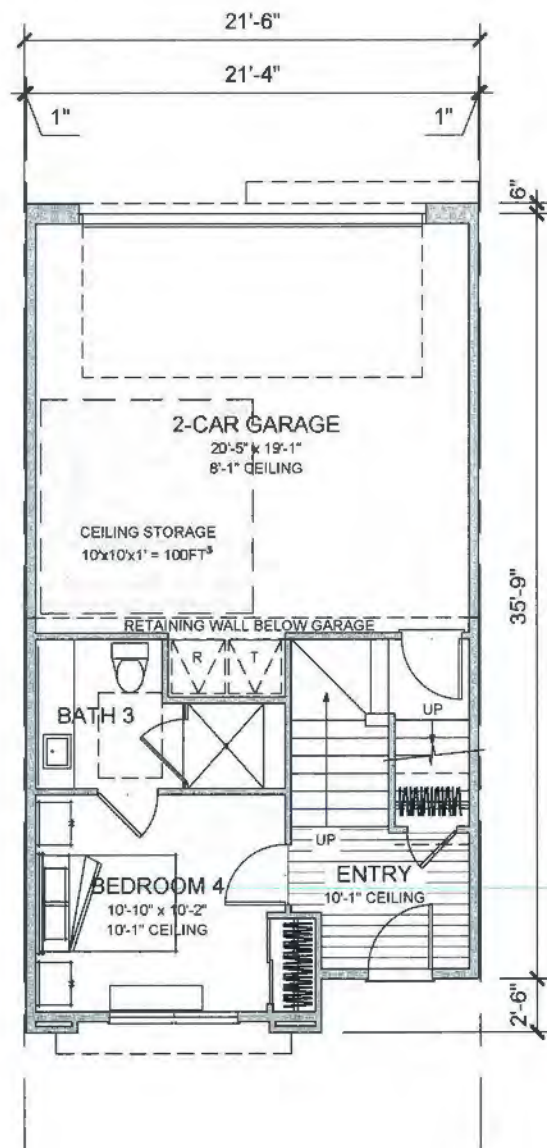




THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

UNIT 4	
TOTAL LIVING AREA:	1849 sq. ft.
First Floor:	357 sq. ft.
Second Floor:	746 sq. ft.
Third Floor:	812 sq. ft.
2 Car Garage:	439 sq. ft.
Covered Deck:	72 sq. ft.
4 BR, 3.5 BA	

UNIT PLAN 4  
FLOOR PLAN



JOB NO. 727.002  
DATE 6-29-16  
539 South Cedros Ave.  
Solana Beach, CA 92075  
858-350-0544

A2.4



TOPOGRAPHIC SURVEY MAP - 10306 SAN DIEGO MISSION RD.

[illegible]

PN. 2348

**PASCO LARET SUITER**  
**& ASSOCIATES**  
 535 North Highway 101, Ste A, Solana Beach, CA 92075  
 ph 858.259.8212 | fs 858.259.4812 | [plsaeengineering.com](mailto:plsaeengineering.com)

PROJECT NAME:  
SAN DIEGO MISSION ROAD TOWNSHIP'S TENTATIVE MAP

PROJECT ADDRESS:  
INTERSECTION OF SAN DIEGO MISSION ROAD & RANCHO MISSION ROAD,  
IN THE CITY OF SAN DIEGO, CALIFORNIA

PROJECT TRACKING SYSTEM NUMBER:  
432754

INTERNAL ORDER NUMBER:  
24006040

CALIFORNIA COORDINATE SYSTEM 83:  
1066-0295

LAMBERT COORDINATES:  
726-1755

SHEET TITLE:  
TOPOGRAPHIC AND BOUNDARY SURVEY

SHEET NUMBER:  
11

DRAWN BY: B. TORGENSEN  
CHECKED BY: B. TORGENSEN

ORIGINAL DATE: 02-02-2015

REVISION 1: 09-02-2015

REVISION 2: 11-24-2015

REVISION 3: 04-20-2016

REVISION 4: 06-28-2016

REVISION 5: 07-19-2016

REVISION 6: 08-16-2016

REVISION 7:







**PRELIMINARY UTILITY PLAN**  
**TENTATIVE MAP NO. 1523893 AND SITE DEVELOPMENT PERMIT NO. \_\_\_\_\_**  
**SAN DIEGO MISSION ROAD TOWNHOMES**

**LEGEND**

EXISTING IMPROVEMENTS	---
PROPERTY BOUNDARY	---
EXISTING CONTOURS	---
EXISTING CURB AND GUTTER	---
EXISTING STREET CENTERLINE	---
EXISTING SEWER MAIN	---
EXISTING STORM DRAIN MAIN	---
EXISTING CURB INLET	---
EXISTING WATER MAIN	---
EXISTING WATER VALVE	---
EXISTING FIRE HYDRANT	---
EXISTING STREET LIGHT	---
EXISTING STRUCTURE	---
EXISTING VEGETATION	---
PROPOSED IMPROVEMENTS	---
PROPOSED RIGHT-OF-WAY	---
ADJACENT PROPERTY LOT LINE	---
PUBLIC STREET CENTERLINE	---
CUT/FILL LINE	---
LIMIT OF WORK LINE	---
CURB AND GUTTER	---
AS PAVEMENT	---
P.C.C. PAVEMENT	---
RESIDENTIAL DRIVEWAY (WITH YARDS)	---
ADA ACCESSIBLE RAMP	---
PROPOSED CONTOURS	---
PROPOSED SPOT ELEVATION	---
RETAINING WALL	---
TYPE "A" BROW DITCH	---
EXPLORATION BASIN	---
18" HOPE STORM DRAIN	---
12" HOPE STORM DRAIN	---
STORM DRAIN CLEAFOUT	---
PROPOSED CURB OUTLET	---
8" PRIVATE PVC SEWER MAIN	---
PRIVATE SEWER MANHOLE	---
PRIVATE SEWER CLEAFOUT	---
PRIVATE 6" A.C. WATER MAIN	---
FIRE HYDRANT	---
12" DIA. ATRAM GRATE	---
6" DIA. PVC STORM DRAIN	---

**SEE SHEET C 2.0 FOR SEPARATE  
 GRADING AND RETAINING WALL PLAN**

**WATER UTILITY NOTE:**  
 ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE  
 PRIVATE ABOVE GROUND BACKFLOW PREVENTION DEVICES BACKFLOW PREVENTION DEVICES SHALL  
 BE LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO  
 THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED  
 BACKFLOW PREVENTION DEVICES TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.

PREPARED BY:

**PASCO LARET SUTER  
 & ASSOCIATES**  
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING  
 555 North Highway 101, Ste. A, Redlands, CA 92373  
 ph 626.339.8213 | fx 626.339.4811 | pasco@laret.com



WILSHAM ORDOS MADE R.E.E. 7/3/20  
 DRAWING: 12/21/2018

DATE

PROJECT NAME:

SAN DIEGO MISSION ROAD TOWNHOMES TENTATIVE MAP

DRAWN BY: J. WILSHAM

PROJECT ADDRESS:

INTERSECTION OF SAN DIEGO MISSION ROAD & RANCHO MISSION ROAD,  
 IN THE CITY OF SAN DIEGO, CALIFORNIA

CHECKED BY: MRS. MACK

PROJECT TRACKING SYSTEM NUMBER:

432756

ORIGINAL DATE: 07-02-2015

INTERNAL ORDER NUMBER:

24000040

REVISION 1: 08-02-2015

REVISION 2: 11-24-2015

REVISION 3: 04-30-2016

REVISION 4: 06-28-2016

REVISION 5: 07-19-2016

REVISION 6: 08-18-2016

REVISION 7: 08-18-2016

SHEET TITLE:

PRELIMINARY UTILITY PLAN

SHEET NUMBER:

C 3.0 of 5.0

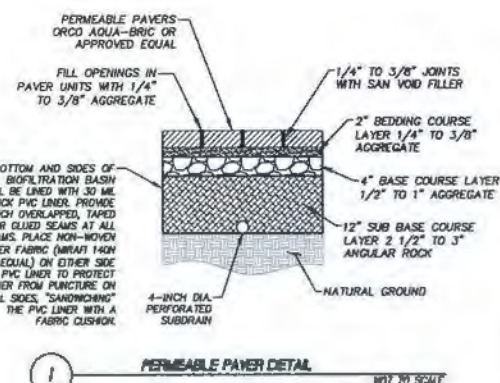
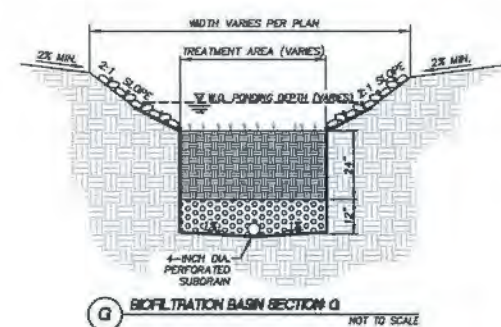
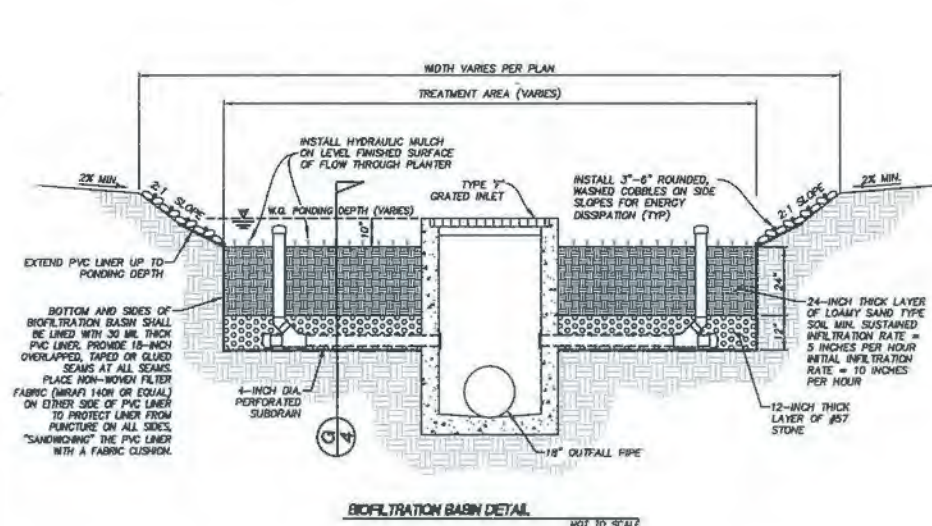
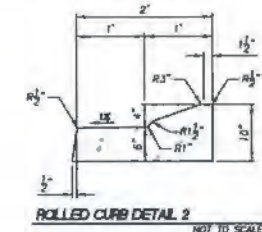
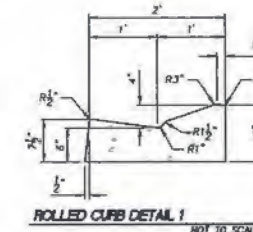
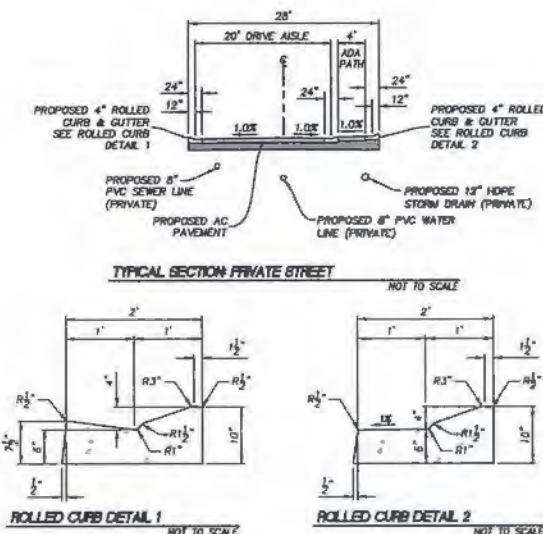
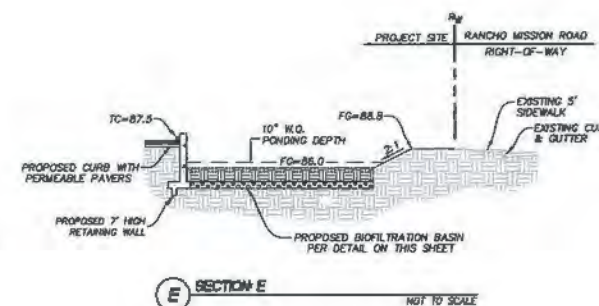
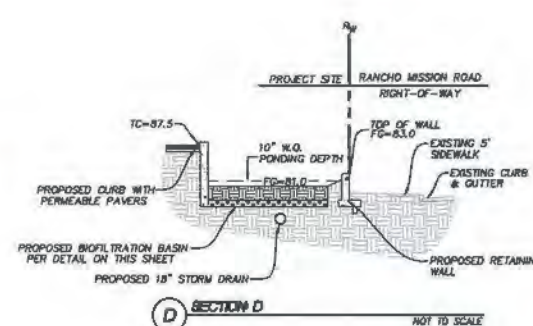
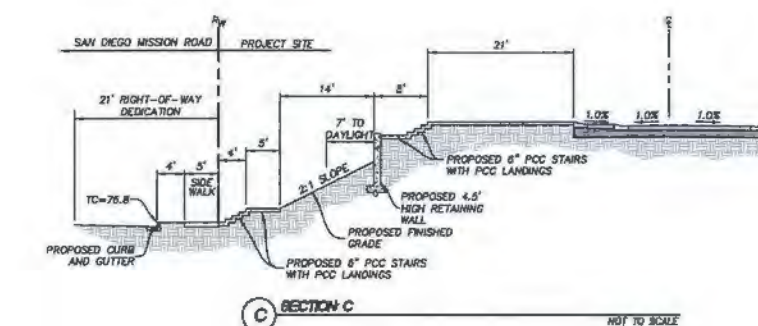
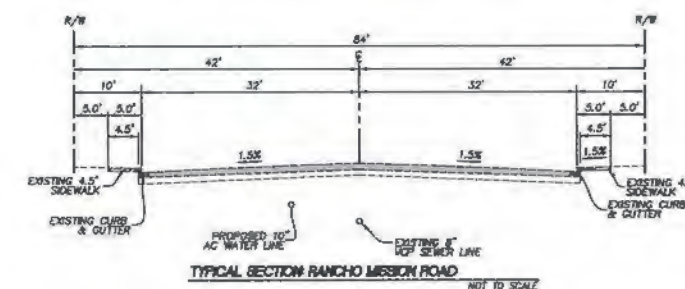
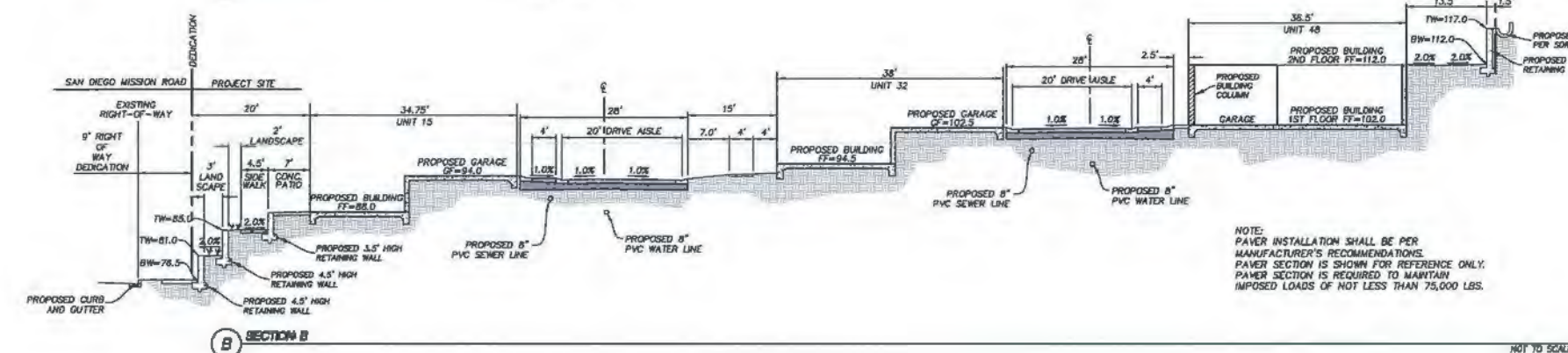
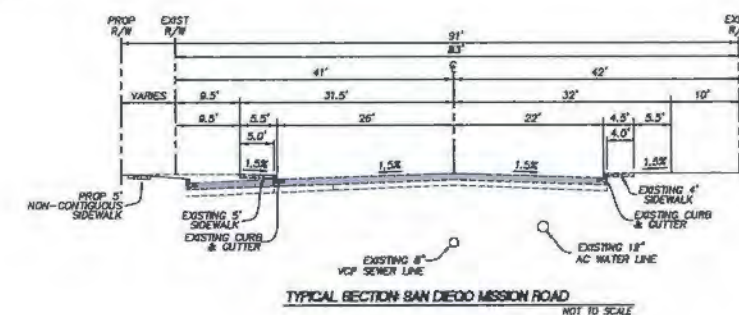
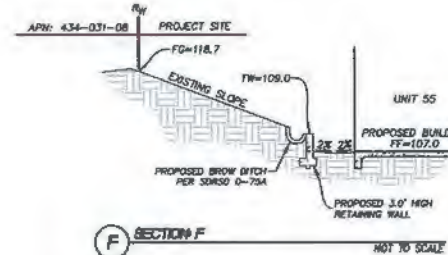
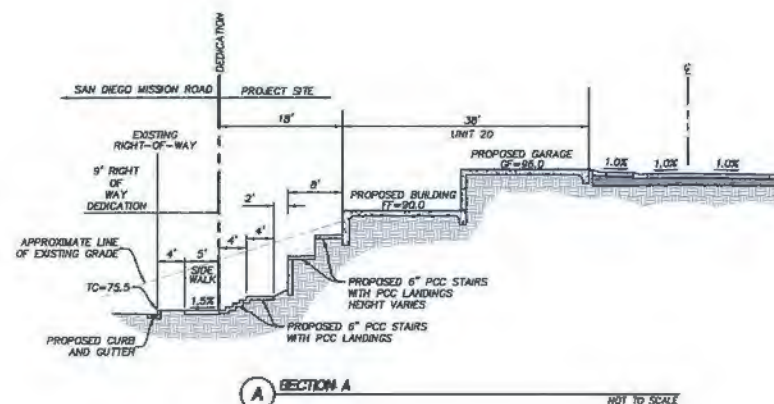
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# SECTIONS AND DETAILS

## TENTATIVE MAP NO. 1523893 AND SITE DEVELOPMENT PERMIT NO. \_\_\_\_\_

### SAN DIEGO MISSION ROAD TOWNHOMES



PREPARED BY:

**PASCO LARET SUTER & ASSOCIATES**  
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING  
 833 North Highway 181, Box A, Salinas, CA 93775  
 ph 831.239.8212 | fx 831.239.4212 | pascoplanningtag.com



WILLIAM GREG MACK, R.C.E. 73620  
 EXPIRATION: 12/31/2016

PROJECT NAME:  
 SAN DIEGO MISSION ROAD TOWNHOMES TENTATIVE MAP  
 PROJECT ADDRESS:  
 INTERSECTION OF SAN DIEGO MISSION ROAD & RANCHO MISSION ROAD  
 IN THE CITY OF SAN DIEGO, CALIFORNIA  
 PROJECT TRACKING SYSTEM NUMBER:  
 432756  
 INTERNAL ORDER NUMBER:  
 24028080  
 SHEET TITLE:  
 SECTIONS AND DETAILS  
 SHEET NUMBER:  
 C 4.0 of 5.0

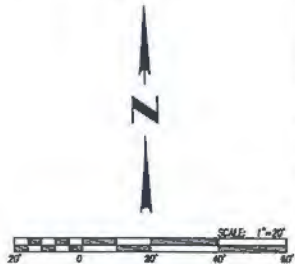
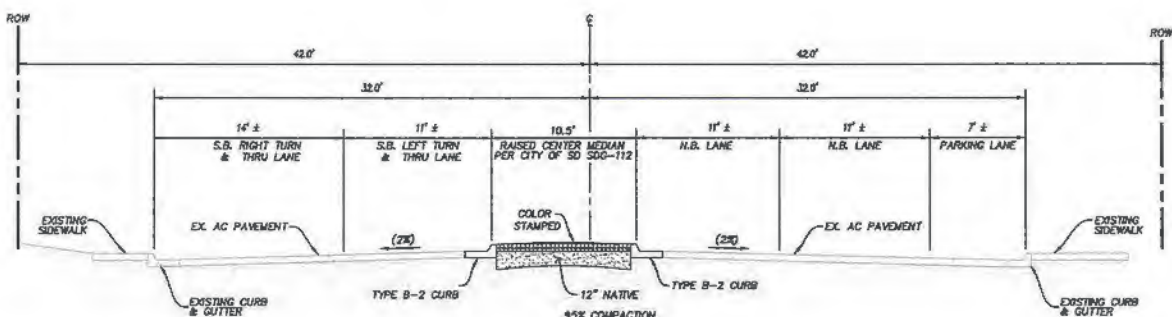
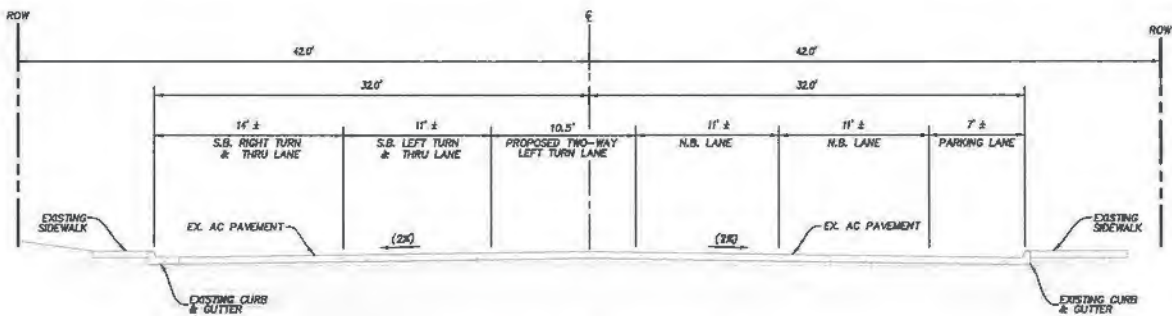
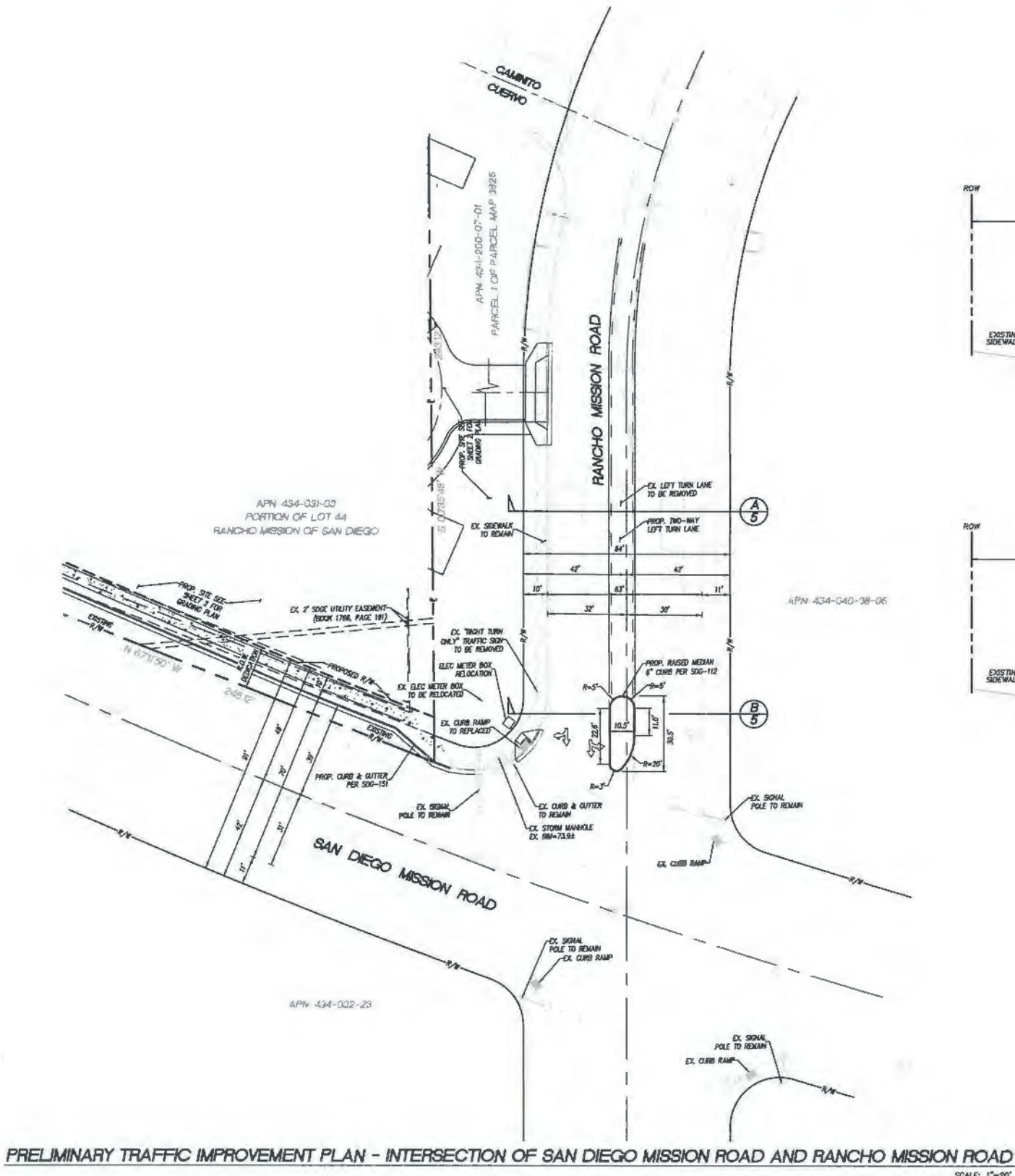
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 DRAWN BY:  
 CHECKED BY:  
 ORIGINAL DATE:  
 07-02-2015  
 REVISION 1:  
 08-02-2015  
 REVISION 2:  
 11-24-2015  
 REVISION 3:  
 04-30-2016  
 REVISION 4:  
 05-28-2016  
 REVISION 5:  
 07-19-2016  
 REVISION 6:  
 08-16-2016  
 REVISION 7:



OFFSITE IMPROVEMENTS  
TENTATIVE MAP NO. 1523893 AND SITE DEVELOPMENT PERMIT NO. \_\_\_\_\_  
SAN DIEGO MISSION ROAD TOWNHOMES

LEGEND

PROPERTY BOUNDARY	---
LINE OF RIGHT-OF-WAY DEDICATION	---
PUBLIC STREET CENTERLINE	---
EXISTING STRIPING	---
PROPOSED STRIPING	---
PROPOSED CURB & GUTTER	---
THRU LANE & RIGHT TURN MARKING	---
THRU LANE & LEFT TURN MARKING	---



PRELIMINARY TRAFFIC IMPROVEMENT PLAN - INTERSECTION OF SAN DIEGO MISSION ROAD AND RANCHO MISSION ROAD  
SCALE: 1"=20'

PREPARED BY:

**PASCO LARET SUITER & ASSOCIATES**  
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING  
555 North Highway 101, Ste A, Solana Beach, CA 92075  
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WILLIAM DREGG MACK R.C.E. 73620  
EXPIRATION: 12/31/2016

DATE: \_\_\_\_\_

PROJECT NAME:  
SAN DIEGO MISSION ROAD TOWNHOMES TENTATIVE MAP

PROJECT ADDRESS:  
INTERSECTION OF SAN DIEGO MISSION ROAD & RANCHO MISSION ROAD  
IN THE CITY OF SAN DIEGO, CALIFORNIA

PROJECT TRACKING SYSTEM NUMBER:  
1523893

INTERNAL ORDER NUMBER:  
3000040

SHEET TITLE:  
OFFSITE IMPROVEMENTS

SHEET NUMBER:  
C 5.0 of 5.0

DRAWN BY: J. VUK RYM  
CHECKED BY: WILL MACK

ORIGINAL DATE: 07-02-2015

REVISION 1: 09-02-2015

REVISION 2: 11-24-2015

REVISION 3: 04-20-2016

REVISION 4: 08-20-2016

REVISION 5: 07-19-2016

REVISION 6: 09-16-2016

REVISION 7: \_\_\_\_\_