



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: October 27, 2016 REPORT NO. PC-16-089

HEARING DATE: November 3, 2016

SUBJECT: VILLA PASEO APARTMENTS. Process Four Decision

PROJECT NUMBER: [452271](#)

OWNER/APPLICANT: Dale Marquardt, Villa Paseo Apartments, L.L.C., Owner/Applicant

SUMMARY:

Issue: Should the Planning Commission approve the construction of a new four-story residential apartment building with eight units on a 0.17-acre site located at 5541 Lindo Paseo within the College Area Community Plan?

Staff Recommendation: APPROVE Planned Development Permit No. 1592235.

Community Planning Group Recommendation: On April 13, 2016, the College Area Community Planning Board voted 18-0-1 to recommend approval of the project with 8-units and 4-stories with no additional conditions.

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15332, In-Fill Development Projects, of the California Environmental Quality Act (CEQA). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 12, 2016, and the opportunity to appeal that determination ended September 26, 2016.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant through a deposit account.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The project proposes to demolish an existing single family residential unit and construct a new four-story, multi-family residential apartment development with eight, four bedroom units and ground floor parking on a 0.17-acre site. The College Area Community Plan and the Core Sub-Area of the College Area Redevelopment Project area both designate the site for High Residential (45-75 DU/NRA).

The project site could accommodate between eight and thirteen dwelling units and the proposal to construct eight units would not adversely impact the community plan or redevelopment plan.

The eight units would consist of eight, four bedroom units all with full kitchen, dual bathrooms, washer/dryer area, and living areas. With an emphasis on college student housing, the development's net housing impact will add eight, four bedroom apartment units to the community and the applicant proposes to comply with the City's Affordable Housing Ordinance by providing in-lieu fees.

BACKGROUND

The 0.17-acre urban infill project site is located at 5541 Lindo Paseo, on the south side of Lindo Paseo between 56th Street and Campanile Drive within the College Area Community Plan (CACP), the College Area Redevelopment Project Plan Area (CCRP) and the Campus Parking Impact Overlay Zone. The site is zoned RM-3-9, which allows multi-family development at a rate of one unit per 600 square-feet of lot area, or twelve units allowed on this 7,280-square-foot site. The College Area Community Plan designates the site for high-density residential development at a rate of 45-75 dwelling units per acre, or eight to thirteen units allowed on this site.

The Community Plan also designates this site for fraternity housing and uses which are intended to serve fraternity residents, or multi-family uses which are convertible to sorority or fraternity use. In addition to the College Area Community Plan, applicable policy documents for this site include the College Community Redevelopment Master Project Plan and the Core Subarea Design Manual.

The project site is relatively flat and developed with a single-family residence that will be demolished. The site is bordered by one-story single-family structures to the east and a four-story Theta Chi fraternity house to the west. The properties to the south of the project site, across the existing alley right-of-way, are developed with three- to four-story multi-family housing units that were approved in 2001. The properties to the north on the opposite side of Lindo Paseo include multi-family structures, a surface parking lot and a multi-level parking structure.

The CACP was last amended by the City Council on August 3, 2002, and reflects the long range goals of this site being devoted to multi-family and fraternity use. The CACP references the CCRP, and requires the creation of a Master Project Plan to implement the CACP and the CCRP, as well as aid in the redevelopment of five subareas surrounding San Diego State University. The Master Project Plan (MPP) for the CCRP was approved by the City Council on October 12, 1993. This project site is within the "Core Subarea" of the CCRP. The Core Subarea Design Manual, <https://www.sandiego.gov/sites/default/files/legacy//planning/community/profiles/collegearea/pdf/coresubareadesignmanual.pdf>, was adopted by the City Council on August 12, 1997. Both the MPP and Core Subarea Design Manual contain guidelines and regulations regarding the development of this project site.

DISCUSSION

Project Description:

The applicant proposes to construct an approximately 19,731-square-foot, four-story, multi-family residential apartment development and ground floor parking with an emphasis on college student housing. The apartment development consists of eight, four bedroom units all with full kitchen, dual bathrooms, washer/dryer area, and living areas. The project would also include an approximately 1,206-square-foot community room with study and meeting areas, and a 333-square-foot fourth floor balcony.

The site is located within the Core Sub-Area portion of the CACP and within the Campus Parking Impact Area, and the required parking ratio is 2.25 parking spaces per unit and therefore, 18 off-street parking spaces are required [8 units (3-4 bedrooms) X 2.25 = 18]. Considering achieving the density range for the development and the relatively small lot size of the project site, the project removes the existing driveway along Lindo Paseo, provides eleven ground floor parking spaces accessed from the alley right-of-way at the rear of the site, and the seven additional required parking spaces shall be provided within the SDSU parking structures by reimbursing residents for a parking permit that allows parking 24 hours per day, seven days a week in the structure (Permit Condition No. 32). Motorcycle and bicycle parking would also be provided in the development's ground floor garage.

The maximum height of the four-story structure would be approximately 52 feet, which complies with the 60-foot maximum height allowance in the RM-3-9 Zone and is similar to the height of the three- to four-story multi-family development located just south of the project site. The building would feature a stucco finish with multiple offsetting planes to provide visual interest and reduce the bulk of the structure. Also incorporated into the building design is the landscaping which will help to define the future look of Lindo Paseo by continuing a pattern of non-continuous sidewalks and street trees located within the parkway, as envisioned in the CACP. With the exception of the requested deviations discussed below, the project meets all of the applicable development and design standards for the RM-3-9 Zone, the CACP and the CCRP.

Deviations Requested:

The project includes a request to deviate from the front yard setback, side yard setback, Floor Area Ratio (FAR), private exterior open space, and parking requirements, which are allowed with the approval of a Planned Development Permit (PDP) per Section [143.0402](#) of the Municipal Code. A summary of the proposed deviations and the Municipal Code requirement are as follows:

- Front Yard Setback of 0 feet where RM-3-9 Zone requires 20 feet;
- Side Yard Setback of 5 feet where RM-3-9 Zone requires 10% of lot width (approx. 5 feet 11 inches);
- Floor Area Ratio of 2.71 where RM-3-9 Zone requires 2.70;
- Private Exterior Open Space of a single community room of 1,206 square feet is provided in

- lieu of 75% of the units provided with 60 square feet as required in the RM-3-9 Zone; and
- Parking Requirements where 18 off-street spaces are required and 11 off-street spaces are provided on site;

City staff is supportive of the requested deviations. The narrow lot width of 59 feet and overall small lot size of 7,280 square feet results in a small development with above grade parking and only three-stories of residential units. The ground floor level of the development encompasses the entry lobby area, stairwell, elevator, facility services, and parking uses. The deviations are the minimum necessary to create a residential development that meets the CACP's density range for units; provides gathering places for the residents (community room, study rooms, meeting rooms, restroom facilities, and balcony area for outdoor activities); and encourages interaction among the residents beyond a standard apartment facility.

Community Plan Analysis:

The CACP designates the proposed project site for multi-family residential and fraternity/sorority use with a density of 45 to 75 dwelling units per acre and a maximum allowable height of twelve stories. This designation supports the proposed four-story, multi-family residential apartment development with eight units and fulfills the goals of the community plan to locate multi-family uses which are convertible to sorority or fraternity use within close proximity of San Diego State University.

The proposed project helps to carry out the community plan's objectives to promote a "community campus" by increasing new student housing and providing strong pedestrian orientation between students' residences, the university, and existing retail uses. The proposed project is oriented along Lindo Paseo to encourage pedestrian access from the street. The pedestrian environment is enhanced through a well marked entrance with shade producing trees, a non-contiguous sidewalk, and a shallow setback that locates the residence closer to the sidewalk. In addition, the proposed project provides a bicycle storage area in the ground floor parking area to support bicycling as an alternative form of transportation. These elements and the project's convenient location should facilitate the reduction of vehicle trips and reduce local traffic congestion, fulfilling yet another community plan objective.

Conclusion:

In summary, City staff finds that the project is consistent with the recommended land use, design guidelines and development regulations in effect for this site per the adopted CACP, MPP, Core Sub-Area Design Manual, and the RM-3-9 Zone. Staff is supportive of the requested deviations, which are allowed through the Planned Development Permit process. Draft permit conditions have been prepared for this project and all of the findings required to approve the project can be made and are included in the draft resolution.

ALTERNATIVES

1. Approve Planned Development Permit No. 1592235, with modifications; or

2. Deny Planned Development Permit No. 1592235, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe
Deputy Director
Development Services Department

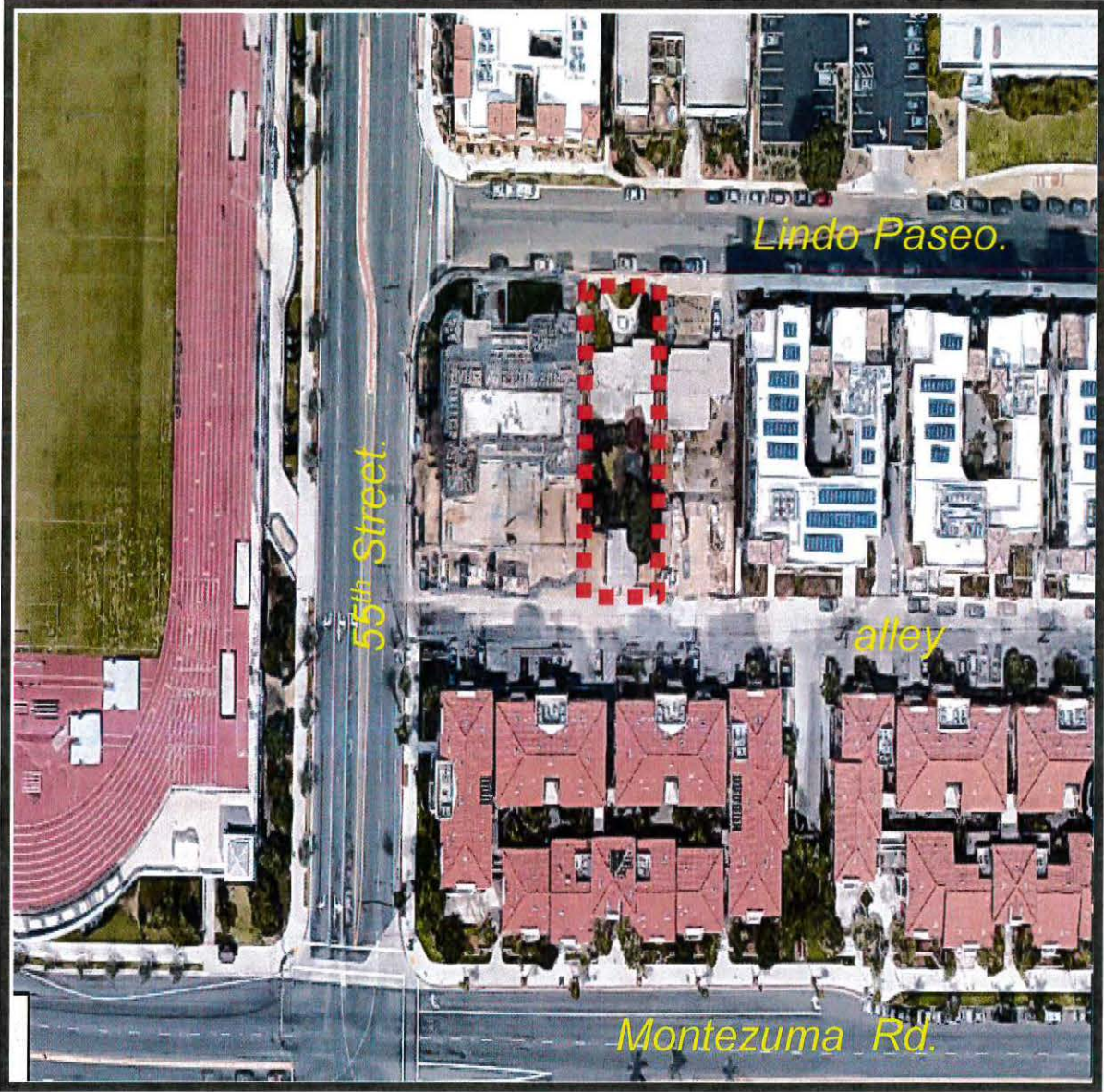


Tim Daly
Development Project Manager
Development Services Department

VACCHI/TPD

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement)



Aerial Photo

Villa Paseo Apartments, Project No. 452271
5541 Lindo Paseo, San Diego CA

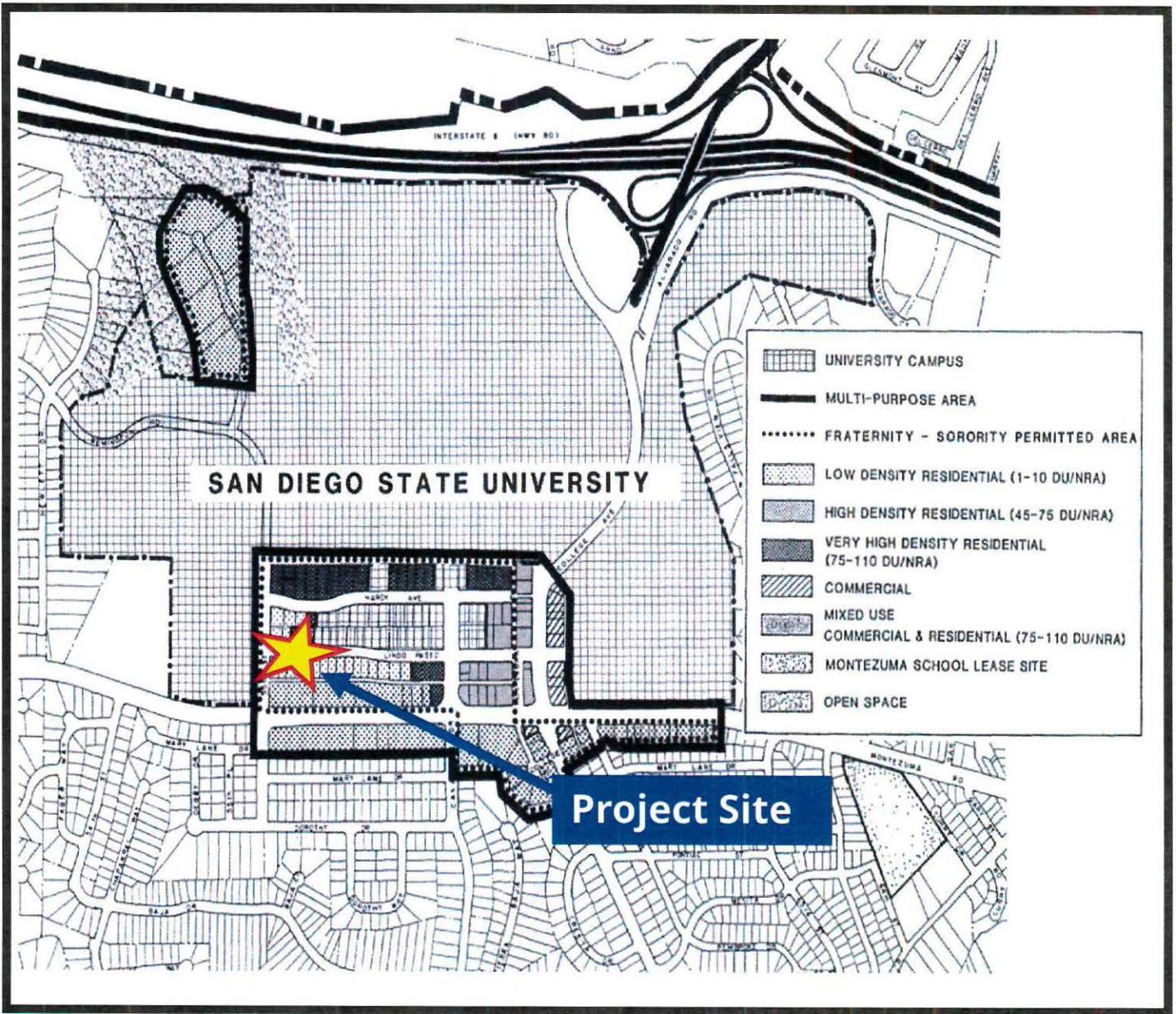




College Area Community Land Use

Map

Villa Paseo Apartments, Project No. 452271
5541 Lindo Paseo, San Diego CA





Project Location

**Villa Paseo Apartments, Project No. 452271
5541 Lindo Paseo, San Diego CA**



PROJECT DATA SHEET

PROJECT NAME:	Villa Paseo Apartments	
PROJECT DESCRIPTION:	Construct a new four-story multi-family residential apartment development with eight, four bedroom units at 5541 Lindo Paseo.	
COMMUNITY PLAN AREA:	College Area	
DISCRETIONARY ACTIONS:	Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	High density, 45-75 DU/Net AC	
<u>ZONING INFORMATION:</u>		
ZONES: RM-3-9, Core Subarea College Community Redevelopment Project Master Plan, Parking Impact Overlay Zone		
HEIGHT LIMIT: 60 feet; 52.25 feet		
LOT SIZE: Min. 7,000 s.f.; 7,405 s.f. existing		
FLOOR AREA RATIO: 2.70 max.; 2.71 provided		
FRONT SETBACK: 10 - 20 feet required; 0 feet provided		
SIDE SETBACK: 5 feet 11 inches required (10% lot width); 5 feet provided		
REAR SETBACK: Min. 5 feet; 10 feet proposed		
PARKING: 18 off-street parking spaces required; 11 parking spaces provided on-site and 7 parking spaces at adjacent SDSU Parking Structure.		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; RM-3-9	Multi-family Residential
SOUTH:	Residential; RM-3-9	Multi-family Residential
EAST:	Residential; RM-3-9	Single-family Residential
WEST:	Residential; RM-3-9	Fraternity House
DEVIATIONS REQUESTED:	Deviate from the front yard setback, side yard setback, Floor Area Ratio (FAR), private exterior open space, and parking requirements.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	Oct. 13, 2016, College Area Community Planning Board voted 12-1-0 to recommend approval with no conditions.	

PLANNING COMMISSION RESOLUTION NO. XXXX-PC
PLANNED DEVELOPMENT PERMIT NO. 1592235
VILLA PASEO APARTMENTS - PROJECT NO. 452271

WHEREAS, DALE R. MARQUARDT, TRUSTEE, MARQUARDT FAMILY TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish the existing single family unit and construct a new four-story multi-family residential apartment development with eight units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1592235), on portions of a 0.17-acre site;

WHEREAS, the project site is located at 5541 Lindo Paseo in the RM-3-9 Zone, Airport Land Use Compatibility Overlay Zone (Montgomery Field) Airport Influence Review Area 2, and Parking Impact Overlay Zone (Campus Impact) of the College Area Community Plan;

WHEREAS, the project site is legally described as Lot 3 of Collwood Gardens, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2620, filed in the Office of the County Recorder of San Diego County, February 3, 1950;

WHEREAS, on November 3, 2016, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1592235 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on September 12, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332, In-Fill Development Projects; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated November 3, 2016.

FINDINGS:

Planned Development Permit (SDMC Sec. 126.0604)

(a) Findings for all Planned Development Permits

- (1) The proposed development will not adversely affect the applicable land use plan.**

The proposed project would construct a four-story, multi-family residential apartment development with eight, four bedroom units and ground floor parking on a 0.17-acre site located in the RM-3-9 Zone, the College Redevelopment Project area and the Campus Parking Impact Overlay Zone, within the College Area Community Plan.

Both the College Area Community Plan and the College Area Community Redevelopment Project Master Project Plan designate the project site for fraternity/sorority and multi-family residential uses and the project is consistent with the overall goals of these documents. Both plans recommend increasing the availability of student housing and vehicular parking spaces in close proximity to the San Diego State University (SDSU) Campus, as well as the development of a strong pedestrian orientation between new residential and commercial development adjacent to the campus. The project's new apartment housing with an emphasis on college student residents will meet these recommendations by furthering the creation of a community campus rather than a commute campus by locating additional student residences in close proximity to the campus.

The overall appearance of the new structure is compatible with the architectural detail and appearance of the surrounding neighborhood in scale, materials and style consistent with the College Area Community Plan.

Furthermore, the project will increase the availability of on-campus housing and promote a strong pedestrian orientation to the SDSU Campus, consistent with the community plan. Therefore, the project would not result in a conflict with the relevant goals, objectives, and recommendations of the College Area Community Plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project would construct a four-story, multi-family residential apartment development with eight, four bedroom units and ground floor parking on a 0.17-acre site located in the RM-3-9 Zone, the College Redevelopment Project area and the Campus Parking Impact Overlay Zone, within the College Area Community Plan.

The project would not be detrimental to the public health, safety and welfare. This project is exempt from environmental review pursuant to Article 19, Section 15332, In-Fill Development Projects, of the California Environmental Quality Act (CEQA). All Uniform Building, Fire, Plumbing, Electrical and Mechanical Code regulations and permitting requirements governing the construction and continued operation of the development apply to this project. The permit prepared for this project includes various conditions and exhibits of approval relevant to achieving compliance with the regulations of the Land Development Code in effect for the project site; and such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety, and general welfare of the persons residing, working, or attending in the area. Therefore, the project as proposed would not be detrimental to the public health, safety and welfare.

- (3) **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The proposed project would construct a four-story, multi-family residential apartment development with eight, four bedroom units and ground floor parking on a 0.17-acre site located in the RM-3-9 Zone, the College Redevelopment Project area and the Campus Parking Impact Overlay Zone, within the College Area Community Plan.

The project is compatible with all applicable plans and regulations associated with the project site, including the RM-3-9 Zone regulations, the College Area Community Plan and the College Community Redevelopment Project Master Project Plan. The site is located in an area designated by the Community Plan and Redevelopment Plan for fraternity/sorority and multi-family residential uses.

The proposed apartment housing development with an emphasis on college student residents is anticipated at this location, as evidenced by the designation of the site for multi-family and fraternity/sorority residential use within the applicable College Area Community Plan and College Community Redevelopment Project Master Project Plan. The project will provide needed student housing near the existing SDSU campus. The overall appearance of new structures would be compatible with the architectural detail and appearance of the surrounding neighborhood in scale, materials and style consistent with the College Area Community Plan. The project's appearance will enhance the SDSU Campus and the surrounding neighborhoods benefiting the community as a whole.

The project includes a request to deviate from the front yard setback, side yard setback, Floor Area Ratio (FAR), private exterior open space, and parking requirements, which are allowed with the approval of a Planned Development Permit (PDP) per Section 143.0402 of the Municipal Code. A summary of the proposed deviations and the Municipal Code requirement are as follows:

- Front Yard Setback of 0 feet where RM-3-9 Zone requires 20 feet;
- Side Yard Setback of 5 feet where RM-3-9 Zone requires 10% of lot width (approx. 5 feet 11 inches);
- Floor Area Ratio of 2.71 where RM-3-9 Zone requires 2.70;
- Private Exterior Open Space of a single community room of 1,206 square feet is provided in lieu of 75% of the units provided with 60 square feet as required in the RM-3-9 Zone; and
- Parking Requirements where 18 off-street spaces are required and 11 off-street spaces are provided on site and 7 required parking spaces shall be provided within the SDSU parking structures by reimbursing residents for a parking permit that allows parking 24 hours per day, seven days a week in the structure.

City staff is supportive of the requested deviations. The narrow lot width of 59 feet and overall small lot size of 7,280 square feet results in a small development with above grade parking and only three-stories of residential units. The ground floor level of the development encompasses the entry lobby area, stairwell, elevator, facility services, and parking uses. The deviations are the minimum necessary to create a residential development that meets the Community Plan's density range for units; provides gathering places for the residents (community room, study rooms, meeting rooms, restroom facilities, and balcony area for outdoor activities); and encourages interaction among the residents beyond a standard apartment facility. With the exception of the requested deviations, which is allowed by the Land Development Code with the approval of a Planned Development Permit, the project meets all applicable development regulations, including, height, setbacks, design, landscape and public improvements. Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1592235 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 1592235, a copy of which is attached hereto and made a part hereof.

Tim Daly
Development Project Manager
Development Services

Adopted on: November 3, 2016

IO#: 24006285

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006285

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 1592235
VILLA PASEO APARTMENTS PROJECT NO. 452271
 PLANNING COMMISSION

This Planned Development Permit No. 1592235, is granted by the Planning Commission of the City of San Diego to Dale R. Marquardt, Trustee, Marquardt Family Trust, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0601. The 0.17-acre site is located at 5541 Lindo Paseo in the RM-3-9 Zone, Airport Land Use Compatibility Overlay Zone (Montgomery Field) Airport Influence Review Area 2, and Parking Impact Overlay Zone (Campus Impact) of the College Area Community Plan area. The project site is legally described as Lot 3 of Collwood Gardens, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2620, filed in the Office of the County Recorder of San Diego County, February 3, 1950.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing single family unit and construct a new four-story multi-family residential apartment development with eight units, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 3, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolish the existing single family unit and construct a new four-story, multi-family residential apartment development of approximately 4,833 square feet with eight units, and ground level parking;
- b. Requested deviations as follows:
 - Parking Requirements where 15 off-street spaces are required and 11 off-street spaces are provided;
 - Front Yard Setback of 0 feet where RM-3-9 Zone requires 20 feet;
 - Side Yard Setback of 5 feet where RM-3-9 Zone requires 10% of lot width (approx. 5 feet 11 inches);
 - Floor Area Ratio of 2.71 where RM-3-9 Zone requires 2.70; and
 - Private Exterior Open Space of a single community room of 1,206 square feet is provided in lieu of 75% of the units provided with 60 square feet as required in the RM-3-9 Zone.

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 18, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

12. Prior to the issuance of any construction permits for building structure, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond, the closure of all driveways onto Lindo Paseo and the construction of full height curb, gutter and sidewalk, to the satisfaction of the City Engineer.

14. The project proposes to export 6.1 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlets in the Lindo Paseo Right-of-Way.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Lindo Paseo, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing rolled curb with City Standard curb and gutter, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, full width reconstruction of the existing alley with current City Standard concrete pavement alley section along property frontage, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with current City Storm Water Standards.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under SDMC sec. 142.0403(b)(5).

25. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC sec. 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

26. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

31. The Owner/Permittee shall maintain a minimum of eleven (11) off -street automobile parking spaces including one (1) van accessible, one (1) motorcycle, and six (6) bicycle parking spaces shall be permanently maintained on the property within the approximate location shown on the Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

32. A minimum of seven (7) automobile parking spaces shall be provided within the San Diego State University (SDSU) parking structures by reimbursing residents for a parking permit which allows parking 24 hours per day, seven days a week, to the satisfaction of the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

33. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

34. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

35. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

36. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

37. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

38. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral.

39. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on November 3, 2016 and Resolution No. XXXX-PC.

Permit Type/PTS Approval No.: Planned Development Permit No. 1592235
Date of Approval: November 3, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Tim Daly
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Dale R. Marquardt, Trustee, Marquardt Family Trust
Owner/Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Villa Paseo Apartments

Project No. / SCH No.: 452271

Project Location-Specific: 5541 Lindo Paseo, San Diego, CA 92115

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Planned Development Permit (PDP) for to allow for the construction of a five unit, three story, 2,310 square-foot, multi-family project on a 0.167-acre site. The PDP would permit deviations to the setback, lot coverage, parking, floor area ratio (FAR) and private open space regulations. The project is located at 5541 Lindo Paseo within the College Avenue Community Planning area. The College Area Community Plan designates the site for High Density Residential 45-75 dwelling units per acre as well as for development associated with fraternity/sorority use. The site is zoned RM-3-9, parking impact overlay zone, and is subject to the Core Subarea Design Manual. The project would also include the demolition of a one-story single family dwelling on the project site.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Dale R. Marquardt
Villa Paseo Apartments, LLC
P.O. Box 1343
Rancho Santa Fe, CA 92067
(858) 756-1287

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Section 15332 (In-Fill Development Projects)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project is consistent with the existing land use designation (High Density Residential/Fraternity and Sorority Use) and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than five acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species. The project would not result in any significant effects related to air quality, noise, traffic or water quality. The site can be adequately serviced by all required utilities and public services. In addition; the exceptions listed in CEQA Section 15300.2 would not apply.

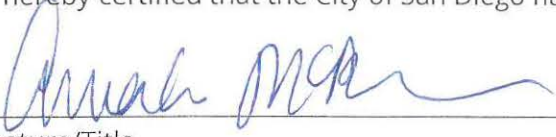
Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



/Senior Planner

September 12, 2016

Signature/Title

Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:



VILLA PASEO - FRONT ENTRY

DATE	2013
BY	
REVISION	
DESCRIPTION	

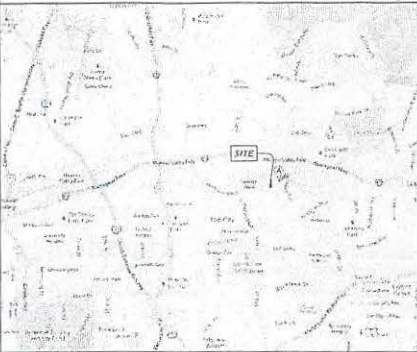
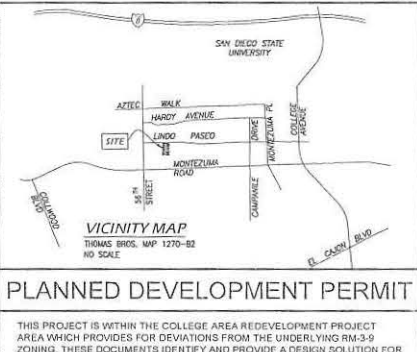
VILLA PASEO APARTMENTS
CITY OF SAN DIEGO, CALIFORNIA



WILLIAM HEDENKAMP ARCHITECT
4455 MORENA BOULEVARD, SUITE 114 SAN DIEGO, CALIFORNIA 92117
PHONE (858) 483-4483 FAX (858) 483-4583 Email bill@hedenkamp-architecture.com



NO.	DATE	REVISION
1		
2		
3		

<p>LOCATION MAP</p> 	<p>VICINITY MAP</p> 	<p>PROJECT INFORMATION</p>	<p>PROJECT TEAM</p>																																																																																						
<p>PROJECT DESCRIPTION</p> <p>THE VILLA PASEO APARTMENT DEVELOPMENT 5541 LINDO PASEO, SAN DIEGO, CALIFORNIA</p> <p>DESCRIPTION: THE VILLA PASEO IS A 8 UNIT HOUSING COMMUNITY AND RESIDENT SERVICE CENTER WITH EMPHASIS ON SAN DIEGO STATE STUDENTS. THE BUILDING WILL BE A FOUR STORY APARTMENT BUILDING WITH THE GROUND FLOOR CONSISTING OF AN ENTRY LOBBY AND GROUND LEVEL PARKING GARAGE. IN ADDITION TO THE APARTMENT UNITS THERE IS A GATHERING PLACE FOR RESIDENTS ON THE FOURTH FLOOR WITH COMMUNITY ROOM, STUDY ROOMS, MEETING ROOMS, AND RESTROOM FACILITIES. THERE IS ALSO A 333 SQUARE FOOT EXTERIOR BALCONY AREA FOR OUTSIDE ACTIVITIES. THE DESIGN IS INTENDED TO ENCOURAGE INTERACTION AMONG RESIDENTS, STUDENT ACTIVITIES, STUDY, PROJECT ACTIVITIES AND RECREATION THAT GO BEYOND JUST A PLACE TO LIVE. THE INTENTION IS FOR POSSIBLE FUTURE USE AS A FRATERNITY OR SORORITY HOUSE.</p> <p>WE HAVE PROVIDED INTERIOR COMMUNITY SPACE WITH A LARGE OUTDOOR DECK IN LIEU OF MANY SMALLER PRIVATE OUTDOOR BALCONIES. THE COMMUNITY ROOM, KITCHEN AND STUDY BREAKOUT ROOMS FOR THE STUDENTS WILL MORE EFFICIENTLY SERVE THEIR NEEDS. THIS WILL FACILITATE INDIVIDUAL STUDY, GROUP PROJECTS, CLUB MEETINGS AND OPPORTUNITIES FOR STUDENT INTERACTION CLOSE TO RESIDENCES AND THE CAMPUS.</p> <p>THE SITE: THE SITE IS LOCATED ON PASEO LINDO IMMEDIATELY EAST OF THE NEW THETA CHI FRATERNITY HOUSE (PROJECT NO. 204159). THE SITE IS CURRENTLY OCCUPIED BY A SMALL ONE STORY SINGLE FAMILY DWELLING. THE PROPOSED DEVELOPMENT APPROACH IS WARRANTED. PER THE COLLEGE COMMUNITY REDEVELOPMENT PROJECT CORE SUBAREA DESIGN MANUAL, THE NARROW WIDTH OF THE SITE AND ITS SMALL SIZE RESULT IN A SMALL PROJECT WITH ABOVE GRADE PARKING AND ONLY THREE STORIES OF DWELLING UNITS. THIS RESULTS IN MOST OF THE GROUND FLOOR OF THE SITE BEING USED FOR PARKING, SERVICES AND ENTRY LOBBY. ULTIMATELY VERY LITTLE NATIVE GROUND IS AVAILABLE FOR LANDSCAPING BUT THE SIDEYARD SETBACK AND STREET TREES ALONG PASEO LINDO HAVE BEEN UTILIZED.</p> <p>LOT COVERAGE AS PROPOSED IS EXCEEDING THE PERMITTED IN THE CORE AREA BY APPROXIMATELY 465 SQUARE FEET, HOWEVER, COMMON AREA FACILITIES OF APPROXIMATELY 1,530 S.F. HAVE BEEN PROVIDED ON THE UPPER FLOOR IN LIEU OF THE REQUIRED AREA ON THE GROUND FLOOR. THERE IS A COVERED PARKING AREA OF APPROXIMATELY 309 S.F. THAT IS OPENED ON THREE SIDES THAT HAS BEEN INCLUDED IN THE COVERAGE CALCULATION ABOVE. THE DEVIATION IS NECESSARY TO PROVIDE THE ADDITIONAL AMENITIES AND MAINTAIN THE DESIRABLE CHARACTER AS ENVISIONED IN THE CAMPUS AREA PLAN. IF THE ADDITIONAL INTERIOR SPACE WERE COUNTED AS USEABLE OPEN SPACE IT WOULD RESULT IN THE ADDITION OF 1,239 S.F. USEABLE SQUARE FEET OF SPACE IF IT WAS CONSIDERED "OPEN". PROVISION OF A FULLY USABLE BALCONY AREA HAS BEEN PROVIDED ADJACENT TO THE COMMUNITY ROOM.</p> <p>THE LOT SIZE AND NARROW WIDTH PRESENT A NUMBER OF DIFFICULTIES IN ADDITION TO CHALLENGES WITH RESPECT TO THE PARKING AND OPEN SPACE REQUIREMENTS. HOWEVER, BY UTILIZING THE FLEXIBILITY OF THE SUB-CORE AREA DESIGN GUIDELINES FOR SETBACKS, OPEN SPACE AND LOT COVERAGE THESE CAN BE EFFECTIVELY MITIGATED.</p> <p>EVERY EFFORT IS BEING MADE TO ASSURE THAT THE HIGHEST STANDARDS ARE ATTAINED IN THE DESIGN, CONSTRUCTION, QUALITY AND MAINTAINABILITY OF THE PROJECT. THESE EFFORTS WILL RESULT IN LONG TERM SUSTAINABILITY OF THE PROPERTY, RETENTION OF TENANTS AND EFFICIENT OPERATING AND MANAGEMENT COSTS. FOLLOWING IS A BRIEF SUMMARY OF SOME OF THE ENHANCEMENTS INCORPORATED IN THE DEVELOPMENT:</p>	<p>PLANNED DEVELOPMENT PERMIT</p> <p>THIS PROJECT IS WITHIN THE COLLEGE AREA REDEVELOPMENT PROJECT AREA WHICH PROVIDES FOR DEVIATIONS FROM THE UNDERLYING RM-3.9 ZONING. THESE DOCUMENTS IDENTIFY AND PROVIDE A DESIGN SOLUTION FOR THOSE AREAS NEEDING CLARIFICATION OR EQUIVALENT SOLUTIONS. THE FOLLOWING DEVIATIONS REQUIRE APPROVAL UNDER THE PDP:</p> <ol style="list-style-type: none"> 1. LOT COVERAGE - COMMON AREA PROVIDED IN LIEU 2. PRIVATE OPEN SPACE COMMON AREA PROVIDED IN LIEU PER CADP. THE PROJECT PROPOSES COMMON AREAS FOR GATHERING, STUDYING AND SOCIALIZING THAT PROMOTE COLLEGE LIFE AND LIMIT UNSUPERVISED EXTERIOR BALCONY AREAS THAT ARE THE SOURCE OF ACCIDENTS AND MANAGEMENT PROBLEMS IN COLLEGEHOUSING. 3. DEVIATION FROM PARKING REQUIREMENTS ARE NECESSARY TO ACHIEVE THE MINIMUM DENSITY OF 45 DU/ACRE REQUIRED IN THE MASTER PLAN. THIS IS AN INFILL SITE THAT IS TOO SMALL TO PROVIDE RAMPS OR PARKING ON MORE THAN ONE LEVEL. THIS DEVIATION WILL HELP TO ACHIEVE THE REQUIRED MINIMUM DENSITY WHILE PROMOTING AND ENCOURAGING A WELL INTEGRATED DEVELOPMENT THAT WILL HELP IN REDUCING THE RELIANCE ON THE AUTOMOBILE. IT WILL FURTHER THE ONGOING TREND NEAR THE CAMPUS FOR REDUCED VEHICLE PARKING DEMAND, ENHANCE TRANSIT USE AND PROMOTE ALTERNATIVE MEANS OF TRANSPORTATION SUCH AS BIKES AND CAR2GO. PARKING IS AVAILABLE TO STUDENTS IN THE NEARLY ADJACENT PARKING STRUCTURE 5 (PS5) AND TRANSIT PASSES ARE AVAILABLE FOR STUDENTS AS WELL. 4. DEVIATIONS REQUIRED TO BRING THE SITE CRITERIA OF THE RM-3.9 ZONING INTO COMPLIANCE WITH THE SPECIFIC CRITERIA CONTAINED IN THE COLLEGE AREA MASTER PLAN AND DESIGN GUIDELINES. THESE ARE SHOWN ON THE TABLE TO THE RIGHT AND ARE SPECIFICALLY THE FOLLOWING: <ol style="list-style-type: none"> a. FRONT SETBACK - 0' PER CORE DESIGN MANUAL WHERE RM3-9 REQUIRES 20' b. SIDE YARD SETBACK 5' PER CORE DESIGN MANUAL WHERE RM3-9 IS 10% OF LOT WIDTH c. FLOOR AREA RATIO - NOWHERE RM 3-9 = 2.7 	<p>ZONING</p> <p>LEGAL DISPOSITION: LOT 3 OF COLLWOOD GARDENS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2620, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 3, 1950</p> <p>APN: 466-040-03-00 (ACCESSOR'S PARCEL NUMBER)</p> <p>CURRENT ZONING: RM-3.9 PARKING IMPACT OVERLAY ZONE</p> <p>COMMUNITY PLAN - COLLEGE AREA REDEVELOPMENT PROJECT AREA PER CORE SUBAREA DESIGN MANUAL.</p> <p>COLLEGE AREA COMMUNITY PLAN</p> <p>GEOLOGIC HAZARD CATEGORY</p> <p>GEOLOGIC HAZARD CATEGORY 53</p> <p>PROPERTY HISTORY</p> <p>THE ORIGINAL STRUCTURE WAS BUILT IN APPROXIMATELY 1951. SINGLE FAMILY - 3 BR / 2BA 1,750 S.F. FURTHER INFORMATION IS INCLUDED IN THE HISTORICAL REVIEW.</p>	<p>OWNER VILLA PASEO APARTMENTS, LLC C/O SOUTHDALE, INC. P.O. BOX 1343 RANCHO SANTA FE, CA 92067 CONTACT: DALE MARQUARDT marquardt@prpca.com</p> <p>ARCHITECT WILLIAM HEDENKAMP - ARCHITECT 4455 MORENA BOULEVARD, SUITE 114 SAN DIEGO, CA 92117 (858) 483-4483 CONTACT: BILL HEDENKAMP, AIA bill@hedenkamp-architecture.com</p> <p>CIVIL COFFEY ENGINEERING, INC. 10650 SCRIPPS RANCH BLVD., SUITE 210 SAN DIEGO, CA 92131 (858) 631-0111 CONTACT: JOHN S. COFFEY, P.E. john@coffeeyengineering.com</p> <p>LANDSCAPE AHLES LANDSCAPE ARCHITECT P.O. BOX 1503 RANCHO SANTA FE, CA 92067 (858) 756-8903 CONTACT: STEVEN M. AHLES steve@ahlesland.com</p>																																																																																						
<p>JUSTIFICATION</p> <ol style="list-style-type: none"> 1. THE PROPOSED PROJECT INCLUDING DEVIATIONS WILL NOT ADVERSELY AFFECT THE LAND USE PLAN. THE PDP FOR THIS SITE IS FOR DEVELOPMENT OF EIGHT UNITS OF STUDENT HOUSING ALONG WITH COMMON AREAS TO ACCOMMODATE STUDENT USES FOR STUDYING, SOCIALIZING AND MEETING. THIS PLAN WILL INSURE THAT THE MPD AND CORE SUBAREA REQUIREMENTS FOR ADDITIONAL STUDENT HOUSING NEAR THE CAMPUS CENTER ARE MET. APPROVAL OF THE DEVIATIONS ARE NECESSARY TO ACHIEVE COMPLIANCE WITH GOALS AND OBJECTIVES THEREFORE IT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN. 2. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY OR WELFARE. REVIEW AND APPROVAL BY THE STAFF, COLLEGE AREA PLANNING GROUP, AND COMPLIANCE WITH THE LAND DEVELOPMENT CODE FOR THIS SITE ALONG WITH THE CONDITIONS OF APPROVAL WILL AVOID ADVERSE IMPACTS UPON THE HEALTH, SAFETY, AND GENERAL WELFARE OF PERSONS RESIDING, OR ATTENDING IN THE AREA. THE ALLOWANCE FOR REDUCED PARKING TO ACCOMMODATE ADDITIONAL STUDENT HOUSING WILL RESULT IN IMPROVED PEDESTRIAN ACCESS REDUCED RELIANCE ON AUTOMOBILES AND ENHANCED USE OF PUBLIC TRANSPORTATION. THIS PROJECT IS NEAR THE CAMPUS CENTER AND CAN BE SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES. THE PROJECT WILL COMPLY WITH ALL CONDITIONS OF THE APPROVED SFP FOR THE SITE. THEREFORE THE DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY AND WELFARE. 2. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY OR WELFARE. 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(0.167 ACRES)</td> </tr> <tr> <td>TOTAL BLDG FLOOR AREA</td> <td>N/A</td> <td>N/A</td> <td>19,731 S.F.</td> </tr> <tr> <td>1ST FLOOR</td> <td>N/A</td> <td>N/A</td> <td>4,833 S.F. (BLDG. AREA ONLY)</td> </tr> <tr> <td>2ND FLOOR</td> <td>N/A</td> <td>N/A</td> <td>5,073 S.F.</td> </tr> <tr> <td>3RD FLOOR</td> <td>N/A</td> <td>N/A</td> <td>5,073 S.F.</td> </tr> <tr> <td>4TH FLOOR</td> <td>N/A</td> <td>N/A</td> <td>4,752 S.F.</td> </tr> <tr> <td>TOTAL PARKING AREA</td> <td>N/A</td> <td>ALL PKG</td> <td>4,002 S.F.</td> </tr> <tr> <td>GROUND FLOOR (FIRST FLOOR) PARKING AREA</td> <td>N/A</td> <td>ALL PKG</td> <td>4,833 S.F.</td> </tr> <tr> <td>COVERED AREA PARKING</td> <td></td> <td></td> <td>308 S.F.</td> </tr> <tr> <td>PERMITTED LOT COVERAGE</td> <td>INTERIOR LOT 50% = 3,500 S.F.</td> <td>80% = 4,268 S.F.</td> <td>4,833 S.F. (BLDG. 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AREA ONLY)	2ND FLOOR	N/A	N/A	5,073 S.F.	3RD FLOOR	N/A	N/A	5,073 S.F.	4TH FLOOR	N/A	N/A	4,752 S.F.	TOTAL PARKING AREA	N/A	ALL PKG	4,002 S.F.	GROUND FLOOR (FIRST FLOOR) PARKING AREA	N/A	ALL PKG	4,833 S.F.	COVERED AREA PARKING			308 S.F.	PERMITTED LOT COVERAGE	INTERIOR LOT 50% = 3,500 S.F.	80% = 4,268 S.F.	4,833 S.F. (BLDG. AREA ONLY)	FAR	2.7	N/A	19,731 S.F. = 2.71	USEABLE OPEN AREAS	7,380 X 2.7 = 19,656 S.F.	N/A	333 S.F. DECK ON FOURTH FLOOR	DENSITY DESIGNATION / UNITS	RM - 3.9 DWELLING UNIT/600 S.F. OF LOT AREA 7,260/600=12 60 FEET	45-75 DWELLING UNITS / ACRE = 6 TO 13 UNITS	6 DWELLING UNITS/ ACRE	BLDG HT		4 STORIES	4 STORIES	<p>BUILDING CODE DATA</p> <table border="1"> <thead> <tr> <th>OCCUPANCY</th> <td>S-2, R-2</td> </tr> <tr> <th>CONSTRUCTION</th> <td>TYPE VA-SPRINKLERED (S-2) & (R-2)</td> </tr> <tr> <th>STORIES</th> <td>4 STORIES (3 RESIDENTIAL OVER GROUND FLOOR LEVEL PARKING)</td> </tr> <tr> <th>HEIGHT</th> <td>MAXIMUM FOUR STORIES ALONG STREET FRONTAGES PER DESIGN MANUAL. HEIGHT EQUIVALENT MAXIMUM IS 20' + 22'-0" = 42' FOR A TOTAL OF 50' MAXIMUM PERMITTED. 4 STORIES IS MAXIMUM PERMITTED HEIGHT ON SITE.</td> </tr> <tr> <th>GOVERNING CODES</th> <td>2013 CALIFORNIA BUILDING CODE</td> </tr> </thead> </table>	OCCUPANCY	S-2, R-2	CONSTRUCTION	TYPE VA-SPRINKLERED (S-2) & (R-2)	STORIES	4 STORIES (3 RESIDENTIAL OVER GROUND FLOOR LEVEL PARKING)	HEIGHT	MAXIMUM FOUR STORIES ALONG STREET FRONTAGES PER DESIGN MANUAL. HEIGHT EQUIVALENT MAXIMUM IS 20' + 22'-0" = 42' FOR A TOTAL OF 50' MAXIMUM PERMITTED. 4 STORIES IS MAXIMUM PERMITTED HEIGHT ON SITE.	GOVERNING CODES	2013 CALIFORNIA BUILDING CODE	<p>DRAWING INDEX</p> <p>GENERAL</p> <p>C8 COVER SHEET T81 TITLE SHEET, PROJECT INFORMATION</p> <p>CIVIL</p> <p>C.1 TOPO C.2 GRADING AND DRAINAGE C.3 BEST MANAGEMENT PRACTICES & WPCP</p> <p>LANDSCAPE</p> <p>L.1 LANDSCAPE TITLE SHEET L.2 LANDSCAPE PLANTING PLAN & PLANT LEGEND</p> <p>ARCHITECTURAL</p> <p>AP AERIAL PHOTO A-1 SITE PLAN / GROUND FLOOR (FIRST FLOOR) PLAN A-2 SECOND FLOOR PLAN A-3 THIRD FLOOR PLAN A-4 FOURTH FLOOR PLAN A-5 ROOF PLAN A-6 NORTH & SOUTH BUILDING ELEVATIONS A-7 EAST & WEST BUILDING ELEVATIONS A-8 TYPICAL BUILDING SECTION</p>
	ZONE RM-3.9 (TABLE 131-04G)	COLLEGE AREA PROJECT CORE DESIGN MANUAL	PROPOSED																																																																																						
FRONT YARD SETBACK - NORTH	10' - 20'	0' (BUILT TO LINE)	0'																																																																																						
SIDE YARD SETBACK - WEST	5.9' (10% LOT WIDTH)	5'	5'																																																																																						
SIDE YARD SETBACK - EAST	5.9' (10% LOT WIDTH)	5'	10'																																																																																						
REAR YARD SETBACK - SOUTH	5'																																																																																								
GROSS SITE AREA	7,000 S.F. MIN. (10' WIDTH MIN)		7,260 S.F. (0.167 ACRES)																																																																																						
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NO. 1	DATE	BY

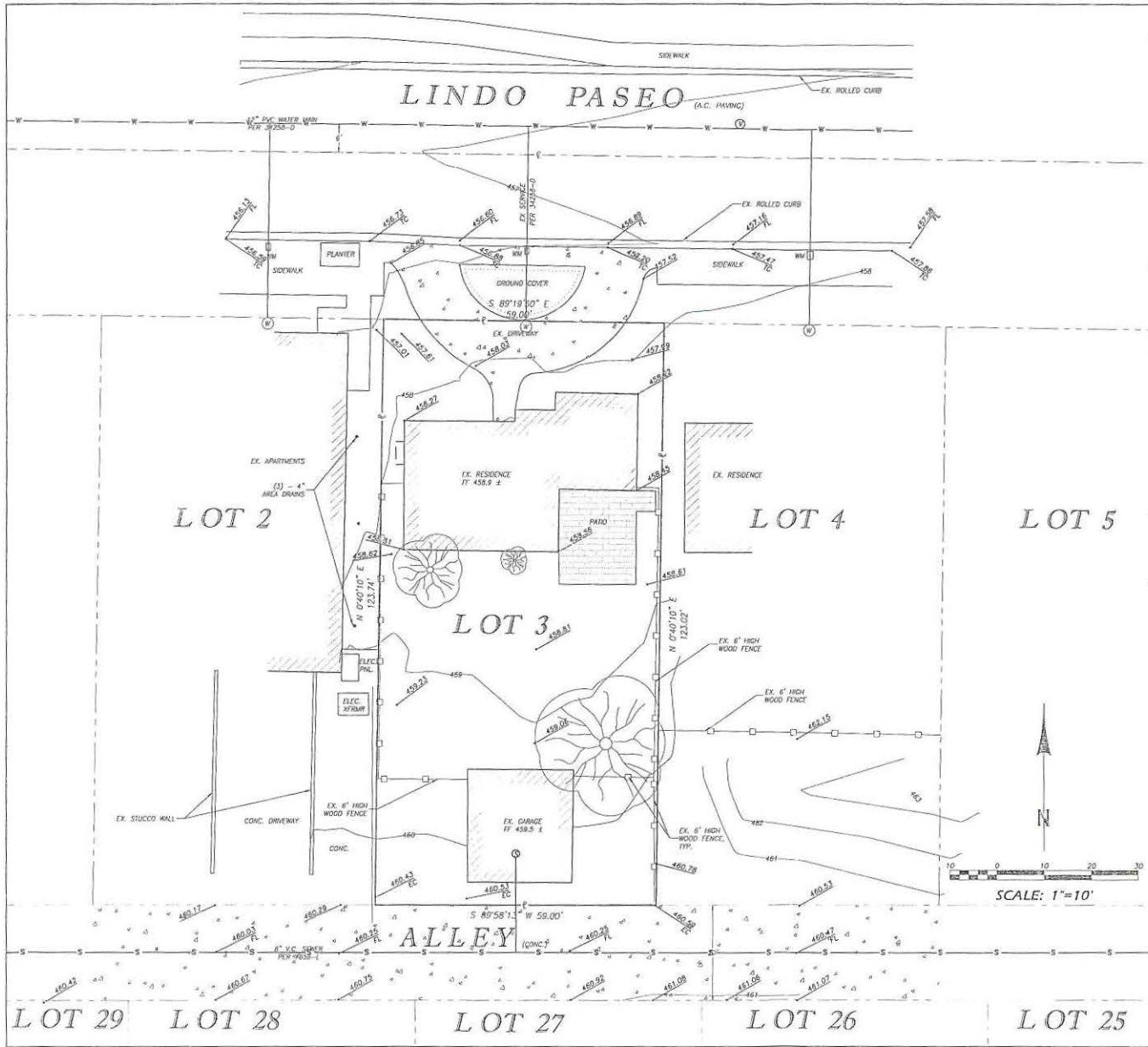


WILLIAM HEDENKAMP ARCHITECT
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 Email: bill@hedenkamp-architecture.com



VILLA PASEO APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA

DATE	BY



LEGEND

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE		N45°45'45"W
PROPERTY LINE - OFFSITE		N45°45'45"W
EXISTING CONTOUR	90	
EXISTING SPOT ELEVATION	100.00	
VALVE BOX		⊗
UTILITY BOX		⊠
BRUSH LINE / TREE CANOPY		⊞
STRUCTURE		⊞
WOOD FENCE		⊞
EXISTING TREE		⊞

ABBREVIATIONS

CL	CENTER LINE
FF	FRESH FLOOR
PLTR	PLANTER
PI	POTTERY PIST
WM	WATER METER

NOTES

1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DISCORDER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
2. THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
3. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/ENGINEERING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGAL DESCRIPTION

LOT 3 OF COLLWOOD GARDENS, MAP NO. 2620, FILED FEBRUARY 3, 1950 IN THE OFFICE OF THE COUNTY RECORDER OF OFFICIAL RECORDS
 APR: 466-040-03

BENCHMARK

STIP AT THE CORNER OF MONTEZUMA ROAD AND CAMPANILE DRIVE, 456.633 MSL, CITY OF SAN DIEGO VERTICAL CONTROL, BOOK, 1040 29.

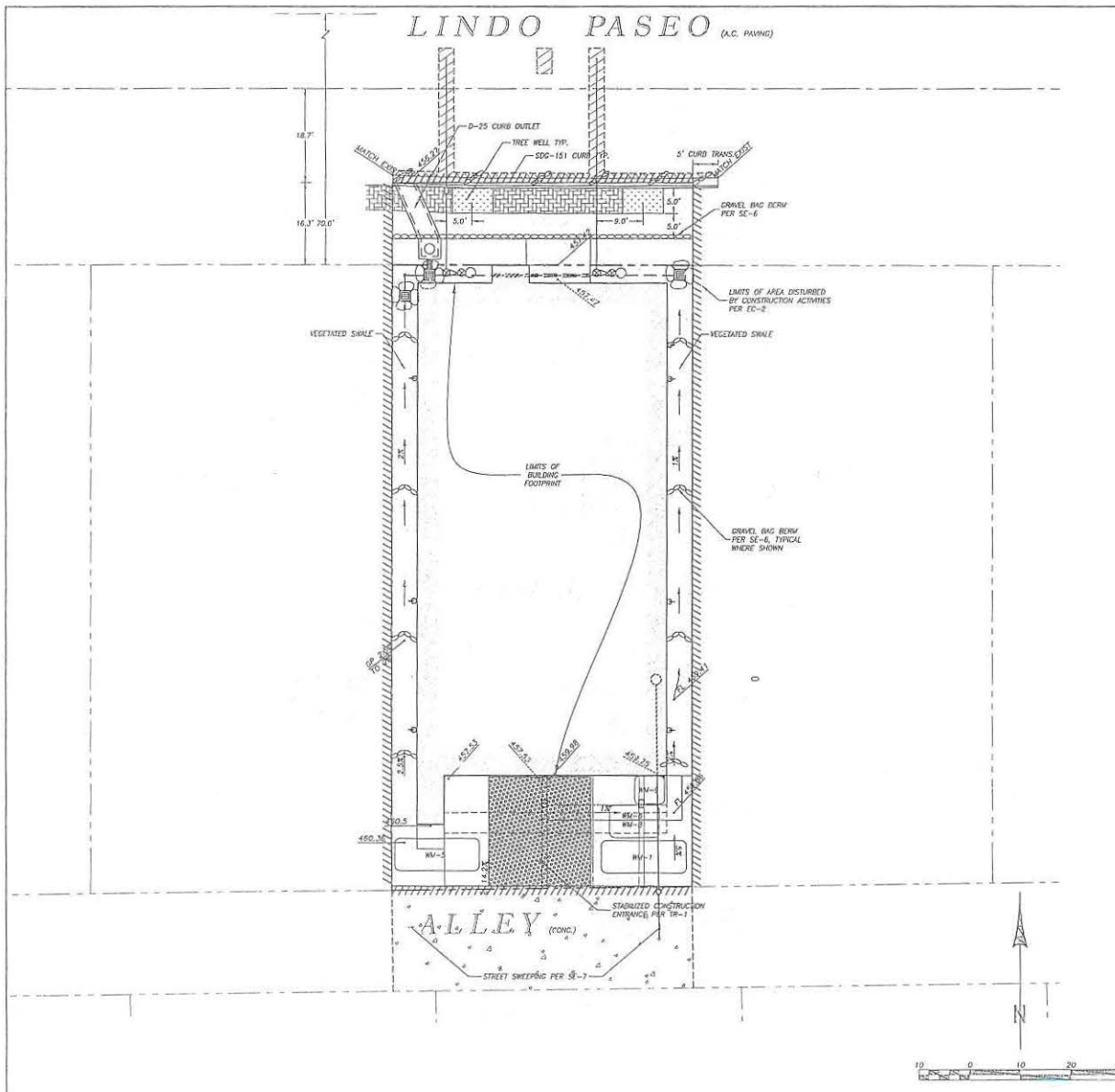
COFFEY ENGINEERING, INC.
 15405 SCRIPPS BANCH, SUITE 100, SAN DIEGO, CA 92131 PH: 619.594.0111 FAX: 619.594.0179



PRELIMINARY

Lindo Paseo
 5541 Lindo Paseo
 San Diego, CA 92115

TOPOGRAPHIC SURVEY	DATE OF SURVEY: 07/2015
	DRAWN BY: GC
	CHECKED BY: MC
	ORIGINAL: 09/15/15
	REVISION 1
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
TOPOGRAPHIC SURVEY	
SCALE: 1" = 10'	
C.1	
SHEET 1 OF 3 SHEETS	



LEGEND

BMP/WPCP

DESCRIPTION	STD. DWG #	SYMBOL
PROPERTY LINE	N/A	1/4" x 1/4" x 1/4" x 1/4"
LIMITS OF CONSTRUCTION AREA	CC-2	--- ---
SILT FENCE	SE-1	--- ---
GRAVEL BAG BERM/BARRIER	SE-6	--- ---
MATERIALS DELIVERY AND STORAGE AREA	WM-1	WM-1
TEMPORARY TRASH/SOLID WASTE	WM-5	WM-5
HAZARDOUS AND CONCRETE WASTE MANAGEMENT	WM-6, WM-8	WM-6 WM-8
SANITARY WASTE (PORTABLE TOILET)	WM-9	WM-9
STREET SWEEPING	SE-7	(NO SYMBOL)
STABILIZED CONSTRUCTION ENTRANCE	TR-1	TR-1

* STANDARD DRAWINGS (SE-5, WM-5, ETC.) CAN BE FOUND AT THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CSQA) WEBSITE:
<http://www.csqa.org/resources/bmp-handbooks>

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	APR	PROPOSED
APN	ASSESSOR'S PARCEL NUMBER	PR	PROPOSED
BLOC	BUILDING	P.C.C.	PORTLAND CEMENT CONCRETE
C	CENTER LINE	PLR	PLASTER/PLASTER AREA
CB	CATCH BASIN	PMT	PAVEMENT
CMU	CONCRETE MASONRY UNIT	R.O.M.	RIGHT OF WAY
CONC	CONCRETE	RP	REDUCED PRESSURE
(CL) EX	EXISTING	S	SEWER
EL	ELEVATION	SF	SQUARE FOOT
FF	FINISH FLOOR	TC	TOP OF CURB
E-FL	FLOW LINE	TO	TOP OF GRADE (DRAWN)
GM	GAS METER	TW	TOP OF WALL
H	HEIGHT	TP	TYPICAL
HP	HIGH POINT	W	WATER
IE	INVERT ELEVATION	WM	WATER METER

COFFEY ENGINEERING, INC.
 1000 E. HIGHWAY 101, SUITE 200, SAN DIEGO, CA 92108
 TEL: 619.444.1111 FAX: 619.444.1112



PRELIMINARY

Lindo Paseo Apartments
 5541 Lindo Paseo
 San Diego, CA 92115

DRAWN BY:	GC
CHECKED BY:	AK
ORIGINAL:	10/21/15
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	

BMP PLAN

SCALE: 1" = 10'

C.3

Landscape Development Plan for: VILLA PASEO APARTMENTS

5541 Lindo Paseo
San Diego, California

CITY STANDARDS NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY ORDINANCE LANDSCAPE ARTICLES AND LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

LANDSCAPE REGULATION CONFORMANCE

LANDSCAPE IS PROPOSED IN CONFORMANCE WITH THE COLLEGE COMMUNITY DEVELOPMENT PROJECT, CORE SUB-AREA DESIGN MANUAL.

CITY INSPECTION

OBTAIN A FINAL INSPECTION OF THE COMPLETED LANDSCAPE PLANTING AND IRRIGATION INSTALLATION BY CITY LANDSCAPE INSPECTOR, SCHEDULE INSPECTOR AND LANDSCAPE ARCHITECT AT LEAST ONE WEEK IN ADVANCE OF INSPECTION. CITY FEES PROVIDED FOR ONLY ONE INSPECTION, ADDITIONAL INSPECTIONS WILL REQUIRE ADDITIONAL FEES.

EXISTING LANDSCAPE NOTE

NEW LANDSCAPE IS PROPOSED FOR ALL SITE AREAS NOT OTHERWISE DEVELOPED. NO EXISTING TREES OR OTHER VEGETATION WILL REMAIN.

CURB NOTE:

ALL LANDSCAPE AREAS ARE SEPARATED FROM VEHICULAR DRIVES AND PARKING BY 6 IN. CONCRETE CURBS-CONSTRUCTED PER SITE IMPROVEMENT PLANS ALL PARKING SPACES FACING LANDSCAPE AREAS 5 FT. OR LESS IN WIDTH SHALL HAVE FEED. STOPS PROVIDED AT LEAST TWO FEET FROM THE LANDSCAPE AREA.

MINIMUM TREE SEPARATION DISTANCE

PROVIDENT / MINIMUM DISTANCE TO STREET TREE:	30 FEET
TRAFFIC SIGNALS STOP SIGN:	30 FEET
LOOKAWAY UTILITY LINES:	5 FEET
LOOKAWAY SEWER LATERALS:	10 FEET
ADJAC. BOUND. UTILITY LINES:	10 FEET
DRIVEWAY ENTRANCES:	10 FEET
IRREGULAR INTERSECTIONS OR LINES OF TWO STREETS:	20 FEET

VERIFY MINIMUM SEPARATION DISTANCE IN FIELD PRIOR TO PLANTING. UPON IDENTIFICATION OF CONFLICT, CONTACT LANDSCAPE ARCHITECT AND ADJUST TREE LOCATION AS DIRECTED.

ROOT BARRIER

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING PARKS, CURBS OR STREET PAVEMENT OR IN THE NEW PUBLIC IMPROVEMENTS ARE PLACED WITHIN 10 FEET OF THE PROPERTY LINE ALONG THAT STREET FRONTAGE (SEE 142.040(1)).

DRAINAGE BEST MANAGEMENT PRACTICES

NO IRRIGATION RUN OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVEWAYS OR ALLEYS. NO COLLECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PERMITS. ALL ROOF DRAINAGE TO BE TO SURFACE DRAINAGE. REFER TO STORM WATER POLLUTION PREVENTION PLAN.

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN HEALTHY CONDITION. DISCARDED PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

DESIGN STATEMENT

LANDSCAPE FOR THIS MULTI-UNIT RESIDENTIAL UNIT FEATURES A DROUGHT TOLERANT PLANTING WITH STREET AND ALLEY ADJACENT LARGE CANOPY TREES. STORM WATER TREATMENT IS ACCOMMODATED WITH VEGETATED SWALES COORDINATED WITH THE PROJECT'S CIVIL ENGINEER.

THE USE OF DRIP IRRIGATION THROUGHOUT THE PROJECT IS ANTICIPATED. SEE THE IRRIGATION NOTES BELOW.

NOTES

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC. HEDGECOCK FOR PROPER IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

THE USE OF DRIP IRRIGATION THROUGHOUT THE PROJECT IS ANTICIPATED.

A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDG 142.040(3)(3).

TREES SHALL BE MAINTAINED WITH A CLEAR ZONE BETWEEN THE TOP OF PAVEMENT AND BOTTOM (LIRB) OF 6 FEET ABOVE THE SIDEWALK AND 6 FEET ABOVE THE DRIVE ABOVE THE STREET.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

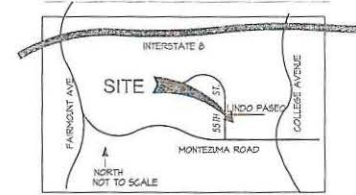
DRAWING INDEX

SHEET	60285
L-1	TITLE SHEET, NOTES
L-2	PLANTING PLAN, LEGEND

SITE ADDRESS

5541 LINDO PASEO
SAN DIEGO, CALIFORNIA, 92103

VICINITY MAP

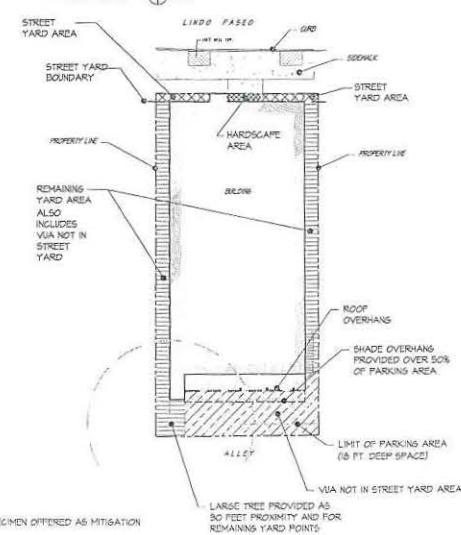


**CITY OF SAN DIEGO
AREA AND POINT CALCULATIONS**
MULTI-RESIDENTIAL DEVELOPMENT

STREET YARD		AREA		POINTS	
CONTROLLER #	DESCRIPTION	HYDRO ZONE	AREA (SQ. FT.)	REQUIRED POINTS	PROVIDED TREE POINTS
1	STREET TREES	DRIP	80	12.1	1305
2	STREET YARD	DRIP	231	17.4	334
3	SIDE AND REAR	DRIP	446	10.5	209

ESTIMATED TOTAL WATER USE		PERCENTAGE ALLOWANCE USED	
USE	ALLOWANCE (GALLONS PER DAY)	PERCENTAGE	ALLOWANCE
STREET TREES	1305	71.0	71.0
STREET YARD	334		
SIDE AND REAR	209		

YARD DIAGRAM (NTS)



WATER EFFICIENT LANDSCAPE WORKSHEET
HYDRO ZONE INFORMATION TABLE

CONTROLLER #	HYDROZONE #	DESCRIPTION	WATER USE (GPD)	IRRIGATION (GPD)	PLANT FACTOR (EMPAVED)	RETENTION (PI)	RETENTION (AVG)	# OF TOTAL LANDSCAPE AREAS	FF %	WAVE
1	1	STREET TREES	-	DRIP	0.5	80	12.1	1305	0.8	1731
2	2	STREET YARD	-	DRIP	0.5	231	17.4	334	0.8	607
3	3	SIDE AND REAR	-	DRIP	0.5	446	10.5	209	0.8	289

MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS

USE	57.0	ALLOWANCE	24.821
ET FACTOR	0.55		
LANDSCAPE AREA	277		
CONSERV. FACTOR	0.82		
SPECIAL LANDSCAPE AREA	0		
SPECIAL CONSERV. FACTOR	0.8 (NOT USED)		

CITY PROJECT CONDITIONS

- PRIOR TO ISSUANCE OF ANY ENGINEERING PERMITS FOR RIGHT-OF-WAY IMPROVEMENTS, THE OWNER/PERMITEE SHALL SUBMIT COMPLETE LANDSCAPE CONSTRUCTION REQUIREMENTS FOR RIGHT-OF-WAY IMPROVEMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. IMPROVEMENT PLANS SHALL SHOW LABEL, AND DIMENSION A 40 SQ-FT AREA AROUND EACH TREE WHICH IS UNDEVELOPED BY UTILITIES, DRINKING WATER, SEWERS, AND OTHER LATERALS SHALL BE DESIGNED SO AS NOT TO PREHIBIT THE PLACEMENT OF STREET TREES.
- PRIOR TO COMMENCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER/PERMITEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS CONFORMANT WITH THE LANDSCAPE STANDARDS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH ENVI 14, LANDSCAPE DEVELOPMENT PLAN ON FILE IN THE DEVELOPMENT SERVICES DEPARTMENT. CONSTRUCTION PLANS SHALL SHOW LABEL, AND DIMENSION A 40 SQ-FT AREA AROUND EACH TREE WHICH IS UNDEVELOPED BY HARDSCAPE AND UTILITIES AS SET FORTH UNDER LDC 142.040(3)(3).
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER/PERMITEE SHALL SUBMIT A WATER BUDGET IN ACCORDANCE WITH THE WATER CONSERVATION REQUIREMENTS PER SDG 142.041, TABLE 142-041, TO BE INCLUDED WITH THE CONSTRUCTION DOCUMENTS. THE BUDGET SHALL BE SUBMITTED CONFORMANT WITH SECTION 17 OF THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL. AT FINAL INSPECTION, THE IRRIGATION ADJUST SHALL VERIFY THAT ALL IRRIGATION SYSTEMS HAVE BEEN INSTALLED AND OPERATE AS APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.
- THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONFORMANT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTING, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITEE SHALL REPAIR AND/OR REPLACE IT IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

AHLES
LANDSCAPE
ARCHITECTURE INC.
P.O. Box 1503
Rancho Santa Fe, California
92083
858.756.8963

CAD 5338
PROJECT NO: 1551

Issue Dates	DATE
INITIAL	20 OCT 15
CYCLE 2	8 APR 16
CYCLE B	3 JUN 16
CYCLE 10	24 JUL 16

Revisions

LANDSCAPE DEVELOPMENT PLAN

L-1

Sheet 1 of 1

ANILES
LANDSCAPE
ARCHITECTURE INC.
P.O. Box 1503
150 Santa Fe, California
92067
858.756.8963

CAD 238
PROJECT NO. 1551

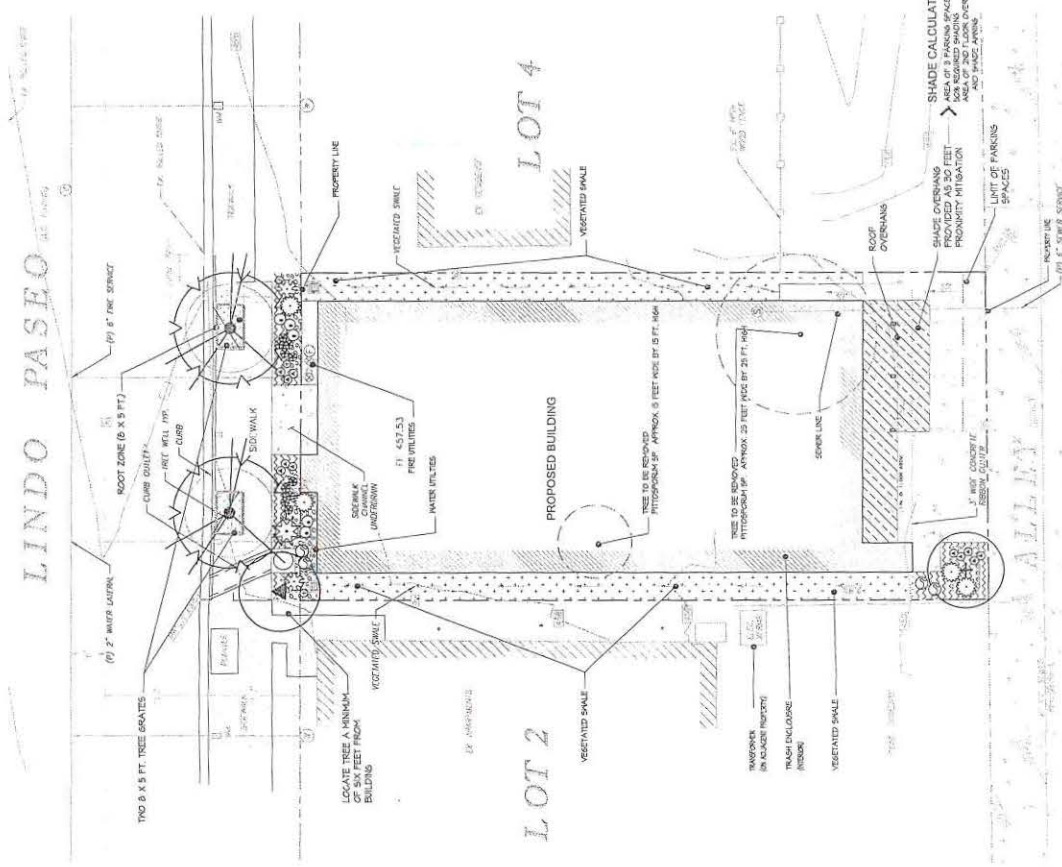
VILLA PASO APARTMENTS
6541 LINDO PASO
SAN DIEGO, CALIFORNIA 92122

REVISIONS
DATE
BY
DESCRIPTION
30 OCT 15
5 APR 16
3 JUN 16
21 JUN 16

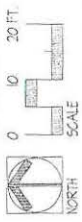
LANDSCAPE
DEVELOPMENT
PLAN

L-2

Sheet 2 of 1



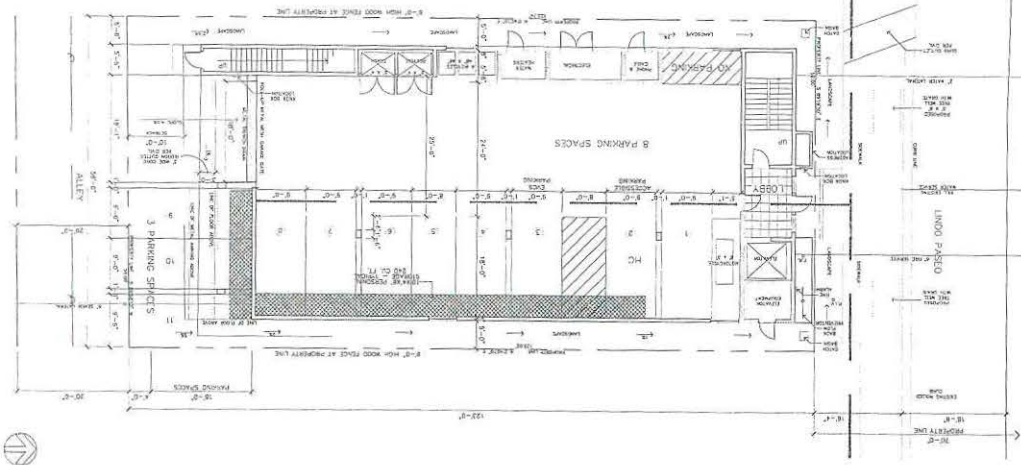
LANDSCAPE DEVELOPMENT PLAN



PLANT LEGEND

PLANT NAME	PLANT TYPE	PLANT QUANTITY	PLANT PACKAGE AS SHOWN
CHINESE FLAME TREE	TREE	2	100% 8'4" HIGH BRANCHED
KOELBUTERIA DIPINATA	SHRUB	1	100% 2'4" BOX
TABELIA CHRISOTRICHIA	SHRUB	1	100% 4'0" BOX STANDARD FORM
POGGONIA BICOLOR	SHRUB	1	100% 4'0" BOX STANDARD FORM
SPRENG MANDRAEGEA	SHRUB	1	100% 4'0" BOX STANDARD FORM
2-4 IN. CORNICE	FINISH		
CALIFORNIA FELD SEDGE	PLANT	1	1 GALLON
AGAVE ATTENUATA	AGAVE	1	100% 5 GALLON
AGAVE BERNINIANA	AGAVE	4	100% 5 GALLON
AGAVE BURNING	AGAVE	1	1 GALLON
AGAVE BLUE GLOW	AGAVE	2	
AGAVE VERDE	AGAVE	1	
AGAVE MONTEZUMA	AGAVE	1	
AGAVE STRIPED	AGAVE	4	
AGAVE STRIPED	AGAVE	10	

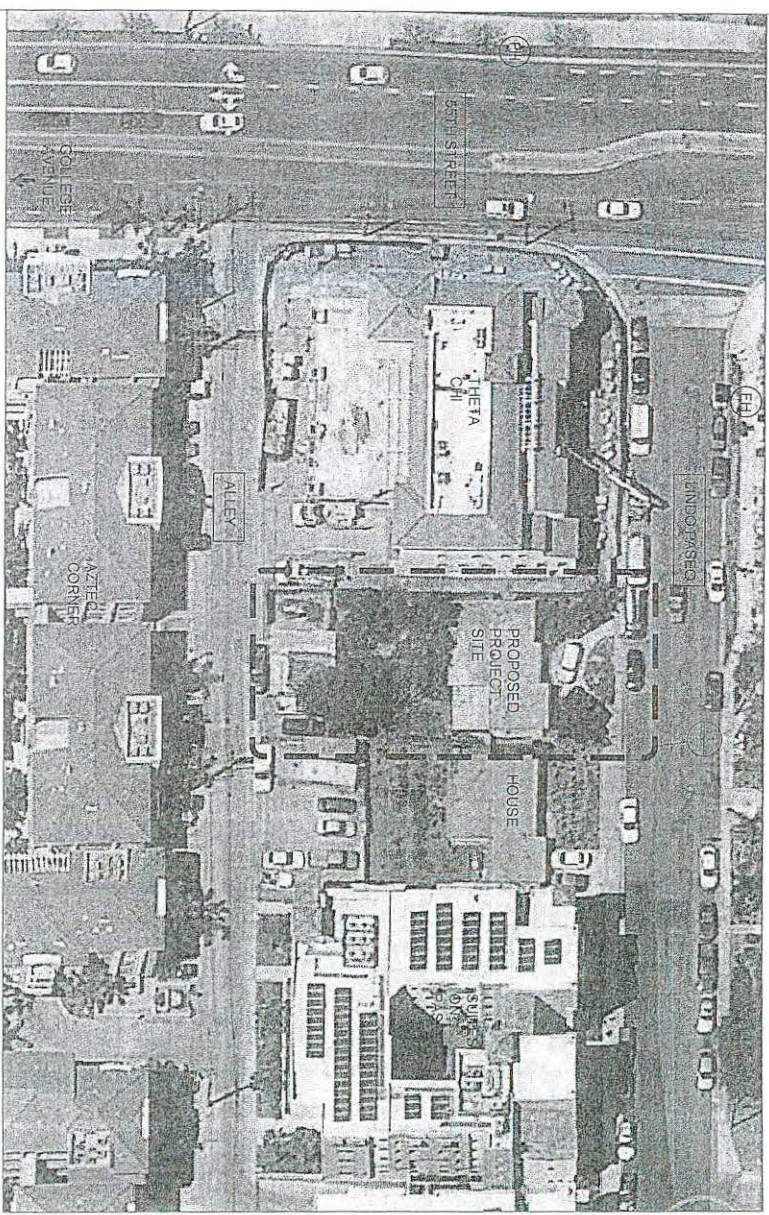
LINDO PASEO



1 PROPOSED SITE PLAN

SCALE

2 VICINITY PLAN



LEGEND
 FH
 FIRE HYDRANT

VILLA PASEO APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA



WILLIAM HEDENKAMP ARCHITECT
 4455 MORENA BOULEVARD, SUITE 114 SAN DIEGO, CALIFORNIA 92117
 PHONE (858) 483-4483 FAX (858) 483-4583 Email bill@hedenkamp-architecture.com



DATE	DESCRIPTION

AP



KEY NOTES:

- 1 SWAGH TEE ROOFING
- 2 OUTDOOR LAMBS
- 3 TROM MESH/ALUMI
- 4 WOODHUT SIGN BALKON
- 5 RECREATIVE W/TVL AMING
- 6 2 X 2 FISH HOOKS AT WINDOW
- 7 EXTENDED STUCCO
- 8 STUDIO CONTROL JOINT
- 9 2 X 2 FISH PLANT-ON
- 10 W/TVL WINDOW / DOUBLE GLAZED - TYPICAL
- 11 CONCRETE W/ALUMI BLOK
- 12 20' X 12' GARAGE SECURITY DOOR
- 13 20' X 12' GARAGE SECURITY DOOR
- 14 20' X 12' GARAGE SECURITY DOOR

EAST ELEVATION

WEST ELEVATION

SCALE: 3/8" = 1'-0"

SCALE: 3/8" = 1'-0"

ALLEY

ALLEY

LINDO PASEO

LINDO PASEO

DATE	2014.13
BY	A7

VILLA PASEO APARTMENTS
CITY OF SAN DIEGO, CALIFORNIA



WILLIAM HEDENKAMP ARCHITECT
4455 MORENA BOULEVARD, SUITE 114 SAN DIEGO, CALIFORNIA 92117
PHONE (858) 483-4483 FAX (858) 483-4583 Email bill@hedenkamp-architecture.com



NO.	DATE	REVISION

Daly, Tim

From: Jose Santos Reynoso [jsreynoso@cox.net]
Sent: Monday, May 09, 2016 12:01 PM
To: Daly, Tim; info@collegearea.org
Cc: michael marquardt
Subject: RE: Proj No. 452271, Villa Paseo Apartments - results of College Area CPG recommendation on April 13, 2016

Follow Up Flag: Follow up
Flag Status: Completed

Tim and Mike, I apologize but we did not get the final wording for our draft minutes until this past Saturday (5/7) during discussion at our board retreat. I have copied and pasted the header for the minutes and text of the motion as approved by the board.

Jose Reynoso

College Area Community Council (CACC)
College Area Community Planning Board (CACPB)
Mailing Address: P.O. Box 15723 Website: www.collegearea.org
San Diego, CA 92175-5723 E-mail: info@collegearea.org
From the Regular Meeting held on: Wednesday, April 13, 2016, 7:00PM
Held in: Community Room, College Rolando Library
6600 Montezuma Rd., San Diego, CA 92115

DRAFT MINUTES
APRIL 13, 2016

***Review of amended proposal to build a four-story, multi-unit apartment building with street-level parking at 5541 Linda Paseo. (Action Item)**
Motion by Kuhlman and seconded by Reynoso to follow the recommendations of the Project Review Committee and recommend approval to build 8 units instead of 5, and 4 stories instead of 3 since the amendment comes at the behest of the City Planning Department.
M/S/C: yeas 18 nays 0 abstain 1 (Mike D'ambrosia - parking issue not definitively resolved)



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title Villa Paseo Apartments **Project No. For City Use Only** 452271
Project Address: 5541 Lindo Paseo San Diego, Ca 92115

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): Dale R. Marquardt, Trustee, Marquardt Family Trust 05/19/92
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: Post Office Box 1343
 City/State/Zip: Rancho Santa Fe, California 92067
 Phone No: (858) 756-1287 Fax No: (858) 746-0341
 Signature: Dale Marquardt Date: 11/23/15

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date: