



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: November 10, 2016 REPORT NO. PC-16-090
HEARING DATE: November 17, 2016
SUBJECT: BRIGHTON AVENUE RESIDENCE. Process Four
PROJECT NUMBER: [438785](#)
OWNER/APPLICANT: Socal Constructors, LLC/ Elizabeth Carmichael

SUMMARY:

Issue: Should the Planning Commission approve a Coastal Development Permit and a Site Development Permit to demolish two single family dwelling units and a detached garage and construct two single family dwelling units with garages at 5109 – 5111 Brighton Avenue in the Ocean Beach Community Plan and Local Coastal Program area?

Staff Recommendation:

1. Approve Coastal Development Permit No. 1801741; and
2. Approve Site Development Permit No. 1801742.

Community Planning Group Recommendation: On September 7, 2016 the Ocean Beach Community Planning Group voted 7-3-0 to recommend approval of the project with no conditions.

Environmental Review: This project is not pending an appeal of the environmental determination. This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). The environmental exemption determination for this project was made on September 28, 2016, and the opportunity to appeal that determination ended October 12, 2016.

Housing Impact Statement: The Ocean Beach Community Plan and local Coastal Program Area designates the site for Medium Density Residential with a maximum of 25 dwelling units per acre (du/ac). The project site, occupying 0.12 acres, can accommodate two dwelling units based on the underlying zone and up to two dwelling units based on the Ocean Beach Community Plan. This project is subject to the requirements of the City's Inclusionary Affordable Housing Regulations (Chapter 14, Article 2, Division 13 of the San Diego Municipal

Code), and the payment of Affordable Housing fees are due at the time of building permit issuance. The project will provide two new single family dwelling units in replacement of two existing single family dwelling units to be demolished as part of this proposal.

BACKGROUND

The 0.12-acre site is located at 5109 – 5111 Brighton Avenue within the RM-2-4 zone. The site is governed by the regulations included in the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable), the First Public Roadway Overlay Zone, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Ocean Beach Historic Emerging Cottage District, Airport Land Use Compatibility Plan Noise Contours 60-65 CNEL, the Airport Approach Overlay Zone, the Airport Influence Area - Review Area 1, and the Federal Aviation Administration (FAA) Part 77 Notification Area.

Currently existing on the site are two single family dwelling units and a detached garage. The existing structures were constructed in 1923. A review of the existing homes/site was conducted by City staff to determine if potential significant historic resources exist on the site in accordance with San Diego Municipal Code (SDMC) Section 143.0212. Based on the documentation provided, staff determined that the property does not meet local designation criteria as an individually significant historic resource under any of the adopted Historic Resource Board Criteria.

The project site is completely contained within private property and does not contain nor is it adjacent to sensitive coastal bluffs. The nearest public access to the Pacific Ocean is located at the end of Brighton Avenue approximately 750 feet to the west. Brighton Avenue provides a framed view corridor to the ocean looking west along the street. The project site is surrounded on all sides by one and two-story structures of varying architectural styles on 25 foot lots.

DISCUSSION

Project Description:

The project proposes the demolition of two existing detached single family dwelling units with one detached garage and the construction of two 1,834-square-foot, two-story single family dwelling units over two 456-square-foot partially subterranean garages on two legal lots with above grade decks. Each new home will include three bedrooms, two and a half bathrooms, living room, and kitchen. The project proposes a maximum building height of 26-feet 3-inches where 30 feet is the maximum height limit allowed under the Coastal Height Overlay Zone and 40 feet allowed in the RM-2-4 zone.

The homes will utilize renewable energy technology, self-generating at least 50-percent of the projected total energy consumption on site through photovoltaic technology (also known as solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. The photovoltaic system will be located on the roof. Other sustainable components include native drought tolerant landscaping with efficient irrigation technology, recycled demolition material from existing building, and natural lighting. With the use of renewable energy technology in the project, it qualifies as a Sustainable building, thus the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Approvals needed for the project include a Coastal Development Permit, for coastal development pursuant to San Diego Municipal Code (SDMC) section 126.0707; and a Site Development Permit (SDMC 143.0920) for a deviation to the garage entry setback requirement.

Community Plan Analysis:

The Ocean Beach Community Plan designates this site for residential land use with a maximum density of 25 dwelling units/acre (du/ac). The project proposes two dwelling units on a 5,248-square-foot site for a density of approximately 16.6 du/ac and therefore conforms to the prescribed land use and density. The project site is surrounded by one and two-story residential dwelling units of varying architectural styles. Existing development patterns on the street range from larger apartment buildings to single-dwelling and multi-dwelling units on narrow lots. The Community Plan recommends that new residential construction should be at a scale that is compatible with the small lot development pattern. The architecture and building form reflects the diverse styles in the area. The project proposes units of two styles, a Spanish style unit, and a Cape Cod style unit. The articulation in the façade and multiple pitched roofs help reduce perceived bulk and scale. The project is therefore consistent with the policies in the Residential Element of the Community Plan. The Community Plan states that views available from elevated areas and those adjacent to the beaches and the ocean should be preserved and enhanced wherever possible. Brighton Avenue provides a framed view to the ocean looking west along the street. The project observes the minimum required front setback thereby preserving the coastal view.

Recommendations from the Community Plan for new development include maintaining low-medium density residential neighborhoods in Ocean Beach which provides for both single and multifamily housing within a medium-density range; ensuring that new residential development is constructed within the density ranges identified in this Plan; meet adopted parking standards; and that new development is environmentally friendly.

Project-Related Issues:

The proposed project includes a deviation to the garage entry setback requirement. SDMC section 132.0464(e)(2) requires garages, carports, and other parking entries in the building facade to be set back at least five feet from the facade wall enclosing habitable space. The project is deviating from the required five-foot setback by providing the garage entry at the same setback as the habitable space.

The Ocean Beach Community Plan recommends placing the parking in the rear of the property and that the street frontage is not dominated by garages, providing an opportunity to engage the street with visually interesting fenestration, offsets, and porches or balconies. This project has no alley access, thus is proposing the garage entry from the street, at the same setback as the habitable space. The garage entries would be located partially below street level and flanked with landscape, reducing their visibility from the adjacent public right-of-way. The deviation is necessary as each home will be constructed on a 25-foot wide lot, allowing the minimum distance for required enclosed parking directly below the habitable space. Protruding the habitable space five feet in front of the garage entry would inhibit the below grade parking by reducing the entry clearance.

Staff analyzed the deviation to determine consistency with the goals and recommendations of the General Plan, Ocean Beach Community Plan, and the purpose and intent of the RM-2-4 zone. The proposed deviation will not adversely affect the aforementioned Plans, and is appropriate for the site. The deviation is allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section [143.0915](#).

The design contains multiple offsets with decks pushing the residential outdoor space to the front promoting interaction with the street view consistent with the Community Plan and meeting the purpose and intent of the Land Development Code.

The project is providing redevelopment with a sustainable features by providing a photovoltaic system which will utilize renewable energy technology, self generating at least 50 percent of the projected total energy consumption meeting the Affordable/In-Fill Housing and Sustainable Building Expedite Program. A garage entry deviation has been incorporated into the project plan to achieve a quality design by providing exterior wall treatment, design, color, and the general building form and organization of architectural elements that are consistent with those in the surrounding area.

Conclusion:

The project complies with the development regulations of the RM-2-4 zone and all other applicable sections of the SDMC and that the required findings can be made. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1801471 and Site Development Permit No. 1801742 with modifications or;
2. Deny Coastal Development Permit No. 1801471 and Site Development Permit No. 1801742, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



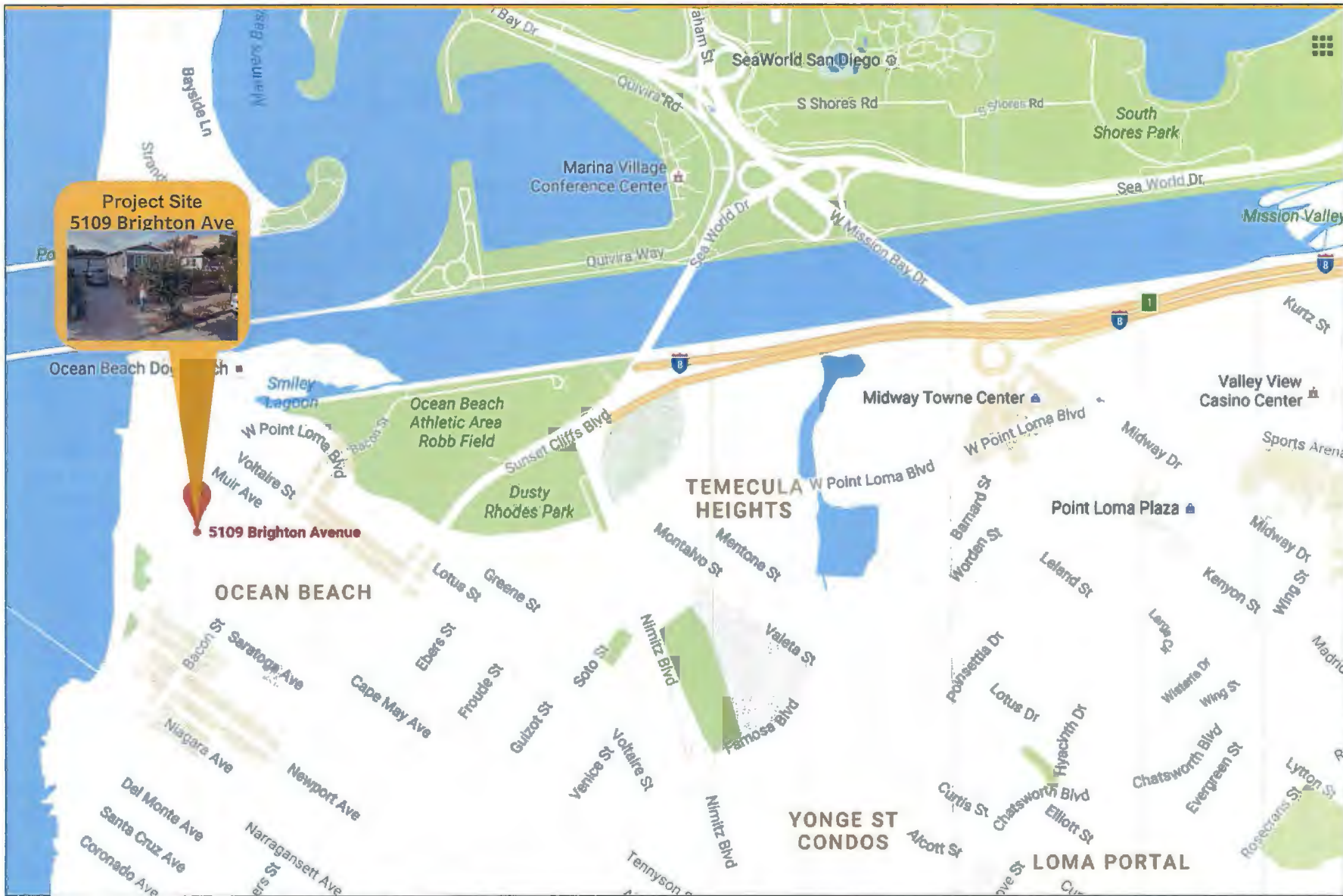
Elyse W. Lowe
Deputy Director
Development Services Department



William Zounes
Development Project Manager
Development Services Department

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Draft Permit Resolution with Findings
7. Draft Permit with Conditions
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Environmental Exemption
11. Project Plans

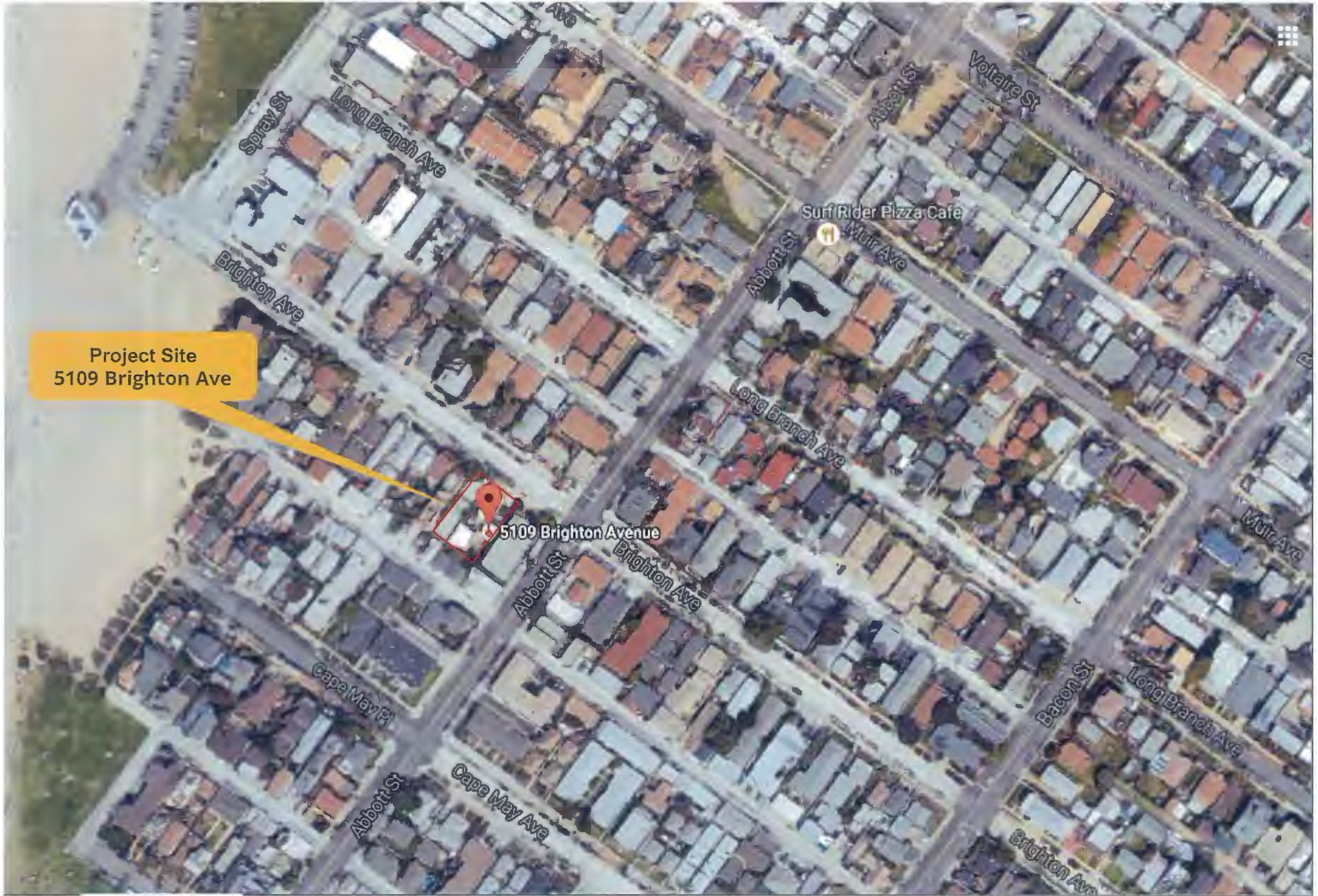


Attachment 1
Project Location Map



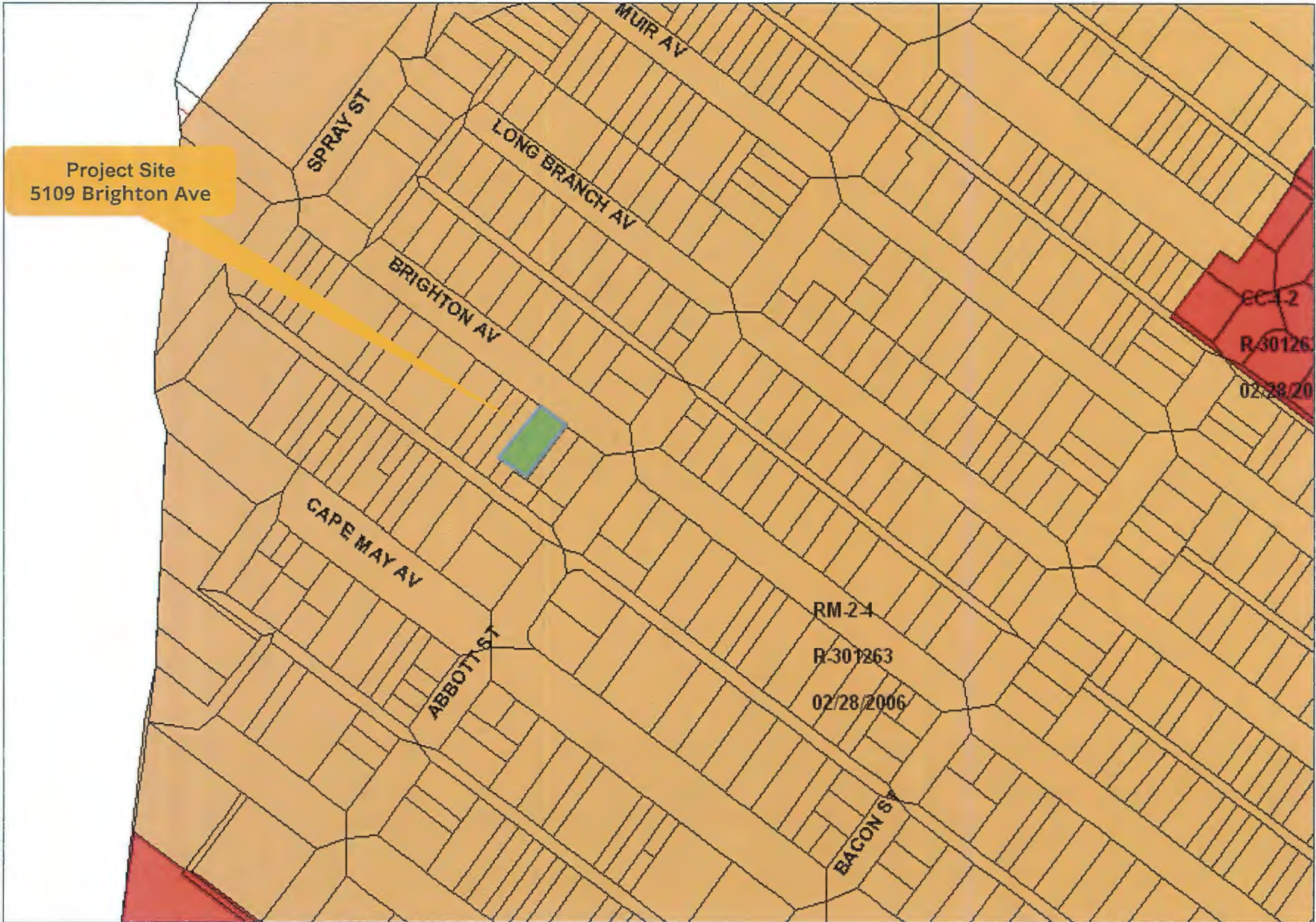
Project Location Map
Brighton Avenue Residence Project No. 438785
 5109 Brighton Avenue





Aerial Photograph (Birds Eye)
Brighton Avenue Residence Project No. 438785
5109 Brighton Avenue





Project Site
5109 Brighton Ave

CC-2
R-301263
02/28/20

RM-24
R-301263
02/28/2006



Project Zoning Map
Brighton Avenue Residence Project No. 438785
5109 Brighton Avenue



Attachment 3
Zoning Map

Attachment 4 Community Plan Land Use Map



Ocean Beach Community Plan
Brighton Avenue Residence Project No. 438785
5109 Brighton Avenue



PROJECT DATA SHEET

PROJECT NAME:	Brighton Avenue Residence	
PROJECT DESCRIPTION:	The demolition of an two existing single family homes and the development of two new, three story single family homes.	
COMMUNITY PLAN AREA:	Ocean Beach	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Medium Density Residential	
<u>ZONING INFORMATION:</u>		
<p>ZONE: RM-2-4</p> <p>HEIGHT LIMIT: 40 feet (Coastal Overlay Zone Height Limit, 30 feet)</p> <p>LOT SIZE: 0.12-acres.</p> <p>FLOOR AREA RATIO: 0.70</p> <p>FRONT SETBACK: 15/20 feet</p> <p>SIDE SETBACK: 5 feet</p> <p>STREETSIDE SETBACK: 10 feet</p> <p>REAR SETBACK: 15 feet</p> <p>PARKING: 2 parking spaces per unit</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, RM-2-4	Multi-Family Housing
SOUTH:	Residential, RM-2-4	Multi-Family Housing
EAST:	Residential, RM-2-4	Multi-Family Housing
WEST:	Residential, RM-2-4	Multi-Family Housing
DEVIATIONS OR VARIANCES REQUESTED:	Yes, reducing the garage entry setback by five feet.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 7, 2016 the Ocean Beach Community Planning Group voted 7-3-0 to recommend approval of the project with no conditions..	

Attachment 6
Draft Permit Resolution with Findings

PLANNING COMMISSION
RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 1801741
SITE DEVELOPMENT PERMIT NO. 1801742
BRIGHTON AVENUE RESIDENCE - PROJECT NO. 438785

WHEREAS, SOCAL CONSTRUCTORS, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish two existing dwelling units and an accessory garage structure and construct two two-story single family dwelling units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1801741 and 1801742), on portions of a 0.12-acre site;

WHEREAS, the project site is located at 5109- 5111 Brighton Avenue in the RM-2-4 zone of the Ocean Beach Community Plan and Local Coastal Program area;

WHEREAS, the project site is legally described as the northeasterly 105 feet of lots 27 and 28 in Block 77, Ocean Beach, according to Map thereof No. 279 filed in the Office of the County Recorder of San Diego County, May 28, 1887;

WHEREAS, on November 17, 2016, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 1801741 and Site Development Permit No. 1801742 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated November 17, 2016.

FINDINGS:

I. Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan.

The Ocean Beach Community Plan designates this site for residential land use with a maximum density of 25 dwelling units/acre (du/ac). The project proposes two single family dwelling units on a 5,248-square-foot site for a density of

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Draft Permit Resolution with Findings

approximately 16.6 du/ac and therefore conforms to the prescribed land use and density. The project site is surrounded by one and two-story residential unit structures of varying architectural styles. Existing development patterns on the street range from larger apartment buildings to single-family dwelling and multi-family dwelling buildings on narrow lots. The Community Plan recommends that new residential construction should be at a scale that is compatible with the small lot development pattern. The architecture and building form reflects the diverse styles in the area. The project proposes units of two styles, a Spanish style unit, and a Cape Cod style unit. The articulation in the façade and multiple pitched roofs help reduce perceived bulk and scale. The project is therefore consistent with the policies in the Residential Element of the Community Plan. The Community Plan states that views available from elevated areas and those adjacent to the beaches and the ocean should be preserved and enhanced wherever possible. Brighton Avenue provides a framed view to the ocean looking west along the street. The project observes the minimum required front setback thereby preserving the coastal view.

Recommendations from the Community Plan for new development include maintaining low-medium density residential neighborhoods in Ocean Beach which provides for both single and multi-family housing within a medium-density range; ensuring that new residential development is constructed within the density ranges identified in this Plan; meet the adopted parking standards; and that new development is environmentally friendly. The project meets the recommendations of the Community Plan by observing the density designated for the site, meets the parking standards required for each home, and is environmentally friendly by incorporating a photovoltaic system which will utilize renewable energy technology, self generating at least 50 percent of the projected total energy consumption. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to public health, safety, and welfare. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. Prior to the issuance of any construction permit for the proposed development, the plans shall be reviewed to ensure compliance with all building, electrical, mechanical, plumbing, fire code, public improvements and grading requirements. The proposed project conforms to the development regulations. Therefore the proposed project will not be detrimental to the public health, safety, and welfare.

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Draft Permit Resolution with Findings

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The permit prepared for this project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with the regulations of the Land Development Code and California Building Codes for grading and construction. The project was reviewed in accordance with the RM-2-4 zone and San Diego Municipal Code Section 143.0920, Deviation Requirements for Affordable/In-Fill and Sustainable Buildings. Conditions required for the project include but are not limited to storm water and general runoff requirements, landscaping, public improvements, private drainage system, and parking. The project proposes a maximum building height of 26-feet 3-inches where 30 feet is the maximum height limit allowed under the Coastal Height Overlay Zone and 40 feet allowed in the RM-2-4 zone. The proposed project includes a deviation related to parking entry setback requirements, which are allowed provided that the decision maker determines that the project meets the findings for the Development Permits.

The Ocean Beach Community Plan recommends placing the parking in the rear of the property and that the street frontage is not dominated by garages, providing an opportunity to engage the street with visually interesting fenestration, offsets, and porches or balconies. This project has no alley access, thus is proposing the garage entry from the street, at the same setback as the habitable space. The garage entries would be located partially below street level and flanked with landscape, reducing their visibility from the adjacent public right-of-way. The deviation is necessary as each home will be constructed on a 25-foot wide lot, allowing the minimum distance for required enclosed parking directly below the habitable space. Protruding the habitable space five feet in front of the garage entry would inhibit the below grade parking by reducing the entry clearance. Staff analyzed the deviation to determine consistency with the goals and recommendations of the General Plan, Ocean Beach Community Plan, and the purpose and intent of the RM-2-4 zone. The proposed deviation will not adversely affect the aforementioned Plans, and is appropriate for the site. The deviation is allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section 143.0915.

The design contains multiple offsets with decks pushing the residential outdoor space to the front promoting interaction with the street view consistent with the Community Plan and meeting the purpose and intent of the Land Development Code.

The project is providing redevelopment with a sustainable features by providing a photovoltaic system which will utilize renewable energy technology, self generating at least 50 percent of the projected total energy consumption. A garage entry deviation has been incorporated into the project plan to achieve a quality design by providing exterior wall treatment, design, color, and the general building form

and organization of architectural elements that are consistent with those in the surrounding area. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

M. Supplemental Findings - Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings:

- 1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, selfgeneration and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.**

The proposed project will be providing a photovoltaic system which will generate at least 50-percent of the project's total energy used by each homes. Additionally the project will maximize recycled demolition material from existing building, provide a native drought tolerant landscape, and maximize natural lighting. Therefore, the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, selfgeneration and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

- 2. The development will not be inconsistent with the purpose of the underlying zone.**

The project is located within the RM-2-4 zone. The purpose of the RM zones is to provide for multiple dwelling unit development at varying densities. The RM zones individually accommodate developments with similar densities and characteristics. It is also intended that the residential zones reflect desired development patterns in existing neighborhoods while accommodating the need for future growth. The project proposes a Spanish style dwelling unit and a Cape Cod style unit with narrow widths that reflect the smaller scale development pattern in the neighborhood. The design contains multiple offsets and decks consistent with the Community Plan and meets the purpose and intent of the RM-2-4 zone.

- 3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The permit prepared for this project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with the regulations of the Land Development Code and California Building Codes for grading and construction. The project was reviewed in accordance with the RM-2-4 zone and San Diego Municipal Code Section 143.0920, Deviation Requirements for

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Draft Permit Resolution with Findings

Affordable/In-Fill and Sustainable Buildings. Conditions required for the project include but are not limited to storm water and general runoff requirements, landscaping, public improvements, private drainage system, and parking. The project proposes a maximum building height of 26-feet 3-inches where 30 feet is the maximum height limit allowed under the Coastal Height Overlay Zone and 40 feet allowed in the RM-2-4 zone. The proposed project includes a deviation related to parking entry setback requirements, which are allowed provided that the decision maker determines that the project meets the findings for the Development Permits.

The Ocean Beach Community Plan recommends placing the parking in the rear of the property and that the street frontage is not dominated by garages, providing an opportunity to engage the street with visually interesting fenestration, offsets, and porches or balconies. This project has no alley access, thus is proposing the garage entry from the street, at the same setback as the habitable space. The garage entries would be located partially below street level and flanked with landscape, reducing their visibility from the adjacent public right-of-way. The deviation is necessary as each home will be constructed on a 25-foot wide lot, allowing the minimum distance for required enclosed parking directly below the habitable space. Protruding the habitable space five feet in front of the garage entry would inhibit the below grade parking by reducing the entry clearance. Staff analyzed the deviation to determine consistency with the goals and recommendations of the General Plan, Ocean Beach Community Plan, and the purpose and intent of the RM-2-4 zone. The proposed deviation will not adversely affect the aforementioned Plans, and is appropriate for the site. The deviation is allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section 143.0915.

The design contains multiple offsets with decks pushing the residential outdoor space to the front promoting interaction with the street view consistent with the Community Plan and meeting the purpose and intent of the Land Development Code.

The project is providing redevelopment with a sustainable features by providing a photovoltaic system which will utilize renewable energy technology, self generating at least 50 percent of the projected total energy consumption. A garage entry deviation has been incorporated into the project plan to achieve a quality design by providing exterior wall treatment, design, color, and the general building form and organization of architectural elements that are consistent with those in the surrounding area. Therefore, the proposed deviation is appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

II. Coastal Development Permit - Section 126.0708

**Attachment 6
Draft Permit Resolution with Findings**

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.12-acre site is located at 5109-5111 Brighton Avenue in the RM-2-4 zone of the Ocean Beach Community Plan area within the Coastal Overlay Zone (appealable area), and the Coastal Height Limit Overlay Zone.

The property is not identified in the City's adopted Local Coastal Program (LCP) Land Use Plan as a public accessway. There is no physical accessway used by the public on or adjacent to this property or any proposed public accessway as identified in the LCP Land Use Plan. The project is completely contained within private property and does not contain or is adjacent to sensitive coastal bluffs. The nearest public access to the Pacific Ocean is located at the end of Brighton Avenue approximately 750 feet to the west. Brighton Avenue provides a framed view corridor to the ocean looking west along the street. The project observes the minimum required front setback thereby preserving the coastal view. Therefore, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The subject site does not contain nor is it adjacent to any environmentally sensitive lands. Therefore the proposed coastal development will not adversely affect environmentally sensitive lands.

- 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The Ocean Beach Community Plan designates this site for residential land use with a maximum density of 25 dwelling units/acre (du/ac). The project proposes two single family dwelling units on a 5,248-square-foot site for a density of approximately 16.6 du/ac and therefore conforms to the prescribed land use and density. The project site is surrounded by one and two-story residential unit structures of varying architectural styles. Existing development patterns on the street range from larger apartment buildings to single-family dwelling and multi-family dwelling buildings on narrow lots. The Community Plan recommends that new residential construction should be at a scale that is compatible with the small

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lot development pattern. The architecture and building form reflects the diverse styles in the area. The project proposes units of two styles, a Spanish style unit, and a Cape Cod style unit. The articulation in the façade and multiple pitched roofs help reduce perceived bulk and scale. The project is therefore consistent with the policies in the Residential Element of the Community Plan. The Community Plan states that views available from elevated areas and those adjacent to the beaches and the ocean should be preserved and enhanced wherever possible. Brighton Avenue provides a framed view to the ocean looking west along the street. The project observes the minimum required front setback thereby preserving the coastal view.

Recommendations from the Community Plan for new development include maintaining low-medium density residential neighborhoods in Ocean Beach which provides for both single and multi-family housing within a medium-density range; ensuring that new residential development is constructed within the density ranges identified in this Plan; meet the adopted parking standards; and that new development is environmentally friendly. The project meets the recommendations of the Community Plan by observing the density designated for the site, meets the parking standards required for each home, and is environmentally friendly by incorporating a photovoltaic system which will utilize renewable energy technology, self generating at least 50 percent of the projected total energy consumption.

The property is not identified in the City's adopted Local Coastal Program Land Use Plan as a public access way. The proposed development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in the Ocean Beach Local Coastal Program Land Use Plan and is not located within an identified view corridor.

The project proposes a maximum building height of 26-feet 3-inches where 30 feet is the maximum height limit allowed under the Coastal Height Overlay Zone and 40 feet allowed in the zone. The proposed project was reviewed for compliance with the RM-2-4 zone land development requirements which include but are not limited to setbacks, density, landscape, parking, and floor area ratio. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located between the nearest public road and the shoreline of a body of water. The site does not contain a physical public accessway and is not within or adjacent to an public recreation area. The project does not propose to

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encroach into any public access way to the ocean and all improvements and additions will be contained on site. The project is a private development on privately owned land. The project would conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act which says projects will not impede an any water oriented activity, interfere with coastal dependent aquaculture uses, interfere with coastal access, and not interfere with Coastal areas suited for water-oriented recreational activities that cannot readily be provided at inland water areas. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1801742 and Coastal Development Permit No. 1801741 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1801742 and 1801742 a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: November 17, 2016

IO#: 24006111

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006111 SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1801741
SITE DEVELOPMENT PERMIT NO. 1801742
BRIGHTON AVENUE RESIDENCE - PROJECT NO. 438785
PLANNING COMMISSION

This Coastal Development Permit No. 1801741 and Site Development Permit No. 1801742 is granted by the Planning Commission of the City of San Diego to SOCAL CONSTRUCTORS, LLC, a California Limited Liability Company, Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0708 and 143.0920. The 0.12-acre site is located at 5109- 5111 Brighton Avenue in the RM-2-4 zone within the Ocean Beach Community Plan and Local Coastal Program area. The project site is legally described as: the northeasterly 105 feet of lots 27 and 28 in Block 77, Ocean Beach, according to Map thereof No. 279 filed in the Office of the County Recorder of San Diego County, May 28, 1887;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish two existing dwelling units and an accessory garage and construct two, two-story single family homes described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 17, 2016 on file in the Development Services Department.

The project shall include:

- a. Demolition of two existing dwelling units and detached garage;
- b. Construction of two 1,834 square-foot two-story single family homes each containing a 456 square-foot garage and 529 square-foot deck;
- c. Deviation from SDMC section 131.0464(e)(2), Parking Area/Habitable Space Offset;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking;

- f. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program and;
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
- 2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
- 3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

Attachment 7
Draft Permit with Conditions

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

13. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development is private and subject to approval by the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of two 12-foot wide City Standard concrete driveways, one for each lot, adjacent to the site on Brighton Avenue.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC into the construction plans or specifications.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP) prepared in accordance with Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A" dated November 17, 2016, on file in the Office of the Development Services Department.

19. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

20. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.

21. The Owner/Permittee of each parcel shall maintain one street tree on the private property within ten feet of the property line adjacent to the right of way, in conformance with the approved plans of Exhibit "A." An additional street tree shall be maintained in the parkway of 5109 Brighton Avenue.

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other entity approved by the Development Services Department.

23. All required landscape shall be maintained in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

24. If any required landscape (including existing or new plantings, hardscape, and landscape features) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace them in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

25. The Owner/Permittee shall maintain a minimum of four off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

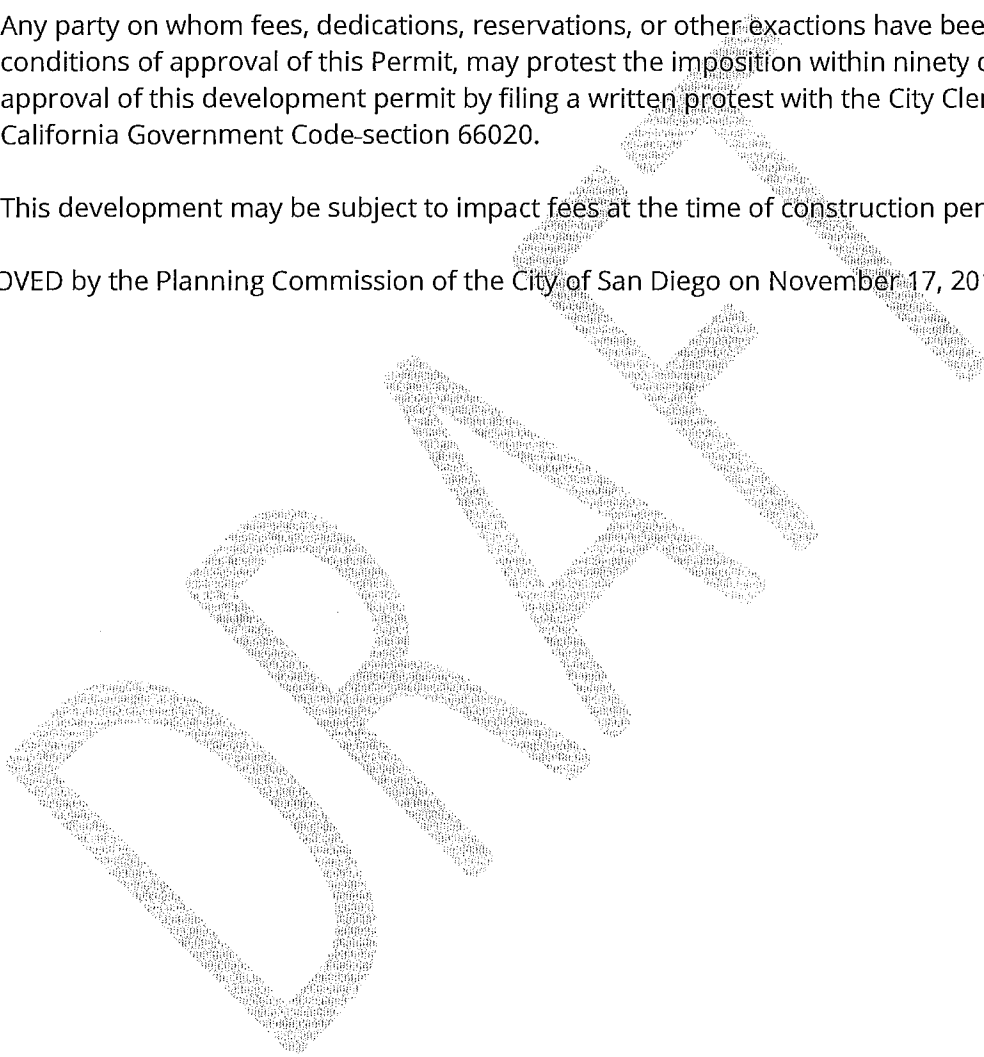
27. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on November 17, 2016.



**Attachment 7
Draft Permit with Conditions**

CDP No. 1801741/SDP No. 1801742
Date of Approval: November 17, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

SOCAL CONSTRUCTORS,
LLC, A California Limited Liability Company
Owner/Permittee

By _____
Chris Fermanian
Managing Member of LLC

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

OCEAN BEACH PLANNING BOARD General Meeting Minutes: September 7, 2016

MEETING CALLED TO ORDER

6:08PM

MEMBERS PRESENT (MARKED WITH "X") X 1 Marissa Spata X 1 Vivian McCardle	3 Blake Herrschaft (Vice Chair) X 4 Craig Klein (Treasurer) X 4 Andrew Waltz X 5 Jane Gawronski 5 [VACANT]	X 6 John Ambert (Chair) X 6 Tom Gawronski 7 [VACANT] X 7 Dan Dennison <i>Numbers indicate district</i>
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ACTION ITEM #2 PTS #438786 5109-5111 BRIGHTON AVENUE

- Project was presented to OB Planning Board on August 3, 2016 as INFORMATION ITEM #2, project architect returned to address August meeting board comments (Eco House Architecture).
- Proposed: SDP/Coastal development permit for demolition of two existing dwellings and construction of two single dwelling units totaling 4,580 ft². The 0.12 acre site is located within the Coastal Overlay Zone (appealable), RM-2-4 zone.
- Lot dimensions, 2-lots each 25'x105'
- FAR 0.69 (with removal of subgrade garage)
- Proposed project is pursuing City Sustainable Expedite Permitting Program

Community Comments:

- Robin Mancini: Resident on Brighton Avenue supports the project.
- Builder provided board with list of residents that also support project.
- Same builder of four-single family dwellings on 4600 block of Santa Monica Avenue

Board Comments:

- Bulk and scale, vertical façade and very close-to-the-limit (0.7) FAR are still issues of concern brought forth by the board.

Motion: Motion to recommend the approval as proposed (Jane 1st, Dan 2nd)

- Motion passes, 7-3-0
- Opposed: Tom, John, Marissa
- Reasons for Opposition:
 - Destruction of existing cottage
 - Does not align Ocean Beach Community Plan UD:4.1. Scale and articulation are not consistent with the surrounding area.
 - Tall narrow buildings on a 25 ft lot. Uninterrupted 26' high blank walls with only 3 ft side setback. No side undulation or transparency. Will block sun, wind, and light from neighboring properties.
 - Bulk is located the front of the lot instead of the rear.
 - New-large scale single-family dwellings of this nature will further price-out existing residents, furthering the gap of affordable housing in the OB community.



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title _____ **Project No. For City Use Only** _____

Brighton Ave Homes

Project Address:

5109-5111 Brighton Ave, San Diego 92107

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: _____ Project No. (For City Use Only) _____

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Socal Constructors LLC

Owner Tenant/Lessee

Street Address: 15557 Via La Ventura

City/State/Zip: San Diego CA 92131

Phone No: 858 220 6241 Fax No: 858 397 1125

Name of Corporate Officer/Partner (type or print):
Chris Fermentian

Title (type or print): Mgr

Signature: [Signature] Date: 9/5/15

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Brighton Avenue Residences

Project No. / SCH No.: 438785 / N/A

Project Location-Specific: 5109 – 5111 Brighton Avenue, San Diego, California 92107

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT to demolish two existing dwelling units and an accessory garage structure and construct two, two-story single-dwelling units with garages totaling 4,580-square-foot and deck areas totaling 1,058-square-foot. Various site improvements would also be constructed that include associated hardscape and landscape. Deviations are also being requested. The proposed project would conform to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program by generating 50 percent or more of the projected total energy consumption on site through renewable energy resources (i.e. photovoltaic). The 0.12 acre (5,248-square-foot) project site is located at 5109 – 5111 Brighton Avenue. The land use designation is Medium Density Residential (15 – 29 dwelling units per acre). Additionally, the project site is located in the RM-2-4 zone and within the Airport Land Use Compatibility Plan Noise Contours (60 – 65 CNEL) (San Diego International Airport (SDIA)), Airport Approach Overlay Zone (SDIA), Airport Influence Area (SDIA, Review Area 1), Federal Aviation Administration Part 77 Noticing Area (SDIA – Lindbergh Field, North Island Naval Air Station), Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable Area), First Public Roadway, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, Ocean Beach Cottage Emerging District, and Ocean Beach Precise Plan and Local Coastal Program. (LEGAL DESCRIPTION: Northeasterly 105 feet of Lots 27 and 28 in Block 77, Ocean Beach, According to Map No. 279.)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Chris Fermanian, SoCal Constructors, LLC, 15557 Via La Ventana, San Diego, California 92131, (858) 220-6241

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15302 (Replacement or Reconstruction)

Reasons why project is exempt: The City of San Diego conducted an environmental review, which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15302 that consists of the replacement or reconstruction of existing structures and facilities where the new structure will be located on the

same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: L. Sebastian

Telephone: (619) 236-5993

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

9/26/2016

Date

Check One:

- (X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

5109 - 5111 BRIGHTON AVENUE

Attachment 11
Project Plans
Page 1 of 14

Attachment 11
Project Plans
Page 1 of 14

REVISIONS

NO.	DATE	DESCRIPTION

ECOHOUSE architecture

FOUNDED ARCHITECTS
ESTABLISHED
C. 2005
REV. 1/2011
STATE OF CALIFORNIA

TWO RESIDENTIAL UNITS

CONSERVATION ELEMENT NOTES	FAA SELF CERTIFICATION	DETAILED SCOPE OF WORK	PROJECT AND ZONING INFORMATION																																																																																										
<p>1. MAXIMIZE RECYCLED DEMOLITION MATERIAL FROM EXISTING BUILDING.</p> <p>2. LANDSCAPING WITH SAN DIEGO NATIVE DROUGHT TOLERANT, HIGH PEST RESISTANT PLANTS. MINIMUM PLANT TISSUE, NO GRASS PROPOSED. SEE SHEET L1.1.</p> <p>3. ENERGY EFFICIENT IRRIGATION CONTROLS AND IRRIGATION SCHEDULED PER CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM DATA FOR LANDSCAPING. USE OF DRIP IRRIGATION IN PLANTING AREAS.</p> <p>4. OMIT</p> <p>5. PERVIOUS HARDSCAPE OR INTERLOCKING PAVERS.</p> <p>6. RECYCLED CONTENT PAVERS WHERE FEASIBLE FOR USE AS HARDSCAPE.</p> <p>7. LIGHT COLOR ROOF AND EXTERIOR WALLS. LIGHT COLOR PAVERS AND/OR CONCRETE. CRIC RATED COOL ROOF TILE ROOF.</p> <p>8. WALL FACING SOUTH-WEST LIMITED GLAZING TO 6%. WINDOWS AND DOORS WITH ENERGY STAR LABEL, LOW SOLAR HEAT GAIN COEFFICIENTS. LOW FLUSH TOILETS AND LOW FLOW SHOWERS AND FAUCETS.</p> <p>9. OMIT.</p> <p>10. BUILDING DESIGNED TO MAXIMIZE NATURAL LIGHTING IN EACH ROOM. MINIMIZE NECESSITY OF ARTIFICIAL LIGHTING.</p> <p>11. NO AIR CONDITIONING OR CFC BASED REFRIGERANTS USED IN MECHANICAL SYSTEMS.</p> <p>12. LOW VOC AND LOW EMITTING ADHESIVES, PAINTS, COATINGS, CARPET SYSTEMS, COMPOSITE WOOD, ETC. WHERE FEASIBLE.</p> <p>13. RECYCLED CONTENT BUILDING MATERIALS, LOCAL SUSTAINABLE PRODUCTS WHERE FEASIBLE.</p> <p>14. TANKLESS WATER HEATERS. PROVIDES 27-50% ENERGY EFFICIENCY. ENERGY STAR LABEL. REDCIRCULATING PUMPS AT REMOTE FAUCETS.</p> <p>15. ENERGY STAR LABEL. APPLIANCES INCLUDING BUT NOT LIMITED TO REFRIGERATOR, WASHER, DRYER, DISHWASHER.</p> <p>16. HIGH EFFICIENCY LIGHTING, MOTION SENSORS AND DIMMERS. TASK LIGHTING REDUCES USE OF GENERAL OVERHEAD LIGHTING.</p> <p>17. OPERABLE WINDOWS AND MECHANICAL VENTILATION SYSTEMS IN BATHROOMS.</p>	<p>1. ELIZABETH JOAN CARMICHAEL DO HEREBY CERTIFY THAT THE STRUCTURES SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15 (4) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.</p> <p>PROJECT DATA</p> <p>PROJECT NAME: 5109 - 5111 BRIGHTON AVE. RESIDENCES</p> <p>PROJECT ADDRESS: 5109 - 5111 BOSTON AVENUE SAN DIEGO, CALIFORNIA 92107</p> <p>HISTORIC: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO U.R.M.: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>SUBMITTAL DATE: _____</p> <p>ZONE: RM-2-4</p> <p>OWNER: SOCIAL CONSTRUCTORS, LLC 15557 VIA LA VENTANA SAN DIEGO, CA 92131</p> <p>MAP NUMBER: R09 5999, MAP NO. 278</p> <p>LOT NUMBER: 27 & 28 NELY 105</p> <p>BLOCK NUMBER: 77</p> <p>A.P.N.: 448-023-2000</p> <p>F.A.R.: 1.2</p> <p>LEGAL DESCRIPTION: NORTHEASTERLY 105 FEET OF LOTS 27 AND 28 IN BLOCK 77, OCEAN BEACH, ACCORDING TO MAP THEREOF NO. 278 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 28, 1987.</p> <p>PLAN FILE NO: _____</p> <p>PERMIT NO(S): _____</p>	<p>REQUESTING COASTAL DEVELOPMENT PERMIT TO DEMOLISH TWO EXISTING DWELLING UNITS AND ACCESSORY GARAGE STRUCTURE AND CONSTRUCT TWO 2-STORY SINGLE DWELLING UNITS, TOTALING 4,726 SQUARE FEET, INCLUDING 1,000 S.F. UNDERGROUND GARAGES, AND 1,058 S.F. DECKS. SITE IMPROVEMENTS AS SHOWN.</p> <p>PROJECT TEAM</p> <p>ARCHITECT: ECOHOUSE ARCHITECTURE 2640 FINANCIAL COURT, STE. D SAN DIEGO, CA 92117 PH: 619-552-6332</p> <p>SURVEY ENGINEER: _____</p> <p>ADDITIONAL INFORMATION</p> <p>CHECK EACH APPLICABLE CHECKBOX:</p> <ul style="list-style-type: none"> <input type="checkbox"/> AFFORDABLE HOUSING PARKING DEMAND <input type="checkbox"/> AIRPORT APPROACH <ul style="list-style-type: none"> <input type="checkbox"/> SAN DIEGO INTERNATIONAL AIRPORT INFLUENCE AREA <input type="checkbox"/> FAA PART 77 <input type="checkbox"/> AIRPORT ENVIRONS <input type="checkbox"/> COASTAL (CITY-APPEALABLE) <input type="checkbox"/> COASTAL (NON-APPEALABLE) <input type="checkbox"/> COASTAL (PERMIT JURISDICTIONS) <input type="checkbox"/> COASTAL HEIGHT LIMIT <input type="checkbox"/> SENSITIVE COASTAL <input type="checkbox"/> MOBILE HOME PARK <input type="checkbox"/> PARKING IMPACT <input type="checkbox"/> RESIDENTIAL TANDEM PARKING <input type="checkbox"/> TRANSIT AREA <input type="checkbox"/> URBAN VILLAGE <input type="checkbox"/> MISSION TRAILS DESIGN DISTRICT <input type="checkbox"/> CLAREMONT MESA HEIGHT LIMIT <input type="checkbox"/> COMMUNITY PLAN IMPLEMENTATION <p>CHECK IF PROPOSED SITE IS ON OR ADJACENT TO:</p> <ul style="list-style-type: none"> <input type="checkbox"/> SENSITIVE BIOLOGICAL RESOURCES <input type="checkbox"/> STEEP HILLSIDES <input type="checkbox"/> COASTAL BEACHES <input type="checkbox"/> SENSITIVE COASTAL BLUFFS <input type="checkbox"/> 100 YEAR FLOODPLAIN <input type="checkbox"/> FIRST PUBLIC ROADWAY <input type="checkbox"/> GEOLOGIC HAZARD CATEGORY #52 <input type="checkbox"/> FEMA FLOODWAYS & FLOODPLAIN <input type="checkbox"/> SOILS <input type="checkbox"/> HISTORIC DISTRICTS (EXISTING) <p>SHEET INDEX</p> <table border="1"> <tr> <td>T-1</td> <td>TITLE SHEET</td> </tr> <tr> <td>A1.1</td> <td>SITE PLAN</td> </tr> <tr> <td>A1.2</td> <td>GARAGE FLOOR PLAN</td> </tr> <tr> <td>A1.3</td> <td>FIRST FLOOR PLAN</td> </tr> <tr> <td>A1.4</td> <td>SECOND FLOOR PLAN</td> </tr> <tr> <td>A1.5</td> <td>ROOF PLAN</td> </tr> <tr> <td>A1.6</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A1.7</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A1.8</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A1.9</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A1.10</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>A1.11</td> <td>BUILDING SECTIONS</td> </tr> <tr> <td>A1.12</td> <td>BUILDING SECTIONS</td> </tr> <tr> <td>L1.1</td> <td>LANDSCAPE PLAN</td> </tr> </table>	T-1	TITLE SHEET	A1.1	SITE PLAN	A1.2	GARAGE FLOOR PLAN	A1.3	FIRST FLOOR PLAN	A1.4	SECOND FLOOR PLAN	A1.5	ROOF PLAN	A1.6	EXTERIOR ELEVATIONS	A1.7	EXTERIOR ELEVATIONS	A1.8	EXTERIOR ELEVATIONS	A1.9	EXTERIOR ELEVATIONS	A1.10	EXTERIOR ELEVATIONS	A1.11	BUILDING SECTIONS	A1.12	BUILDING SECTIONS	L1.1	LANDSCAPE PLAN	<p>PROJECT INFORMATION</p> <p>PROJECT ADDRESS: 5109 - 5111 Brighton Ave., San Diego ASSESSORS PARCEL NUMBER: 448-023-2000 LEGAL DESCRIPTION: NELY 105 FT LOTS 27 & 28 BLK 77 TR 278</p> <p>YEAR BUILT: 1923 BUILDING CODE: CALIFORNIA BUILDING CODE (CBC), 2013 EDITION City of San Diego Municipal Code R-3 AND U GARAGE TYPE S-B 2 stories BUILDING HEIGHT LIMITATIONS: 49'-0" Zone Max. Structure height 30'-0" Canopy height from highest point of grade within 5'-0" 6,368 S.F. 1.204 ACRES</p> <p>ZONING INFORMATION</p> <p>ZONE: RM-2-4 NUMBER OF DWELLINGS: 1 PER LOT NUMBER OF STORES: 2</p> <table border="1"> <thead> <tr> <th>SETBACKS:</th> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>Front</td> <td>15' / 20'</td> <td>15' / 20'</td> </tr> <tr> <td>Massor</td> <td>5'-0"</td> <td>5'-0"</td> </tr> <tr> <td>Massor</td> <td>10'</td> <td>15'</td> </tr> <tr> <td>Street Vant.</td> <td>10'</td> <td>10'</td> </tr> <tr> <td>Separation</td> <td>10'-0"</td> <td>10'-0"</td> </tr> </tbody> </table> <p>BUILDING HEIGHT LIMITATIONS: 40'-0" max. structure height 30'-0" max. Prop. D height limit</p> <p>ACTUAL BUILDING HEIGHT: 32'-7"</p> <p>FLOOR AREA RATIO: 0.7</p> <p>LOT AREA: 2,634.89 S.F. EA. LOT</p> <p>ALLOWABLE FAR: 6.36 ACRES EA. LOT 1,436.88 S.F. EA. LOT 1,834.89 S.F. EA. LOT</p> <table border="1"> <thead> <tr> <th>BUILDING AREAS</th> <th>8100 (CALIF. 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BRIGHTON AVENUE RESIDENCES
5109 - 5111 Brighton Avenue
San Diego, California 92107

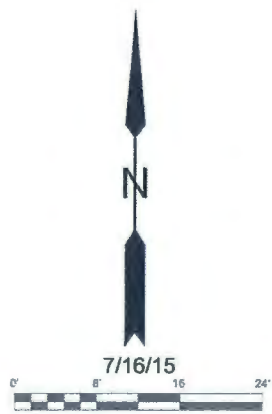
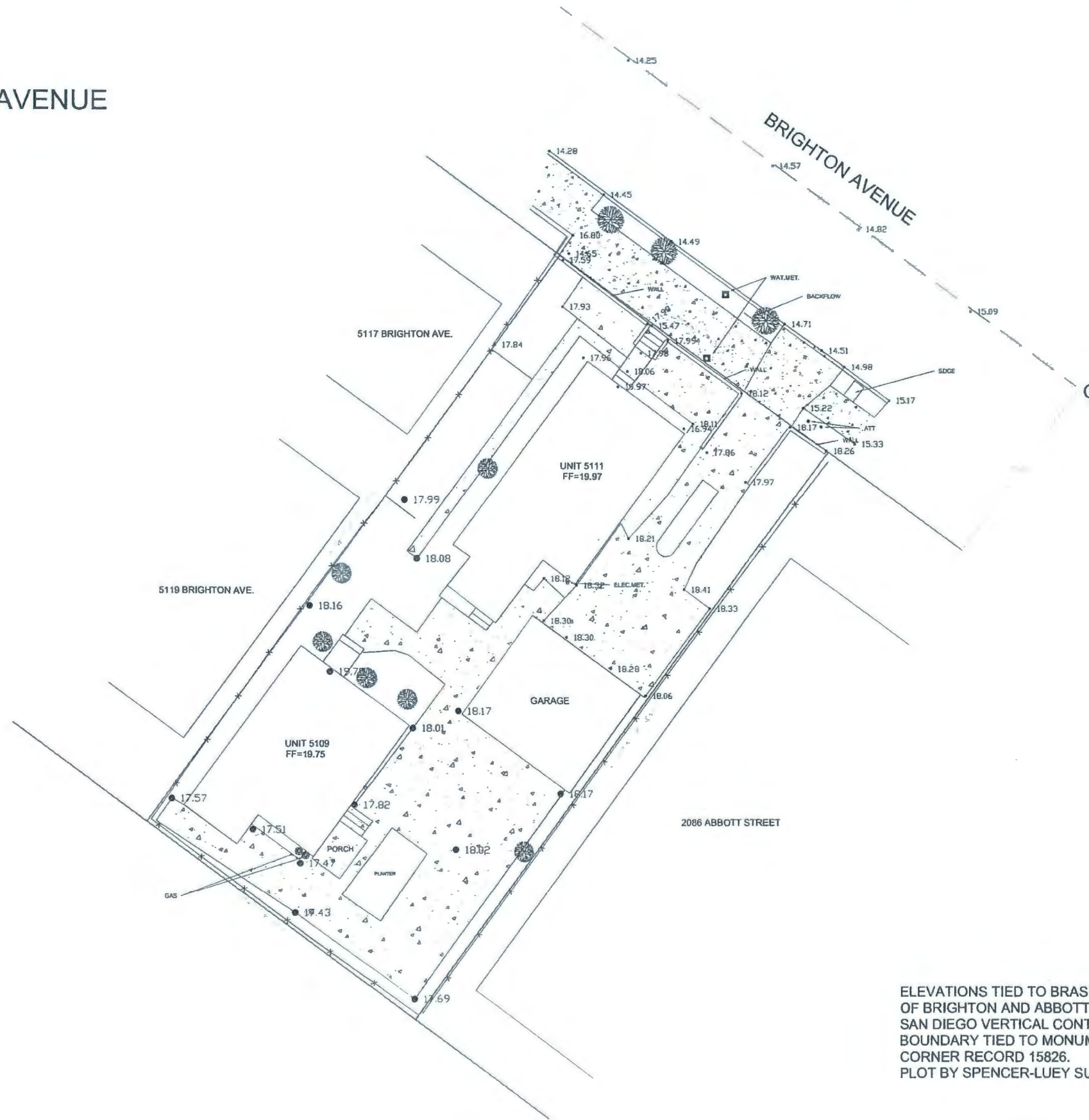
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Date: 5.01.15
Job: 66194-Resid-1501
Title: TITLE SHEET

Sheet: T-1

5109-5111 BRIGHTON AVENUE



ELEVATIONS TIED TO BRASS PLUG AT THE INTERSECTION OF BRIGHTON AND ABBOTT ST. EL=15.78. PER CITY OF SAN DIEGO VERTICAL CONTROL BK. PG. 167. BOUNDARY TIED TO MONUMENTS FOUND ON CORNER RECORD 15826. PLOT BY SPENCER-LUEY SURVEY 858-792-9242

REVISIONS	DATE
1	11/11/14
2	11/11/14
3	11/11/14

ECO HOUSE architecture
1818 Broadway, Suite 200
San Diego, CA 92101
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www.ecohousearch.com

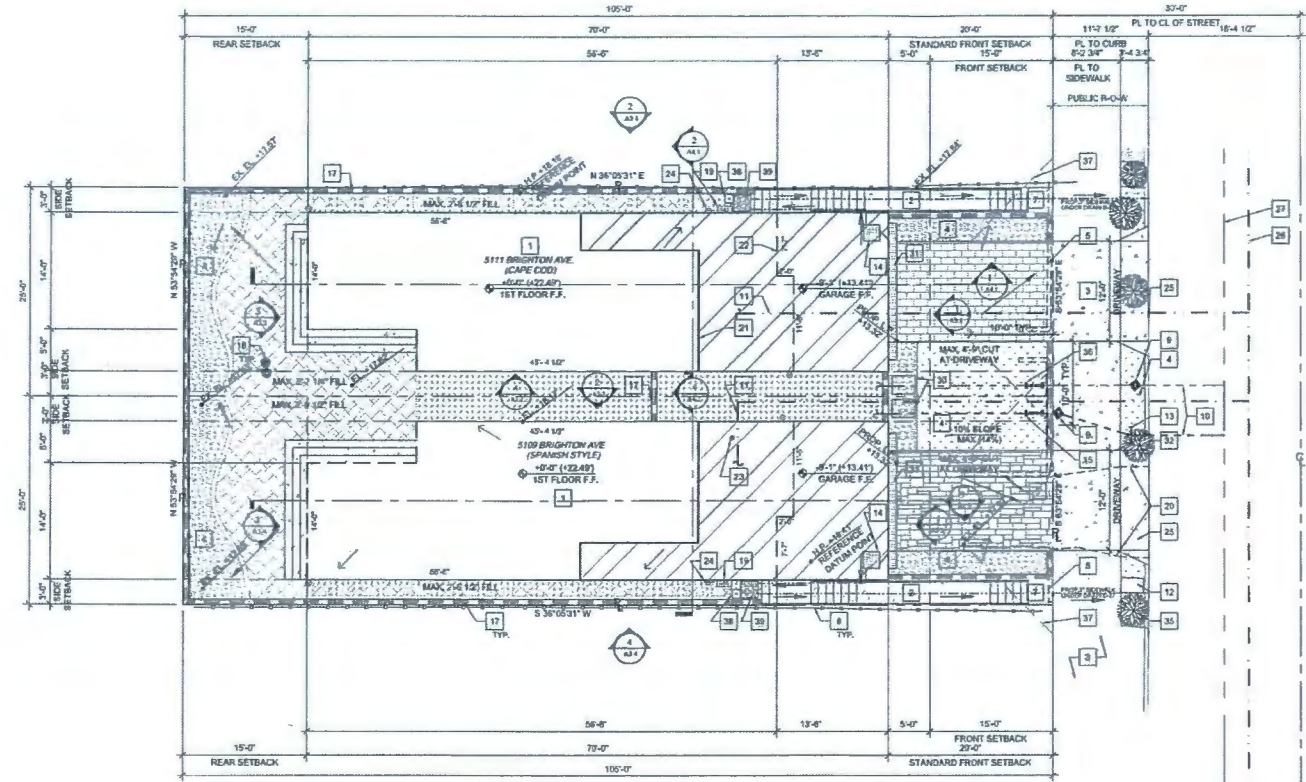
REGISTERED ARCHITECT
STATE OF CALIFORNIA
C 21123
Exp. 4/30/17

BRIGHTON AVENUE RESIDENCES
5109-5111 Brighton Avenue
San Diego, California 92107

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Date: 11/11/14
Job: Brighton Avenue Residences
Title: SITE & BMP PLAN
Sheet: AS1.1



- NOTE: NO PROPOSED SITE GRADING FOR THIS PROJECT
- LEGEND**
- AREA OF NEW TWO RESIDENCE
 - AREA OF EXISTING RESIDENCE
 - NEW 4" DECOMPOSED GRANITE
 - AREA OF VEGETATION, SEE LANDSCAPE DRAWINGS L1.1
 - EXISTING CONCRETE SLAB AS SHOWN
 - NEW CONCRETE SLAB AS SHOWN
 - DECOMPOSED GRANITE PATH AS SHOWN
 - NEW PERMEABLE PAVERS
 - NEW PERMEABLE PAVERS AT DRIVEWAY
 - NEW PERMEABLE PAVERS AT DRIVEWAY
 - EXISTING DRAINAGE
 - PROPOSED SITE DRAINAGE PATTERN
 - PROPOSED DRAINAGE FLOW TO BE DIRECTED TO 7" SIDEWALK UNDERDRAIN
 - PROPERTY LINE
 - EXISTING WATER METER
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING FENCE LINE
 - DOWNSPOUTS
 - EXISTING BACKFLOW PREVENTER
 - NEW GAS METER
 - EXISTING GAS METER
 - NEW ELECTRIC METER
 - EXISTING ELECTRIC METER

CONTRACTOR TO COMPLY WITH ALL CAL/OSHA REQUIREMENTS.

VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FIELD.

NO EXISTING OR PROPOSED EASEMENTS.

THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO ANY ADJACENT PROPERTY.

5109 BRIGHTON AVE (CAPE COD STYLE) GRADING DATA TABLE:

GRADING PROPOSED:
180.6 CU. YD. CUT; 193 CU. YD. FILL
4'-6" FT. MAX. CUT; 2'-8 1/2" FT. MAX. FILL.

5111 BRIGHTON AVE (SPANISH STYLE) GRADING DATA TABLE:

GRADING PROPOSED:
190.7 CU. YD. CUT; 180.9 CU. YD. FILL
4'-6" FT. MAX. CUT; 2'-8 1/2" FT. MAX. FILL.

PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PDPS POLICY P-034-01(C) 6/15/14.

SITE PLAN
1/8" = 1'-0"

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

FENCES AND WALLS SHALL CONFORM TO SDMC 103.0907 (G) AND CITYWIDE FENCE REGULATIONS PER CHAPTER 14, ARTICLE 2, DIVISION 3 OF SDMC.

NOTHING OVER 3 FEET SOLID IS PERMITTED WITHIN THE FRONT YARD SETBACK.

ELEVATIONS TIED TO BRASS PLUG AT THE INTERSECTION OF BRIGHTON AND ABBOTT ST. EL= 15.78 PER CITY OF SAN DIEGO VERTICAL CONTROL BK. PG. 167. BOUNDARY TIED TO MONUMENTS FOUND ON CORNER RECORD 15826, PLOT BY SPENCER-LUEY SURVEY. SEE 7-16-15 TOPOGRAPHIC SURVEY ON SHEET C-0.

STORM WATER RUNOFF FROM PROPOSED DEVELOPMENT SHALL BE DIRECTED TOWARDS PERVIOUS AREAS SUCH AS YARDS, OPEN CHANNELS, OR VEGETATED AREAS, AND AVOID ROUTING ROOFTOP RUNOFF TO THE ROADWAY OR THE URBAN RUNOFF CONVEYANCE SYSTEM.

CONSTRUCTION BMP'S

- STORM WATER QUALITY NOTES CONSTRUCTION BMP'S**
This project shall comply with all requirements of the Municipal Permit Issued by San Diego Regional Water Quality Control Board (SDRWQCB) and Municipal Storm Water National Pollution Discharge Elimination System (MPDES) Permit on January 24, 2007 (<http://www.sandag.org/water/Info/SDRWQCB/StormWaterConstructionBMPs>) and the City of San Diego Land Development Code (<http://www.sandag.org/water/Info/SDRWQCB/StormWaterConstructionBMPs>) and the City of San Diego Storm Water Manual (<http://www.sandag.org/water/Info/SDRWQCB/StormWaterConstructionBMPs>).
- Notes 1-8 below represent key minimum requirements for construction BMP's.
- The contractor shall be responsible for cleanup of all site and road adjacent streets) due to construction activities or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality with any streets). A stabilized construction site may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
 - All floor plates of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when they are not in use (i.e., access roads).
 - A concrete washout shall be provided on all projects which prevent the construction of any concrete improvements which are to be poured in place on site.
 - The contractor shall restore all erosion / sediment control devices to working order after each run-off producing rainfall or after any successful breach in effectiveness.
 - All slopes that are created or disturbed by construction activities must be protected against erosion and sediment transport at all times.
 - The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

GENERAL NOTES

- NEAREST EXISTING BUS STOP TO PROJECT SITE IS LOCATED @ MAIN STREET.
- PROVIDE BUILDING ADDRESS THAT IS VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER PDPS POLICY P-034-01(C) 6/15/14. SEE EXISTING ELEVATIONS FOR LOCATION.
- ALL OUTDOOR LIGHTING SHALL BE SHADDED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
- DOWNSPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE.
- Cont.
- Cont.

SITE PLAN KEYNOTES

- New two story single residence - see floor plans sheets A1.0-A2.1
- New on-site concrete pad-walkway.
- Existing concrete sidewalks to remain.
- New landscape area, see L1.1
- Existing site retaining wall to be demolished, and replaced w/ new CMU retaining wall at driveway (max 2'-6" high).
- Existing sidewalk to remain.
- New exterior concrete steps.
- Existing Site Fence to be demolished.
- Existing water meter (24 inch - verify) to remain. Construct water meter box with current city standard 18 inch water meter box SDWG-137.
- Existing 3/4 inch sewer service to remain.
- Existing gas meter 4 inch sewer lateral to remain. Verify in field.
- Existing Electrical service by SDG&E to remain.
- Existing backflow preventer to be relocated.
- New Sump Pit.
- New location of existing relocated backflow preventer to be relocated to public property Reduced Pressure Principle Assembly (RPP) per City of San Diego Regional Standard Drawing W9-01.
- Cont.
- New CMU retaining wall 2'-0" above grade max.
- Existing Gas meter by SDG&E to be relocated.
- New location of existing Gas meter. Coordinate with SDG&E.
- Existing driveway to be removed.
- Line of 1st floor, see A1.0.
- Line of 2nd floor, see A1.1.
- Existing Electrical meter to be relocated.
- New location of existing Electrical meter to existing service. Coordinate installation with SDG&E.
- Reconstruct the existing sidewalk with current City Standard concrete sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp.
- Existing 12" PVC sewer main to remain. Verify in field.
- Existing 12" PVC sewer main to remain. Verify in field.
- Cont.
- New Retain Storage & Recyclable Material Storage Area.
- New trench drain. Connect to drain line.
- Existing street view to be relocated.
- Cont.
- Cont.
- New location of relocated fire.
- New backflow preventer to be located on various property. Reduced Pressure Principle Assembly (RPP) per City of San Diego Regional Standard Drawing W9-01.
- Visibility Triangle: No obstructions including landscaping or other walls in the visibility area shall exceed 3 feet in height.
- 12" x 12" NDS Catch Basin or approved equal.
- 24" x 24" Rip Rap.

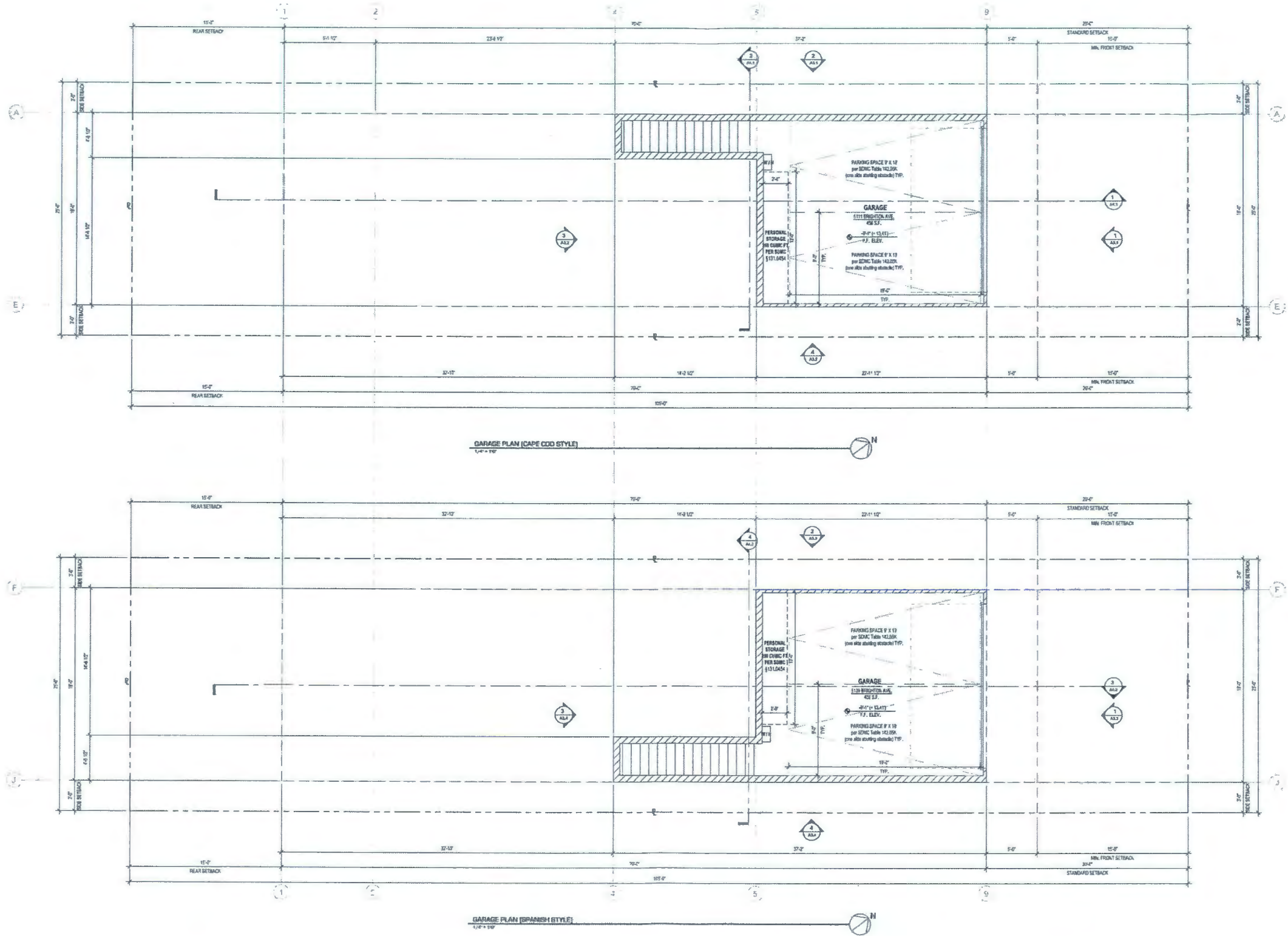
SITE NOTES

- DRAINAGE** DIRECTION OF DRAINAGE. DIRECT TO PLANTING AREAS PER SHEET L1.1
- The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
 - Before commencing any site foundation excavation the contractor shall verify locations of all site dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of the property lines, easements (if any) underground utilities, and indicate utility type.
 - Protect existing vegetation and mark perimeter of construction zone. Remove all trees and vegetation within 5' of proposed new structures, unless otherwise shown.
 - Grade site to direct ground water away from building and new additions. Drainage swales are to be directed as shown, provide 2% slope.
 - Locate utility line as approved on site location. Contractor shall dispose of all site refuse at city-approved locations.
 - Provide building address numbers - visible and legible from street or road bordering the property.
 - Soil Recommendations:
 - Site Preparation: Clear and grub, remove landscaping fill and materials to 3' below grade and replace as structural fill. Remove materials for underground parking per plan.
 - Moisture Protection: Directly below slab, 15 mil. polyethylene membrane over 4" layer of clean, coarse sand or crushed rock.
 - The highest point of the road, equipment, or any other pipe, driveway, or any other projection shall not exceed 30 feet above grade.

PREPARED BY:
ECO HOUSE ARCHITECTURE
1818 Broadway, Suite 200
San Diego, CA 92101
P: 619.594.8888
www.ecohousearch.com

LEGAL DESCRIPTION:
RELOT 107, LOT 7 & 8, SD 97-01-01

APR 16/2016
PROJECT NAME:
Brighton Residences
SHEET TITLE:
AS1.1 SITE PLAN
SHEET COUNT:
3 OF 14
PTS#:



LEGEND / KEYNOTES

CONCRETE BLOCK WALL

2x WOOD STUD WALL

Attachment 11
Project Plans
Page 4 of 14

REVISIONS	DATE
1	10/15/18
2	10/15/18
3	10/15/18

ECO HOUSE
architecture

3445 Piedmont Court, Suite B
San Diego, CA 92117
619.455.4332

REGISTERED ARCHITECT
C 21137
Exp. 6/30/17
STATE OF CALIFORNIA

BRIGHTON AVENUE RESIDENCES
8109 - 8111 Brighton Avenue
San Diego, California 92107

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PREPARED BY:
ECO HOUSE ARCHITECTURE
8109 - 8111 BRIGHTON AVENUE
SAN DIEGO, CA 92107
619.455.4332

LEGAL DESCRIPTION:
NE 1/4 SEC 17, T13N, R12E, S17E

DATE: 10/15/18

SCALE: 1/4" = 1'-0"

TITLE: GARAGE PLAN

Sheet
A-1.0

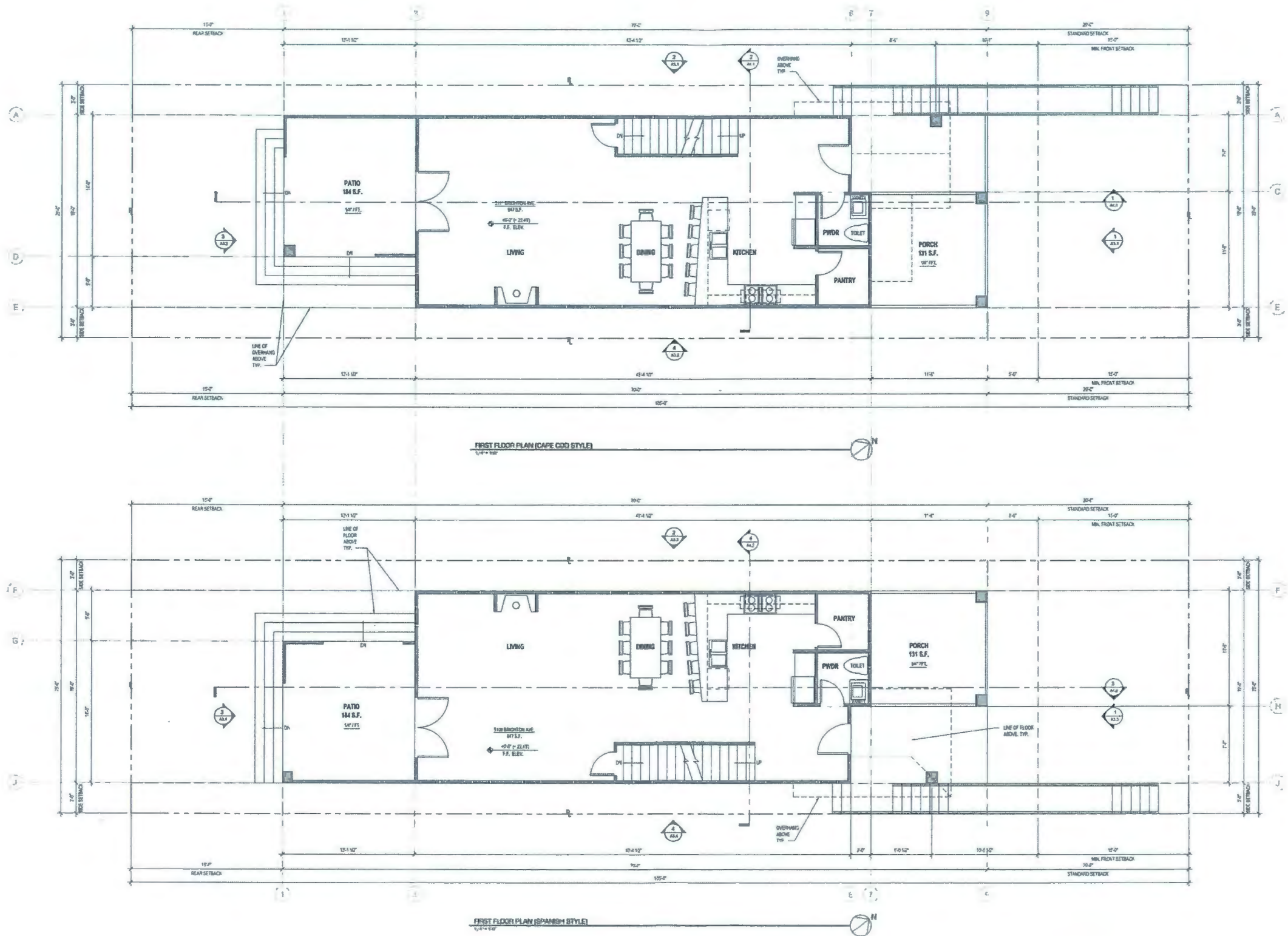
APR
48-45-2018

PROJECT NAME:
Brighton Residences

SHEET TITLE:
A-1.0 - GARAGE PLAN

SHEET COUNT:
4 OF 14

PTS #:



LEGEND / KEYNOTES
 CONCRETE BLOCK WALL
 2" WOOD S LIP WALL

PREPARED BY:
 ECO-HOUSE ARCHITECTURE
 JAC FRANKEL, COURT STL D
 SAN DIEGO, CA 92111
 619.528.4332

LEGAL DESCRIPTION:
 1841 1ST ST, LOT 17.3 IN BLK 17 IN P1

DATE: 8.14.13
TITLE: Brighton Avenue 184
PROJECT NAME: Brighton Residences
SHEET TITLE: 184 - 1st Floor Plan
SHEET COUNT: 4 OF 13
PIS #:

REVISION	DATE
1	8/14/13
2	8/14/13
3	8/14/13

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architecture

2445 Broadway Court, Suite 10
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 619.528.4332

REGISTERED ARCHITECT
 STATE OF CALIFORNIA
 LICENSE NO. 42377

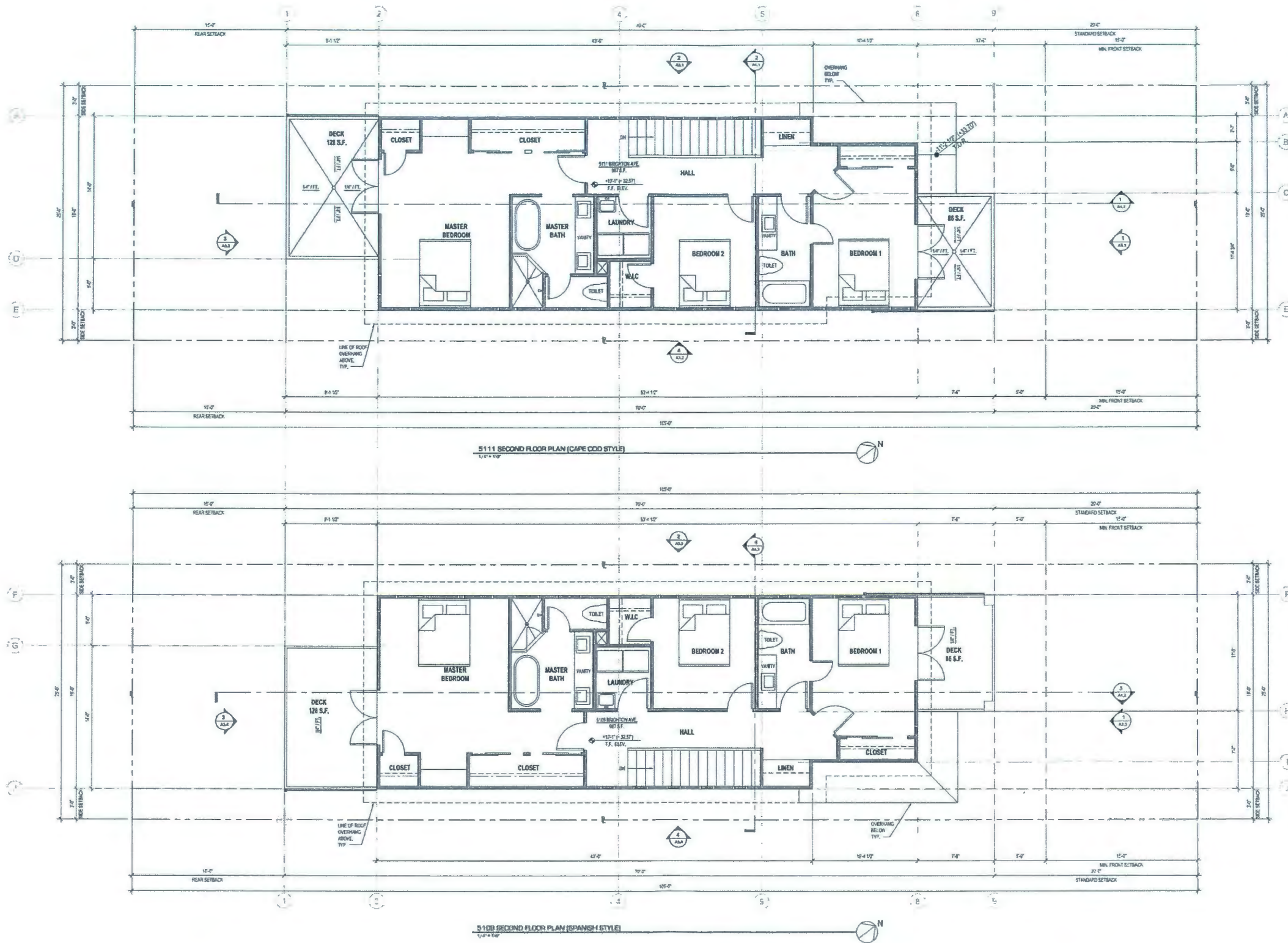
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DATE: 8.14.13
TITLE: Brighton Avenue 184
PROJECT NAME: Brighton Residences
SHEET TITLE: 184 - 1st Floor Plan
SHEET COUNT: 4 OF 13
PIS #:

A-1.1



LEGEND / KEYNOTES
 CONCRETE BLOCK WALL
 2x WOOD STUD WALL

PREPARED BY:
 ECHOHOUSE ARCHITECTURE
 254C FINANCIAL COURT, STE. D
 SAN DIEGO, CA 92117
 619.524.4332
LEGAL DESCRIPTION:
 1551 15TH LOTS 27 & 28 BLK 11 W. PT.
DATE: 3-13-14
JOB: Brighton Avenue "18"
TITLE: SECOND FLOOR PLAN
APR: 46-403-887
PROJECT NAME: Brighton Residences
SHEET TITLE: 41.2 SECOND FLOOR PLAN
SHEET COUNT: 1 OF 11
PTS. #:

REVISIONS	DATE
1. COMPLETE DESIGN	10-1-13
2. PLAN DEVELOPMENT	11-1-13
3. PLAN DEVELOPMENT	10-1-14

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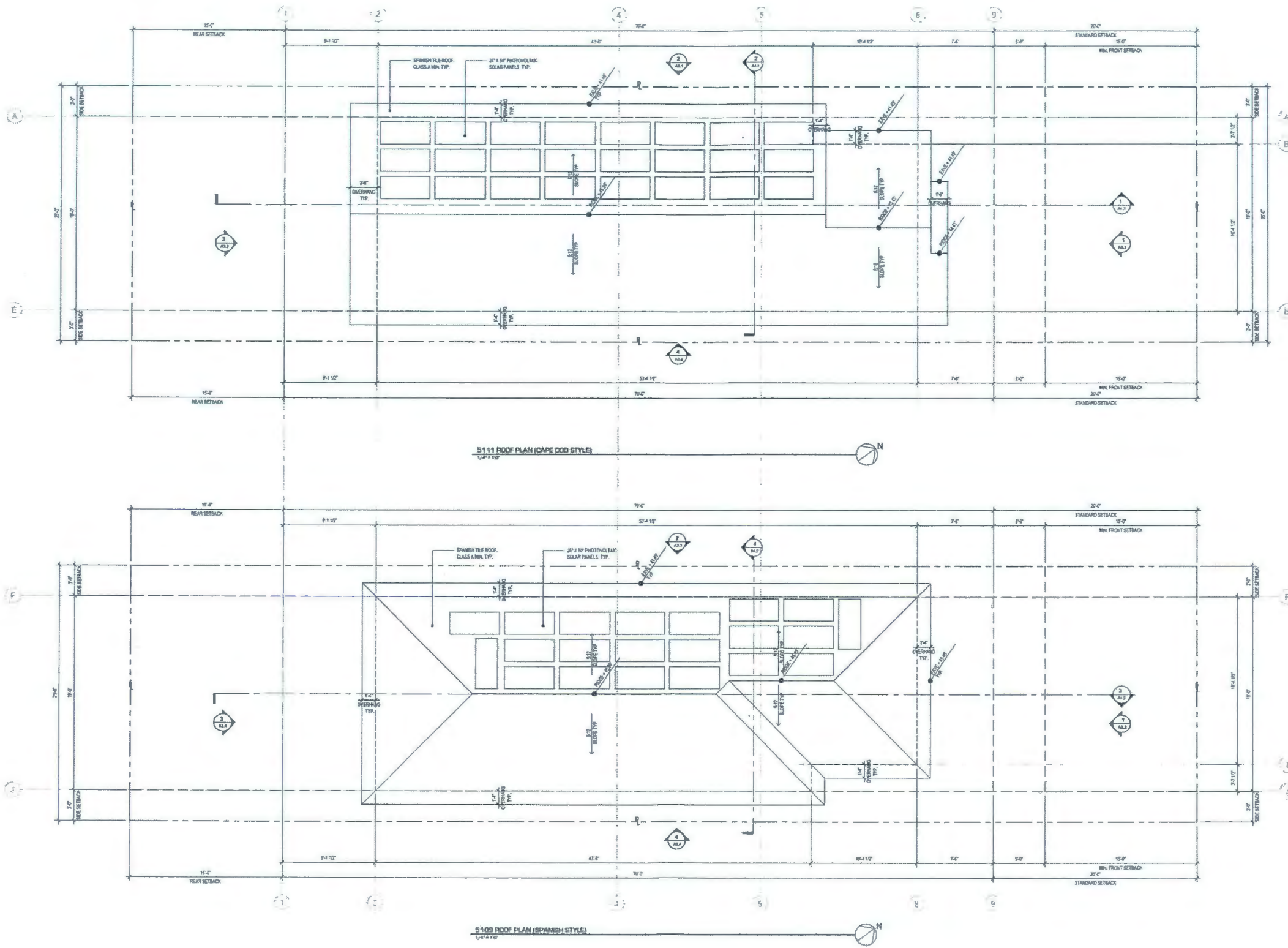
254C FINANCIAL COURT, STE. D
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619.524.4332

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Rm 4/28/17
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Date: 3-13-14
 Job: Brighton Avenue "18"
 Title: SECOND FLOOR PLAN
 Sheet: A-1.2



PREPARED BY:
 ECO-CASE ARCHITECTURE
 2640 FRANKLIN COURT STE. D
 SAN DIEGO, CA 92111
 (619) 551-1533

LEGAL DESCRIPTION:
 1637 10077 L001374 B BULLY TR 24

APR:
 48463.001

PROJECT NAME:
 Brighton Residences

SHEET TITLE:
 B111 - ROOF PLANS

SHEET COUNT:
 1 OF 14

PFS #:

BRIGHTON AVENUE RESIDENCES
 8109 - 8111 Brighton Avenue
 San Diego, California 92107

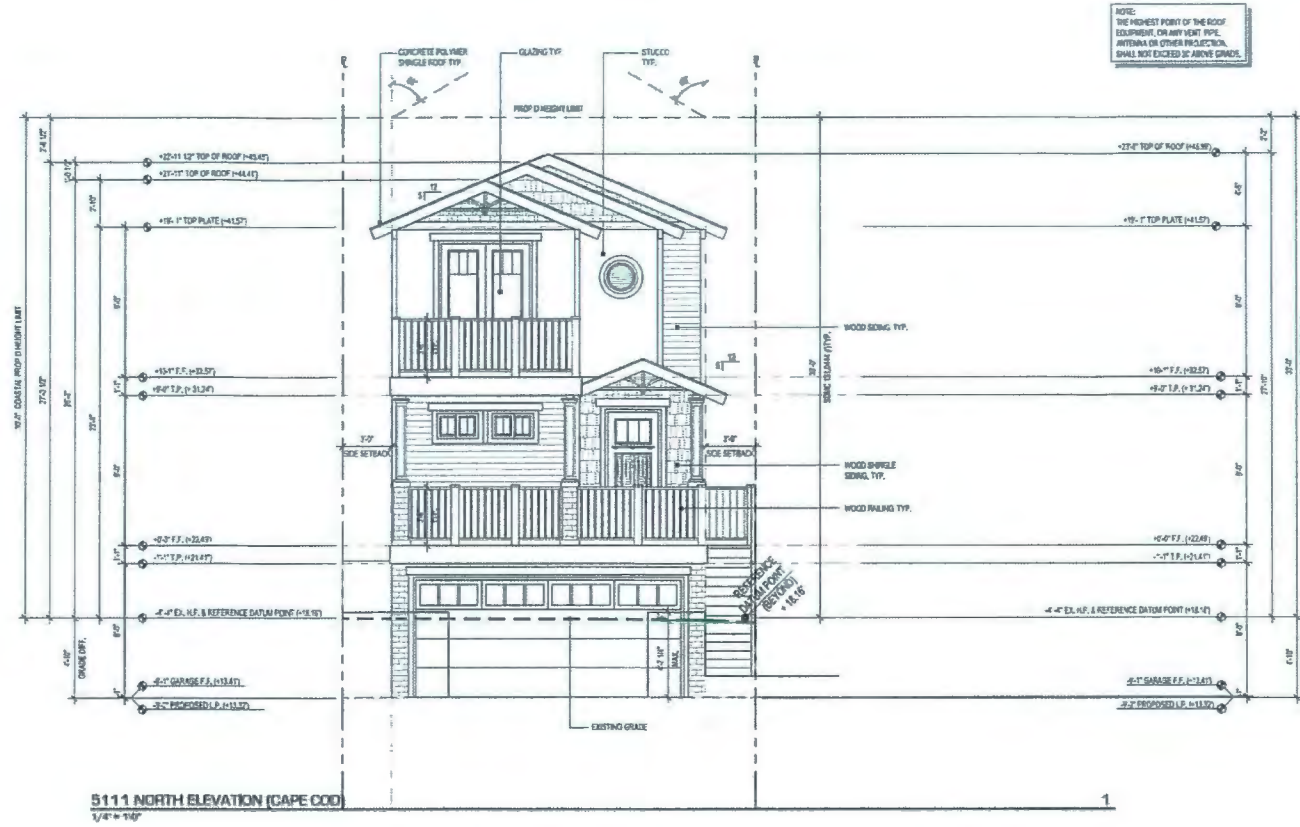
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Date: 8/18/16
Job: Brighton Avenue 100
Title: ROOF PLANS
Sheet: A-2.1

REVISION	DATE
1	12/14/15
2	12/14/15
3	12/14/15

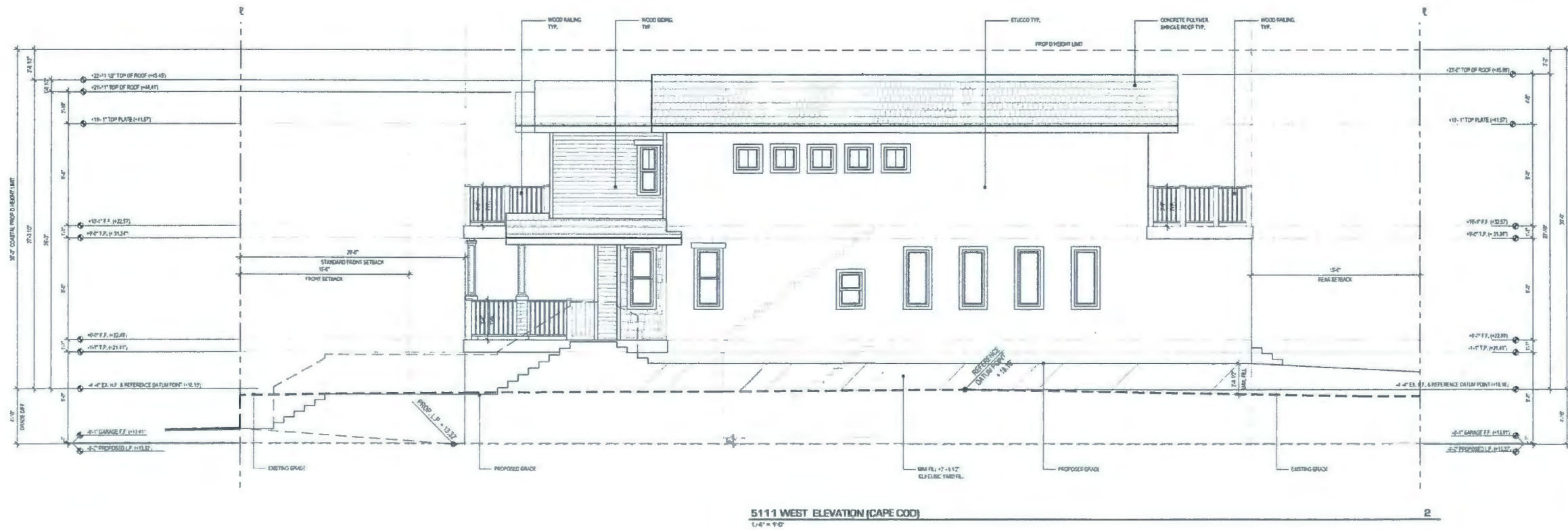
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 (619) 551-1533

LICENSED ARCHITECT
 C 21153
 EX. 4/25/17
 STATE OF CALIFORNIA



5111 NORTH ELEVATION (CAPE COD)
1/4" = 1'-0"

NOTE:
THE HIGHEST POINT OF THE ROOF
EQUIPMENT, OR ANY VENT PIPE,
ANTENNA OR OTHER PROJECTIONS,
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5111 WEST ELEVATION (CAPE COD)
1/4" = 1'-0"

PREPARED BY:
ECO-CLOSE ARCHITECTURE
355C PARKWAY, SUITE 101
SAN DIEGO, CA 92117
951.353.4332
LEGAL DESCRIPTION:
RECY 124 1' - 0" S 2 1/4' E 8 1/4' TO 20'

DATE: 8/13/14
JOB: Brighton Avenue '13
TIC: Brighton Avenue '13
PROJECT NAME: Brighton Residences
SHEET TITLE: AS 1 BUILDING ELEVATIONS
SHEET COUNT: 8 OF 14
P.T.S.:

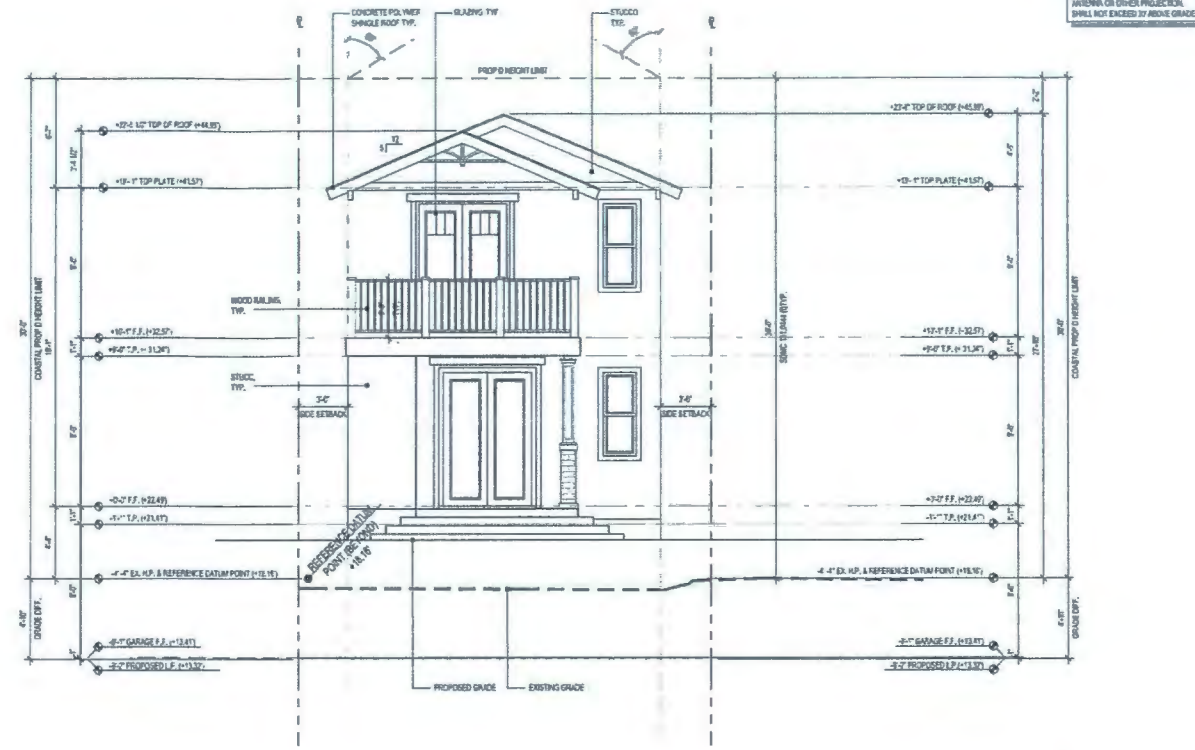
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Date: 8/13/14
Job: Brighton Avenue '13
TIC: Brighton Avenue '13
PROJECT NAME: Brighton Residences
SHEET TITLE: AS 1 BUILDING ELEVATIONS
SHEET COUNT: 8 OF 14
P.T.S.:

REVISION	DATE
1	8/13/14
2	8/13/14
3	8/13/14

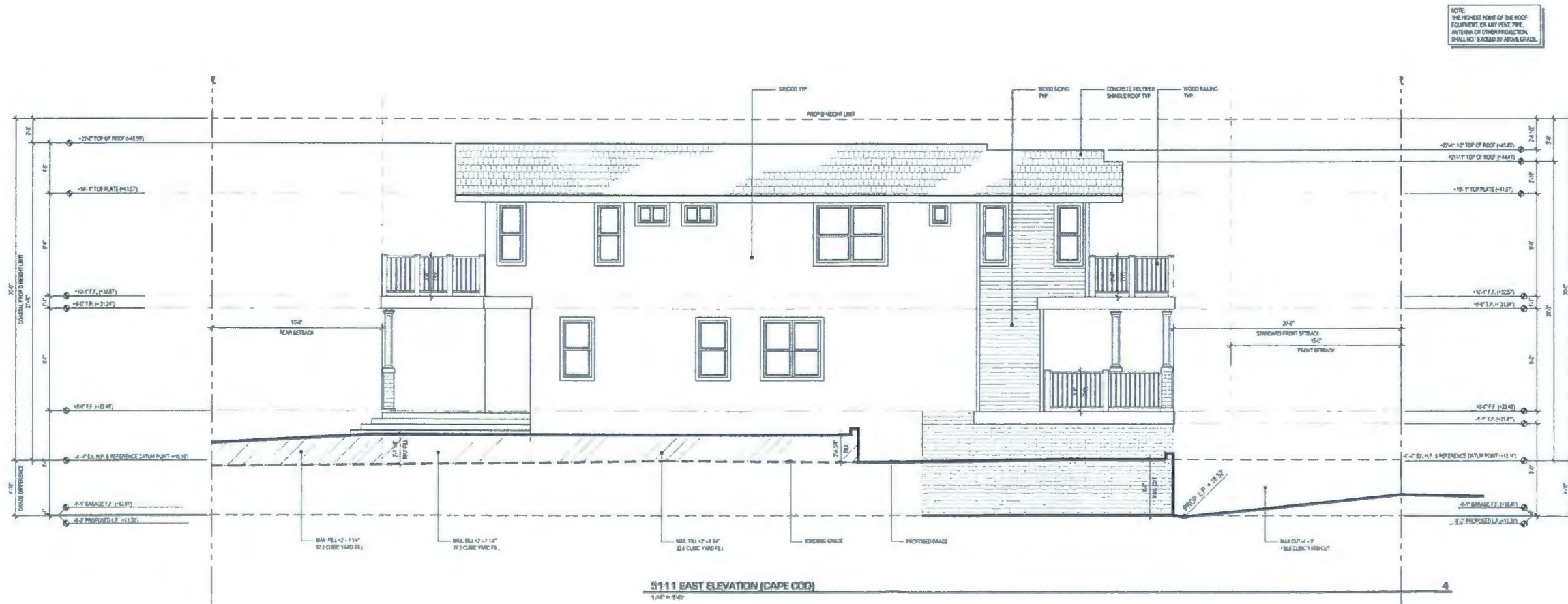
ECO-CLOSE ARCHITECTURE
355C PARKWAY, SUITE 101
SAN DIEGO, CA 92117
951.353.4332

REGISTERED ARCHITECT
C 31513
EX. 4/20/17
STATE OF CALIFORNIA



5111 SOUTH ELEVATION (CAPE COD)
1/4" = 1'-0"

3



5111 EAST ELEVATION (CAPE COD)
1/4" = 1'-0"

4

REVISION	DATE
1	08/14/11
2	10/14/11
3	11/14/11

ECO HOUSE architecture
Architectural Firm
1111 Broadway, Suite 100
San Diego, CA 92101
www.ecohousearchitecture.com

REGISTERED ARCHITECT
CENTRAL CALIFORNIA
C 21523
Exp. 4/30/17
STATE OF CALIFORNIA

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San Diego, California 92127

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2647 FERNWOOD COURT, STE. D
SAN DIEGO, CA 92111
954-552-4522

LEGAL DESCRIPTION:
MELBY TRACT, PART OF S.B. 188-77-127

APR
#10-2016

PROJECT NAME:
Brighton Residences

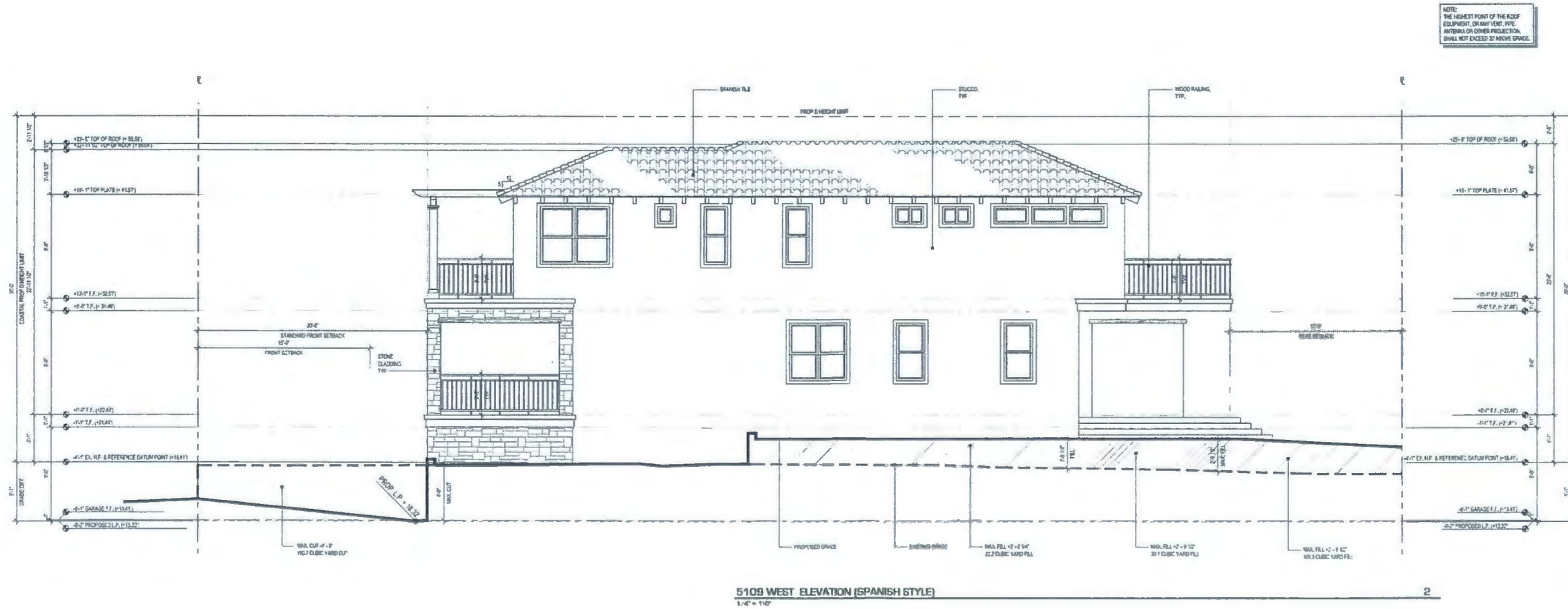
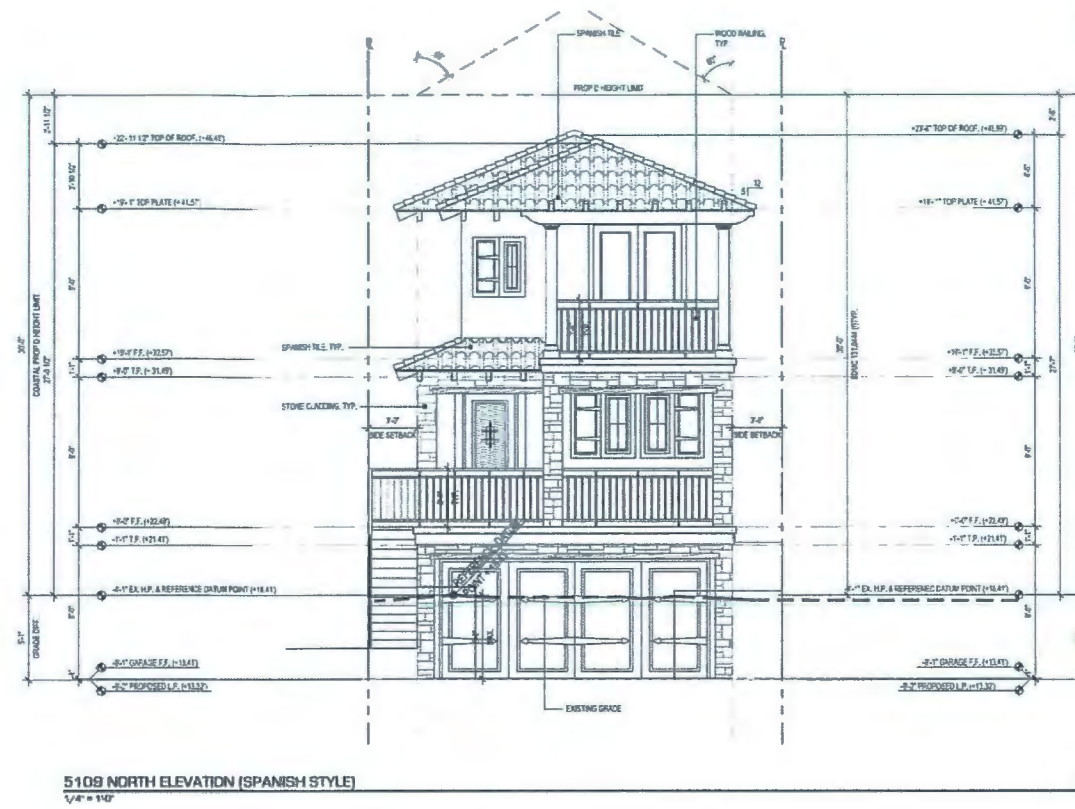
SHEET TITLE:
5111 BUILDING ELEVATIONS

SHEET COUNT:
9 OF 14

PTS 6

Date: 4/13/16
Job: Brighton Residences
Title: ARCHITECT

DATE: 4/13/16
JOB: CAPE COD SOUTH AND EAST EXTERIOR ELEVATIONS
SHEET: A-3.2



PREPARED BY:
ECHO-ROSE ARCHITECTURE
2545 FRANCISCO COURT, STE. 6
SAN FRANCISCO, CA 94115
415.352-4332

LEGAL DESCRIPTION:
1815 108' LOTS 17 & 18 1/2' IN 1/4'

DATE: 1-13-14
JOB: Brighton Avenue Residences
TITLE: Spanish Style North and West Elevation
SHEET COUNT: 10 OF 11
PTS.P:

REVISIONS	DATE
1	1-13-14
2	1-13-14
3	1-13-14

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architecture

1000 Francisco Court, Suite 6
San Francisco, CA 94115
415.352.4332

REGISTERED ARCHITECT
C. 21429
No. 4/2017
STATE OF CALIFORNIA

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5109 - 5111 Brighton Avenue
San Diego, California 92107

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DATE: 1-13-14
JOB: Brighton Avenue Residences
TITLE: Spanish Style North and West Elevation
SHEET COUNT: 10 OF 11
PTS.P:

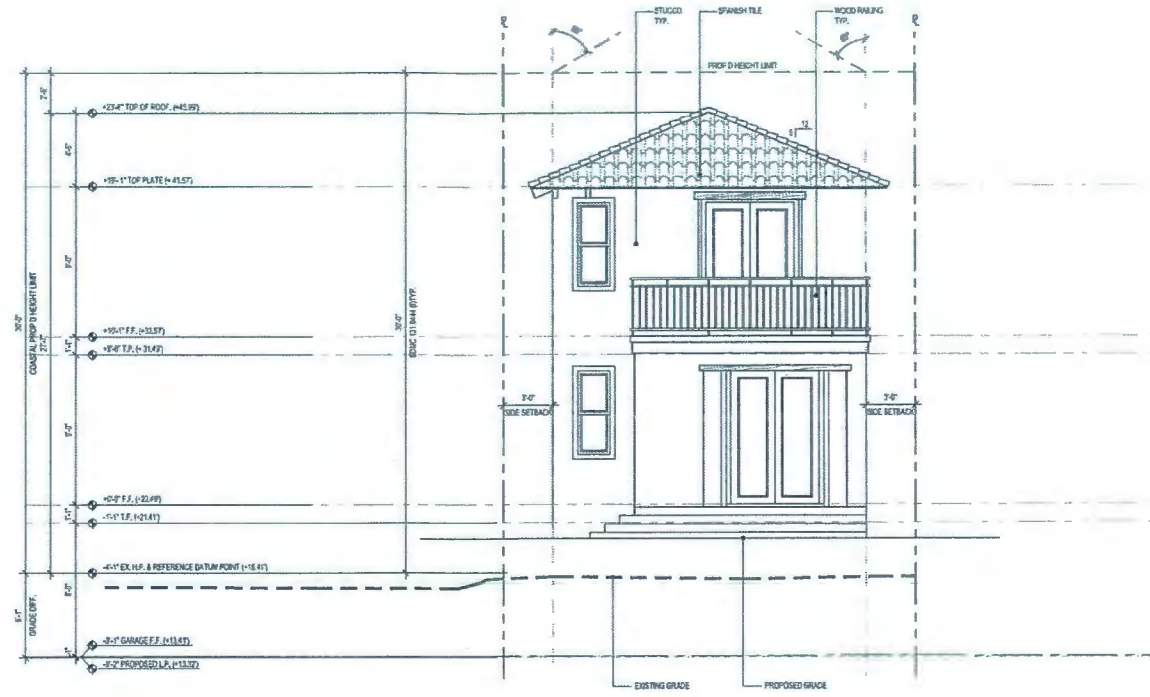
A-3.3

REVISION	DATE
1	10/14/13
2	10/14/13
3	10/14/13

ECO HOUSE
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2040 Richmond Court, Suite 2
San Diego, CA 92111
P: 619.584.8887
A: 619.584.8888
www.ecohousearch.com

REGISTERED ARCHITECT
ALBERTO J. AND
CYNTHIA M.
C 21133
Exp. 4/30/17
STATE OF CALIFORNIA



NOTE:
THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA OR OTHER PROJECTION,
SHALL NOT EXCEED 2\"/>

5109 SOUTH ELEVATION (SPANISH STYLE)
1/4" = 1'-0" 3



NOTE:
THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA OR OTHER PROJECTION,
SHALL NOT EXCEED 2\"/>

5109 EAST ELEVATION (SPANISH STYLE)
1/4" = 1'-0" 4

PREPARED BY:
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2040 RICHMOND COURT, STE. 2
SAN DIEGO, CA 92111
619.584.8887

LEGAL DESCRIPTION:
NE1/4 SEC 17, T13S, R13E, S1/2, 1/4, 2/4

APR
4/13/13

PROJECT NAME:
Brighton Residences

SHEET TITLE:
5109 BUILDING ELEVATIONS

SHEET COUNT:
11 OF 14

PTS:

BRIGHTON AVENUE RESIDENCES

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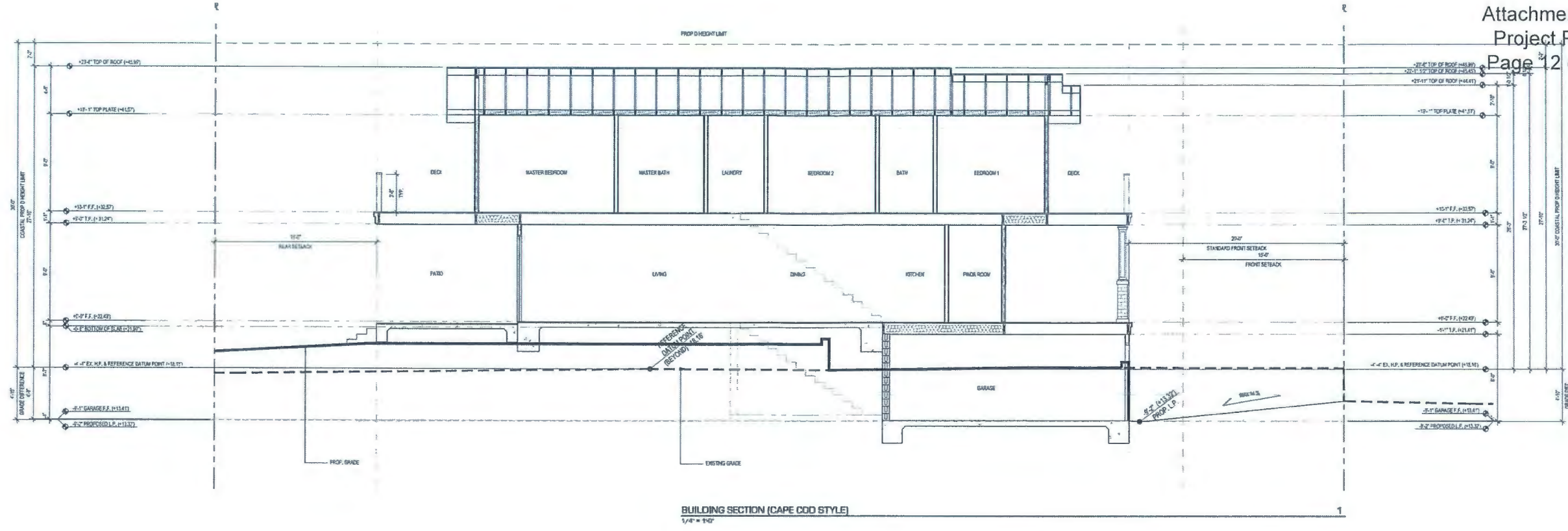
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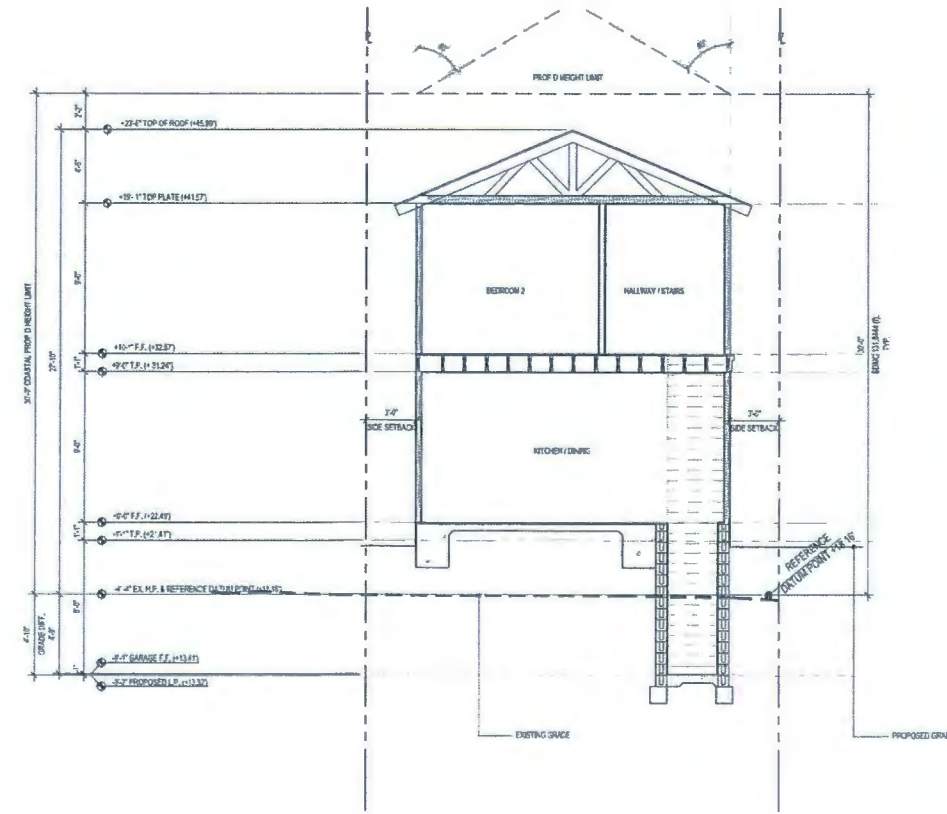
Job: Brighton Residences

Title: SPANISH STYLE
SOUTH & EAST
ELEVATION ELEVATIONS

Sheet:
A-3.4



BUILDING SECTION (CAPE COD STYLE)
1/4" = 1'-0"



BUILDING SECTION (CAPE COD SECTION)
1/4" = 1'-0"

PREPARED BY:
ECOMOUSE ARCHITECTURE
2540 FRANKLIN COURT, STE. D
SAN DIEGO, CA 92117
619.584.5333

LEGAL DESCRIPTION:
M24 121' - 0.00 37.5 30.0 17.0 17.0 27.0

DATE:
8.15.19

JOB:
Brighton Avenue '18

TITLE:
BUILDING SECTIONS
(CAPE COD STYLE)

SHEET #:
12 OF 14

PTS #:

REVISIONS	DATE
1	12-18-18
2	12-18-18
3	12-18-18

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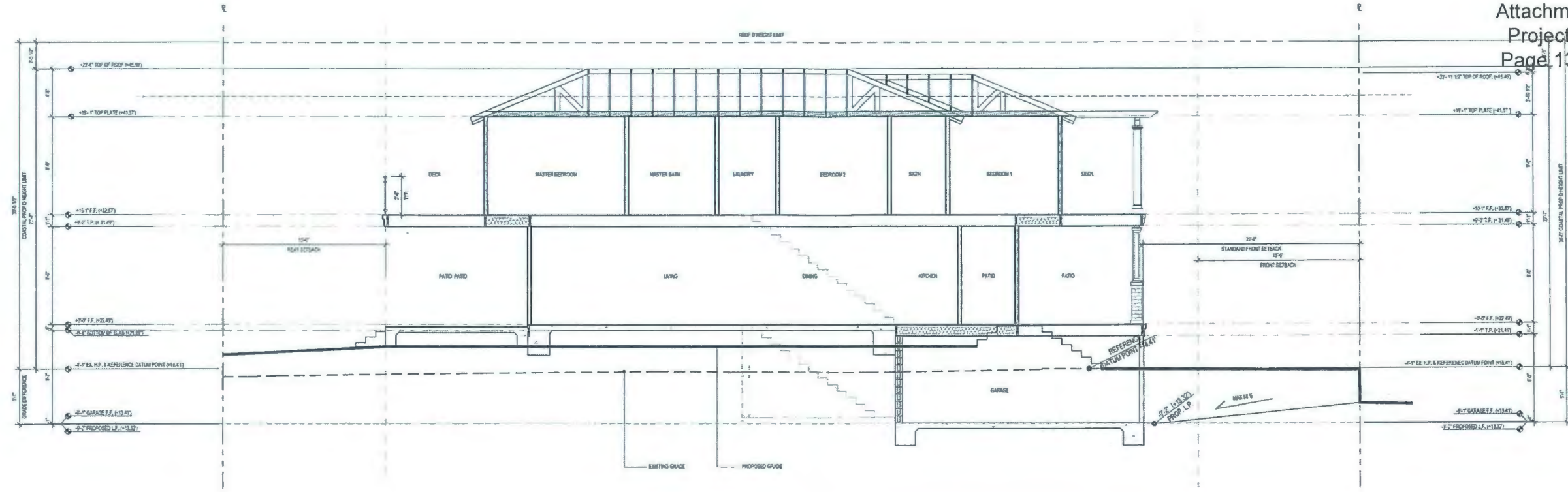
PROJECT NAME:
Brighton Residences

SHEET TITLE:
12 OF 14 BUILDING SECTIONS

SHEET COUNTY:
12 OF 14

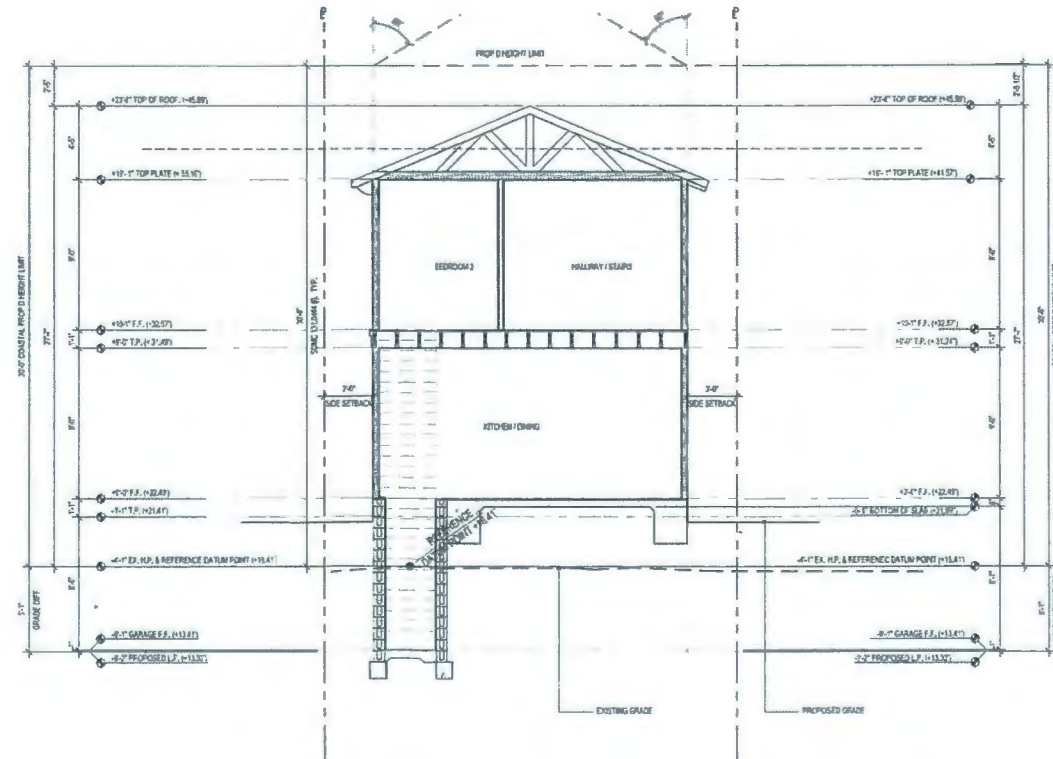
PTS #:

A-4.1



BUILDING SECTION (SPANISH STYLE)
1/4" = 1'-0"

3



BUILDING SECTION (SPANISH STYLE)
1/4" = 1'-0"

4

PREPARED BY:
ECOHOUSE ARCHITECTURE
2840 FRANCISCO COURT, STE. 0
SAN DIEGO, CA 92117
619.552.4322

LEGAL DESCRIPTION:
16.1' x 117.3' PT 13 IN 20.8' x 117.3'

APN:
44-05-008

PROJECT NAME:
Brighton Residences

SHEET TITLE:
A-2 BUILDING SECTIONS

SHEET COUNT:
13 OF 14

PTS. R.

REVISION	DATE
1	10-1-11
2	10-1-11
3	10-1-11

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619.552.4322

REGISTERED ARCHITECT
ALAN M. ZEM
C 9123
Exp. 4/30/17
STATE OF CALIFORNIA

BRIGHTON AVENUE RESIDENCES

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San Diego, California 92107

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Date: 11.13.14

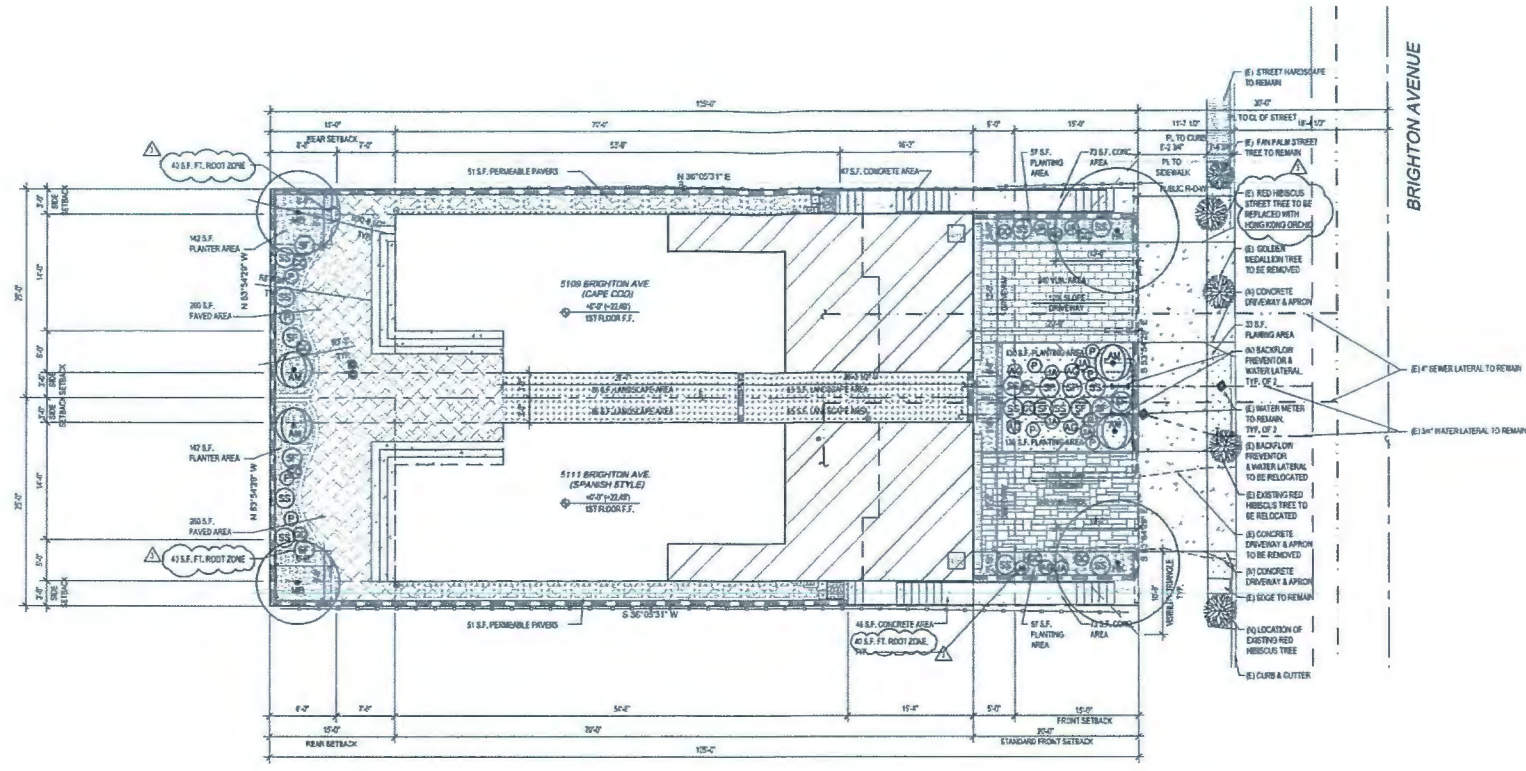
Job: Brighton Residences

Title:

BUILDING SECTIONS
(SPANISH STYLE)

Sheet:

A-4.2



LANDSCAPE PLANTING PLAN
1/8"=1'-0"

VISIBILITY TRIANGLE: NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT.

A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(j)(5)

PLANT MATERIAL LEGEND				LEGEND				IRRIGATION RESPONSIBILITY	
<p>PROPOSED TREE MATURE CROWN / DRIP LINE, TO SCALE</p> <p>PROPOSED SHRUB MATURE SIZE TO SCALE</p> <p>PROPOSED PLANT</p> <p>EXISTING STREET TREES (IN PUBLIC R-O-W)</p> <p>Fast Hibiscus - Mikawa Area Street Plantation Existing Tree to remain, calliper: 5" height: 8', spread: 6'</p> <p>TOTAL: 1</p> <p>PROPOSED STREET TREES (IN PUBLIC R-O-W)</p> <p>HONG KONG ORCHID - <i>Bauhinia blakeana</i> Proposed 24-inch box mature height: 30'-35', mature spread: 30'-40'</p> <p>TOTAL: 1</p>	<p>TYPE: QTY. / SIZE</p> <p>PROPOSED TREES: 4 / 24" BOX / NEW TREE - crown to mature size species per tag</p> <p>HK HONG KONG ORCHID - <i>Bauhinia blakeana</i> Proposed 24-inch box mature height: 30'-35', mature spread: 30'-40'</p> <p>MB MAJESTIC BEAUTY - <i>Amelanchier</i> Proposed 24-inch box mature height: 15-21', mature spread: 8-10'</p> <p>TOTAL: 4</p>	<p>QTY.</p> <p>1</p> <p>1</p> <p>TOTAL: 2</p>	<p>QTY.</p> <p>2</p> <p>2</p> <p>TOTAL: 4</p>	<p>LARGE GROWING PERENNIAL LARGE SHRUBS: 22 / 15 GAL.</p> <p>AM AMERICANA MARGRATA - <i>Agave</i> mature height: 4'-5', mature spread: 4'-5'</p> <p>TOTAL: 4</p> <p>MEDIUM GROWING PERENNIAL MEDIUM SHRUBS: 22 / 5 GAL.</p> <p>SF STICKS OF FIRE - <i>Euphorbia tirucalli</i> mature height: 4'-5', mature spread: 3'-5'</p> <p>SS SHAWNSON - <i>Agave</i> mature height: 2'-3', mature spread: 3'</p> <p>TOTAL: 22</p>	<p>QTY.</p> <p>4</p> <p>10</p> <p>12</p> <p>TOTAL: 26</p>	<p>LOW GROWING MASSING PERENNIALS SMALL - MED. SHRUBS: 32 / 1 GAL.</p> <p>P PADDLE PLANT - <i>Kalanchoe pinnatifida</i> mature height: 1'-2', mature spread: 1'-2'</p> <p>AG AFTERGLOW - <i>Echeveria</i> Also performs var. <i>distans</i> mature height: 1', mature spread: 3'-5'</p> <p>JA JEWELLED ALDE - <i>Also performs var. distans</i> mature height: 1', mature spread: 3'-5'</p> <p>GC GOLDEN BARRIL CACTUS <i>Echinocactus Griseus</i> mature height: 2', mature spread: 2'</p> <p>TOTAL: 32</p>	<p>AREA OF NEW UNDERGROUND PARKING</p> <p>AREA OF NEW TWO-STORY RESIDENCE</p> <p>EXISTING CONCRETE SLAB AS SHOWN</p> <p>NEW CONCRETE SLAB AS SHOWN</p> <p>NEW #4 DECOMPOSED GRAVEL</p> <p>DRIP PATH AS SHOWN</p> <p>NEW PERMEABLE PAVERS</p> <p>NEW PERMEABLE PAVERS AT DRIVEWAY</p> <p>NEW PERMEABLE PAVERS AT DRIVEWAY</p> <p>PROPOSED TYPE: QTY. / SIZE / PURPOSE</p> <p>EVERGREEN</p> <p>GROUND COVER: 25 / 1 GAL. / GROUND COVER</p> <p><i>Pilea, Reyes Carrizosa -</i> <i>Convolvulaceae</i> mature height: 2', mature spread: 6'</p>	<p>IRRIGATION RESPONSIBILITY</p> <p>AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC §142.0403 (e) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.</p> <p>A DRIP SYSTEM OF NOT MORE THAN 1 GPM SHALL BE PROVIDED, USING THE RAINFOREST 8 SERIES DRIP HEADS, OR EQUAL.</p> <p>MAINTENANCE RESPONSIBILITY</p> <p>ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOME OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY HOME OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THIS PERMIT.</p> <p>DESIGN STATEMENT</p> <p>DESIGN INTENT: TO KEEP WITH NATIVE DROUGHT-RESISTANT PLANTS THAT ARE USABLE IN THE SAN DIEGO REGION. PLANTER AREA PROVIDED IN FRONT OF RESIDENCE, IN STREET YARD AREA. PEDESTRIAN CIRCULATION INCLUDES NEW FRONT YARD, NEW DRIVEWAY TO UNDERGROUND GARAGE, AND NEW WALKWAY TO FIRST FLOOR ENTRY.</p> <p>THE PERMITTEE OR SUBSEQUENT OWNER SHALL MAINTAIN ALL LANDSCAPE IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED. THE TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO ITS MATURE HEIGHT AND SPREAD.</p>	
<p>TOTAL LANDSCAPED AREA</p> <p>TOTAL LANDSCAPED AREA: 1,002 S.F. TOTAL HARDSCAPE AREA: 1,299 S.F.</p>		<p>GENERAL NOTES</p> <ol style="list-style-type: none"> ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE SAN DIEGO CITY ORDINANCE: THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS. PROVIDE BUILDING ADDRESS THAT ARE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER PHPS POLICY P40-4 (UPC 901.4.A) ALL OUTDOOR LIGHTING SHALL BE SHADDED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED. DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. MINIMUM TREE SEPARATION DISTANCE: IMPROVEMENT: MINIMUM DISTANCE TO STREET TREE, TRAFFIC SIGNALS (STOP SIGNS)-25'; UNDERGROUND UTILITY LINES-5'; ABOVE GROUND UTILITY LINES-10'; DRIVEWAY (ENTRIES)-10'; INTERSECTIONS-25'; SEWER LINES-10'. THE CONSTRUCTION DOCUMENTS INCLUDING IRRIGATION AND PLANTING PLANS, DETAILS AND SPECIFICATIONS COMPLY WITH SAN DIEGO MUNICIPAL CODE CHAPTER 14: GENERAL REGULATIONS, ARTICLE 2: GENERAL DEVELOPMENT REGULATIONS, DIVISION 4: LANDSCAPE REGULATIONS (142.040), AND THE LANDSCAPE STANDARDS SECTION OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL. 		<p>WATER CONSERVATION STATEMENT</p> <p>IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN SOUTHERN CALIFORNIA, THE FOLLOWING MEASURES SHALL BE UNDERTAKEN TO REDUCE THIS PROJECT'S DEMAND ON THE CITY OF SAN DIEGO'S AVAILABLE WATER SUPPLY:</p> <ol style="list-style-type: none"> THE IRRIGATION SYSTEM WILL BE AUTOMATIC AND WILL INCORPORATE LOW VOLUME SPRAY EMITTERS AND CONVENTIONAL LOW ANGLE SPRAY HEADS. DRIP IRRIGATION SYSTEMS MAY BE EMPLOYED WHERE CONSIDERED TO BE EFFECTIVE AND FEASIBLE. IRRIGATION VALVES SHALL BE SEGREGATED TO ALLOW FOR THE SYSTEM OPERATION IN RESPONSE TO ORIENTATION AND EXPOSURE. TURF WILL BE RESTRICTED TO HIGHLY VISIBLE STREET FRONT AREAS AND/OR AREAS WHICH MAY RECEIVE SIGNIFICANT AMOUNTS OF USE AND ENJOYMENT BY THE HOME OWNER. THE SPECIFIED TURF WILL HAVE RELATIVELY LOW WATER AND MAINTENANCE REQUIREMENTS. PLANT MATERIAL WILL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST, AND WEST EXPOSURES. SOIL WILL BE AMENDED AND PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND COVERAGE AND TO PROVIDE FOR MAXIMUM MOISTURE RETENTION AND PERCOLATION. PLANTER BEDS WILL BE MULCHED TO RETAIN SOIL MOISTURE AND REDUCE EVAPOTRANSPIRATION FROM THE ROOT ZONES. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR THE PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT OF THE VEGETATION SELECTED. 					
<p>MINIMUM TREE SEPARATION DISTANCES</p> <p>TRAFFIC SIGNAL, STOP SIGN - 20 FEET UNDERGROUND UTILITY LINES (EXCEPT SEWER) - 5 FEET SEWER LINES - 10 FEET ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDROVITS, UTILITY POLES, ETC.) - 10 FEET DRIVEWAYS - 10 FEET INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 25 FEET</p>		<p>PREPARED BY: ECOHOUSE ARCHITECTURE 2540 FRANCISCO COURT, STE. C SAN DIEGO, CA 92111 619.524.4332</p> <p>LEGAL DESCRIPTION: 6611 15TH ST SPTS 17 & 18 SPTS 7 & 8</p> <p>APR: 446-03-000</p> <p>PROJECT NAME: Brighton Residences</p> <p>SHEET TITLE: L1.1 LANDSCAPE PLAN</p> <p>SHEET COUNT: 14 OF 14</p> <p>PTS #:</p>							

BRIGHTON AVENUE RESIDENCES
5100 - 5111 Brighton Avenue
San Diego, California 92107

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Date: 4-1-16
Title: LANDSCAPE PLANTING PLAN
Sheet: L-1.1