

# 7TH AND ISLAND HOTEL



701 ISLAND AVE, SAN DIEGO, CA, 92101  
CIVIC ENTITLEMENT : 05/26/2016



05/26/2016

CIVIC ENTITLEMENT

1515 Morena Blvd  
San Diego, CA 92110  
(619) 299-6690  
FAX (619) 299-5513  
delawie.com



6/2/2016 3:09:20 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.

**PROJECT DESCRIPTION**

THIS PROJECT, A NEW CANOPY AND HAMPTON (BY HILTON) DUAL-BRAND HOTEL IS A 20-STORY CONCRETE BUILDING OF APPROXIMATELY 176,922 SF. THE HOTEL IS A HIGH-RISE STRUCTURE WITH AN OVERALL HEIGHT OF 213'-0" TO THE UPPERMOST OCCUPIED LEVEL AND CONTAINS APPROXIMATELY 324 GUESTROOMS, HOTEL AMENITIES, GYM, ROOFTOP RESTAURANT, 500 SF AFRICAN AMERICAN HERITAGE MUSEUM, HOTEL BUFFET AND LOBBY ON THE SECOND LEVEL AND HOTEL RESTAURANT AND BAR ON THE GROUND LEVEL ADJACENT TO THE URBAN OPEN SPACE. THE BASEMENT LEVEL PARKING SPACES (137 TOTAL) WILL BE VALET-ONLY, ACCESSED BY A RAMP FROM SEVENTH AVENUE AND GOING DOWN ONE TO FOUR AND A HALF LEVELS WHERE THEY WILL BE TANDEM PARKED.

THE EXTERIOR CLADDING IS A COMBINATION OF MATERIALS. THE PODIUM IS BRICK VENEER WITH PUNCHED GLASS OPENINGS. THE TOWER ABOVE HAS TWO PORTIONS, ONE IS CURTAINWALL GLAZING WITH GLASS AND ALUMINUM PANELS. THE SECOND PORTION IS GFRC EIFS WITH STOREFRONT TYPE FRAMES AND OPENINGS THAT APPEAR MORE PUNCHED. THE NORTH SIDE INTRODUCES PAINTED, PATTERNED CONCRETE AT SHEAR WALL ELEMENTS.

AT GRADE, THE HOTEL RESTAURANT AND BAR WILL INCLUDE 3,137 SF OF URBAN OPEN SPACE AND OPENS TO STREET LEVEL ACTIVITY WITH CASUAL SEATING OUTSIDE THE LOBBY ON ISLAND AVENUE AND FENCED RESTAURANT SEATING ON THE 7TH AVENUE SIDE. THE ENTRY TO THE ROOFTOP RESTAURANT AND TWO HOTELS ARE ON THE SOUTHERN ISLAND AVENUE SIDE WITH AN AREA OF THE URBAN OPEN SPACE FOR LOCAL FOOD VENDORS INCORPORATED INTO THE PROGRAM.

THE 18 GUESTROOM FLOORS ON THE SOUTH SIDE ARE TWISTED AT THE SIXTH LEVEL TO FOCUS THE VIEWS SOUTH AND WEST TOWARD SAN DIEGO BAY AND 7TH AVE. THE SECOND LEVEL INCLUDES AN EXTERIOR TERRACE FOR HOTEL GUESTS ONLY AND ACCESS IS FROM THE HAMPTON LOBBY. THE ROOFTOP RESTAURANT IS FOCUSED AROUND VIEWS TO THE BAY, EAST VILLAGE AND PETCO PARK.

**PROJECT SUMMARY**

- 20 STORY, DJAL-BRAND HOTEL WITH SEPARATE LOBBY SPACES
- 4.5 UNDERGROUND PARKING LEVELS, VALET ONLY (INCLUDES BIKE STORAGE & 137 PARKING SPACES)
- 18 GUESTROOM LEVELS (324 TOTAL ROOMS)
- ROOFTOP RESTAURANT
- 2,750 SF OF URBAN OPEN SPACE
- CULTURAL CENTER DEDICATED TO THE BLACK HISTORIC SOCIETY ON THE SECOND FLOOR (500 SF)

**CULTURAL USE DESCRIPTION**

THE SPACE IS FOR THE BLACK HISTORIC SOCIETY TO CREATE AN INTERPRETIVE CENTER DEDICATED TO PRESENTING & PRESERVING THE HISTORY OF AFRICAN AMERICANS ON THE BLOCK & IN THE LOCAL COMMUNITY. THE SPACE WILL BE INDEFINITELY LEASED TO THE BHS AT NO COST & WILL BE FOR THE BENEFIT OF THE BHS.

**PDP DEVIATIONS FINDINGS NARRATIVE**

**REQUESTED DEVIATIONS:**

- 1) ALLEVATION OF STANDARD (14'-0" X 35'-0") OFF-STREET LOADING DOCK REQUIREMENTS PER CCPDO §156.0313(b)(2)(B)(i)
- 2) ALLEVATION OF TOWER SETBACK REQUIREMENTS ON E, S & W FACADES PER SDMC 156.0310
- 3) REQUIRED PARKING PROVIDED TO BE TANDEM VALET ONLY, PER SDMC 142.0555.

**DEVIATION FINDINGS:**

1. OFF-STREET LOADING IS PROVIDED. THE DEVIATION WE ARE REQUESTING IS TO REDUCE THE OVERALL DEPTH BY 5'-0" FROM 35'-0" TO 30'-0" CLEAR. THE FINDINGS ILLUSTRATED ON SHEET 46 OF THIS DRAWING PACKAGE SHOW THE STANDARD DELIVERY VEHICLE WITH RESPECT TO THIS REDUCED SIZE, AND THE DESIGN TEAM FEELS THAT PROVIDING THE DEPTH SHOWN IS SUFFICIENT TO ALLOW DELIVERY VEHICLES TO PULL INTO THE LOADING AREA, CLOSE THE EXTERIOR DOOR AND LOAD/UNLOAD PRODUCTS.
2. TOWER SETBACK REQUIREMENTS:
  - A. TOWER SETBACK REQUIREMENTS SET FORTH IN SDMC 156.0310 FOR THE PROPOSED STREET (SOUTH & EAST) FACADES MAY BE EXEMPTED FROM SETBACK REQUIREMENTS PER THE FOLLOWING:
    - "TWO SIDES OF A TOWER MAY BE EXEMPTED FROM THIS SETBACK REQUIREMENT WHEN IT IS DETERMINED THROUGH THE DESIGN REVIEW PROCESS THAT THE RESULTING DESIGN IS IMPROVED AND DOES NOT RESULT IN MASSING INCONSISTENT WITH THE NEIGHBORHOOD. THIS PROVISION DOES NOT APPLY WITHIN THE LITTLE ITALY SUN ACCESS OVERLAY DISTRICT."
  - B. TOWER SETBACK REQUIREMENTS SET FORTH IN SDMC 156.0310 FOR THE PROPOSED INTERIOR PROPERTY LINE (WEST) FACADE MAY BE EXEMPTED FROM SETBACK REQUIREMENTS PER THE FOLLOWING:
    - "IF THE APPLICANT CAN DEMONSTRATE THAT CONSTRUCTION TECHNIQUES PERMIT GLAZING WITH VIEWS INTO, AND OUT FROM, HABITABLE AREAS WITHIN THE TOWER, THIS SETBACK MAY BE REDUCED TO 10 FEET IF ANY EXISTING TOWER ON AN ADJACENT PARCEL IS LOCATED A MINIMUM OF 40 FEET FROM THE PROPOSED TOWER."
    - THE HISTORICAL NATURE OF THE TIVOLI & MAX. ALLOWABLE S.F. LIMITS ON HOTEL Z SITE WILL PROHIBIT ANY TOWER FROM BEING CONSTRUCTED ALONG THE WEST PROPERTY LINE. GLAZING & VIEWS INTO AND OUT OF PROPOSED TOWER WILL BE PRESERVED.
3. PER SDMC 142.0555, TANDEM VALET ONLY PARKING MAY BE PROVIDED FOR ASSIGNED EMPLOYEE SPACES, RESTAURANT USES AND BED & BREAKFAST ESTABLISHMENTS.

**PROJECT DATA**

PROJECT NAME: 7TH AND ISLAND HOTEL  
 PROJECT ADDRESS: 701 ISLAND AVE, SAN DIEGO, CA 92101

OWNER: 7TH & ISLAND, LLC

APN (PROPOSED BUILDING): 534-111-08, -09

ZONING: CCPD-ER

EXISTING STAR HOTEL (TO BE DEMOLISHED): CONSTRUCTED 1914

EXISTING VALENCIA (TO BE DEMOLISHED): CONSTRUCTED 1927

EXISTING USE: SRO HOTEL, WAREHOUSE, PARKING LOT

PROPOSED USE: HOTEL

PROPOSED START DATE: AUGUST, 2017

REQUESTING DEVIATION:
 

- LOADING BAY SIZE
- STREET SIDE TOWER SETBACK - SOUTH AND EAST SIDES
- INTERIOR PROP. LINE TOWER SETBACK, WEST SIDE ONLY

**LEGAL DESCRIPTION**

PARCEL 1: APN 535-111-08

LOTS G AND H IN BLOCK 97 OF HORTON'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY L.L. LOCKLING ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

PARCEL 2: APN 535-111-09

LOT I, IN BLOCK 97 OF HORTON'S ADDITION, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY L.L. LOCKLING IN THE OFFICE OF THE RECORDER OF SAID SAN DIEGO COUNTY.

**BUILDING CODE DATA**

OCCUPANCY CLASSIFICATION: A, B, R-1, S  
 (CBC CHAPTER 3)

EXISTING BUILDING INFORMATION

HEIGHT: 2 STORY  
 BUILDING HEIGHT: 30' - 0"

PROPOSED BUILDING INFORMATION

HEIGHT: 20 STORY  
 BUILDING HEIGHT: 239' - 6"  
 TYPE OF CONSTRUCTION: 1-A

LEVEL	OVERALL SF
1	8,042 SF
2	8,458 SF
3-5	11,150 SF x 3 = 33,450 SF
6-19	8,633 SF X 14 = 120,862 SF
20	6,110 SF
<b>PROPOSED GROSS AREA TOTAL</b>	<b>176,922 SF</b>
EXEMPTION (CULTURAL USE)	500 SF
<b>PROPOSED NET AREA</b>	<b>176,422 SF</b>

REQUIRED PARKING: 0.3 SPACES PER GUESTROOM  
 PROPOSED PARKING: 137 (VALET ONLY)

URBAN OPEN SPACE PROVIDED: 2,750 SF

**APPLICABLE CODES**

APPLICABLE CODES & STANDARDS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

1. TITLE 24, PART 1, 2013 BUILDING STANDARDS ADMINISTRATIVE CODE
2. TITLE 24, PART 2, 2013 CALIFORNIA BUILDING CODE (CBC)
3. TITLE 24, PART 3, 2013 CALIFORNIA ELECTRICAL CODE
4. TITLE 24, PART 4, 2013 CALIFORNIA MECHANICAL CODE
5. TITLE 24, PART 5, 2013 CALIFORNIA PLUMBING CODE
6. TITLE 24, PART 6, 2013 CALIFORNIA ENERGY CODE
7. TITLE 24, PART 9, 2013 CALIFORNIA FIRE CODE
8. TITLE 24, PART 11, 2013 CALIFORNIA GREEN BUILDING STANDARDS
9. TITLE 19, PUBLIC SAFETY, STATE FIRE MARSHALL
10. AMERICAN WITH DISABILITIES ACT (ADA) LATEST EDITION

**GUESTROOM COUNT**

	GROUND	LEVEL 2	LEVEL 3-5	LEVEL 6-12	LEVEL 13-16	LEVEL 17-18	LEVEL 19	LEVEL 20	TOTAL
Q QUEEN	0	0	5	5	5	6	6	2	90
Q QUEEN (ADA)	0	0	1	1	1	0	0	0	14
KING	0	0	17	12	12	8	12	3	203
KING (ADA)	0	0	2	0	0	2	0	1	11
QQ SUITE	0	0	0	0	0	0	1	1	1
K SUITE	0	0	0	0	0	0	1	1	5
<b>TOTAL ROOM COUNT</b>									<b>324</b>

**CONTACT INFORMATION**

**OWNER/CLIENT**  
 7TH & ISLAND, LLC.  
 515 5TH AVE, SUITE 200  
 SAN DIEGO, CA 92101  
 TEL: 619.379.1850  
 FAX: 619.376.1820  
 CONTACT: SAJAN HANSJI

**ARCHITECT**  
 DELAWIE  
 1515 MORENA BLVD  
 SAN DIEGO, CA 92110  
 TEL: 619.299.6690  
 FAX: 619.299.5513  
 CONTACT: FRANK TERNASKY

**LANDSCAPE ARCHITECT**  
 GROUND LEVEL  
 2605 STATE ST., SUITE B  
 SAN DIEGO, CA 92105  
 TEL: 619.325.1990  
 FAX:  
 CONTACT: BRAD LENAHAN

**PERMITTING AND PLANNING AGENCY**  
 CIVIC SAN DIEGO  
 401 B STREET, SUITE 400  
 SAN DIEGO, CA 92101  
 TEL: 619.235.2200  
 FAX: 619.236.9148  
 CONTACT: STEVEN BOSSI

**CIVIL ENGINEER**  
 NASLAND ENGINEERING  
 4740 RUFFNER ST.  
 SAN DIEGO, CA 92111  
 TEL: 858.292.7770  
 FAX: 858.571.3241  
 CONTACT: SAMUEL WAISBORD

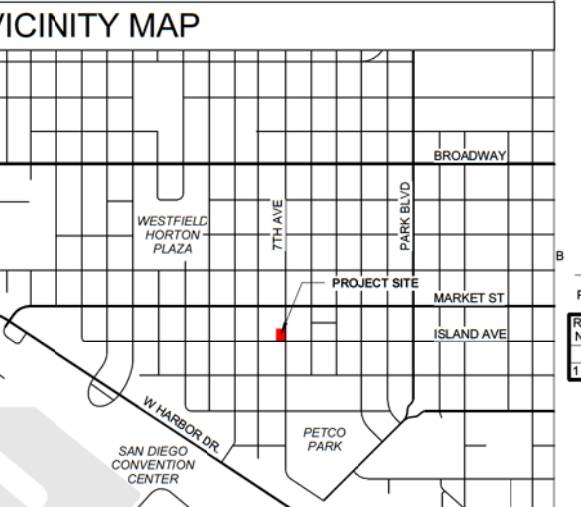
**ACOUSTICAL ENGINEER**  
 ROTHERMEL ASSOCIATES  
 1226 BOUQUET CIRCLE  
 THOUSAND OAKS, CA 91362  
 TEL: 805.368.6906  
 FAX: 805.832.6337  
 CONTACT: MARK ROTHERMEL

**PERMIT DATA**

CCDP: OVERALL HOTEL PROJECT  
 CCPDP: REQUESTED DEVIATIONS FOR HOTEL PROJECT  
 NUP 1: PERMIT FOR ROOFTOP PROGRAM &  
 NUP 2: PERMIT FOR SIDEWALK CAFE ON 7TH AVE

**PROJECT SHEET INDEX**

ARCHITECTURAL	NO.	TITLE
COVER SHEET	1	
PROJECT DATA	2	
PROJECT DATA	3	
VICINITY PHOTOS	4	
VICINITY ELEVATIONS	5	
CIVIL TOPO SURVEY	6	
SITE PLAN	7	
LANDSCAPE PLAN - LVL 1	8	
LANDSCAPE PLAN - LVL 20	9	
VALET-ONLY PARKING LEVEL 4.5 PLAN	10	
VALET-ONLY PARKING LEVEL B2, B3 & B4 PLAN	11	
VALET-ONLY OVERALL BASEMENT LEVEL B1 PLAN	12	
OVERALL LEVEL 1 PLAN	13	
OVERALL LEVEL 2 PLAN	14	
OVERALL LEVELS 3-5 PLAN	15	
OVERALL LEVELS 6-12 PLAN	16	
OVERALL LEVELS 13-16 PLAN	17	
OVERALL LEVELS 17-18 PLAN	18	
OVERALL LEVEL 19 PLAN	19	
OVERALL LEVEL 20 PLAN	20	
OVERALL ROOF PLAN	21	
SOUTH ELEVATION	22	
EAST ELEVATION	23	
NORTH ELEVATION	24	
WEST ELEVATION	25	
EAST ELEVATION MATERIAL PALETTE	26	
EAST ENLARGED PLAN & ELEVATION	27	
SOUTH ELEVATION MATERIAL PALETTE	28	
SOUTH ENLARGED PLAN & ELEVATION	29	
BUILDING SECTION - SOUTH	30	
BUILDING SECTION - EAST	31	
SHADOW STUDIES	32	
3D VIEW - SW OVERALL	33	
3D VIEW - SE OVERALL	34	
3D VIEW - NW OVERALL	35	
3D VIEW - NE OVERALL	36	
3D VIEW - AERIAL STUDY	37	
3D VIEW - URBAN OPEN SPACE	38	
3D VIEW - 7TH & ISLAND GROUND LVL-DAY	39	
3D VIEW - 7TH & ISLAND GROUND LVL-NIGHT	40	
EXISTING HOTEL Z - FLOOR PLANS	41	
SETBACK EXHIBIT	42	
LOADING AREA EXHIBIT	43	
Grand total:	43	



**F.A.R. CALCULATIONS**

	7TH & ISLAND	HOTEL Z	COMBINED
CURRENT PROJECT SITE AREA	15,000	12,500	27,500
BASIC ALLOWED FAR (15-06-3 FIG.H)	6.0	90,000	75,000
FAR BOUNSES			
URBAN OPEN SPACE			
10% OF SITE (1,500+1,250=2,750 PLAZA) = 0.5	0.5		13,750
GREEN BUILDING			
- PERFORMANCE PATH			
CALGREEN TIER II OR LEED SILVER = 1.0	1.0	15,000	
BONUS PAYMENT (MAX FOR THIS SITE = 1.0)	0.955		26,250
<b>TOTAL AREA ACHIEVED WITH BOUNSES</b>			<b>220,000</b>
MAX ALLOWABLE POSSIBLE W/ BOUNSES = 8.0 (PG 15-0603 FIG. L)			220,000
EXISTING BUILDING AREA (HOTEL Z)			40,752
REMAINING ALLOWABLE AREA			179,248
PROPOSED NEW BUILDING AREA			176,922



1515 Morena Blvd  
 San Diego, CA 92110  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com



**7TH AND ISLAND HOTEL**  
 701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title

**PROJECT DATA**

Sheet No.  
**2**

5/10/2016 2:21:58 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**C1 MATERIAL BOARD**

3" = 1'-0"

LEED 2009 for New Construction and Major Renovations		7th & Island Hotel	
Project Checklist			
<b>19</b>	<b>7 Sustainable Sites</b>	Possible Points: <b>26</b>	
Y	Prereq 1 Construction Activity Pollution Prevention	1	
5	Credit 1 Site Selection	1	
1	Credit 2 Development Density and Community Connectivity	5	
6	Credit 3 Brownfield Redevelopment	1	
1	Credit 4.1 Alternative Transportation-Public Transportation Access	6	
3	Credit 4.2 Alternative Transportation-Bicycle Storage and Changing Rooms	1	
2	Credit 4.3 Alternative Transportation-Low-Emitting and Fuel-Efficient Vehicles	3	
1	Credit 4.4 Alternative Transportation-Parking Capacity	2	
1	Credit 5.1 Site Development-Protect or Restore Habitat	1	
1	Credit 5.2 Site Development-Maximize Open Space	1	
1	Credit 6.1 Stormwater Design-Quantity Control	1	
1	Credit 6.2 Stormwater Design-Quality Control	1	
1	Credit 7.1 Heat Island Effect-Non-roof	1	
1	Credit 7.2 Heat Island Effect-Roof	1	
1	Credit 8 Light Pollution Reduction	1	
<b>4</b>	<b>2 4 Water Efficiency</b>	Possible Points: <b>10</b>	
Y	Prereq 1 Water Use Reduction-20% Reduction	2	
2	Credit 1 Water Efficient Landscaping	2 to 4	
2	Credit 2 Innovative Wastewater Technologies	2	
2	Credit 3 Water Use Reduction	2 to 4	
<b>11</b>	<b>5 19 Energy and Atmosphere</b>	Possible Points: <b>35</b>	
Y	Prereq 1 Fundamental Commissioning of Building Energy Systems		
Y	Prereq 2 Minimum Energy Performance		
Y	Prereq 3 Fundamental Refrigerant Management		
7	Credit 1 Optimize Energy Performance	1 to 19	
3	Credit 2 On-Site Renewable Energy	1 to 7	
2	Credit 3 Enhanced Commissioning	2	
1	Credit 4 Enhanced Refrigerant Management	2	
3	Credit 5 Measurement and Verification	3	
2	Credit 6 Green Power	2	
<b>6</b>	<b>8 Materials and Resources</b>	Possible Points: <b>14</b>	
Y	Prereq 1 Storage and Collection of Recyclables		
3	Credit 1.1 Building Reuse-Maintain Existing Walls, Floors, and Roof	1 to 3	
1	Credit 1.2 Building Reuse-Maintain 50% of Interior Non-Structural Elements	1	
2	Credit 2 Construction Waste Management	1 to 2	
2	Credit 3 Materials Reuse	1 to 2	
<b>2</b>	<b>2 1 Indoor Environmental Quality</b>	Possible Points: <b>15</b>	
Y	Prereq 1 Minimum Indoor Air Quality Performance		
Y	Prereq 2 Environmental Tobacco Smoke (ETS) Control		
1	Credit 1 Outdoor Air Delivery Monitoring	1	
1	Credit 2 Increased Ventilation	1	
1	Credit 3.1 Construction IAQ Management Plan-During Construction	1	
1	Credit 3.2 Construction IAQ Management Plan-Before Occupancy	1	
1	Credit 4.1 Low-Emitting Materials-Adhesives and Sealants	1	
1	Credit 4.2 Low-Emitting Materials-Paints and Coatings	1	
1	Credit 4.3 Low-Emitting Materials-Flooring Systems	1	
1	Credit 4.4 Low-Emitting Materials-Composite Wood and Agrifiber Products	1	
1	Credit 5 Indoor Chemical and Pollutant Source Control	1	
1	Credit 6.1 Controllability of Systems-Lighting	1	
1	Credit 6.2 Controllability of Systems-Thermal Comfort	1	
1	Credit 7.1 Thermal Comfort-Design	1	
1	Credit 7.2 Thermal Comfort-Verification	1	
1	Credit 8.1 Daylight and Views-Daylight	1	
1	Credit 8.2 Daylight and Views-Views	1	
<b>4</b>	<b>2 2 Innovation and Design Process</b>	Possible Points: <b>6</b>	
1	Credit 1.1 Innovation in Design: Specific Title	1	
1	Credit 1.2 Innovation in Design: Specific Title	1	
1	Credit 1.3 Innovation in Design: Specific Title	1	
1	Credit 1.4 Innovation in Design: Specific Title	1	
1	Credit 1.5 Innovation in Design: Specific Title	1	
1	Credit 2 LEED Accredited Professional	1	
<b>2</b>	<b>2 2 Regional Priority Credits</b>	Possible Points: <b>4</b>	
1	Credit 1.1 Regional Priority: Specific Credit	1	
1	Credit 1.2 Regional Priority: Specific Credit	1	
1	Credit 1.3 Regional Priority: Specific Credit	1	
1	Credit 1.4 Regional Priority: Specific Credit	1	
<b>58</b>	<b>13 39 Total</b>	Possible Points: <b>110</b>	

**A1 LEED CHECKLIST**

12" = 1'-0"

CENTRE CITY GREEN SUSTAINABILITY INCENTIVE CHECKLIST					
Project Name/Address: 7th & Island Hotel		Sustainability Points = 45		Performance Level = High Performance Green	
Select Project type: Mixed Use		Green = 25+ High Performance Green = 45+ Signature Green = 60+		Total Points Possible = 60	
SF of Building: 178,443		Annual kWh Saved = 0		Annual MT CO2e Saved = #VALUE!	
Number of Residential Units: N/A		Annual gallons H2O Saved = 0			
Number of Hotel Rooms: 324					
# of Building Occupants: 1,300					
Select Path: Performance					
Select Application Stage: Entitlement					

Indicator Impact	Green Measure	Points Possible	Attempted	Instructions	Points Attempted
Performance	CAL Green Tier 1	25	<input type="checkbox"/>		-
	CAL Green Tier 2	45	<input type="checkbox"/>		-
	LEED Silver	45	<input checked="" type="checkbox"/>	Complete entitlement form located on the L&L&P 100	45
	LEED Gold+	60	<input type="checkbox"/>		-
Prescriptive	Natural ventilation	10	<input type="checkbox"/>		-
	On-site PV: 30 kW	10	<input type="checkbox"/>		-
	Cogeneration: 30 kW	20	<input type="checkbox"/>		-
	Exterior shading	5	<input type="checkbox"/>		-
	Energy Star equipment / appliances	10	<input type="checkbox"/>		-
	High efficiency plumbing fixtures	20	<input type="checkbox"/>		-
	Chemical-free cooling tower	5	<input type="checkbox"/>		-
	Daylighting with controls	5	<input type="checkbox"/>		-
	High efficiency water heating	15	<input type="checkbox"/>		-
	Modular construction	N/A	<input type="checkbox"/>		-
	Enhanced Transportation	5	<input type="checkbox"/>		-
	Enhanced Green Streets	5	<input type="checkbox"/>		-
	Eco-Roof	10	<input type="checkbox"/>		-
	Exterior Lighting	5	<input type="checkbox"/>		-
	Savings By Design	5	<input type="checkbox"/>		-
Innovation	5	<input type="checkbox"/>		-	

**LEED Certification**

Centre City Green Requirement: Achieve a LEED Silver or higher rating

**Entitlement Commitment:**

Level of LEED certification that the project is pursuing:

Silver  
 Gold  
 Platinum

LEED Rating System used:

New Construction  
 Core & Shell

Energy & Atmosphere Credit 1 Savings Expected: TBD kWh per year  
 Water Efficiency Credit 3 Savings Expected: TBD gallons

Yes, my project meets the LEED Certification requirement  
 I have attached a LEED scorecard for the project

Signature: *[Signature]* Date: 3/3/2016

**Plan Intake**

Level of LEED certification that the project is pursuing:

Silver  
 Gold  
 Platinum

LEED Rating System used:

New Construction  
 Core & Shell

Energy & Atmosphere Credit 1 Savings Expected: kWh per year  
 Water Efficiency Credit 3 Savings Expected: gallons

Yes, my project meets the LEED Certification requirement  
 I have attached a LEED scorecard for the project

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Post-construction Verification**

Level of LEED certification that the project has achieved:

Silver  
 Gold  
 Platinum

LEED Rating System used:

New Construction  
 Core & Shell

Energy & Atmosphere Credit 1 Savings Documented: kWh per year  
 EA Credit 1 Points Awarded: \_\_\_\_\_  
 Water Efficiency Credit 3 Savings Documented: gallons  
 WE Credit 3 Points Awarded: \_\_\_\_\_

Yes, my project meets the LEED Certification requirement  
 I have attached the project's LEED review summary.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**A4 GREEN BUILDING INCENTIVE CHECKLIST**

12" = 1'-0"



FOR REFERENCE ONLY



7TH AND ISLAND HOTEL  
701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO.	14187
REV. NO.	DATE ISSUED
1	4/22/16 CIVIC SD
	REASON

CIVIC ENTITLEMENT 05/26/2016

Sheet Title  
**PROJECT DATA**

Sheet No.  
**3**

5/25/2016 10:12:43 AM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



1 Street View: Looking North to Site



6 Street View: Corner of 7th & Island Ave looking at site



2 Street View: Looking South to Site



7 Street View: Looking across 7th St from site



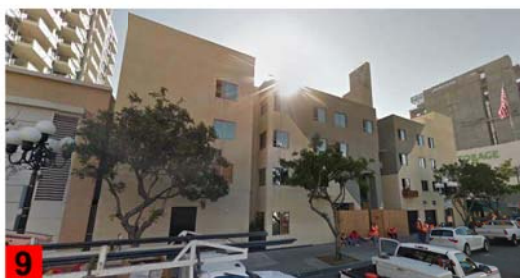
3 Street View: Looking West to Site



8 Street View: Looking at the corner of Island & 7th St



4 Street View: Looking East to Site



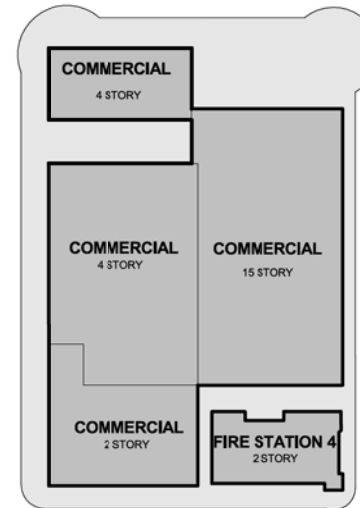
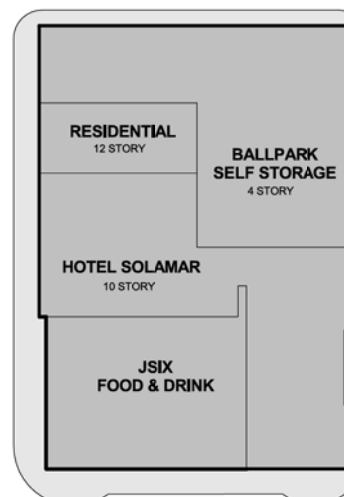
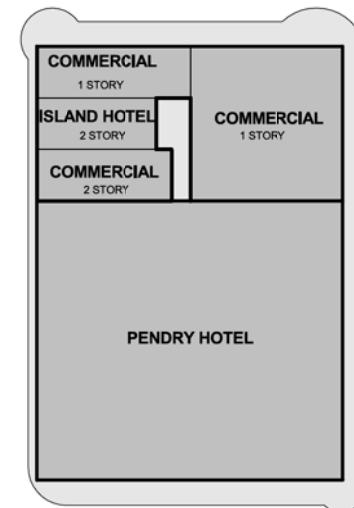
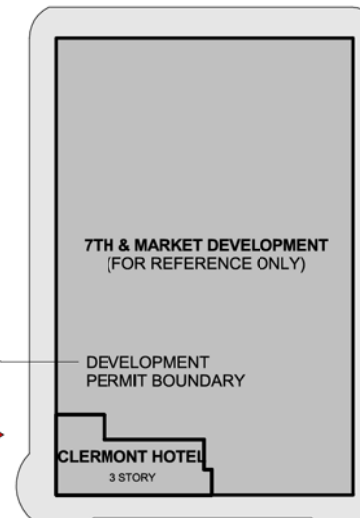
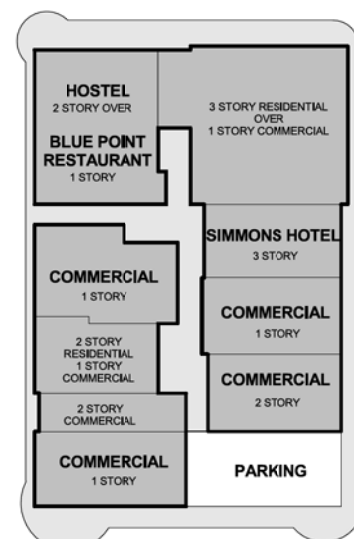
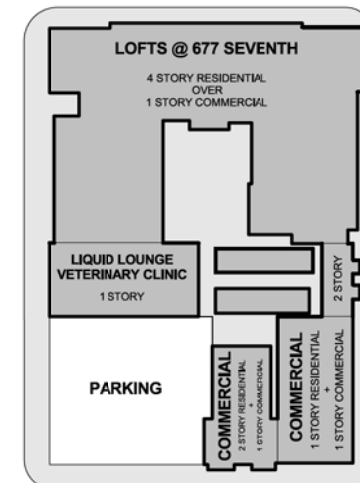
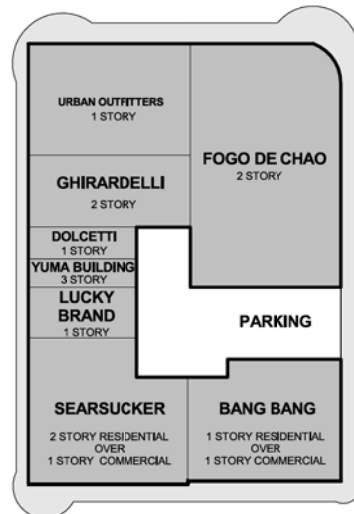
9 Street View: Looking at the east side of the Holiday Inn



5 Bird's eye view looking North-West



10 Bird's eye view looking North-East



**A3 SITE PLAN - VICINITY PHOTOS**

1/64" = 1'-0"



FOR REFERENCE ONLY

**J STREET**  
HOSPITALITY  
**7TH AND ISLAND HOTEL**

PROJECT NO.		14187
REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

Sheet Title

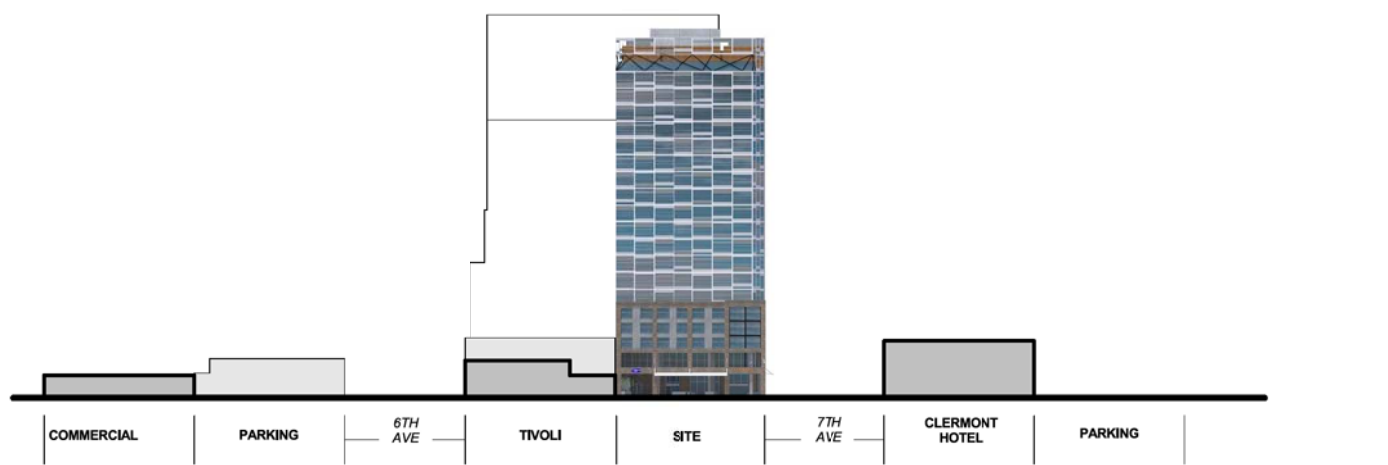
**VICINITY PHOTOS**

Sheet No.  
**4**

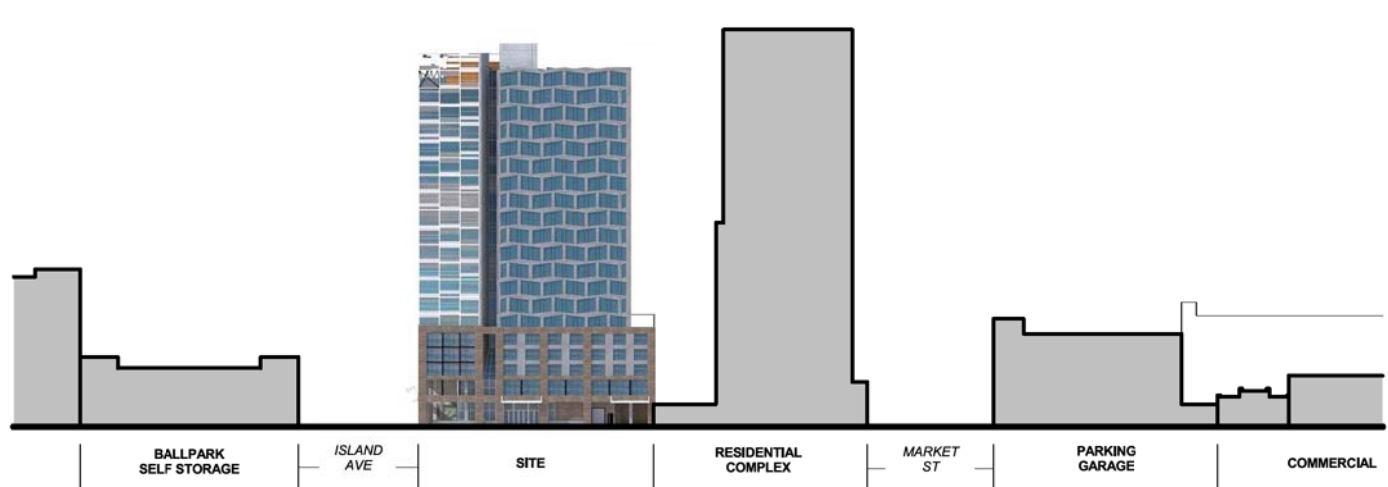
**A1 VICINITY PHOTOS**

1" = 80'-0"

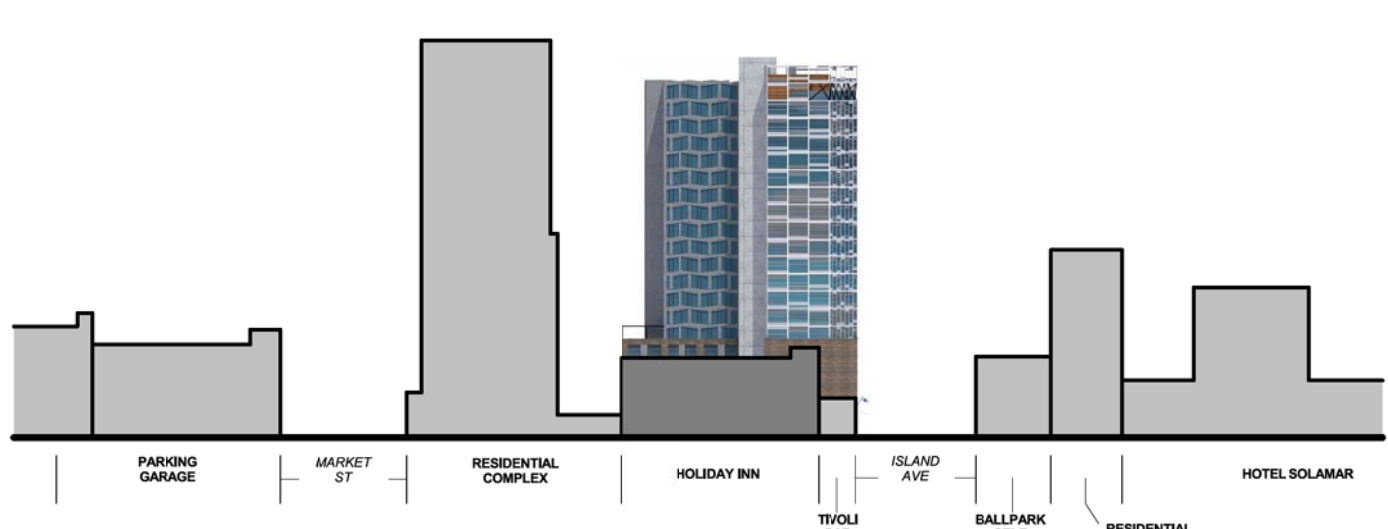
5/25/2016 10:12:44 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



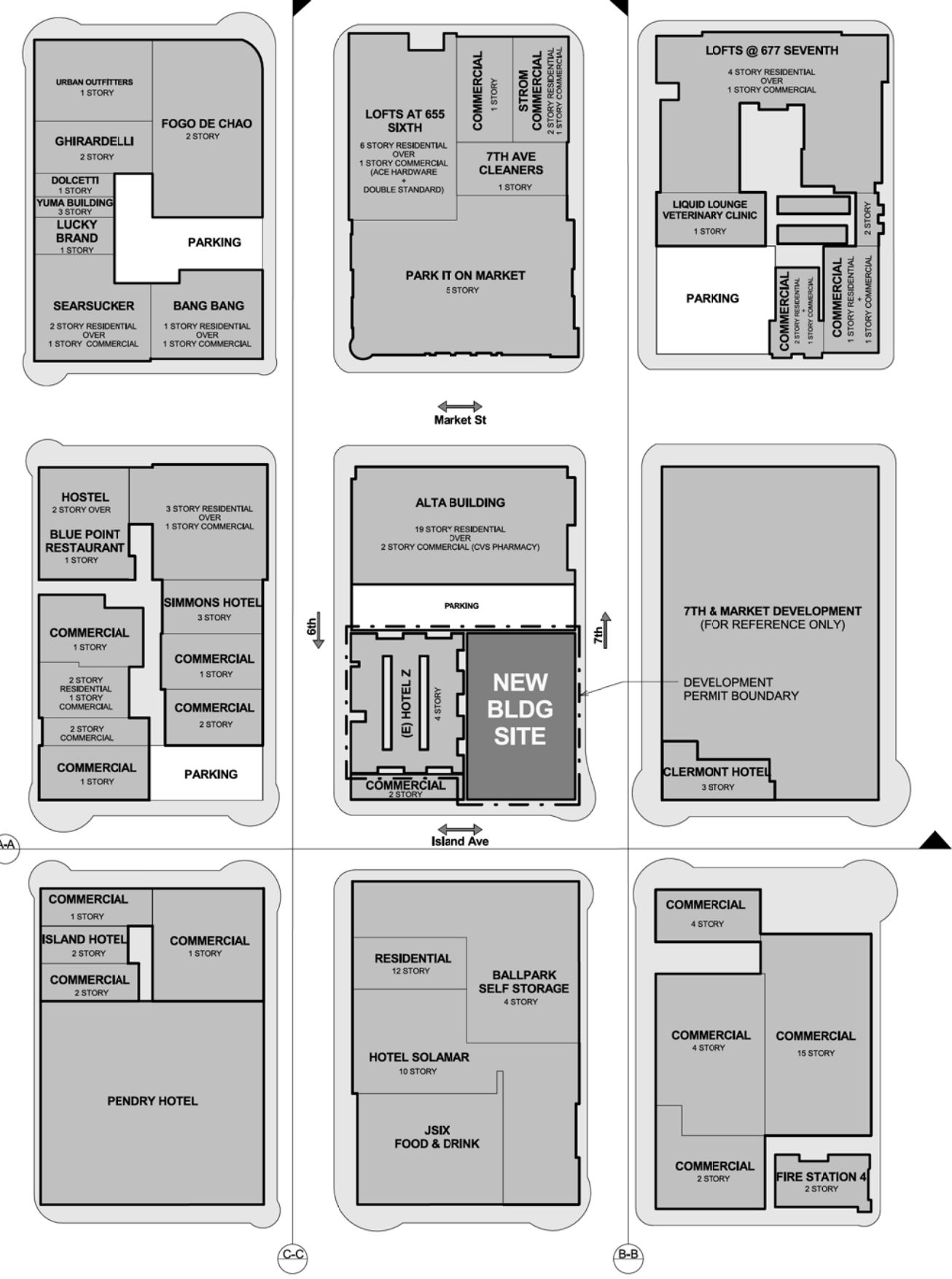
NORTH FACING STREET SECTION A-A



WEST FACING STREET SECTION B-B



EAST FACING STREET SECTION C-C



FOR REFERENCE ONLY

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

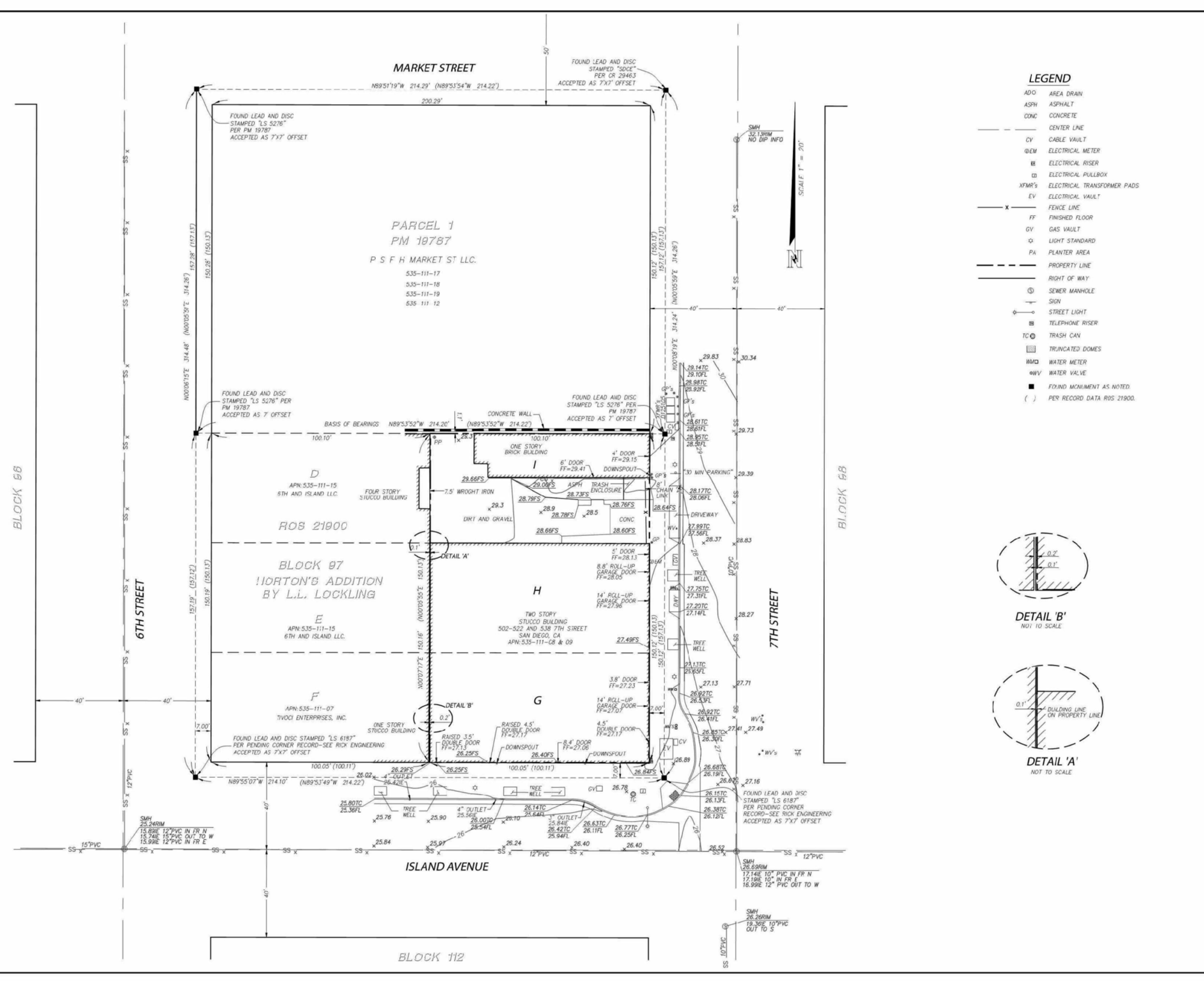
CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title

VICINITY ELEVATIONS



5/10/2016 2:22:03 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



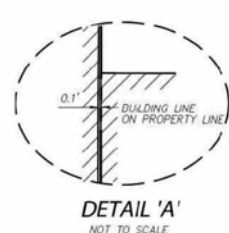
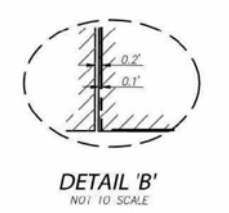
- LEGEND**
- ADO AREA DRAIN
  - ASPH ASPHALT
  - CONC CONCRETE
  - CL CENTER LINE
  - CV CABLE VAULT
  - EM ELECTRICAL METER
  - ER ELECTRICAL RISER
  - EP ELECTRICAL PULLBOX
  - XFMR'S ELECTRICAL TRANSFORMER PADS
  - EV ELECTRICAL VAULT
  - FL FENCE LINE
  - FF FINISHED FLOOR
  - GV GAS VAULT
  - LS LIGHT STANDARD
  - PA PLANTER AREA
  - PL PROPERTY LINE
  - ROW RIGHT OF WAY
  - SMH SEWER MANHOLE
  - SG SIGN
  - SL STREET LIGHT
  - TR TELEPHONE RISER
  - TC TRASH CAN
  - TD TRUNCATED DOMES
  - WM WATER METER
  - WV WATER VALVE
  - FM FOUND MEASUREMENT AS NOTED
  - RD PER RECORD DATA ROS 21900.

**BASIS OF BEARING**  
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF PARCEL 1 OF PARCEL MAP NO. 19787, PER ROS 21900.  
 I.E. N89°53'52\"/>

**BENCHMARK**  
 CITY OF SAN DIEGO BENCHMARK, BRASS PLUG SET AT THE NORTHWEST CORNER OF INTERSECTION J STREET AND FIFTH AVENUE.  
 ELEVATION = 16.057 M.S.L. DATUM

**SURVEYOR'S STATEMENT**  
 THIS IS TO CERTIFY THAT THIS SURVEY IS BASED ON A FIELD SURVEY MADE ON JANUARY 29, 2016, BY ME OR DIRECTLY UNDER MY SUPERVISION.

**DRAFT**  
 D.K. NASLAND, LS 5562 DATE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOTS G, H AND I OF BLOCK 97  
 HORTON'S ADDITION  
 SAN DIEGO, CA

**Nasland** Civil Engineering Surveying Land Planning  
 4740 Ruffner Street San Diego, CA 92111 nasland.com  
 T (858) 292-7770

REVISION	DATE	BY	REVISION	DATE	BY
ORIGINAL	2/4/2016	RLM			

SCALE 1" = 20'

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

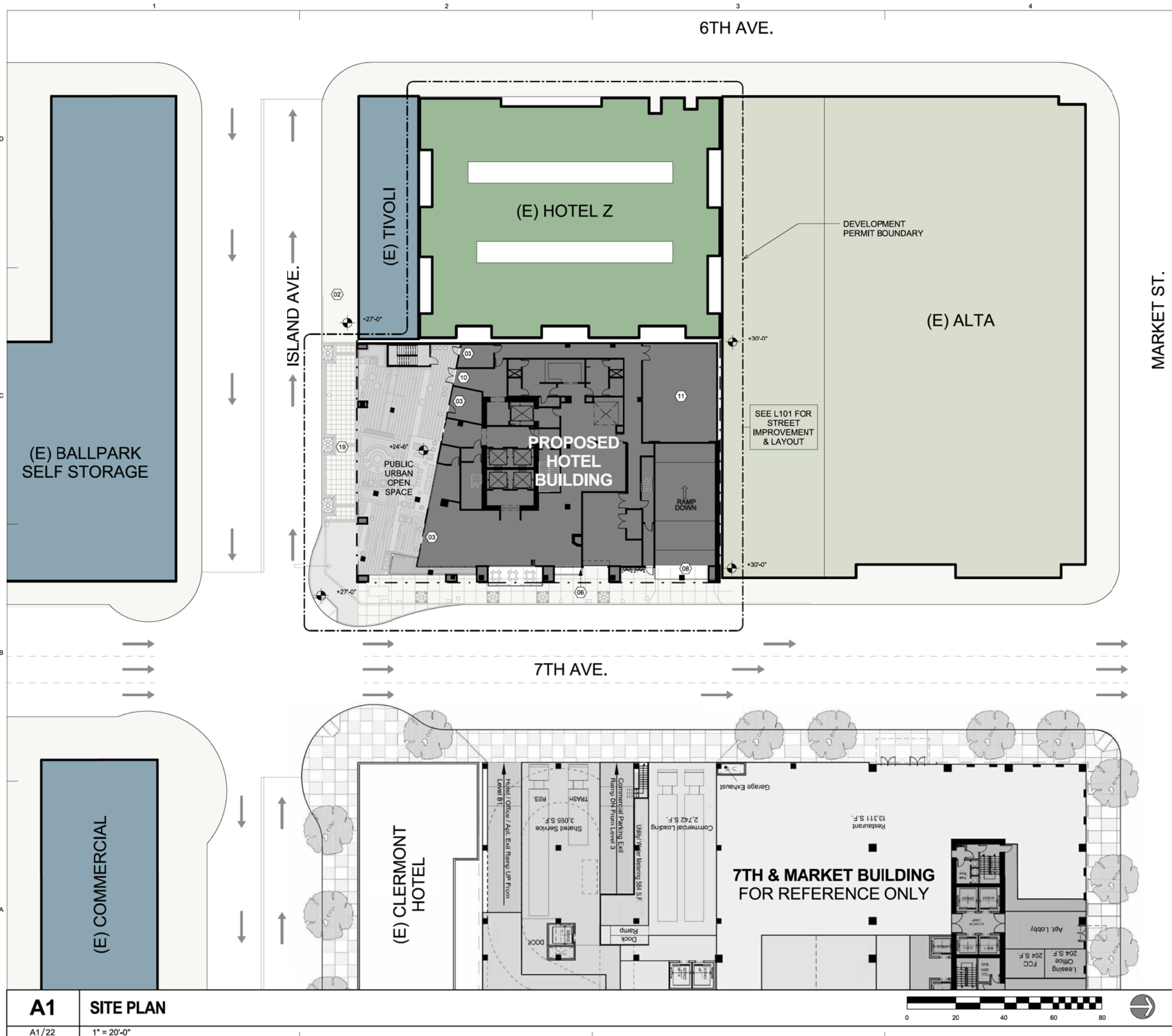
PROJECT NO. 14187

REV	DATE	ISSUED	REASON
1	4/22/16	CIVIC SD	

CIVIC ENTITLEMENT 05/26/2016

Sheet Title  
**CIVIL TOPO SURVEY**

5/25/2016 10:12:46 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
02	SIDEWALK ON GRADE
03	PRIMARY BUILDING ENTRANCE
06	BACKFLOW PREVENTION DEVICES, METERS & STANDPIPES
08	VALET GARAGE ENTRY/EXIT
10	FIRE CONTROL ROOM ACCESS
11	EXTERIOR MECHANICAL AREA
19	PASSENGER DROPOFF AREA

**COLOR LEGEND**

- SITE
- SITE - PUBLIC URBAN OPEN SPACE
- SIDEWALK
- HOTEL
- RESIDENTIAL
- COMMERCIAL
- PARKING

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

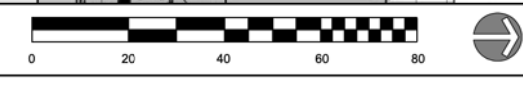
CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title

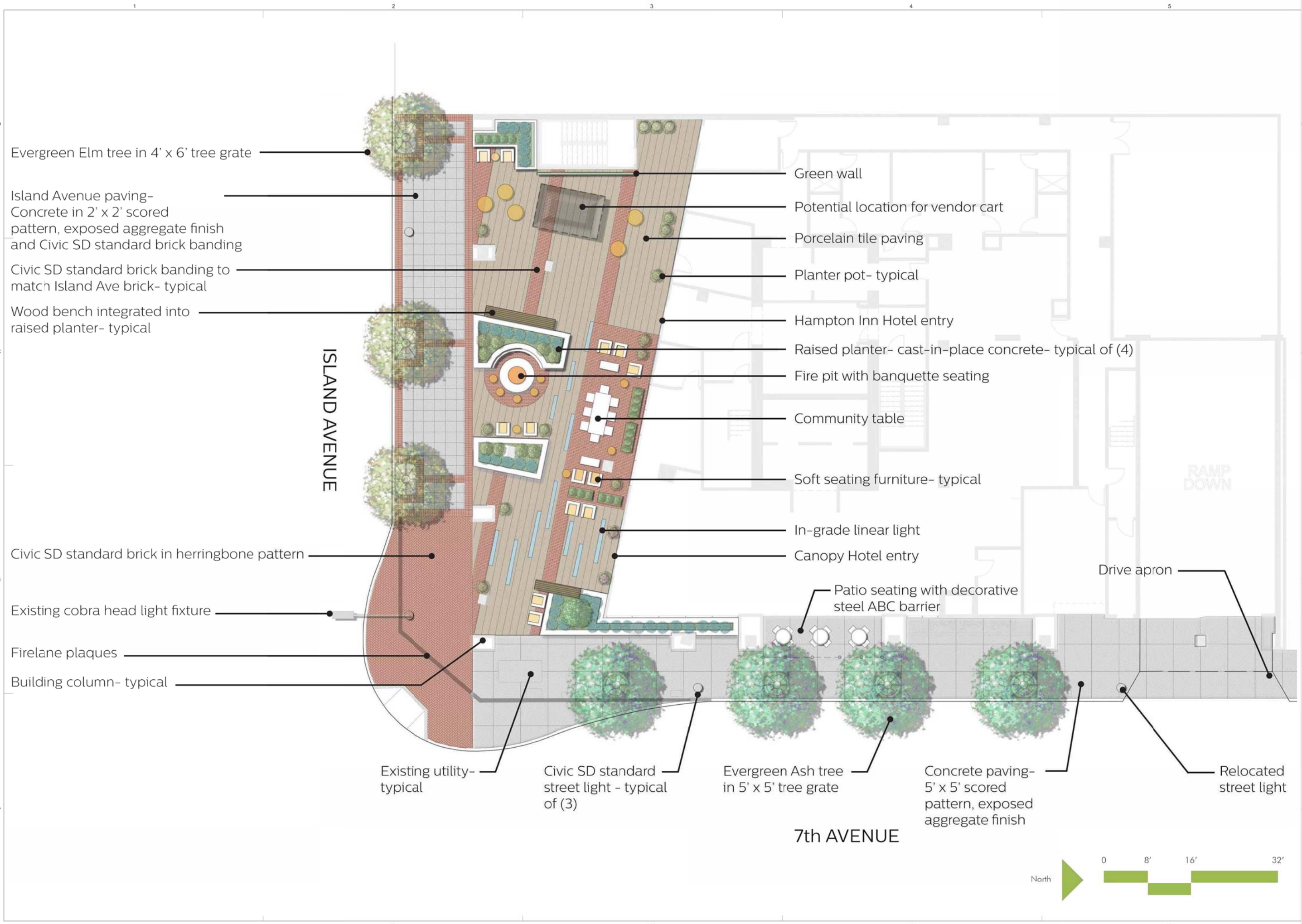
**SITE PLAN**

Sheet No.  
**7**

**A1** SITE PLAN  
 A1/22 1" = 20'-0"



9/9/2015 3:51:14 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



- Evergreen Elm tree in 4' x 6' tree grate
- Island Avenue paving- Concrete in 2' x 2' scored pattern, exposed aggregate finish and Civic SD standard brick banding
- Civic SD standard brick banding to match Island Ave brick- typical
- Wood bench integrated into raised planter- typical
- ISLAND AVENUE
- Civic SD standard brick in herringbone pattern
- Existing cobra head light fixture
- Firelane plaques
- Building column- typical
- Existing utility- typical

- Green wall
- Potential location for vendor cart
- Porcelain tile paving
- Planter pot- typical
- Hampton Inn Hotel entry
- Raised planter- cast-in-place concrete- typical of (4)
- Fire pit with banquette seating
- Community table
- Soft seating furniture- typical
- In-grade linear light
- Canopy Hotel entry
- Patio seating with decorative steel ABC barrier
- Drive apron
- Evergreen Ash tree in 5' x 5' tree grate
- Concrete paving- 5' x 5' scored pattern, exposed aggregate finish
- Relocated street light



REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD



9/9/2015 3:51:14 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**delawie**  
 Architecture • Experience • Integrity  
 1515 Morena Boulevard  
 San Diego, CA 92110  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

**GROUNDLEVEL**  
 Landscape  
 Architecture  
 2605 State Street, Suite B  
 San Diego, CA 92101  
 (619) 325-1990  
 groundlevelsd.com



**7TH AND ISLAND HOTEL**

701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO. 14187

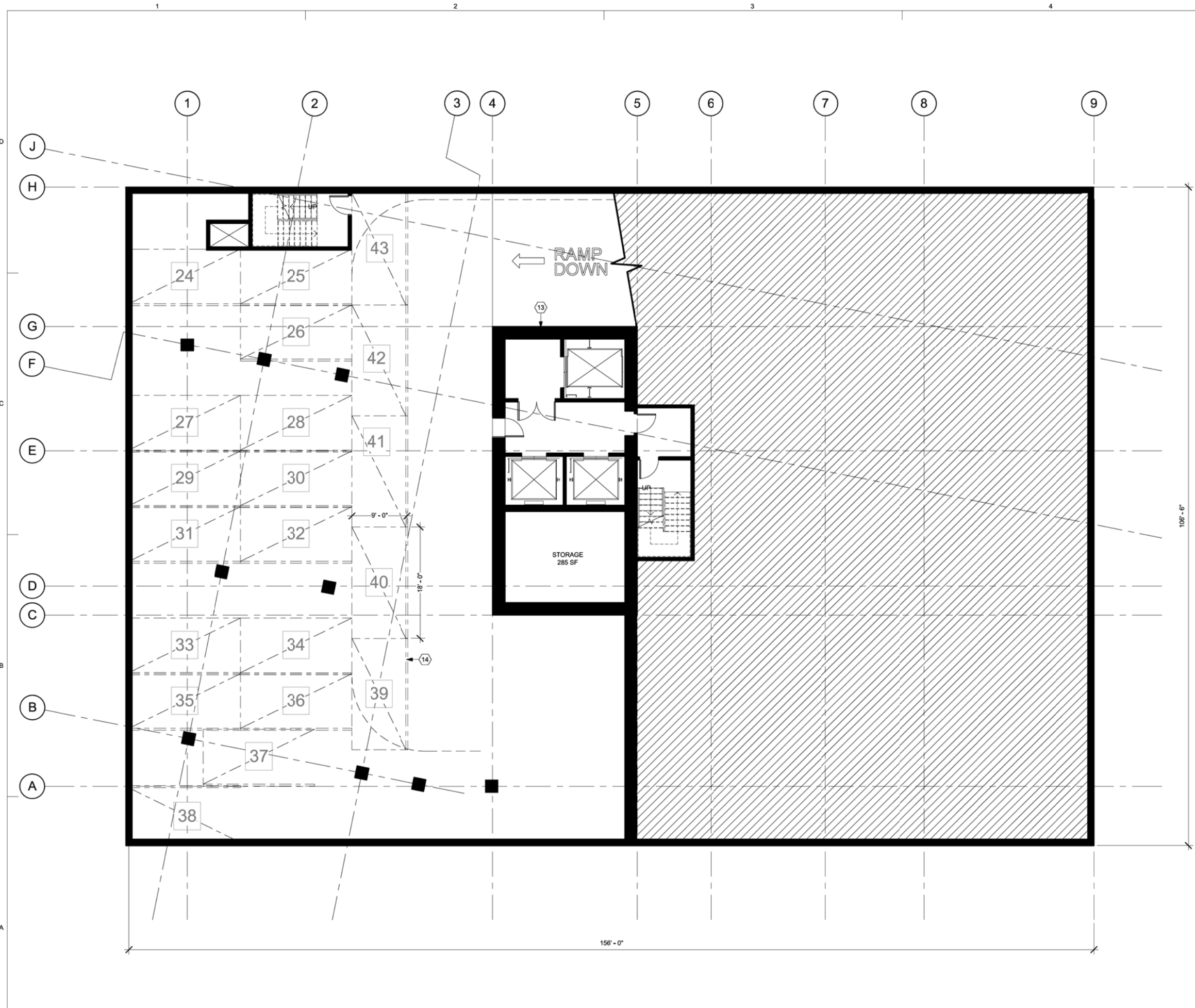
REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**Landscape  
 Plan Level 20**

Sheet No.  
**9**

5/25/2016 10:12:46 AM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE TO BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



### GENERAL SHEET NOTES

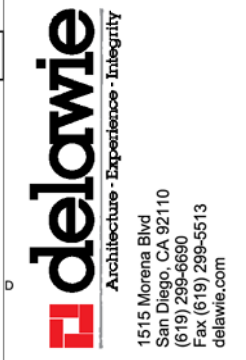
- 137 VALET ONLY PARKING SPACES PROVIDED**

LEVEL B1	8 SPACES
LEVELS B2, B3 & B4	129 SPACES (43 SPACES PER FLOOR X 3 FLOORS)
<b>TOTAL # OF PARKING SPACES PROVIDED</b>	<b>137 SPACES</b>
<b>REQUIRED PARKING SPACES</b>	<b>98 SPACES</b> (324 ROOMS x 0.3)
- 9 MOTORCYCLE PARKING SPACES PROVIDED**

LEVELS B2, B3 & B4	9 SPACES (3 SPACES x 3 FLOORS)
<b>REQUIRED MOTORCYCLE PARKING SPACES</b>	<b>5 SPACES</b> (98 PARKING SPACES / 20)

### SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
13	CONCRETE WALL
14	9'-0" x 18'-0" PARKING STALL, TYP.



FOR REFERENCE ONLY



**7TH AND ISLAND HOTEL**  
701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

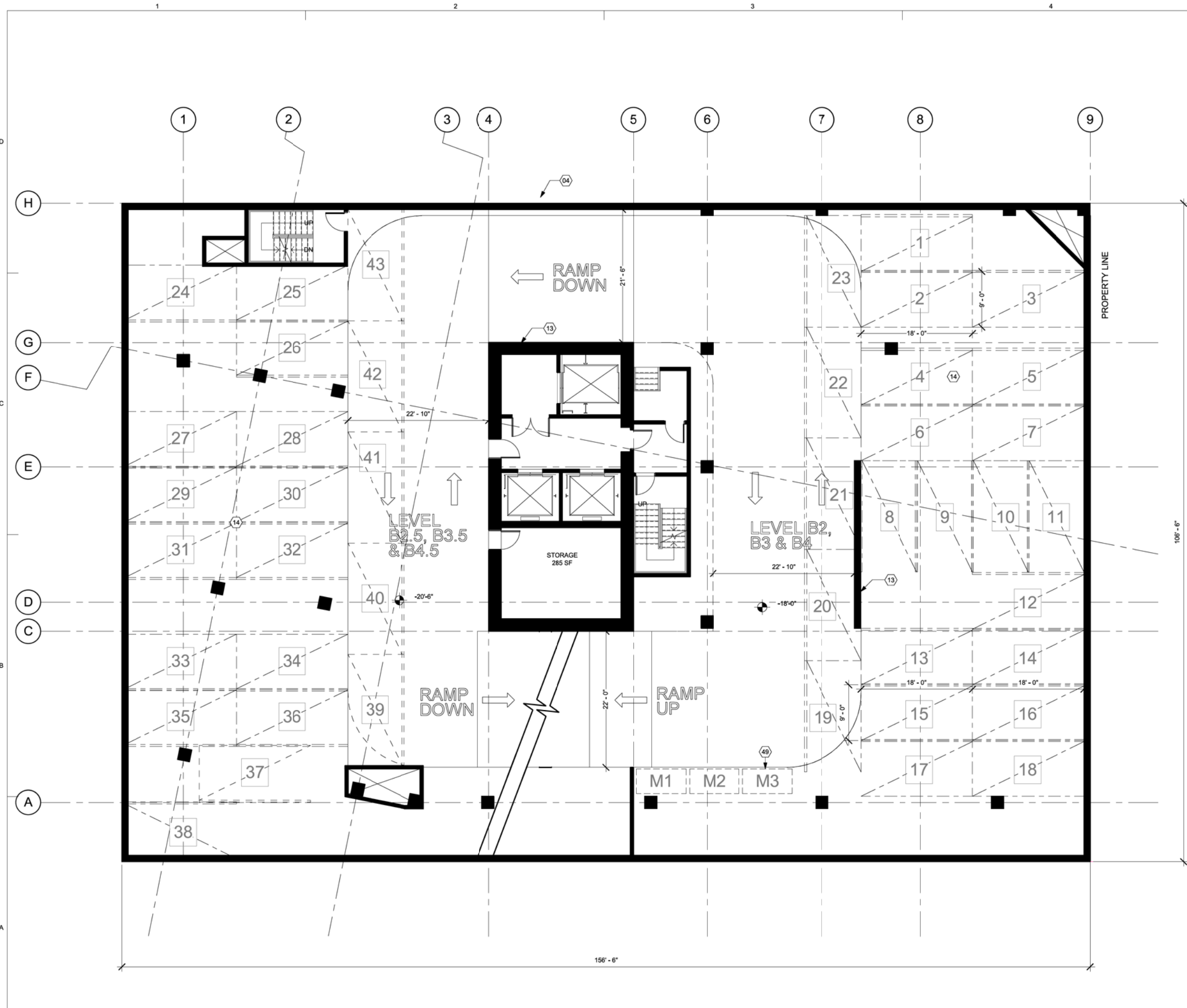
CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**VALET-ONLY PARKING LEVEL 4.5 PLAN**

Sheet No.  
**10**

<b>A1</b>	<b>Level B4.5 - Overall</b>	
A1/30	1/8" = 1'-0"	

5/10/2016 2:22:07 PM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- 1. 137 VALET ONLY PARKING SPACES PROVIDED**
- |   |   |
|---|---|
| LEVEL B1                                  | 8 SPACES                                    |
| LEVELS B2, B3 & B4                        | 129 SPACES (43 SPACES PER FLOOR X 3 FLOORS) |
| <b>TOTAL # OF PARKING SPACES PROVIDED</b> | <b>137 SPACES</b>                           |
| <b>REQUIRED PARKING SPACES</b>            | <b>98 SPACES</b> (324 ROOMS x 0.3)          |
- 2. 9 MOTORCYCLE PARKING SPACES PROVIDED**
- |   |  |
|---|--|
| LEVELS B2, B3 & B4                        | 9 SPACES (3 SPACES x 3 FLOORS)           |
| <b>REQUIRED MOTORCYCLE PARKING SPACES</b> | <b>5 SPACES</b> (98 PARKING SPACES / 20) |

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
04	PROPERTY LINE
13	CONCRETE WALL
14	9'-0" x 18'-0" PARKING STALL, TYP.
49	VALET-ONLY MOTORCYCLE PARKING SPACE



FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

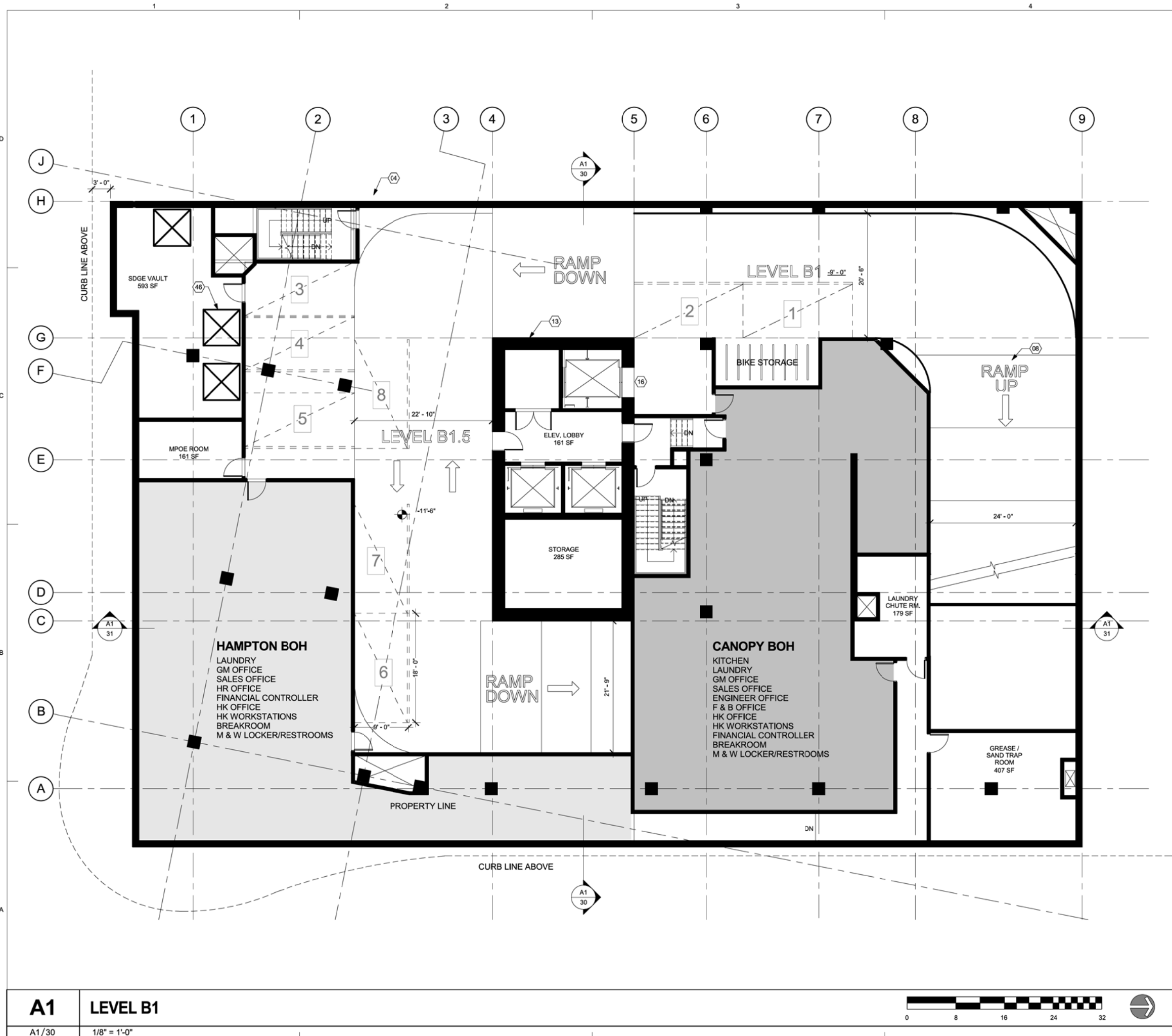
CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**VALET-ONLY PARKING LEVEL B2, B3 & B4 PLAN**

Sheet No.  
**11**

<b>A1</b>	<b>LEVEL B2 - LEVEL B3 &amp; B4 SIM.</b>	
A1/30	1/8" = 1'-0"	

5/10/2016 2:22:08 PM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- 1. 137 VALET ONLY PARKING SPACES PROVIDED**
- |   |   |
|---|---|
| LEVEL B1                                  | 8 SPACES                                    |
| LEVELS B2, B3 & B4                        | 129 SPACES (43 SPACES PER FLOOR X 3 FLOORS) |
| <b>TOTAL # OF PARKING SPACES PROVIDED</b> | <b>137 SPACES</b>                           |
| <b>REQUIRED PARKING SPACES</b>            | <b>98 SPACES</b> (324 ROOMS x 0.3)          |
- 2. 9 MOTORCYCLE PARKING SPACES PROVIDED**
- |   |  |
|---|--|
| LEVELS B2, B3 & B4                        | 9 SPACES (3 SPACES x 3 FLOORS)           |
| <b>REQUIRED MOTORCYCLE PARKING SPACES</b> | <b>5 SPACES</b> (98 PARKING SPACES / 20) |

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
04	PROPERTY LINE
08	VALET GARAGE ENTRY/EXIT
13	CONCRETE WALL
16	EMPLOYEE/ADA ELEVATOR ACCESS
46	SDGE TRANSFORMER EQUIPMENT



FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

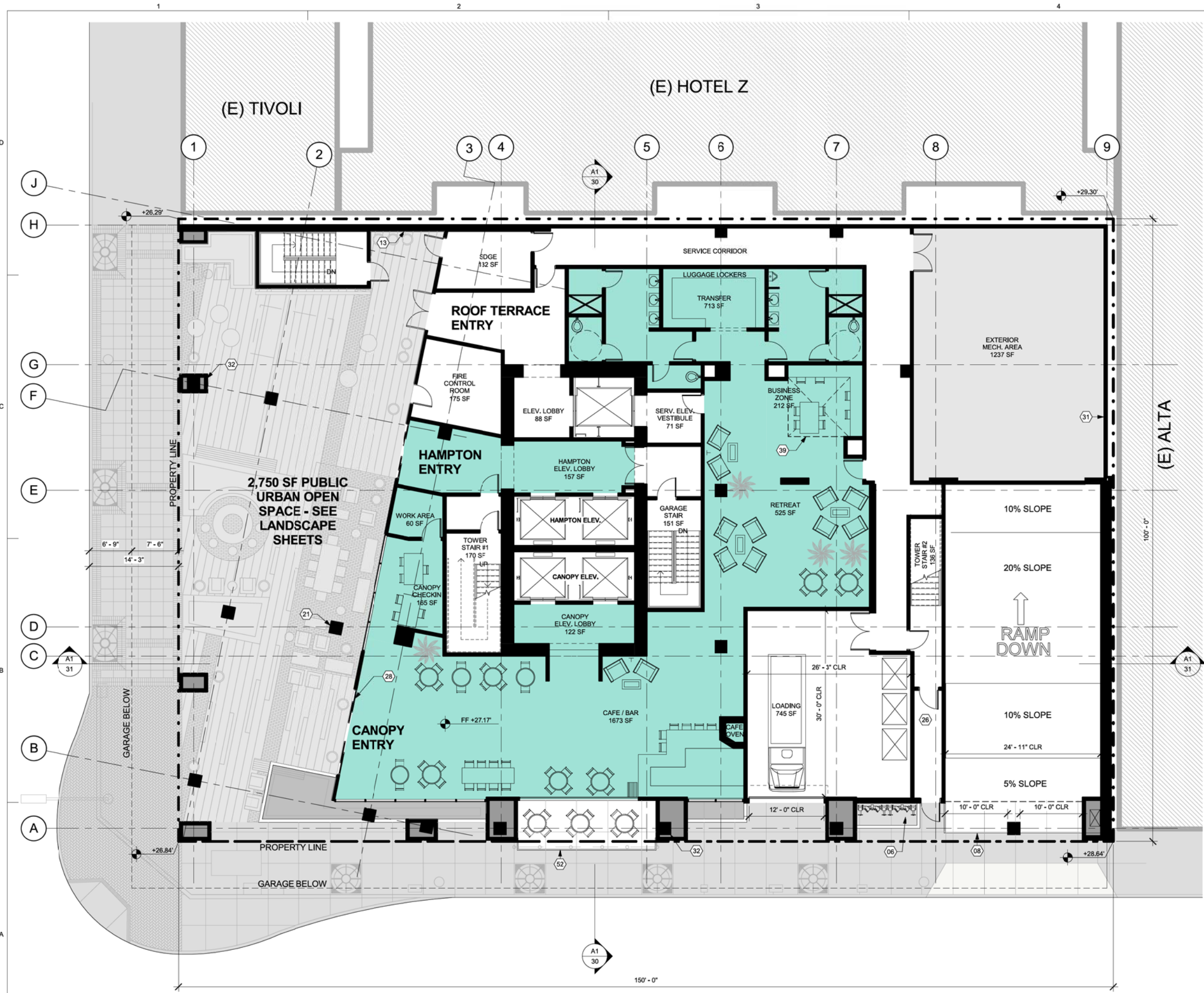
CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**VALET-ONLY  
OVERALL  
BASEMENT  
LEVEL B1  
PLAN**

Sheet No.  
**12**

<b>A1</b>	<b>LEVEL B1</b>		
A1/30	1/8" = 1'-0"		

6/2/2016 12:02:00 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
- URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
06	BACKFLOW PREVENTION DEVICES, METERS & STANDPIPES
08	VALET GARAGE ENTRY/EXIT
13	CONCRETE WALL
21	EXPOSED CONCRETE COLUMNS
26	EXIT PASSAGEWAY FROM TOWER
28	AUTOMATIC SLIDING GLASS DOOR
31	6'-0" PRIVACY WALL
32	BRICK CLAD CONCRETE COLUMN
39	SLOPED GLASS SKYLIGHT ABOVE
52	DECORATIVE RAILING

**COLOR LEGEND - LEVEL 1**

HOTEL

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**OVERALL LEVEL 1 PLAN**

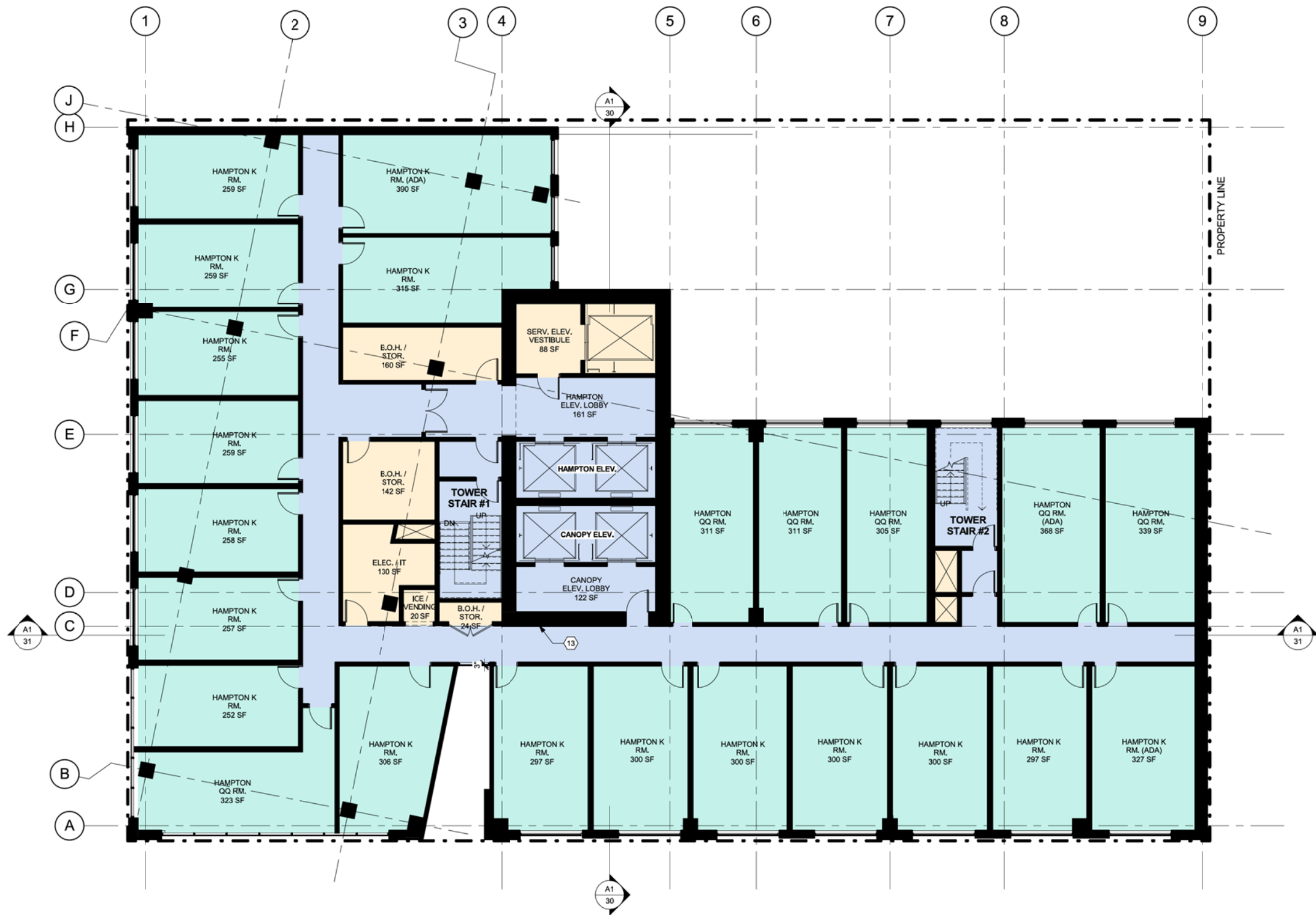
Sheet No.  
**13**

**A1** LEVEL 1  
 A1/22 1/8" = 1'-0"





5/10/2016 2:22:18 PM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
- URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
13	CONCRETE WALL

**COLOR LEGEND-GUESTROOM LVL**

- OUTDOOR SPACE
- BACK-OF-HOUSE
- GUESTROOM
- CIRCULATION



FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT 05/26/2016

Sheet Title  
**OVERALL LEVELS 3-5 PLAN**

Sheet No.  
**15**

**A1** LEVEL 3-5

A1/22 1/8" = 1'-0"



5/10/2016 2:22:19 PM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
54	METAL TRELLIS TO SCREEN MECH. EQUIP.
55	WHITE BUILT-UP SINGLE PLY ROOF WITH 3'-6" PARAPET
56	SPANDREL GLASS WALL
57	FIRE RATED ASSEMBLY

**COLOR LEGEND-GUESTROOM LVL**

- OUTDOOR SPACE
- BACK-OF-HOUSE
- GUESTROOM
- CIRCULATION

FOR REFERENCE ONLY



**7TH AND ISLAND HOTEL**

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT 05/26/2016

Sheet Title  
**OVERALL LEVELS 6-12 PLAN**

Sheet No.  
**16**



5/10/2016 2:22:20 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
- URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
56	SPANDREL GLASS WALL
57	FIRE RATED ASSEMBLY

**COLOR LEGEND-GUESTROOM LVL**

- OUTDOOR SPACE
- BACK-OF-HOUSE
- GUESTROOM
- CIRCULATION

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT 05/26/2016

Sheet Title  
**OVERALL LEVELS 13-16 PLAN**  
 Sheet No.  
**17**

**A1**  
A1/22

**LEVEL 13-16**  
1/8" = 1'-0"



5/10/2016 2:22:21 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
- URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
56	SPANDREL GLASS WALL
57	FIRE RATED ASSEMBLY

**COLOR LEGEND-GUESTROOM LVL**

	OUTDOOR SPACE
	BACK-OF-HOUSE
	GUESTROOM
	CIRCULATION

FOR REFERENCE ONLY

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT 05/26/2016



5/10/2016 2:22:22 PM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
56	SPANDREL GLASS WALL
57	FIRE RATED ASSEMBLY

**COLOR LEGEND-GUESTROOM LVL**

	OUTDOOR SPACE
	BACK-OF-HOUSE
	GUESTROOM
	CIRCULATION

**delawie**  
Architecture - Experience - Integrity  
2265 India Street  
San Diego, CA 92101  
(619) 299-6690  
Fax (619) 299-5513  
delawie.com

FOR REFERENCE ONLY

**J STREET**  
HOSPITALITY

**7TH AND ISLAND HOTEL**

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**OVERALL LEVEL 19 PLAN**

Sheet No.  
**19**

**A1 LEVEL 19**  
A1/22 1/8" = 1'-0"

0 8 16 24 32

5/10/2016 2:22:24 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
--------	-----------------

**COLOR LEGEND-GUESTROOM LVL**

- OUTDOOR SPACE
- BACK-OF-HOUSE
- GUESTROOM
- CIRCULATION

FOR REFERENCE ONLY



**7TH AND ISLAND HOTEL**

PROJECT NO. 14187

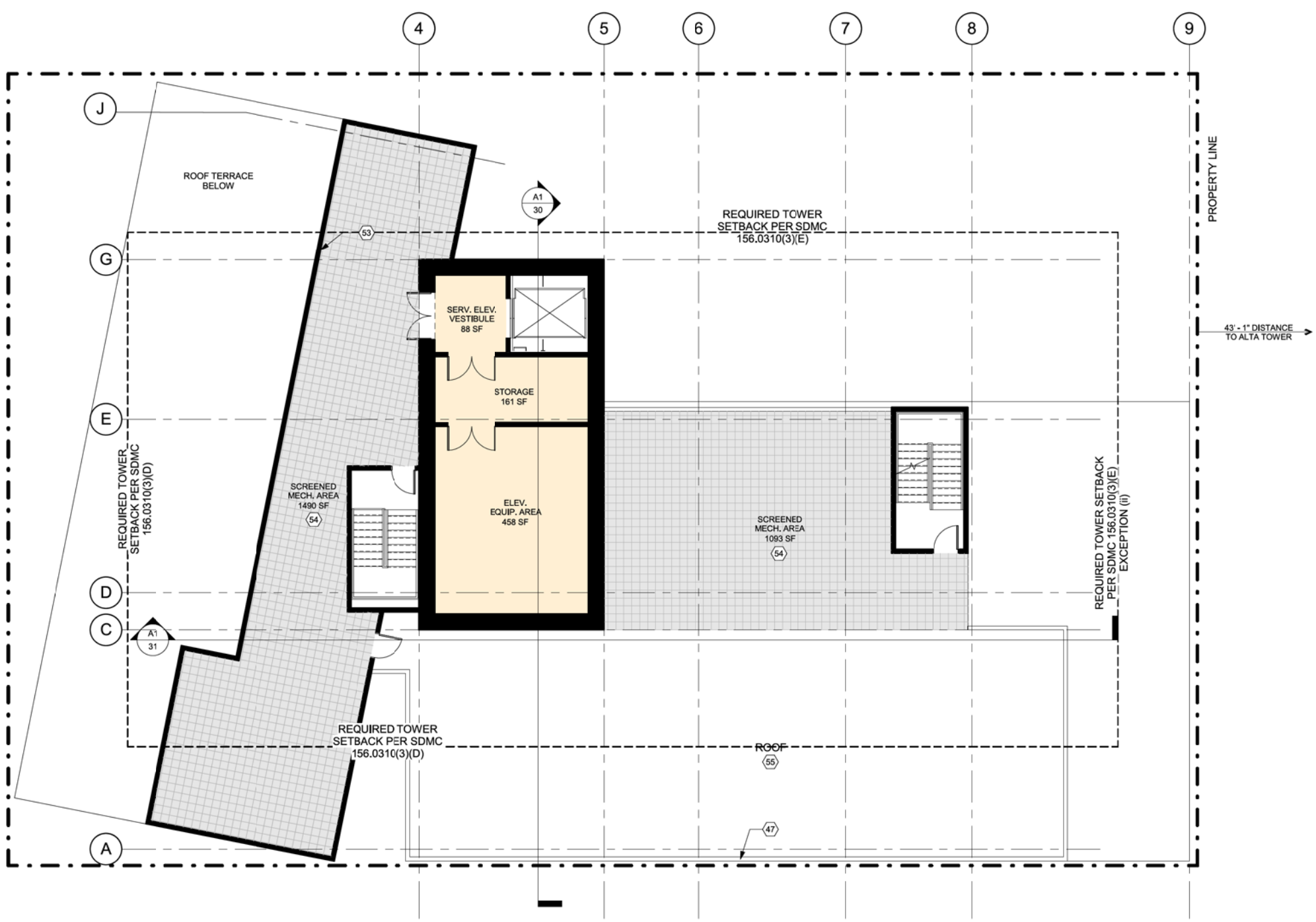
REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**OVERALL LEVEL 20 PLAN**

Sheet No.  
**20**

5/10/2016 2:22:25 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**GENERAL SHEET NOTES**

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
2. URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

**SHEET KEYNOTES**

NUMBER	SHEET NOTE TEXT
47	4'-0" PARAPET WALL SAFETY EDGE
53	6'-0" MECHANICAL SCREEN
54	METAL TRELLIS TO SCREEN MECH. EQUIP.
55	WHITE BUILT-UP SINGLE PLY ROOF WITH 3'-6" PARAPET

**COLOR LEGEND-GUESTROOM LVL**

- OUTDOOR SPACE
- BACK-OF-HOUSE
- GUESTROOM
- CIRCULATION

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

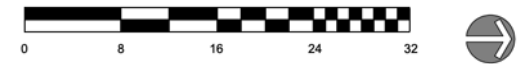
CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**OVERALL ROOF PLAN**

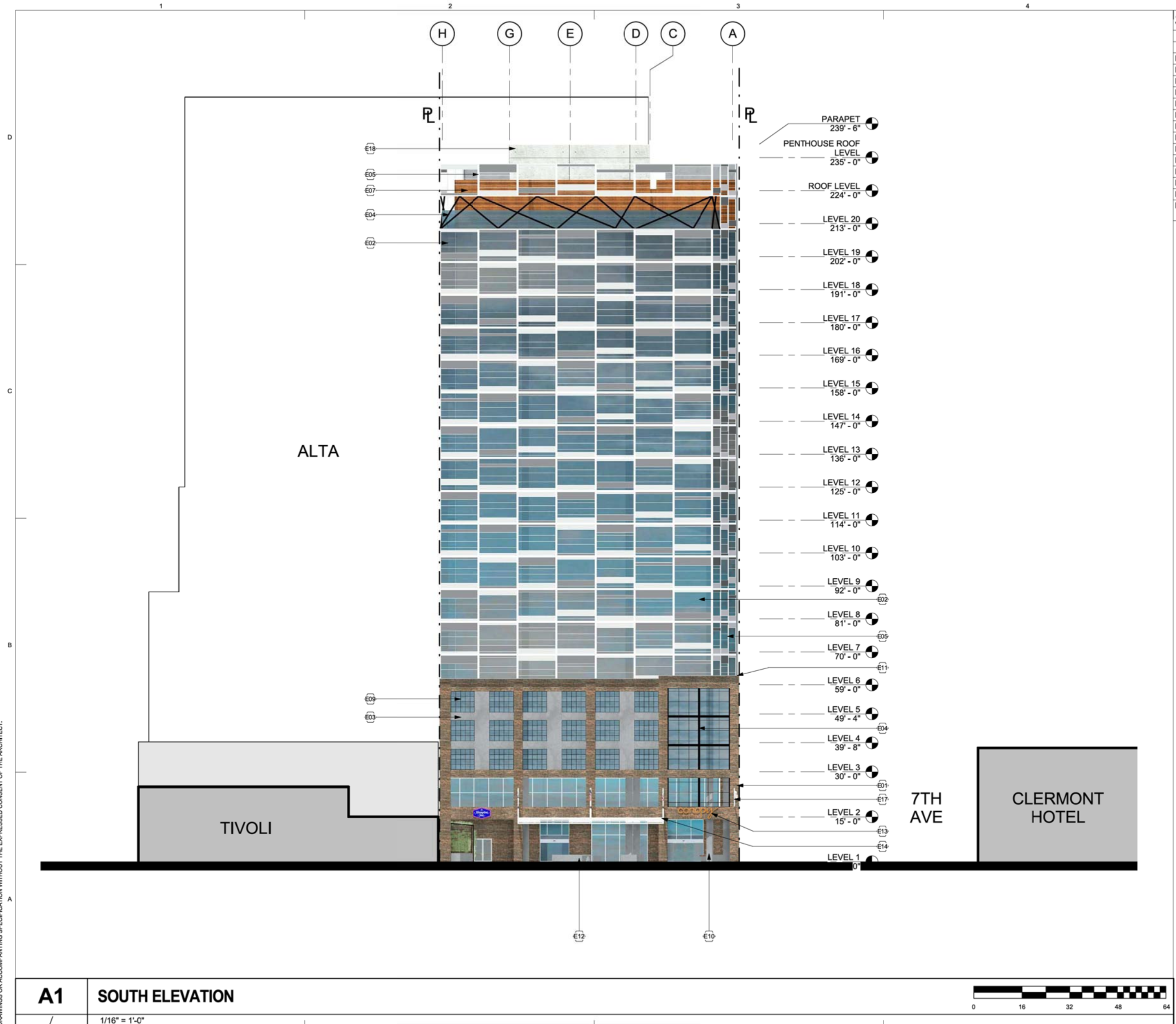
Sheet No.  
**21**

**A1** ROOF LEVEL

A1/22 1/8" = 1'-0"



5/26/2016 8:35:59 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



SHEET KEYNOTES	
NUMBER	SHEET NOTE TEXT
E01	BRICK VENEER
E02	VISION GLASS
E03	GFRG/EIFS
E04	DARK ALUM. MULLION
E05	LIGHT ALUM. MULLION
E07	WOOD VENEER COMPOSITE METAL PANEL
E09	STOREFRONT GLASS
E10	EXPOSED CONCRETE COLUMN
E11	PARAPET CAP
E12	PLANTER ELEMENT
E13	BRAND SIGNAGE
E14	SHADE CANOPY
E17	FLAG POLE
E18	CAST-IN-PLACE, SMOOTH GRADE ARCHITECTURAL CONCRETE

**delawie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**SOUTH ELEVATION**

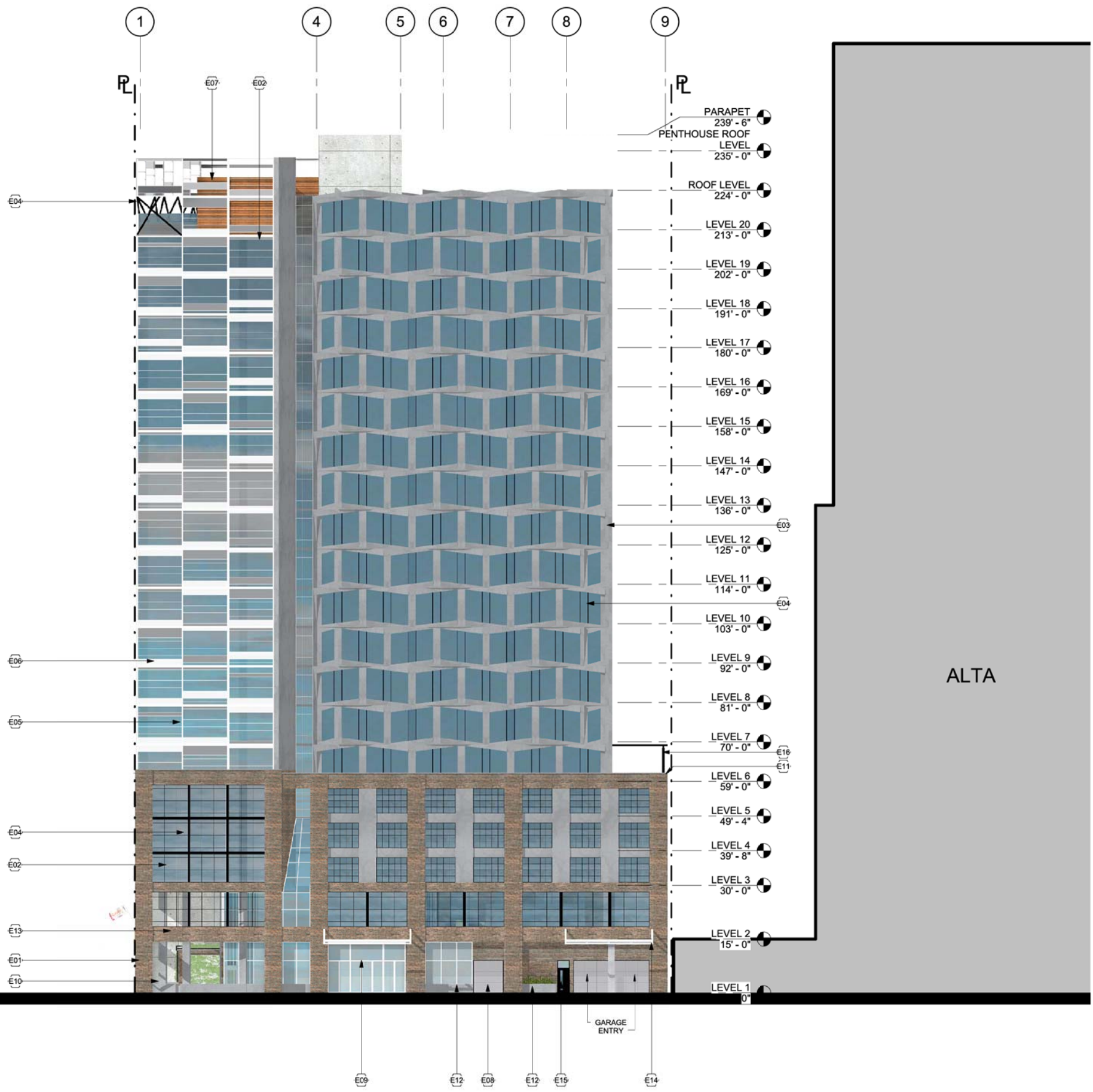
Sheet No.  
**22**

<b>A1</b>	<b>SOUTH ELEVATION</b>	
/	1/16" = 1'-0"	

6/1/2016 1:06:50 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.

BALLPARK  
 SELF-STORAGE

ISLAND  
 AVE



SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
E01	BRICK VENEER
E02	VISION GLASS
E03	GFRC/EIFS
E04	DARK ALUM. MULLION
E05	LIGHT ALUM. MULLION
E06	COMPOSITE METAL PANEL BACKED SPANDREL ELEMENT
E07	WOOD VENEER COMPOSITE METAL PANEL
E08	ROLL-UP LOADING DOOR
E09	STOREFRONT GLASS
E10	EXPOSED CONCRETE COLUMN
E11	PARAPET CAP
E12	PLANTER ELEMENT
E13	BRAND SIGNAGE
E14	SHADE CANOPY
E15	EGRESS DOOR
E16	METAL TRELLIS

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

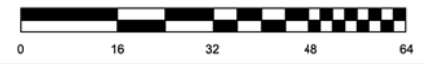
CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**EAST  
 ELEVATION  
 (REVISED)**

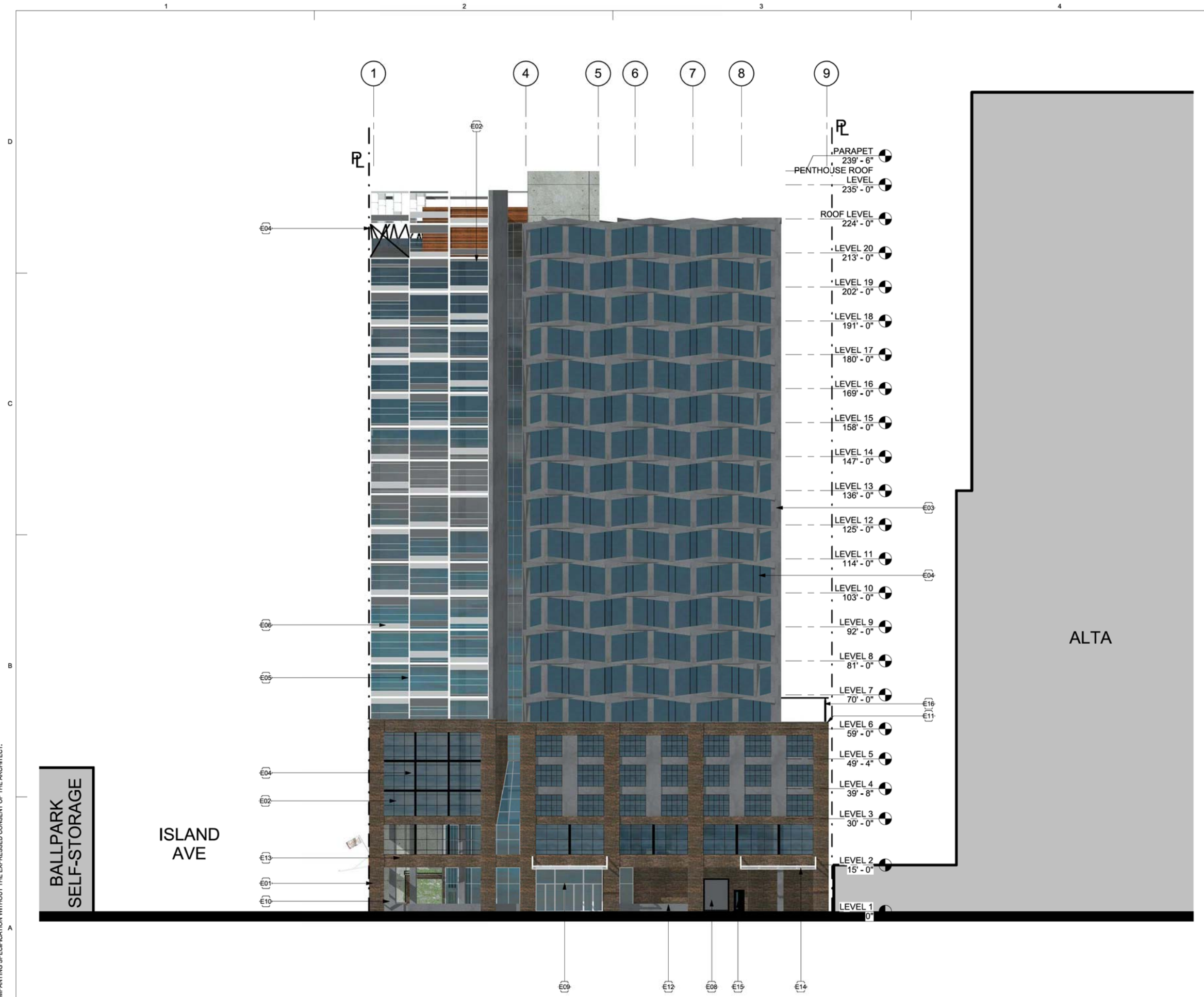
Sheet No.  
**23**

**A1** EAST ELEVATION

1/16" = 1'-0"



4/21/2016 9:29:10 AM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



SHEET KEYNOTES	
NUMBER	SHEET NOTE TEXT
E01	BRICK VENEER
E02	VISION GLASS
E03	GFRC
E04	DARK ALUM. MULLION
E05	LIGHT ALUM. MULLION
E06	COMPOSITE METAL PANEL BACKED SPANDREL ELEMENT
E08	ROLL-UP LOADING DOOR
E09	STOREFRONT GLASS
E10	EXPOSED CONCRETE COLUMN
E11	PARAPET CAP
E12	PLANTER ELEMENT
E13	BRAND SIGNAGE
E14	SHADE CANOPY
E15	EGRESS DOOR
E16	METAL TRELLIS

**delawie**  
Architecture - Experience - Integrity  
2265 India Street  
San Diego, CA 92101  
(619) 299-6690  
Fax (619) 299-5513  
delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

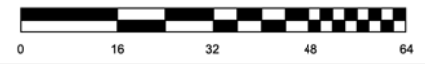
CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**EAST ELEVATION (ORIGINAL)**

Sheet No.  
**23-B**

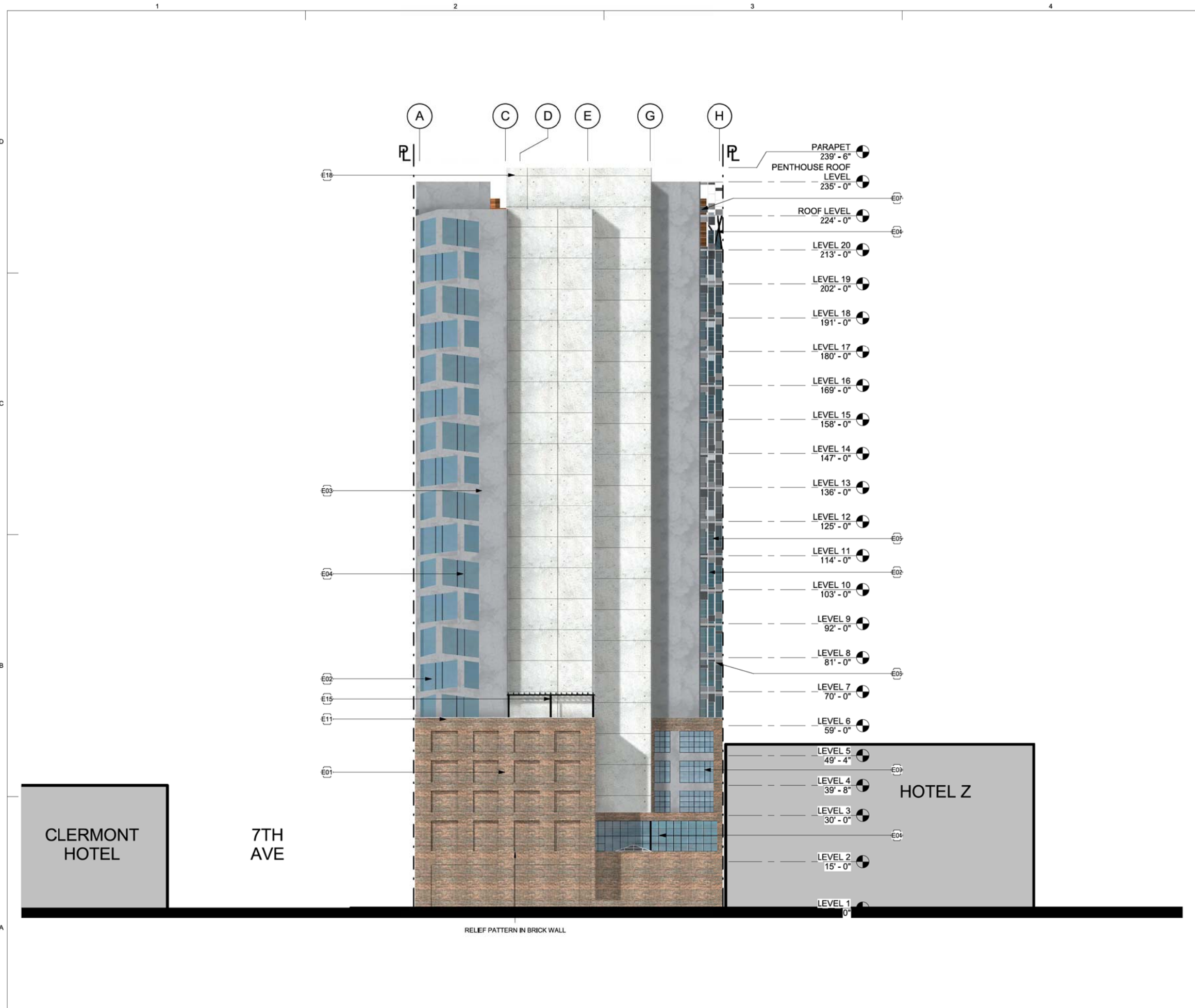
**A1 EAST ELEVATION**

1/16" = 1'-0"





6/1/2016 12:58:39 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



SHEET KEYNOTES	
NUMBER	SHEET NOTE TEXT
E01	BRICK VENEER
E02	VISION GLASS
E03	GFRG/EIFS
E04	DARK ALUM. MULLION
E05	LIGHT ALUM. MULLION
E06	COMPOSITE METAL PANEL BACKED SPANDREL ELEMENT
E07	WOOD VENEER COMPOSITE METAL PANEL
E09	STOREFRONT GLASS
E11	PARAPET CAP
E15	EGRESS DOOR
E18	CAST-IN-PLACE, SMOOTH GRADE ARCHITECTURAL CONCRETE

**delowie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delowie.com

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

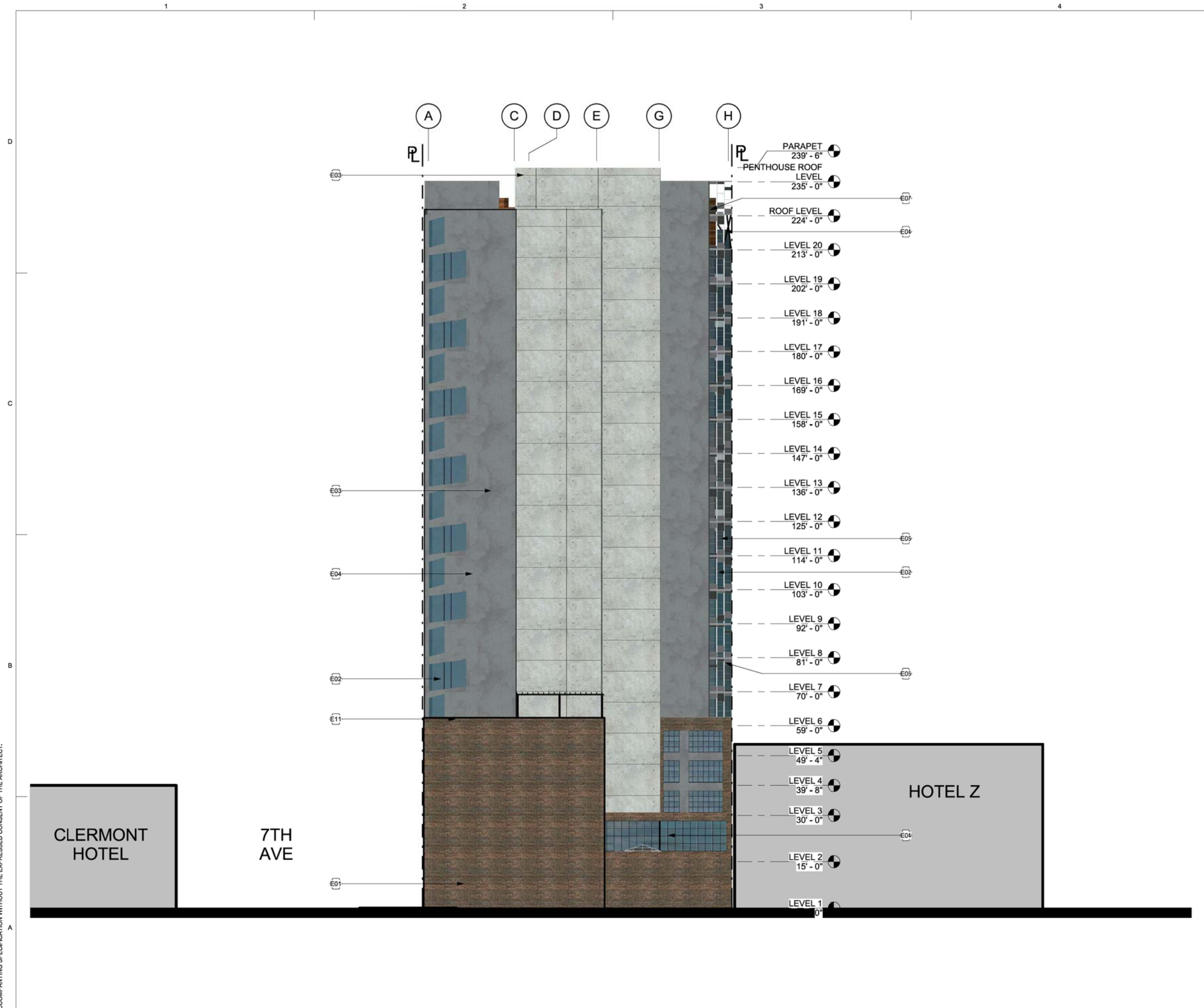
REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**NORTH ELEVATION (REVISED)**

Sheet No.  
**24**

4/21/2016 9:29:11 AM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



SHEET KEYNOTES	
NUMBER	SHEET NOTE TEXT
E01	BRICK VENEER
E02	VISION GLASS
E03	GFRG
E04	DARK ALUM. MULLION
E05	LIGHT ALUM. MULLION
E06	COMPOSITE METAL PANEL BACKED SPANDREL ELEMENT
E07	WOOD VENEER COMPOSITE METAL PANEL
E11	PARAPET CAP

**delowie**  
Architecture - Experience - Integrity  
2265 India Street  
San Diego, CA 92101  
(619) 299-6690  
Fax (619) 299-5513  
delowie.com

FOR REFERENCE ONLY

**J**  
STREET  
HOSPITALITY  
  
7TH AND ISLAND  
HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

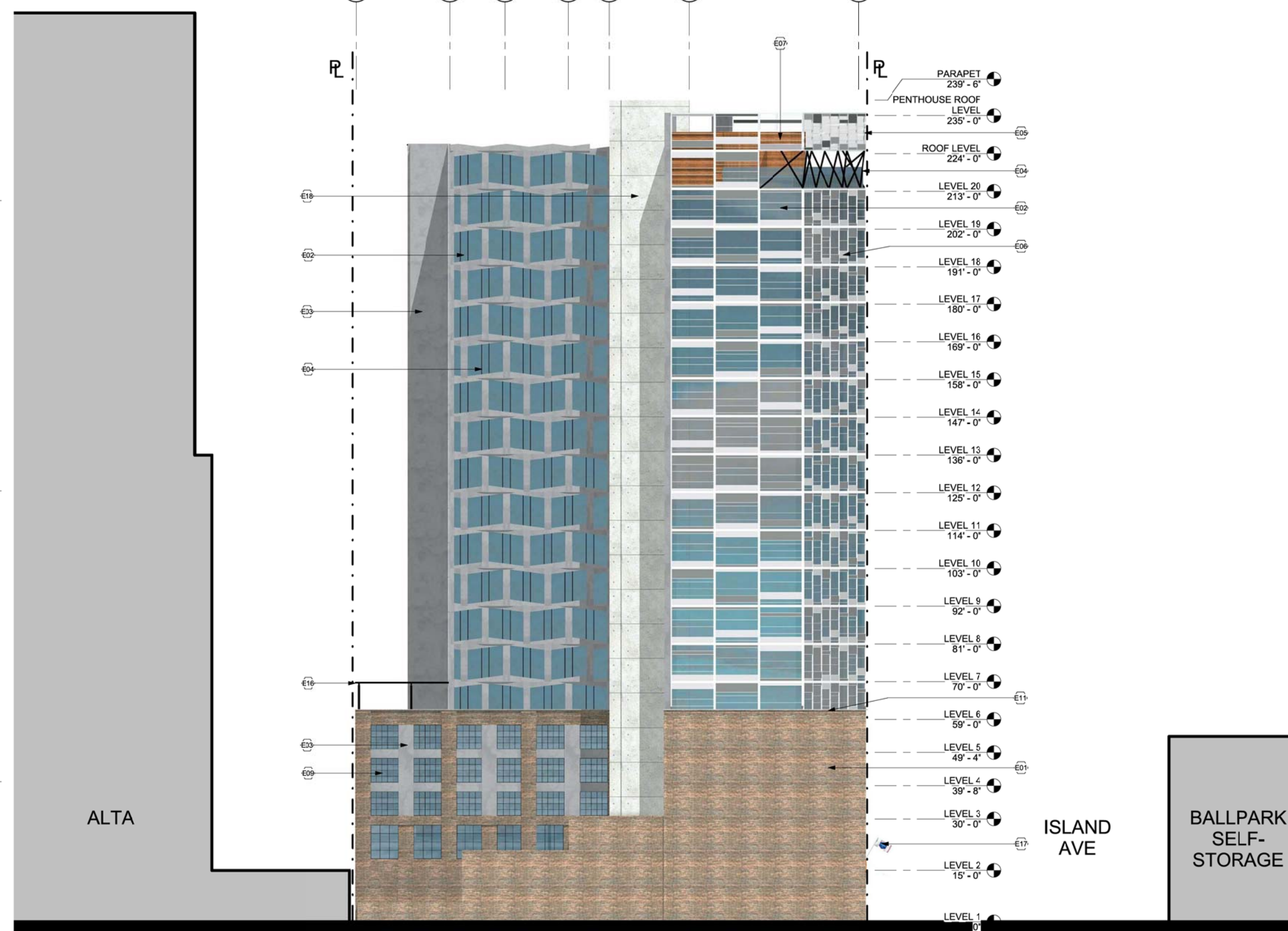
CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**NORTH ELEVATION (ORIGINAL)**

Sheet No.  
**24-B**

<b>A1</b>	<b>NORTH ELEVATION</b>	
/	1/16" = 1'-0"	

5/26/2016 8:36:03 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



SHEET KEYNOTES	
NUMBER	SHEET NOTE TEXT
E01	BRICK VENEER
E02	VISION GLASS
E03	GFRC/EIFS
E04	DARK ALUM. MULLION
E05	LIGHT ALUM. MULLION
E06	COMPOSITE METAL PANEL BACKED SPANDREL ELEMENT
E07	WOOD VENEER COMPOSITE METAL PANEL
E09	STOREFRONT GLASS
E11	PARAPET CAP
E16	METAL TRELLIS
E17	FLAG POLE
E18	CAST-IN-PLACE, SMOOTH GRADE ARCHITECTURAL CONCRETE

**delawie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**WEST ELEVATION**

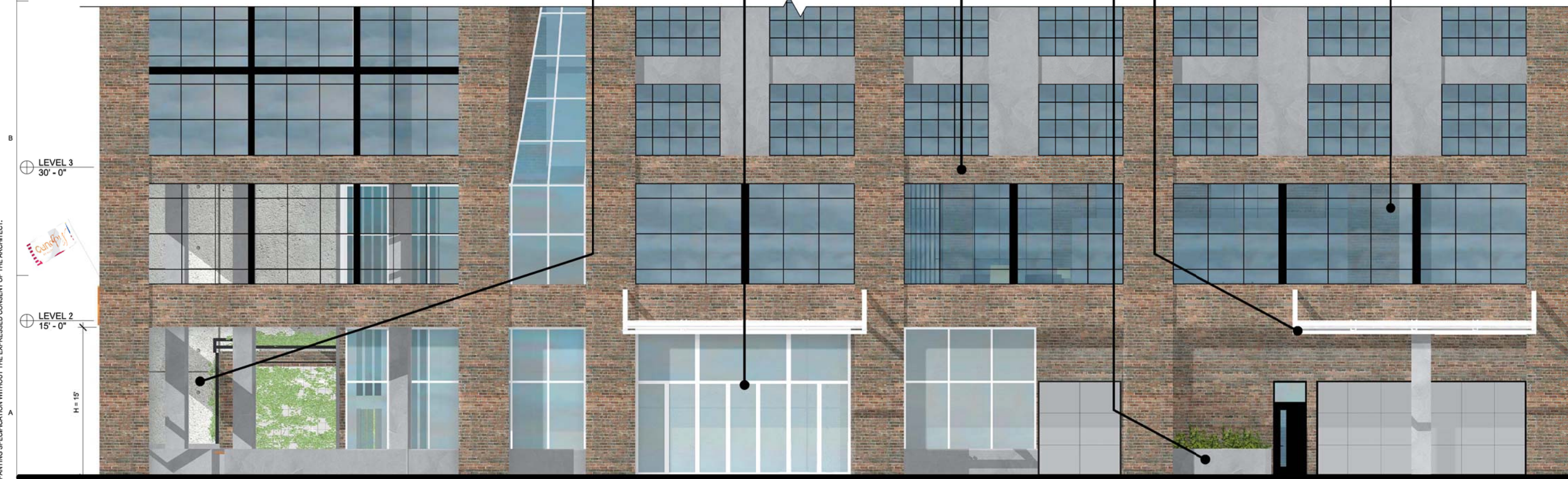
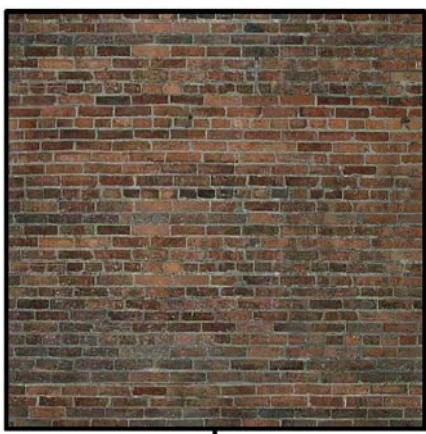
Sheet No.  
**25**

**A1 WEST ELEVATION**

1/16" = 1'-0"



6/1/2016 12:58:39 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



TRANSPARENT GROUND FLOOR FRONTAGE

**A1 EAST ELEVATION MATERIALS PALETTE**

3/16" = 1'-0"

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

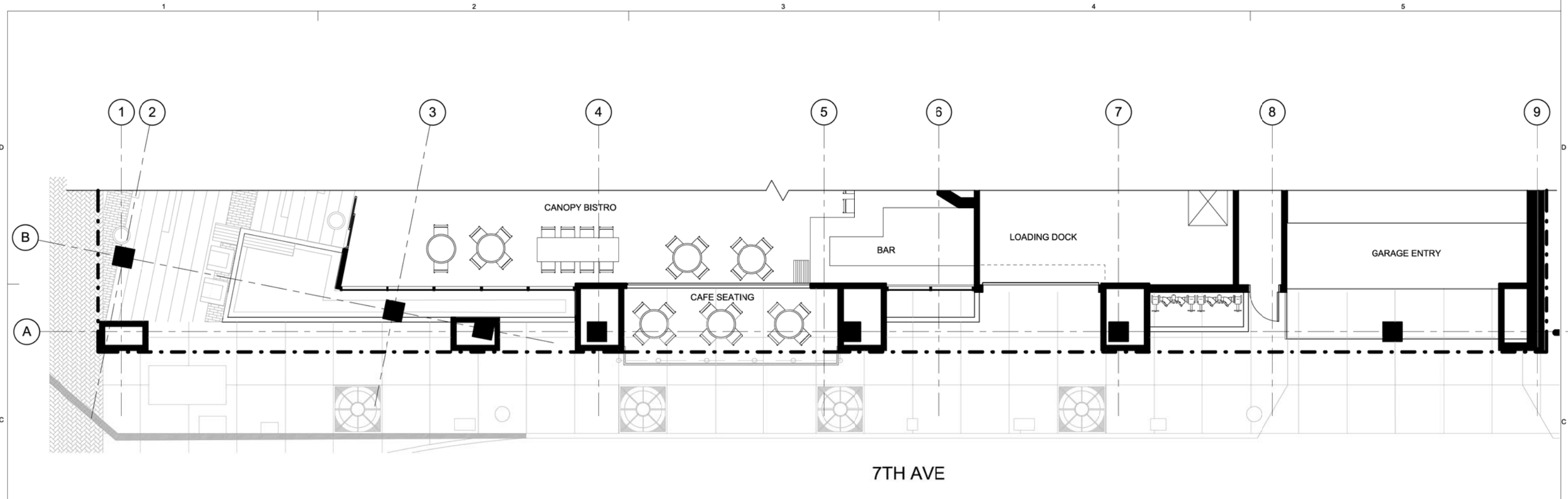
REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**EAST ELEVATION MATERIALS PALETTE**

Sheet No.  
**26**

6/2/2016 12:02:01 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**C2** ENLARGED PLAN - EAST ELEVATION  
 3/16" = 1'-0"



**A1** EAST ENLARGED ELEVATION  
 3/16" = 1'-0"

FOR REFERENCE ONLY



**7TH AND ISLAND HOTEL**  
 701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO. 14187

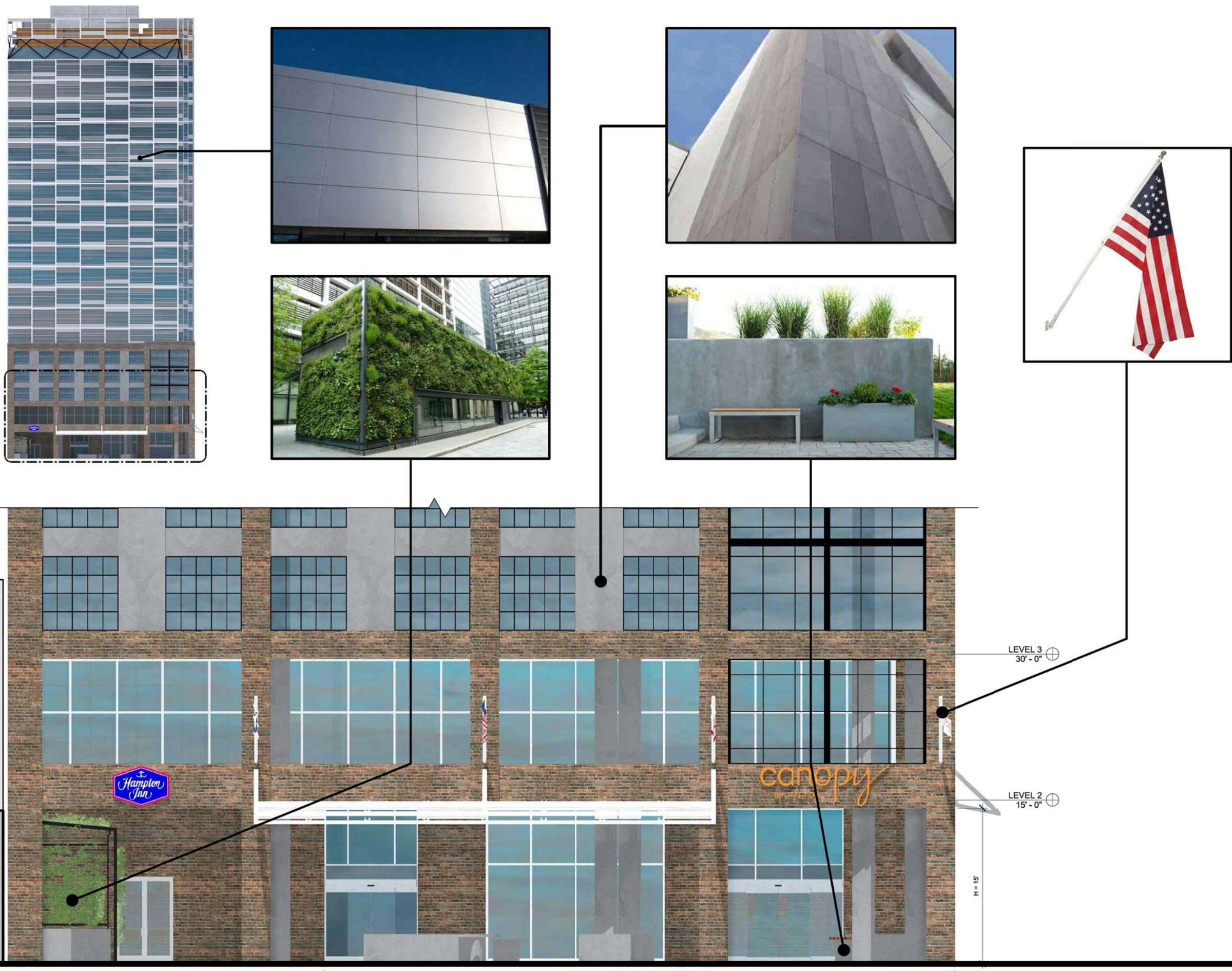
REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**EAST ENLARGED PLAN & ELEVATION**

Sheet No.  
**27**

5/10/2016 2:22:34 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



(E) TIVOLI

**1 SOUTH ELEVATION MATERIAL PALETTE**

3/16" = 1'-0"

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

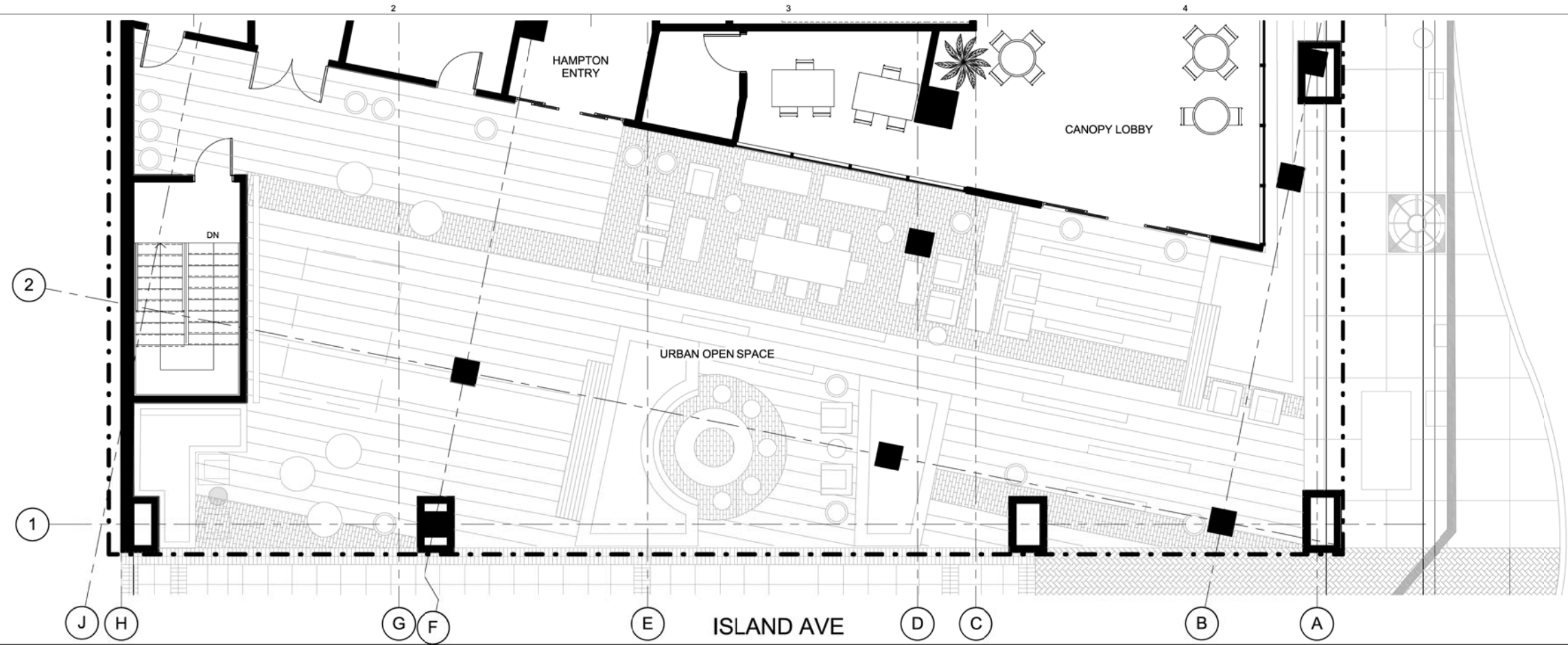
Sheet Title

**SOUTH ELEVATION MATERIAL PALETTE**

Sheet No.

**28**

5/10/2016 2:22:35 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**C1** ENLARGED PLAN - SOUTH ELEVATION

3/16" = 1'-0"



**A1** SOUTH ENLARGED ELEVATION

3/16" = 1'-0"

FOR REFERENCE ONLY



**7TH AND ISLAND HOTEL**  
701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

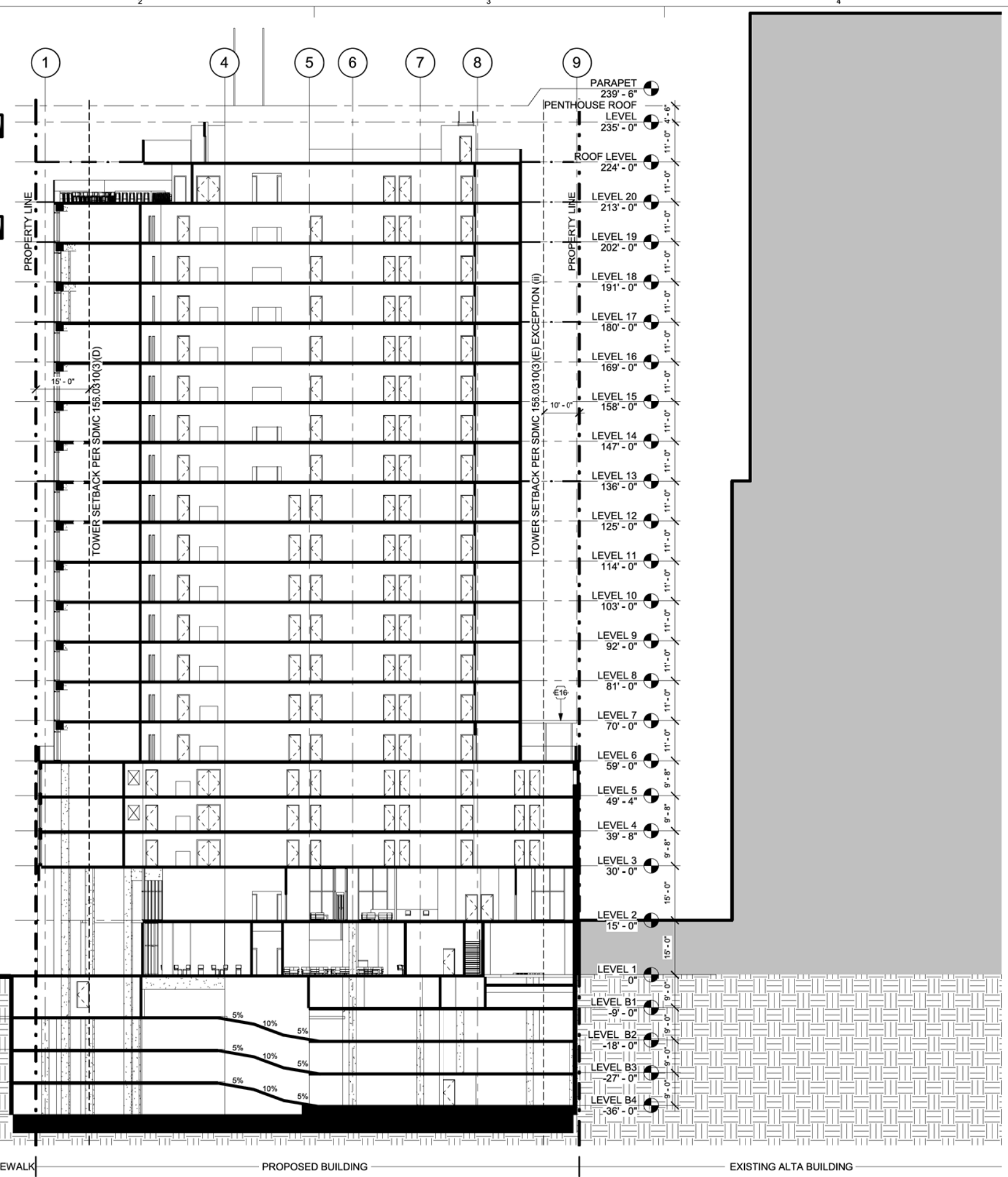
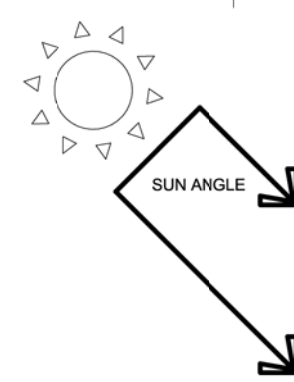
Sheet Title  
**SOUTH ENLARGED PLAN & ELEVATION**

Sheet No.  
**29**





5/10/2016 2:22:44 PM  
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.

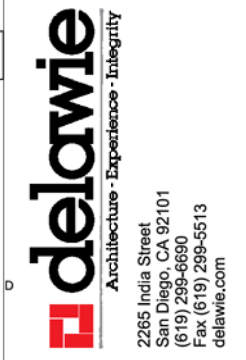


### GENERAL SHEET NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS

### SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
E16	METAL TRELLIS



FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

Sheet Title  
**BUILDING SECTION - EAST**

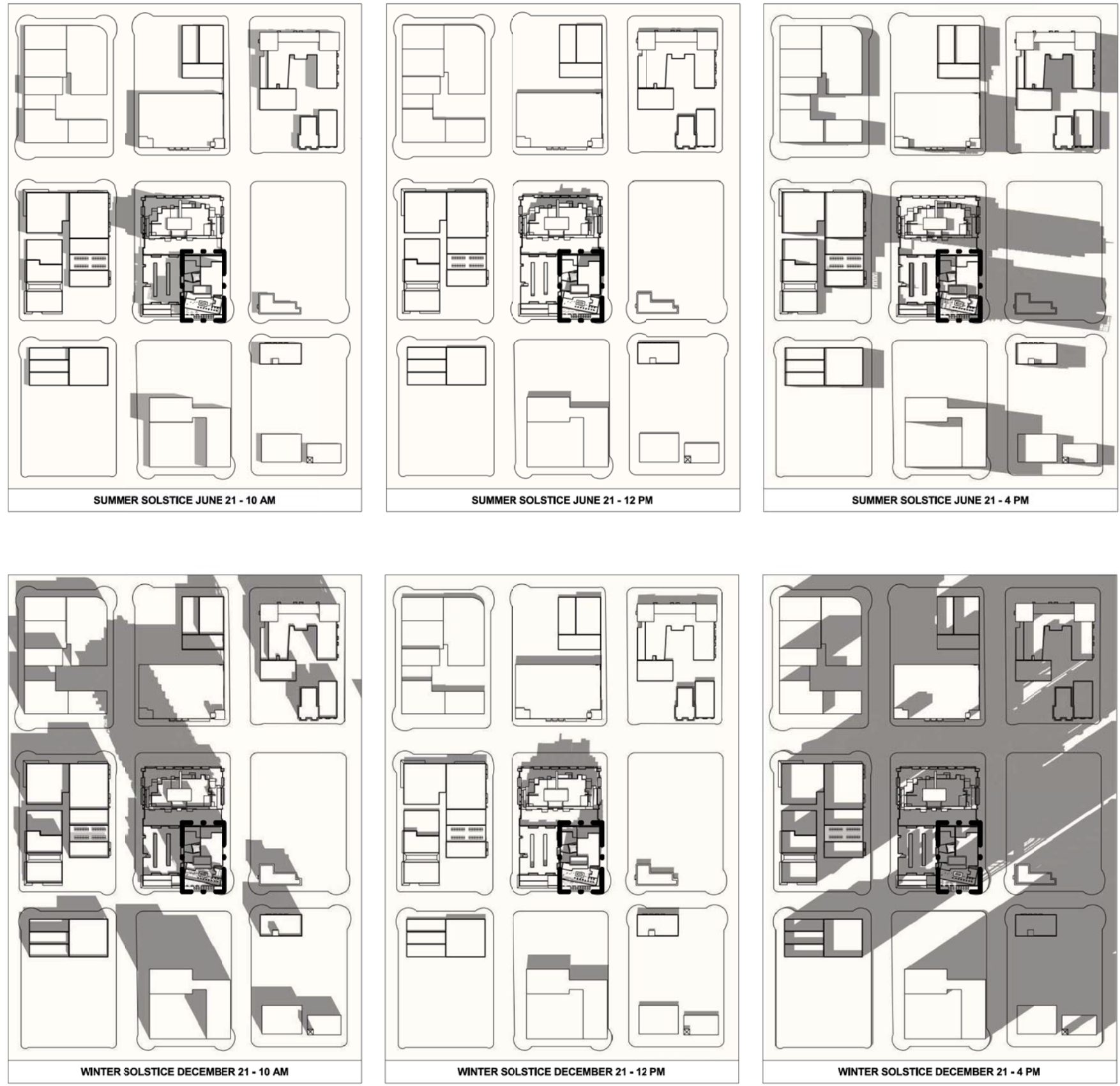
Sheet No.  
**31**

## A1 EAST SECTION

A1/12 1/16" = 1'-0"



5/10/2016 2:22:45 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1 SHADOW STUDIES**



FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**SHADOW STUDIES**

5/10/2016 2:22:46 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1** SW OVERALL

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW -  
 SW  
 OVERALL**

5/10/2016 2:22:47 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1** SE OVERALL

**delawie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW -  
 SE  
 OVERALL**

Sheet No.  
**34**

5/10/2016 2:22:48 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1** NW OVERALL

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW -  
 NW  
 OVERALL**

6/1/2016 12:58:41 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1** NE OVERALL

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW -  
 NE  
 OVERALL  
 (REVISED)**

Sheet No.  
**36**

5/10/2016 2:22:49 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1** NE OVERALL

**delawie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW -  
 NE  
 OVERALL  
 (ORIGINAL)**

Sheet No.  
**36**

5/25/2016 1:26:26 PM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**delawie**  
 Architecture - Experience - Integrity  
 1515 Morena Blvd  
 San Diego, CA 92110  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



**7TH AND ISLAND  
 HOTEL**  
 701 ISLAND AVE, SAN  
 DIEGO, CA, 92101

PROJECT NO.	14187	
REV. NO.	DATE ISSUED	REASON

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW -  
 AERIAL  
 STUDY**

Sheet No.  
**37**

**A1**    **AERIAL STUDY**  
 /    1/4" = 1'-0"



5/25/2016 7:43:50 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**delawie**  
 Architecture • Experience • Integrity  
 1515 Morena Boulevard  
 San Diego, CA 92110  
 (619) 295-6680  
 Fax (619) 295-5513  
 delawie.com



**7TH AND ISLAND HOTEL**

701 ISLAND AVE, SAN DIEGO, CA 92101

PROJECT NO. 14187

REV. NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**3D VIEW - URBAN OPEN SPACE**

Sheet No.  
**38**

**A1** URBAN OPEN SPACE - 7TH & ISLAND GROUND LEVEL

5/25/2016 7:43:51 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE NOT TO BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1** 7TH & ISLAND AVE - DAY

**delawie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title

3D VIEW -  
 7TH &  
 ISLAND  
 GROUND  
 LVL-DAY

Sheet No.  
**39**

5/25/2016 7:43:52 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



**A1**

**7TH & ISLAND AVE - NIGHT**

**delawie**  
 Architecture - Experience - Integrity  
 2265 India Street  
 San Diego, CA 92101  
 (619) 299-6690  
 Fax (619) 299-5513  
 delawie.com

FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

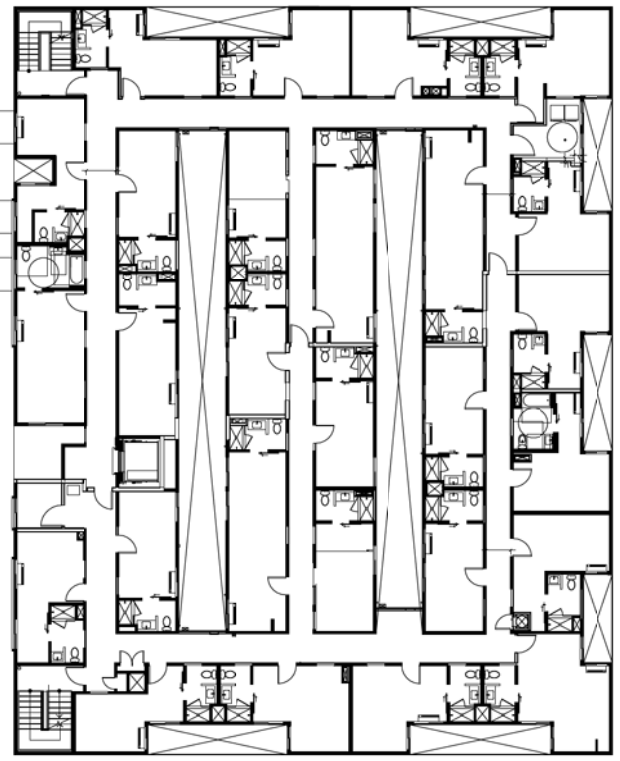
Sheet Title

3D VIEW -  
 7TH &  
 ISLAND  
 GROUND  
 LVL-NIGHT

Sheet No.

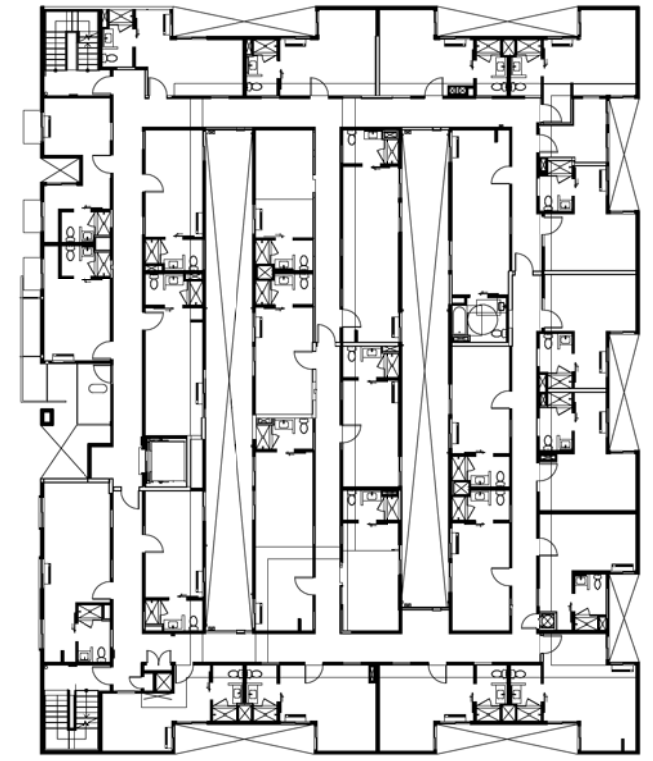
40

5/25/2016 7:43:55 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



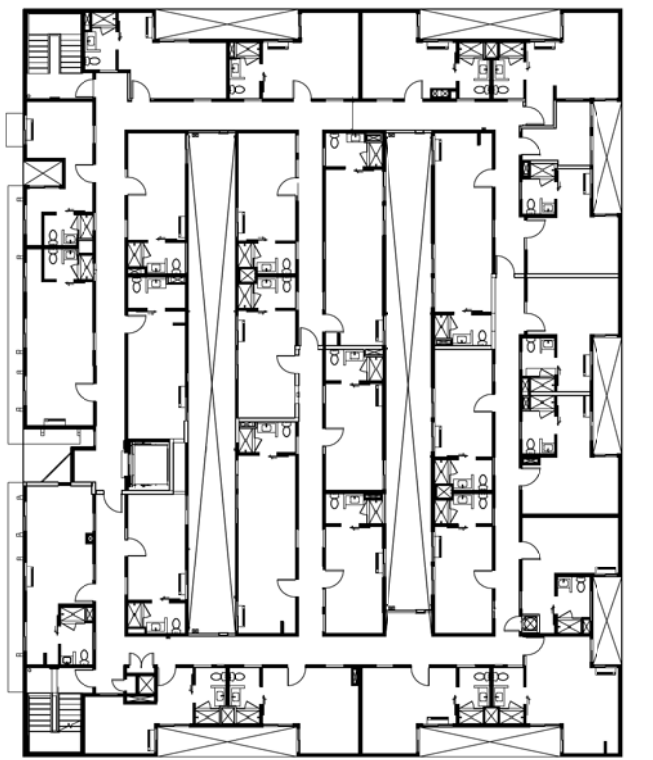
**A1** LEVEL 3 PLAN

1/16" = 1'-0"



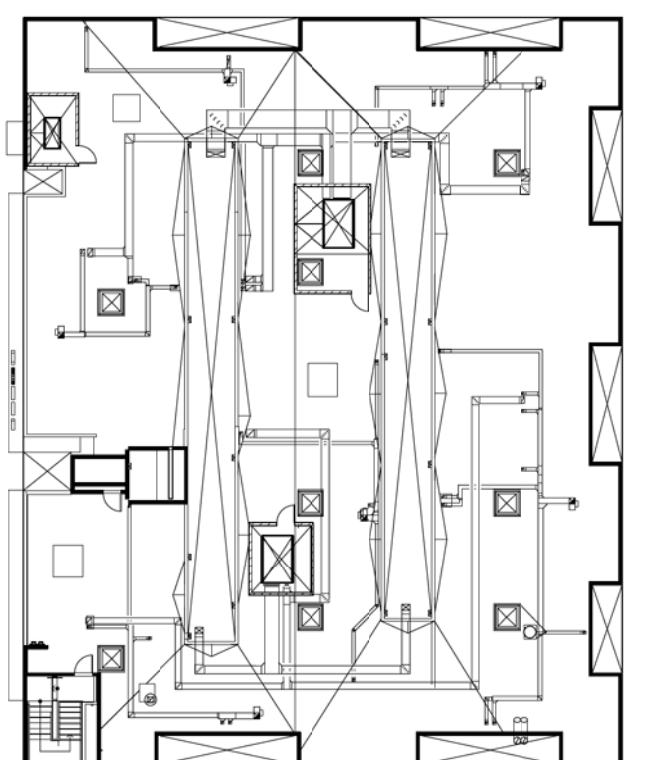
**A2** LEVEL 2 PLAN

1/16" = 1'-0"



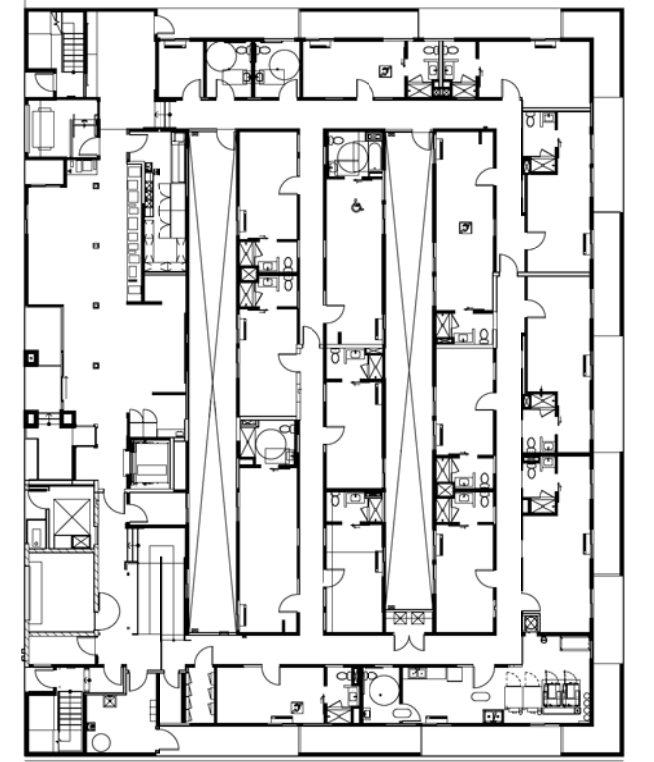
**C2** LEVEL 4 PLAN

1/16" = 1'-0"



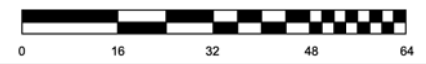
**C4** ROOF PLAN

1/16" = 1'-0"



**A4** LEVEL 1 PLAN

1/16" = 1'-0"



FOR REFERENCE ONLY



7TH AND ISLAND  
 HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title

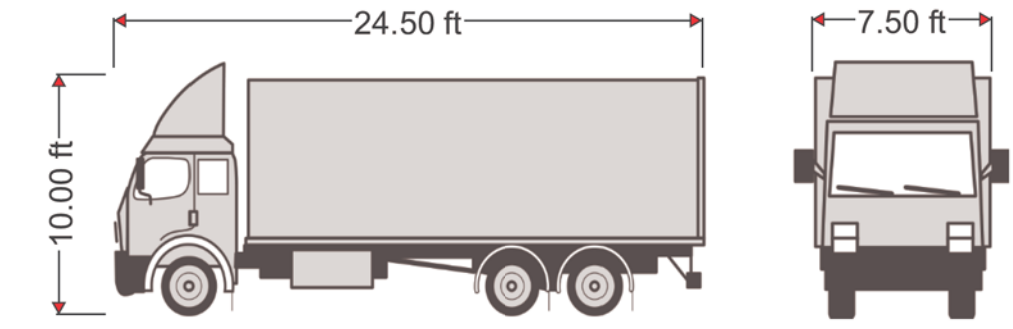
EXISTING  
 HOTEL Z -  
 FLOOR  
 PLANS

Sheet No.

41

5/26/2016 4:46:05 PM ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.

### STANDARD SIZE DELIVERY TRUCK:



ON AVERAGE, DELIVERIES REQUIRE 5'-0" OF CLEAR SPACE BEHIND THE VEHICLE FOR UNLOADING, THIS WILL BE PROVIDED IN THE LOADING AREA AS DESIGNED, ELIMINATING THE NEED FOR A STANDARD (12'-0" x 35'-0") LOADING AREA.

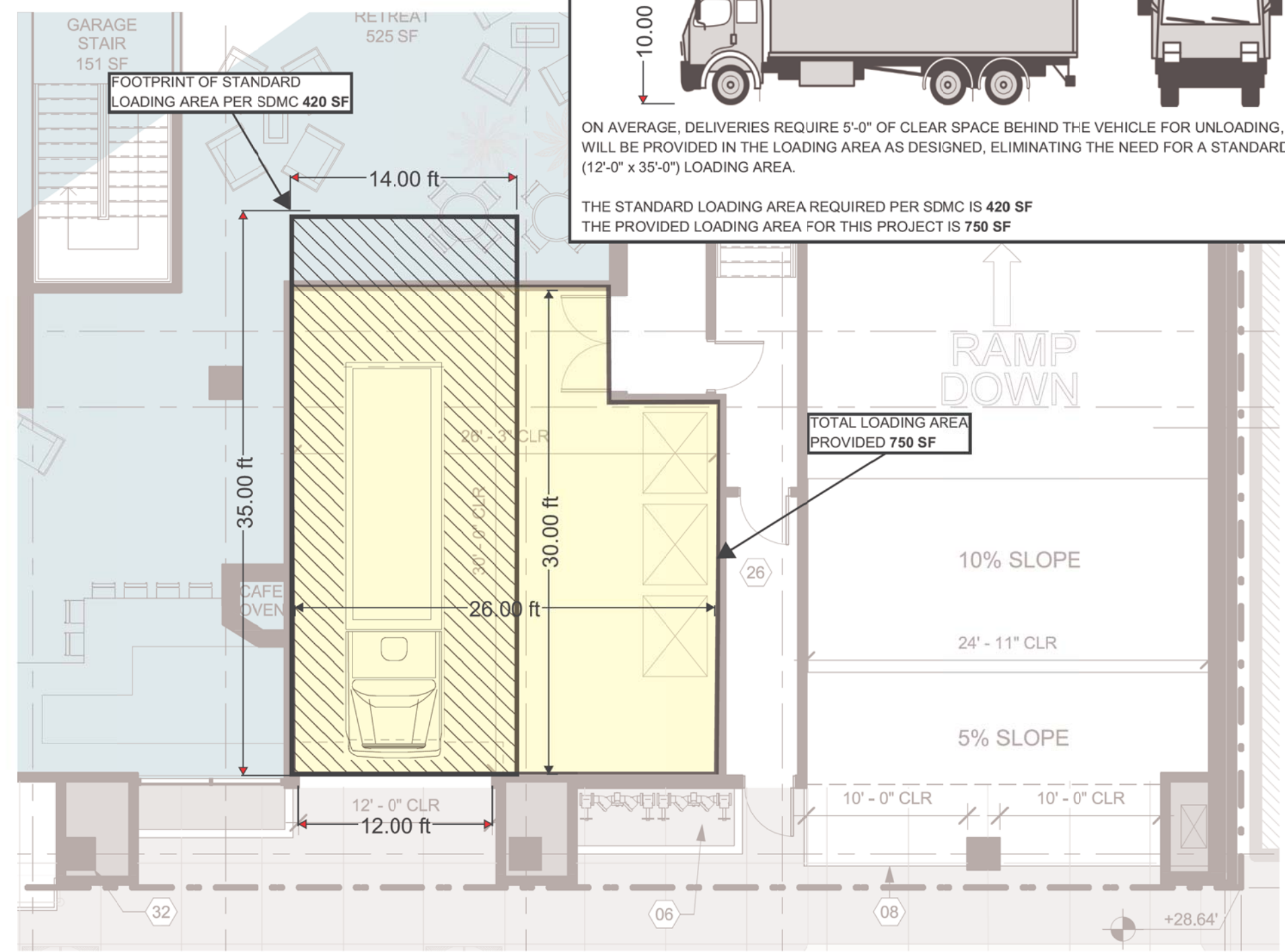
THE STANDARD LOADING AREA REQUIRED PER SDMC IS 420 SF  
THE PROVIDED LOADING AREA FOR THIS PROJECT IS 750 SF

### GENERAL SHEET NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
- URBAN OPEN SPACE IS TO BE ACCESSIBLE TO THE GENERAL PUBLIC BETWEEN THE HOURS OF 6AM TO 11PM, 7 DAYS A WEEK.

### SHEET KEYNOTES

NUMBER	SHEET NOTE TEXT
06	BACKFLOW PREVENTION DEVICES, METERS & STANDPIPES
08	VALET GARAGE ENTRY/EXIT
13	CONCRETE WALL
21	EXPOSED CONCRETE COLUMNS
26	EXIT PASSAGEWAY FROM TOWER
28	AUTOMATIC SLIDING GLASS DOOR
31	6'-0" PRIVACY WALL
32	BRICK CLAD CONCRETE COLUMN
39	SLOPED GLASS SKYLIGHT ABOVE
52	DECORATIVE RAILING



FOR REFERENCE ONLY



7TH AND ISLAND HOTEL

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON
1	4/22/16	CIVIC SD

CIVIC ENTITLEMENT  
05/26/2016

Sheet Title

**LOADING AREA EXHIBIT**

Sheet No.  
**46**

### COLOR LEGEND - LEVEL 1

HOTEL

## A1 LOADING AREA EXHIBIT

A1/22 1/4" = 1'-0"



5/25/2016 7:43:57 AM  
 ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT.



COLOR LEGEND - SETBACKS

- PROPOSED TOWER FOOTPRINT
- CODE MANDATED TOWER FOOTPRINT

FOR REFERENCE ONLY



7TH AND ISLAND HOTEL  
 701 ISLAND AVE, SAN DIEGO, CA, 92101

PROJECT NO. 14187

REV NO.	DATE ISSUED	REASON

CIVIC ENTITLEMENT  
 05/26/2016

Sheet Title  
**SETBACK EXHIBIT**

Sheet No.  
**42**

**A1** SETBACK EXHIBIT

1" = 20'-0"

