



The Beacon

1425 C St San Diego, CA 92101

October 26, 2016

Property Owner & Developer:

Wakeland Housing & Development Corp.

1230 Columbia St, Suite 950

San Diego, CA 92101

Contact: Jonathan Taylor

Tel: 619.326.6212

Architect:

M.W. Steele Group

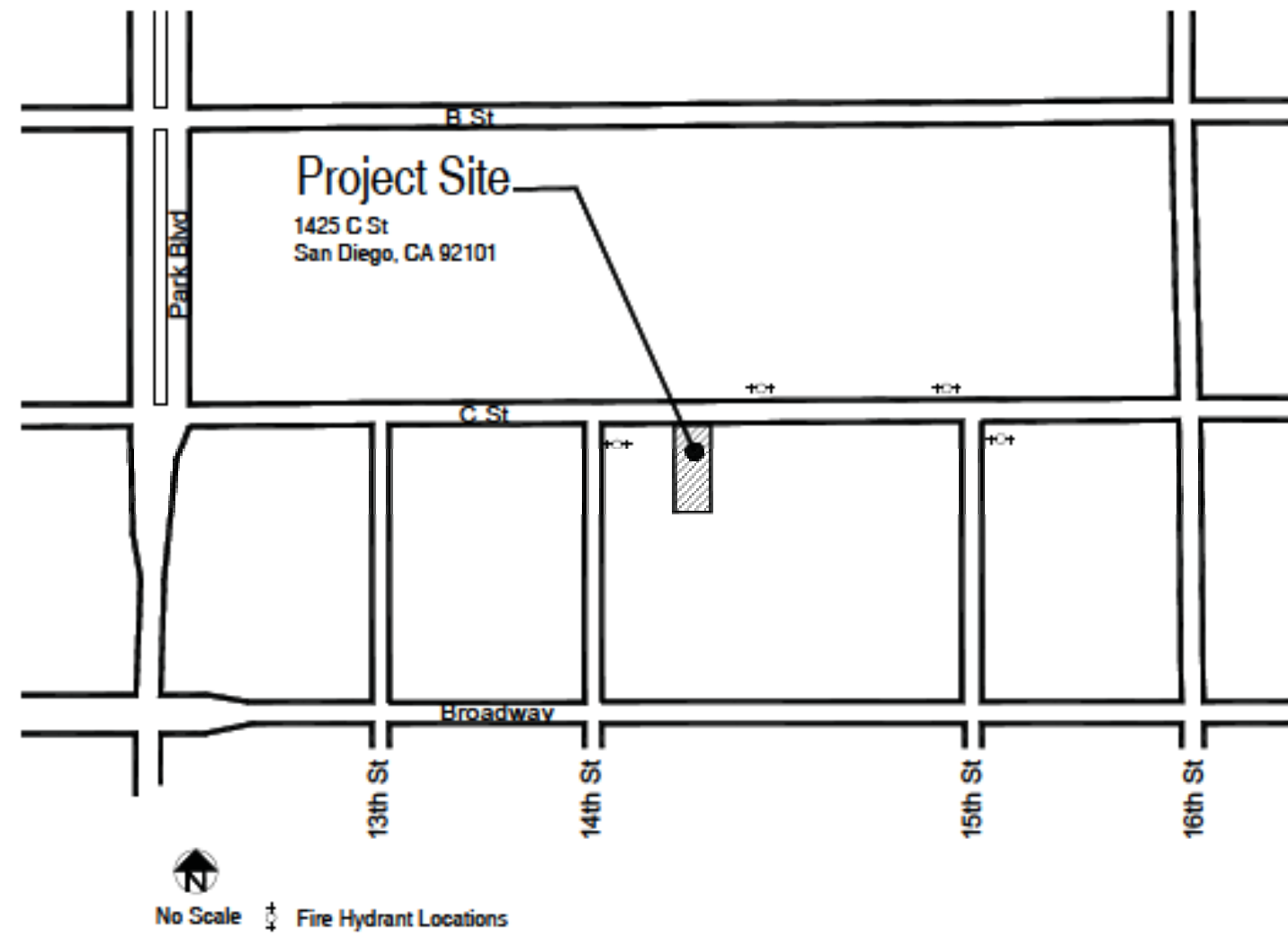
1805 Newton Ave, Suite A

San Diego, CA 92113

Contact: Diego Velasco

Tel: 619.230.0325 x4237

PROJECT LOCATION



ZONING DESIGNATIONS:

- CCPD-ER
- Planned District: Centre City Planned District
- Community Plan: Center City Community Plan
- Overlay Zones: Large-Floorplate Overlay
- Geologic Hazard: 53 low to moderate

HISTORIC DESIGNATION:

Designated Historic Resource per HRB# 1211

REQUIRED APPROVALS:

- Centre City Development Permit
- Site Development Permit for Substantial Alteration under SDMC Section 126.0504 (i) - Proposed Demolition of Historic Structure

PARKING REQUIREMENTS: (Per Table 156-0313-A)

Description	Parking Requirements	Required Parking Stalls	Proposed Parking Stalls
Living Units (at or below 40% AMI)	no stall required	0	0
Manager's Unit (1 bed)	1 stall every 0.1 units	0.1	1
Visitor/Guest	1 stall every 30 units	1.5	6
Motorcycle	1 stall every 20 units	2.2	2
Bicycle	one stall every 5 units	8.8	9

PROJECT DATA

ADDRESS:
1425 C Street, San Diego, California 92101

ASSESSOR PARCEL NUMBER:
534-210-12

LEGAL DESCRIPTION:

The Westerly one-half of north 40 feet of lots J, K, and L in block 179 of Horton's Addition according to the map made by L.L. Lockling filed in the office of the county recorder of San Diego County. Excepting therefrom the southerly 10 feet thereof.

SITE AREA: 8,278 square feet / 0.19 acres

EXISTING USE:

Residential - Transitional Housing with 15 bedrooms and 0 parking; Two existing buildings of approximately 6,700 gross square feet

PROPOSED USE:

Residential - 43 studio apartments and 1 one-bedroom apartment with 8 parking spaces; approximately 31,155 gross square feet of new construction

PROJECT DESCRIPTION:

The Beacon is a 44-unit studio apartment building, new construction, located at 1425 C Street across from San Diego City College in the East Village Neighborhood of Downtown San Diego. The site area is approx. 8,278 square feet. The building will provide permanent supportive housing for homeless individuals, including individuals served by the County Mental Health Services (MHSA). There will be one manager's unit on-site, with one-bedroom, one-bath and approximately 770 square feet. All other dwelling units will be approximately 350 square feet, and therefore, classify as "living units" under SDMC 156.0315(f). All units will be maintained as affordable for individuals at or below 40% AMI.

SCOPE OF WORK:

Demolish existing 2-story apartment building constructed in 1908 and 1-story duplex constructed in 1912; construct new 5-story apartment building with 43 living units and 1 manager's unit and supporting common spaces.

DEVELOPMENT SUMMARY:

Floor Level	Use	GFA	F.A.R.	Unit Count	Unit Avg SF
Level 1	Parking	4,770 SF	4,770** SF		
	Bike Storage	230 SF	230 SF		
	Lobby	711 SF	711 SF		
	Mechanical	360 SF	360 SF		
	Refuse/Storage	250 SF	250 SF	0	
Level 2	Residential	6,150 SF	6,150 SF	12	350 SF
Level 3	Residential Studios	6,150 SF	6,150 SF	12	350 SF
Level 4	Residential Studios	5,395 SF	5,395 SF	10	350 SF
	Community Room	555 SF	555 SF		
	Manager's Office	200 SF	200 SF		
Level 5	Residential Studios	5,045 SF	5,045 SF	9	350 SF
	Residential 1-bed	770 SF	770 SF	1	770 SF
	Laundry	160 SF	160 SF		
Roof	Mechanical	361 SF	361 SF	0	0
TOTALS		31,107 SF	31,107 SF	44	350 - 770
Total Exterior	Entry Court (Level 1)	1,134 SF	1,134 SF		
Open Space*	Sun Deck (Level 2)	250 SF	250 SF		

* Exterior Common Area is required for projects under 50 dwelling units

FLOOR AREA RATIO: 3.76 (31,107 / 8,278)

**Garage is included in F.A.R Calculation

- Per Section 113.0234(a)(6) - garage is not open on two sides for a min. of 75%
- Per Section 113.0234(d)(3)(B) - garage does not include a min. of at least two of the required criteria for exclusion in floor area calculations

F.A.R. BONUS: None Requested

TRANSPARENCY: 73%

390 SF of 535 SF of street facing ground level residential facade area is transparent

PROJECT TEAM

Owner & Developer:
Wakeland Housing & Development Corp.
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Tel: (619) 326-6212
Email: jtaylor@wakelandhdc.com

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Contact: Diego Velasco
Email: diego@mwsteele.com
Tel: (619) 230-0325 ext. 4237
Cell: (619) 602-1699

Civil:

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Contact: Mike Yentile
Tel: (619) 269-3444
Email: mike@kettlerleweck.com

Landscape Architect:

David Reed Landscape Architects
2171 India Street, Suite A
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Contact: David Reed
Tel: (619) 239-3300
Email: david@dra.sla.com

Geotechnical:

Leighton and Associates, Inc.
3934 Murphy Canyon Rd., Suite B205
San Diego, CA 92123
Contact: Mike D. Jensen
Tel: (858) 292-8030

APPLICABLE CODES:

San Diego Municipal Code
2013 California Building Code

OCCUPANCY:

Residential Group R-2
Storage Group S-2 - garage

CONSTRUCTION TYPE:

Type V-A Wood Construction
over Type I-B Concrete Garage
Sprinklered

LOT COVERAGE:

Max. Allowable (Building Base) : 100%
Proposed: 75%

BUILDING HEIGHT:

5 stories; 60 Feet

INTERIOR COMMON AREA

Required: 5 SF/ Living Unit = 5x43= 215 SF
Proposed: 555 SF

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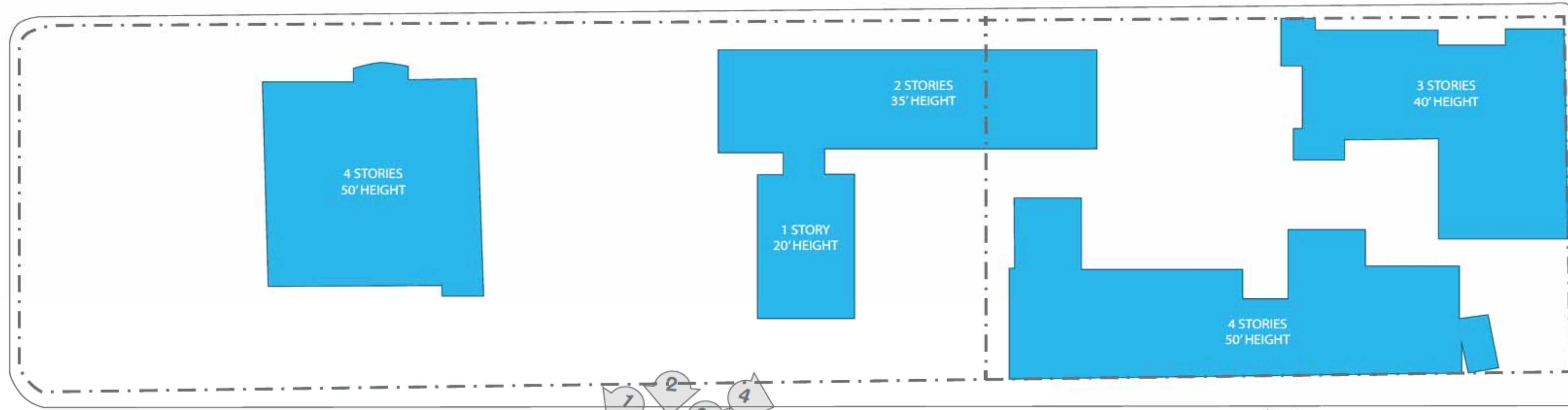


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B STREET



C STREET

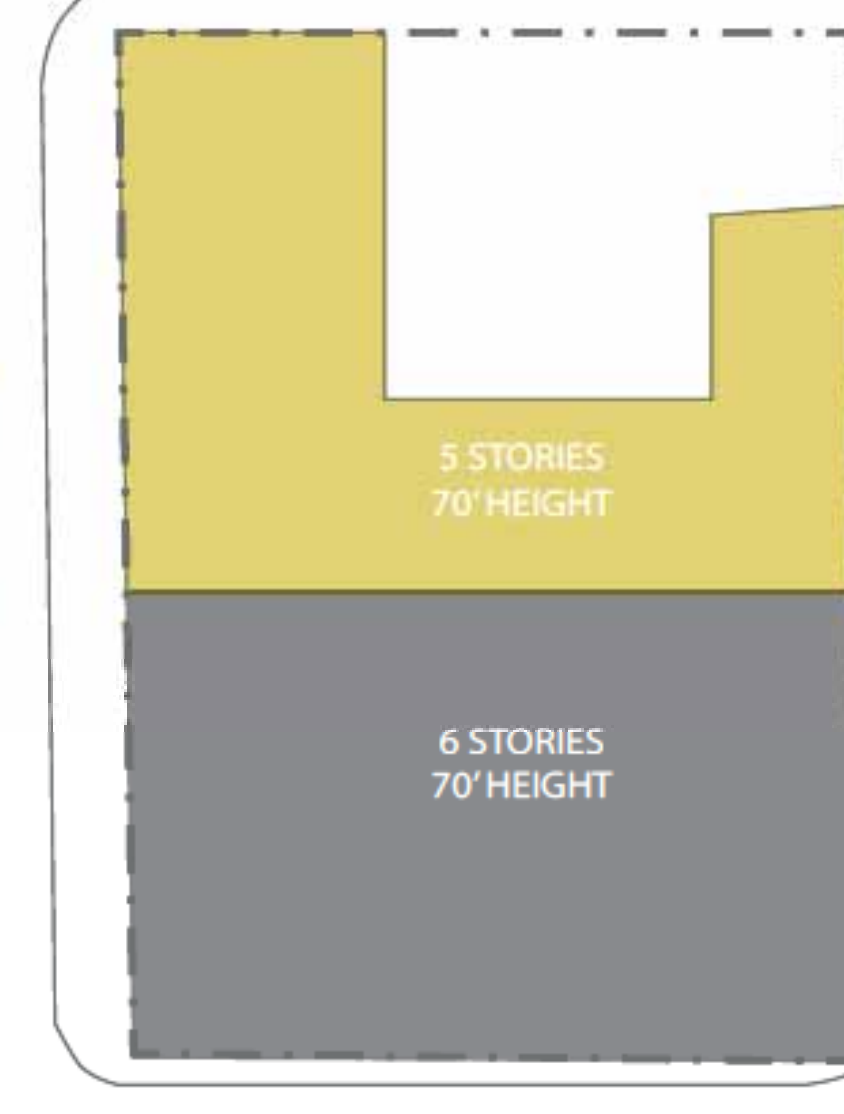
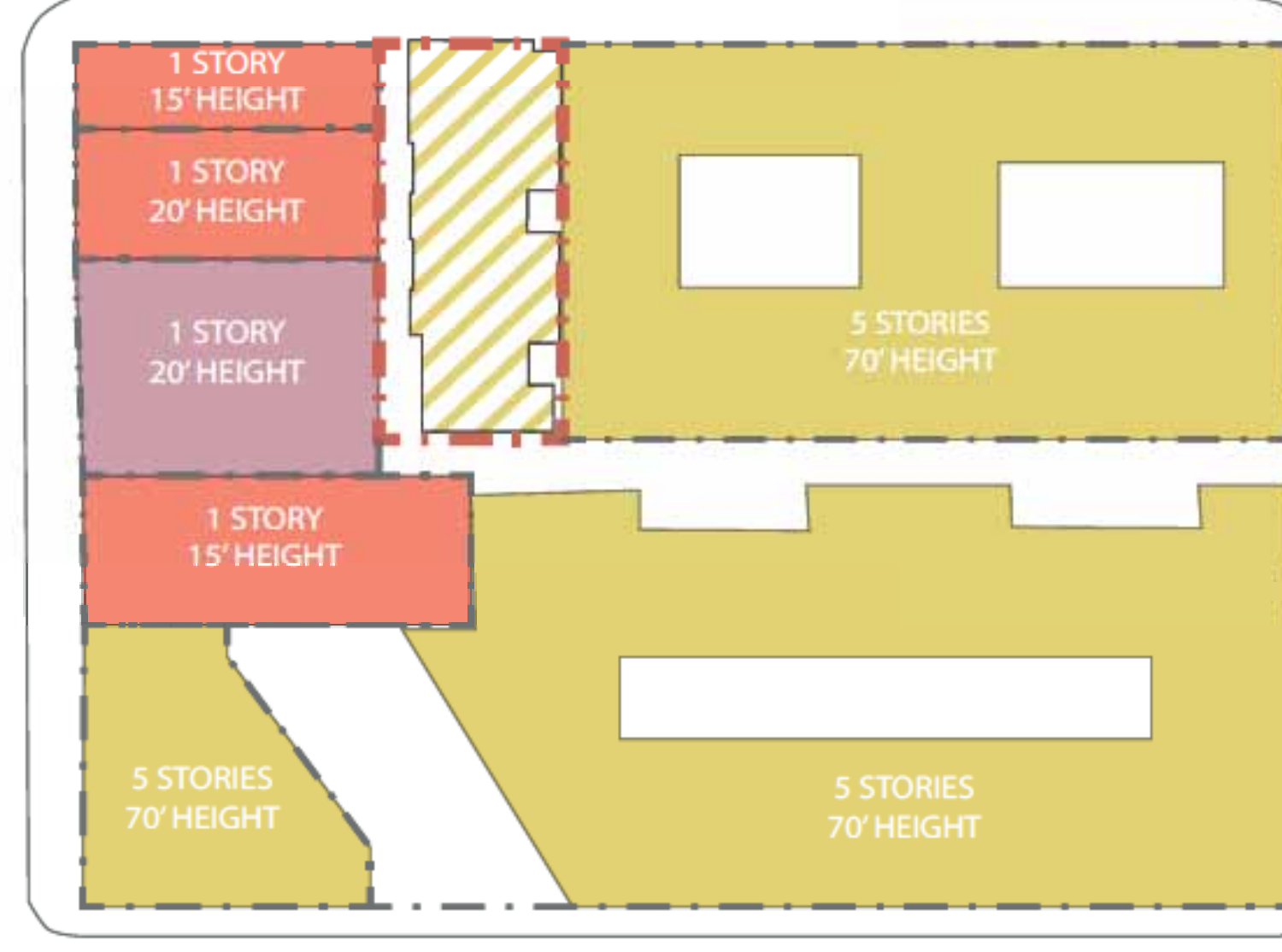
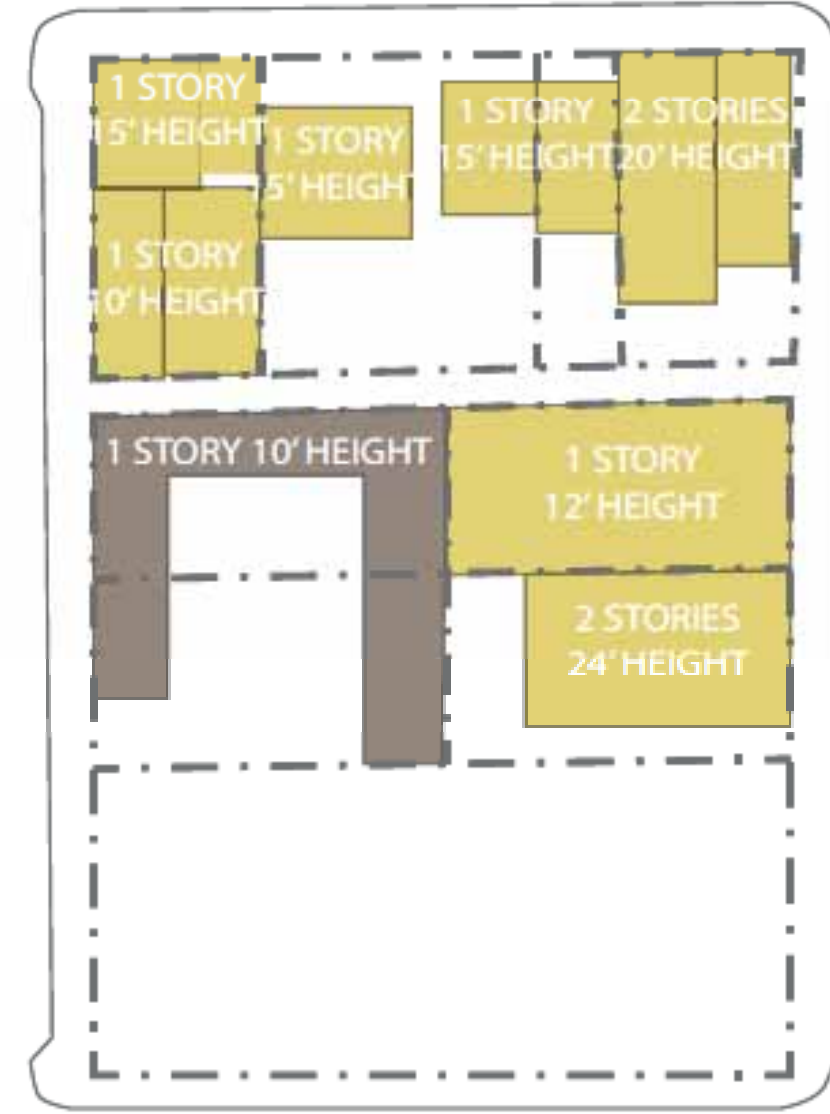
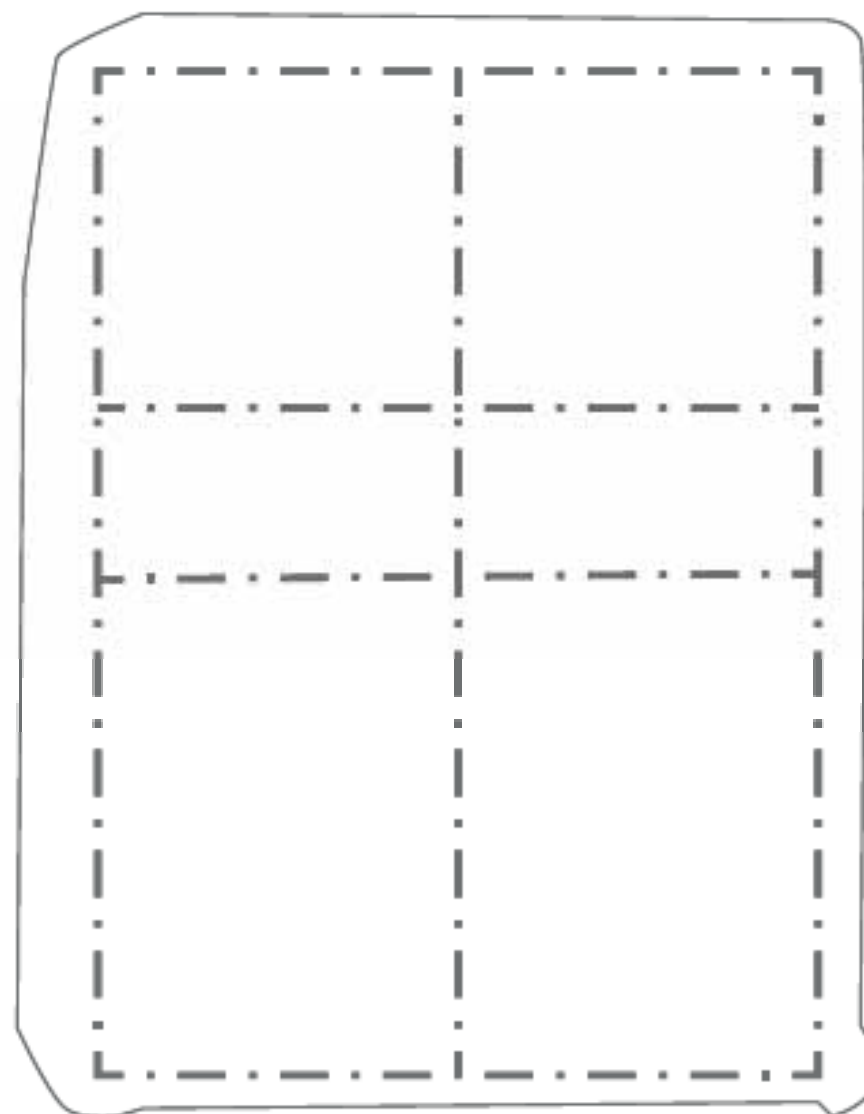
PARK BLVD.

13th STREET

14th STREET

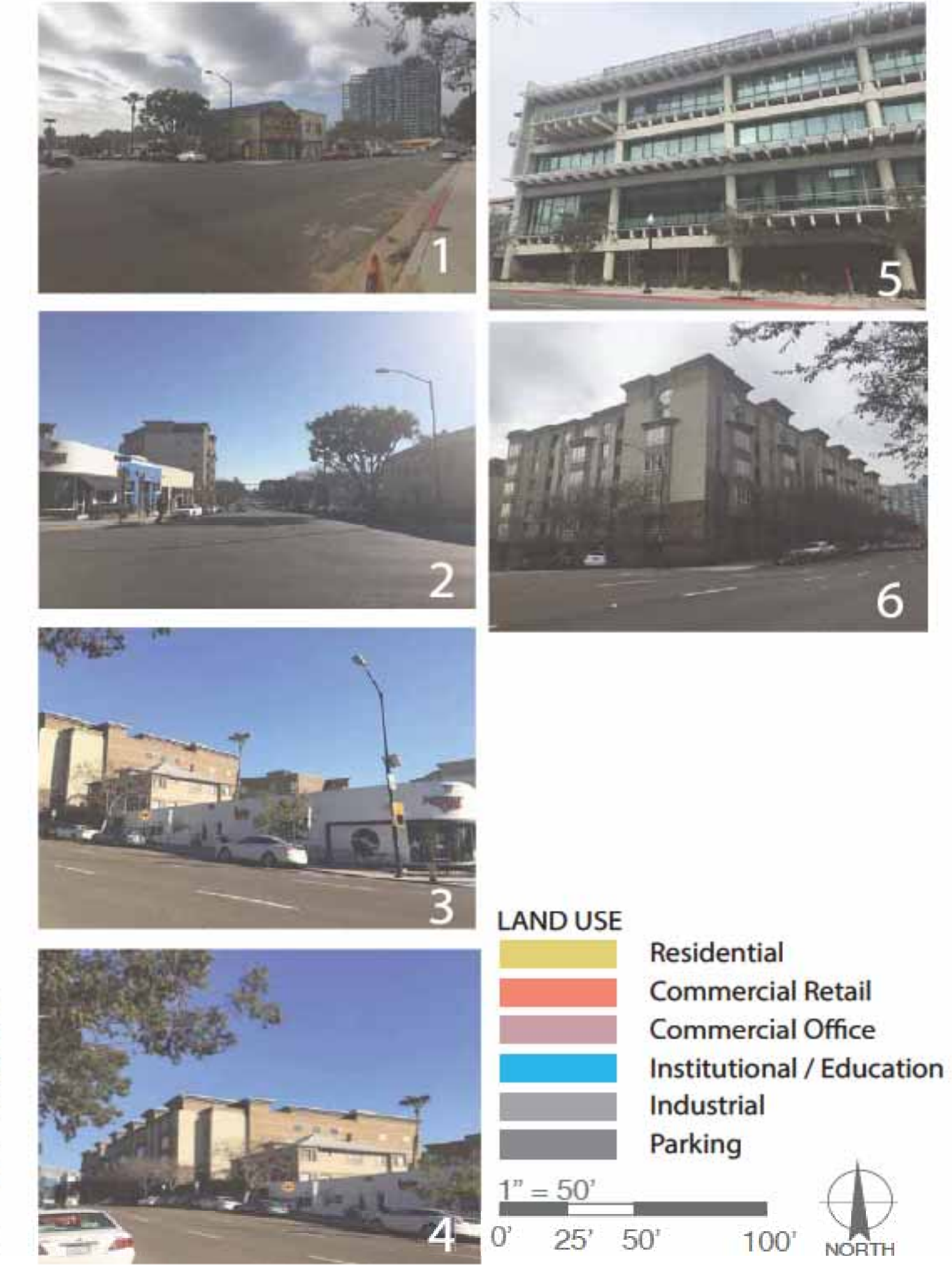
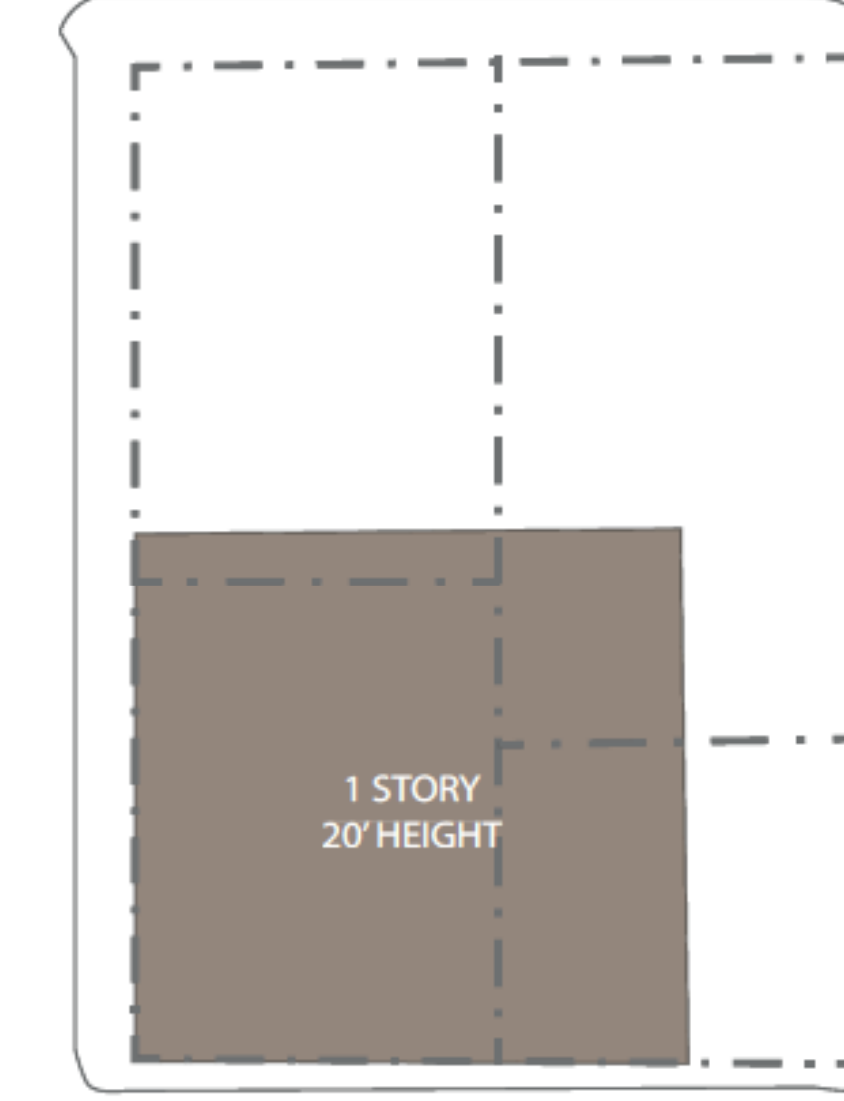
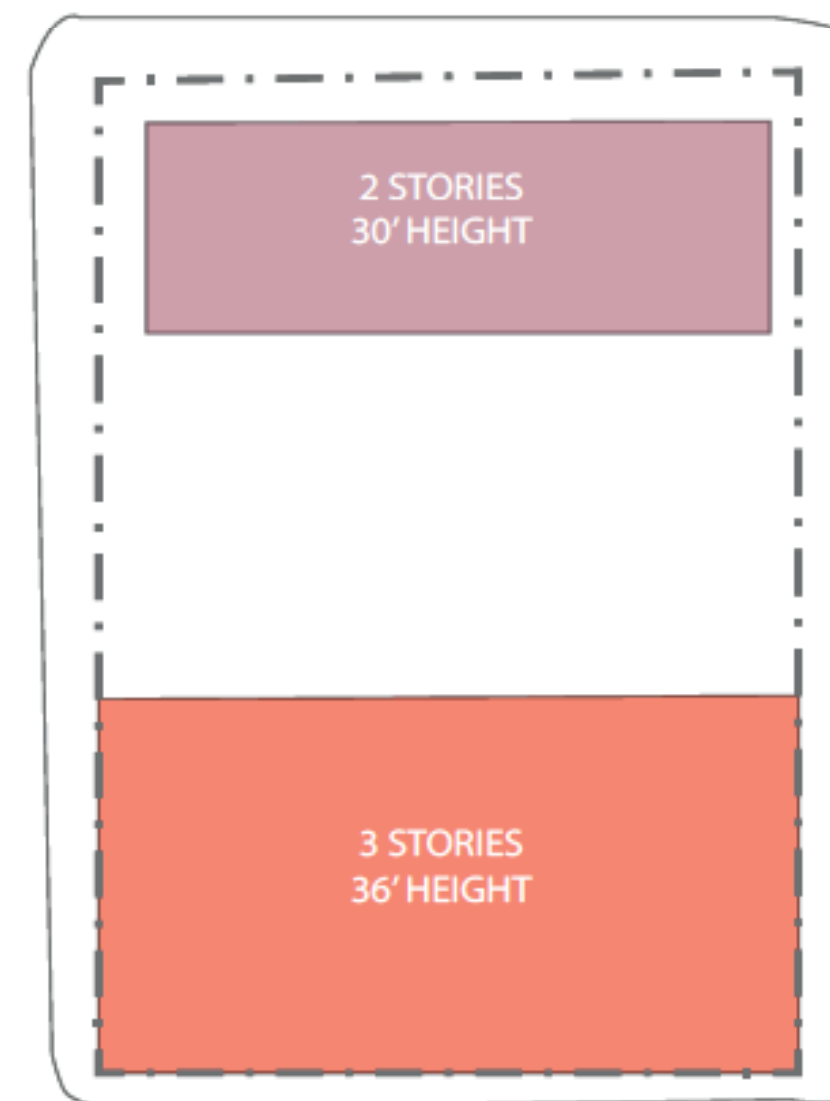
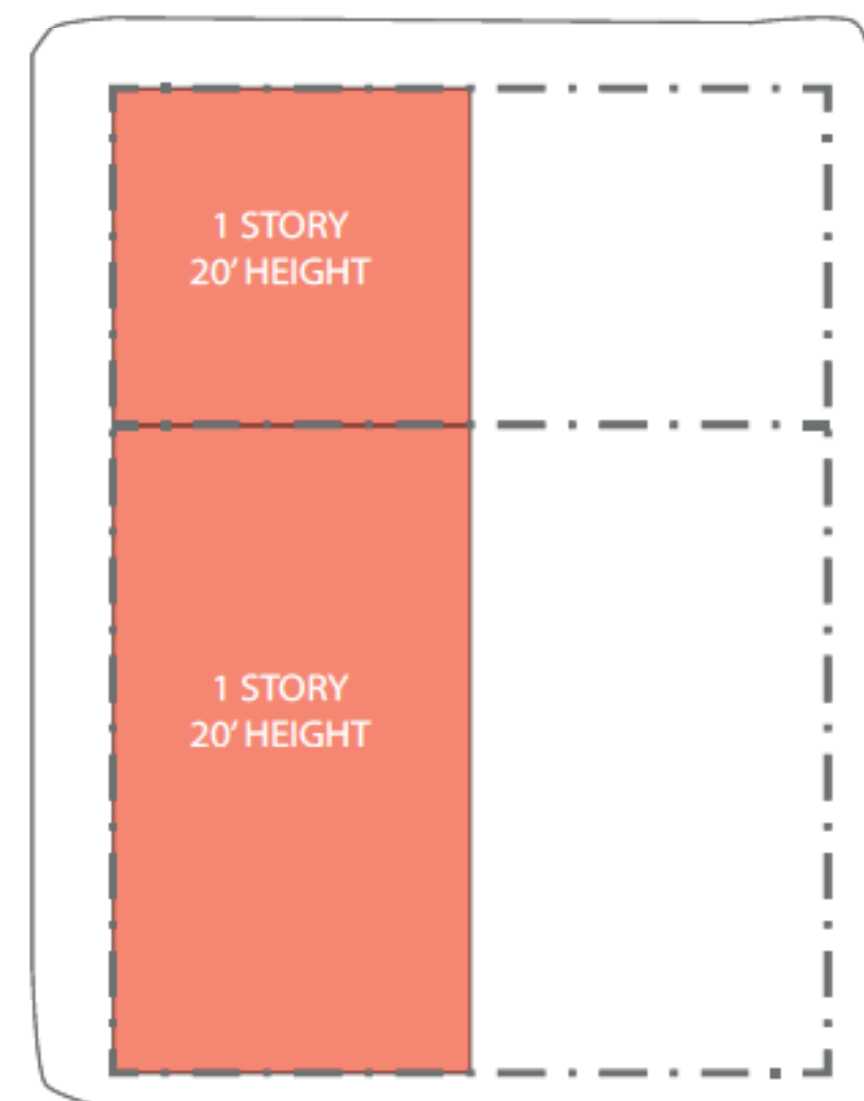
15th STREET

16th STREET

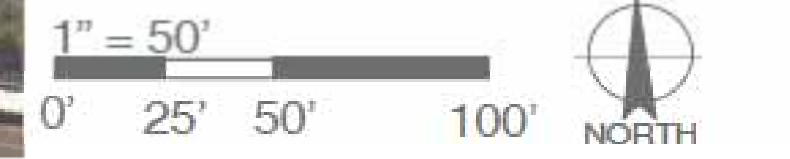


BROADWAY

E STREET



- LAND USE
- Residential
 - Commercial Retail
 - Commercial Office
 - Institutional / Education
 - Industrial
 - Parking



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VICINITY MAP

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C Street Vicinity Elevation
scale: n.t.s



14th Street Vicinity Elevation
scale: n.t.s

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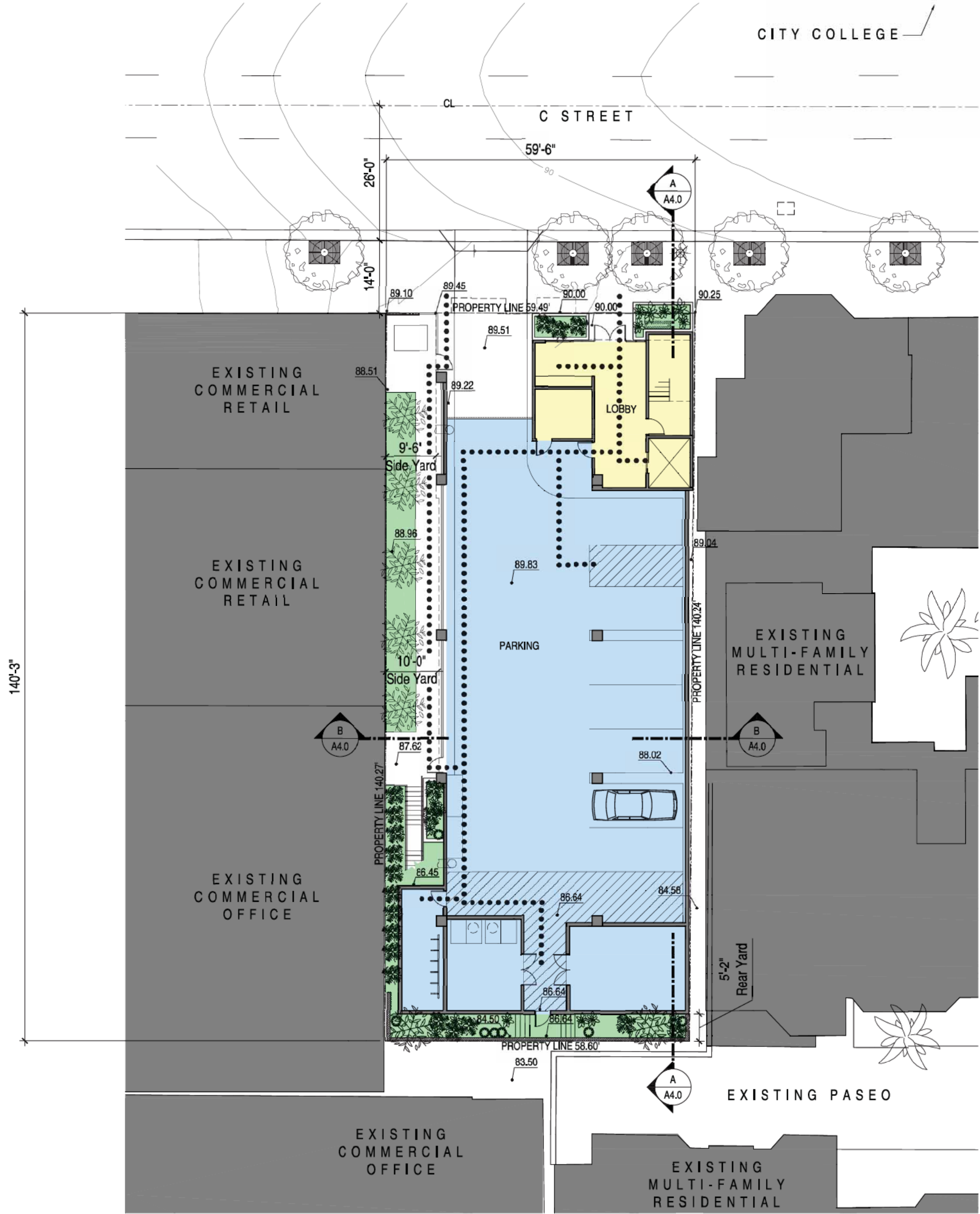
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VICINITY ELEVATIONS
 CONTEXT STUDIES

Scale: As Noted on Plans

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General Notes

1. Refer to Topographic Survey for all existing F.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.
2. No bus stop existing or proposed at street frontage of proposed project.
3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4).
4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00

Legend

- Accessible Parking Space
- Key Note
- Property Line
- Spot Elevation
- Accessible Path

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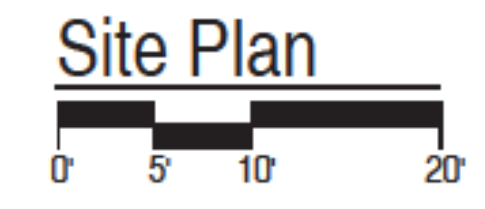
SITE PLAN

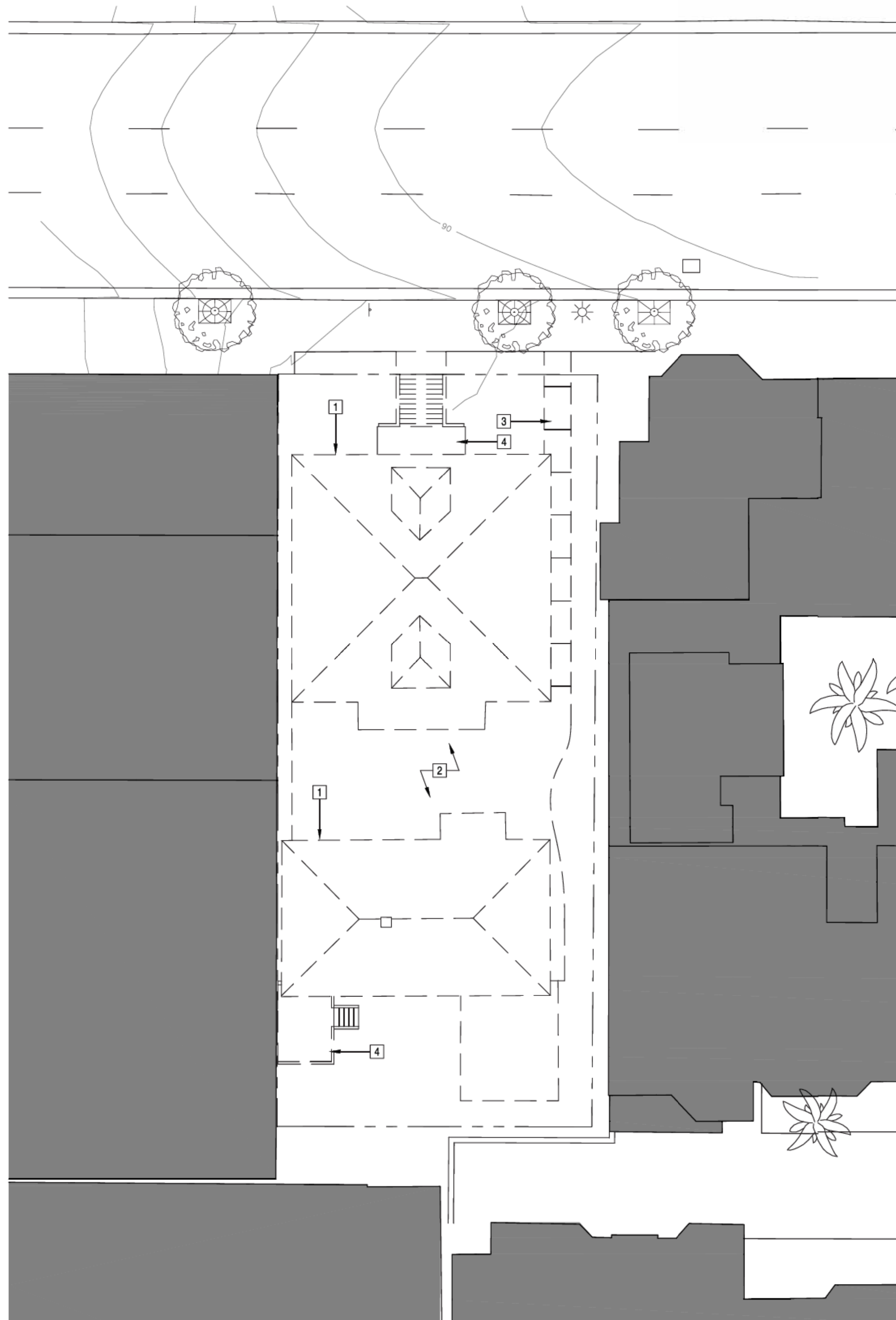
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A1.0

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Notes

- 1 Existing Building to be Removed
- 2 Concrete Patio to be demolished
- 3 Concrete Paths to be demolished
- 4 All Existing Patios to be demolished

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2. No bus stop existing or proposed at street frontage of proposed project.
3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFPC 901.4.4).
4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00

Legend

-  Accessible Parking Space
-  Key Note
-  Property Line
-  Spot Elevation
-  Accessible Path

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DEMO PLAN

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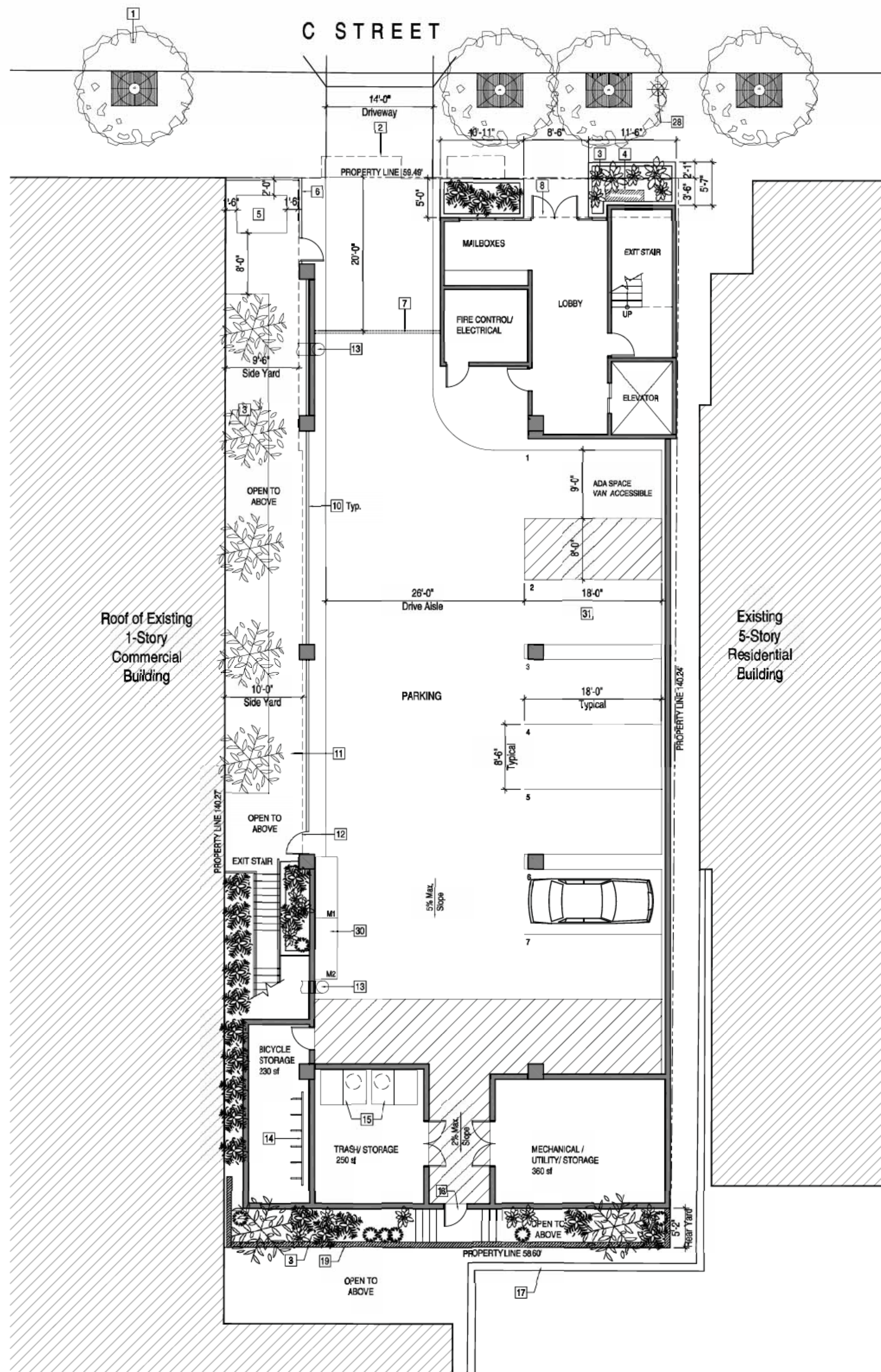


Demolition Plan



A1.1

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Legend	
<ul style="list-style-type: none"> Accessible Parking Space Key Note Property Line Spot Elevation Accessible Path 	

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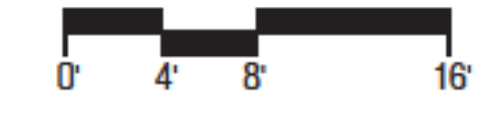
FLOOR PLANS

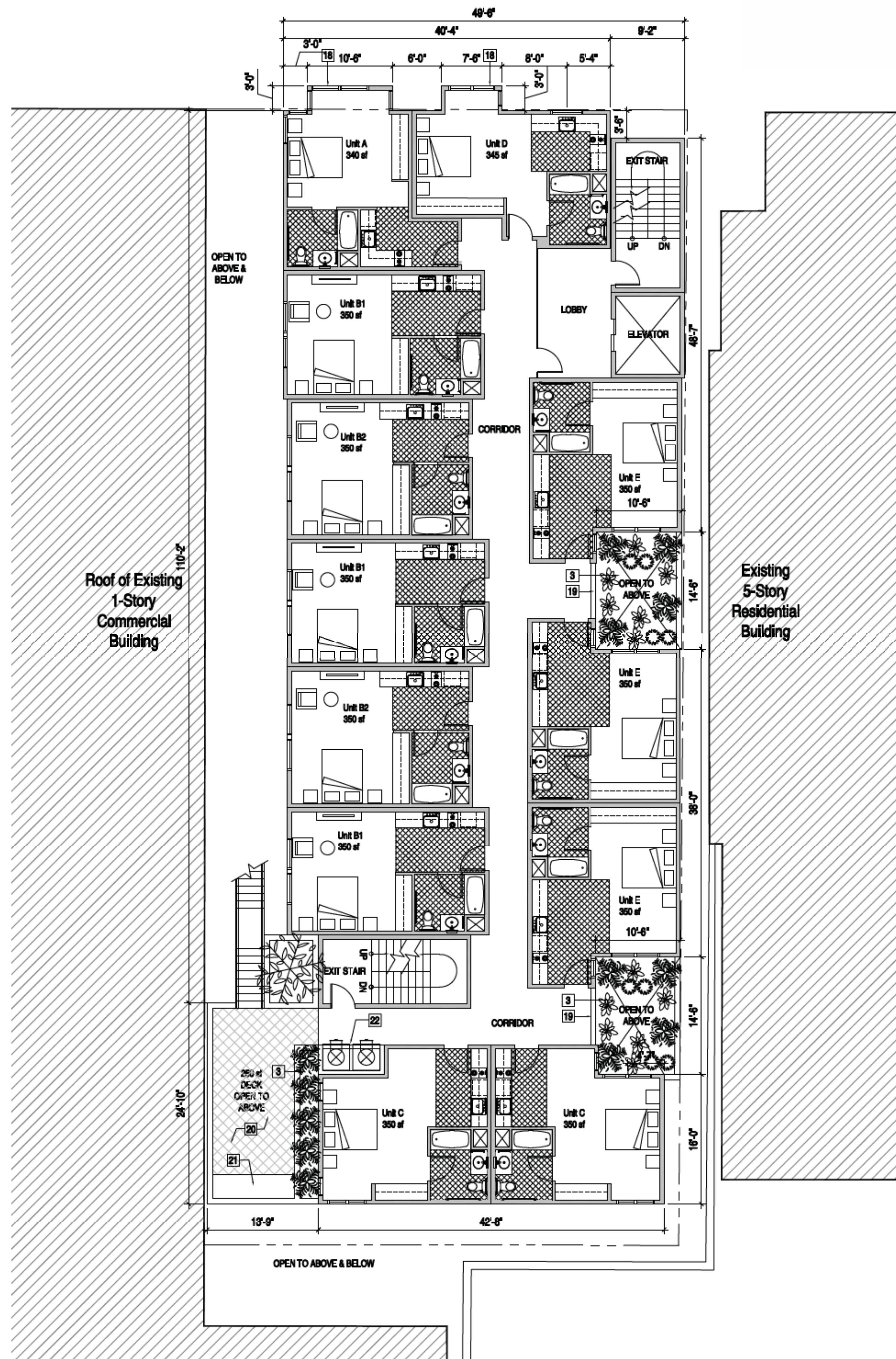
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Garage Plan





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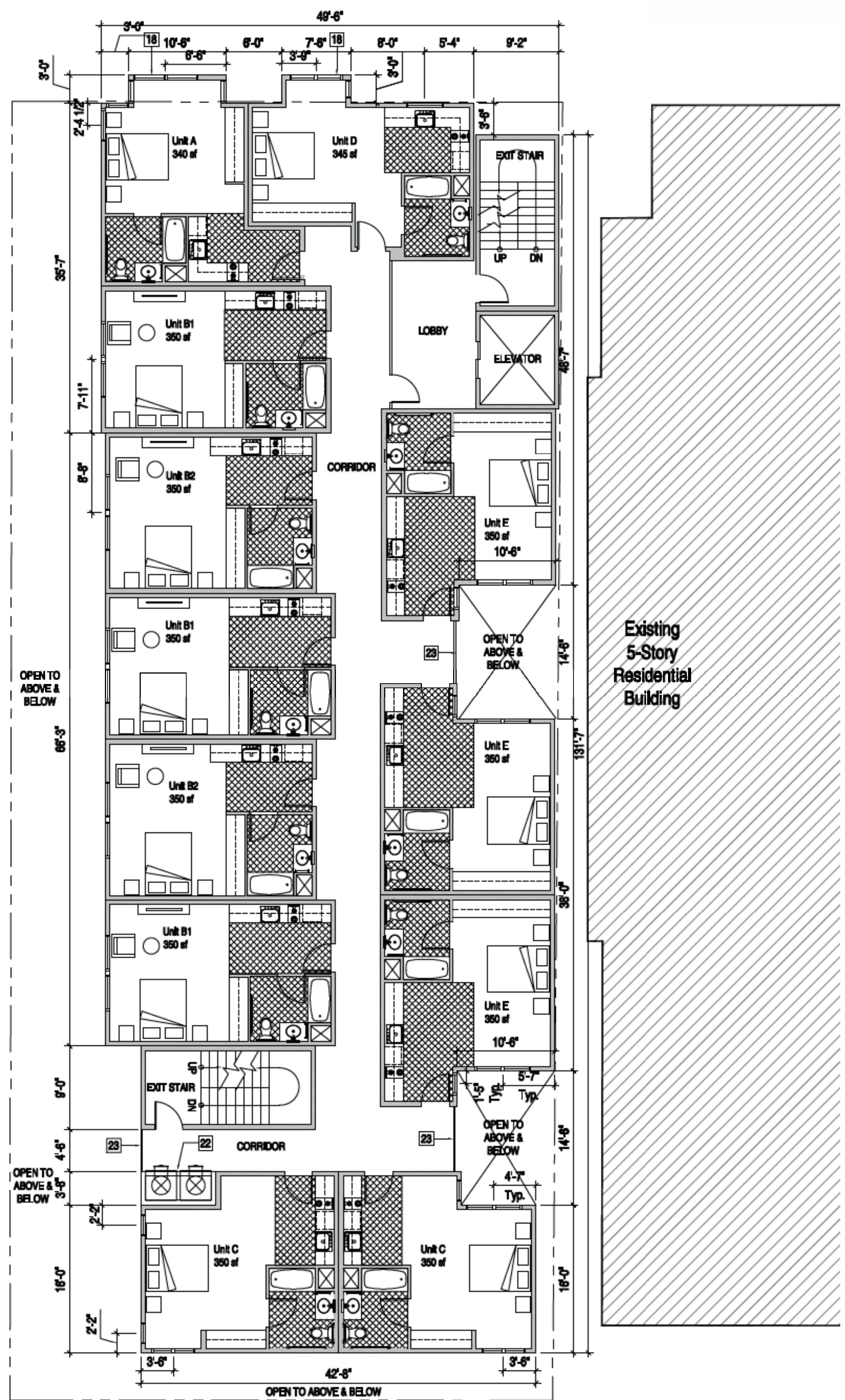
Second Floor Plan



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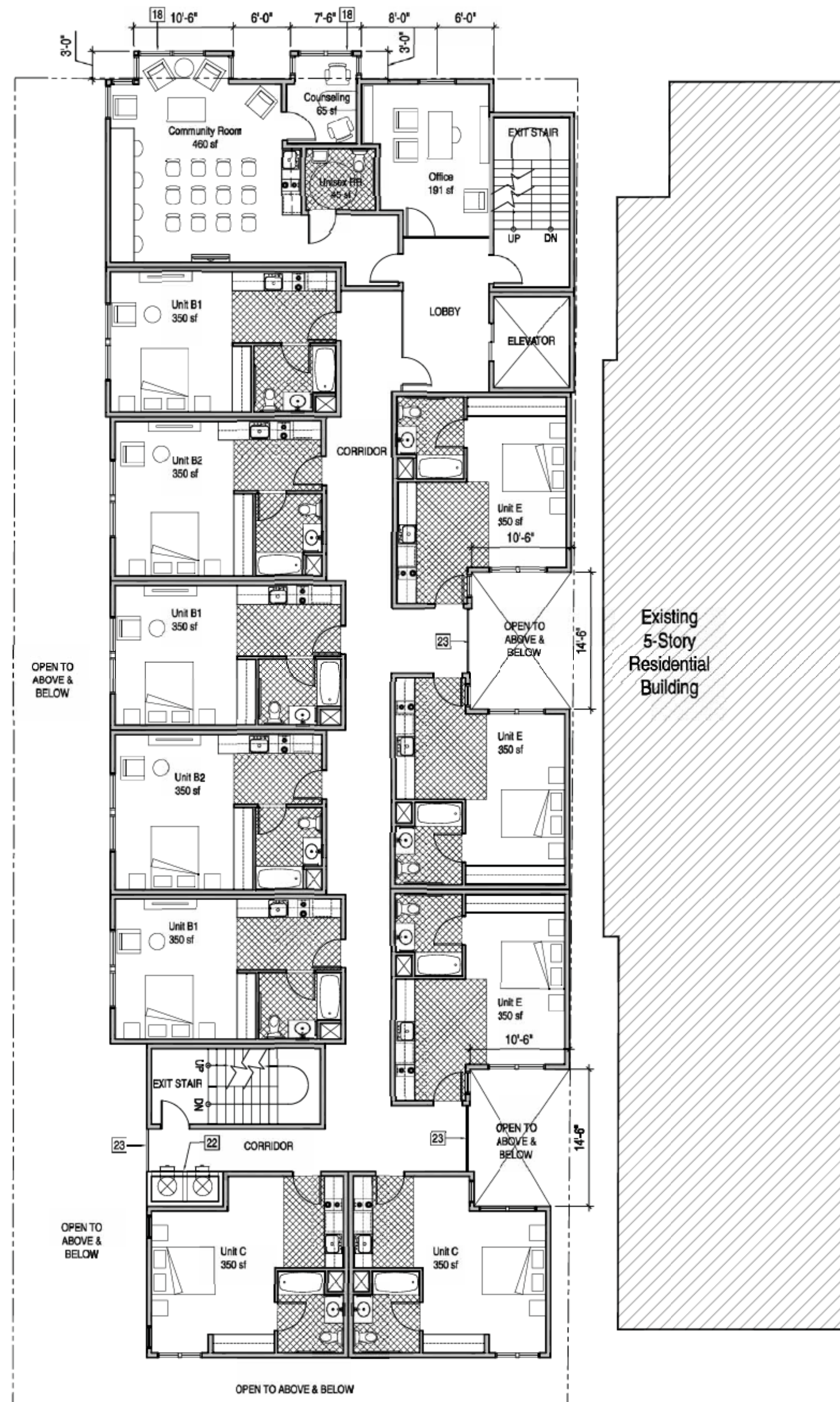


A2.2

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Third Floor Plan





Notes	General Notes
<ol style="list-style-type: none"> 1 Existing Tree to Remain 2 Line of Building Perimeter Above 3 Landscaped Planter 4 Fire and Water Backflow Device 5 SDGE Transformer at Grade 6 Secondary Access Gate 7 Garage Entry Gate 8 Primary Building Entrance 9 Security Desk 10 Metal Louver Screen over solid masonry wall 11 Egress Path / Paved Walkway 12 Garage Pedestrian Exit 13 Garage Exhaust/ Intake 14 Secure Bicycle Racks 15 Trash and Recycling Bins at Chute Locations 16 Yard Access 17 Existing Fence / Wall on Adjacent Residential Property 18 Ortel Window per SDMC Section 156.0011(h)(2) 19 24" High Masonry Planter Wall 20 Deck - Synthetic Decking and/or Deck Pavers 21 Counter for BBQ Grill 22 Trash and Recycling Chutes 23 Metal Guardrail 24 Mechanical Equipment Screening - Galvanized Metal Grating 25 Stucco Parapet - 42" high Typical with Painted Metal Cap 26 Trash and Recycling Chute Vents 27 Sloped Asphalt Shingle Roof 28 Street Light 29 VRF Mechanical Units 	<ol style="list-style-type: none"> 1. Refer to Topographic Survey for all existing F.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths. 2. No bus stop existing or proposed at street frontage of proposed project. 3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (JFC 901.4.4). 4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00
	Legend

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Architect:
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 Contact: Diego Velasco
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Project Number: 1523
 Original Date: April 01, 2016

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 Second Civic SD Submittal - 06/20/2016
 Third Civic SD Submittal - 10/26/2016

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FLOOR PLANS

Scale: As Noted on Plans

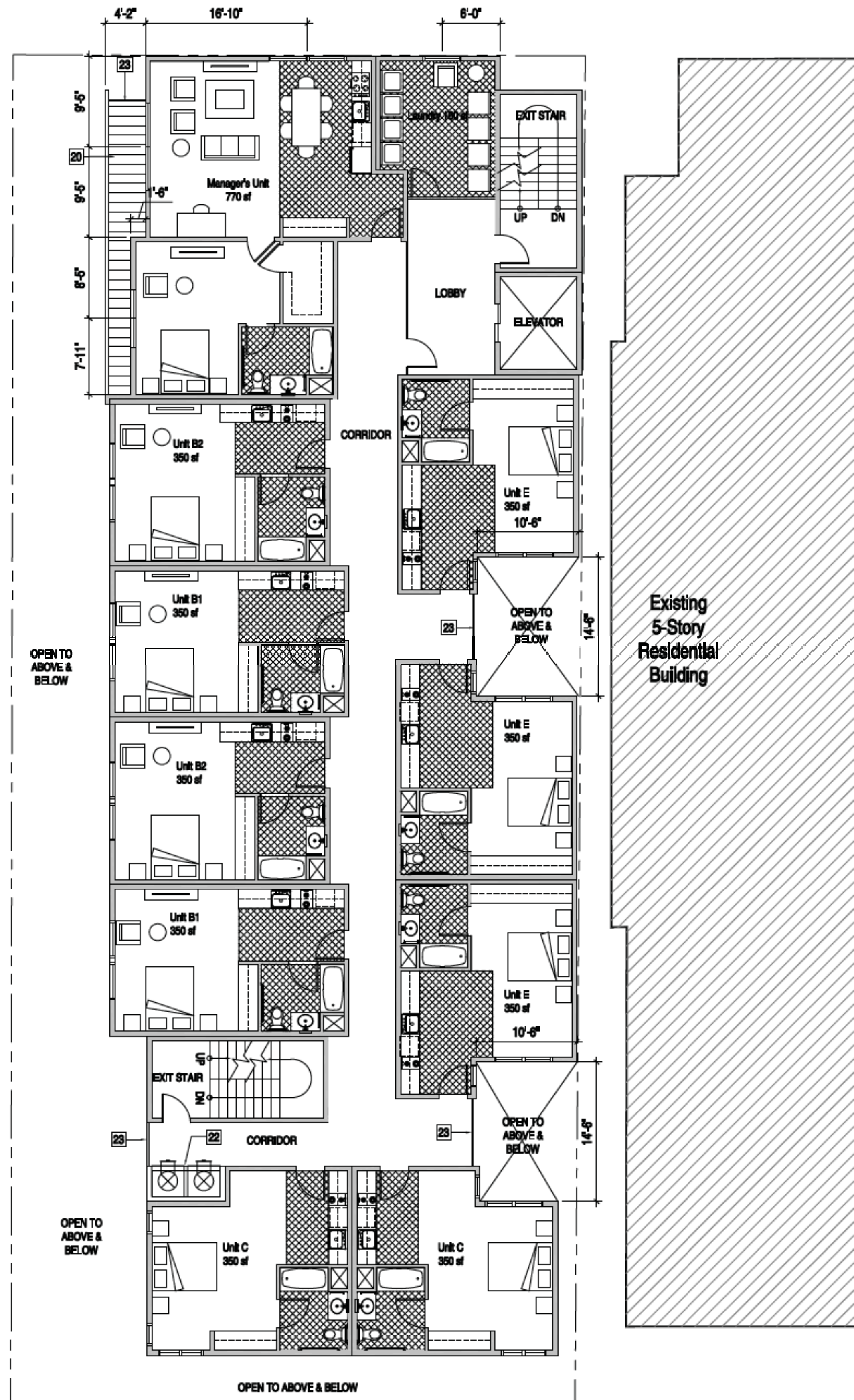


A2.3

Sheet Number 10 of 20

Fourth Floor Plan





Notes	General Notes
<ol style="list-style-type: none"> 1 Existing Tree to Remain 2 Line of Building Perimeter Above 3 Landscaped Planter 4 Fire and Water Backflow Device 5 SDGE Transformer at Grade 6 Secondary Access Gate 7 Garage Entry Gate 8 Primary Building Entrance 9 Security Desk 10 Metal Louver Screen over solid masonry wall 11 Egress Path / Paved Walkway 12 Garage Pedestrian Exit 13 Garage Exhaust/ Intake 14 Secure Bicycle Racks 15 Trash and Recycling Bins at Chute Locations 16 Yard Access 17 Existing Fence / Wall on Adjacent Residential Property 18 Ortel Window per SDMC Section 156.0011(h)(2) 19 24" High Masonry Planter Wall 20 Deck - Synthetic Decking and/or Deck Pavers 21 Counter for BBQ Grill 22 Trash and Recycling Chutes 23 Metal Guardrail 24 Mechanical Equipment Screening - Galvanized Metal Grating 25 Stucco Parapet - 42" high Typical with Painted Metal Cap 26 Trash and Recycling Chute Vents 27 Sloped Asphalt Shingle Roof 28 Street Light 29 VRF Mechanical Units 	<ol style="list-style-type: none"> 1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths. 2. No bus stop existing or proposed at street frontage of proposed project. 3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4). 4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00
Legend	

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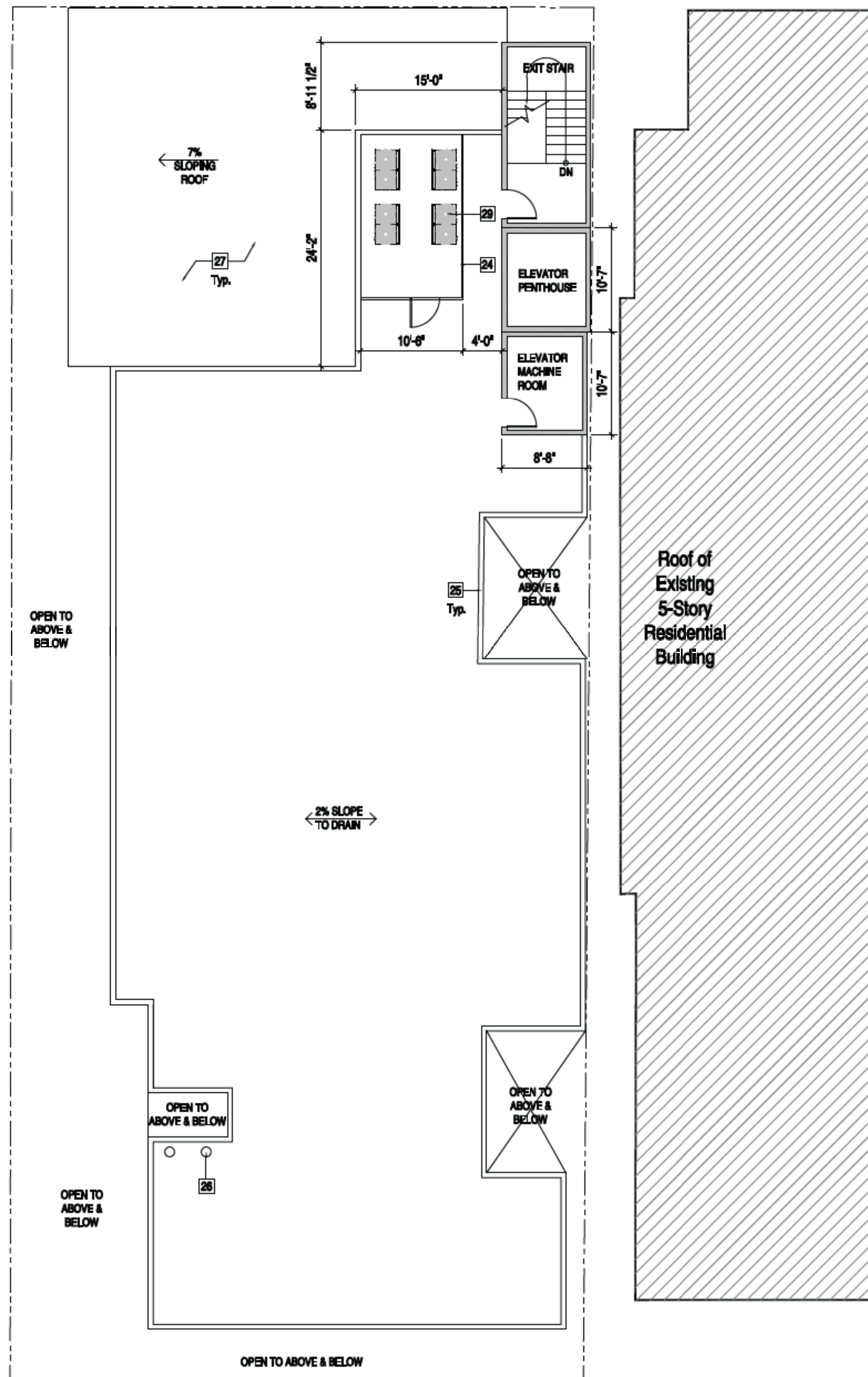
FLOOR PLANS

Scale: As Noted on Plans

A2.4

Sheet Number 11 of 20





Notes	General Notes
<ol style="list-style-type: none"> 1 Existing Tree to Remain 2 Line of Building Perimeter Above 3 Landscaped Planter 4 Fire and Water Backflow Device 5 SDGE Transformer at Grade 6 Secondary Access Gate 7 Garage Entry Gate 8 Primary Building Entrance 9 Security Desk 10 Metal Louver Screen over solid masonry wall 11 Egress Path / Paved Walkway 12 Garage Pedestrian Exit 13 Garage Exhaust/ Intake 14 Secure Bicycle Racks 15 Trash and Recycling Bins at Chute Locations 16 Yard Access 17 Existing Fence / Wall on Adjacent Residential Property 18 Orif Window per SDMC Section 156.0011(h)(2) 19 24" High Masonry Planter Wall 20 Deck - Synthetic Decking and/or Deck Pavers 21 Counter for BBQ Grill 22 Trash and Recycling Chutes 23 Metal Guardrail 24 Mechanical Equipment Screening - Galvanized Metal Grating 25 Stucco Parapet - 42" high Typical with Painted Metal Cap 26 Trash and Recycling Chute Vents 27 Sloped Asphalt Shingle Roof 28 Street Light 29 VRF Mechanical Units 	<ol style="list-style-type: none"> 1. Refer to Topographic Survey for all existing F.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths. 2. No bus stop existing or proposed at street frontage of proposed project. 3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4). 4. Locations of fire hydrants shown on vicinity map, See Sheet A0.00
	Legend

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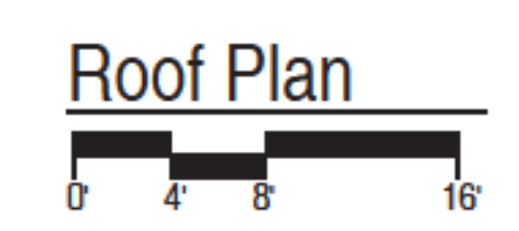
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ROOF PLAN

Scale: As Noted on Plans



A2.5

Sheet Number 12 of 20



Notes	
1	Metal Railing, Painted Finish
2	Hardie Board Siding with Integral Color
3	Metal Louver, Painted
4	Aluminum Storefront Entrance Door
5	Entrance Lighting Sconce
6	CMU Planter with Integrated Wood Bench
7	Pedestrian Exit Gate, Metal, Painted Finish
8	Cement Plaster, Integral Color and Painted Finish
9	Concrete Post-Tensioned Slab
10	Metal Insulated Panel Siding with Integral Color
11	CMU Garage Wall
12	Metal Reveal
13	Garage Door, Solid Painted Metal Louvers

General Notes	
1. Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.	
2. No bus stop existing or proposed at street frontage of proposed project.	
3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (UFC 901.4.4).	

Legend	
	Accessible Parking Space
	Key Note
	Property Line

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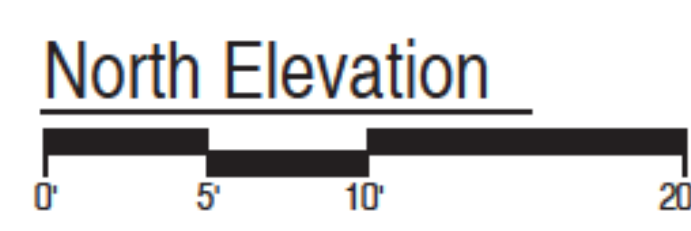
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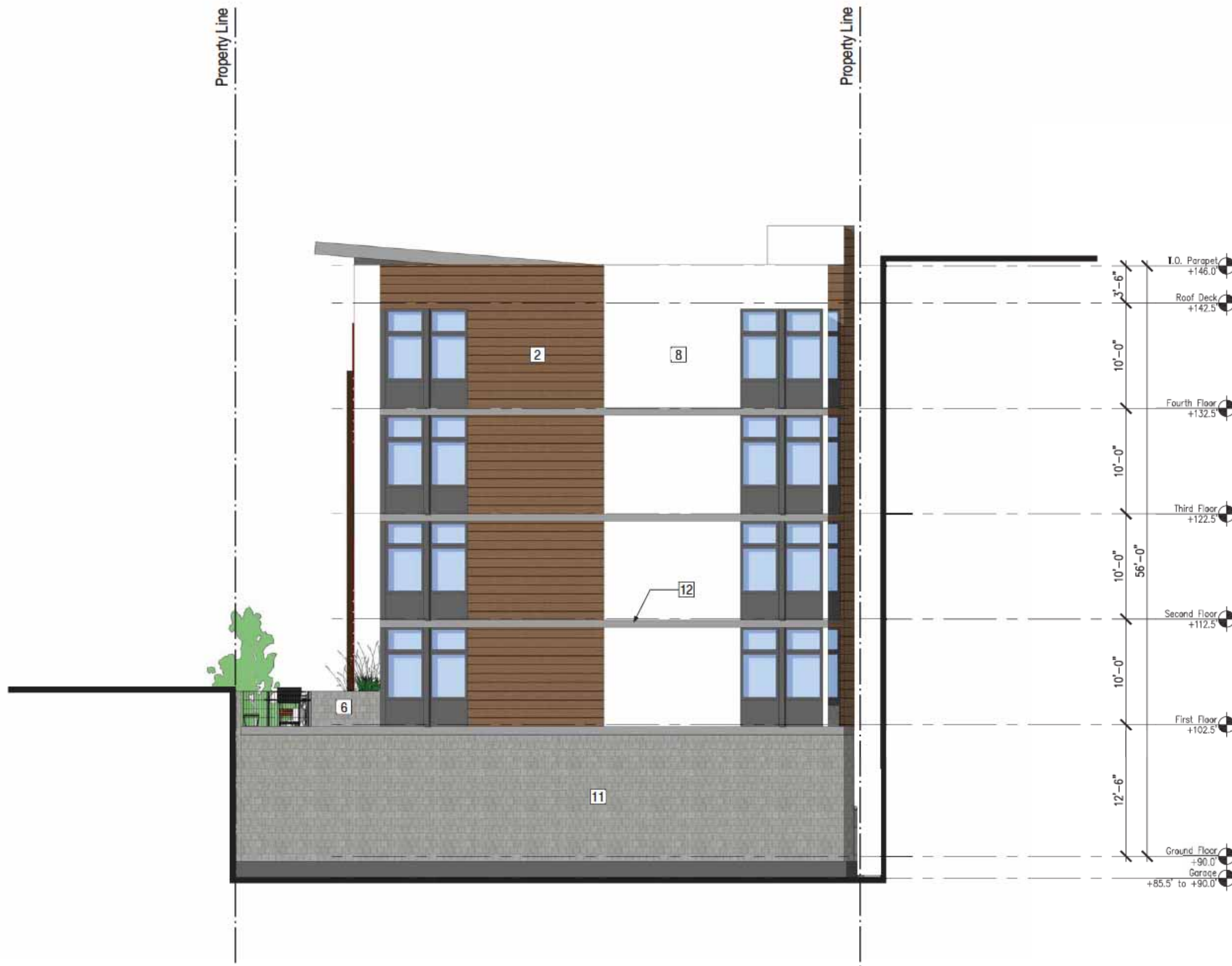
NORTH ELEVATION
 Scale: As Noted on Plans



A3.0

Sheet Number 13 of 20

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Notes

- 1 Metal Railing, Painted Finish
- 2 Hardie Board Siding with Integral Color
- 3 Metal Louver, Painted
- 4 Aluminum Storefront Entrance Door
- 5 Entrance Lighting Sconce
- 6 CMU Planter with Integrated Wood Bench
- 7 Pedestrian Exit Gate, Metal, Painted Finish
- 8 Cement Plaster, Integral Color and Painted Finish
- 9 Concrete Post-Tensioned Slab
- 10 Metal Insulated Panel Siding with Integral Color
- 11 CMU Garage Wall
- 12 Metal Reveal
- 13 Garage Door, Painted Metal Grate

General Notes

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2. No bus stop existing or proposed at street frontage of proposed project.
3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (LFC 901.4.4).

Legend

-  Accessible Parking Space
-  Key Note
-  Property Line

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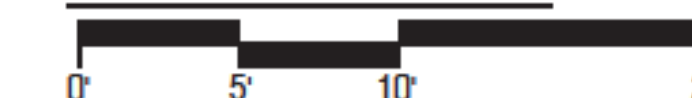
SOUTH ELEVATION

Scale: As Noted on Plans

A3.1

Sheet Number 14 of 20

South Elevation



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Property Line

Property Line



Notes

- 1 Metal Railing, Painted Finish
- 2 Hardie Board Siding with Integral Color
- 3 Metal Louver, Painted
- 4 Aluminum Storefront Entrance Door
- 5 Entrance Lighting Sconce
- 6 CMU Planter with Integrated Wood Bench
- 7 Pedestrian Exit Gate, Metal, Painted Finish
- 8 Cement Plaster, Integral Color and Painted Finish
- 9 Concrete Post-Tensioned Slab
- 10 Metal Insulated Panel Siding with Integral Color
- 11 CMU Garage Wall
- 12 Metal Reveal
- 13 Garage Door, Painted Metal Grate

General Notes

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2. No bus stop existing or proposed at street frontage of proposed project.
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Legend

- Accessible Parking Space
- Key Note
- Property Line

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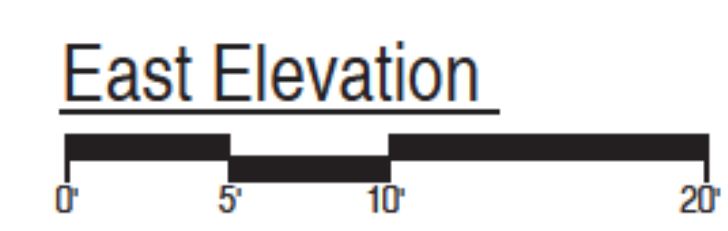
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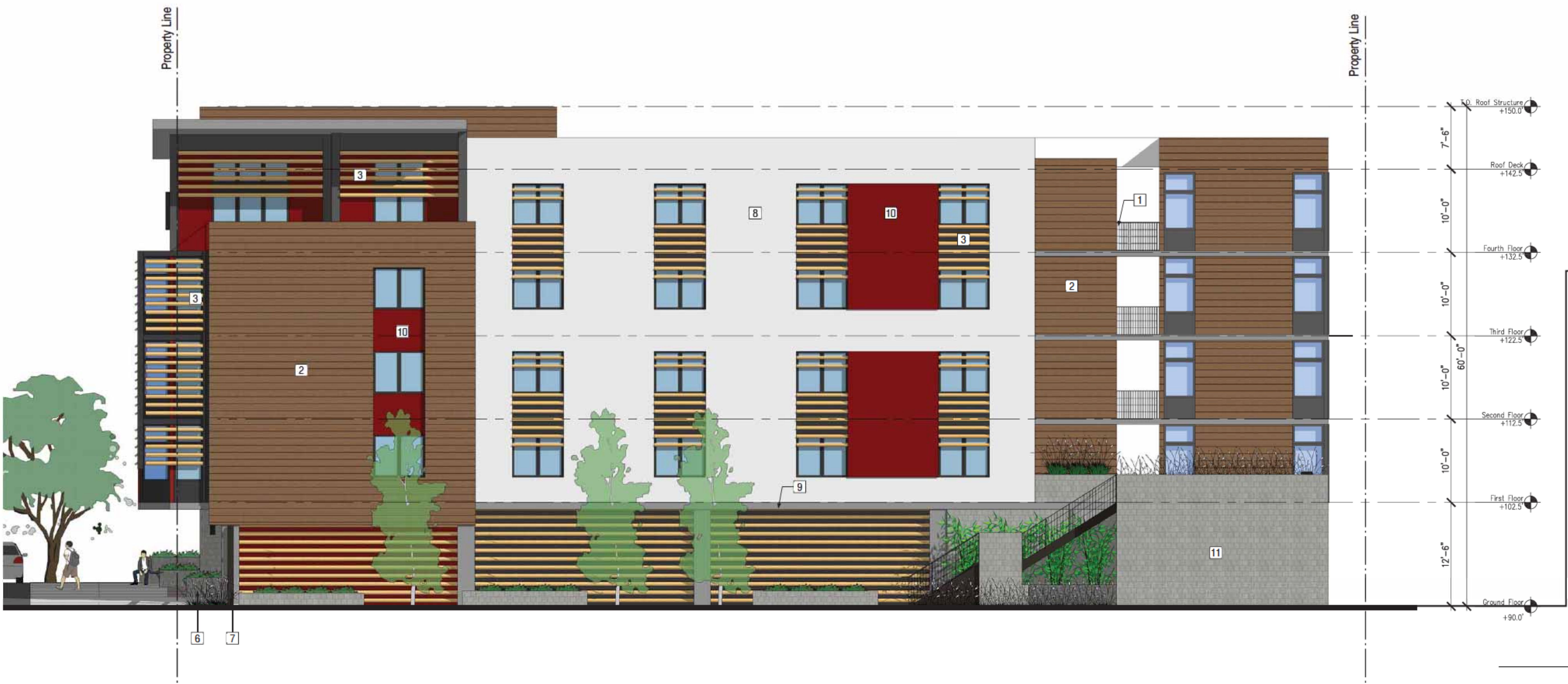
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EAST ELEVATION
 Scale: As Noted on Plans

A3.2

Sheet Number 15 of 20





Notes	
1	Metal Railing, Painted Finish
2	Hardie Board Siding with Integral Color
3	Metal Louver, Painted
4	Aluminum Storefront Entrance Door
5	Entrance Lighting Sconce
6	CMU Planter with Integrated Wood Bench
7	Pedestrian Exit Gate, Metal, Painted Finish
8	Cement Plaster, Integral Color and Painted Finish
9	Concrete Post-Tensioned Slab
10	Metal Insulated Panel Siding with Integral Color
11	CMU Garage Wall
12	Metal Reveal
13	Garage Door, Painted Metal Grate

General Notes	
1.	Refer to Topographic Survey for all existing R.O.W. widths, property line definitions, curb to property line distances, sidewalk and easement widths.
2.	No bus stop existing or proposed at street frontage of proposed project.
3.	Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-8 (LFC 901.4.4).

Legend	
	Accessible Parking Space
	Key Note
	Property Line

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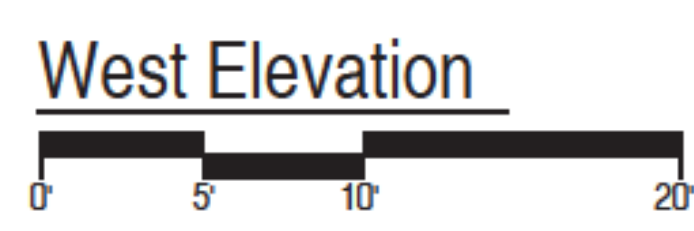
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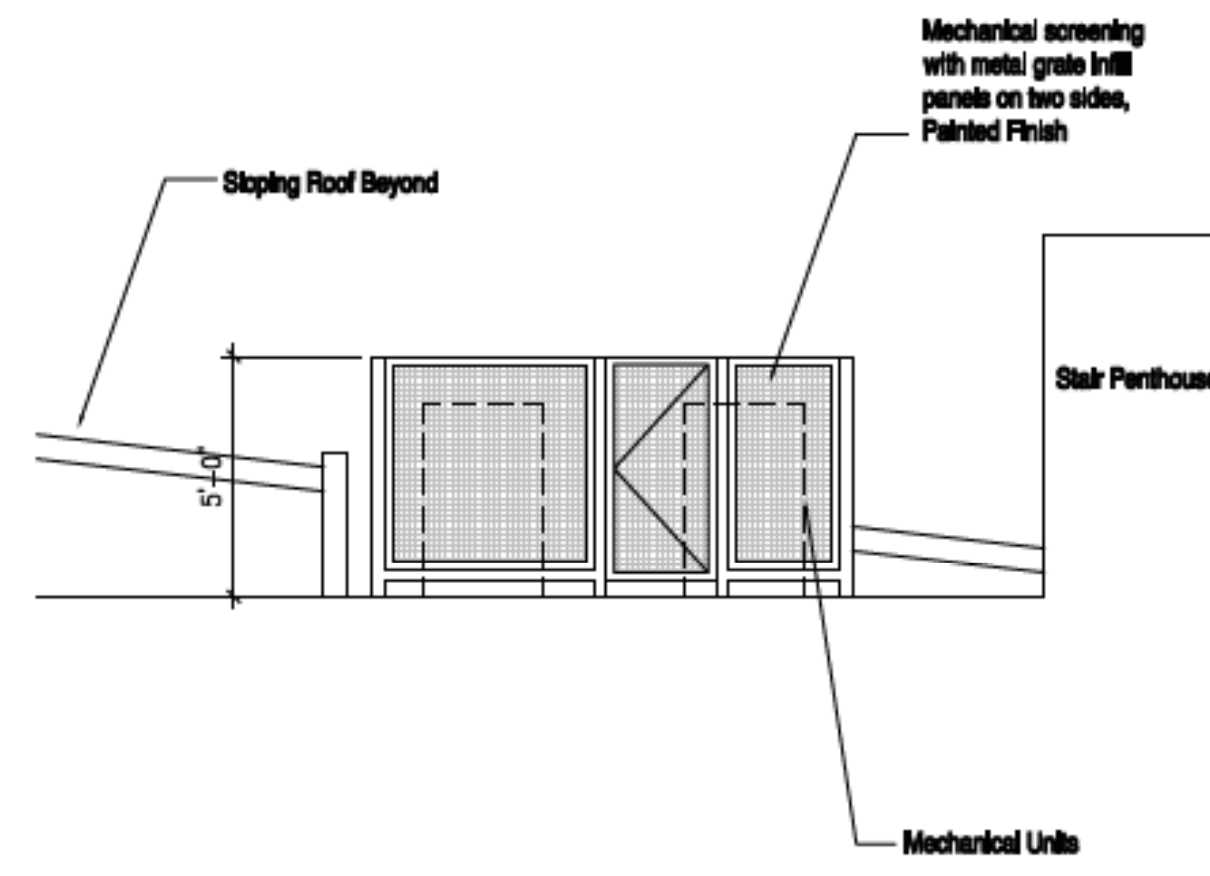
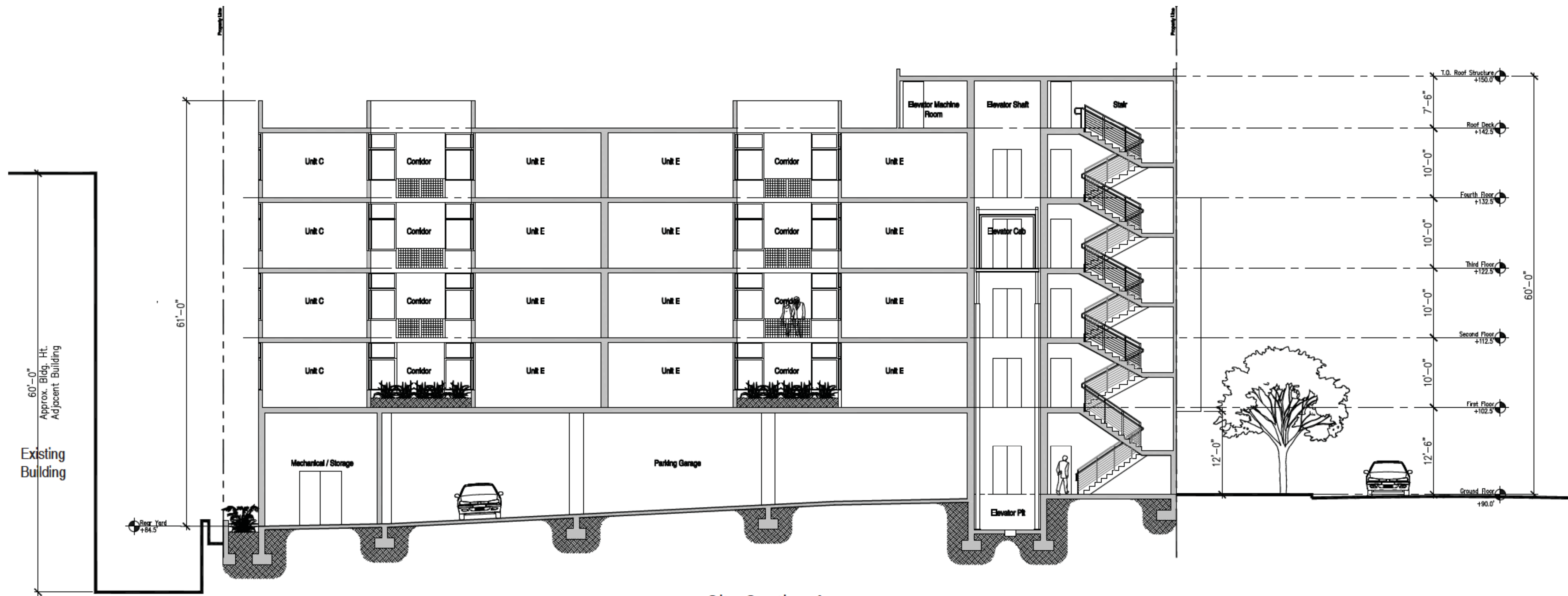
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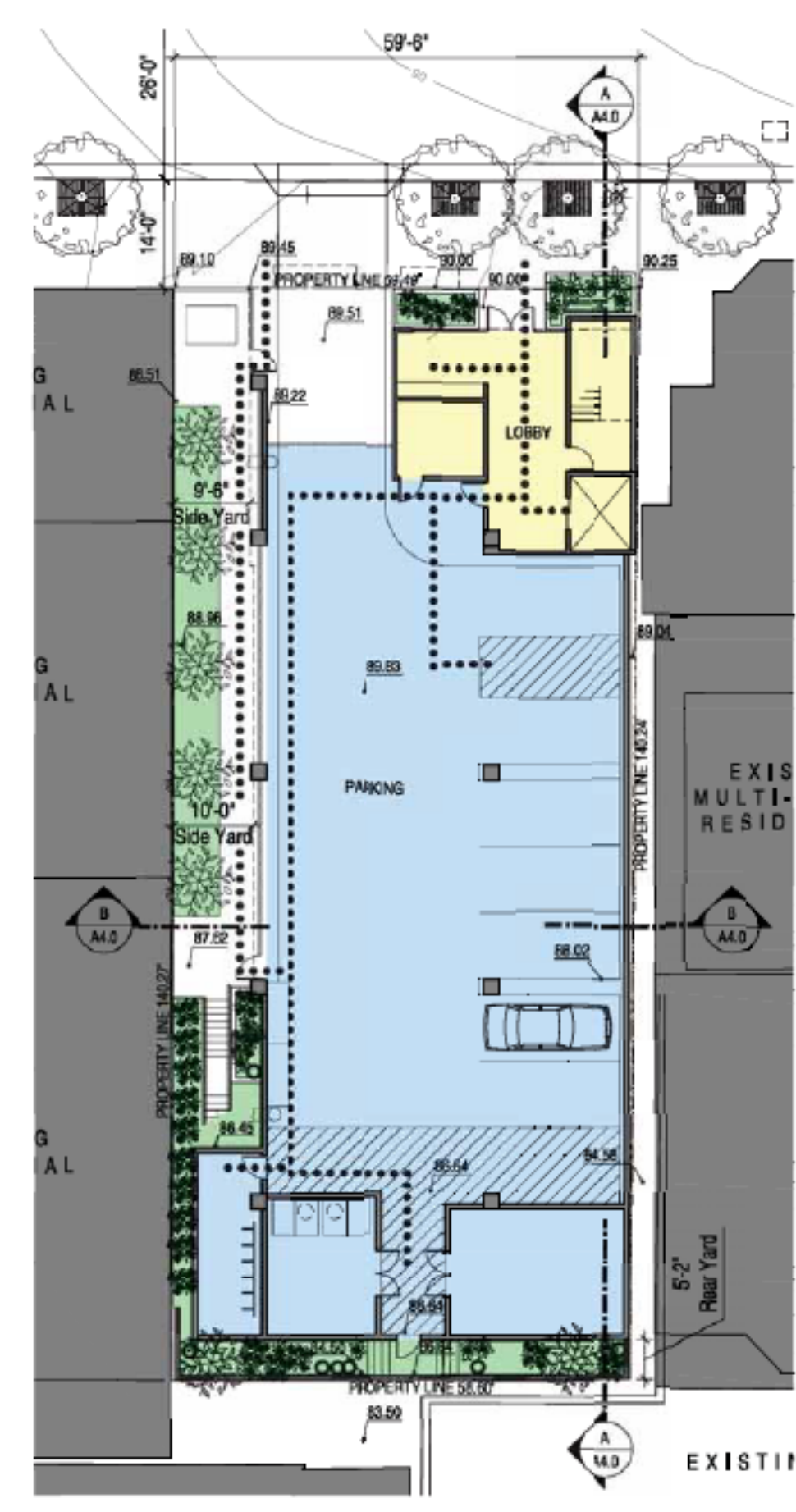
WEST ELEVATION
 Scale: As Noted on Plans



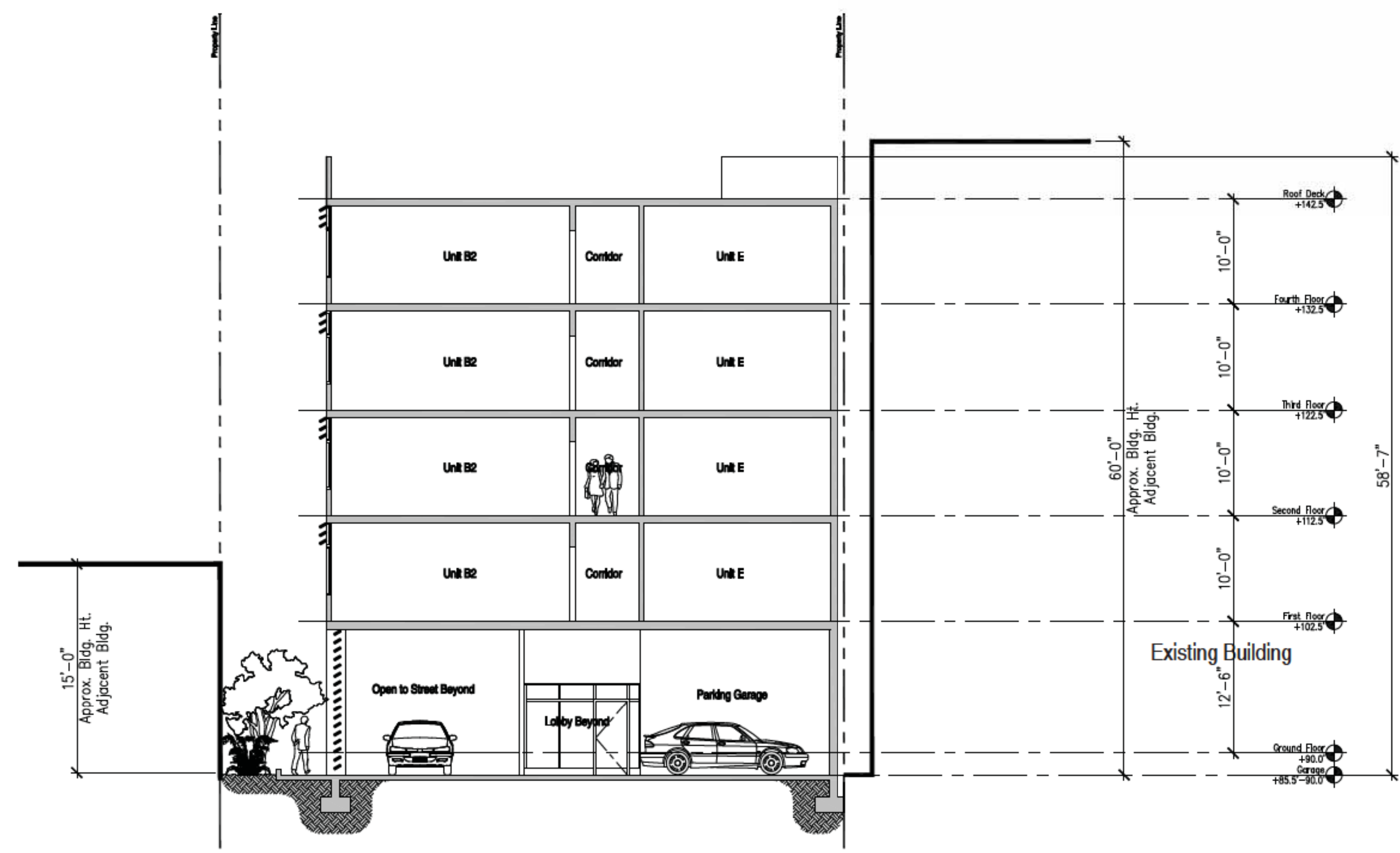


Mechanical Screening
scale: 1/4" = 1'-0"

Site Section A
0 4 8 16



Key Plan



Site Section B
0 4 8 16

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SECTIONS

Scale: As Noted on Plans

A4.0

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Perspective - Bird's Eye View

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PERSPECTIVES
 Scale: As Noted on Plans

A5.0

Sheet Number 18 of 20



Perspective - View from C Street

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PERSPECTIVES

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A5.1

Sheet Number 19 of 20



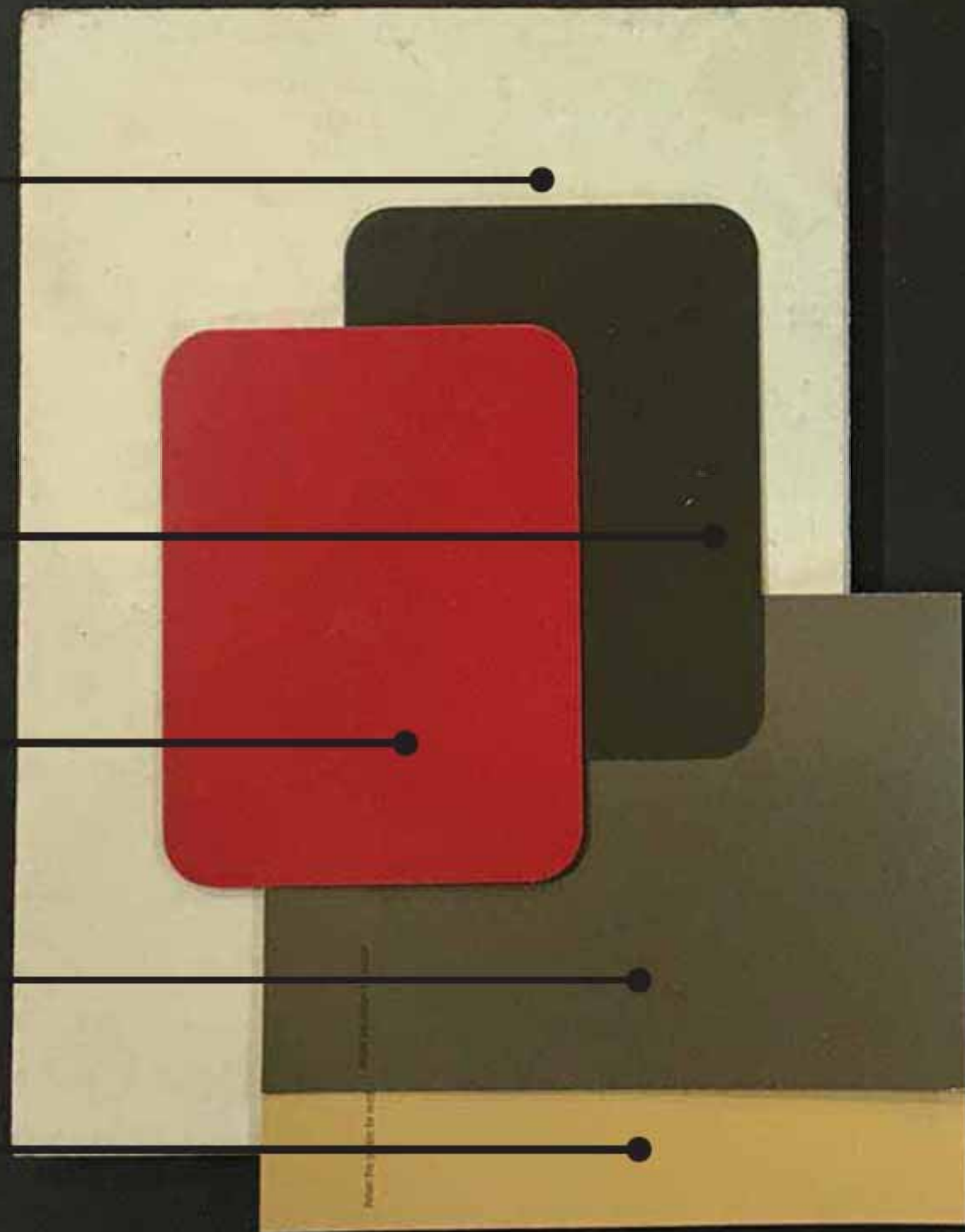
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Clear Glass

Hardie Board Siding with Integral Color



Metal Railing Painted Finished

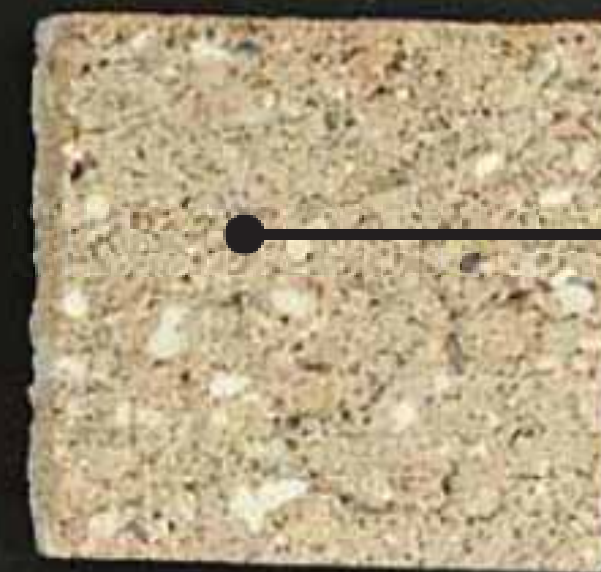
Metal Insulated Panel

Hardie Board Color

Metal Louver, Painted



Cement Plaster, Integral Color and Painted Finish



CMU Planter Walls



Pavers

The Beacon Materials Palette

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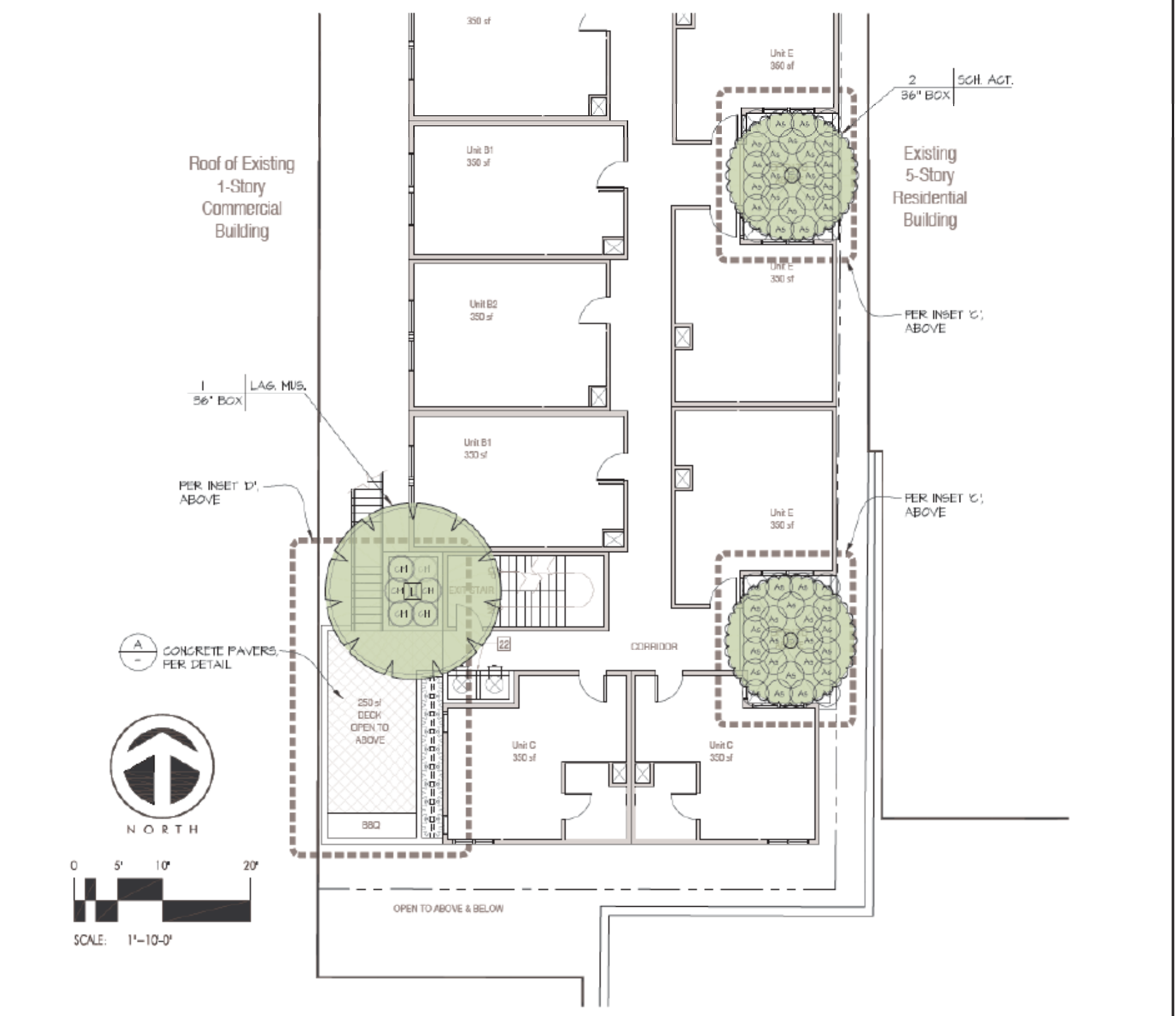
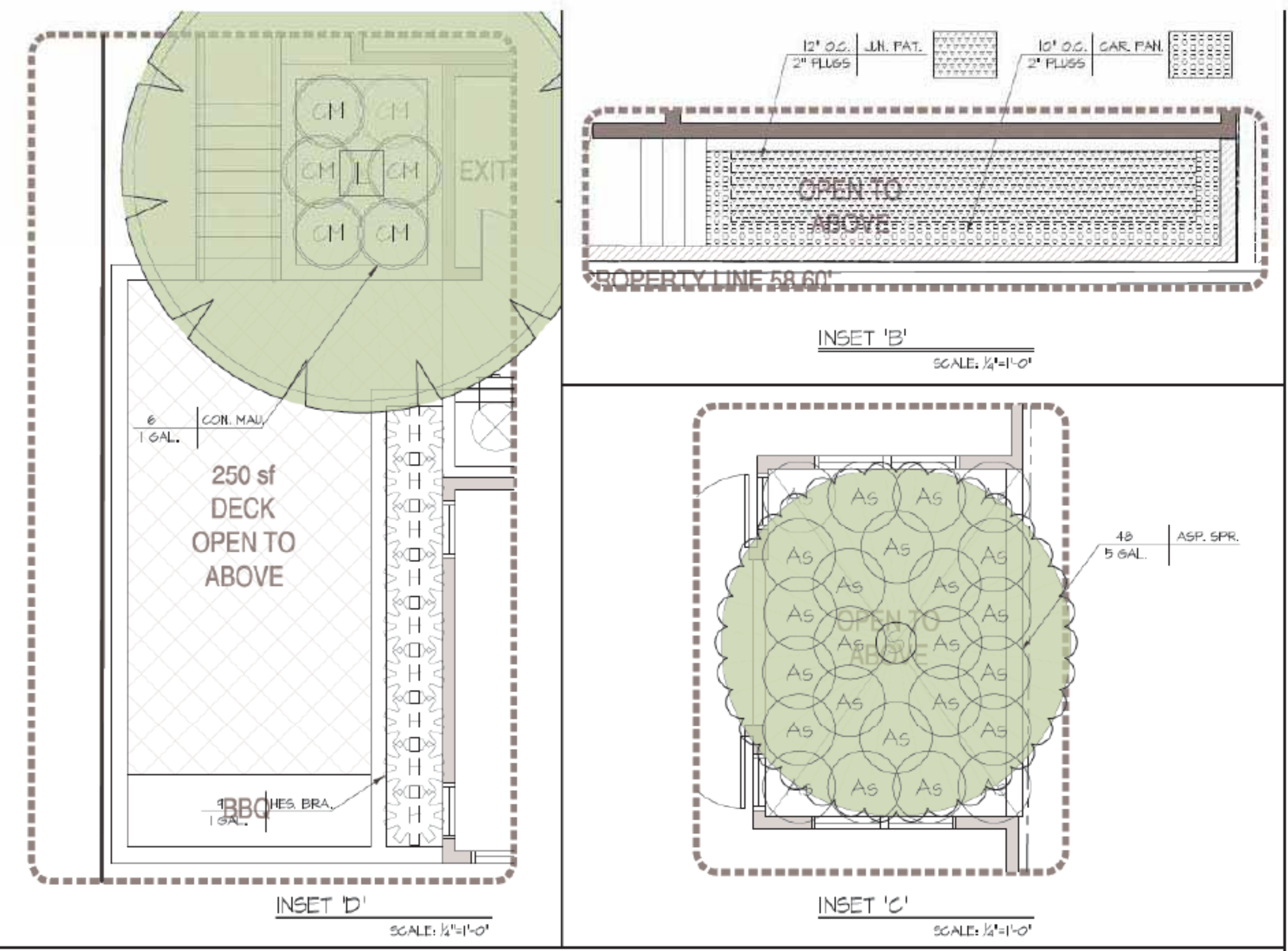
MATERIAL BOARD
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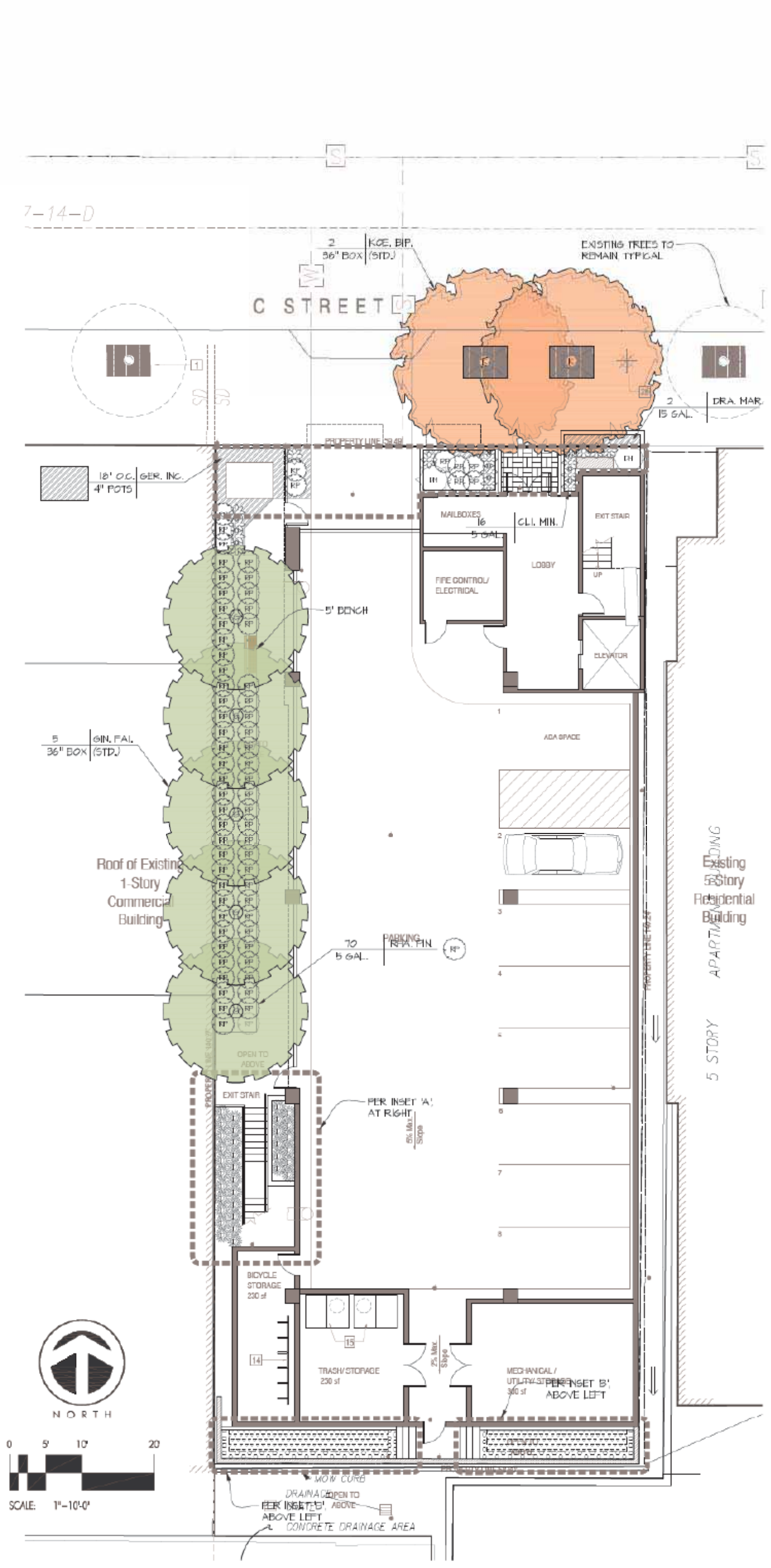
NORTH

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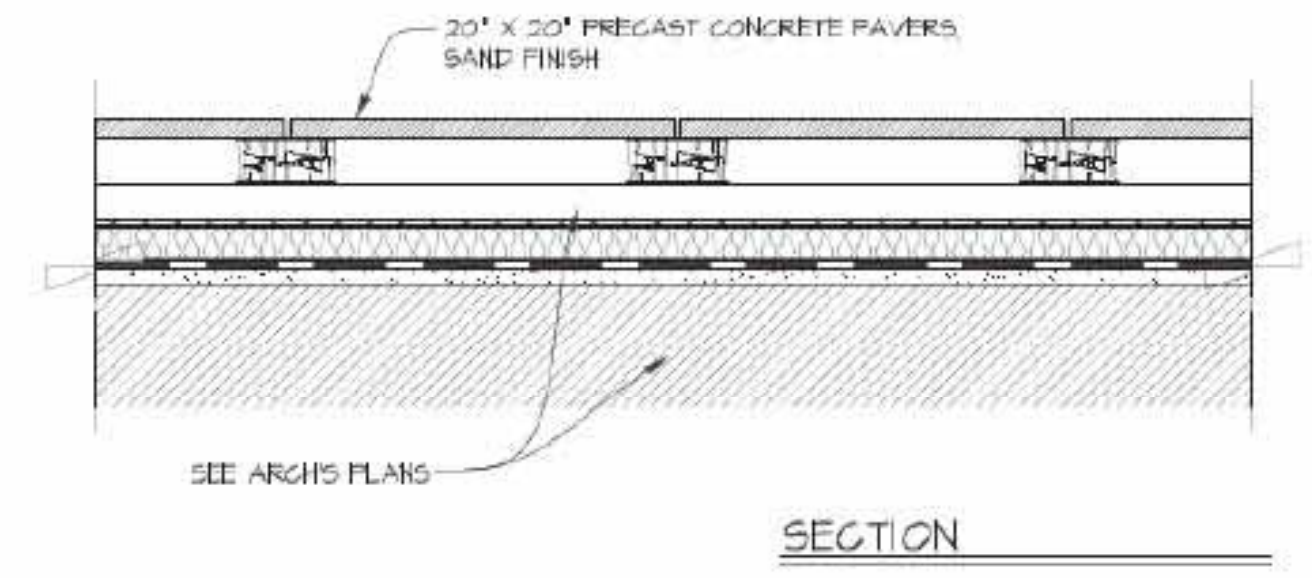
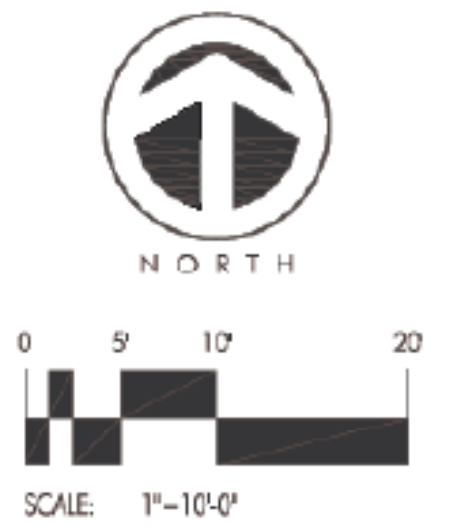
Sheet Number 20 of 20



SECOND LEVEL/DECK
SCALE: 1/4"=1'-0"



FIRST LEVEL/STREET LEVEL
SCALE: 1/4"=1'-0"

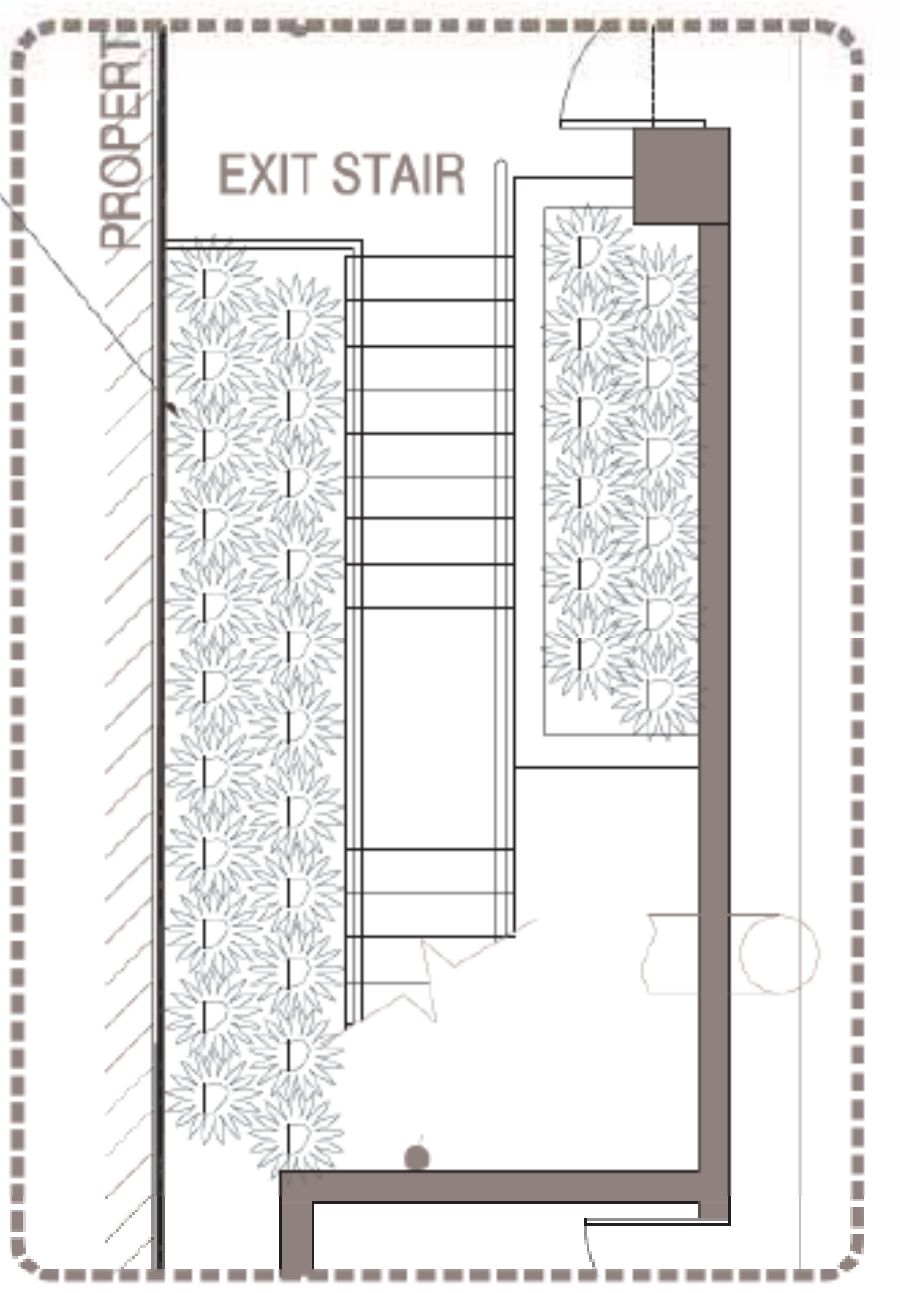


PRECAST CONCRETE PAVERS
NOT TO SCALE



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LANDSCAPE
ARCHITECTS

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INSET 'A'
SCALE: 1/4"=1'-0"

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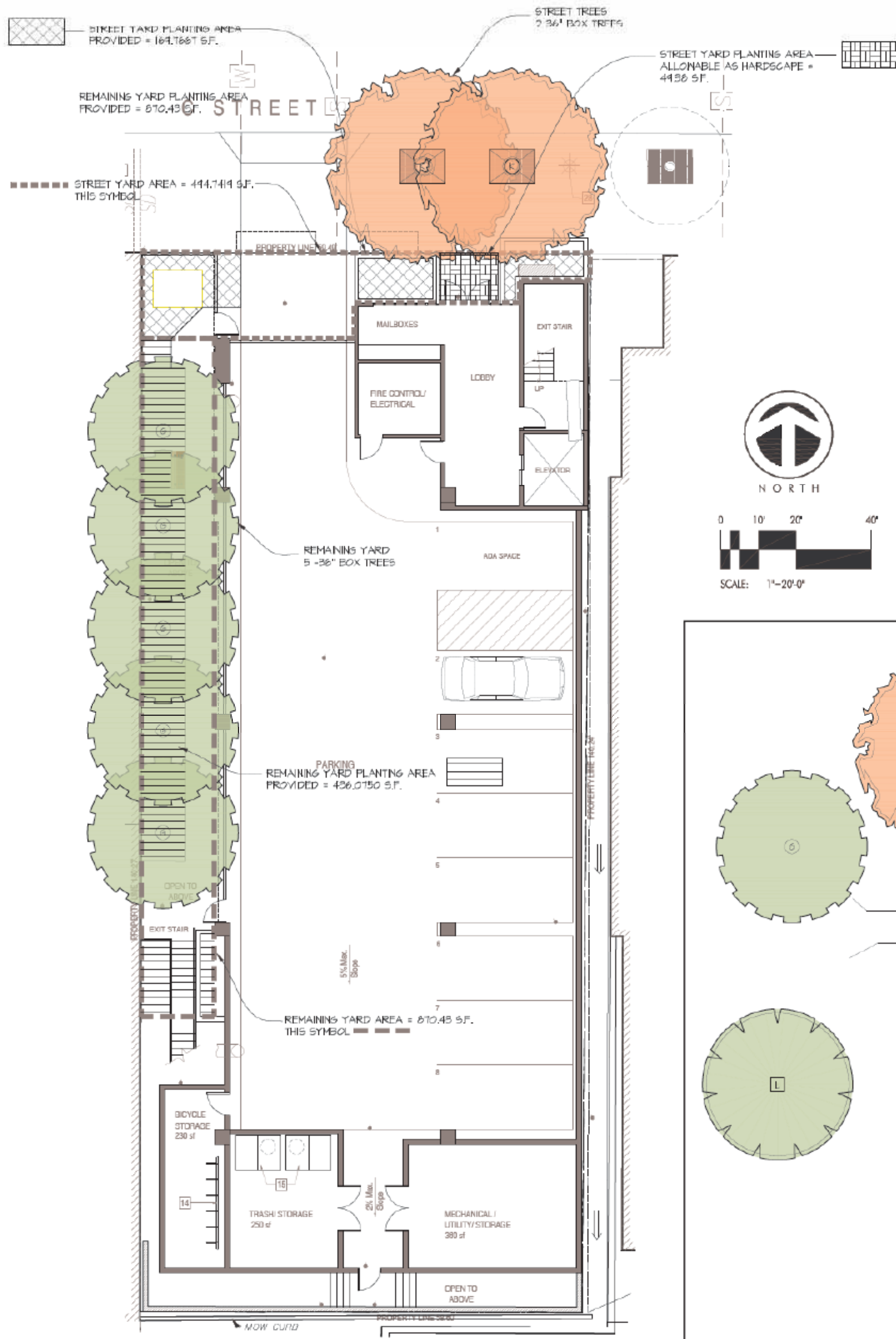
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Project Number:	1523
Original Date:	Jan 12 2016
Drawn:	
Checked:	

NOT FOR CONSTRUCTION
SHEET SIZE: 24' x 36'
DO NOT SCALE DRAWINGS

**CONCEPT
PLAN**

Scale



LANDSCAPE CALCULATIONS DIAGRAM
SCALE: 1"=20'-0"

STREET YARD AREA TOTAL AREA = 444.74 SQ. FT.

PLANTING AREA REQUIRED 444.74 SQ. FT. X 50%	222.37 SQ. FT.
PLANTING AREA PROVIDED	1130 SQ. FT.
PLANTING AREA ALLOWABLE AS HARDSCAPE ON UNATTACHED UNIT PAVERS 444.74 SQ. FT. X 10% = 44.47	44.88 SQ. FT.
EXCESS POINTS PROVIDED MAXIMUM PLANTING AREA REDUCTION ALLOWED = 247.57 SQ. FT. X 25% = 61.84	37 SQ. FT.

TOTAL = 257.68 SQ. FT.
EXCEEDS REQUIREMENT BY 10.3 SQ. FT.

STREET YARD POINTS TOTAL AREA = 444.74 SQ. FT.

PLANTING POINTS REQUIRED 444.74 SQ. FT. X 0.05	22.24 POINTS
PLANTING POINTS PROVIDED (2) 36" BOX SHRUB * 10 PTS = 20 POINTS (2) 5 GAL SHRUB * 2 PTS = 4 POINTS	62 POINTS

EXCEEDS REQUIREMENT BY 37 POINTS

REMAINING YARD AREA TOTAL AREA = 870.43 S.F.

PLANTING AREA REQUIRED MINIMUM 40 SQ. FT. PER TREE = 40X5	200 SQ. FT.
PLANTING AREA PROVIDED	436.250 S.F.

EXCEEDS REQUIREMENT BY 236.07 SQ. FT.

REMAINING YARD POINTS TOTAL AREA = 870.43 S.F.

PLANTING POINTS REQUIRED 60 POINT PER EA. BUILDING	60 POINTS
PLANTING AREA PROVIDED (5) 36" BOX TREE * 50 PTS = 250 POINTS (6) 5 GAL SHRUB * 2 PTS = 122 POINTS (34) 1 GAL SHRUB * 1 PTS = 34 POINTS	406 POINTS

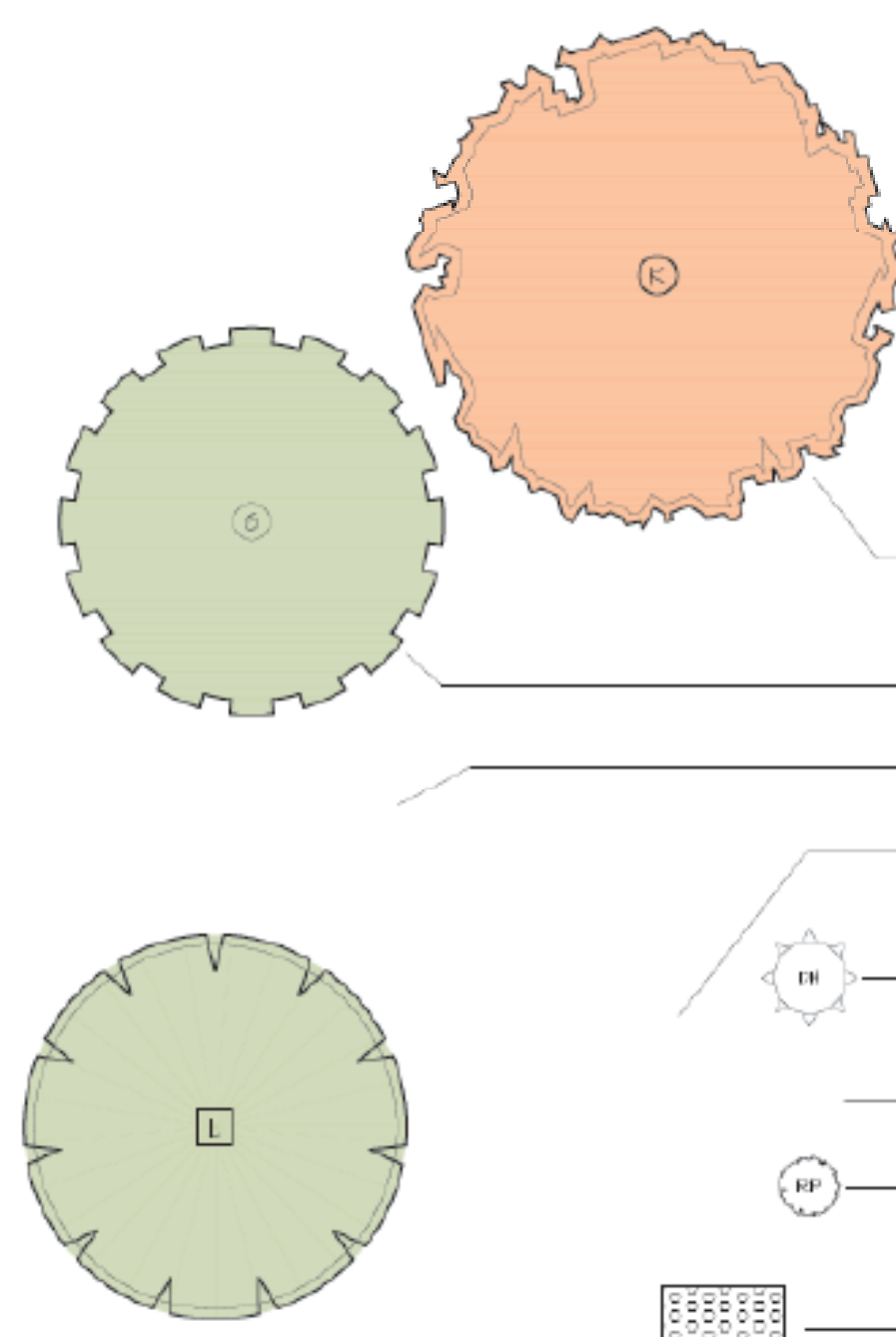
EXCEEDS REQUIREMENT BY 346 POINTS

STREET TREE & PUBLIC R.O.W. REQ. R.O.W. REQUIREMENTS TOTAL L.F. = 54.44 L.F.

TREES REQUIRED 54.44 L.F. / 30	1.81
TREES PROVIDED (5) 36" BOX TREE * 50 PTS = 250 POINTS	2

EXCEEDS REQUIREMENT BY 0.02 TREES

LANDSCAPE CALCULATIONS
NOT TO SCALE



PLANT PALETTE

ABRV.	SIZE	NUMBER	SCIENTIFIC NAME	COMMON NAME	NOTES	H X W	SPACING
STREET YARD TREES: 100% 36" BOX							
KOE. B.P.	36" BOX	2	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	DECIDUOUS CANOPY TREE, YELLOW FLOWERS TURN TO SALMON BRACTS, LOW MAINTENANCE.	25' X 30'	N/A
REMAINING YARD TREES: 100% 36" BOX							
GIN. PA.	36" BOX	5	GINKGO BILOBA 'FAIRMOUNT'	'FAIRMOUNT' MAIDENHAIR TREE	DECIDUOUS, PYRAMIDAL HYBRID, GOLD FALL COLOR, EASY CARE	38' X 15'	13.5'
LAS. MUS.	36" BOX	1	LASERSTROGEMIA FAURIE 'MUSKOGEE'	MUSKOGEE GRAPE MYRTLE	DECIDUOUS, MILDLY RESISTANT HYBRID, SMALL ACCENT TREE, LAVENDER FLOWERS, RED FALL COLOR.	25' X 15'	N/A
SCH. ACT.	36" BOX	2	SCHIFFELERA ACTINOPHYLLA	QUEENSLAND UMBRELLA TREE	EVERGREEN, FAST, LOW LIGHT TOLERANT, LARGE GLOSSY LEAVES.	20' X 15'	N/A
LARGE & UPRIGHT SHRUBS							
DRA. MAR.	15 GAL.	2	DRACAENA MARGINATA	N.C.N.	EVERGREEN, TALL, ERECT, NARROW GREEN LEAVES WITH RED MARGINS, LOW LIGHT TOLERANT.	10' X 8'	N/A
SMALL SHRUBS & PERENNIALS							
ASP. SPR.	5 GAL.	40	ASPERAGUS 'SPRENGER'	SPRENGER ASPERAGUS	ARCHING STEMS, BRIGHT GREEN NEEDLE LIKE LEAVES, BILLODY GROUND COVER, PINK FLOWERS, STURDY SHRUB.	3' X 6'	6' O.C.
RHA. PIN.	5 GAL.	70	RHAPHIOLEPIB 'PINKIE'	PINKIE INDIAN HAWTHORN	TOLERATES DROUGHT AND LOW LIGHT, NEEDS LITTLE PRUNING, EASY CARE.	3' X 4'	2' O.C.
ACCENT PLANTS							
CAR. PAN.	1 GAL.	10' O.C.	CAREX PANSA	CALIFORNIA MEADOW SEDGE	MAT OF BRIGHT GREEN CLUMPS OF GRASS LIKE LEAVES, NEEDS ONLY OCCASIONAL SHEARINGS	8" X 12"	10' O.C.
CLV. MIN.	5 GAL.	16	CLIVIA MINIATA	CLIVIA	DARK GREEN STRAP LIKE LEAVES, ORANGE FLOWER CLUSTERS, TAKES SHADE	2.5' X 2.5'	1.5' O.C.
DI. L.R.	1 GAL.	34	DIANELLA T. 'LITTLE REY'	LITTLE REY FLAX LILY	BLUE-GREEN LEAVES, SLOWLY SPREADS BY RHIZOMES, TINY BLUE FLOWERS.	2' X 2'	1.5' O.C.
HES. BRA.	1 GAL.	4	HESPERALOE P. 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	DWARF, CLUMPS OF NARROW LEAVES, RED FLOWERS ON STALKS ABOVE FOLIAGE.	2.5' X 2.5'	2' O.C.
JUN. PAT.	1 GAL.	12' O.C.	JUNCUS PATENS	CALIFORNIA GRAY RUSH	GRAY-BLUE CLUMPS OF NARROW LEAVES.	2' X 2'	12' O.C.
CON. MAJ.	1 GAL.	6	CONVOLVULUS MAURITANICUS	GROUND MORNING GLORY	TRAILING BRANCHES OF SMALL GRAY GREEN LEAVES, LAVENDER BLUE FLOWERS.	1.5' X 7.5'	6.5' O.C.

PLANT PALETTE
NTS

IRRIGATION NOTES

THIS PROJECT IS INTENDED AS A XERISCAPIC LANDSCAPE. HOWEVER, TO COMPLY WITH CITY REGULATIONS, ALL PLANTING AREAS SHALL BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM, USING DRIP IRRIGATION OR LOW PRECIPITATION 4" PRECIPITATION MATCHED SPRINKLER HEADS. ALL SPRINKLER HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM EACH ADJACENT LOT.

GENERAL NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND THE CENTRE CITY PLANNED DISTRICT REGULATIONS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT WITHIN 30 DAYS.

MINIMUM TREE SEPARATION

- IMPROVEMENT MINIMUM DISTANCE TO STREET
 - TREE TRAFFIC SIGNALS (STOP SIGNS) - 20 FT
 - UNDERGROUND UTILITY LINES - 5 FT
 - ABOVE GROUND UTILITY STRUCTURES - 10 FT
 - DRIVEWAY ENTRIES - 10 FT
 - INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FT
- LANDSCAPE AREAS FOR TREES. THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE UNCONSOLIDATED MASH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVERS.

MAINTENANCE NOTES

LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL AND SPECIFICATIONS OF DAVID REED LANDSCAPE ARCHITECTS.

MAINTENANCE CRITERIA

- TREES SHALL BE WATERED DEEPLY, BUT INFREQUENTLY, TO PROMOTE DEEPER ROOTING, AND SHALL BE FERTILIZED AS REQUIRED BY SOUND HORTICULTURAL PRACTICES.
- PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TRIMMING STANDARDS TO MAINTAIN THEIR INTENDED SHAPES AND SIZES, AND TO INSURE THE HEALTH OF THE SPECIMEN AND THE SAFETY OF THE PUBLIC.
- TREE GUYS AND STAKE TIES SHALL BE INSPECTED AND ADJUSTED PERIODICALLY, AND REMOVED WHEN NECESSARY, TO INSURE THAT THEY ARE ADEQUATELY SURROUNDING THE TREE WITHOUT GIRDLING TRUNKS OR BRANCHES.
- PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALLS, PASSAGEWAYS AND SIGHT DISTANCE VIEWS FOR VEHICULAR TRAFFIC.
- DEAD PLANTS SHALL BE REPLACED, DAMAGED BRANCHES SHALL BE REMOVED, AND OVERGROWN AREAS SHALL BE THINNED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.
- SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAXIMIZE SCREENING WHILE ALLOWING ACCESS TO THE STORAGE/SERVICE AREAS.
- SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTIES SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENCROUGH EXCESSIVELY ONTO THE ADJACENT PROPERTY.



DAVID REED
LANDSCAPE
ARCHITECTS

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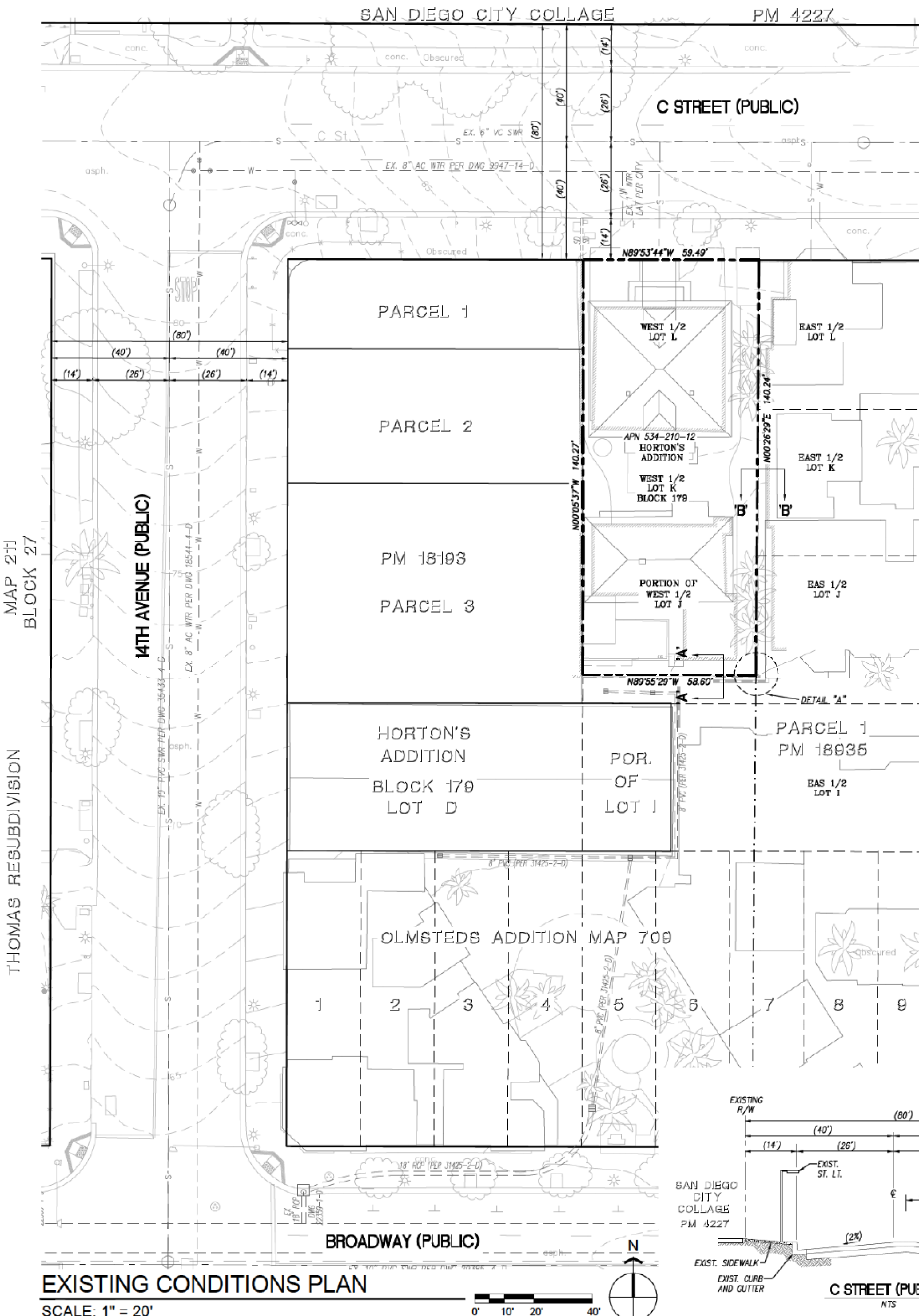
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NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS

**PLANT PALETTE,
NOTES &
CALCULATIONS**

Scale



MAP 211
BLOCK 27

THOMAS RESUBDIVISION

EXISTING CONDITIONS PLAN

SCALE: 1" = 20'



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE WESTERLY ONE-HALF OF LOTS J, K AND L IN BLOCK 179 OF HORTON'S ADDITION ACCORDING TO THE MAP MADE BY L. L. LOOKING FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.
EXCEPTING THEREFROM THE SOUTHERLY 10 FEET THEREOF.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS A.L.T.A. IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1991.35 GRID BEARING BETWEEN G.P.S. STATION 1135 AND G.P.S. STATION 174 PER ROS 14492.
I.E., SOUTH 48°45'56" WEST

BENCHMARK

CITY OF SAN DIEGO BRASS PLUG AT THE S.W. CURB RETURN OF "C" STREET AND 14TH STREET
ELEVATION : 80.77' M.S.L. DATUM (N.G.V.D. 29)

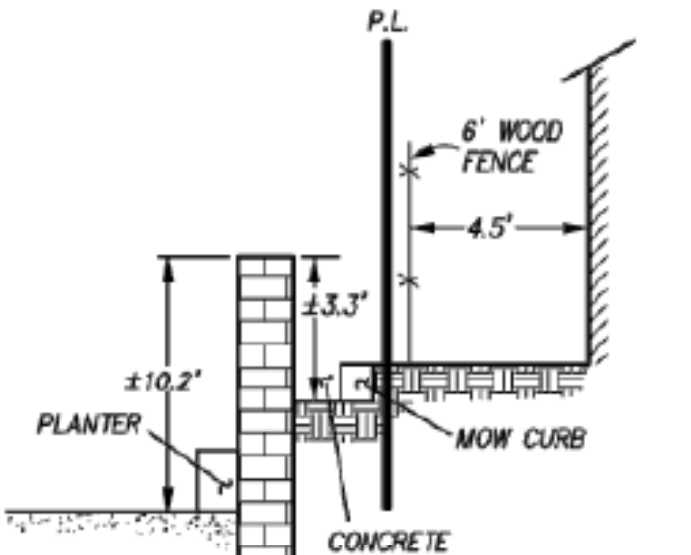
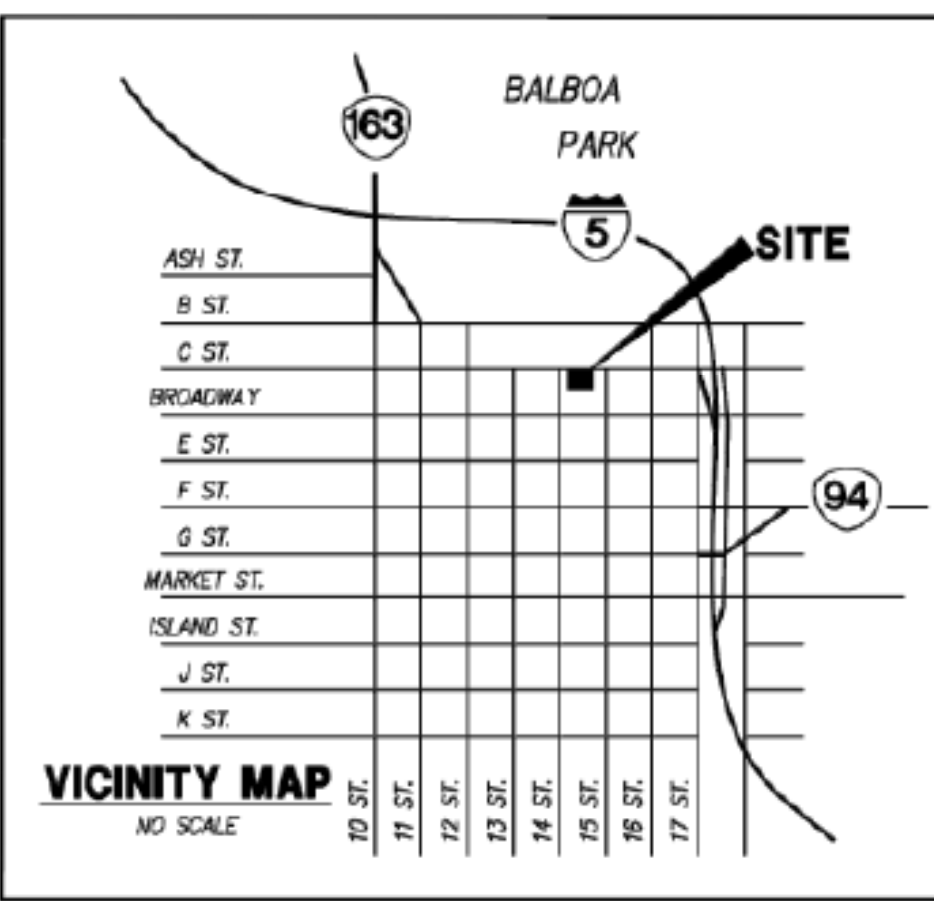
NOTES

- TOTAL AREA WITHIN ALTA SURVEY BOUNDARY = 0.190 ACRES.
- TAX ASSESSOR PARCEL NO. 534-210-12.
- FIELD SURVEY FOR THIS SITE WAS PERFORMED DURING OCTOBER, 2015 BY PROJECT DESIGN CONSULTANTS.
- AS DETERMINED BY GRAPHIC PLOTTING ONLY, THIS SITE IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO.06073C1889C, REVISED 05/16/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- TOPOGRAPHY SHOWN ON THIS SURVEY IS BASED UPON AN AERIAL SURVEY BY PROJECT DESIGN CONSULTANTS, AND SUPPLEMENTED WITH A GROUND SURVEY IN OCTOBER, 2015. TOPOGRAPHY SHOWN HEREON IS AN AERIAL VIEW AND SHOWS TOP-MOST PORTION OF IMPROVEMENTS AND INCLUDES PARKING SPACES ON TOP OF BUILDINGS.
- UNDERGROUND UTILITIES SHOWN ARE FROM READILY OBSERVABLE EVIDENCE FOUND IN THE FIELD.

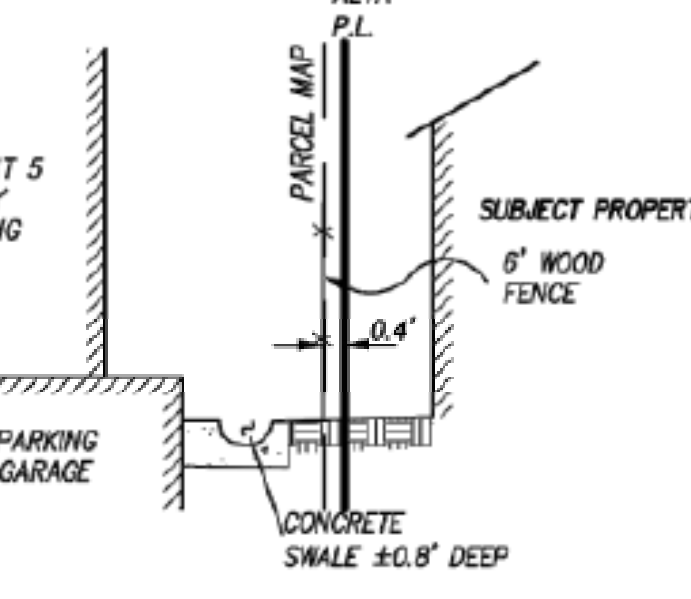
EASEMENTS/ENCUMBRANCES

THIS SURVEY IS BASED ON PRELIMINARY REPORT NO. 12208441-983-SD2 ISSUED BY CHICAGO TITLE COMPANY DATED OCTOBER 19, 2015. ENCUMBRANCE ITEMS SUCH AS TAXES, LIENS, DEEDS OF TRUST, AND MATTERS APPEARING IN SAID POLICY AS ITEMS NO. 4, 8, 3-6, 9 & 10 HAVE BEEN REVIEWED AND ARE CONSIDERED NOT SURVEY RELATED AND HAVE NOT BEEN SHOWN HEREON.
NOTE: (P) INDICATES A PLOTTABLE ENCUMBRANCE. (O) INDICATES A NON-PLOTTABLE ENCUMBRANCE.

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: NOVEMBER 25, 1996
RECORDING NO: 1996-0594454 OF OFFICIAL RECORDS
SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.
MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS
RECORDING DATE: OCTOBER 15, 1999
RECORDING NO: 1999-0698198 OFFICIAL RECORDS
- THE RIGHT OF THE SAN DIEGO HOUSING COMMISSION TO REGULATE AND CONTROL THE SALE AND OCCUPANCY OF SAID LAND AS A PART OF SAID AUTHORITY'S LOW MODERATE INCOME HOUSING PROGRAM AS DISCLOSED BY THE DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED NOVEMBER 25, 1996 AS INSTRUMENT NO. 1996-0594454 OF OFFICIAL RECORDS
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT.
REDEVELOPMENT AGENCY: CITY OF SAN DIEGO CENTRE CITY REDEVELOPMENT PROJECT
RECORDING DATE: SEPTEMBER 04, 2009
RECORDING NO: 2009-0499449 OF OFFICIAL RECORDS
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.



'A'-A' CROSS SECTION
SOUTH P.L. LOOKING WEST
N.T.S.



'B'-B' CROSS SECTION
EAST P.L. LOOKING SOUTH
N.T.S.

DETAIL 'A'
N.T.S.

SOURCE OF TOPOGRAPHY
THE SOURCE OF THE TOPOGRAPHIC AND BOUNDARY INFORMATION IS BASED ON AN AERIAL SURVEY SUPPLEMENTED BY AN ON-THE-GROUND FIELD SURVEY PERFORMED BY PROJECT DESIGN CONSULTANTS IN OCTOBER OF 2015 FOLLOWED BY AN ALTA LAND TITLE SURVEY DATED 12-01-15.

LEGEND

ITEM	SYMBOL
EXISTING IMPROVEMENTS	
PROJECT BOUNDARY	R/W
RIGHT-OF-WAY	
EXISTING EDGE OF PAVEMENT	
EXISTING CONTOURS	
EXISTING CURB & GUTTER	
EXISTING SIDEWALK	
EXISTING PEDESTRIAN RAMP	
EXISTING STORM DRAIN PIPE	
EXISTING STORM DRAIN CLEANOUT	
EXISTING WATER MAIN	
EXISTING FIRE HYDRANT	
EXISTING GATE VALVE	
EXISTING SEWER MAIN	
EXISTING SEWER MANHOLE	
EXISTING SEWER LATERAL	
EXISTING GAS	
EXISTING ELECTRIC	
EXISTING TELEPHONE	
EXISTING UNDERGROUND ELECTRIC	
EXISTING PARKING LIGHTING	
EXISTING STREET LIGHTS	
EXISTING TREES	
PROPOSED IMPROVEMENTS	
PROPOSED CONTOUR	
PROPOSED SLOPES 1.5:1/2:1 MAX. (TYP.) CUT/FILL	
PROPOSED LIMIT OF WORK (LIMITS OF GRADING)	
DRAINAGE FLOW	
TOP OF GRATE ELEVATION	TG 180.25
FLOW LINE ELEVATION	FL 180.00
FINISH SURFACE ELEVATION	FS 180.00
INVERT ELEVATION	IE 180.25
TOP OF WALL/BOTTOM OF WALL ELEVATION	TW 180.00
BW 180.00	
PROPOSED RETAINING WALL	
PVC STORM DRAIN PIPE (PVT.)	
PROPOSED TYPE "G" CATCH BASIN (PVT.)	
PROPOSED STORM DRAIN CLEANOUT (PVT.)	
PROPOSED CURB/GRADY WALL TYPE "A"	
PROPOSED SEWER LATERAL (PVT.)	
PROPOSED WATER SERVICE (PVT.)	
PROPOSED FIRE SERVICE (PVT.)	
PROPOSED ROOF DRAIN (PVT.)	
PROPOSED BIORETENTION BASIN (PVT.) (SEE DETAIL SHEET C2.0)	
PROPOSED RIP RAP OUTLET (PVT.)	
PROPOSED DRIVEWAY APRON	
SITE VISIBILITY TRIANGLES	

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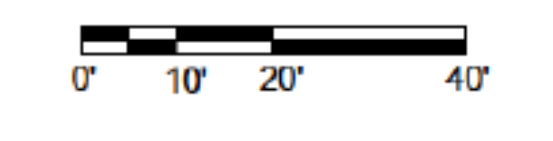
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Project Number:	1523
Original Date:	
Drawn:	
Checked:	
1st CIVIC SUBMITTAL	3-18-16

NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS



Scale

**EXISTING
CONDITION
PLAN
C1.0**

Sheet Number of 00

Worksheet B.5-1 Simple Sizing Method for Biofiltration BMPs

Table with 3 columns: Line Number, Description, and Value. Includes sections for Partial Retention, BMP Parameters, Baseline Calculations, Option 1 - Biofilter 1.5 times the DCV, Option 2 - Store 0.75 of remaining DCV, and Footprint of the BMP.

(*) SEE WORKSHEET THIS SHEET
(+*) MIN. AREA REQUIRED FOR TREATMENT ONLY (I.E. NO HYDROMODIFICATION)
NOTE: BOTTOM AREA CURRENTLY "AVAILABLE" IN PLANTING AREAS PER PLAN - 680 SF±

GRADING INFORMATION

- 1. THE TOTAL SITE AREA IS --- SQ-FT (--- AC)
2. THE TOTAL AMOUNT OF SITE TO BE GRADED: --- SQ-FT (--- AC)
3. THE TOTAL AMOUNT OF SITE AREA: ---% E
4. THE AMOUNT OF GEOMETRIC CUT IS --- C.Y.
5. THE MAXIMUM DEPTH OF CUT IS --- FEET.
6. THE AMOUNT OF GEOMETRIC FILL IS --- C.Y.
7. THE MAXIMUM DEPTH OF FILL IS --- FEET.
8. THE MAXIMUM HEIGHT OF CUT SLOPE IS --- FEET.
9. THE MAXIMUM HEIGHT OF FILL SLOPE IS --- FEET.
10. THE MAXIMUM GRADIENT OF ALL CUT AND FILL SLOPES: %
11. THE AMOUNT OF GEOMETRIC EXPORT IS --- C.Y.
12. THE LENGTH OF PROPOSED RETAINING WALLS: --- LINEAR FEET.
13. THE MAXIMUM HEIGHT OF PROPOSED RETAINING WALL (MEASURED FROM TW TO TF) IS --- FEET.
NOTE: THE CUT AND FILL QUANTITIES SHOWN ABOVE ARE GEOMETRIC ONLY AND DO NOT INCLUDE ADJUSTMENTS FOR BULKING, SHRINKING, PAVEMENT UNDERCUTS, FOUNDATION SPOILS, ETC.

KEYED NOTES

- SITE IMPROVEMENTS
[] DENOTES PLANTING AREA (SEE LANDSCAPE PLANS)
1 SITE VISIBILITY TRIANGLES
PROPOSED SEWER
[S] PROPOSED PRIVATE SEWER LATERAL
[S] PROPOSED PRIVATE SEWER MAIN
PROPOSED WATER
[W] PROPOSED PRIVATE WATER SERVICE (5-FOOT P.O.C., 3' MIN COVER)

Design Capture Volume (Draft June Manual)
DMA1 0.56 in Appendix B, Figure B.1-1
Area 0.19 ac Total DMA Area (acres)
C 0.78 C=(Area*2.46)*.81/Total DMA
DCV 303 cf DCV=(Area*12)/Total DMA *4999

Table with 3 columns: Line Number, Description, and Value. Includes sections for Biofiltration (Worksheet B.5-1) and DMA SUMMARY.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS, MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.0' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WITHIN RAIN IS IMPENDING.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HERIN. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND CRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.
16. FOR MORE INFORMATION ON BOTH TEMPORARY CONSTRUCTION AND PERMANENT POST CONSTRUCTION STORM WATER QUALITY BMP'S, PLEASE REFER TO KETTLER AND LEWECK ENGINEERING FINAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND FINAL STORM WATER QUALITY MANAGEMENT PLAN (SWQMP), BOTH REPORTS DATED

ADDITIONAL NOTES

- 1. SIDEWALK AND STREET IMMEDIATELY ADJACENT TO CONSTRUCTION DRIVEWAY TO BE SWEEPED CLEAN OF SEDIMENT AND DEBRIS DAILY OR AS NECESSARY TO MINIMIZE SEDIMENT ENTERING PUBLIC STORM DRAIN SYSTEM.
2. CONTRACTOR TO REFER TO THE SWPPP AND STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR STATE/CITY BMP'S.
3. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
4. INTERIM BINDER NOTE: GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TRACKER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

STORM WATER PROTECTION NOTES

- 1. THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. _____ AND RISK LEVEL/TYPE:
[] WPCP
[] CGP RISK LEVEL 1
[] CGP RISK LEVEL 2
[] CGP RISK LEVEL 3
2. CHECK ONE
[] THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
[] THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
[] NOT APPLICABLE
3. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP AS APPLICABLE.

GENERAL NOTES:

- 1. THE PROPOSED FINISH GRADING SHOWN HEREON IS PRELIMINARY ONLY AND NOT FOR CONSTRUCTION.
2. THE EXISTING IMPROVEMENTS LOCATED ON-SITE ARE ALL PRIVATE.
DRAINAGE:
1. ALL EXISTING ON-SITE DRAINAGE FACILITIES ARE PRIVATE AND ARE TO REMAIN.
2. ALL PROPOSED ON-SITE DRAINAGE FACILITIES ARE PRIVATE.
3. THE PROJECT'S DEVELOPED STORM WATER RUNOFF IS CONSISTENT WITH EXISTING CONDITION (I.E. THERE IS NOT AN INCREASE IN STORM RUNOFF DUE TO THE DEVELOPMENT OF THE PROJECT).

PRIVATE WATER AND SEWER:

- 1. WATER AND SEWER IMPROVEMENTS FOR THE BUILDING WILL BE PROVIDED FROM THE EXISTING PRIVATE UTILITIES ALREADY ON THE PROPERTY.
2. PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL(S), THE LATERAL SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY THE LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS.
3. A PLUMBING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES (BFDs) ON EACH WATER SERVICE (DOMESTIC, FIRE, AND IRRIGATION). THE BFDs SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY.
4. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC SEWER AND FIVE FEET OF ANY PUBLIC WATER FACILITY.

WATER QUALITY AND HYDROMODIFICATION:

- 1. THE PROPOSED PROJECT SHALL RESULT IN NO INCREASE IN PEAK STORM RUNOFF. REFER TO THE PROJECT'S DRAINAGE STUDY.
2. THE PROJECT IS EXEMPT FROM THE STATE'S HYDRO-MODIFICATION REQUIREMENTS AS THE SITE IS HARD-LINED DIRECTLY TO SAN DIEGO BAY.
3. THE PROPOSED FINISH GRADING AND DRAINAGE DESIGN INCLUDES DIRECTING RUNOFF ON THE SURFACE TO NATURAL BMPs (I.E. BIOFILTRATION BASINS) WHERE IT WILL BE TREATED BEFORE DISCHARGING OFFSITE.
4. THE FINAL DESIGN OF THE BMPs WILL OCCUR DURING THE FORMAL BUILDING PERMIT PHASE.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICE NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS AND/OR SPECIFICATIONS.

COVERAGE DATA

Table with 2 columns: Coverage Type and Area. Rows include Existing Condition (ImperVIOUS, PerVIOUS, TOTAL), Proposed Condition (ImperVIOUS, PerVIOUS, TOTAL), and Delta (ImperVIOUS, PerVIOUS, TOTAL).

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1425 C St
San Diego, CA 92101

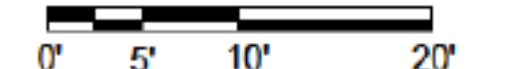
Property Owner & Developer:
Wakeland Housing and Development Corp.
1230 Columbia St
Suite 950
San Diego, CA 92101
Contact: Jonathan Taylor
Phone: 619.326.6212

Architect:
M.W. Steele Group
1805 Newton Ave
Suite A
San Diego, CA 92113
Contact: Diego Velasco
Phone: 619.230.0325 x4237

Table with 2 columns: Field and Value. Includes Project Number (1523), Original Date, Drawn, and Checked.

1st CIVIC SUBMITTAL 3-18-16

NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS

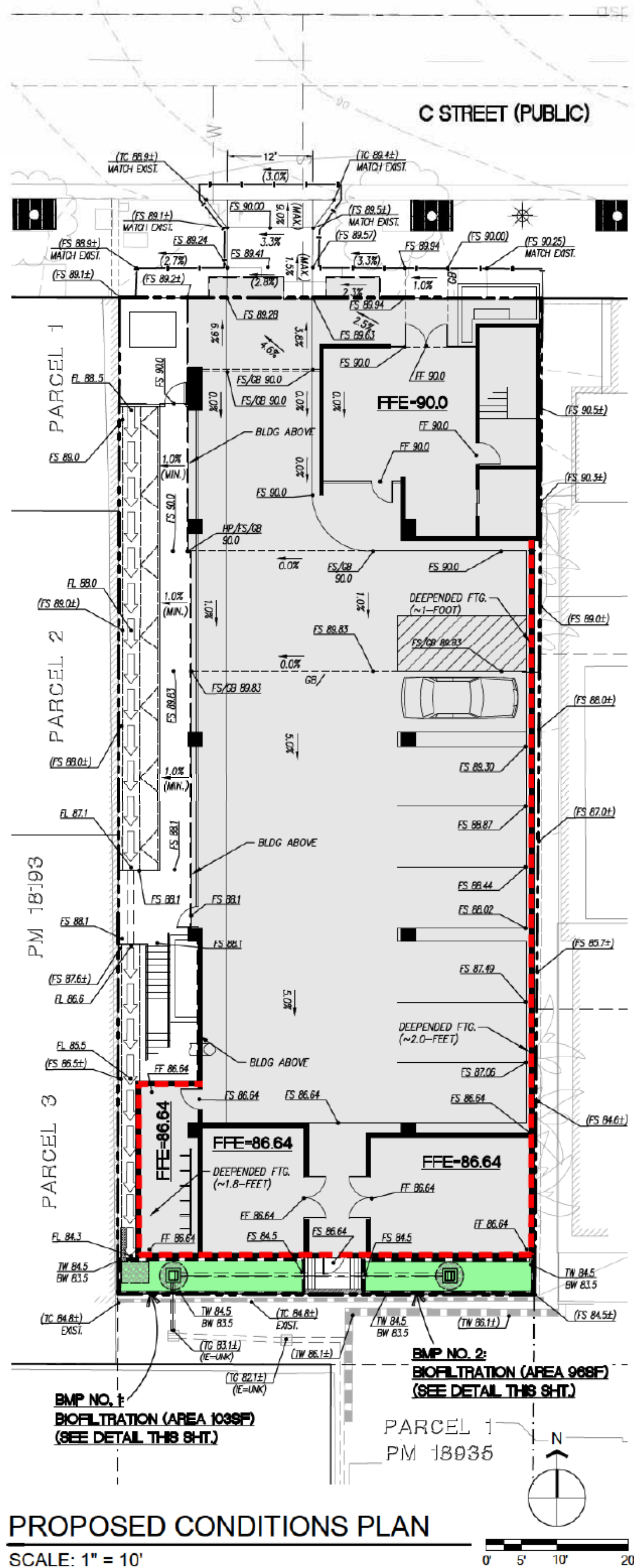


Scale

Civil Engineer:
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ENGINEERING
303 A STREET, SUITE 302
SAN DIEGO, CA 92101
t: 619 269-3444 | f: 619 269-3459
WWW.KETTLERLEWECK.COM



PROPOSED CONDITION PLAN
C2.0



PROPOSED CONDITIONS PLAN

SCALE: 1" = 10'

Project Address: 1425 C STREET, SAN DIEGO, CA 92101 Project Number (for City Use Only):

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the *Storm Water Standards Manual*. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all project complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

Yes; SWPPP required, skip questions 2-4 No; next question

2. Does the project propose construction or demolition activity including but not limited to, clearing, grading, grubbing, excavation, or any other activity that results in ground disturbance and contact with storm water runoff?

Yes; WPCP required, skip 3-4 No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

Yes; WPCP required, skip 4 No; next question

4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
- Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
- Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: such as curbs, sidewalks and driveway apron replacement, pot lining, curb and gutter replacement, and retaining wall encroachments.

Yes; no document required

Check one of the boxes to the right, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 6-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwaterregulations/index.cfm

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (02-16)

PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. **ASBS**
a. Projects located in the ASBS watershed.

2. **High Priority**
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.

3. **Medium Priority**
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.

4. **Low Priority**
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the *Storm Water Standards Manual*.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the *Storm Water Standards Manual* are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No

3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

- Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
- Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
- Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?

Yes; PDP exempt requirements apply No; next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?

Yes; PDP exempt requirements apply No; project not exempt. PDP requirements apply

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F.

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project."

1. **New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

2. **Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

3. **New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. Yes No

4. **New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No

5. **New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** Yes No

6. **New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

7. **New development or redevelopment discharging directly to an Environmentally Sensitive Area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No

8. **New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No

9. **New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7535-7539. Yes No

10. **Other Pollutant Generating Project.** The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is **NOT SUBJECT TO STORM WATER REQUIREMENTS.**

2. The project is a **STANDARD DEVELOPMENT PROJECT.** Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.

3. The project is **PDP EXEMPT.** Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.

4. The project is a **PRIORITY DEVELOPMENT PROJECT.** Site design, source control, and structural pollutant control BMP requirements apply. See the *Storm Water Standards Manual* for guidance on determining if project requires a hydromodification plan management.

Name of Owner or Agent (Please Print): Title:

Signature: Date:

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www.mwsteele.com

Project Number:	1523
Original Date:	
Drawn:	
Checked:	

The Beacon

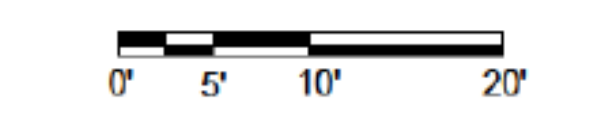
1425 C St
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Property Owner & Developer:
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Contact: Jonathan Taylor
Phone: 619.326.6212

Architect:
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Contact: Diego Velasco
Phone: 619.230.0325 x4237

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NOT FOR CONSTRUCTION
SHEET SIZE: 24" x 36"
DO NOT SCALE DRAWINGS



Scale

Civil Engineer:
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