



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: January 19, 2017 REPORT NO. PC-17-006

HEARING DATE: January 26, 2017

SUBJECT: TRICANYON TOWNHOMES; Process Four Decision

PROJECT NUMBER: [490672](#)

OWNER/APPLICANT: Six Coyote, LLC, a California Limited Liability Company

### SUMMARY:

Issue: Should the Planning Commission approve an application for a small lot subdivision and the construction of five residential dwelling units on a vacant 0.21-acre site located at 2724 Reynard Way in the Uptown Community Plan area?

### Staff Recommendations:

1. APPROVE Tentative Map No. 1726698; and
2. APPROVE Site Development Permit No. 1726697.

Community Planning Group Recommendation: On August 2, 2016, the Uptown Planners vote 16-0-1 to recommend approval of the project with no conditions (Attachment 14).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). The project proposes a small lot subdivision and the construction of five three-story residential dwelling units on a vacant 0.21-acre site. The environmental exemption determination for this project was made on November 14, 2016, and the opportunity to appeal that determination ended November 30, 2016 (Attachment 15). This project is not pending an appeal of the environmental determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The Uptown Community Plan shows that the 0.21-acre site is subject to two land use designations. The plan designates part of the site (approx. 0.14-acres) for Medium Residential (15-29 dwelling units per acre) and designates part of the site (approx. 0.07-acres) for Open Space. Within the Medium Residential land use designation

portion of the property, four dwelling units would be allowed. The portion of the project site designated as Open Space allows Very Low Residential development with a density of one to two dwelling units per acre; therefore, this 0.07-acres portion of the site would allow one dwelling unit. The project proposes a small lot subdivision of one vacant parcel into five parcels and the construction of five three-story residential dwelling units.

The project would implement the existing land use designations and would create five multifamily dwelling units where none currently exist within the Uptown community. This project is subject to the requirements of the City's Inclusionary Affordable Housing Regulations ([Chapter 14, Article 2, Division 13](#) of the San Diego Municipal Code).

## BACKGROUND

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City Communities Planned District (MCCPD) and RS-1-2 Zone within the Uptown Community Plan (Attachments 1 through 4). The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). Additionally, the project site is located within the Airport Land Use Compatibility Plan Noise Contours (CNEL) of the San Diego International Airport (SDIA) 65-70 decibel (dB) noise contour area, the Airport Influence Area (SDIA Review Area 1), the Federal Aviation Administration Part 77 Noticing Area (SDIA Lindbergh Field and the North Island Naval Air Station).

The site consists of one triangular parcel of land fronting Reynard Way to the east and Union Street to the west. This portion of Union Street is unimproved and designated as Open Space in the community plan. The topography of the site along Reynard Way rises from 65 feet at the northeastern corner to 93 feet at the northwestern corner (approximately a 28-foot differential), and rises from 63 feet at the southeastern corner to 74 feet at the southwestern corner (approximately a 11-foot differential). The adjacent unimproved Union Street consists of hillside (Attachment 5). The topography rises from 74 feet at the southwestern corner of the property to 114 feet at the western side of Union Street (approximately a 40-foot differential). The site is located above the 100-year floodplain and is not located within or adjacent to the City's Multiple Habitat Planning Area. The properties to the north and east are developed with single-family and multi-family dwelling (duplexes) units zoned MCCPD-MR1500 and the community plan designates those sites as Medium Residential 15-29 dwelling units per acre (Attachment 6).

## DISCUSSION

### Community Plan and Zone Updates:

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to [Ordinance No. O-20770](#) N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to [Ordinance No. O-20771](#) N.S. However, the project application was deemed complete on May 19, 2016, and the project is utilizing the Uptown Community Plan and the MCCPD regulations that were in effect at the time of the submittal.

### Project Description:

The project proposes a small lot subdivision in accordance with [San Diego Municipal Code \(SDMC\) Section 143.0365](#), which would create five lots on a vacant site. The small lot subdivision regulations were adopted pursuant to [Ordinance No. O-20483](#) N.S., which became effective on June 4, 2015. The MCCPD MR-1500 Zone has a density comparable to those of the RM-2-5 Zone (citywide zone); therefore, the project would be able to utilize the small lot subdivision regulations. The purpose and intent of the small lot subdivision regulations is to encourage development of single dwelling units on small lots in order to provide a space-efficient and economical alternative to traditional single dwelling unit development. It is also the intent of these regulations to provide pedestrian friendly developments that are consistent with the neighborhood character. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet.

The project is utilizing the zero-foot side yard option for Lot 1 along the northern property line pursuant to [SDMC Section 1512.0303\(d\)\(3\)](#). This option within the MCCPD allows for a maximum 30-foot length of a building to be within the six-foot interior setback. This option is only being utilized for the first floor in order to provide an active occupied ground floor, as encouraged by the community plan, and the allow for a green roof above this area.

To integrate the development into the community, the buildings have been designed to appear as two duplexes and a separate single dwelling unit, which is consistent with the surrounding single family dwelling units and duplexes. In addition, this massing articulation permits views through the buildings to the landscape and open space beyond as viewed along Reynard Way. Furthermore, each of the units have been designed with a drought tolerant landscaped front yard, a ground level entry fronting the street, maintaining the setback patterns of the surrounding parcels, providing transparent features facing the street, providing architectural features and varying planes to create visual interest and supporting pedestrian friendly development.

Due to the adjacency to the Open Space area, a Brush Management Plan has been included with the project. The Brush Management Program consists of a modified Zone One ranging from 6 feet in width to 33 feet in length. The corresponding Zone Two starting from the property line and extending to the center line of unimproved Union Street dimensioned at 37 feet. Alternative compliance measures have been incorporated that include: one-hour fire rated walls along the west facing façades with a ten foot perpendicular return, and all openings shall be dual glazed and dual tempered or equivalent.

Development of the project requires a Site Development Permit (SDP) for development of a small lot subdivision and for deviations to the base zone regulations within the MCCPD, and for utilizing the zero-foot side yard option within the MCCPD, and a Tentative Map (TM) for the development of a small lot subdivision and a request to waive the overhead utility undergrounding requirements. In accordance with [SDMC Section 112.0103](#) governing the Consolidation of Processing, the applications have been consolidated for processing at the highest level of authority for that development. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, and qualifies as a

Sustainable Building. As such the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Climate Action Plan (CAP) Consistency- A CAP Consistency Checklist was prepared by the applicant and the project was determined to be in conformance with the CAP. CAP Implementation Strategies, include a combination of roofing materials with solar reflection and thermal emittance and “green” building techniques, including areas of vegetated (green) roofs. The project has been designed to have an energy budget that shows a 15-percent energy improvement to the Title 24, Part 6 Energy Budget. This energy demand reduction will be provided through a combination of on-site renewable energy generation (photovoltaic) and energy performance design elements. The project conserves water by using low-flow fixtures/appliances and also accommodates for future installation of electric vehicle supply equipment in the parking garages to provide an electric vehicle charging station.

Airport Land Use Compatibility - On October 20, 2016, the San Diego County Regional Airport Authority, serving as the Airport Land Use Commission (ALUC), voted 6-0-3 on a determination that the project is conditionally consistent with the 2014 SDIA-ALUCP, pursuant to Resolution No. 2016-0015 (Attachment 7). The conditions outlined in the resolution have been included in the Permit (Attachment 11).

Undergrounding Utility Waiver- The neighborhood currently contains power poles and overhead utility lines within the public right-of-way along Reynard Way. The proposed subdivision utilities shall be undergrounded and the waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within Block 2B2, and is estimated for construction in May 2053. [SDMC Section 144.0240\(b\)\(5\)](#) allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights-of-way. City staff has determined that the waiver of the requirement to underground privately owned utility systems and services facilities qualifies under the guidelines of [SDMC Section 144.0242\(c\)](#) as follows: the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

Deviations- An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The applicant requests three deviations (Attachment 8-Deviation Location Diagram). The following are the requested deviations with justifications:

1. Front Yard Setback: A deviation from [SDMC Section 131.0431\(b\)](#) to reduce the front yard setbacks to 10 feet on Lot 5, where the regulations require a 25-foot minimum setback on the portion of the property within the RS-1-2 Zone.

*Justification:* The site consists of one triangular parcel of land fronting Reynard Way to the east and unimproved portion of Union Street to the west. The project proposes a small lot subdivision, which would create five lots on the vacant site. Though the southern Lot 5 would be the largest of the five lots at 2,278 square feet, a portion of this lot is located within

the RS-1-2 Zone and requires a 25-foot front yard setback, and the remaining portion of the is within the MCCPD MR1500 Zone which requires a 10-foot front yard setback. This deviation would allow for a uniform front yard setback for the development along Reynard Way and be consistent with the properties within the immediate surrounding development.

2. Angled Building Envelope: A deviation from [SDMC Section 131.0444\(c\)](#) to allow for a portion of the building to encroach within angled building envelope within the front yard setback within the RS-1-2 Zone, where the regulations require a 30-degree angle at a height of 24 feet within the front yard setback.

*Justification:* As discussed above, the project site has significant constraints in lot configuration, being a double fronted property, and being a double zoned property. The request is to allow for an encroachment of building envelope of approximately 26 inches and for a length of 20 feet (10 percent of the frontage) within the required angled building envelope within the RS-1-2 Zone. This deviation is necessary to in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

3. Building Height: A deviation from [SDMC Section 131.0431\(b\)](#) to allow for a building height of 33 and 35 feet for a portion of the building within the RS-1-2 Zone (very low density), where the regulations allow a maximum of 30 feet. In accordance with the small lot subdivision regulations [SDMC Section 143.0365](#), the remaining portion of the lot, which is zoned multi-family (medium density), is allowed a maximum building height of 40 feet.

*Justification:* The request is to allow for 33-foot height at the setback and 35-foot height near the center of the roof for the portion of the building within the RS-1-2 Zone. This deviation is necessary to achieve a uniformity of construction and in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, the surrounding development and the small lot subdivision regulations. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization of the existing vacant parcel for the creation of five residential units, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC.

#### Community Plan and General Plan Analysis:

The Uptown Community Plan designates the 0.21-acre site for Medium Residential 15-29 dwelling units per acre (approx. 0.14-acres) and Open Space (approx. 0.07-acres). Within the Medium Residential land use designation, four dwelling units would be allowed on this portion of the property. In accordance with the Open Space and Recreation Element, the portion of the project site designated as Open Space is further identified within the Maple/Reynard Open Space System and within the Biological/Geological Zone (Zone 1). The community plan identifies Zone 1 as the highest

priority preservation zone and includes slopes of 25-percent gradient or greater and canyon bottoms. Within this zone, only very low residential development with a density of 1-2 dwelling units per acre is allowed. Within this zone, one dwelling unit would be allowed; therefore, in total, five dwelling units would be allowed on site and as proposed the project would implement the existing land use designations. The project would result in creation of five multifamily dwelling units where none currently exist and would cluster development along Reynard Way away from the hillside in order to meet recommendations to minimize development encroachment and grading in open space and steep hillsides.

The proposed project would implement the General Plan Conservation Element recommendation of employing sustainable or “green” building techniques for the construction and operation of buildings, primarily through the application of self-generation of energy using renewable technologies, by including photovoltaic panels and green roofs on each of the dwelling units. To fulfill the recommendation of implementing sustainable landscape design and maintenance through the reduction of impervious surfaces, the project would include plants with low water requirements, dedicated green roof areas atop each of the proposed dwelling units, decomposed granite areas, and turf block driveways. The proposed project supports an infill development strategy and provides easy access to transit by way of a bus stop (Bus Route 83, which has a frequency of every hour) located at the southeastern corner of the property.

The proposed project would meet the objective in the Urban Design Element for increasing the quality and quantity of landscaping in the public right-of-way as well as the recommendation for increasing landscaping in the public-right-way to add interest and minimize erosion, through the incorporation of 24-inch box street trees and water-wise landscape plantings along Reynard Way. As proposed, the project would follow the guidelines in the Urban Design Element for including patios, balconies, courtyards, or other recreational amenities within residential projects to maximize open space and utilizing rooftop space for outdoor use by including roof decks on each of the dwelling units within the project. The proposed project would meet the Urban Design guideline for complementing the natural character of the land and minimizing disturbance of the topography by including building façade offsets and varying the building stepbacks on the second floor; spacing the building structures to provide visual access to the hillside; utilizing neutral, earthtone, muted colors that complement the natural landscape; and varying wall textures including wood siding, plaster/stucco, and concrete.

Several deviations are requested as part of the development proposal that relate to front yard setback, building angle envelope, and building height. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, other than general guidelines for including building articulation and design compatibility. As proposed, the project would incorporate varying façade offsets including breaks in the buildings massing to allow view of the hillside through the project, varying building and textures, sustainable development features such as photovoltaic panels and green roofs, and outdoor recreation space in the form of rooftop decks. Notwithstanding the deviations, the project as proposed would be consistent with the policies of Uptown Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore would not adversely impact the applicable land use plans.



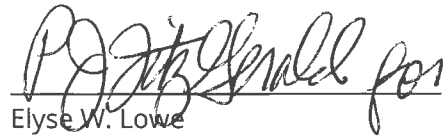
Conclusion:

With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Uptown Community Plan, MCCPD regulations, the SDMC, and the General Plan.

ALTERNATIVES

1. APPROVE Tentative Map No. 1726698 and Site Development Permit No. 1726697, with modifications.
2. DENY Tentative Map No. 1726698 and Site Development Permit No. 1726697, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe  
Deputy Director  
Development Services Department



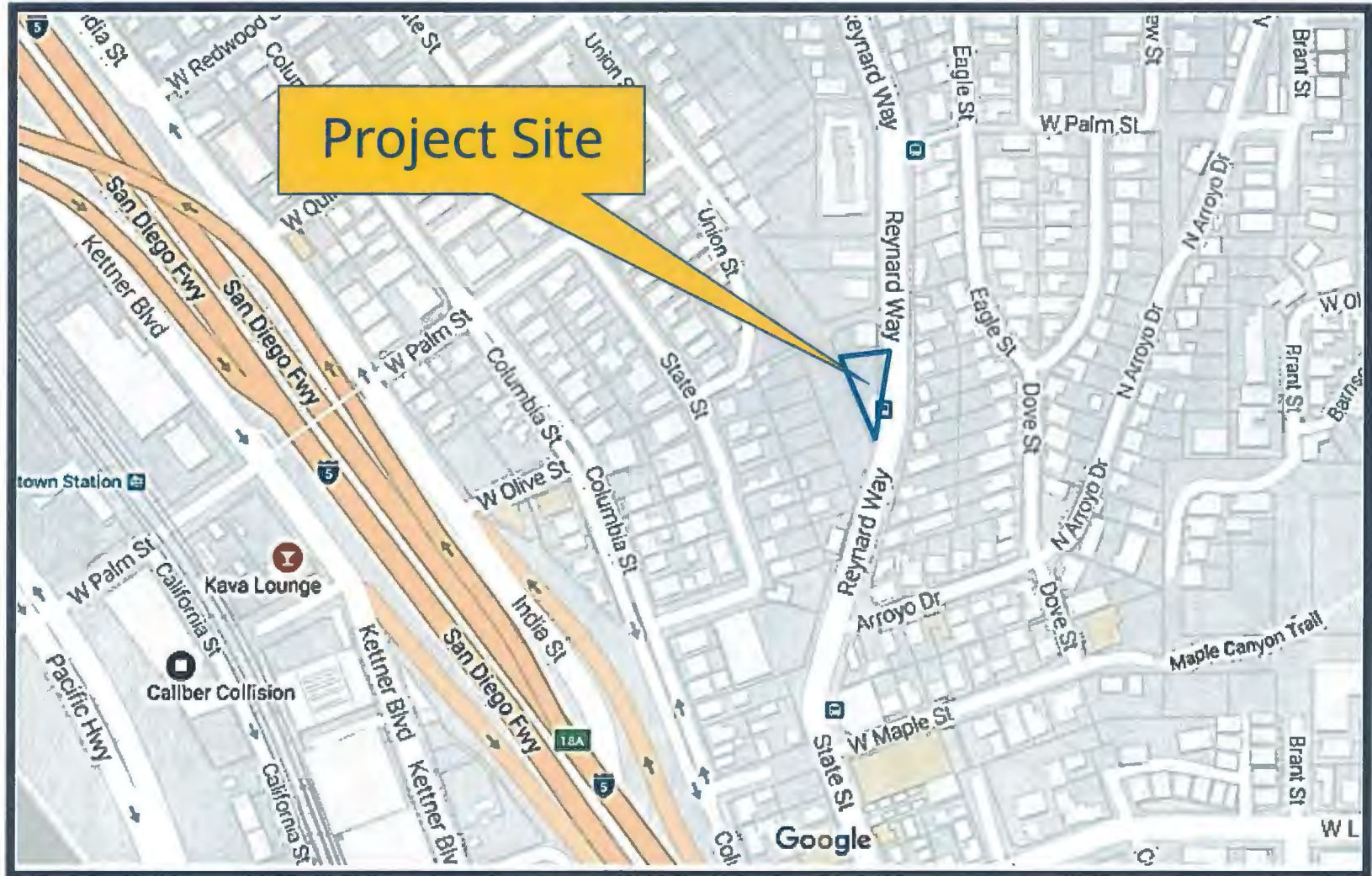
Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

LOWE/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Site Photos
6. Surrounding Community Photos
7. ALUC Resolution No. 2016-0015
8. Deviation Location Diagram
9. Project Data Sheet
10. Draft SDP Permit Resolution with Findings
11. Draft SDP Permit with Conditions
12. Draft TM Resolution with Findings
13. Draft TM Conditions
14. Community Planning Group Recommendation
15. Environmental Exemption
16. Ownership Disclosure Statement
17. Project Plans

Internal Order No. 24006713



## Location Map

**Tricanyon Townhomes-Project No. 490672**  
2724 Reynard Way



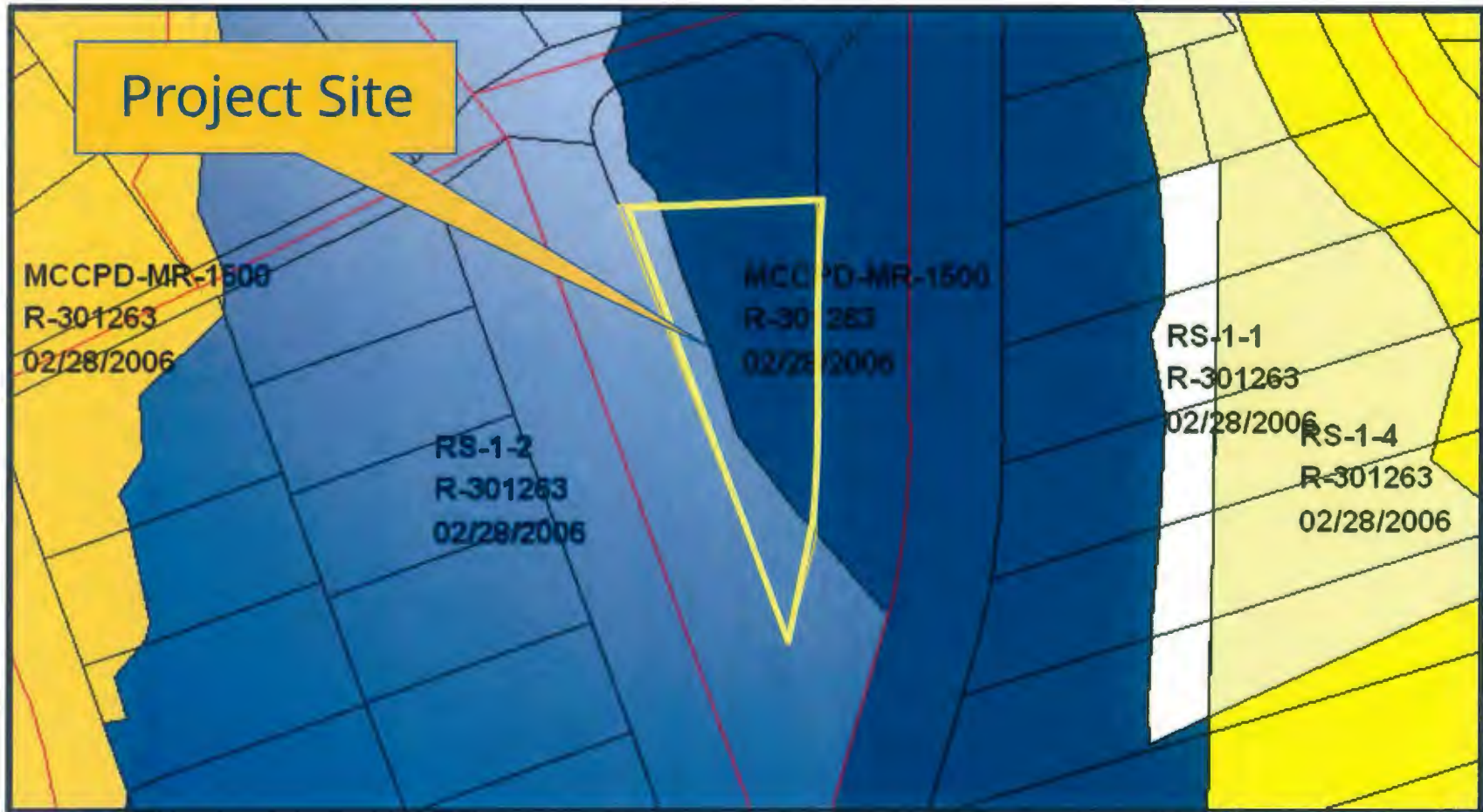




## Aerial Photograph

Tricanyon Townhomes-Project No. 490672  
2724 Reynard Way



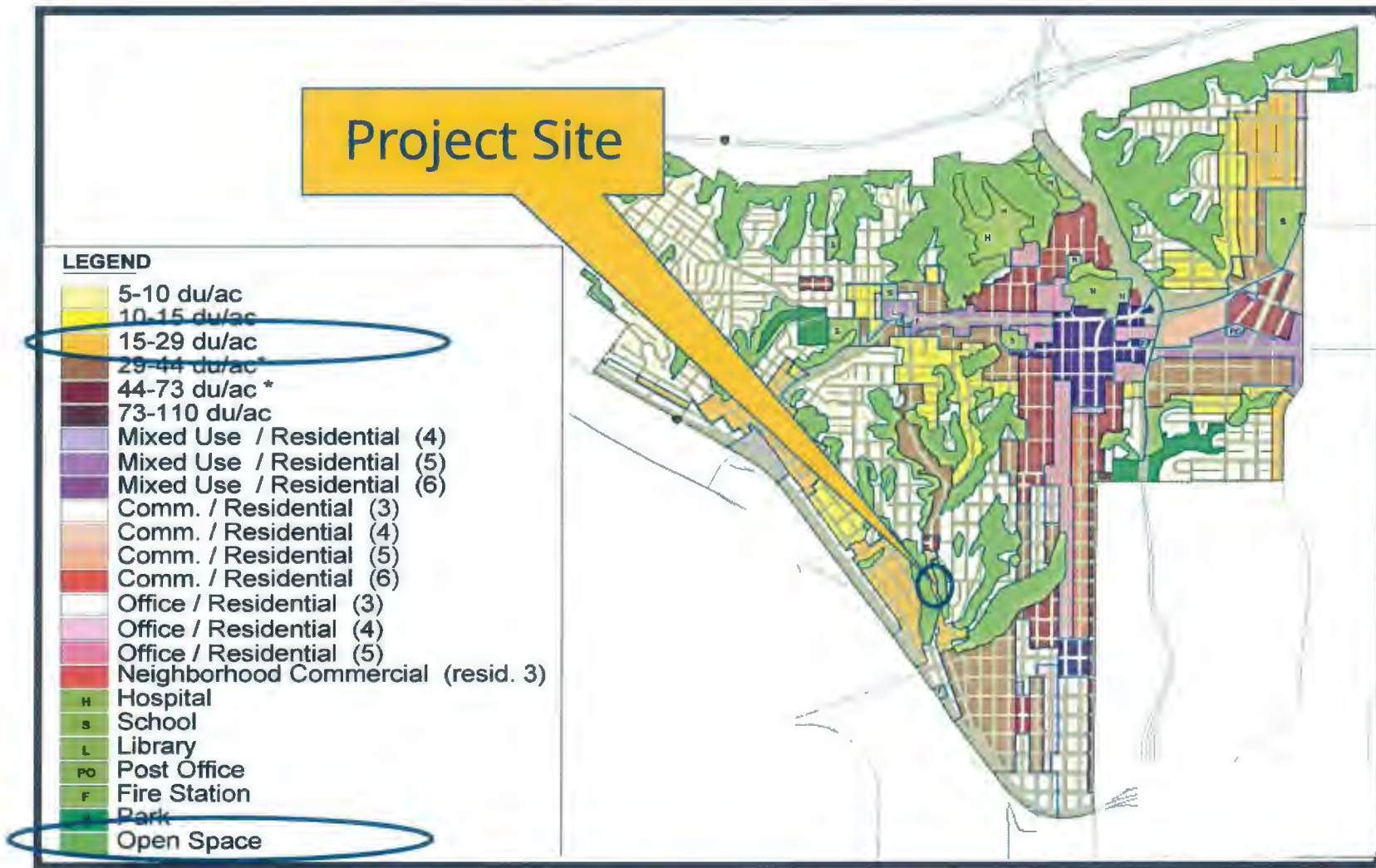


## Zoning Map

Tricanyon Townhomes-Project No. 490672  
2724 Reynard Way







# 1988 Community Land Use Map

**Tricanyon Townhomes-Project No. 490672**  
2724 Reynard Way



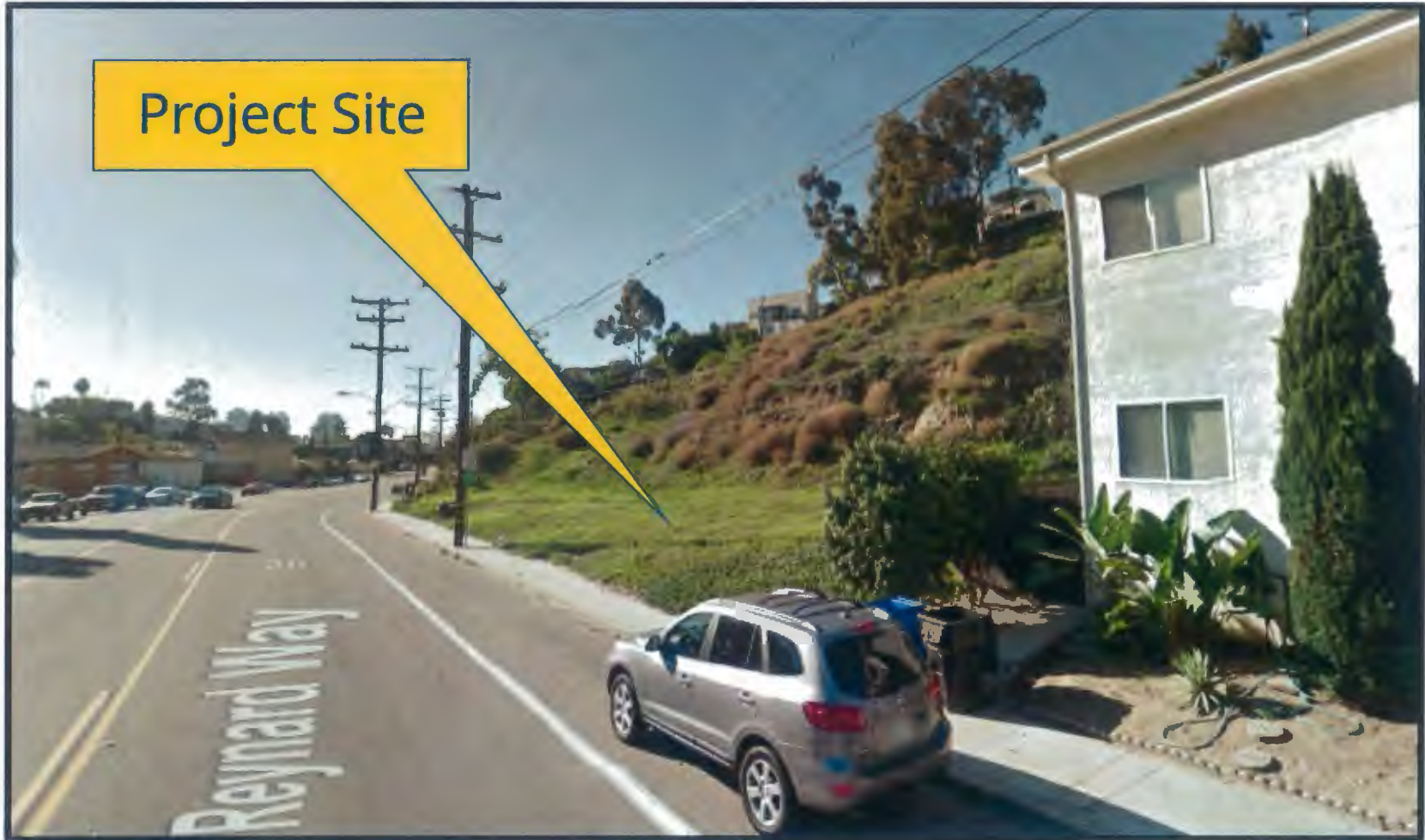


## Site Photo – Looking North on Reynard Way

Tricanyon Townhomes-Project No. 490672  
2724 Reynard Way







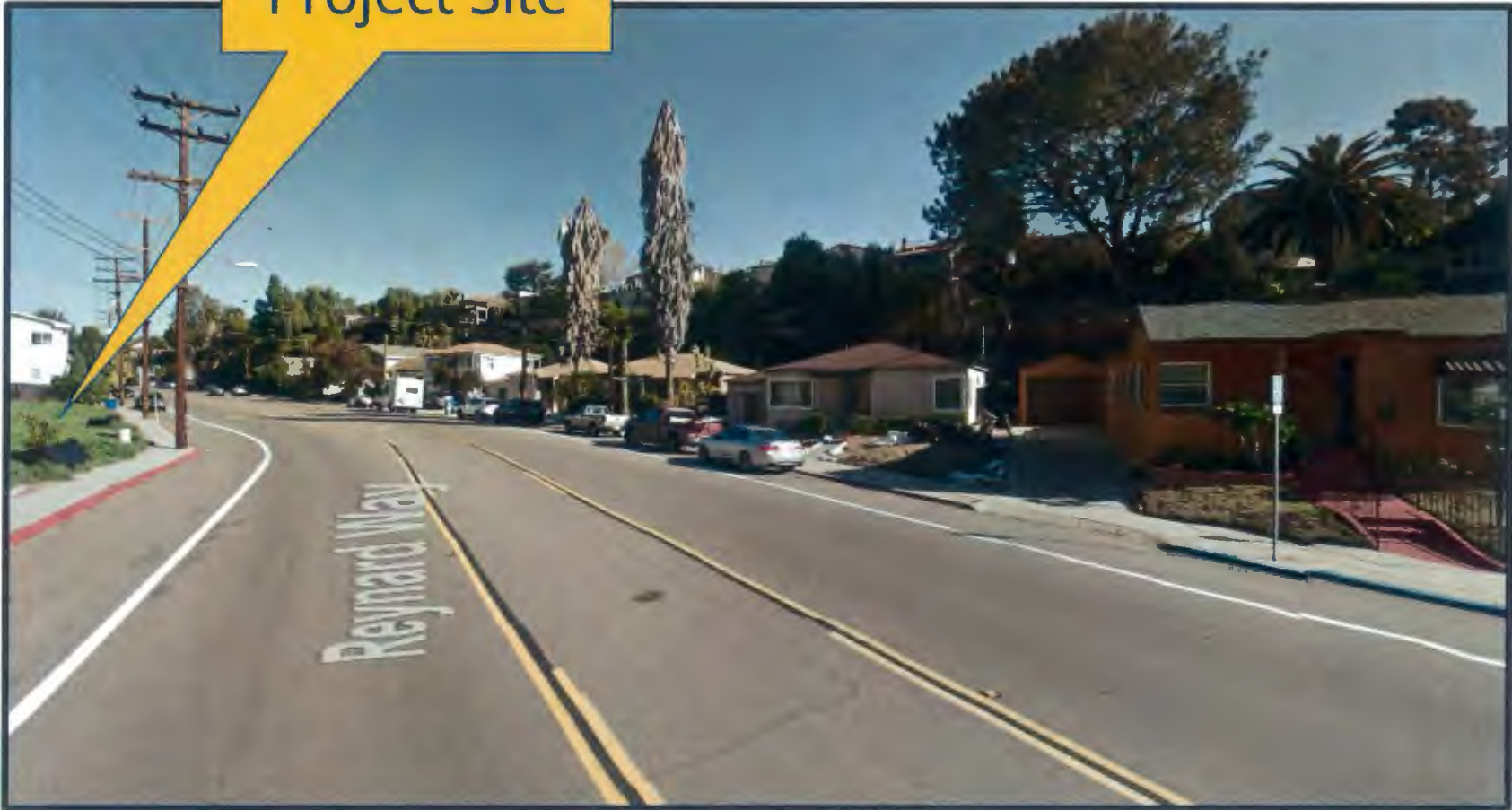
## Site Photo – Looking South on Reynard Way

Tricanyon Townhomes-Project No. 490672  
2724 Reynard Way





Project Site



## Surrounding Photo—Looking North on Reynard Way

Tricanyon Townhomes-Project No. 490672  
2724 Reynard Way



Project Site



## Surrounding Photo—Looking South on Reynard Way

Tricanyon Townhomes-Project No. 490672  
2724 Reynard Way



## RESOLUTION NO. 2016-0015 ALUC

A RESOLUTION OF THE AIRPORT LAND USE COMMISSION FOR SAN DIEGO COUNTY MAKING A DETERMINATION THAT THE PROPOSED PROJECT: CONSTRUCTION OF 5 ATTACHED RESIDENTIAL UNITS AT 2724 REYNARD WAY, CITY OF SAN DIEGO, IS CONDITIONALLY CONSISTENT WITH THE SAN DIEGO INTERNATIONAL AIRPORT - AIRPORT LAND USE COMPATIBILITY PLAN

WHEREAS, the Board of the San Diego County Regional Airport Authority, acting in its capacity as the Airport Land Use Commission (ALUC) for San Diego County, pursuant to §21670.3 of the California Public Utilities Code, was requested by the City of San Diego to determine the consistency of a proposed project: Construction of 5 Attached Residential Units at 2724 Reynard Way, City of San Diego, which is located within the Airport Influence Area (AIA) for the San Diego International Airport (SDIA) Airport Land Use Compatibility Plan (ALUCP), adopted and amended in 2014; and

WHEREAS, the plans submitted to the ALUC for the proposed project indicate that it would involve the construction of 5 attached residential units; and

WHEREAS, the proposed project would be located within the 65-70 decibel (dB) Community Noise Equivalent Level (CNEL) noise contour, and the ALUCP identifies residential uses located within the 65-70 dB CNEL noise contour as conditionally compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level and that an aviation easement is recorded with the County Recorder; and

WHEREAS, the proposed project is located outside the SDIA Threshold Siting Surface (TSS) height restrictions and would be compatible with the ALUCP airspace protection surfaces because the project sponsor has certified that notice of construction is not required to the Federal Aviation Administration (FAA); and

WHEREAS, the proposed project is located outside all Safety Zones; and

WHEREAS, the proposed project is located within the overflight notification area, and the ALUCP requires recordation of an overflight notification with the County Recorder for new residential land uses or other alternative method as approved by the ALUC, but does not require an additional overflight notification where an aviation easement is required; and

WHEREAS, the ALUC has considered the information provided by staff, including information in the staff report and other relevant material regarding the project; and

WHEREAS, the ALUC has provided an opportunity for the City of San Diego and interested members of the public to present information regarding this matter.

NOW, THEREFORE, BE IT RESOLVED that the ALUC determines that the proposed project: Construction of 5 Attached Residential Units at 2724 Reynard Way, City of San Diego, is conditionally consistent with the SDIA ALUCP, which was adopted and amended in 2014, based upon the following facts and findings:

- (1) The proposed project involves the construction of 5 attached residential units.
- (2) The proposed project is located within the 65-70 dB CNEL noise contour. The ALUCP identifies residential uses located within the 65-70 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level and that an avigation easement is recorded with the County Recorder. Therefore, as a condition of project approval, the residence must be sound attenuated to 45 dB CNEL interior noise level and an avigation easement must be recorded with the County Recorder.
- (3) The proposed project is located outside the TSS. The proposed project is in compliance with the ALUCP airspace protection surfaces because the project sponsor has certified that notice of construction is not required to the FAA because the project is located within an urbanized area, is substantially shielded by existing structures or natural terrain, and cannot reasonably have an adverse effect on air navigation.
- (4) The proposed project is located outside all Safety Zones.
- (5) The proposed project is located within the overflight notification area. The ALUCP requires recordation of an overflight notification with the County Recorder for new residential land uses or other alternative method as approved by the ALUC, but does not require an additional overflight notification where an avigation easement is required.
- (6) Therefore, if the proposed project contains the above-required conditions, the proposed project would be consistent with the SDIA ALUCP.

Resolution No. 2016-0015 ALUC  
Page 3 of 3

BE IT FURTHER RESOLVED that the ALUC finds this determination is not a "project" as defined by the California Environmental Quality Act (CEQA), Cal. Pub. Res. Code §21065, and is not a "development" as defined by the California Coastal Act, Cal. Pub. Res. Code §30106.

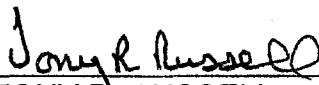
PASSED, ADOPTED AND APPROVED by the ALUC for San Diego County at a regular meeting this 20<sup>th</sup> day of October, 2016, by the following vote:

AYES: Commissioners: Boling, Desmond, Gleason, Hubbs, Robinson, Sessom

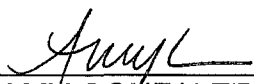
NOES: Commissioners: None

ABSENT: Commissioners: Cox, Janney, Kersey

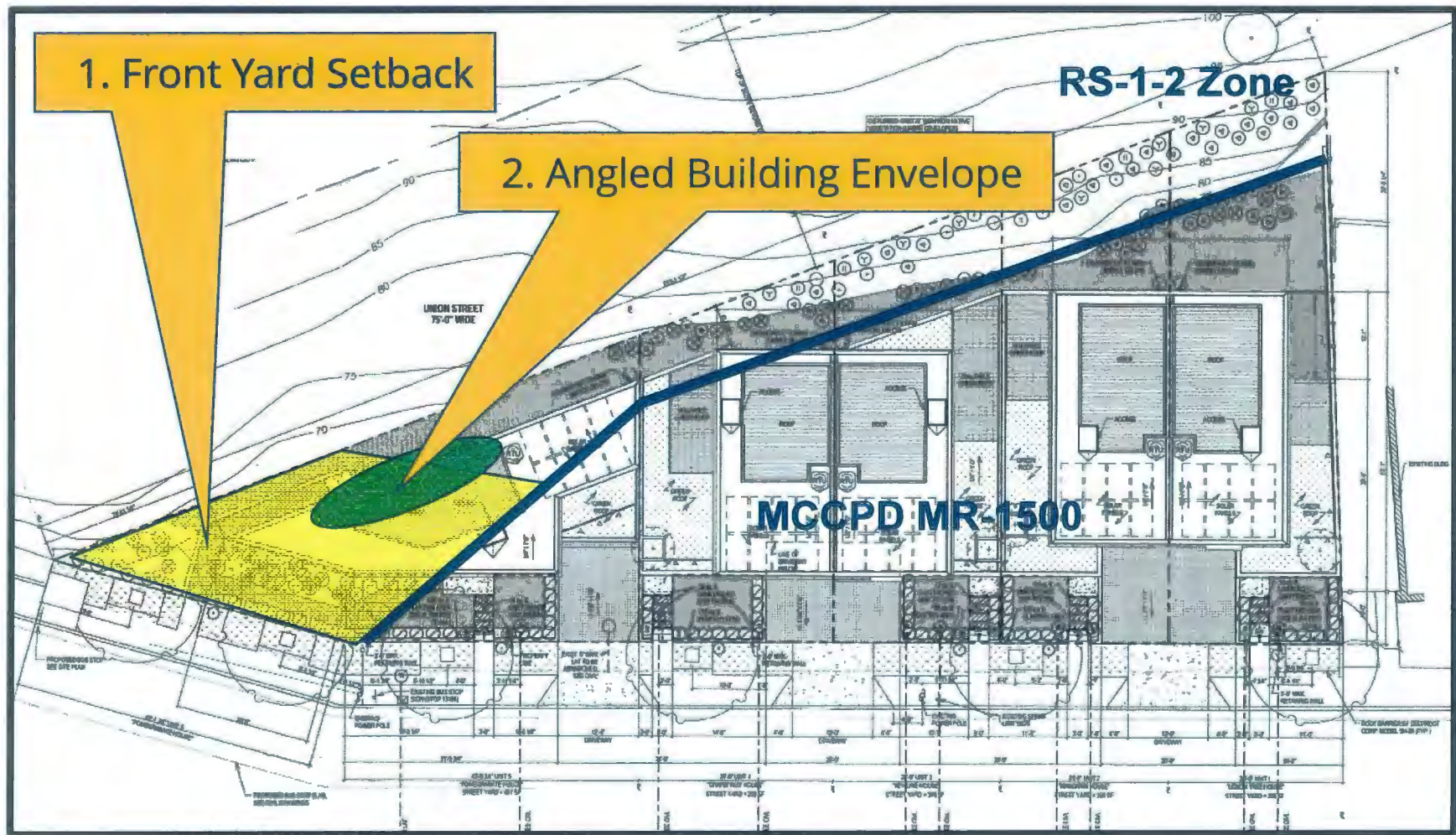
ATTEST:

  
\_\_\_\_\_  
TONY R. RUSSELL  
DIRECTOR, CORPORATE &  
INFORMATION GOVERNANCE /  
AUTHORITY CLERK

APPROVED AS TO FORM:

  
\_\_\_\_\_  
AMY GONZALEZ  
GENERAL COUNSEL



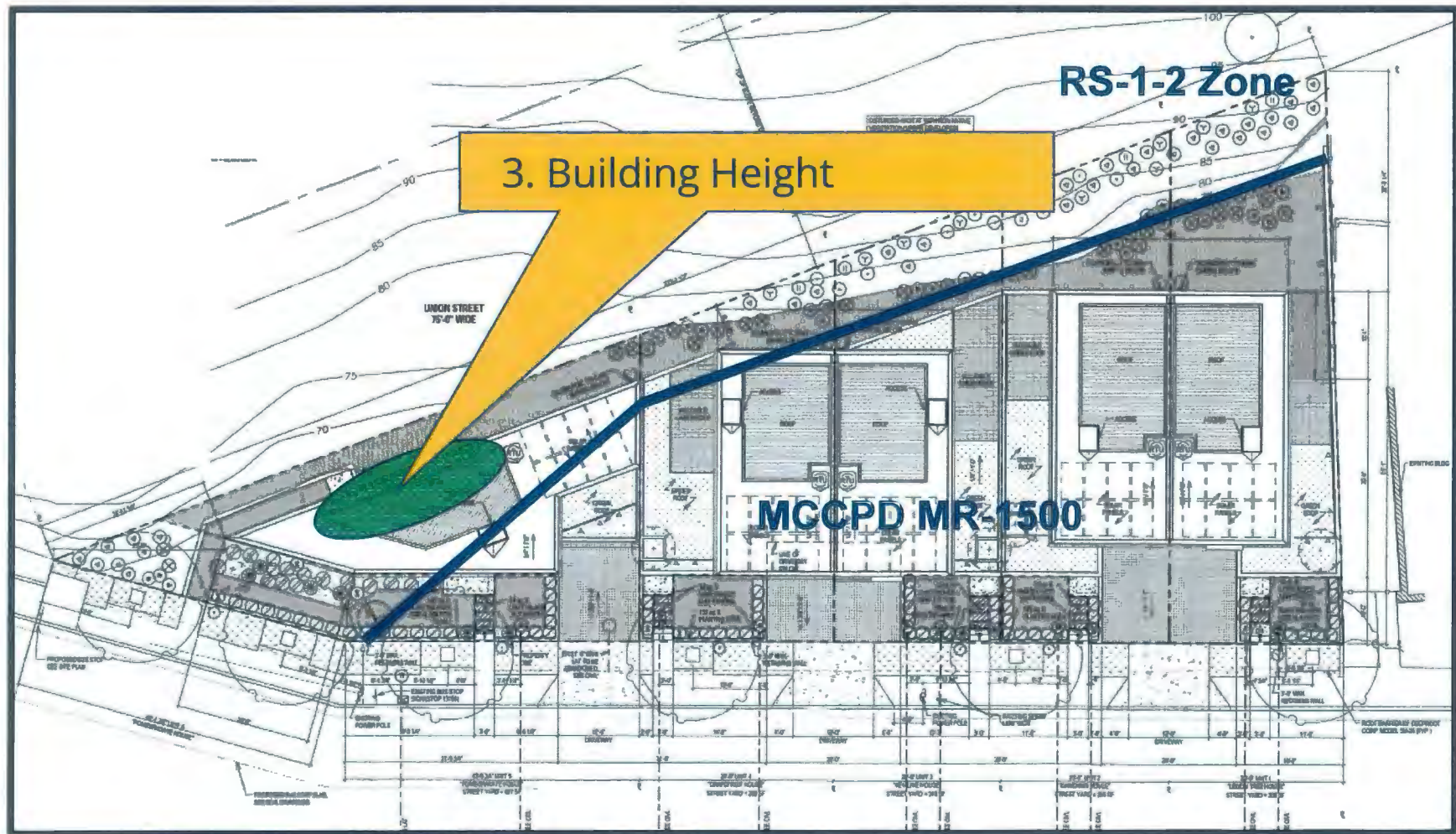


## Deviation Location Diagram 1

**Tricanyon Townhomes-Project No. 490672**  
2724 Reynard Way







## Deviation Location Diagram 2

**Tricanyon Townhomes-Project No. 490672**  
2724 Reynard Way



PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	Tricanyon Townhomes –Project No. 490672	
<b>PROJECT DESCRIPTION:</b>	A small lot subdivision and the construction of five residential dwelling units on a vacant 0.21-acre site located at 2724 Reynard Way.	
<b>COMMUNITY PLAN AREA:</b>	Uptown	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit and Tentative Map	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Medium Residential (15-29 dwelling units per acre) and Open Space	
<b>ZONING INFORMATION:</b>		
ZONE: HEIGHT LIMIT: LOT SIZE: FLOOR AREA RATIO: LOT COVERAGE: FRONT SETBACK: SIDE SETBACK: STREETSIDE SETBACK: REAR SETBACK: PARKING:	RS-1-2 Zone 24 Feet /30 Feet 20,000 Square Feet Varies (Section 131.0446(a)) NA 25 Feet 8 Feet 15 Feet 10 Feet 2 Spaces per Dwelling Unit	MCCPD MR-1500 Zone 30 Feet 6,000 Square Feet .55 35 Percent 10 Feet 6 Feet 6 Feet 1 Foot if Alley, 15 Feet no Alley 2 Spaces per 2+ Bedroom Units
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Medium Residential and Open Space, RS-1-2 Zone and MCCPD MR-1500 Zone	Multi-Family Residential
<b>SOUTH:</b>	Open Space, RS-1-2 Zone	Unimproved portion of Union Street
<b>EAST:</b>	Medium Residential, MCCPD MR-1500 Zone	Single Family and Multi-Family Residential
<b>WEST:</b>	Open Space, RS-1-2 Zone	Unimproved portion of Union Street
<b>DEVIATIONS</b>	Deviations for front yard setback, angled building envelope and building height.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On August 2, 2016, the Uptown Planners vote 16-0-1 to recommend approval of the project with no conditions.	

PLANNING COMMISSION  
 RESOLUTION NO. \_\_\_\_\_  
 SITE DEVELOPMENT PERMIT NO. 1726697  
**TRICANYON TOWNHOMES - PROJECT NO. 490672**

WHEREAS, SIX COYOTE, LLC, a California Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a small lot subdivision and the construction of five three-story residential dwelling units (as described in and by reference to the approved Exhibits 'A' and corresponding conditions of approval for the associated Permit No. 1726697), on portions of a 0.21-acre site; and

WHEREAS, the project site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City Communities Planned District (MCCPD) and RS-1-2 Zone within the Uptown Community Plan area. Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 65-70 decibel (dB), the Airport Influence Area (SDIA Review Area 1), and the Federal Aviation Administration Part 77 Noticing Area (SDIA Lindbergh Field and the North Island Naval Air Station); and

WHEREAS, the project site is legally described as Parcel 2 of Parcel Map No. 18423, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, February 17, 2000; and

WHEREAS, on January 26, 2017, the Planning Commission of the City of San Diego considered Site Development Permit No. 1726697, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on November 14, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 26, 2017.

FINDINGS:

**I. Site Development Permit - Section §126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City Communities Planned District (MCCPD) and RS-1-2 Zone within the Uptown Community

Plan. The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). The site consists of one triangular parcel of vacant land fronting Reynard Way to the east and an unimproved portion of Union Street to the west. The Uptown Community Plan designates the 0.21-acre site for Medium Residential 15-29 dwelling units per acre (approx. 0.14-acres) and Open Space (approx. 0.07-acres). Within the Medium Residential land use designation, four dwelling units would be allowed on this portion of the property. In accordance with the Open Space and Recreation Element, the portion of the project site designated as Open Space is further identified within the Maple/Reynard Open Space System and within the Biological/Geological Zone (Zone 1). The community plan identifies Zone 1 as the highest priority preservation zone and includes slopes of 25-percent gradient or greater and canyon bottoms. This zone only allows very low residential development with a density of 1-2 dwelling units per acre. Within this zone, one dwelling unit would be allowed; therefore, in total, five dwelling units would be allowed on site and as proposed the project would implement the existing land use designations.

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to Ordinance No. O-20770 N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to Ordinance No. O-20771 N.S. Both ordinance became effective on January 15, 2017. However, the project application was deemed complete on May 19, 2016, and the project is utilizing the 1988 Uptown Community Plan and the MCCPD regulations that were in effect at the time of the submittal.

The project proposes a small lot subdivision in accordance with San Diego Municipal Code (SDMC) Section 143.0365, which would create five lots and the construction of five three-story residential dwelling units on a vacant site. The small lot subdivision regulations were adopted pursuant to Ordinance No. O-20483 N.S., which became effective on June 4, 2015. The MCCPD MR-1500 Zone has a density comparable to those of the RM-2-5 Zone (citywide zone); therefore, the project would be able to utilize the small lot subdivision regulations.

Several deviations are requested as part of the development proposal that relate to front yard setback, building angle envelope, and building height. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, other than general guidelines for including building articulation and design compatibility. As proposed, the project would incorporate varying façade offsets including breaks in the buildings massing to allow view of the hillside through the project, varying building and textures, sustainable development features such as photovoltaic panels and green roofs, and outdoor recreation space in the form of rooftop decks. Notwithstanding these deviations, the project as proposed would be consistent with the policies of Uptown Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore would not adversely impact the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**



The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The purpose and intent of the small lot subdivision regulations is to encourage development of single dwelling units on small lots in order to provide a space-efficient and economical alternative to traditional single dwelling unit development. It is also the intent of these regulations to provide pedestrian friendly developments that are consistent with the neighborhood character. The five parcels will be constructed with five, three-story, single dwelling units with attached two car garages. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

In addition to the on-site construction, the project includes the reconstruction of the damaged portions of the existing curb, gutter and sidewalk with current City Standard curb, gutter and sidewalk, adjacent to the site on Reynard Way. The project includes the removal of the existing asphalt and the installation of a City Standard SDG-102 bus stop slab for the adjacent bus stop located at the southeastern corner of the property on Reynard Way.

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures).

The project will be required to obtain building permits and a public improvement permit prior to the construction of the residential development. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions are necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1726697, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units

will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

The project is utilizing the zero-foot side yard option for Lot 1 along the northern property line pursuant to SDMC Section 1512.0303(d)(3). This option within the MCCPD allows for a maximum 30-foot length of a building to be within the six-foot interior setback. This option is only being utilized for the first floor in order to provide an active occupied ground floor, as encouraged by the community plan, and the allow for the green roof above this area.

An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The following are the requested deviations with justifications:

1. Front Yard Setback: A deviation from SDMC Section 131.0431(b) to reduce the front yard setbacks to 10 feet on Lot 5, where the regulations require a 25-foot minimum setback on the portion of the property within the RS-1-2 Zone.

*Justification:* The site consists of one triangular parcel of land fronting Reynard Way to the east and unimproved portion of Union Street to the west. The project proposes a small lot subdivision, which would create five lots on the vacant site. Though the southern Lot 5 would be the largest of the five lots at 2,278 square feet, a portion of this lot is located within the RS-1-2 Zone and requires a 25-foot front yard setback, and the remaining portion of the is within the MCCPD MR1500 Zone which requires a 10-foot front yard setback. This deviation would allow for a uniform front yard setback for the development along Reynard Way and be consistent with the properties within the immediate surrounding development.

2. Angled Building Envelope: A deviation from SDMC Section 131.0444(c) to allow for a portion of the building to encroach within angled building envelope within the front yard setback within the RS-1-2 Zone, where the regulations require a 30-degree angle at a height of 24 feet within the front yard setback.

*Justification:* As discussed above, the project site has significant constraints in lot configuration, being a double fronted property, and being a double zoned property. The request is to allow for an encroachment of building envelope of approximately 26 inches and for a length of 20 feet (10 percent of the frontage) within the required angled building envelope within the RS-1-2 Zone. This deviation is necessary to in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

3. Building Height: A deviation from SDMC Section 131.0431(b) to allow for a building height of 33 and 35 feet for a portion of the building within the RS-1-2 Zone (very low density), where the regulations allow a maximum of 30 feet. In accordance with the small lot subdivision regulations SDMC Section 143.0365, the remaining portion of the lot, which is zoned multi-family (medium density), is allowed a maximum building height of 40 feet.

*Justification:* The request is to allow for 33-foot height at the setback and 35-foot height near the center of the roof for the portion of the building within the RS-1-2 Zone. This deviation is necessary to achieve a uniformity of construction and in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, the surrounding development and the small lot subdivision regulations. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization of the existing vacant parcel for the creation of five residential units, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC).

#### **M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.**

**1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

A Climate Action Plan (CAP) Consistency Checklist was prepared by the applicant and the project was determined to be in conformance with the CAP. CAP Implementation Strategies, include a combination of roofing materials with solar reflection and thermal emittance and “green” building techniques, including areas of vegetated (green) roofs. The project has been designed to have an energy budget that shows a 15-percent energy improvement to the Title 24, Part 6 Energy Budget. This energy demand reduction will be provided through a combination of on-site renewable energy generation (photovoltaic) and energy performance design elements. The project conserves water by using low-flow fixtures/appliances and also accommodates for future installation of electric vehicle supply equipment in the parking garages to provide an electric vehicle charging station.

Therefore, the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants. In addition, the project will be required to comply with the inclusionary ordinance and the small lot subdivision ordinance allows for single family home ownership more accessible to a wider part of the community by creating infill development on this vacant lot at a price point that could potentially be lower on a larger lot.

**2. The development will not be inconsistent with the purpose of the underlying zone.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). The site consists of one triangular parcel of vacant land fronting Reynard Way to the east and an unimproved portion of Union Street to the west. The Uptown Community Plan designates the 0.21-acre site for Medium Residential 15-29 dwelling units per acre (approx. 0.14-acres) and Open Space (approx. 0.07-acres). Within the Medium Residential land use designation, four dwelling units would be allowed on this portion of the property. In accordance with the Open Space and Recreation Element, the portion of the project site designated as Open Space is further identified within the Maple/Reynard Open Space System and within the Biological/Geological Zone (Zone 1). The community plan identifies Zone 1 as the highest priority preservation zone and includes slopes of 25-percent gradient or greater and canyon bottoms. This zone only allows very low residential development with a density of 1-2 dwelling units per acre. Within this zone, one dwelling unit would be allowed; therefore, in total, five dwelling units would be allowed on site and as proposed the project would implement the existing land use designations.

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to Ordinance No. O-20770 N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to Ordinance No. O-20771 N.S. Both ordinance became effective on January 15, 2017. However, the project application was deemed complete on May 19, 2016, and the project is utilizing

the 1988 Uptown Community Plan and the MCCPD regulations that were in effect at the time of the submittal.

The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). The small lot subdivision regulations were adopted pursuant to Ordinance No. O-20483 N.S., which became effective on June 4, 2015. The MCCPD MR-1500 Zone has a density comparable to those of the RM-2-5 Zone (citywide zone); therefore, the project would be able to utilize the small lot subdivision regulations.

Several deviations are requested as part of the development proposal that relate to front yard setback, building angle envelope, and building height. Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, the surrounding development and the small lot subdivision regulations. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization of the existing vacant parcel for the creation of five residential units, while meeting the purpose and intent of the development regulations and consistency with the purpose of the underlying zones.

**3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The following are the requested deviations with justifications:

1. Front Yard Setback: A deviation from SDMC Section 131.0431(b) to reduce the front yard setbacks to 10 feet on Lot 5, where the regulations require a 25-foot minimum setback on the portion of the property within the RS-1-2 Zone.

*Justification:* The site consists of one triangular parcel of land fronting Reynard Way to the east and unimproved portion of Union Street to the west. The project proposes a small lot subdivision, which would create five lots on the vacant site. Though the southern Lot 5 would be the largest of the five lots at 2,278 square feet, a portion of this lot is located within the RS-1-2 Zone and requires a 25-foot front yard setback, and the remaining portion of the is within the MCCPD MR1500 Zone which requires a 10-foot front yard setback. This deviation would allow for a uniform front yard setback for the development along Reynard Way and be consistent with the properties within the immediate surrounding development.

2. Angled Building Envelope: A deviation from SDMC Section 131.0444(c) to allow for a portion of the building to encroach within angled building envelope within the front yard setback within the RS-1-2 Zone, where the regulations require a 30-degree angle at a height of 24 feet within the front yard setback.



*Justification:* As discussed above, the project site has significant constraints in lot configuration, being a double fronted property, and being a double zoned property. The request is to allow for an encroachment of building envelope of approximately 26 inches and for a length of 20 feet (10 percent of the frontage) within the required angled building envelope within the RS-1-2 Zone. This deviation is necessary to in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

3. Building Height: A deviation from SDMC Section 131.0431(b) to allow for a building height of 33 and 35 feet for a portion of the building within the RS-1-2 Zone (very low density), where the regulations allow a maximum of 30 feet. In accordance with the small lot subdivision regulations SDMC Section 143.0365, the remaining portion of the lot, which is zoned multi-family (medium density), is allowed a maximum building height of 40 feet.

*Justification:* The request is to allow for 33-foot height at the setback and 35-foot height near the center of the roof for the portion of the building within the RS-1-2 Zone. This deviation is necessary to achieve a uniformity of construction and in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, the surrounding development and the small lot subdivision regulations. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization of the existing vacant parcel for the creation of five residential units, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC.

## **II. Mid-City Communities Development Permit Findings - Section §1512.0204**

### **Findings for all for Mid-City Communities Development Permit Findings**

1. **Conformance with Community Plan and Design Manuals.** The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the following documents, as applicable to the site: the Mid-City Community Plan, the Greater North Park Community Plan, the State University Community Plan, the Uptown Community Plan, the Mid-City Design Plan (California State Polytechnic University, Pomona; Graduate studies in Landscape Architecture; June, 1983), Design Manual for the Normal Heights Demonstration Area and the City Heights Demonstration Area (HCH Associates and Gary Coad; April, 1984), The Design Study for the Commercial Revitalization of

**El Cajon Boulevard (Land Studio, Rob Quigley, Kathleen McCormick), The North Park Design Study, Volume 1, Design Concept and Volume 2, Design Manual (The Jerde Partnership, Inc. and Lawrence Reed Moline, Ltd.), Sears Site Development Program (Gerald Gast and Williams-Kuebelbeck and Assoc.; 1987) and will not adversely affect the Greater North Park Community Plan, the Uptown Community Plan or the General Plan of the City of San Diego.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City MCCPD and RS-1-2 Zone within the Uptown Community Plan. The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). The site consists of one triangular parcel of vacant land fronting Reynard Way to the east and an unimproved portion of Union Street to the west. The Uptown Community Plan designates the 0.21-acre site for Medium Residential 15-29 dwelling units per acre (approx. 0.14-acres) and Open Space (approx. 0.07-acres). Within the Medium Residential land use designation, four dwelling units would be allowed on this portion of the property. In accordance with the Open Space and Recreation Element, the portion of the project site designated as Open Space is further identified within the Maple/Reynard Open Space System and within the Biological/Geological Zone (Zone 1). The community plan identifies Zone 1 as the highest priority preservation zone and includes slopes of 25-percent gradient or greater and canyon bottoms. This zone only allows very low residential development with a density of 1-2 dwelling units per acre. Within this zone, one dwelling unit would be allowed; therefore, in total, five dwelling units would be allowed on site and as proposed the project would implement the existing land use designations.

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to Ordinance No. O-20770 N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to Ordinance No. O-20771 N.S. Both ordinance became effective on January 15, 2017. However, the project application was deemed complete on May 19, 2016, and the project is utilizing the 1988 Uptown Community Plan and the MCCPD regulations that were in effect at the time of the submittal.

The project proposes a small lot subdivision in accordance with San Diego Municipal Code (SDMC) Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). The small lot subdivision regulations were adopted pursuant to Ordinance No. O-20483 N.S., which became effective on June 4, 2015. The MCCPD MR-1500 Zone has a density comparable to those of the RM-2-5 Zone (citywide zone); therefore, the project would be able to utilize the small lot subdivision regulations.

Several deviations are requested as part of the development proposal that relate to front yard setback, building angle envelope, and building height. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, other than general guidelines for including building articulation and design compatibility. As proposed, the project would incorporate

varying façade offsets including breaks in the buildings massing to allow view of the hillside through the project, varying building and textures, sustainable development features such as photovoltaic panels and green roofs, and outdoor recreation space in the form of rooftop decks. Notwithstanding these deviations, the project as proposed would be consistent with the policies of Uptown Community Plan, as well as with applicable Conservation Element policies contained in the General Plan; therefore, the project meet the purpose and intent of the MCCPD and would not adversely impact the applicable land use plans or any of the other plans listed above.

**2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). The site consists of one triangular parcel of vacant land fronting Reynard Way to the east and an unimproved portion of Union Street to the west. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The purpose and intent of the small lot subdivision regulations is to encourage development of single dwelling units on small lots in order to provide a space-efficient and economical alternative to traditional single dwelling unit development. It is also the intent of these regulations to provide pedestrian friendly developments that are consistent with the neighborhood character. The five parcels will be constructed with five, three-story, single dwelling units with attached two car garages.

The properties to the north and east are developed with single-family and multi-family dwelling (duplexes) units zoned MCCPD-MR1500 and the community plan designates those sites for Medium Residential 15-29 dwelling units per acre. To integrate the development into the community, the buildings have been designed to appear as two duplexes and a separate single dwelling unit, which is consistent with the surrounding single family dwelling units and duplexes. In addition, this massing articulation permits views through the buildings to the landscape and open space beyond as viewed along Reynard Way. Furthermore, each of the units have been designed with a drought tolerant landscaped front yard, a ground level entry fronting the street, maintaining the existing setback patterns, providing transparent features facing the street, and providing architectural features and varying planes to create visual interest and supporting pedestrian friendly development.

**3. No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.**

The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The purpose and intent of the small lot subdivision regulations is to encourage development of single dwelling units on small lots in order to provide a space-efficient and economical alternative to traditional single dwelling unit development. It is also the intent of these regulations to provide pedestrian friendly developments that are consistent with the neighborhood character. The five parcels will be constructed with five, three-story, single dwelling units with attached two car garages. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

In addition to the on-site construction, the project includes the reconstruction of the damaged portions of the existing curb, gutter and sidewalk with current City Standard curb, gutter and sidewalk, adjacent to the site on Reynard Way. The project includes the removal of the existing asphalt and the installation of a City Standard SDG-102 bus stop slab for the adjacent bus stop located at the southeastern corner of the property on Reynard Way.

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures).

The project will be required to obtain building permits and a public improvement permit prior to the construction of the residential development. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions are necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1726697, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

**4. Adequate Public Facilities. For residential and mixed residential/commercial projects within the park-deficient neighborhoods shown on Map Number B-4104 that are not exempted by Section 1512.0203(b)(1)(A) or (B), the proposed development provides a minimum of 750 square feet of on-site usable recreational open space area per dwelling unit. The on-site usable recreational open space area shall not be located within any area of the site used for vehicle parking, or ingress and egress, and shall be configured to have a minimum of 10 feet in each dimension. The area will be landscaped and may also include hardscape and recreational facilities.**

The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. As proposed, the project would follow the guidelines in the Urban Design Element of the Uptown Community Plan for including patios, balconies, courtyards, or other recreational amenities within residential projects to maximize open space and utilizing rooftop space for outdoor use by including roof decks on each of the dwelling units within the project. The proposed development exceeds the minimum of 750 square feet of on-site usable recreational open space area per dwelling unit. Furthermore, each of the units have been designed with a drought tolerant landscaped front yard, a ground level entry fronting the street, maintaining the setback patterns of the surrounding parcels, providing transparent features facing the street, providing architectural features and varying planes to create visual interest and supporting pedestrian friendly development.

The five dwelling units would be allowed on site and as proposed the project would implement the existing land use designations. Since the proposed development is within that density threshold, the park portion of the current per-unit Development Impact Fee (DIF), to be paid at the time of building permit issuance, provides for public facilities required to support the population of the community at build-out. Therefore, the proposed development is in conformance with the guidelines for providing adequate public facilities.

**5. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.**

An adjacent bus stop (Bus Route 83) is located at the southeastern corner of the property within the public right-of-way on Reynard Way and an existing utility pole containing a street light is adjacent to the bus stop. Therefore, the proposed development is consistent with the SDMC regarding street lights since the street light is within 150 feet of the property.

**6. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.



The project is utilizing the zero-foot side yard option for Lot 1 along the northern property line pursuant to SDMC Section 1512.0303(d)(3). This option within the MCCPD allows for a maximum 30-foot length of a building to be within the six-foot interior setback. This option is only being utilized for the first floor in order to provide an active occupied ground floor, as encouraged by the community plan, and the allow for the green roof above this area.

An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The following are the requested deviations with justifications:

1. Front Yard Setback: A deviation from SDMC Section 131.0431(b) to reduce the front yard setbacks to 10 feet on Lot 5, where the regulations require a 25-foot minimum setback on the portion of the property within the RS-1-2 Zone.

*Justification:* The site consists of one triangular parcel of land fronting Reynard Way to the east and unimproved portion of Union Street to the west. The project proposes a small lot subdivision, which would create five lots on the vacant site. Though the southern Lot 5 would be the largest of the five lots at 2,278 square feet, a portion of this lot is located within the RS-1-2 Zone and requires a 25-foot front yard setback, and the remaining portion of the is within the MCCPD MR1500 Zone which requires a 10-foot front yard setback. This deviation would allow for a uniform front yard setback for the development along Reynard Way and be consistent with the properties within the immediate surrounding development.

2. Angled Building Envelope: A deviation from SDMC Section 131.0444(c) to allow for a portion of the building to encroach within angled building envelope within the front yard setback within the RS-1-2 Zone, where the regulations require a 30-degree angle at a height of 24 feet within the front yard setback.

*Justification:* As discussed above, the project site has significant constraints in lot configuration, being a double fronted property, and being a double zoned property. The request is to allow for an encroachment of building envelope of approximately 26 inches and for a length of 20 feet (10 percent of the frontage) within the required angled building envelope within the RS-1-2 Zone. This deviation is necessary to in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

3. Building Height: A deviation from SDMC Section 131.0431(b) to allow for a building height of 33 and 35 feet for a portion of the building within the RS-1-2 Zone (very low density), where the regulations allow a maximum of 30 feet. In accordance with the small lot subdivision regulations SDMC Section 143.0365, the remaining portion of the lot, which is zoned multi-family (medium density), is allowed a maximum building height of 40 feet.

*Justification:* The request is to allow for 33-foot height at the setback and 35-foot height near the center of the roof for the portion of the building within the RS-1-2 Zone. This deviation is necessary to achieve a uniformity of construction and in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, the surrounding development and the small lot subdivision regulations. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization of the existing vacant parcel for the creation of five residential units, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1726697 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1726697, a copy of which is attached hereto and made a part hereof.

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Jeffrey A. Peterson  
Development Project Manager  
Development Services

Adopted on: January 26, 2017

Internal Order No. 24006713

**RECORDING REQUESTED BY**

CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501**

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SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006713

SITE DEVELOPMENT PERMIT NO. 1726697  
**TRICANYON TOWNHOMES - PROJECT NO. 490672**  
PLANNING COMMISSION

This Site Development Permit No. 1726697 is granted by the Planning Commission of the City of San Diego to SIX COYOTE, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 1512.0204. The 0.21-acre site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City Communities Planned District (MCCPD) and RS-1-2 Zone within the Uptown Community Plan. Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 65-70 decibel (dB), the Airport Influence Area (SDIA Review Area 1), the Federal Aviation Administration Part 77 Noticing Area (SDIA Lindbergh Field and the North Island Naval Air Station) and Council District 3. The project site is legally described as Parcel 2 of Parcel Map No. 18423, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, February 17, 2000.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a small lot subdivision and the construction of five three-story residential dwelling units; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit 'A'] dated January 26, 2017, on file in the Development Services Department.

The project shall include:

- a. The project proposes a small lot subdivision and the construction of five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet;

- b. The project is utilizing the zero-foot side yard option for Lot 1 along the northern property line pursuant to SDMC Section 1512.0303(d)(3). This option within the MCCPD allows for a maximum 30-foot length of a building to be within the 6-foot interior setback. This option is only being utilized for the first floor in order to provide an active occupied ground floor, as encouraged by the community plan, and the allow for the green roof above this area
- c. Deviations to the SDMC:
  - 1) Front Yard Setback: A deviation from SDMC Section 131.0431(b) to reduce the front yard setbacks to 10 feet on Lot 5, where the regulations require a 25-foot minimum setback with the portion of the property within the RS-1-2 Zone;
  - 2) Angled Building Envelope: A deviation from SDMC Section 131.0444(c) to allow for a portion of the building to encroach within angled building envelope within the front yard setback within the RS-1-2 Zone, where the regulations require a 30-degree angle at a height of 24 feet within the front yard setback; and
  - 3) Building Height: A deviation from SDMC Section 131.0431(b) to allow for a building height of 33 and 35 feet for a portion of the building within the RS-1-2 Zone, where the regulations allow a maximum of 30 feet. In accordance with the small lot subdivision regulations SDMC Section 143.0365, the remaining portion of the lot that is zoned multi-family is allowed a maximum building height of 40 feet;
- d. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking;
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **February 9, 2020**.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit 'A.' Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in



the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### NOISE REQUIREMENTS:

11. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Owner/Permittee shall submit an exterior to interior noise analysis to identify the appropriate sound transmission reduction measures necessary to achieve an interior noise level that would not exceed 45dBA as discussed in the Acoustical Analysis Report (September 26, 2016) prepared by ABC Acoustics, Inc. The following noise reduction measures shall include, but are not limited to:

- All habitable areas of the project shall be equipped with mechanical ventilation to provide for fresh air, in compliance with California Building Code and California Mechanical Codes Chapter 4;
- All exterior windows shall have a Sound Transmission Class (STC) of 27 or higher;
- Residential entry doors shall be solid core wooden and weather-stripped or an equivalent with a STC of 28 or higher;
- Newer equipment with effective mufflers shall be utilized;
- Stationary equipment shall be placed in locations that would lessen noise impacts on adjacent residential areas;

- Construction noise reduction methods, such as turning off idling equipment not in use shall be employed;
- All construction and grading equipment shall be properly maintained;
- Construction work shall be scheduled to avoid simultaneous operation of noisy equipment;
- Use of back-up alarms shall be minimized; and
- The project shall restrict grading and construction activities to the hours of 7:00 am to 5:00 pm, Monday through Friday. There should be no work on Saturdays, Sundays or legal holidays in accordance with Section 59.0404 of the San Diego Municipal Code.

CLIMATE ACTION PLAN (CAP) REQUIREMENTS:

12. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit 'A.' Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

13. The Climate Action Plan strategies as identified on Exhibit 'A' shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

14. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure that all structures shall be sound attenuated to 45 decibel (dB) Community Noise Equivalent Level interior noise level.

16. Prior to the issuance of any building permits, the Owner/Permittee shall record an overflight notification with the San Diego County Recorder or alternative method of notification approved by the San Diego County Airport Land Use Commission (ALUC).

17. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the recorded overflight notification and a note shall be placed on all building plans indicating that an overflight notification has been recorded against the property. The note shall include the County Recorder's recording number for the overflight notification.

ENGINEERING REQUIREMENTS:

18. The Site Development Permit shall comply with all Conditions of the Final Map for the Tentative Map No. 1726698.
19. The project proposes to export 180 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
20. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by obtaining documentation an SDG&E job package has been issued to the Owner/Permittee by SDG&E Construction Department, to relocate the existing power pole guy wire in the Reynard Way Right-of-Way adjacent to the site, to a location approved by SDG&E, satisfactory to the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the curb outlets in the Reynard Way Right-of-Way.
23. Prior to the issuance of any building permits, the Subdivider shall assure, by permit and bond, the construction of three current City Standard 12 foot wide concrete driveways, adjacent to the site on Reynard Way, satisfactory to the City Engineer.
24. The Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the existing curb, gutter and sidewalk with current City Standard curb, gutter and sidewalk, adjacent to the site on Reynard Way, satisfactory to the City Engineer.
25. The Owner/Permittee shall assure, by permit and bond, to construct a current City Standard SDG-102 bus stop slab, adjacent to the site on Reynard Way, satisfactory to the City Engineer.
26. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.
27. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
28. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP) to the Development Services Department. The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

29. The Owner/Permittee shall record a Declaration of Covenants and Reservation of Easements for the shared driveways, private drainage system drainage and cross lot storm drain run-off, for the five project sites currently held by the Owner/Permittee. The Declaration of Covenants and Reservation of Easements shall state: Since the Declaration of Covenants and Reservation of Easements agreement is a private and not a public issue, The City of San Diego is not responsible for any dispute that might arise in the future between the private parties.

LANDSCAPE REQUIREMENTS:

30. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

31. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete Landscape Construction Documents showing the brush management zones on the property in substantial conformance with Exhibit 'A' in accordance with the Landscape Standards and to the satisfaction of the Development Services Department.

32. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

33. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

34. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit to and obtain approval from the Development Services Department for complete landscape and irrigation construction documents. The construction documents shall be consistent with the Landscape Standards and shall be in substantial conformance with the Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree unencumbered by hardscape and utilities as set forth under SDMC142.0403(b)(5).

35. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final

inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

36. The Owner/Permittee shall maintain of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

37. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT REQUIREMENTS:

38. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit 'A' Brush Management Plan on file in the Office of the Development Services Department.

39. The Brush Management Program shall consist of a modified Zone One ranging from 6 feet in width to 33 feet with a corresponding Zone Two starting from the property line and extending to the center line of Union Street (Paper Street) dimensioned at 37 feet. Alternative compliance measures will be incorporated to include: one-hour fire rated walls along the west facing façades with a ten foot perpendicular return. All openings shall be dual glazed and dual tempered or equivalent.

40. Prior to issuance of any Engineering Permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit 'A.'

41. Prior to issuance of any Building Permits, a complete set of Brush Management Plans shall be submitted for approval to the Development Services Department. The construction documents shall be in substantial conformance with Exhibit 'A' and shall comply with the Landscape Standards and Brush Management Regulations as set forth under Land Development Code Section 142.0412.

42. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted. Accessory structures of non-combustible, one-hour fire-rated, and/or heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

43. The following note shall be provided on the Brush Management Construction Documents: 'It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program.'



44. The Owner/Permittee shall comply at all times with the brush management regulations of the City of San Diego's landscape standards and the SDMC.

PLANNING/DESIGN REQUIREMENTS:

45. Prior to the issuance of building permits, the Owner/Permittee shall provide construction documents that fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

46. A topographical survey conforming to the provisions of the SDMC may be required if it is determined by the City, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

47. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

48. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer.

49. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

50. No fewer than 2 off-street parking spaces shall be permanently maintained for each unit (total of 10 spaces) on the property within the approximate locations shown on the project's Exhibit 'A.' Further, all on-site parking shall be in compliance with requirements of the San Diego Municipal Code (SDMC), and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

51. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

52. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain a permit to install above ground private back flow prevention as required to protect all water service lines (domestic, fire, and irrigation) in a manner satisfactory to the Director of Public Utilities and the City Engineer. Back flow prevention devices (BFPD's) are typically located on private property, in-line

with the water service, and immediately adjacent to the right-of-way. The Public Utilities Department will not permit BFPDs to be located below grade or within the structure.

53. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten (10) feet of any sewer facilities or within five (5) feet of any water facilities.

54. Prior to Final Inspection, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

55. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on \_\_\_\_\_ and  
Resolution No. \_\_\_\_\_.

Permit Type/PTS Approval No.: SDP No. 1726697

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manager

NOTE: Notary acknowledgment  
must be attached per Civil Code  
Section 1189 et seq.

\_\_\_\_\_  
The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this  
Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**SIX COYOTE, LLC**, a California Limited Liability Company  
Owner/Permittee

By \_\_\_\_\_  
Print Name:  
Title:

NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.

PLANNING COMMISSION  
RESOLUTION NO. \_\_\_\_\_  
TENTATIVE MAP NO. 1726698  
**TRICANYON TOWNHOMES - PROJECT NO. 490672**

WHEREAS, SIX COYOTE, LLC, a California Limited Liability Company, Subdivider, and ALIDADE ENGINEERING, Engineer, submitted an application to the City of San Diego for a tentative map (Tentative Map No. 1726698) for the San Diego Mission project (Project), and to waive the requirement to underground existing offsite overhead utilities. The project site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City Communities Planned District (MCCPD) and RS-1-2 Zone within the Uptown Community Plan. Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 65-70 decibel (dB), the Airport Influence Area (SDIA Review Area 1), the Federal Aviation Administration Part 77 Noticing Area (SDIA Lindbergh Field and the North Island Naval Air Station) and Council District 3. The property is legally described as Parcel 2 of Parcel Map No. 18423, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, February 17, 2000; and

WHEREAS, the Map proposes the Subdivision of a 0.210 acre site into five (5) lots for residential development; and

WHEREAS, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section Article 19, Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code Section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is five (5); and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code (SDMC) section 144.0242(c) based on that: the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on January 26, 2017, the Planning Commission of the City of San Diego considered Tentative Map No. 1726698, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to SDMC Sections 125.0440 and 144.0240 and Subdivision Map Act Section 66428 received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1726698:

**1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the Mid-City Communities Planned District (MCCPD) and RS-1-2 Zone within the Uptown Community Plan. The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). The site consists of one triangular parcel of vacant



land fronting Reynard Way to the east and an unimproved portion of Union Street to the west. The Uptown Community Plan designates the 0.21-acre site for Medium Residential 15-29 dwelling units per acre (approx. 0.14-acres) and Open Space (approx. 0.07-acres). Within the Medium Residential land use designation, four dwelling units would be allowed on this portion of the property. In accordance with the Open Space and Recreation Element, the portion of the project site designated as Open Space is further identified within the Maple/Reynard Open Space System and within the Biological/Geological Zone (Zone 1). The community plan identifies Zone 1 as the highest priority preservation zone and includes slopes of 25-percent gradient or greater and canyon bottoms. This zone only allows very low residential development with a density of 1-2 dwelling units per acre. Within this zone, one dwelling unit would be allowed; therefore, in total, five dwelling units would be allowed on site and as proposed the project would implement the existing land use designations.

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to Ordinance No. O-20770 N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to Ordinance No. O-20771 N.S. Both ordinance became effective on January 15, 2017. However, the project application was deemed complete on May 19, 2016, and the project is utilizing the 1988 Uptown Community Plan and the MCCPD regulations that were in effect at the time of the submittal.

The project proposes a small lot subdivision in accordance with San Diego Municipal Code (SDMC) Section 143.0365, which would create five lots and the construction of five three-story residential dwelling units on a vacant site. The small lot subdivision regulations were adopted pursuant to Ordinance No. O-20483 N.S., which became effective on June 4, 2015. The MCCPD MR-1500 Zone has a density comparable to those of the RM-2-5 Zone (citywide zone); therefore, the project would be able to utilize the small lot subdivision regulations.

Several deviations are requested as part of the development proposal that relate to front yard setback, building angle envelope, and building height. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, other than general guidelines for including building articulation and design compatibility. As proposed, the project would incorporate varying façade offsets including breaks in the buildings massing to allow view of the hillside through the project, varying building and textures, sustainable development features such as photovoltaic panels and green roofs, and outdoor recreation space in the form of rooftop decks. Notwithstanding these deviations, the project as proposed would be consistent with the policies of Uptown Community Plan, as well as with applicable Conservation Element policies contained in the General Plan. Therefore, the proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The

five parcels will be constructed with five three-story single dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

The project is utilizing the zero-foot side yard option for Lot 1 along the northern property line pursuant to SDMC Section 1512.0303(d)(3). This option within the MCCPD allows for a maximum 30-foot length of a building to be within the six-foot interior setback. This option is only being utilized for the first floor in order to provide an active occupied ground floor, as encouraged by the community plan, and the allow for the green roof above this area.

The neighborhood currently contains power poles and overhead utility lines within the public right-of-way along Reynard Way. The City's Undergrounding Master Plan designates the site within Block 2B2, and is estimated for construction in May 2053. The proposed subdivision utilities shall be undergrounded and the project includes a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights-of-way. In conformance with SDMC Section 144.0240(b)(5) the waiver of the requirements to underground privately owned utility systems and services facilities qualifies under the guidelines of SDMC Section 144.0242(c) as follows: the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The following are the requested deviations with justifications:

1. Front Yard Setback: A deviation from SDMC Section 131.0431(b) to reduce the front yard setbacks to 10 feet on Lot 5, where the regulations require a 25-foot minimum setback on the portion of the property within the RS-1-2 Zone.

Justification: The site consists of one triangular parcel of land fronting Reynard Way to the east and unimproved portion of Union Street to the west. The project proposes a small lot subdivision, which would create five lots on the vacant site. Though the southern Lot 5 would be the largest of the five lots at 2,278 square feet, a portion of this lot is located within the RS-1-2 Zone and requires a 25-foot front yard setback, and the remaining portion of the is within the MCCPD MR1500 Zone which requires a 10-foot front yard setback. This deviation would allow for a uniform front yard setback for the development along Reynard Way and be consistent with the properties within the immediate surrounding development.

2. Angled Building Envelope: A deviation from SDMC Section 131.0444(c) to allow for a portion of the building to encroach within angled building envelope within the front yard setback within the RS-1-2 Zone, where the regulations require a 30-degree angle at a height of 24 feet within the front yard setback.

Justification: As discussed above, the project site has significant constraints in lot configuration, being a double fronted property, and being a double zoned property. The request is to allow for an encroachment of building envelope of approximately 26 inches and for a length of 20 feet (10 percent of the frontage) within the required angled building envelope within the RS-1-2 Zone. This deviation is necessary to in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

3. Building Height: A deviation from SDMC Section 131.0431(b) to allow for a building height of 33 and 35 feet for a portion of the building within the RS-1-2 Zone (very low density), where the regulations allow a maximum of 30 feet. In accordance with the small lot subdivision regulations SDMC Section 143.0365, the remaining portion of the lot, which is zoned multi-family (medium density), is allowed a maximum building height of 40 feet.

Justification: The request is to allow for 33-foot height at the setback and 35-foot height near the center of the roof for the portion of the building within the RS-1-2 Zone. This deviation is necessary to achieve a uniformity of construction and in order to disperse the units evenly across the site, which allows for massing articulation that permits views through the buildings to the landscape and open space beyond.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the property configuration, the surrounding development and the small lot subdivision regulations. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization of the existing vacant parcel for the creation of five residential units, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC).

### **3. The site is physically suitable for the type and density of development.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The eastern 75-percent of the site is zoned MCCPD MR-1500 and the western 25-percent of the site is zoned RS-1-2 (citywide zone). The site consists of one triangular parcel of vacant land fronting Reynard Way to the east and an unimproved portion of Union Street to the west. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The purpose and intent of the small lot subdivision regulations is to encourage development of single dwelling units on small lots in order to provide a space-efficient and economical alternative to traditional single dwelling unit development. It is also the intent of these regulations to provide pedestrian friendly developments that are consistent with the neighborhood character. The five parcels will be constructed with five three-story single

dwelling units with attached two-car garages (Lot 5 will contain a car lift in the garage). Two of the units will contain two bedrooms with two and a half bathrooms, and range in size from 1,225 to 1,302 square feet. Three of the units will contain three bedrooms with three bathrooms, and range in size from 1,528 to 1,755 square feet.

The site consists of one triangular parcel of land fronting Reynard Way to the east and Union Street to the west. This portion of Union Street is unimproved and designated as Open Space and part of the Maple/Reynard Open Space System identified in the community plan. The topography of the site along Reynard Way rises from 65 feet at the northeastern corner to 93 feet at the northwestern corner (approximately a 28-foot differential), and rises from 63 feet at the southeastern corner to 74 feet at the southwestern corner (approximately a 11-foot differential). The site is located above the 100-year floodplain and is not located within or adjacent to the City's Multiple Habitat Planning Area.

To integrate the development into the community, the buildings have been designed to appear as two duplexes and a separate single dwelling unit, which is consistent with the surrounding single family dwelling units and duplexes. In addition, this massing articulation permits views through the buildings to the landscape and open space beyond as viewed along Reynard Way. Furthermore, each of the units have been designed with a drought tolerant landscaped front yard, a ground level entry fronting the street, maintaining the existing setback patterns, providing transparent features facing the street, and providing architectural features and varying planes to create visual interest and supporting pedestrian friendly development.

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, the site is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The site consists of one triangular parcel of vacant land fronting Reynard Way to the east and unimproved portion Union Street to the west, which is designated as open space. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The site is located above the 100-year floodplain and is not located within or adjacent to the City's Multiple Habitat Planning Area. Due to the adjacency to the Open Space area, a Brush Management Plan has been included with the project. The Brush Management Program consists of a modified Zone One ranging from 6 feet in width to 33 feet in length. The corresponding Zone Two starting from the property line and extending to the center line of unimproved Union Street dimensioned at 37 feet. Alternative compliance measures has been incorporated that include: one-hour fire rated walls along the west facing façades with a ten foot perpendicular return, and all openings shall be dual glazed and dual tempered or equivalent.

The City of San Diego conducted an environmental review of this site in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, the five unit residential condominium subdivision or the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

In addition to the on-site construction, the project includes the reconstruct the damaged portions of the existing curb, gutter and sidewalk with current City Standard curb, gutter and sidewalk, adjacent to the site on Reynard Way. The project includes the removal of the existing asphalt and the installation of a City Standard SDG-102 bus stop slab for the adjacent bus stop located at the southeastern corner of the property on Reynard Way.

The City of San Diego conducted an environmental review of this site in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures).

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Tentative Map No. 1726698, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the subdivider shall be required to obtain grading and public improvement permits. Therefore, the proposed subdivision or the type of improvement would not be detrimental to the public health, safety and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The



five parcels will be constructed with five three-story single dwelling units with attached two-car garages. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units. The site contains no public easements; therefore, the design of the subdivision or the type of improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The project site is located at 2724 Reynard Way in the MR-1500 Zone of the MCCPD and RS-1-2 Zone within the Uptown Community Plan. The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages. The buildings have been designed to appear as two duplexes and a separate single dwelling unit, which is consistent with the surrounding single family dwelling units and duplexes. In addition, this massing articulation permits views through the buildings to the landscape and open space beyond as viewed along Reynard Way. Furthermore, each of the units have been designed with a drought tolerant landscaped front yard, a ground level entry fronting the street, maintaining the existing setback patterns, providing transparent features facing the street, and providing architectural features and varying planes to create visual interest and supporting pedestrian friendly development.

The proposed project would implement the General Plan Conservation Element recommendation of employing sustainable or "green" building techniques for the construction and operation of buildings, primarily through the application of self-generation of energy using renewable technologies, by including photovoltaic panels and green roofs on each of the dwelling units. To fulfill the recommendation of implementing sustainable landscape design and maintenance through the reduction of impervious surfaces, the project would include plants with low water requirements, dedicated green roof areas atop each of the proposed dwelling units, decomposed granite areas, and turf block driveways. The proposed project supports an infill development strategy and provides easy access to transit by way of bus stop (Bus Route 83 that has a frequency of every hour) located at the southeastern corner of the property.

Therefore, with the design of the proposed subdivision each structure will have the opportunity through building materials, site orientation, articulation and offsetting planes, balconies, and other architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project proposes a small lot subdivision in accordance with SDMC Section 143.0365, which would create five lots on a vacant site. The purpose and intent of the small lot

subdivision regulations is to encourage development of single dwelling units on small lots in order to provide a space-efficient and economical alternative to traditional single dwelling unit development. It is also the intent of these regulations to provide pedestrian friendly developments that are consistent with the neighborhood character. The five parcels will be constructed with five three-story single dwelling units with attached two-car garages. The decision maker has reviewed the administrative record, including the project plans, technical studies, and environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; determined that the record shows that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of five residential condominium units is consistent with the housing needs anticipated for the Uptown community.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 1726698 is hereby granted to SIX COYOTE, LLC, a California Limited Liability Company, Subdivider, subject to the attached conditions which are made a part of this resolution by this reference.

By \_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006713

PLANNING COMMISSION  
TENTATIVE MAP NO. 1726698  
**TRICANYON TOWNHOMES - PROJECT NO. 490672**  
ADOPTED BY RESOLUTION NO. R-\_\_\_\_\_ ON \_\_\_\_\_

GENERAL

1. This Tentative Map will expire February 9, 2020.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Tentative Map shall conform to the provisions of Site Development Permit No. 1726697.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

AIRPORT

6. Prior to recordation of the Final Map, the Subdivider shall record an overflight notification with the San Diego County Recorder or alternative method of notification approved by the San Diego County Airport Land Use Commission (ALUC). The Subdivider shall use the overflight notification form provided by the San Diego County Regional Airport Authority.

NOISE REQUIREMENTS

7. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Subdivider shall submit an exterior to interior noise analysis to identify the appropriate sound

transmission reduction measures necessary to achieve an interior noise level that would not exceed 45dBA as discussed in the Acoustical Analysis Report (September 26, 2016) prepared by ABC Acoustics, Inc. The following noise reduction measures shall include, but are not limited to:

- All habitable areas of the project shall be equipped with mechanical ventilation to provide for fresh air, in compliance with California Building Code and California Mechanical Codes Chapter 4;
- All exterior windows shall have a Sound Transmission Class (STC) of 27 or higher;
- Residential entry doors shall be solid core wooden and weather-stripped or an equivalent with a STC of 28 or higher;
- Newer equipment with effective mufflers shall be utilized;
- Stationary equipment shall be placed in locations that would lessen noise impacts on adjacent residential areas;
- Construction noise reduction methods, such as turning off idling equipment not in use shall be employed;
- All construction and grading equipment shall be properly maintained;
- Construction work shall be scheduled to avoid simultaneous operation of noisy equipment;
- Use of back-up alarms shall be minimized; and
- The project shall restrict grading and construction activities to the hours of 7:00 am to 5:00 pm, Monday through Friday. There should be no work on Saturdays, Sundays or legal holidays in accordance with Section 59.0404 of the San Diego Municipal Code.

#### ENGINEERING

8. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
9. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPD], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

10. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
11. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

12. Prior to the expiration of the Tentative Map, if approved, a Final Map subdividing the property into residential condominium ownerships shall be recorded in the office of the County Recorder.
13. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
14. The Final Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

LANDSCAPE/BRUSH MANAGEMENT

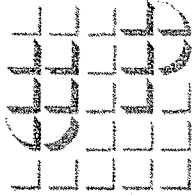
15. Prior to recordation of the Final/Parcel Map, the Subdivider shall identify on a separate sheet titled 'Non-title Sheet' the brush management areas in substantial conformance with Exhibit 'A.' These brush management areas shall be identified with a hatch symbol with no specific dimensions or zones called out. The following note shall be provided on the 'Non-Title Sheet' to identify the hatched areas: "Indicates fire hazard zone(s) per Section 142.0412 of the Land Development Code."



INFORMATION

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24006713



# UPTOWN PLANNERS

## MEMORANDUM OF MOTION

MOTION APPROVED ON SEPTEMBER 6, 2016  
BY THE BOARD OF UPTOWN PLANNERS

September 15, 2016

Motion Approved By Uptown Planners: 2724 Reynard Street TM/SDP

The board of Uptown Planners passed the following motion regarding the 2724 Reynard Street (Tricanyon Townhomes") at its August 2, 2016 meeting; the item was noticed on the agenda as indicated below, and placed on the consent agenda without opposition:

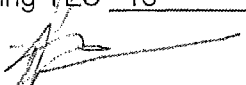
1. **2724 REYNARD RESIDENCE TM/SDP ("TRICANYON TOWNHOMES") -- Process Four -- Middletown** -- Tentative Map, Site Development Permit -- The project consists of a small lot subdivision creating five individual parcels, and the construction of five three-story residential dwelling units on a vacant 0.21 acres site (9135 sq. ft.); and incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50-percent of the project's energy consumption; in conformance with the criteria of the Affordable/In Fill Housing and Sustainable Buildings Expedite Program. The project is located at 2724 Reynard Way in the MR1500 Zone of the Mid-Cities Communities Planned District, and the RS-1-2 Zone; ESL, AAOZ, Airport CNEL Zone; Airport Influence Area; FAA Part 77 Noticing Area.

The vote in favor of the motion was unanimous, with non-voting chair abstaining.

Voting YES 16

Voting NO 0

Abstain 1 (non-voting chair)

  
Leo Wilson,  
Chair, Uptown Planners

## NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

☐ Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Name:** Tricanyon Townhomes

**Project No. / SCH No.:** 490672

**Project Location-Specific:** 2724 Reynard Way, San Diego, California 92103

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** A TENTATIVE MAP and SITE DEVELOPMENT PERMIT to subdivide one parcel and create five parcels, and construct five three-story residential units totaling 7,342-square-feet with enclosed two-car garages totaling 2,798-square-feet. Various site improvements would also be constructed that include associated hardscape and landscape. The project would conform to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program by generating 50 percent or more of the projected total energy consumption on site through renewable energy resources (i.e. photovoltaic). Deviations are also being requested. The vacant 0.21 acre project site is located at 2724 Reynard Way. The project site is designated Medium Residential (15 - 29 dwelling units per acre) and Open Space per the community Plan. The project site is also within the MR 1500 (Mid-City Communities Planned District) and RS-1-2 zone (Residential - Single Unit). Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) (San Diego International Airport (SDIA) 65 - 70 CNEL), the Airport Influence Area (SDIA, Review Area 1), the Federal Aviation Administration Part 77 Noticing Area (SDIA - Lindbergh Field, North Island Naval Air Station), and the Uptown Community Plan. (LEGAL DESCRIPTION: Parcel 2 of Parcel Map No. 18423.)

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Tyler Wallace, Six Coyote LLC, 3614 Indiana Street, San Diego, California 92103, (619) 930-5445

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Section 15303 (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review, which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA 15303 that consists of the construction and location of limited numbers of new, small facilities or structures, including apartments, duplexes and similar structures designed for not more than six dwelling units in urbanized areas. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

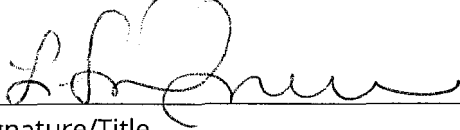
Lead Agency Contact Person: L. Sebastian

Telephone: (619) 236-5993

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

  
\_\_\_\_\_  
Signature/Title

November 14, 2016  
\_\_\_\_\_  
Date

Check One:

- (X) Signed By Lead Agency  
( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:

<b>Project Title:</b> Canyon Lofts / <u>TRICANYON TOWN HOMES</u>	<b>Project No. (For City Use Only)</b> <u>490672</u>
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**Part II - To be completed when property is held by a corporation or partnership**

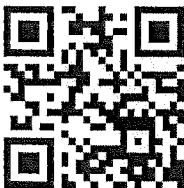
**Legal Status (please check):**

☐ Corporation    ☒ Limited Liability -or- ☐ General) What State? CA    Corporate Identification No. \_\_\_\_\_  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**    ☒ Yes    ☐ No

Corporate/Partnership Name (type or print): <u>SIX COYOTE, LLC</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>3614 Indiana Street</u> City/State/Zip: <u>San Diego, CA 92103</u> Phone No: <u>(619) 930-5445</u> Fax No: <u>(619) 930 - 5401</u> Name of Corporate Officer/Partner (type or print): <u>Tyler Wallace</u> Title (type or print): <u>Manager</u> Signature : <u>[Signature]</u> Date: <u>5/02/2016</u>	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____    Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____    Date: _____
Corporate/Partnership Name (type or print): <u>SIX COYOTE, LLC</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>SAME AS ABOVE</u> City/State/Zip: _____ Phone No: _____    Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>JOHN WALLACE</u> Title (type or print): _____ Signature : _____    Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____    Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____    Date: _____
Corporate/Partnership Name (type or print): <u>SIX COYOTE, LLC</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>SAME AS ABOVE</u> City/State/Zip: _____ Phone No: _____    Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>SHERRY WALLACE</u> Title (type or print): _____ Signature : _____    Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____    Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____    Date: _____





http://www.sanportals.net/



SITE DEVELOPMENT PERMIT - RESUBMITTAL 3  
OCTOBER 17, 2016

SITE DEVELOPMENT PERMIT - RESUBMITTAL 2  
OCTOBER 1, 2016

SITE DEVELOPMENT PERMIT - RESUBMITTAL 1  
AUGUST 30, 2016

SITE DEVELOPMENT PERMIT  
MAY 16, 2016

# TRICANYON TOWNHOMES

2724 REYNARD WAY  
SAN DIEGO, CA 92103

Owner:

Six Coyote, LLC  
3614 Indiana Street  
San Diego, CA 92103  
v: 619.930.5445  
f: 619.930.5401

Architect:

TFWA  
2305 Historic Decatur Rd., STE 100  
San Diego, CA 92106  
v: 619.930.5445  
f: 619.930.5401

Civil Engineer:

Alidade Engineering, Inc.  
28441 Rancho California Road, Suite 100  
Temecula, CA 92590  
v: 951.587.2020  
f: 951.587.2626

Biological Resources Surveyor:

Balk Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
V: 760.672.4559

ABBREVIATIONS

ALUM	ALUMINUM	GYP BD	GYPSUM BOARD	SC	SOLID CORE
ACQUB	ACOUSTICAL	GL	GLASS	S-CONC	SEAL CONCRETE
APF	ABOVE FINISH FLOOR	GA	GAUGE	SM	SIMILAR
ALT	ALTERNATE	GWB	GYPSUM WALL BOARD	STOR	STORAGE
APPLIC	APPLICABLE	HM	HOLLOW METAL	STL	STEEL
BFPD	BACKFLOW PREVENTION DEVICE	HP	HEAT PUMP	SCHED	SCHEDULE
BL	BORROWED LIGHT	HR	HOUR	STR COV	STAIR COVERING
BLK	BLOCK	INSUL	INSULATION	STUCT	STRUCTURAL
BRG	BEARING	INT	INTERIOR	STD	STANDARD
BLKG	BLOCKING	JB	JOIST BEARING	SAB	SOUND ATTENUATION BATT
BLDG	BUILDING	LAV	LAVATORY	SAN	SANITARY
CB	CARPET BASE	MAT	MATERIAL	SS	SANITARY SEWER
CC	CENTER TO CENTER	MECH	MECHANICAL	TSD/TBS	TO BE DETERMINED / SELECTED
CG	CORNER GUARD	MTL	METAL	TOM	TOP OF MASONRY
CJ	CONTROL JOINT	MT(O)	MOUNT(ED)	TOP	TOP OF PARAPET
CLS	CELING	NA	NOT APPLICABLE	TOW	TOP OF WALL
CLR	CLEAR	NC	NOT IN CONTRACT	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER	TELE	TELEPHONE
COL	COLUMN	OPF	OPPOSITE	TEMP	TEMPERED
COMP	COMPOSITION	OPNG	OPENING	UL	UNDERWRITERS LAB
CONC	CONCRETE	OA DUCT	OUTSIDE AIR DUCT	US	UNFINISHED
CONT	CONTINUOUS	OH	OPPOSITE HAND	UNO	UNLESS NOTED OTHERWISE
CPT	CARPET TYPE	PC	PRECAST	V	VENT
CT	CERAMIC TILE	PL	PROPERTY LINE/UNIT SEPARATION LINE	VCT	VINYL COMPOSITION TILE
CU	CONDENSER UNIT	PMT / PTD	PAINT(ED)	VF	VENTILATION FAN
DET / DTL	DETAIL	RD	ROOF DRAIN	VWB	VINYL WALL BASE
DM	DIMENSION	RTN	RETURN	W	WITH
DN	DOWN	RSNF	REINFORCEMENT	WO	WITHOUT
D.P.	DIMENSION POINT	RM	ROOM	WH	WATER HEATER
DS	DOWNSPOUT	REF	REFRIGERATOR	WR	WATER RESISTIVE
EXG / EXIST	EXISTING	REV	REVERSE	WD	WOOD
EXP JT	EXPANSION JOINT	RES	RESILIENT	WID	STACKED WASHER/DRYER
EXT	EXTERIOR	RO	ROUGH OPENING		
EA	EACH				
EQU	EQUAL				
ELEC	ELECTRICAL				
ELEV	ELEVATOR				
EF	EXHAUST FAN				
FD	FLOOR DRAIN				
FT	FOOT				
FIN	FINISH FLOOR				
FIN	FINISH				
FLSHG	FLASHING				
F.SLAB	FINISH SLAB				
FR	FIRE RESISTIVE				
FE	FIRE EXTINGUISHER				
FGC	FIRE EXT. IN CABINET				

AREAS

PROJECT TOTALS

UNIT NUMBER	AREA (GROSS)
UNIT 1	1528 SF
UNIT 2	1534 SF
UNIT 3	1225 SF
UNIT 4	1302 SF
UNIT 5	1756 SF
	7342 SF

UNIT NUMBER	AREA (GROSS)
UNIT 1 ENCLOSED PARKING	509 SF
UNIT 2 ENCLOSED PARKING	612 SF
UNIT 3 ENCLOSED PARKING	664 SF
UNIT 4 ENCLOSED PARKING	595 SF
UNIT 5 ENCLOSED PARKING	458 SF
	2858 SF

BUILDING GROSS SF	7,342 SF
ENCLOSED PARKING	2,796 SF
TOTAL SITE	9,135 SF
RS-1-2 CUMULATIVE SITE AREAS	3,135
x9.65	2,038
MR-1500 CUMULATIVE SITE AREAS	6,000
x0.55 + 2.84	6,158
ALLOWABLE TOTAL	2,036 + 6,158
PROPOSED TOTAL	8,195 SF
	7,342 SF
PARKING SPACES PROVIDED	10 (2.0 PER UNIT)

NOTE:  
RS-1-2 FAR BASE: 0.65  
MR-1500 FAR BASE: 0.55  
MR-1500 FAR WITH BONUS: MAX 1.0 BONUS  
PER 1512.0303(h)(3) BONUS EQUIVALENT TO AREA OF ENCLOSED PARKING  
PER 1512.0303(h)(2) ENCLOSED PARKING EXCLUDED

AREAS BY UNIT (REFERENCE G\_001)

UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5
BASEMENT NORTH	BASEMENT NORTH	BASEMENT NORTH	BASEMENT NORTH	BASEMENT NORTH
113 SF	145 SF	145 SF	145 SF	145 SF
FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
686 SF	640 SF	640 SF	640 SF	683 SF
SECOND FLOOR	SECOND FLOOR	SECOND FLOOR	SECOND FLOOR	SECOND FLOOR
607 SF	607 SF	607 SF	607 SF	683 SF
1528 SF	1334 SF	1225 SF	1302 SF	1756 SF
UNIT 1 ENCLOSED PARKING	UNIT 2 ENCLOSED PARKING	UNIT 3 ENCLOSED PARKING	UNIT 4 ENCLOSED PARKING	UNIT 5 ENCLOSED PARKING
509 SF	612 SF	664 SF	595 SF	458 SF

PROPERTY OWNER

Six Coyote, LLC  
3614 Indiana Street  
San Diego, CA 92103  
V: 619.930.5445 F: 619.930.5445

PROJECT TEAM

**ARCHITECT**  
TFWA Architecture  
2305 Historic Decatur Road, Ste 100  
San Diego, CA 92106  
V: 619.930.5445 F: 619.930.5445

**CIVIL ENGINEER**  
Alidade Engineering, Inc.  
28441 Rancho California Road, Suite 100  
Temecula, CA 92590  
V: 951.587.2020 F: 951.587.2626

**BIOLOGIST**  
Balk Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
V: 760.672.4559

**SOILS**  
SCST  
6280 Riverdale Street  
San Diego, CA 92120  
V: 619.280.4321

DEVELOPMENT SUMMARY

**DEVELOPMENT DESCRIPTION:**  
THIS PROJECT INVOLVES THE CONSTRUCTION OF FIVE (5) SINGLE FAMILY DWELLING TOWNHOUSE STRUCTURES AT 2724 REYNARD WAY. CAR LIFT TO BE INSTALLED AT LOT 5 TO MEET PARKING REQUIREMENTS

PER 143.0365; SMALL LOT SUBDIVISION DEVELOPMENT OF ONE (1) PRESUBDIVIDED PARCEL OF RAW LAND INTO FIVE (5) PARCELS CONTAINING ONE (1) RESIDENTIAL UNIT EACH.

- EXPEDITED PROCESSING (SUSTAINABLE BUILDING) \*\* 50% PROJECTED ENERGY USAGE TO BE PROVIDED BY PHOTOVOLTAICS. ENERGY NEEDS WILL BE CONSISTENT WITH CITY COUNCIL POLICY 900-14

- STEEP HILLSIDE EXEMPTION \*\* DISTURBED SITE PER SCST SOILS REPORT AND BALK BIOLOGICAL (BIOLOGICAL RESOURCES SURVEYOR) REPORT DATED DECEMBER 7, 2015 (SEE FIG. 3)

- ZERO YARD OPTION PER 1512.0303(d)(4)(A)(i) \*\* AT LOT 1 IN ACCORDANCE WITH PROCESS 3
- LOT 5 WILL CONTAIN A CAR LIFT TO MEET THE MINIMUM PARKING REQUIREMENT (SDMC 143.0365(h)(3))

**PROJECT ADDRESSES:**  
2724 REYNARD WAY  
SAN DIEGO, CA 92103

**ASSESSOR'S PARCEL NUMBERS:**  
451 - 683 - 03 - 00

**ZONING:**  
Mid-City Communities MCCPD-MR-1500  
RS-1-2 (minor portion)

**LEGAL DESCRIPTION:**  
CITY: SAN DIEGO SUBD:MIDDLETOWN  
PM18423 PAR 2 City/Muni/Twp: SAN DIEGO

**APPLICABLE BUILDING CODE:**  
2013 CALIFORNIA RESIDENTIAL CODE (CRC)

**JURISDICTIONAL AUTHORITIES AND OVERLAY ZONES:**  
FAA Part 77 (SDIA & NINAS)  
AAOZ (200-250' AMSL; 250-300' AMSL)  
ALUCP Noise w/in the 65-70 CNEL  
VHFHZ

**EXISTING GROSS SITE AREA:**  
9,135 sf (0.21 acres)

PROJECT DATA

**NUMBER OF STORIES:**  
THREE-STORIES W/ ROOF DECK

**CONSTRUCTION TYPE:**  
TYPE VB  
FIRE SPRINKLER SYSTEM TYPE: NFPA 13D

**STRUCTURE HEIGHT:**  
40 FT MAX.

**TOTAL FLOOR AREA:**  
7,342 GSF

**EXISTING USES:**  
VACANT

**PROPOSED USES:**  
(5) SINGLE FAMILY RESIDENCE (R-3)  
(5) ATTACHED GARAGE (U-1)

**SOIL CONDITION:**  
PREVIOUSLY DISTURBED SOIL

**F.A.R.:**  
.80 WITH BONUS  
see area tables above & sheet G\_001

**GEOLOGIC HAZARD CATEGORY:**  
52

**CLIMATE ZONE**  
3B

AIRPORT

FAA PART 77 NOTIFICATION

I, Tyler Wallace, Tyler Wallace do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

**NOISE**  
ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL FOR ALL HABITABLE ROOMS

MATERIAL LEGEND

	EARTH
	POROUS FILL
	CONCRETE
	CONCRETE MASONRY UNIT
	STONE
	STEEL
	ALUMINUM
	WOOD
	PLYWOOD
	PARTICLE BOARD / MEDIUM DENSITY FIBERBOARD
	ROUGH CARPENTRY, SHM
	INSULATION
	RIGID INSULATION
	PLASTER, SAND, GROUT, MORTAR
	PLASTER ON METAL LATH
	GYPSUM WALL BOARD
	GLASS

	ELEVATION REFERENCE
	INTERIOR ELEVATION REFERENCE
	BUILDING SECTION, WALL SECTION, SECTION DETAIL REFERENCE
	PLAN DETAIL REFERENCE
	DOOR SIZE
	ROOM IDENTIFICATION
	ELEVATION MARKER
	ELEVATION MARKER IN PLAN
	DOOR TYPE
	WINDOW TYPE
	PARTITION TYPE (SEE A_501)
	CENTER LINE
	BREAK LINE
	PROJECTIONS ABOVE HIDDEN LINE
	PROPERTY LINE
	DIMENSIONS GIVEN IN FEET AND INCHES

SHEET INDEX

GENERAL	
G_00	COVER
G_000	CODE ANALYSIS + ABBREVIATIONS
G_001	AREAS & CALCULATIONS
G_002	PLANNING EXHIBITS
G_003	COMPLIANCE MEASURES
G_004	COMPLIANCE MEASURES
G_005	COMPLIANCE MEASURES
CIVIL	
C_000	TENTATIVE MAP
C_001	CONCEPTUAL GRADING PLAN
LANDSCAPE	
L_100	LANDSCAPE PLAN
L_101	BRUSH MANAGEMENT PLAN
ARCHITECTURAL	
A_100	SITE PLAN
A_100FA	PRIOR ACCESS PLAN
A_101	FLOOR PLANS
A_102	FLOOR PLANS
A_103	FLOOR PLANS
A_104	ROOF PLANS
A_201	ELEVATIONS
A_202	ELEVATIONS
A_301	SECTIONS

PROFESSIONAL CERTIFICATION

I hereby acknowledge and certify that:  
1. I am accountable for knowing and complying with the governing policies, regulations and submit requirements applicable to this proposed development.  
2. I have performed reasonable research to determine the required approvals and decision process for the proposed project, and that failure to accurately identify an approval or decision process could significantly delay the permitting process.  
3. I have taken the Professional Certification for Development Permit Completeness Review training and am on the approved list for Professional Certification.  
4. Maintaining my Professional Certification for Development Permit Completeness Review requires accurate submittals on a consistent basis.  
5. Submitting incomplete documents and plans on a consistent basis may result in the revocation of my Professional Certification for Development Permit Completeness Review.  
6. If required documents or plan content is missing, project review will be delayed, and  
7. This submittal package meets all of the minimum submittal requirements contained in Land Development Manual, Volume 1, Chapter 1, Section 4.

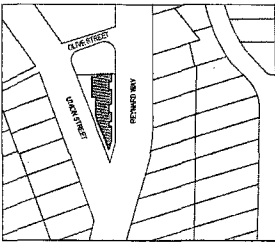
Responsible Certified Professional Name:  
Tyler Wallace  
Signature: Tyler Wallace Date: MAY 16, 2016

GENERAL NOTES.

TRICANYON  
TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



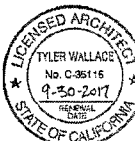
KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE + DESIGN  
2305 Historic Decatur Rd, Ste 100  
San Diego, CA 92106  
V: 619.930.5445  
F: 619.930.5401

Owner:  
Six Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
V: 619.930.5445

Chief Engineer:  
Alidade Engineering, Inc.  
26441 Rancho California Road, Suite 100  
Temecula, CA 92590  
V: 951.587.2020 F: 951.587.2626

Biological Resources Surveyor:  
Balk Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
V: 760.672.4559



**PROJECT PHASE**  
SITE DEVELOPMENT PERMIT 2 MAY 16, 2016  
SDP CITY SUBMITTAL 3 AUGUST 30, 2016

SCALE (AS NOTED)

CODE ANALYSIS + ABBREVIATIONS

G\_000

E:\My Documents\Work\TFWA\1505-2724 Reynard Way\Design Files\Rev1\2724 Reynard\_EOP.mxd

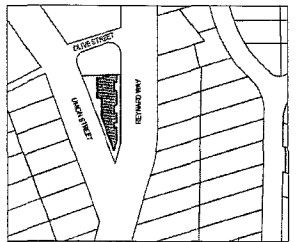
## GENERAL NOTES:

1. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
2. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL VAULTS AND ABOVE GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, PAVING ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
4. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
6. WHERE CONFLICTS OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY OWNER FOR CLARIFICATION BEFORE PROCEEDING.
7. ENSURE THAT CONTRACTOR INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
8. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABUTS VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLLARINGS.
9. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
10. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

## TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



## KEY PLAN

Architect:  
**TFWA**  
1811 K STREET, SUITE 100  
2205 Historic Decatur Rd. Ste 100  
San Diego, CA 92109  
P: 619.250.5445  
F: 619.502.5401

Owner:  
Sic Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
P: 619.502.5445

Civil Engineer:  
Alidade Engineering, Inc.  
26441 Ramona California Road, Suite 100  
Torrance, CA 90503  
V: 951.567.2100 F: 951.567.2626

Biological Resources Surveyor:  
Bark Biological, Inc.  
P.O. Box 23516  
Encinitas, CA 92023-5316  
V: 760.872.4359



## PROJECT PHASE

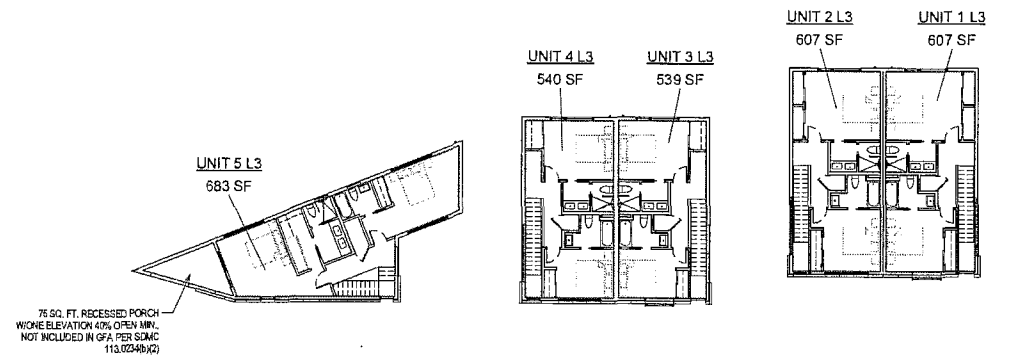
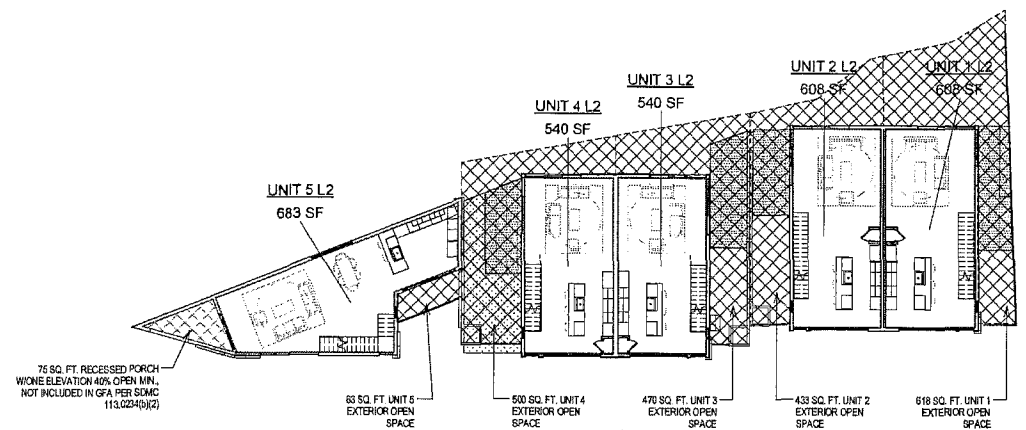
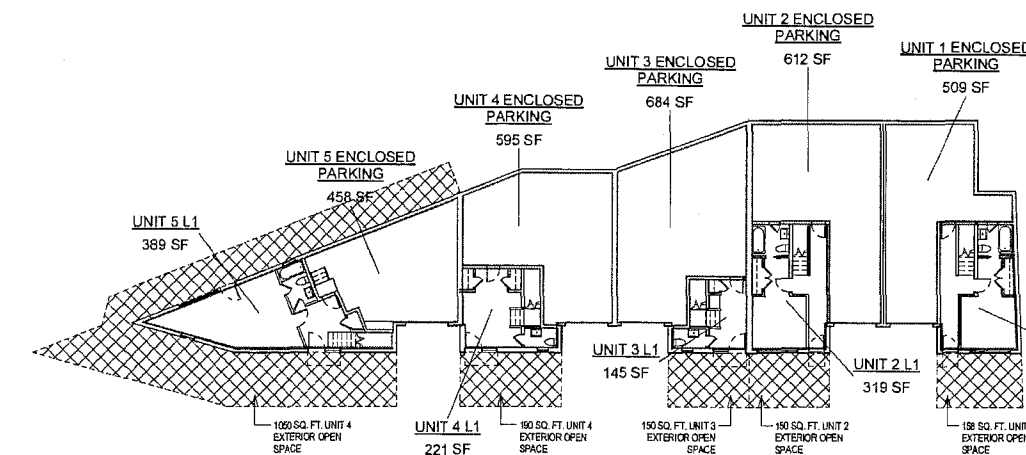
PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SDP CITY RESUBMITTAL	3	AUGUST 30, 2016
SDP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

SCALE (AS NOTED)

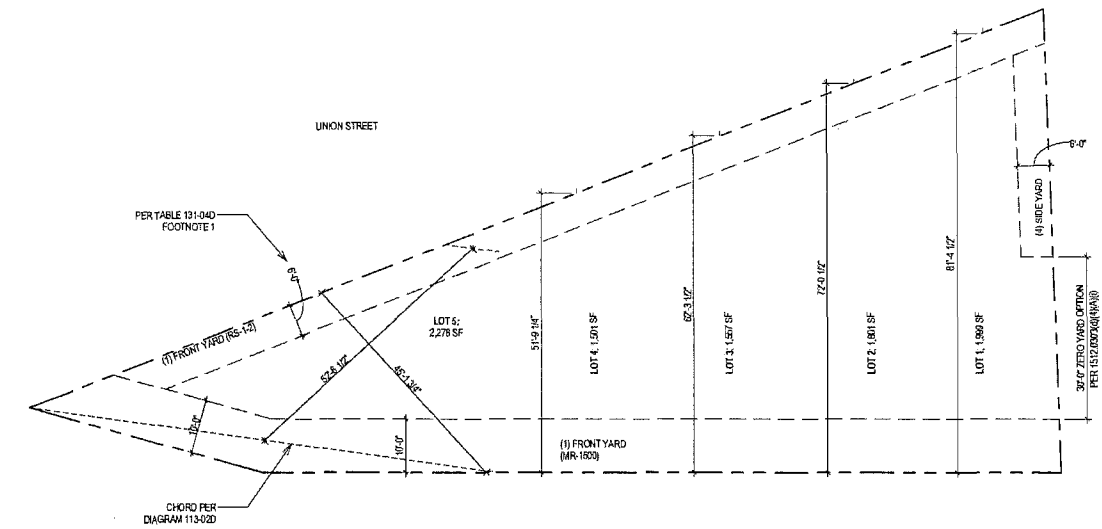
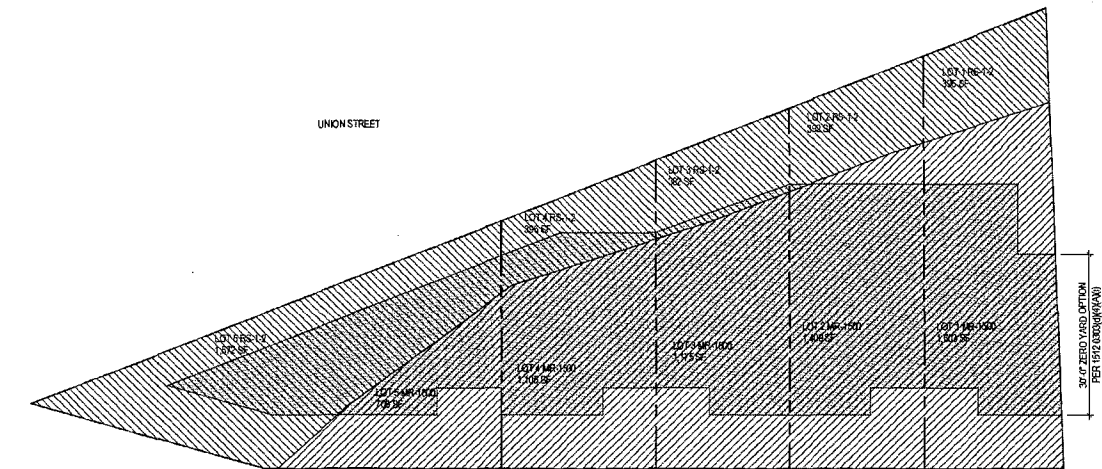
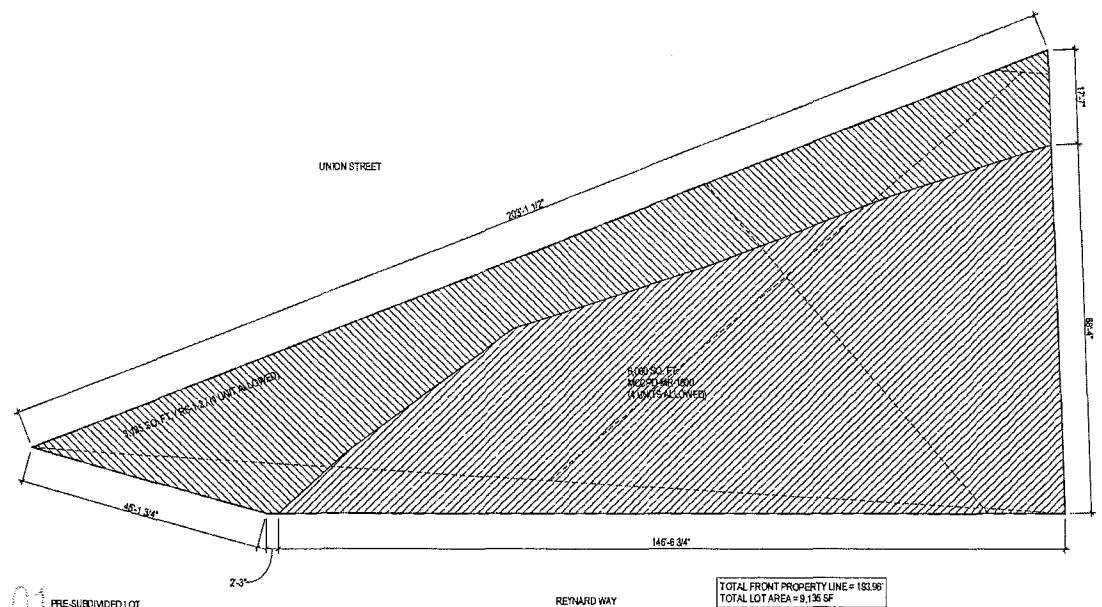
## AREAS &amp; CALCULATIONS

**G\_001**

E:\My Documents\Work\TFWA\1505-2724 Reynard Way\Design Files\Revit\2724 Reynard\_SDP model.rvt

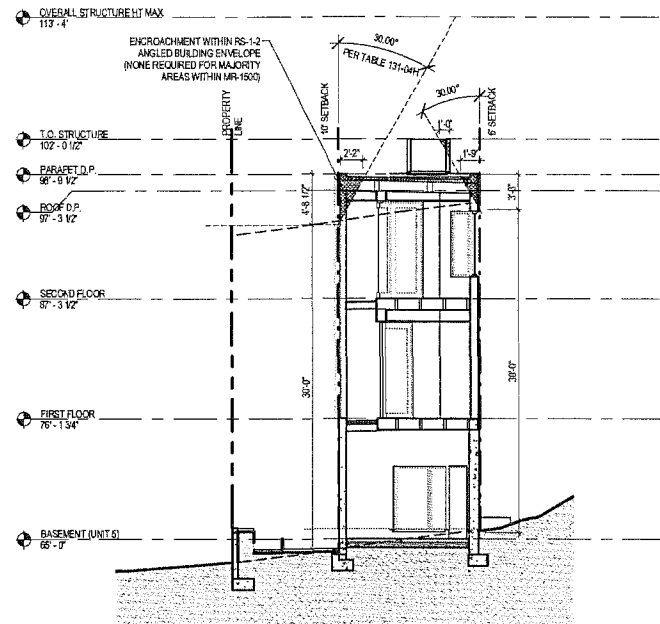
06 SECOND FLOOR  
SCALE: 1/16" = 1'-0"05 FIRST FLOOR  
SCALE: 1/16" = 1'-0"04 BASEMENT NORTH  
SCALE: 1/16" = 1'-0"

NOTE:  
1) 200 SQ. FT. MINIMUM EXTERIOR OPEN SPACE REQUIRED PER DWELLING UNIT  
2) EACH DWELLING UNIT SHALL PROVIDE A MINIMUM OF ONE PRIVATE EXTERIOR USABLE OPEN SPACE AREA MEASURING 60 SQ. FT. WITH A MINIMUM DIMENSION OF NO LESS THAN 6 FT. (BASEMENT LEVEL YARDS MEET THIS REQUIREMENT)  
3) ALL DWELLING UNITS EXCEED THE ABOVE REQUIREMENTS

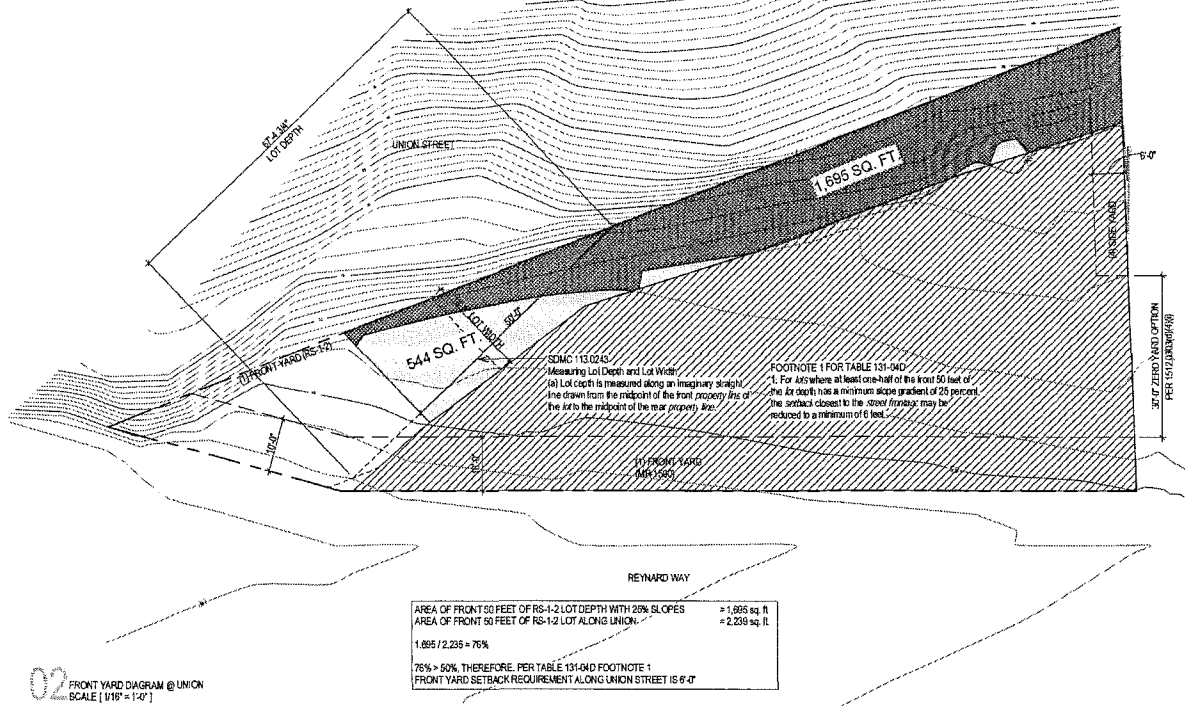
03 YARD DIAGRAM PER MUNI CODE 1130276  
SCALE: 1/16" = 1'-0"02 SMALL LOT SUBDIVISION  
SCALE: 1/16" = 1'-0"01 SUBDIVIDED LOT  
SCALE: 1/16" = 1'-0"

TOTAL FRONT PROPERTY LINE = 183.90'  
TOTAL LOT AREA = 9,136 SF

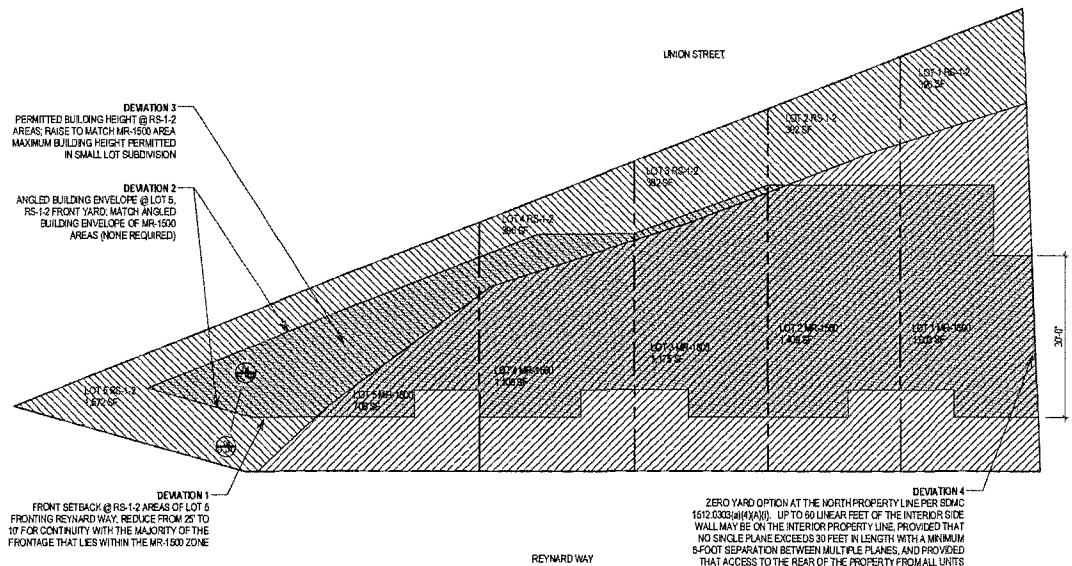
GENERAL NOTES



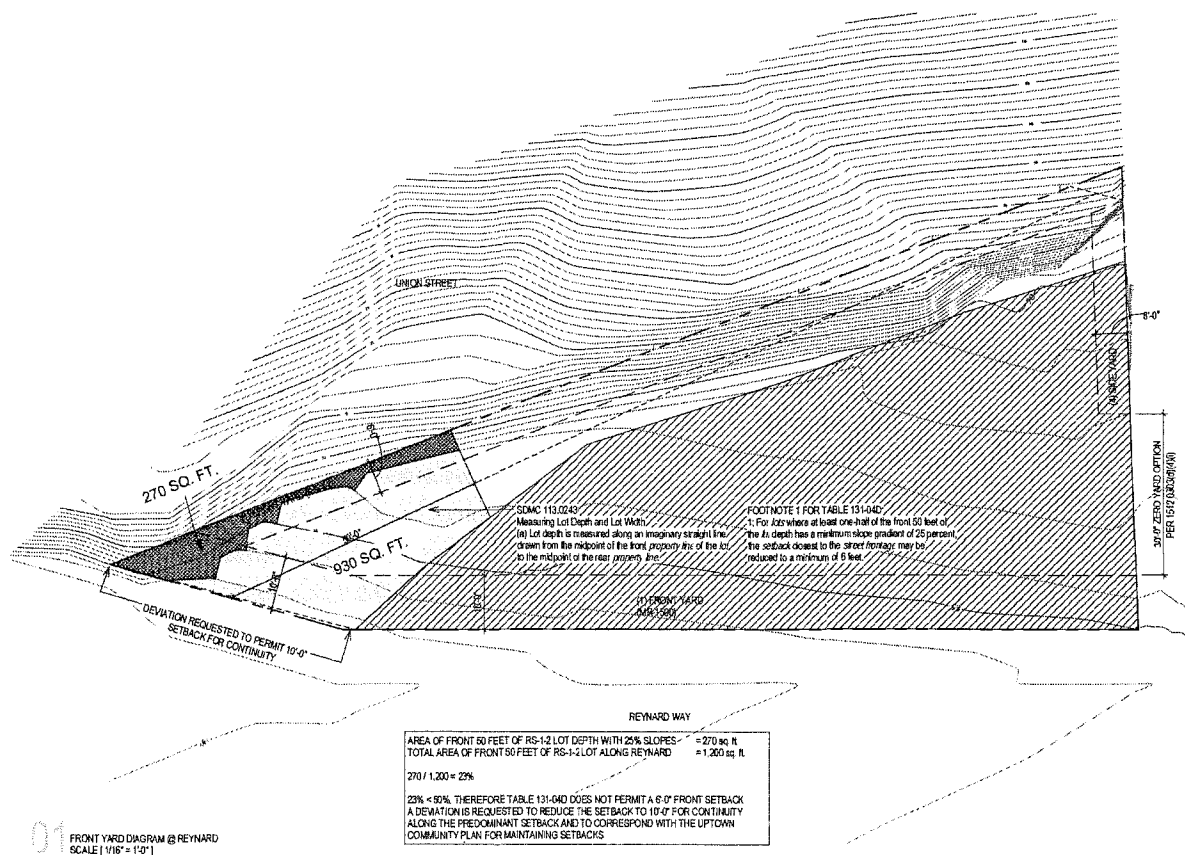
04 RS-12 ANGLED BUILDING ENVELOPE  
SCALE (1/8" = 1'-0")



02 FRONT YARD DIAGRAM @ UNION  
SCALE (1/16" = 1'-0")



03 DEVIATION DIAGRAM  
SCALE (1/16" = 1'-0")

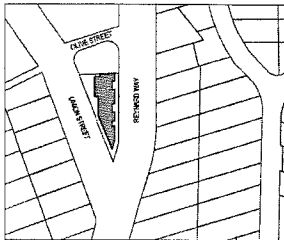


01 FRONT YARD DIAGRAM @ REYNARD  
SCALE (1/16" = 1'-0")

TRICANYON  
TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE + DESIGN  
2306 Helix Decatur Rd. Ste 100  
San Diego, CA 92106  
V: 619.330.5445  
F: 619.330.5401

Owner:  
Six Coyote LLC  
3814 Indiana Street  
San Diego, CA 92103  
V: 619.530.5445

Civil Engineer:  
Altitude Engineering, Inc.  
2641 Ranch California Road, Suite 100  
Torrance, CA 90505  
V: 951.567.2020 F: 951.587.2256

Biological Resources Surveyor:  
Bek Biological, Inc.  
P.O. Box 25518  
Escondido, CA 92023-5316  
V: 761.672.4550



PROJECT PHASE

SDP CITY RESUBMITTAL	3	AUGUST 30, 2016
SDP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016
SDP CITY RESUBMITTAL 3	5	OCTOBER 17, 2016

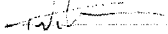
SCALE (AS NOTED)

PLANNING EXHIBITS

G\_002

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Files\Rev\0224 Reynard\_SDP\_model.rvt

Page 2 of 4	City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist
<b>PART B: Determine Construction Site Priority</b> This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WICP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality". The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and resolving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. <b>NOTE:</b> The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.	
<b>Complete PART B and continued to Section 2</b>	
1. <input type="checkbox"/>	<b>ASBS</b> a. Projects located in the ASBS watershed.
2. <input type="checkbox"/>	<b>High Priority</b> a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
3. <input type="checkbox"/>	<b>Medium Priority</b> a. Projects 1 acre or more but not subject to an ASBS or high priority designation. b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
4. <input checked="" type="checkbox"/>	<b>Low Priority</b> a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.
<b>SECTION 2. Permanent Storm Water BMP Requirements.</b> Additional information for determining the requirements is found in the <u>Storm Water Standards Manual</u> .	
<b>PART C: Determine if Not Subject to Permanent Storm Water Requirements.</b> Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "development projects" according to the <u>Storm Water Standards Manual</u> are not subject to Permanent Storm Water BMPs.	
If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water Requirements".	
If "no" is checked for all of the numbers in Part C continue to Part D.	
1.	Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>
2.	Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>
3.	Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or recontouring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>

Page 4 of 4		City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist	
7.	<b>New development or redevelopment discharging directly to an Environmentally Sensitive Area.</b> The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
8.	<b>New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.</b> The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
9.	<b>New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surface.</b> Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
10.	<b>Other Pollutant Generating Project.</b> The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sq. ft. of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<b>PART F: Select the appropriate category based on the outcomes of PART C through PART E.</b>			
1.	The project is <b>NOT SUBJECT TO STORM WATER REQUIREMENTS.</b>	<input type="checkbox"/>	
2.	The project is a <b>STANDARD DEVELOPMENT PROJECT.</b> Site design and source control BMP requirements apply. See the <i>Storm Water Standards Manual</i> for guidance.	<input checked="" type="checkbox"/>	
3.	The project is <b>PDP EXEMPT.</b> Site design and source control BMP requirements apply. See the <i>Storm Water Standards Manual</i> for guidance.	<input type="checkbox"/>	
4.	The project is a <b>PRIORITY DEVELOPMENT PROJECT.</b> Site design, source control, and structural pollutant control BMP requirements apply. See the <i>Storm Water Standards Manual</i> for guidance on determining if project requires a hydromodification plan management.	<input type="checkbox"/>	
Name of Owner or Agent (Please Print): <b>Tyler Wallace</b> <span style="float: right;">Title: <b>Owner</b></span>			
Signature: 		Date: <b>5/16/2016</b>	



Civil Engineer;  
Alidade Engineering, Inc.  
25441 Rancho California Road, Suite 100  
Temecula, CA 92590  
V: 951.587.2020 F: 951.587.2626

SCALE [AS NOTED]

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— 100 —



GENERAL NOTES

WATER BUDGET  
LANDSCAPE WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: Tricanyon Townhomes Project #: 490672  
Project Address: 2724 Reynard Way, San Diego CA 92106  
Individual/Business Completing the Worksheet Tyler Wallace  
Phone Number 619.930.5445

1. DEFINITIONS:

**Estimated Total Water Use (ETWU):** The total water used for the landscape based on the plants used and irrigation method selected for the landscape design. The ETWU shall not exceed the MAWA.

**Evapotranspiration:** The quantity of water as measured in average inches per year that evaporated from adjacent soil surfaces and transpired by plants during a specific time period. (Evapotranspiration data may be found at [www.clims.water.ca.gov](http://www.clims.water.ca.gov). You may obtain a free password from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.)

**Evapotranspiration Adjustment Factor (ETAF):** A factor that, when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

**Hydrozone:** A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated. For the purpose of the calculation, the surface area of manmade water features (see LDM Section 1.8) are included in the high water use hydrozone, and the surface area of artificial turf and temporary irrigation is included in the low water use hydrozone.

**Irrigation Audit:** An in-depth evaluation of the performance of an irrigation system conducted by a professional authorized by the State to perform such work. An irrigation audit includes,

but is not limited to: inspection, system tune-up, system test with distribution uniformity or emission uniformity, reporting overspray or runoff that causes overland flow, and preparation of an irrigation schedule.

**Landscape Area:** The entire premises less the area of building footprints, non-irrigated portions of parking lots, driveways, hardscapes (as defined in Land Development Code Section 113.0103), and areas designated for habitat preservation or Brush Management Zone 2.

**Maximum Applied Water Allowance (MAWA) Water Budget:** The upper limit of annual applied water for the established landscape area expressed in gallons per year. It is based upon the area's reference evapotranspiration (ET<sub>0</sub>), the evapotranspiration adjustment factor (ETAF), and the size of the landscape area.

**Plant Factor:** A factor that when multiplied by the average inches per year evapotranspiration rate, estimates the amount of water used by plants. Plant water use calculations are based on the current Water Use Classification of Landscape Species (WUCOLS) list published by the University of California Cooperative Extension and the California Department of Water Resources: [http://ucanr.edu/sites/WUCOLS/Download\\_WUCOLS\\_IV\\_List/](http://ucanr.edu/sites/WUCOLS/Download_WUCOLS_IV_List/)

Plant Water Use	Plant Factor	Also Includes
Very Low	0.0 to 0.1	
Low	0.1-0.3	Artificial Turf; Temporary Irrigation
Moderate	0.4-0.6	
High	0.7-1.0	Water features
Special Landscape Area	1.0	

**Special Landscape Area:** Areas used for active and passive recreation areas, areas solely dedicated to the production of fruits and vegetables, and areas irrigated with reclaimed water.

2. DETERMINE THE WATER BUDGET

MAWA Water Budget Calculation

The MAWA Water Budget is calculated using the following calculation formula:  
MAWA Water Budget = (ET<sub>0</sub>)(0.62)[(ETAF x LA) + ((1-ETAF) x SLA)] = gallons per year

For residential landscape areas = (ET<sub>0</sub>)(0.62)[(0.55)(LA) + (0.45)(SLA)]  
For non-residential landscape areas = (ET<sub>0</sub>)(0.62)[(0.45)(LA) + (0.55)(SLA)]

Legend for MAWA Water Budget Calculation Formula

Symbol	Description of Symbol
ET <sub>0</sub>	Evapotranspiration (inches per year); see Table 6 or ET <sub>0</sub> Map
0.62	Conversion factor to gallons
ETAF	Evapotranspiration Adjustment Factor
0.55 for residential landscape areas; 0.45 for non-residential landscape areas	
LA	Landscape Area (square feet)
1- ETAF 0.45 for residential landscape areas; 0.55 for non-residential landscape areas	Additional Evapotranspiration Adjustment Factor for Special Landscape Areas and Reclaimed Water
SLA	Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ET<sub>0</sub> for the calculation may be based on the precise location of the project using the ET<sub>0</sub> Map or based on the ET<sub>0</sub> for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

MAWA Water Budget calculation = (ET<sub>0</sub>)(0.62) [(ETAF)(LA) + (1-ETAF)(SLA)] = gallons per year

(47)(0.62) [(0.55)(4,650) + (0.45)(0)] = (29.14) [(2,558) + (0)] = **74,540 Ga./Yr.**

EVAPOTRANSPIRATION (ET<sub>0</sub>) TABLE  
BY COMMUNITY PLANNING AREA

Community Planning Area	Average Annual ET <sub>0</sub> (inches/year)	Community Planning Area	Average Annual ET <sub>0</sub> (inches/year)
Barrio Logan	40	North City FUA Subarea II	47
Black Mountain Ranch	47	Ocean Beach	40
Carmel Mountain Ranch	47	Old San Diego	47
Carmel Valley	47	Otay Mesa	47
Centre City	40	Otay Mesa-Nestor	40
City Heights	47	Pacific Beach	40
Clairmont Mesa	47	Pacific Highlands Ranch	47
College Area	47	Peninsula	40
Del Mar Mesa	47	Rancho Bernardo	57
East Elliott	47	Rancho Encantada	57
Easton Arca	47	Rancho Penasquitos	47
Encanto	47	Sabre Springs	47
Fairbanks Country Club	47	San Pasqual	54
Greater Golden Hill	47	San Ysidro	47
Greater North Park	47	Serra Mesa	47
Keamey Mesa	47	Scripps Miramar Ranch	47
Kensington-Talmadge	47	Skyline-Paradise Hills	47
La Jolla	40	Southeastern San Diego	47
Linda Vista	47	Terrasanta	47
Midway-Pacific Highway Corridor	40	Tijuana River Valley	40
Mira Mesa	47	Torrey Highlands	47
Miramar Ranch North	47	Torrey Hills	47
Mission Beach	40	Torrey Pines	40
Mission Valley	47	University	47
Navajo	47	Uptown	47
Normal Heights	47	Via De La Valle	47

3. DETERMINE THE ESTIMATED TOTAL WATER USE (ETWU)

The Estimated Total Water Use (ETWU) is calculated using the following formula:

ETWU = [(ET<sub>0</sub>)(0.62)][(PF)(IE x HA)(E) + SLA] = gallons per year

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ET <sub>0</sub>	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area (square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	1		0.1	1,348	DRIP	0.81	29%
2	2		0.5	1,076	DRIP	0.81	23%
3	3		0.1	1,618	DRIP	0.81	35%
4	4 (temp)		0.2	608	DRIP	0.81	13%
				4,650			
Total							100%

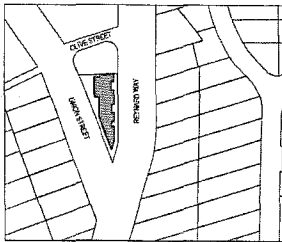
Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget-MAWA.

Controller No.	ETWU [(ET <sub>0</sub> )(0.62)][(PF)(IE x HA)(E) + SLA]	Result in Gallons per Year
1	ETWU = [(47)(0.62)][(0.1)(0.81)(1,348)(.81)+0] = [29.17][1,23 x 1,664]	5,992
2	ETWU = [(47)(0.62)][(0.5)(0.81)(1,076)(.81)+0] = [29.17][617 x 1,328]	23,912
3	ETWU = [(47)(0.62)][(0.1)(0.81)(1,618)(.81)+0] = [29.17][123 x 1,997]	7,188
4	ETWU = [(47)(0.62)][(0.2)(0.81)(608)(.81)+0] = [29.17][248 x 750]	5,401
Total ETWU gallons per year		42,493 Ga./Yr

TRICANYON  
TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



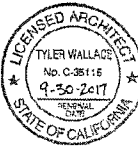
KEY PLAN

Architect:  
**TFWA**  
401 WEST HURON • 11500  
2006 Historic Decatur Rd Ste 100  
San Diego, CA 92106  
P: 619.930.5445  
F: 619.930.5401

Owner:  
Six Coyote LLC  
3014 Indiana Street  
San Diego, CA 92103  
P: 619.930.5445

Civil Engineer:  
Altitude Engineering, Inc.  
26441 Rancho California Road, Suite 100  
Temecula, CA 92590  
V: 951.987.2200 F: 951.987.2506

Biological Resources Surveyor:  
Bull Biological, Inc.  
P.O. Box 23016  
Encinitas, CA 92023-5316  
V: 760.672.4598



PROJECT PHASE

SDP CITY RESUBMITTAL 3 AUGUST 30, 2016  
SDP CITY RESUBMITTAL 2 4 OCTOBER 01, 2016

SCALE (AS NOTED)

COMPLIANCE MEASURES

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## TRICANYON TOWNHOMES

TENTATIVE MAP EXHIBIT NO. 1726698  
PROJECT NO. 490672

## DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST  
Process a Tentative Map permit and a Site Development Permit for 5 Residential Units with associated support facilities.
2. STREET ADDRESS 2724 REYNARD WAY  
(check one) ☒ N ☐ S ☐ E ☐ W  
north of ARROYO STREET and
3. SITE AREA  
Total Site Area (gross): 0.210 Ac. 9,135 Sq. Ft.  
Net Site Area: 0.210 Ac. 9,135 Sq. Ft.  
(Net site area excludes required streets and public dedications)  
(Area covered by proposed development lots)
4. COVERAGE DATA  
Total Building Area (ground floor): 0.115 Ac. 5,000 Sq. Ft.  
Total Landscape/Open Space Area: 0.084 Ac. 3,665 Sq. Ft.  
Total Hardscape/Paved Area: 0.016 Ac. 680 Sq. Ft.  
Floor Area Ratio (FAR) 0.80:1 WITH BONUS  
Gross Floor Area (GFA) 7,342 Sq. Ft.
5. DENSITY (Residential and Commercial)  
Maximum no. dwelling units allowed per zone: 5  
Number of existing units to remain on site: 0  
Number of proposed dwelling units on site: 5  
Total number of units provided on the site: 5
6. YARD/SETBACK  
Front Yard: (REYNARD) Required 10 Ft. Proposed 10 Ft.  
Front Yard: (UNION) Required 6 Ft. Proposed 6 Ft.  
Side Yard: Required 6 Ft. Proposed 6 Ft.  
Interior Yard(s): Required 0 Ft. Proposed 0 Ft.  
Rear Yard: Required N/A Ft. Proposed N/A Ft.
7. LOT SUMMARY  
Total Number of Existing Lots = 1  
Total Number of Proposed Lots = 5
8. PARKING  
Parking Criteria: ☒ Residential MUN. CODE: ART. 3, DIV. 19, SEC. 103.19.36(E)  
(Check one) ☐ Commercial  
☐ Industrial  
☐ Mixed Use  
☐ Other  
Total number of spaces required by zone: 10 spaces  
Total number of spaces provided on-site: 10 spaces  
No commercial parking provided.
9. EXISTING USE:  
Vacant  
PROPOSED USE:  
Residential
10. BUILDING - COUNT = 5 BUILDINGS

## 11. BEDROOM/UNIT - COUNT

One Bedrooms	= 0
Two Bedrooms	= 5
Three Bedrooms	= 0
Four Bedrooms	= 0
Total	= 5 Units

PARKING TABLE	
Total number of Residential Units:	5
Number of Bedrooms per unit:	2
Parking Ratio (per City Reg's):	2:1
Number of Spaces Req'd:	10
Total number of spaces required by zone:	10 spaces
Total number of spaces provided on-site:	10 spaces
No commercial parking provided.	

## DEVIATIONS

- FRONT YARD SETBACK OF LOT 5 REDUCED FROM 25' TO 10' FOR CONTINUITY WITH THE MAJORITY OF THE FRONTAGE THAT LIES WITHIN THE MR-1500 ZONE.
- ANGLED BUILDING ENVELOPE OF LOT 5, RS 1-2 FRONT YARD, MATCH ANGLED BUILDING ENVELOPE OF MR-1500 AREAS.
- PERMITTED BUILDING HEIGHT RS 1-2 AREAS, RAISE TO MATCH MR-1500 AREA BUILDING HEIGHT REQUIREMENT.
- ZERO YARD OPTION AT THE NORTH PROPERTY LINE AS PERMITTED PER SDMC 1512.0303 (d)(4)(A)(i).

## MAPPING AND MONUMENTATION NOTE

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS. ALL PROPERTY CORNERS SHALL BE SET AND A FIVE LOT FINAL MAP WILL BE FILED UPON APPROVAL OF THE TENTATIVE MAP.

## TOPOGRAPHY

EXISTING TOPOGRAPHY PER FIELD SURVEY PERFORMED BY ALIDADE ENGINEERING IN OCTOBER 2015.

## REFERENCE DRAWINGS

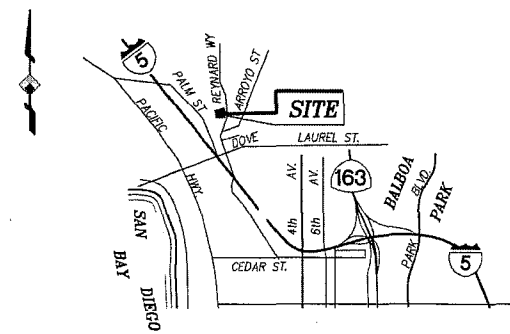
CITY DWG. NOS. 13602-D, 14822-D, P.M. 18423

## NAD 83 AND LAMBERT COORDINATES

1846-6277 206-1717

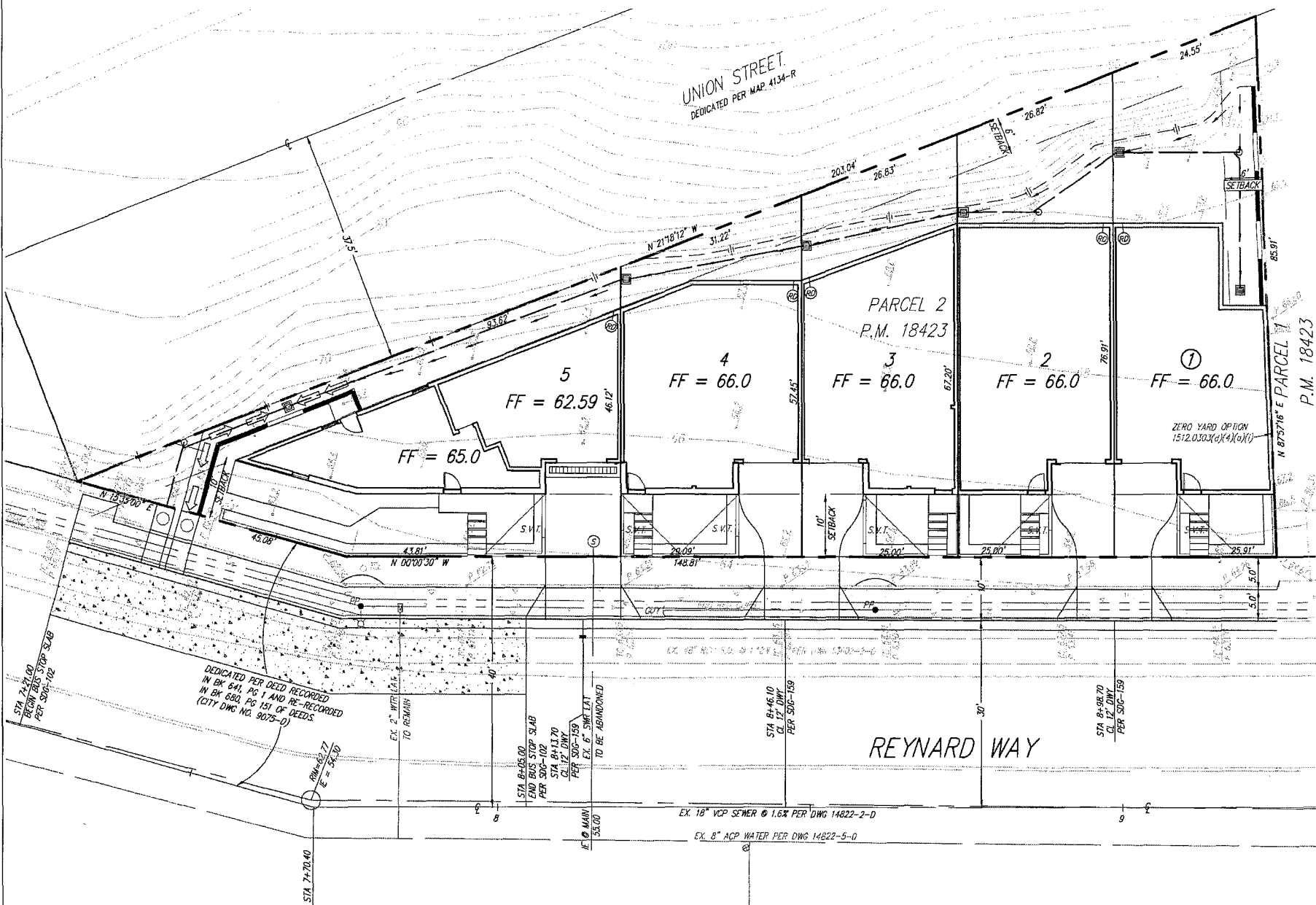
## LEGEND

- PROPERTY LINE/TM BOUNDARY  
EXISTING SANITARY SEWER & MANHOLE  
EXISTING WATER MAIN  
EXISTING FIRE HYDRANT ASSEMBLY  
EXISTING BUILDING  
EXISTING CURB  
EXISTING STRIPING  
EXISTING WALL  
EXISTING ELECTRICAL FACILITY  
EXISTING SIGN  
EXISTING BOLLARD  
EXISTING DRIVEWAY  
EXISTING CONCRETE  
EXISTING STREET LIGHT  
EXISTING STORM DRAIN  
EXISTING WATER METER  
EXISTING R.P.D.A.  
EXISTING WATER LATERAL  
EXISTING SEWER LATERAL  
EXISTING ELECTRIC  
PROPOSED RESIDENTIAL DRIVEWAY  
PROPOSED BUILDING FOOTPRINT  
PROPOSED SIDEWALK  
PROPOSED STAIRS/L.S. WALL  
PROPOSED RETAINING WALL  
PROPOSED EASEMENT  
PROPOSED CURB  
PROPOSED WATER SERVICE  
EXISTING SEWER SERVICE  
PROPOSED FIRE SERVICE

VICINITY MAP  
NOT TO SCALE

PREPARED BY:	ALIDADE ENGINEERING, INC.	REVISION 12:	
NAME:		REVISION 11:	
ADDRESS:	41743 ENTERPRISE CIRCLE N., SUITE 209	REVISION 10:	
	TEMECULA, CA 92590	REVISION 9:	
PHONE #:	(951) 587-2020 FAX: (951) 587-2626	REVISION 8:	
		REVISION 7:	
PROJECT ADDRESS:	2724 REYNARD WAY	REVISION 6:	
	SAN DIEGO, CA 92103	REVISION 5:	
PROJECT NAME:	TRICANYON TOWNHOMES	REVISION 4:	10/17/2016
		REVISION 3:	09/26/2016
		REVISION 2:	08/22/2016
		REVISION 1:	08/22/2016
		ORIGINAL DATE:	05/02/2014

SHEET TITLE:	TENTATIVE MAP NO. 1726698	SHEET	OF
PROJECT NO.	490672	DEP#	
ID NO.	2400678		

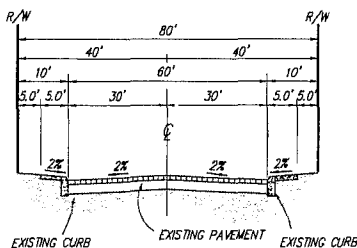


## GENERAL NOTE

TRASH CONTAINERS ARE LOCATED IN THE PARKING GARAGE, SEE BUILDING PLANS.

## NOTE

THERE IS AN EXISTING CURRENT STANDARD CITY STREET LIGHT LOCATED ALONG THE REYNARD STREET FRONTAGE. THEREFORE, THE PROJECT IS IN COMPLIANCE WITH CURRENT STREET LIGHT STANDARDS ACCORDING TO THE CITY OF SAN DIEGO DESIGN MANUAL AND COUNCIL POLICY 200-18.

REYNARD WAY SECTION  
NOT TO SCALE

UTILITY	STATUS
SDGE/ELECTRIC	CURRENTLY OVERHEAD/WILL NOT BE PLACED UNDERGROUND
SDGE/GAS	NONE CURRENTLY ON SITE/WILL BE PLACED UNDERGROUND
PAC BELL TELEPHONE	CURRENTLY OVERHEAD/WILL NOT BE PLACED UNDERGROUND
AT&T/CABLE	NONE CURRENTLY ON SITE/WILL BE PLACED UNDERGROUND

## NOTE

THE SUBDIVIDER SHALL RECORD A DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS FOR THE SHARED DRIVEWAYS, PRIVATE DRAINAGE SYSTEM DRAINAGE DRAINAGE AND CROSS LOT STORM DRAIN RUN-OFF, FOR THE FIVE PROJECT SITES CURRENTLY HELD BY THE SAME OWNER. THE DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS SHALL STATE: SINCE THE DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS AGREEMENT IS A PRIVATE AND NOT A PUBLIC ISSUE, THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY DISPUTE THAT MIGHT ARISE IN THE FUTURE BETWEEN THE PRIVATE PARTIES.

## EXIST. AND PROPOSED

## ZONE DESIGNATION

MR-1500, RS-1-2, MID-CITY COMMUNITIES PLANNED DISTRICT, FAA PART 77 (SDIA AND MINAS), AAOZ (200'-250' AMSL; 250'-300' AMSL) ALUOP NOISE WITHIN THE 65-70 CNEL, AND VHFHZ

## ASSESSOR'S PARCEL NUMBER

451-683-03

## LEGAL DESCRIPTION

PARCEL 2 OF PARCEL MAP NO. 18423, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

## OWNER/DEVELOPER

SIX COYOTE, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY  
3614 INDIANA STREET  
SAN DIEGO, CA 92103  
TEL. (619) 930-5445

NAME:  
SIX COYOTE, LLC

DATE

## EASEMENT NOTE

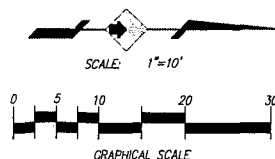
EXISTING SEWER EASEMENT TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED DECEMBER 13, 1910 IN BK 509, PG 95 OF DEEDS HAS NO LOCATION SET FORTH AND THEREFORE CANNOT BE PLOTTED ON THIS MAP.

## BENCHMARK

LOCATION: BRASS PLUG ON NORTH EAST CORNER OF REYNARD WAY AND ARROYO DRIVE  
ELEV= 58.738 DATUM: M.S.L.

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS THE MOST WESTERLY LINE OF REYNARD WAY PER PARCEL MAP NO. 18423 I.E. N00D00'30"W



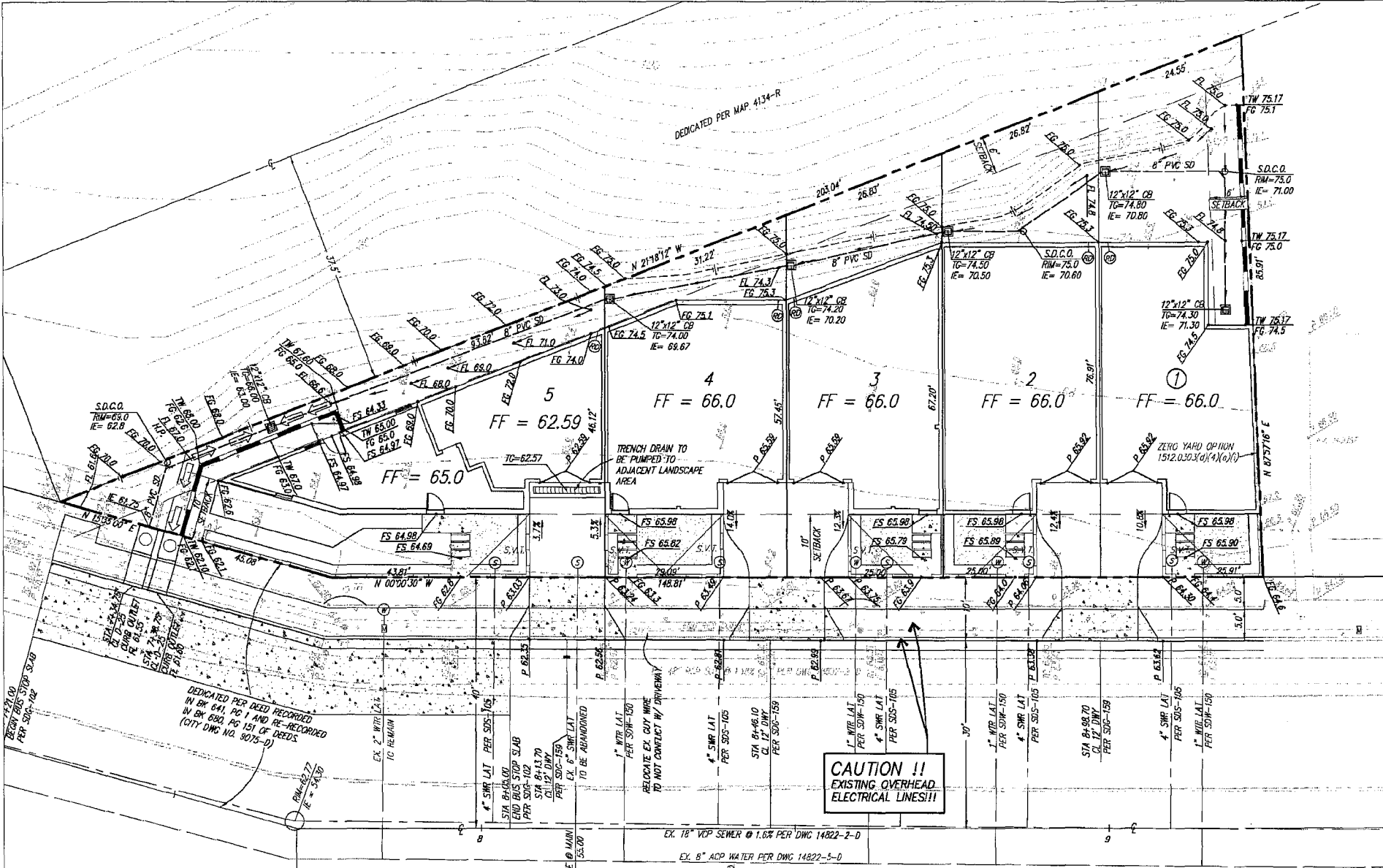
41743 Enterprise Circle N., Suite 209  
Temecula, CA 92590  
Phone: (951) 587-2020  
Fax: (951) 587-2626



BRENT C. MOORE R.C.E. 59121  
MY REGISTRATION EXPIRES 6-30-17

DATE

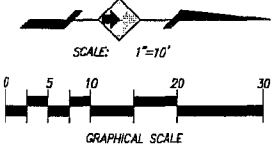
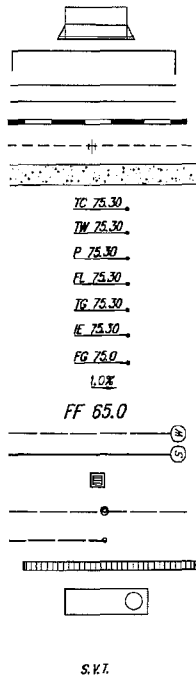




CONCEPTUAL GRADING PLAN  
PROJECT NO. 490672

- LEGEND**
- PROPOSED IMPROVEMENTS**
- PROPOSED RESIDENTIAL DRIVEWAY
  - PROPOSED BUILDING FOOTPRINT
  - PROPOSED SIDEWALK
  - PROPOSED RETAINING WALL
  - PROPOSED DAYLIGHT LINE
  - PROPOSED PCC CONCRETE
  - PROPOSED TOP OF CURB ELEVATION
  - PROPOSED TOP OF WALL ELEVATION
  - PROPOSED PAVEMENT ELEVATION
  - PROPOSED FLOWLINE ELEVATION
  - PROPOSED TOP OF GRATE ELEVATION
  - PROPOSED INVERT ELEVATION
  - PROPOSED FINISH GRADE ELEVATION
  - PROPOSED GRADIENT
  - PROPOSED FINISH FLOOR
  - PROPOSED WATER SERVICE
  - PROPOSED SEWER LATERAL
  - PROPOSED 12"x12" C.B.
  - PROPOSED AREA DRAIN
  - PROPOSED 6" CLEANOUT
  - PROPOSED TRENCH DRAIN
  - PROPOSED CURB OUTLET
  - PROPOSED BROW DITCH
  - SITE VISIBILITY TRIANGLE

- LEGEND**
- EXISTING IMPROVEMENTS**
- PROJECT BOUNDARY
  - EXISTING CURB
  - EXISTING STRIPING
  - EXISTING FENCE
  - EXISTING POWER POLE
  - EXISTING GUY WIRE
  - EXISTING TELEPHONE FACILITY
  - EXISTING SIGN
  - EXISTING CONCRETE
  - EXISTING STORM DRAIN
  - EXISTING WATER LATERAL
  - EXISTING SEWER LATERAL
  - EXISTING ELECTRIC
  - EXISTING SANITARY SEWER & MANHOLE
  - EXISTING WATER MAIN
  - EXISTING FIRE HYDRANT ASSEMBLY
  - EXISTING CONTOUR
  - EXISTING TOP OF CURB ELEVATION
  - EXISTING AC/PCC PAVEMENT ELEVATION
  - EXISTING GROUND ELEVATION



REYNARD WAY

- NOTES**
1. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
  2. OWNER SHALL RE-CONSTRUCT THE DAMAGED PORTIONS OF THE EXISTING CURB AND SIDEWALK WITH CITY STANDARD CURB AND SIDEWALK ADJACENT TO THE SITE TO THE SATISFACTION OF THE CITY ENGINEER.
  3. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
  4. A MUTUAL MAINTENANCE AND ACCESS AGREEMENT SHALL BE ENTERED INTO FOR ALL FACILITIES USED IN COMMON TO THE SATISFACTION OF THE CITY ENGINEER AND SHALL BE RECORDED AGAINST THE APPLICABLE PROPERTY OR INTERESTS IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE MUTUAL MAINTENANCE AND ACCESS AGREEMENT SHALL, AT A MINIMUM, INCLUDE AND PROVIDE FOR THE FOLLOWING: SHARED DRIVEWAYS, DRAINAGE AND STORM DRAIN RUN-OFF.
  5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT G.P. MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  7. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
  8. ALL PROPOSED DRIVEWAYS WILL BE CONSTRUCTED WITH TURFBLOCK.
  9. ROOF DRAINS WILL BE CONNECTED TO ABOVE GROUND RAIN BARRELS. OVERFLOW RUN-OFF FROM BARRELS WILL FLOW THROUGH LANDSCAPE AREAS.

**Alidade**  
1743 Enterprise Circle N., Suite 209  
Temecula, CA 92590  
Phone: (951) 587-2020  
Fax: (951) 587-2626



BRENT C. MOORE R.C.E. 59121  
MY REGISTRATION EXPIRES 6-30-17

DATE

**BENCHMARK**

LOCATION: BRASS PLUG ON NORTH EAST CORNER OF ARROYO DR. AND REYNARD WAY  
ELEV= 58.738 DATUM: M.S.L.

**GRADING DATA:**

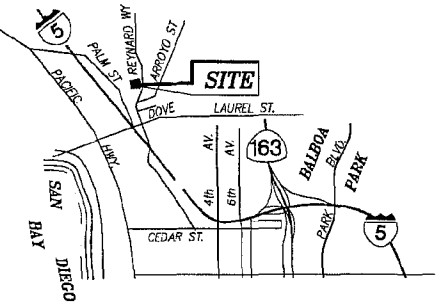
TOTAL AMOUNT OF SITE TO BE GRADED: 0.210 ACRES  
PERCENT OF TOTAL SITE GRADED: 95%  
AMOUNT OF SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0 ACRE  
PERCENT OF TOTAL SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0%  
AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0.0 ACRES  
PERCENT OF SITE WITHIN HILLSIDE REVIEW: 0.0%  
AMOUNT OF CUT: 300 CUBIC YARDS  
AMOUNT OF FILL: 120 CUBIC YARDS  
MAXIMUM HEIGHT OF FILL SLOPE(S): 0 FEET 2:1 SLOPE RATIO  
MAXIMUM HEIGHT OF CUT SLOPE(S): 0 FEET 2:1 SLOPE RATIO  
AMOUNT OF EXPORT SOIL: 180 CUBIC YARDS  
MAXIMUM DEPTH OF FILL: 6 FEET  
MAXIMUM DEPTH OF CUT: 6 FEET  
RETAINING/CURB WALLS: HOW MANY: 2  
MAXIMUM LENGTH: 45 FEET  
MAXIMUM HEIGHT: 6 FEET

**TOPOGRAPHY**

EXISTING TOPOGRAPHY PER FIELD SURVEY PERFORMED BY ALIDADE ENGINEERING IN OCTOBER 2015

**REFERENCE DRAWINGS**

CITY DWG. NOS. 13602-D, 14222-D, P.L. 18423



**VICINITY MAP**

NOT TO SCALE

PREPARED BY:	NAME: ALIDADE ENGINEERING, INC.	REVISION 12:	
ADDRESS: 41743 ENTERPRISE CIRCLE N., SUITE 209	TEMECULA, CA 92590	REVISION 11:	
PHONE #: (951) 587-2020 FAX: (951) 587-2626		REVISION 10:	
PROJECT ADDRESS:	2724 REYNARD WAY	REVISION 9:	
	SAN DIEGO, CA 92103	REVISION 8:	
PROJECT NAME:	TRICANYON TOWNHOMES	REVISION 7:	
		REVISION 6:	
		REVISION 5:	
		REVISION 4:	
		REVISION 3:	
		REVISION 2:	05/26/2016
		REVISION 1:	08/22/2016
		ORIGINAL DATE:	05/04/2016
SHEET TITLE:	CONCEPTUAL GRADING PLAN	SHEET	OF
	PROJECT NO. 490672	DEP#	

PLANTING NOTES

1. CONSULT WITH APPROPRIATE AGENCIES AND DRAWINGS TO VERIFY EXISTING LOCATIONS OF UNDERGROUND UTILITIES, PIPES, OR STRUCTURES. TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF THESE UTILITIES, PIPES, OR STRUCTURES. IF PROPER VERIFICATION BY CONTRACTOR HAS NOT BEEN PERFORMED, DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. BRUSH THESE CONDITIONS IMMEDIATELY TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION.
2. IMPORT AMENDED TOP SOIL. AMENDED TOP SOIL IS NECESSARY TO BRING SITE TO SPECIFIED FINISH GRADES. INDICATE SOURCE LOCATION. ENSURE THAT IMPORT SOIL IS OF A SANDY LOAM NATURE, CONTAINING NO TOXIC CHEMICALS OR ELEMENTS THAT MIGHT INHIBIT OR RETARD NORMAL PLANT GROWTH. SUBMIT SOIL TEST RESULTS OF IMPORT SOIL TO OWNER'S AUTHORIZED REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERING SOIL TO SITE.
3. PLANT MATERIAL MUST BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIAL INSTALLED WITHOUT OWNER'S AUTHORIZED REPRESENTATIVE'S APPROVAL MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH RELATED COSTS BORNE BY CONTRACTOR.
4. FINAL LOCATIONS OF PLANT MATERIALS ARE SUBJECT TO APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PERFORM THE FOLLOWING BEFORE BEGINNING PIT EXCAVATION:
  - 5.1. SHRUBS - PLACE IN CONTAINERS ON-SITE IN FINAL LOCATIONS
  - 5.2. TREES - STAKE OR FLAG CENTER POINT OF TREE
  - 5.3. CONTAINER POTS - LOCATE POTS PRIOR TO PLANTING
5. FURNISH PLANT MATERIAL FREE OF PESTS, POOR CONDITION, OR DISEASE, INCLUDING PRE-SELECTED OR "TASSED" PLANT MATERIAL PROVIDED BY OWNERS AUTHORIZED REPRESENTATIVE.
6. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF PLANTING AREAS AND THOSE AREAS INDICATED ON DRAWINGS, CONTACT OWNER FOR RESOLUTION. FAILURE TO DO SO IN A TIMELY FASHION MAY RESULT IN CONTRACTOR'S OWN LIABILITY TO RELOCATE PLANT MATERIAL. ALL LINE-TREATED SOIL IN PLANTING AREAS SHALL BE REMOVED FROM SITE AND REPAIRED WITH AMENDED TOP SOIL TO A DEPTH OF 24".
7. ENSURE THAT TOP OF TREE ROOTBALLS ARE SET 2" ABOVE FINISH GRADE AND SHRUB ROOTBALLS ARE SET 1" ABOVE FINISH GRADE.
8. INSTALL PLANT MATERIAL WITH ITS BEST SIDE FACING PREDOMINANT VIEW OF PUBLIC. INSTALL SPECIMEN TREES AT THE SAME SOLAR ORIENTATION AS GROWN AT NURSERY.
9. PROVIDE THE REQUIRED SETBACKS BETWEEN TREES AND ELEMENTS SUCH AS UTILITIES, I.E. GAS, ELECTRIC, SEWER, WATER AND RELATED VALVES, STREET LIGHTS, FIRE HYDRANTS, AND SIGNAGE.
10. REPLACE OR REPAIR EXISTING MATERIALS THAT ARE DAMAGED BY CONTRACTOR DURING PLANTING OPERATIONS.
11. VERIFY PROPERTY LINES PRIOR TO COMMENCING PLANTING OPERATIONS.
12. REFER TO CITY AND COUNTY STANDARDS FOR STANDARD LANDSCAPE PLANS AND SPECIFICATIONS, WHERE APPLICABLE.
13. KEEP MULCH 6" CLEAR OF TREE ROOT CROWN.
14. LANDSCAPE WARRANTY PERIOD: ONE YEAR FOR PLANTING AND IRRIGATION. BEGIN ON DATE OF ACCEPTANCE OF PLANTING AFTER FINAL INSPECTION WALKTHROUGH.

LANDSCAPE DESIGN STATEMENT

The landscape design theme acknowledges that the site is a disturbed urban lot. The goal is to provide a green roof that is both functional and aesthetically pleasing. The green roof is designed to be both functional and aesthetically pleasing. The green roof is designed to be both functional and aesthetically pleasing.

The selected plants have low and very low water requirements per the Water Use Classification of Landscape Species (WUCOLS). Additionally, they have been selected to attract hummingbirds and other natural life in order to rebuild the urban habitat.

The green roof will also pragmatically deal with stormwater along with the extensive use of permeable surfaces on-site. All landscaping, including the front yards, are designed to be drought tolerant to the fullest extent possible and rain barrels will assist in the water needs of irrigation.

Plants are also selected to create visual interest and a harmonious relationship with the structures. Low growing evergreen shrubs will protect the slope against erosion and provide a fire break between the structure and the adjacent open space. The total effect will be one of environmental and architectural congruity, all in combination with the Land Development Code.

WATER BUDGET

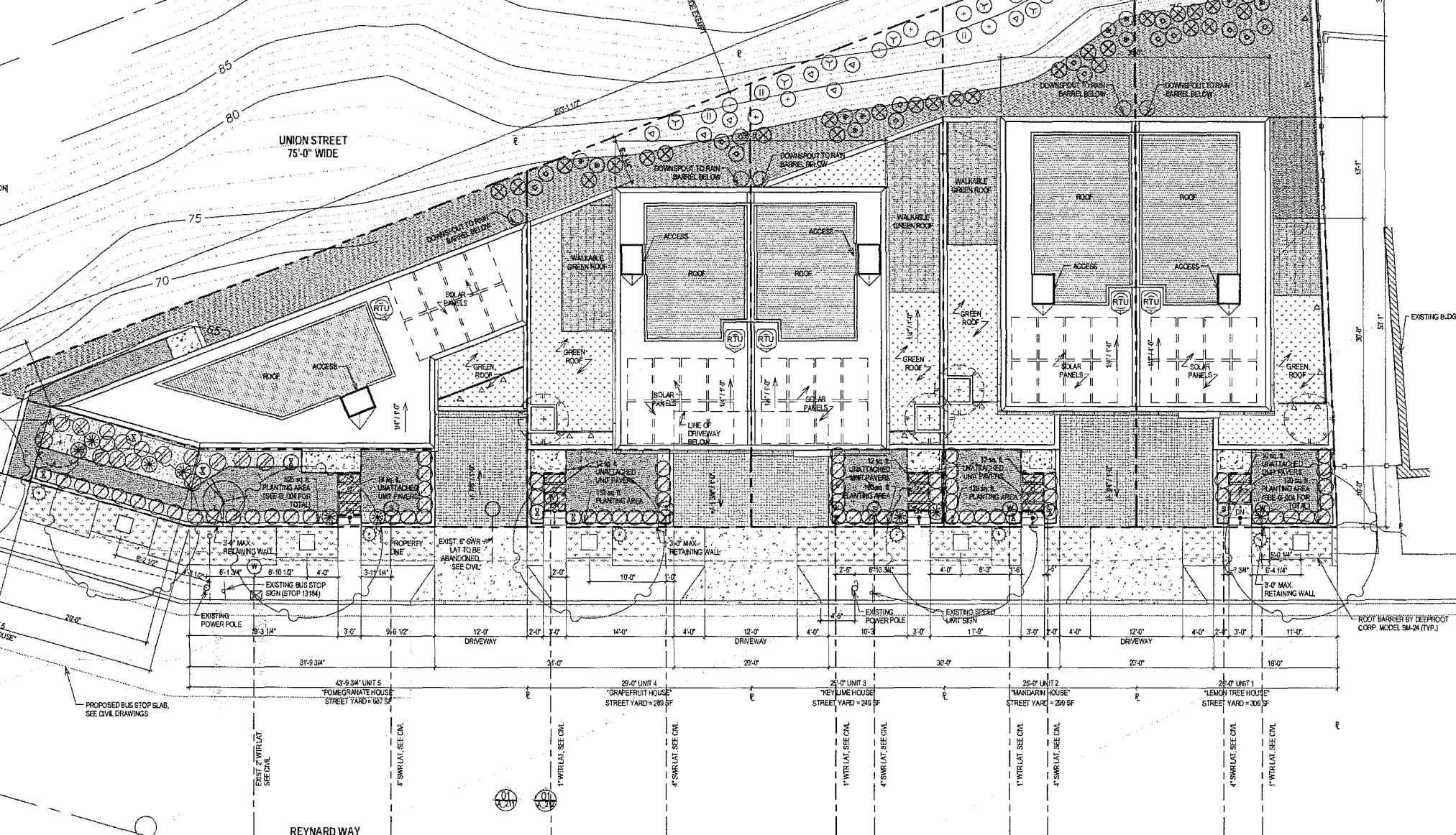
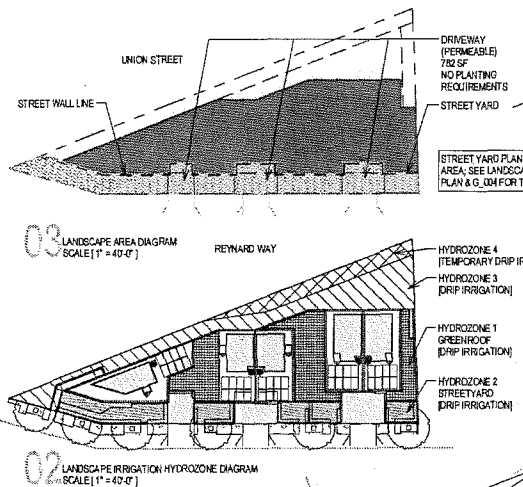
Water Budget (HAWA) = (ET)(0.62) [(0.55)(LA) + (0.49)(SLA)]  
= (47)(0.62) [(0.55)(6,500) + (0.49)(10,000)]  
= 25,141.12 GPD = 101.17 GAL PER SQ. FT.  
CONTROLLER 1 (ETW) = (47)(0.62) [(0.55)(LA) + (0.49)(SLA)] = 5,062  
CONTROLLER 2 (ETW) = (47)(0.62) [(0.55)(LA) + (0.49)(SLA)] = 22,312  
CONTROLLER 3 (ETW) = (47)(0.62) [(0.55)(LA) + (0.49)(SLA)] = 7,188  
CONTROLLER 4 (ETW) = (47)(0.62) [(0.55)(LA) + (0.49)(SLA)] = 5,401  
Total ETW = 42,483 GPD

REVEGETATION & EROSION CONTROL

This parcel is a disturbed urban habitat with minimal graded cuts and non-native plant species on adjacent land. Plants listed on the west slope have been carefully selected from the resource listed in the Land Development Code Landscape Standards. (Drawing: California Native Plants). These plants all have deep roots, require low water levels per WUCOLS, and are native low-land species.

A minimum of 50% of the slope area will be planted with the goal to achieve 100% coverage in 2 years. Two inch to five inch cuttings will be taken in the front yard in the month of June (or July or August as conditions permit), rooted with a rooting compound, and planted in a triangular pattern to achieve 100% coverage in 2 years. Dead plants will be replaced to achieve the goal. An automatic, above grade, temporary drip irrigation system will be in place until the plants achieve coverage. Maintenance will take place for 25 months at a minimum and be monitored by the owner on a monthly basis.

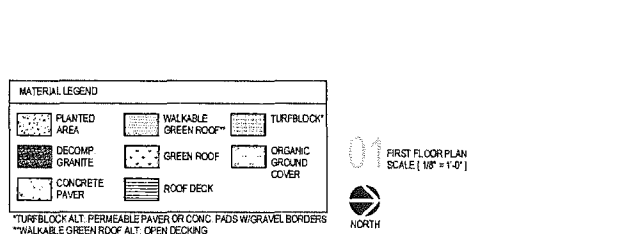
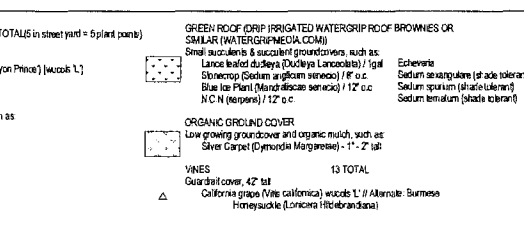
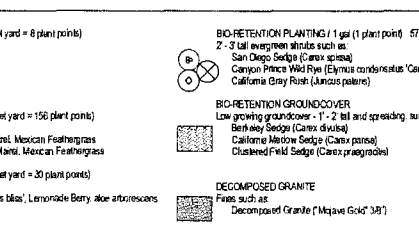
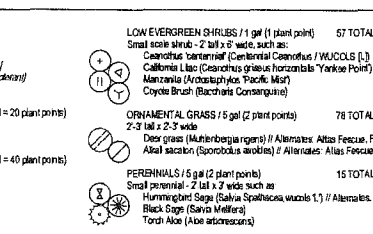
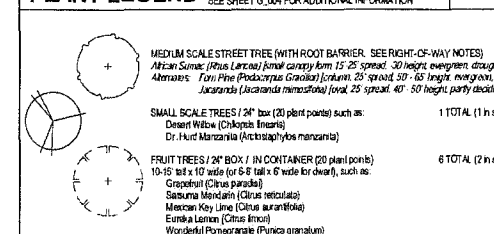
Additionally, the proposed retaining wall will reduce erosion potential. Refer to architectural plans and sections for more information.



RIGHT-OF-WAY NOTES

1. 13' BOX TREE REQUIRED PER 30' OF STREET FRONTAGE
  2. 19' STREET FRONTAGE
  3. 19' / 30' = 6 STREET TREES REQUIRED
  4. NON-BARRIERABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENT INCLUDING VALVES, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREE. DO NOT WRAP BARRIER AROUND THE ROOT BALL.
- MINIMUM TREE SEPARATION DISTANCE
- | IMPROVEMENT                              | MIN. DISTANCE TO STREET TREE |
|--|------------------------------|
| TRAFFIC SIGNALS (STOP SIGNS)             | 20 FEET                      |
| UNDERGROUND UTILITY LINES                | 5 FEET (10 FEET FOR SEWER)   |
| ABOVE GROUND UTILITY STRUCTURES          | 10 FEET                      |
| DRIVEWAY ENTRIES                         | 10 FEET                      |
| INTERSECTIONS                            | 25 FEET                      |
| (INTERSECTING CURB LINES OF TWO STREETS) |                              |

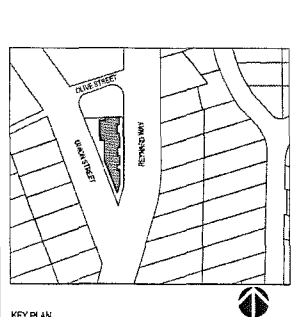
PLANT LEGEND



- GENERAL NOTES
1. ALL EXISTING INVASIVE PLANT SPECIES ON PARCEL TO BE REMOVED.
  2. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.
  3. PLANT MATERIAL NOT TO EXCEED MAXIMUM APPLIED WATER ALLOWANCE PER MUNICIPAL CODE 142.0417(a).
  4. BRUSH MANAGEMENT TO FOLLOW SAN DIEGO LAND DEVELOPMENT CODE LANDSCAPE STANDARDS, INCLUDING CUTTING 50% OF ZONE 2 PLANTS OVER 24 INCHES IN HEIGHT TO A HEIGHT OF 6 INCHES REMAINING PLANTS TO BE REPAIRED.
  5. BRUSH MANAGEMENT ZONE 2 PERMIT TO BE OBTAINED IN ACCORDANCE WITH SECTION 62.0103 AS REQUIRED. ZONE TWO TO EXTEND TO CENTER LINE OF PAPER STREET. SEE BRUSH MANAGEMENT PLAN BRUSH MANAGEMENT NOTES ITEM 2.
  6. SUBJECT TO OWNER APPROVAL, SPACING OF SHRUBS MAY BE REDUCED AFTER MEETING PLANT POINT CRITERIA REQ'D PER TABLE 142.0418.
  7. IN ORDER TO AVOID IMPACTS TO GROUND-NESTING BIRDS, NESTING HABITAT, IF VEGETATION REMOVAL IS SCHEDULED DURING THE BIRD NESTING SEASON (FEBRUARY 1 - SEPTEMBER 15), PRIOR TO THE REMOVAL OF ANY VEGETATION ON-SITE, A NESTING BIRD SURVEY WILL BE CONDUCTED IN ORDER TO COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. IF NESTING BIRDS ARE DETECTED DURING THE SURVEY, CONSTRUCTION IN THAT AREA WILL BE DELAYED UNTIL BIRDS HAVE FLEDGED.
  8. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-IDEAL LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL. LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
  9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0418 FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
  10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE ADJACENT PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
  11. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. PER SDMC 142.0403(b)(8).

TRICANYON TOWNHOMES

7724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505

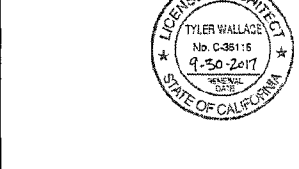


Architect:  
**TFWA**  
ARCHITECTURAL FIRM, INC.  
2306 Historic Decatur Rd. Ste 100  
San Diego, CA 92108  
v. 619.330.5145  
v. 619.330.5141

Owner:  
Six Coyote LLC  
3514 Indiana Street  
San Diego, CA 92103  
v. 619.330.5145

Civil Engineer:  
Altitude Engineering, Inc.  
28441 Rancho California Road, Suite 100  
Torrance, CA 92580  
V. 951.597.2020 F. 951.597.2028

Biological Resources Surveyor:  
Bak Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
V. 760.672.4599



PROJECT PHASE

PHASE	DATE
SITE DEVELOPMENT PERMIT	2 MAY 18 2016
SOP CITY REGISTRATION	3 AUGUST 30 2016
SOP CITY REGISTRATION 2	4 OCTOBER 03 2016
SOP CITY REGISTRATION 3	5 OCTOBER 17 2016

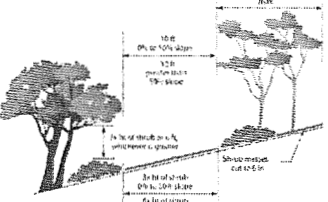
SCALE (AS NOTED)

LANDSCAPE PLAN  
**L\_100**

E:\My Documents\Work\TFWA\1505-2724 Reynard Way\Design Files\15052724 Reynard\_SDP.mxd



TREE AND SHRUB SPACING



TREE & SHRUB SPACING CHART	
TRUNK DIAMETER (INCHES)	MINIMUM SPACING (FEET)
1-4	10
5-8	15
9-12	20
13-16	25
17-20	30
21-24	35
25-28	40
29-32	45
33-36	50
37-40	55
41-44	60
45-48	65
49-52	70
53-56	75
57-60	80
61-64	85
65-68	90
69-72	95
73-76	100
77-80	105
81-84	110
85-88	115
89-92	120
93-96	125
97-100	130

LONG-TERM MAINTENANCE/CONFORMANCE

ALL LANDSCAPE AS SHOWN ON THESE PLANS, INCLUDING BRUSH MANAGEMENT AREAS, SHALL BE MAINTAINED BY THE OWNER IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE UPTOWN COMMUNITY PLAN AND THE CITY-WIDE LANDSCAPE STANDARDS.

PER SDMC CHAPTER 14 LANDSCAPE REGULATIONS, BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15. ZONE 2 ACTIVITIES TO AVOID NATURALIZED PLANT AREAS, INCLUDING DISTURBED COASTAL SAGE SCRUB.

BRUSH MANAGEMENT ZONE 2: SEE BRUSH ZONE TABLE IN BRUSH MANAGEMENT NOTES. DISTURBED HABITAT WITH NON-NATIVE VEGETATION (BURNED DEVELOPED). REFERENCE TABLE 1 & FIGURE 3 OF BULK BIOLOGICAL REPORT DATED DECEMBER 7, 2015.

SEE ELEVATIONS FOR NON-COMBUSTIBLE MATERIALS ON WESTERN ELEVATIONS. WEST WALLS TO BE 1-HOUR (ZONE 1 ALTERNATIVE COMPLIANCE).

REQUIRED ADDITIONAL FIRE RATING - SEE ALTERNATIVE COMPLIANCE THIS SHEET.

SEE ELEVATIONS FOR NON-COMBUSTIBLE MATERIALS ON WESTERN ELEVATIONS. WEST WALLS TO BE 1-HOUR (ZONE 1 ALTERNATIVE COMPLIANCE).

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SEE ELEVATIONS FOR NON-COMBUSTIBLE MATERIALS ON WESTERN ELEVATIONS. WEST WALLS TO BE 1-HOUR (ZONE 1 ALTERNATIVE COMPLIANCE).

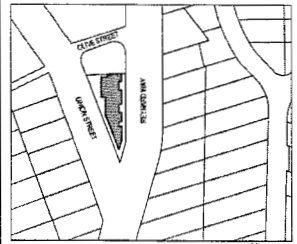
GENERAL NOTES

1. ALL EXISTING INVASIVE PLANT SPECIES ON PARCEL TO BE REMOVED.
2. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.
3. PLANT MATERIAL NOT TO EXCEED MAXIMUM APPLIED WATER ALLOWANCE PER MUNICIPAL CODE 142.041(S).
4. BRUSH MANAGEMENT TO FOLLOW SAN DIEGO LAND DEVELOPMENT CODE LANDSCAPE STANDARDS, INCLUDING CUTTING 50% OF ZONE 2 PLANTS OVER 24 INCHES IN HEIGHT TO A HEIGHT OF 8 INCHES. REMAINING PLANTS TO BE PRUNED.
5. BRUSH MANAGEMENT ZONE 2 PERMIT TO BE OBTAINED IN ACCORDANCE WITH SECTION 60.010 AS REQUIRED. ZONE TWO TO EXTEND TO CENTER LINE OF PAPER STREET. SEE BRUSH MANAGEMENT PLAN BRUSH MANAGEMENT NOTES ITEM 2.
6. SUBJECT TO OWNER APPROVAL, SPACING OF SHRUBS MAY BE REDUCED AFTER MEETING PLANT POINT CRITERIA REQ'D PER TABLE 142.042.
7. IN ORDER TO AVOID IMPACTS TO GROUND-NESTING BIRDS, NESTING HABITAT, IF VEGETATION REMOVAL IS SCHEDULED DURING THE BIRD NESTING SEASON (FEBRUARY 1 - SEPTEMBER 15), PRIOR TO THE REMOVAL OF ANY VEGETATION ON SITE, A NESTING BIRD SURVEY WILL BE CONDUCTED IN ORDER TO COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. IF NESTING BIRDS ARE DETECTED DURING THE SURVEY, CONSTRUCTION IN THAT AREA WILL BE DELAYED UNTIL BIRDS HAVE FLEDGED.
8. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.042(S) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE ADJACENT PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. A MINIMUM FOOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.043(B)(5).

TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE + DESIGN  
2306 Historic Decatur Rd. Ste 100  
San Diego, CA 92106  
v: 619.500.5445  
f: 619.500.5401

Owner:  
Sia Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
v: 619.500.5445  
f: 619.500.5401

Civil Engineer:  
Altitude Engineering, Inc.  
28441 Ramon California Road, Suite 100  
Temecula, CA 92590  
V: 951.367.2030 F: 951.587.2525

Biological Resources Survey:  
Bak Biological, Inc.  
P.O. Box 235116  
Escondido, CA 92023-5116  
V: 760.572.4559



PROJECT PHASE

PHASE	DATE
SITE DEVELOPMENT PERMIT	2 MAY 16, 2016
SDP CITY PERMIT/INITIAL 1	3 AUGUST 30, 2016
SDP CITY PERMIT/INITIAL 2	4 OCTOBER 02, 2016
SDP CITY PERMIT/INITIAL 3	5 OCTOBER 17, 2016

SCALE (AS NOTED)

BRUSH MANAGEMENT PLAN

L\_101

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BIOLOGICAL RESOURCES MAP



Table 1: Vegetation Communities/Land Cover Types on the 2724 Reynard Way Project

Vegetation Community/Land Cover Type	Area Onsite (Acres)	Percentage of Site Occupied
Non-Native		
Disturbed Habitat (Tier IV)	0.20	95.2
Grassland (Tier IV)	0.01	4.8
Total	0.21	100

BRUSH MANAGEMENT DESIGN METHOD

THE BRUSH MANAGEMENT PLAN HAS BEEN DESIGNED TO INTEGRATE THE BUILDINGS SEAMLESSLY INTO ITS NATURALIZED SURROUNDINGS WHILE PROTECTING IT FROM THE DEVASTATING EFFECTS OF FIRE. THE PLANTING IN ZONE ONE HAS BEEN CAREFULLY CHOSEN TO ACT AS A TRANSITIONAL LANDSCAPE THAT CREATES AN IRRIGATED AREA AROUND THE STRUCTURES THAT PROVIDES BOTH BEAUTY AND SAFETY WITHOUT ADVERSE EFFECT TO THE ADJACENT SPACE. THIS INCLUDES LOW-WATER USE, NATIVE, AND NON-INVASIVE PLANT MATERIAL. ZONE TWO WILL BE THINNED TO PREVENT FIRE FROM JUMPING FROM VEGETATION TO STRUCTURES. ADDED FIRE PROTECTION COMES FROM THE HIGHER FIRE-RATED CONSTRUCTION AND THE USE OF NON-COMBUSTIBLE MATERIALS IN KEY PLACES.

SPECIES HAVE A MAXIMUM MATURE HEIGHT OF 24 INCHES, ARE LOW FUEL, DROUGHT TOLERANT, AND FIRE-RESISTIVE, AND ARE NOT SUMMER DORMANT. REFER TO BRUSH MANAGEMENT PROGRAM LETTER FOR ADDITIONAL INFORMATION.

BRUSH MANAGEMENT NOTES

BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION.

- BRUSH MANAGEMENT ZONES
1. BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL TYPICALLY CONSIST OF ORNAMENTAL PLANTING.
  2. BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND TYPICALLY CONSISTS OF THINNED, NATIVE OR NATURALIZED NON-IRRIGATED VEGETATION. ZONE TWO SHALL EXTEND TO THE CENTER LINE OF UNION STREET AND THE UNDERLYING PROPERTY OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE AND/OR BRUSH CLEARING.
  3. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

- ZONE ONE REQUIREMENTS
1. THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
  2. ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NON-COMBUSTIBLE. ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
  3. PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
  4. TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
  5. PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS: (A) WITHIN PLANTING AREAS THAT CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR (B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER DORMANT AND HAVE A MAX HEIGHT AT MATURITY LESS THAN 24 INCHES.
  6. ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
  7. ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

ZONE TWO REQUIREMENTS

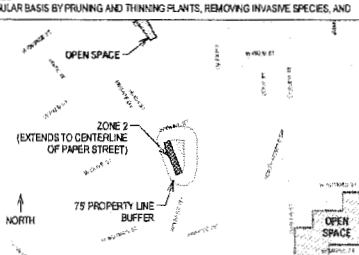
1. THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE TO THE EDGE OF UNDISTURBED VEGETATION.
2. NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
3. WITHIN ZONE TWO, 30 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 8 INCHES.
4. WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
5. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.

TABLE 142-04H

BRUSH MANAGEMENT ZONE WIDTH

SYMBOL	CRITERIA	ZONE WIDTHS
Zone One	Zone One	Varies (30' max.)
Zone Two	Zone Two	Varies (37.5' min.)

\*SEE GENERAL NOTE 5



BRUSH MANAGEMENT IMPLEMENTATION

A. THINNING AND PRUNING NATIVE/NATURALIZED VEGETATION

TWO KEY FACTORS IN CREATING A FIRE SAFE LANDSCAPE ARE PROVIDING FUEL DISCONTINUITY BY THE SEPARATION OF THE FLAMMABLE PLANT COVER (THINNING) AND REDUCTION IN FUEL LOAD BY CUTTING OUT DEAD AND EXCESS GROWTH OF THE NATIVE/NATURALIZED VEGETATION (PRUNING). PLANTS TO BE RETAINED SHOULD BE CONSISTENT WITH THE ALLOWABLE COVERAGE, MASSING AND SPACING REQUIRED IN THE BRUSH MANAGEMENT REGULATIONS AND THE LANDSCAPE STANDARDS. WHENEVER POSSIBLE, A PERSON KNOWLEDGEABLE ABOUT THE USE AND MAINTENANCE OF NATIVE PLANTS SHOULD BE CONSULTED TO OVERSEE THE SELECTION, THINNING, AND PRUNING OF THESE PLANTS. THE PROGRESSION OF WORK SHOULD PROCEED AS FOLLOWS: 1) REMOVAL OF DEAD PLANTS, 2) THIN OUT BRUSH MANAGEMENT AREAS TO THE REQUIRED COVERAGE, 3) PRUNE REMAINING PLANTS, 4) DISPOSE OR MULCH DEBRIS AND TRIMMINGS, AND 5) MAINTAIN ZONE ONE ON A YEAR-ROUND BASIS, ZONE TWO ON A SEASONAL BASIS.

1. THINNING - THIS FIRST STEP REQUIRES IDENTIFICATION OF THE NATIVE/NATURALIZED SPECIES AND A FAMILIARITY WITH THEIR VARIOUS CHARACTERISTICS SUCH AS ROOTING DEPTH, FUEL LOADS, FLAMMABILITY, AS WELL AS HABITAT AND AESTHETIC VALUE. THINNING SHOULD BE PRIORITIZED AS FOLLOWS: 1) INVASIVE NON-NATIVE SPECIES WITH THE EXCEPTION OF EUCALYPTUS TREES IN EUCALYPTUS WOODLAND AREAS, 2) NON-NATIVE SPECIES, 3) FLAMMABLE NATIVE SPECIES, 4) NATIVE SPECIES, AND 5) REGIONALLY SENSITIVE SPECIES. ALL VEGETATION THAT IS NOT TO BE REMOVED DURING THE INITIAL THINNING SHOULD BE NOTED OR FLAGGED. THE REMAINING PLANTS WHICH ARE NOT TO BE SHED SHOULD BE CUT SIX INCHES ABOVE THE GROUND WITHOUT PULLING OUT THE ROOTS. CERTAIN NATIVE PLANTS, SUCH AS THOSE FOUND IN COASTAL SAGE SCRUB, SHOULD BE CUT BACK TO WITHIN 12 INCHES OF THE ROOT CROWN, AND SPROUTING AN RE-GROWTH OCCUR. THESE PLANTS CAN BE MAINTAINED AS LOW, SUCCULENT MOUNDS. EXAMPLES INCLUDE ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH), SALVIA MELIFERA (BLACK SAGE), ADENOSTOMA FASCICULATUM (CHAMISE) AND ERIGONUM FASCICULATUM (BUCKWHEAT).
2. PRUNING - AFTER THINNING OF THE NATIVE/NATURALIZED VEGETATION, THE FUEL LOAD SHOULD BE FURTHER REDUCED BY PRUNING THE PLANTS THAT HAVE NOT BEEN REMOVED. WHILE PRUNING INDIVIDUAL PLANTS IS NOT FEASIBLE IN COASTAL SAGE SCRUB, IT IS VERY EFFECTIVE FOR MANY HARD CHAPARRAL SPECIES, SUCH AS Ceanothus (WILD LILAC), NERANDELES (TOUCH), RHUS (LEMONADE BERRY, SUGARBUSH), AND RHAMNUS (COTONEBERRY, REDBERRY). THESE PLANTS CAN BE SHAPED INTO ATTRACTIVE FIRE SAFE SPECIMENS BY PRUNING DEAD AND EXCESSIVELY TWIGGY GROWTH. REMOVE THE LIMBS TOUCHING THE GROUND AND A LARGE VOLUME OF MATERIAL FROM THE CANOPY. THE LIMBS THAT REMAIN SHOULD BE THOSE WITH YOUNG, VIGOROUS SHOOTS.

B. THINNING AND PRUNING TREES

TREES ARE ALLOWED WITHIN THE DISPENSABLE SPACE, PROVIDED THE HORIZONTAL AND VERTICAL DISTANCE BETWEEN TREES AND SHRUB MASSES COMPLIES WITH REQUIRED SPACING FOR THE SLOPE GRADIENT SHOWN IN THE TREE AND SHRUB SPACING CHART.

VERTICAL CLEARANCE BETWEEN TREES AND SHRUBS CAN BE CREATED BY PRUNING UP THE TREE CANOPY, REDUCING THE HEIGHT OF THE SHRUBS, OR COMBINATIONS THEREOF. CANOPIES OF EXISTING TREES THAT EXTEND WITHIN 10 FEET OF ANY STRUCTURE SHALL BE PRUNED TO MAINTAIN A MINIMUM HORIZONTAL AND VERTICAL CLEARANCE OF 10 FEET. PORTIONS OF TREE CANOPIES THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY SHALL BE PRUNED TO MAINTAIN A MINIMUM HORIZONTAL AND VERTICAL CLEARANCE OF 10 FEET.

ALTERNATIVE COMPLIANCE

WEST WALLS SHALL BE ONE-HOUR FIRE-RATED AND OPENINGS SHALL BE DUAL GLAZED, DUAL TEMPERED PANES ON THE WEST FACING PORTIONS OF THE STRUCTURE WITH A 10 PERPENDICULAR RETURN.

DEPUTY FIRE MARSHALL CITY OF SAN DIEGO DATE

BRUSH MANAGEMENT PLAN SCALE: 1/8" = 1'-0"

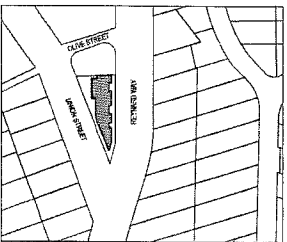


- GENERAL NOTES
1. NO EASEMENTS ARE MAPPABLE ON SITE. SEWER EASEMENT EXISTS, BUT LOCATION AND EXTENT IS NOT DISCLOSED OF RECORD (RECORDED IN 1910, BOOK 586, PAGE 85 OF DEEDS).
  2. IN ORDER TO AVOID IMPACTS TO GROUND-NESTING BIRDS, NESTING HABITAT, IF VEGETATION REMOVAL IS SCHEDULED DURING THE BIRD NESTING SEASON (FEBRUARY 1 - SEPTEMBER 15), PRIOR TO THE REMOVAL OF ANY VEGETATION ON-SITE, A NESTING BIRD SURVEY WILL BE CONDUCTED IN ORDER TO COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. IF NESTING BIRDS ARE DETECTED DURING THE SURVEY, CONSTRUCTION IN THAT AREA WILL BE DELAYED UNTIL BIRDS HAVE FLEDGED.
  3. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
  4. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL VAULTS AND ABOVE GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, PIPING, ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
  5. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
  6. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
  7. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
  8. WHERE CONFLICTS OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY OWNER FOR CLARIFICATION BEFORE PROCEEDING.
  9. ENSURE THAT CONTRACTOR-INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
  10. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABUTS VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLLARS.
  11. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
  12. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
4011 Via Vista - 1100  
2200 Hovick, Decatur Rd. Ste 100  
San Diego, CA 92108  
P: 619.530.5445  
F: 619.530.5401

Owner:  
Six Coyote LLC  
3514 Indiana Street  
San Diego, CA 92103  
v519.300.5445

Chief Engineer:  
Aldade Engineering, Inc.  
26441 Rancho California Road, Suite 100  
Torrance, CA 90509  
V: 310.567.2020 F: 310.567.2026

Biological Resources Surveyor:  
B&B Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
V: 760.872.4586



PROJECT PHASE

PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SUP CITY RESUBMITTAL	3	AUGUST 30, 2016
SUP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

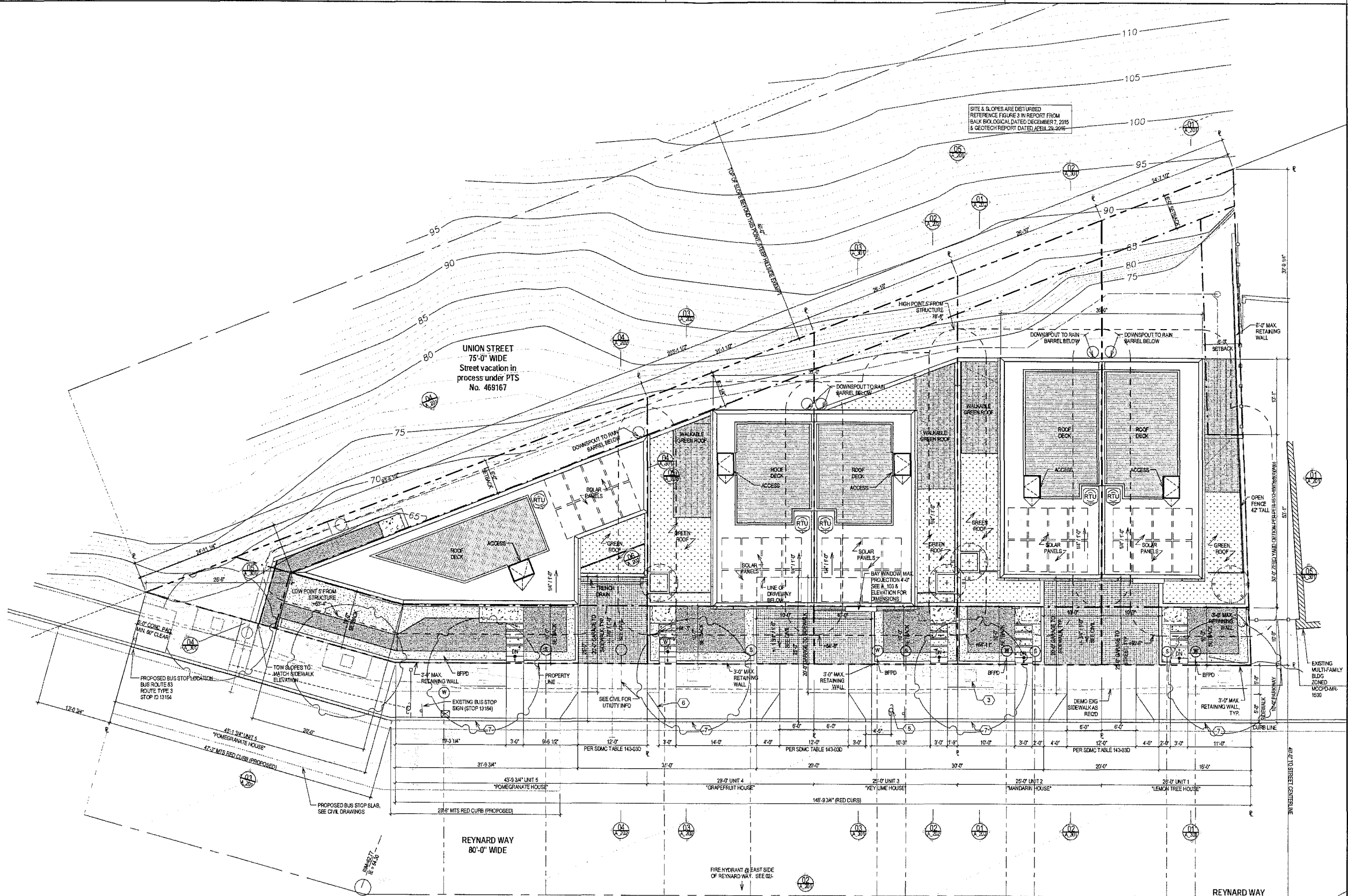
SCALE (AS NOTED)

SITE PLAN

**A\_100**

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SHEET NOTES (SEE GENERAL NOTES FOR MORE INFO)

IN ADDITION TO THE SHEET NOTES BELOW, MANY SHEET NOTES ARE DEFINED DIRECTLY ON THE DRAWING IN THE FOLLOWING MANNER:

1. STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 508.8 SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A100C) AS FOLLOWS:  
A. AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.  
B. IN EVERY STORAGE AND CONSTRUCTION SHED.  
C. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE & COMBUSTIBLE LIQUIDS.
2. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
3. SEE LANDSCAPE PLAN FOR TREE PLACEMENT.
4. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET PER PHPS POLICY P-03.6 (UPC 901.4.4).
5. EXISTING POWER POLE, RELOCATE EXISTING GUY WIRE.
6. ENCROACHMENT AGREEMENT BETWEEN UNIT 5 & 4 REQUIRED FOR DRIVEWAY APFON.
7. ALL CURBS ADJACENT TO PROJECT TO BE RED CURBS.

MATERIAL LEGEND

PLANTED AREA	WALKABLE GREEN ROOF**	TURF/BLACK
DECOMP. GRANITE	GREEN ROOF	ORGANIC GROUND COVER
CONCRETE PAVING	ROOF DECK	

\*TURF/BLACK ALT: PERMEABLE PAVING OR CONC. PADS W/ GRAVEL BORDERS

\*\*WALKABLE GREEN ROOF ALT: OPEN DECKING

01 SITE PLAN  
SCALE: 1/8" = 1'-0"



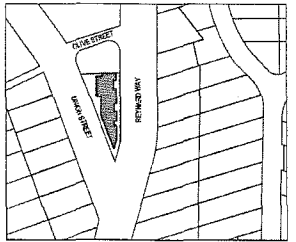


- GENERAL NOTES:
1. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
  2. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL VAULTS AND ABOVE GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, PIPING ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
  3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION, BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
  4. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
  5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
  6. WHERE CONFLICTS OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY OWNER FOR CLARIFICATION BEFORE PROCEEDING.
  7. ENSURE THAT CONTRACTOR INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
  8. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABUTS VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
  9. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
  10. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN  
Architect:  
**TFWA**  
ARCHITECTURE + ENGINEERING  
2305 Historic Decatur Rd. Ste 100  
San Diego, CA 92106  
P: 619.530.5445  
F: 619.530.5401

Owner:  
Six Coyote LLC  
3814 Indiana Street  
San Diego, CA 92103  
v515.600.5445

Civil Engineer:  
Allstate Engineering, Inc.  
26441 Rancho California Road, Suite 100  
Torrance, CA 90503  
P: 619.587.2020 F: 619.587.2626

Biological Resources Surveyor:  
Bull Biological, Inc.  
P.O. Box 235318  
Escondido, CA 92023-5318  
P: 760.872.4559



PROJECT PHASE		
SOP CITY RESUBMITTAL	3	AUGUST 30, 2016
SOP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

SCALE (AS NOTED)

FIRE ACCESS PLAN

**A\_100FA**

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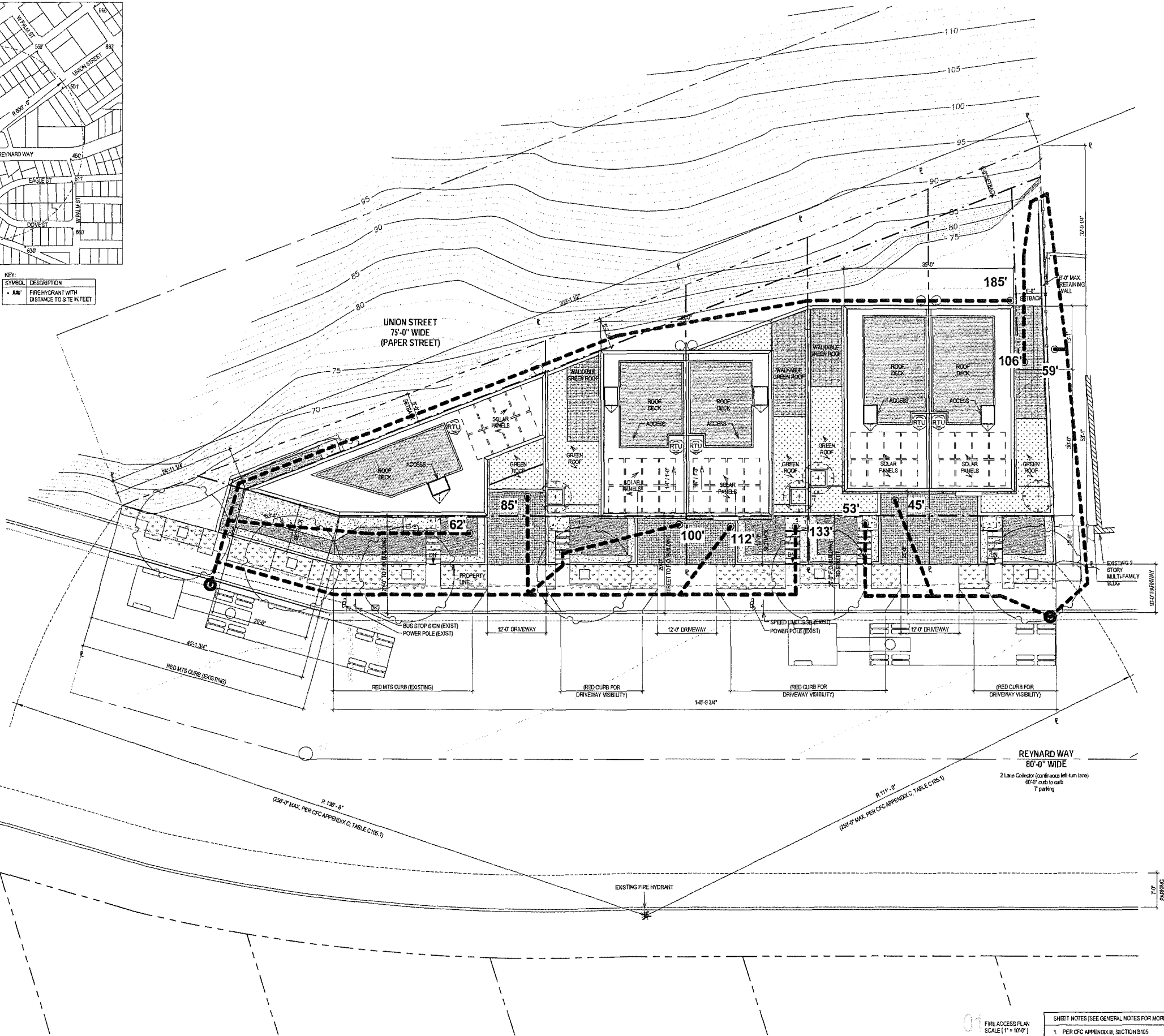
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02 FIRE HYDRANT LOCATIONS  
SCALE (1" = 300'-0")

SYMBOL	DESCRIPTION
	FIRE HYDRANT WITH DISTANCE TO SITE IN FEET

NORTH



SHEET NOTES (SEE GENERAL NOTES FOR MORE INFO)

1. PER CFC APPENDIX B, SECTION B105  
FIRE FLOW = 500 GALLONS PER MINUTE (SPRINKLER EXCEPTION)  
FLOW DURATION = 1 HOUR
2. ALL FIVE BUILDINGS ARE ONE-FAMILY DWELLINGS (R-3 OCCUPANCY)  
AND SEPARATE PER CFC B104.2

01 FIRE ACCESS PLAN  
SCALE (1" = 10'-0")

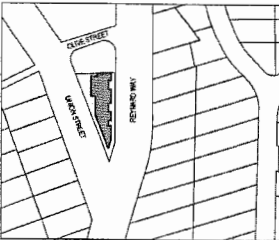
GENERAL NOTES

1. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
2. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL, WATERS, AND ASSESS GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, FIRM, ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION, BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
4. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
6. WHERE CONFLICTS OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY OWNER FOR CLARIFICATION BEFORE PROCEEDING.
7. ENSURE THAT CONTRACTOR INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
8. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABUTS, VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
9. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
10. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE - LLC  
2305 HENRIE DRIVE, SUITE 100  
SAN DIEGO, CA 92106  
P: 619.330.5445  
F: 619.330.5401

Owner:  
Six Coyote LLC  
3014 Indiana Street  
San Diego, CA 92103  
V: 619.330.5445

Civil Engineer:  
Alderson Engineering, Inc.  
28441 Rancho California Road, Suite 100  
Temecula, CA 92590  
V: 951.987.2022 F: 951.987.2525

Biological Resources Surveyor:  
Belle Biological, Inc.  
P.O. Box 235115  
Encinitas, CA 92025-9315  
V: 760.672.4559



PROJECT PHASE

PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SDP CITY RESUBMITTAL	3	AUGUST 30, 2016
SDP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

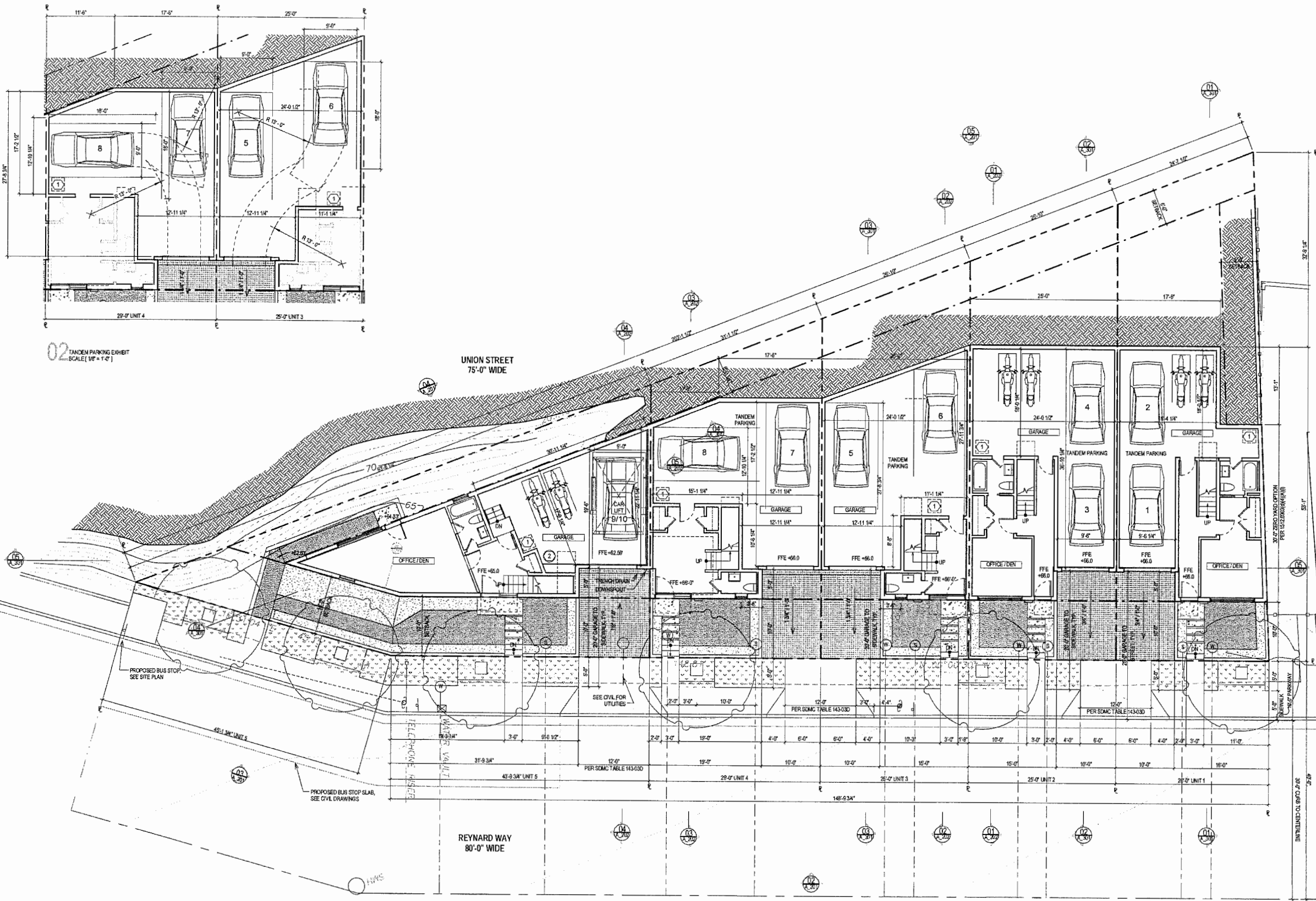
SCALE (AS NOTED)

FLOOR PLANS

A\_101

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SHEET NOTES (SEE GENERAL NOTES FOR MORE INFO)

IN ADDITION TO THE SHEET NOTES BELOW, MANY SHEET NOTES ARE DEFINED DIRECTLY ON THE DRAWING IN THE FOLLOWING MANNER: NOTE 1 ->

- 1 REFUSE & RECYCLING AREA (4.6 SQ. FT. PER UNIT)
- 2 SUMP PUMP

MATERIAL LEGEND

PLANTED AREA	WALKABLE GREEN ROOF**	TURF BLOCK
DECOMP. GRANITE	GREEN ROOF	ORGANIC GROUND COVER
CONCRETE PAVEMENT	ROOF DECK	
*TURF BLOCK ALL PERMEABLE PAVEMENT OR CONC. PAVEMENTS W/ GRAVEL BORDERS		
**WALKABLE GREEN ROOF ALL OPEN DECKING		

01 BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



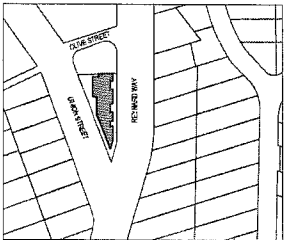
GENERAL NOTES

1. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
2. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL VAULTS AND ABOVE GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, PAVING, ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
4. OBTAIN NECESSARY PERMITS, AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INST. ALL WORK.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
6. WHERE CONFLICTS OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY OWNER FOR CLARIFICATION BEFORE PROCEEDING.
7. ENSURE THAT CONTRACTOR-INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
8. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ABOUT VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
9. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
10. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect  
**TFWA**  
ARCHITECTURE - INC.  
2335 Revere Parkway, Suite 100  
San Diego, CA 92105  
P: 619.330.5445  
F: 619.530.5401

Owner:  
Six Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
P: 619.530.5445

Civil Engineer:  
Allstate Engineering, Inc.  
28441 Rancho California Road, Suite 100  
Torrance, CA 90509  
P: 310.587.2020 F: 310.587.2626

Biological Resources Surveyor:  
Bull Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
P: 760.672.4559



PROJECT PHASE

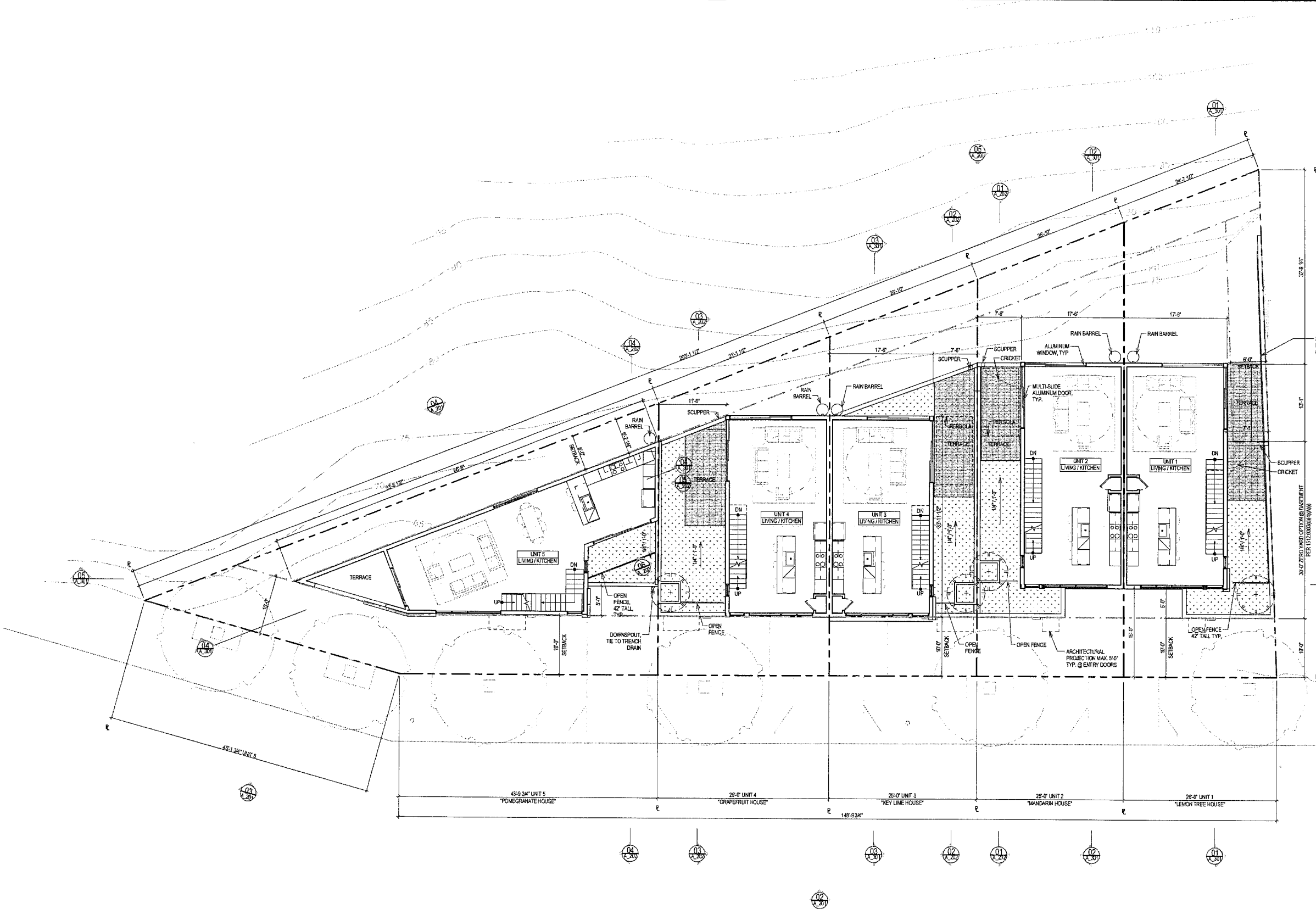
PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SOP CITY RESUBMITTAL	3	AUGUST 30, 2016
SOP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

SCALE (AS NOTED)

FLOOR PLANS  
**A\_102**

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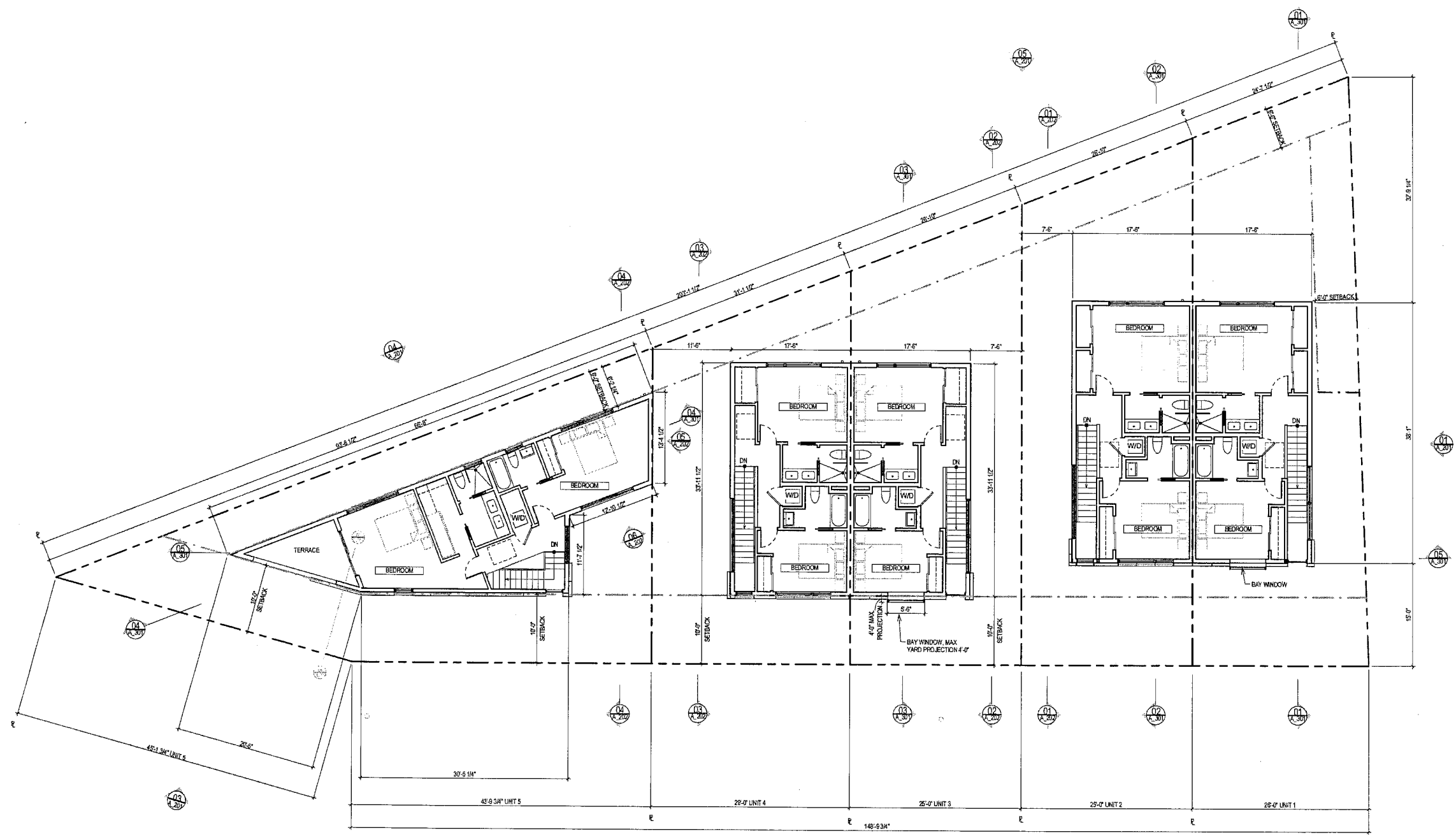
MATERIAL LEGEND		
PLANTED AREA	WALKABLE GREEN ROOF	TURF BLOCK
DECOMP. GRANITE	GREEN ROOF	ORGANIC GROUND COVER
CONCRETE PAYER	ROOF DECK	

\*TURF BLOCK ALT. PERMEABLE PAVING OR CONC. PADS W/ GRAVEL BORDERS  
\*\*WALKABLE GREEN ROOF ALT. OPEN DECKING

01 FIRST FLOOR  
SCALE: 1/8" = 1'-0"



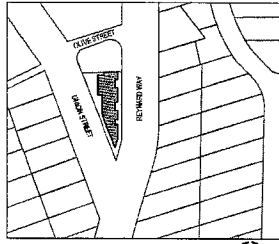




- GENERAL NOTES:
1. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
  2. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL, VAULTS AND ABOVE GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, PIPING ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
  3. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION, BRING ANY DISCREPANCIES TO THE ATTENTION OF OWNER PRIOR TO PROCEEDING WITH WORK.
  4. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
  5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. DO NOT SCALE FROM REDUCED DRAWING SHEETS. REFERENCE TO NORTH REFERS TO TRUE NORTH.
  6. WHERE CONFLICTS OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, NOTIFY OWNER FOR CLARIFICATION BEFORE PROCEEDING.
  7. ENSURE THAT CONTRACTOR INSTALLED UNDERGROUND ELEMENTS SUCH AS DRAINAGES, IRRIGATION MAIN LINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
  8. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ADJACENT VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
  9. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
  10. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

TRICANYON TOWNHOMES

2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE + INTERIOR  
2305 Helix Drive, Suite 100  
San Diego, CA 92106  
V: 619.330.5445  
F: 619.330.5401

Owner:  
San Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
V: 619.330.5445

Civil Engineer:  
Alidade Engineering, Inc.  
28441 Rando California Road, Suite 100  
Temecula, CA 92590  
V: 951.587.2020 F: 951.587.2826

Biological Resources Survey:  
Bull Biological, Inc.  
P.O. Box 235115  
Escondido, CA 92023-5115  
V: 760.672.4559



PROJECT PHASE

PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SDP CITY RESUBMITTAL	3	AUGUST 30, 2016
SDP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

SCALE (AS NOTED)

FLOOR PLANS  
**A\_103**

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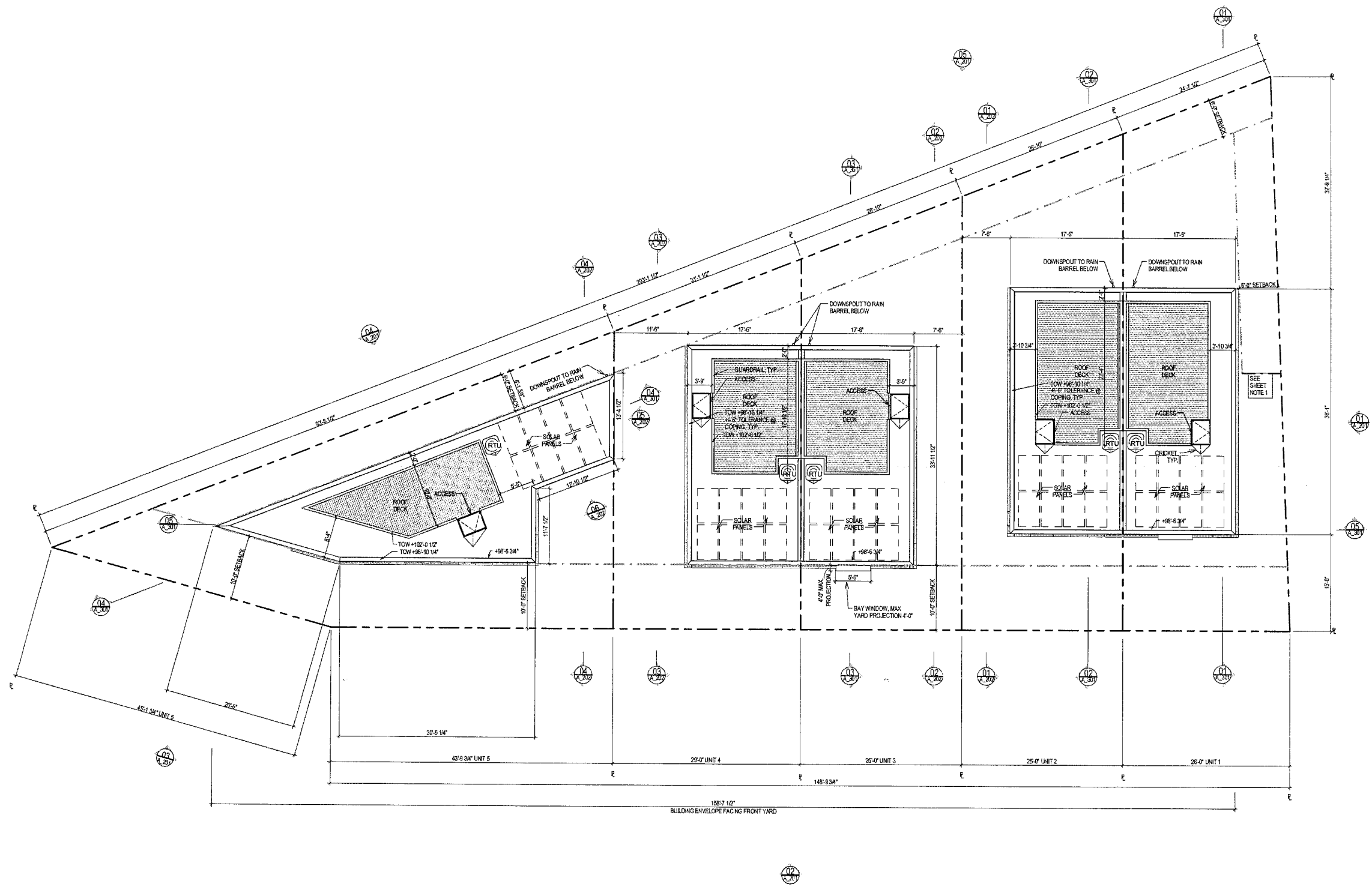
**MATERIAL LEGEND**

PLANTED AREA	WALKABLE GREEN ROOF*	TURFBLOCK*
DECOMP. GRANITE	GREEN ROOF	ORGANIC GROUND COVER
CONCRETE PAVEMENT	ROOF DECK	

\*TURFBLOCK ALT: PERMEABLE PAVEMENT OR CONC. PADS W/ GRAVEL BORDERS  
\*WALKABLE GREEN ROOF ALT: OPEN DECKING

01 SECOND FLOOR  
SCALE: 1/8" = 1'-0"

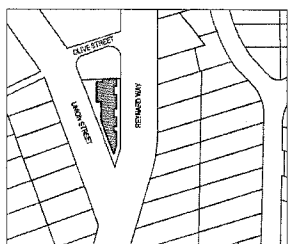




- GENERAL NOTES:
1. VERIFY PROPERTY LINES AND LIMITS OF WORK PRIOR TO COMMENCING WORK.
  2. PRIOR TO BEGINNING WORK, BECOME FAMILIAR WITH EXISTING SITE CONDITIONS, INCLUDING UNDERGROUND AND ABOVEGROUND UTILITIES, ELECTRICAL, VAULTS AND ABOVE GRADE FEATURES SUCH AS GRADING, WALLS, FENCES, STRUCTURES, PAVING, ETC. COORDINATE WITH LANDSCAPE AND CIVIL ENGINEERS DRAWINGS FOR ACCURACY AND BRING ATTENTION TO ANY DISCREPANCIES OR QUESTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN DAMAGE.
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  4. OBTAIN NECESSARY PERMITS AND PAY FOR RELATED INSPECTION FEES REQUIRED TO INSTALL WORK.
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  7. ENSURE THAT CONTRACTOR INSTALLS UNDERGROUND ELEMENTS SUCH AS DRAINLINES, IRRIGATION MAINLINES AND LATERALS, ELECTRICAL CONDUIT, SLEEVES, ETC. ARE IN PLACE, OPERATIONAL, AND APPROVED BY PUBLIC AGENCY INSPECTION PRIOR TO INSTALLATION OF HARDSCAPE WORK.
  8. PROVIDE ISOLATION OR EXPANSION JOINTS WHEN PAVING ADJACENT VERTICAL EDGES SUCH AS WALLS, STEPS, RAMPS, CURBS, AND COLUMNS.
  9. FIELD VERIFY ALL EXISTING CONDITIONS PERTAINING TO WORK. ALERT OWNER TO ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS SHOWN ON DRAWINGS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.
  10. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE UTILITY, AND ADDITIONAL SITE LAYOUT INFORMATION.

TRICANYON TOWNHOMES

2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



Architect:  
**TFWA**  
ARCHITECTURE - INTERIOR  
2355 HAZARD DRIVE, SUITE 100  
SAN DIEGO, CA 92106  
P: 619.930.5445  
F: 619.930.5401

Owner:  
Sue Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
v: 619.930.5445  
f: 619.930.5401

Civil Engineer:  
Altitude Engineering, Inc.  
28441 Rancho California Road, Suite 100  
Temecula, CA 92590  
V: 951.387.2020 F: 951.387.2028

Biological Resources Surveyor:  
Bak Biological, Inc.  
P.O. Box 235116  
Encinitas, CA 92023-5316  
V: 760.872.4559



PROJECT PHASE

PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SDP CITY RESUBMITTAL	3	AUGUST 30, 2016
SDP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

SCALE: (AS NOTED)

ROOF PLANS  
**A\_104**

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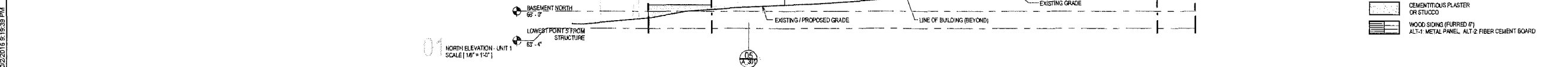
SHEET NOTES

1. MINOR ROOF PROJECTION ABOVE ANGLED BUILDING PLANE TO COMPLY WITH SDMC PER THE FOLLOWING:  
A. PER TABLE 143-03C FOOTNOTE 3, ANGLED PLANE REGULATION APPLIES ONLY TO PRE-SUBMITTED BUILDING ENVELOPE.  
B. PER §131.0461(a)(1), ROOF PROJECTIONS AND ELEMENTS MAY PROJECT ABOVE ANGLED PLANE.  
C. 33% ± 52'-4"

MATERIAL LEGEND

PLANTED AREA	WALKABLE GREEN ROOF**	TURF BLOCK*
DECOMP. GRANITE	GREEN ROOF	ORGANIC GROUND COVER
CONCRETE PAVING	ROOF DECK	

\*TURF BLOCK ALT. PERMEABLE PAVING OR CONC. PAVING W/ GRAVEL BORDERS  
\*\*WALKABLE GREEN ROOF ALT. OPEN DECKING



Architect:  
**TFWA**  
ARCHITECTURE & DESIGN  
2205 Historic Decatur Rd. Ste 100  
San Diego, CA 92108  
t: 619.930.5445  
f: 619.930.5401

Owner:  
Six Coyote LLC  
3614 Indiana Street  
San Diego, CA 92103  
v:619.930.5445

Civil Engineer  
Altitude Engineering, Inc.  
26441 Rancho California Road, Suite 100  
Torrance, CA 92590  
V: 951.987.2020 F: 951.987.2626

Biological Resources Surveyor:  
Balk Biological, Inc.  
P.O. Box 235316  
Encinitas, CA 92023-5316  
V: 760.672.4669



PROJECT PHASE		
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SDP CITY RESUBMITTAL	3	AUGUST 30, 2016
SDP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

### ELEVATIONS

A 201

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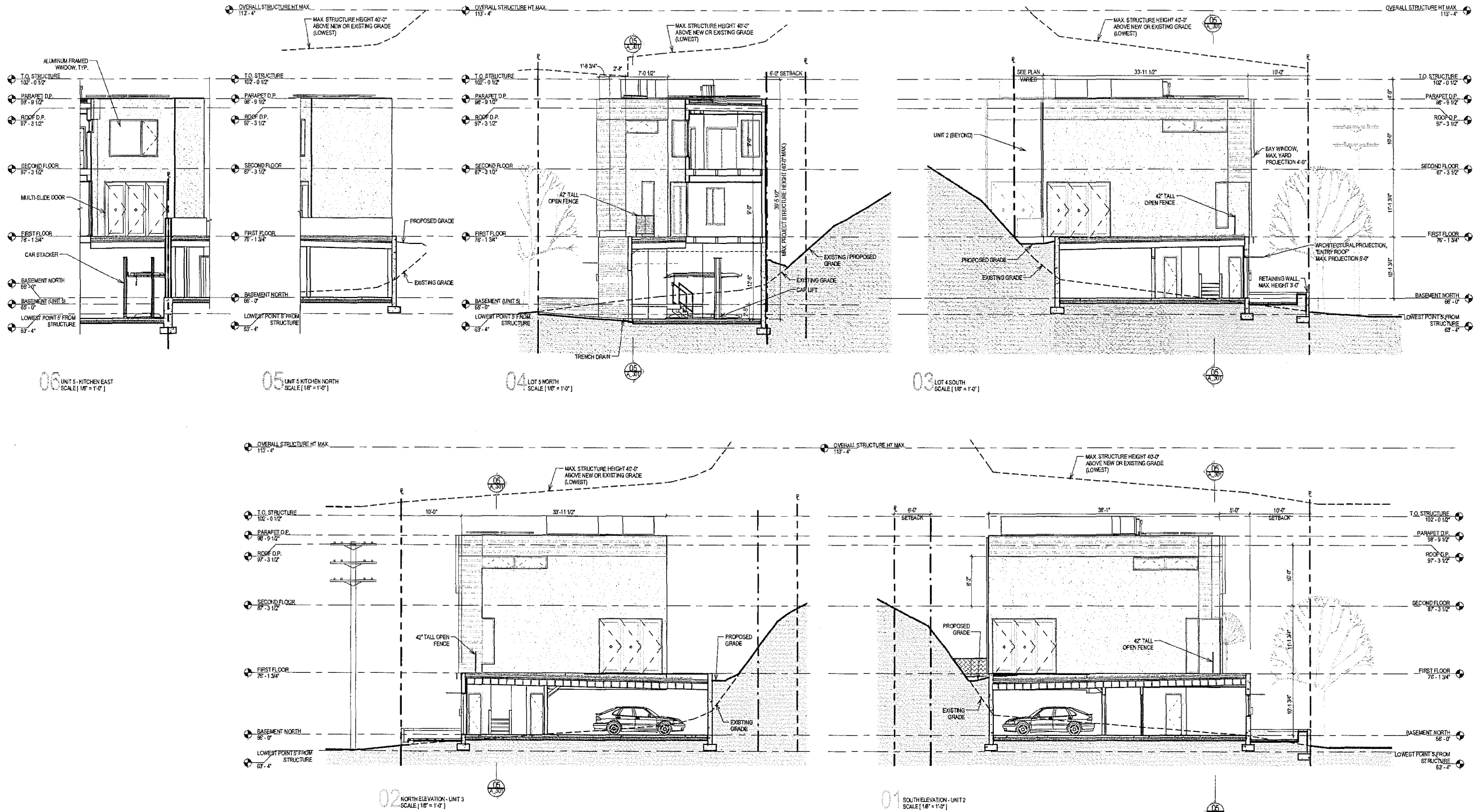
ARCHITECTURAL CONCRETE  
OR MASONRY UNITS

CEMENTITIOUS PLASTER  
OR STUCCO

WOOD SIDING (FURRED 6")  
ALT-1: METAL PANEL, ALT-2: FIBER CEMENT BOARD

**ATTACHMENT 17**

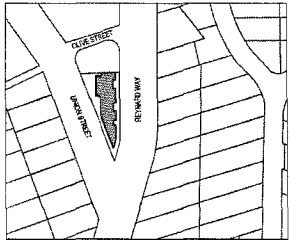
GENERAL NOTES:



TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE + LANDSCAPE  
2305 Historic Decatur Rd. Ste. 100  
San Diego, CA 92106  
V: 619.593.5445  
F: 619.593.5401

Owner:  
San Cayetano LLC  
3514 Indiana Street  
San Diego, CA 92103  
V: 619.597.2020 F: 619.597.2826

Chief Engineer:  
Alidade Engineering, Inc.  
25441 Rindro California Road, Suite 100  
Torrance, CA 90503  
V: 619.597.2020 F: 619.597.2826  
Biological Resources Surveyor:  
Bull Biological, Inc.  
P.O. Box 255315  
Encinitas, CA 92023-5315  
V: 760.972.4559



PROJECT PHASE			
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016	
SOP CITY RESUBMITTAL	3	AUGUST 30, 2016	
SOP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016	

SCALE (AS NOTED)

ELEVATIONS  
**A\_202**

EXTERIOR MATERIAL LEGEND

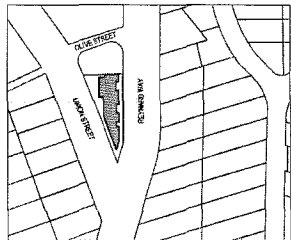
	ARCHITECTURAL CONCRETE OR MASONRY UNITS
	CEMENTITIOUS PLASTER OR STUCCO
	WOOD SIDING (PURIFIED S1)
	ALU-1 METAL PANEL, ALU-2 FIBER CEMENT BOARD

- GENERAL NOTES:
1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
  2. SEE CIVIL DRAWINGS FOR SITE DIMENSIONS, SITE MATERIALS, GRADING AND FINISH FLOOR ELEVATION HEIGHTS (FFE).

TRICANYON TOWNHOMES



2724 REYNARD WAY  
SAN DIEGO, CA 92103  
1505



KEY PLAN

Architect:  
**TFWA**  
ARCHITECTURE + DESIGN  
2305 Historic Decatur Rd. Ste 100  
San Diego, CA 92106  
P: 619.330.5445  
F: 619.330.5401

Owner:  
Sea Capital LLC  
3614 Indiana Street  
San Diego, CA 92103  
v: 619.587.2020 F: 619.587.2526

Civil Engineer:  
Allstate Engineering, Inc.  
28441 Rambo California Road, Suite 100  
Torrance, CA 92560  
V: 951.587.2020 F: 951.587.2526

Biological Resources Surveyor:  
Bak Biological, Inc.  
P.O. Box 23518  
Encinitas, CA 92023-5318  
V: 760.672.4590



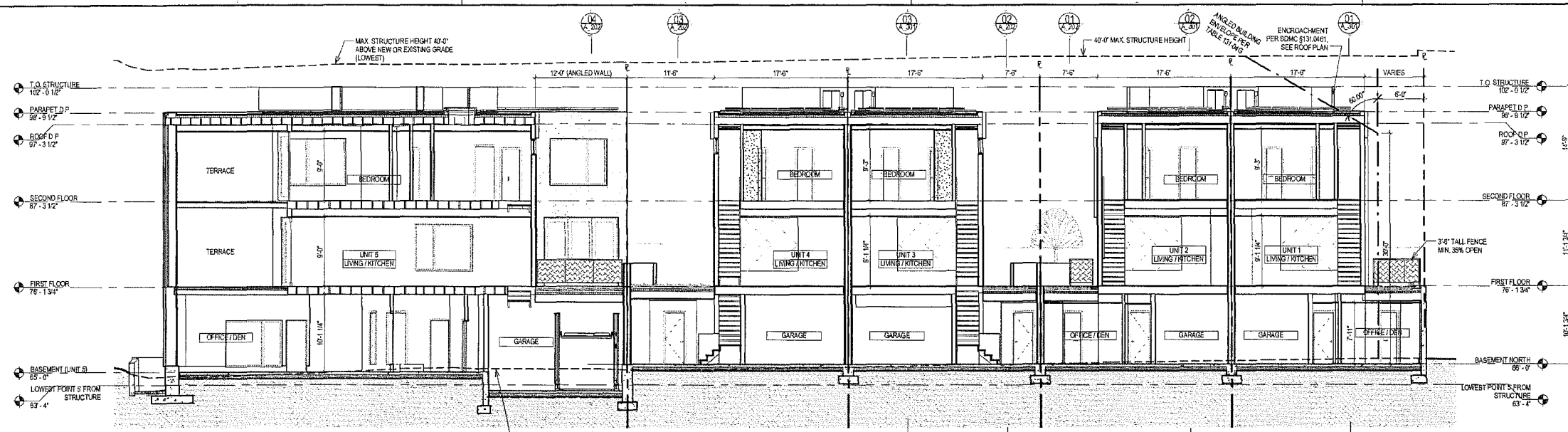
PROJECT PHASE

PRELIM PLAN REVIEW	1	JANUARY 04, 2016
SITE DEVELOPMENT PERMIT	2	MAY 16, 2016
SOP CITY RESUBMITTAL	3	AUGUST 30, 2016
SOP CITY RESUBMITTAL 2	4	OCTOBER 03, 2016

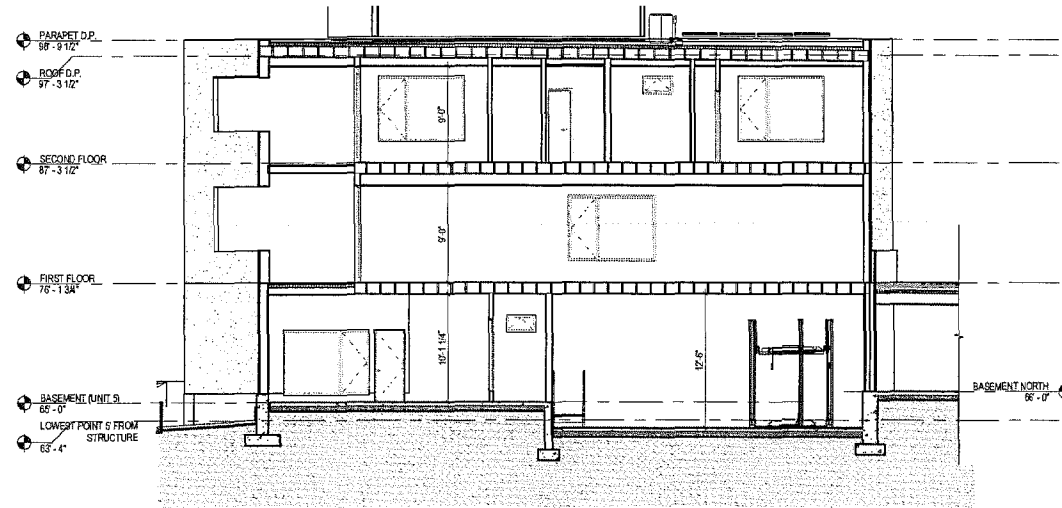
SCALE (AS NOTED)

SECTIONS  
**A\_301**

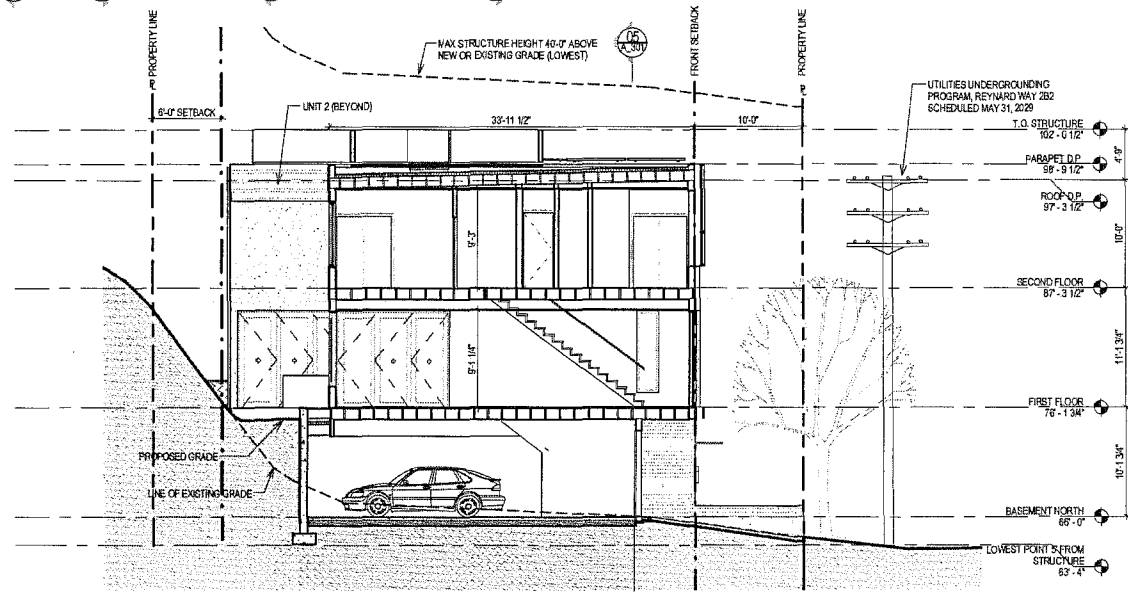
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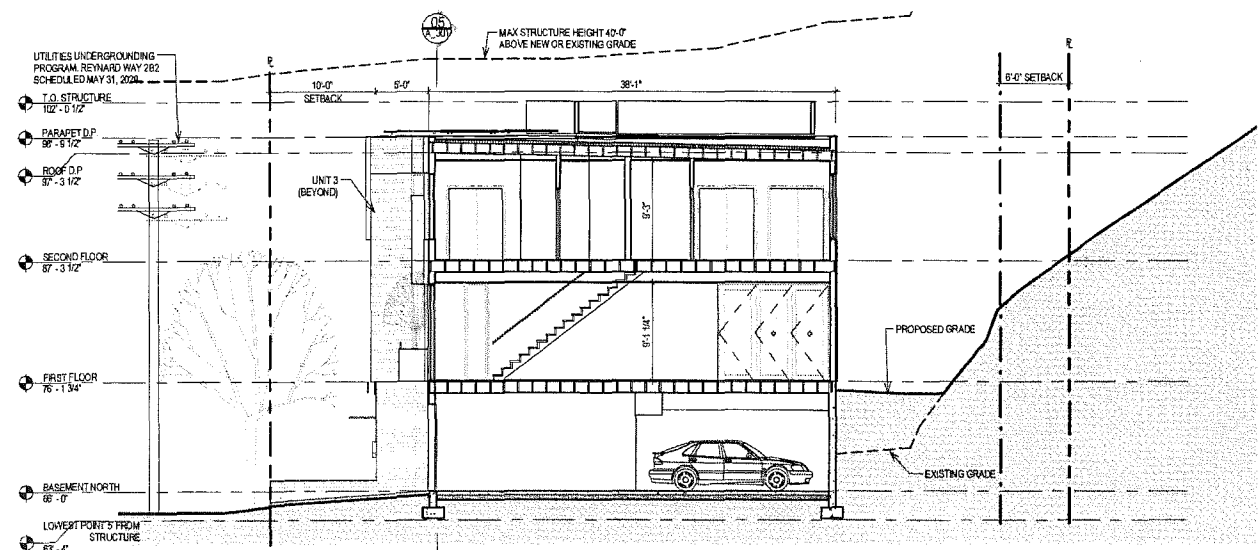
05 LONG SECTION  
SCALE: 1/8" = 1'-0"



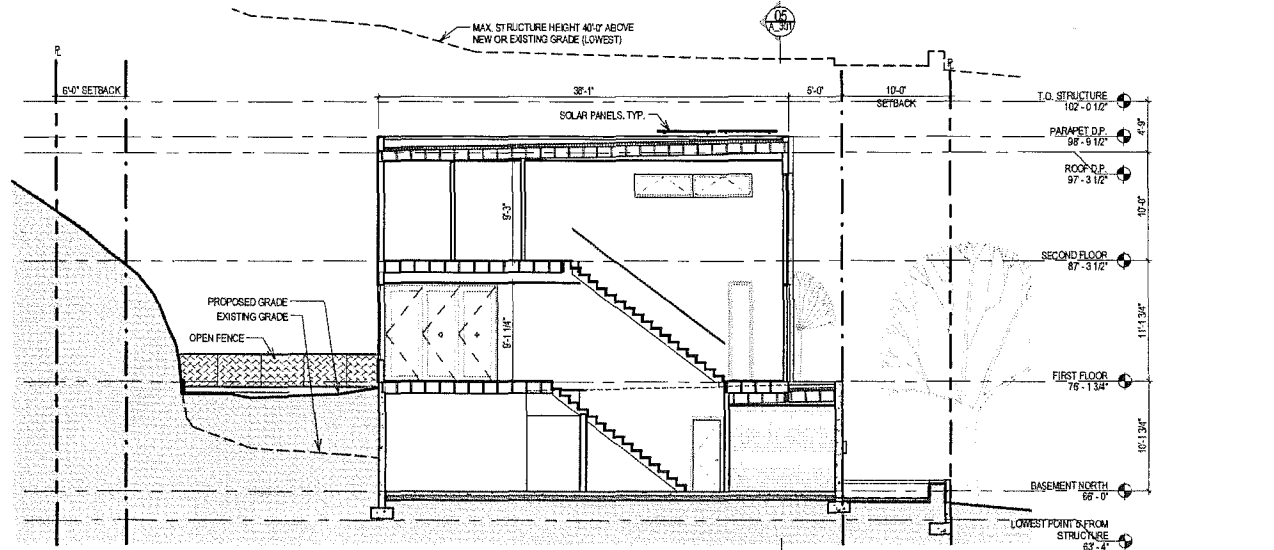
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03 LONG SECTION  
SCALE: 1/8" = 1'-0"



02 LONG SECTION  
SCALE: 1/8" = 1'-0"



01 LONG SECTION  
SCALE: 1/8" = 1'-0"