



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: January 19, 2017 REPORT NO. PC-17-007

HEARING DATE: January 26, 2017

SUBJECT: GRANTVILLE VETERANS; Process Four Decision

PROJECT NUMBER: [497171](#)

OWNER/APPLICANT: Grantville Veteran Housing, L.P., a California Limited Partnership

SUMMARY:

Issue: Should the Planning Commission approval an application to convert an existing hotel into an 85 unit residential building for permanent housing for homeless Veterans and to convert an existing adjacent restaurant/office into a lounge/meeting area with administrative offices on a 1.69-acre site located at 4380 Alvarado Canyon Road in the Navajo Community Plan area?

Staff Recommendations:

1. APPROVE Site Development Permit No. 1746207.

Community Planning Group Recommendation: On October 12, 2016, the Navajo Community Planners, Inc. voted 12-0-0 to recommend approval of the project with a condition for an easement to be granted that allows for future public pedestrian access with appropriate lighting along the Alvarado Creek path (Attachment 10).

Environmental Review: This project is exempt from environmental review pursuant to Article 12.5, Section 15194 (Affordable Housing Exemption) in that the California Environmental Quality Act (CEQA) does not apply to the project because the project meets the threshold criteria set forth in CEQA Section 15192 (Threshold Requirements for Exemptions for Agricultural Housing, Affordable Housing, and Residential Infill Projects). The environmental exemption determination for this project was made on December 15, 2016, and the opportunity to appeal that determination ended December 30, 2016 (Attachment 11). This project is not pending an appeal of the environmental determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total of 85 units), and to convert an existing adjacent restaurant/office into a lounge/meeting area with administrative offices for the facility. The project would provide 84 units of affordable housing to Veterans for households earning at or below 65-percent of area median income for rental units. The project would further the City's affordable housing goals and the '[Housing Our Heroes](#)' program of the San Diego Housing Commission (SDHC). In addition, the project further the goal of '[The 1,000 Homeless Veterans Initiative](#)' to provide housing opportunities to homeless Veterans within the City of San Diego.

BACKGROUND

The project site is located at 4380 Alvarado Canyon Road in the CC-3-9 Zone within the Navajo Community Planning area, and the Community Plan Implementation Overlay Zone (CPIOZ) Type A for Grantville (Attachments 1 through 5). Additionally, the project site is within the Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Airport Land Use Compatibility Overlay Zone for Montgomery Field, Airport Influence Area (Montgomery Field Review Area 2), and the Federal Aviation Administration (FAA) Part 77 Noticing Area for Montgomery Field. The site is located above the 100-year floodplain, and is not located within or adjacent to the City's Multiple Habitat Planning Area and does not contain any Environmentally Sensitive Lands as defined in [SDMC Section 113.0103](#).

The site was previously graded and developed with two commercial buildings consisting of a four-story hotel and a one-story restaurant that were constructed in 1986. The hotel consists of three-stories with 104 rooms over parking, the first level on the western side consists of off-street parking stalls. The site features exterior recreational areas, including a pool. Alvarado Creek runs along the western property line and this portion of the creek is concrete lined.

A significant mobility hub, the Grantville Trolley and Bus Station (served by MTS Bus Routes 901 and 932) is located 500 feet east of the project site along Alvarado Canyon Road. The surrounding properties include a commercial building to the east zoned CC-3-9 and designated in the community plan as Urban Village. The properties to the southwest and south are part of Alvarado Canyon Road and an off-ramp from Interstate 8, and are zoned CC-2-5 and RS-1-1, with the community plan designation as Community Commercial. The roadway areas have no land use designations. The property to the north is undeveloped, is zoned CC-3-9 and is currently in use as a parking lot. The community plan designates it as Business Park-Residential. Alvarado Creek runs along the western property line.

DISCUSSION

Project Description:

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One-hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65-percent of area median income. The CC-3-9 Zone

permits a maximum density of one dwelling unit for each 400 square feet of lot area and the community plan designates the site as Urban Village and allows between 44-109 dwelling units per acre. The project site, occupying 1.69-acres, could accommodate a maximum of 184 dwelling units based on the underlying zone, and 74-184 dwelling units based on the Navajo Community Plan.

Each of the proposed units will contain a full kitchen and one bathroom with a tub/shower. Laundry facilities are provided on each floor of the building. The following table is a breakdown of the unit types:

	Studio Unit	Studio Unit (Combined)	One Bedroom Unit	Two Bedroom Unit (Manager Unit)
Total Square Footage	310-350	288	507	660
Total Unit Type	63	16	5	1

To promote walkability, the project site has been redesigned to allow direct pedestrian connections from the street and the internal pedestrian circulation system, which includes a landscaped walking path with amenities directly adjacent to the creek. Interior pedestrian walkways between the buildings are delineated from traffic areas. The buildings include articulation and offsetting planes to create visual interest. In addition, the materials and colors of all the buildings combined delineate the different buildings and reduce the appearance of the buildings. The existing roof-mounted photovoltaic system consisting of solar panels on the residential building shall remain and provides electricity for the building.

Development of the project requires a Site Development Permit for deviations to the development regulations for an Affordable Housing Project in conformance with [SDMC 143.0920](#), and for a project that does not comply with all of the specific development regulations of the Grantville CPIOZ. Because the project qualifies as an affordable housing project, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Climate Action Plan (CAP) Consistency- A CAP Consistency Checklist was prepared by the applicant and the project was determined to be in conformance with the CAP. CAP Implementation Strategies, include a combination of roofing materials with solar reflection and thermal emittance and “green” building techniques. The energy demand reduction will be provided through a combination of on-site renewable energy generation (existing photovoltaic) and energy performance design elements. The project conserves water by using use low-flow fixtures/appliances and also accommodates for future installation of electric vehicle supply equipment to provide one electric vehicle charging station for the complex. The project is a residential development and though not required, the project will provide 30 bicycle parking spaces on-site for the residents. The project further supports alternatives to automobile use by providing transit passes to each resident in order to take advantage of the nearby transit access.

Airport Land Use Compatibility - The project is located in the Airport Land Use Compatibility Overlay Zone for Montgomery Field, Airport Influence Area (Montgomery Field Review Area 2), and the FAA Part 77 Noticing Area for Montgomery Field. The project proposes a structure height of approximately 135-foot AMSL, below the airspace protection plan of 572 feet AMSL. The project

conforms to the Airport Land Use Compatibility Overlay Zone in [SDMC Chapter 13, Article 2, Division 15](#) and does not require a consistency determination from the Airport Authority or a Determination of No Hazard from the FAA.

Deviations- An applicant may request deviations from the applicable development regulations pursuant to a Site Development Permit provided that findings can be made and the deviation results in a more desirable project. The applicant has requested the following deviations with justifications:

1. Commercial Use: A deviation from [SDMC Section 131.0540\(b\)](#) to provide no commercial use within the development, where the CC-3-9 Zone allows a residential development only when a commercial structure exists on the premises or is a part of the proposed development.

Justification: The existing buildings and site are isolated away from the Grantville CPIOZ commercial core and surrounded by Interstate 8, Alvarado Creek, and the overhead trolley. The requested deviation would not impact the adjacent commercial use and would allow the redevelopment of the existing hotel into permanent housing for homeless Veterans. This facility would be in close proximity to the Grantville commercial core to allow for job opportunities for the Veterans and would be within close proximity to high performing public transit.

2. Residential Storage: A deviation from [SDMC Section 131.0454](#) to not provide any residential storage space for each unit, where the regulations require a personal storage space of at least 240 cubic feet per unit outside of each dwelling unit.

Justification: The building is an adaptive reuse. Its existing architecture, building layout, and required hallways/walkways and circulation pattern does not permit the ability to add exterior storage facilities outside each unit. Further, a program analysis by the applicant determined that the need for additional personal storage space outside of the units is unwarranted. However, the complex does provide for the reuse of an existing storage space on the ground level with small resident lockers, which would contain 15-20 lockers of containing 20 cubic feet of space.

3. Private Open Space: A deviation from [SDMC Section 131.0455](#) to not provide any private open space for the units, where the regulations require a private open space of 50 square feet per unit.

Justification: The building is an adaptive reuse. Its existing architecture, building layout, and required hallways/walkways and circulation pattern do not permit the ability to add private open space for each of the units. Further, a program analysis by the applicant determined that providing common spaces tend to promote integration and a sense of community. Therefore, the project site has been designed to provide an activities area and gathering space for the tenants, including a garden, shaded seating area with moveable game tables, meandering paths and seating areas which includes a pathway and seating along Alvarado Creek. In addition, new exterior common balconies would be added to the eastern side of the residential building on the second and third floors to allow for exterior gathering spaces next to the units.

4. Front Yard Setback: A deviation from [SDMC Section 131.0531\(c\)](#) and [Table 131-05E](#) to retain the existing front yard setback along Alvarado Canyon Road, where the regulations require a maximum 10-foot front yard setback for 70-percent of the yard (Attachment 6-Deviation Location Diagram).

Justification: The existing buildings were constructed in 1986 and met the setback regulations at the time of construction. The adaptive reuse of the existing buildings proposes a new entry structure, the addition of a new entry and exterior balconies to the residential building, and minor modification to the existing detached lounge/meeting and administrative offices building that would not meet the current maximum setback regulations. The intent of the regulation is to promote commercial activities along the street frontage; however, retaining the existing setbacks benefits the redevelopment of the site and promote the sense of community for the residents.

5. Lot Coverage: A deviation from [SDMC Section 131.0531\(c\)](#) and [Table 131-05E](#) to maintain a 25-percent lot coverage, where the regulations require a minimum of 35-percent.

Justification: The existing building were constructed in 1986 and met the lot coverage regulation at the time of construction. The adaptive reuse of the existing buildings proposes a new entry structure, the addition of a new entry and exterior balconies to the residential building, and minor modification to the existing detached lounge/meeting and administrative offices building that would not meet the current minimum lot coverage. The intent of the regulation is to promote commercial activities along the street frontage with a minimum amount of lot coverage; however, the redevelopment of the site for permanent Veteran housing would not meet current minimum lot coverage since the project proposes no additional habitable square footage.

6. Parking: A deviation from [SDMC Section 142.0527](#) and [Table 142-05D](#) to allow for a parking ratio of 0.3 spaces for each residential unit; where the regulations requires a parking ratio of 0.5 spaces for studios, 1.0 spaces for one bedroom units, and 1.3 spaces for two bedroom units.

Justification: The project would be providing a total of 45 on-site parking spaces, including accessible parking spaces, where a total of 63 on-site parking spaces would be required. The requested deviation only applies to the residential parking ratios, while the parking spaces for visitors (13 spaces) and staff (4 spaces) shall comply with the regulations based on the 85 residential unit development. This affordable housing development for Veterans is classified as a Transit Oriented Development (TOD) being located approximately 500 feet from the Grantville Trolley and Bus Station; however, since the project does not include a density bonus provision, it would not be able to utilize the recently adopted State Density Bonus parking ratio reductions. The prospective tenant population of homeless Veterans do not generally own automobiles, and an analysis of the program and other like programs by the applicant has determined that the need for parking spaces is far less and ranges from 0.15-0.25 based on the program and three existing programs analyzed. Though not required, part of the applicant's transportation demand management and part of their incentive program, they will be providing transit passes for their residents.

Each of the requested deviations has been reviewed as it relates to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC. In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

Community and General Plan Analysis:

The project site is located within the Navajo Community Plan (Community Plan) area and is designated Urban Village by the Community Plan. The site is zoned CC-3-9 and is surrounded by Interstate 8, Alvarado Creek, and commercial uses. Urban Villages are described in the City's General Plan as areas that serve the region with many types of uses, including housing, in a high-intensity, mixed-use setting. Integration of commercial and residential use is emphasized; larger, civic uses and facilities are a significant component. Uses include housing, business/professional office, commercial service, and retail (LU-19).

The Urban Village land use designation in the Community Plan allows between 44-109 dwelling units per acre. The proposed project will include 50 units per acre, meeting the density requirement. The Grantville CPIOZ is intended to encourage transit-oriented developments, which will minimize the need for an overreliance on automobiles and emphasize pedestrian orientation and proximity to public transit. It includes supplemental development regulations that reinforce the concept of an interconnection between development projects and the surrounding public transit system. The CPIOZ encourages improvements to Alvarado Creek, site design, and the provision of pedestrian and bicycle infrastructure. As development and redevelopment occurs over time, an elaborate pedestrian and bicycle circulation network that links new development to the Grantville Trolley and Bus Station mobility hub will be achieved through the guidance provided in the Grantville CPIOZ.

The project will provide pedestrian and bicycle accessways through the site and connected to public streets, way-finding signage for pedestrian and bicycle routes to and from the Grantville Trolley and Bus Station and San Diego River, street trees in landscaped parkways, bike racks on the project frontage, solar panels, screened trash enclosures, and a 10-foot sidewalk along Alvarado Canyon Road toward the Grantville Trolley Station.

The project includes features to accomplish the Community Plan goals related to Alvarado Creek. The project will provide a landscaped walking path for residents with amenities directly adjacent to the creek. Upon the development of the adjacent parcels, this path may be integrated into a walking path along the entire Creek, creating a pedestrian-friendly amenity and additional access to the Grantville Trolley and Bus Station. Collectively, these amenities help the project meet the intent of the Grantville CPIOZ at it relates to pedestrian orientation and access to transit.

The project adds affordable housing into a walkable, transit-oriented community. Future residents will have transit passes and walkable access to the trolley and bus lines and as Grantville continues to redevelop, the project will be integrated into an urban village setting where car ownership is no

longer a necessity. The project's location, density, and amenities meet the intent of the Community Plan, and the project is consistent with the Community Plan.

Community Planning Group:

On October 12, 2016, the Navajo Community Planners, Inc. voted 12-0-0 to recommend approval of the project with a condition for an easement to be granted that allows for future public pedestrian access with appropriate lighting along the Alvarado Creek path. Staff does not recommend adding a condition of approval that would require such an easement because there are no pathways along Alvarado Creek on the adjacent properties. Though the building and electrical codes do not have requirements to illuminate the pathway, the applicant will evaluate possible options with their consultants; however, any outdoor lighting shall comply with [SDMC Section 142.0740](#) and is a condition within the Site Development Permit.

Conclusion:

With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC and the adopted Navajo Community Plan and the General Plan. In addition, the project would further the City's affordable housing goals by developing permanent affordable housing for Veterans that are currently homeless.

ALTERNATIVES

1. APPROVE Site Development Permit No. 1746207, with modifications.
2. DENY Site Development Permit No. 1746207, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe
Deputy Director
Development Services Department



Jeffrey A. Peterson
Development Project Manager
Development Services Department

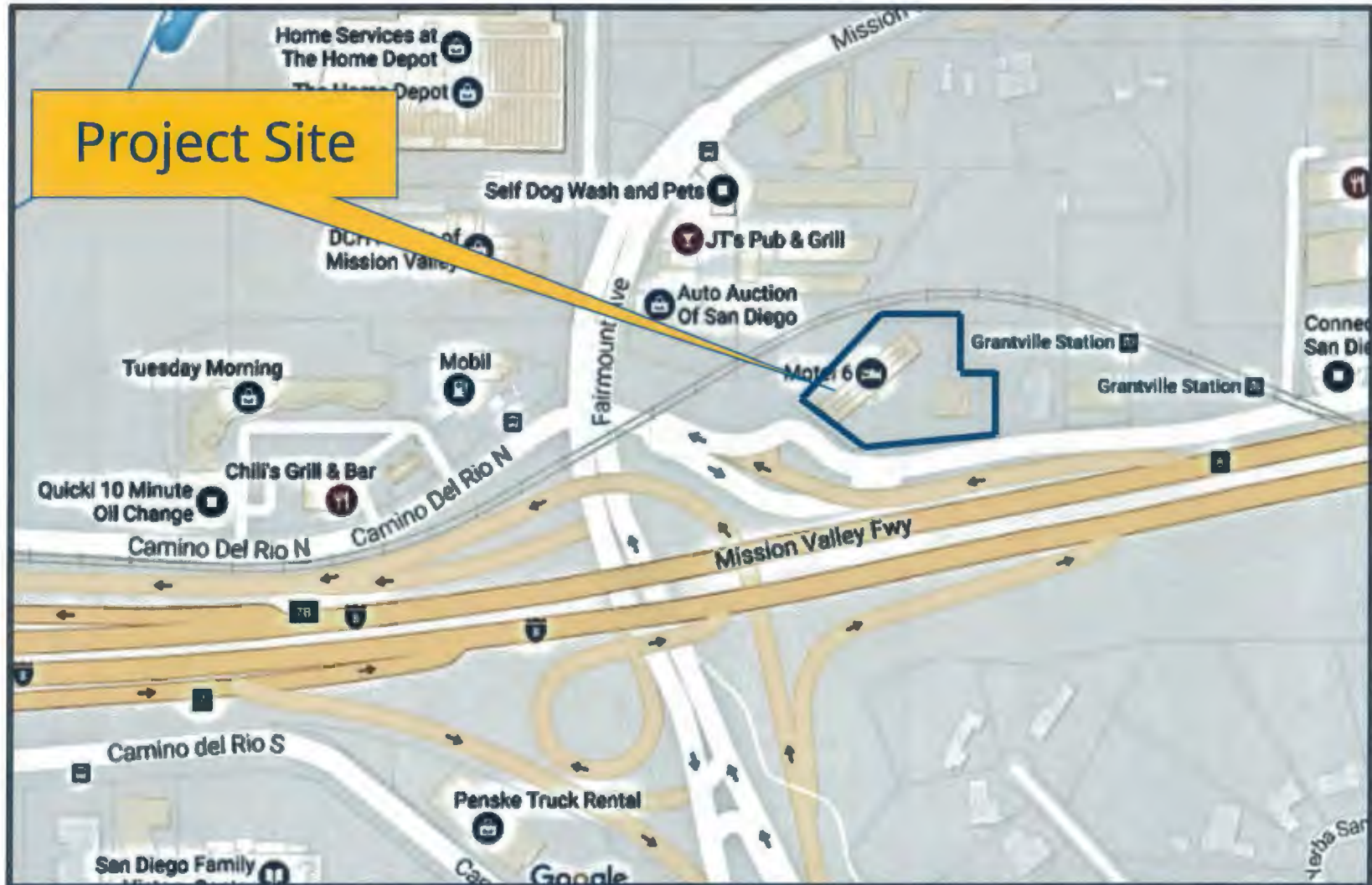
LOWE/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Grantville CPIOZ Map

6. Deviation Location Diagram
7. Project Data Sheet
8. Draft SDP Permit Resolution with Findings
9. Draft SDP Permit with Conditions
10. Community Planning Group Recommendation
11. Environmental Exemption
12. Ownership Disclosure Statement
13. Project Plans

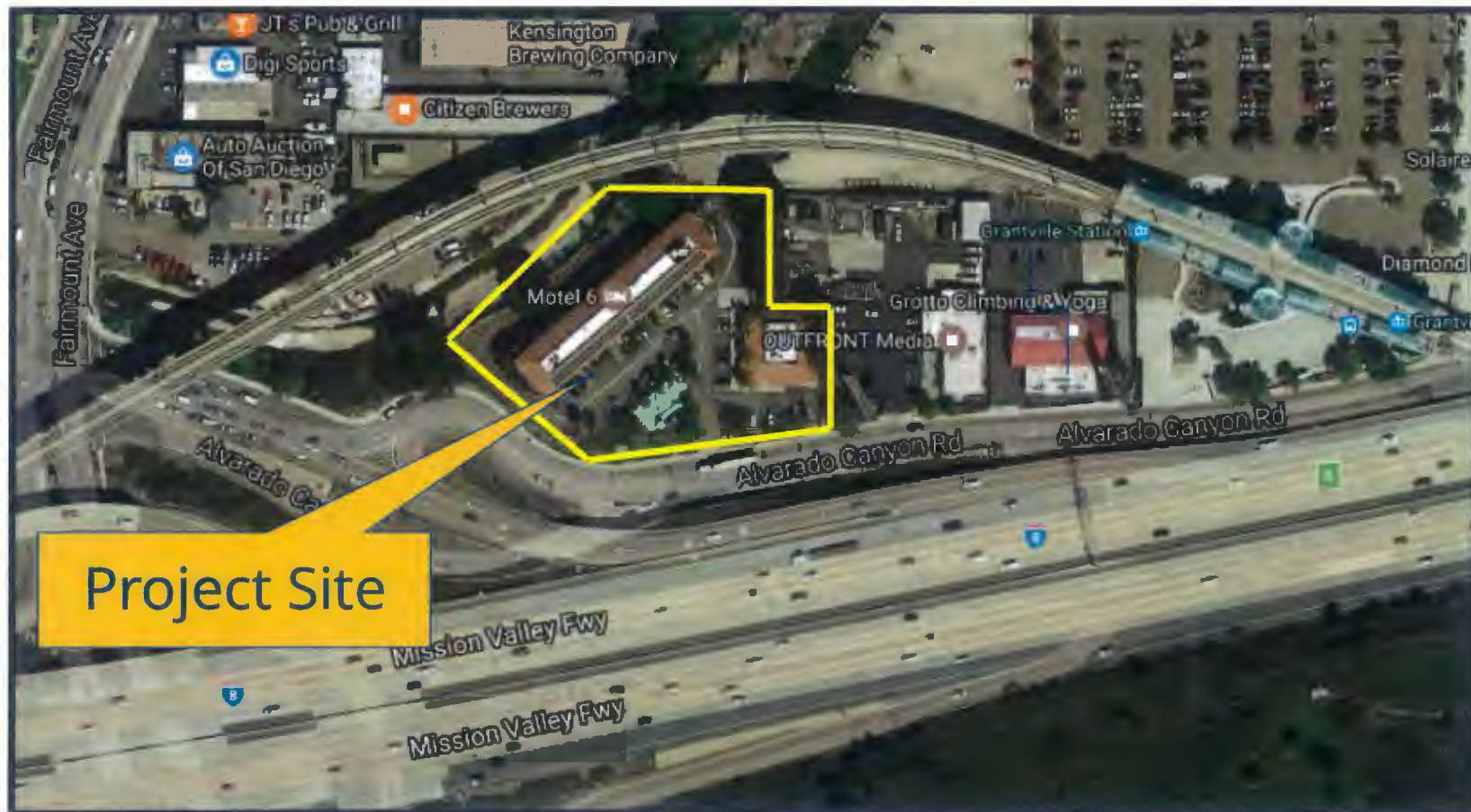
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Location Map

GRANTVILLE VETERANS - PROJECT NO. 497171
4380 Alvarado Canyon Road



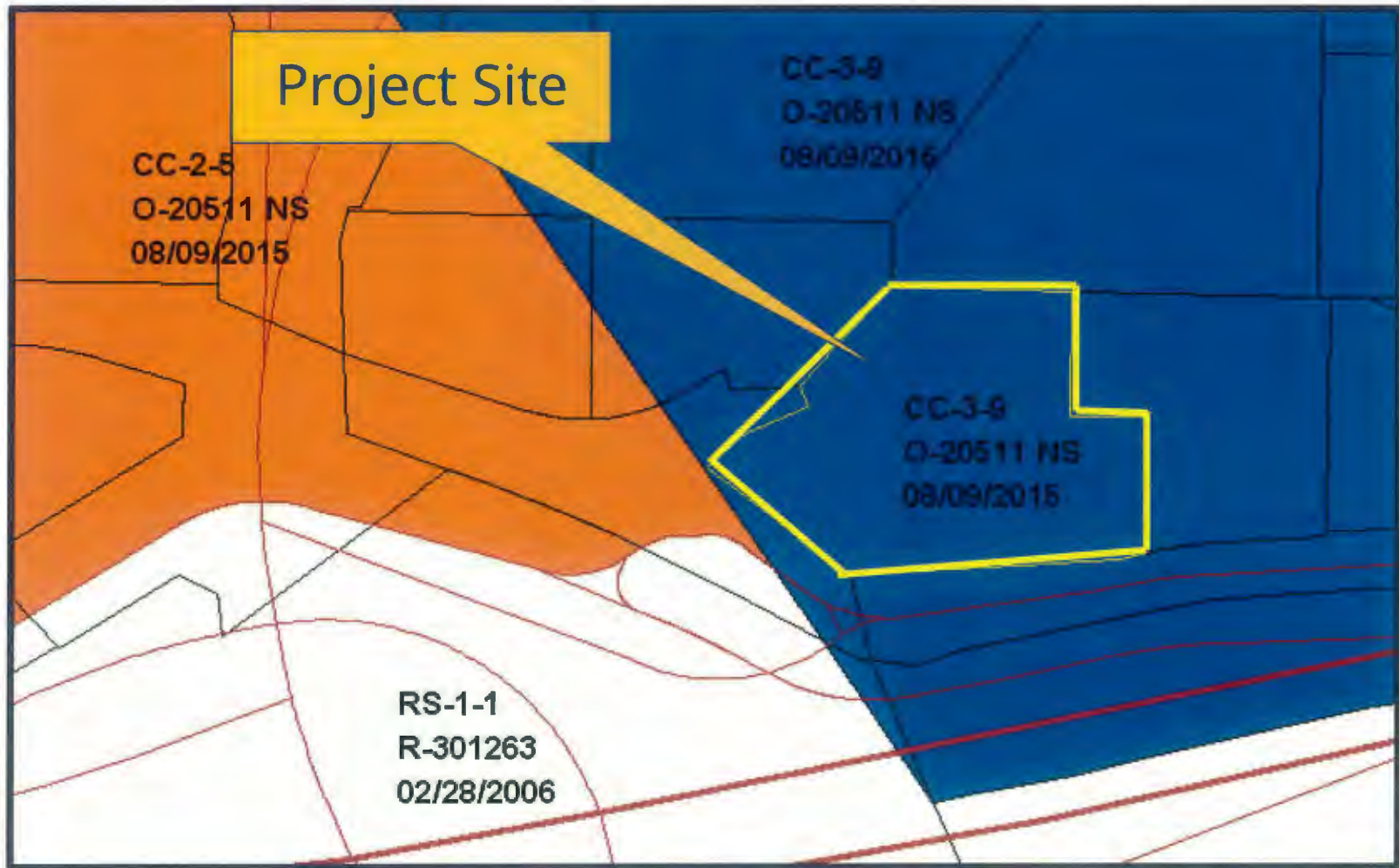


Aerial Photograph

GRANTVILLE VETERANS - PROJECT NO. 497171

4380 Alvarado Canyon Road

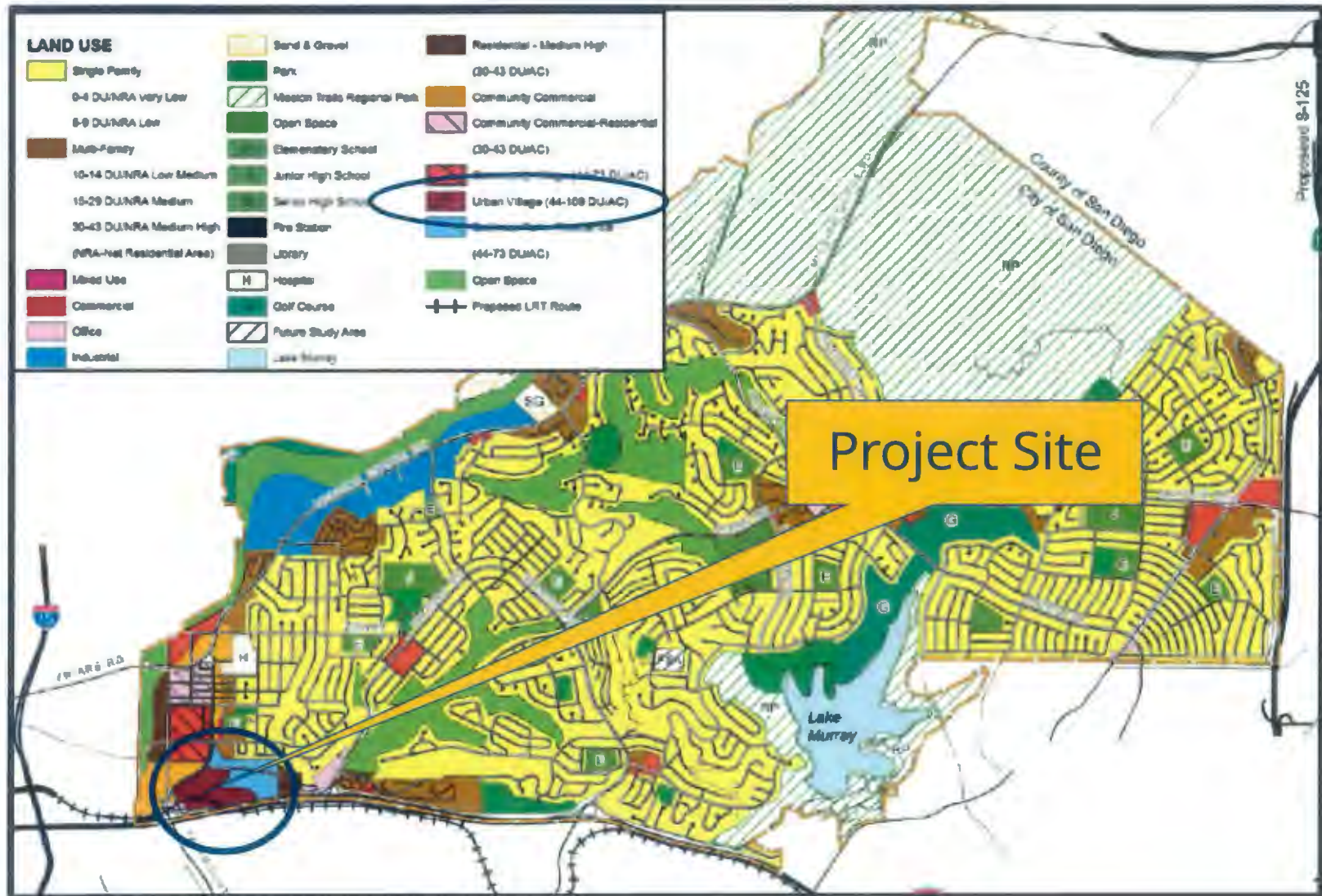




Zoning Map

GRANTVILLE VETERANS - PROJECT NO. 497171
4380 Alvarado Canyon Road



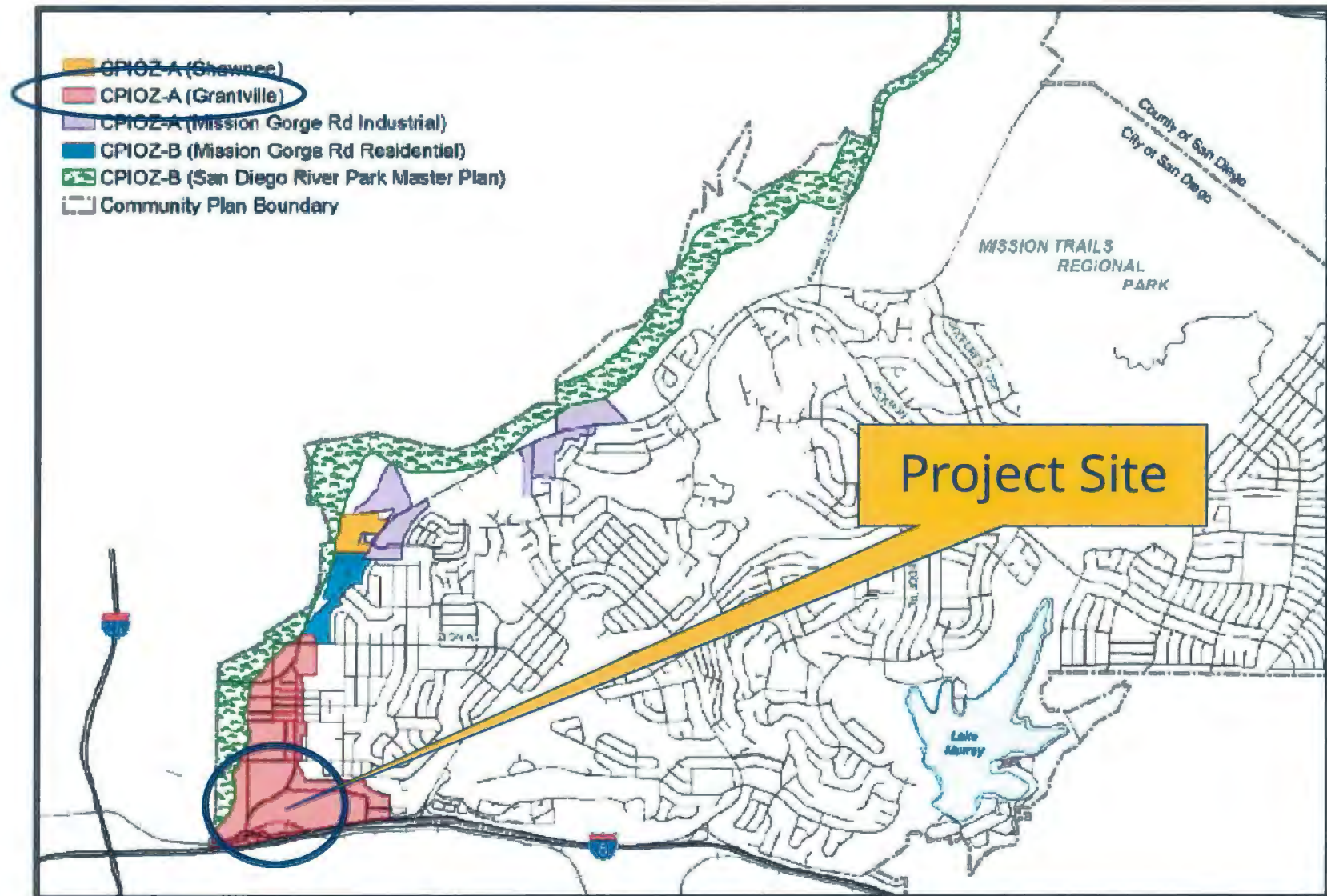


Community Land Use Map

GRANTVILLE VETERANS - PROJECT NO. 497171

4380 Alvarado Canyon Road

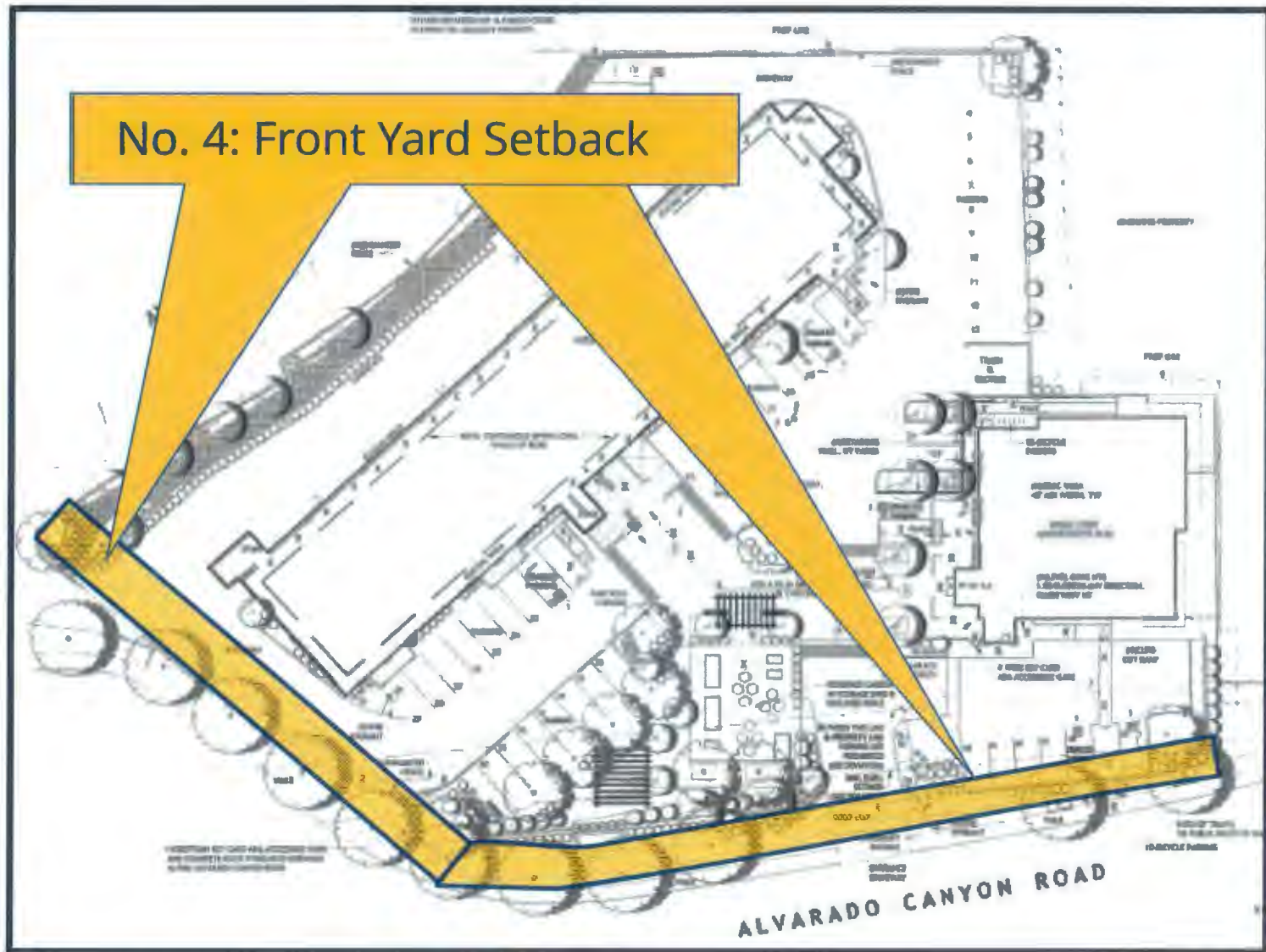




CPIOZ Map

GRANTVILLE VETERANS - PROJECT NO. 497171
 4380 Alvarado Canyon Road





Deviation Location Diagram (No. 4 Only)

GRANTVILLE VETERANS - PROJECT NO. 497171

4380 Alvarado Canyon Road



PROJECT DATA SHEET		
PROJECT NAME:	Grantville Veterans –Project No. 497171	
PROJECT DESCRIPTION:	Convert an existing hotel into an 85 unit residential building for permanent housing for homeless Veterans and to convert an existing adjacent restaurant/office into a lounge/meeting area with administrative offices on a 1.69-acre site located at 4380 Alvarado Canyon Road.	
COMMUNITY PLAN AREA:	Navajo	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Urban Village	
<p align="center"><u>ZONING INFORMATION:</u></p> <p> ZONE: CC-3-9 Zone (Grantville CPIOZ) HEIGHT LIMIT: None LOT SIZE: 2,00 Square Foot Minimum FLOOR AREA RATIO: 2.0 Minimum for Residential FRONT SETBACK: 10 Feet for 70 Percent Of Yard SIDE SETBACK: 10 Feet STREETSIDE SETBACK: 10 Feet REAR SETBACK: 10 Feet PARKING: 63 Spaces Total for Proposed Development </p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Business Park-Residential, CC-3-9	Undeveloped
SOUTH:	Community Commercial, CC-2-5 and RS-1-1	Alvarado Canyon Road and an off-ramp from Interstate 8
EAST:	Urban Village, CC-3-9	Commercial
WEST:	Urban Village, CC-3-9, CC-2-5, and RS-1-1	Alvarado Canyon Road and an off-ramp from Interstate 8, and Commercial
DEVIATIONS	Deviations for commercial use, residential storage, private open space, front yard setback, lot coverage, and parking.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 12, 2016, the Navajo Community Planners, Inc. voted 12-0-0 to recommend approval of the project with a condition for an easement to be granted that allows for future public pedestrian access with appropriate lighting along the Alvarado Creek path.	

PLANNING COMMISSION
 RESOLUTION NO. _____
 SITE DEVELOPMENT PERMIT NO. 1746207
GRANTVILLE VETERANS - PROJECT NO. 497171

WHEREAS, GRANTVILLE VETERAN HOUSING, L.P., a California Limited Partnership, Owner and Permittee, filed an application with the City of San Diego for a permit to convert an existing hotel into an 85 unit residential building for permanent housing for homeless Veterans and to convert an existing adjacent restaurant/office building into a lounge/meeting area with administrative offices for the facility (as described in and by reference to the approved Exhibits 'A' and corresponding conditions of approval for the associated Permit No. 1746207), on portions of a 1.69-acre site; and

WHEREAS, the project site is located at 4380 Alvarado Canyon Road in the CC-3-9 Zone within the Navajo Community Planning area, and the Community Plan Implementation Overlay Zone (CPIOZ) Type A for Grantville. Additionally, the project site is within the Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Airport Land Use Compatibility Overlay Zone for Montgomery Field, Airport Influence Area (Montgomery Field Review Area 2), and the Federal Aviation Administration (FAA) Part 77 Noticing Area for Montgomery Field; and

WHEREAS, the project site is legally described as Parcel 2 of Parcel Map 13761, in the City of San Diego, State of California, recorded in the Office of the County Recorder of San Diego County, on April 24, 1985; and

WHEREAS, on January 26, 2017, the Planning Commission of the City of San Diego considered Site Development Permit No. 1746207, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 15, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Article 12.5, Section 15194 (Affordable Housing Exemption); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 26, 2017.

FINDINGS:

I. Site Development Permit - Section §126.0504

A. Findings for all Site Development Permits

- 1. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 4380 Alvarado Canyon Road in the CC-3-9 Zone within the Navajo Community Planning area, and the Community Plan Implementation Overlay Zone Type A for Grantville (Grantville CPIOZ-A). The CC-3-9 Zone permits a maximum density of one dwelling unit for each 400 square feet of lot area and the community plan designates the site as Urban Village and allows between 44-109 dwelling units per acre. The project site, occupying 1.69-acres, could accommodate a maximum of 184 dwelling units based on the underlying zone, and 74-184 dwelling units based on the Navajo Community Plan.

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income.

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 12.5, Section 15194 (Affordable Housing Exemption) in that California Environmental Quality Act (CEQA) does not apply to the project because the project meets the threshold criteria set forth in CEQA Section 15192 (Threshold Requirements for Exemptions for Agricultural Housing, Affordable Housing, and Residential Infill Projects).

The project will be required to obtain building permits and a public improvement permit prior to the construction of the multi-family development. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions are necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit (SDP) No. 1746207, and other regulations and guidelines pertaining

to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income.

An applicant may request deviations from the applicable development regulations pursuant to an SDP provided that findings can be made and the deviation results in a more desirable project. The following are the requested deviations with justifications:

1. Commercial Use: A deviation from SDMC Section 131.0540(b) to provide no commercial use within the development, where the CC-3-9 Zone allows a residential development only when a commercial structure exists on the premises or is a part of the proposed development.

Justification: The existing buildings and site are isolated away from the Grantville CPIOZ commercial core and surrounded by Interstate 8, Alvarado Creek, and the overhead trolley. The requested deviation would not impact the adjacent commercial use and would allow the redevelopment of the existing hotel into permanent housing for homeless Veterans. This facility would be in close proximity to the Grantville commercial core to allow for job opportunities for the Veterans and would be within close proximity to high performing public transit.

2. Residential Storage: A deviation from SDMC Section 131.0454 to not provide any residential storage space for each unit, where the regulations require a personal storage space of at least 240 cubic feet per unit outside of each dwelling unit.

Justification: The building is an adaptive reuse. Its existing architecture, building layout, and required hallways/walkways and circulation pattern does not permit the ability to add exterior storage facilities outside each unit. Further, a program analysis by the applicant determined that the need for additional personal storage space outside of the units is unwarranted. However, the complex does provide for the reuse of an existing storage space on the ground level with small resident lockers, which would contain 15-20 lockers of containing 20 cubic feet of space.

3. Private Open Space: A deviation from SDMC Section 131.0455 to not provide any private open space for the units, where the regulations require a private open space of 50 square feet per unit.

Justification: The building is an adaptive reuse. Its existing architecture, building layout, and required hallways/walkways and circulation pattern do not permit the ability to add private open space for each of the units. Further, a program analysis by the applicant determined that providing common spaces tend to promote integration and a sense of community. Therefore, the project site has been designed to provide an activities area and gathering space for the tenants, including a garden, shaded seating area with moveable game tables, meandering paths and seating areas which includes a pathway and seating along Alvarado Creek. In addition, new exterior common balconies would be added to the eastern side of the residential building on the second and third floors to allow for exterior gathering spaces next to the units.

4. Front Yard Setback: A deviation from SDMC Section 131.0531(c) and Table 131-05E to retain the existing front yard setback along Alvarado Canyon Road, where the regulations require a maximum 10-foot front yard setback for 70-percent of the yard.

Justification: The existing buildings were constructed in 1986 and met the setback regulations at the time of construction. The adaptive reuse of the existing buildings proposes a new entry structure, the addition of a new entry and exterior balconies to the residential building, and minor modification to the existing detached lounge/meeting and administrative offices building that would not meet the current maximum setback regulations. The intent of the regulation is to promote commercial activities along the street frontage; however, retaining the existing setbacks benefits the redevelopment of the site and promote the sense of community for the residents.

5. Lot Coverage: A deviation from SDMC Section 131.0531(c) and Table 131-05E to maintain a 25-percent lot coverage, where the regulations require a minimum of 35-percent.

Justification: The existing building were constructed in 1986 and met the lot coverage regulation at the time of construction. The adaptive reuse of the existing buildings proposes a new entry structure, the addition of a new entry and exterior balconies to the residential building, and minor modification to the existing detached lounge/meeting and administrative offices building that would not meet the current minimum lot coverage. The intent of the regulation is to promote commercial activities along the street frontage with a minimum amount of lot coverage; however, the redevelopment of the site for permanent Veteran housing would not meet current minimum lot coverage since the project proposes no additional habitable square footage.

6. Parking: A deviation from SDMC Section 142.0527 and Table 142-05D to allow for a parking ratio of 0.3 spaces for each residential unit; where the regulations requires a parking ratio of 0.5 spaces for studios, 1.0 spaces for one bedroom units, and 1.3 spaces for two bedroom units.

Justification: The project would be providing a total of 45 on-site parking spaces, including accessible parking spaces, where a total of 63 on-site parking spaces would be required. The requested deviation only applies to the residential parking ratios, while the parking spaces for visitors (13 spaces) and staff (4 spaces) shall comply with the regulations based on the 85 residential unit development. This affordable housing development for Veterans is classified as a Transit Oriented Development (TOD) being located approximately 500 feet from the Grantville Trolley and Bus Station; however, since the project does not include a density bonus provision, it would not be able to utilize the recently adopted State Density Bonus parking ratio reductions. The prospective tenant population of homeless Veterans do not generally own automobiles, and an analysis of the program and other like programs by the applicant has determined that the need for parking spaces is far less and ranges from 0.15-0.25 based on the program and three existing programs analyzed. Though not required, part of the applicant's transportation demand management and part of their incentive program, they will be providing transit passes for their residents.

Each of the requested deviations has been reviewed as it relates to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the SDMC. In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income.

Therefore, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities. In addition, the energy demand reduction will be provided through a combination of on-site renewable energy generation (existing photovoltaic) and energy performance design elements proposed. The redevelopment of the existing building has taken into account the best use of the land to minimize grading and the design will not impede or inhibit any future passive or natural heating and cooling opportunities.

2. The development will not be inconsistent with the purpose of the underlying zone.

The project site is located at 4380 Alvarado Canyon Road in the CC-3-9 Zone within the Navajo Community Planning area, and the Grantville CPIOZ-A. The CC-3-9 Zone permits a maximum density of one dwelling unit for each 400 square feet of lot area and the community plan designates the site as Urban Village and allows between 44-109 dwelling units per acre. The project site, occupying 1.69-acres, could accommodate a maximum of 184 dwelling units based on the underlying zone, and 74-184 dwelling units based on the Navajo Community Plan.

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income. Therefore, the proposed development is consistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income.

An applicant may request deviations from the applicable development regulations pursuant to an SDP provided that findings can be made and the deviation results in a more desirable project. The following are the requested deviations with justifications:

1. Commercial Use: A deviation from SDMC Section 131.0540(b) to provide no commercial use within the development, where the CC-3-9 Zone allows a residential development only when a commercial structure exists on the premises or is a part of the proposed development.

Justification: The existing buildings and site are isolated away from the Grantville CPIOZ commercial core and surrounded by Interstate 8, Alvarado Creek, and the overhead trolley. The requested deviation would not impact the adjacent commercial use and would allow the redevelopment of the existing hotel into permanent housing for homeless Veterans. This facility would be in close proximity to the Grantville commercial core to allow for job opportunities for the Veterans and would be within close proximity to high performing public transit.

2. Residential Storage: A deviation from SDMC Section 131.0454 to not provide any residential storage space for each unit, where the regulations require a personal storage space of at least 240 cubic feet per unit outside of each dwelling unit.

Justification: The building is an adaptive reuse. Its existing architecture, building layout, and required hallways/walkways and circulation pattern does not permit the ability to add exterior storage facilities outside each unit. Further, a program analysis by the applicant determined that the need for additional personal storage space outside of the units is unwarranted. However, the complex does provide for the reuse of an existing storage space on the ground level with small resident lockers, which would contain 15-20 lockers of containing 20 cubic feet of space.

3. Private Open Space: A deviation from SDMC Section 131.0455 to not provide any private open space for the units, where the regulations require a private open space of 50 square feet per unit.

Justification: The building is an adaptive reuse. Its existing architecture, building layout, and required hallways/walkways and circulation pattern do not permit the ability to add private open space for each of the units. Further, a program analysis by the applicant determined that providing common spaces tend to promote integration and a sense of community. Therefore, the project site has been designed to provide an activities area and gathering space for the tenants, including a garden, shaded seating area with moveable game tables, meandering paths and seating areas which includes a pathway and seating along Alvarado Creek. In addition, new exterior common balconies would be added to the eastern side of the residential building on the second and third floors to allow for exterior gathering spaces next to the units.

4. Front Yard Setback: A deviation from SDMC Section 131.0531(c) and Table 131-05E to retain the existing front yard setback along Alvarado Canyon Road, where the regulations require a maximum 10-foot front yard setback for 70-percent of the yard.

Justification: The existing buildings were constructed in 1986 and met the setback regulations at the time of construction. The adaptive reuse of the existing buildings proposes a new entry structure, the addition of a new entry and exterior balconies to the residential building, and minor modification to the existing detached lounge/meeting and administrative offices building that would not meet the current maximum setback regulations. The intent of the regulation is to promote commercial

activities along the street frontage; however, retaining the existing setbacks benefits the redevelopment of the site and promote the sense of community for the residents.

5. Lot Coverage: A deviation from SDMC Section 131.0531(c) and Table 131-05E to maintain a 25-percent lot coverage, where the regulations require a minimum of 35-percent.

Justification: The existing building were constructed in 1986 and met the lot coverage regulation at the time of construction. The adaptive reuse of the existing buildings proposes a new entry structure, the addition of a new entry and exterior balconies to the residential building, and minor modification to the existing detached lounge/meeting and administrative offices building that would not meet the current minimum lot coverage. The intent of the regulation is to promote commercial activities along the street frontage with a minimum amount of lot coverage; however, the redevelopment of the site for permanent Veteran housing would not meet current minimum lot coverage since the project proposes no additional habitable square footage.

6. Parking: A deviation from SDMC Section 142.0527 and Table 142-05D to allow for a parking ratio of 0.3 spaces for each residential unit; where the regulations requires a parking ratio of 0.5 spaces for studios, 1.0 spaces for one bedroom units, and 1.3 spaces for two bedroom units.

Justification: The project would be providing a total of 45 on-site parking spaces, including accessible parking spaces, where a total of 63 on-site parking spaces would be required. The requested deviation only applies to the residential parking ratios, while the parking spaces for visitors (13 spaces) and staff (4 spaces) shall comply with the regulations based on the 85 residential unit development. This affordable housing development for Veterans is classified as a TOD being located approximately 500 feet from the Grantville Trolley and Bus Station; however, since the project does not include a density bonus provision, it would not be able to utilize the recently adopted State Density Bonus parking ratio reductions. The prospective tenant population of homeless Veterans do not generally own automobiles, and an analysis of the program and other like programs by the applicant has determined that the need for parking spaces is far less and ranges from 0.15-0.25 based on the program and three existing programs analyzed. Though not required, part of the applicant's transportation demand management and part of their incentive program, they will be providing transit passes for their residents.

Each of the requested deviations has been reviewed as it relates to the proposed design of the project, the property configuration, and the surrounding development. The deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing commercial lot for residential use, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use,

design guidelines, and development standards in effect for this site per the SDMC. In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1746207 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1746207, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: January 26, 2017

Internal Order No. 24006798

RECORDING REQUESTED BY

CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006798

SITE DEVELOPMENT PERMIT NO. 1746207
GRANTVILLE VETERANS - PROJECT NO. 497171
PLANNING COMMISSION

This Site Development Permit No. 1746207 is granted by the Planning Commission of the City of San Diego to GRANTVILLE VETERAN HOUSING, L.P., a California Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The 1.69-acre site is located at 4380 Alvarado Canyon Road in the CC-3-9 Zone within the Navajo Community Planning area, and the Community Plan Implementation Overlay Zone (CPIOZ) Type A for Grantville. Additionally, the project site is within the Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Airport Land Use Compatibility Overlay Zone for Montgomery Field, Airport Influence Area (Montgomery Field Review Area 2), and the Federal Aviation Administration (FAA) Part 77 Noticing Area for Montgomery Field. The project site is legally described as Parcel 2 of Parcel Map 13761, in the City of San Diego, State of California, recorded in the Office of the County Recorder of San Diego County, on April 24, 1985.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to convert an existing hotel into an 85 unit residential building for permanent housing for homeless Veterans and to convert an existing adjacent restaurant/office into a lounge/meeting area with administrative offices; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit 'A'] dated January 26, 2017, on file in the Development Services Department.

The project shall include:

- a. The project proposes the conversion of an existing 104 room hotel into an 84 unit residential building for permanent housing for homeless Veterans, and one manager unit (total 85 units). The adjacent restaurant/office building will be converted into a lounge/meeting area with administrative offices for the facility. One hundred percent of the Veteran units provided will be affordable rental units for households earning at or below 65 percent of area median income. The residential building will contain 63 studio

units, 16 combined studio units, 5 one-bedroom units, and one two-bedroom unit (manager unit). Each of the proposed units will contain a full kitchen, one bathroom with a tub/shower, and laundry facilities are provided on each floor of the building;

b. Deviations from the SDMC:

- 1) Commercial Use: A deviation from SDMC Section 131.0540(b) to provide no commercial use within the development, where the CC-3-9 Zone allows a residential development only when a commercial structure exists on the premises or is a part of the proposed development;
- 2) Residential Storage: A deviation from SDMC Section 131.0454 to not provide any residential storage space for each unit, where the regulations require a personal storage space of at least 240 cubic feet per unit outside of each dwelling unit;
- 3) Private Open Space: A deviation from SDMC Section 131.0455 to not provide any private open space for the units, where the regulations require a private open space of 50 square feet per unit;
- 4) Front Yard Setback: A deviation from SDMC Section 131.0531(c) and Table 131-05E to retain the existing front yard setback along Alvarado Canyon Road, where the regulations require a maximum 10-foot front yard setback for 70-percent of the yard;
- 5) Lot Coverage: A deviation from SDMC Section 131.0531(c) and Table 131-05E to maintain a 25-percent lot coverage, where the regulations require a minimum of 35-percent; and
- 6) Parking: A deviation from SDMC Section 142.0527 and Table 142-05D to allow for a parking ratio of 0.3 spaces for each residential unit; where the regulations requires a parking ratio of 0.5 spaces for studios, 1.0 spaces for one bedroom units, and 1.3 spaces for two bedroom units;

c. Landscaping (planting, irrigation and landscape related improvements);

d. Off-street parking;

e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1

of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **February 9, 2020**.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this

Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL REQUIREMENTS:

11. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable. The Owner/Permittee shall have surveys conducted for the presence of hazardous building materials such as asbestos-containing materials, lead-containing surfaces, and other materials falling under Universal Waste Rule (UWR) requirements. The surveys shall be conducted by California Department of Public Health Certified Lead Inspector/Assessors and California Division of Occupational Safety and Health Certified Asbestos Consultants in accordance with applicable local, state, and federal guidelines and regulations.

12. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable. The Owner/Permittee shall have appropriate abatement measures implemented by a licensed abatement contractor using trained and certified workers and supervisors.

13. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable. The

Owner/Permittee shall submit an exterior to interior noise analysis to identify the appropriate sound transmission reduction measures necessary to achieve an interior noise level that would not exceed 45dBA as discussed in the Exterior Noise Analysis Report (December 12, 2016) prepared by dBF Associates, Inc. and implement those measures.

CLIMATE ACTION PLAN (CAP) REQUIREMENTS:

14. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit 'A.' Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

15. The Climate Action Plan strategies as identified on Exhibit 'A' shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

16. Prior to the issuance of any building permits, the Owner/Permittee shall enter into an affordable housing agreement with the San Diego Housing Commission to provide affordable housing units in compliance with the City's Inclusionary Affordable Housing Regulations (SDMC §142.1301 et seq.).

GEOLOGY REQUIREMENTS:

17. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed and approved for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

18. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed and approved for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

ENGINEERING REQUIREMENTS:

19. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for existing back flow preventer devices in public Right of Way.

21. Prior to issuance of any building permit, the Owner/Permittee shall relocate existing back flow preventer to private property if the need to upgrade any of existing services arise, as determined by and satisfactory to the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Alvarado Canyon Road, satisfactory to the City Engineer.
23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct existing driveway with a minimum of 24 feet wide City Standard driveway on Alvarado Canyon Road, satisfactory to the City Engineer.
24. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
25. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
27. Prior to issuance of any building permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).
28. Prior to issuance of any building permits, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.
29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape

Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

LONG RANGE PLANNING REQUIREMENTS:

31. The Owner/Permittee shall provide all indoor and outdoor amenities shown on the Exhibit 'A,' including the community garden space in the front of the building, the pathway in the back of the residential building, and facilities in the office building and construction documents shall be in substantial conformance with Exhibit 'A.'

32. The Owner/Permittee shall provide all pedestrian and bicycling amenities included in the proposed project shall be provided and construction documents shall be in substantial conformance with Exhibit 'A.'

33. The Owner/Permittee shall use the existing solar panels to provide electricity to the residential building.

34. The Owner/Permittee shall provide wayfinding signage directing pedestrians to the San Diego River and Grantville Trolley Station shall be provided and construction documents shall be in substantial conformance with Exhibit 'A.'

PLANNING/DESIGN REQUIREMENTS:

35. The 4,885 square foot detached administrative building is accessory to the proposed multiple dwelling unit development and will provide services, administrative functions, and common amenities for use by residents only, and will not be available or converted for the general public use.

36. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the approved written agreement with the San Diego Housing Commission [Agreement] that incorporates applicable affordability conditions consistent with the SDMC.

37. A topographical survey conforming to the provisions of the SDMC may be required if it is determined by the City, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

38. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit 'A' or City-wide sign regulations.

39. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

40. No fewer than 45 automobile spaces shall be maintained on the site at all times in the approximate locations shown in Exhibit 'A.' All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

41. The Owner/Permittee shall provide and maintain 10 foot x 10 foot visibility area along the property line on both sides of the driveway. No obstacles higher than 36 inches shall be located within this area (e.g. walls, landscaping, shrubs, etc.).

42. The Owner/Permittee shall provide and maintain an adequate sight distance on the left and right sides of the driveway. No obstacles higher than 36 inches shall be located within this area (e.g. walls, landscaping, shrubs, etc.), satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

43. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

47. Prior to the issuance of any construction permit, the Owner/Permittee shall record the required 20-foot sewer access easement for the benefit of the City of San Diego.

48. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

49. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

50. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten (10) feet of any sewer facilities or within five (5) feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on January 26, 2017, and Resolution No. _____.

Permit Type/PTS Approval No.: SDP No. 1746207

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

NOTE: Notary acknowledgment
must be attached per Civil Code
Section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this
Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

GRANTVILLE VETERAN HOUSING, L.P.,
a California Limited Partnership,
Owner and Permittee

By _____
Print Name:
Title:

NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Grantville Veterans		Project Number: 497171		Distribution Date: 11/21/2016	
Project Scope/Location: (Process 4) Site Development Permit for a deviation from the development regulations for the conversion of an existing motel to an 85 aff unit multi-family apartment building for permanent Veteran's Housing and Administrative Office at 4380 Alvarado Canyon Rd. The 1.689 acre site is in the CC-3-9 zone, Community Plan Implementation overlay zone A within the Navajo Community Plan Area. Council District 7.					
Applicant Name: John Wurster, Affirmed Housing Group				Applicant Phone Number: 858-386-5170	
Project Manager: Jeffrey A. Peterson		Phone Number: (619) 446-5237	Fax Number: (619) 321-3200	E-mail Address: JAPeterson@sandiego.gov	
Committee Recommendations (To be completed for Initial Review):					
<input type="checkbox"/> Vote to Approve		Members Yes	Members No	Members Abstain	
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes <i>12</i>	Members No <i>0</i>	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS: <i>EASEMENT THAT ALLOWS FUTURE PUBLIC - PEDESTRIAN ALLEYS WITH APPROPRIATE LIGHTING ALONG ALVARADO CREEK PATH.</i>					
NAME: <i>MATTHEW J. ADAMS</i>			TITLE: <i>CHAIR</i>		
SIGNATURE: <i>[Signature]</i>			DATE: <i>11-21-16</i>		
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

☐ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Grantville Veterans

Project No. / SCH No.: 497171 / N/A

Project Location-Specific: 4380 Alvarado Canyon Road, San Diego, California 92120

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A SITE DEVELOPMENT PERMIT to convert an existing 102 unit motel to an 85-unit multi-family apartment building for permanent veterans housing and renovate an existing office into an administrative office for non-profit service providers. Various site improvements would also be constructed that include associated hardscape and landscape. The project would conform to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program by providing affordable housing. Deviations to Residential Regulations, Storage Requirements, Private Exterior Open Space, Affordable Housing Parking Regulations, Ground Floor Restrictions, Maximum Front Setback, and Minimum Lot Coverage are also being requested. The 1.689 acre project site is located at 4380 Alvarado Canyon Road. The project site is within the Navajo Community Plan and is designated Urban Village (44-109 dwelling units per acre). Additionally, the project site is located in the CC-3-9 zone (Commercial – Community, intended to accommodate development with a high intensity, pedestrian orientation and permits a maximum density of 1 dwelling unit for each 400 square feet of lot area) and within the Airport Land Use Compatibility Overlay Zone (Montgomery Field), the Airport Influence Area, Review Area 2 (Montgomery Field), the Federal Aviation Administration (FAA) Part 77 Noticing Area (Montgomery Field), the Community Plan Implementation Overlay Zone (Grantville CPIOZ Type A), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. (LEGAL DESCRIPTION: Parcel 2 of Parcel Map No. 13761.)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: James Silverwood, Affirmed Housing Group, Inc., 13520 Evening Creek Road N, #160, San Diego, California 92128, (858) 386-5170

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- ☐ Categorical Exemption:
- ☒ Exemption: 15194 (Affordable Housing Exemption)

Reasons why project is exempt: The City of San Diego conducted an environmental review, which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15194 (Affordable Housing Exemption) in that CEQA does not apply to the project because the project meets the threshold criteria set forth

in CEQA Section 15192 (Threshold Requirements for Exemptions for Agricultural Housing, Affordable Housing, and Residential Infill Projects); the project site is not more than five acres in area; the project meets the requirements regarding location because it is located within an incorporated city and the parcels immediately adjacent to the project site are developed with qualified urban uses; and the project meets the requirements regarding provision of affordable housing because it consists of the construction, conversion, or use of residential housing consisting of 100 or fewer units that are affordable to low-income households and the developer of the project has provided sufficient legal commitments to the appropriate local agency to ensure the continued availability and use of the housing units for lower income households for a period of at least 30 months, at monthly housing costs deemed to be "affordable rent" for lower income, very low income, and extremely low income households.

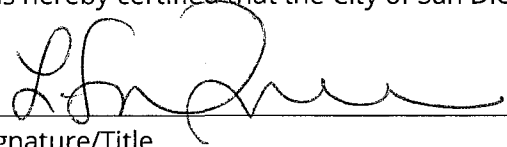
Lead Agency Contact Person: L. Sebastian

Telephone: (619) 236-5993

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

December 15, 2016

Date

Check One:

- (X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Project Title: Grantville Veterans	Project No. (For City Use Only) <div style="font-size: 1.5em; font-family: cursive;">497171</div>
--	---

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation
 ☒ Limited Liability -or-
 ☐ General) What State? CA
 Corporate Identification No. _____
☒ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached
 ☒ Yes
 ☐ No

Corporate/Partnership Name (type or print):
 Grantville Veteran Housing, LP

☒ Owner
 ☐ Tenant/Lessee

Street Address:
 13520 Evening Creek Drive North, Suite 160

City/State/Zip:
 San Diego, CA 92128

Phone No: _____ Fax No: _____
 (858) 679-2828

Name of Corporate Officer/Partner (type or print):
 James Silverwood

Title (type or print):
 President

Signature : Date: 10.17.14

Corporate/Partnership Name (type or print):

☐ Owner
 ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner
 ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner
 ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner
 ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner
 ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner
 ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

LP-1

Certificate of Limited Partnership (LP)

201621600005

To form a limited partnership in California, you can fill out this form, and submit for filing along with:

- A \$70 filing fee.
- A separate, non-refundable \$15 service fee also must be included, if you drop off the completed form or document.

Important! LPs in California may have to pay a minimum \$800 yearly tax to the California Franchise Tax Board. For more information, go to <https://www.ftb.ca.gov>.

Note: Before submitting the completed form, you should consult with a private attorney for advice about your specific business needs.

FILED

Secretary of State
State of California

JUL 27 2016

This Space For Office Use Only

For questions about this form, go to www.sos.ca.gov/business/be/filing-tips.htm.

LP Name

① GRANTVILLE VETERAN HOUSING, L.P.

Proposed LP Name

The name must end with: "Limited Partnership," "LP," or "L.P.," and may not contain "bank," "insurance," "trust," "trustee," "incorporated," "inc.," "corporation," or "corp." For general entity name requirements and restrictions, go to www.sos.ca.gov/business/be/name-availability.htm.

LP Addresses

② a. 13520 EVENING CREEK DRIVE NORTH, SUITE 160 SAN DIEGO CA 92128

Initial Street Address of Designated Office in CA

City (no abbreviations)

State Zip

b.

Initial Mailing Address of LP, if different from 2a

City (no abbreviations)

State Zip

Service of Process (List a California resident or an active 1505 corporation in California that agrees to be your initial agent to accept service of process in case your LP is sued. You may list any adult who lives in California. You may not list an LP as the agent. Do not list an address if the agent is a 1505 corporation.)

③ a. JAMES SILVERWOOD

Agent's Name

b. 13520 EVENING CREEK DRIVE NORTH, SUITE 160 SAN DIEGO CA 92128

Agent's Street Address (if agent is not a corporation)

City (no abbreviations)

State Zip

General Partners (List the name and address of each general partner. Attach additional pages, if necessary.)

④ a. Affirmed Housing Group, Inc., 13520 Evening Creek Dr. N. #160, San Diego CA 92128

General Partner's Name

Address

City (no abbreviations)

State Zip

b.

General Partner's Name

Address

City (no abbreviations)

State Zip

Read and sign below: This form must be signed by all of the general partners listed in Item 4. If a trust, association, attorney-in-fact, or any other person is signing, go to www.sos.ca.gov/business/be/filing-tips.htm for more information. If you need more space, attach extra pages that are 1-sided and on standard letter-sized paper (8 1/2" x 11"). All attachments are part of this certificate. Signing this document affirms under penalty of perjury that the stated facts are true.



General Partner - Sign here

Nicki Cometa, CFO of Affirmed Housing Group, Inc.

Print your name here



General Partner - Sign here

Print your name here

Make check/money order payable to: Secretary of State
Upon filing, we will return one (1) uncertified copy of your filed document for free, and will certify the copy upon request and payment of a \$5 certification fee.

By Mail
Secretary of State
Business Entities, P.O. Box 944225
Sacramento, CA 94244-2250

Drop-Off
Secretary of State
1500 11th Street, 3rd Floor
Sacramento, CA 95814

Affirmed Housing Group, Inc. (Officer List)

James Silverwood, President and CEO

Nicki Cometa, Chief Financial Officer

Micah Spano, Vice President of Construction

Lindsay Quackenbush, Vice President of Development

Jeff Edgren, Director of Acquisitions

John Wurster, Senior Project Manager

BASIS Architecture & Consulting

2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
FAX (415) 457-6036

P.O. BOX 150539
SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

COVER &
DATA SHEET

A1.0
1 of 19

ATTACHMENT 13

PROJECT SUMMARY		
Base Zone*	CC-3-9	
CPIOZ-A	of Navajo Community Plan	
Montgomery Field Airport Influence Area	Overlay zone applies	
All work shall conform to all applicable codes and ordinances of the City of San Diego, California, including:	2013 California Building Code (CBC) 2013 California Electrical Code (CEC) 2013 California Plumbing Code (CPC) 2013 California Mechanical Code (CMC) 2013 California Energy Efficiency Standards (CEES)	
LEGAL DESCRIPTION:		
The land referred to herein below is situated in the City of San Diego, in the County of San Diego, State of California, and is described as follows: Parcel 2 of parcel map No. 13761, in the City of San Diego, County of San Diego, State of California, recorded in the office of the County Recorder of San Diego County, on April 24, 1985.		
ZONING DATA:		
APN	4613-202-800	
Lot Area	73,616 SF	
Lot Coverage	60% Max - 35% Min	
Proposed Lot Coverage	18,150 SF	
Proposed Lot Coverage Ratio*	25%	
Building Area	27,962 SF	
(E) 3-story & 1-story Buildings	36743 SF	
FAR	2.0 Max (Per Table 131-05E)	
Proposed FAR	0.50	
Common Outdoor Space Required	25 SF per Unit/2,125 Total	
Common Outdoor Space Proposed	9,680 SF	
Private Outdoor Space	50 SF/Unit	
Private Outdoor Space Proposed*	(Not feasible, Common open space provided in excess of requirements)	
Storage Space Required	240 Cubic Feet/Unit 20,400CF	
Storage Space Provided*	7,700CF (approx)	
	Note: SF = Square Feet	
BUILDING DATA:		
Residential Building		
Occupancy	R-2	
Construction	V-A, Sprinklered	
Above Grade Area	46,751	
Stories	3	
Height (No Requirement)	38 Feet Front-South/47 Feet Rear-North (Approx)	
Unit Breakdown		
Type of Housing	Veterans Affordable	
1 - 2 BR Unit		
5 - 1 BR Unit		
79 - Studios	85 Total Units	
Community Building		
Occupancy	B	
Construction	V-A, Sprinklered	
Above Grade Area	4,885	
Stories	1	
Height	14 Feet (Approx)	
PARKING: (Per Table 142-05D of the SOMC)		
	Required	Proposed
79 Studio Units @0.5 Spaces*	40	31
5 1BR Units @0.75 Spaces	4	4
1 2BR Unit @ 1.0 Spaces	1	1
Guest: 85*0.15	13	5
Staff: 85*0.05	4	4
Total Minimum	62	45
Accessible Stalls (Included in total above)	1D	8
* Deviation applies - See summary, this sheet.		
PROJECT SUMMARY & DATA		



VIEW FROM NEW ENTRANCE

GRANTVILLE MOTEL CONVERSION

4370 & 4380 ALVARADO CANYON RD SAN DIEGO, CA 92120

(APN: 4613-202-800)

OWNER/CLIENT:
AFFIRMED HOUSING GROUP
13520 EVENING CREEK DRIVE N., SUITE 160
SAN DIEGO, CA 92128
ph: 858-386-5178
email:

ARCHITECT:
BASIS ARCHITECTURE & CONSULTING INC
CHARLES PICK, ARCHITECT
2130 4TH STREET, SUITE B
SAN RAFAEL, CA 94901
ph: 415-457-6035
email: cpick@basisarch.com

LANDSCAPE:
KIMLEY-HORN
MICHAEL P. MADSEN, PLA, CLIA I ASSOCIATE
401 B STREET, SUITE 600
SAN DIEGO, CA 92101
ph: 619-744-0164
email: michael.madsen@kimley-horn.com

CIVIL ENGINEER:
FLOREZ ENGINEERING, INC.
CIVIL ENGINEERING & PLANNING
10732 CHARBONO TERRACE
SAN DIEGO, CA 92131
ph: 858-229-2493
email: frank@florezengineering.com

TEAM INDEX

INDEX OF DRAWINGS

ARCHITECTURAL

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A3.0	EXISTING SITE REFERENCE PLAN
A3.0A	PROPOSED SITE REFERENCE PLAN
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A4.1	FLOOR PLANS - HOUSING BLDG. - 1ST FLOOR
A4.2	F.L.R. PLANS - HOUSING BLDG. - 2ND & 3RD F.L.R.S.
A4.3	FLOOR PLANS - ADMINISTRATION BUILDING
A5.0	UNIT PLANS - 1ST-3RD FLOORS
A5.1	UNIT PLANS - GARAGE LEVEL
A6.0	EXTERIOR ELEVATIONS - MAIN BUILDING
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A6.2	EXTERIOR ELEVATIONS - ADMIN. BLDG.
A7.0-A7.1	PERSPECTIVES - HOUSING BUILDING
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A8.0	COLOR & MATERIAL BOARD

LANDSCAPE

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L1.1	LANDSCAPE CALCULATIONS PLANS
L1.2	PAVEMENT DELINEATION/PARKING PLAN
L1.3	PROJECT CONTEXT MAP
L1.4	PLANT PALETTE

CIVIL

1-2	PRELIMINARY GRADING/ DRAINAGE PLAN
3	FIRE ACCESS PLAN

SHEET INDEX

- SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0540 FOR COMMERCIAL USE. THE PROPOSED PROJECT DOES NOT INCLUDE A COMMERCIAL USE.
- SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0454 FOR RESIDENTIAL STORAGE. FULLY ENCLOSED PERSONAL STORAGE SPACE OF 240 CUBIC FEET PER UNIT IS REQUIRED OUTSIDE EACH DWELLING UNIT, WHILE THE PROJECT PROVIDES NO ADDITIONAL PERSONAL STORAGE SPACE OUTSIDE THE CONFINES OF EACH UNIT. 20,400 CUBIC FEET REQUIRED/APPROXIMATELY 7,700 CUBIC FEET TO BE PROVIDED.
- SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0455 FOR PRIVATE OPEN SPACE OF 50 SQUARE FEET PER UNIT. THE PROPOSED PROJECT DOES NOT INCLUDE PRIVATE OPEN SPACE ABUTTING EACH UNIT.
- SAN DIEGO MUNICIPAL CODE (SDMC) TABLE 142-05D, SECTION 142.0527 FOR PARKING. TABLE 142-05D REQUIRES RESIDENTIAL UNIT PARKING RATIOS OF 0.5 SPACES FOR STUDIOS AND 0.75 SPACES FOR 1BRs, BASED ON HIGH PARKING DEMAND, WHILE THE PROJECT WILL PROVIDE 0.3 SPACES FOR EACH RESIDENTIAL UNIT.
- SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0540(C) FOR ZONE DEVELOPMENT STANDARDS. THE PROPOSED PROJECT DOES CONTAIN PROPOSED PARKING WITHIN 30' OF THE STREETFRONT WHICH IS OTHERWISE PRESCRIBED.
- SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0540(C) FOR ZONE DEVELOPMENT STANDARDS. THE PROPOSED PROJECT HAS EXISTING STRUCTURES THAT ARE SET BACK MORE THAN 10 FEET AT THE STREETFRONT. SOME OF THE EXISTING CONSTRUCTION IS LOCATED APPROXIMATELY 70 FEET FROM THE STREET-FRONT FOR A TOTAL DEVIATION OF 60 FEET OR MORE.
- SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0540(C) FOR ZONE DEVELOPMENT STANDARDS, REQUIRING 35% MINIMUM LOT COVERAGE. THE PROPOSED PROJECT HAS 25% LOT COVERAGE. THE TOTAL DEVIATION QUANTITY IS 10% OF LOT COVERAGE.

DEVIATIONS SUMMARY

AREA SUMMARY						
3-Story Building	Gross Building Area (Inc. Open Exterior Circulation)	Building Area	Unit Leasable Residential	Unit Matrix	No. of Units	Avg. Unit Size
Lower Level =	3,994 (a.)	3,994	3,545	1 (Studio) 350 SF + 5 (One Bedroom) 507 SF + 1 (Two Bedroom) 640 SF	7	506
LL (Circulation/Common) =	1,608					
LL (Added Circulation) =	678					
LL (Total) =	6,280					
First Floor =	9,288 (b.)	9,288	8,139	8 (Studio) 288 SF + 17 (Studio) 325 SF + 1 (Studio) 310 SF	26	313
1st (Vertical/Horizontal Circulation) =	3,299					
1st (Added Circulation) =	678					
1st (Total) =	13,245					
Second Floor =	9,288 (b.)	9,288	8,139	8 (Studio) 288 SF + 17 (Studio) 325 SF + 1 (Studio) 310 SF	26	313
2nd (Vertical/Horizontal Circulation) =	3,299					
2nd (Added Circulation) =	678					
2nd (Added Balcony Space) =	338					
2nd (Total) =	13,603					
Third Floor =	9,288 (b.)	9,288	8,139	8 (Studio) 288 SF + 17 (Studio) 325 SF + 1 (Studio) 310 SF	26	313
3rd (Vertical/Horizontal Circulation) =	3,299					
3rd (Added Circulation) =	678					
3rd (Added Balcony Space) =	338					
3rd (Total) =	13,603					
TOTAL	46,751	31,858	27,862		85	361
1-Story Building	Gross Building Area (Inc. Open Exterior Circulation)	Building Area	Unit Leasable Residential	Unit Matrix	No. of Units	Avg. Unit Size
First Floor =	4,885 (c.)	4,885	N/A	N/A	N/A	N/A
TOTAL	4,885	36,843	N/A	N/A	N/A	N/A
a. Residential area at Lower Level added from previous tuck under parking. b. Residential area only c. No change in building area.						

AREA ANALYSIS

Scope and Project Overview:	
• The proposed project will convert a 1986 vintage motel of 104 rooms into permanent veterans housing. The building has three stories over a partial basement. The basement level daylight to the rear (north) and is presently used for tuck under parking and "back of house" work areas. While the building is well suited in many ways to be practically reused, some significant building alterations are required to achieve the program goals.	
• There are two buildings at the site, one is the motel building. The other is a former restaurant, which is already repurposed as an office facility. It will continue use as community, meetings and administrative facilities for the proposed housing and will serve the new tenant population. While exterior changes to the building are planned, they will be more to create a visual link to the newly reconfigured main building than any other purpose.	
Site:	
• Site reconfiguration to add outdoor amenity space, remove pool, reduce parking, create path of travel to second building for convenient access to service providers.	
• Storm-water drainage improvements.	
Building:	
• Exterior changes are planned. These will serve to update and improve the building appearance for the establishment of permanent homes for veterans.	
• The existing lower level tuck under parking will be converted to seven new units.	
• Building will be seismically retrofitted	
• Net Unit Count Proposed, Note that floor areas vary between approximately 288 and 400 square feet:	
o Two Bedroom Units - 1	
o One Bedroom Units - 5	
o Studio Units - 79	
o Total - 85	
Mech/Electrical/Plumbing:	
• New electrical service for kitchenettes.	
• Addition of elevator for improved circulation and access.	
• Laundry facilities to be upgraded for CTCAC requirements.	
• Add/augment solar photo-voltaic panel array on roof.	
• Possible addition of solar thermal hot water system.	
• Replace all PTAC units with fresh air introduction. Provide new plumbed condensate drains.	
• New cable TV and satellite distribution network.	
• Replace all plumbing fixtures for Calgreen compliance.	
• Replace all interior and exterior lighting for CEC 2013.	
Interiors:	
• Pairs of the smaller rooms will be combined to create one bedroom units. The larger rooms will stay intact and become efficiency studios.	
• Unit count when complete is to be 85.	
• Gut remodel each bathroom and vertical stack for CBC compliant clearances.	
• Kitchenettes will be added to each resulting unit with associated electrical upgrades.	
• All units in the elevator served building are to be adaptable with 10% fully accessible per CBC11b requirements.	

DEVELOPMENT SUMMARY



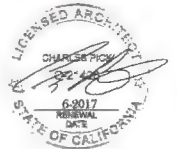
PROJECT LOCATION

BASIS Architecture
& Consulting

2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
FAX (415) 457-6036

P.O. BOX 150539
SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND
--- (E) PROPOSED BLDGS.

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PHOTOGRAPHIC
SURVEY

A2.0
2 of 19

ATTACHMENT 13



10



11



12



13



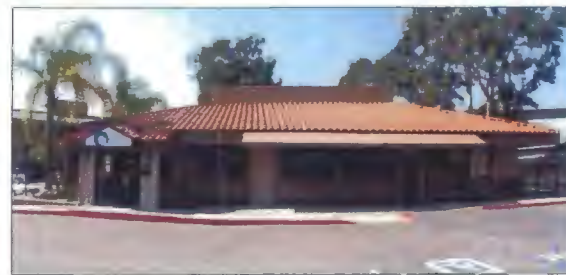
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15



16



9



8



7



6



5



4



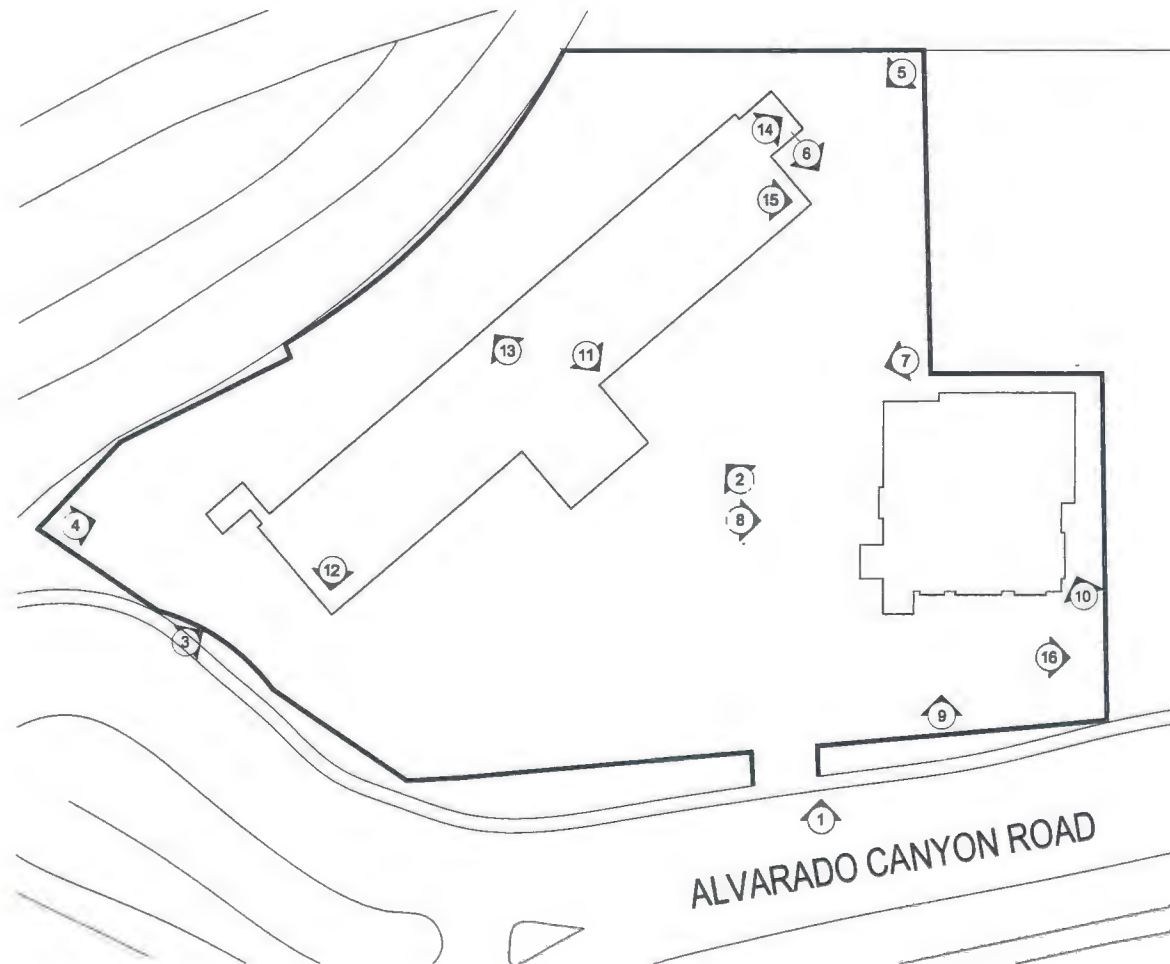
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2



1



KEY MAP
N.T.S.

ALVARADO CANYON ROAD

PHOTOGRAPHIC SURVEY

BASIS Architecture
& Consulting

2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
FAX (415) 457-6036

P.O.BOX 150539
SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
	(N) GRADING, AC PAVING OR LANDSCAPE
—	(E) WALL TO REMAIN
- - -	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
=====	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

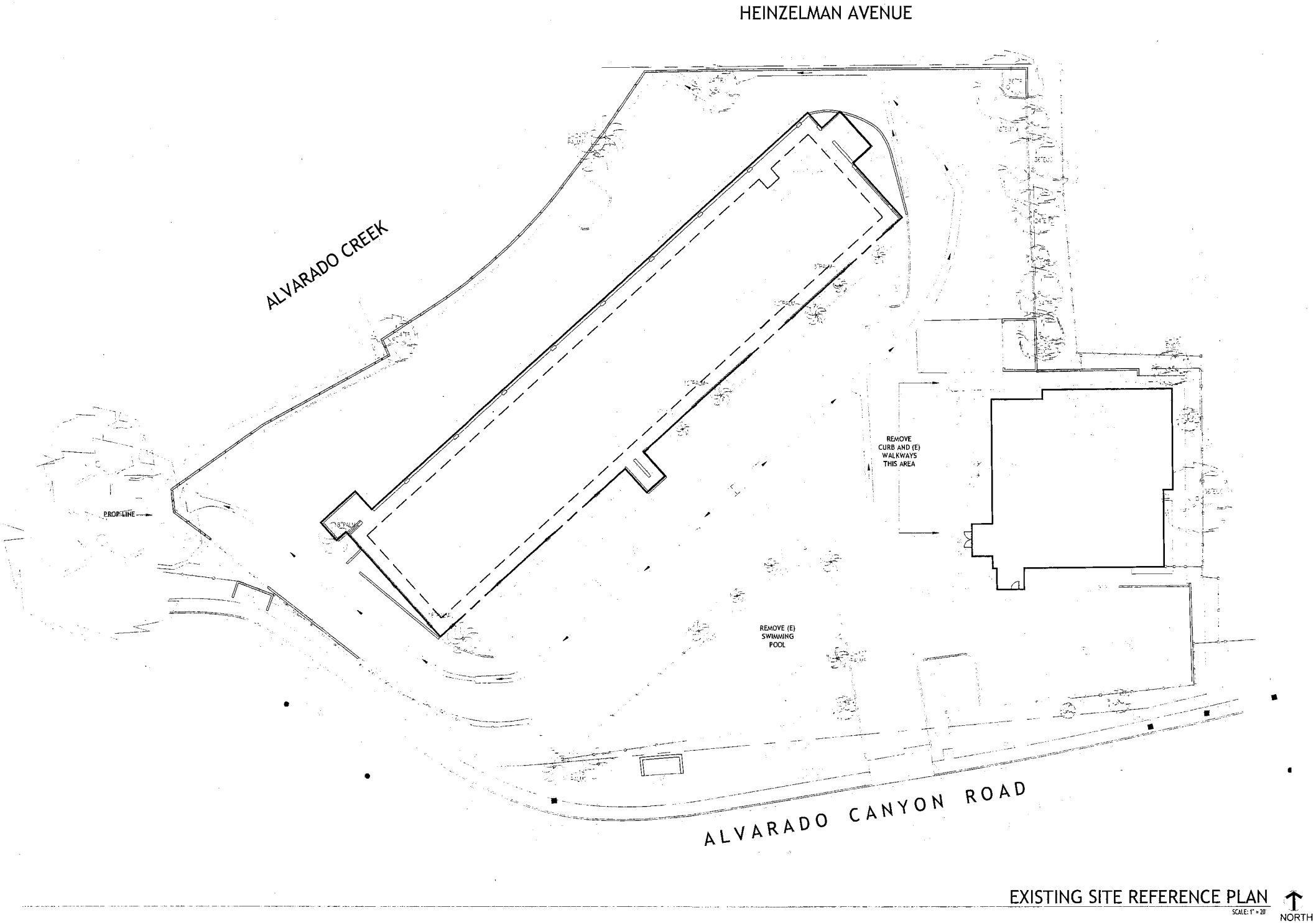
EXISTING
SITE REFERENCE PLAN
& DEMOLITION NOTES

A3.0

3 of 19

DEMOLITION NOTES

1. REMOVE (E) POOL & ASSOCIATED FLATWORK AS SHOWN.
2. REMOVE (E) CURB & FLATWORK AT 1-STORY BUILDING AS SHOWN.
3. REMOVE LIMITED AREAS OF CURB AND FLATWORK TO PREPARE FOR (N) ACCESS AND SITE IMPROVEMENTS. SEE A3.0A.
4. ALL (E) PARKING STRIPING TO BE REMOVED TO PREPARE FOR (N) PARKING PLAN. SEE A3.0A.



EXISTING SITE REFERENCE PLAN

SCALE: 1" = 20'



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CHARLES PICK, ARCHITECT



LEGEND	
◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
(N)	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
(N)	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG	
PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:
4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:
PROPOSED
SITE REFERENCE PLAN

A3.0A
4 of 19

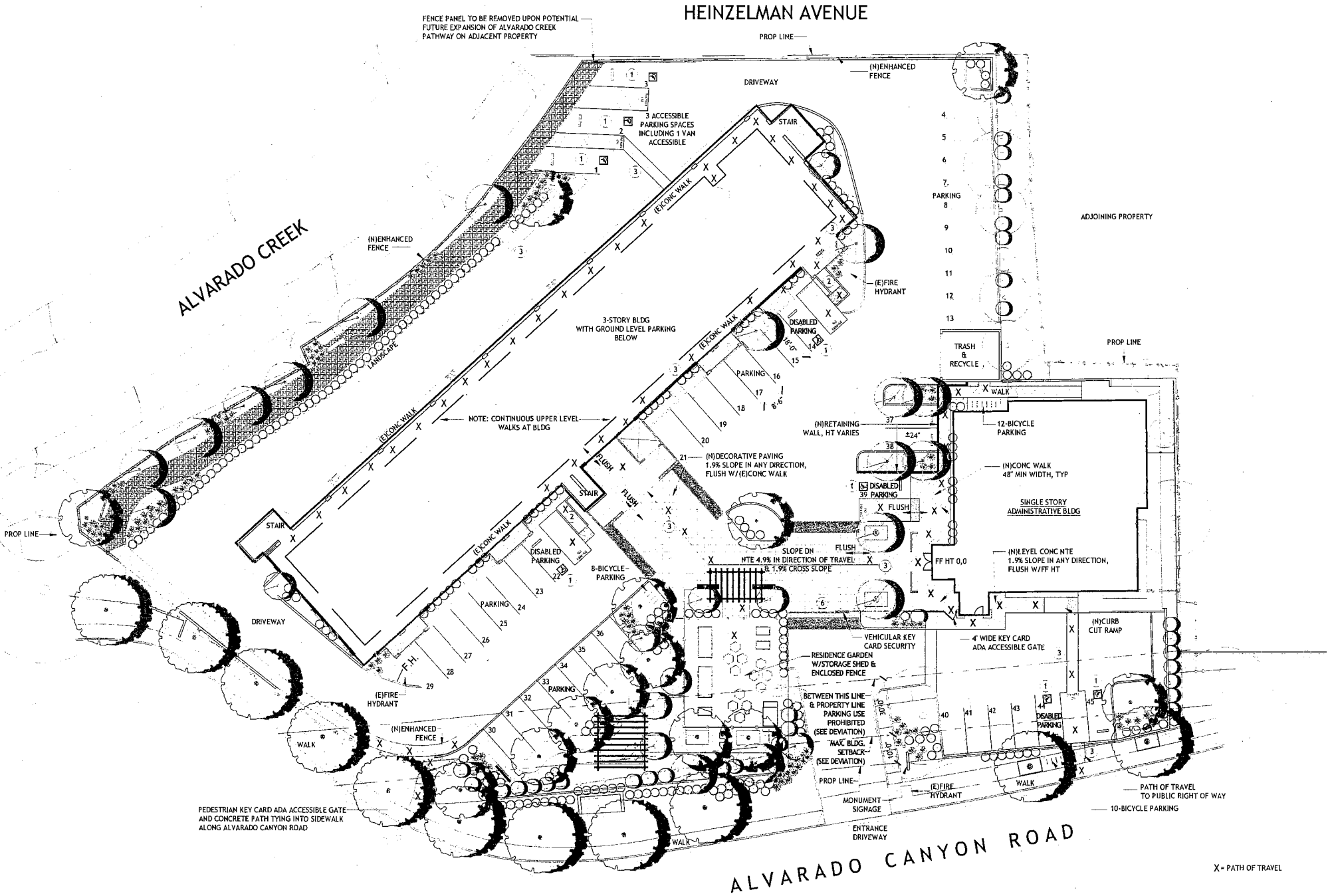
ATTACHMENT 13

SHEET NOTES

- CIVIL & LANDSCAPING: NEW SITE LANDSCAPING, IRRIGATION, AMENITIES AND ETC, SEE CIVIL & LANDSCAPE SHEETS.
- THE MINIMUM PARKING STALL DIMENSIONS PER CITY'S LAND DEVELOPMENT CODE (LDC) 142.0540 TABLE 142.05.1 ARE 8' (8.3' FOR RETAIL SALES USES AND EATING AND DRINKING ESTABLISHMENTS) WIDE BY 18' LONG, 9' WIDE BY 18' LONG FOR SPACES WITH ONE SIDE ABUTTING AN OBSTACLE AND 9.5' SIDE BY 18' LONG FOR SPACES WITH TWO SIDES ABUTTING OBSTACLE. THE MINIMUM AISLE WIDTH IS 24 FEET. SEE CIVIL SHEETS.
- PROPOSED ACCESSIBLE, MOTORCYCLE, LONG TERM BICYCLE AND SHORT BICYCLE PARKING. SEE CIVIL SHEETS.
- ON-SITE PEDESTRIAN CIRCULATION. SIDEWALKS TO BE NON-CONTIGUOUS TO THE CURB. SEE CIVIL SHEETS.
- A MINIMUM OF XX AUTOMOBILE SPACES (INCLUDING X STANDARD ACCESSIBLE SPACES AND X VAN ACCESSIBLE SPACE), X MOTORCYCLE SPACES, AND XX BICYCLE SPACES WITH RACK(S) ARE REQUIRED BY THE LAND DEVELOPMENT CODE. ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LAND DEVELOPMENT CODE AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE APPROPRIATE DECISION-MAKER. SEE CIVIL SHEETS.
- PRIOR TO ISSUANCE OF ANY BUILDING PERMIT, THE APPLICANT SHALL ASSURE BY PERMIT AND BOND THE RECONSTRUCTION OF A MIN. OF 24 FEET WIDE CITY STANDARD DRIVEWAY ON ALVARADO CANYON ROAD, SATISFACTORY TO THE CITY ENGINEER. SEE CIVIL SHEETS.
- THE APPLICANT SHALL PROVIDE AND MAINTAIN 10' X 10' VISIBILITY AREA ALONG THE PROPERTY LINE ON BOTH SIDES OF THE DRIVEWAY. NO OBSTACLES HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA (e.g. WALLS, LANDSCAPING, SHRUBS...ETC.). SEE CIVIL SHEETS.
- THE APPLICANT SHALL PROVIDE AND MAINTAIN AN ADEQUATE SIGHT DISTANCE ON THE LEFT AND RIGHT SIDES OF THE DRIVEWAY. NO OBSTACLES HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA (e.g. WALLS, LANDSCAPING, SHRUBS...ETC.). SEE CIVIL SHEETS.

KEYED NOTES

1. DISABLED ACCESSIBLE PARKING: PROVIDE CONFORMING DISABLED ACCESSIBLE PARKING SPACES AS SHOWN WITH SIGNAGE, MARKING & STRIPING. STALLS AND AISLE NOT TO EXCEED 1.9% IN ANY DIRECTION.
2. DISABLED ACCESSIBLE RAMP: PROVIDE CONFORMING CURB CUT RAMP WITH LEVEL LANDINGS NOT TO EXCEED 1.9% SLOPE IN ANY DIRECTION AND SLOPE IN DIRECTION OF TRAVEL NOT TO EXCEED 8.3%.
3. PATH OF TRAVEL: PROVIDE CONFORMING PATH OF TRAVEL NOT TO EXCEED 4.9% SLOPE IN DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 1.9%. PROVIDE A MARKED PATH OF TRAVEL THAT CONNECTS TO THE COMMON AREAS TO DISABLED PARKING SPACES, PUBLIC RIGHT OF WAY, WALKWAYS & AMENITIES.
4. ACCESSIBILITY DIRECTIONAL SIGNAGE: PROVIDE CONFORMING DISABLED ACCESSIBLE DIRECTIONAL SIGNAGE, SEE ABOVE.
5. PEDESTRIAN ACCESS GATE: PROVIDE CONFORMING ACCESS GATE WITH 10" KICK PLATE WITH LEVEL LANDING NOT TO EXCEED 1.9% IN ANY DIRECTION AND 24" STICK SIDE CLEARANCE.
6. VEHICLE ACCESS GATE: PROVIDE VEHICLE ACCESS GATE.



PROPOSED SITE REFERENCE PLAN
SCALE: 1" = 20'
NORTH

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CHARLES PICK, ARCHITECT



LEGEND

◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
(N)	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
(N)	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
- - -	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

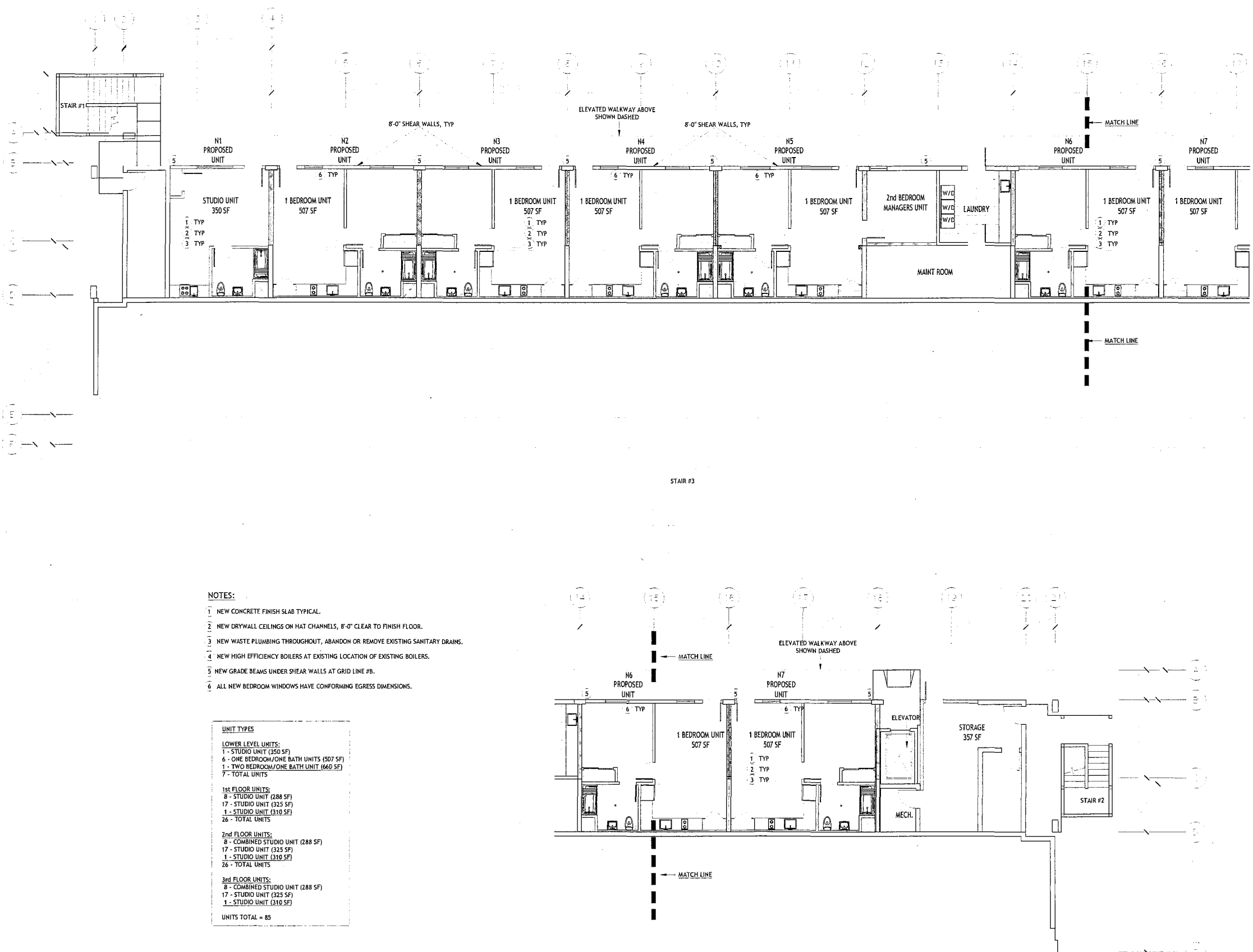
4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PROPOSED
LOWER LEVEL
PLAN

A4.0
5 of 19

ATTACHMENT 13



PROPOSED LOWER LEVEL BUILDING PLAN

SCALE: 1/8" = 1'-0"



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LEGEND	
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(N)	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
(N)	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
- - -	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

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SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PROPOSED BUILDING
FLOOR PLAN

A4.1
6 of 19

ATTACHMENT 13

PROPOSED 1ST FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"



NOTES:

1. NEW PORTAL STRUCTURES, STUD FRAMING, STUCCO CLAD BOTH SIDES WITH ALUMINUM "BRIS SOLEIL" CAPS.
2. NEW ENTRY STRUCTURE SIMILAR TO "PORTAL" STRUCTURES, WITH LANDINGS AT 2ND AND THIRD LEVELS, FLAT TOP ROOF.
3. NEW THREE STOP ELEVATOR- ADA AND GURNEY SIZED, HYDRAULIC EQUIPMENT AT THIRD FLOOR ROOM.
4. MODERNIZE EXISTING ELEVATOR.
5. NEW CAP RAILS AT BALCONY "CURBS", NEW RAILINGS, STEEL OR ALUMINUM, MOUNT TOP TO FACE OF WALLS.

UNIT TYPES

LOWER LEVEL UNITS:
1 - STUDIO UNIT (350 SF)
6 - ONE BEDROOM/ONE BATH UNITS (507 SF)
1 - TWO BEDROOM/ONE BATH UNIT (660 SF)
7 - TOTAL UNITS

1st FLOOR UNITS:
8 - STUDIO UNIT (288 SF)
17 - STUDIO UNIT (325 SF)
1 - STUDIO UNIT (310 SF)
26 - TOTAL UNITS

2nd FLOOR UNITS:
8 - COMBINED STUDIO UNIT (288 SF)
17 - STUDIO UNIT (325 SF)
1 - STUDIO UNIT (310 SF)
26 - TOTAL UNITS

3rd FLOOR UNITS:
8 - COMBINED STUDIO UNIT (288 SF)
17 - STUDIO UNIT (325 SF)
1 - STUDIO UNIT (310 SF)
26 - TOTAL UNITS

UNITS TOTAL = 85

PROPOSED 1ST FLOOR BUILDING PLAN, EAST

SCALE: 1/8" = 1'-0"



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LEGEND	
◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
(N)	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
(N)	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

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PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

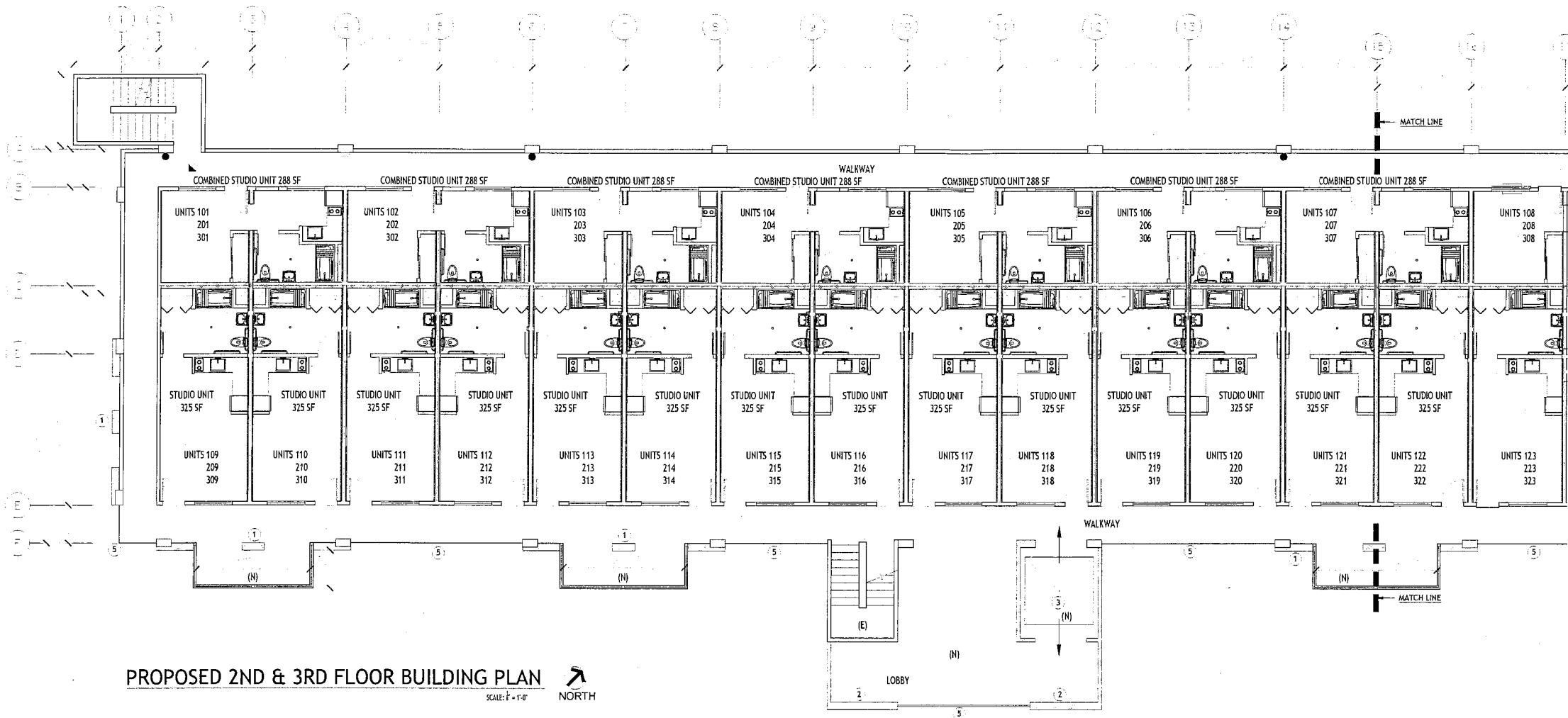
4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PROPOSED BUILDING
FLOOR PLAN

A4.2
7 of 19

ATTACHMENT 13



PROPOSED 2ND & 3RD FLOOR BUILDING PLAN
SCALE: 1/4" = 1'-0" NORTH

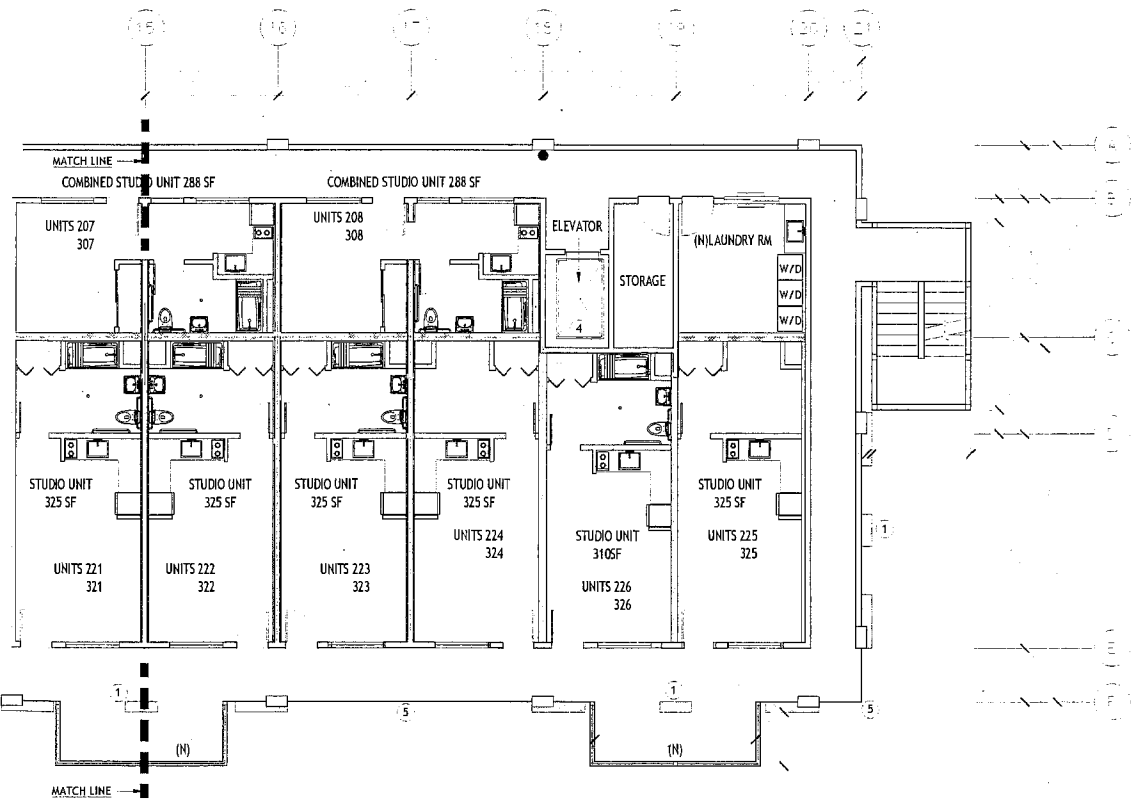
NOTES:

- 1 - NEW PORTAL STRUCTURES, STUD FRAMING, STUCCO CLAD BOTH SIDES WITH ALUMINUM "BRIS SOLEIL" CAPS.
- 2 - NEW ENTRY STRUCTURE SIMILAR TO "PORTAL" STRUCTURES, WITH LANDINGS AT 2ND AND THIRD LEVELS, FLAT TOP ROOF.
- 3 - NEW THREE STOP ELEVATOR- ADA AND GURNEY SIZED, HYDRAULIC EQUIPMENT AT THIRD FLOOR ROOM.
- 4 - MODERNIZE EXISTING ELEVATOR.
- 5 - NEW CAP RAILS AT BALCONY "CURBS", NEW RAILINGS, STEEL OR ALUMINUM, MOUNT TOP TO FACE OF WALLS.

UNIT TYPES

- LOWER LEVEL UNITS:
1 - STUDIO UNIT (350 SF)
6 - ONE BEDROOM/ONE BATH UNITS (507 SF)
1 - TWO BEDROOM/ONE BATH UNIT (660 SF)
7 - TOTAL UNITS
- 1st FLOOR UNITS:
8 - STUDIO UNIT (288 SF)
17 - STUDIO UNIT (325 SF)
1 - STUDIO UNIT (310 SF)
26 - TOTAL UNITS
- 2nd FLOOR UNITS:
8 - COMBINED STUDIO UNIT (288 SF)
17 - STUDIO UNIT (325 SF)
1 - STUDIO UNIT (310 SF)
26 - TOTAL UNITS
- 3rd FLOOR UNITS:
8 - COMBINED STUDIO UNIT (288 SF)
17 - STUDIO UNIT (325 SF)
1 - STUDIO UNIT (310 SF)
26 - TOTAL UNITS

UNITS TOTAL = 85



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CHARLES PICK, ARCHITECT



LEGEND	
◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

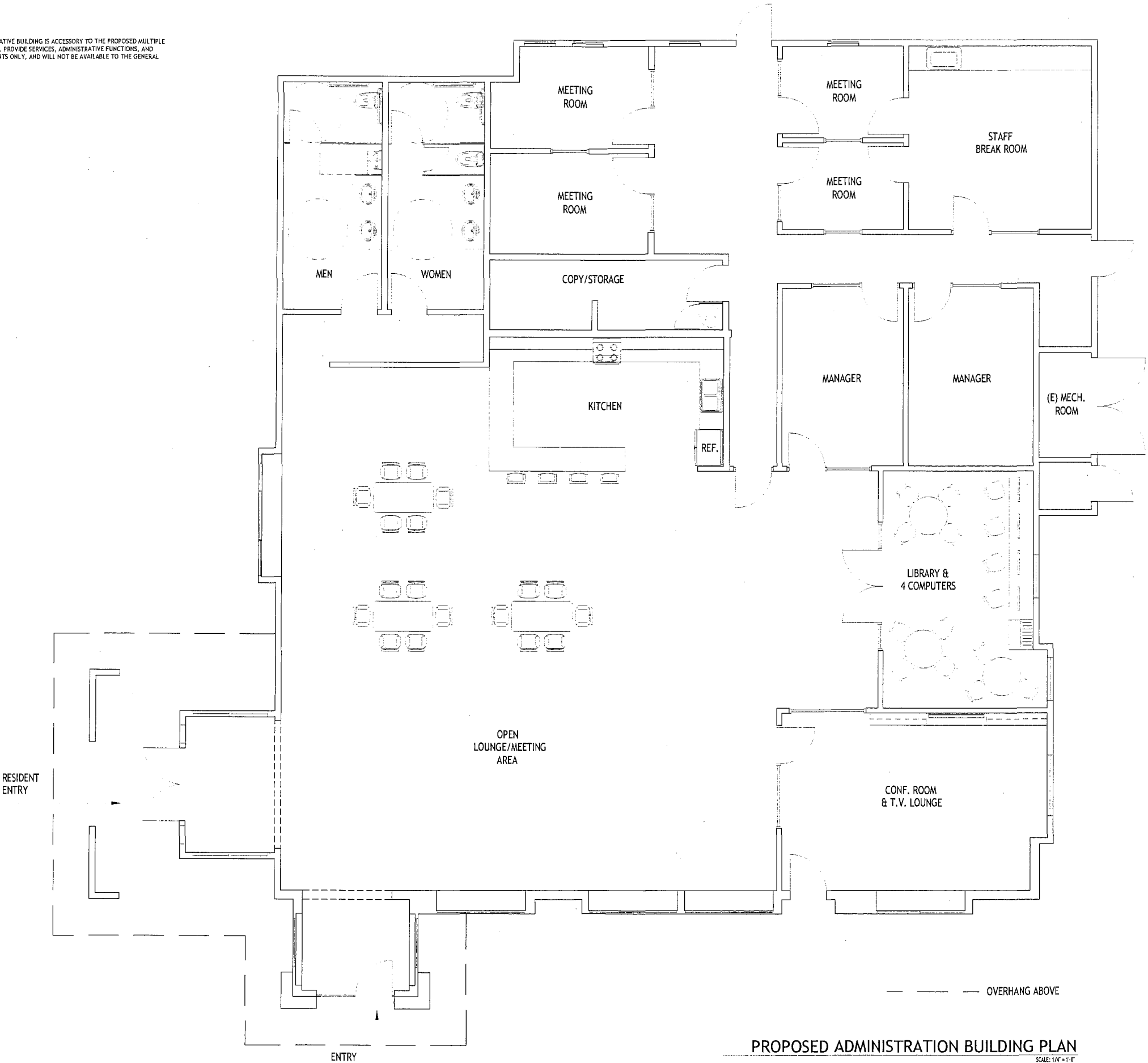
PROPOSED
ADMINISTRATION
BUILDING PLAN

A4.3
8 of 19

ATTACHMENT 13

SHEET NOTES

THE 4,885 SQ. FT. DETACHED ADMINISTRATIVE BUILDING IS ACCESSORY TO THE PROPOSED MULTIPLE DWELLING UNIT DEVELOPMENT AND WILL PROVIDE SERVICES, ADMINISTRATIVE FUNCTIONS, AND COMMON AMENITIES FOR USE BY RESIDENTS ONLY, AND WILL NOT BE AVAILABLE TO THE GENERAL PUBLIC.



PROPOSED ADMINISTRATION BUILDING PLAN

SCALE: 1/4" = 1'-0"

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LEGEND	
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X	PATH OF TRAVEL
(N)	CONCRETE ANTICIPATED, VERIFY IN FIELD
(N)	GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

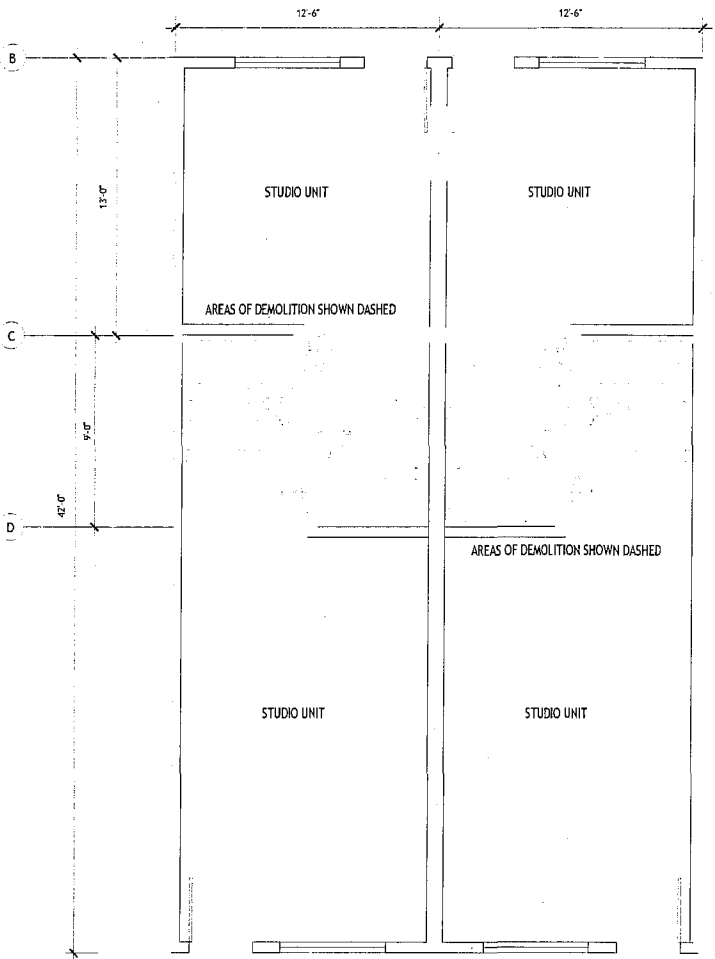
PROPOSED
1ST THRU 3RD
FLOORS
UNIT PLANS

A5.0
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ATTACHMENT 13

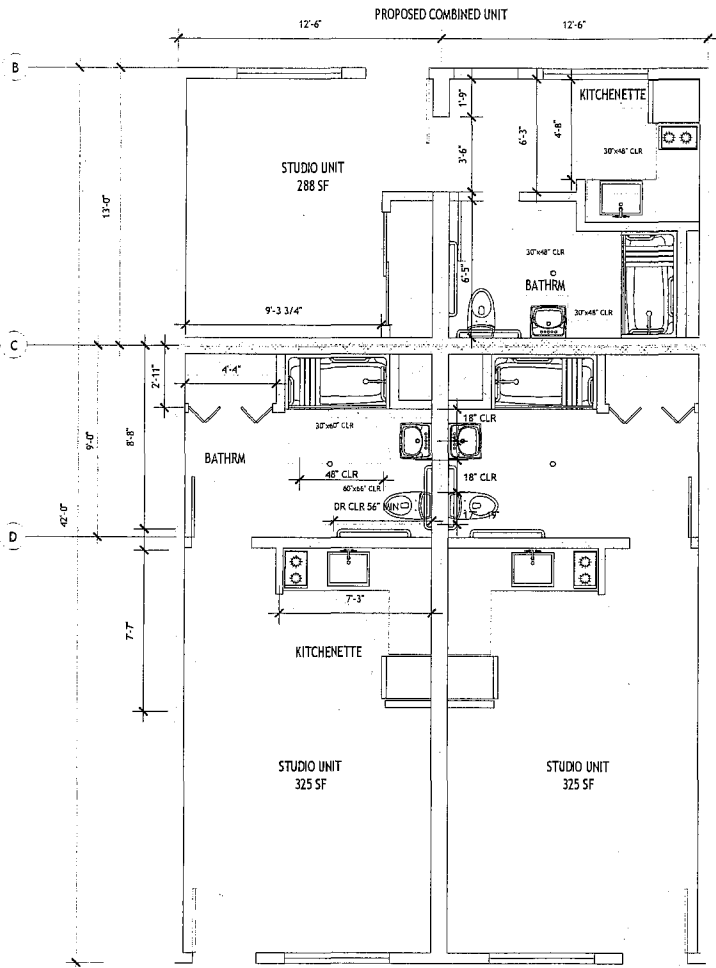
NOTES:

1. ALL NEW "PEX" DOMESTIC WATER SUPPLY WITH LOOP FOR RETICULATION.
2. ALL NEW SANITARY DRAIN PLUMBING.
3. ALL NEW ELECTRICAL WITH NEW SUB PANEL IN UNIT 100 AMP SERVICE.
4. HUMIDISTAT - CONSTANT RUNNING 2 SPEED FANS IN EACH UNIT BATH WITH VENT TO ROOF.
5. NEW PTAC OR SPLIT SYSTEM (DUCTLESS) IN EACH UNIT.



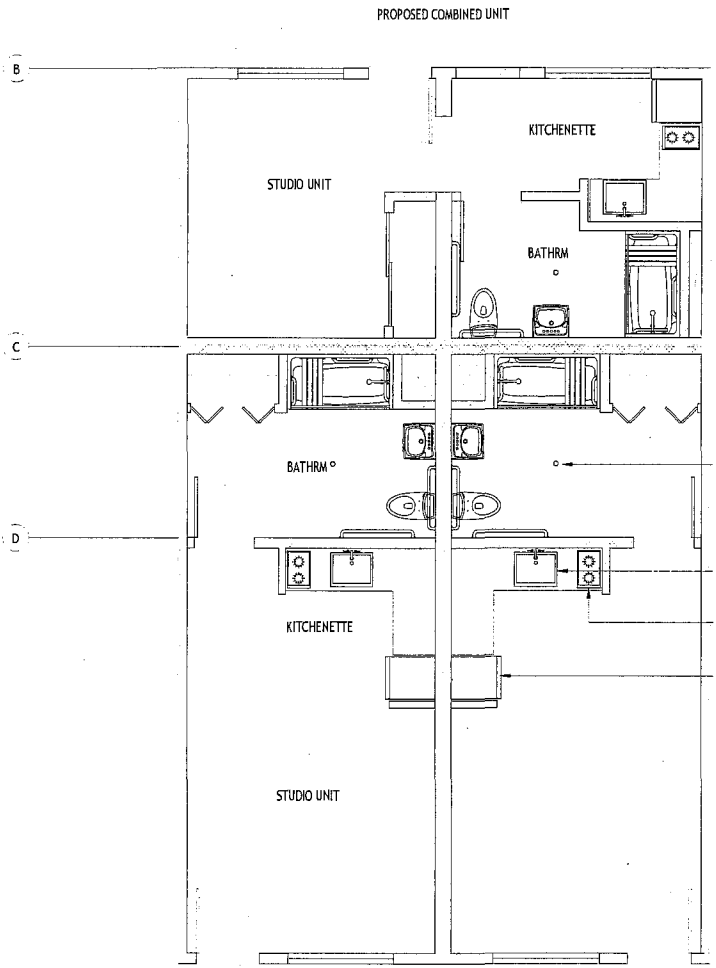
EXISTING/DEMO UNIT PLAN

SCALE: 1/4" = 1'-0"



PROPOSED UNIT DIMENSION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED UNIT PLAN

SCALE: 1/4" = 1'-0"

PROPOSED UNIT PLANS 1st THRU 3rd FLOORS

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CHARLES PICK, ARCHITECT



LEGEND	
◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
(N)	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
(N)	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
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---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

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PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

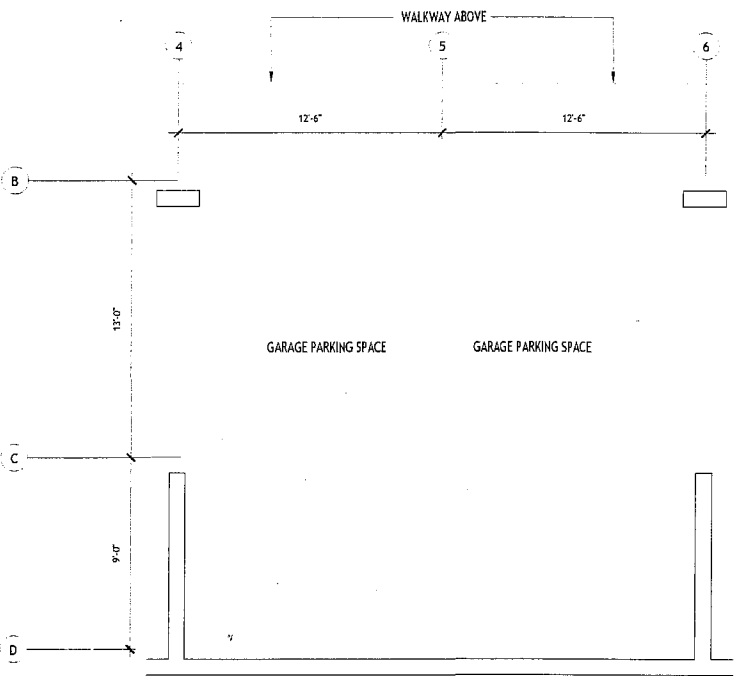
4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

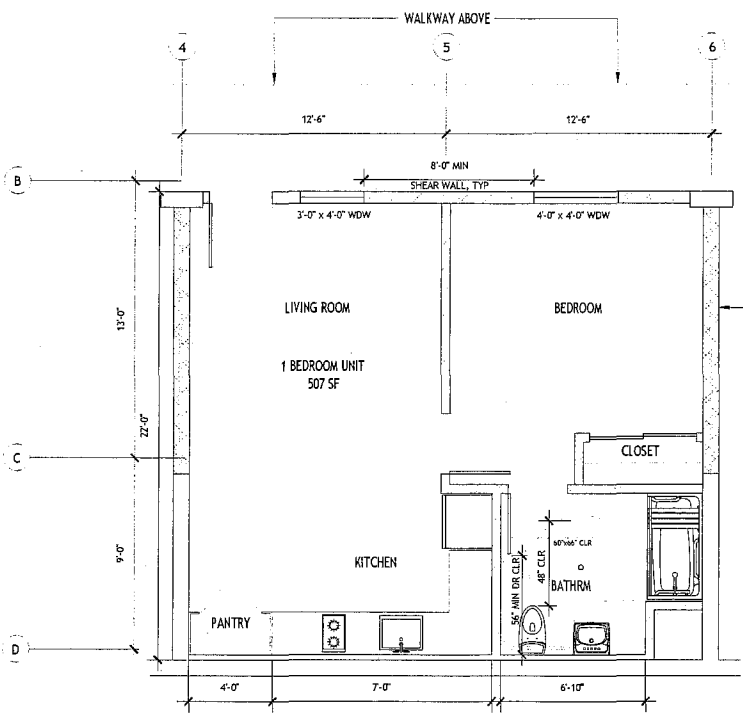
PROPOSED
LOWER LEVEL
UNIT PLANS

A5.1
10 of 19

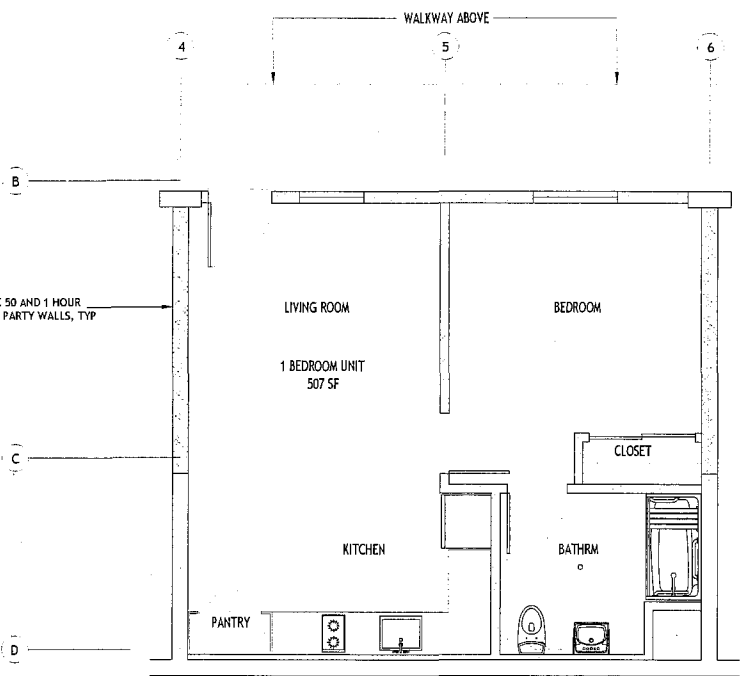
ATTACHMENT 13



EXISTING/DEMO UNIT PLAN
SCALE: 1/8" = 1'-0"



PROPOSED 1 BEDROOM UNIT DIMENSION PLAN
SCALE: 1/8" = 1'-0"



PROPOSED 1 BEDROOM UNIT PLAN
SCALE: 1/8" = 1'-0"

(6) PROPOSED LOWER LEVEL 1 BEDROOM UNIT PLANS

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LEGEND

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- - -	(E) WALL TO BE REMOVED
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▬	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

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PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

HOUSING BLDG.
EXTERIOR
ELEVATIONS

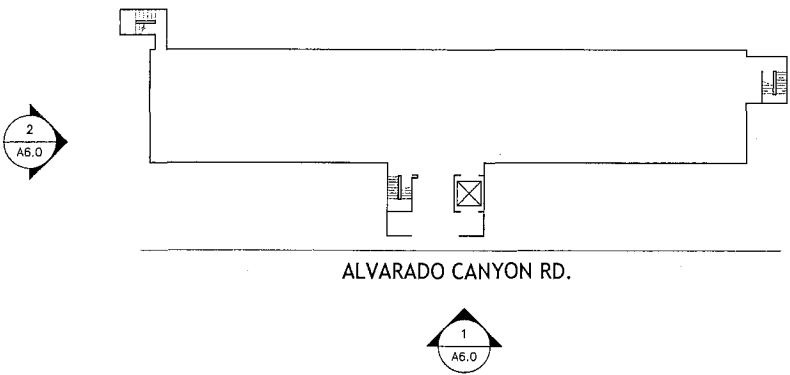
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11 of 19

ATTACHMENT 13

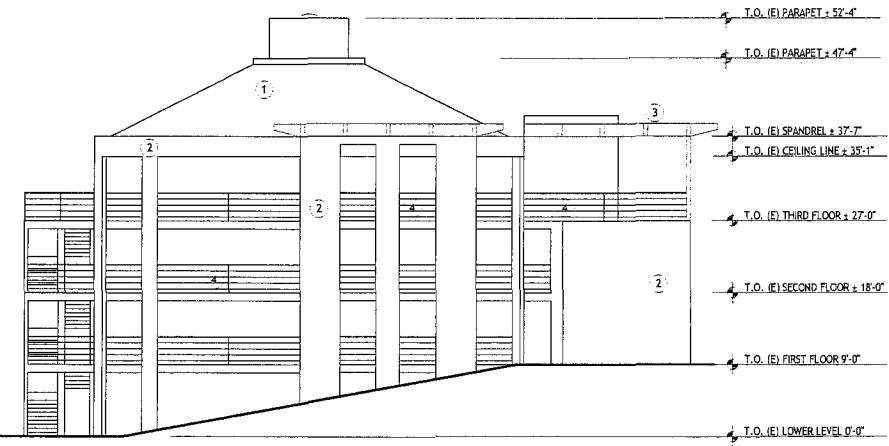
KEY PLAN

N.T.S.



EXTERIOR MATERIAL LEGEND

- 1 (E) TILE ROOF
- 2 STUCCO (N) FACADE ELEMENTS
- 3 (N) SUNSHADE STRUCTURES
- 4 (N) RAILING - STEEL WITH CABLE OR RIGID PICKETS
- 5 (N) ELEVATOR SHAFT WAY BEYOND (STUCCO), OPAQUE PANELS
- 6 (N) UNIT WALLS - INFILL AT (E) PARKING



2. WEST ELEVATION

SCALE: 3/32" = 1'-0"



1. SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

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PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

HOUSING BLDG.
EXTERIOR
ELEVATIONS

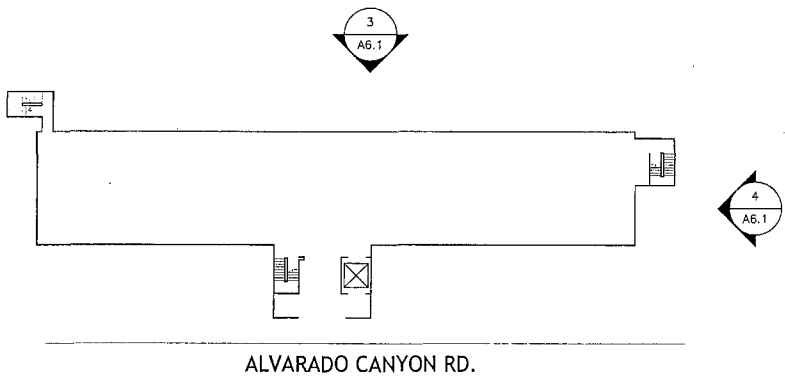
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ATTACHMENT 13

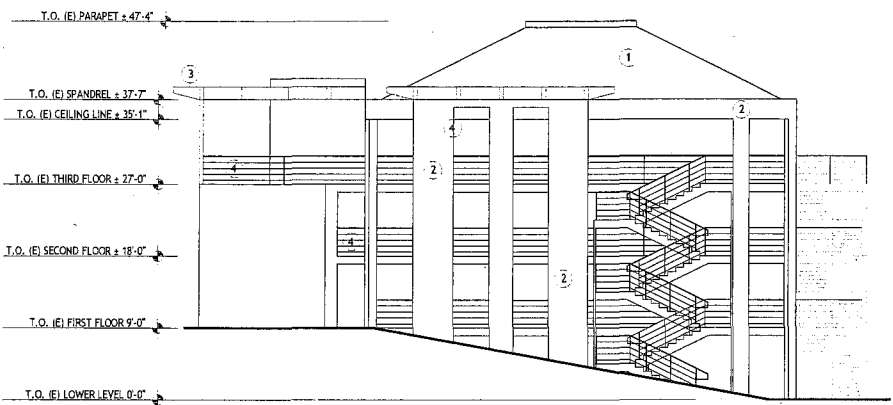
KEY PLAN

N.T.S.



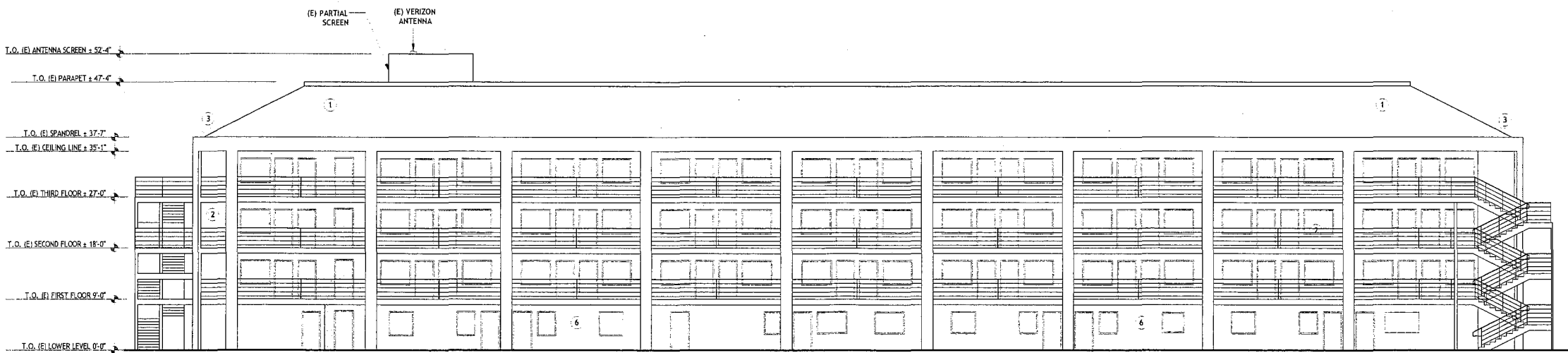
EXTERIOR MATERIAL LEGEND

- 1 (E) TILE ROOF
- 2 STUCCO (N) FACADE ELEMENTS
- 3 (N) SUNSHADE STRUCTURES
- 4 (N) RAILING - STEEL WITH CABLE OR RIGID PICKETS
- 5 (N) ELEVATOR SHAFT WAY BEYOND (STUCCO), OPAQUE PANELS
- 6 (N) UNIT WALLS - INFILL AT (E) PARKING



4. EAST ELEVATION

SCALE: 3/32" = 1'-0"



3. NORTH ELEVATION

SCALE: 3/32" = 1'-0"

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LEGEND

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PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

ADMIN. BLDG.
EXTERIOR
ELEVATIONS

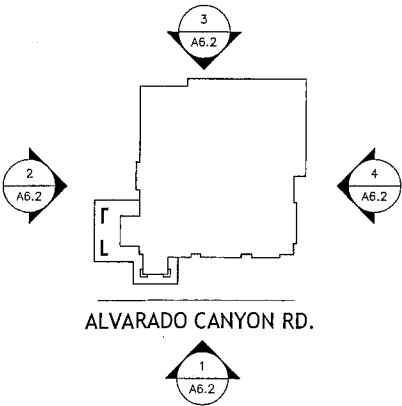
A6.2

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ATTACHMENT 13

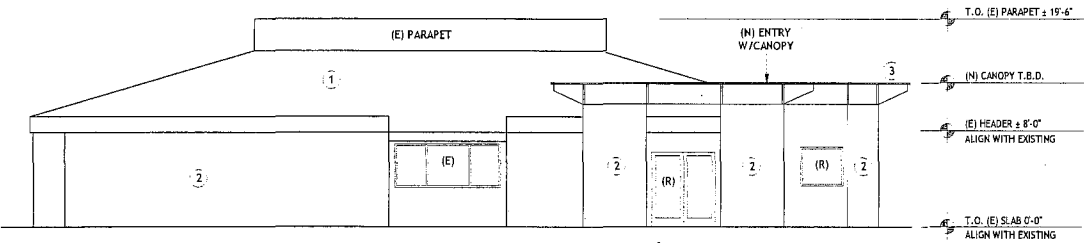
KEY PLAN

N.T.S.



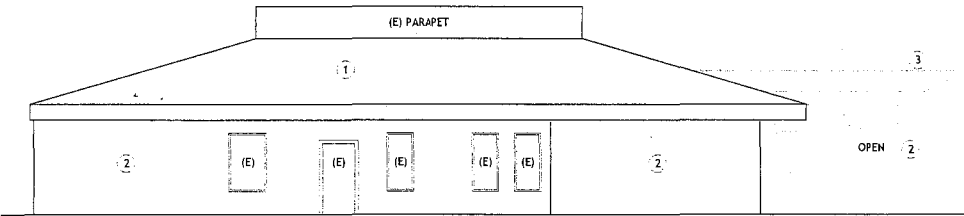
EXTERIOR MATERIAL LEGEND

- 1 (E) TILE ROOF
- 2 (N) STUCCO FACADE ELEMENTS
- 3 (N) SUNSHADE STRUCTURES



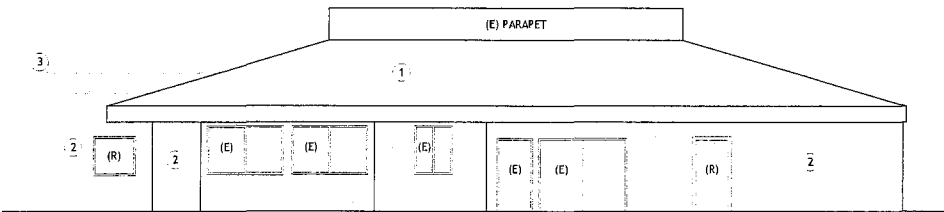
4. WEST ELEVATION

SCALE: 1/8" = 1'-0"



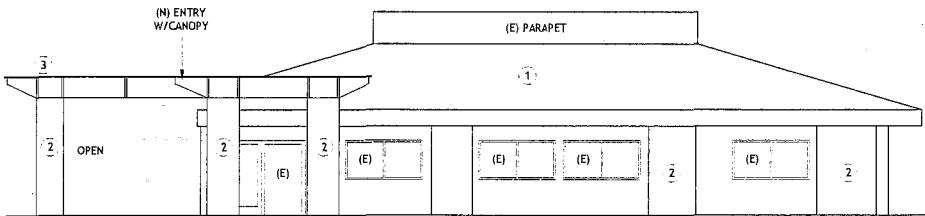
3. NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2. EAST ELEVATION

SCALE: 1/8" = 1'-0"



1. SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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CHARLES PICK, ARCHITECT



LEGEND	
◆	(H) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
---	(H) CONCRETE ANTICIPATED, VERIFY IN FIELD
---	(H) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(H) INTERIOR PARTITION
---	(H) 1 HOUR RATED WALL

DRAWING REVISION LOG	
PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

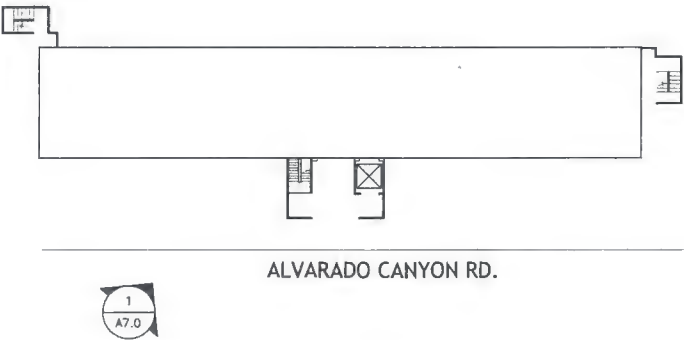
4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PERSPECTIVE

A7.0
14 of 19

KEY PLAN
N.T.S.



ALVARADO CANYON RD.



VIEW FROM NEW ENTRANCE

1. HOUSING BUILDING - SOUTHEAST PERSPECTIVE
NOT TO SCALE

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LEGEND	
◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
—	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
—	(N) GRADING, AC PAVING OR LANDSCAPE
—	(E) WALL TO REMAIN
—	(E) WALL TO BE REMOVED
—	(N) INTERIOR PARTITION
—	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

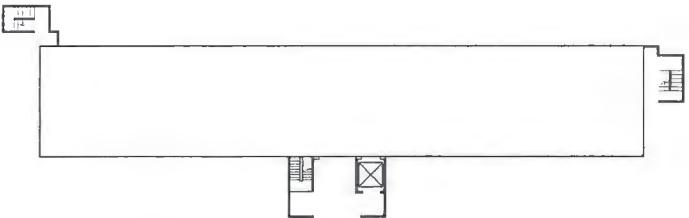
PERSPECTIVE

A7.1
15 of 19

ATTACHMENT 13

KEY PLAN

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ALVARADO CANYON RD.



FRONT ELEVATION

1. HOUSING BUILDING - FRONT VIEW
NOT TO SCALE

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LEGEND

◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

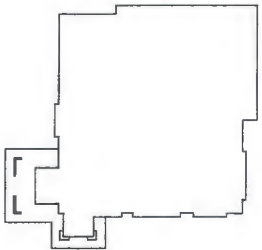
PERSPECTIVES

A7.2

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KEY PLAN

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ALVARADO CANYON RD.



FRONT ELEVATION

1. ADMINISTRATION BUILDING - FRONT VIEW
NOT TO SCALE

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LEGEND

◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
---	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
---	(N) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(N) INTERIOR PARTITION
---	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

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PDP REVISION	09/21/2016
SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

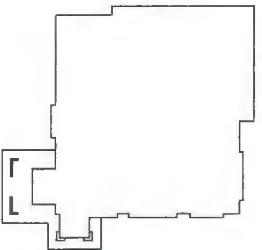
PERSPECTIVES

A7.3

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KEY PLAN

N.T.S.



ALVARADO CANYON RD.



FRONT AERIAL VIEW

1. ADMINISTRATION BUILDING - AERIAL VIEW
NOT TO SCALE

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& Consulting

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LEGEND

◆	(N) DIRECTIONAL SIGNAGE
X	PATH OF TRAVEL
(N)	(N) CONCRETE ANTICIPATED, VERIFY IN FIELD
(H)	(H) GRADING, AC PAVING OR LANDSCAPE
---	(E) WALL TO REMAIN
---	(E) WALL TO BE REMOVED
---	(H) INTERIOR PARTITION
---	(H) 1 HOUR RATED WALL

DRAWING REVISION LOG

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SDP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PERSPECTIVES

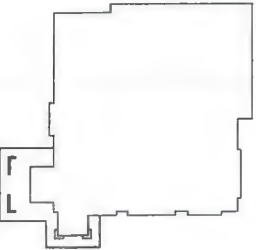
A7.4

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ATTACHMENT 13

KEY PLAN

N.T.S.



ALVARADO CANYON RD.



INTERIOR VIEW

2. ADMINISTRATION BUILDING - INTERIOR VIEW
NOT TO SCALE



PLAN VIEW

1. ADMINISTRATION BUILDING - PLAN VIEW

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CHARLES PICK, ARCHITECT



LEGEND

- ◆ (N) DIRECTIONAL SIGNAGE
- X PATH OF TRAVEL
- (N) CONCRETE ANTICIPATED, VERIFY IN FIELD
- (N) GRADING, AC PAVING OR LANDSCAPE
- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) INTERIOR PARTITION
- (R) 1 HOUR RATED WALL

DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016
PDP REVISION	09/21/2016
SOP REVISION	11/08/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

COLOR &
MATERIALS

A8.0

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1 COLOR CODE: SW7048
NAME: URBANE BRONZE
LOCATION: ALUMINUM SHADES



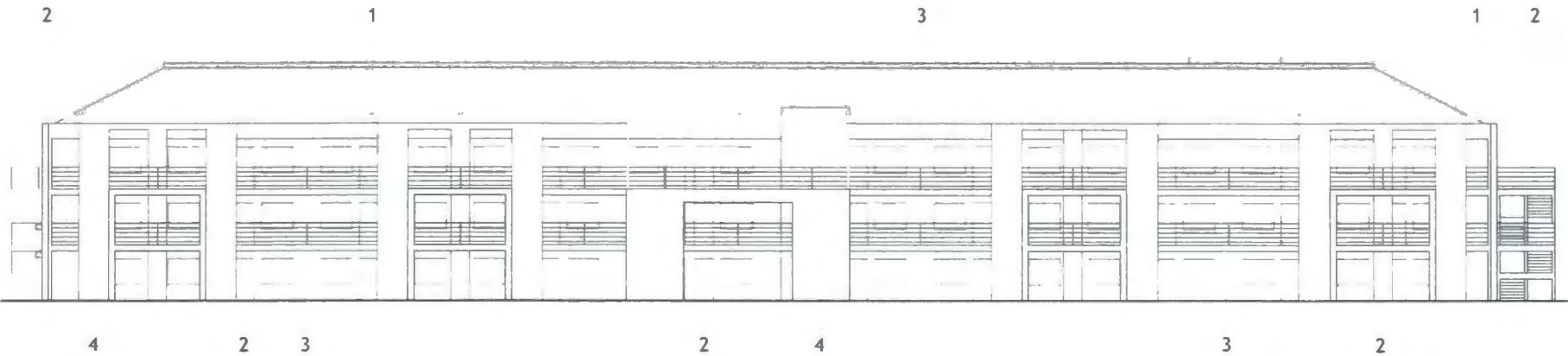
2 COLOR CODE: SW6242
NAME: BRACING BLUE
LOCATION: ALL RAILINGS,
DOORS & COLUMNS



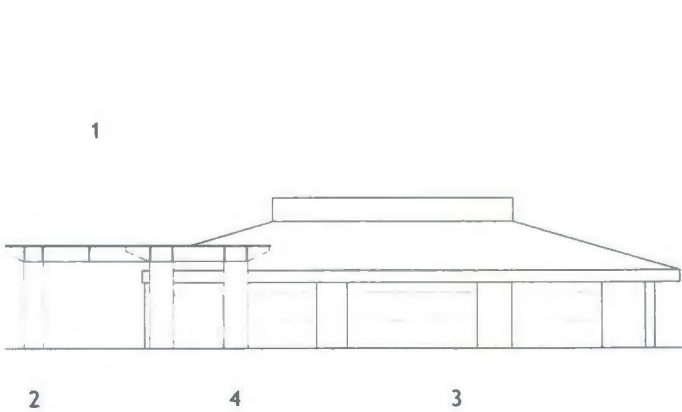
3 COLOR CODE: SW7672
NAME: KNITTING NEEDLES
LOCATION: BODY COLOR AT
(E) WALLS &
WALKWAYS



4 COLOR CODE: SW7640
NAME: FAWN BRINDLE
LOCATION: BODY COLOR AT
(N) WALLS &
PORTALS



RESIDENTIAL BUILDING



ADMINISTRATION BUILDING

BASIS Architecture
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CHARLES PICK, ARCHITECT

Kimley»Horn



DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

CONCEPT PLANT SCHEDULE



CONCEPT PLANT SCHEDULE

	STREET TREE KOELREUTERIA PANICULATA / GOLDEN RAIN TREE MATURE HEIGHT/SPREAD 30'X30' LIQUIDAMBAR STYRACIFLUA / SHEETSUM MATURE HEIGHT/SPREAD 40'X40'	24" BOX	M
	GARDEN TREE CITRUS SPP. / VARIOUS MATURE HEIGHT/SPREAD 8' X 5'	15 GAL	M
	CANOPY TREE GINKGO BILOBA 'AUTUMN GOLD' TM / MAIDENHAIR TREE MATURE HEIGHT/SPREAD 35'X20' PLATANUS RACEMOSA / CALIFORNIA SYCAMORE MATURE HEIGHT/SPREAD 25'X25'	48" BOX	M
	ACCENT TREE/LARGE SHRUB ARBUS UNEDO / STRAWBERRY TREE MATURE HEIGHT/SPREAD 15'X15' OLEA EUROPAEA 'WILSON' / EUROPEAN OLIVE MATURE HEIGHT/SPREAD 20'X15' PITTOSPORUM TOBIIRA 'VARIEGATA' / VARIEGATED MOCK ORANGE MATURE HEIGHT/SPREAD 6'X8' PRUNUS CAROLINIANA / CAROLINA LAUREL CHERRY MATURE HEIGHT/SPREAD 15'X15'	36" BOX	M
	SHRUBS AGAVE ATTENUATA / FOX TAIL AGAVE MATURE HEIGHT/SPREAD 4'X6' DODONAEA VISCOSA 'PURPUREA' / PURPLE LEAFED HOPSEED BUSH MATURE HEIGHT/SPREAD 8'X4' MYRTUS COMMUNIS 'COMPACTA' / DWARF MYRTLE MATURE HEIGHT/SPREAD 8'X8' PRUNUS CAROLINIANA / CAROLINA LAUREL CHERRY MATURE HEIGHT/SPREAD 8'X6' SANTALUM ALBA / MOTHER-IN-LAW'S TONGUE MATURE HEIGHT/SPREAD 2'X5'	5 GAL	M
	PERENNIALS AND GRASSES ANIGOSANTHOS X 'AMBER VELVET' / ORANGE KANGAROO PAM MATURE HEIGHT/SPREAD 3'X2' ASPIDISTRA ELATOR / CAST IRON PLANT MATURE HEIGHT/SPREAD 2'X2' BULBINE FRUTESCENS / STALKED BULBINE MATURE HEIGHT/SPREAD 2'X2' DIETES BICOLOR / FORTNIGHT LILY MATURE HEIGHT/SPREAD 3'X3' FESTUCA MAIREI / ATLAS FESCUE MATURE HEIGHT/SPREAD 2'X2' MULLENBERGIA RIGENS / DEER GRASS MATURE HEIGHT/SPREAD 3'X2'	5 GAL	M
	GROUNDCOVERS CARISSA MACROCARPA 'NANA' / DWARF NATAL PLUM MATURE HEIGHT/SPREAD 1'X1' CEANOTHUS GRISSEUS HORIZONTALIS / CARMEL CREEPER MATURE HEIGHT/SPREAD 1'X1' LIRIOPE MUSCARI / LILY TURF MATURE HEIGHT/SPREAD 1'X1' ROSMARINUS OFFICINALIS / ROSEMARY MATURE HEIGHT/SPREAD 1'X2' SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO MATURE HEIGHT/SPREAD 1'X2'	1 GAL	M
	TURF ALTERNATIVE CAREX FENEA / SANDDUNE SEDGE MATURE HEIGHT 6"-8"	SOD	M

NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0402(b) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THIS DESIGN WILL UTILIZE DRIP IRRIGATION SYSTEMS.
- MINIMUM TREE SEPARATION DISTANCE SHALL BE AS FOLLOWS:
 - TRAFFIC SIGNALS/ STOP SIGNS - 20 FEET
 - UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
 - DRIVEWAY (ENTRIES) - 10 FEET
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS AS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITTEE SHALL REPAIR AND/OR REPLACE IT IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- PRIOR TO OCCUPANCY AND USE, AN IRRIGATION AUDIT AND WATER CONSERVATION WATER BUDGET, CONSISTENT WITH SAN DIEGO MUNICIPAL CODE (SDMC) 142.0413(f) AND SECTION 2.7 OF THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL, SHALL BE CONDUCTED AND SUBMITTED TO THE CITY OF SAN DIEGO BY THE LICENSED LANDSCAPE ARCHITECT.
- THE PROJECT SHALL INCLUDE WAYFINDING SIGNAGE IDENTIFYING PEDESTRIAN ROUTES TO THE ALVARADO CREEK PATHWAY AND TO THE GRANTVILLE TROLLEY STATION.
- SIGHT TRIANGLES ARE DRAWN DIAGRAMMATICALLY BASED ON A 30 MPH SPEED ZONE. ALL STREET TREES SHALL BE TRIMMED TO A MINIMUM SKIRT HEIGHT OF 8' TO ALLOW FOR CLEAR VISIBILITY.

DESIGN STATEMENT

THE DESIGN INTENT STRIVES TO CREATE A SPACE FOR RESIDENTS TO SOCIALIZE AND GARDEN, PROVIDES OPPORTUNITIES TO EASILY ACCESS SURROUNDING PROPERTIES AND TRANSPORTATION INFRASTRUCTURE, AND STRIVES TO ESTABLISH A SENSE OF COMMUNITY FOR THE RESIDENTS AND GUESTS OF THE GRANTVILLE VETERAN'S HOUSING DEVELOPMENT. ALL OF THIS WILL BE DEVELOPED WITHIN THE LOCAL ENVIRONMENTAL, AND REGULATORY CONTEXT. DESIGN STRATEGIES INCLUDE:

- THE USE OF TREES TO SOFTEN AND COMPLEMENT THE PROPOSED ARCHITECTURAL ENHANCEMENTS, AND TO PROVIDE TRAFFIC CALMING VISUAL CUES TO RESIDENTS ON FOOT AND IN CARS.
- THE USE OF NATIVE AND ADAPTIVE PLANTS FOR EFFICIENT USE OF IRRIGATION WATER, ARRANGED INTO HYDROZONES FOR MAXIMUM EFFICIENCY.
- USE OF AN IRRIGATION SYSTEM WITH LOW VOLUME DRIP AND BUBBLER EMITTERS THAT IS CONTROLLED BY A "SMART" CONTROLLER, WHICH AUTOMATICALLY ADJUSTS THE WATER OUTPUT BASED ON THE SITE'S DAILY CLIMATE CONDITIONS. THE CONTROLLER WILL ALSO AUTOMATICALLY SHUT OFF THE SYSTEM IF IT SENSES PRECIPITATION.
- CREATION OF OUTDOOR SEATING AND GARDEN AREAS TO TAKE ADVANTAGE OF THE SITE'S OUTDOOR SPACE, SURROUNDING FEATURES, AND PROVIDE A PEDESTRIAN FRIENDLY CONNECTION BETWEEN BUILDINGS.
- THE USE OF PERMEABLE DECOMPOSED GRANITE FOR WALKING PATHS AND SHREDDED BARK MULCH IN THE GARDEN SPACES TO CONSERVE SOIL MOISTURE AND REDUCE TEMPERATURE VARIATION.

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Kimley»Horn



DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

LANDSCAPE CALCULATIONS
PLAN

L1.1

ATTACHMENT 13

STATE OF CALIFORNIA ESTIMATED WATER USE					
TOTAL WATER USE IS CALCULATED BY SUMMING THE AMOUNT OF WATER ESTIMATED FOR EACH HYDROZONE. WATER USE FOR EACH HYDROZONE IS ESTIMATED WITH THE FOLLOWING FORMULA: ETWU (HYDROZONE) = ESTIMATED TOTAL WATER USE (GAL / YEAR) ETO = REFERENCE EVAPOTRANSPIRATION (INCHES / YEAR) ETAF = ET ADJUSTMENT FACTOR PF = PLANT FACTOR (WUCLS) HA = HYDROZONE AREA (S.F.) (16 SF / TREE) C2 = CONVERSION FACTOR IE = IRRIGATION EFFICIENCY SLA = SPECIAL LANDSCAPE AREA (S.F.) ETWU (HYDROZONE) = (ETO * PF * HA * C2) / (IE) MAWA = (ETO)(0.62)(ETAF * TOTAL HA) + (1 - ETAF) * SLA] ... (ETO)(0.62)(0.55 * TOTAL HA) + (0.45) * SLA]					
HYDROZONE A (TREE BUBBLERS - MODERATE WATER USE)					
ETO	PF	HA	CONVERSION FACTOR	IE	ETWU (GAL/YEAR)
47	0.5	768	0.62	0.81	13,815
ESTIMATED TOTAL WATER USE (ETWU, GAL/YR)					13,815
HYDROZONE B (DRIP - MODERATE WATER USE)					
ETO	PF	HA	CONVERSION FACTOR	IE	ETWU (GAL/YEAR)
47	0.5	6,365	0.62	0.81	114,481
ESTIMATED TOTAL WATER USE (ETWU, GAL/YR)					114,481
HYDROZONE C (DRIP - LOW WATER USE)					
ETO	PF	HA	CONVERSION FACTOR	IE	ETWU (GAL/YEAR)
47	0.2	10,831	0.62	0.81	77,830
ESTIMATED TOTAL WATER USE (ETWU, GAL/YR)					77,830
HYDROZONE D (VEGETABLE GARDEN - SPECIAL LANDSCAPE AREA)					
ETO	PF	HA	CONVERSION FACTOR	IE	ETWU (GAL/YEAR)
47	1.0	1,282	0.62		37,357
ESTIMATED TOTAL WATER USE (ETWU, GAL/YR)					37,357
TOTAL ETWU = 243,593					
MAWA (MAXIMUM APPLIED WATER ALLOWANCE) ... MAWA = (ETO)(0.62)((0.55 * TOTAL HA) + (0.45) * SLA)]					
ETO	ETAF	TOTAL HA	CONVERSION FACTOR	MAWA (GAL/YR)	
47	0.55	17964	0.62	304,720	
ESTIMATED ANNUAL WATER USE (% OF MAWA)				80%	

NOTE: ONCE AN IRRIGATION PLAN IS FINALIZED, THE CALCULATIONS AND WATER BUDGET WILL BE UPDATED TO REFLECT FINALIZED PLAN.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Michael P. Madsen

MICHAEL P. MADSEN, LLA 5798

YARD CALCULATION STATEMENT

THE CALCULATIONS PROVIDED ARE BASED ON THE SAN DIEGO MUNICIPAL CODE FOR COMMERCIAL PROPERTY STANDARDS. DUE TO THE SITE BEING PREVIOUSLY APPROVED AND CONSTRUCTED AS A COMMERCIAL DEVELOPMENT, THESE STANDARDS WILL STILL APPLY TO THIS PROPOSAL FOR A CONVERTED MULTI-DWELLING UNIT PROPERTY.

YARD CALCULATIONS ARE AS FOLLOWS:

- STREET YARD AS DEFINED BY THE SAN DIEGO MUNICIPAL CODE WILL CONTAIN AT A MINIMUM 25% LANDSCAPE OF THE TOTAL STREET YARD SQUARE FOOTAGE. ADDITIONALLY, 0.05 POINTS OF THE TOTAL STREET YARD AREA SHALL BE REQUIRED WHERE ONLY TREE POINTS CAN APPLY. REFER TO THE SAN DIEGO MUNICIPAL CODE, CHAPTER 14; TABLE 142-04C.
- REMAINING YARD AS DEFINED BY THE THE SAN DIEGO MUNICIPAL CODE WILL CONTAIN AT A MINIMUM 30% LANDSCAPE OF THE TOTAL REMAINING YARD SQUARE FOOTAGE. ADDITIONALLY, 0.05 POINTS OF THE TOTAL REMAINING YARD AREA SHALL BE REQUIRED WHERE SHRUBS AND TREE POINTS CAN APPLY. REFER TO THE SAN DIEGO MUNICIPAL CODE, CHAPTER 14; TABLE 142-04C.
- VEHICLE USE AREA (VUA) AS DEFINED BY THE THE SAN DIEGO MUNICIPAL CODE WILL CONTAIN AT A MINIMUM (FOR AREAS LARGER THAN 6,000 SQ.FT.) 5% LANDSCAPE IN THE STREET YARD AND 3% IN THE REMAINING YARD. THESE AREAS ARE DEFINED BY THE PROXIMITY OF THE LANDSCAPE AREA TO THE VUA. REFER TO THE SAN DIEGO MUNICIPAL CODE CHAPTER 14; TABLE 142-04D.

YARD POINTS BREAKDOWN

STREET YARD: (TREE POINTS ONLY)

48" BOX TREES = 100 PTS X 11 TREES = 1,100 PTS
36" BOX TREES = 50 PTS X 10 TREES = 500 PTS
24" BOX TREES = 20 PTS X 0 TREES = 0 PTS
15 GAL TREES = 10 PTS X 8 TREES = 80 PTS

EXISTING TREES (NON-NATIVE, >10" DBH - 50 PTS FOR 2" AND 25 PTS FOR EVERY ADDITIONAL INCH.) = 50 PTS EA. X 1 TOTAL = 50 PTS

EXISTING FEATHER PALMS (OVER 20") = 60 PTS EA. X 3 TOTAL = 180 PTS

TOTAL POINTS PROVIDED = 1,910 PTS

REMAINING YARD: (TREE AND SHRUB POINTS)

48" BOX TREES = 100 PTS X 2 TREES = 200 PTS
36" BOX TREES = 50 PTS X 6 TREES = 300 PTS
24" BOX TREES = 20 PTS X 0 TREES = 0 PTS
15 GAL TREES = 10 PTS X 0 TREES = 0 PTS

EXISTING TREES (NON-NATIVE, >10" DBH - 50 PTS FOR 2" AND 25 PTS FOR EVERY ADDITIONAL INCH.) = 50 PTS EA. + (25 PTS X 8") X 10 TOTAL = 2,000 PTS

EXISTING FEATHER PALMS (OVER 20") = 60 PTS EA. X 0 TOTAL = 0 PTS

TOTAL POINTS PROVIDED = 2,780 PTS

VUA -STREET YARD: (TREE AND SHRUB POINTS)

48" BOX TREES = 100 PTS X 6 TREES = 600 PTS
36" BOX TREES = 50 PTS X 6 TREES = 300 PTS
24" BOX TREES = 20 PTS X 0 TREES = 0 PTS
15 GAL TREES = 10 PTS X 0 TREES = 0 PTS

EXISTING TREES (NON-NATIVE, >10" DBH - 50 PTS FOR 2" AND 25 PTS FOR EVERY ADDITIONAL INCH.) = 50 PTS EA. + (25 PTS X 8") X 1 TOTAL = 200 PTS

EXISTING FEATHER PALMS (OVER 20") = 60 PTS EA. X 1 TOTAL = 60 PTS

TOTAL POINTS PROVIDED = 1,492 PTS

VUA -REMAINING YARD: (TREE AND SHRUB POINTS)

48" BOX TREES = 100 PTS X 2 TREES = 200 PTS
36" BOX TREES = 50 PTS X 0 TREES = 0 PTS
24" BOX TREES = 20 PTS X 0 TREES = 0 PTS
15 GAL TREES = 10 PTS X 0 TREES = 0 PTS

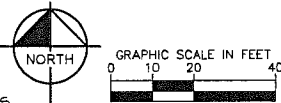
EXISTING TREES (NON-NATIVE, >10" DBH - 50 PTS FOR 2" AND 25 PTS FOR EVERY ADDITIONAL INCH.) = 50 PTS EA. + (25 PTS X 8") X 5 TOTAL = 1000 PTS

15 GAL SHRUBS = 10 PTS X 9 SHRUBS = 90 PTS

TOTAL POINTS PROVIDED = 1,290 PTS

STREET YARD AND REMAINING YARD PLANTING CALCULATIONS

Street Yard							
	Total area (square feet)	Planting Area REQUIRED	Planting Area Provided	Formula	Required Points (Tree only)	Tree Points Provided (Includes Existing Trees)	Total Points Provided
Street Front Yard (Total Area square feet) **	34,707	25%	26%	05 points per sq. foot	1735	1910	1910
Remaining Yard							
	Quantity (Square feet)	Planting Area REQUIRED	Planting Area Provided	Formula	Required Points	Tree Points Provided (Includes Existing Trees)	Total Points Provided
Interior Side Yard (Total Area square feet) **	15,544	30%	31%	05 points per sq. foot	972	2590	2780
Parking Area							
	Quantity (Square feet)	Planting Area REQUIRED	Planting Area Provided	Formula	Required Points	Tree Points Provided (Includes Existing Trees)	Total Points Provided
Street Yard Vehicle Use Area	22,694	5%	8%	05 points per sq. foot	1135	1160	1492
Remaining Yard Vehicle Use Area	12,829	3%	9%	03 points per sq. foot	641	1200	1290

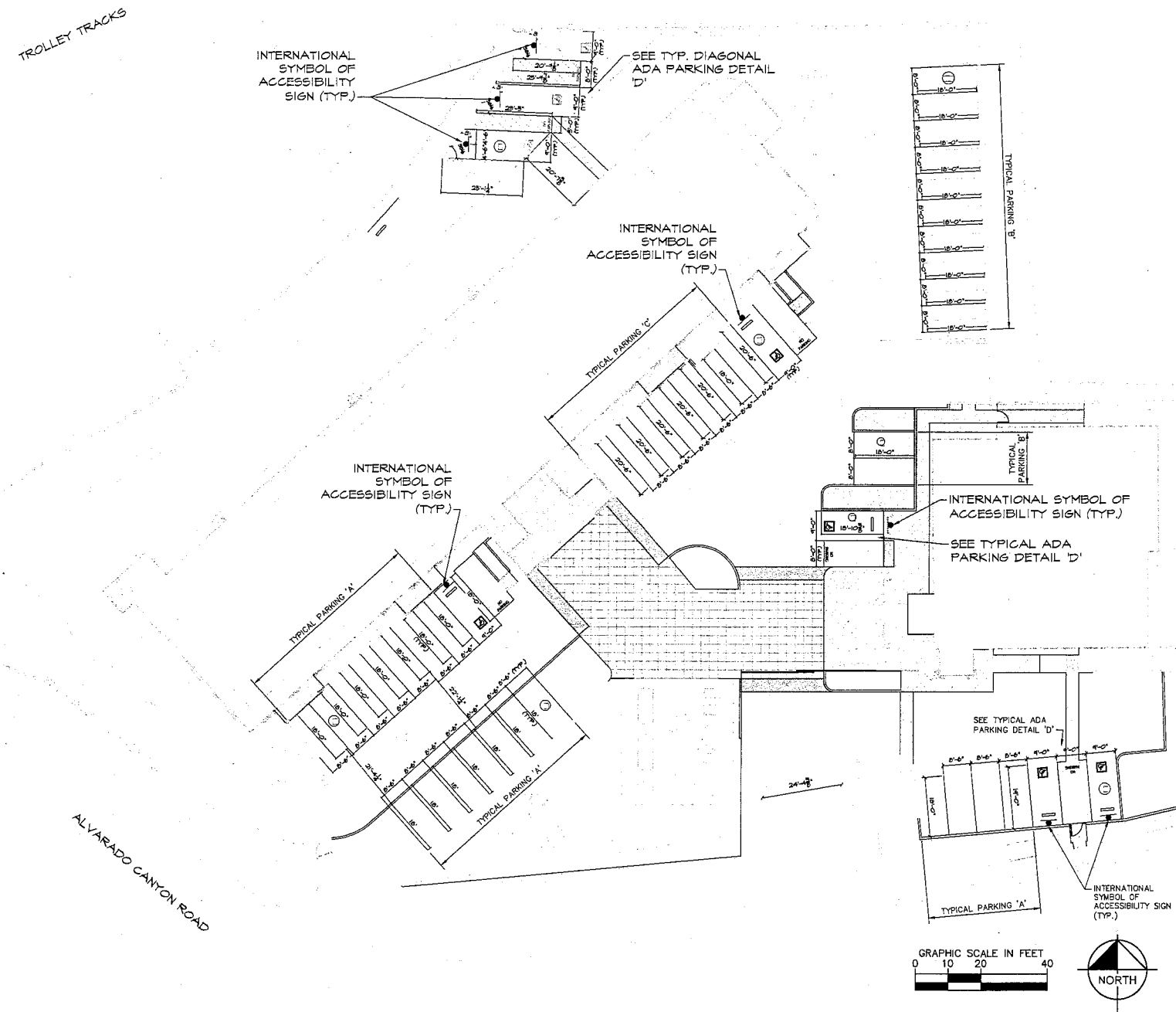


2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
FAX (415) 457-6036

P.O.BOX 150539
SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT

Kimley»»Horn



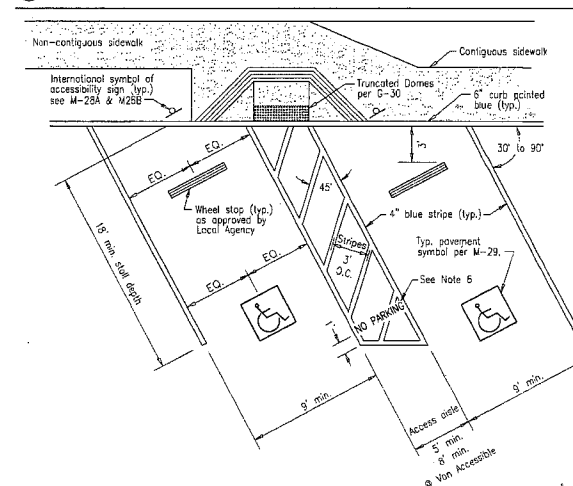
NOTES:

1. TOTAL PARKING SPACES: 45 SPACES
2. ADA PARKING SPACES: 8 SPACES
3. EXACT LOCATION OF PAVEMENT DELINEATION IS APPROXIMATE. ALL PERMANENT PAVEMENT DELINEATION LOCATIONS SHALL BE APPROVED BY THE APPOINTED ENGINEER BEFORE INSTALLATION
4. ANGLED PARKING STALLS ARE BETWEEN 50 - 60 DEGREES.
5. ALL PAVEMENT STRIPING, LEGENDS AND MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.

LEGEND

NEW SIGN LOCATION

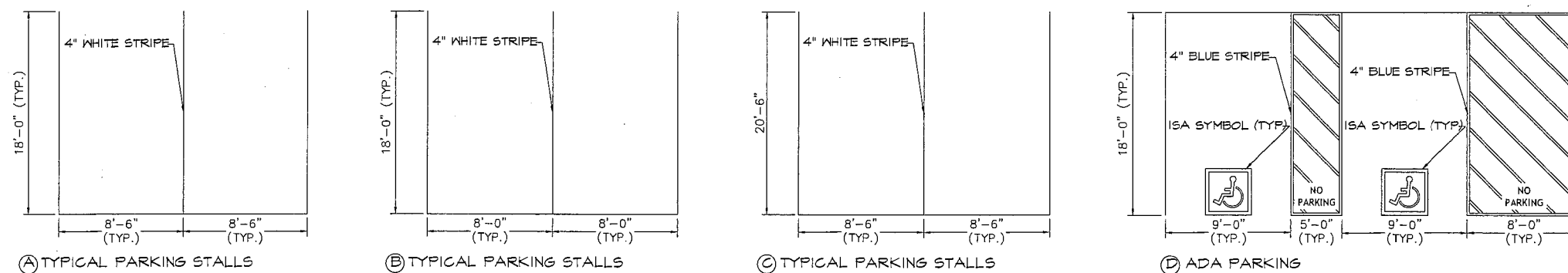
(E) ADA PARKING - DIAGONAL



NOTES:

1. Provide for adequate drainage.
2. For appropriate ramp alternate to conform to topographical conditions, see standard drawings G-27 through G-32B.
3. Blue color should match color No. 15080 in the Federal Standard 595a as specified in Section 522(a)(2).
4. If only one accessible parking stall is going to be provided, the access aisle shall be 8' (over accessible) and located on the passenger side.
5. Sidewalk cross slope shall not exceed 2.0%.
6. "NO PARKING" 12" high stencil marking, reflective white over blue stripes.

STRIPING DETAILS
NOT TO SCALE



DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
PDP REVISION	07/27/2016

PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

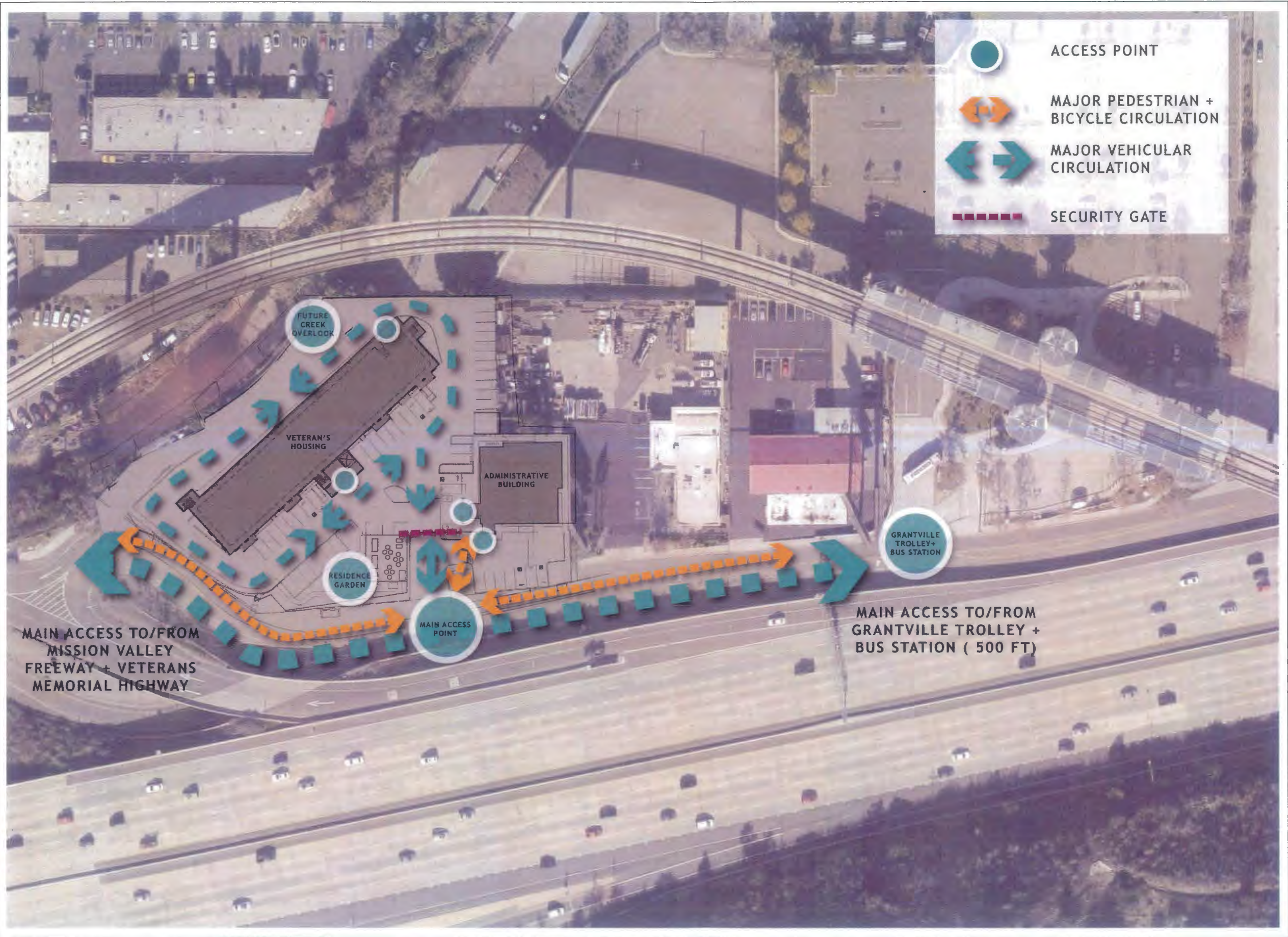
PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

DOCUMENT DESCRIPTION
ORGANIZATION

1011



BASIS Architecture
& Consulting

2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
FAX (415) 457-6036

P.O. BOX 150539
SAN RAFAEL, CA 94915

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DRAWING REVISION LOG

PDP SUBMITTAL	06/23/2016
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PROJECT NAME:

GRANTVILLE MOTEL
CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

PROJECT CONTEXT MAP

L1.3



FALSE AGAVE



STRAWBERRY TREE



CAST IRON PLANT



HOPSEED BUSH +
KANGAROO PAW



FLAME TREE



STALKED BULBINE



CITRUS TREE



FORTNIGHT LILY



ATLAS FESCUE



MAIDENHAIR TREE



JACARANDA TREE



LILY TURF



BLUE CHALK STICKS



CALIFORNIA
SYCAMORE



CAROLINA LAUREL
CHERRY



ROSEMARY



SNAKE PLANT



DWARF MYRTLE

BASIS Architecture
& Consulting

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DRAWING REVISION LOG

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PROJECT NAME:

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CONVERSION

PROJECT LOCATION:

4370 & 4380
ALVARADO
CANYON ROAD
SAN DIEGO, CA

SHEET TITLE:

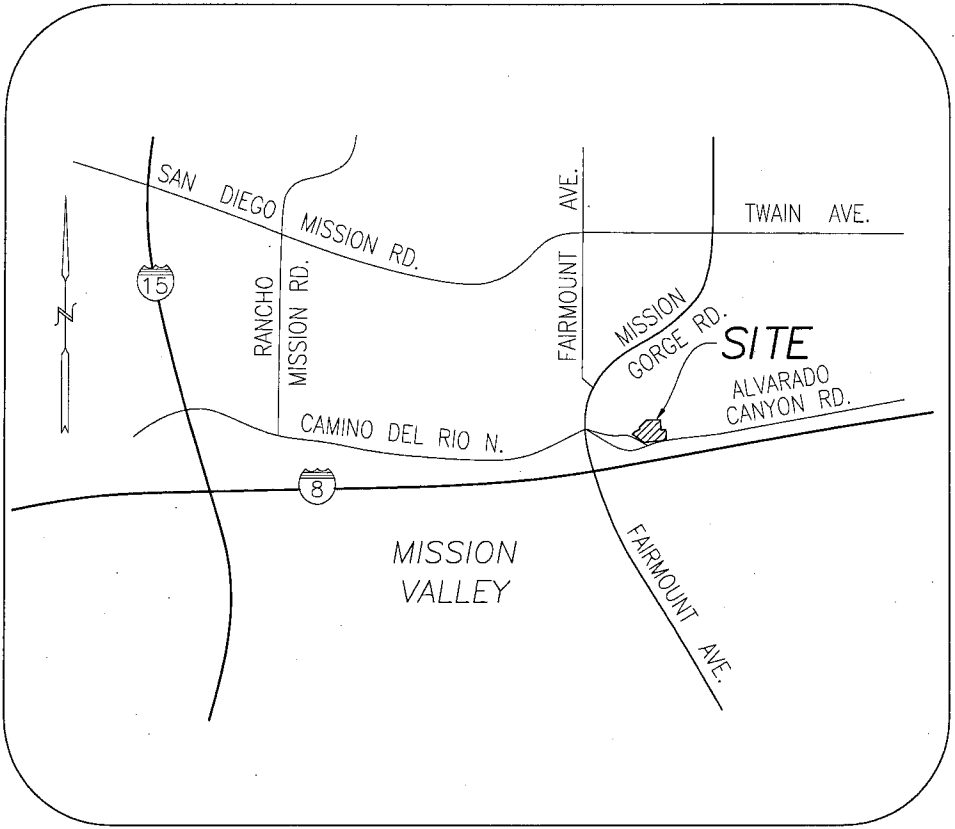
PLANT PALETTE

SURVEY NOTES

- 1.) THE TOTAL AREA WITHIN THIS SURVEY IS 1.69 ACRE GROSS
- 2.) THE FOLLOWING TITLE REPORT WAS USED IN THE PREPARATION OF THIS ALTA SURVEY: BY CHICAGO TITLE INSURANCE COMPANY AS ORDER NO. 00047259-004-DD, DATED DECEMBER 3, 2015.
- 3.) THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT OR ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.
- 4.) AT THE TIME OF SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 5.) AT THE TIME OF SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 6.) AT THE TIME OF SURVEY THERE ARE NO WETLAND AREAS ON SITE.
- 7.) ASSESSOR'S PARCEL NUMBER: 461-320-28-00.

GRANTVILLE MOTEL SIX CONVERSION

VETERANS HOME PROJECT
4370 & 4380 Alvarado Canyon Road
San Diego, CA 92120



VICINITY MAP
NOT TO SCALE

OWNER:

Affirmed Housing
13520 Evening Creek Drive North, Suite 160
San Diego, CA 92128
858-679-2828

LEGAL DESCRIPTION

PARCEL 2 OF PARCEL MAP NO. 13761, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON APRIL 24, 1985.

APN

461-320-28-00

GRADING TABULATION (PRELIMINARY)

DISTURBED AREA = 28% OF TOTAL SITE OF 1.69 ACRES.
CUT = 300 CY, MAX CUT = 0.5 FT
FILL = 240 CY, MAX FILL = 0.5 FT
WITH ESTIMATED 20% SHRINKAGE, EXPORT/IMPORT = 0 CY

SITE ADDRESS

4370 Alvarado Canyon Road
San Diego, CA 92120

LEGAL DESCRIPTION:

461-320-28-00

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE CENTERLINE OF ALVARADO CANYON RD. BETWEEN FOUND MONUMENTS AS SHOWN ON PARCEL MAP NO. 13761.
I.E. N 80°37'56" E

TOPOGRAPHY SOURCE

EXISTING TOPOGRAPHY SHOWN IS BASED ON AN ALTA SURVEY BY CIREMELE SURVEYING INC. ON JUNE 30, 2016.

BENCHMARK

CITY OF SAN DIEGO BENCH MARK NO. 1826, LOCATED AT THE INTERSECTION OF ALVARADO CANYON RD. AND FAIRMOUNT AVE., BOLT ON TOP OF ELY CURB 150 FT NLY ALVARADO CANYON RD.
ELEVATION: 75.391 FEET

DEMOLITION NOTES

SOME EXISTING SIDEWALKS, POOLS AND DECKS, AC PAVEMENT AND THE ACCOMPANYING HARDSCAPE WILL BE DEMOLISHED PRIOR TO GRADING.

STORM WATER NOTES

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER /PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER /PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

GENERAL NOTES

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER /PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.
2. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER /PERMITTEE SHALL ASSURE BY PERMIT AND BOND, THE REPLACEMENT OF DAMAGED CURB, GUTTER, AND SIDEWALK (REPLACE FROM JOINT TO JOINT), PER CURRENT CITY STANDARDS, ADJACENT TO THE SITE ALONG THE FRONTING ST SATISFACTORY TO THE CITY ENGINEER.
3. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.

CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.
2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

ENGINEER OF WORK

Frank Florez 05/09/2016
FRANK FLOREZ R.C.E. 55555 DATE
EXPIRES ON 12/31/16



PROJECT NO:

SHEET TITLE

PRELIM
GRADING/
DRAINAGE
PLAN

SHEET NO:

1 OF 3

GRANTVILLE MOTEL SIX CONVERSION
4370 & 4380 Alvarado Canyon Road
San Diego, CA 92120



Florez Engineering, Inc.
Civil Engineering & Planning
10732 Charbono Terrace -
San Diego CA, 92131 - (858) 229-2493

**CERTIFICATION AND DECLARATION
OF RESPONSIBLE CHARGE**

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ENGINEER OF WORK

[Signature]



EXISTING ITEMS LEGEND

- 1 EXISTING TO REMAIN IN PLACE (ITEM NOTED ON PLAN)
- 2 EXISTING TO BE DEMOLISHED/REMOVED (AS NOTED ON PLAN)

PROPERTY BOUNDARY _____

EXISTING SPOT ELEVATION _____

EXISTING STORM DRAIN _____

EXISTING SEWER _____

EXISTING WATER _____

EXISTING SEWER LATERAL _____

EXISTING WATER METER _____

EXISTING POWER POLE _____

DRAINAGE DIRECTION _____

EXISTING DOMESTIC WATER SERVICE _____

EXISTING FIRE SERVICE _____

PROPOSED ITEMS LEGEND

- 1 CONSTRUCT NEW ITEM PER PLAN
- 2 PROPOSED 20 FT SEWER ACCESS EASEMENT
- 3 INSTALL NEW SD GRATED INLET (BROOKS BOX, OR EQUAL)
- 4 PROPOSED SD CLEAN OUT
- * REMOVE AND REPLACE DAMAGED SIDEWALK LOCATIONS PER SDRSD SDG-155 ALONG ALVARADO CANYON ROAD.

FINISH SPOT ELEVATION _____

FINISH SPOT ELEVATION _____

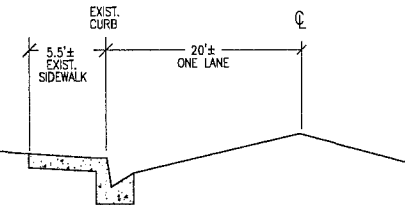
LIMIT OF WORK _____

PROPOSED STORM DRAIN (SIZE PER PLAN) _____

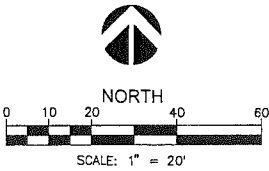
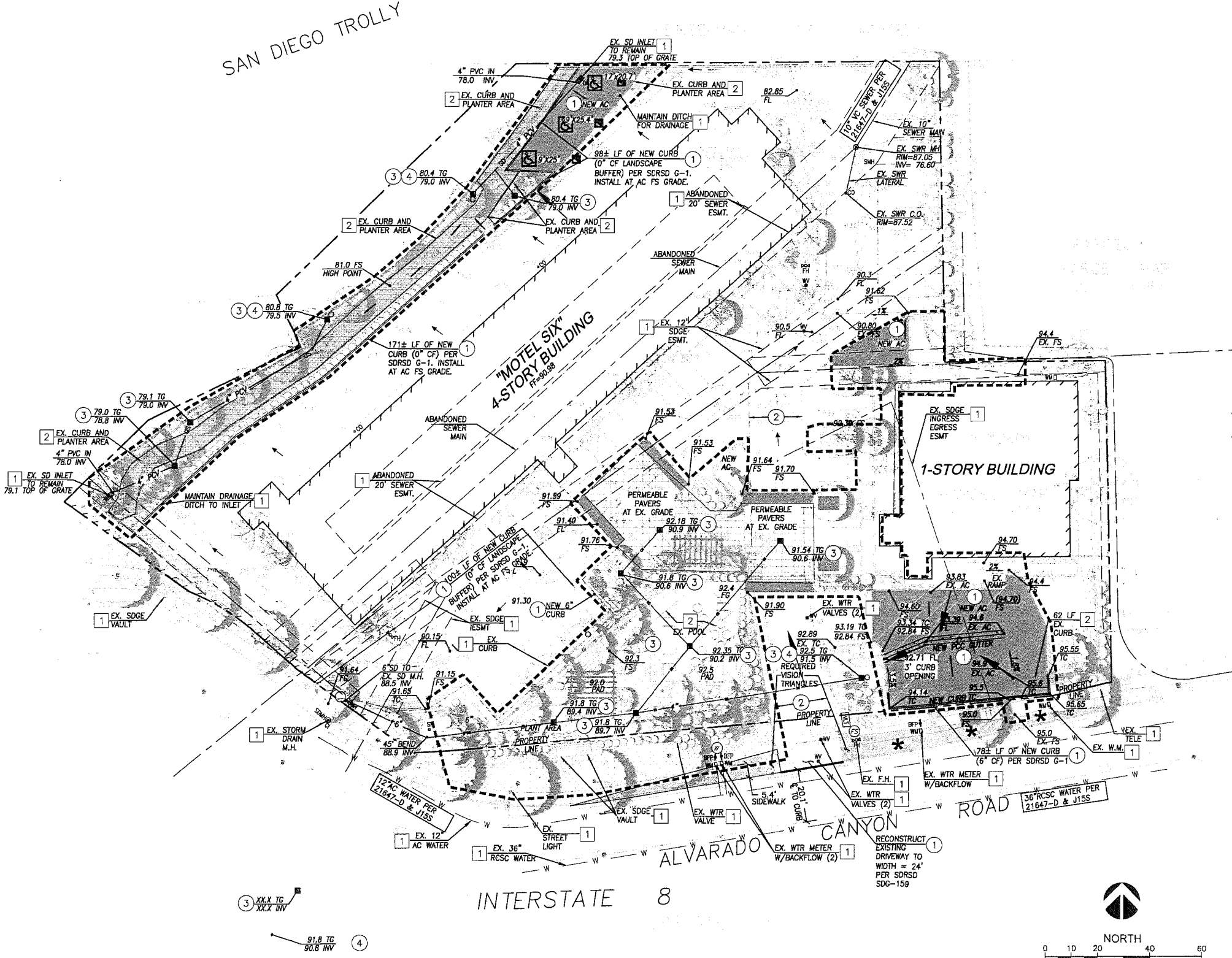
PROPOSED AC PAVEMENT _____

UTILITY NOTES

- 1. ANY EXISTING UNUSED WATER MAINS MUST BE REMOVED, OR "KILLED" TO THE SATISFACTION OF THE CITY INSPECTOR.
- 2. ANY EXISTING UNUSED SEWER LATERALS MUST BE CAPEO AT THE PROPERTY LINE, OR "ABANDONED" TO THE SATISFACTION OF THE CITY INSPECTOR.



ALVARADO CANYON ROAD
PARTIAL SECTION
N.T.S.



GRANTVILLE MOTEL SIX CONVERSION
4370 & 4380 Alvarado Canyon Road
San Diego, CA 92120

PROJECT NO:

SHEET TITLE

**PRELIM
GRADING/
DRAINAGE
PLAN**

SHEET NO:

2 OF 3

CERTIFICATION AND DECLARATION
OF RESPONSIBLE CHARGE

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.

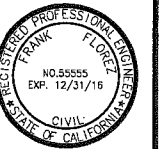
2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

ENGINEER OF WORK

[Signature]



Frank Flores, Inc.
Civil Engineering & Planning
11401 La Jolla Village Drive, Suite 100
San Diego, CA 92120
(619) 584-1414



FIRE ACCESS ITEMS LEGEND

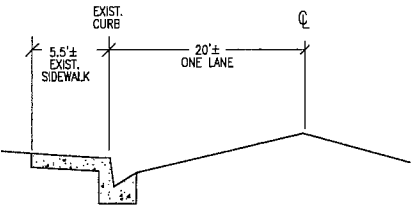
- 1 AREAL LADDER ACCESS (100 FT FROM ENTRANCE DRIVEWAY TO (N) ENHANCED FENCE.)
- 2 FIRE LANE / RED CURB AREAS
- KB BUILDING KNOX BOX INSTALLED PER FIRE DEPARTMENT POLICY K-15-2.

FIRE ACCESS NOTES

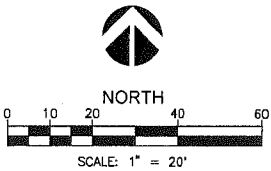
- THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.
- AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEYSWITCH OVERRIDE, BOTH DIRECTIONS, SATISFACTORY TO THE FIRE MARSHAL SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTION, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.

EXISTING ITEMS LEGEND

- PROPERTY BOUNDARY
- EXISTING SPOT ELEVATION
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING SEWER LATERAL
- EXISTING WATER METER
- EXISTING POWER POLE
- DRAINAGE DIRECTION
- EXISTING DOMESTIC WATER SERVICE
- EXISTING FIRE SERVICE



ALVARADO CANYON ROAD
PARTIAL SECTION
N.T.S.



NO

PARKING
FIRE
LANE

MUNI. CODE SEC. 86.09.04

ALL DIMENSIONS ARE IN INCHES

SET SURF	SIZE	BORDER WIDTH	MARGIN WIDTH	LETTER SIZE, SPACING & STROKE WIDTH						CODE NO.
				LINE 1	LINE 2	LINE 3	LINE 4	LINE 5		
-1.5	32 x 18	1/4"	1/4"	3/16"-49	3/16"-43	2/16"-33	2/16"-33	3/16"-28	1	

SET SURF	SIZE	DIMENSIONS											
		A	B	C	D	E	F	G	H	I	J	K	L
-1.5	32 x 18	1 1/2"	15	5/8"	3/8"	1-1/8"	1-1/2"	5/16"					

White BACKGROUND WITH Red BORDER & SYMBOL

1/8" DIA HOLES

SIGN
Retroreflective Material
Aluminum Sign

GRANTVILLE MOTEL SIX CONVERSION
4370 & 4380 Alvarado Canyon Road
San Diego, CA 92120

PROJECT NO:

SHEET TITLE

FIRE
ACCESS
PLAN

SHEET NO:

3 OF 3