1122 FOURTH AVENUE : THE OVERTURE!

OWNER:
Sloan Capital

DEVELOPER:
1122 4th Ave. LLC

ARCHITECT:
Martinez + Cutri Corporation

DECEMBER 7, 2016

MARTINEZ + CUTRI
CORPORATION
Architecture · Planning
Interiors · Urban Design

402 W Broadway Suite 2600
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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
COVER SHEET

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. :
SHEET OF

PROJECT TEAM

Owner: Sloan Capital
301 North Canon Drive, Suite 205
Beverly Hills, CA 90210
Tel. 310-858-5350

Developer: 1122 4th Ave. LLC
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Beverly Hills, CA 90210
Tel. 310-858-5350

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Structural Engineers: Glotman Simpson
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Landscape Architects: Garbini & Garbini
715 J Street #307, San Diego, CA 92101
Tel. 619-232-4747

Applicant: 1122 4th AVE. LL C
301 North Canon Drive, Suite 205
Beverly Hills, CA 90210
Tel. 310-858-5350

Contact: Cyrus Sanandaji

RESIDENTIAL DEVELOPMENT REQUIREMENT

(g) Residential Development Requirements
The following standards apply to residential developments that contain fifty or more dwelling units
1122 Fourth Avenue contains 282 units.

(1) Common Outdoor Open Space.
Each development shall provide common outdoor open space either at grade, podium, or roof level. Common outdoor open space areas shall have a minimum dimension of 30 feet, or 40 feet when a bordered by three building walls exceeding a height of 15 feet, and may contain active and passive areas and a combination of hardscape and landscape features, but a minimum of 10 percent of the common outdoor open space must be planting area. All common outdoor open space must be accessible to all residents of the development through a common corridor. Development shall provide common outdoor open spaces as a percentage of the lot area in accordance with Table 156-031C.

TABLE 156.0310-C: COMMON OUTDOOR OPEN SPACE

Lot Size	% Common Outdoor Open Space
25,103 sf	15

Actual Required: 25,103 X 0.15 = 3,765 SF
Actual Provided: 7,036 SF (See L2.2)

(2) Common Indoor Space.
Each development shall provide at least one Community room of at least 500 square feet for use by all residents of the development. The provided space for this project is 6,108 sf. The area is located adjacent to, and accessible from the common outdoor open space. This area contains active & passive recreational facilities, meeting space and other activity space, and is accessible through a common corridor.

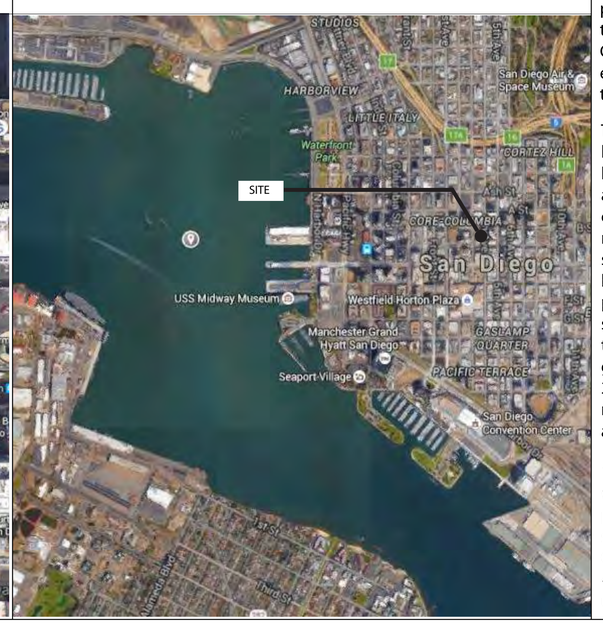
(3) Private Open Space.
At least 50 percent of all dwelling units shall provide private open space on a balcony, patio, or roof terrace, with a minimum area of 40 square feet each and an average horizontal dimension of 6 feet. 100% of the units in this project have balconies meeting these criteria. These balconies are proportionately distributed throughout the development in relationship to floor levels and sizes of units

(4) Storage. Each dwelling unit shall provide a personal storage area in accordance with Chapter 13, Article 1, Div. 4. See ˜oor plans.

(5) Pet Open Space.
Each development shall provide a minimum area of 100 square feet improved for use by pets clearly marked for such exclusive use. This area is provided on the 7th Floor outdoor space (north) and includes permeable surfaces, a hose bib, and is drained to the public sewer system.

VICINITY MAP

LOCATION MAP



PROJECT DATA

Site: A 25,103 sf site bounded by 4th Avenue to the East (150 ft.), C Street to the South (200 ft.), 3rd Avenue to the West (100 ft.), and to the north Lots 3 and 7 of Horton's Addition, Block 16, in the City of San Diego, County of San Diego, State of California, According to Map Thereof filed in the County Recorders Office of the County of San Diego Parcels 1 and 2, Lots E, F, G, H, and I, APN 533-52104, -05, -08.

Project: A high density, 40-story high rise tower, 419.75 feet tall, mixed use residential development containing 282 units, with street level retail, lobby, associated residential amenities, three levels of underground parking, as well as four levels of above grade parking.

Construction: Type 1 construction fire rated and sprinkled, Occupancy R2 – California Building Code CBC 2013

Land use Designation: Core (c) with ER – Employment / Overlay.

Current use of Site: Abandoned Theater, local historic designation; no residential; and small parking lot

Historical destination: San Diego historical landmark (local) SDHL number 291

Occupancy Classification

R-2	Multi-family Residential
A-2	Amenities Space
M	Retail
B	Leasing Office
S-1,2	Parking Garage

Code and Zoning
CBC 2013
City of San Diego Municipal Code
CPDO Employment Overlay
No vehicular access from C Street

PROJECT DESCRIPTION

1122 Fourth Avenue will be located along the north side of C Street corridor, between Third and Fourth Avenues. The pro-posed 40-story project is a mixed-use development, containing 282 residential units, with street level retail, and above ground as well as below grade parking totally 314 spaces. In addition, the project will contain 22 a°ordable mixed income units within the development, and further will provide much needed "7/24 activity" in this portion of downtown.The new development will demolished the existing California Theater; in turn, the development will recreate the east façade (100 ft.) and its adjacent south façade (40 ft.) of the former theater.

The 419.75 foot high tower is vertically layered with street level retail (20 ft to 26 ft. ˜oor-to-˜oor), followed by four levels of above grade parking, and a carved out podium / amenities ˜oor (7th ˜oor) at elevation 70.00 ft. This ˜oor will contain a lap pool, Club Room, Lounge, outdoor BBQ Terrace, Exercise Studio, and a 4,000 sf mini-park. On the east side of the property (Fourth Ave.) the existing 9 story o¸ce block will be recreated, and further will coincide with the proposed ˜oor-by-˜oor program. Above these ˜oors will start the residential units: ˜oors 8 and 9 will have views into the triple height pool area, while ˜oors 10 to 30 will have great views of the downtown environment, and ˜oors 31 to 39 will provide an excellent view of the city's many landmarks. On the 40th ˜oor (396.75ft.) will be a Rooftop Terrace and a small indoor Club Room Suite.

1122 FourthAvenue will be concrete framed structure with a window wall system containing ÿve di°erent tones of high performance glass.The above grade parking element will be screened with a perforated metal panels with images of the California Theater in its heyday. Along C Street, and 3rd and 4th Avenues, the landscape program will be in support of an urban experience and consist with the downtown plan.

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DEVIATIONS

1. Street Wall – Table 156-0310-A Building Base / Street Wall: 45 ft. Min. And 85 Ft. Max.

2. Building Base / Entry – Ch. 15, Art. 6, Div. 3, page 56, item iii – Recess entrances max. 25 ft. wide and 15 ft. deep

3. East-West Tower Dimensions – Requirement is 130 ft., Proposing 150 ft.

4. Projections – Ch. 15, Art. 6, Div. 3, page 68, item 3 Other Projections: Non-horizontal elements that wrap(s) a building corner: Blade sign, and Marquee.

5. Parking – Parking aisle width of 24 ft., proposing 22 ft.

NEIGHBORHOOD USE PERMITS

1. Comprehensive sign program

2. Outdoor seating adjacent to ground floor commercial area.

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

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DATE: DECEMBER 7, 2016
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DRAWN BY:
JOB No. : 3110
SHEET No. : T0.1
SHEET OF

CENTRE CITY GREEN SUSTAINABILITY INCENTIVE CHECKLIST

Project Name/Address	1122 Fourth Avenue	**Sustainability Points =**	45
Select Project type	Residential	Performance Level =	HIGH PERFORMANCE GREEN
SF of Building	384,066	Green = 25+ High Performance Green = 45+ Signature Green = 60	
Number of Residential Units	282	Total Points Possible = 60	
Number of Hotel Rooms	45		
# of Building Occupants	614	Annual kWh Saved =	0
Select Path:	Performance	Annual MT CO2e Saved =	5,011
Select Application Stage:	Entitlement	Annual gallons H2O Saved =	0

Indicator Impact: Energy	Water	Materials	Streetscape	Economic	Healthy Spaces	Mobility	Green IQ	Path	Green Measure	Points Possible	Attempted	Instructions	Points Attempted
								Performance	CALGreen Tier 1	25	☐		-
									CALGreen Tier 2	45	☐		-
									LEED Silver	45	☑		45
									LEED Gold+	60	☐		-
								Prescriptive	Natural ventilation	10	☐		-
									On-site PV: 30 kW	10	☐		-
									Cogeneration: 30 kW	20	☐		-
									Exterior shading	5	☐		-
									Energy Star equipment / appliances	10	☐		-
									High efficiency plumbing fixtures	20	☐		-
									Chemical-free cooling tower	5	☐		-
									Daylighting with controls	5	☐		-
									High efficiency water heating	15	☐		-
									Modular construction	N/A	☐		-
									Enhanced Transportation	5	☐		-
									Enhanced Green Streets	5	☐		-
									Eco-Roof	10	☐		-
									Exterior Lighting	5	☐		-
									Savings By Design	5	☐		-
									Innovation	5	☐		-

LEED Certification

Centre City Green Requirement: Achieve a LEED Silver or higher rating

Entitlement Commitment

Level of LEED certification that the project is pursuing:

- ☑ Silver
- ☐ Gold
- ☐ Platinum

LEED Rating System used:

- ☑ New Construction
- ☐ Core & Shell

Energy & Atmosphere Credit 1 Savings Expected [redacted] **kWh per year**

Water Efficiency Credit 3 Savings Expected [redacted] **gallons**

- ■ Yes, my project meets the LEED Certification requirement.
- ☐ I have attached a LEED scorecard for the project.

12 · 9 · 2016

STORAGE UNITS

Minimum required: 282

Each storage unit contains 240 Cu. Ft. and measures 4'-0" X 7'-0" TYP.

Level P3	2
Level P2	28
Level P1	9
Level L1	42
Level L2	42
Level L3	42
Level L4	124
TOTAL PROVIDED:	289

TOWER COVERAGE

Largest Tower Floor Plate	11,816 SF
Site Area:	25,103 SF
Tower Coverage:	47.80%

PROGRAM DISTRIBUTION

TOTAL RETAIL:	10,665 SF
TOTAL RESIDENTIAL (NET):	307,943 SF

FAR AREA CALCULATIONS

Project: 4th and C - California Theater Site

DATA	FACTOR	TOTAL GSF
Minimum FAR	**6.0**	
Base FAR	**10.0**	**251,030**
Maximum FAR *	**20.0**	
Site Area:	**25,103**	

*Not including affordable housing element

Proposed Project GSF:	**391,650**
Proposed FAR:	**15.60**

Description - Bonus Program	Factor		
1. Affordable Housing	**10% of total residential units**		
35 % FAR Increase		**3.5**	
2. Three Bedroom Units	**10% of all units**		
1.0 FAR Units less than 1,300 SF	**FAR 1.0**	**1.0**	
3. Green Building - LEED Silver	**FAR 1.0**	**1.0**	
4. ECO ROOF	**FAR**	**0.56**	
31% TO 60% OF ROOF, TWO-TO-ONE	7,036 X 2		
TOTAL SQ. FT. INCREASE PER FAR BONUSES		**6.06**	**152,124**
GROSS SQUARE FOOTAGE (GSF):		**16.06**	**403,154**

FAR Bonus for Affordable Housing

AFFORDABLE HOUSING CALS

A	Lot Area:		25,103
B	Base FAR:		10
	Base GSF:		251,030
	Affordable DB:		1.35
C	Revised GSF:		338,891
	3 - BR	1.0	
	LEED	1.0	
	ECO ROOF	0.56	
D	Additional FAR:		64,264
E	MAX GSF		403,154
F	MAX FAR		16.06
G	Total # Units		282

Affordable Density Bonus

251,030	403,154	62.3%
282	62.3%	175.59

Required affordable DB Housing Units = 10% 18

Inclusionary Housing Requirement

315,294 / 403,154	78.2%
282	220.54

Required Affordable Inclusionary Housing Units = 10% **22**

Base Residential Units

Base Units before Affordable 260

SUMMARY: GROSS FAR BY TYPICAL FLOOR TYPE

1	STREET LEVEL	0.35
2	MEZZANINE LEVEL	0.17
3	ABOVE GRADE STORAGE	0.05
4	L4 PARKING and STORAGE	0.07
5	PODIUM	0.49
6	UPPER PODIUM	0.30
7	TYPICAL MID-PLATE	0.47
8	TYPICAL UPPER PLATE	0.41
9	ROOF TERRACE	0.19

METHOD OF CALCULATION The area (SF) for each typical floor-plate is calculated to the exterior face of the perimeter wall.

GROSS and NET FLOOR AREA CALCULATIONS (FAR)

Program - Sq. Ft.	Floor	Sub-total:	Core/Util.	Leaseable
Club Suite	RT	4,701	1,659	3,042
Resdential	39	10,273	2,015	8,258
Resdential	38	10,273	2,015	8,258
Resdential	37	10,273	2,015	8,258
Resdential	36	10,273	2,015	8,258
Resdential	35	10,273	2,015	8,258
Resdential	34	10,273	2,015	8,258
Resdential	33	10,273	2,015	8,258
Resdential	32	10,273	2,015	8,258
Resdential	31	10,273	2,015	8,258
Resdential	30	11,816	2,015	9,801
Resdential	29	11,816	2,015	9,801
Resdential	28	11,816	2,015	9,801
Resdential	27	11,816	2,015	9,801
Resdential	26	11,816	2,015	9,801
Resdential	25	11,816	2,015	9,801
Resdential	24	11,816	2,015	9,801
Resdential	23	11,816	2,015	9,801
Resdential	22	11,816	2,015	9,801
Resdential	21	11,816	2,015	9,801
Resdential	20	11,816	2,015	9,801
Resdential	19	11,816	2,015	9,801
Resdential	18	11,816	2,015	9,801
Resdential	17	11,816	2,015	9,801
Resdential	16	11,816	2,015	9,801
Resdential	15	11,816	2,015	9,801
Resdential	14	11,816	2,015	9,801
Resdential	13	11,816	2,015	9,801
AH (2) Resdential	12	11,816	2,015	9,801
AH Resdential	11	11,816	2,015	9,801
AH Resdential	10	11,816	2,015	9,801
Resdential	9	7,505	1,659	5,846
Resdential	8	7,505	1,659	5,846
Pool/Amenities	7	12,427	1,839	10,588
Parking L4/ Storage	6	1,449	1,449	
Parking L3/ Storage	5	1,449	1,449	
Parking L2 / Storage	4	1,449	1,449	
Parking L1 / Storage	3	1,449	1,449	
Mezzanine	2	4,339	2,623	1,716
Resid'l Lobby / Etc.	1	8,784	6,306	2,478
	GSF:	391,650	81,991	309,659

FAR CALCULATIONS	
SITE AREA (SF)	25,103
MINIMUM FAR	6.0
BASE FAR	10.0
MAXIMUM FAR	20.0
TOTAL GROSS PROJECT AREA	391,650
PROPOSED FAR	15.60

UNIT COUNT AND MIX

Unit Mix / Floor	Sub-total:	1 BR	2 BR	3 BR
RT		0	0	0
39	5	0	3	2
38	5	0	3	2
37	5	0	3	2
36	5	0	3	2
35	8	3	4	1
34	8	3	4	1
33	8	3	4	1
32	8	3	4	1
31	8	3	4	1
30	10	5	3	2
29	10	5	3	2
28	10	5	3	2
27	10	5	3	2
26	10	5	3	2
25	10	5	3	2
24	10	5	3	2
23	10	5	3	2
22	10	5	3	2
21	10	5	3	2
20	10	5	3	2
19	10	5	3	2
18	10	5	3	2
17	10	5	3	2
16	10	5	3	2
15	10	5	3	2
14	10	5	3	2
13	10	5	3	2
Affordable (2) 12	10	5	3	2
Affordable 11	10	5	3	2
Affordable 10	10	5	3	2
9	6	3	2	1
8	6	3	2	1
7	0			
6	0			
5	0			
4	0			
3	0			
2	0			
1	0			
	282	126	99	57
	100%	45%	35%	20%

UNIT AVERAGE AND RANGE					
ONE BEDROOM	731 SF	TO	798 SF	AVERAGE	769 SF
TWO BEDROOM	1,056 SF	TO	1,315 SF	AVERAGE	1,179 SF
THREE BEDROOM	1,187 SF	TO	2,053 SF	AVERAGE	1,235 SF
TOTAL AFFORDABLE UNITS :				22	

LOADING AREA:

LEVEL P1: 35'-0" X 18'-0" = 670 SF.

PARKING

Parking Calculation	Units	Ratio	Spaces
Market Rate Units	260	1 to 1	260
Affordable Units	22	1 to 1	22
Visitor at 1 per 30 spaces	9	1 per 30	9
Total Parking Required			**291**
Total Parking Provided:			**314**

Parking Type

(*) INCLUDED IN TOTAL COUNT	ACCESSIBLE SPACES (*)	MOTOR-CYCLES	BIKES	VISITOR / RETAIL (*)	FUEL CHARGE STATIONS	COMPACT CAR	STANDARD CAR
	1 to 50	1 to 20	1 to 5	1 TO 30	Not Included in Total	Not Included in Total	1 TO 1
Required:	*6*	*14*	*56*	*9*			282
Parking Level P3		16					46
Parking Level P2							46
Parking Level P1	4		61	9			35
Parking Level L1	2					2	51
Parking Level L2						3	52
Parking Level L3						3	52
Parking Level L4						3	32
TOTAL	6	16	61	9	0	11	314

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SEAL:

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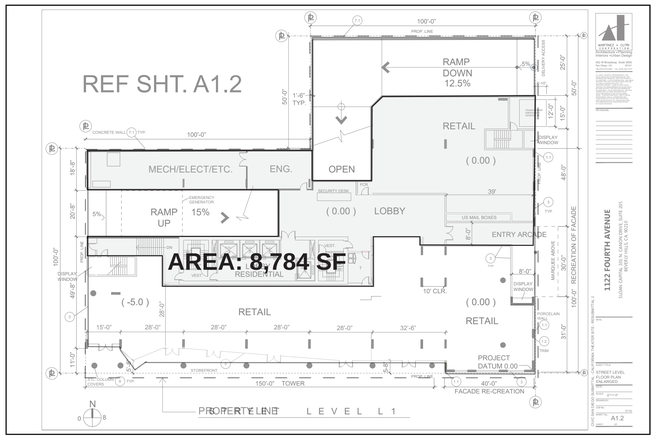
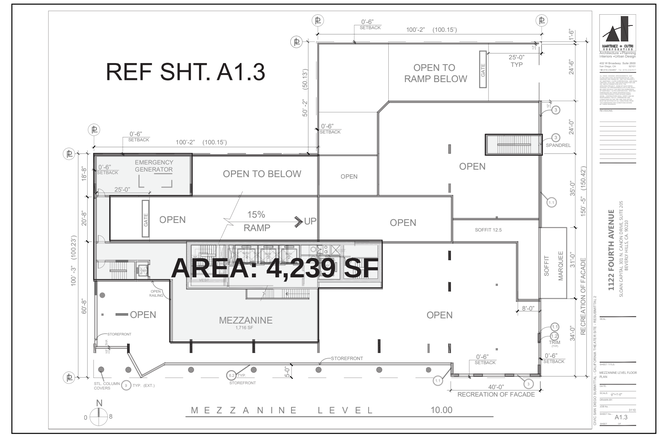
SHEET No. : T0.2

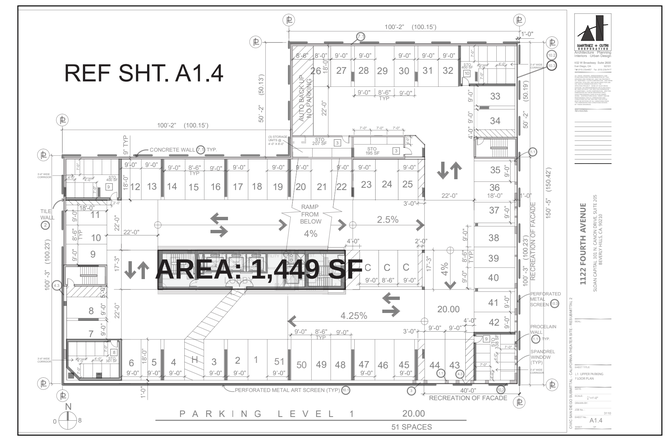
SHEET OF



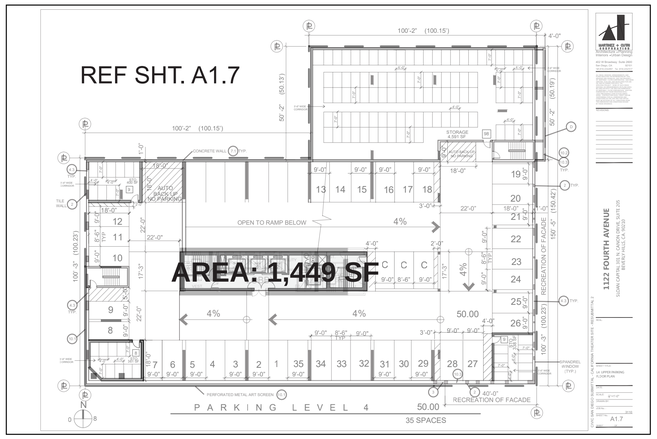
1 PLAN FAR: STREET LEVEL GROSS FAR 0.35



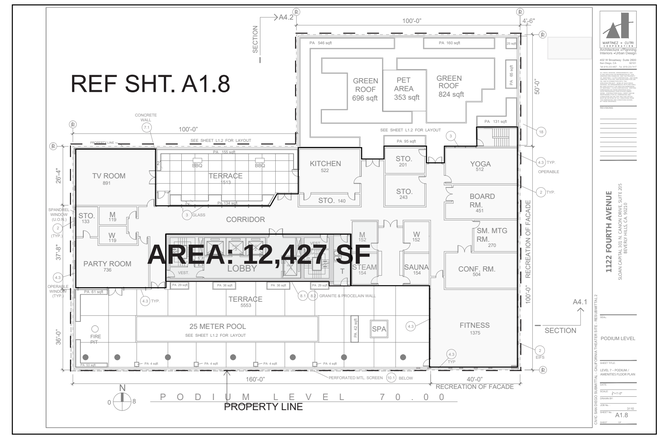
2 PLAN FAR: MEZZANINE LEVEL GROSS FAR 0.17



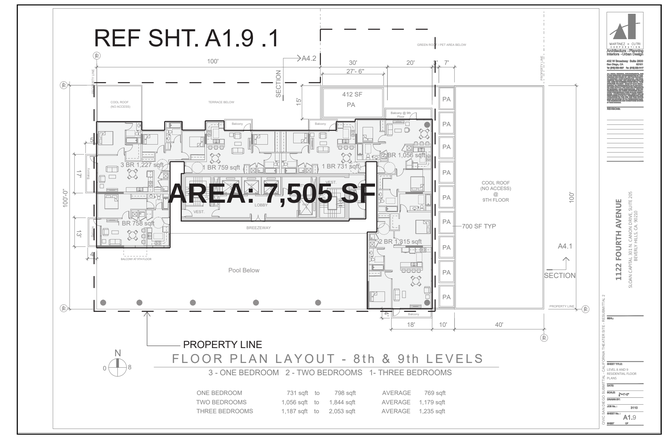
3 PLAN FAR: ABOVE GRADE STORAGE and CORE GROSS FAR 0.05



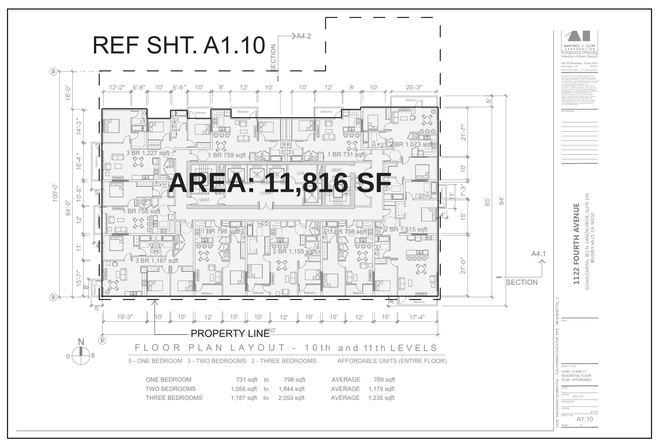
4 PLAN FAR: L4 PARKING with STORAGE GROSS FAR 0.07



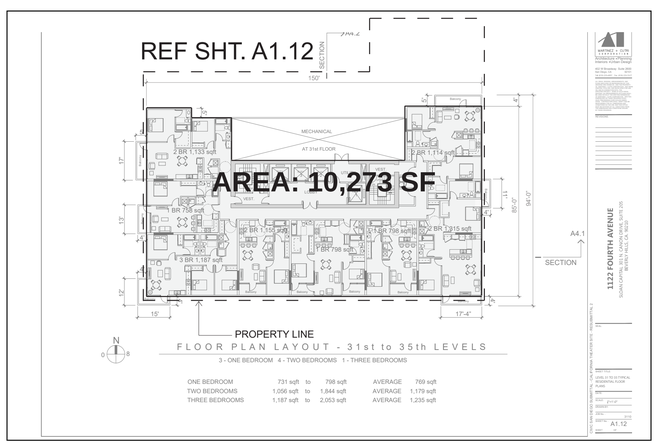
5 PLAN FAR: PODIUM GROSS FAR 0.49



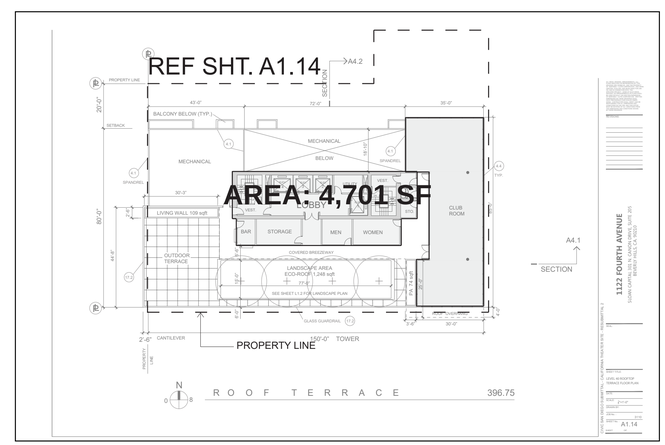
6 PLAN FAR: UPPER PODIUM GROSS FAR 0.30



7 PLAN FAR: TYPICAL MID-PLATE GROSS FAR 0.47



8 PLAN FAR: TYPICAL UPPER PLATE GROSS FAR 0.41



9 PLAN FAR: ROOF TERRACE GROSS FAR 0.19

METHOD OF CALCULATION The area (SF) for each typical floor-plate is calculated to the exterior face of the perimeter wall.

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REVISIONS:

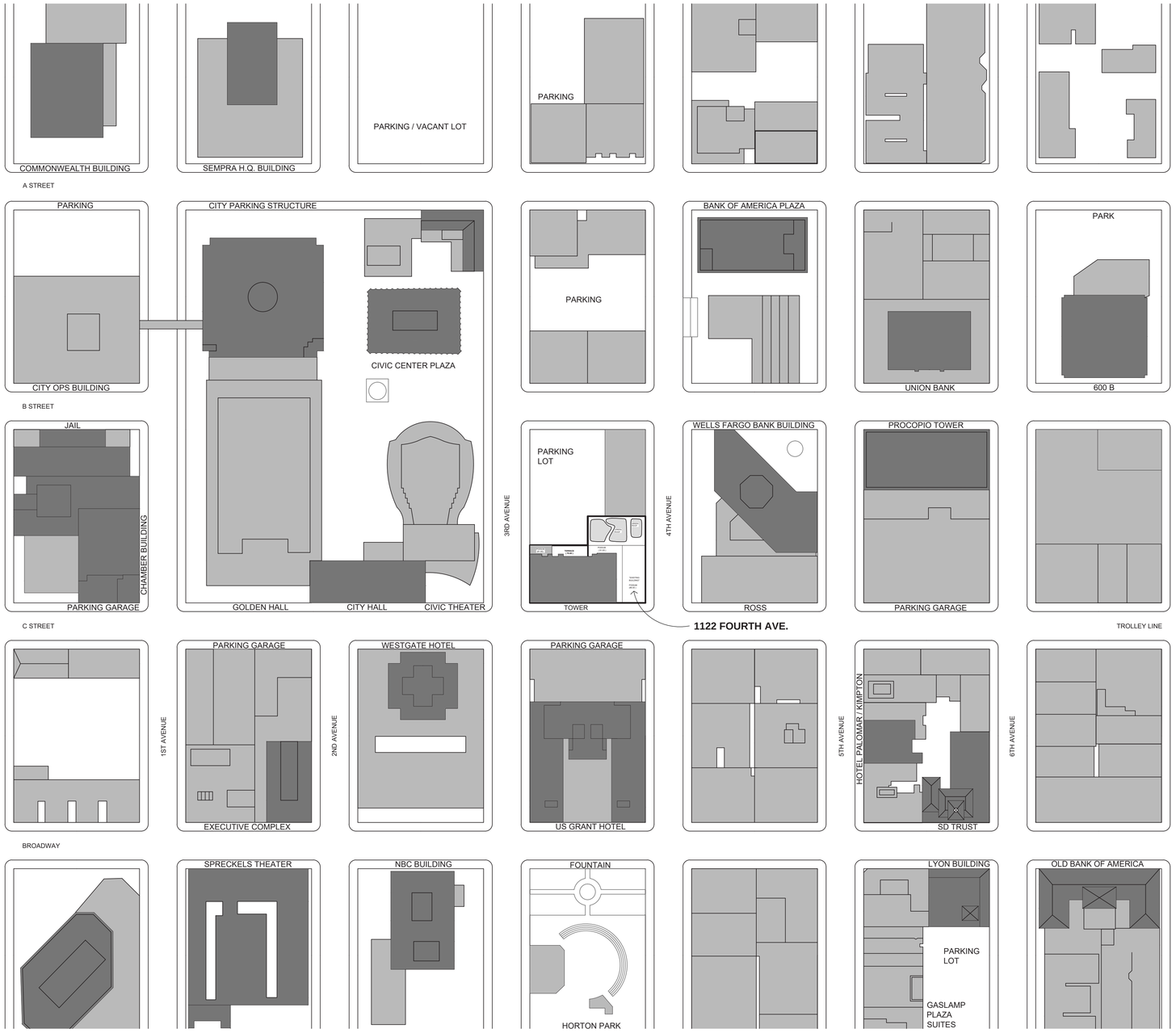
1122 FOURTH AVENUE
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
GROSS FAR BY FLOOR TYPE

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : T0.3
SHEET OF



SITE CONTEXT MAP

PROMINENT BUILDINGS BY USE, SCALE, MASS AND/ OR LONGEVITY

N

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: CONTEXT MAP

DATE: DECEMBER 7, 2016

SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : T0.4

SHEET OF

SITE PLAN / LAND USE MAP

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1122 FOURTH AVENUE

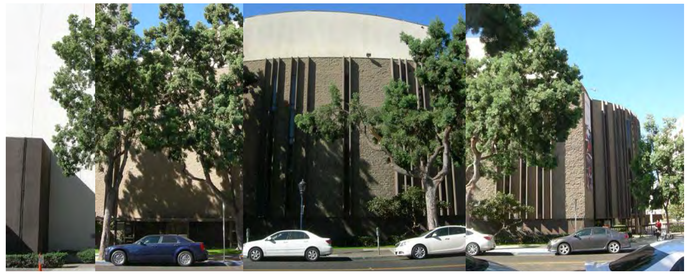
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

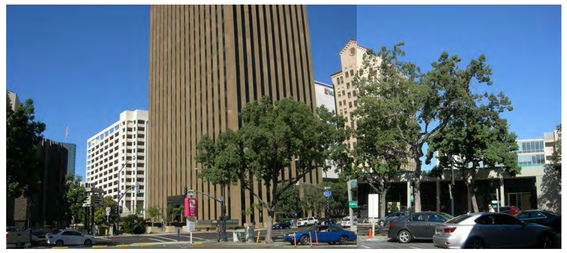
SEAL:

SHEET TITLE:
SITE PLAN / LAND USE

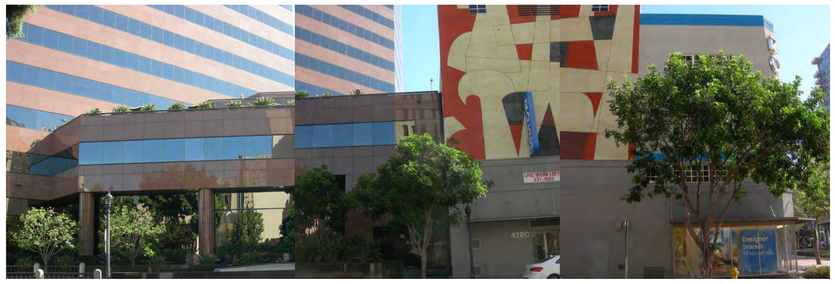
DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : T0.5
SHEET OF



1 **VIEW FROM SITE LOOKING WEST**

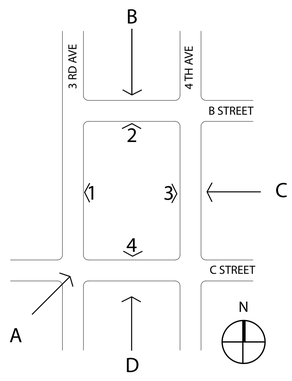


2 **VIEW FROM SITE LOOKING NORTH**

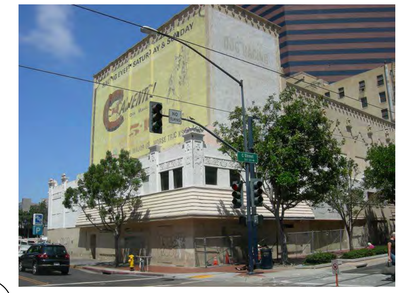


3 **VIEW FROM SITE LOOKING EAST**

4 **VIEW FROM SITE LOOKING SOUTH**

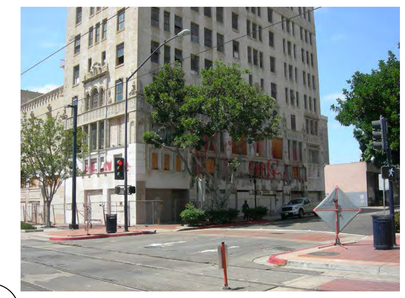


KEY MAP

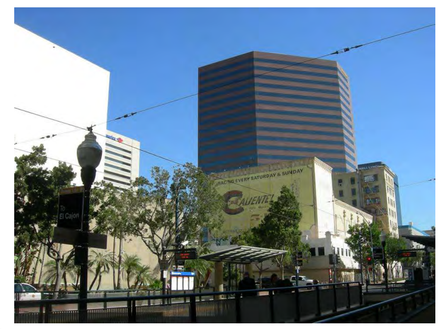


A **WEST VIEW OF SITE**

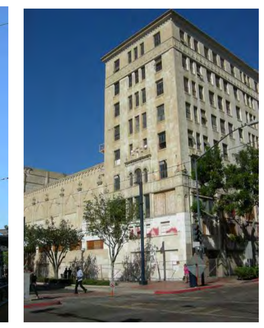
B **NORTH VIEW OF SITE**



C **EAST VIEW OF SITE**



D **SOUTH WEST VIEW OF SITE**



SOUTH EAST VIEW

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
VICINITY PHOTOS

DATE: DECEMBER 7, 2016

SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : T0.6

SHEET OF

ZONING INFORMATION

Listed below are Setback, Height, and Floor Space Area Restrictions as disclosed by applicable Zoning or Building Codes unless "None" is stated below. The source of this information is Lorena Cordova with the City of San Dirgo, CA
CONTACT No. (619) 235–5200
USES AS SET FORTHH IN CODE

Zoning Designation: "CCPD" CENTER CITY PLANNED DISTRICT
Max. Building Height: 500'
Minimum Lot Area: N/A.
Building Setbacks: Front/Street Side: None, Interior Side None, Rear: None
Parking Requirements: 1 regular space per 1,000 sq ft.

FLOOD ZONE

Any flood zone lines distinguishing between flood areas are graphically plotted from FEMA Flood Insurance Rate Maps (FIRM). A flood elevation certificate may be needed to determine or verify the location of the flood areas. The subject property's community DOES participate in the program. It is determined that the subject property resides in the following Flood Zone "X" as determined by or shown by FIRM Community Panel No. 06073C1885G dated 5/16/2012 and IS NOT in a Special Flood Hazard Zone. The Flood Insurance Rate Program was contacted on 3/5/2014 by telephone or email (www.fema.gov)

UTILITY NOTE

{11a} The aboveground utilities shown have been located from field survey information only. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further certifies that they are located as accurately as possible from the field information obtained.

MISCELLANEOUS NOTES

N1 *Property has direct access to 4th Avenue and 3rd Avenue, which are a public right–of–ways.*

N2 *The address of 1122 4th Avenue was observed by the surveyor posted on property as of date of survey.*

N3 *The basis of bearings of this survey is based on the South Monumented line of Block 16, shown as N 89°50'13" W, per (R.O.S Map 11304)*

N4 *The table below describes the type and number of parking stalls entirely within the property boundary. Stalls that are partially within the boundary are listed under the heading "partial". Partial stalls are not counted in the total.*

PARKING				
REGULAR	HANDICAPPED	TRAILER	PARTIAL	TOTAL
18	1	0	0	19

N5 *There was no observable evidence of earth moving work, building construction or building additions within recent months.*

N6 *There were no changes in street right–of–way lines either completed or proposed, and available from controlling jurisdiction or evidence of recent street or sidewalk construction repairs.*

N7 *There was no observable evidence of site use as a solid waste dump, sump, sanitary landfill or cemetery.*

N8 *Subject property is located at the intersection of Fourth Avenue and "C" Street.*

N9 *No evidence of potential wetlands was observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property.*

N10 *This survey map correctly represents the facts at the time of the survey.*

N11 *There are no discrepancies between the boundary lines of the property as shown on this survey map and as described in the legal description presented in the title commitment.*

N12 *The boundary lines of the property are contiguous with the boundary lines of all adjoining streets, highways, right–of–ways and easements, public or private, as described in their most recent respective legal descriptions of record.*

N13 *The subject property (APN: 533–521–04, 05, 08; Owner: Sloan Capital Partners LLC. contiguously contains: 25,103.10 sq. ft. or 0.576 acres, more or less.*

SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B TITLE COMMITMENT

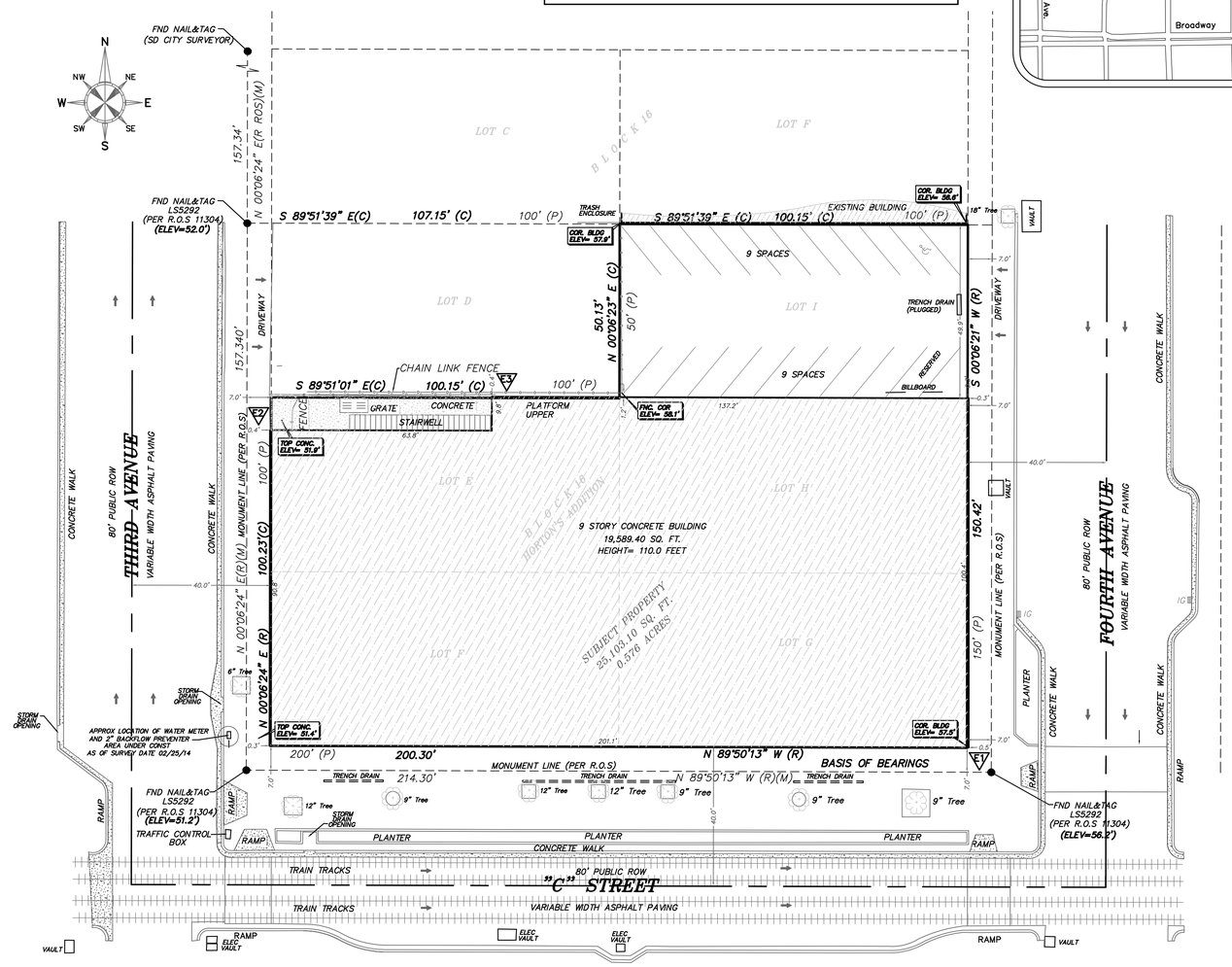
The surveyor was not provided with a current Title Report.

STATEMENT OF ENCROACHMENTS

E1 *The Southeast corner of the building projects a maximum of 0.5 feet over the property line as shown.*

E2 *The Northwest corner of the building projects amaximum of 0.4 over the property line as shown*

E3 *The building projects 0.4 feet over the North line of the subject property.*



VICINITY MAP

(C) = CALCULATED DISTANCE
(M) = MEASURED DISTANCE
(R) = RECORDED INFO R.O.S # 11304
MONUMENT LINES (PER R.O.S # 11304)

20' 0 10' 20' 40'
1" = 20'

RED PLAINS SURVEYING COMPANY

Red Plains Surveying Company
1917 S. Harvard Avenue
Oklahoma City, OKLA. 73128
Phone: 405–603–7842 / Fax: 405–603–7852
Email: Comments@rpsurveying.com

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REVISIONS:

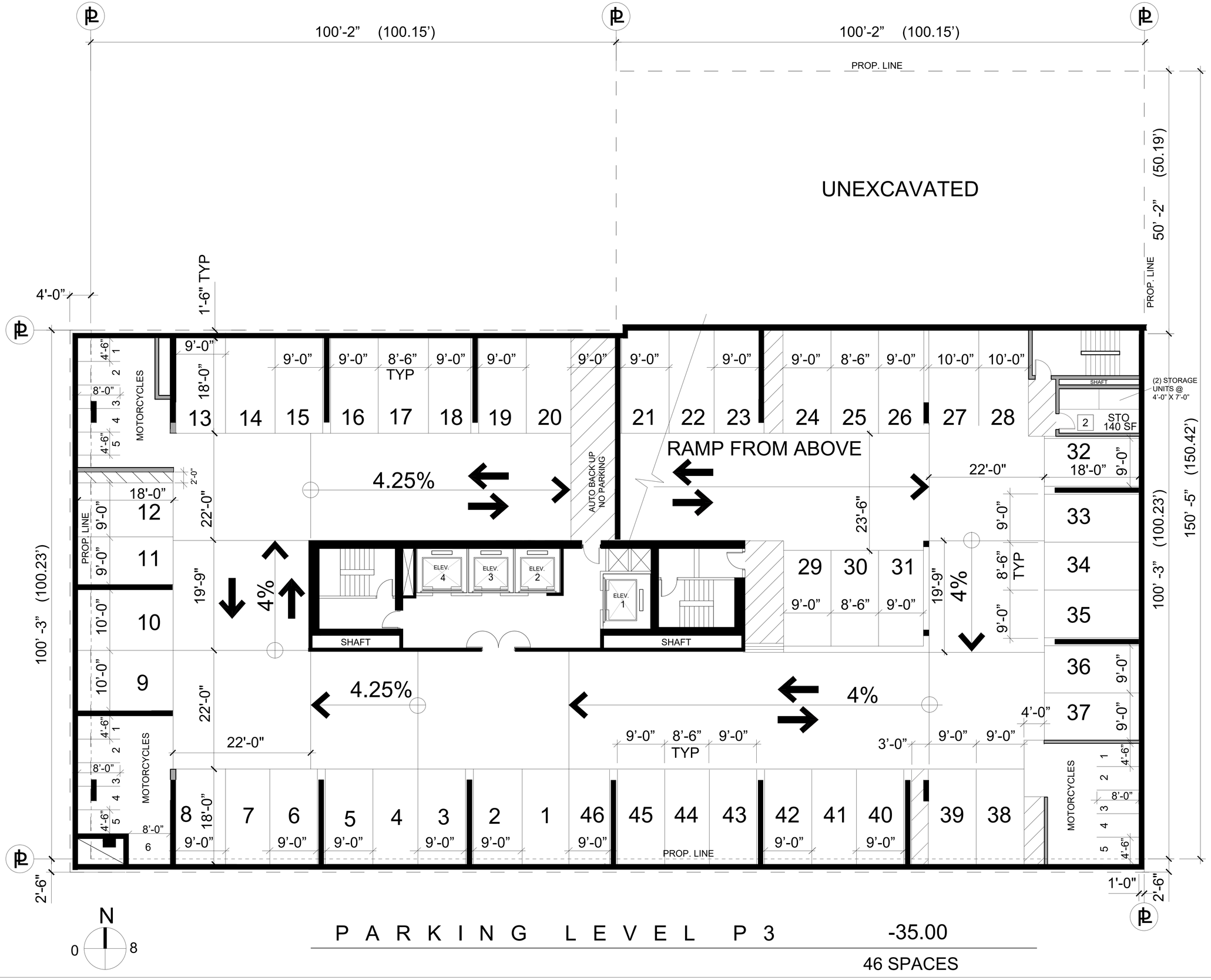
1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: ALTA BOUNDARY MAP
DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : T0.7
SHEET OF



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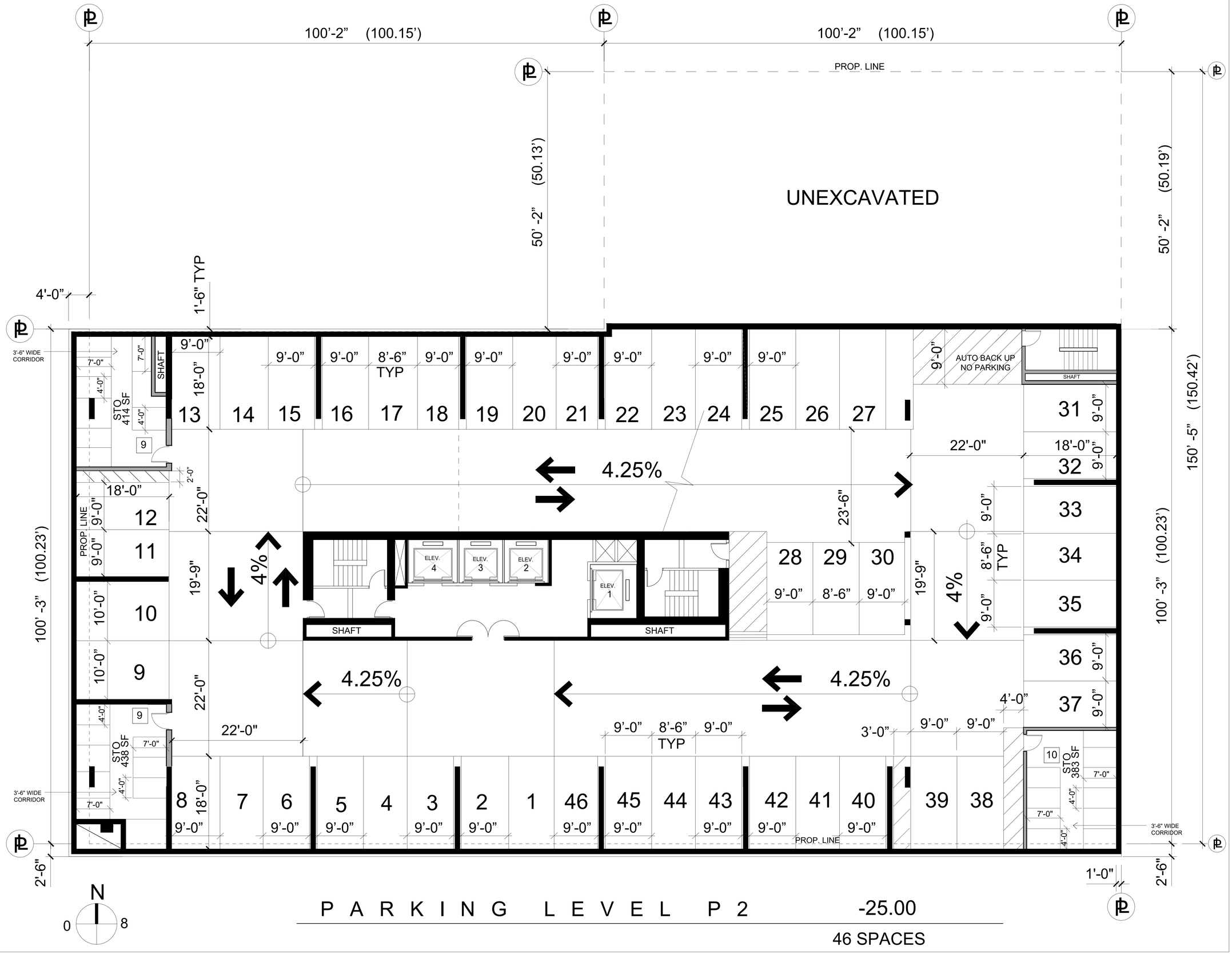
CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
P3 PARKING FLOOR PLANS

DATE: DECEMBER 7, 2016
SCALE: $\frac{1}{8}$"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : A0.1
SHEET OF



P A R K I N G L E V E L P 2 -25.00

46 SPACES

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: P2 PARKING FLOOR PLANS

DATE: DECEMBER 7, 2016

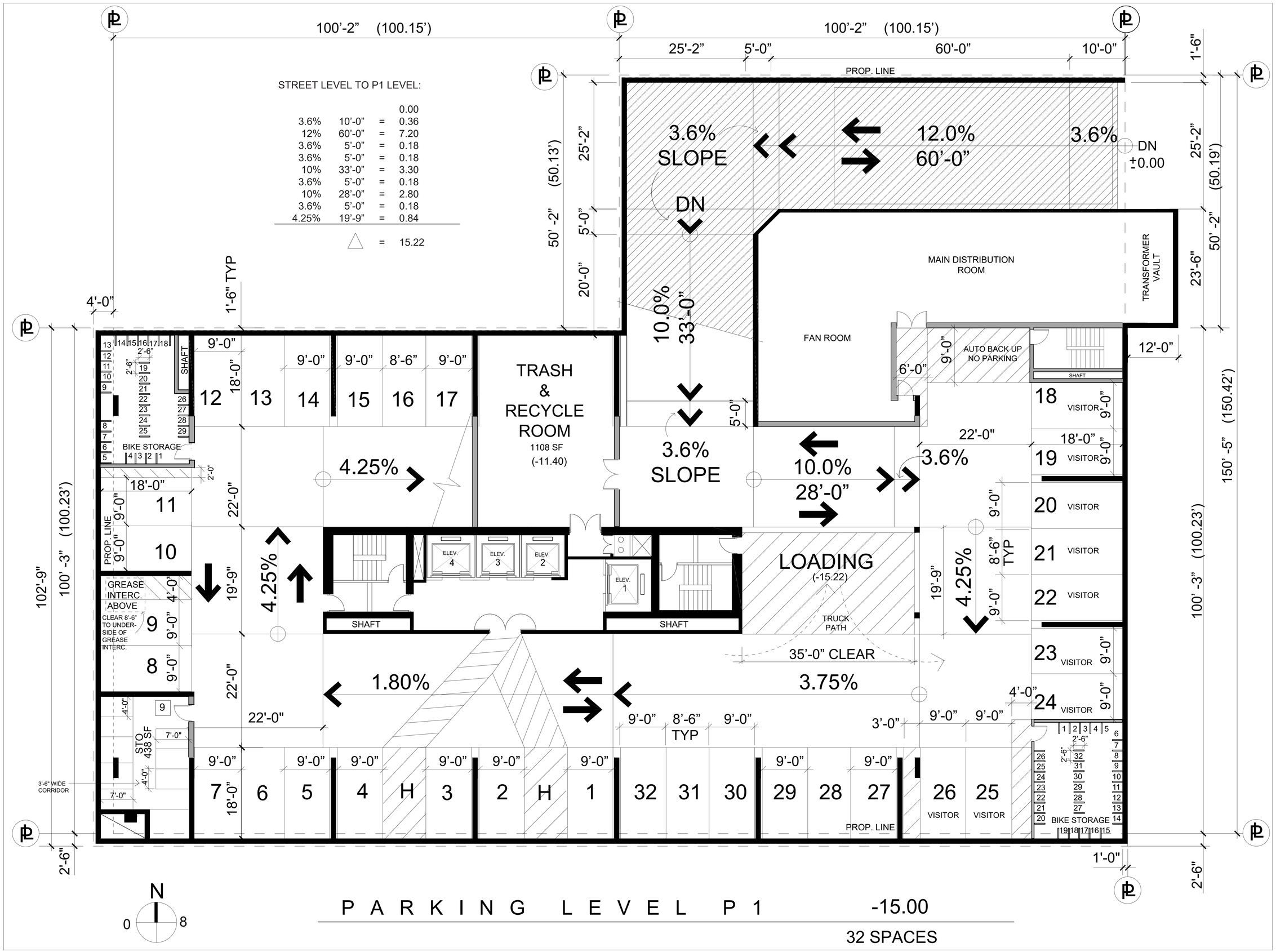
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A0.2

SHEET OF



P A R K I N G L E V E L P 1 -15.00

32 SPACES

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: P1 PARKING FLOOR PLANS

DATE: DECEMBER 7, 2016

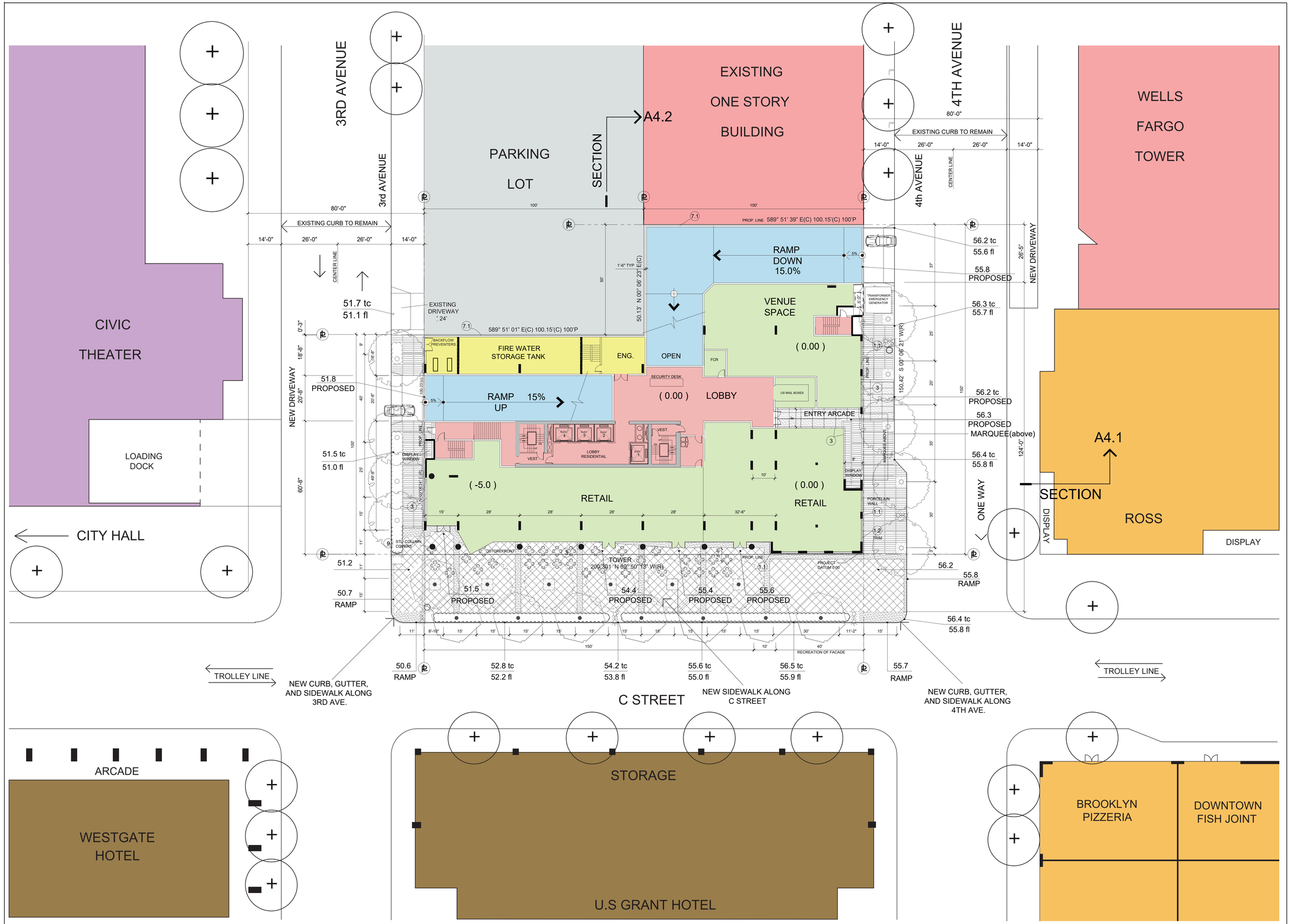
SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A0.3

SHEET OF



SITE PLAN / LAND USE MAP

N

EXISTING TREE

PROPOSED TREES

PARKING | HOTEL | RETAIL | COMMERCIAL | INSTITUTIONAL

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: SITE PLAN / LAND USE

DATE: DECEMBER 7, 2016

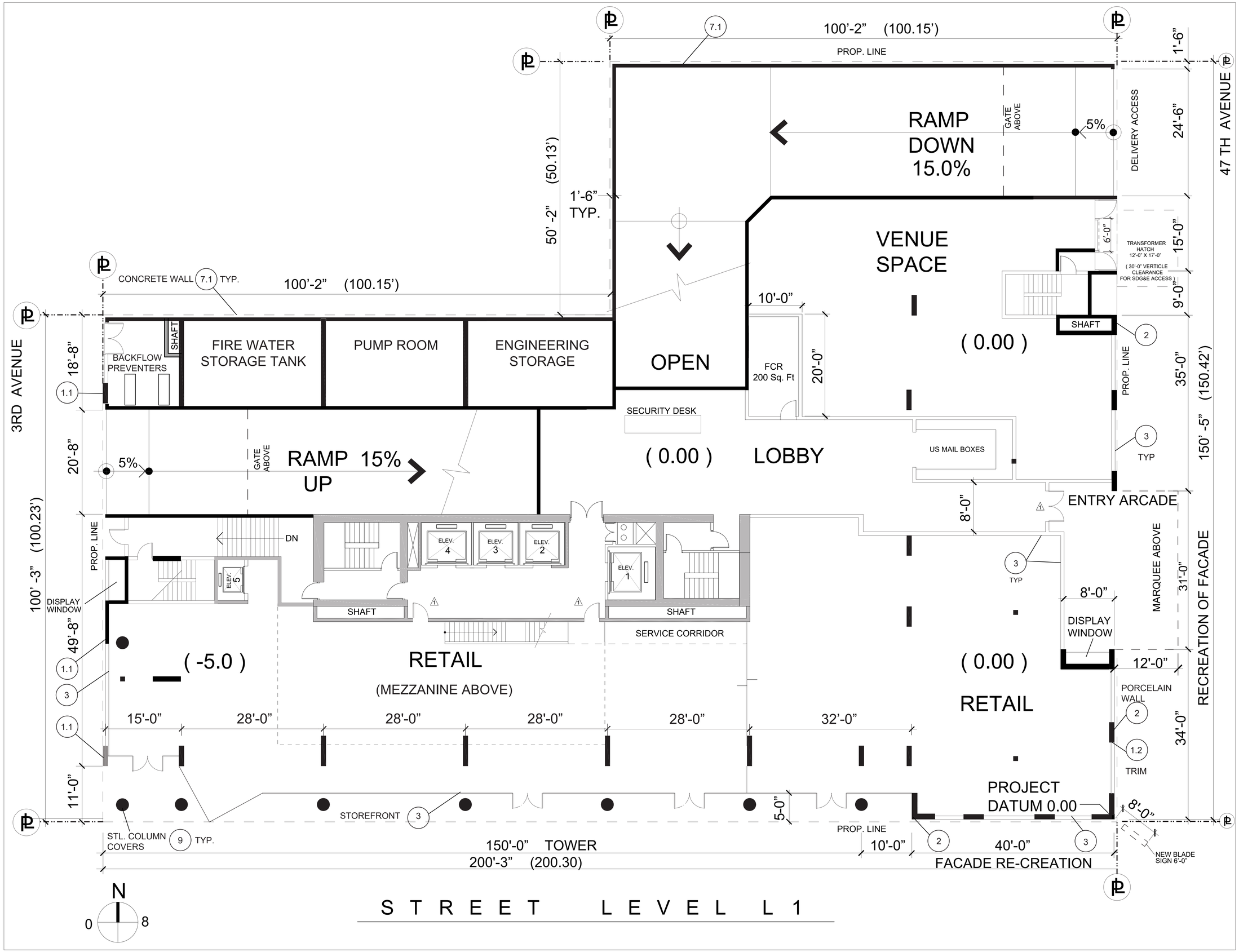
SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.1

SHEET OF



STREET LEVEL L1

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REVISIONS:

1 6-20-2016

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
STREET LEVEL FLOOR PLAN ENLARGED

DATE: DECEMBER 7, 2016

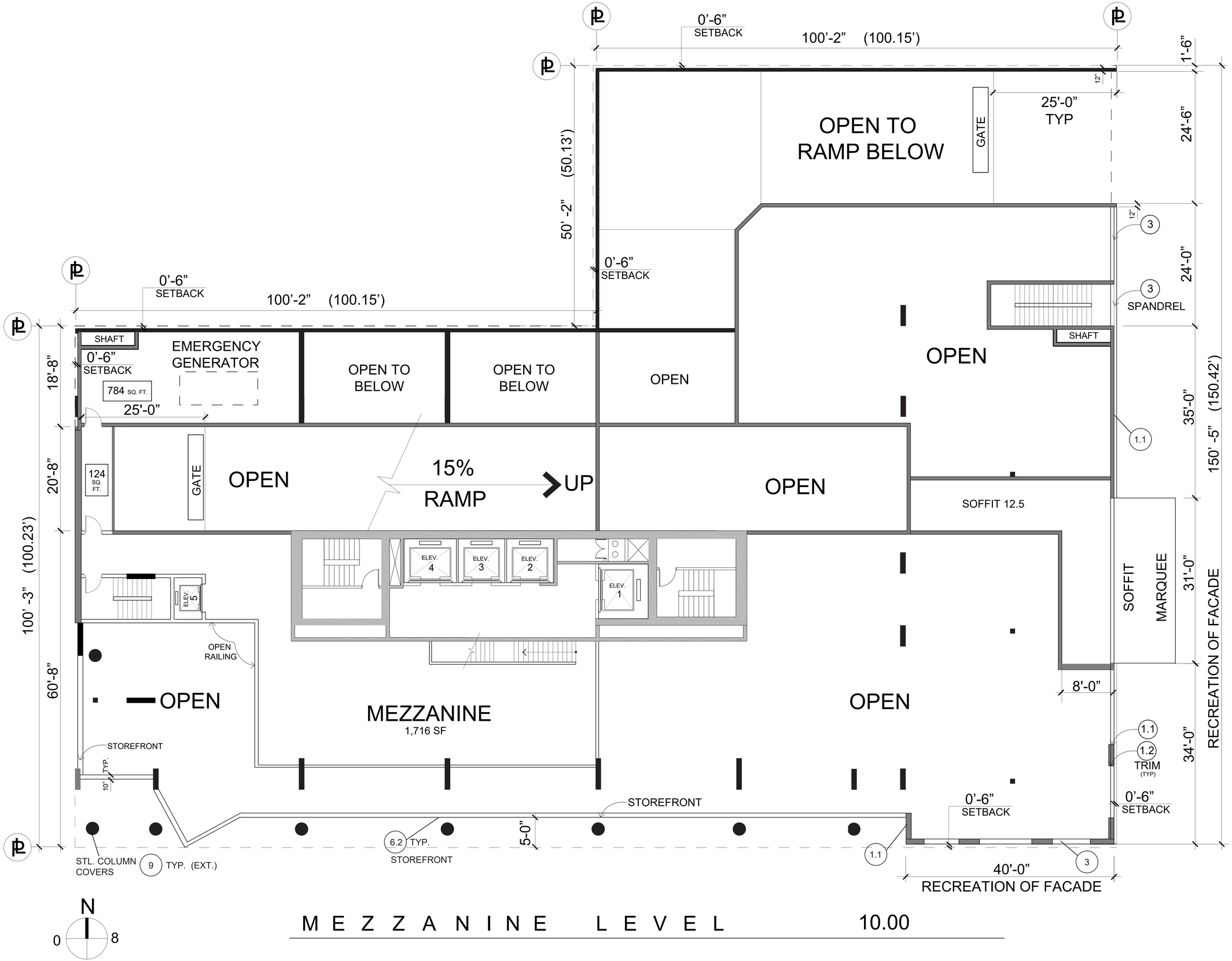
SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.2

SHEET OF



M E Z Z A N I N E L E V E L 10.00

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
MEZZANINE LEVEL FLOOR PLAN

DATE: DECEMBER 7, 2016
SCALE: $\frac{1}{8}$"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : A1.3
SHEET OF

NOTES:

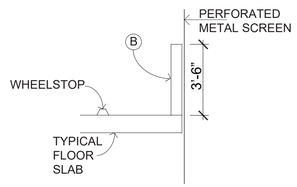
A. ABOVE GRADE PARKING IS NATURALLY VENTILATED.

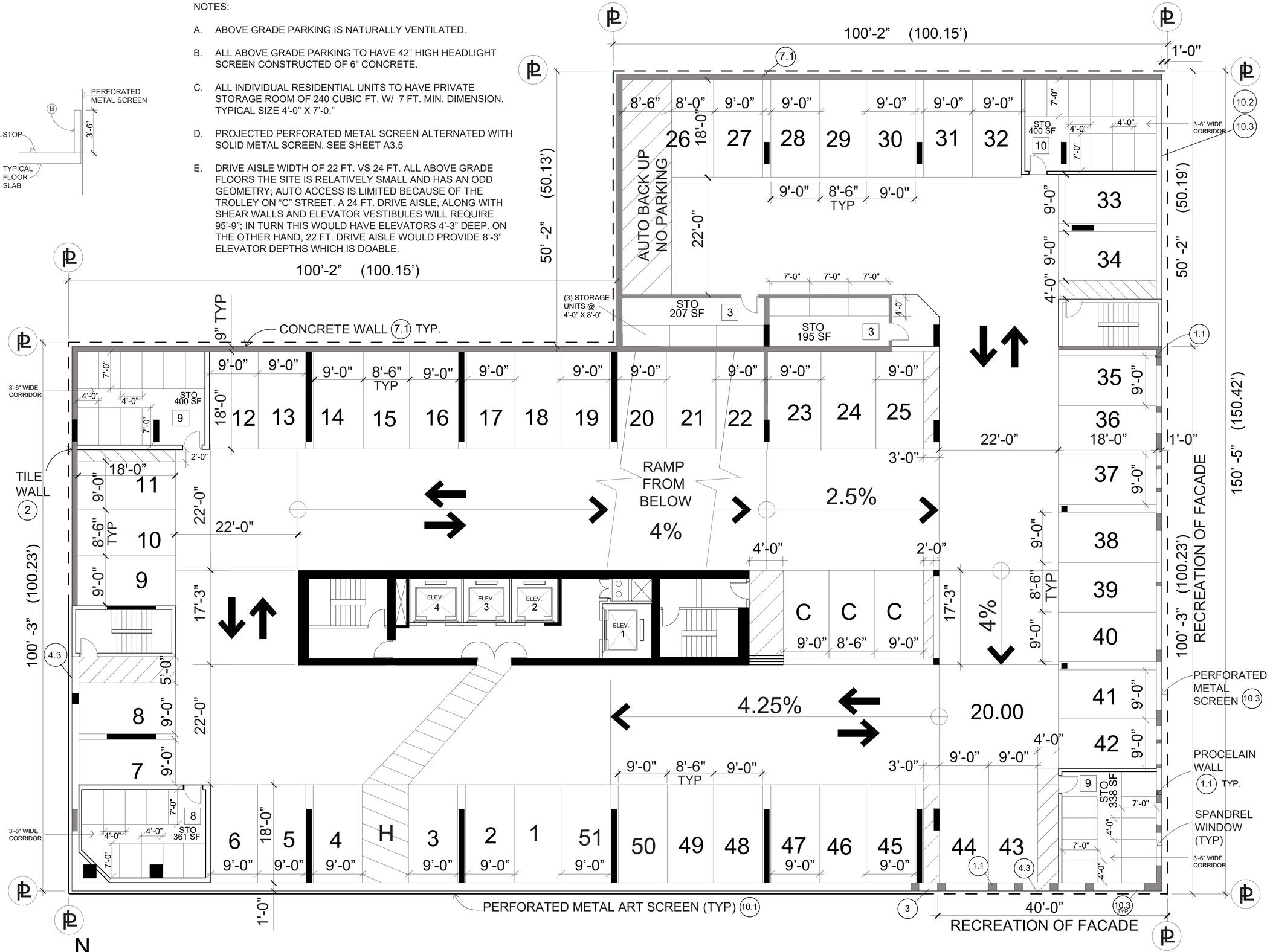
B. ALL ABOVE GRADE PARKING TO HAVE 42" HIGH HEADLIGHT SCREEN CONSTRUCTED OF 6" CONCRETE.

C. ALL INDIVIDUAL RESIDENTIAL UNITS TO HAVE PRIVATE STORAGE ROOM OF 240 CUBIC FT. W/ 7 FT. MIN. DIMENSION. TYPICAL SIZE 4'-0" X 7'-0."

D. PROJECTED PERFORATED METAL SCREEN ALTERNATED WITH SOLID METAL SCREEN. SEE SHEET A3.5

E. DRIVE AISLE WIDTH OF 22 FT. VS 24 FT. ALL ABOVE GRADE FLOORS THE SITE IS RELATIVELY SMALL AND HAS AN ODD GEOMETRY; AUTO ACCESS IS LIMITED BECAUSE OF THE TROLLEY ON "C" STREET. A 24 FT. DRIVE AISLE, ALONG WITH SHEAR WALLS AND ELEVATOR VESTIBULES WILL REQUIRE 95'-9"; IN TURN THIS WOULD HAVE ELEVATORS 4'-3" DEEP. ON THE OTHER HAND, 22 FT. DRIVE AISLE WOULD PROVIDE 8'-3" ELEVATOR DEPTHS WHICH IS DOABLE.





P A R K I N G L E V E L 1 20.00

51 SPACES

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: L1 UPPER PARKING FLOOR PLAN

DATE: DECEMBER 7, 2016

SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.4

SHEET OF

NOTES:

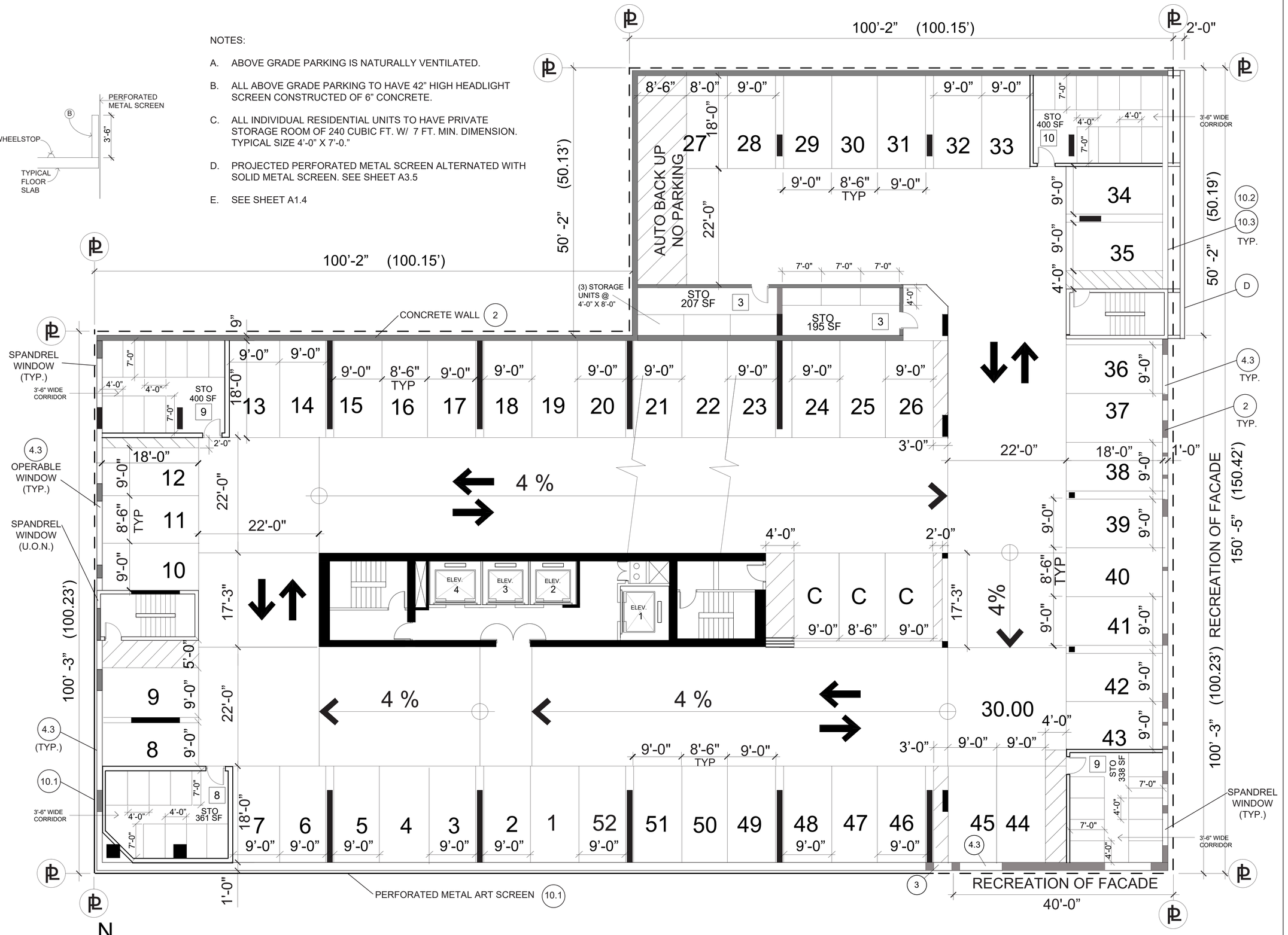
A. ABOVE GRADE PARKING IS NATURALLY VENTILATED.

B. ALL ABOVE GRADE PARKING TO HAVE 42" HIGH HEADLIGHT SCREEN CONSTRUCTED OF 6" CONCRETE.

C. ALL INDIVIDUAL RESIDENTIAL UNITS TO HAVE PRIVATE STORAGE ROOM OF 240 CUBIC FT. W/ 7 FT. MIN. DIMENSION. TYPICAL SIZE 4'-0" X 7'-0."

D. PROJECTED PERFORATED METAL SCREEN ALTERNATED WITH SOLID METAL SCREEN. SEE SHEET A3.5

E. SEE SHEET A1.4



PARKING LEVEL 2

30.00

52 SPACES

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REVISIONS:

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
L2 UPPER PARKING FLOOR PLAN

DATE: DECEMBER 7, 2016

SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.5

SHEET OF

NOTES:

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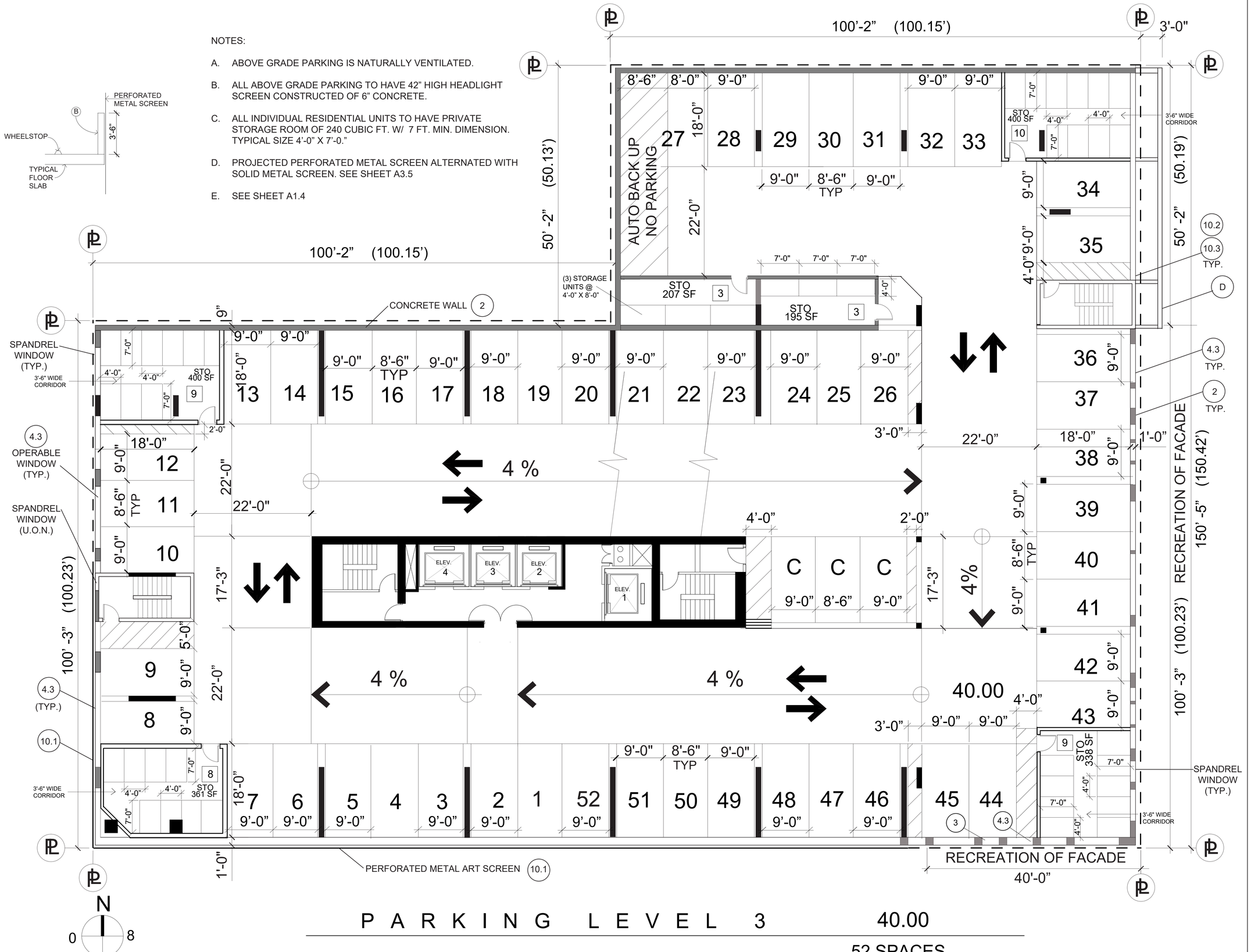
D. PROJECTED PERFORATED METAL SCREEN ALTERNATED WITH SOLID METAL SCREEN. SEE SHEET A3.5

E. SEE SHEET A1.4



P A R K I N G L E V E L 3 40.00

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REVISIONS:

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: L3 UPPER PARKING FLOOR PLAN

DATE: DECEMBER 7, 2016

SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.6

SHEET OF

NOTES:

A. ABOVE GRADE PARKING IS NATURALLY VENTILATED.

B. ALL ABOVE GRADE PARKING TO HAVE 42" HIGH HEADLIGHT SCREEN CONSTRUCTED OF 6" CONCRETE.

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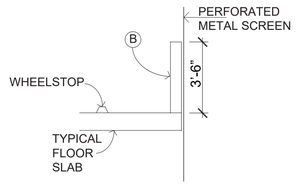
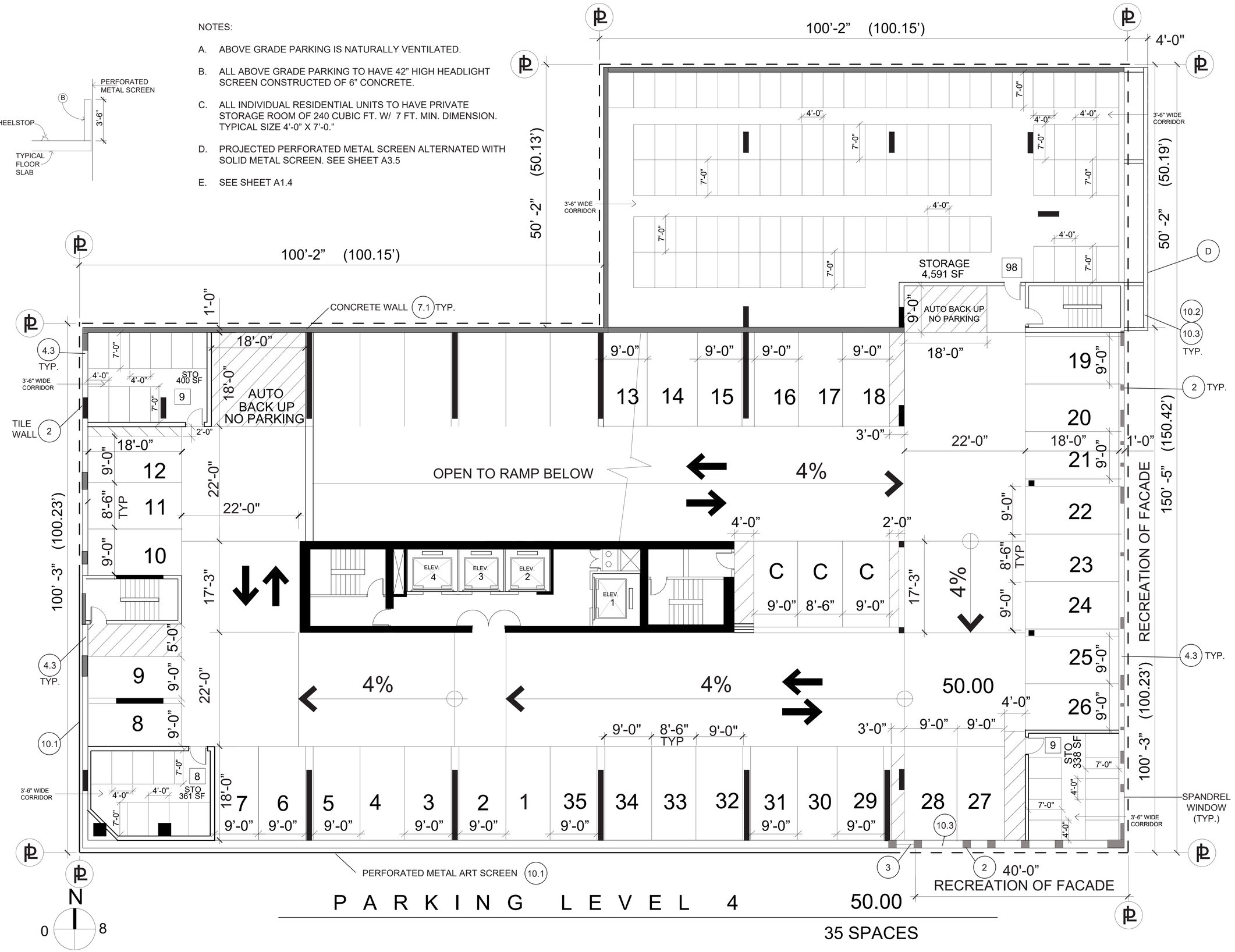
D. PROJECTED PERFORATED METAL SCREEN ALTERNATED WITH SOLID METAL SCREEN. SEE SHEET A3.5

E. SEE SHEET A1.4





P A R K I N G L E V E L 4

35 SPACES

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REVISIONS:

1122 FOURTH AVENUE

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
L4 UPPER PARKING FLOOR PLAN

DATE: DECEMBER 7, 2016

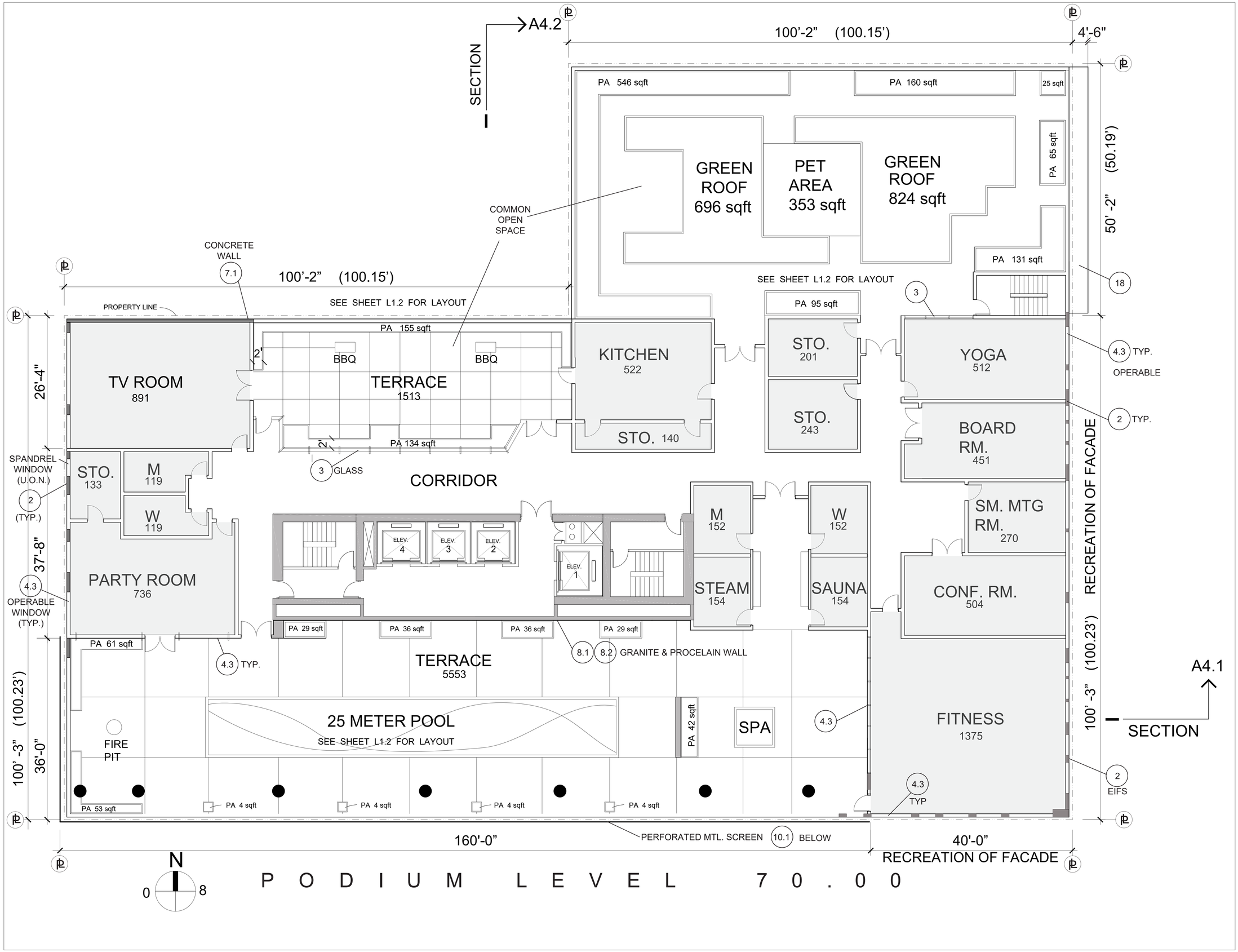
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.7

SHEET OF



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REVISIONS:

1122 FOURTH AVENUE

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

PODIUM LEVEL

SHEET TITLE:

LEVEL 7 – PODIUM / AMENITIES FLOOR PLAN

DATE: DECEMBER 7, 2016

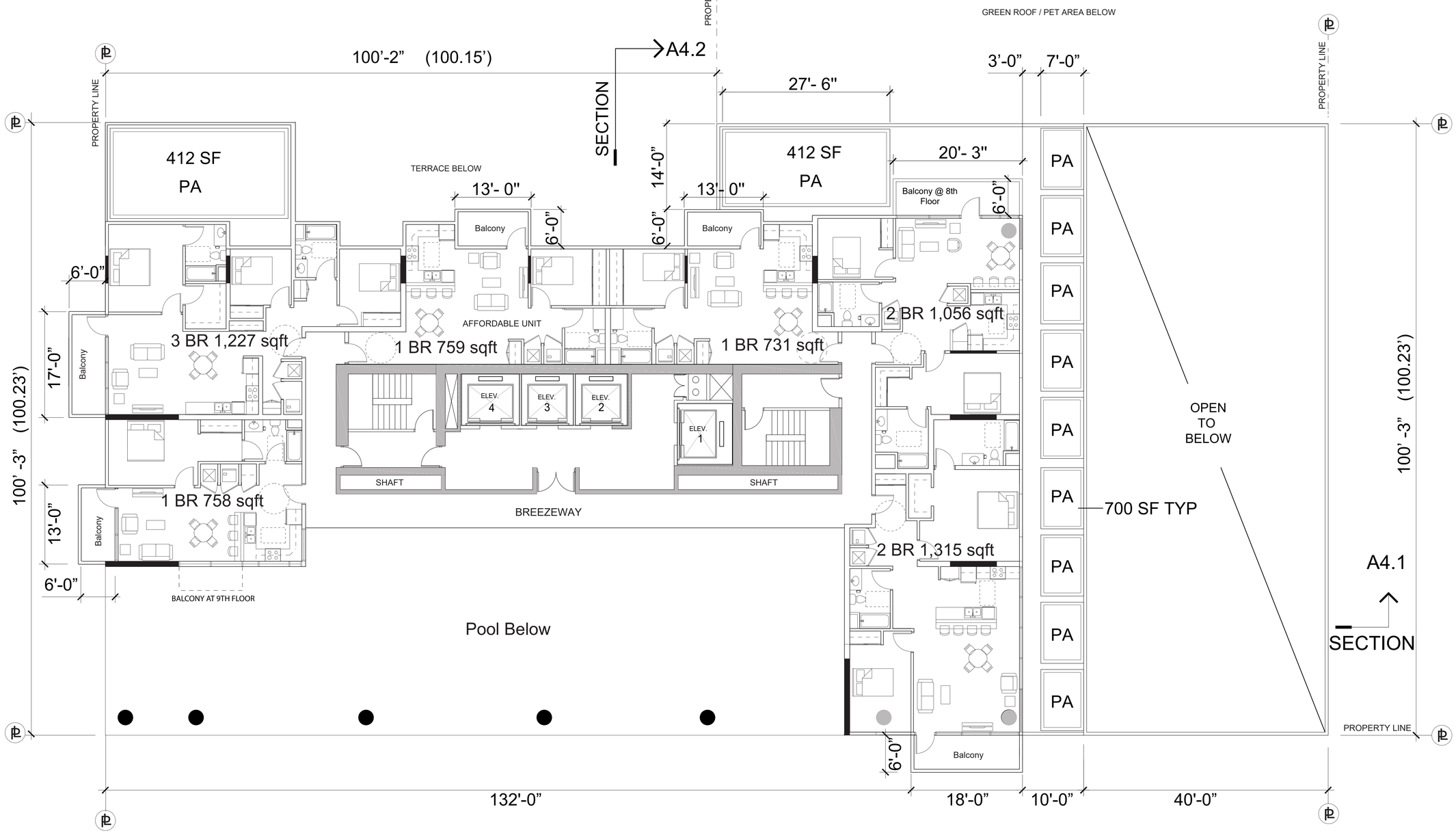
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.8

SHEET OF



N

0 8

FLOOR PLAN LAYOUT - 8th LEVEL

3 - ONE BEDROOM 2 - TWO BEDROOMS 1- THREE BEDROOMS

ONE BEDROOM	731 sqft	to	798 sqft	AVERAGE	769 sqft
TWO BEDROOMS	1,056 sqft	to	1,315 sqft	AVERAGE	1,179 sqft
THREE BEDROOMS	1,187 sqft	to	2,053 sqft	AVERAGE	1,235 sqft

(INCLUDES ONE AFFORDABLE UNIT)

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LEVEL 8 RESIDENTIAL FLOOR PLANS

DATE: DECEMBER 7, 2016

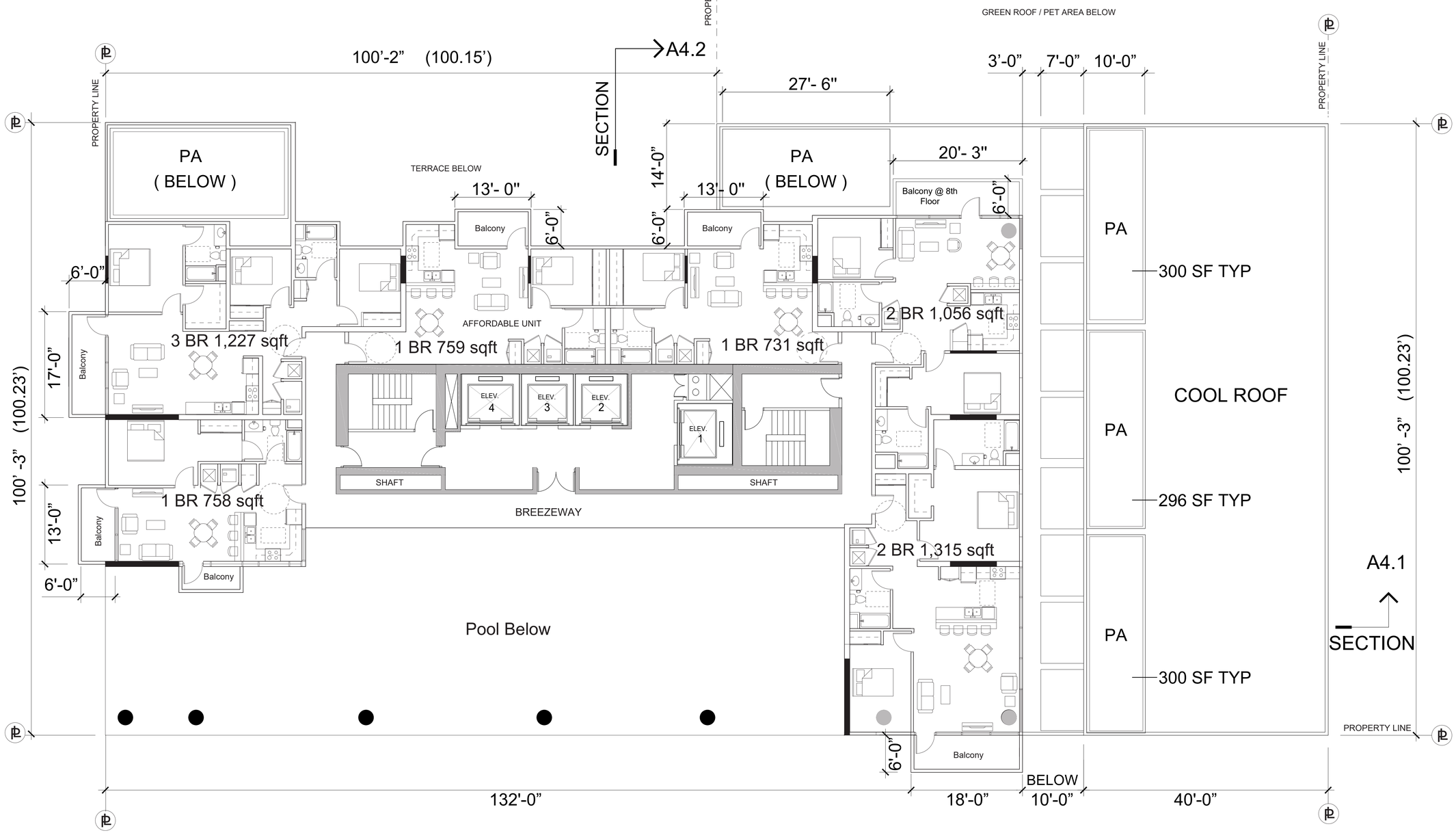
SCALE: 1/8"=1'-0"

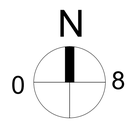
DRAWN BY:

JOB No. : 3110

SHEET No. : A1.9.1

SHEET OF





FLOOR PLAN LAYOUT - 9th LEVEL

3 - ONE BEDROOM 2 - TWO BEDROOMS 1- THREE BEDROOMS

ONE BEDROOM	731 sqft	to	798 sqft	AVERAGE	769 sqft
TWO BEDROOMS	1,056 sqft	to	1,315 sqft	AVERAGE	1,179 sqft
THREE BEDROOMS	1,187 sqft	to	2,053 sqft	AVERAGE	1,235 sqft

(INCLUDES ONE AFFORDABLE UNIT)

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LEVEL 9 RESIDENTIAL FLOOR PLANS

DATE: DECEMBER 7, 2016

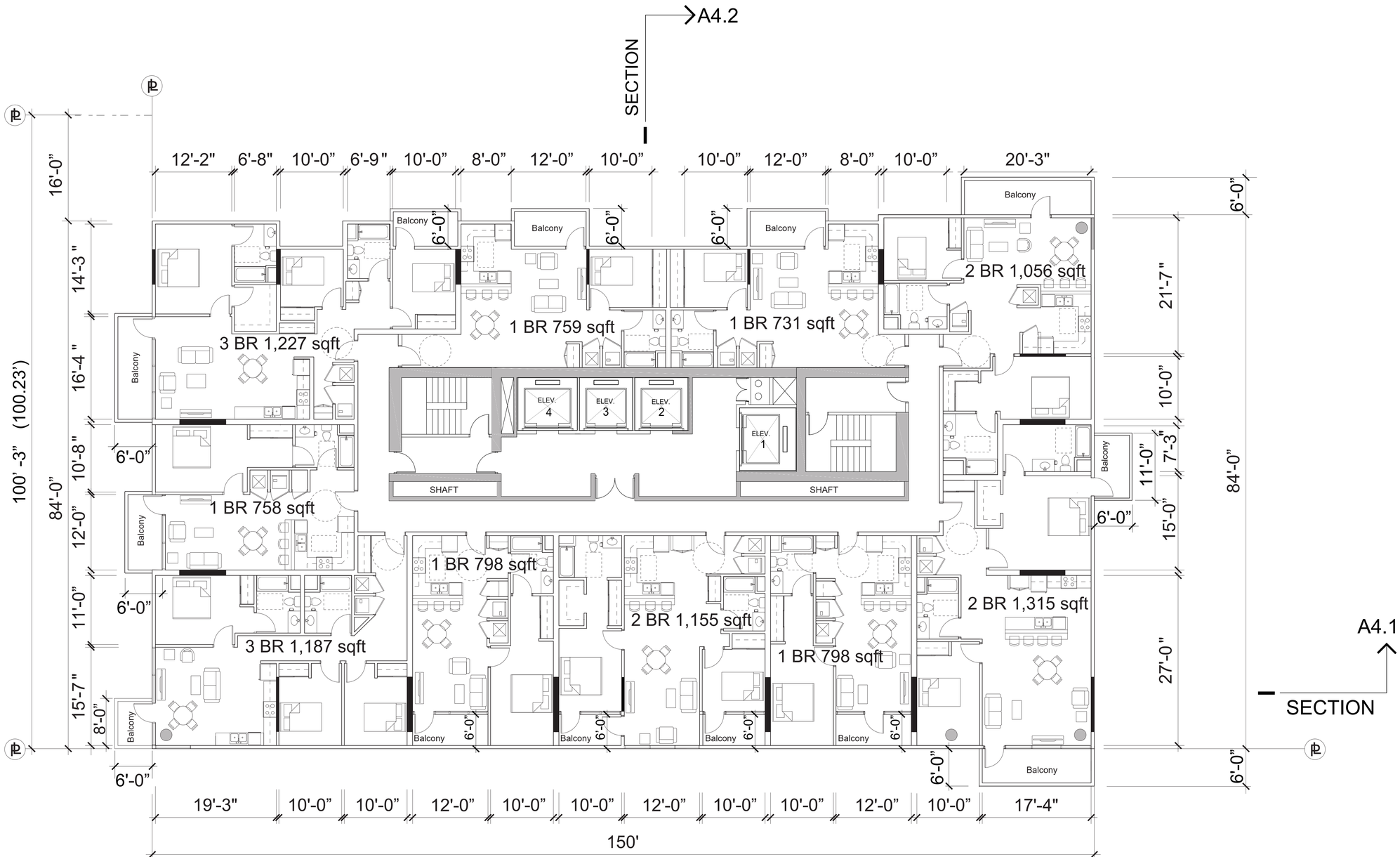
SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.9.2

SHEET OF



FLOOR PLAN LAYOUT - 10th and 11th LEVELS

5 - ONE BEDROOM 3 - TWO BEDROOMS 2 - THREE BEDROOMS AFFORDABLE UNITS (ENTIRE FLOOR)

ONE BEDROOM	731 sqft	to	798 sqft	AVERAGE	769 sqft
TWO BEDROOMS	1,056 sqft	to	1,315 sqft	AVERAGE	1,179 sqft
THREE BEDROOMS	1,187 sqft	to	2,053 sqft	AVERAGE	1,235 sqft

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
LEVEL 10 AND 11 RESIDENTIAL FLOOR PLAN - AFFORDABLE

DATE: DECEMBER 7, 2016

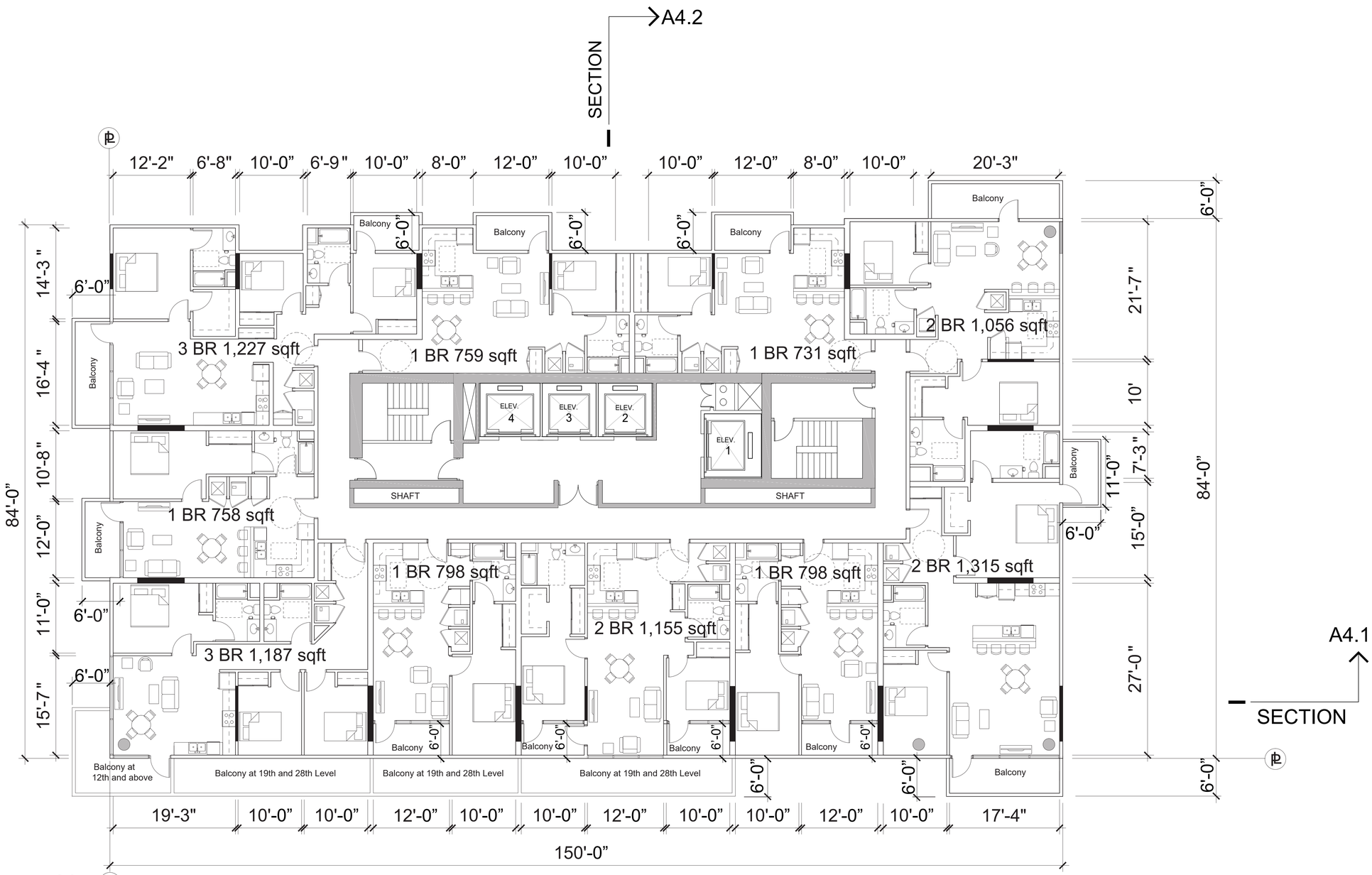
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.10

SHEET OF



FLOOR PLAN LAYOUT - 12TH to 30th LEVELS

5 - ONE BEDROOM 3 - TWO BEDROOMS 2 - THREE BEDROOMS

ONE BEDROOM	731 sqft	to	798 sqft	AVERAGE	769 sqft
TWO BEDROOMS	1,056 sqft	to	1,315 sqft	AVERAGE	1,179 sqft
THREE BEDROOMS	1,187 sqft	to	2,053 sqft	AVERAGE	1,235 sqft

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San Diego, CA 92101
Tel (619) 233-4857 Fax (619) 233-7417

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LEVEL 11 TO 30 TYPICAL RESIDENTIAL FLOOR PLANS

DATE: DECEMBER 7, 2016

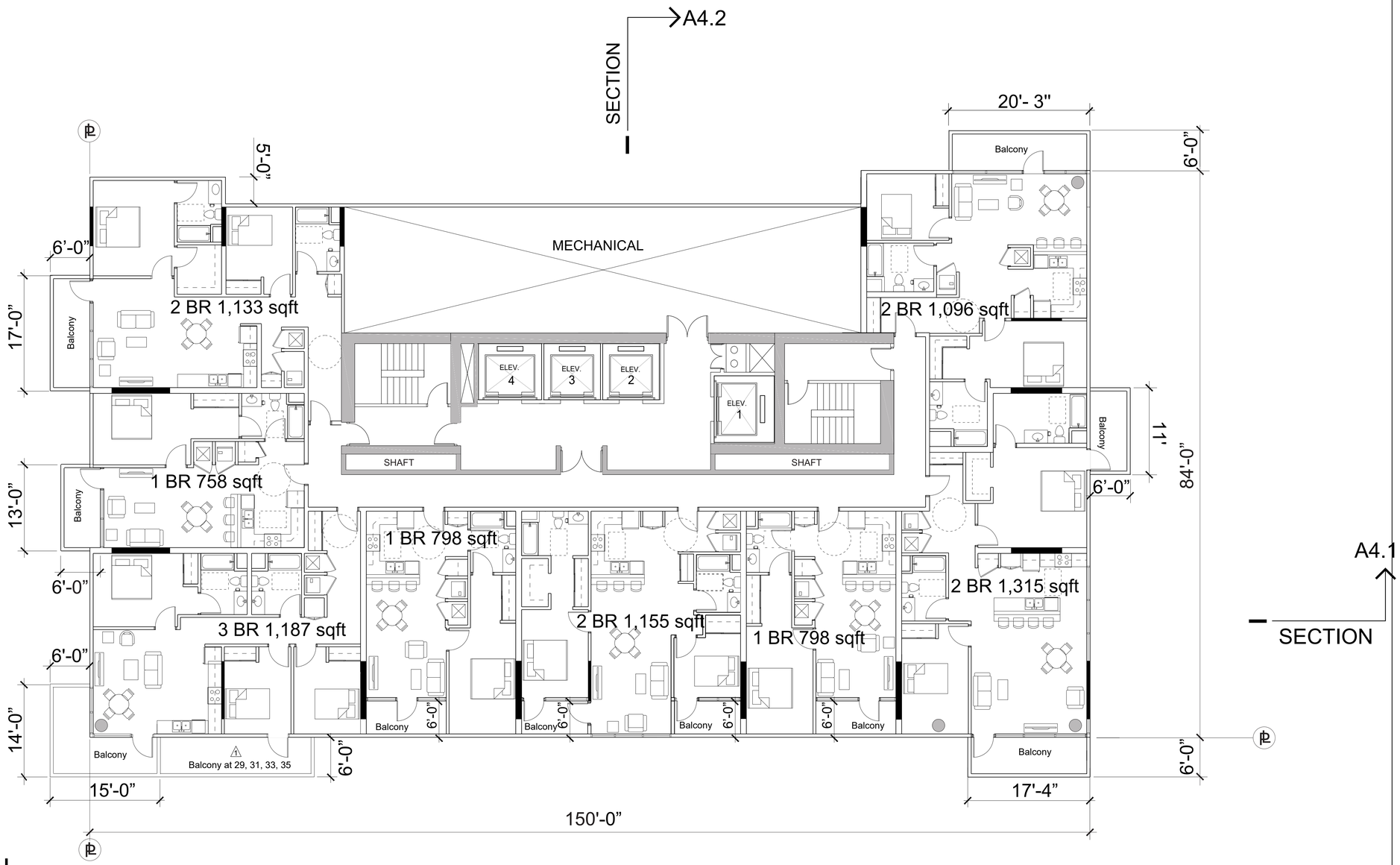
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.11

SHEET OF



FLOOR PLAN LAYOUT - 31st to 35th LEVELS

3 - ONE BEDROOM 4 - TWO BEDROOMS 1 - THREE BEDROOMS

ONE BEDROOM	731 sqft	to	798 sqft	AVERAGE	769 sqft
TWO BEDROOMS	1,056 sqft	to	1,315 sqft	AVERAGE	1,179 sqft
THREE BEDROOMS	1,187 sqft	to	2,053 sqft	AVERAGE	1,235 sqft

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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LEVEL 31 TO 35 TYPICAL RESIDENTIAL FLOOR PLANS

DATE: DECEMBER 7, 2016

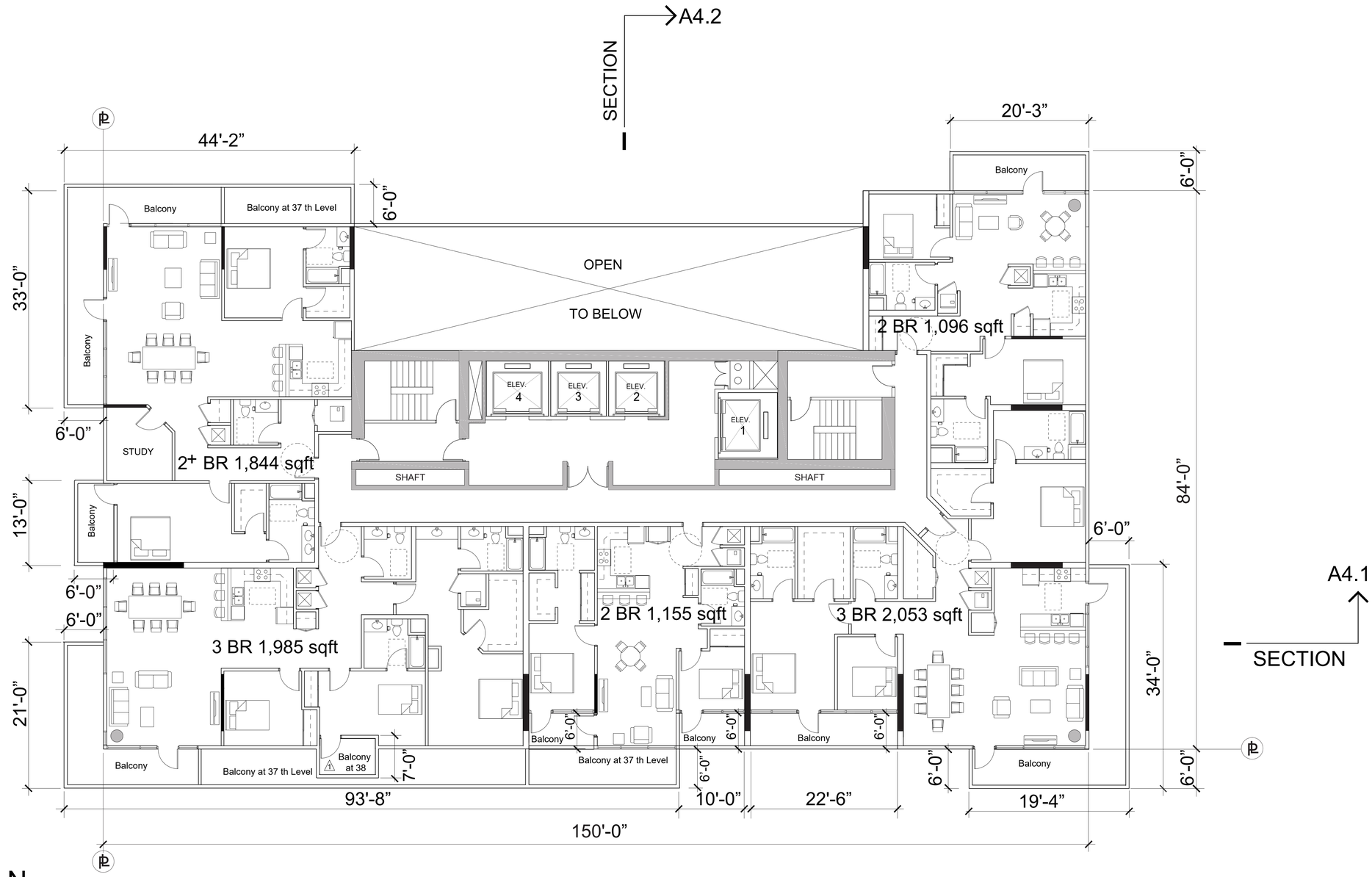
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.12

SHEET OF



FLOOR PLAN LAYOUT - 36th to 39th LEVELS

0 - ONE BEDROOM 3 - TWO BEDROOMS 2 - THREE BEDROOMS

TWO BEDROOMS	1,096 sqft	to	1,155 sqft	AVERAGE	1,125 sqft
TWO+ BEDROOMS	1,844 sqft			AVERAGE	1,844 sqft
THREE BEDROOMS	1,985 sqft	to	2,053 sqft	AVERAGE	2,019 sqft

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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LEVEL 36 TO 39 TYPICAL RESIDENTIAL FLOOR PLANS

DATE: DECEMBER 7, 2016

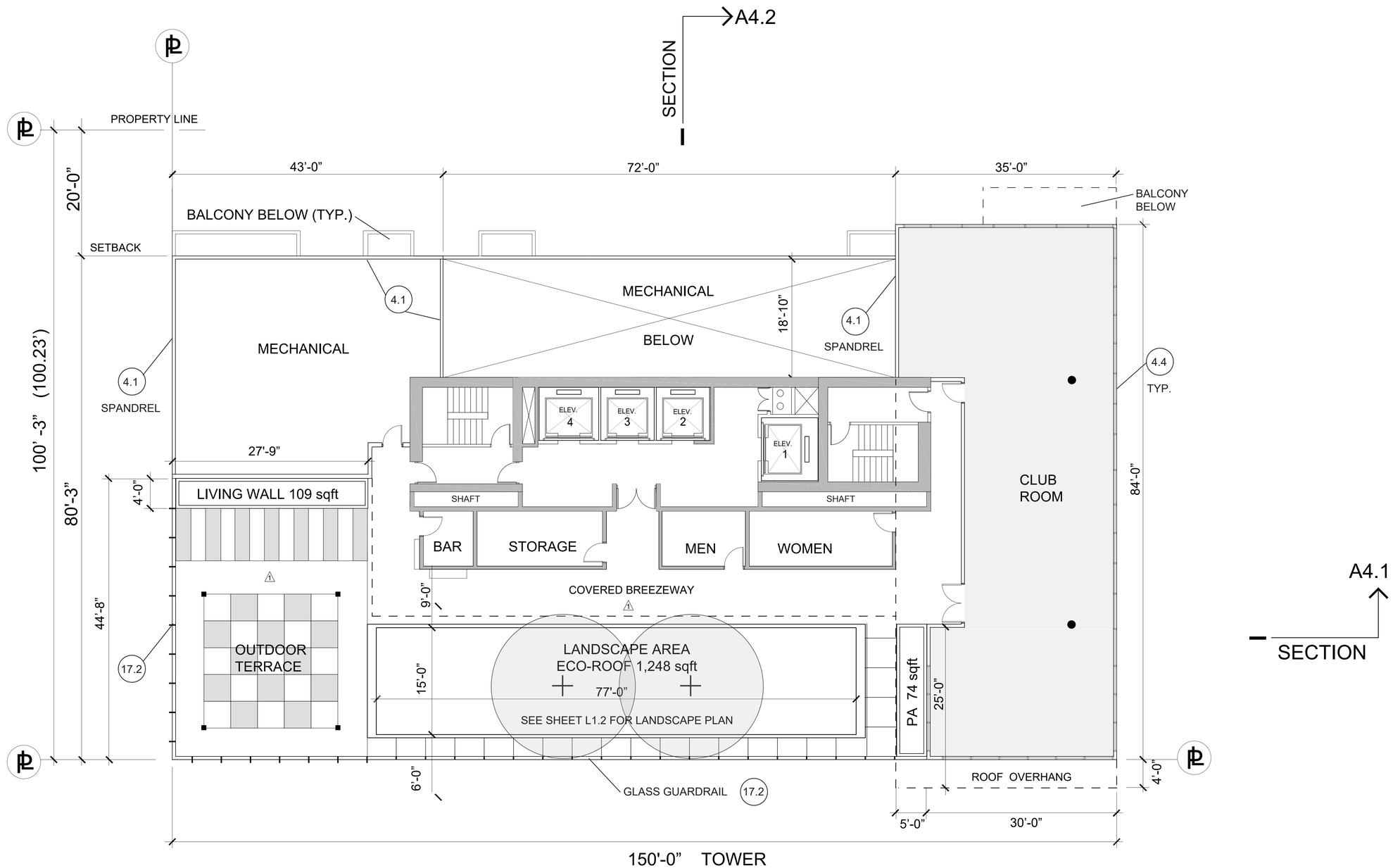
SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.13

SHEET OF



N

0 8

R O O F T E R R A C E 396.75

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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE

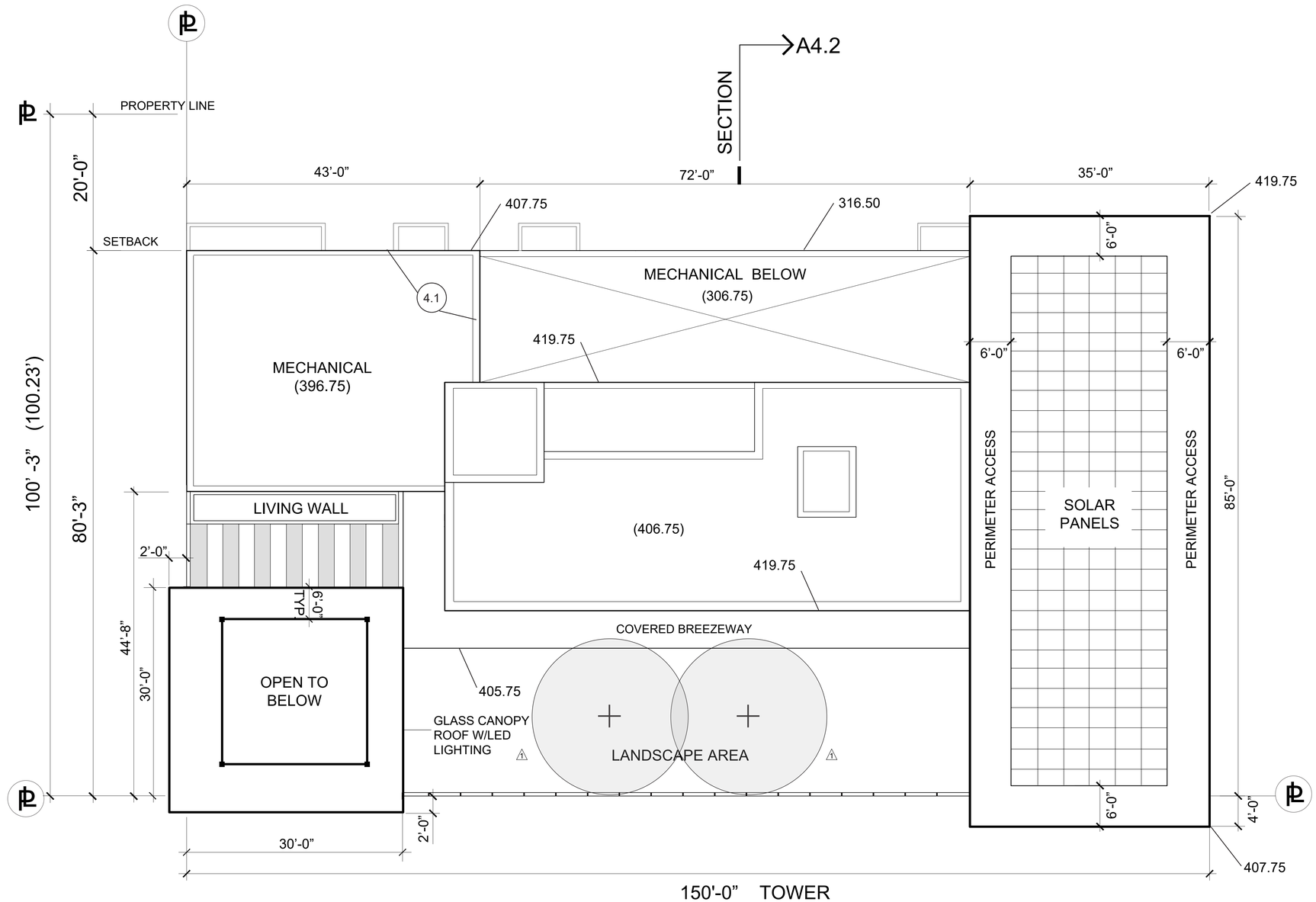
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
LEVEL 40 ROOFTOP TERRACE FLOOR PLAN

DATE: DECEMBER 7, 2016
SCALE: 1/8"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : A1.14
SHEET OF



A4.1
SECTION

N
0 8

R O O F P L A N

406.75

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: ROOF PLAN

DATE: DECEMBER 7, 2016

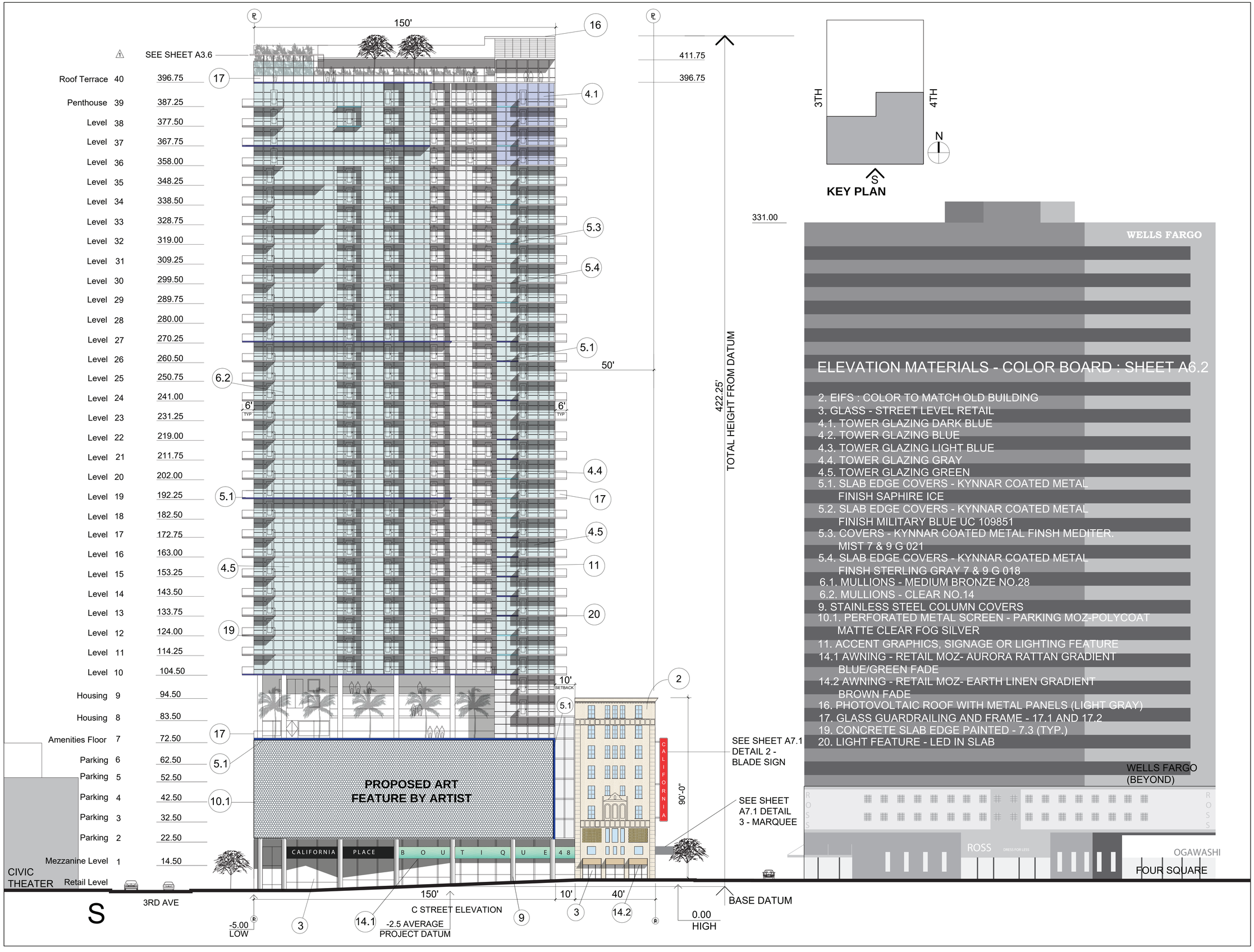
SCALE: 1/8"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A1.15

SHEET OF



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1 6-20-2016

1122 FOURTH AVENUE

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: BUILDIG ELEVATION- SOUTH

DATE: DECEMBER 7, 2016

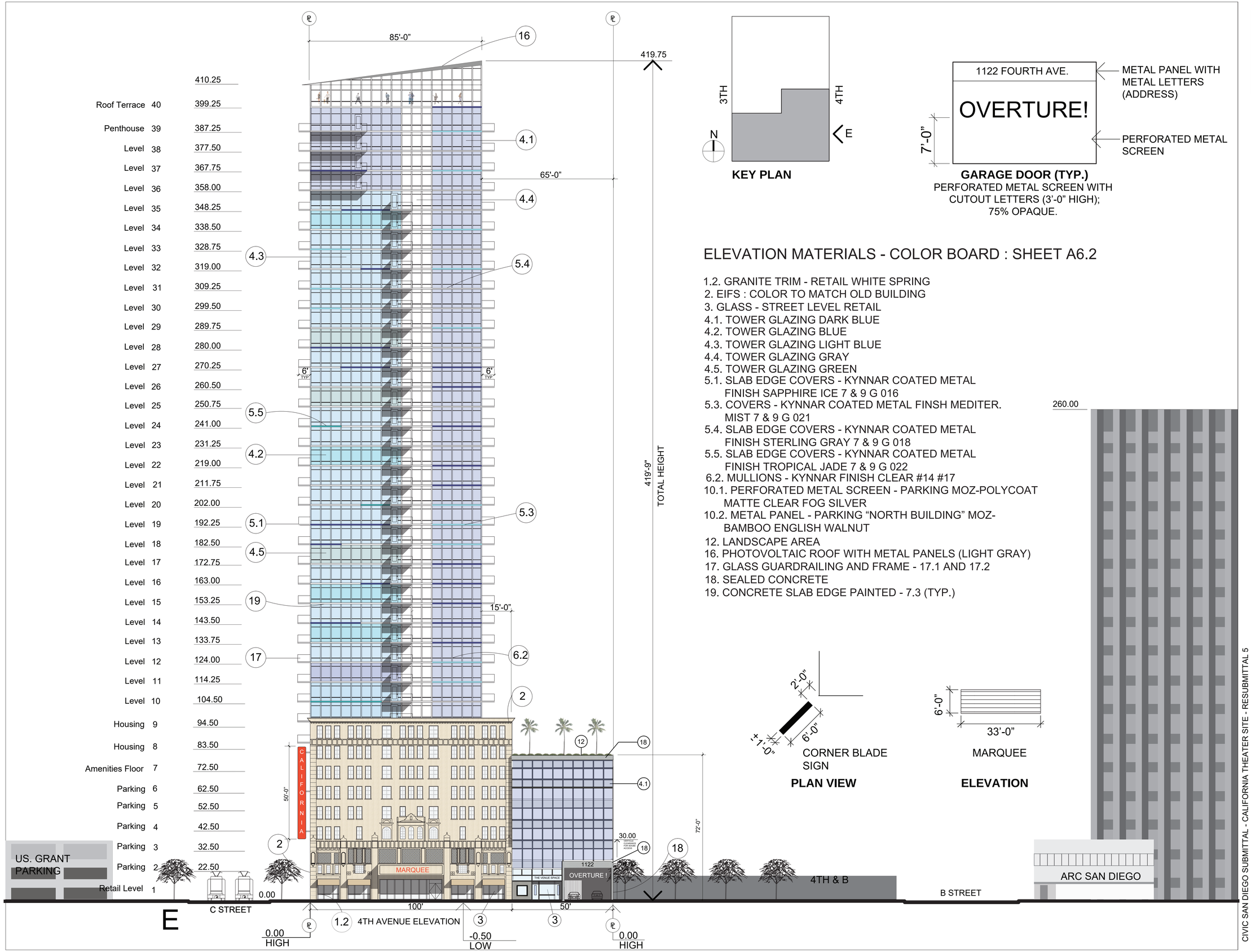
SCALE: 1/20"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A2.1

SHEET OF



KEY PLAN

GARAGE DOOR (TYP.)
PERFORATED METAL SCREEN WITH CUTOUT LETTERS (3'-0" HIGH); 75% OPAQUE.

ELEVATION MATERIALS - COLOR BOARD : SHEET A6.2

1.2. GRANITE TRIM - RETAIL WHITE SPRING
2. EIFS : COLOR TO MATCH OLD BUILDING
3. GLASS - STREET LEVEL RETAIL
4.1. TOWER GLAZING DARK BLUE
4.2. TOWER GLAZING BLUE
4.3. TOWER GLAZING LIGHT BLUE
4.4. TOWER GLAZING GRAY
4.5. TOWER GLAZING GREEN
5.1. SLAB EDGE COVERS - KYNNAR COATED METAL FINISH SAPPHIRE ICE 7 & 9 G 016
5.3. COVERS - KYNNAR COATED METAL FINSH MEDITER. MIST 7 & 9 G 021
5.4. SLAB EDGE COVERS - KYNNAR COATED METAL FINISH STERLING GRAY 7 & 9 G 018
5.5. SLAB EDGE COVERS - KYNNAR COATED METAL FINISH TROPICAL JADE 7 & 9 G 022
6.2. MULLIONS - KYNNAR FINISH CLEAR #14 #17
10.1. PERFORATED METAL SCREEN - PARKING MOZ-POLYCOAT MATTE CLEAR FOG SILVER
10.2. METAL PANEL - PARKING "NORTH BUILDING" MOZ-BAMBOO ENGLISH WALNUT
12. LANDSCAPE AREA
16. PHOTOVOLTAIC ROOF WITH METAL PANELS (LIGHT GRAY)
17. GLASS GUARDRAILING AND FRAME - 17.1 AND 17.2
18. SEALED CONCRETE
19. CONCRETE SLAB EDGE PAINTED - 7.3 (TYP.)

CORNER BLADE SIGN
PLAN VIEW

MARQUEE
ELEVATION

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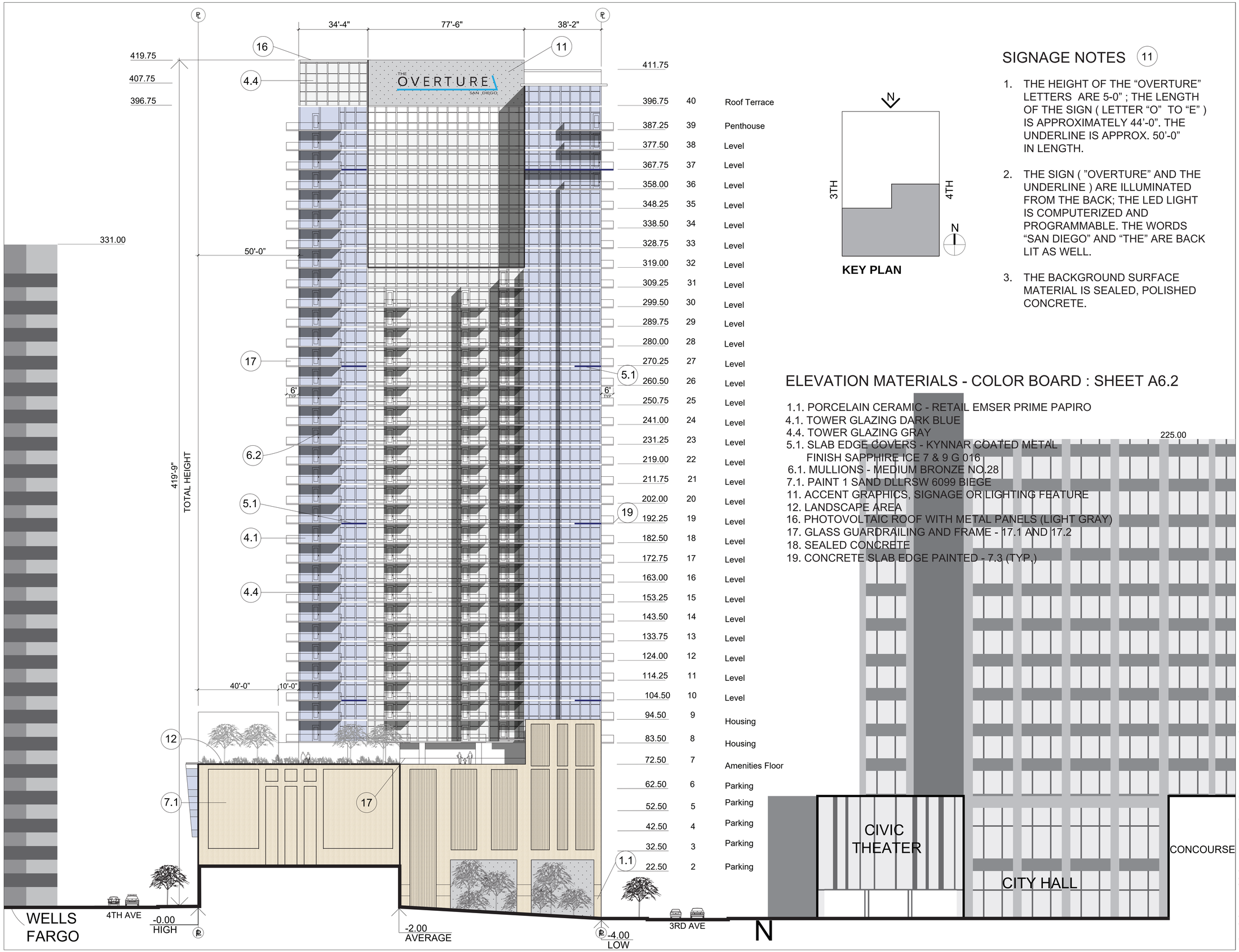
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: BUILDING ELEVATION - EAST

DATE: DECEMBER 7, 2016
SCALE: 1/20"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : A2.2
SHEET OF



KEY PLAN

SIGNAGE NOTES (11)

1. THE HEIGHT OF THE "OVERTURE" LETTERS ARE 5-0" ; THE LENGTH OF THE SIGN (LETTER "O" TO "E") IS APPROXIMATELY 44'-0". THE UNDERLINE IS APPROX. 50'-0" IN LENGTH.
2. THE SIGN ("OVERTURE" AND THE UNDERLINE) ARE ILLUMINATED FROM THE BACK; THE LED LIGHT IS COMPUTERIZED AND PROGRAMMABLE. THE WORDS "SAN DIEGO" AND "THE" ARE BACK LIT AS WELL.
3. THE BACKGROUND SURFACE MATERIAL IS SEALED, POLISHED CONCRETE.

ELEVATION MATERIALS - COLOR BOARD : SHEET A6.2

1.1. PORCELAIN CERAMIC - RETAIL EMSER PRIME PAPIRO
4.1. TOWER GLAZING DARK BLUE
4.4. TOWER GLAZING GRAY
5.1. SLAB EDGE COVERS - KYNNAR COATED METAL FINISH SAPPHIRE ICE 7 & 9 G 016
6.1. MULLIONS - MEDIUM BRONZE NO.28
7.1. PAINT 1 SAND DLLRSW 6099 BIEGE
11. ACCENT GRAPHICS, SIGNAGE OR LIGHTING FEATURE
12. LANDSCAPE AREA
16. PHOTOVOLTAIC ROOF WITH METAL PANELS (LIGHT GRAY)
17. GLASS GUARDRAILING AND FRAME - 17.1 AND 17.2
18. SEALED CONCRETE
19. CONCRETE SLAB EDGE PAINTED - 7.3 (TYP.)

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1122 FOURTH AVENUE

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: BUILDING ELEVATION - NORTH

DATE: DECEMBER 7, 2016

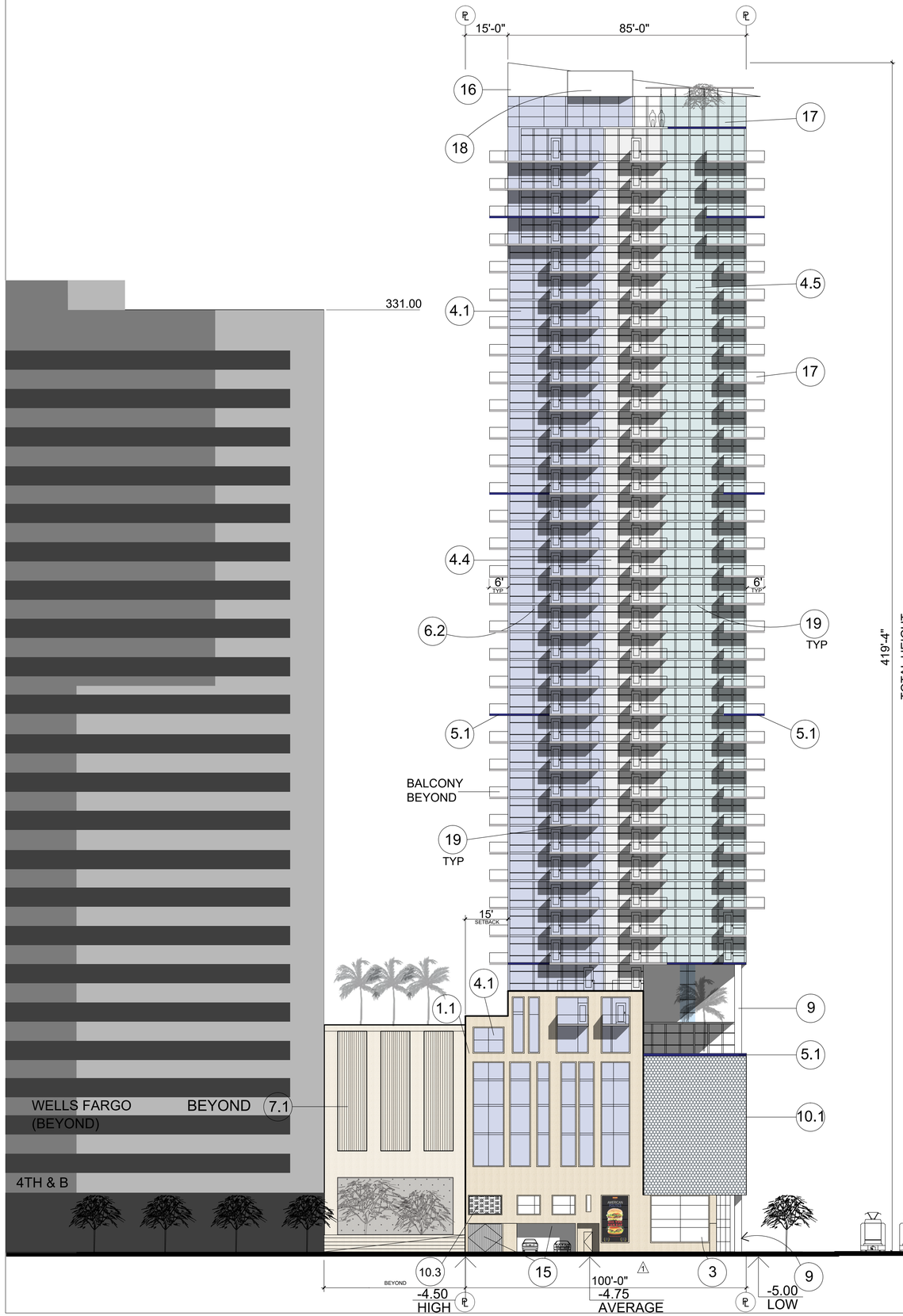
SCALE: 1/20"=1'-0"

DRAWN BY:

JOB No. : 3110

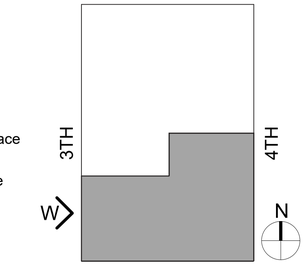
SHEET No. : A2.3

SHEET OF



411.75		
396.75	40	Roof Terrace
387.25	39	Penthouse
377.50	38	Level
367.75	37	Level
358.00	36	Level
348.25	35	Level
338.50	34	Level
328.75	33	Level
319.00	32	Level
309.25	31	Level
299.50	30	Level
289.75	29	Level
280.00	28	Level
270.25	27	Level
260.50	26	Level
250.75	25	Level
241.00	24	Level
231.25	23	Level
219.00	22	Level
211.75	21	Level
202.00	20	Level
192.25	19	Level
182.50	18	Level
172.75	17	Level
163.00	16	Level
153.25	15	Level
143.50	14	Level
133.75	13	Level
124.00	12	Level
114.25	11	Level
104.50	10	Level
94.50	9	Housing
83.50	8	Housing
72.50	7	Amenities Floor
62.50	6	Parking
52.50	5	Parking
42.50	4	Parking
32.50	3	Parking
22.50	2	Parking
0.00		

419'-4"
TOTAL HEIGHT

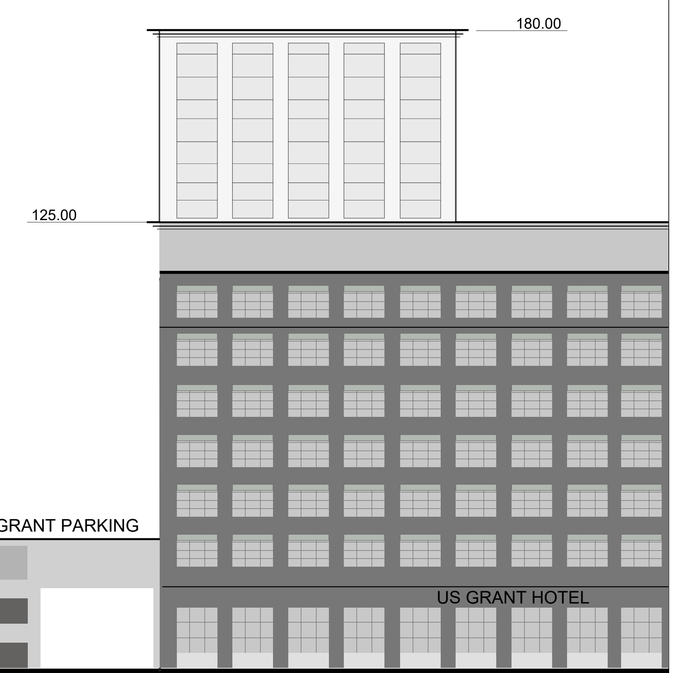


KEY PLAN

GARAGE DOOR (TYP.)
PERFORATED METAL SCREEN WITH
CUTOUT LETTERS (3'-0" HIGH);
75% OPAQUE.

ELEVATION MATERIALS - COLOR BOARD : SHEET A6.2

1.1. PORCELAIN CERAMIC - RETAIL EMSER PRIME PAPIRO
3. GLASS - STREET LEVEL RETAIL
4.1. TOWER GLAZING DARK BLUE
4.3. TOWER GLAZING LIGHT BLUE
4.4. TOWER GLAZING GRAY
4.5. TOWER GLAZING GREEN
5.1. SLAB EDGE COVERS - KYNNAR COATED METAL
FINSH SAPPHIRE ICE 7 & 9 G 016
6.1. MULLIONS - MEDIUM BRONZE NO.28
9. STAINLESS STEEL COLUMN COVERS
T- 316 # POLISHED FINISH
10.1. PERFORATED METAL SCREEN - PARKING MOZ-POLYCOAT
MATTE CLEAR FOG SILVER
10.3. PERFORATED METAL SCREEN - PARKING
"OLD BLDG" MOZ- BAMBOO GOLD RUSH
11. ACCENT GRAPHICS, SIGNAGE OR LIGHTING FEATURE
15. METAL GATE OR DOOR - PERFORATED METAL 10.1
16. PHOTOVOLTAIC ROOF WITH METAL PANELS (LIGHT GRAY)
17. GLASS GUARDRAILING AND FRAME - 17.1 AND 17.2
18. SEALED CONCRETE
19. CONCRETE SLAB EDGE PAINTED - 7.3 (TYP.)



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1 6-20-2016

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: BUILDING ELEVATION - WEST

DATE: DECEMBER 7, 2016

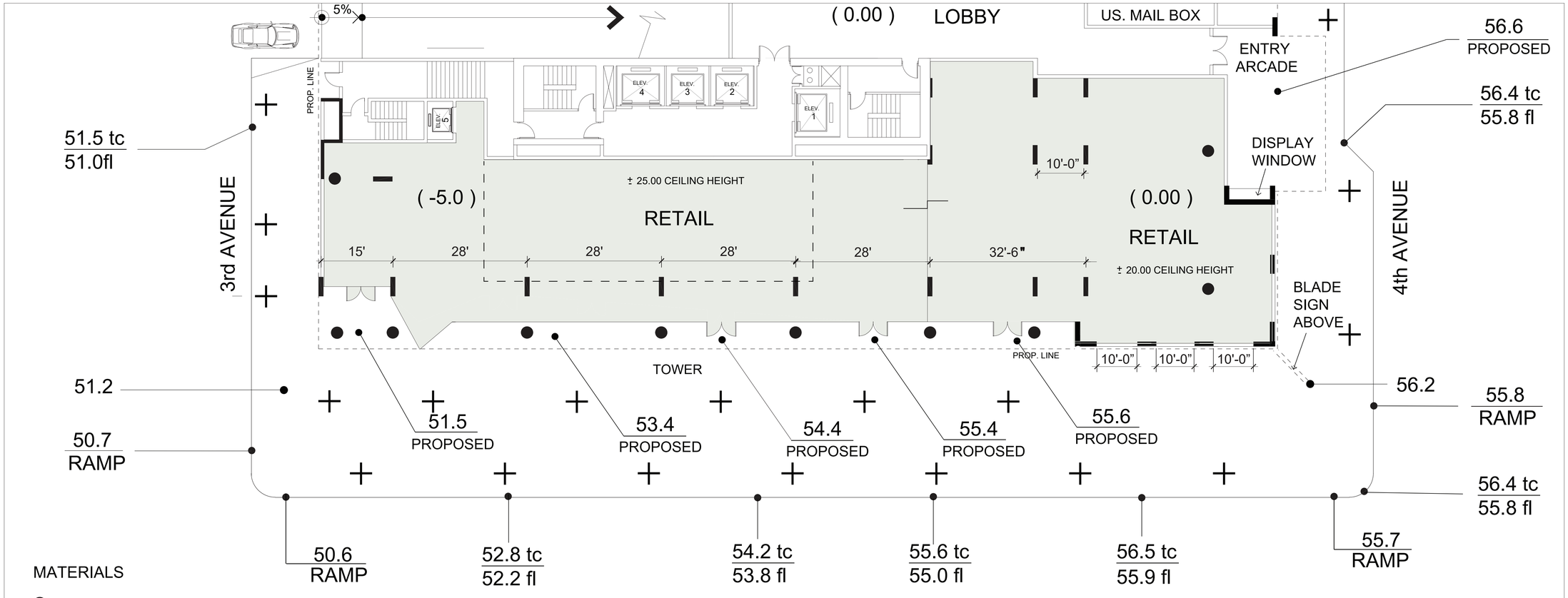
SCALE: $\frac{1}{20}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A2.4

SHEET OF

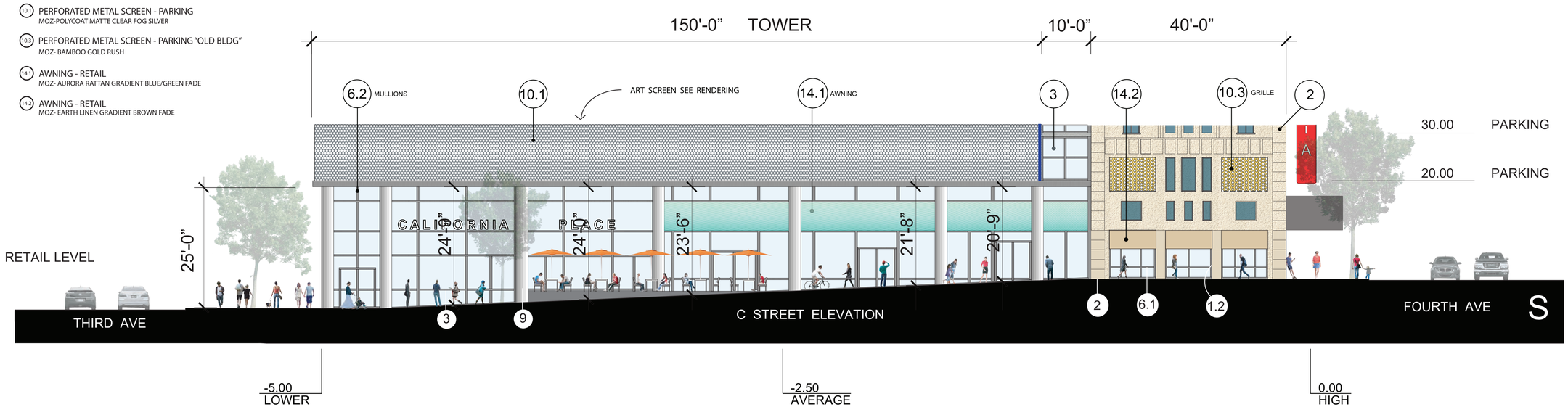


MATERIALS

- 1.2 GRANITE TRIM - RETAIL
  WHITE SPRING
- 2 EIFS
  OLD BUILDING
- 3 GLASS RETAIL
  CLEAR # 7
- 6.1 MULLIONS -
  MEDIUM BRONZE NO.28
- 6.2 MULLIONS - KYNNAR FINISH
  CLEAR #14 & #17
- 9 STAINLESS STEEL COLUMN COVERS
  S. STEEL T- 316 # POLISHED FINISH
- 10.1 PERFORATED METAL SCREEN - PARKING
  MOZ-POLYCOAT MATTE CLEAR FOG SILVER
- 10.3 PERFORATED METAL SCREEN - PARKING "OLD BLDG"
  MOZ- BAMBOO GOLD RUSH
- 14.1 AWNING - RETAIL
  MOZ- AURORA RATTAN GRADIENT BLUE/GREEN FADE
- 14.2 AWNING - RETAIL
  MOZ- EARTH LINEN GRADIENT BROWN FADE

TRANSPARENCY REQUIREMENTS (60%)

REQUIRED: 60% X 9 FT X 200 LF = 1,800 SF
PROVIDED: (9X15) + (9X28) + (9X28) + (9X28) + (9X28) + (8X28) + 3 (5X10) = 1,517 SF (84%)



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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: ENLARGED SOUTH ELEVATION

DATE: DECEMBER 7, 2016

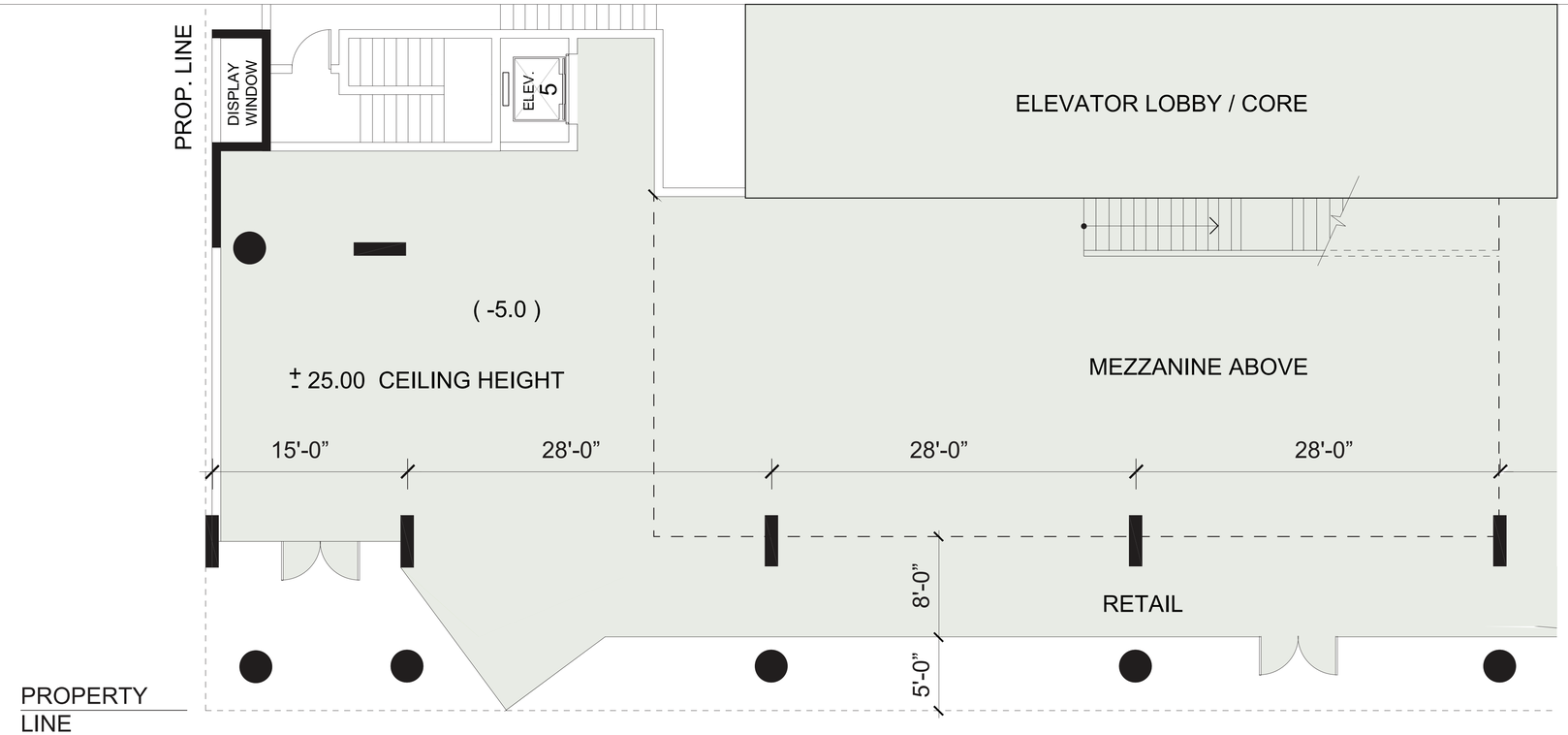
SCALE: $\frac{1}{16}$"=1'-0"

DRAWN BY:

JOB No. :

SHEET No. : A3.1

SHEET OF

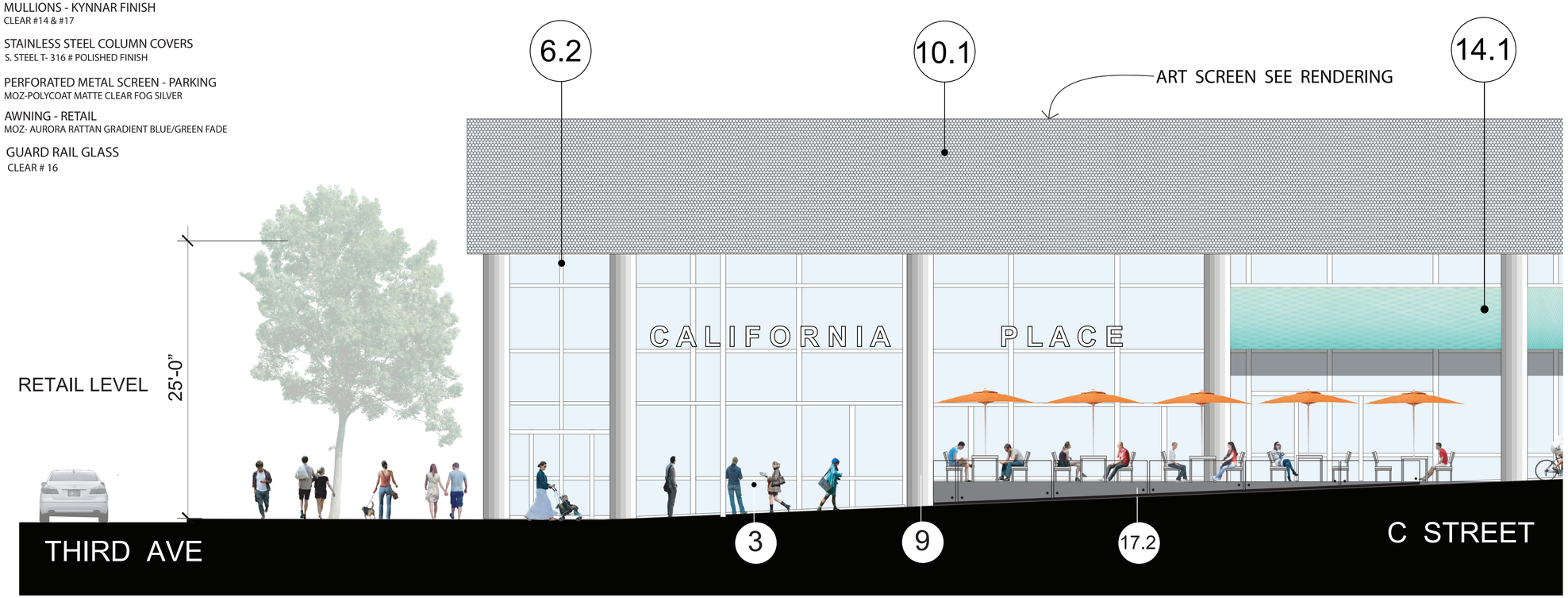


MATERIALS

- (3) GLASS RETAIL
  CLEAR # 7
- (6.2) MULLIONS - KYNNAR FINISH
  CLEAR #14 & #17
- (9) STAINLESS STEEL COLUMN COVERS
  S. STEEL T- 316 # POLISHED FINISH
- (10.1) PERFORATED METAL SCREEN - PARKING
  MOZ-POLYCOAT MATTE CLEAR FOG SILVER
- (14.1) AWNING - RETAIL
  MOZ- AURORA RATTAN GRADIENT BLUE/GREEN FADE
- (17.2) GUARD RAIL GLASS
  CLEAR # 16

TRANSPARENCY REQUIREMENTS (60%)

REQUIRED: 60% X 9 FT X 200 LF = 1,800 SF
PROVIDED: (9X15) + (9X28) + (9X28) + (9X28) + (9X28) + (8X28) + 3 (5X10) = 1,517 SF (84%)



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REVISIONS:

1122 FOURTH AVENUE

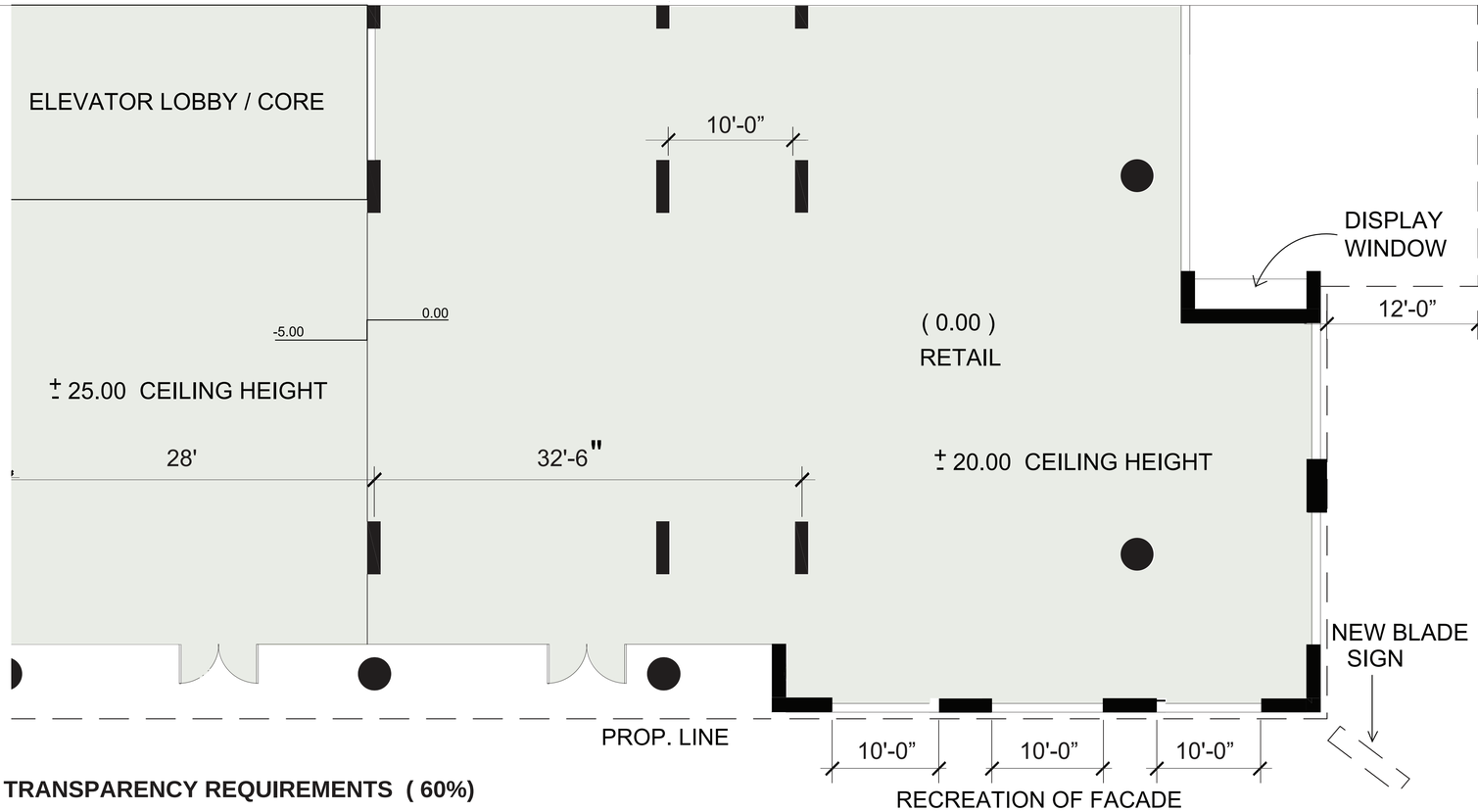
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
SOUTH ELEVATION
WEST SIDE BASE

DATE: DECEMBER 7, 2016
SCALE: $\frac{1}{8}$"=1'-0"
DRAWN BY:
JOB No. :
SHEET No. : A3.2
SHEET OF

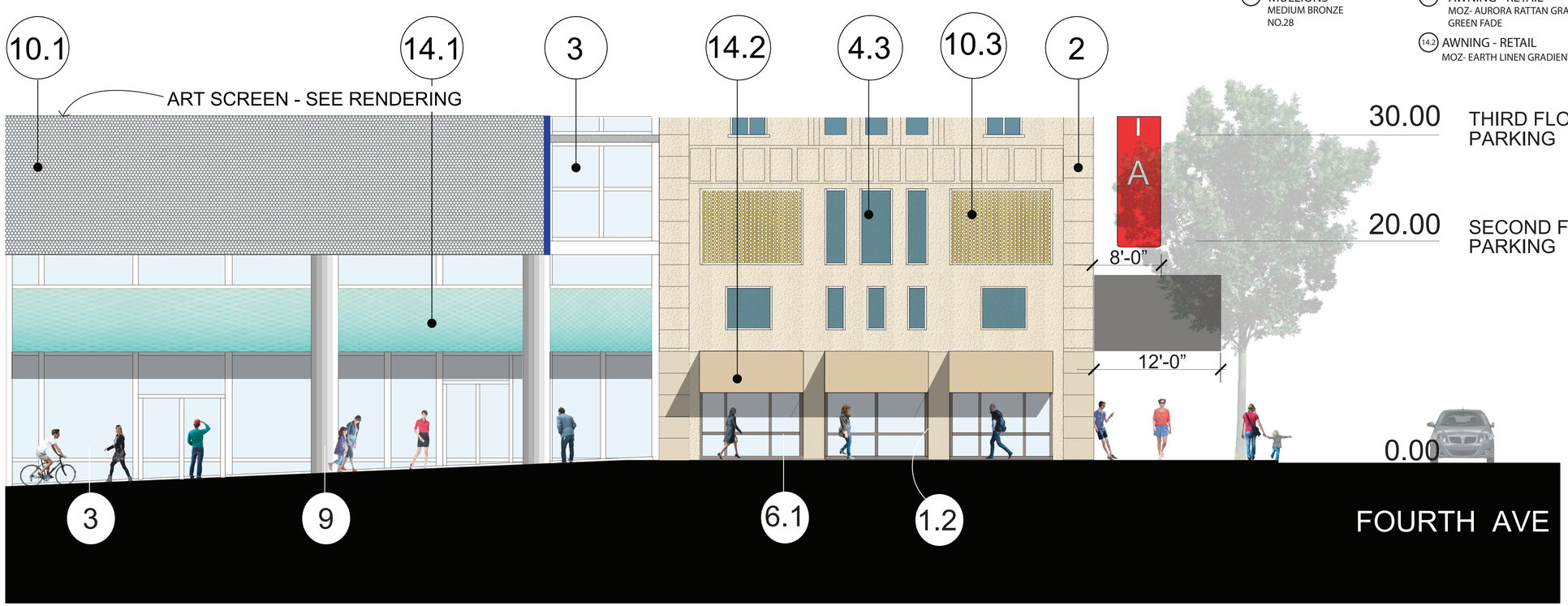


TRANSPARENCY REQUIREMENTS (60%)

REQUIRED: 60% X 9 FT X 200 LF = 1,800 SF
PROVIDED: (9X15) + (9X28) + (9X28) + (9X28) + (9X28) + (8X28) + 3 (5X10) = 1,517 SF (84%)

MATERIALS

- (1.2) GRANITE TRIM - RETAIL
  WHITE SPRING
- (2) EIFS
  OLD BUILDING
- (3) GLASS RETAIL
  CLEAR # 7
- (4.3) TOWER GLAZING
  LIGHT BLUE # 29
- (6.1) MULLIONS -
  MEDIUM BRONZE
  NO.28
- (9) STAINLESS STEEL COLUMN COVERS
  S. STEEL T- 316 # POLISHED FINISH
- (10.1) PERFORATED METAL SCREEN - PARKING
  MOZ-POLYCOAT MATTE CLEAR FOG SILVER
- (10.3) PERFORATED METAL SCREEN - PARKING
  "OLD BLDG"
  MOZ- BAMBOO GOLD RUSH
- (14.1) AWNING - RETAIL
  MOZ- AURORA RATTAN GRADIENT BLUE/ GREEN FADE
- (14.2) AWNING - RETAIL
  MOZ- EARTH LINEN GRADIENT BROWN FADE



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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

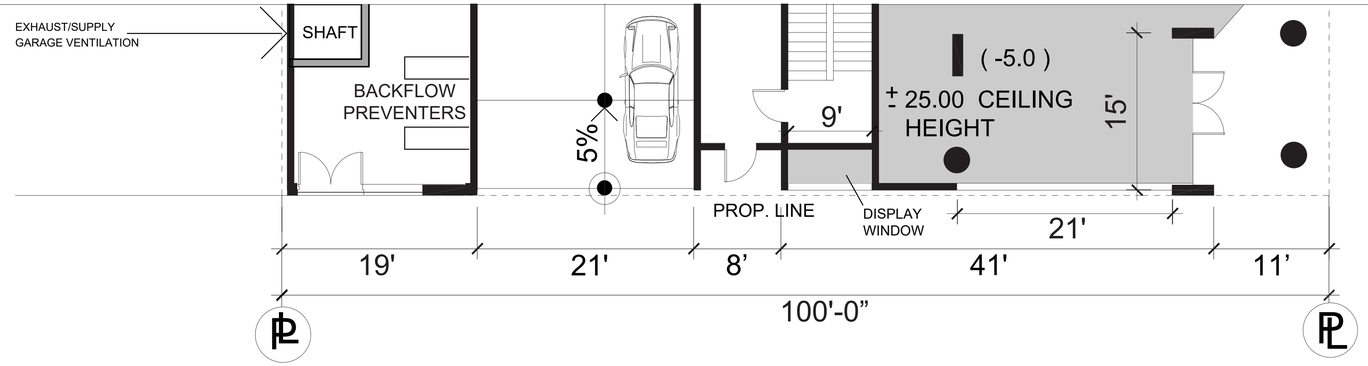
SEAL:

SHEET TITLE:
SOUTH ELEVATION
EAST SIDE BASE

DATE: DECEMBER 7, 2016
SCALE: $\frac{1}{8}$"=1'-0"
DRAWN BY:
JOB No. :
SHEET No. : A3.3
SHEET OF

MATERIALS

- (1.1) PORCELAIN CERAMIC - RETAIL
  EMSER PRIME PAPIRO
- (3) GLASS RETAIL
  CLEAR
- (4.3) TOWER GLAZING
  LIGHT BLUE # 29
- (6.2) MULLIONS - KYNNAR FINISH
  CLEAR #14 & #17
- (8.2) PORCELAIN CERAMIC - N.WALL AT POOL DECK
  ERAMOSA CARBON POL
- (9) STAINLESS STEEL COLUMN COVERS
  S. STEEL T- 316 # POLISHED FINISH
- (10.1) PERFORATED METAL SCREEN - PARKING
  MOZ-POLYCOAT MATTE CLEAR FOG SILVER
- (10.3) PERFORATED METAL SCREEN - PARKING "OLD BLDG"
  MOZ- BAMBOO GOLD RUSH



TRANSPARENCY REQUIREMENTS (60%)

REQUIRED: 60% X 9 FT X 49' LF = 265 SF
PROVIDED: (9X9) + (21X9) = 270 SF (61%)

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REVISIONS:

1 6-20-2016

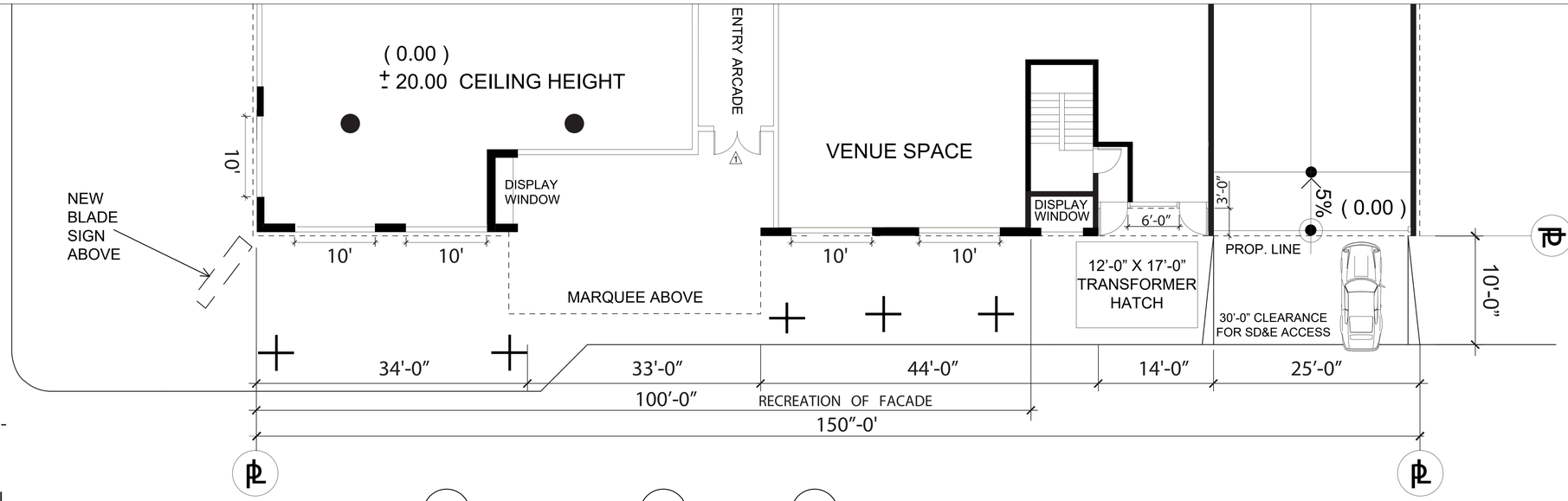
1122 FOURTH AVENUE
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
ENLARGED WEST ELEVATION BASE

DATE: DECEMBER 7, 2016
SCALE: $\frac{1}{8}$"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : A3.4
SHEET OF

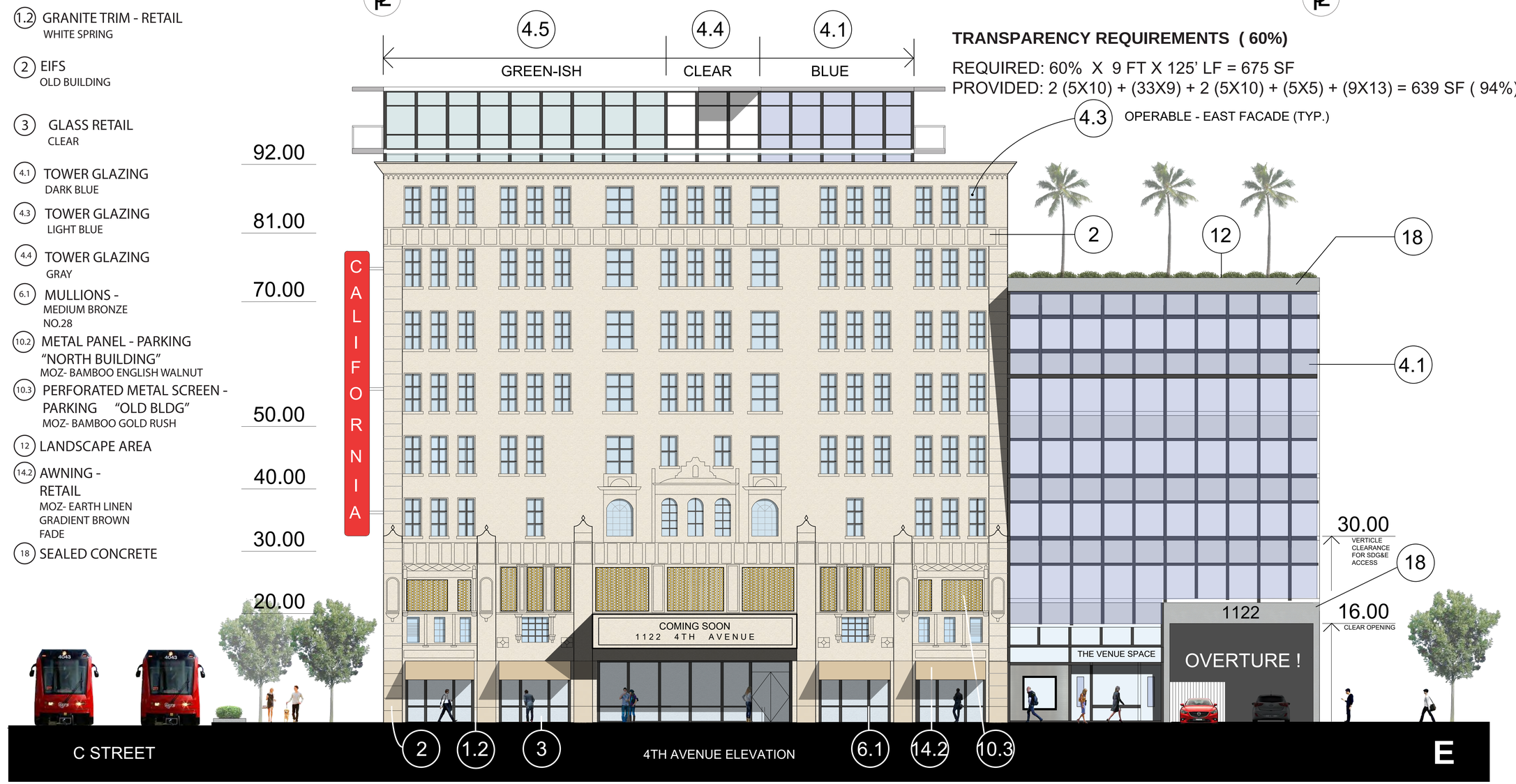


MATERIALS

- (1.1) PORCELAIN CERAMIC - RETAIL
  EMSER PRIME PAPIRO
- (1.2) GRANITE TRIM - RETAIL
  WHITE SPRING
- (2) EIFS
  OLD BUILDING
- (3) GLASS RETAIL
  CLEAR
- (4.1) TOWER GLAZING
  DARK BLUE
- (4.3) TOWER GLAZING
  LIGHT BLUE
- (4.4) TOWER GLAZING
  GRAY
- (6.1) MULLIONS -
  MEDIUM BRONZE
  NO.28
- (10.2) METAL PANEL - PARKING "NORTH BUILDING"
  MOZ- BAMBOO ENGLISH WALNUT
- (10.3) PERFORATED METAL SCREEN - PARKING "OLD BLDG"
  MOZ- BAMBOO GOLD RUSH
- (12) LANDSCAPE AREA
- (14.2) AWNING - RETAIL
  MOZ- EARTH LINEN
  GRADIENT BROWN
  FADE
- (18) SEALED CONCRETE

TRANSPARENCY REQUIREMENTS (60%)

REQUIRED: 60% X 9 FT X 125' LF = 675 SF
PROVIDED: 2 (5X10) + (33X9) + 2 (5X10) + (5X5) + (9X13) = 639 SF (94%)



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REVISIONS:

1 6-20-2016

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: ENLARGED EAST ELEVEATION BASE

DATE: DECEMBER 7, 2016

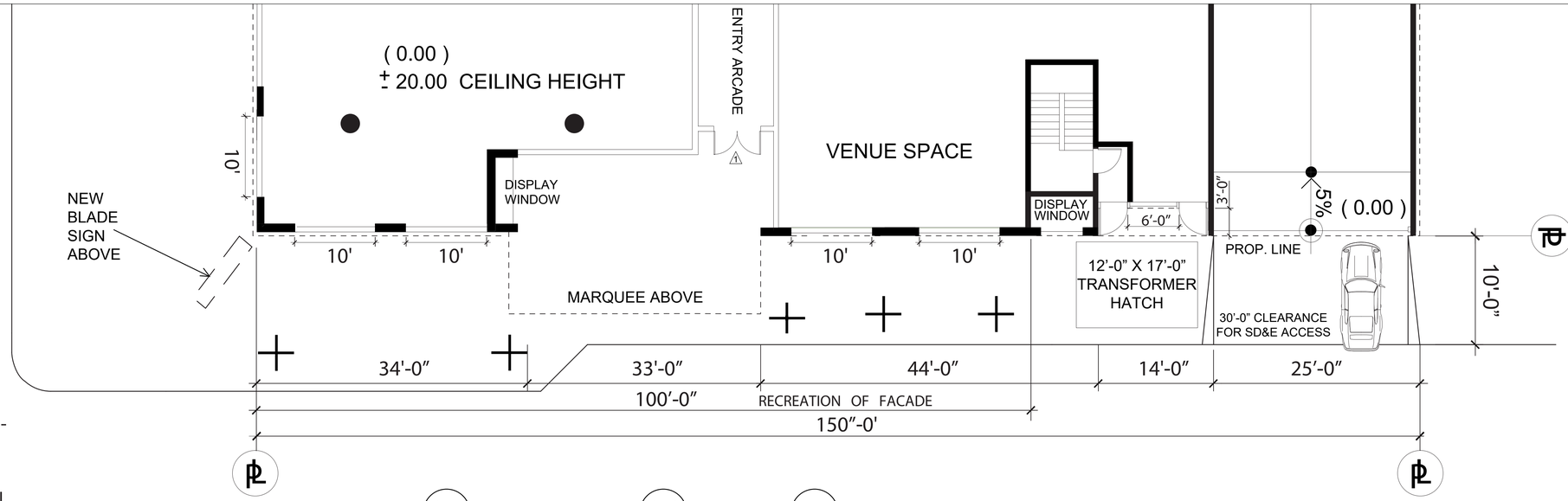
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A3.5

SHEET OF

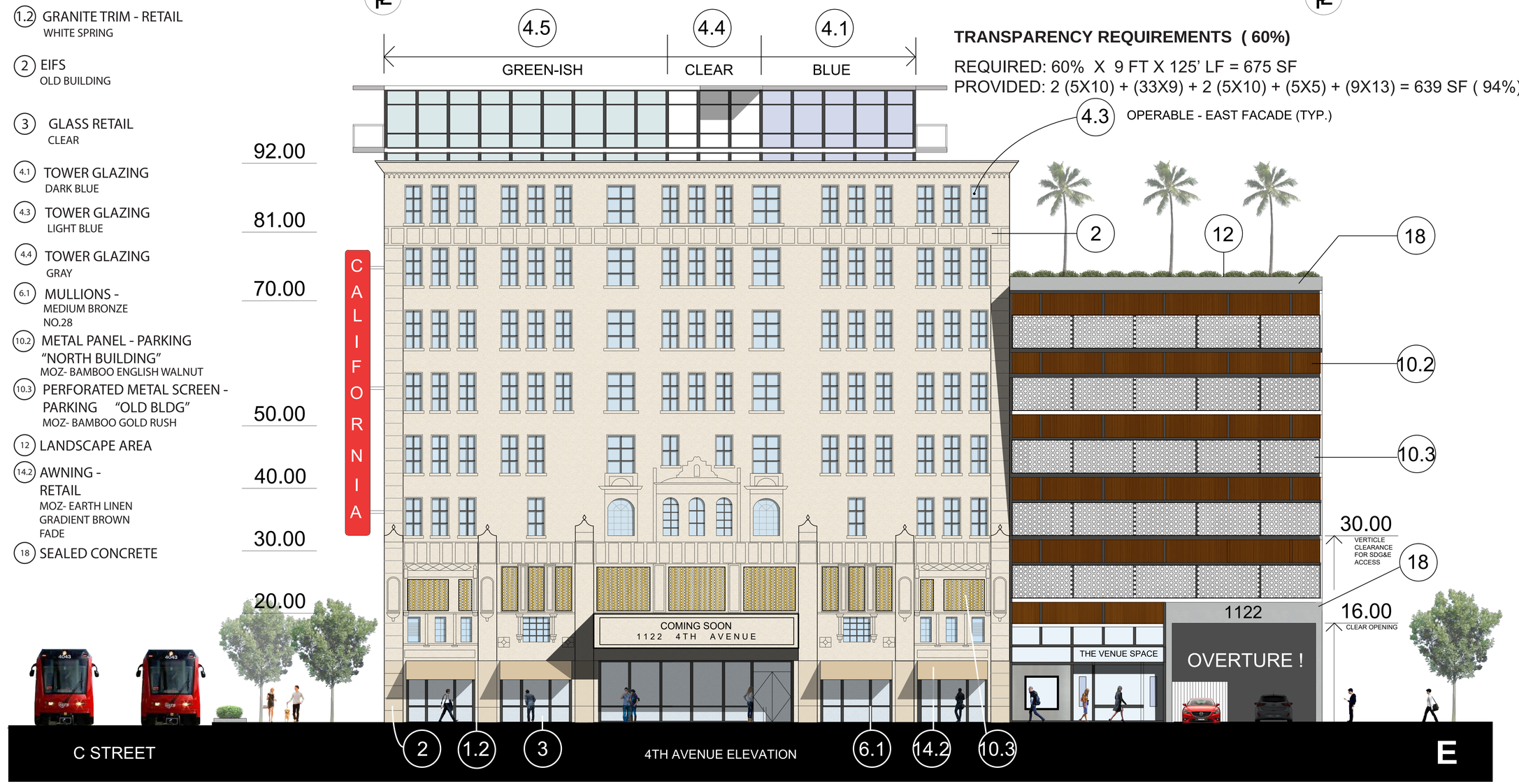


MATERIALS

- (1.1) PORCELAIN CERAMIC - RETAIL
  EMSER PRIME PAPIRO
- (1.2) GRANITE TRIM - RETAIL
  WHITE SPRING
- (2) EIFS
  OLD BUILDING
- (3) GLASS RETAIL
  CLEAR
- (4.1) TOWER GLAZING
  DARK BLUE
- (4.3) TOWER GLAZING
  LIGHT BLUE
- (4.4) TOWER GLAZING
  GRAY
- (6.1) MULLIONS -
  MEDIUM BRONZE
  NO.28
- (10.2) METAL PANEL - PARKING "NORTH BUILDING"
  MOZ- BAMBOO ENGLISH WALNUT
- (10.3) PERFORATED METAL SCREEN - PARKING "OLD BLDG"
  MOZ- BAMBOO GOLD RUSH
- (12) LANDSCAPE AREA
- (14.2) AWNING - RETAIL
  MOZ- EARTH LINEN
  GRADIENT BROWN
  FADE
- (18) SEALED CONCRETE

TRANSPARENCY REQUIREMENTS (60%)

REQUIRED: 60% X 9 FT X 125' LF = 675 SF
PROVIDED: 2 (5X10) + (33X9) + 2 (5X10) + (5X5) + (9X13) = 639 SF (94%)



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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE
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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: ENLARGED EAST ELEVEATION BASE

DATE: DECEMBER 7, 2016

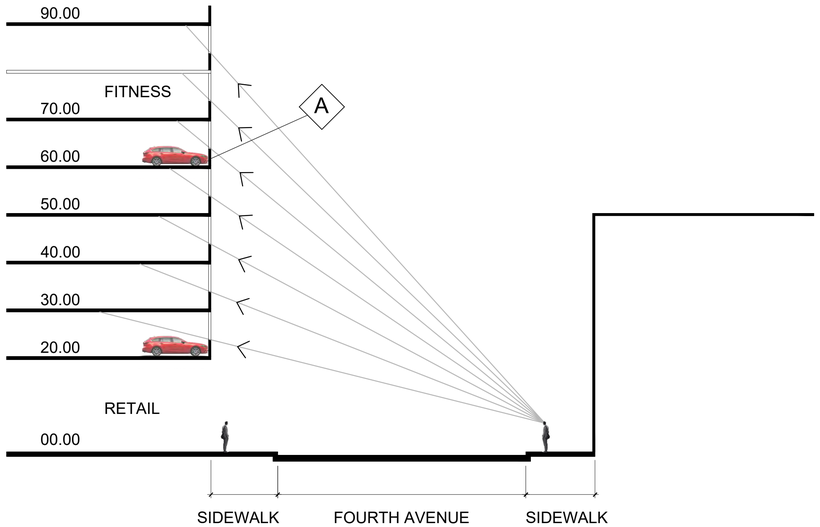
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

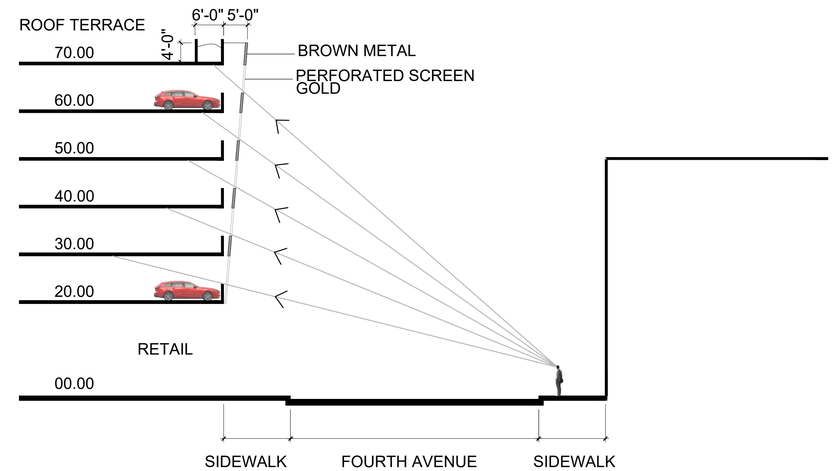
JOB No. : 3110

SHEET No. : A3.5 alt.

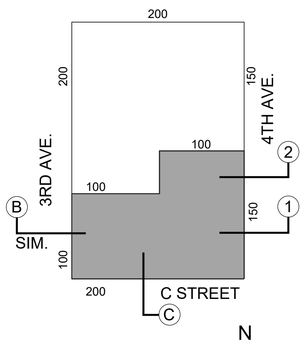
SHEET OF



SIGHT LINE DIAGRAM 1



SIGHT LINE DIAGRAM 2



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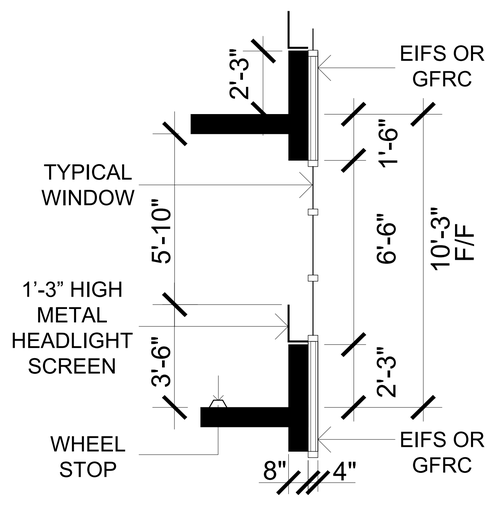
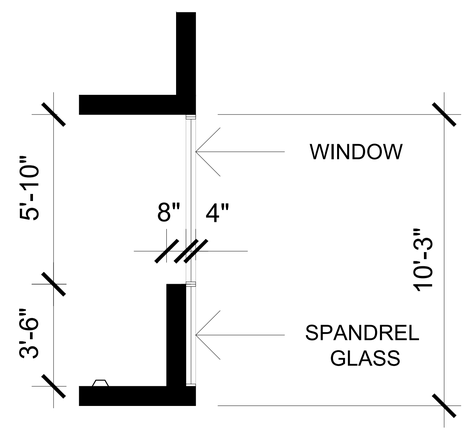
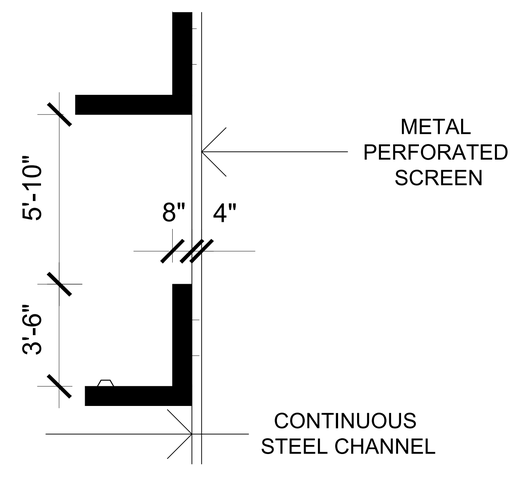


DETAIL A
TYPICAL



DETAIL B



DETAIL C

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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: SIGHT LINE DIAGRAMS

DATE: DECEMBER 7, 2016

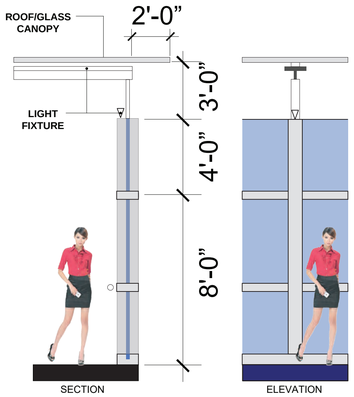
SCALE: 1:30

DRAWN BY:

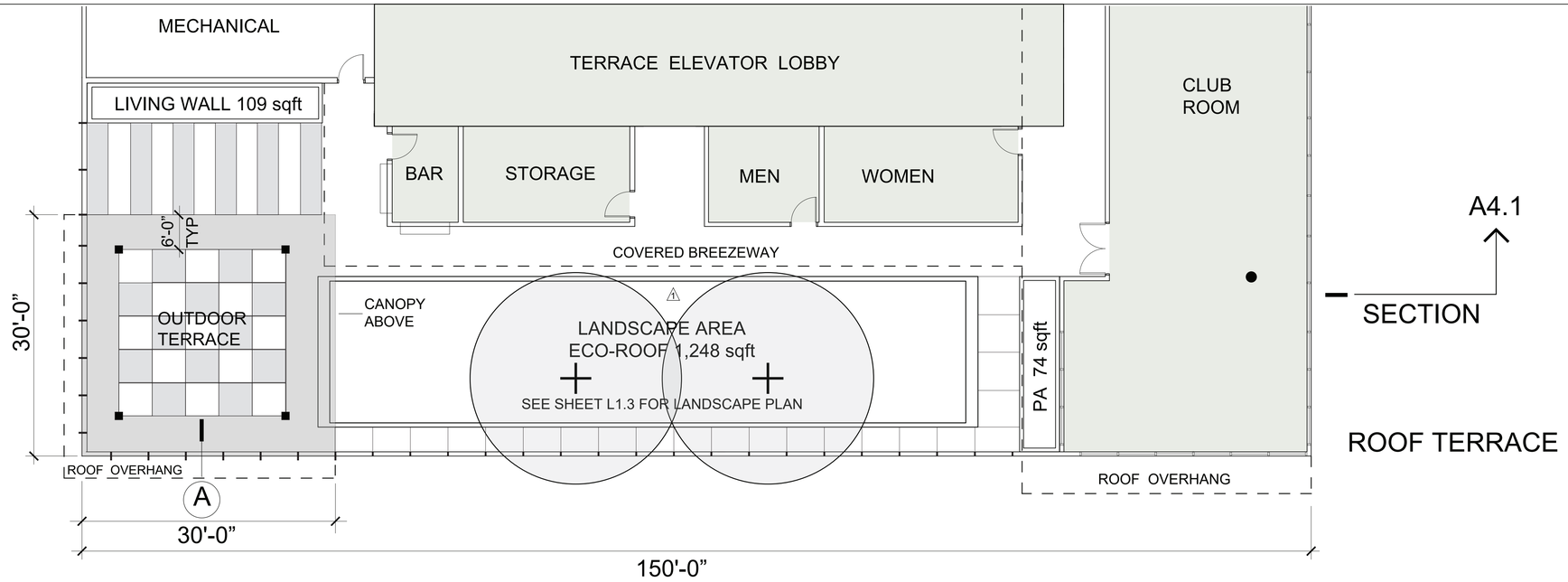
JOB No. : 3110

SHEET No. : A3.5.1

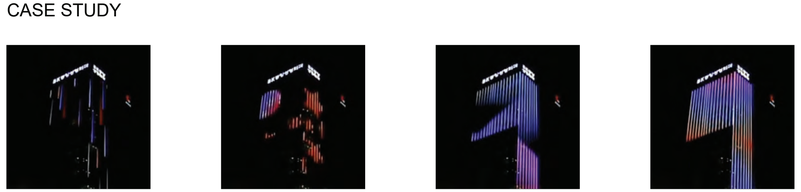
SHEET OF



1 **TERRACE GLASS SCREEN**
DETAIL A



CASE STUDY



1. 2. 3. 4.

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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
ENLARGED
SOUTH
ELEVATION
TOP

DATE: DECEMBER 7, 2016

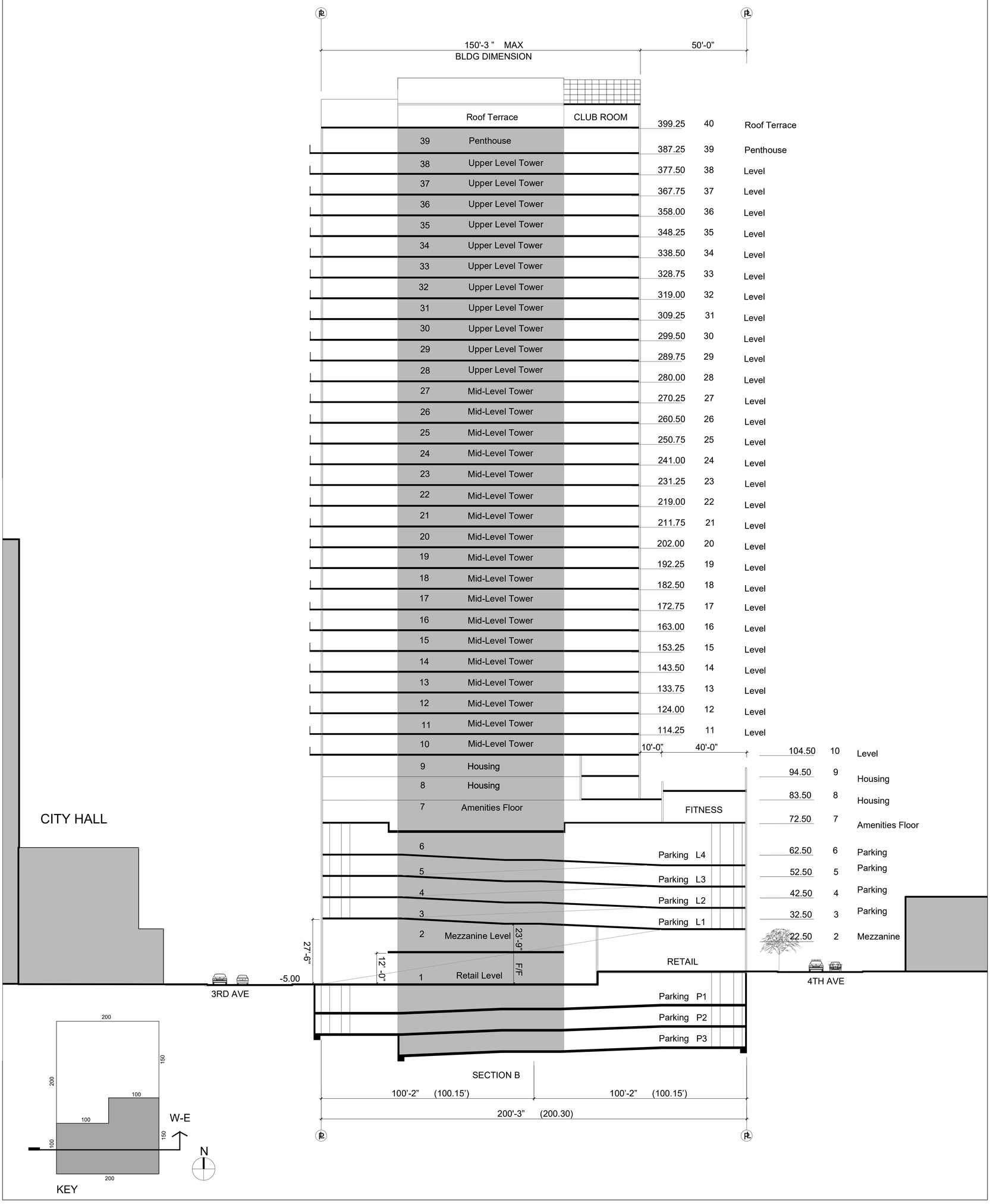
SCALE: $\frac{1}{8}$"=1'-0"

DRAWN BY:

JOB No. :

SHEET No. : A3.6

SHEET OF



CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

SHEET TITLE: BUILDING SECTION E-W

DATE: DECEMBER 7, 2016

SCALE: 1/32"=1'-0"

DRAWN BY:

JOB No.: 3110

SHEET No.: A4.1

OF

SEAL:

REVISIONS:

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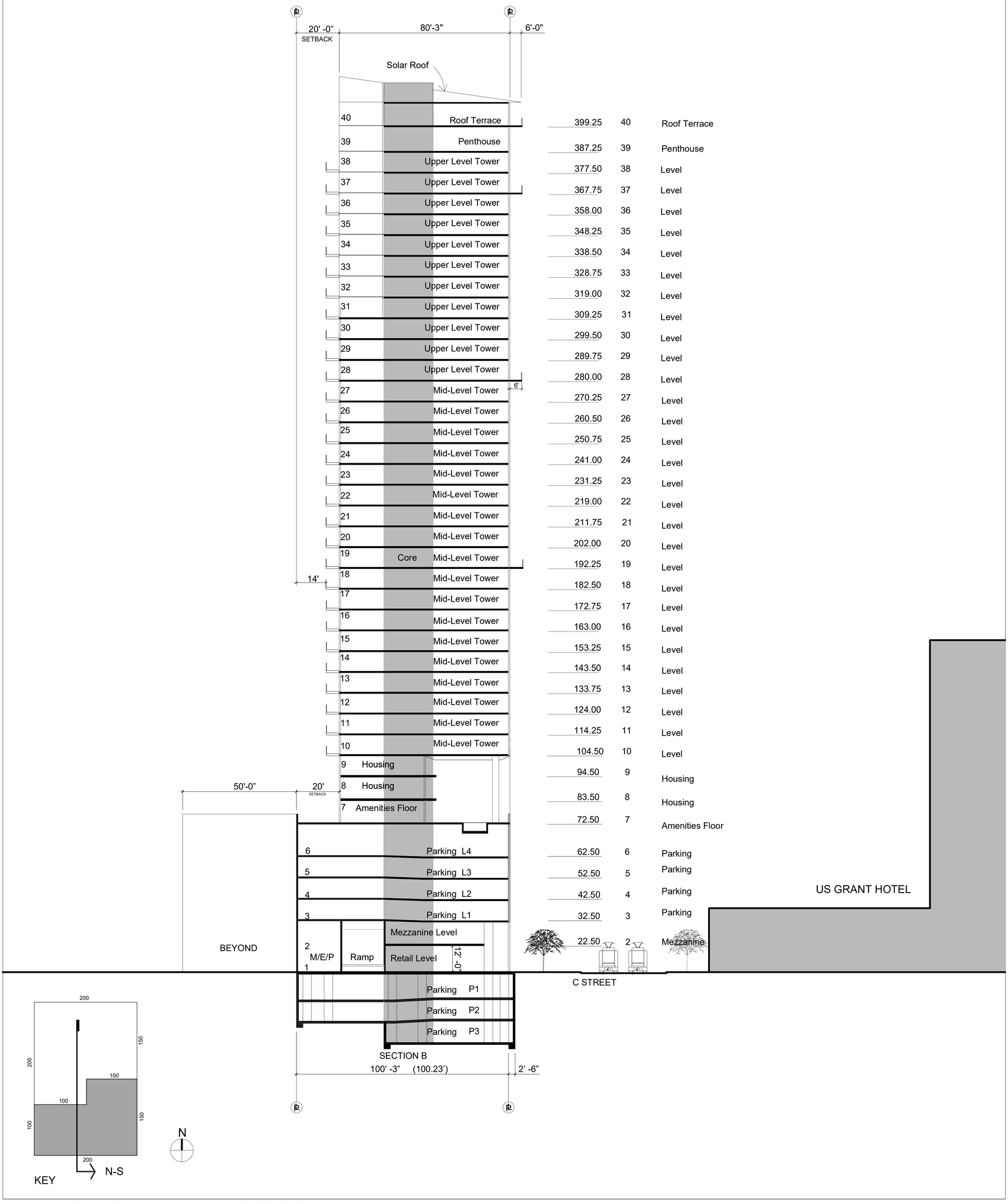

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SHEET: A4.2 OF

SHEET No.: 3110

JOB No.:

DRAWN BY:

SCALE: 1/32"=1'-0"

DATE: DECEMBER 7, 2016

SHEET TITLE: BUILDING SECTION N-S

SEAL:

1122 FOURTH AVENUE

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TOWER VIEW FROM SE, NIGHT

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

SEAL:

SHEET TITLE:
RENDERING SHEET– TOWER VIEW FROM SE, NIGHT

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : A5.1
SHEET OF

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

TOWER VIEW FROM SE, DAY

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: RENDERING SHEET– TOWER VIEW FROM SE, DAY

DATE: DECEMBER 7, 2016

SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : A5.2

SHEET OF

STREET LEVEL VIEW FROM SE, DAY

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REVISIONS:

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET – STREET LEVEL VIEW FROM SE, DAY

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : A5.3
SHEET OF

STREET LEVEL VIEW FROM SE, NIGHT

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REVISIONS:

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET – STREET LEVEL VIEW FROM SE, NIGHT

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : A5.4
SHEET OF

STREET LEVEL VIEW FROM SW, DAY

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REVISIONS:

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET – STREET LEVEL VIEW FROM SW, DAY

DATE: DECEMBER 7, 2016

SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : A5.5

SHEET OF

TOWER VIEW FROM NW, DAY

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REVISIONS:

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET– TOWER VIEW FROM NW, DAY

DATE: DECEMBER 7, 2016

SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : A5.6

SHEET OF

TOWER VIEW FROM NE, DAY

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REVISIONS:

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET– TOWER VIEW FROM NE, DAY

DATE: DECEMBER 7, 2016

SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : A5.7

SHEET OF

4TH AVENUE - STREET VIEW

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REVISIONS:

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET – 4TH AVENUE - STREET VIEW

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : A5.8
SHEET OF

TOWER ROOF TOP VIEW

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REVISIONS:

1122 FOURTH AVENUE

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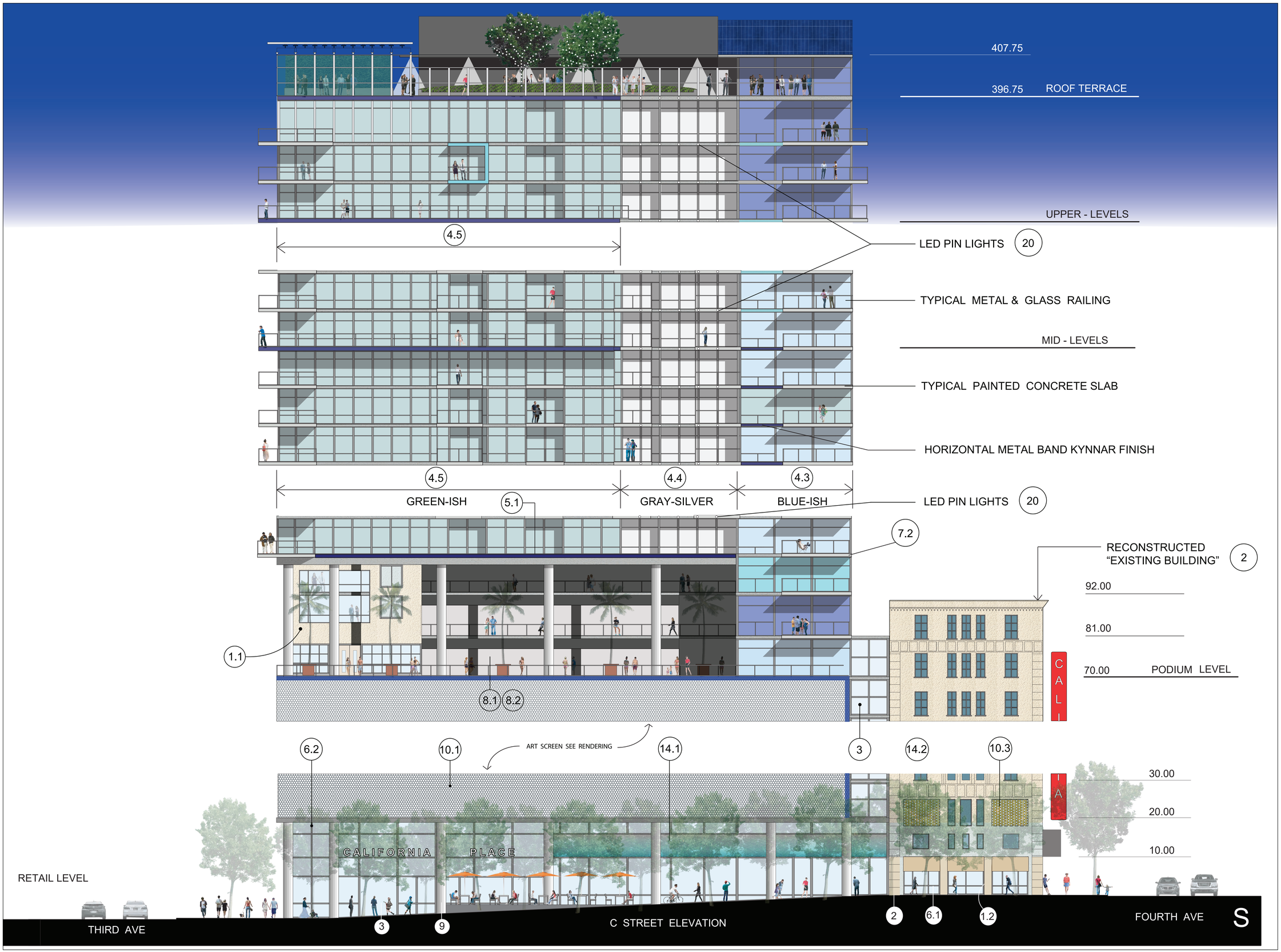
CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
RENDERING SHEET –
TOWER ROOF TOP VIEW

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : A5.9
SHEET OF



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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: SEGMENTED ELEVATION

DATE: DECEMBER 7, 2016

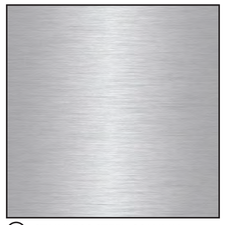
SCALE: $\frac{1}{16}$"=1'-0"

DRAWN BY:

JOB No. :

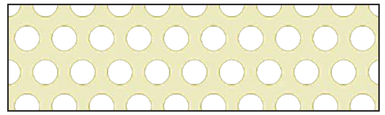
SHEET No. : A6.1

SHEET OF

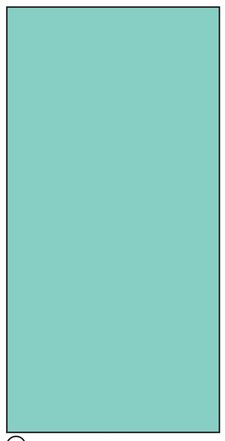


9 STAINLESS STEEL COLUMN COVERS
S. STEEL T- 316 # POLISHED FINISH

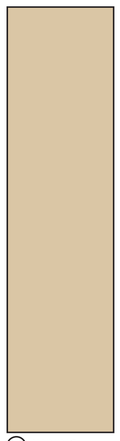
10.2 METAL PANEL - PARKING "NORTH BUILDING"
MOZ- BAMBOO ENGLISH WALNUT



10.3 PERFORATED METAL SCREEN - PARKING "OLD BLDG"
MOZ- BAMBOO GOLD RUSH

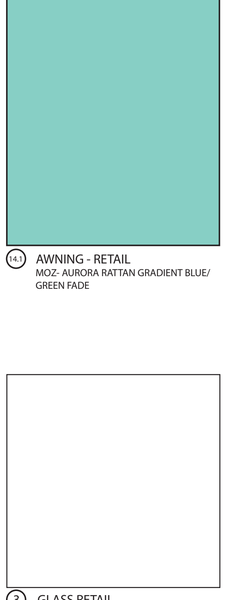


14.1 AWNING - RETAIL
MOZ- AURORA RATTAN GRADIENT BLUE/ GREEN FADE

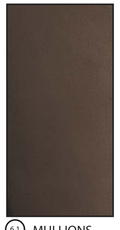


14.2 AWNING - RETAIL
MOZ- EARTH LINEN GRADIENT BROWN FADE

2 EIFS - OLD BUILDING



3 GLASS RETAIL
CLEAR # 16
GUARDIAN 15/20 ON CLEAR



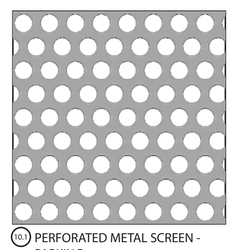
6.1 MULLIONS - MEDIUM BRONZE NO.28

1.2 GRANITE TRIM - RETAIL
WHITE SPRING
(2"X 12")

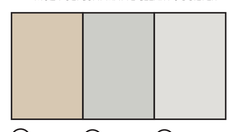
1.1 PORCELAIN CERAMIC - RETAIL
EMSER PRIME PAPIRO
(12"X 24")

1122 FOURTH AVENUE

OWNER: Sloan Capital
DEVELOPER: 1122 4th Ave. LLC
ARCHITECT: Martinez + Cutri Corporation



10.1 PERFORATED METAL SCREEN - PARKING
MOZ-POLYCOAT MATTE CLEAR FOG SILVER



7.1 PAINT 1
SAND DLLR
SW 6099
BIEGE

7.2 PAINT 2
PASSIVE SW
7064
GRAY

7.3 PAINT 3
SNOWFALL
SW 6000
WHITE

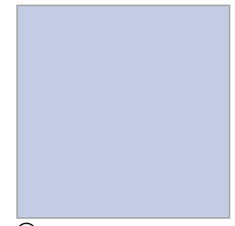
5.1 SLAB EDGE COVERS -
KYNNAR COATED
METAL FINSH SAPPHIRE
ICE 7 & 9 G 016

5.2 SLAB EDGE COVERS -
KYNNAR COATED
METAL FINSH MILITARY
BLUE UC 109851

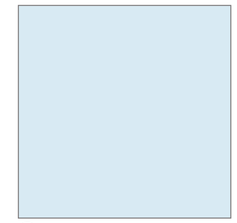
5.3 SLAB EDGE COVERS -
KYNNAR COATED
METAL FINSH MEDITER.
MIST 7 & 9 G 021

5.4 SLAB EDGE COVERS
KYNNAR COATED
METAL FINSH STERLING
GRAY 7 & 9 G 018

5.5 SLAB EDGE COVERS -
KYNNAR COATED
METAL FINSH TROPICAL
JADE 7 & 9 G 022



4.1 TOWER GLAZING
DARK BLUE # 25
GUARDIAN NEUTRAL 50 ON CLEAR



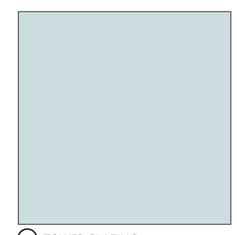
4.2 TOWER GLAZING
BLUE # 28
GUARDIAN AG43 ON CLEAR

4.3 TOWER GLAZING
LIGHT BLUE # 6
GUARDIAN SNR 43 ON CLEAR

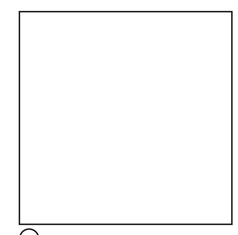
6.2 MULLIONS - KYNNAR FINISH
CLEAR #14 & #17

17.1 GUARDRAILING - FRAME
LIGHT SATIN #106

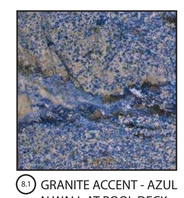
4.4 TOWER GLAZING
GRAY # 7
GUARDIAN NEUTRAL 78/65 ON CLEAR



4.5 TOWER GLAZING
GREEN # 2
GUARDIAN SNX 51/23 ON CLEAR

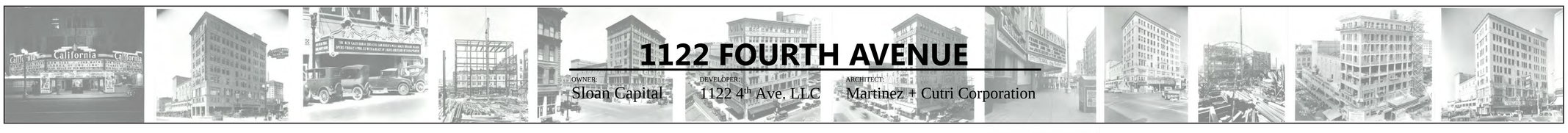


17.2 GUARD RAIL GLASS
CLEAR # 16



8.1 GRANITE ACCENT - AZUL N.WALL AT POOL DECK
AZUL BAHIA

8.2 PORCELAIN CERAMIC - N.WALL AT POOL DECK
ERAMOSA CARBON POL



MARTINEZ + CUTRI
CORPORATION
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REVISIONS:

1122 FOURTH AVENUE
SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
MATERIAL COLORBOARD

DATE: DECEMBER 7, 2016
SCALE:
DRAWN BY:
JOB No. : 3110
SHEET No. : A6.2
SHEET OF

1

REAFFIRM AESTHETIC CHARACTER

ARCHITECTURAL HIERARCHIES

2

RECREATE/ RESTORE HISTORIC BLADE SIGN INCLUDING LIGHTING

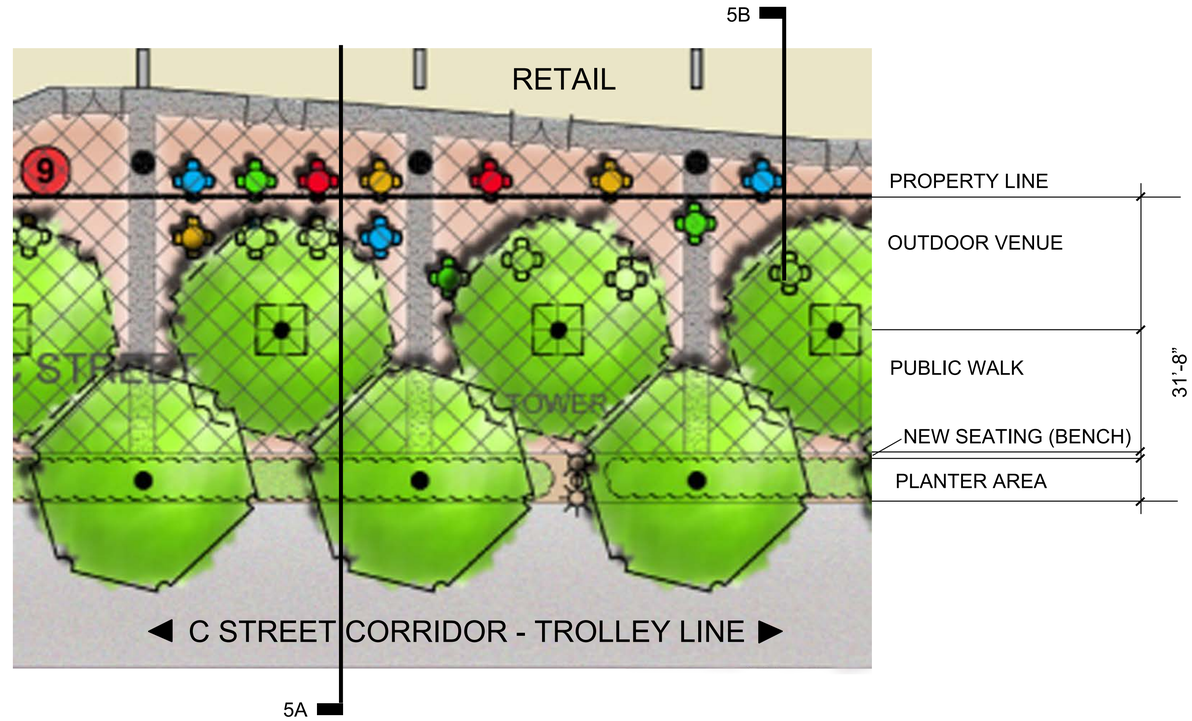
BLADE SIGN

3

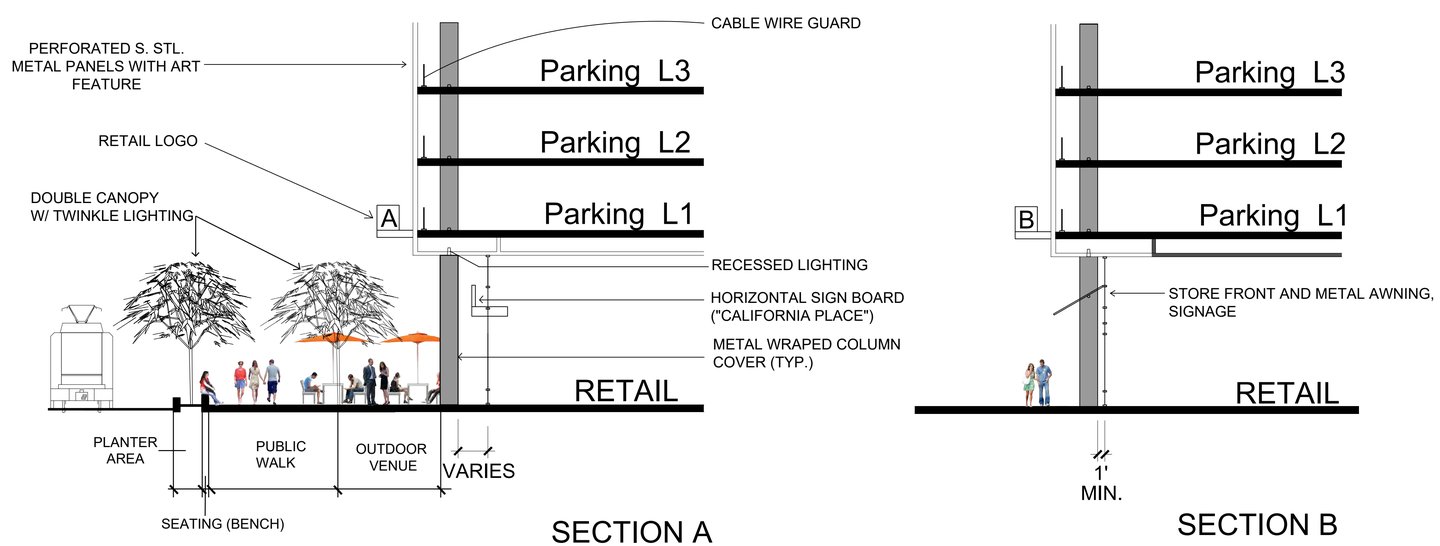
RECREATE DESIGN FOR MAIN ENTRY OF RESIDENTIAL DEVELOPMENT

1927 MARQUEE

CASE STUDY



4



5

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: DETAIL - PUBLIC REALM

DATE: DECEMBER 7, 2016

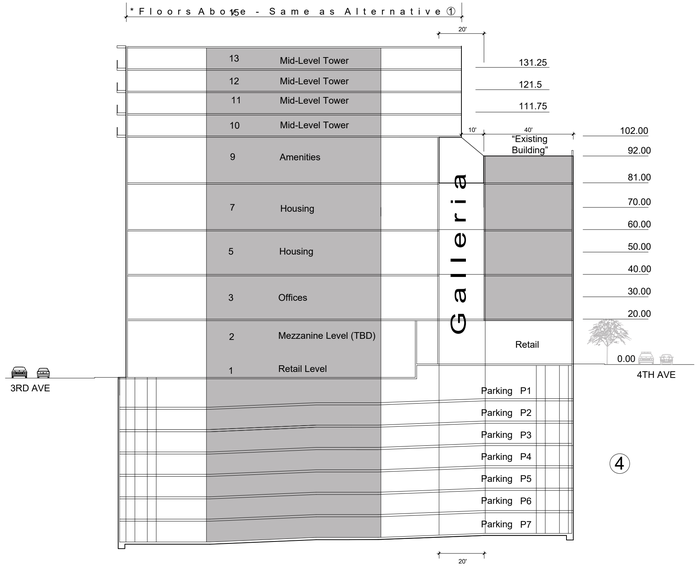
SCALE:

DRAWN BY:

JOB No. : 3110

SHEET No. : A7.1

SHEET OF

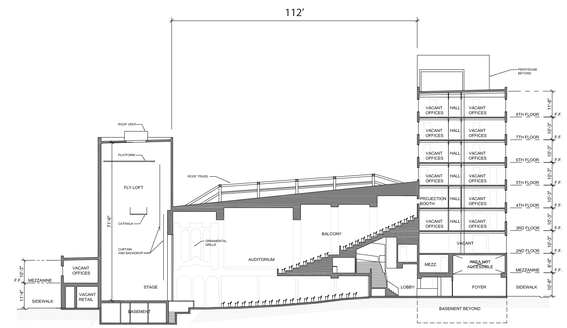


④

WEST-EAST SECTION

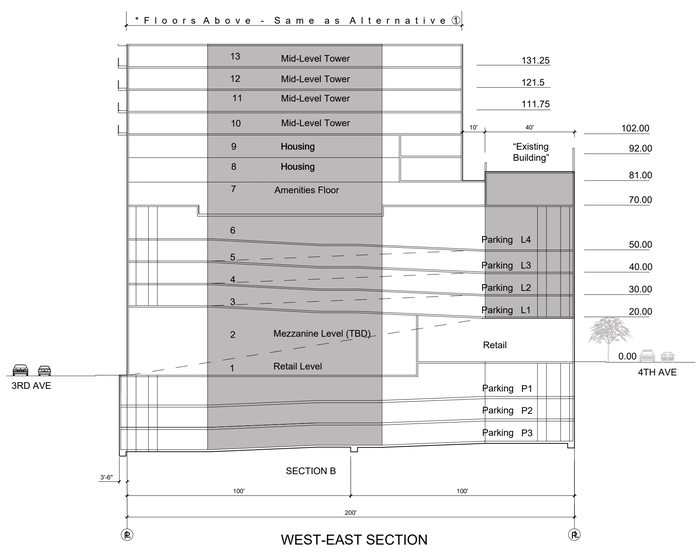
Alternative ④

Clear theater portion of the site (with the exception of the old ground °oor façade on C St) and retain and rehabilitate existing 9-story tower portion of the old California Theater o˘c e tower and add a mixed-use tower with ground °oor r etail, residential dwelling units, and adequate u/g parking for both uses (from the base project). Additionally, rehabilitate the southern theater façade on C St, recreating the appearance of historic façade's ÿrst °oor f or new retail purposes. The main residential entrance lobby still occurs o˘ 4th A ve., and further a 20 ft. wide galleria, 92 ft. high, would occur o˘ C S treet. Amenities for the new residential units above are similar to the Base Project.



Alternative ⑤

Complete rehabilitation of theater and tower portions of the existing structure for adaptive reuse as-is with existing parking. No additional square footage or changes to existing building massing. This alternative contemplates utilizing the theater space as a functioning theater. The o˘c e tower portion will be modiÿed for the highest and best use based on our market analysis.



WEST-EAST SECTION

Alternative ③

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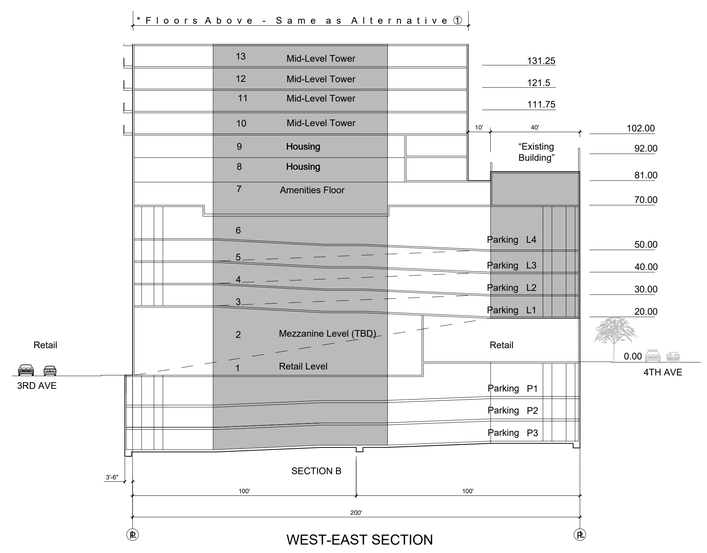

WEST-EAST SECTION

Alternative ②

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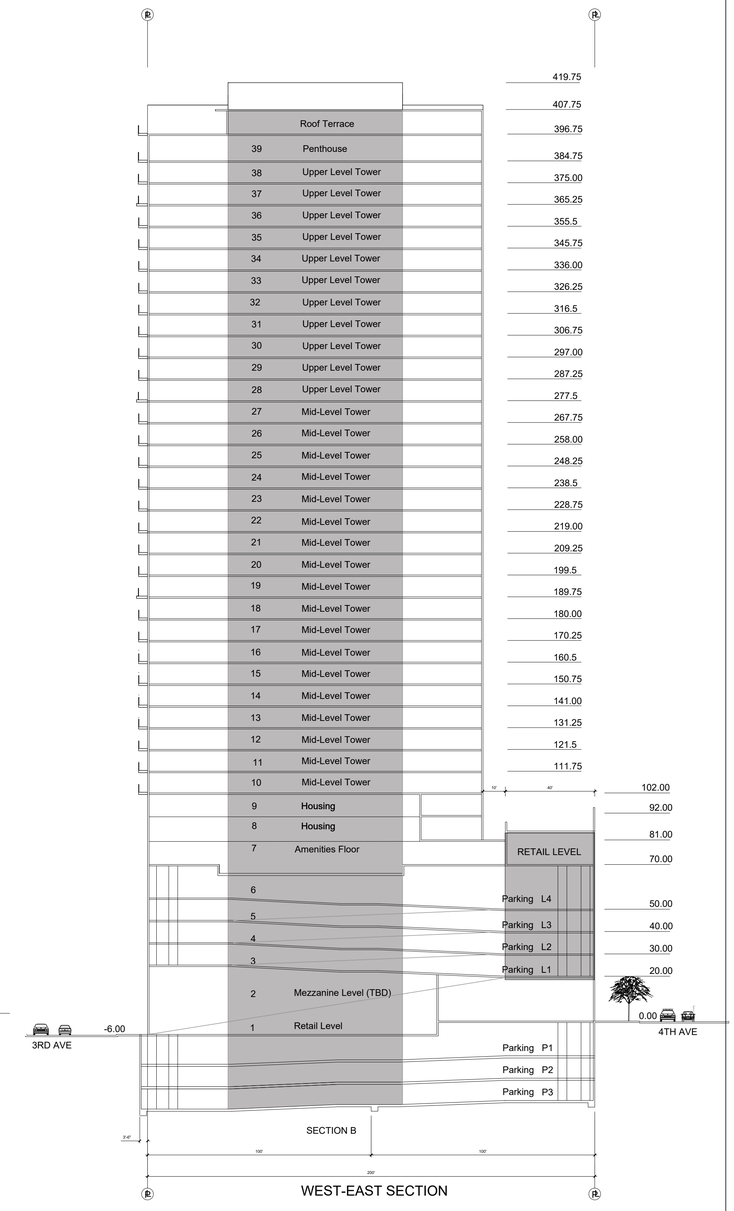

WEST-EAST SECTION

Alternative ①

Clear entire site and construct a new mixed-use tower as proposed in the Base Project with a reconstruction of the 4th Avenue and C Street facades from the existing 9-story o˘c e tower on that portion of the newly constructed building.

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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE:
SEIR ALTS DEVELOPMENT ALTERNATIVES - SECTIONS

DATE: DECEMBER 7, 2016

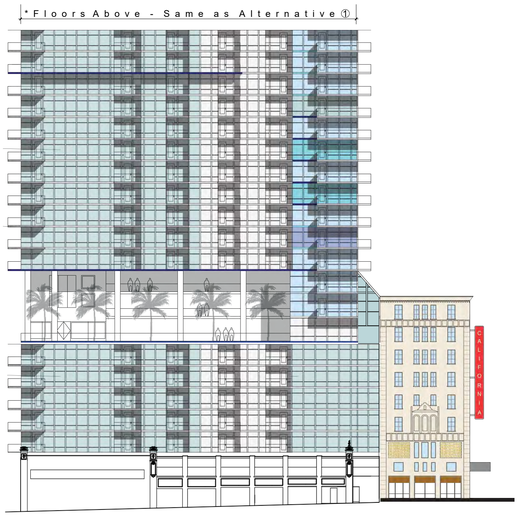
SCALE: $\frac{1}{32}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : A9.1

SHEET OF



SOUTH ELEVATION

Alternative ④

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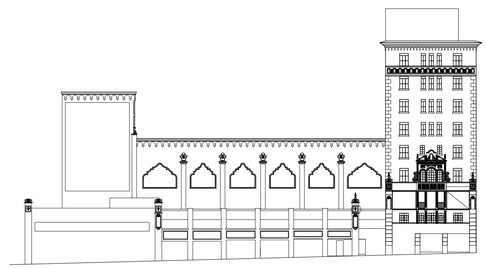
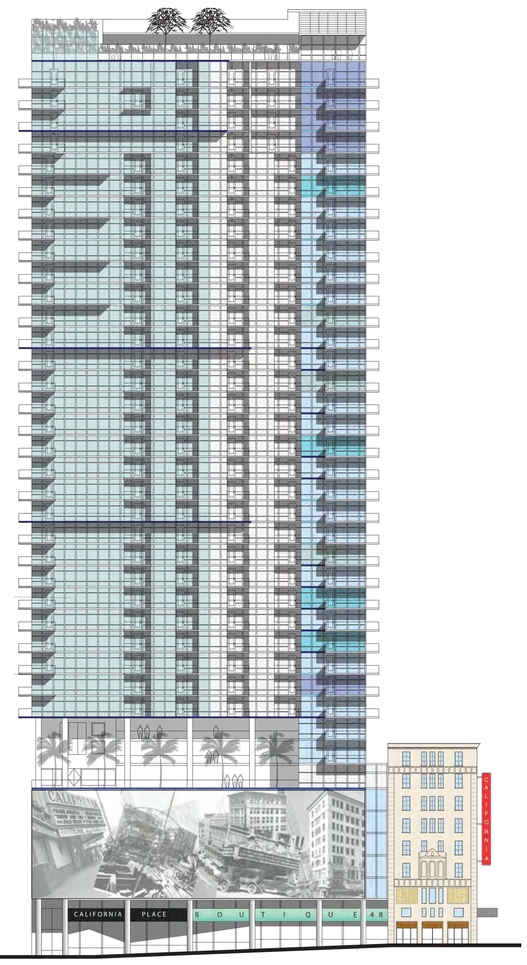


SOUTH ELEVATION

Alternative ⑤

Complete rehabilitation of theater and tower portions of the existing structure for adaptive reuse as-is with existing parking. No additional square footage or changes to existing building massing. This alternative contemplates utilizing the theater space as a functioning theater. The o˜c e tower portion will be modiÿed for the highest and best use based on our market analysis.



SOUTH ELEVATION

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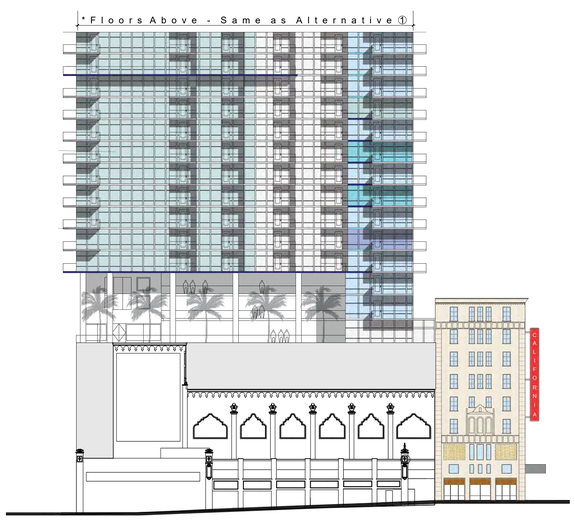

SOUTH ELEVATION

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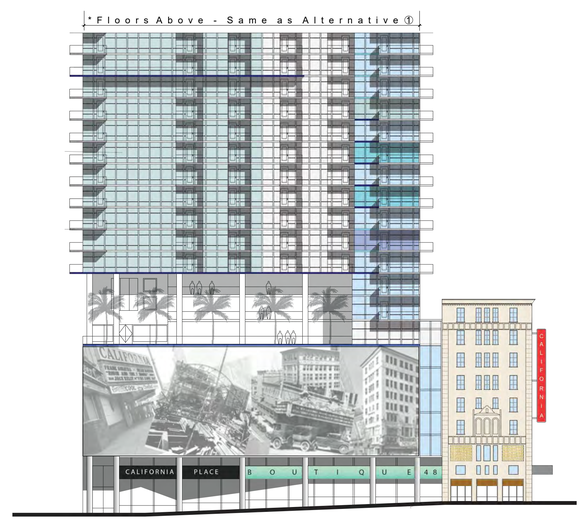

SOUTH ELEVATION

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REVISIONS:

1 6-20-2016

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: SEIR ALTS DEVELOPMENT ALTERNATIVES - ELEVATIONS

DATE: DECEMBER 7, 2016

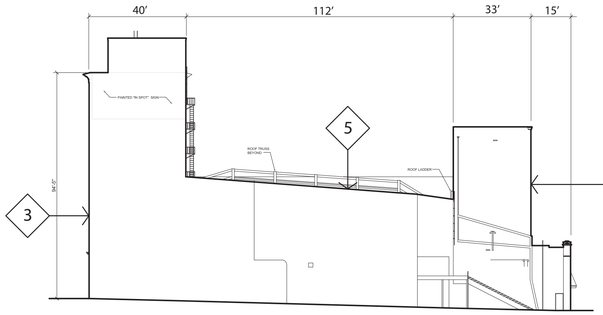
SCALE: $\frac{1}{32}$"=1'-0"

DRAWN BY:

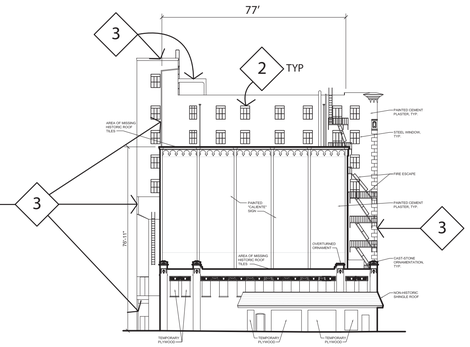
JOB No. : 3110

SHEET No. : A9.2

SHEET OF



NORTH ELEVATION 7



WEST ELEVATION 6

KEY NOTES

1 REMOVE ELEMENT(S) AS INDICATED AND STORE OFF-SITE FOR POTENTIAL RE-USE

2 REMOVE WINDOW FRAMES AND GLASS PANES, AND STORE OFF-SITE FOR POTENTIAL RE-USE

3 DEMOLISH ENTIRE FACADE INFILL STRUCTURE , REMOVE ANY APPERTUNANCES (STAIRS,BOILERS,ETC.)

4 DEMOLISH ENTIRE SUPER-STRUCTURE, BEAMS, COLUMNS AND SLABS

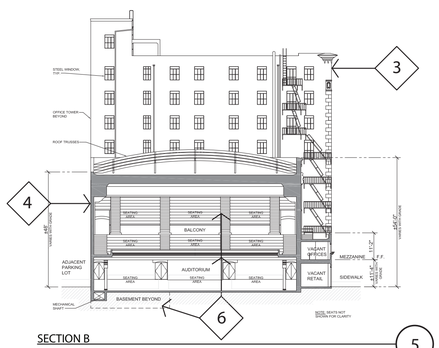
5 DEMOLISH ENTIRE ROOF STRUCTURE

6 DEMOLISH ALL FLOOR SLABS MEZZANNINE(S), BALCONIES, AND BASEMENT LEVEL

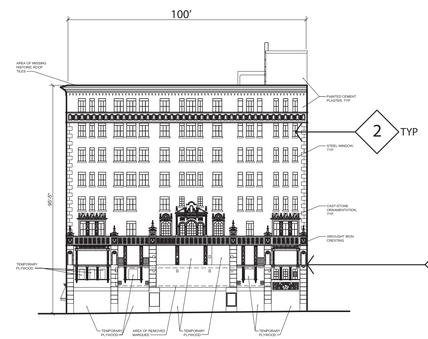
7 DEMOLISH INTERIOR PARTITIONS, WALLS, PLUMBING FIXTURES AND SYSTEMS, ELECTRICAL FIXTURES AND SYSTEMS AS WELL AS HVAC FIXTURES AND SYSTEMS

GENERAL NOTES

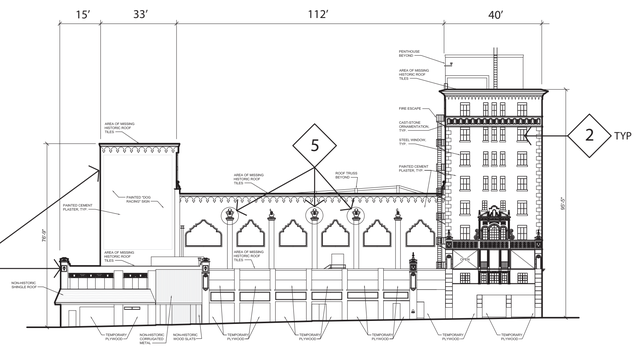
A RE-USE AND/OR RE-CYCLE MATERIALS FROM EXCAVATIONS WHERE APPLICABLE AND FINANCIALLY FEASIBLE



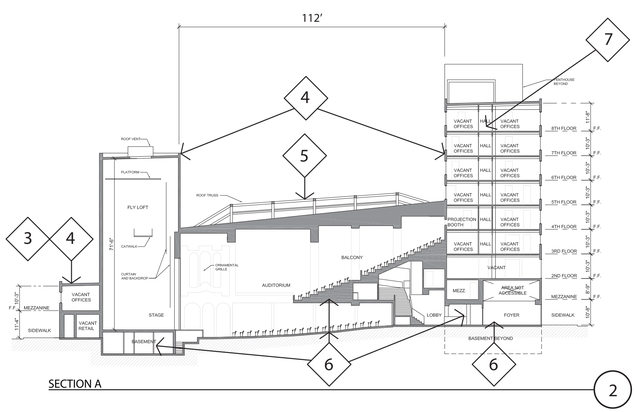
SECTION B 5



EAST ELEVATION 4



SOUTH ELEVATION 3



SECTION A 2

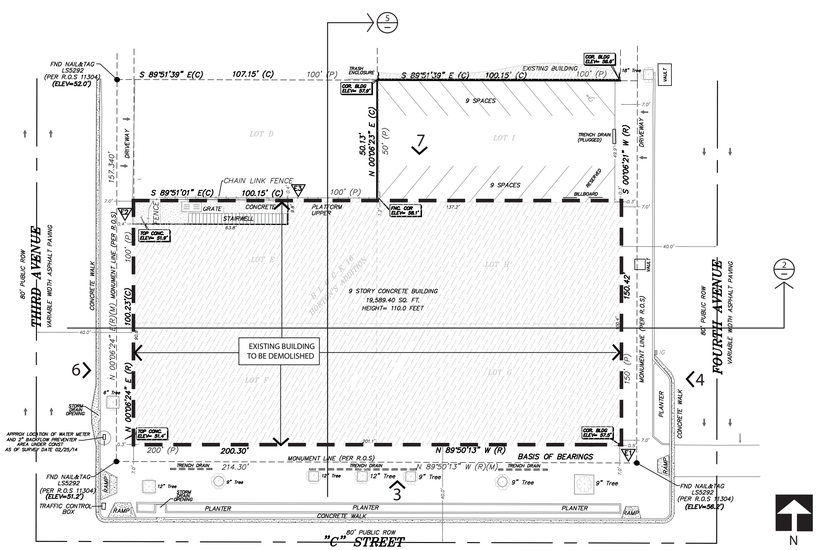
NOTE:

The subject property is a designated historical resource of the City of San Diego. Whithin the Civic San Diego project area, a mitigation monitoring and reporting plan has been adopted for dealing with properties that contain historical resources. With reference to locally designated properties, that MMRP reads as follows: resources listed in the San Diego register of historical resources shall, whenever possible, be retained on-site.
Partial retention, relocation, or demolition of such a resource shall be permitted in accordance with chapter 14, article 3, division 2, historical resource regulations of the land development code, (Mitigation Measure HIST-A-1-1).

§126.0504 (i) provides for a deviation from the Historical Resource Regulations for substantial alteration or demolition of a designated historical resource. The deviation can be permitted if the Planning Commission can make the following findings:

(1) There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource;
(2) The deviation is the minimum necessary to afford relief and accomodate the development and all feasible measures to mitigate for the loss of any portion of the resource have been provided by the applicant; and
(3) The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, "economic hardship" means there is no reasonable beneficial use of a property and it is not feasible to derive a reasonable economic return from property.

The intention of 1122 4th Ave. LLC is to provide documentation to support the above findings to allow the complete demolition of the resource on this site.



DEMOLITION PLAN 1

MARTINEZ + CUTRI
CORPORATION
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402 W Broadway Suite 2600
San Diego, CA 92101
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REVISIONS:

1122 FOURTH AVENUE

SLOAN CAPITAL 301 N. CANON DRIVE, SUITE 205
BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

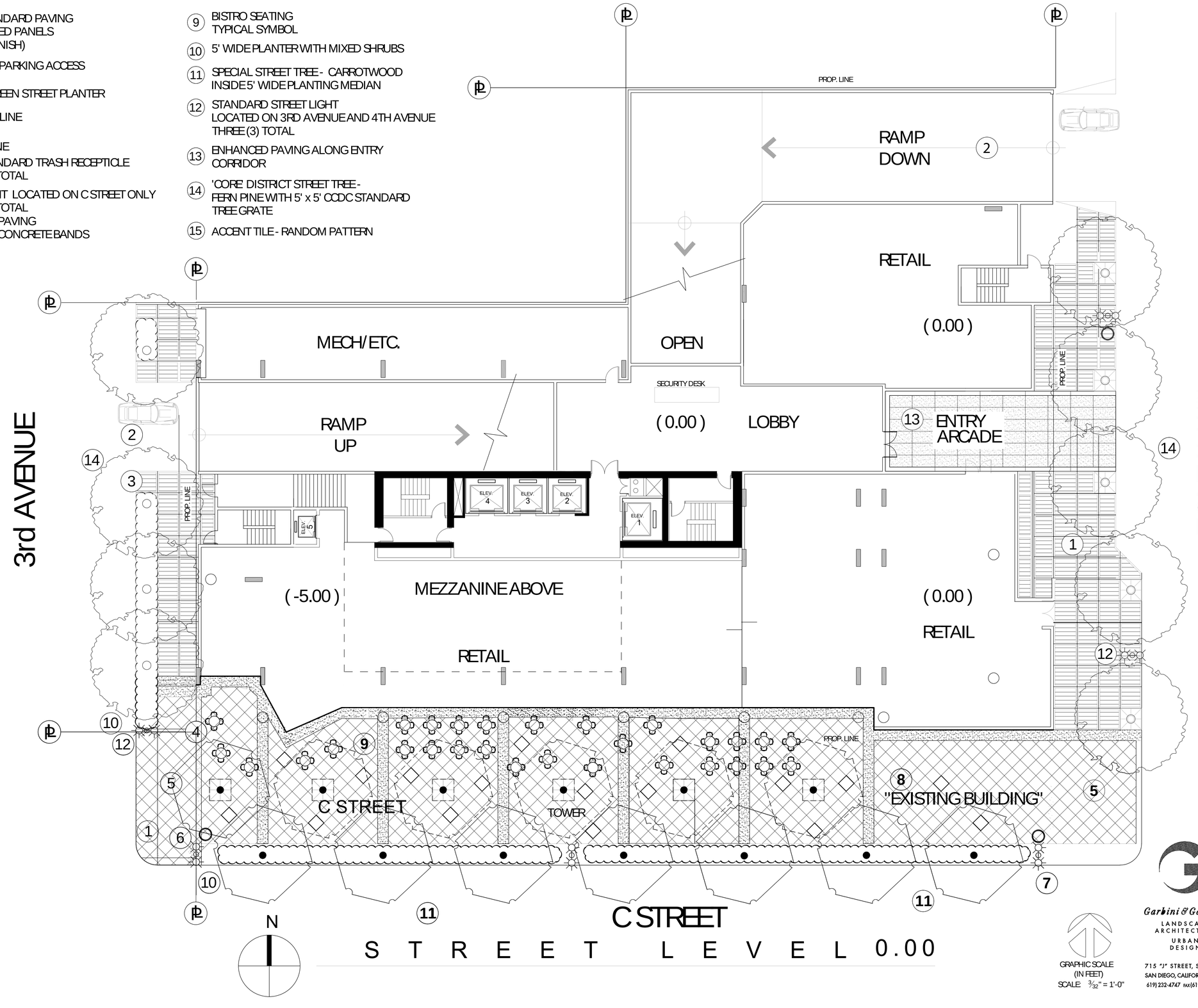
SEAL:

SHEET TITLE:
DESIGNATED BUILDING TO BE DEMOLISHED

DATE: DECEMBER 7, 2016
SCALE: 1"=30'
DRAWN BY:
JOB No. : 3110
SHEET No. : A10.1
SHEET OF

KEYNOTES

1. CCDC STANDARD PAVING 5'X5' SCORED PANELS (BROOM FINISH)
2. AT GRADE PARKING ACCESS
3. 5' WIDE GREEN STREET PLANTER
4. PROPERTY LINE
5. CLEAR ZONE
6. CCDC STANDARD TRASH RECEPTICLE THREE (3) TOTAL
7. MTDP LIGHT LOCATED ON C STREET ONLY THREE (3) TOTAL
8. 'C' STREET PAVING TILE WITH CONCRETE BANDS
9. BISTRO SEATING TYPICAL SYMBOL
10. 5' WIDE PLANTER WITH MIXED SHRUBS
11. SPECIAL STREET TREE - CARROTWOOD INSIDE 5' WIDE PLANTING MEDIAN
12. STANDARD STREET LIGHT LOCATED ON 3RD AVENUE AND 4TH AVENUE THREE (3) TOTAL
13. ENHANCED PAVING ALONG ENTRY CORRIDOR
14. 'CORE' DISTRICT STREET TREE - FERN PINE WITH 5' x 5' CCDC STANDARD TREE GRATE
15. ACCENT TILE - RANDOM PATTERN



GRAPHIC SCALE (IN FEET)
SCALE: 3/32" = 1'-0"

Garbini & Garbini
LANDSCAPE ARCHITECTURE
URBAN DESIGN
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REVISIONS:

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BEVERLY HILLS, CA. 90210

CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LANDSCAPE PLAN LEVEL 1

DATE: DECEMBER 7, 2016
SCALE: 3/32"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : L1.1
SHEET OF

KEYNOTES

1. GREEN ROOF PLANTER BED
2. PET AREA WITH SYNTHETIC LAWN
3. ACCENT FOUNTAIN
4. WOODEN BENCH
5. ARMCHAIR AND TABLE
6. POTTED PLANT
7. DAY BED
8. SQUARE POT WITH PALM
9. BENCH WITH CUSHIONS
10. RAISED FIRE PIT
11. RAISED PLANTER
12. TRASH AND RECYCLING RECEPTACLE
13. TABLE AND CHAIRS
14. BUILT IN BENCH
15. COFFEE TABLE
16. BBQ AND BAR STOOLS
17. DINING TABLE
18. ACCENT PALM
19. EDGE LOOKOUT

X 14'-0" HEIGHT TO PARAPET

Y 4'-0" HEIGHT OF PLANTER

Z POTENTIAL HEIGHT TO EXCEED 15'-0"

COMMMON OUTDOOR OPEN SPACE CALCULATIONS

AREA CALCULATIONS:

REQUIRED: 20% OF 25,103 = **3,765 SF**

PROVIDED: 4,630+1,478 = **6,108 SF**

NET PLANTED AREA:

REQUIRED = 10 % OF OUTDOOR SPACE = 611 SF

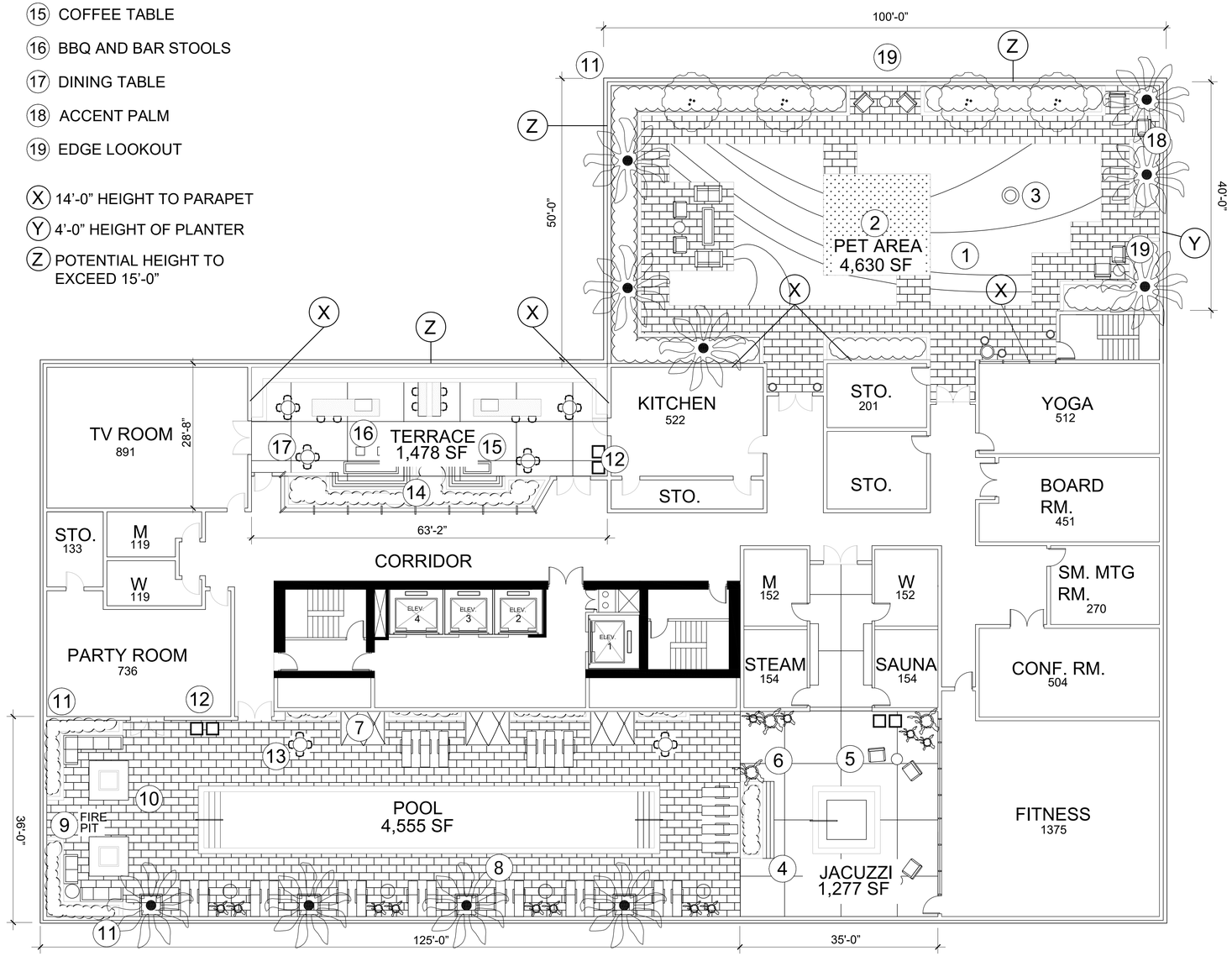
PROVIDED = 3,184 SF

TOTAL PROJECT : 29.9%

SEE MATRIX ON SHEET L2.1

USE AREAS :

PET AREA:	**4,630 SF**
TERRACE:	**1,478 SF**
POOL:	**4,555 SF**
JACUZZI:	**1,277 SF**
TOTAL:	**11,940 SF**



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GRAPHIC SCALE (IN FEET)
SCALE: 3/32" = 1'-0"

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

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SHEET TITLE: PODIUM LEVEL LANDSCAPE PLAN

DATE: DECEMBER 7, 2016

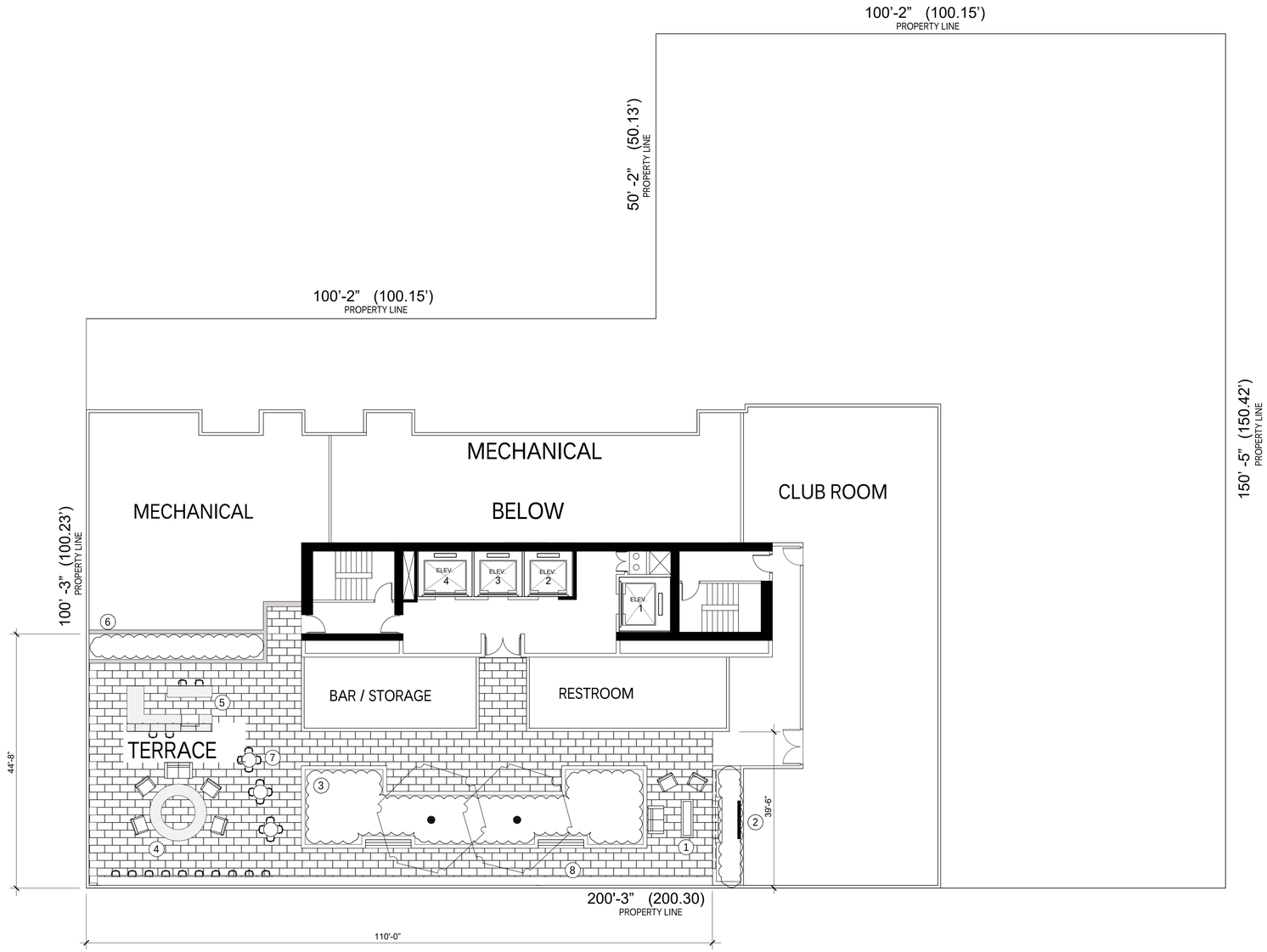
SCALE: 3/32"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : L1.2

SHEET OF



KEYNOTES

1. LOUNGE AREA
2. OUTDOOR TELEVISION
3. RAISED PLANTER
4. FIREPIT
5. BBQ WITH ISLAND
6. GREENSCREEN
7. TABLE AND CHAIRS
8. BUILT-IN BENCH

N

R O O F T E R R A C E 404.00

GRAPHIC SCALE
(IN FEET)
SCALE: 3/32" = 1'-0"

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URBAN DESIGN
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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

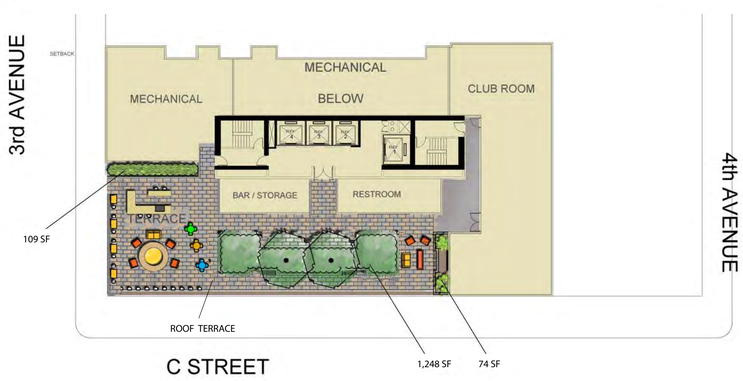
SEAL:

SHEET TITLE:
ROOF TERRACE
LANDSCAPE PLAN

DATE: DECEMBER 7, 2016
SCALE: 3/32"=1'-0"
DRAWN BY:
JOB No. : 3110
SHEET No. : L1.3
SHEET OF

FLOOR PLAN LAYOUT - 8TH LEVEL
1"=20'-0"

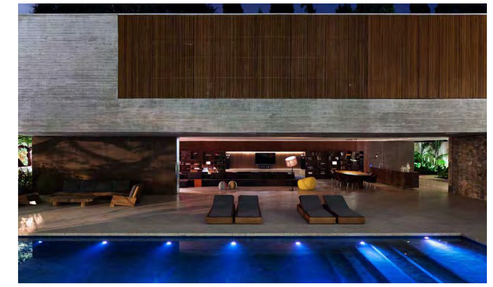
PODIUM LEVEL LANDSCAPE PLAN
1"=20'-0"
L1.2.1



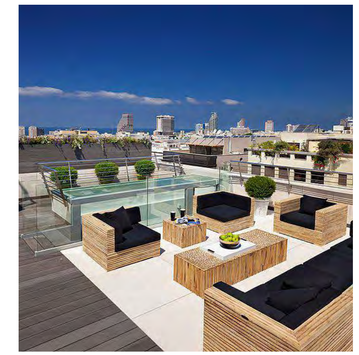
ROOF TERRACE LANDSCAPE PLAN
1"=20'-0"
L1.2

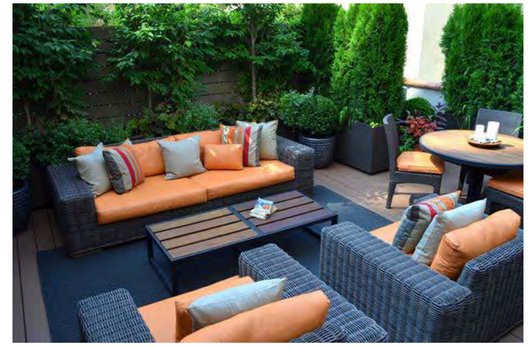
LANDSCAPE ROOF PLANS

POOL AREA


POOL AREA

POOL AREA


NW TERRACE / ROOF TERRACE


NORTH TERRACE / NW TERRACE

NORTH TERRACE

ROOF TERRACE

ROOF TERRACE

CASE STUDY IMAGES

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CIVIC SAN DIEGO SUBMITTAL - CALIFORNIA THEATER SITE - RESUBMITTAL 5

SEAL:

SHEET TITLE: LANDSCAPE ROOF PLANS AND IMAGES

DATE: DECEMBER 7, 2016

SCALE: $\frac{1}{20}$"=1'-0"

DRAWN BY:

JOB No. : 3110

SHEET No. : L2.1

SHEET OF

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SAN DIEGO, CALIFORNIA 92101
619) 232-4747 fax(619)232-4510

LANDSCAPE PLAN - COMPOSITE

1"=20'-0"

1463_Schematic.dwg

L1.2

PLANTED AREAS OF ALL ROOFS OVER 30 FEET IN HEIGHT

	GROSS AREA	DEDUCTIONS	NET AREA
	25,103	3,388	21,715
		Core and req'd Common Open Space	
	7th FLOOR - PODIUM LEVEL		**3,185**
1.0	PLANTING - COMMON OUTDOOR OPEN SPACE		
	Pool Area:		NIC
	NW Terrace:		
		PA - South	134
		PA - North	155
	North Terrace:		
		PA - west	546
		PA - north	160
		PA - east	25
		PA - east	65
		PA - east	131
		PA - south	96
		PA - middle	696
		PA - middle	353
		PA - middle	824
	WALKABLE		7,753
	8 TH LEVEL		**2,420.0**
2.0	PLANTING - COMMON OUTDOOR OPEN SPACE		
		8 Boxes - 7' x 100'	700
		1 Box north: 27.5' x 15'	412
		1 Box west: 27.5' x 15'	412
		3 Boxes - 10' x 89'-8"	896
	WALKABLE		668
	40 TH LEVEL - ROOFTOP		**1,431.0**
3.0	PLANTING - COMMON OUTDOOR OPEN SPACE		
		Living Wall - west	109
		Central Planter	1,248
		PA - east	74
	WALKABLE		1,928
	TOTAL PLANTING AREA		**7,036**
	TOTAL PROJECT PERCENTAGE (7,036 / 21,715)		**32.4%**

GRAPHIC SCALE (IN FEET)

0 10 20 40

1 INCH = 20 FT

Garbini & Garbini
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SEAL:

SHEET TITLE:
COMPOSITE ECO ROOF LANDSCAPE PLAN

DATE: DECEMBER 7, 2016

SCALE: 1/16"=1'-0"

DRAWN BY:

JOB No.: 3110

SHEET No.: L2.2

SHEET OF