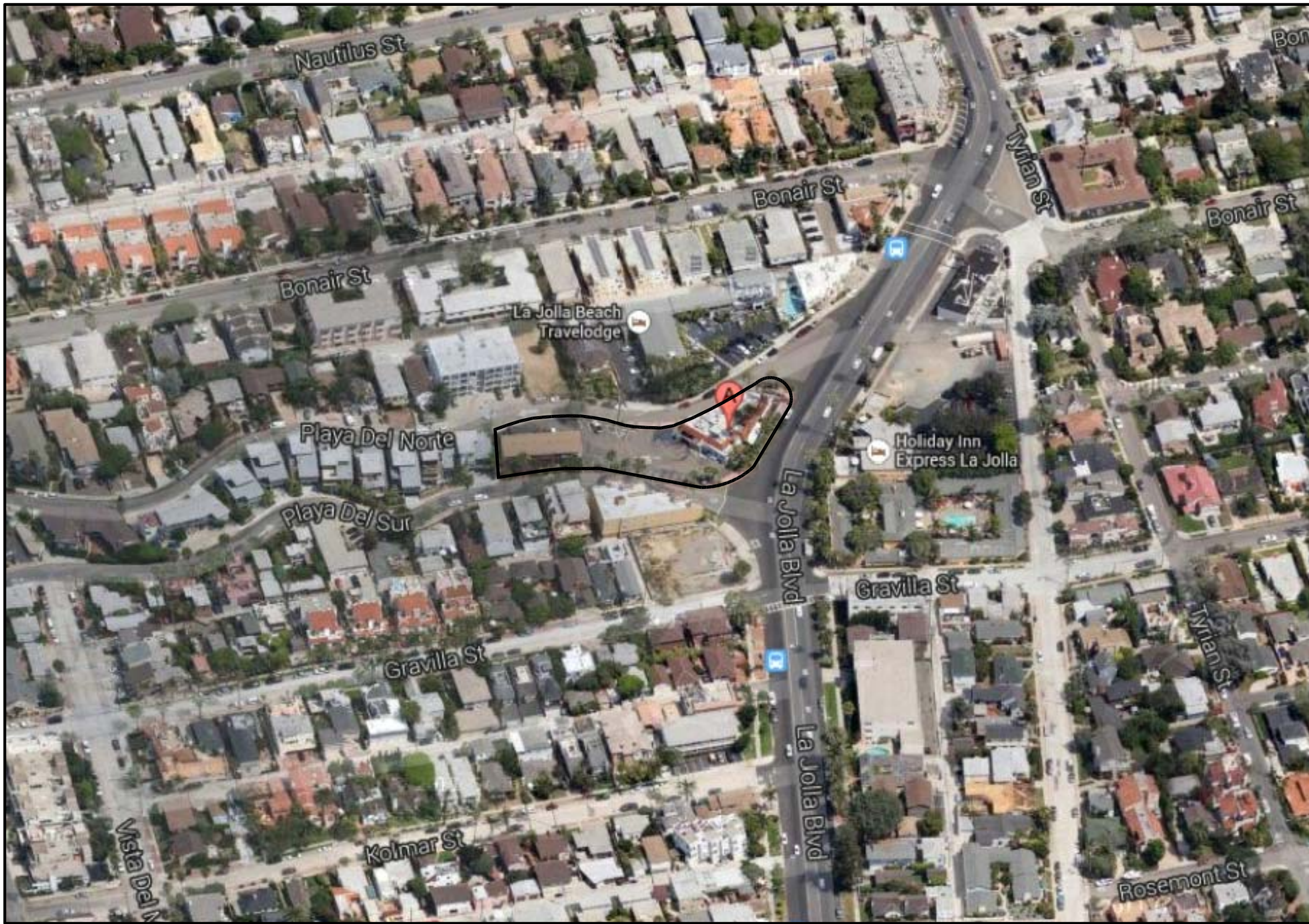


Su Casa

6738 LA JOLLA BLVD.
LA JOLLA, CA 92037



AREA DENSITY CALCULATION

ZONE: LJPDO-4	
TOTAL LOT AREA = 15,459.24 SF (355 AC)	
TOTAL EASEMENT AREA = 986.46 SF	
UNIT CALCULATION (29 DU/ACRE = 1 DU/1502 SF):	
(15,459.24-986.46) = 14,472.78 (.332 AC)	
14,472.78 / 1502 = 9.63 UNITS	
ZONE: RM-3-7	
TOTAL LOT AREA = 6,581.72 SF	
UNIT CALCULATION: 6,581.72 / 1,000 = 6.58	
TOTAL NUMBER OF UNITS CALCULATION: 16 (16.22)	

LOT AREA CALCULATION

AREA DEDICATED	AREA VACATED
NORTH 1,328 SF	EAST 1,619 SF
SOUTH 700 SF	WEST 441 SF
TOTAL 2,028 SF	TOTAL 2,060 SF

TOTAL NET CHANGE +32 SQFT

FAR CALCULATION

ZONE: LJPDO-4	
TOTAL LOT AREA	15,459.24 SF
ALLOWABLE BUILDING AREA	1,000
PROPOSED BUILDING AREA	15,459.24 SF
UNDERGROUND PARKING AREA	15,459.00 SF
ACTUAL FAR	9,413.50 SF
ZONE: RM-3-7	
TOTAL LOT AREA	6,581.72 SF
ALLOWABLE FAR	1.80
TOTAL BUILDING AREA	11,847.10 SF
REQUIRED PARKING AREA	3,949.03 SF
ALLOWABLE BUILDING AREA	7,898.07 SF
UNDERGROUND PARKING AREA	5,898.50 SF
PROPOSED BUILDING AREA	9,600.00 SF
ACTUAL FAR	1.45

PARKING CALCULATION

RESIDENTIAL:	
2.0 SPACES / (1) 2 BEDROOM UNIT	
(12) 2 BEDROOM UNITS x 2.0 SPACES = 24 SPACES	
1.5 SPACES / (1) 1 BEDROOM UNIT	
(4) 1 BEDROOM UNITS x 1.5 SPACES = 6 SPACES	
RETAIL:	
1.7 SPACES / 1,000 S.F.	
3,000 SF RETAIL x 1.7 SPACES = 5.1 SPACES	
TOTAL PARKING REQUIRED = 35 SPACES	
TOTAL PARKING PROVIDED = 37 SPACES	

STREET TREE CALCULATION

STREET TREES REQUIRED: 26	
EXISTING TREES: 31	
TREES TO BE REMOVED: 22	
TREES TO BE ADDED: 27	

BASIS FOR STRUCTURAL DESIGN		VICINITY MAP		SCOPE OF WORK		SHEET INDEX		PROJECT DATA																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
FOUNDATIONS / SOILS CRITERIA: <input checked="" type="checkbox"/> SOILS ENGINEER: CHRISTIAN WHEELER ENGINEERING REPORT NO.: CWE 2150460.01		 <div>6738 LA JOLLA BLVD. LA JOLLA, CA 92037</div> <div>● FIRE HYDRANTS WITHIN 600' RADIUS</div>		CONSTRUCTION OF THREE BUILDINGS FOR A TOTAL OF 27,769.4 SQ. FT. OVER BASEMENT. A THREE STORY BUILDING WITH (6) TWO BEDROOM RESIDENTIAL UNITS, A TWO STORY BUILDING WITH (6) TWO BEDROOM RESIDENTIAL UNITS AND A TWO STORY MIXED USE BUILDING WITH 3,263.12 SQ. FT. OF RETAIL AT GROUND LEVEL AND (4) ONE BEDROOM RESIDENTIAL UNITS AT SECOND LEVEL. THE SITE WILL HAVE A TOTAL OF 16 RESIDENTIAL UNITS AND 3,263.12 SF OF RETAIL SPACE WITH UNDERGROUND PARKING OF 38 SPACES. THE PROJECT PROPOSES TO VACATE AND DEDICATE PORTIONS OF THE RIGHT OF WAY TO MAINTAIN A CONTINUOUS 10'-0" CURB TO PROPERTY LINE THROUGHOUT THE SITE.		<table><tr><th>NAME</th><th>CONTENT</th></tr><tr><td>T-1.1</td><td>TITLE SHEET</td></tr><tr><td>T-1.2</td><td>GENERAL NOTES</td></tr><tr><td>T-1.3</td><td>GENERAL NOTES</td></tr><tr><td>TOPO</td><td>CIVIL SURVEY</td></tr><tr><td>TOPO</td><td>CIVIL SURVEY</td></tr><tr><td>C-0</td><td>STREET EXHIBIT</td></tr><tr><td>C-1</td><td>PROPOSED SITE DEMOLITION PLAN</td></tr><tr><td>C-2</td><td>PROPOSED GRADING PLAN</td></tr><tr><td>C-3</td><td>PROPOSED EROSION CONTROL PLAN</td></tr><tr><td>SP-1</td><td>SPECIFICATIONS</td></tr><tr><td>SP-2</td><td>SPECIFICATIONS</td></tr><tr><td>SP-3</td><td>SPECIFICATIONS</td></tr></table> <u>ARCHITECTURAL</u> <table><tr><td>A-1.0</td><td>PROPOSED SITE DEMO PLAN</td></tr><tr><td>A-1.1</td><td>PROPOSED SITE PLAN</td></tr><tr><td>A-1.2</td><td>PROPOSED PARKING</td></tr><tr><td>A-1.6</td><td>PROPOSED GROUND FLOOR AREA PLAN</td></tr><tr><td>A-2.1</td><td>PROPOSED BASEMENT/PARKING LEVEL PLAN</td></tr><tr><td>A-2.2</td><td>PROPOSED GROUND LEVEL PLAN</td></tr><tr><td>A-2.3</td><td>PROPOSED SECOND LEVEL PLAN</td></tr><tr><td>A-2.4</td><td>PROPOSED THIRD LEVEL PLAN</td></tr><tr><td>A-2.5</td><td>PROPOSED BASEMENT/PARKING LEVEL ACCESSIBILITY PLAN</td></tr><tr><td>A-2.6</td><td>PROPOSED GROUND LEVEL ACCESSIBILITY PLAN</td></tr><tr><td>A-2.7</td><td>PROPOSED SECOND LEVEL ACCESSIBILITY PLAN</td></tr><tr><td>A-2.8</td><td>PROPOSED THIRD LEVEL ACCESSIBILITY PLAN</td></tr><tr><td>A-4.1</td><td>PROPOSED ROOF PLAN</td></tr><tr><td>A-5.1</td><td>PROPOSED ELEVATIONS</td></tr><tr><td>A-5.2</td><td>PROPOSED ELEVATIONS</td></tr><tr><td>A-5.3</td><td>PROPOSED ELEVATIONS</td></tr><tr><td>A-5.4</td><td>PROPOSED ELEVATIONS</td></tr><tr><td>A-5.5</td><td>PROPOSED ELEVATIONS - FENESTRATION DIAGRAM</td></tr><tr><td>A-6.1</td><td>PROPOSED SECTIONS</td></tr><tr><td>A-6.2</td><td>PROPOSED SECTIONS</td></tr><tr><td>A-6.3</td><td>PROPOSED SECTIONS</td></tr><tr><td>A-6.4</td><td>PROPOSED SECTIONS</td></tr><tr><td>A-6.5</td><td>PROPOSED SECTIONS</td></tr><tr><td>L-1.1</td><td>PROPOSED LANDSCAPE PLAN</td></tr><tr><td>L-1.2</td><td>PROPOSED IRRIGATION DETAILS</td></tr></table>		NAME	CONTENT	T-1.1	TITLE SHEET	T-1.2	GENERAL NOTES	T-1.3	GENERAL NOTES	TOPO	CIVIL SURVEY	TOPO	CIVIL SURVEY	C-0	STREET EXHIBIT	C-1	PROPOSED SITE DEMOLITION PLAN	C-2	PROPOSED GRADING PLAN	C-3	PROPOSED EROSION CONTROL PLAN	SP-1	SPECIFICATIONS	SP-2	SPECIFICATIONS	SP-3	SPECIFICATIONS	A-1.0	PROPOSED SITE DEMO PLAN	A-1.1	PROPOSED SITE PLAN	A-1.2	PROPOSED PARKING	A-1.6	PROPOSED GROUND FLOOR AREA PLAN	A-2.1	PROPOSED BASEMENT/PARKING LEVEL PLAN	A-2.2	PROPOSED GROUND LEVEL PLAN	A-2.3	PROPOSED SECOND LEVEL PLAN	A-2.4	PROPOSED THIRD LEVEL PLAN	A-2.5	PROPOSED BASEMENT/PARKING LEVEL ACCESSIBILITY PLAN	A-2.6	PROPOSED GROUND LEVEL ACCESSIBILITY PLAN	A-2.7	PROPOSED SECOND LEVEL ACCESSIBILITY PLAN	A-2.8	PROPOSED THIRD LEVEL ACCESSIBILITY PLAN	A-4.1	PROPOSED ROOF PLAN	A-5.1	PROPOSED ELEVATIONS	A-5.2	PROPOSED ELEVATIONS	A-5.3	PROPOSED ELEVATIONS	A-5.4	PROPOSED ELEVATIONS	A-5.5	PROPOSED ELEVATIONS - FENESTRATION DIAGRAM	A-6.1	PROPOSED SECTIONS	A-6.2	PROPOSED SECTIONS	A-6.3	PROPOSED SECTIONS	A-6.4	PROPOSED SECTIONS	A-6.5	PROPOSED SECTIONS	L-1.1	PROPOSED LANDSCAPE PLAN	L-1.2	PROPOSED IRRIGATION DETAILS	<table><tr><th colspan="2">PROJECT INFORMATION</th><th>PROJECT ADDRESS:</th><th>6738 LA JOLLA BLVD</th><th>350 PLAYA DEL SUR</th><th>Su Casa</th></tr><tr><td colspan="2">ASSESSORS PARCEL NUMBER:</td><td>LA JOLLA, CA 92037</td><td>LA JOLLA, CA 92037</td><td>LA JOLLA, CA 92037</td><td></td></tr><tr><td colspan="2">LEGAL DESCRIPTION:</td><td>Map Ref: PM01127 PAR A</td><td>Map Ref: PM01127 PAR B</td><td>Map Ref: PM01127 PAR C</td><td></td></tr><tr><td colspan="2">YEAR BUILT:</td><td>1969; 1953</td><td></td><td></td><td></td></tr><tr><td colspan="2">BUILDING CODE:</td><td>CALIFORNIA BUILDING CODE (CBC), 2013 EDITION</td><td>CALIFORNIA ELECTRICAL CODE (CEC), 2013 EDITION</td><td>CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION</td><td>CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION</td></tr><tr><td colspan="2">OCCUPANCY TYPE:</td><td>R-2, M-1</td><td></td><td></td><td></td></tr><tr><td colspan="2">CONSTRUCTION TYPE:</td><td>Y.B. S-2</td><td></td><td></td><td></td></tr><tr><td colspan="2">LOT AREA:</td><td>22,041.0 S.F.</td><td></td><td></td><td></td></tr><tr><td colspan="2">NOTE:</td><td colspan="4">Retail / Commercial use shall comply with the permitted uses of Appendix A of the La Jolla Planned District.</td></tr><tr><th colspan="6">ZONING INFORMATION</th></tr><tr><td colspan="2">ZONE:</td><td colspan="4">LJPDO-4 AND RM-3-7</td></tr><tr><td colspan="2">OVERLAY ZONES:</td><td colspan="4">COASTAL (non-seppable); COASTAL OVERLAY, GEOLOGICAL HAZARD CATEGORY 53</td></tr><tr><td colspan="2">NUMBER OF DWELLINGS:</td><td>16</td><td>16</td><td>6 (RM-3-7) + 10 (LJPDO-4) = 16 TOTAL, see A-1.1 for calcs.</td><td></td></tr><tr><td colspan="2">NUMBER OF STORIES: RM-3-7</td><td>3</td><td>3</td><td></td><td></td></tr><tr><td colspan="2">NUMBER OF STORIES: LJPDO-4</td><td>2</td><td>2</td><td></td><td></td></tr><tr><td colspan="2">SETBACKS:</td><td colspan="4">ZONE LJPDO-4</td></tr><tr><td colspan="2">STREET FACADE:</td><td>10'-0" curb to bldg</td><td>10'-0" curb to bldg</td><td></td><td></td></tr><tr><td colspan="2">STREET SIDE:</td><td>N/A</td><td>N/A</td><td></td><td></td></tr><tr><td colspan="2">INTERIOR SIDE:</td><td>N/A</td><td>N/A</td><td></td><td></td></tr><tr><td colspan="2">REAR:</td><td>N/A</td><td>N/A</td><td></td><td></td></tr><tr><td colspan="2">SETBACKS:</td><td colspan="4">ZONE RM-3-7</td></tr><tr><td colspan="2">FRONT:</td><td>10'-0" STD 20'-0"</td><td>10'-0" STD 20'-0"</td><td></td><td></td></tr><tr><td colspan="2">STREET SIDE:</td><td>10'-0"</td><td>10'-0"</td><td></td><td></td></tr><tr><td colspan="2">SIDE:</td><td>5'-0"</td><td>5'-0"</td><td></td><td></td></tr><tr><td colspan="2">REAR:</td><td>5'-0"</td><td>5'-0"</td><td></td><td></td></tr><tr><td colspan="2">LOT AREA: RM-3-7</td><td>6,581.72 S.F.</td><td></td><td></td><td></td></tr><tr><td colspan="2">DENSITY (1 DU/1000 SF):</td><td>6.58 UNITS</td><td></td><td></td><td></td></tr><tr><td colspan="2">LOT AREA: LJPDO-4</td><td>15,459.24 S.F.</td><td></td><td></td><td></td></tr><tr><td colspan="2">DENSITY (29 DU/ACRE) (1 DU/1502 SF):</td><td>9.64 UNITS</td><td></td><td></td><td></td></tr><tr><td colspan="2">ALLOWABLE COVERAGE: RM-3-7</td><td>3,408.5</td><td>60%</td><td></td><td>Balconies count as well as second floor overhangs</td></tr><tr><td colspan="2">ACTUAL COVERAGE: RM-3-7</td><td>3,408.5 S.F.</td><td>52%</td><td></td><td>-1,398.9</td></tr><tr><td colspan="2">ALLOWABLE COVERAGE: LJPDO-4</td><td>15,459.2</td><td>100%</td><td></td><td></td></tr><tr><td colspan="2">ACTUAL COVERAGE: LJPDO-4</td><td>15,457.8 S.F.</td><td>68%</td><td></td><td>-6,997.9</td></tr><tr><td colspan="2">EXISTING FAR: RM-3-7</td><td>4,044.0 S.F.</td><td></td><td></td><td></td></tr><tr><td colspan="2">EXISTING FAR: LJPDO-4</td><td>5,158.3 S.F.</td><td></td><td></td><td></td></tr><tr><td colspan="2">ALLOWABLE FAR: RM-3-7</td><td>11,847.1 S.F.</td><td>100%</td><td></td><td></td></tr><tr><td colspan="2">ACTUAL FAR: RM-3-7</td><td>3,656.5 S.F.</td><td>58.6%</td><td></td><td>1,581.8</td></tr><tr><td colspan="2">ALLOWABLE FAR: LJPDO-4</td><td>15,459.2 S.F.</td><td>100%</td><td></td><td></td></tr><tr><td colspan="2">ACTUAL FAR: LJPDO-4</td><td>15,459.2 S.F.</td><td>100.0%</td><td></td><td>-6,612.7</td></tr><tr><td colspan="2">REQUIRED LANDSCAPE COVERAGE:</td><td>2,319.9</td><td>15%</td><td></td><td></td></tr><tr><td colspan="2">ACTUAL LANDSCAPE COVERAGE:</td><td>4,594.96 S.F.</td><td>30%</td><td></td><td>-2,276.1</td></tr><tr><th colspan="6">BUILDING AREAS</th></tr><tr><td colspan="2"></td><td>Existing</td><td>Addition</td><td colspan="2">New Total Area</td></tr><tr><td colspan="6">BUILDING A - THREE STORY RESIDENTIAL</td></tr><tr><td colspan="2">FIRST FLOOR AREA:</td><td>0.0 S.F.</td><td>3,408.5</td><td colspan="2">3,408.5 S.F.</td></tr><tr><td colspan="2">SECOND FLOOR AREA:</td><td>0.0 S.F.</td><td>3,408.5</td><td colspan="2">3,408.5 S.F.</td></tr><tr><td colspan="2">THIRD FLOOR AREA:</td><td>0.0 S.F.</td><td>3,408.5</td><td colspan="2">3,408.5 S.F.</td></tr><tr><td colspan="6">BUILDING B - TWO STORY RESIDENTIAL</td></tr><tr><td colspan="2">FIRST FLOOR AREA:</td><td>0.0 S.F.</td><td>4,591.4</td><td colspan="2">4,591.4 S.F.</td></tr><tr><td colspan="2">SECOND FLOOR AREA:</td><td>0.0 S.F.</td><td>4,591.4</td><td colspan="2">4,591.4 S.F.</td></tr><tr><td colspan="6">BUILDING C - TWO STORY MIXED USED</td></tr><tr><td colspan="2">FIRST FLOOR AREA:</td><td>0.0 S.F.</td><td>3,794.1</td><td colspan="2">3,794.1 S.F.</td></tr><tr><td colspan="2">SECOND FLOOR AREA:</td><td>0.0 S.F.</td><td>4,714.5</td><td colspan="2">4,714.5 S.F.</td></tr><tr><td colspan="2">RESIDENTIAL AREA:</td><td>0.0 S.F.</td><td>10,225.5</td><td colspan="2">17,941.0 S.F. FAR Area</td></tr><tr><td colspan="2">GARAGE AREA:</td><td>0.0 S.F.</td><td>18,638.8</td><td colspan="2">18,638.8 S.F.</td></tr><tr><td colspan="2">NON-RESIDENTIAL AREA:</td><td>0.0 S.F.</td><td>18,638.8</td><td colspan="2">18,638.8 S.F.</td></tr><tr><td colspan="2">PROJECT TOTAL:</td><td>0.0 S.F.</td><td>28,864.3</td><td colspan="2">46,555.8 S.F.</td></tr><tr><td colspan="2">First Floor Deck Area</td><td>0.0 S.F.</td><td>757.73</td><td colspan="2">757.73 S.F.</td></tr><tr><td colspan="2">First Floor Porch</td><td>0.0 S.F.</td><td>1,403.69</td><td colspan="2">1,403.7 S.F.</td></tr><tr><td colspan="2">Area of Handicap</td><td>0.0 S.F.</td><td>4,957.45</td><td colspan="2">4,957.5 S.F.</td></tr><tr><td colspan="2">Area of New Total Disturbance</td><td>36 (see A-1.1)</td><td>* All Parking Spaces are 9'-0" Wide and 18'-0" Long</td><td colspan="2"></td></tr><tr><td colspan="2">PARKING:</td><td>REQUIRED:</td><td>37 (see A-2.1)</td><td colspan="2">Plus 1 Guest Uncovered Space on the Driveway*</td></tr><tr><td colspan="2"></td><td>PROVIDED:</td><td></td><td colspan="2"></td></tr></table>		PROJECT INFORMATION		PROJECT ADDRESS:	6738 LA JOLLA BLVD	350 PLAYA DEL SUR	Su Casa	ASSESSORS PARCEL NUMBER:		LA JOLLA, CA 92037	LA JOLLA, CA 92037	LA JOLLA, CA 92037		LEGAL DESCRIPTION:		Map Ref: PM01127 PAR A	Map Ref: PM01127 PAR B	Map Ref: PM01127 PAR C		YEAR BUILT:		1969; 1953				BUILDING CODE:		CALIFORNIA BUILDING CODE (CBC), 2013 EDITION	CALIFORNIA ELECTRICAL CODE (CEC), 2013 EDITION	CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION	CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION	OCCUPANCY TYPE:		R-2, M-1				CONSTRUCTION TYPE:		Y.B. 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SECOND FLOOR AREA:		0.0 S.F.	4,591.4	4,591.4 S.F.		BUILDING C - TWO STORY MIXED USED						FIRST FLOOR AREA:		0.0 S.F.	3,794.1	3,794.1 S.F.		SECOND FLOOR AREA:		0.0 S.F.	4,714.5	4,714.5 S.F.		RESIDENTIAL AREA:		0.0 S.F.	10,225.5	17,941.0 S.F. FAR Area		GARAGE AREA:		0.0 S.F.	18,638.8	18,638.8 S.F.		NON-RESIDENTIAL AREA:		0.0 S.F.	18,638.8	18,638.8 S.F.		PROJECT TOTAL:		0.0 S.F.	28,864.3	46,555.8 S.F.		First Floor Deck Area		0.0 S.F.	757.73	757.73 S.F.		First Floor Porch		0.0 S.F.	1,403.69	1,403.7 S.F.		Area of Handicap		0.0 S.F.	4,957.45	4,957.5 S.F.		Area of New Total Disturbance		36 (see A-1.1)	* All Parking Spaces are 9'-0" Wide and 18'-0" Long			PARKING:		REQUIRED:	37 (see A-2.1)	Plus 1 Guest Uncovered Space on the Driveway*				PROVIDED:			
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2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
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SU CASA
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LA JOLLA, CA. 92037

REVISIONS
2015-04-22 Completeness Submittal
2015-08-27 Full City Submittal
2015-11-10 Full City Resubmittal
2016-03-08 Full City Resubmittal
2016-08-22 Full City Resubmittal

PHASE
DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM

DRAWN BY GR

DATE 08-22-2016

STORM WATER QUALITY NOTES CONSTRUCTION BMPs

This project shall comply with all requirements of the state permit; California Regional Water Quality Control Board, San Diego Region, order NO. 2001.01 NPDES NO. CAS010875 (http://www.swrcb.ca.gov/rwqcb9/programs/sd_stormwater.html)

Notes 1-6 below represent key minimum requirements for construction BMPs

1. Sufficient BMPs must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMPs.
2. All stock piles of uncompacted soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site.
4. All erosion/sediment control devices shall be maintained in working order at all times.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

SMOKE DETECTOR AND CO2 NOTES

1. Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
2. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of the governing CRC and the household fire warning equipment provisions of NFPA 72. Systems and components shall be California State Fire Marshal listed and approved in accordance with CCR, Title 19, Division 1 for the purpose for which they are installed. [Sec. R314.1]
3. Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms that are interconnected and not connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection. [Sec. R314.4]
4. Where more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed [Sec. 907.2.11.3].
5. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units which fuel-burning appliances are installed and in dwelling units that have attached garages. [Sec. R315.1].
6. Single- and multiple-station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075 Carbon Monoxide alarms and carbon monoxide detectors shall be installed in accordance with this code, the current edition of NFPA 720 "Standard for the installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alarms and detection devices as recognized in NFPA are also acceptable. [Sec. 420.4.3].
7. For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection. [Sec. 420.4.1.1].
8. Interconnection: Where more than one carbon monoxide alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-2, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed [Sec. 907.2.11.3].
9. In buildings meeting the definition of "COVERED MULTIFAMILY DWELLINGS" in accordance with Chapter 11A and with fuel-burning appliances and/or attached garages as described in Section 420.4.1, all required carbon monoxide alarms shall be provided with the capability to support visible alarm notification appliances in accordance with NFPA 720 and Chapter 11B. (CBC 420.4.4)

CAL GREEN NOTES

1. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement.
- OWNER SIGNATURE:
2. Provide a fire sprinkler head in all applicable clothes closets, linen closets, & pantries on this home.
 3. Per Sec 4.406.1, Joints & openings, annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by securing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
 4. A minimum of 30% of the construction waste generated at the site is diverted to recycle or salvage per CGCSC section 4.408.1 and city ordinance.
 5. Per Sec 4.410.1, Before final inspection, a complete operation & maintenance manual shall be provided to the building occupying owner. Contractor or owner shall submit an affidavit that confirms the delivery of the maintenance manual.
 6. Per Sec 4.504.1, Duct openings and other related air distribution component openings shall be covered during construction.
 7. Per Sec 4.504.2.1, Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
 8. Per Sec 4.504.2.2, Paints, stains and other coatings shall be compliant with VOC limits.
 9. Per Sec 4.504.2.3, Aerosol paints & coatings shall be compliant with product weighted MIR limits for VOC & other toxic compounds.
 10. Per Sec 4.504.2.2, Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the code must be submitted to the building inspector.
 11. Per Sec 4.504.3, Carpet and carpet systems shall be compliant with voc limits. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the code must be submitted to the building inspector.
 12. Per Sec 4.504.4, 50% of the floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the CHPS LOE-emitting materials list or be certified under the RCFI floor score program.
 13. Per Sec 4.504.5, Particle board, MDF, & hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards, a letter from the installer and or the building owner certifying what material has been used and documenting its compliance with the code must be submitted to the building inspector.
 14. Building materials with visible signs of water damage shall not be installed walls and floor framing shall not be enclosed when framing members exceed 19% moisture content.
 15. Per Sec 4.505.3, The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either probe type or contact type moisture meter. A certificate of compliance indicating date of test, location and result issued by the framer, subcontractor or general contractor must be submitted to the building inspector.
 16. The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter. A Certificate of Compliance indicating date of test, location and result issued by the framer subcontractor or general contractor must be submitted to the building inspector.
 17. Exhaust fans which terminate outside the building are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.
 18. Automatic irrigation systems controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
 - 1) Controller shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants needs as weather conditions change.
 - 2) Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
 19. Per Sec 4.503.1, Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces also comply with applicable local ordinances.
 20. Per Sec 4.506.1, Mechanical exhaust fans which vent directly from bathrooms shall comply with the following:
 - 1) Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
 - 2) Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
 21. Per Sec 4.507.2, The Heating and Air Conditioning equipment was sized, designed and selecting using Energy Pro 5.6.1. Reference T24 calculations on sheet T-2 for more info.
 - 1) A signed affidavit from installer stating method used for the selection of heating and Air Conditioning equipment and that such equipment was installed in accordance to that method is required, this affidavit shall be presented to the Building Inspector BEFORE Final Inspection.
 22. Per Sec 4.303.1 Please demonstrate a 20% reduction of Indoor water use, it can be demonstrated by one of the following methods:
 - 1) Each plumbing fixture and fitting shall meet reduced flow rates specified in Table 4.303.2 (below)
 - 2) A calculation demonstrating a 20% reduction in the building water use baseline as established in Table 4.303.1 shall be provided. For low-rise residential occupancies, the calculation shall be limited to the following plumbing fixture and fitting types: water closets, urinals, lavatory faucets and showerheads. See Work Sheet (WS-011) from Chapter 8 of the GreenCode.
 23. 4.303.3 Plumbing fixtures and fittings. Plumbing fixtures(water closets and urinals) and fittings (faucets and showerheads) shall meet the standards referenced in Table 4.303.3.
 24. 4.304.1 Irrigation controllers. Automatic irrigation systems controllers installed at the time of final inspection shall be weather-based:
 - a. Controllers shall be weather-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - a. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.

TABLE 4.303.2 FIXTURE FLOW RATES		
FIXTURE TYPE	MAXIMUM FLOW RATE	≥ 20% REDUCTION
Showerheads	2 gpm @ 80 psi	
Lavatory Faucets	1.5 gpm @ 60 psi	
Kitchen faucets	1.8 gpm @ 60 psi	
Water Closets	1.28 gallons / flush	
Urinal	0.5 gallons / flush	

1. Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.
2. Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.
3. Where complying faucets are unavailable, aerators rated at .35 gpm or other means may be used to achieve reduction.
4. Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2. Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A11

TABLE 4.303.3
STANDARDS FOR PLUMBING FIXTURES AND
FIXTURE FITTINGS

REQUIRED STANDARDS

Water closets (toilets)-flushometer valve-type single flush, max. flush volume	ASME A 112.19.2/CSA B45.1 - 1.28 gal (4.8 L)
Water closets (toilets)-flushometer valve-type dual flush, max. flush volume	ASME A 112.19.14and U.S.EPA WaterSense Tank-Type High-Eff. Toilet Spec-1.28 gal(4.8 L)
Water closets (toilets)-tank type	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Urinals, maximum flush volume	ASME A 112.19.2/CSA B45.1 - 0.5 gal (1.9 L)
Urinals, nonwater urinals	ASME A 112.19.19 (vitreous china) ANSI Z124.9-2004 or IAPMO Z124.9 (plastic)
Public lavatory faucets:	Maximum flow rate - 0.5 gpm (1.9 L/min) ASME A 112.18.1/CSA B125.1
Public metering self-closing faucets:	Maximum water use - 0.25 gal (1.0 L) per metering cycle ASME A 112.18.1/CSA B125.1
Residential bathroom lavatory sink faucets:	Maximum flow rate - 1.5 gpm (5.7 L/min) ASME A 112.18.1/CSA B125.1

GENERAL PROJECT NOTES

Project General Notes

1. These drawings and specifications are the property and the copyright of Marengo Morton Architects, Incorporated. No use, copies or alterations of this material is allowed unless the written permission of Marengo Morton Architects, Incorporated, is granted prior to use, except for the temporary use to construct the said work described in the project title block. No rights, ownership privileges or reuse of information contained herein is conveyed, allowed or transferred to any party. © Marengo Morton Architects Incorporated © State of California, © United States of America.
2. Before commencing any work on the site, the General Contractor shall verify locations of all site dimensions and site conditions. These include but are not limited to property lines, required setback lines to all new or existing building walls, easements (if any), existing grade locations, finish floor elevations, existing site utilities, and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all property lines, easements (if any), underground utilities or any other items as needed.
3. All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors.
4. These drawings have been prepared from the latest information available on existing conditions. Minor variations may occur in the actual construction. Any discrepancy or area of confusion between field conditions and these drawings shall be brought to the attention of the Architect prior to proceeding with work in question. Do not proceed with work in question until the Architect issues written directions.
5. In the event of conflict within the drawings the order of precedent shall be: 1) specific details, 2) drawing notes, 3) specifications and (4) general notes.
6. Neither the Owner nor the Architect shall enforce safety measures or regulations. They are the General Contractor's sole responsibility.
7. The General Contractor and Subcontractor's work shall be in accordance with all applicable federal, state, and local building codes and agency standards.

Project General Notes

8. The provisions of the 2013 California residential code shall apply to the construction alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal, and demolition of detached one and two-family dwelling, townhouses not more than three stories above grade plane in height with a separate means of egress and structures accessory thereto.
9. Cal-OSHA requirement: A construction activity permit is required for: Construction of trenches or excavations which area five feet or deeper and into which a person is required to descend. Construction of any building, structures, scaffolding or falsework, more than three stories high or the equivalent height (36 feet), Erection or dismantling of vertical shoring systems more than three stories high, or the equivalent height (36 feet)
10. Adhesives , sealants and caulks shall be compliant with VOC and other toxic compound limits.
11. Paints, stains and other coating shall be compliant with VOC limits.
12. Aerosol paints and coatings shall be compliant with product weighted MIR limits for VOC and other toxic compounds.
13. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the Building Inspector.
14. Fifty percent of floor area receiving resilient flooring shall comply with the VOC -emission limits defined in the Collaborative for High Performance Schools (CHPS) Low -emitting Material list or be certified under the Resilient Floor Covering Institute (RCFI) Floor Score program
15. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.
16. Moisture content of building materials used in wall and floor framing is checked before enclosure. Building material with visible sign of water damage shall not be used. Insulation products which are visibly wet or have a high moisture content shall be allowed to dry prior to enclosure.

Site Preparation

17. Prior to excavation, General Contractor shall confirm location of underground utilities.
18. In the event that utilities or concealed structures are discovered during construction at exposed or unexposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utility company immediately
19. The General Contractor and Subcontractor shall be responsible for the appropriate hook up to all utilities required to support the work.
20. The General Contractor shall protect the adjacent properties, including, but not limited to dust, trash, or damages due to demolition, excavation, construction and/or flooding originating on the site.
21. These contract documents do not contemplate the handling or treatment of asbestos and/or any hazardous waste materials. Should any hazardous materials be discovered, the General Contractor shall notify the Owner immediately by telephone and in writing.
22. The General Contractor shall install and maintain a phone at the job site for the duration of construction.
23. A soil compaction report shall be provided to the building inspector at the job site prior to the placement of concrete for the new foundation if requested by the city.
24. It is the General Contractor's responsibility to grade the site and to slope all grading and concrete work to provide positive drainage away from the building and to area storm drains.

Demolition

25. All excavation and grading shall comply with OSHA and other governing regulations.
26. Demolition shall conform to extent shown on the Demolition Plan. No structures are to be removed or modified with notification to the Architect and confirmation that they are in conformance with the approved permit plans.
27. Shoring shall be provided where demolition of support structures occur.
28. Prior to the start of any demolition or construction, the General Contractor shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be relocated. The GC shall present this inventory to the Owner and the Architect for their approval. The GC shall be held responsible for replacing any re-locatable item damaged during the demolition process. Salvaged items shall be the Owner's choosing and shall be the Owner's property.

Floor Plan

29. Interior finishes must conform to the requirements of Chapter 12, 2013 CBC. All decorative materials are required to be maintained in a flame-retardant condition.
30. Different floor finishes shall meet under the door, unless otherwise noted.
31. Smoke detectors shall be provided in all sleeping rooms, in adjacent hallways, and in areas that conform to Section 907.2.11.2, 2013 CBC.
32. Maintain 1-hr fire resistive wall and ceiling construction between the garage and the residences for occupancy separation. Refer to Section 706.1, 707.3.9 and Table 707.3.9, 2013 CBC.
33. Glass and glazing shall conform to the provisions of Chapter 24, Section 2406, 2013 CBC. All glazing panels adjacent to doors and within 18" of walking surfaces shall be tempered.
34. Provide R-13 insulation in all exterior walls and bathroom walls. Provide R-19 insulation between floors and R-30 in attic space. Refer to Section 719, 2013 CBC.
35. Provide emergency exit doors or windows from sleeping rooms. Net clear opening area shall be not less than 5.7 sq. ft., (821 sq. in.) Minimum opening height shall be 24". Minimum opening width shall be 20". Maximum finished sill height shall be 44" above floor.
36. Provide under-floor crawl space ventilation in foundation walls of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen frame at each opening.
37. At transition to exterior balconies and decks shall provide a minimum step down to finish surface of 1 inch (U.N.O.). Rough framing surfaces shall have a minimum 2-inch step down. (U.N.O.)

Framing

38. Provide solid blocking in wall framing for all cabinets, countertops, mirrors, shelving, light fixtures, and miscellaneous wall and ceiling mounted or recessed items. (wherever a cabinet or an item requiring support is depicted graphically.)
39. Contractor shall coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment.
40. Provide draft stop in the attic space. Attic space shall not exceed 3,000 sq. ft., or 60'-0" in horizontal length.
41. Under-Floor Clearance (raised wood joists): wood joist or bottom of wood structure shall be no closer than 18 inches and wood girders shall be no closer than 12 inches. Under floor areas shall be provide with a minimum 18 inch by 24 inch clear opening.
42. All wood within 8" of earth or 1" of concrete shall be redwood or pressure treated, Section 2304.11.2. 1 & 2 CBC 2013.
43. Stairways and landings shall be constructed as required by Section 1009.5, 2013 CBC.
44. Hold down anchors to be tied in place prior to calling for foundation inspection.
45. Floor sheathing shall be screwed and glued to floor joists.
46. Provide fire blocking at floor, ceiling, coves and mid-height of walls over 10'-0" in height.

Finish

47. Install Duroc Tile Backer Board by United States Gypsum or equal on all interior walls, countertops and ceilings to receive tile. Install Duroc according to the manufacturer's recommended specifications.
48. Interior gypsum board corners shall be per interior finish schedule. Interior gypsum board texture shall be per interior finish schedule.

Exterior

49. All exposed metal flashings shall be painted to match adjacent surfaces. Unless noted otherwise.
50. A weep screed or weep holes shall be provided at or below the foundation plate line for all exterior stud wall finish on the exterior stucco. Weeps shall be placed a minimum of 4" above grade.
51. No vent pipe or any projection shall project above 30'-0" from finish grade, new or pre-existing 5'-0" from building face. The highest point of the roof shall not exceed 30'-0" (U.N.O.).
52. Wood siding: clearance between wood siding and earth on the exterior of a building shall not be less than 6 inches (6") or less than 2 inches to concrete steps, patio slabs porch slabs or similar horizontal surfaces except were side, sheathing and wall framing are of naturally durable or preservative treated wood.

Roofing

53. Roofing shall be installed in accordance with manufacturer's specific installation instructions. All newly constructed roofs shall be covered with materials identified as Class "A" roof assembly. Class A roof assemblies and roof covering shall be listed and identified as Class A by an approved testing agency.
54. Provide all required sheet metal flashing and caulking. Contractor shall provide 40-year minimum warranty.
55. Provide attic ventilation in roof eaves or in top of wall under gable roof ends of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen in wood or metal frame at each opening. The size of mesh opening shall be ½ inch maximum.

Plumbing

56. Maximum flow rate for showerheads shall be 2.5 gallons per minute (2.5 GPM)
57. All new toilets shall be ultra low flush type; maximum 1.6 gallons per flush. (1.6 GPM)
58. No C.P.V.C. piping to be installed for potable water supply. All water supply lines shall be copper.
59. Permanent vacuum breakers shall be included with all new hose bibbs.
60. All water closets or bidet shall have a minimum clearance of 18" (15" is code minimum) from the centerline of the fixture to any sidewall or obstruction, nor closer than thirty (30") inches center to center to any similar fixture. The clear space in front of any water closet or bidet shall not be less than twenty-four (24") inches from the front of the fixture.
61. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "type X gypsum board" or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
62. State Health and Safety Code Sec 17921.9 bans the use of chlorinated polyvinyl chloride (CPVC) and cross-linked polyethylene (PEX) for interior water supply piping.
63. Building drain and vent piping materials shall comply with Section 701.0and 902.0 of the California Plumbing Code. (CPC)
64. All sanitary system materials shall be listed by an approved listing agency.
65. Potable water piping material shall comply with Section 604.0 of CPC.
66. Lavatory Faucets in restrooms shall be the self-closing type. (Commercial requirement)
67. Each faucet shall not exceed a water flow of 2.2 gallons per minute (2.2 GPM).

Mechanical

68. All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes. Electrical and mechanical systems shall be tested and approved to be in proper working condition to the satisfaction of the building inspector before the issuance of the certificate of occupancy.
69. All thermostats shall be of the automatic changeover type to sequence heating or cooling. Set point range shall be up to 10 degrees Fahrenheit between full heating and cooling. Adjustable temperature differential shall be one and one-half degrees Fahrenheit.
70. Equipment shall have the capacity of terminating all cooling at a temperature of not more than 78 degrees Fahrenheit.
71. At least one automatic space temperature control device shall be provided for each zone.
72. All ductwork shall be constructed, erected and tested in accordance with the most restrictive of local regulation procedures. Refer to the standards adopted by the Sheet Metal and Air Conditioning Contractors National Association as detailed in the ASHRAE handbook of fundamentals.
73. Provide bathroom ventilation of not less than five (5) air changes per hour.
74. Attic and/or under-floor installation of HVAC units must comply with Sections 303, 304, 305, 308, 2013 C.M.C.
75. Duct opening and other related air distribution component openings shall be covered during construction.

Electrical

76. All circuit breaker switched 120V AC light circuits or convenience outlets, must use only type GFCI or AFCI circuit breakers.
77. Electrical outlets located in wet areas, bathrooms and laundry rooms, at the exterior or within 6'-0" of the kitchen sink, shall be provided with ground fault interrupter switch (GFCI)
78. Wiring the plenums shall be in conduit or conform to Articles 300-21 and 300-22, NEC.
79. Alteration, repairs and additions: When alteration, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings. The individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings.
80. Carbon Monoxide Alarms: Locations: Proved smoke alarms in the following locations; 1) outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms(s) 2) on every level of a dwelling unit including basements.
81. Single and multiple -station carbon monoxide alarms shall be listed as complying with the requirements of UL 2304. Carbon Monoxide detectors shall be listed as complying with the requirements of UL 2075.
82. Carbon Monoxide Alarms: In existing dwelling units , where a permit is required for alterations, repairs or additions exceeding \$1,000 dollars, existing dwelling or sleeping units that have attached garages or fuel-burning appliances shall be provided with carbon monoxide alarms in the specific dwelling unit or sleeping unit for which the permit was obtained.
83. Battery operated carbon monoxide alarms: In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of a wall and ceiling finishes or there is no access by means of attic, basement or crawl space.

GENERAL PROVISIONS

A The following notes apply, unless indicated otherwise.

1. Codes and Standards
 - 1. California Building Code, 2013 Edition (C.B.C.)
 - 2. California Mechanical Code, 2013 Edition (C.M.C.)
 - 3. California Plumbing Code, 2013 Edition (C.P.C.)
 - 4. California Electrical Code, 2013 Edition (C.E.C.)
 - 5. California Fire Code, 2013 Edition (C.F.C.)
 - 6. American Concrete Institute "Building Code Requirements for Reinforced Concrete (ACI 318-88)."
 - 7. Western Wood Products Association Lumber Grading Standards.
 - 8. AWP Pressure Preservative Treatment Standard for Full Penetration Ground Contact Rating.

B Existing Conditions: Verify all existing conditions and dimensions before starting work. Report all discrepancies involving existing conditions to the architect, prior to construction.

C Foundations:

1. Spread footing design:
2. Base footings 18 inches minimum below finished grade. Unless noted otherwise.
3. All footings shall rest on firm undisturbed earth or soil with relative compacted of 90%, unless noted otherwise.

D Concrete Reinforcement:

1. Deformed bars #2 min.- #6, ASTM A615 Grade 60, fy = 40 KSI, lap 40 bar diameters.
2. Slab-on-grade & other miscellaneous site concrete see drawings for reinforcement.
3. Concrete cover over reinforcement:
4. Footings 3"
5. Formed surfaces exposed to weather or ground 2"
6. Slabs-on-grade, top and bottom minimum 1-1/2"

E Concrete:

1. Minimum ultimate 28-day compressive strength (F'c) shall be 2,500 PSI, unless noted otherwise.
2. An approved water-reducing admixture shall be used in all concrete except footings.
3. Use an approved air-entraining admixture in all concrete (structural and non-structural) where exposed to weather.

F Structural Steel

1. Material - Bolts, ASTM A325, minimum 1/2" diameter, unless noted otherwise.
2. Fabrication, AISC specifications for the design, fabrication and erection of structural steel for buildings, Manual Of Steel Construction, Fourteenth Edition
3. All welding by W.A.B.O. certified welders. Welding shall be in accordance with the provisions of the Structural Welding Code AWS D1-1 and AWS D1-4.
4. After fabrication, all items shall be fully coated with two applications steel primer. Items permanently exposed to weather shall be fully primed and coated per specifications.

G Rough Carpentry:

1. Lumber Materials: -All lumber shall be graded per Western Wood Products Association Lumber grading Standards. Lumber shall bear identification stamps indicating:
 - a) -Grading Association mill number
 - b) -Grade and species
 - c) -Moisture content
 - d) -Preservative treatment
2. Plywood sheathing grade, exposure, span rating and thickness, per plans.
3. Lumber grading: unless noted otherwise, the following shall apply:
 - a) -Wall stud framing Douglas-Fir Larch #2 & better.
 - b) -Singular joists, rafters Douglas-Fir Larch #2 & better.
 - c) -Multiple joists, rafters Douglas-Fir Larch #2 & better.
 - d) -Stair stringers Douglas-Fir Larch #2 & better.
 - e) -Beams and headers Douglas-Fir Larch #1 & better.
 - f) -Glu-lam beams 24F-V4, industrial grade or as specified on structural calculations.
 - g) -Posts Douglas-Fir Larch #1.
4. Fabrication: Conventional Light Framing - unless noted otherwise, the following shall apply:
 - a) Timber connectors specified are by Simpson Strong-Tie Co. Inc, or approved equal. Location and size of fasteners for structural anchorage or attachments shall be as specified by manufacturer.
 - a) All floor joists to be solid blocked @ bearing lines, longest un-blocked span = 8' - 0".
 - b) Nails to be Common nails per C.B.C. table 2304.9.1., galvanized based on exposure.
 - c) Minimum nailing to conform to C.B.C. table 2304.9.1. (See plans, specifications & structural details for size and type)
 - d) Wall stud cutting, nothing or boring of member per C.B.C. section 2308.9.10 & 11
 - e) Structural ceiling joist and rafter cutting, nothing or boring of member per C.B.C. section 2308.10.4.2
 - f) Glu-laminated timbers and pressure preservative treated lumber shall be re-sealed (compatible treatment following all shop or field cuts).
 - g) All wood in contact with concrete, masonry, soil or exposed to the exterior (as defined by C.B.C. 2304.11.4) shall be pressure preservative treated lumber.
- 5) Support all concentrated loads bearing on stud or joist cavities with solid bearing or blocking.
- 6) Stagger all sheathing panel seams a minimum of two stud/joist cavities.
- 7) Double floor framing joists below interior walls, bathtubs and heavy appliances.

H Submittals:

1. All submittals, shop drawings, product samples, etc. shall be reviewed and accepted by the Architect prior to final submittal to fabricator or suppliers.
2. Submittals shall include, but not limited to the following:
 - a) -Concrete mixture, additives and reinforcement.
 - b) -Manufacturer engineered trusses.
 - c) -Fabricated steel.
 - d) -Cabinetry and other built-in items.
 - e) -Special windows.

I Construction Quality:

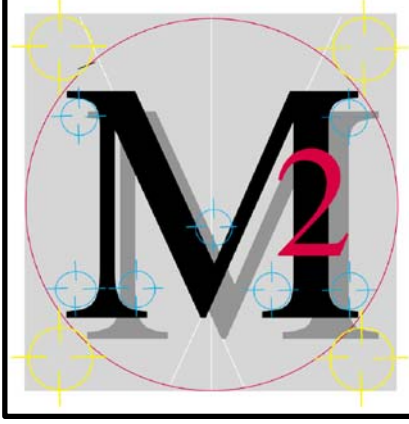
1. All construction shall be of the highest standards for materials and methods of installation.
2. All finish materials not selected shall be reviewed and accepted by the Architect and Owner.
3. All subcontractors are responsible for inspecting, correcting, and approving all conjunctive conditions of all related prior trades, prior to beginning their own work.
4. Prior workmanship and materials not acceptable to subcontractors shall be brought to the attention of the General Contractor prior to commencing construction.
5. The contractor is responsible for maintaining a neat & tidy job site; only staging areas approved by the owner will be used.

J Substitutions:

1. No substitutions of specified materials shall be made without written notification to the Architect and Owner and their written acceptance of the substitution.

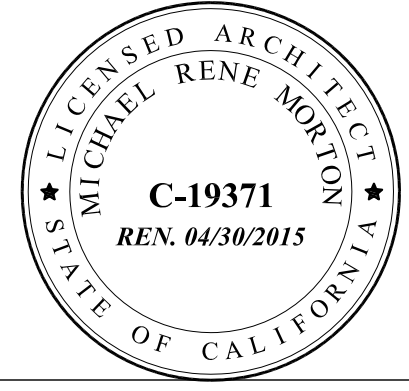
K Clean Up:

1. The Contractor shall keep the premises free from accumulation of waste material and/or rubbish caused by their work. At the completion of each day's work, remove all rubbish from and about the building. All tools, scaffolding and surplus materials shall be stored, flagged, or removed, leaving the job site broom clean.



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REVISIONS	
2015-04-22	Completeness Submittal
2015-05-14	Full City Submittal
2015-08-27	Full City Resubmittal
2015-11-10	Full City Resubmittal
2016-03-08	Full City Resubmittal
2016-08-22	Full City Resubmittal



PHASE
DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM

LEGAL DESCRIPTION:

PARCEL "A" AND PARCEL "B" IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1127 OF PARCEL MAPS, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 28, 1972.

NOTES REGARDING PRELIMINARY REPORT:

THIS A.L.T.A./A.C.S.M. LAND TITLE SURVEY IS BASED ON INFORMATION FURNISHED IN CHICAGO TITLE COMPANY, PRELIMINARY REPORT, ORDER NO. 00025982-004-RM1, DATED AUGUST 8, 2014.

3. AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR WATER PIPE LINES RECORDED DECEMBER 13, 1910 IN BOOK 496, PAGE 157 OF DEEDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD AND THEREFOR COULD NOT BE PLOTTED. A PORTION OF SAID EASEMENT WAS VACATED BY RESOLUTION NO. 195186, RECORDED NOVEMBER 4, 1968 AS INSTRUMENT NO. 193283 OF OFFICIAL RECORDS.
4. AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR A PRIVATE SEWER LATERAL RECORDED DECEMBER 11, 1950 IN BOOK 3693, PAGE 430 OF OFFICIAL RECORDS.
5. AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES INGRESS AND EGRESS RECORDED MARCH 14, 1969 AS INSTRUMENT NO. 45470 OF OFFICIAL RECORDS.
7. AN EASEMENT GRANTED TO AMERICAN TELEVISION AND COMMUNICATIONS CORPORATION DBA SOUTHWESTERN CABLE TV FOR CONSTRUCTION, INSTALLATION, USE, MAINTENANCE, ALTERATION, ADDITION, REPAIR, REPLACEMENT, REMOVAL, SERVICE, AND OTHER OPERATIONS WITH RESPECT TO COMMUNITY ANTENNA TELEVISION SYSTEMS, RECORDED FEBRUARY 12, 1987 AS INSTRUMENT NO. 87-80147 OF OFFICIAL RECORDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD AND THEREFOR COULD NOT BE PLOTTED.
8. THE PROPERTY IS SUBJECT TO THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT", RECORDED OCTOBER 24, 2002 AS INSTRUMENT NO. 2002-0934705 OF OFFICIAL RECORDS. SHOWN HEREON.

BASIS OF BEARINGS:

THE NORTHERLY RIGHT OF WAY LINE OF PLAYA DEL SUR STREET, PER PARCEL MAP NO. 1127. I.E. N 74°12'08" WEST

BENCH MARK:

CITY OF SAN DIEGO BENCH MARK:
SOUTHWEST BRASS PLUG AT THE INTERSECTION OF LA JOLLA BOULEVARD AND BONAIR STREET. ELEVATION = 78.238 M.S.L.

PROPERTY NOTES:

1. THERE ARE 32 STRIPED PARKING SPACES WITHIN THE BOUNDARY OF THE PROPERTY INCLUDING 1 HANDICAPPED SPACE.
2. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' (NON-SPECIAL FLOOD HAZARD AREA) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 06073C1584G, WITH A DATE OF IDENTIFICATION OF MAY 16, 2012, FOR COMMUNITY NO. 060295, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
3. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 22,048 SQUARE FEET / 0.506 ACRE.
4. THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
5. THERE WAS NO OBSERVABLE EVIDENCE ON THE SITE OF ANY SOLID WASTE DUMP, SUMP OR SANITARY LAND FILL.

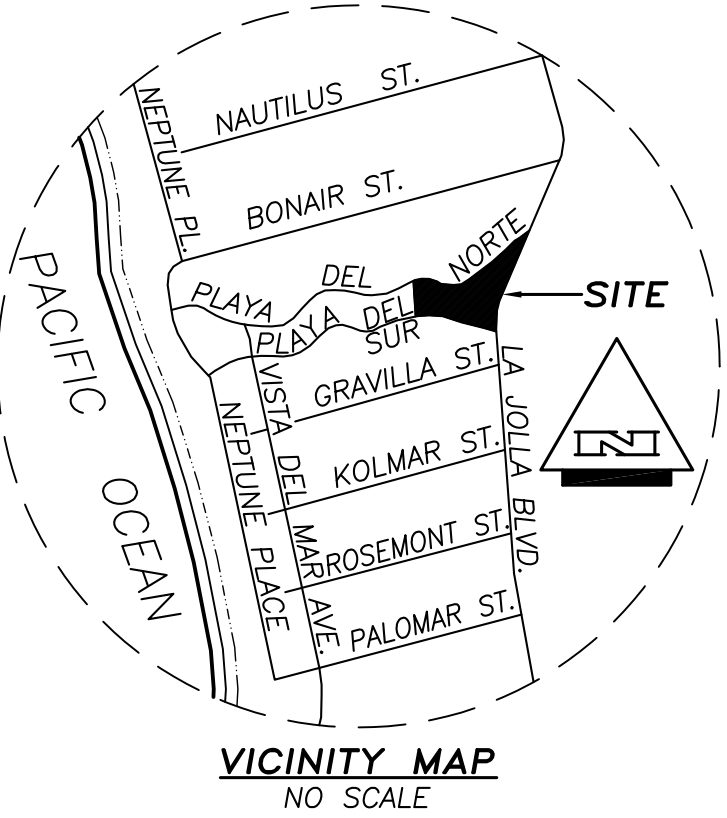
SURVEYOR'S CERTIFICATE:

TO MB ACQUISITIONS AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES TABLE A ITEMS 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 16, 17 AND 18. THE FIELD WORK WAS COMPLETED ON AUGUST 6, 2014.

DATE: AUGUST 22, 2014

ROBERT J. BATEMAN
PROFESSIONAL LAND SURVEYOR
REGISTRATION NO. 7046
EMAIL: rbateman@sdlsse.com

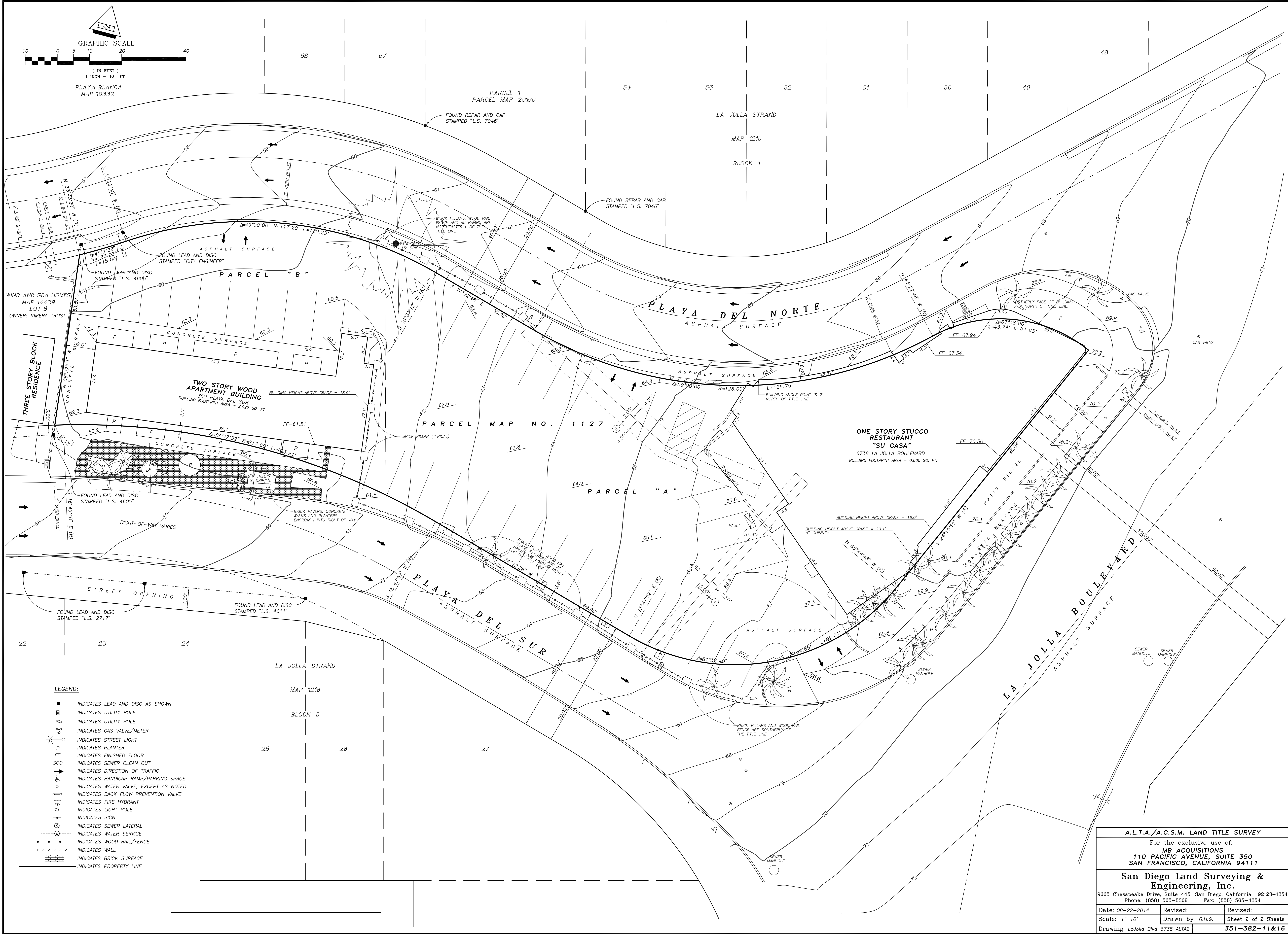


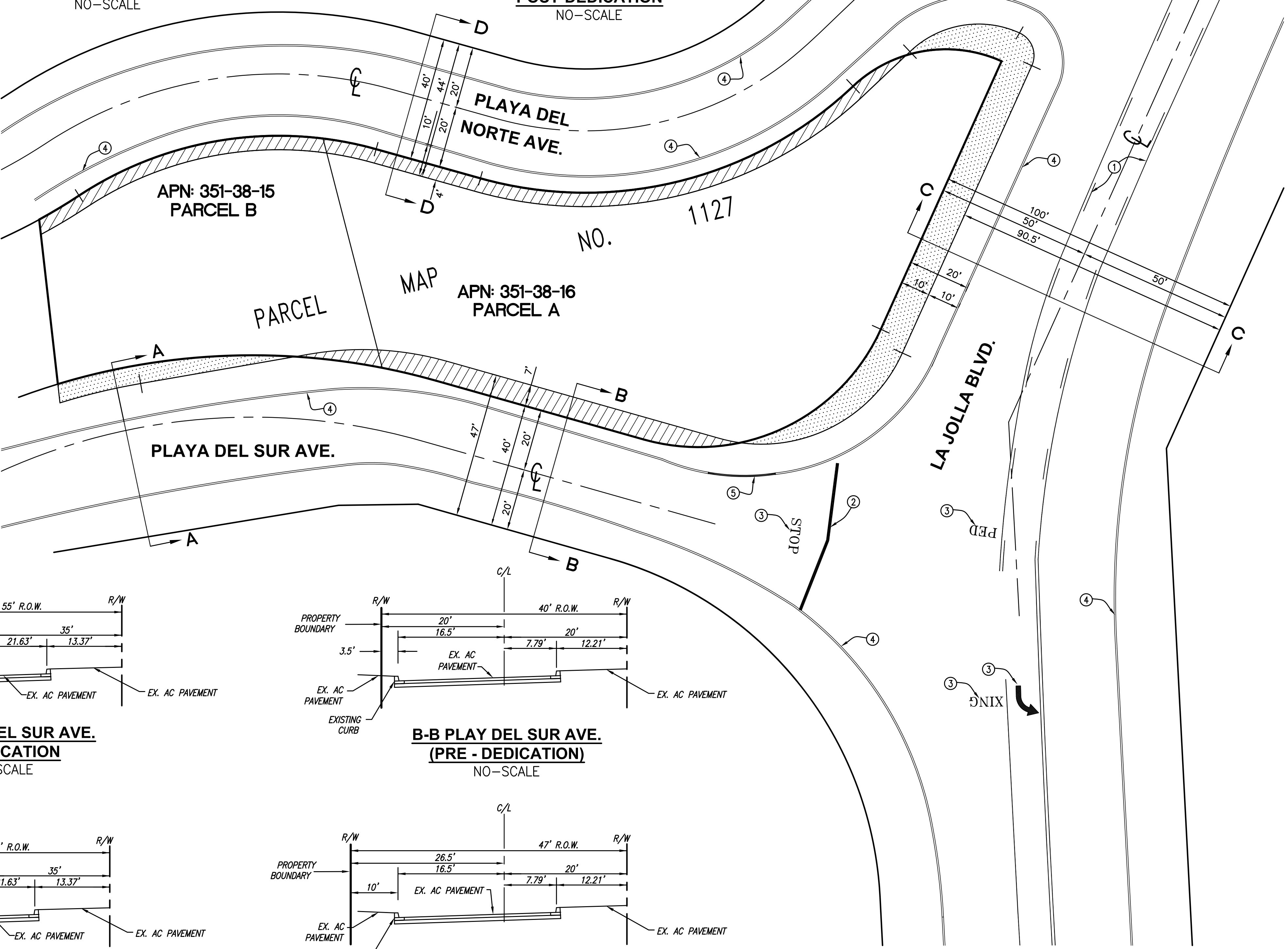
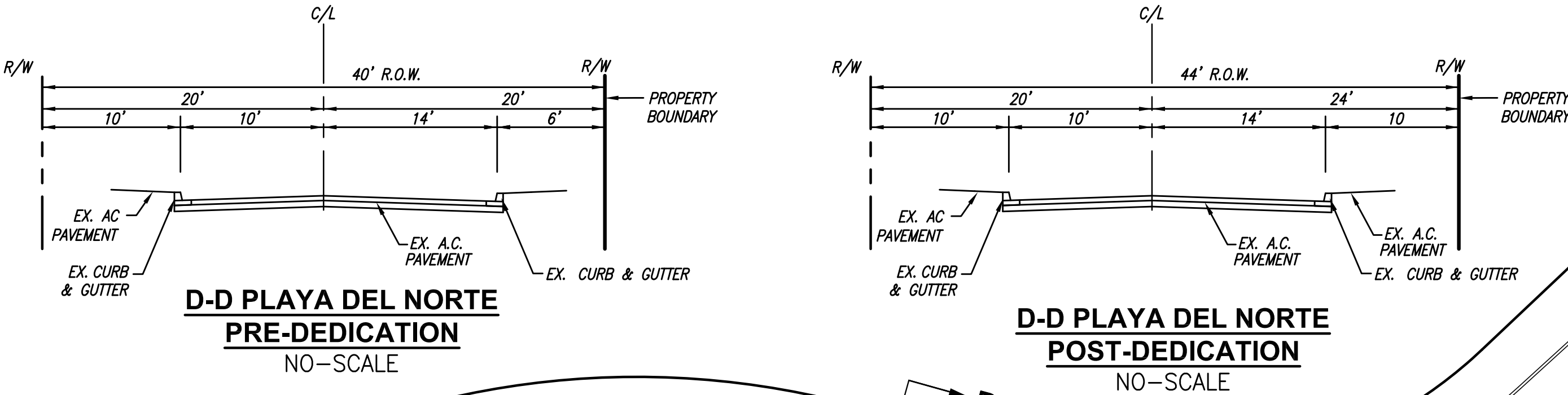
VICINITY MAP
NO SCALE

REVISIONS			
NO.	DATE	DESCRIPTION	BY

ZONING DATA	
RESIDENTIAL MULTIPLE UNIT-3-7 RM-3-7	
MINIMUM FRONT:	10'
STANDARD FRONT:	20'
MINIMUM SIDE:	5'
MINIMUM STREET SIDE:	10'
REAR:	15'
MAX. STRUCTURE HEIGHT:	40' ZONING HEIGHT 30' COASTAL HEIGHT

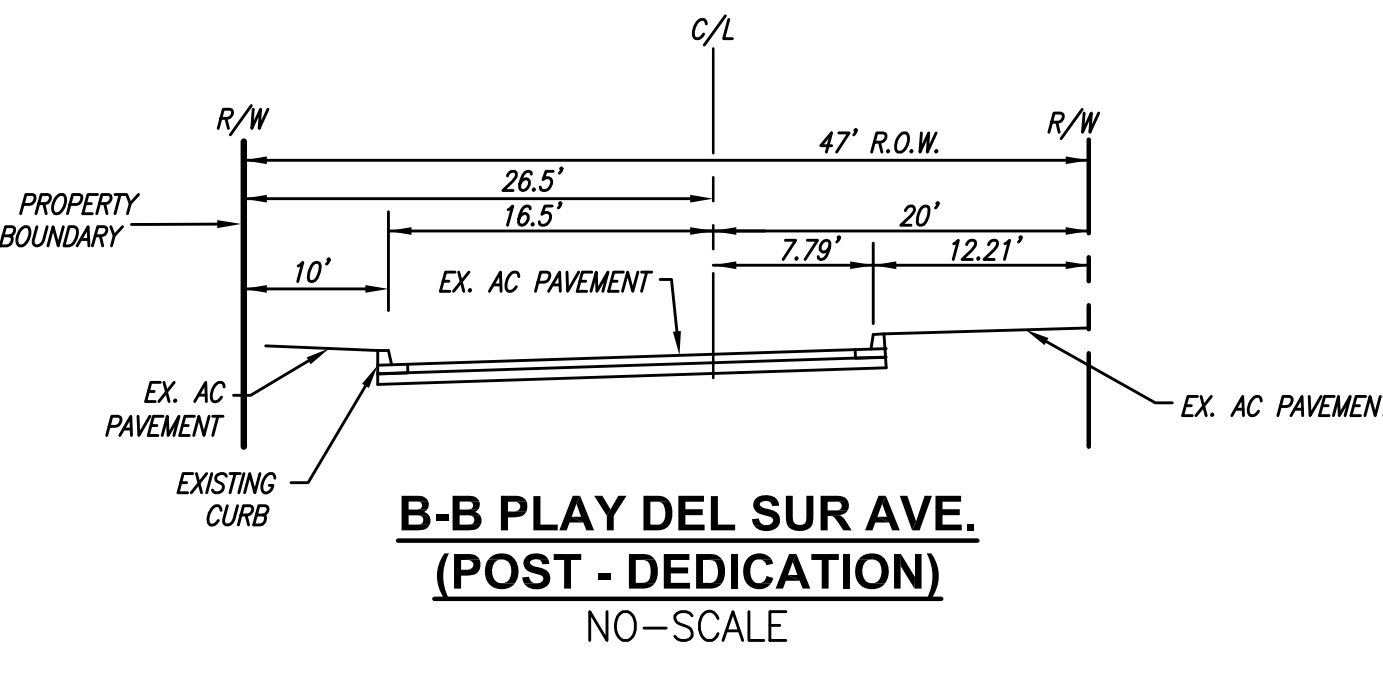
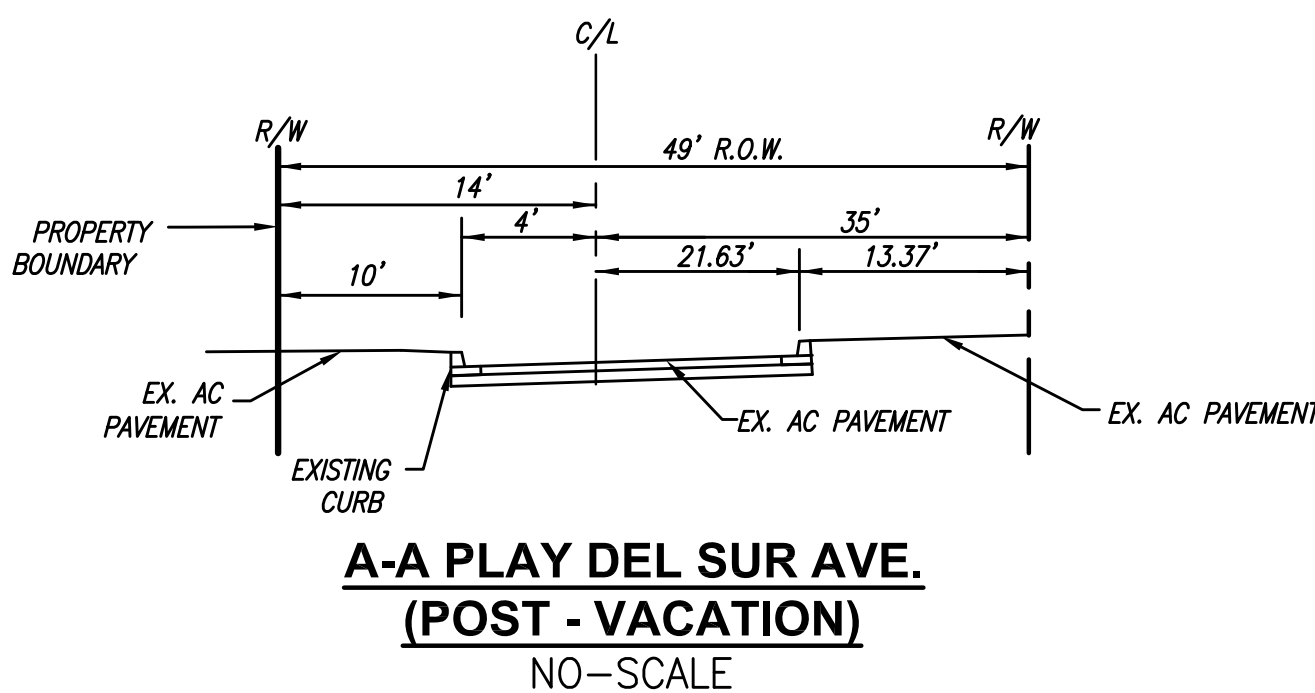
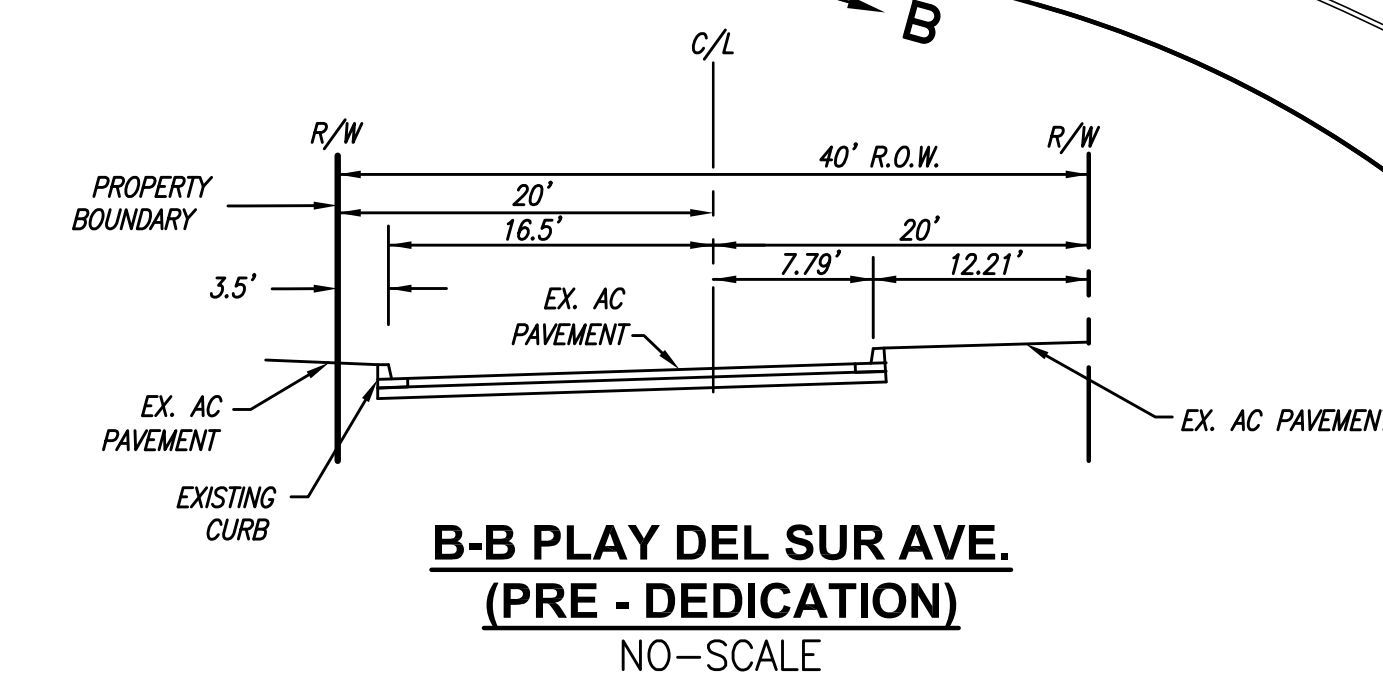
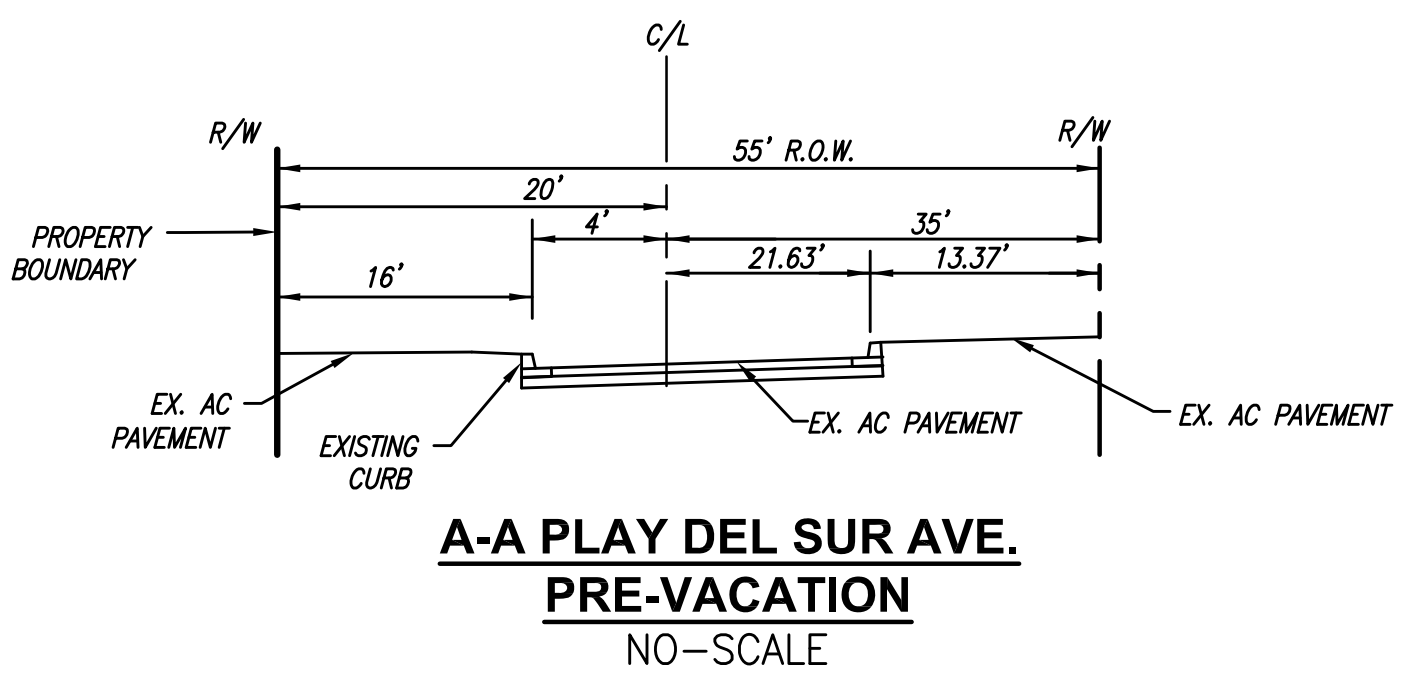
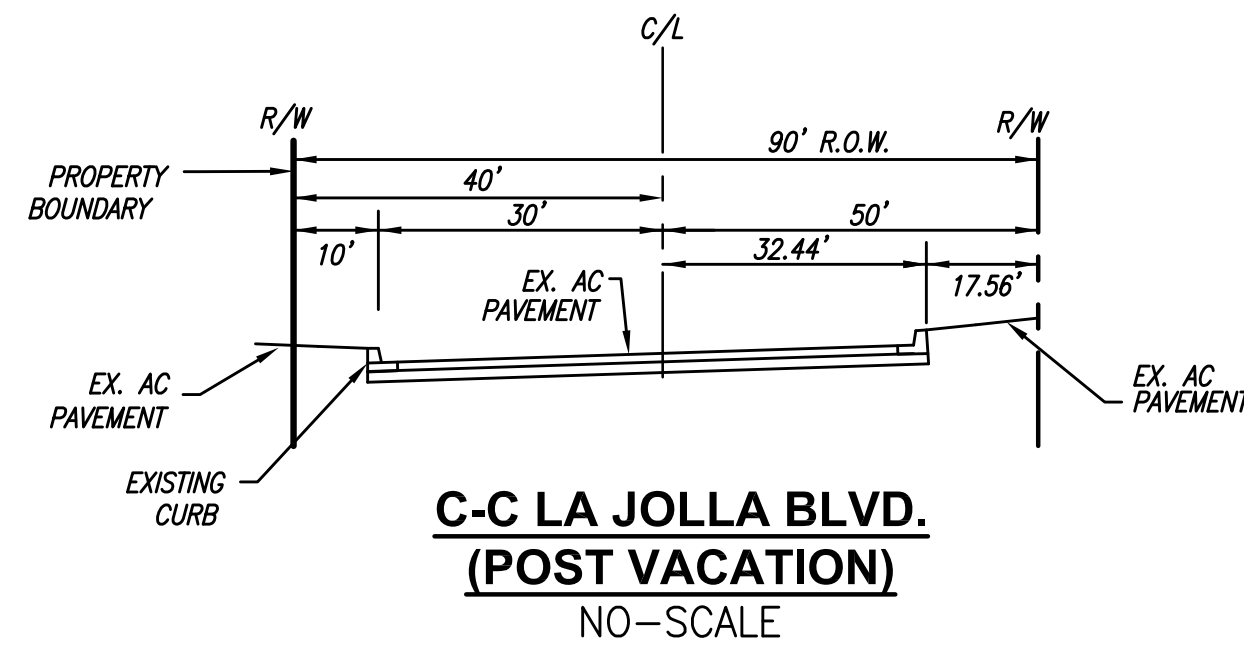
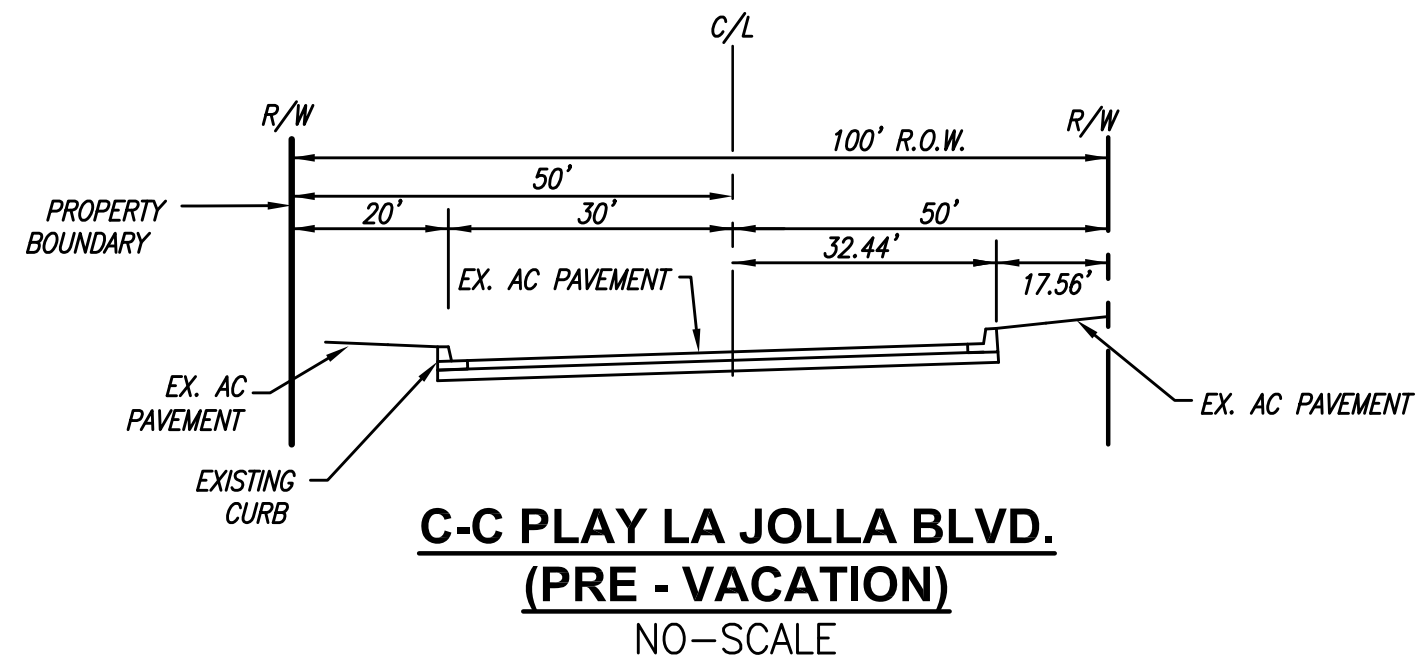
A.L.T.A./A.C.S.M. LAND TITLE SURVEY		
For the exclusive use of:		
MB ACQUISITIONS 110 PACIFIC AVENUE, SUITE 350 SAN FRANCISCO, CALIFORNIA 94111		
San Diego Land Surveying & Engineering, Inc.		
9685 Chesapeake Drive, Suite 445, San Diego, California 92123-1354 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 08-22-2014	Revised:	Revised:
Scale: 1"=30'	Drawn by: G.H.G.	Sheet 1 of 2 Sheets
Drawing: LaJolla 6738 ALTA2	351-382-11&16	

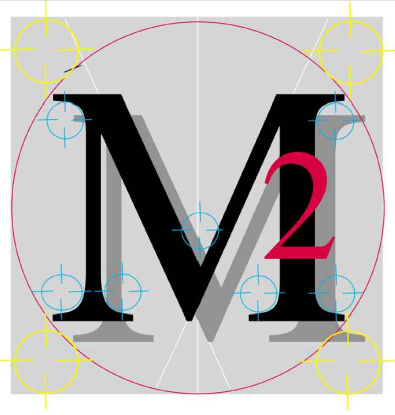




LEGEND

- TRAFFIC STRIPING/
MARKING: ———
- PROPOSED DEDICATION: [Hatched Box]
- PROPOSED VACATION: [Dotted Box]
- ① 2-WAY LEFT TURN LANE
- ② INTERSECTION STOP LINE
- ③ TRAFFIC MARKING
- ④ EXISTING CURB
- ⑤ PROPOSED CURB





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SU CASA
6738 LA JOLLA BLVD
LA JOLLA, CA, 92037

REVISIONS
2015-04-22 Completeness Submittal
2015-05-14 Full City Submittal



PHASE
DESIGN

PROJECT NO. 2014-26

REVIEWED BY **JRZ**

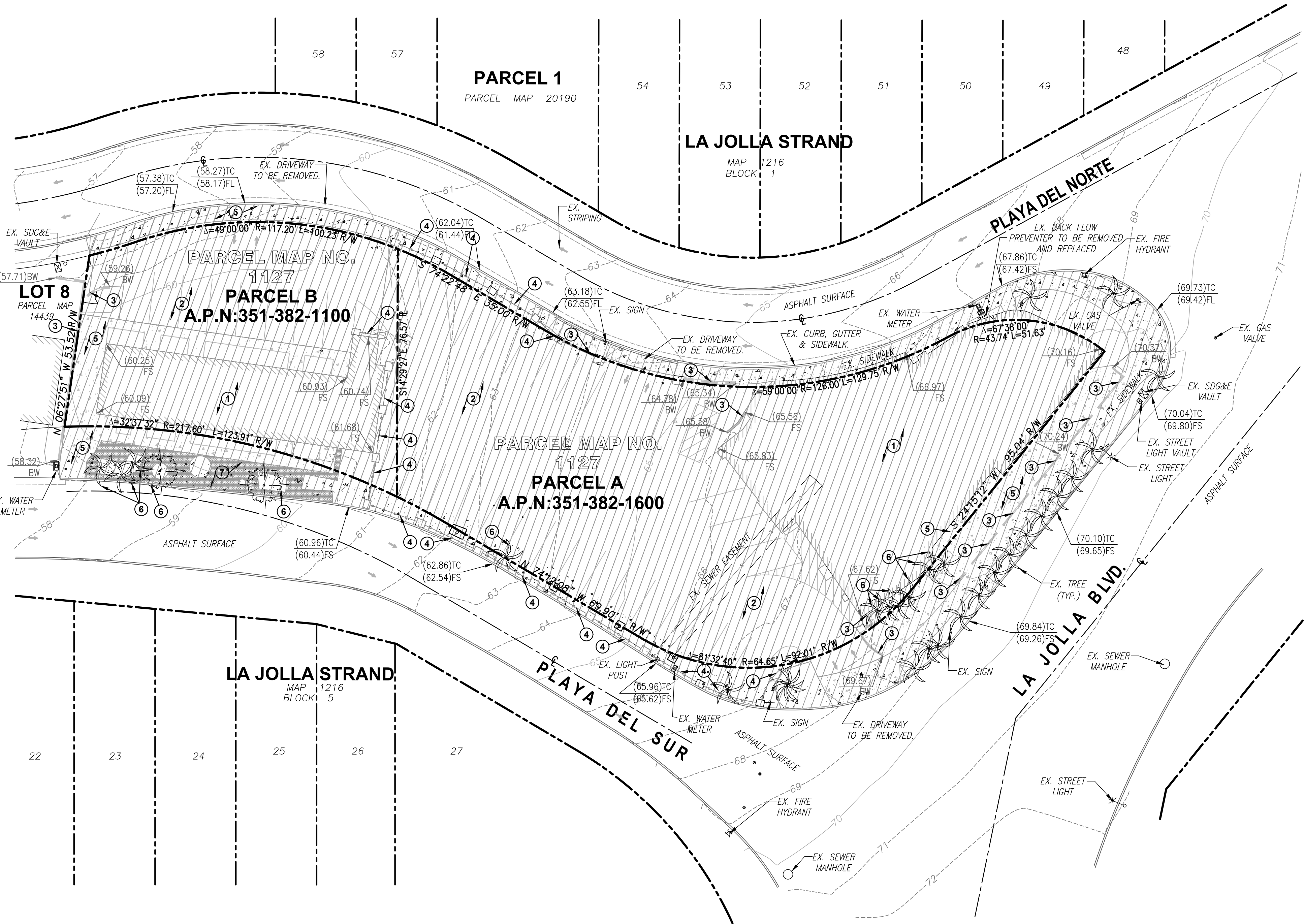
DRAWN BY **NJD**

DATE
10-08-2015

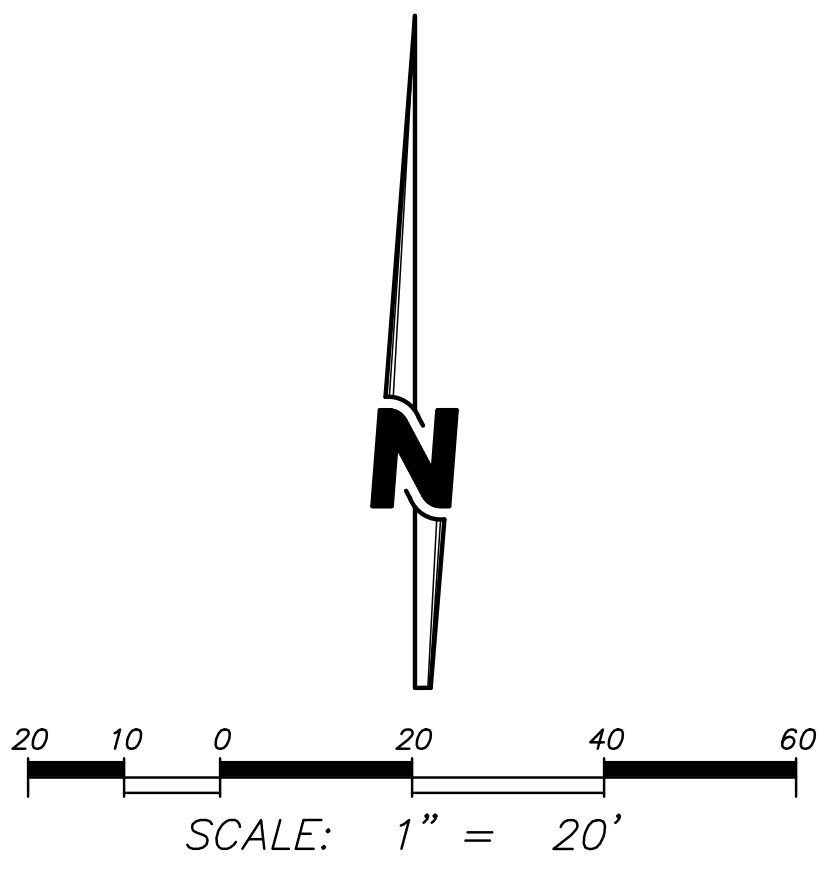
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SHEET TITLE
DEMOLITION PLAN
C-1
SHEET 1 OF 3

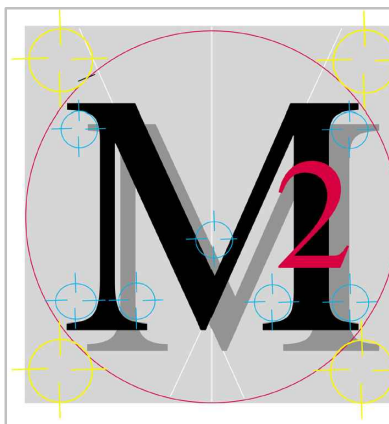
- LEGEND OF SYMBOLS**
- PROPERTY LINE
 - STREET CENTERLINE
 - EXISTING CONTOURS
 - SAWCUT LINE
 - EXISTING SPOT ELEVATIONS
 - EXISTING AC PAVEMENT, HARDSCAPE BUILDING TO BE REMOVED, (DEMOLITION AREA)
- DEMOLITION NOTES**
- DEMOLISH EXISTING BUILDING.
 - REMOVE EXISTING A.C. PAVEMENT.
 - REMOVE EXISTING WALL.
 - REMOVE EXISTING WOOD FENCE AND PILLAR.
 - REMOVE EXISTING P.C.C. PAVEMENT.
 - REMOVE EXISTING TREE.
 - REMOVE BRICK PAVEMENT.



PLANS PREPARED BY:
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SU CASA
6738 LA JOLLA BLVD
LA JOLLA, CA, 92037

REVISIONS
2015-04-22 Completeness Submittal
2015-05-14 Full City Submittal



PHASE
DESIGN

PROJECT NO. 2014-26

REVIEWED BY JRZ

DRAWN BY ND

DATE 10-08-2015

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SHEET TITLE
GRADING PLAN

C-2

SHEET 2 OF 3

SPECIFICATIONS/STANDARD DRAWINGS

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND THE CITY OF SAN DIEGO STANDARD DRAWINGS, AS LAST AMENDED.

LEGEND

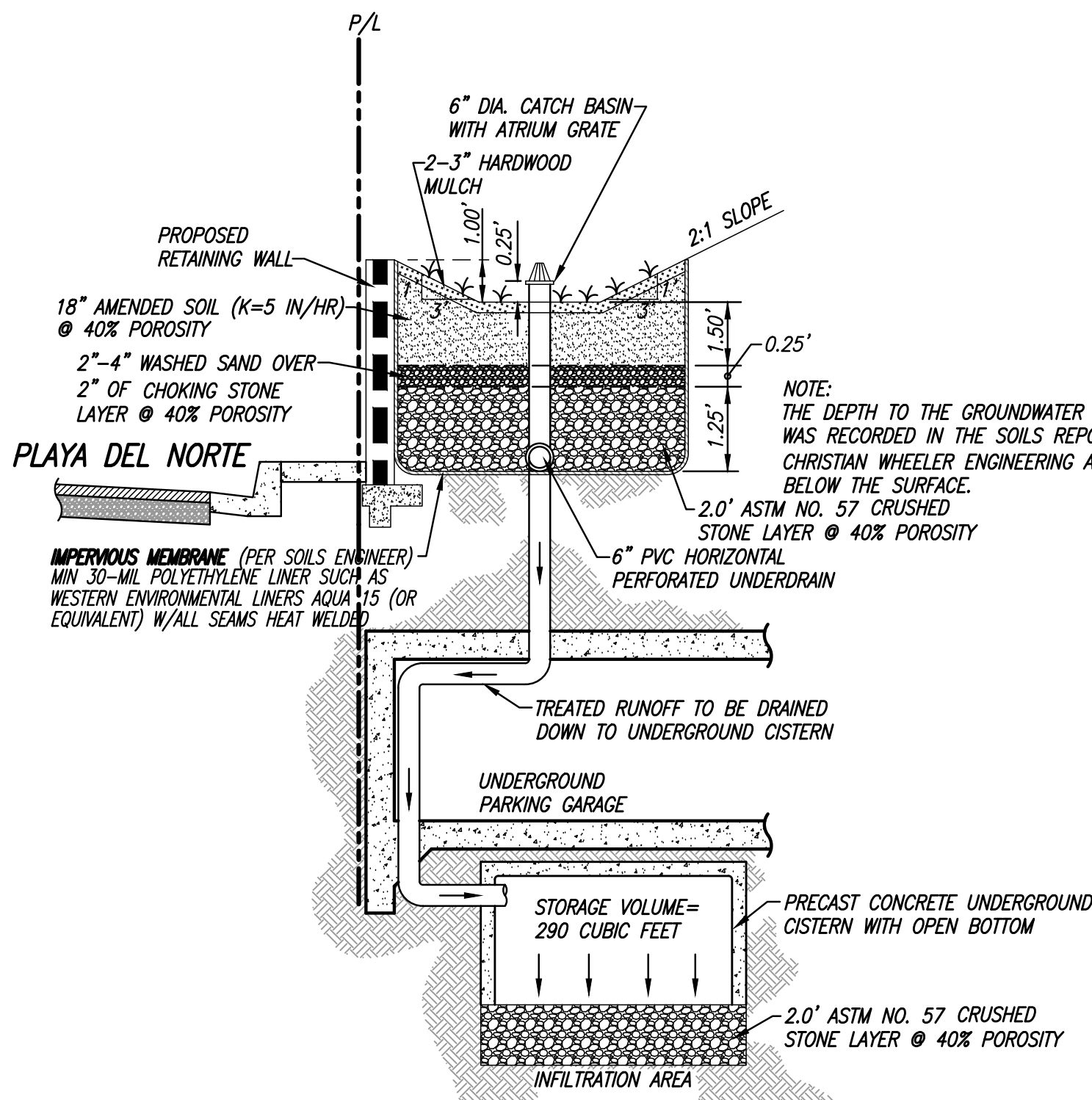
DESCRIPTION	SYMBOL
PROPERTY LINE	---
STREET CENTERLINE	---
EXISTING CONTOURS	---(XX.XX)---
PROPOSED CONTOURS	---(XX.XX)---
EXISTING SPOT ELEVATIONS	(XX.XX)FL
PROPOSED SPOT ELEVATIONS	(XX.XX)FL
DIRECTION OF DRAINAGE FLOW	---
P.C.C. PAVEMENT OVER 95% COMPACTED SOIL	---
6" PVC SOLID STORM DRAIN (PVT)	---

***GRADING QUANTITIES**

GRADED AREA	0.51 [ACRES]	MAX. CUT DEPTH	1.3' [FT]
CUT QUANTITIES	6,000 [CYD]	MAX CUT SLOPE RATIO	(2:1)MAX
FILL QUANTITIES	700 [CYD]	MAX. FILL DEPTH	1.3' [FT]
EXPORT	5,300 [CYD]	MAX FILL SLOPE RATIO	(2:1)MAX
NUMBER OF RETAINING WALLS	1 [EA]	RETAINING WALL HEIGHT	(4.0')MAX

THIS PROJECT PROPOSES TO EXPORT 5,300 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

*THE QUANTITIES OF CUT AND FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS. THE QUANTITIES ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY; THEY ARE NOT TO BE USED FOR JOB BIDDING PURPOSES. ACTUAL QUANTITIES MAY VARY DUE TO FACTORS SUCH AS SHRINKAGE OR SWELL, RETAINING WALL BACKCUT REQUIREMENTS AND THE RECOMMENDATIONS OF THE SITE SOILS REPORT.



PARTIAL INFILTRATION BIOFILTRATION BASIN

TYPICAL SECTION & OUTLET CONNECTION
NOT-TO-SCALE

PARTIAL INFILTRATION BIOFILTRATION BASIN MEDIA

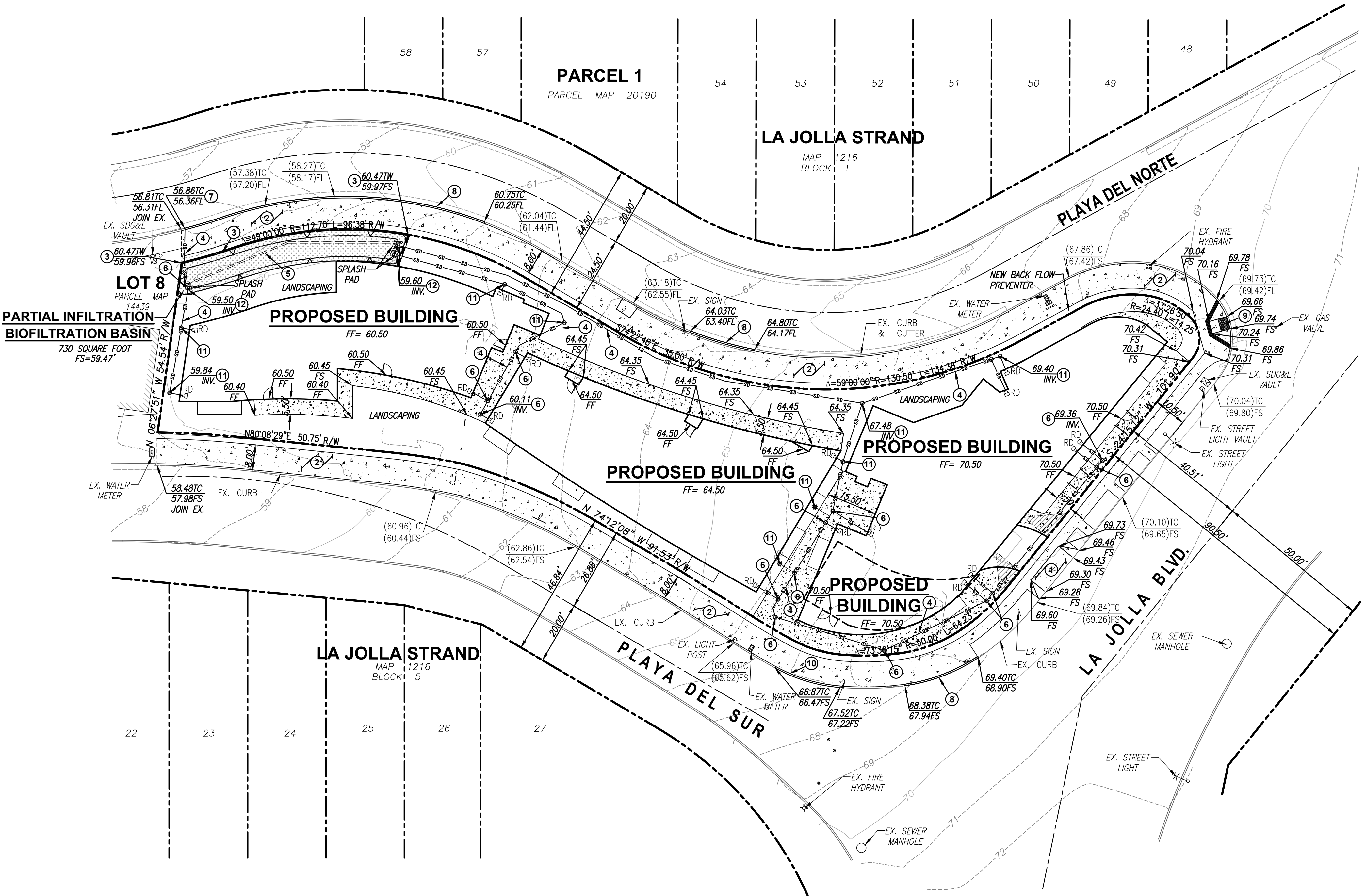
18" AMENDED SOIL LAYER
COMPOSITION AND TEXTURE:
65% SAND, 20% SANDY LOAM, & 15% COMPOST (FROM VEGETATION-BASED FEEDSTOCK). ANIMAL WASTES OR BY-PRODUCTS SHOULD NOT BE APPLIED.

PERMEABILITY:
5 IN/HR INFILTRATION RATE FOR THE FLOW-BASED SUSMP METHOD
(1-6IN/HR FOR ALTERNATIVE DESIGNS, AS APPROVED BY LOCAL JURISDICTION).

CHEMICAL COMPOSITION: TOTAL PHOSPHORUS < 15 PARTS PER MILLION (PPM); PH 6-8; CATION EXCHANGE CAPACITY > 5 MILLIEQUIVALENTS PER 100 GRAMS (MEQ/100 G) OF SOIL; ORGANIC MATTER CONTENT < 5 PERCENT BY WEIGHT.

18" DRAINAGE LAYER
SEPARATE SOIL MEDIA FROM UNDERDRAIN LAYER WITH 2 TO 4 INCHES OF WASHED SAND, FOLLOWED BY 2 INCHES OF CHOKING STONE (ASTM NO. 8) OVER A 1.0-FOOT ENVELOPE OF ASTM NO. 57 STONE.

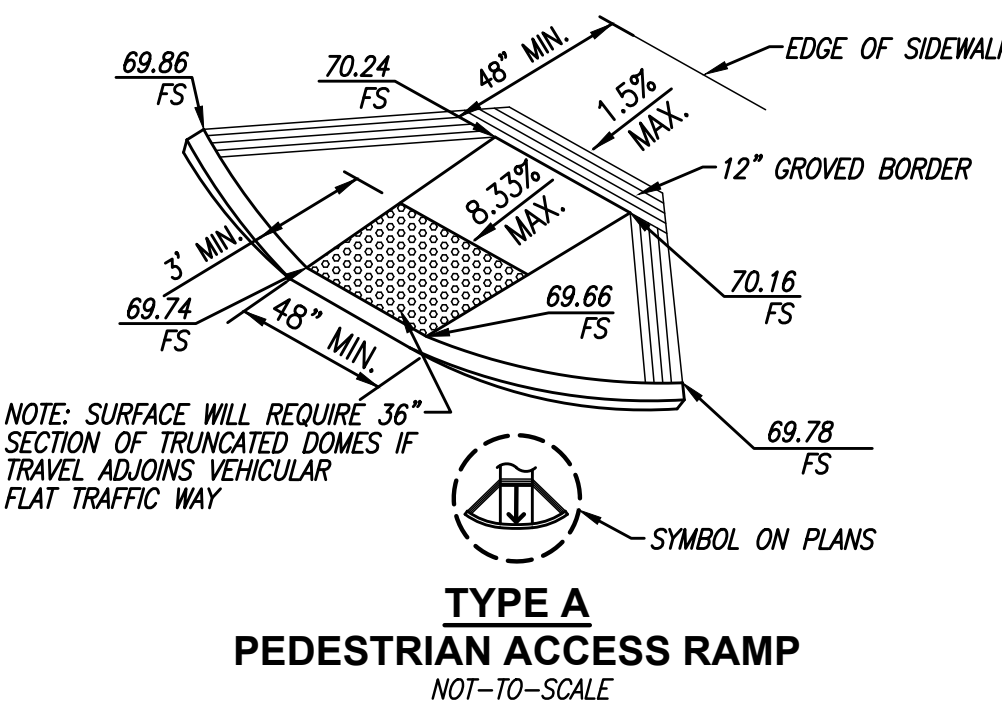
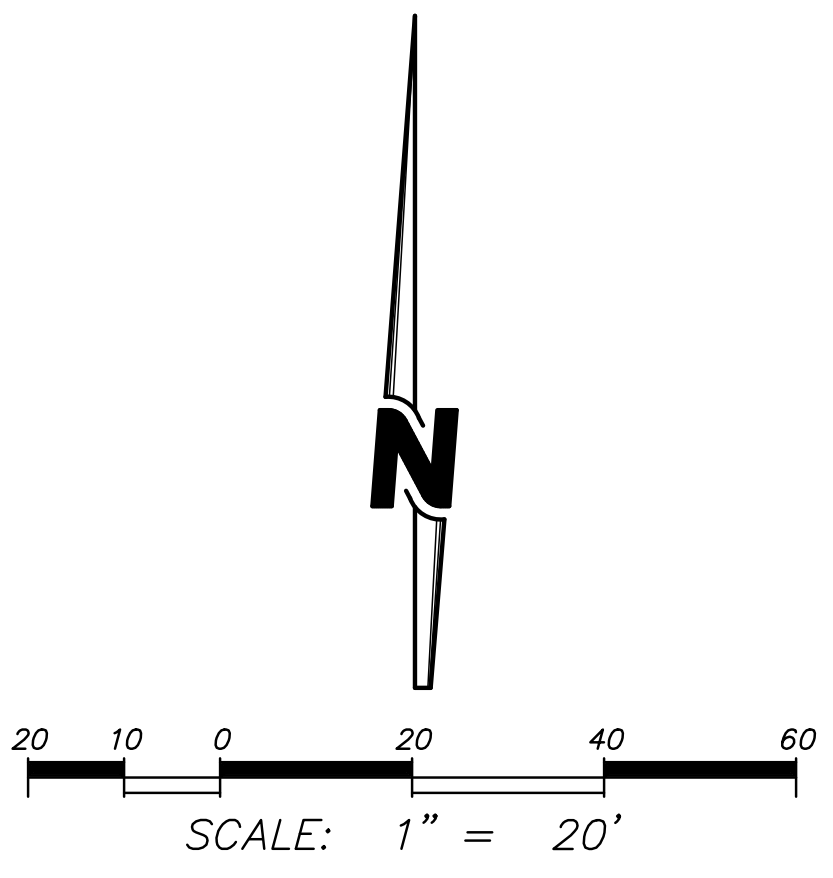
SURFACE VEGETATION
AS SPECIFIED BY THE LANDSCAPE ARCHITECT PLANS.



CONSTRUCTION NOTES

- CONSTRUCT 20' DRIVEWAY 7.5" P.C.C. PAVEMENT OVER 95% COMPACTED SOIL (PER SOILS ENGINEER).
- CONSTRUCT CONCRETE SIDEWALK PER SDG-155, 8.0' WIDE MIN. UNLESS OTHERWISE NOTED.
- CONSTRUCT RETAINING WALL PER SDRSD C-3.
- INSTALL 6" PVC SOLID STORM DRAIN @ 0.50% MIN (TYP).
- INSTALL 6" PVC PERFORATED UNDERDRAIN.
- INSTALL 6" PVC TEE WITH 6" PVC VERTICAL RISER TO FINISHED SURFACE. INSTALL 6" DIA. CATCH BASIN WITH FLAT GRATE.
- INSTALL SIDEWALK UNDERDRAIN-PIPE OUTLET PER D-27.
- SAWCUT AND REMOVE & CLOSE EX. DRIVEWAY. CONSTRUCT NEW CURB AND GUTTER PER STANDARD DRAWING SDG-151.
- CONSTRUCT SINGLE TYPE ADA ACCESS RAMP W/TRUNCATED DOMES PER SDG-132 TYPE A. SEE DETAIL HEREON.
- CONSTRUCT NEW CURB AND GUTTER PER STANDARD DRAWING SDG-151.
- INSTALL 6" PVC TEE WITH 6" PVC VERTICAL RISER TO FINISHED SURFACE. INSTALL 6" DIA. CATCH BASIN WITH ATRIUM GRATE.
- OUTLET SITE STORM DRAIN @ 3'x3' SPLASH PAD AT FLOW THROUGH PLANTERS FINISHED SURFACE.

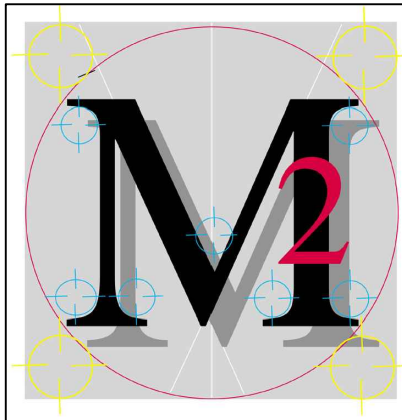
PLANS PREPARED BY:
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CIVIL ENGINEERING & LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA 92078
PHONE (760) 736-2040 FAX (760) 736-4866
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NOTE: SURFACE WILL REQUIRE 36" SECTION OF TRUNCATED DOMES IF TRAVEL ADJOINS VEHICULAR FLAT TRAFFIC WAY

TYPE A PEDESTRIAN ACCESS RAMP
NOT-TO-SCALE

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LA JOLLA, CA, 92037

REVISIONS
2015-04-22 Completeness Submittal
2015-05-14 Full City Submittal



PHASE DESIGN

PROJECT NO. 2014-26

REVIEWED BY JRZ

DRAWN BY ND

DATE 10-08-2015

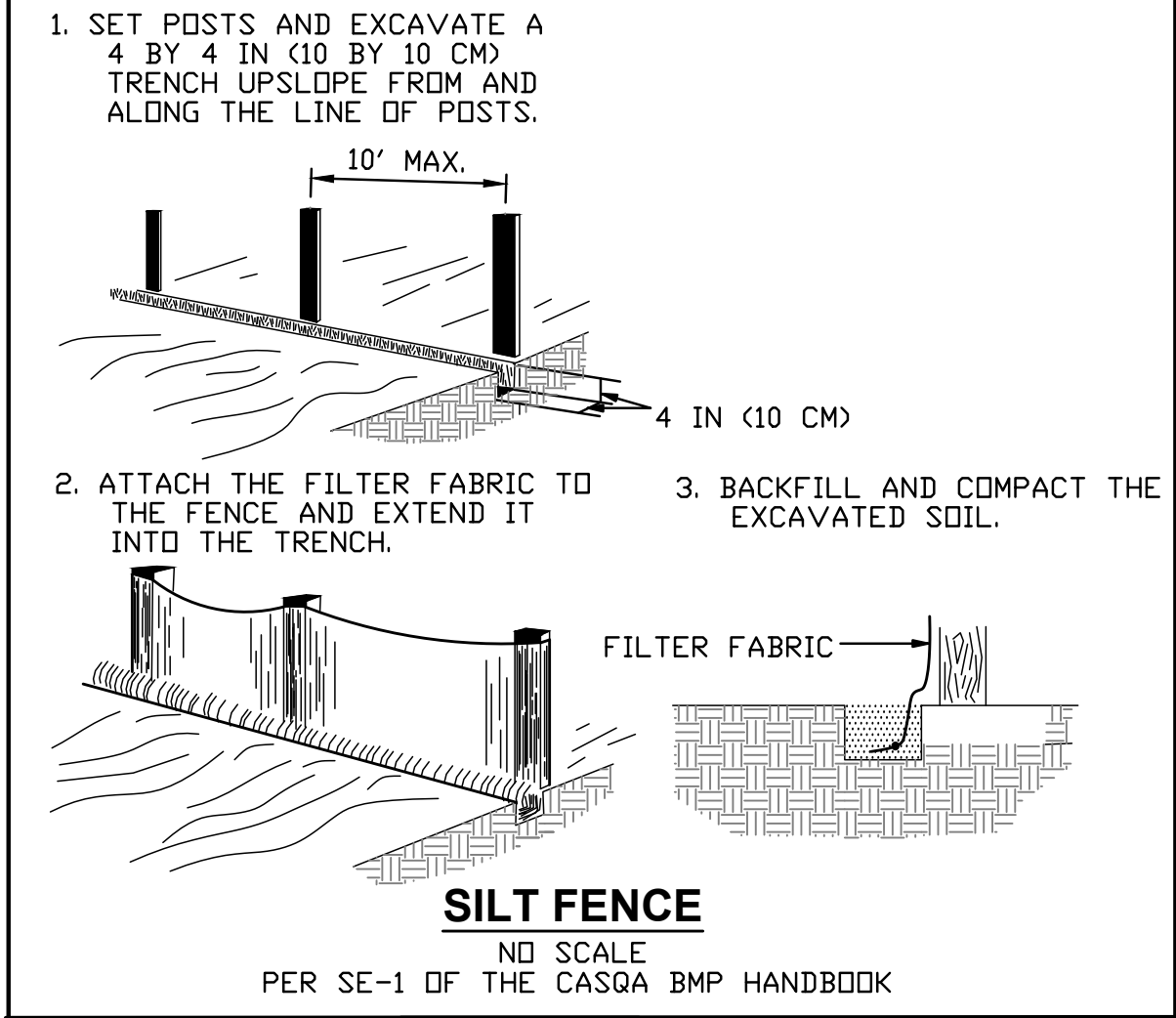
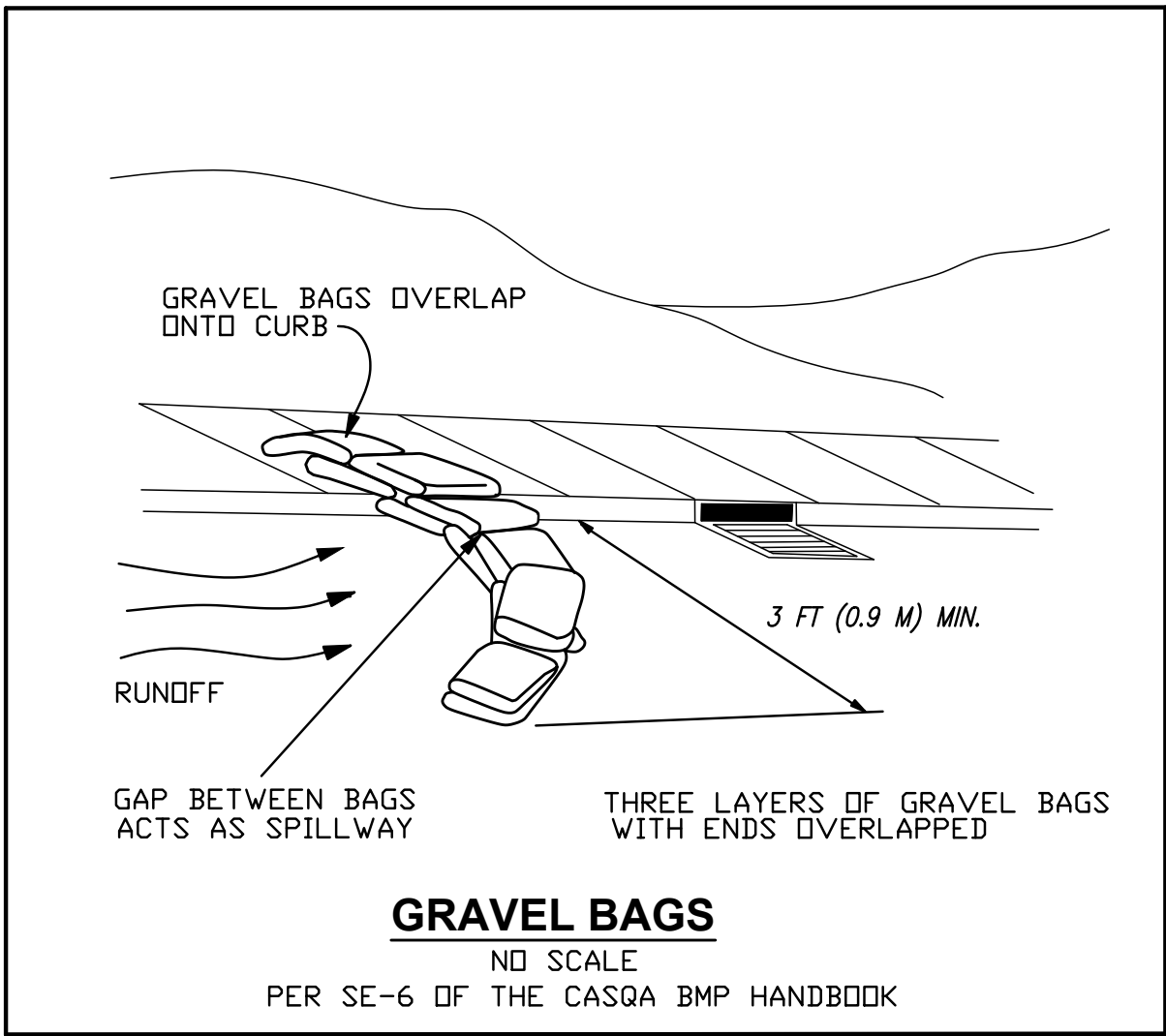
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SHEET TITLE

EROSION CONTROL

C-3

SHEET 3 OF 3

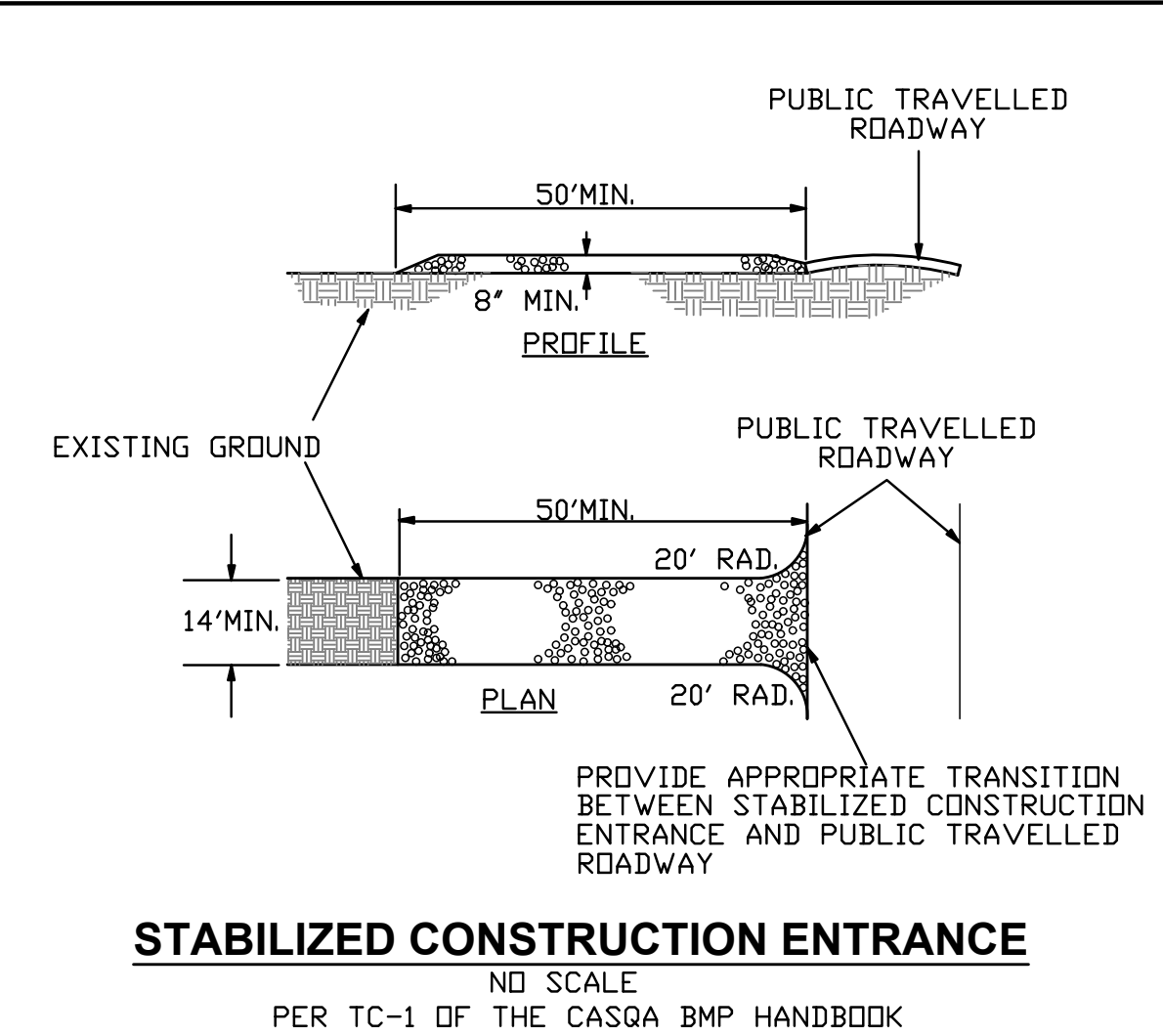
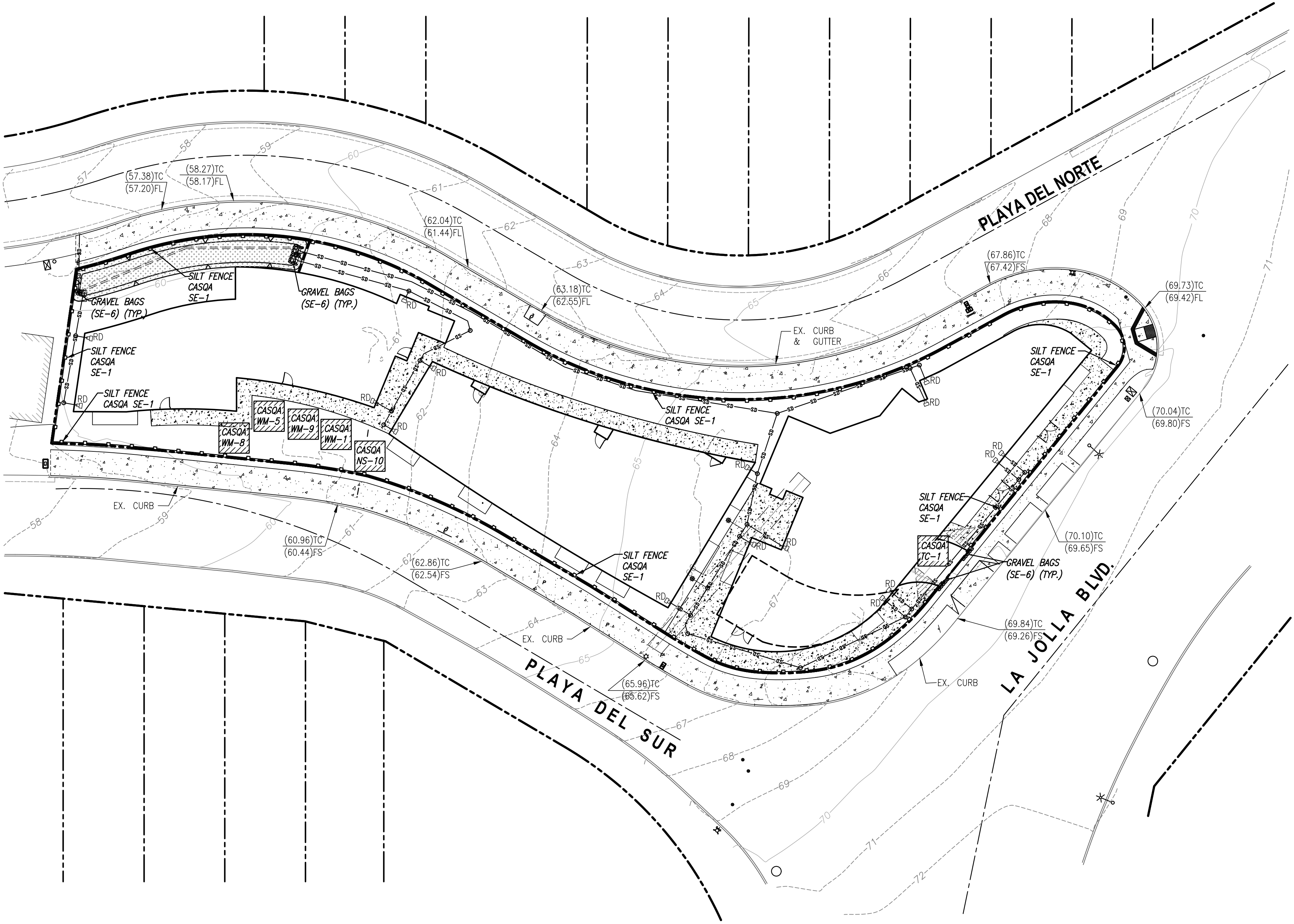


TEMPORARY CONSTRUCTION BMP LEGEND

CASQA NS-10	VEHICLE STORAGE AND EQUIPMENT MAINTENANCE	CASQA WM-8	CONCRETE WASHOUT WASTE MANAGEMENT
CASQA TC-1	STABILIZED CONSTRUCTION ENTRANCE	CASQA WM-9	SANITARY/ SEPTIC WASTE MANAGEMENT (PORTABLE TOILET)
CASQA WM-1	MATERIAL DELIVERY AND STORAGE AREA		SILT FENCE PER CASQA SE-1
CASQA WM-5	SOLID WASTE MANAGEMENT (TRASH DUMPSTER)		GRAVEL BAGS PER CASQA SE-6

STORM WATER QUALITY NOTES-CONSTRUCTION BMPs

- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD
[HTTP://WWW.SWRCB.CA.GOV/WATERSHEDS/PROGRAMS/STORMWATER/](http://www.swrcb.ca.gov/watersheds/programs/stormwater/)
AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE
[HTTP://WWW.SANDIEGO.GOV/DEVELOPMENT-SERVICES/INDUSTRY/STORMWATER.SHTML](http://www.sandiego.gov/development-services/industry/stormwater.shtml)
- SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

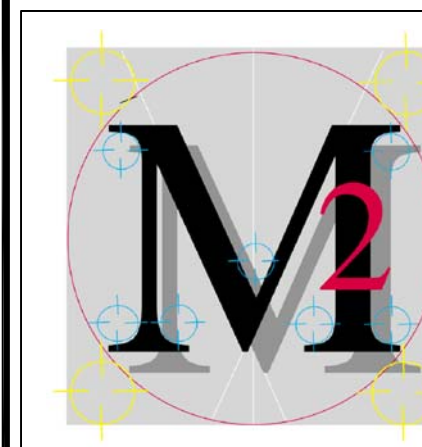


PLANS PREPARED BY:
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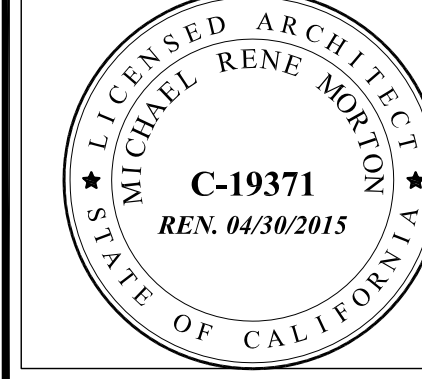
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
CIVIL
No. 45381
DANNY ABRAHAM

SCALE: 1" = 20'

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SU CASAS
6738 LA JOLLA BLVD
LA JOLLA, CA 92037

REVISIONS	
2015-04-22	Completeness Submittal
2015-05-14	Full City Submittal
2015-08-27	Full City Resubmittal
2015-11-10	Full City Resubmittal
2016-03-08	Full City Resubmittal
2016-08-22	Full City Resubmittal



PHASE	DESIGN
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PROJECT NO. 2014-26

REVIEWED BY CAM

DRAWN BY GR

DATE 08-22-2016

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SHEET TITLE
PROJECT SPECIFICATIONS
MILWAUKEE
THERMAL PROTECTION
SHEET METAL
JOINT SEALERS

SP-2
SHEET OF

- Supply and install all interior wood trim, door frames, castings, shelves, poles and plastic work as shown on the drawings and as directed by the owner. Field measure for fabricated items prior to fabrication.
- All interior exposed ceiling joists, beams or trim shall be finish grade. Finish treatment shall be confirmed with the Owner or Architect. Distresses treatments shall be confirmed with the Architect. Product wood species and finish shall be selected by the owner.
- Members shall be neatly and accurately scribed in place. All members shall be installed in full lengths. Joints shall be scarfed, corners mitered or coped. All members shall be fastened securely in place accurately and be scribed neatly to walls, ceilings or other surfaces so that open joints do not occur. All joints shall be filled and sanded after installation.
- Exposed Wood Frames for Doors and Windows**
Trim shall be called out or detailed on plans. Members shall be butt or miter joined. Cut members for tight fit, install plumb, and level with joint connections to structure.
- Nails and Fasteners**
Nails and fasteners shall be arranged in a straight line, uniform pattern, evenly spaced. All exposed fasteners shall be set and filled. Hammer marks are not acceptable. Damaged members shall be replaced. Exterior finish wood fasteners shall be stainless steel nails, unless shown otherwise.
- Closets:**
Closet hanging poles and support fittings shall be chrome finished metal. Hanging poles shall be provided with center supports for spans longer than 4'-0" in length.
- Installation shall be true to line and level, fasten securely and scribed to prior finish work for a tight fit. Provide one shelf (1x12), mounted at six feet six inches above the floor and one rod (1-1/2" diameter), mounted at six feet - six inches above the floor and 12" from the face of the rear wall at each clothes closet, whether or not such shelving and rod are shown on the drawings. Verify the requirement for closet layout with the owner.
- Confirm with the Architect the Owners desire for pole and shelf, or Owners Consultants closet design (if any).
- Interior Stairs and Handrails**
1. Supply and install stairs and handrails as shown and detailed on the drawings. Clear Douglas Fir, unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.
- Product and finish shall be as selected by the owner.
- Installation shall be true to line and level, fastened securely and scribed to prior finish work for a tight fit.
- F. Exterior Wood (Modify per Job- See Exterior Finish Notes)**
1. **Siding:** Grade: Tight Knot Douglas Fir, Re-Sawn, unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.
- Trim:** Grade: Tight Knot Douglas Fir, Re-Sawn (verify) unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections (verify with existing). Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.
- Fascia, Trim & 2 X 'S:** Grade: Tight Knot Douglas Fir, S4S unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.

DIVISION 6 - SECTION 4 - ARCHITECTURAL MILLWORK

- 1. GENERAL REQUIREMENTS**
A. Scope The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to, the furnishing and installation of all cabinets, shelving, casework and casework finish hardware.
- B. Special Requirements**
All work shall be in accordance with the latest edition of the Woodwork Institute Of California, (W.I.C.) Manual of Millwork All work performed under this section shall be performed by a State of California licensed cabinet contractor.
- 2. MATERIALS**
A. All materials shall be in accordance with the latest edition of the Woodwork Institute of California, (W.I.C.) Manual of Millwork and as listed herein.
- 3. PERFORMANCE OF WORK**
A. Casework: Casework shall be fastened securely in place accurately, tightly and scribe neatly to walls, ceilings or other surfaces as open joints do not occur.
11. Garage cabinets and shelving shall have melamine finished interiors and faces with laminate countertops.
11. Cabinetmaker shall adjust hinges and glides as need to allow even seams and smooth operation.
- 4. COMPLETION REQUIREMENTS** The Contractor is responsible for the cleaning of all components before final acceptance of the job. All component warranty and maintenance information shall be given to owner at project completion.

DIVISION 0700- MOISTURE PROTECTION

- 1. GENERAL REQUIREMENTS**
A. Scope
1. The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work includes but is not limited to: roofing, waterproofing, damp proofing, nonmetallic flashing, sealants, and waterproof coatings.
2. Gravel stops, flashing, and counter flashing are included under "sheet metal".
- 2. MATERIALS**
A. See Exterior Finish Notes, unless otherwise noted.
- B.** Below Grade Vertical Waterproofing:
1. Waterproofing shall be - "TUFF RUBBER (TR-950)" by **Optimum Safeguard Waterproofing** Or Architect approved equal. Telephone 1-800-794-5929.
2. BITUTHENE SYSTEM 4000", 60 mil. membrane by **W. R. Grace**, telephone, 1-(800) 237-2505.
3. Install in accordance with the manufacturer's specifications by a certified installer. Waterproofing contractor shall guarantee all labor and materials of waterproofing system for a period of five years.
- Drain board and Protection Fabric:** Shall be DB-55 drain board and PF-5 protection fabric by **Optimum Safeguard Waterproofing**. Install in accordance with the manufacturer's specifications.
5. Drainage Lines: shall be 4" (100 mm) diameter rigid perforated (holes down) PVC pipe. Locate bottom of pipe a minimum of 4" below bottom of slab. Surround pipe with 6" of gravel and filter fabric. Discharge line shall be a non-perforated 4" diameter rigid PVC pipe extending to daylight at slope.
- C. Sheet Waterproofing for Parapet and Horizontal Surface Waterproofing:** Membrane waterproofing system shall be **JIFFY SEAL 140/60** membrane, by **Protecto Wrap**, Or Bituthene 3000, by **W. R. Grace Company**, or equal.
1. Install in accordance with manufacturer's instructions.
2. Extend a continuous membrane a minimum of 9" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheet. Where membrane encounters vertical surfaces, the membrane shall extend 9" up the surface, and be lapped over by building wrap. No general nailing shall be done on horizontal surface of JIFFY SEAL.
3. For seal on vertical surface, use 160 H MASTIC or 184 M URETHANE or products manufactured by **Protecto Wrap**. Provide adhesive compounds and tapes recommended by waterproofing sheet manufacturer for flashing.
4. Provide collection course Amcor board or equal or as recommended by waterproofing sheet manufacturer.
5. Installer must examine substrate and notify contractor of unsatisfactory conditions. Do not proceed until these corrections have been corrected in a manner acceptable to installer.
6. Institute all required procedures for protection of completed membrane during installations of work over membrane.
- D. Building Weather Protection - Building Wrap**
1. Supply and install weather-resistive barrier to all weather exposed surfaces to fully protect the structure from water intrusion as required by UBC. The weather-resistive barrier shall constitute of building paper, penetration flashing at all wall openings and waterproof membrane as shown on the drawings and details and as specified below
2. Shall comply with CBC section 1402. Building paper: Shall be breather type Grade D sheathing paper meeting or exceeding federal specifications.
3. Building wrap shall be applied horizontally with the upper layer lapped on the lower layer not less than 2 inches and end laps shall be not less than 6 inches. Two layers of 60 mil. minimum grade "D" building paper.
4. Building paper shall be: **Fortifiber Corp.** "SUPER JUMBO-TEX" or approved equal. Telephone: 1-(800) 443-4079. Install all materials per manufacturer's specifications
5. Use "JIFFY SEAL" 140/60 at all corners as noted on plans. Install over two layers of building paper with one layer building paper lapped over "JIFFY SEAL" or as noted or shown on details.
- 6. Alternate Building Wrap Layer:** Base Layer: Tyvek "Home Wrap" house wrap by **Dupont**. Telephone (800) 448-9835. Install per manufacturers specifications.
7. Penetration Flashing: Shall be 12" wide heavy-duty reinforced Moistop or equal between building wrap layers conforming to federal specifications.
8. Building Wrap: Shall be installed in accordance with manufacturer's installation instructions using primer form same manufacturer, as required
- E. Door & Window Flashing**
Sheet metal head flashing shall be per plan notes and details.
- Penetration Flashing shall be "MOISTOP" by Fortifiber Corp.** Flashing including flashing sealants shall be installed per manufacturer's instructions
- Windows, Doors and Skylights: Windows, Door and Skylights shall be per plans. Contractor to verify all rough openings with manufacturer. Provide for unit installations as required, and install per manufacturers instructions. See schedules for Windows, Door and Skylights sizes
- F. Roofing:** (See Roof Notes on Roof Sheet for Project Specific Roofing)
- 1. Roofing Underlayment**
a. 40# fiberglass reinforced felt underlayment sheet. Install per manufacturers instructions. As manufactured by **GS Roofing Products** (or architect approved equal).
- 2. Waterproofing at roof areas less than 4: 12 and Alternate Roofing Underlayment:**
a. "Ice and Water Shield" By **W. R. Grace**. Install per manufacturer's instruction. With a #40 roofing felt installed over membrane.
- 3. Roofing System:** 40 Year UL 790, Class A Roof (See Roof Notes on Roof Sheet for Project Specific Roofing)
- a. Fluorocarbon Roof Sheet:** Shall be Fluorocarbon Black "Eli" or Owens Corning Black "Eli" by **Eli, Inc.** or **Owens Corning**. IBCO ES ER 5443 (match existing). Install with exposure pattern to match existing over underlayment Roofing system installed by a licensed roofing contractor. Roofing system shall have a minimum 10-year labor and material warranty.
- b. Tile Roofing shall be: US Tile Roofing or equal.**
1. Install per manufacturers specifications
2. Lace all tile in valleys.
3. Mortar set all edge & hip tiles.
4. Use copper flashing throughout.
5. Use #40 tile under underlayment.
6. Use torch down roofing at all horizontal surfaces.
7. Cricket all flat roof to vertical wall joints with copper flashing over solid wood cart.
8. Roofing shall be installed in accordance with manufacturer's specific installation procedures.
9. Provide all required sheet metal flashing and caulking.
10. Roofing system shall be installed by a licensed roofing contractor per manufacture's specifications. Roofing system shall have a minimum 10-year labor and material warranty against leaks.

- Contractor shall have a meeting with the roofing contractor, owner and architect prior to installation to review drawings, and any questions or concerns regarding the roof details, installation, finish, and roof maintenance.
- G. Deck and Balcony Waterproofing:**
1. Surface Preparation: Wood surfaces shall be clean, dry, and free of sharp protrusions, dust and voids. Repair all area as needed before applying membrane. All exposed metal surfaces that will be in contact with waterproof membrane are to be clean and free of all paints, oils, rust and any other contaminants.
- 2. Counter-slopes:** Area of crickets and counter sloped to allow drainage to deck drains and scuppers shall be sloped 1/8" per 12" (minimum) with G-26 (latex -cement) flooring underlayment by **Crossfield Products Corp.4072**
- 3. Deck Railing System:** Per drawings and details. To be approved by owner.
- 4. Metal Flashing and Counter Flashing:** All exterior flashing to be 16 oz. copper unless otherwise noted. All exposed copper shall have a mill finish. Hem all exposed edges.
5. **Stone (Tile Flashing and Counter Flashing):** Provide a #7 square foot allowance for material only. Flooring material as selected by owner, verify floor tile pattern. Provide 4 sample stone pieces for owner review and approval.
6. **Deck Surface Waterproofing:** Waterproofing system shall be "Dex-o-Tex. Weatherwear " by **Crossfield Products Inc.** I.C.B.#.0 1338. Extend a continuous waterproof membrane a minimum of 6" above edges of deck. Installed in strict accordance with manufacturer's specifications by a manufacturer's certified installer. General Contractor shall follow manufacturer's specifications for plywood substrate.
7. **Water Test:** After membrane is installed plug all scuppers and drains and flood test deck with a min. of 1" of water for 24 hours.
8. **Protection Board:** By **W. R. Meadow, Inc.**, telephone (706) 883-4500: PC-2 or approved equal, (1/8") protection board. Install per manufacturers specifications.
9. **Mortar Bed:** 3.5# self furred expanded metal lath reinforced mortar bed, 3/4" minimum 1 -1/2" maximum thickness. Mortar bed is dependent on stone thickness.
10. **Seal Penetrations through Deck:** Provide a #7 square foot allowance for material only. Flooring material as selected by owner, verify floor tile pattern. Provide 4 sample stone pieces for owner review and approval.
11. **Grout:** Color to be selected by owner.
12. **Penetrating Sealer:** For stone and grout, "Enviroseal Double 7" by **HYDROZO INC.**, telephone 1-(800) 422-1902. Penetrating, non-staining, non-coloring, or de hardening, water repellent sealer to be applied on all stone and grout surfaces. Prior to application a sample application to a 2' x 2' stone and grout a sample shall be done for approval. Apply per manufacturer's specifications. Sealer shall be re-applied every 2 years maximum.
13. **Gulking and Sealant:** Manufactured by Dow Corning Corporation, telephone (510) 490-0650.
14. One-part, silicone glazing and waterproofing sealant: Dow Corning #795 - medium modulus, Silicone Building Sealant.
- 3. PERFORMANCE OF WORK**
A. All materials shall be installed per manufacturer's recommendations, unless noted otherwise on plans.
- B.** Installer must examine substrate and notify contractor of unsatisfactory conditions. Do not proceed until these corrections have been corrected in a manner acceptable to installer.
- C.** All materials and warranties shall be warranted by the installer and manufacture for a period of not less than ten years for date of project completion.

DIVISION 07200 - THERMAL PROTECTION - INSULATION

- 1. GENERAL REQUIREMENTS**
A. Scope
The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work shall include but is not limited to; all wall, perimeter foundation, raised floors, ceiling and other insulation locations specified on the drawings.
- B. Special Requirements**
All work performed under this section shall be performed by a State of California licensed contractor.
- 2. MATERIALS**
A. Batt Insulation: Foil faced glass fiber thermal insulation by **Owens Corning** or approved equal. Foil faced side of insulation shall be placed toward interior (heated) side of exterior walls, roofs, and raised floor joists.
- C. Rigid Insulation:** AMOFOAM-CM by **TENNECO**, Telephone (800) 241-4402. Attach to substrate with a polystyrene compatible adhesive. Do not leave exposed above the grade line.
- Protection Board:** AMOCOR-PB4 (1/4") protection board by **TENNECO**, Telephone 1(800) 241-4402. Do not leave exposed above the grade line.
- See plans for Insulation values** and State of California, Title 24 Energy Calculations and notes.
- 3. PERFORMANCE OF WORK**
A. Supply and install thermal and acoustical building insulation in the framed portions of all roof/ceiling assemblies, framed walls and all floors that separate conditioned and unconditioned spaces. Insulation shall also be installed in the walls, ceiling, and floors of new and existing portions of all bedrooms, bathrooms, and laundry or utility rooms.
- B.** Batt type insulation shall comply with the California Quality Standards for Insulating Materials. The installer shall post a signed certificate indicating compliance with the Energy Efficiency adopted by the California Energy Commission.
- C.** Installation of thermal or acoustical insulation shall be in accordance with the manufacturer's written installation instructions.
- D.** Contractor shall provide and install thermal or acoustical insulation minimum values as follows: (or as noted on the plans)
New 2x4 walls: R-13 - Batt
New 2x6 and 2x8 walls: R-19 - Batt
New 2x10 or deeper walls: R-30 - Batt
Existing 2x4walls: R-13 - Batt or Blown Wood
New & Existing Raised floors: R-19 - Batt
Insulation between floor levels: R-19 - Batt
Vaulted or Roofs Areas: R-19 - Batt (minimum)
Attic space (as listed on plan): R-19 - Batt (minimum)
New and existing hot water storage tanks: R-12
HVAC Ducts in unconditioned spaces: R-4.2

DIVISION 07600 - SHEET METAL

- 1. GENERAL REQUIREMENTS**
A. Scope
This section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to sheet metal work shown, noted or specified.
- B. Special Requirements**
1. All work performed under this section shall be performed by a State of California licensed sheet metal contractor.
2. Supply and install copper, stainless steel, galvanized, scuppers as indicated on the drawings or as directed by the Architect or Owner, including miscellaneous items required for a completely water tight job.
3. Contractor shall avoid installing copper flashing in contact with metal or aluminum. Where contact is anticipated, the Contractor shall notify the Architect.
- 2. MATERIALS**
See exterior finish notes for materials, unless noted otherwise.
1. All work shall be performed by a State of California licensed sheet metal contractor.
2. Exterior Sile and Roofing: Shall be 24 gauge galvanized steel sheet metal.
3. Galvanized sheet metal shall be zinc coated steel, ASTM A562, with 0.20% copper, G90 hot dipped galvanized, mill phosphatized where indicated for painting. Sheet metal shall be 26-gauge minimum, unless otherwise noted. All cut metal edges shall be sealed with **Cold Galv.** All exposed edges to be hemmed back 1/4" unless detailed otherwise. Submit shop drawings of all custom fabricated items for Architect's review.
- Copper Sheet Metal**
Items include but are not limited to; flashing, counter flashing, gutters, roof penetrations and miscellaneous exterior metal. Use 20 oz. copper unless otherwise noted. All work shall be copper. All exposed edges to be hemmed back 1/4" unless detailed otherwise. Submit shop drawings of all custom fabricated items for Architect's review.

- 3. PERFORMANCE OF WORK**
A. Workmanship
1. All work shall conform to the Sheet Metal and Air Conditioning Contractors National Association (S.M.A.C.N.A.) Architectural Sheet Metal Manual, latest edition.
2. All work shall be installed and finished in place and painted to match color of adjoining materials, unless noted otherwise.
- B. Concealed Ducts for Exhaust Fans and Blowers**
Same cross sectional areas as fan discharge opening, fabricated with smooth locked seam joints. Transitions: as short and direct as the material will allow. Also, refer to mechanical specifications.

DIVISION 07700 - PREFABRICATED ROOFING SPECIALTIES

- 1. GENERAL REQUIREMENTS**
A. Scope
This section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to prefabricated roof specialties and work shown, noted or specified.
- B. Special Requirements**
1. All work performed under this section shall be performed by a State of California licensed Roofing contractor.
- 2. MATERIALS**
See Roofing notes for materials, unless noted otherwise.
- 3. PERFORMANCE OF WORK**
1. Supply and install roof vents as indicated on the drawings.
2. Product shall be half round dormer roof vents, or as shown on drawings.
3. Vents as manufactured by Harlen Metal Products, Inc., or approved equal. Roof vents of alternate manufacturers must provide a minimum of 73" square inches of free vent area each, unless additional vents are installed to provide equivalent total vent area.
4. Installation shall conform to the written instructions of the manufacturer and shall be coordinated with the work of the roofing installer. Provide curbs, flashings, fasteners, and accessories necessary for a fully watertight installation.
5. Install all plumbing vent stack, exhaust fans, or other miscellaneous roofing items as shown on the roof plan.
6. Group all roof vent pipes and vents to be not be visible from street or entry.

DIVISION 07900- JOINT SEALERS

- 1. GENERAL REQUIREMENTS**
A. Scope
This section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to sealant application or work shown, noted or specified.
- B. Special Requirements**
1. All work performed under this section shall be performed by a State of California licensed contractor.
2. Supply and install all sealants and sealant accessories as indicated on the drawings or as directed by the Architect or Owner, including miscellaneous items required for a completely water tight job.
3. Sealants for project shall be verified by contractor for specific application, substrate preparation and installation. A Dow Corning representative or other sealant manufacturer rep. shall be consulted to verify sealant application and if surface primers will be required for proper installation.
- 2. MATERIALS**
A. Caulking and Sealant: Caulking and sealant shall be manufactured by **Dow Corning Corporation**, telephone (510) 490-0650, or architect approved equivalent product
1. One-part, midweb resistant silicone sealant: Dow Corning #786 - Midweb Resistant Silicone Sealant.

- One-part, ultra-low modulus (+100%-50% movement), electrometric sealant: Dow Corning # 790 -Silicone Building Sealant.
- One-part, medium modulus (+50% movement), weatherproofing sealant: Dow Corning # 791 - Silicone Perimeter Sealant.
- One-part, medium modulus (+50% movement), silicone glazing and waterproofing sealant: Dow Corning #795 - Silicone Building Sealant.
- One-part, high modulus (+25% movement), structural glass sealant: Dow Corning # 799 - Silicone Structural Adhesive
- One-part, high modulus (+25% movement), glazing sealant: Dow Corning # 999A - Silicone Building & Glazing Sealant
- For sealant adjacent to or in contact with "JIFFY SEAL", see sealant specified in section 2 item E.
- Backers:** Inert fibrous glass, polyethylene or polyurethane as acceptable to sealant manufacturer.
- 3. PERFORMANCE OF WORK**
A. Sealant shall be non-drying gun applied to make a watertight seal at all joints, sills, windows, door, trim elements, etc. Backer rods or bond breaker agents shall be used depending on the specific application.
- B.** Sealant for each panel application shall be reviewed by the contractor for compatibility with surrounding materials prior to application. Color of exposed sealant shall match surrounding materials. Surfaces to be sealed shall be properly cleaned prior to application.
- C.** Sealant installation shall be in accordance with the manufacturer's written installation instructions. Mask surfaces not to be sealed. Apply sealant manufacturer's recommended primer.
- D.** Supply and install sealants with backer rods, to provide a watertight installation. Conform to the recommendations of the manufacturer. Colors shall match adjacent surfaces unless otherwise directed by the Architect.
- E.** Maximum 3/8" sealant depth unless otherwise shown. Minimum joint width is 1/8" for metal-to-metal joints and 1/2" maximum width elsewhere. Apply sealant under sufficient pressure to fill voids. Finish exposed joints smooth and flush with adjoining surface unless recessed joints are shown. Remove temporary masking as soon as joint is completed.
- F.** Clean material from surfaces not to receive sealant and restore the finish as required. If surfaces adjoining joints are stained and cleaning is not acceptable to the Owner, remove the affected work and provide new finish materials as directed and approved, at net extra cost to the Owner.
- G.** Seal penetrations through walls and roof assemblies using 3-M Fire-Barrier manufactures by 3-M Company Inc., installed to the specifications and recommendations of the manufacturer.
- H.** Warranty: Sealants shall have a 20-year warranty.

DIVISION 08500 - DOORS AND WINDOWS

- 1. GENERAL REQUIREMENTS**
A. Scope: The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes furnishing and installing doors, glass, windows and mirrors.
- B. Special Requirements**
1. All work performed under this section shall be performed by a State of California licensed contractor.
2. All installed glazing shall receive a protective coating or covering to protect finish after installation.
- Where windows and or doors are to be replaced or relocated, the Contractor shall coordinate with the Owner for removal and storage. The existing openings shall be field verified and modified as needed to accommodate the new door or window. If the walls or header must be enlarged, the Architect shall be notified prior to work starting.
- Provide emergency exit doors or windows from sleeping rooms.
- 2. MATERIALS**
A. Doors
All interior doors shall be by **T.M. COBB** unless noted on plans.
- Door style and finish shall be selected by architect and approved by owner.
- All exterior doors shall be shall be 1-3/4 inch thick solid core, fabricated with Type I adhesives.
- All doors to bedrooms, bathrooms and laundry room shall be 1-3/4" solid core. All others shall be 1-3/8 inch hollow core, fabricated with type II adhesives at interior doors.
- All door frames shall be 1-1/4 inch thick grade Douglas Fir, width shall match wall thickness.
- All doors from interior of house to garage shall have a fire rating of 20 Minutes door and frame, equipped with a self closure. See **Door and Window Notes** and Title 24 Energy Notes for additional requirements.
- B. Mirrors**
1. Shall be 1/4 inch crystal, clear polished edges, no exposed frames or clips, with fully sealed back.
- C. Operable Windows**
1. See Window Schedule, plans, or manufacturer's specifications.
2. Also, see Door and Window Notes and Title 24 Energy Notes for additional requirements.
3. Net clear window opening area shall be not less than 5.7-sq. ft. (821-sq. in.) minimum. Net opening height dimension, 24" clear minimum. Minimum net opening width dimension, 20" clear. Finished sill height maximum, 44" above floor.
- D. Fixed Windows**
1. Unless otherwise noted shall be the same manufacturer as operable windows.
- E. Miscellaneous Fixed Glass**
1. As noted on plans.
- F. 08360 Sectional Overhead Doors-(See Door Schedule).**
1. Supply and install sectional overhead doors and operating hardware as shown on the drawings. Supply and install garage door openers as directed by Owner.
2. Product shall be four section wood or other specified material door and door manufacturer's operating hardware. Submit manufacturer's catalog cuts to Owner for selection.
3. Installation shall be in accordance with the manufacturer's written installation instructions.
- G. Shop Drawings (if requested)**
1. Shop drawings of all exterior door and window installations to be submitted to the Architect for review prior to fabrication.

- 3. PERFORMANCE OF WORK**
A. Installation
1. All doors, glazing and windows shall be installed per manufactures specifications.
2. Glass shall be cut smooth with straight edges, accurately sized as required with proper clearance for expansion.
- B. Breakage and Damage**
Breakage and damage of any kind shall be repaired or replaced by the Contractor.
- 4. COMPLETION REQUIREMENTS**
1. The Contractor is responsible for the cleaning of all glass, widows and door frames before final acceptance of the job.
2. All component warranty and maintenance information shall be given to owner at project completion.

DIVISION 08200 - WOOD DOORS AND WINDOWS

- 1. GENERAL REQUIREMENTS**
A. Scope: Supply and install wood exterior and interior doors as shown on the drawings. Doors shall conform to the applicable Industry Standard of the National Wood Window and Door Association (NWWDA). Store and handle doors in accordance with the recommendations of NWWDA and the manufacturer.
- B. Special Requirements**
1. All work performed under this section shall be performed by a State of California licensed contractor.
- 2. MATERIALS**
A. Wood doors shall be:
1. Exterior Flush Doors: 1-3/4 inch thick, 5-ply construction glued-up solid wood, or 7-ply construction particleboard core with sound grade birch or medium density overlay veneer unless otherwise shown. Trim shall be added if shown on drawings.
2. Exterior Sile and Roofing: 1-3/4 inch thick solid wood stile and rail and solid wood raised panels. Joinery shall be either dovetail or mortise and tendon. Glazing, if indicated, shall be fully tempered to ANSI Standards.
3. Exterior Glazed Doors: 1-3/4" thick solid wood rail and stile door with individual panes of glass as shown on the exterior elevations. Glass shall be tempered to ANSI Standards.
4. Interior Doors: Flush 1-3/8" or 1-3/4" thick solid core, sized per the drawings. If other than flush door (raised panel, etc.) is indicated, door design shall be selected by the Owner from the Contractors supplier's submittal.
- B. Wood windows shall be:**
1. Comply with NWWDA Standards 1.5.2 and 1.5.4 with a Quality Certification Label on each unit. Install to the specifications and recommendations of NWWDA and the manufacturer.
2. Products shall be as selected by the Owner and shall be shop glazed.
3. Installation shall be in accordance with the recommendations of NWWDA and the manufacturer.

DIVISION 08700 - FINISH HARDWARE

- 1. GENERAL REQUIREMENTS**
A. Scope: The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes, but is not limited to, the furnishing of all finish hardware including, door handles, door stops, door hinges, cabinet door pulls, and miscellaneous hardware necessary for a finished project.
- 2. MATERIAL AND INSTALLATION**
A. Material as selected or specified for project.
- B.** See Door and Window Notes and Cabinet Schedule and Notes.
- C.** All hardware not specified shall be selected and/or approved by the owner prior to installation.
- D. Door Hardware**
1. All locksets and dead bolts shall be operable by one key. All keys shall be tested in locks, properly tagged for location and delivered to owner.
2. Provide four (4) complete key sets to owner.
3. Door hardware shall match latch. Provide keyed deadbolts at all exterior doors.
4. Interior doors to bedrooms and baths shall have privacy latch.
5. Hinges shall be: Oil Rubbed Bronze or Brushed Stainless Steel (verify).
6. Provide each door with three (3) hinges. At exterior doors provide non-removable pins for out swing doors.
7. Lockset / latch Schedule:
8. Front door: Manufacture and Style to be selected by owner.
9. Other exterior doors: **Schlage**, style to be selected by owner
10. Interior swinging doors: **Schlage**, style to be selected by owner.
11. Sliding pocket & closet: **Schlage**, style to be selected by owner.
12. Provide cost allowance for hardware to be selected by owner.
- E. INSTALLATION**
1. Contractor shall supply and install all hardware except Owner supplied hardware.
2. Submit a hardware schedule to the Owner, specifying the manufacturer's catalog numbers, location and finishes. Provide templates to trace doing work and furnish all hardware complete with fasteners.
3. Secure finish hardware with suitable fasteners of the same material and finish as the item being attached. After fitting hardware to doors, remove all finish hardware except hinges, carefully.
4. Door hinges and door strips shall be selected by Architect and Owner with finish submittals approved by Owner.
5. Contractor shall prepare & verify number, type & location for all door & misc. hardware.
6. Replace in properly marked boxes, and place in storage. After painting and finishing is completed, permanently install finish hardware.
7. Brush finished stainless steel unless furnished with the door unit. Exterior door threshold shall be brush finished stainless steel.
8. Cost metal thresholds with asphaltic paint on the bottom, set in mastic and have plastic flashing specified elsewhere extend up to the jambs.
- 3. COMPLETION REQUIREMENTS**
A. The Contractor shall be responsible for verifying the correct installation and smooth operation of all finish hardware before final acceptance of the job.
- B.** All component warranty and maintenance information shall be given to owner at project completion.

DIVISION 09-250 - GYPSUM WALLBOARD AND ACCESSORIES

1. GENERAL REQUIREMENTS

A. Scope

The Scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section of work includes all gypsum wall board materials and installation as shown on the plans. All gypsum wall board shall be installed per Chapter 25 of the C.B.C. and per the manufacturer's instructions for installation.

B. Special Requirements

All work performed under this section shall be performed by a State of California licensed drywall contractor.

2. MATERIALS

A. Wallboard

Gypsum Wallboard shall Conform to CBC, and the recommendations of the Gypsum Association.

1/2 inch thick, fire rated core, type "X" gypsum wallboard. Gypsum wallboard shall have tapered or beveled edges. 5/8 inch thick, fire rated core, type "X", water resistant gypsum wallboard. Gypsum wallboard shall have tapered or beveled edges.

5/8 inch thick "blue board" designed for use with plaster veneer systems, fire rated core, type "X", gypsum wallboard. Gypsum wallboard shall have tapered or beveled edges. 5/8 inch thick "Dens-Shield" backer board by **Georgia Pacific**, type "X", wallboard. Gypsum wallboard shall have tapered or beveled edges.

Location and type of wallboard used shall be noted on Interior Finish Schedule.

Tap for seams, a coated adhesive backed open-weave fiberglass tape, 2-1/2 inches wide, designed to reinforce joints.

B. FASTENERS - Single Layer Applications

Nail size shall be 6d - 13 Ga. - 1-7/8" long.

Screws: Screws shall be, self-tapping, flat head, spiral thread, Type S for steel framing, for wood framing shall be 1-1/4" long minimum, type W drywall screw. (Preferred Fasteners) Ceilings shall be fastened with drywall screws only.

Size and spacing shall be not less than required by the CBC, and as modified by fire resistive construction requirements.

C. Joint Reinforcing Tape

Joint tape of same manufacturer as wallboard or fiberglass reinforced tape.

Tap for "Dens-Shield" seams shall be a coated adhesive backed open-weave fiberglass tape, 2-1/2 inches wide.

D. Corner Bead & other drywall trim

1. Shall be "Sheetrock" paper faced metal drywall bead and trim by **United States Gypsum Corporation** or approved equal. 2. Outside corners shall have standard corner trim, unless noted otherwise. (See Interior Finish Schedule) Other locations shall have appropriate casing or terminations. 3. If indicated on drawings all corners shall be 3/4 inch radius "bull nose" corners.

3. PERFORMANCE OF WORK

A. Application

1. Install standard grade (White)wallboard unless otherwise indicated on the drawings, in these specifications or required by code. 2. Install type Water Resistant (Purple) board in all damp areas such as laundry rooms, basements, meck, kitchens, etc. 3. Install water and mildew resistant (Yellow or Blue faces gypsum wall board) at exteriors or wet areas such as bathrooms, shower or tub area.

4. Single Layer Application: Apply wallboard first to ceiling, then to walls with long dimension at right angles to framing members. Maximum spacing of fasteners shall be, nails - 7 inches on center, screws - 9 inches on center. Gypsum board shall be installed and finished per manufacturer's specifications.

5. Multi Layer Application: Apply wallboard first to ceiling, then to walls with long dimension at right angles to framing members. Maximum spacing of fasteners shall be nails - 7 inches on center, screws - 9 inches on center. Fasteners for second layer, shall be staggered and sufficient in length to penetrate base layer(s) and 3/4 inch into framing. Gypsum board shall be installed per manufacturer's specifications for multi-layer applications.

B. Finishing

1. Joints: Finish all exposed joints with reinforcing tape and joint cement in accordance with written instructions of wallboard manufacturer per specific finish system coating.

2. Corner Beads and Trim: Install at all exterior and interior corners or angles and where wallboard abuts other materials and no other trim is shown.

3. Provide standard "L" corner beads, casing beads and other trim for all Modern, Traditional or Craftsman style homes.

4. Provide bull nose casing beads at all Mediterranean or Spanish style homes. (unless noted otherwise)

5. Finish and Texture:

a. Gypsum Board Texture: **As noted on Interior Finish Schedule**

b. Light "Tog" spray finish texture or as indicated on plan. Provide 3' x 3' finish texture sample for Owner and Architect's approval prior to texture application.

c. Smooth Finish: Smooth texture on surfaces to receive wall covering.

d. Plaster Veneer: Two coat - "Imperial Finish Plaster" over "Imperial Basecoat Plaster" by **United States Gypsum Corp.** or approved equal. Total plaster thickness 1/8" minimum with a smooth "museum" finish. Install per manufacturer's specifications. Provide 3' x 3' finish texture sample for Owner and Architect's approval prior to plaster application.

e. ALTERNATE: Two coat - "Easicoat" veneer plaster by **Expo Stucco Products**, Telephone (619) 566-4343 Total plaster thickness 1/8" minimum with a smooth "museum" finish. Install per manufacturer's specifications. Provide 3' x 3' finish texture sample for Owner and Architect's approval prior to plaster application.

6. Caulking Compound (Acoustical Seals): Permanently non-hardening acoustical sealant. Install at perimeters of all sound-insulated walls, outlets and penetrations.

4. COMPLETION REQUIREMENTS

A. On completion of the work, remove scaffolding, equipment, and rubbish from the site. Walls and other surfaces shall be left in a clean and uniform appearance.

B. All over-spray shall be thoroughly removed and all affected surfaces cleaned and left in an unmarked condition.

DIVISION 09-300 - CERAMIC TILE AND STONE

1. GENERAL REQUIREMENTS

A. Scope

The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. Work shall include but not limited to the following areas; floors, walls, ceilings, shower walls and floors, countertops, roof decks and balconies, patios and walkways, and waterproofing.

B. Special Requirements

1. All work performed under this section shall be performed by a State of California licensed contractor.

C. Quality Assurance

Ceramic Tile: All workmanship and material shall be in conformance with applicable portions of ANSI Specifications and Standards and "Handbook for Ceramic Tile Installation" by the Ceramic Tile Institute of America, current edition. Stone: All workmanship and material shall be in conformance with applicable portions of ANSI Specifications and Standards and "Handbook for Stone Installation" by the Marble Institute of America, current edition.

D. Project Conditions: Protect adjacent work surfaces during tile or stone work. Closed rooms or spaces to traffic of all types until mortar and grout has set.

2. MATERIALS

A. Tile and Stone

1. **As indicated on plans or provide allowances as indicated on plans.**

2. Provide all trim shapes as necessary for a complete installation.

3. See Plans, Finish Schedule and Interior Elevations for areas receiving tile or stone.

B. Membranes: Slip sheet, cleavage membrane, waterproof membrane shall be as listed or approved equal.

Thin set locations: Nobel Seal TS by **The Nobel Company**, (800) 878-5788.

Full mortar bed locations: Chloroxy 240 by **The Nobel Company**, (800) 878-5788, or approved equal.

C. Mortar Bed Installation

Custom Building Products Custom-Flo Bedding Mortar mixed with water and Acrylic Mortar Admix. Mortar bed shall be 3/4" thick minimum and 1-1/4" maximum, verify mortar thickness with actual field conditions. Metal lath - 2.5 lbs./yard self furred expanded metal.

D. **Cementitious Backer Units:** 1/2 inch "Durock Tile Backer Board" or Architect approved equal, at indicated walls, floors, countertops and ceilings to receive tile, as manufactured by United States Gypsum, Inc. Install Durock according to the manufacturer's instructions for recommended specifications.

E. Tile Adhesives: **Custom Building Products** Master-Blend mixed with Custom-Flex latex.

F. Grout: Where indicated on the drawings, and elsewhere as required for filling the joints between tiles. All grout colors shall be selected by the owner.

Custom Building Products Polyblend® Sanded Colored Tile Grout - for joints 1/8" - 1/2".

Custom Building Products Polyblend® Non-Sanded Colored Tile Grout for joints up to 1/8".

G. **Elastomeric Joint Caulk:** Where indicated on the drawings, and all expansion joints.

All joints between floors and walls and at joints between tile and stone and dissimilar materials.

Custom Building Products Polyblend® Ceramic Tile Caulk. Texture and color shall match adjacent grout.

H. **Tile sealer:** as recommended by **Custom Building Products** and approved by Owner. Apply sealer per manufacturer's specifications.

I. **Stone sealer:** as recommended by **Custom Building Products** and approved by Owner. Apply sealer per manufacturer's specifications.

3. INSTALLATION

A. **Pre-installation Conference:** Contractor shall conduct a pre-installation meeting at the project site.

1. Contractor shall provide samples of all finish materials to be installed.

2. Mock ups and layout of special patterns shall be presented and reviewed for acceptance by Owner and Architect before installation.

B. **Surfaces to Receive Tile:** Examine surfaces which are to receive tile or stone.

Do not proceed with work until defects or conditions which would adversely affect quality, execution and permanence of finished work are corrected.

Concrete: All concrete substrates shall be at least 28 days old, completely cured and free of hydrostatic conditions, and/or moisture problems.

Plywood: sub floor shall be firm and dry.

Verify that surfaces to receive tile or stone are stable, flat, firm, dry, clean and free of oil, waxes and curing compounds.

Protect adjacent surfaces prior to beginning tile or stone work.

Install slip sheet, cleavage membrane, waterproof membrane on walls and floors where indicated on drawings.

Apply with strict accordance to manufacturer's instructions.

Water test membranes at showers and other wet areas before installing mortar bed.

Expansion joints, control joints, etc., as shown on plans, and elsewhere as required. All joints between floors and walls and joints between tile and dissimilar materials. Fill with materials as specified.

Mortar-Set Installation: (Shower Floors, Bathroom Floors, Tubs and other areas as indicated)

1. **Trimming:** On layer class A building paper with one layer of waterproof membrane over in wet areas.

2. Install self furred expanded metal lath See Sheet

3. Install 1-1/4" mortar bed

4. Thin set tile set on mortar bed a latex modified thin set mortar.

Tile Backer Board - Installation: (Shower walls, Tub walls and other areas as indicated)

1. Install over One layer class A building paper with one layer of waterproof membrane over in wet areas.

2. Install cementitious tile backer board per manufacturer's specifications.

3. Thin set tile set on tile backer board a latex modified thin set mortar.

Thin Set - Installation: (walls, floors and other areas as indicated)

4. Install over firm and clean substrate.

5. Thin set tile with a latex modified thin set mortar.

Install tile or stone in accordance manufacturer's instructions.

Lay tile or stone in grid pattern unless otherwise indicated on plans or directed by Architect.

Terminate tile neatly at obstructions, edges, and corners, without disruption of pattern or joint alignment.

Where tile or stone are necessary, cuts shall be neat and scribed.

Different finishes at floor shall meet under the door, unless otherwise noted.

1. Install grout in accordance with manufacturer's directions.

4. CLEANING AND PROTECTION

A. **Clean and Seal:** tile, stone, and grout in accordance with product manufacturer's recommendations.

B. **Protection:** Protect finished installation from traffic and incidental dirt by covering with Kraft paper during construction period.

C. All component warranty and maintenance information shall be given to owner at project completion.

1. **Interior exterior tile over concrete** in 1-1/4" minimum mortar bed. Apply mortar bed bond coat to concrete substrate in preparation for mortar bed.

2. **Latex Portland Cement Mortar Installation:** Installation with dry set or Latex-Portland Cement Mortar.

3. **Floors:** For installation over plywood substrate apply one layer of glass mesh mortar unit. Set tile in latex Portland cement mortar over glass mesh mortar unit.

4. 1 n dry areas apply tile over firmly attached, taped and spackled gypsum wall board.

DIVISION 09-900 - PAINTING

1. GENERAL REQUIREMENTS

A. Scope

The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes, but is not limited to painting or staining of all surfaces as shown and/or specified. Refer to Finish Schedule and Notes for location and finish of surface to be painted.

B. Special Requirements

1. All work performed under this section shall be performed by a State of California licensed painting contractor.

2. Furnish paint materials from the same manufacturer whenever practicable. All materials shall be compatible with one another and with the surface materials over which they are to be applied. Comply with manufacturer's written recommendations for environmental conditions under which coatings and costing systems can be applied.

3. Materials, application and disposal shall conform to all local and state regulations governing the use of paint materials at the project site.

4. Submit a complete list of paint materials with two (2) color samples (8 x 10) inches on card board of each color and gloss.

5. Submit color samples of stained or clear "natural" finishes on pieces of wood of the species to be finished.

6. Interior finishes must conform to the requirements of Chapter 8, 2001, CBC. All decorative materials are required to be maintained in a flame-retardant condition.

2. MATERIALS

A. All paint materials shall be by **Frazee, Sherwin Williams**, or approved equal. Colors as selected by architect and sample approved by owner.

Wood stains shall be by **Olympic** or approved equal. Colors as selected by architect and sample approved by owner.

Equivalent or comparable products of other reputable manufacturers may be used with the Architect's prior approval.

3. PERFORMANCE OF WORK

A. Preparation and Application

1. All exterior and interior surfaces visible to the occupants, whether located in conditioned or unconditioned spaces shall receive paint.

2. Contractor shall re-paint or re-stain all existing surfaces to remain in place to match original color and texture unless otherwise noted.

3. Vents, grilles and registers, shall be painted to match adjacent surfaces unless otherwise directed.

4. Clean surfaces of dust, dirt, grease, oil, encrustation and other foreign matter prior to the application of the primer coat. Repair all voids, nicks, cracks, dents with suitable patching material. Finish flush with adjacent surface.

5. Where interior painting is specified for walls of a room, paint all incidental exposed surfaces in the room, such as base trim, grills and other miscellaneous items. Hardware such as hinges, levers or vinyl weather-stripping shall not be painted, unless specified. Items that are not to be painted shall be masked to prevent over spray or splatter.

6. Paint shall be applied at the manufacturer's recommended rate of coverage. Each coat shall be even, smooth and uniform; free of laps, skips, runs and color variations. Sand lightly between all coats. Edges of doors and windows scheduled to receive paint shall have complete coverage. Allow each coat to dry thoroughly before applying succeeding coat.

7. **Woodwork Prep:** Sand rough spots; seal knots, pitch pockets and sappy spots; spackle nail holes, cracks and joints after primer is applied to texture application.

8. **Paint Color Schedule:** Verify with Architect prior to application. Exterior colors selected by Architect or Owner. Interior colors selected by Owner.

9. **Front Door (Stained):** One coat sanding sealer, two coats spar varnish. (Verify gloss). Coating shall include all surfaces including top and bottom edges.

10. **Window Shades:** One coat wood primer, and two coats acrylic semi-gloss enamel. Coating shall include all surfaces including top and bottom edges.

11. **Exterior Painted Siding:** One coat wood primer, and two coats acrylic semi-gloss enamel. Coating shall include all surfaces including top and bottom edges.

12. **Ext. Sandblasted Wood:** Two coats semi-transparent water reducible stain with mildew inhibitor.

13. **Galvanized Sheet Metal:** Metal: Pretreatment for galvanized metal: 7113 Vinyl Wash Primer One coat etching metal primer, two coats acrylic stain enamel (color to match adjacent material.)

14. **Ext. Ornamental Steel:** Sandblast scale and rust, one coat inorganic zinc primer, one coat two-part epoxy, one coat two-part urethane.

15. **Exterior Plaster:** Painted: One coat high hide primer, and two coats 100% acrylic stucco paint.

16. **Stained Exterior Wood:** One coat sanding sealer, two coats semi-transparent or full body stain.

17. **Plaster and Concrete:** 1st Coat: Sealer, 2nd Coat: Prime Undercoat, 3rd Coat: Enamel, sheen as selected.

18. **Gypsum Board:** One coat Prime Undercoat and Two coats satin acrylic-vinyl, except at kitchens and baths apply two coats semi-gloss acrylic enamel.

19. **Interior Painted Doors, Windows, Woodwork, and Paint Grade Cabinetry:** One coat enamel u

DIVISION 09-950- FOAM APPLIED SHAPES

1. GENERAL REQUIREMENTS

A. DESCRIPTION & SCOPE

1. Provide all labor, material and equipment necessary to install Pacific Coast Foam coated shapes or Architect approved equal.

2. **PACIFIC COAST FOAM**

3. **5855 Miramar Place**

4. **San Diego, CA 92121**

5. **TEL: (858) 455-1274**

6. **FAX: (858) 455-4531**

7. Related work specified elsewhere

8. **Finishes:** 9

9. **Lath and Plastering, div. 9**

10. Description of systems

a. Coated Expanded Polystyrene (EPS) Shapes: Base-coated, paint-ready and stone coated shapes consisting of a polymer-modified cementitious coating (recommended with reinforcing mesh) over a closed cell, resilient, lightweight foamed plastic with a minimum standard density of one pound cubic foot to be produced by Pacific Coast Foam.

b. **Reinforcing Mesh:** Fiberglass mesh used to strengthen the base coat. To be produced by Pacific Coast Foam.

c. **Base Coat and/or Adhesive:** To be produced by Pacific Coast Foam or approved by Pacific Coast Foam.

d. **Interior, LykeWood, LykeStone, Concrete or Limestone Finishes:** To be produced by Pacific Coast Foam or approved by Pacific Coast Foam.

2. MATERIALS

A. GENERAL

1. All components of PACIFIC COAST FOAM shapes shall be obtained from Pacific Coast Foam or its authorized distributors.

2. NO SUBSTITUTIONS OR ADDITIONS of other material shall be permitted without prior written permission from Pacific Coast Foam.

B. MATERIAL

1. Coated Expanded Polystyrene (EPS) Shapes

a. Shall be coated with polymer-modified cementitious, acrylic based primer, or gypsum based coatings depending on your application.

b. Foam shapes shall be produced by Pacific Coast Foam

c. Shall meet current specifications of molded expanded polystyrene shapes

d. Minimum nominal density shall be available in 1#, 2# and 3# density

2. Reinforcing Mesh Netting

a. Shall be produced by Pacific Coast Foam or a manufacturer approved by Pacific Coast Foam

b. Shall be treated, open weave or glass fiber type

c. Available in 10 x 10 fine and 6 x 6 regular net

d. Base Coat and/or Adhesive

a. Based on your application, cementitious or gypsum base coat and/or adhesive, or acrylic primer to approved substrate.

3. PERFORMANCE OF WORK

A. INSPECTION

1. Examination of Substrate

a. The substrate surface shall be free of foreign materials such as oils, dust, dirt, form release agents, paint, wax, glaze, moisture, etc.

b. The substrate shall be examined for compliance with contract documents.

c. The substrate shall be examined for soundness, such as tightness of connections, crumbling or looseness of surface, voids and projections. It is the General Contractor's responsibility to make sure the substrate is flat, straight and ready to receive Pacific Coast Foam details.

2. The Architect and General Contractor shall be advised of all discrepancies. Work shall not proceed until unsatisfactory conditions are corrected.

B. INSTALLATION

1. Pacific Coast Foam shapes are pre-coated and/or finished under factory controlled conditions.

2. EPS Foam to Brown Coat

a. Primer should be mixed to a heavy-bodied, paste like consistency.

b. Cover both the surfaces of the shapes and the brown coat completely where the shape will join the brown coat.

c. Press shape into position on the brown coat. Generally, the adhesive to the substrate will be sufficient to hold the shape in place.

d. On larger shapes, use fasteners to prevent the shape from sliding until the adhesive starts to set. Do not penetrate paper.

e. Countersink and fill holes with primer adhesive.

f. **Plaster-Ready Product:** mix additional primer to more flowable consistency (suitable for brush applications) and apply to shape at all joints with the brown coat and contiguous shapes. Two (2) inch fiberglass mesh to be used over joints.

g. **Plaster-Ready Product:** Primer must be applied to all joints. Mesh tape all joints.

h. **Exterior Paint-Ready, Lykestone or Limestone Product:** Apply to substrate same as above. Joints to be filled with grout or cement.

i. EPS Foam to EPS

a. It is recommended that all joints be coated with Adhesive Primer and 2 inch mesh to prevent cracking.

4. EPS Foam to Drywall

a. Clean surface

b. Use PL Premium for adhering materials to a smooth and level surface. Apply 1/4" continuous zigzag bead of adhesive within 2" of each other. Temporary blocking or fasteners may be needed until adhesive sets. (PL Premium Construction Adhesive is available at Pacific Coast Foam or local building supply outlet).

c. Interior Paint Ready Product: Use PL Premium to apply to substrate same as above or using a 3/8" notched trowel, spread Hamilton's Foam Coat FC-90 on back of shape detail.

d. Interior Paint Ready Product: It is recommended that all joints be kept tight and coated with foam coat. Drywall compound can be applied on top and lightly sanded smooth.

5. EPS Foam to Wood or Plastic

a. Clean surface

b. Use PL Premium for applying material to smooth and level surfaces. Apply 1/4" continuous zigzag bead of adhesive within 2 inches of each other for plastic or wood. Temporary blocking or fasteners may be needed until adhesive sets. (PL Premium Construction Adhesive is available at Pacific Coast Foam or local building supply outlet).

6. EPS Foam

a. For larger shapes and details, mechanical fasteners may be needed. Fasteners to be approved by Pacific Coast Foam.

7. Cutting

a. Wait a minimum of 24 hours before further work on the surface of bonded components in order to avoid any movement, which would weaken the bond between the components.

C. FINISHING COAT

1. Exterior Paint Finish

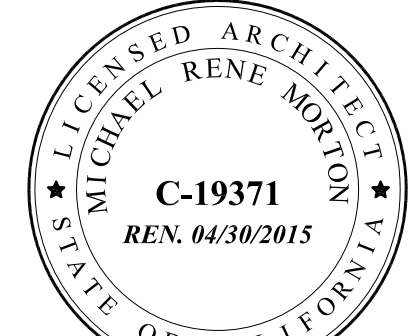
a. Per paint manufacturer's specifications

b. Conventional water-based paint may be applied after 48 hours of curing.

2. Exterior Stucco Finish

a. After curing for at least 48 hours, stucco finish may be applied directly over the coated EPS shape. Just before applying color coat, add four (4)

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1. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY WHEN ANY DISCREPANCY WITH ARCHITECTURAL OR STRUCTURAL DRAWINGS ARE FOUND AT THE PROJECT SITE. ALL DRAWINGS MAY HAVE TO BE MODIFIED UPON REMOVAL OF EXISTING CONSTRUCTION. DO NOT PROCEED WITH WORK WITHOUT WRITTEN NOTIFICATION UNTIL THE ARCHITECT ISSUES DIRECTIONS.
2. CONTRACTOR SHALL VERIFY LAYOUT OF EXISTING STRUCTURE, PROPERTY BOUNDARIES, LOCATION OF SITE UTILITIES - UNDERGROUND AND OVERHEAD, AND FIELD CONDITIONS AS SHOWN ON THE PLANS PRIOR TO DEMOLITION.
3. BEFORE START OF DEMOLITION CONTRACTOR SHALL VERIFY WITH THE OWNER THE ITEM TO BE DEMOLISHED, MATERIALS TO BE STORED, VERIFY STORAGE LOCATIONS WITH OWNER BEFORE DEMOLITION COMMENCES.
4. ANY OUTDOOR STRUCTURES OR LANDSCAPING MARKED TO BE SAVED, SHALL BE PROTECTED, FENCED AND/OR COVERED TO AVOID DAMAGE.
5. ALL DEMOLITION MATERIAL SHALL BE TRANSPORTED OFF SITE AND PROPERLY DISPOSED AT CITY-APPROVED LOCATIONS BY THE CONTRACTOR.
6. CONTRACTOR TO VERIFY DUMPSTER LOCATION WITH ARCHITECT BEFORE DEMOLITION COMMENCES.
7. CONTRACTOR SHALL ALSO REFER TO FLOOR PLANS AND OTHER CONSTRUCTION PLANS FOR NEW WORK TO BE INCORPORATED INTO THE PROJECT AND TO PROCEED WITH DEMOLITION ACCORDINGLY.
8. CAREFULLY REMOVE STRUCTURE AS SHOWN ON PLAN. REMOVE ALL MATERIALS CAREFULLY TO AVOID DAMAGE TO ADJACENT SURFACES.
9. CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY OF THE EXPOSED WOOD IS MOIST OR NEW STRUCTURE. IF THE REMOVAL OF TREE ROOTS PRODUCES POTENTIALLY UNSTABLE TREES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A TREE SPECIALIST TO MAKE A RECOMMENDATION.
10. DEMOLITION OF OPENINGS IN ROOF AND EXTERIOR WALLS SHALL BE COVERED EACH NIGHT WITH PLASTIC TARPS AND SECURED TO PREVENT WATER AND DEBRIS FROM ENTERING THE BUILDING.
11. EXISTING FLOOR SLABS SHALL BE COVERED DURING CONSTRUCTION. OPENINGS SHALL BE TAPED AND SEALED TO WALLS AT EDGES OF CONSTRUCTION ZONE TO MINIMIZE DUST. TEMPORARY WALL SHALL BE BUILT AND SEALED AS IF NEEDED OR SHOWN ON PLANS.
12. SHOULD ANY PORTION OF THE STRUCTURE BEING REMOVED PRODUCE UNSTABLE OF UNSAFE CONDITIONS THE CONTRACTOR SHALL PROVIDE PROTECTION AND BRACING.
13. EXISTING FAU & WATER HEATER SHALL BE TURNED OFF AND SALVAGED UNITS REMOVED AND STORED FOR RE-USE. EXISTING NATURAL GAS SERVICE SHALL BE TURNED OFF AND LINES TEMPORARILY CAPPED AT RESIDENCE.
14. ELECTRICAL SERVICE SHALL BE TURNED OFF AT RESIDENCE AND PROVISIONS FOR TEMPORARY POWER MADE DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE PROTECTION AND BRACING. CONCEALED CONDITIONS OF ALL TYPES SHALL BE TAKEN INTO ACCOUNT AND/OR VERIFIED PRIOR TO COMPLETION OF FINAL PROJECT BID.
15. CONTRACTOR SHALL VERIFY IN THE FIELD THE CONDITION OF ALL FOUNDATIONS, STEM WALLS, SILL ATTACHMENTS, PIER-FOOTING CONDITIONS AND ATTACHMENT TO FRAMING. DEFICIENCIES, CRACKS OR OTHER STRUCTURAL ISSUES IN FOUNDATIONS OR FOOTINGS OR LACK OF PROTECTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.
16. EXISTING FLOOR AND FLOOR SURFACES MAY BE OUT OF PLUMB AND NOT LEVEL. THEY SHALL BE INSPECTED AND MADE PLUMB AND LEVELED UPON NOTIFICATION TO THE ARCHITECT AND A WRITTEN APPROVAL HAS BEEN DOCUMENTED. WOOD FRAMING ADJACENT TO SOIL MAY BE ENCLOSED AND MODIFICATIONS AND/OR PROTECTION MEASURES SHALL BE TAKEN.
17. ELEVATION CHANGES BETWEEN DOOR OPENINGS AND ADJACENT GRADE SHALL BE VERIFIED IN THE FIELD AND IF DISCREPANCIES EXIST BETWEEN FIELD CONDITIONS AND PLANS EXIST, NOTIFY THE ARCHITECT TO MAKE MODIFICATIONS AND/OR OTHER CORRECTIVE MEASURES.
18. IF SOILS REPORT OR SURVEY NOT INCLUDED WITH THIS SET OF DOCUMENTS, THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES, MODIFICATIONS, ORDERED REPORTS OR SURVEY OR OTHER ADDITIONAL ISSUES CAUSED BY LACK OF INFORMATION FROM THOSE DOCUMENTS.

A. THIS IS A COASTAL PROJECT. NO EXTERIOR WALLS SHALL BE DEMOLISHED OTHER THAN THOSE SPECIFIED ON THE DEMOLITION SHEET WITHOUT PRIOR WRITTEN INSTRUCTION FROM ARCHITECT.

B. IT IS THE GENERAL CONTRACTORS SOLE RESPONSIBILITY THAT ALL EXISTING WALL SHOWN TO REMAIN SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES DURING THE PROJECT CONSTRUCTION.

- A. AT LEAST 50% OF THE EXISTING EXTERIOR WALLS (FROM THE FOUNDATION TO THE TOP PLATE) OF THE PRINCIPAL HABITABLE FLOOR MUST BE LEFT STANDING AND IN PLACE THROUGHOUT CONSTRUCTION AND INCORPORATED INTO THE COMPLETED STRUCTURE.
- B. THE TOP PLATE MUST BE CUT OUT TO BE USED AS EXTERIOR WALLS IN THE COMPLETED PROJECT (MAY NOT BE USED AS INTERIOR WALLS OR USED IN A "DOUBLE WALL" CONFIGURATION WITH ANY NEW WALL).
- C. ANY DOOR OR WINDOW LOCATED WITHIN A SEGMENT OF THE WALL WHICH IS COUNTED TOWARD THE LENGTH OF AN EXISTING EXTERIOR WALL TO BE LEFT STANDING (AT LEAST 50%) CANNOT HAVE THEIR LOCATION OR SIZE MODIFIED.
- D. THE SURFACE OF THE WALL CAN BE MODIFIED OR REMOVED DOWN TO THE STUDS BUT WITH BOTH THE TOP AND BOTTOM PLATES IN PLACE. REMOVAL OF THE STUD WALLS, EVEN ON A TEMPORARY BASIS DOES NOT MEET EXEMPTION CRITERIA (FOR COASTAL EXEMPTION) AND IS NOT TO BE DONE.
- E. WALLS, WHICH ARE DESIGNATED TO REMAIN, CANNOT BE REPLACED, HEIGHTENED OR RELOCATED FOR ANY REASON, INCLUDING REASONS OF STRUCTURAL INTEGRITY (DRY ROT, TERMITES).
- F. REINFORCEMENT IN THE FORM OF SISTERING MEMBERS (STUDS AND PLATES) IS PERMITTED AS LONG AS THEY DO NOT INTERRUPT THE ASSEMBLY OF TOP PLATE STUDS AND SILL.
- G. PENETRATION THROUGH TOP PLATE IS PERMITTED - ONLY THE WIDTH OF THE CUT MUST BE LIMITED TO THE CALCULATION (E.G. ONLY ACTUAL WIDTH OF A 2X4 OR 4X4 ALLOWED THROUGH THE TOP PLATE WILL DEDUCT THAT AMOUNT)
- H. CRIPPLE WALLS ARE PERMITTED (PLACING A NEW BOTTOM PLATE ON AN EXISTING TOP PLATE TOGETHER WITH NEW STUDS AND A NEW TOP PLATE FOR THE PURPOSES OF INCREASING FLOOR TO CEILING HEIGHT).
- I. EXISTING CONCRETE FOUNDATION IS NOT ELIGIBLE IF EXISTING WALLS CAN BE PROPERLY SUPPORTED IN THEIR PRE-EXISTING POSITION DURING REPLACEMENT OR REPAIR.
- J. A WINDOW MAY BE REPLACED OR MAY BE REDUCED IN AREA OR DIMENSION OR MAY BE COVERED OVER (FILLED IN) PROVIDED THAT THE EXISTING STUDS AND HEADERS ARE RETAINED IN THEIR ORIGINAL POSITIONS.
- K. REINFORCEMENT IN THE FORM OF FURRING IS PERMITTED FOR SINGLE WALL CONSTRUCTION ONLY IF IT IS DONE IN SUCH A MANNER THAT THE WALL IS NOT EXTENDED OUTWARD. ALL FURRING IS TO THE INTERIOR & VERIFIED BY THE ARCHITECT.
- L. THERE SHALL BE NO SIGNIFICANT ALTERATION OF LAND FORMS INCLUDING REMOVAL OR PLACEMENT OF VEGETATION, ON A BEACH, WETLAND, OR DELTA WITHIN 100 FEET OF THE EDGE OF A COASTAL BLUFF WITHOUT FIRST OBTAINING APPROVAL FROM THE GOVERNING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

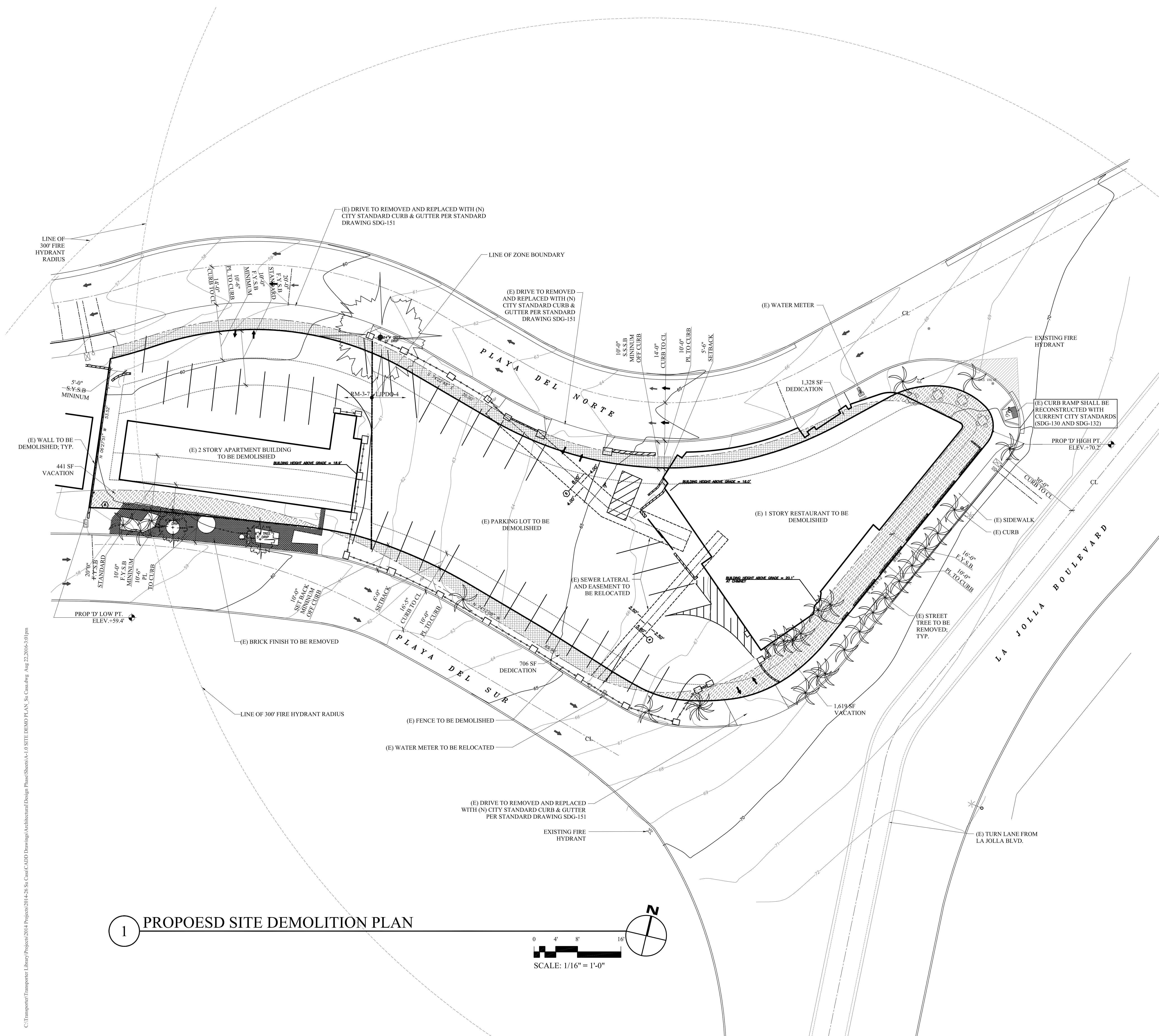
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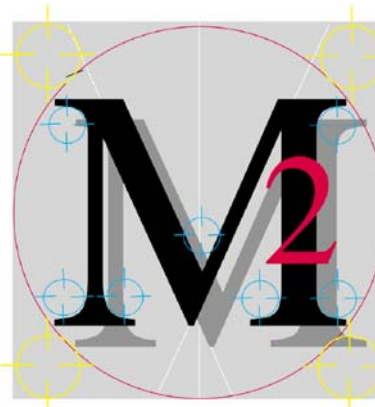
SHEET TITLE

PROPOSED TE DEMO PLAN

A-1.0

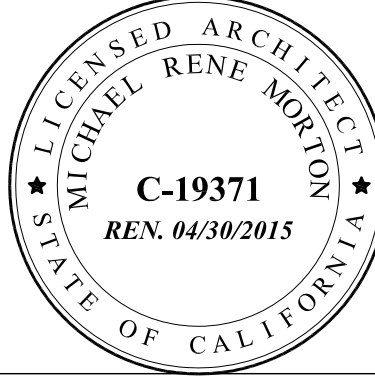
SHEET 1 OF





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REVISIONS
2015-04-22 Completeness Submittal
2015-05-14 Full City Submittal
2015-08-27 Full City Resubmittal
2015-11-10 Full City Resubmittal
2016-03-08 Full City Resubmittal
2016-08-22 Full City Resubmittal



PHASE DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM

DRAWN BY GR

DATE 08-22-2016

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SHEET TITLE

SITE PLAN

A-1.1

SHEET OF

SITE NOTES

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
5. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
6. BASIS OF BEARINGS: THE NORTHERLY RIGHT OF WAY LINE OF PLAYA DEL SUR STREET, PER PARCEL MAP NO. 1127, I.E N 74 12°08" WEST
7. CITY OF SAN DIEGO BENCH MARK: SOUTHWEST BRASS PLUG AT THE INTERSECTION OF LA JOLLA BOULEVARD AND BONAIR STREET. ELEV.=78.238 M.S.L.
8. THE PROPOSED RETAIL/COMMERCIAL USE WILL COMPLY WITH THE PERMITTED USES OF APPENDIX A OF THE LA JOLLA PLANNED DISTRICT.

GRADING QUANTITIES

GRADING AREA	22,215.6 S.F.
CUT QUANTITIES	6,000 C.Y.
MAX. CUT DEPTH	11'-3"
FILL QUANTITIES	700 C.Y.
MAX. FILL DEPTH	1'-3"
MAX. FILL SLOPE RATIO (2:1 MAX.)	+2:1

THIS PROJECT PROPOSES TO EXPORT 5,300 C.Y. OF MATERIAL FROM THIS SITE

- NOTES:
- 1) ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
 - 2) THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL; ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

AREA DENSITY CALCULATION

ZONE: LJPDO-4
TOTAL LOT AREA = 15,459.24 SF (355 AC)
TOTAL EASEMENT AREA = 986.46 SF
UNIT CALCULATION (29 DU/ACRE = 1 DU/1502 SF):
(15,459.24-986.46) = 14,472.78 (332 AC)
14,472.78 / 1502 = 9.63 UNITS

ZONE: RM-3-7
TOTAL LOT AREA = 6,581.72 SF
UNIT CALCULATION: 6,581.72 / 1,000 = 6.58

TOTAL NUMBER OF UNITS CALCULATION: 16 (16.22)

FAR CALCULATION

ZONE: LJPDO-4
TOTAL LOT AREA 15,459.24 SF
ALLOWABLE FAR 1.00
ALLOWABLE BUILDING AREA 15,459.24 SF
PROPOSED BUILDING AREA 15,459.00 SF
UNDERGROUND PARKING AREA 9,413.50 SF
ACTUAL FAR 1.00

ZONE: RM-3-7
TOTAL LOT AREA 6,581.72 SF
ALLOWABLE FAR 1.80
TOTAL BUILDING AREA 11,847.10 SF
REQUIRED PARKING AREA 3,949.03 SF
ALLOWABLE BUILDING AREA 7,898.07 SF
UNDERGROUND PARKING AREA 5,898.50 SF
PROPOSED BUILDING AREA 9,600.00 SF
ACTUAL FAR 1.45

PARKING CALCULATION

RESIDENTIAL:
2.0 SPACES / (1) 2 BEDROOM UNIT
(12) 2 BEDROOM UNITS x 2.0 SPACES = 24 SPACES

1.5 SPACES / (1) 1 BEDROOM UNIT
(4) 1 BEDROOM UNITS x 1.5 SPACES = 6 SPACES

RETAIL:
1.7 SPACES / 1,000 S.F.
3,000 SF RETAIL x 1.7 SPACES = 5.1 SPACES

TOTAL PARKING REQUIRED = 35 SPACES
TOTAL PARKING PROVIDED = 37 SPACES

STREET TREE REQUIREMENTS

STREET TREES REQUIRED: 36
EXISTING TREES: 31
TREES TO BE REMOVED: 22
TREES TO BE ADDED: 27
SEE LANDSCAPE PLAN ON L-1.1 FOR CALCULATIONS

LOT AREA CALCULATION

AREA DEDICATED		AREA VACATED	
NORTH	1,328 SF	EAST	1,619 SF
SOUTH	700 SF	WEST	441 SF
TOTAL	2,028 SF	TOTAL	2,060 SF

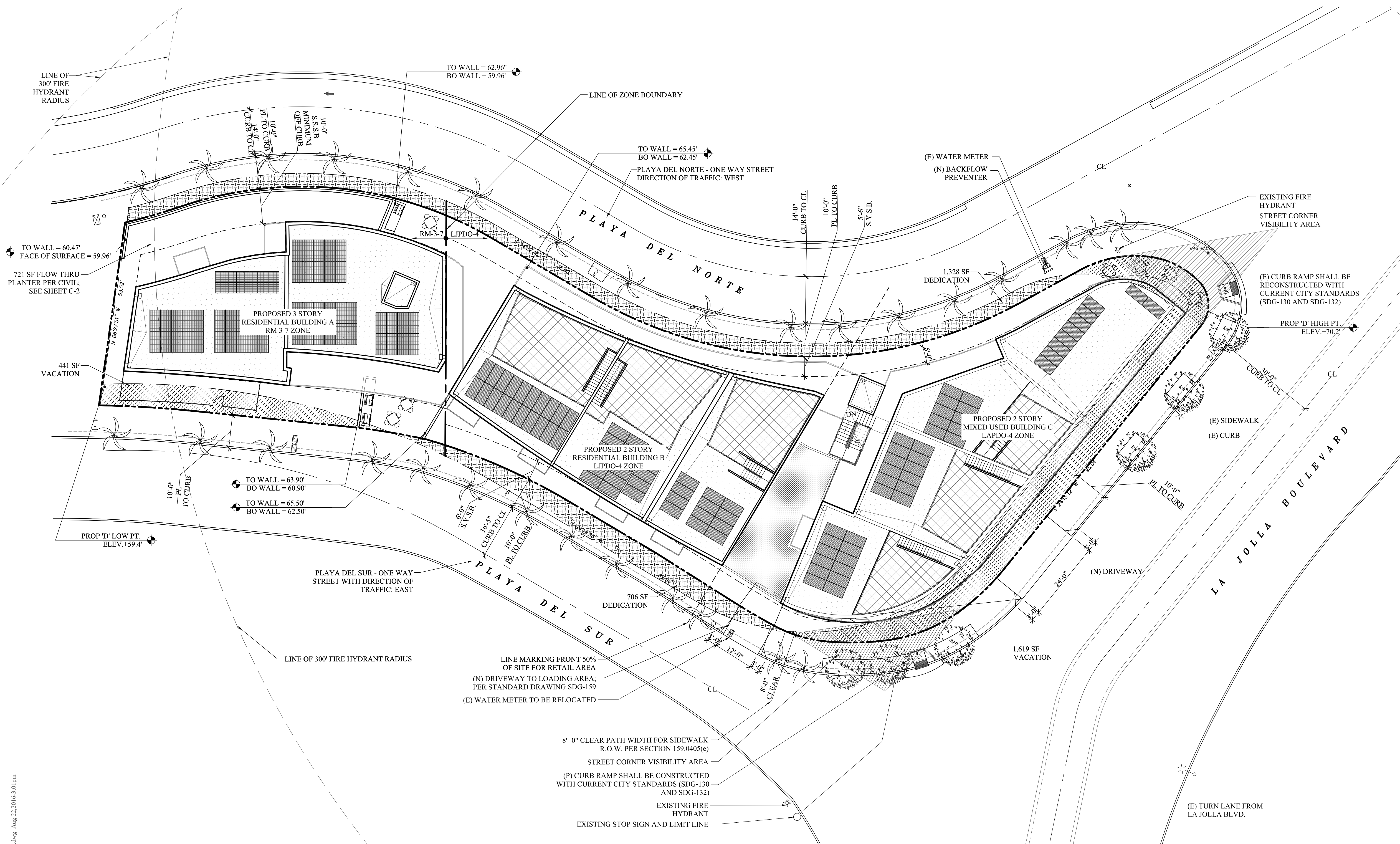
TOTAL NET CHANGE +32 SQFT

DEDICATION + VACATION

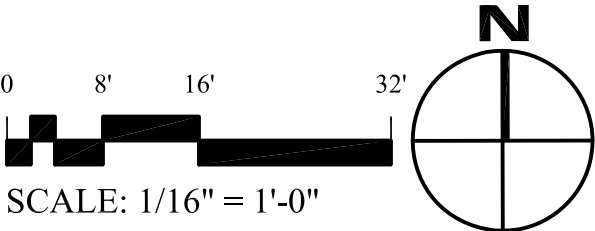
- AREA TO BE VACATED
 AREA TO BE DEDICATED

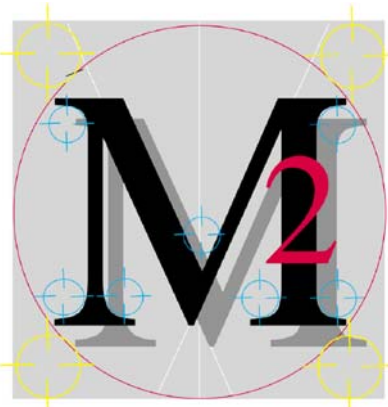
FIRE NOTES

1. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
2. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
3. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. CFC 105.4.4
4. CLEARLY DEFINE ALL RED CURB/NO PARKING SIGN AREAS. THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.



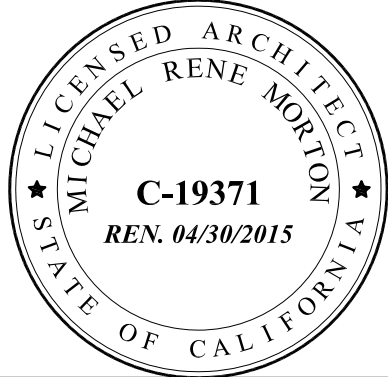
1 PROPOSED SITE AND FIRE ACCESS PLAN





Marengo Morton Architects

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Claude Anthony Marengo DESA



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SU CASA
6738 LA JOLLA BLVD
LA JOLLA, CA, 92037

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PHASE DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM

DRAWN BY AB

DATE 08-22-2016

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SHEET TITLE
SITE PLAN - PARKING DATA

A-1.2
SHEET OF

PARKING CALCULATION MATRIX

Overlay Zones:
Parking Impact Overlay Zone (Coastal and Beach Impact Areas)
Transit Area Overlay Zone
Tandem Parking Overlay Zone

Multiple Dwelling Residential Per (SDMC Tavel 142-05C)
Minimum Requirements:
1 Bedroom Unit- 1.50 Space per Dwelling Unit
2 Bedroom Unit- 2.00 Space per Dwelling Unit

Proposed Residential Units:
One Bedroom Units- 4.00
Two Bedroom Units- 12.00

Parking Requirements:
One bedroom Units- 6.00 Spaces
Two Bedroom Units- 24.00 Spaces

Total Res. Parking Required: 30.00 Spaces including (1) ADA Space
Total Res. Parking Provided: 30.00 Spaces including (1) ADA Space

Commercial Per (SDMC 142.0530, Table 142-05E, 142-05F)

Minimum Requirements:
Retail - 1.70 Space per 1,000 sq. ft. G.F.A
Restaurant- 5.00 Space per 1,000 sq. ft. G.F.A

Proposed Gross Floor Area:
Retail 3,188.00 Sq. Ft.
Restaurant- 0.00 Sq. Ft.

Total Comm. Parking Required: 5.42
Total Comm. Parking Provided: 6.00 Spaces including (1) ADA Space

Additional Spaces Required Per SDMC 142.0560 (d)(3)

Through Circulation Req.- 1.00 Space marked to prohibit parking
Through Circulation Provided- 1.00 Space marked to prohibit parking

Project Total Parking Required- 36.00 Spaces
Project Total Parking Provided- 37.00 Spaces

Motorcycle Per SDMC Tavel 142-05C

Minimum Requirements:
Residential - 0.10 Space per Dwelling Unit
Retail/ Restaurant- Motorcycle parking shall be provided at a ratio of 2 percent of the minimum number of automobile parking spaces required or two spaces, whichever is greater.

Total Motorcycle Parking Required: 3.60 Spaces
Total Motorcycle parking Provided: 4.00 Spaces

Bicycle Per SDMC Table 142-05C, SDMC 142.0530(e)(1), SDMC 142.0530(e)(2)

Minimum Residential Requirements:

1 Bedroom Unit- 0.40 Space per Dwelling Unit
2 Bedroom Unit- 0.50 Space per Dwelling Unit

Proposed Residential Units:
One Bedroom Units- 4.00
Two Bedroom Units- 12.00

Minimum Commercial Requirements:
1 Bedroom Unit- 0.40 Space per Dwelling Unit
2 Bedroom Unit- 0.50 Space per Dwelling Unit

Bicycle Space Requirements:
One bedroom Units- 1.60 Spaces
Two Bedroom Units- 6.00 Spaces

Short Term Commercial 2.00 Spaces
Long Term Commercial 1.00 Spaces

Total Bicycle Spaces Required: 10.60 Spaces
Total Bicycle Spaces Provided: 11.00 Spaces

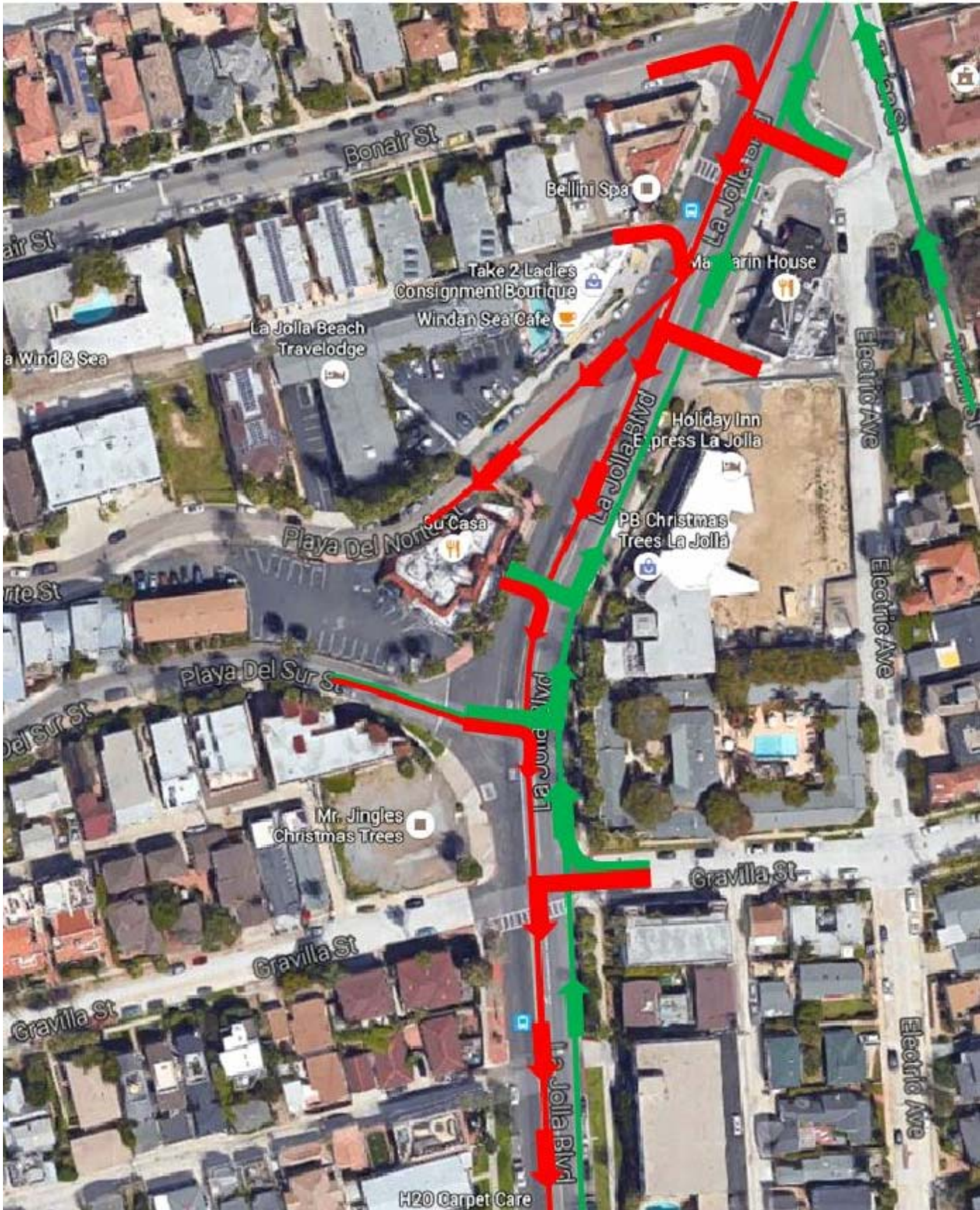
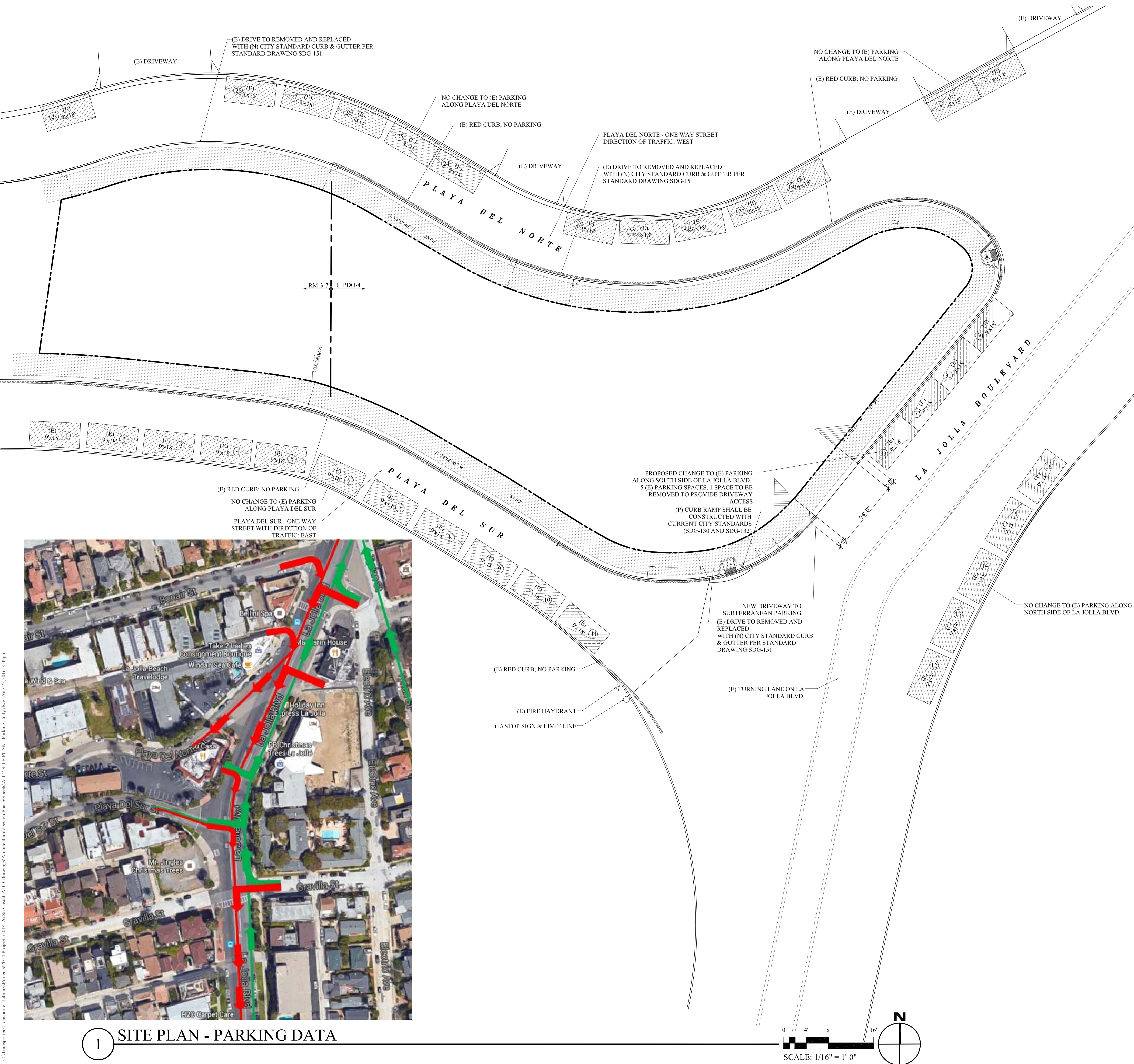
On Street Parking Calculation

Existing Street Parking- 33 Spaces
Proposed Street Parking- 32 Spaces

Total Net Loss/ Gain- 1 Space Lost -3.03% loss

DEDICATION + VACATION

AREA TO BE VACATED
AREA TO BE DEDICATED



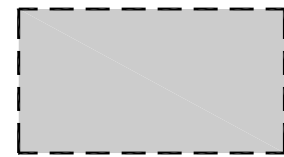
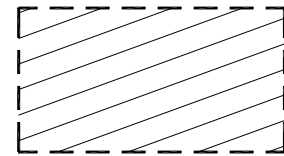
1 SITE PLAN - PARKING DATA

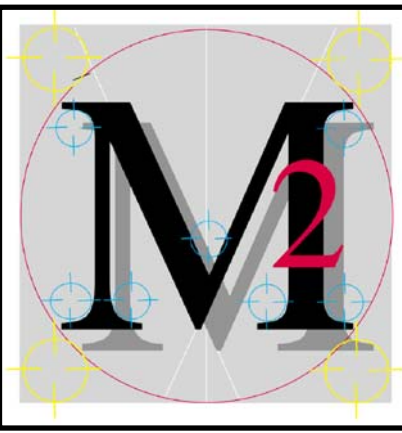
GROUND FLOOR AREA

PER SDMC TABLE 159-03A: MIN. 50% OF GROUND FLOOR AREA TO BE RETAIL USE IN LIPDO-4:

RETAIL:	4,812.1 SF (51%)
RESIDENTIAL:	4,611.1 SF (49%)
TOTAL:	9,423.2 SF

AREA LEGEND

	RETAIL USE
	RESIDENTIAL USE



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REVIEWED BY CAM

DRAWN BY JK

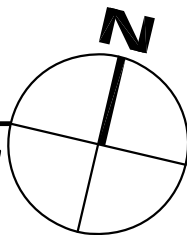
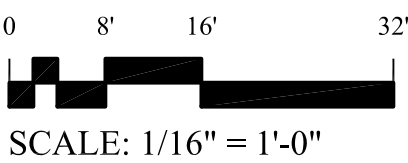
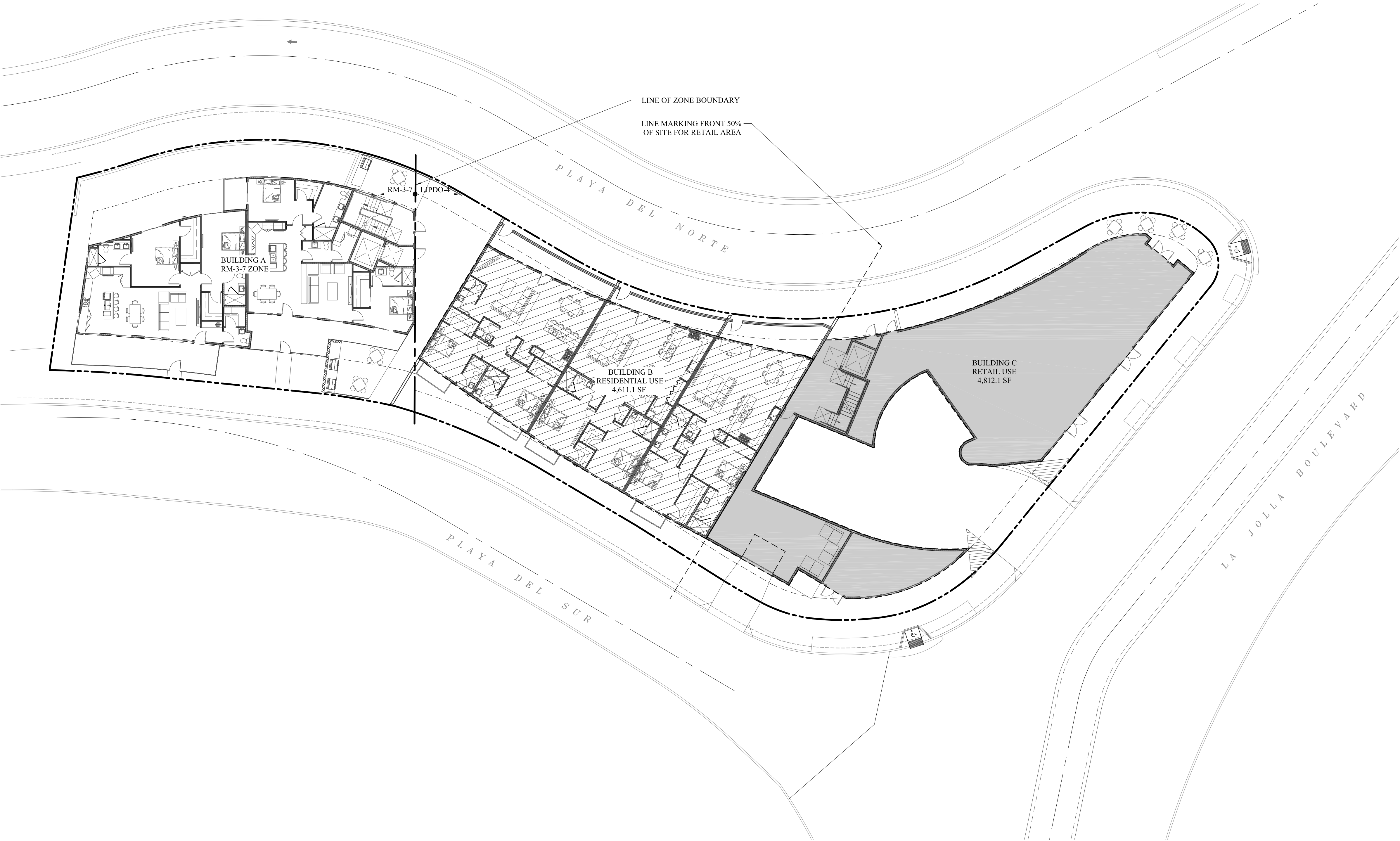
DATE 08-22-2016

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SHEET TITLE PROPOSED GROUND LEVEL AREA PLAN

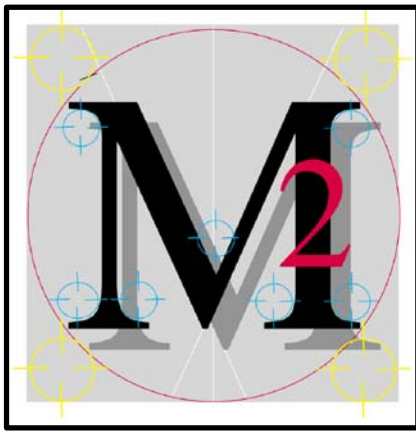
A-1.6

SHEET OF



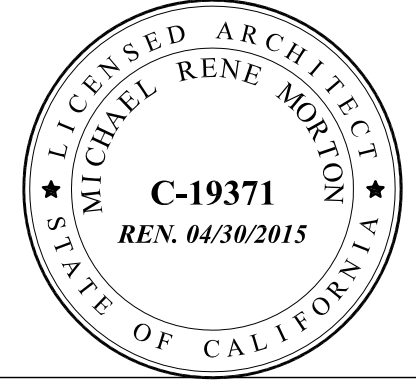
1

PROPOSED GROUND LEVEL AREA PLAN



Marengo Morton Architects

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PHASE
DESIGN

PROJECT NO.
2014-26

REVIEWED BY
CAM

DRAWN BY
AB

DATE
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SHEET TITLE
PROPOSED
BASEMENT LEVEL
PLAN

A-2.1

SHEET OF

FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1
- D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For Demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup, C.B.C. Sec. 310.9.1.3.
- L. WATER HEATER: New Rinnai RL94e instant gas water heater, 0.82 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGPJ10NAMER, 80,000 BTU gas FAU, 0.80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate per Title 24 report.
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- T. Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND

- NEW 2 X 6 EXTERIOR WALL W/ 1/2" PLY & 7/8" STUCCO ON BOTH SIDES
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL.
FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C.
FINISH PER INTERIOR FINISH SCHEDULE
- NEW 2 X 4 INTERIOR DOUBLE STUD PARTY WALL W/ 1" AIRSPACE, AND 1/2" PLY & (2) LAYERS 5/8" GYP. ON EACH SIDE
- NEW 8" CMU WALL, FINISH PER INTERIOR FINISH SCHEDULE
- NEW 12" CMU WALL, FINISH PER INTERIOR FINISH SCHEDULE
- ONE HOUR CONSTRUCTION
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE.
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A-8.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A-8.2
- SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING

NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED

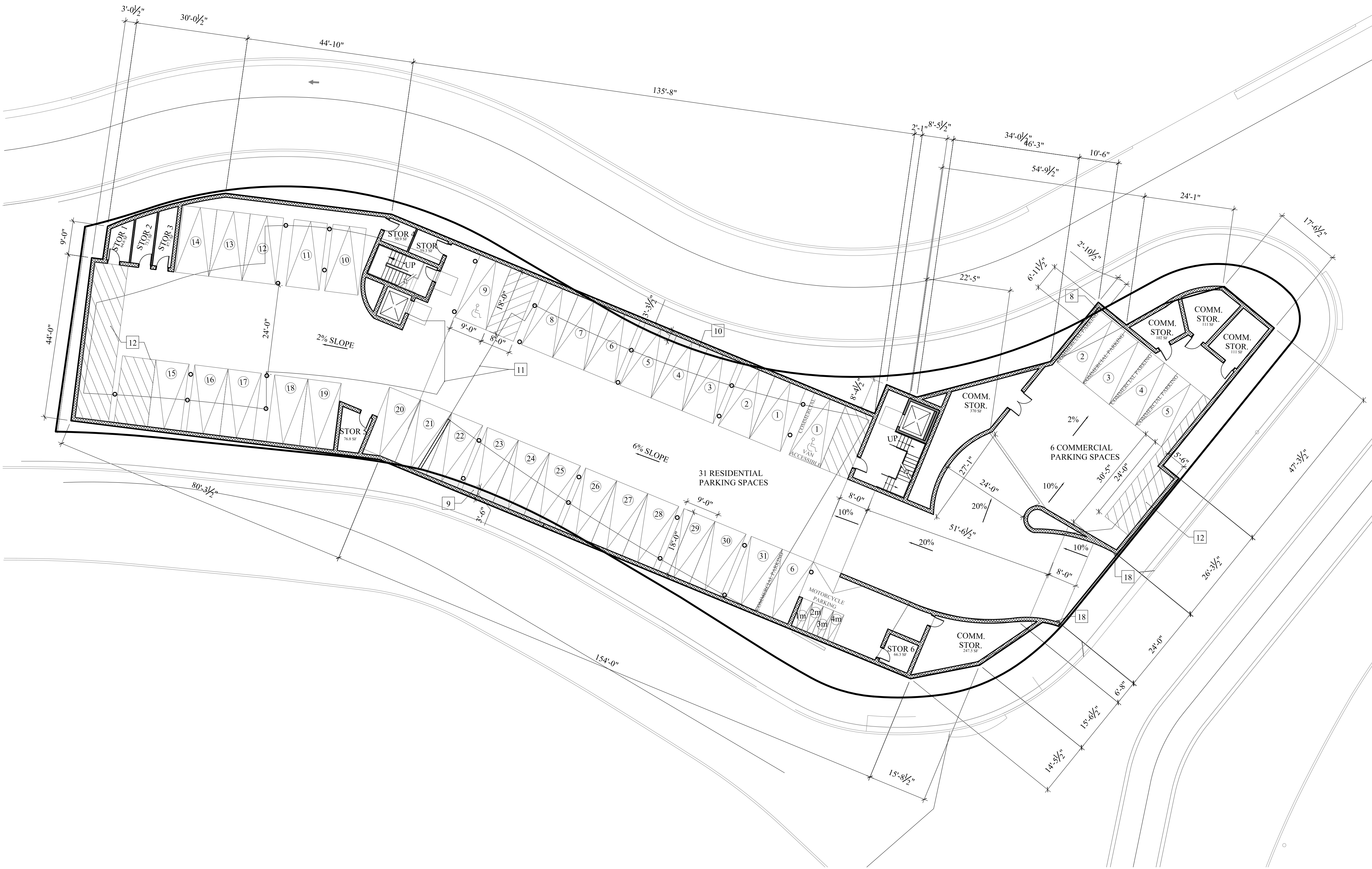
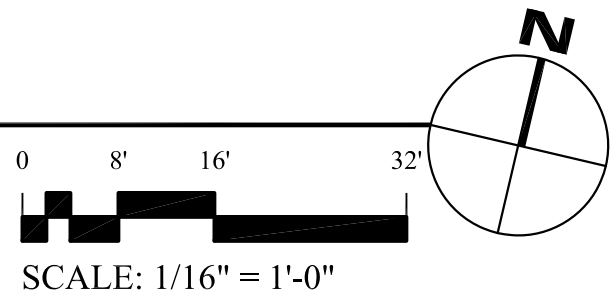
- EXISTING STRUCTURE DIMENSION
- PROPOSED STRUCTURE DIMENSION

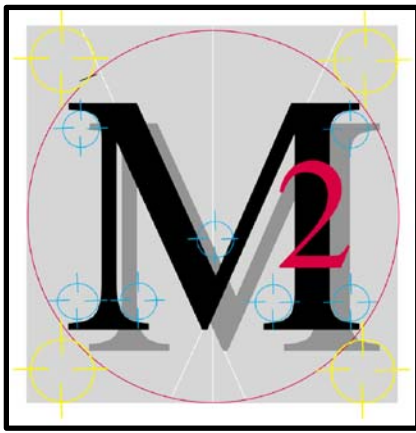
EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FTDN. WALL.
INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

FLOOR PLAN KEYNOTES

- | | |
|---|---|
| 1 PRIVATE EXTERIOR USABLE SPACE; RM 3-7 PER SDMC 131.0455(c) & LJPDO-4 PER SDMC 159.0309(d) | 10 131.4 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE |
| 2 LJPDO-4 REFUSE AREA; 32 SF MIN.; PER SDMC 159.0407. | 11 OUTLINE OF WALLS ABOVE |
| 3 RM 3-7 REFUSE AREA; 24 SF MIN.; PER SDMC 142.0810, 142.0820 AND TABLE 142.08B | 12 8'-0"X18'-0" TURN AROUND AREA |
| 4 LOADING ZONE: 623 SQ. FT. (16'-8" x 37'-4", 14' H) PER SDMC 159.0409. | 13 VISIBILITY TRIANGLES, NO OBSTRUCTIONS OVER 3 FT SHALL ENCROACH, TYP. |
| 5 NEW 36" SITE WALLS, STUCCO FINISH | 14 GREEN ROOF OVER LOADING ZONE |
| 6 NEW 42" SITE WALLS, STUCCO FINISH | 15 ROOF BELOW |
| 7 RM 3-7 COMMON EXTERIOR SPACE PER SDMC 131.0456 | 16 RM 3-7 UPPER LEVEL WALKWAY PER SDMC 131.0461(c)(3) |
| 8 10 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE | 17 NEW TANKLESS WATER HEATER; SEE FLOOR PLAN NOTE L |
| 9 163.5 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE | 18 CONVEX SAFETY MIRRORS |
| | 19 LJPDO-4 UPPER LEVEL WALKWAY PER SDMC 159.037(b) |

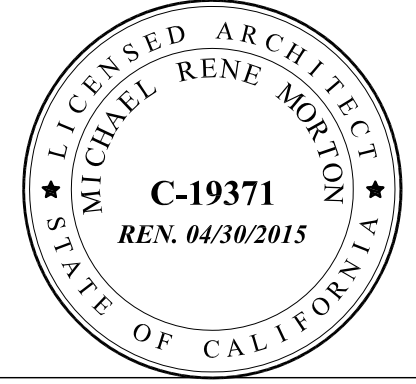
1 PROPOSED BASEMENT LEVEL PLAN
SCALE: 1/16" = 1'-0"





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PHASE	DESIGN
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PROJECT NO.	2014-26
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REVIEWED BY	CAM
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DRAWN BY	GR
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DATE	08-22-2016
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SHEET TITLE	PROPOSED GROUND LEVEL PLAN
-------------	----------------------------

A-2.2

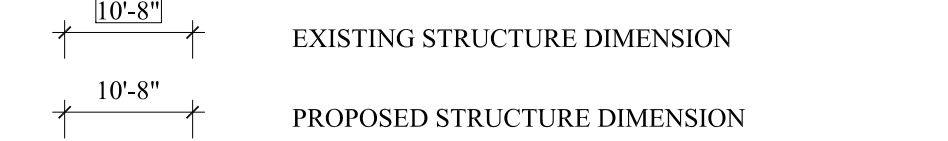
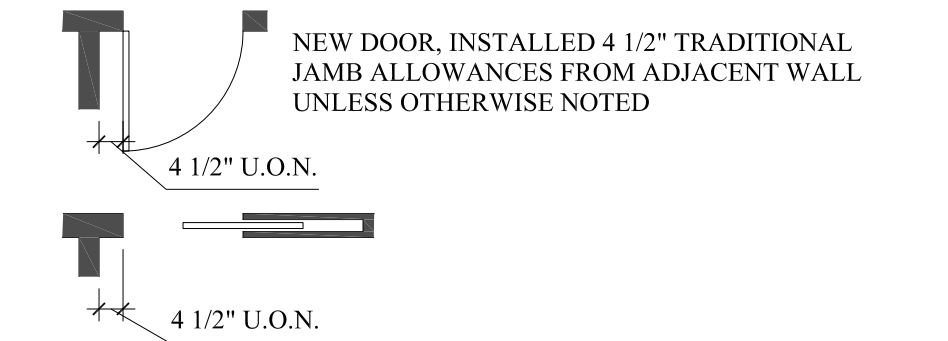
SHEET OF

FLOOR PLAN NOTES

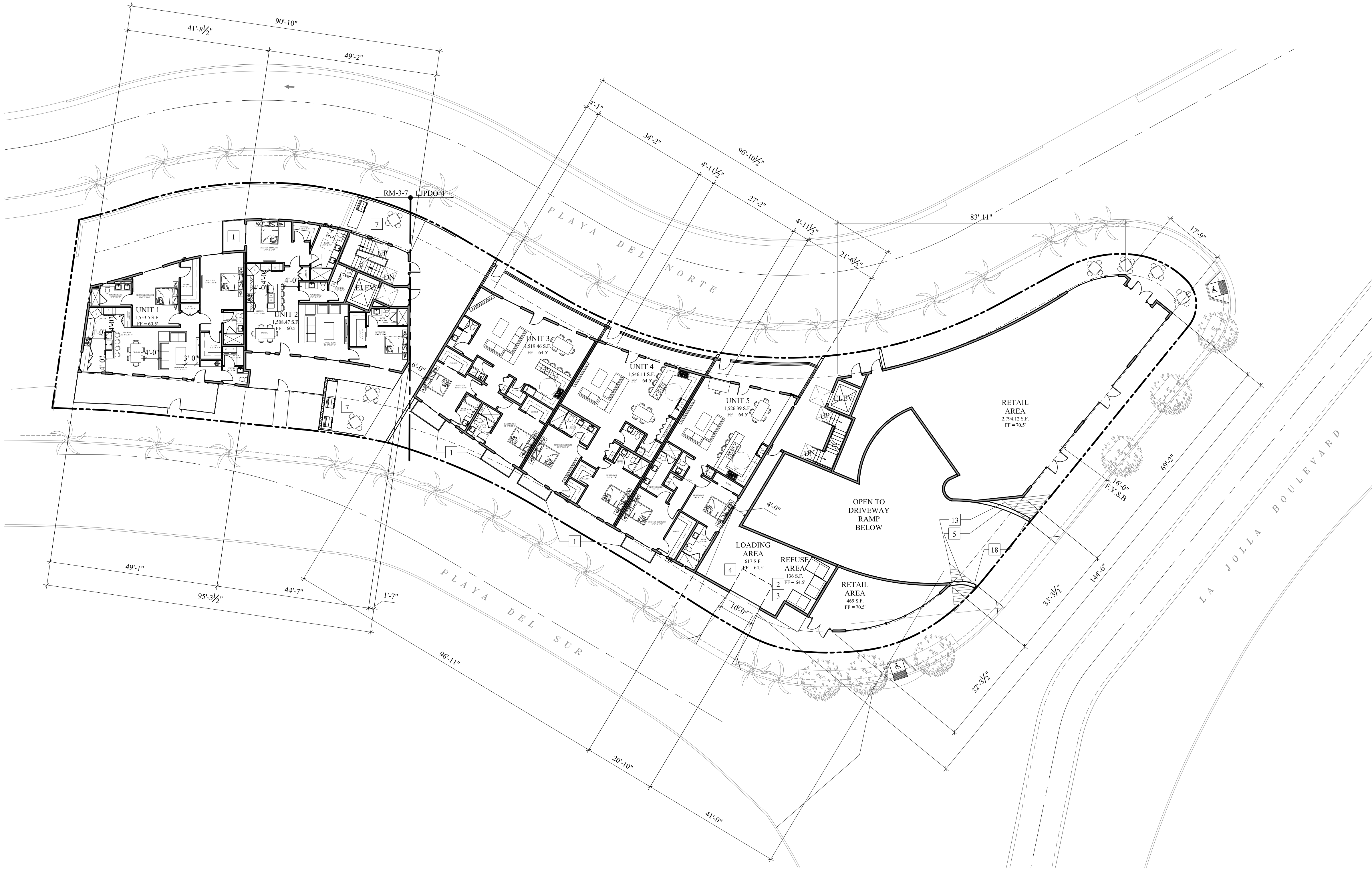
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FLOOR PLAN LEGEND

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- PROPOSED EXTERIOR LIGHTING



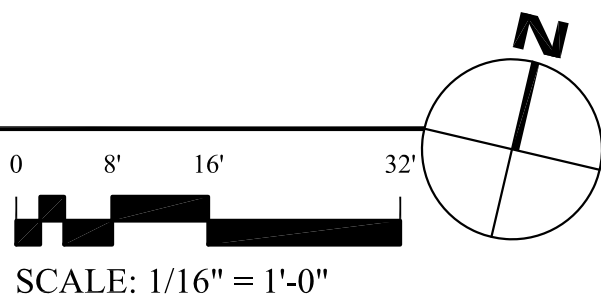
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INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.



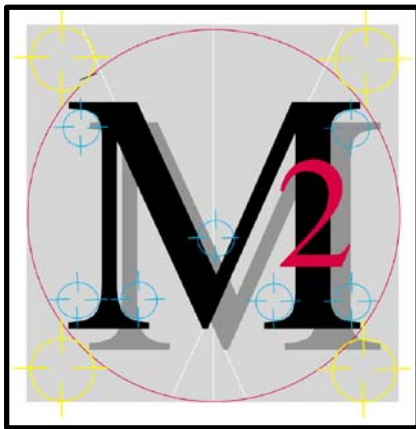
FLOOR PLAN KEYNOTES

- | | |
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| 2 LJPD0-4 REFUSE AREA; 32 SF MIN.; PER SDMC 159.0407. | 11 OUTLINE OF WALLS ABOVE |
| 3 RM 3-7 REFUSE AREA; 24 SF MIN.; PER SDMC 142.0810, 142.0820 AND TABLE 142.08B | 12 8'-0"X18'-0" TURN AROUND AREA |
| 4 LOADING ZONE: 623 SQ. FT. (16'-8" x 37'-4", 14' H) PER SDMC 159.0409. | 13 VISIBILITY TRIANGLES, NO OBSTRUCTIONS OVER 3 FT SHALL ENCROACH, TYP. |
| 5 NEW 36" SITE WALLS, STUCCO FINISH | 14 GREEN ROOF OVER LOADING ZONE |
| 6 NEW 42" SITE WALLS, STUCCO FINISH | 15 ROOF BELOW |
| 7 RM 3-7 COMMON EXTERIOR SPACE PER SDMC 131.0456 | 16 RM 3-7 UPPER LEVEL WALKWAY PER SDMC 131.0461(c)(3) |
| 8 10 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE | 17 NEW TANKLESS WATER HEATER; SEE FLOOR PLAN NOTE L |
| 9 163.5 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE | 18 CONVEX SAFETY MIRRORS |
| | 19 LJPD0-4 UPPER LEVEL WALKWAY PER SDMC 159.037(b) |

1 PROPOSED GROUND LEVEL PLAN

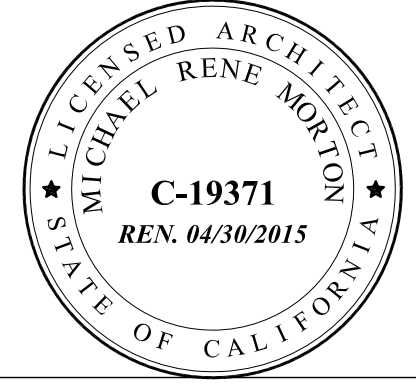


SCALE: 1/16" = 1'-0"



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SU CASA
6738 LA JOLLA BLVD
LA JOLLA, CA. 92037

REVISIONS
2015-04-22 Completeness Submittal
2015-05-14 Full City Submittal
2015-08-27 Full City Resubmittal
2015-11-10 Full City Resubmittal
2016-03-08 Full City Resubmittal
2016-08-22 Full City Resubmittal



PHASE DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM

DRAWN BY GR

DATE 08-22-2016

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmissions, conversions, media degradation, software error, or human attention. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product for or as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the controlling documents in the event of a dispute.

SHEET TITLE PROPOSED SECOND LEVEL PLAN

A-2.3

SHEET OF

FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1
- D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For Demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
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- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate per Title 24 report.
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- T. Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND

- NEW 2 X 6 EXTERIOR WALL W/ 1/2" PLY & 7/8" STUCCO ON BOTH SIDES
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
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- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A-8.1
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- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
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- PROPOSED EXTERIOR LIGHTING
- NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED

EXISTING STRUCTURE DIMENSION
PROPOSED STRUCTURE DIMENSION

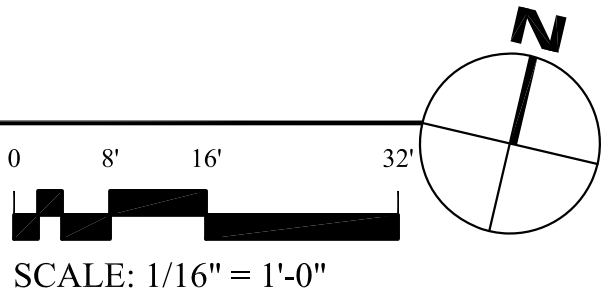
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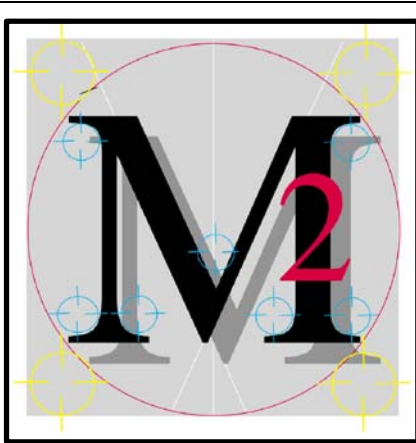


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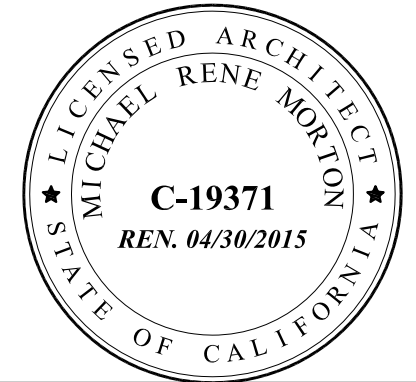
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2016-08-22	Full City Resubmittal



PHASE	DESIGN
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PROJECT NO.	2014-26
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REVIEWED BY	CAM
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DRAWN BY	AB
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DATE	08-22-2016
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SHEET TITLE
PROPOSED
THIRD LEVEL
PLAN

A-2.4

SHEET OF

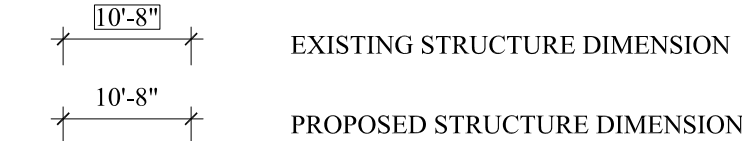
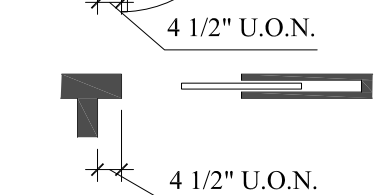
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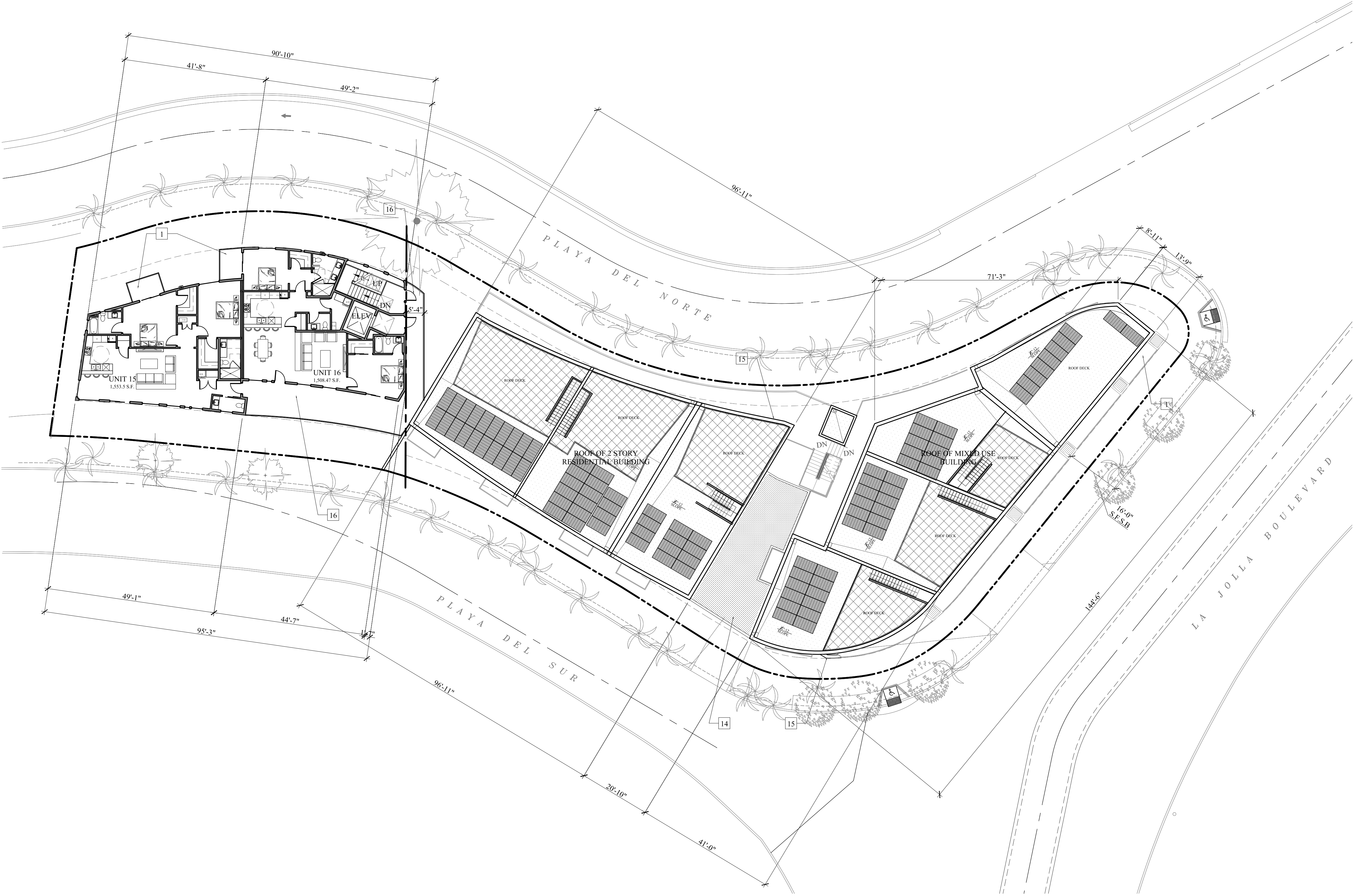
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1 PROPOSED THIRD LEVEL PLAN