

BASIS FOR STRUCTURAL DESIGN

FOUNDATIONS / SOILS CRITERIA:

SOILS ENGINEER: CHRISTIAN WHEELER ENGINEERINGREPORT NO.: CWE 2150460.01

STRUCTURAL NOTES

SPECIAL INSPECTION: VES
NO

1. PROP "D" HEIGHT LIMIT AREA

□ N0 2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.

STRUCTURAL OBSERVATION

X YES

☐ YES STRUCTURAL OBSERVATION: ☐ NO

STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:

1. REFER TO SHEET S1 FOR "STRUCTURAL OBSERVATION PROGRAM".

STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.



6738 LA JOLLA BLVD. ⊥ LA JOLLA, CA 92037

● FIRE HYDRANTS WITHIN 600' RADIUS

DEFERRED SUBMITTALS

Note: Plans for the deferred submittal shall be submitted in a ti that allows a minimum of 30 working days for initial plan r comments related to the deferred submittal must be address satisfaction of the Plan Check Devision prior to approval of items. *LDM Vol. 1, Ch. 1, Sec. 2.*

- 1. NFPA 13D Automatic Sprinkler System
- 2. The submittal of residential fire sprinkler plans require California Residential Code Section R313 has been defe
- 3. To avoid delays in construction, plans for fire sprinkler p submitted not less than 30 calendar days prior to installa to requesting a foundation inspection when the submittal sprinkler plans is deferred. A framing/rough inspection s requested prior to approval of the fire sprinkler plans.
- 4. Complete plans and specifications for all fire extinguishing including automatic sprinkler and standpipe systems and special fire extinguishing systems and related appurtenal submitted to the City of San Diego for review and approximitallation.





	SCOPE OF WORK		SHEET INDEX
air St	CONSTRUCTION OF THREE BUILDINGS FOR A TOTAL OF 27,769.4 SQ. FT. OVER BASEMENT. A THREE STORY BUILDING WITH (6) TWO BEDROOM RESIDENTIAL UNITS, A TWO STORY BUILDING WITH (6) TWO	<u>NAME</u> T-1.1 T-1.2 T-1.3	<u>CONTENT</u> TITLE SHEET GENERAL NOTES GENERAL NOTES
	BEDROOM RESIDENTIAL UNITS AND A TWO STORY MIXED USE BUILDING WITH 3,263.12 SQ. FT. OF RETAIL AT GROUND LEVEL AND (4) ONE BEDROOM RESIDENTIAL UNITS AT SECOND LEVEL.	TOPO TOPO C-0 C-1 C-2 C-3	CIVIL SURVEY CIVIL SURVEY STREET EXHIBIT PROPOSED SITE DEMOLITION PLAN PROPOSED GRADING PLAN PROPOSED EROSION CONTROL PLAN
	THE SITE WILL HAVE A TOTAL OF 16 RESIDENTIAL UNITS AND 3,263.12 SF OF RETAIL SPACE WITH UNDERGROUND PARKING OF 38 SPACES. THE PROJECT PROPOSES TO VACATE AND DEDICATE	SP-1 SP-2 SP-3	SPECIFICATIONS SPECIFICATIONS SPECIFICATIONS
	PORTIONS OF THE RIGHT OF WAY TO MAINTAINA CONTINUOUS 10'-0" CURB TO PROPERTY LINE THROUGHOUT THE SITE. WE ARE REQUESTING A SITE DEVELOPMENT PERMIT	ARCHITEC A-1.0 A-1.1 A-1.2 A-1.6 A-2.1	PROPOSED SITE DEMO PLAN PROPOSED SITE PLAN PROPOSED PARKING PROPOSED GROUND FLOOR AREA PLAN
	AND A COASTAL DEVELOPMENT PERMIT. PROJECT TEAM	A-2.1 A-2.2 A-2.3 A-2.4 A-2.5 A-2.6 A-2.7 A-2.8	PROPOSED BASEMENT/PARKING LEVEL PLAN PROPOSED GROUND LEVEL PLAN PROPOSED SECOND LEVEL PLAN PROPOSED THIRD LEVEL PLAN PROPOSED BASEMENT/PARKING LEVEL ACCESSIBLITY PLAN PROPOSED GROUND LEVEL ACCESSIBLITY PLAN PROPOSED SECOND LEVEL ACCESSIBILITY PLAN PROPOSED TURD LEVEL ACCESSIBILITY PLAN
a timely manner n review. All essed to the of the submittal	OWNER'S Su Casa Properties 912 NEWKIRK DR La Jolla, CA 92037ARCHITECT Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo cmarengo@san.rr.com Cell: (619) 417-1111	A-2.8 A-4.1 A-5.1 A-5.2 A-5.3 A-5.4 A-5.5 A-6.1 A-6.2 A-6.3 A-6.4 A-6.5 L-1.1 L-1.2	PROPOSED THIRD LEVEL ACCESSIBILTY PLAN PROPOSED ROOF PLAN PROPOSED ELEVATIONS PROPOSED ELEVATIONS PROPOSED ELEVATIONS PROPOSED ELEVATIONS - FENESTRATION DIAGRAM PROPOSED ELEVATIONS - FENESTRATION DIAGRAM PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED SECTIONS PROPOSED LANDSCAPE PLAN PROPOSED IRRIGATION DETAILS
ared by eferred. er plans shall be allation or prior attal of fire on shall not be s. shing systems, and other enances shall be proval prior to	TOPOGRAPHY SURVEY San Diego Land & Surveying & Engineering, Inc.9665 Chesapeake Drive, Suite 445,San Diego, California 92123Telephone: (858) 565-8362Fax: (858) 565-4354CIVIL ENGINEERINGSpear & Associates, Inc.475 Production St.San Marcos, CA 92078Telephone: (760) 736-2040Fax: (760) 736-4866Contact: Ray Spear	L-1.2	

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STORM WATER QUALITY NOTES CONSTRUCTION BMPs

This project shall comply with all requirements of the state permit; California Regional Water Quality Control Board, San Diego Region, order NO. 2001.01 NPDES NO. CAS010875 (<http://www.swrcb.ca.gov/rwqcb9/programs/sd_stormwater.html>)

Notes 1-6 below represent key minimum requirements for construction BMPs

1. Sufficient BMPs must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a

storm event that causes a breech in the installed construction BMPs. 2. All stock piles of uncompacted soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and

sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.

3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site. 4. All erosion/sediment control devices shall be maintained in working order at all times.

5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.

6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

SMOKE DETECTOR AND CO2 NOTES

- . Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- . All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of the governing CRC and the household fire warning equipment provisions of NFPA 72. Systems and components shall be California State Fire Marshal listed and approved in accordance with CCR, Title 19, Division 1 for the purpose for which they are installed. [Sec. R314.1]
- . Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection. [Sec. R314.4]
- . Where more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed [Sec. 907.2.11.3]. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units which fuel-burning appliances are installed and in dwelling units that have
- attached garages. [Sec. R315.1]. . Single- and multiple-station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. Carbon Monoxide alarms and carbon monoxide detectors shall be installed in accordance with thi code, the current edition of NFPA 720 "Standard for the installation of Carbon Monoxide (CO) Detection and Warning Equipment" and the manufacturer's installation instructions. Other carbon monoxide alrams and detection devices as recognized in NFPA are also acceptable. [Sec. 420.4.3].
- For new construction, required carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection. [Sec. 420.4.1.1].
- . Interconnection: Where more than one carbon monoxide alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R-2, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed [Sec. 907.2.11.3].
-). In buildings meeting the definition of "COVERED MULTIFAMILY DWELLINGS" in accordance with Chapter 11A and with fuel-burning appliances and/or attached garages as described in Section 420.4.1, all required carbon monoxide alarms shall be provided with the capability to support visible alarm notification appliances in accordance with NFPA 720 and Chapter 11B. (CB) 420.4.4

CAL GREEN NOTES

sidential bathroom lavatory sink faucets:

After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement:

OWNER SIGNATURE

- Provide a fire sprinkler head in all applicable clothes closets, linen closets, & pantries on this home.
- Per Sec 4.406.1, Joints & openings, annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
- A minimum of 50% of the construction waste generated at the site is diverted to recycle or salvage per CGBSC section 4.408.1 and city ordinance.
- Per Sec 4.410.1, Before final inspection, a complete operation & maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of the maintenance manual.
- Per Sec 4.504.1, Duct openings and other related air distribution component openings shall be covered during construction. Per Sec 4.504.2.1, Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
- Per Sec 4.504.2.2, Paints, stains and other coatings shall be compliant with VOC limits.
- 9. Per Sec 4.504.2.3, Aerosol paints & coatings shall be compliant with product weighted MIR limits for VOC & other toxic compounds.
- 10. Per Sec 4.504.2.2, Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what
- material has been used and its compliance with the code must be submitted to the building inspector. 1. Per Sec 4.504.3, Carpet and carpet systems shall be compliant with voc limits. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the code must be submitted to the building inspector.
- 2. Per Sec 4.504.4, 50% of the floor area receiving resilient flooring shall comply with the VOC-emmission limits defined in the CHPS LOE-emitting materials list or be certified under the RCFI floor score program.
- 3. Per Sec 4.504.5, Particle board, MDF, & hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. a letter from the installer and or the building owner certifying what material has been used and documenting its compliance with the code must be submitted to the building inspector
- 14. Building materials with visible signs of water damage shall not be installed walls and floor framing shall not be enclosed when framing members exceed 19% moisture content. 15. Per Sec 4.505.3, The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either probe type or contact type moisture meter. A certificate of compliance indicating date of test, location & results issued by the framer, subcontractor or general contractor must be submitted to the building inspector. 16. The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture
- meter. A Certificate of Compliance indicating date of test, location and result issued by the framer subcontractor or general contractor must be submitted to the building inspector. . Exhaust fans which terminate outside the building are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.
- 18. Automatic irrigation systems controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following: 1) Controller shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants needs as weather conditions change. 2) Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or
- communicates with the controller's). Soil moisture-based controllers are not required to have rain sensor input. 9. Per Sec 4.503.1, Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
- 20. Per Sec. 4.506.1, Mechanical exhaust fans which vent directly from bathrooms shall comply with the following:
- 1) Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- 2) Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of
- adjustment between a relative humidity range of 50 to 80 percent. . Per Sec 4.507.2, The Heating and Air Conditioning equipment was sized, designed and selecting using Energy Pro 5.6.1. Reference T24 calculations on sheet T-2 for more info. 1) A signed affidavit from installer stating method used for the selection of heating and Air Conditioning equipment and that such equipment was installed in accordance to that method is
- required, this affidavit shall be presented to the Building Inspector BEFORE Final Inspection. 22. Per Sec 4.303.1 Please demonstrate a 20% reduction of Indoor water use, it can be demonstrated by one of the following methods:
- 1) Each plumbing fixture and fitting shall meet reduced flow rates specified in Table 4.303.2 (below)
- 2) A calculation demonstrating a 20% reduction in the building water use baseline as established in Table 4.303.1 shall be provided. For low-rise residential occupancies, the calculation shall be limited to the following plumbing fixture and fitting types: water closets, urinals, lavatory faucets and showerheads. See Work Sheet (WS-01) from Chapter 8 of the GreenCode. 23. 4.303.3 Plumbing fixtures and fittings. Plumbing fixtures(water closets and urinals) and fittings (faucets and showerheads) shall meet the standards referenced in Table 4.303.3. 24. 4.304.1 Irrigation controllers. Automatic irrigation systems controllers installed at the time of final inspection shall be weather-based:
- a. Controllers shall be weather-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.

a. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s).Soil moisture-based controllers are not required to have rain sensor input.

FIXTURE FLOW RATES
MAXIMUM FLOW RATE $\geq 20\%$
REDUCTION
2 gpm @ 80 psi
1.5 gpm @ 60 psi
1.8 gpm @ 60 psi
1.28 gallons / flush
0.5 gallons / flush

1. Lavatory Faucets shall not have a flow rate less that 2. Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.

3. Where complying faucets are unavailable, aerators rated at .35 gpm or or other means may be used to achieve reduction.

4. Includes single and dual flush water closets with an effective flush of 1.28 gallons or less. Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2. Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A11

TABLE 4.303.3

STANDARDS FOR PLUMBING FIXTURES AND FIXTURE FITTINGS

REQUIRED STANDARDS Vater closets (toilets)-flushometer valve-type single flush, max. flush volume ASME A 112.19.2/CSA B45.1 - 1.28 gal (4.8 L) Water closets (toilets)-flushometer valve-type dual flush, max. flush volume ASME A 112.19.14 and U.S.EPA WaterSense Tank-Type High-Eff. Toilet Spec-1.28 gal(4.8 U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification Water closets (toilets)-tank type ASME A 112.19.2/CSA B45.1 - 0.5 gal (1.9 L) Jrinals, maximum flush volume ASME A 112.19.19 (vitreous china) ANSI Z124.9-2004 or IAPMO Z124.9 (plastic) Jrinals, nonwater urinals Maximum flow rate - 0.5 gpm (1.9 L/min) ASME A 112.18.1/CSA B125.1 Public lavatory faucets: Public metering self-closing faucets: Maximum water use - 0.25 gal (1.0 L) per metering cycle ASME A 112.18.1/CSA B125.1

Maximum flow rate - 1.5 gpm (5.7 L/min) ASME A 112.18.1/CSA B125.1

- 67. Each faucet shall not exceed a water flow of 2.2 gallons per minute (2.2. GPM).

Mechanical

- Fahrenheit.

- **Electrical**

- Framing

- Finish
- Exterior

Roofing

- maximum Plumbing

Project General Notes

. These drawings and specifications are the property and the copyright of Marengo Morton Architects, Incorporated. No use, copies or alterations of this material is allowed unless the written permission of Marengo M Incorporated, is granted prior to use, except for the temporary use to construct the said work described in the project title block. No rights, ownership privileges or reuse of information contained herein is conveyed, a transferred to any party. © Marengo Morton Architects Incorporated © State of California, © United States of America.

Before commencing any work on the site, the General Contractor shall verify locations of all site dimensions and site conditions. These include but are not limited to property lines, required setback lines to all new or e walls, easements (if any), existing grade locations, finish floor elevations, existing site utilities, and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise n lines, easements (if any), underground utilities or any other items as needed.

All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on t On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors. These drawings have been prepared from the latest information available on existing conditions. Minor variations may occur in the actual construction. Any discrepancy or area of confusion between field conditions a shall be brought to the attention of the Architect prior to proceeding with work in question. Do not proceed with work in question until the Architect issues written directions.

. In case of conflict within the drawings the order of precedent shall be: 1) specific details, 2) drawing notes, 3) specifications and (4) general notes. Neither the Owner nor the Architect shall enforce safety measures or regulations. They are the General Contractor's sole responsibility.

The General Contractor and Subcontractor's work shall be in accordance with all applicable federal, state, and local building codes and agency standards.

Project General Notes

The provisions of the 2013 California residential code shall apply to the construction alteration, movement, replacement, replacement, repair, equipment, use and occupancy, location, maintenance, removal, and demolition of detach two-family dwelling, townhouses note more than three stores above grade plane in height with a separate means of egress and structures accessory thereto. Cal-OSHA requirement: A Construction activity permit is required for: Construction of trenches or excavations which area five feet or deeper and into which a person is required to descend. Construction of any building, structures falsework, more than three stories high or the equivalent height (36 feet), Erection or dismantling of vertical shoring systems more that three stories high, or the equivalent height (36 feet)

). Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 1. Paints, stains and other coating shall be compliant with VOC limits.

12. Aerosol paints and coatings shall be compliant with product weighted MIR limits for VOC and other toxic compounds.

13. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code i the Building Inspector. 14. Fifty percent of floor area receiving resilient flooring shall comply with the VOC -emission limits defined in the Collaborative for High Performance Schools (CHPS) Low -emitting Material list or be certified under the Resilient Fl

Institute (RCFI) Floor Score program. 5. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 6. Moisture content of building materials used in wall and floor framing is checked before enclosure. Building material with visible sign of water damage shall not be used. Insulation products which are visibly wet or have a high moi be allowed to dry prior to enclosure.

Site Preparation

7. Prior to excavation, General Contractor shall confirm location of underground utilities.

18. In the event that utilities or concealed structures are discovered during construction at exposed or unexposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utilities or concealed structures are discovered during construction at exposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utilities or concealed structures are discovered during construction at exposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utilities or concealed structures are discovered during construction at exposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utilities or concealed structures are discovered during construction at exposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utilities or concealed structures are discovered during construction at exposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utilities or concealed structures are discovered during constructions. 9. The General Contractor and Subcontractor shall be responsible for the appropriate hook up to all utilities required to support the work.

20. The General Contractor shall protect the adjacent properties, including, but not limited to dust, trash, or damages due to demolition, excavation, construction and/or flooding originating on the site. 21. These contract documents do not contemplate the handling or treatment of asbestos and/or any hazardous waste materials. Should any hazardous materials be discovered, the General Contractor shall notify the Owner immediately be

22. The General Contractor shall install and maintain a phone at the job site for the duration of construction. 23. A soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the new foundation if requested by the city.

24. It is the General Contractor's responsibility to grade the site and to slope all grading and concrete work to provide positive drainage away from the building and to area storm drains.

Demolition

25. All excavation and grading shall comply with OSHA and other governing regulations.

26. Demolition shall conform to extent shown on the Demolition Plan. No structures are to be removed or modified with notification to the Architect and confirmation that they are in conformance with the approved permit plans. 7. Shoring shall be provided where demolition of support structures occur.

8. Prior to the start of any demolition or construction, the General Contractor shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be shall present this inventory to the Owner and the Architect for their approval. The GC shall be held responsible for replacing any re-locatable item damaged during the demolition process. Salvaged items shall be the Owner's choosin Owner's property.

Floor Plan

29. Interior finishes must conform to the requirements of Chapter 12, 2013 CBC. All decorative materials are required to be maintained in a flame-retardant condition.

0. Different floor finishes shall meet under the door, unless otherwise noted.

1. Smoke detectors shall be provided in all sleeping rooms, in adjacent hallways, and in areas that conform to Section 907.2.11.2, 2013 CBC. 2. Maintain 1-hr fire resistive wall and ceiling construction between the garage and the residence for occupancy separation. Refer to Section 706.1, 707.3.9 and Table 707.3.9, 2013 CBC.

3. Glass and glazing shall conform to the provisions of Chapter 24, Section 2406, 2013 CBC. All glazing panels adjacent to doors and within 18" of walking surfaces shall be tempered.

4. Provide R-13 insulation in all exterior walls and bathroom walls. Provide R-19 insulation between floors and R-30 in attic space. Refer to Section 719, 2013 CBC. 5. Provide emergency exit doors or windows from sleeping rooms. Net clear opening area shall be not less than 5.7 sq. ft., (821 sq. in.) Minimum opening height shall be 24". Minimum opening width shall be 20". Maximum finished s

44" above floor. 36. Provide under-floor crawl space ventilation in foundation walls of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen frame at each opening.

7. At transition to exterior balconies and decks shall provide a minimum step down to finish surface of 1 inch (U.N.O.). Rough framing surfaces shall have a minimum 2-inch step down. (U.N.O.)

38. Provide solid blocking in wall framing for all cabinets, countertops, mirrors, shelving, light fixtures, and miscellaneous wall and ceiling mounted or recessed items. (whereever a cabinet or an item requiring support is depicted graph 39. Contractor shall coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment. 40. Provide draft stop in the attic space. Attic space shall not exceed 3,000 sq. ft., or 60'-0" in horizontal length.

41. Under-Floor Clearance (raised wood floors): wood joist or bottom of wood structure shall be no closer than 18 inches and wood girders shall be no closer than 12 inches. Under floor areas shall be provide with a minimum 18 inch

42. All wood within 8" of earth or 1" of concrete shall be redwood or pressure treated, Section 2304.11.2. 1 & 2 CBC 2013.

3. Stairways and landings shall be constructed as required by Section 1009.5, 2013 CBC. 44. Hold down anchors to be tied in place prior to calling for foundation inspection.

45. Floor sheathing shall be screwed and glued to floor joists.

46. Provide fire blocking at floor, ceiling, coves and mid-height of walls over 10'-0" in height.

47. Install Duroc Tile Backer Board by United States Gypsum or equal on all interior walls, countertops and ceilings to receive tile. Install Duroc according to the manufacturer's recommended specifications. 48. Interior gypsum board corners shall be per interior finish schedule. Interior gypsum board texture shall be per interior finish schedule.

49. All exposed metal flashings shall be painted to match adjacent surfaces. Unless noted otherwise.

50. A weep screed or weep holes shall be provided at or below the foundation plate line for all exterior stud wall finish on the exterior stucco. Weeps shall be placed a minimum of 4" above grade.

1. No vent pipe or any projection shall project above 30'-0' from finish grade, new or pre-existing 5'-0" from building face. The highest point of the roof shall not exceed 30'-0" (U.N.O.).

2. Wood siding: clearance between wood siding and earth on the exterior of a building shall not be less than 6 inches (6") or less that 2 inches to concrete steps, patio slabs porch slabs or similar horizontal surfaces except were side, she framing are of naturally durable or preservative treated wood.

3. Roofing shall be installed in accordance with manufacturer's specific installation instructions. All newly constructed roofs shall be covered with materials identified as Class "A" roof assembly. Class A roof assemblies and roof covered with materials identified as Class "A" roof assembly. listed and identifies as Class A by an approved testing agency.

54. Provide all required sheet metal flashing and caulking. Contractor shall provide 40-year minimum warranty.

5. Provide attic ventilation in roof eaves or in top of wall under gable roof ends of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen in wood or metal frame at each opening. The size of mesh opening

56. Maximum flow rate for showerheads shall be 2.5 gallons per minute (2.5 GPM)

7. All new toilets shall be ultra low flush type, maximum 1.6 gallons per flush. (1.6 GPM) 58. No C.P.V.C. piping to be installed for potable water supply. All water supply lines shall be copper.

59. Permanent vacuum breakers shall be included with all new hose bibbs.

60. All water closets or bidet shall have a minimum clearance of 18" (15" is code minimum) from the centerline of the fixture to any sidewall or obstruction, nor closer than thirty (30") inches center to center to any similar fixture. The of any water closet or bidet shall not be less than twenty-four (24") inches from the front of the fixture. 51. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "type X gypsum board" or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not req

62. State Health and Safety Code Sec 17921.9 bans the use of chlorinated polyvinyl chloride (CPVC) and cross-linked polyethylene (PEX) for interior water supply piping.

63. Building drain and vent piping materials shall comply with Section 701.0and 902.0 of the California Plumbing Code. (CPC) 64. All sanitary system materials shall be listed by an approved listing agency.

65. Potable water piping material shall comply with Section 604.0 of CPC.

66. Lavatory Faucets in restrooms shall be the self-closing type. (Commercial requirement)

68. All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes. Electrical and mechanical systems shall be tested and approved to be in proper working condition to the satisfaction of inspector before the issuance of the certificate of occupancy. 69. All thermostats shall be of the automatic changeover type to sequence heating or cooling. Set point range shall be up to 10 degrees Fahrenheit between full heating and cooling. Adjustable temperature differential shall be one and one

0. Equipment shall have the capacity of terminating all cooling at a temperature of not more than 78 degrees Fahrenheit.

1. At least one automatic space temperature control device shall be provided for each zone.

2. All ductwork shall be constructed, erected and tested in accordance with the most restrictive of local regulation procedures. Refer to the standards adopted by the Sheet Metal and Air Conditioning Contractors National Association a ASHRAE handbook of fundamentals.

3. Provide bathroom ventilation of not less than five (5) air changes per hour.

74. Attic and/or under-floor installation of HVAC units must comply with Sections 303, 304. 305, 308, 2013 C.M.C. 75. Duct opening and other related air distribution component openings shall be covered during construction.

76. All circuit breaker switched 120V AC light circuits or convenience outlets, must use only type GFCI or AFCI circuit breakers.

7. Electrical outlets located in wet areas, bathrooms and laundry rooms, at the exterior or within 6'-0" of the kitchen sink, shall be provided with ground fault interrupter switch (GFCI) 78. Wiring the plenums shall be in conduit or conform to Articles 300-21 and 300-22, NEC.

9. Alteration, repairs and additions: When alteration, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings. The individual dwelling unit shall be equipped with sn as required for new dwellings. 80. Carbon Monoxide Alarms: Locations: Proved smoke alarms in the following locations; 1) outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms(s) 2) on every level of a dwelling unit including

31. Single and multiple -station carbon monoxide alarms shall be listed as complying with the requirements of UL 2304. Carbon Monoxide detectors shall be listed as complying with the requirements of UL 2075. 82. Carbon Monoxide Alarms: In existing dwelling units, where a permit is required for alterations, repairs or additions exceeding \$1,000 dollars, existing dwelling or sleeping units that have attached garages or fuel-burning appliances with carbon monoxide alarms in the specific dwelling unit or sleeping unit for which the permit was obtained.

B. Battery operated carbon monoxide alarms: In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of a wall and ceiling finishes or there means of attic, basement or crawl space.

lorton Architects, allowed or existing building mark all property the job site. and these drawings	 GENERAL PROVISIONS A The following notes apply, unless indicated otherwise. 1. Codes and Standards California Building Code, 2013 Edition (C.B.C.) California Mechanical Code, 2013 Edition (C.M.C.) California Plumbing Code, 2013 Edition (C.P.C.) California Electrical Code, 2013 Edition (C.E.C.) California Fire Code, 2013 Edition (C.F.C.) American Concrete Institute "Building Code Requirements for Reinforced Concrete (ACI 318-88)." Western Wood Products Association Lumber Grading Standards. AWPA Pressure Preservative Treatment Standard for Full Penetration Ground Contact Rating. 	Marengo Morton
hed one and s, scaffolding or	B Existing Conditions: Verify all existing conditions and dimensions before starting work.Report all discrepancies involving existing conditions to the architect, prior to construction.	Architects
must be submitted to	 C Foundations: 1. Spread footing design: 2. Base footings 18 inches minimum below finished grade. Unless noted otherwise. 3. All footings shall rest on firm undisturbed earth or soil with relative compacted of 90%, unless noted otherwise. 	7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769
oisture content shall	 D Concrete Reinforcement: 1. Deformed bars #2 min #6, ASTM A615 Grade 60, fy = 40 KSI, lap 40 bar diameters. 2. Slab-on-grade & other miscellaneous site concrete see drawings for reinforcement. 3. Concrete cover over reinforcement: 4. Footings 3" 5. Formed surfaces exposed to weather or ground 2" 	Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo Desa
ity company	6. Slabs-on-grade, top and bottom minimum 1-1/2"E Concrete:	SED ARCHI RENE AL
by telephone and in	 Minimum ultimate 28-day compressive strength (F'c) shall be 2,500 PSI, unless noted otherwise. An approved water-reducing admixture shall be used in all concrete except footings. Use an approved air-entraining admixture in all concrete (structural and non-structural) where exposed to weather. 	$\begin{array}{c} & & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & & & \\ & &$
e relocated. The GC ing and shall be the	 F Structural Steel 1. Material - Bolts, ASTM A325, minimum 1/2" diameter, unless noted otherwise. 2. Fabrication, AISC specifications for the design, fabrication and erection of structural steel for buildings, Manual Of Steel Construction, Fourteenth Edition 3. All welding by W.A.B.O. certified welders. Welding shall be in accordance with the provisions of the Structural Welding Code AWS D1-1 and AWS D1-4. 4. After fabrication, all items shall be fully coated with two applications steel primer. Items permanently exposed to weather shall be fully primed and coated per specifications. 	All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any
sill height shall be	 G Rough Carpentry: 1. Lumber Materials: -All lumber shall be graded per Western Wood Products Association Lumber grading Standards. Lumber shall bear identification stamps indicating: a) -Grading Association mill number b) -Grade and species c) -Moisture content d) -Preservative treatment 2. Plywood sheathing grade, exposure, span rating and thickness, per plans. 3. Lumber grading: unless noted otherwise, the following shall apply: 	method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.
hically.)	 a) -Wall stud framing Douglas-Fir Larch #2 & better. b) -Singular joists, rafters Douglas-Fir Larch #2 & better. c) -Multiple joists, rafters Douglas-Fir Larch #2 & better. 	
by 24 inch clear neathing and wall	 d) -Stair stringers Douglas-Fir Larch #2 & better. e) -Beams and headers Douglas-Fir Larch #1 & better. f) -Glu-lam beams 24F-V4, industrial grade or as specified on structural calculations. g) -Posts Douglas-Fir Larch #1. 4. Fabrication: Conventional Light Framing - unless noted otherwise, the following shall apply: 5. Timber connectors specified are by Simpson Strong-Tie Co. Inc. or approved equal. Location and size of fasteners for structural anchorage or attachments shall be as specified by manufacturer. a) All floor joists to be solid blocked @ bearing lines, longest un-blocked span = 8' - 0". b) Nails to be Common nails per C.B.C. table 2304.9.1., galvanized based on exposure. c) Minimum nailing to conform to C.B.C. table 2304.9.1. (See plans, specifications & structural details for size and type) d) Wall stud cutting, notching or boring of member per C.B.C. section 2308.9.10 & .11 e) Structural ceiling joist and rafter cutting, notching or boring of member per C.B.C. section 2308.10.4.2 f) Glu-laminated timbers and pressure preservative treated lumber shall be re-sealed (compatible treatment following all shop or field cuts). g) All wood in contact with concrete, masonry, soil or exposed to the exterior (as defined by series). 	SU CASA 6738 LA JOLLA BLVD LA JOLLA, CA, 92037
overing shall be	C.B.C. 2304.11.4) shall be pressure preservative treated lumber.h) Support all concentrated loads bearing on stud or joist cavities with solid bearing or blocking.	REVISIONS 2015-04-22 Completeness Submittal
g shall be ¼' inch clear space in front	 i) Stagger all sheathing panel seams a minimum of two stud/joist cavities. j) Double floor framing joists below interior walls, bathtubs and heavy appliances. H Submittals: All submittals, shop drawings, product samples, etc. shall be reviewed and <u>accepted</u> by the Architect prior to final submittal to fabricator or suppliers. Submittals shall include, but not limited to the following: Concrete mixture, additives and reinforcement. Manufacturer engineered trusses. 	2015-05-14 Full Ĉity Submittal 2015-08-27 Full City Resubmittal 2015-11-10 Full City Resubmittal 2016-03-08 Full City Resubmittal 2016-08-22 Full City Resubmittal
equired.	 c) Fabricated steel. d) -Cabinetry and other built-in items. e) -Special windows. I Construction Quality: All construction shall be of the highest standards for materials and methods of installation. All finish materials not selected shall be reviewed and accepted by the Architect and Owner. 	PHASE DESIGN PROJECT NO. 2014-26
of the building ne-half degrees	 All subcontractors are responsible for inspecting, correcting, and approving all conjunctive conditions of all related prior trades, prior to beginning their own work. Prior workmanship and materials not acceptable to subcontractors shall be brought to the attention of the General Contractor prior to commencing construction. The contractor is responsible for maintaining a neat & tidy job site; only staging areas approved by the owner will be used. 	REVIEWED BY CAM DRAWN BY GR DATE 08-22-2016
as detailed in the	 J Substitutions: 1. No substitutions of specified materials shall be made without written notification to the Architect and Owner and their written acceptance of the substitution. 	Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media
moke alarms located ing basements. is shall be provided is no access by	 K Clean Up: 1. The Contractor shall keep the premises free from accumulation of waste material and/or rubbish caused by their work. At the completion of each day's work, remove all rubbish from and about the building. All tools, scaffolding and surplus materials shall be stored, flagged, or removed, leaving the job site broom clean. 	(including but not recreased on or transmitted as detection in the data (including but not recreased) limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record. SHEET TITLE BMP NOTES CAL GREEN NOTES GENERAL NOTES GENERAL NOTES SHEET D OF SHEET OF

FIRE DEPARTMENT NOTES

GENERAL PLAN PROVISIONS

GENERA
SITE ACCESS NOTES

- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 14. Welding, cutting, and other hot workshall be in conformance with CFC Chapter 26. Provide fire protection for the building during construction in accordance with California Tile 19 and CFC, chapter 9.
- Building shall comply with the 1998 CFC Article 81 for high pile combustible stock.

Storage, dispensing or use of any flammable or combustible liquids, flammable gases, and hazardous chemical shall comply with the California Fire Code regulations.

- **BUILDING INTERIOR FIRE PROTECTION PROVISIONS**
- Provide and install a minimum of one 2A 10BC classification fire extinguisher within 75' travel distance for each 3,000 sq. ft. or portion thereof on each floor. (U.F.C. ARTICLE 10, DIVISION III, U.F.C. STANDARDS 10-1 AND C.A.C. T-19 & 3.29). Mount handle a maximum of 40" Above Finish Floor (A.F.F).
- Doors in the means of egress system to be openable from the inside without the use of a key or any special knowledge or effort (CBC 1008.1.9). No dead bolts, surface bolts, sliding bolts, or other locking devices are permitted except as noted in (CBC 1008.1.8.1.8 AND U.F.C. 1207.3). At main entry doors provide a readily visible, durable sign on or adjacent to the door, stating, "This door must remain unlocked during business hours". Letters to be 1" high on a contrasting background and any locking device shall be readily distinguishable as locked.
- Contractor to secure all permits required by the fire department from the fire prevention bureau prior to occupying this building.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative material shall be properly treated by the product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego. All penetrations of fire resistive wall assemblies must be protected per (CBC Section 712)
- 10. Duct penetrations of fire rated floors, corridors, walls and ceilings shall use fire dampers per (CBC Section 909.10.4).

1. Maintain one hour fire resistive wall construction at built-in fixtures such as Fire Extinguisher cabinets, and electrical panels exceeding 16 sq. in. In area. (CBC Section 906.1)

BUILDING EMERGENCY SIGNAGE PROVISIONS

12. Exit signs and illumination (egress identification) shall be provided per (CBC Section 1011). Exit signs must be internally illuminated. The word "Exit" 1133B.2.4.1.) shall be in high contrast with their background as noted in this section. Provide two separate power sources for exit signs conforming to (U.F.C. SECTION 1211 **STAIRWAYS** and 1212; CBC Section 1011.5.3). Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.

13. Address identification shall be provided for all new and existing building in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address cannot be viewed from the publicway, an approved sign shall be used to identify the structure. Premises identification shall conform to Section 96.0209 of the San Diego Municipal Code and CBC 501.2.

14. Key boxes shall be provided for all (high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other) structures or areas where access to an area is restricted.

BUILDING FIRE SUPPRESSION SYSTEM PROVISIONS

- **15.** This building (is / is not) equipped with an approved automatic sprinkler system. Submit design -building plans for modification and upgrades indicating fire department approval to Architect/Owner prior to installations. Changes to accommodate field conditions shall be re-submitted for final approval with no additional charge to the Owner.
- 6. Fire sprinkler heads shall be centered in ceiling tiles and soffits. Locate in center of soffit for all conditions unless noted otherwise. Align with centerline of window mullion or center head between mullions only. Center heads between light fixture and adjacent wall. Random or asymmetrical placement of sprinkler heads is not acceptable. Heads shall be recessed at soffit and areas were finished gypsum ceiling occur.
- Plans for all fixed fire protection equipment such as standpipes, sprinkler systems, site utilities (detector check, Fire Dept. Connection, etc.), and fire alarm systems must be submitted by the installing contractor to, and approved by, the Fire Prevention Bureau, owner's insurance organization, and architect befor this equipment is installed.
- 18. The installation of automatic sprinkler systems shall comply with the (CBC Section 901.2), for combined systems. Automatic fire sprinkler system shall be design-build.
- 9. When serving more than 100 sprinklers, automatic sprinkler systems shall be supervised by an approved central, proprietary or remote station service for a local alarm, which will give an audible signal at a constantly attended location. (Approved by the Fire Department, U.F.C. SECTION 1003.3). 20. It shall be the fire sprinkler contractor's responsibly to review the plans and provide fire sprinklers in all void spaces, canopy overhangs, etc. as required by
- the uniform fire code and local ordinances. Any access openings shall be coordinated and approved by general contractor and owner prior to installation. Fire stops must be provided in accordance with (CBC Section 717) in the following locations: a) In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling level.
- b) In concealed spaces of stud walls and partitions, including furred spaces, at 10 foot intervals along the length of the wall
- c) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceiling and covered ceilings. d) In concealed spaces between stair stringers at the soffits, drop ceiling and covered ceilings and in line with the run of stairs if unfinished.
- e) In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels with non combustible materials.
- 21. A fire sprinkler system, if required (as noted on SHEET #CS1), will be supplied and installed at contractor's sole cost and expense. System shall be install in compliance with all codes, including local. Supply lines, valves, and pop-up heads, without drops, and any necessary temporary threaded galvanized plugs for installed drops and heads to all rooms and areas of the premises required by applicable codes. Monitoring devices, alarms, pulls, enunciator panels, visual and audio warning indicators, strobes, and any other required materials, system testing, inspection approval by the local fire inspector, and
- monitoring fees including telephone lines, if required, are the responsibility of the contractor. 22. Life safety systems (i.e. smoke alarms and fire detection systems) are the responsibility of the landlord. Landlord is responsible for any monthly monitoring and associated fees.
- Emergency fire devices: where required by the Fire Department, (contractor to verify prior to bid) contractor shall provide design-build (including all city fire dept. Approvals) visual emergency warning systems where audible emergency warning systems are required. This system shall be designed and installed in accordance with the (NFPA 72 AND 72G AS AMENDED IN CHAPTER 60, 6003 AND 6004).
- 24. Accessibility requirements for emergency Fire Devices:
- a) Install fire alarm pull devices and equipment @48" A.F.F. to center line or highest operable part. b) If emergency warning systems are required, they shall include visual warning devices that are designed and installed per (NFPA 72 AND 72G AS
- AMENDED IN CHAPTER 35/60).
- c) Place visual alarms at 80" A.F.F. to 6" below ceiling line (whichever is higher) in common use areas including lobbies, restrooms and hallways.
- d) Visual alarms flash < 60 times per minute shall comply with state fire marshal standards when audible emergency warning systems are supplied. e) Install visual alarms < 50'-0'' apart in common use areas or max. 100'-0'' apart when partitions/ obstacles are < 72'' A.F.F., in lieu of hanging them from the ceiling. (NFPA 72G)
- f) Locate visual notification devices in common use areas i.e.: restrooms, music rooms, corridors, gymnasiums, rooms with excessive noise, multiple purpose rooms, occupational shops, lobbies, meeting rooms, (CBC Section 907.9.1.1).
- FIRE DEPARTMENT REQUIREMENTS 25. Fire access roadway signs/red curbs shall be installed per FOPS policy (A-00-1. FIRE ACCESS ROADWAYS [U.F.C. 901.4.2])
- 26. ≣Fire hydrants shall comply with (FOPS F-00-1) for on-site fire hydrants.
- 27. Fire hydrant locations shall be identified by the installation of reflective markers. [CFC 901.4.3]
- 28. An approved access walkway leading from fire apparatus access roads to exterior openings required by fire or the building code shall be provided. Show Rewalkway on the plans. [CFC 901.4.3]
- 29. Fire apparatus access roads and water supplies for fire protection, shall be installed and made serviceable prior to and during time of construction. [CFC] ₹1408,1410,1412,1413]
- 30. 🛙 huildings four or more stories in height, standpipes shall be provided during construction when the height reaches 40 feet above the lowest level of fire department access. A fire department connection shall be no more than 100 feet from the available fire department vehicle access roadways. [CFC] ü1410,1413
- Emergency plans shall be submitted to fire and life safety services, 1010 second Ave., Ste. 300, for review and approval to occupancy. See (FOPS E00-2 ¬[CFC 1303.4.2, T., 19, SECT. 3.09])

32. Decorative materials shall be maintained in a flame-retardant condition. [TITLE 19, SECT. 3.08, 3.21; CFC 804]

- 33. 🚆 REQUIREMENTS FOR PORTABLE FIRE EXTINGUISHERS:
- At least one 2-A-10-BC fire extinguisher shall be provided so that the travel distance from anywhere in the buolding does not exceed 75 feet to an extinguisher. Extinguishers shall be located along the normal path of travel and in a readily visible and accessible location, with the bottom of the extinguisher at least 4 inches above the floor
- At least one fire extinguisher with a minimum rating of 4A20BC shall be provided outside of each mechanical, electrical or boiler room. [CFC 1002, U.F.C. STANDARD 10-1, TITLE 19, SEC. 3.29]
- A sodium bicarbonate or potassium bicarbonate dry-chemical type portable fire extinguisher having a minimum rating of 10b shall be installed within 3 feet of commercial food heat-processing equipment. [CFC 1006.2.7]

During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable and combustible liquids are stored or used, and where other special hazards are present per CFC 1415.1 FIRE EXTINGUISHING SYSTEMS:

- Description: Complete plans and specifications for fire-extinguishing systems, including automatic sprinklers and standpipe systems and other fire extinguishing systems. systems and related appurtenances shall be submitted to the City of San Diego for review and approval prior to installation. [CFC 901.2] (E) Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19
- All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitore
- where the number of sprinklers is 20 or more [CBC 903.4]. Automatic fire sprinkler system(s) and all control valve, with the exception of those listed in CBC 903.4 shall be monitored by a UL listed central alarm station. Approved automatic fire extinguishing systems shall be provided for the protection of commercial-type cooking equipment. Separate complete plans for
- these systems shall be submitted to fire and life safety for review and approval to installation. [CFC 1006.2.1]
- FIRE ALARM SYSTEMS Description 2 Complete plans and specifications for fire alarm systems shall be submitted to the City of San Diego Development Services for review and approval prior to installation. [CFC 907.1.1]
- B) Fire alarm systems shall be installed in accordance with CBC 907.6
- (2) One approved audible device must be connected to every automatic sprinkler system in an approved location on the exterior of the structure CBC 903.4.2 Complete plans and specification for the operation of elevators shall be submitted to fire and life safety for review and approval prior to installation. [CBC -Sec. 3001.1]
- 87. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308
- 38. The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths.

49. Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or Ecombustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated [CFC 304.3]

percent slope) (CBC Sec. 1126A.3.2.1.)

3. The level area shall have a length in the direction of door swing of at least 60 inches and the length opposite of the direction of door swing of 48 inches as measured at right angle to the plane of the door in its closed position. (CBC Sec. 1133B.2.4.2)

Rev≞1-21-2013

- Section 1126A.4
 - 1126A.4

- 1133B.2.5.2

1129B.4

AL ACCESSIBILITY NOTES

Accessible Route of Travel shall be provided to all portions of the building to accessible building entrances, and between the building and the public way. At least on accessible route within the boundary of the site shall be provided from the public transportation stops, accessible parking and accessible passenger loading zones and public

streets or sidewalk to the accessible building entrance they serve. CBC Section 1110A.1 Primary entry access: All entrances and exterior ground level exists shall be accessible to the disabled per applicable ADA requirements. (CBC Section 1114A 1-4) Walks and sidewalks shall have a continuous common surface, not interrupted by steps or by abrupt changes in level exceeding ½", and shall be a minimum of 48" inches wide. If walk or sidewalk has a clear width of less than 60", than passing spaces of at least 60 inches by 60 inches shall be located at reasonable intervals not to exceed 200 feet. A T-intersection is an acceptable passing space. CBC Section 1133B.7.1. Walks and sidewalks shall have a slip resistant surface. Surfaces with a slope of less than 6 percent gradient shall be at least as slip resistant as that described as a medium

salted finish. CBC Section 1133B.7.11 Surface cross slopes shall not exceed 1 unit vertical in 50 units horizontal (2% slope) - 1/4" per foot). CBC Section 1133B7.1.3

When the slope in the direction of travel of any walk exceeds one vertical unit to 20 units horizontal (5%) it shall comply with the provision for pedestrian ramps (see ramp notes). CBC Section 1133B.7.4 Changes in Level: Changes in level up to ¹/₄" may be vertical and without edge treatment. Changes in level between ¹/₄" and ¹/₂" shall be beveled with a slope no greater than

1:2. Changes in level greater than $\frac{1}{2}$ " shall be accomplished by means of a curb ramp, ramp, elevator or platform lift. CBC Section 1124B.2 Walks, sidewalks and pedestrian ways shall be free of gratings whenever possible. Gratings located in walking surfaces or accessible routes and spaces shall have spaces (openings) no greater than $\frac{1}{2}$ " in one direction. If grading has elongated openings, then they shall be placed so that the long dimension is perpendicular to the dominant direction of travel. CBC Section 1133B.7.2

All walks with continuous gradients shall have level areas at least 5 ft. in length at intervals of at least 400 ft. CBC Section 1133B.7.5

10. During periods of partial or restricted use of the building or facility, the entrance used for primary access shall be accessible to and usable by the physically disable. 1. Any obstruction above 27" and below 80" that overhangs a pedestrian way shall protrude from the wall no more than 4" max. Objects below 27" shall not be limited. 12. Walks shall be provided with a level area not less than 60" x 60" at a door or gate that swings toward the walk, and not less than 48" wide by 44" deep at a door or gate that swings away from the walk. Walks shall extend a minimum of 24" to the side of the strike edge of a door or gate that swings toward the walk. CBC 1126A.3.2.1 a) 80" headroom shall be provided from all walkway surfaces to obstructions. CBC Section 1133B8.2

13. Provide a 36" wide continuous detectable warning at boundaries between walkways and vehicular ways, complying with CBC Section 1121B.3.1, Item 8(a). 14. Provide a level floor or landing on each side of all doors. The floor or landing shall not be more than ½" lower than the threshold of the doorway. (CBC Section

5. Stairways shall have handrails on each side and at every stairway required to be more than 88 inches in width and shall be provided with not less than one intermediate half for each 88 inches of required width. Intermediate handrails shall be spaced approximately equally across the entire width of the stairway. Handrails shall be continuous along both sides of a stairway. CBC Section 1133B.4.1.1

16. Top of handrail gripping surface shall be mounted between 34 to 38 inches above the nosing of the tread. CBC Section 1133B.4.2.1

17. Handrails shall extend a minimum of 12 inches beyond the top nosing and 12 inches, plus the tread width, beyond the bottom nosing. At the top, the extension shall be parallel with the floor or ground surface. At the bottom, the handrail shall continue to slope for a distance of the width of one tread from the bottom riser; the remainder of the extension shall be horizontal. CBC Section 1133B4.2.2 18. Ends shall be returned smoothly to floor, wall or post. CBC Section 1133B.4.2.3

19. The orientation of at least one handrail shall be in the direction of the run of the stair perpendicular to the direction of the stair nosing, and shall not reduce the minimum required width of the stairs. CBC Section 1133B.4.2.4

20. Handrails projecting from a wall shall have a space of 1 ½ inches between the wall and the handrail. Handrails may be located in a recess if the recess is a maximum of 3 inches deep and extends at least 18 inches above the top of the rail. Handrails shall not rotate in their fittings. CBC Section 1133B.4.2.5 1. Handgrips. The handgrip portion of handrails shall be not less than 1 1/4 inches or more than 1 1/2 inches in cross-sectional nominal dimension or the shape shall provide an equivalent gripping surface. The handgrip portion of handrails shall have smooth surface with no sharp corners. Gripping surfaces shall be uninterrupted by newel posts, other construction elements or obstructions. Any wall or other surface adjacent to the handrail shall be free of sharp or abrasive elements. Edges shall have a minimum radius of 1/8 inch. CBC Section 1133B.4.2.6

2. Stripping for visually impaired. The upper approach and the lower tread of each stair shall be marked by a strip of clearly contrasting color at least 2 inches wide placed parallel to and not more than 1 inch from the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair. All exterior stairs shall have the upper approach and all treads marked by a strip of clearly contrasting color at least 2" wide and a maximum of 4 inches, placed parallel to, and mo more than 1 inch from the nose of the tread or landing to alert the visually impaired. The strip shall be of a material that is at least as slip resistant as the other treads of the stair. A painted strip shall be acceptable. CBC Section 1133B.4.4.

3. <u>Treads</u>. All tread surfaces shall be slip resistant. Weather exposed stairs and their approaches shall be designed so that water will not accumulate on the walking surfaces. Treads shall have smooth, rounded or chamfered exposed edges and not abrupt edges at the nosing. CBC Section 1133B.4.5.1 24. Nosing. Nosing shall not project more than 1 ½ inches past the face of the riser below. CBC Section 1133B.4.5.2

25. Open risers are not permitted on any given flight of stairs. All steps shall have uniform riser height and uniform tread widths consistent with CBC section 1133B.4.5.2. Stair treads shall be no less than 11 inches deep, measured from riser to riser. Risers shall be vertical or sloped or the underside of the nosing shall have an angle not less than 30 degrees from the horizontal. CBC Section 1133B.4.5.2

26. Any accessible route of travel shall be considered a ramp if its slope is greater than 1 unit rise in 20 units of horizontal run. CBC Section 1133B.5.1 27. Width. Pedestrian ramps shall have a minimum clear width of 48 inches, unless required to be wider by some other provisions of this code. Pedestrian ramps serving entrances to buildings where the ramp is the only exit discharge path and serves an occupant load of 300 or more shall have minimum clear width of 60 inches. CBC Section 1133B.5.2

28. Slope. The least possible slope shall be used for any ramp. The max slope of a ramp that serves any exit way, provides access for persons with physical disabilities or is in the accessible route of travel shall be 1-foot rise in 12 feet of horizontal run. The maximum rise for nay run shall be 30 inches. CBC Section 1133B.5.3

29. The cross slope of ramp surfaces shall be no greater than ¹/₄ inch per foot (2.083 percent slope) CBC Section 1114A2.1 30. Location of landings. Level ramp landings shall be provided at the top and bottom of each ramp. Intermediate landings shall be provided at intervals not exceeding 30 inches of vertical rise and at each change of direction. Landings are not considered in determining the maximum horizontal distance of each ramp. CBC Section 1133B.5.4.1

31. Top landings shall be not less than 60 inches wide and shall have a length of not less than 60 inches in the direction of ramp run. Landings at the bottom of ramps shall have a dimension in the directions or ramp run of not less than 72 inches. CBC Section 1133B.5.4.2 32. Doors in any positions shall not reduce the minimum dimension of the landing to less than 42 inches and shall not reduce the required width by more than 3

inches when fully open. CBC Section 1133B.5.4.4 33. The width of the landing shall extend 24 inches past the strike edge of any door or gate for exterior ramps and 18 inches past the strike edge of interior door. CBC Section 11126A.3.2

34. At bottom and intermediate landings, the width shall be at least the same as required for ramps. CBC Section 1133B.5.4.5 35. Intermediate and bottom landings at a change of direction in excess of 30 degrees shall have a dimension in the direction of the ramp run of not less than 72 inches. CBC Section 1133B.5.4.6

36. Other intermediate landings shall have a dimension in the direction of the ramp run of not less than 60 inches. CBC Section 1114A.4.2

37. For existing ramps or ramps not covered by CBC section 1133B.5.4.1, landings shall be provided as set forth in CBC section 1133B.5.4.1 38. Stairway floor number signs. A sign shall be provided at each floor landing in interior exit enclosures connecting more than three stories designating the

floor level, the terminus of the top and bottom of the stair enclosure and the identification of the stair. The signage shall also state the story of, and the directions to the exit discharge and the availability of roof access from the stairway for the fire department. The sign shall be located 5 feet above the floor landing in a position that is readily visible when the doors are in the open and closed positions. 9. Signs at stairs shall be a minimum of 18 inches by 12 inches. The lettering denoting the stairway location, such as STAIR NO. 1 or WEST STAIR, shall be

placed at the top of the sign in $1\frac{1}{2}$ inch-highblock lettering with 1/4-inch strokes. The floor level number shall be placed in the center of the sign in 5-inch-high lettering with 3/4-inchstrokes. The mezzanine levels shall have the letter "M" preceding the floor level. Basement levels shall have the letter "B" preceding the floor number (Sec. 10228.1) See also detail 8 on sheet A-10.1.2.

40. The stairway's upper terminus, such as ROOF ACCESS or NO ROOF ACCESS, shall be placed under the stairway identification in 1-inch-high (25 mm) lettering with 1/4-inch (6.4 mm) strokes. The lower and upper terminus of the stairway shall be placed at the bottom of the sign in 1-inch-high block lettering with 1/4-inch strokes [Sec. 10228.1] SITE ACCESSIBLE PARKING NOTES

41. All accessible parking spaces shall be identified by a reflectorized sign permanently posted immediately adjacent to and visible from each stall or space, consisting of the International Symbol of Accessibility in white on a dark blue background. The sign shall be no smaller than 70 square inches in area. CBC Section 1129B.4 42. When in path of travel, the sign shall be posted at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade. Signs may also be centered on the wall at the interior end of the parking space.

43. Spaces complying with CBC Section 1129B.3, Item 2, Shall have an additional sign stating "Van-accessible", mounted below the symbol of accessibility. CBC Section 44. The surface of each accessible parking space or stall shall have a surface identification depicting the International Symbol of Accessibility. CBC Section 1129B.4

45. An additional sign shall also be posted in a conspicuous place at each entrance to off-street parking facilities, or immediately adjacent to and visible from each stall or space. The sign shall be not less than 17" x 22" in size with lettering not less than 1" in height, which clearly and conspicuously states the following: "Unauthorized vehicles parked in designated accessible spaces not displaying placards or license plates issued for persons with disabilities may be towed away at owner's expense. Towed vehicles may be reclaimed at , or by telephoning ." CBC Section 1109A.8.8

ACCESSIBLE ENTRANCE / DOOR NOTES

46. All hand-activated door opening hardware shall meet the following requirements:

a) Shall have a shape that is easy to grasp with one hard and does not require tight grasping, tight pinching or twisting of the wrist to operate. b) Shall be centered between 30" and 44" above the floor. (CBC Section 1133B.2.5.2)

c) Latching and locking doors hand-activated in a path of travel shall be operable with a single effort by: Lever Type Hardware, Panic Bars, Push-Pull Activating Bars, or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Lock exit doors shall operate as above in egress direction CBC

47. The bottom 10" of all doors, except automatic and sliding, shall have a smooth and uninterrupted surface. Narrow frame doors may use a 10" high smooth panel installed on the push side of the door. CBC Section 1133B.2.6. 48. The maximum effort to operate doors shall not exceed 8.5 lbs. (22.2 N) for exterior and 5 lbs for interior doors, such pull or push effort being applied at right angles to

hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized to meet the above standards. CBC

49. The maximum effort to operate fire doors shall be increased to the minimum allowable by the appropriate enforcement agency, not to exceed 15 lbs (66.72 N). CBC Section

50. Objects projecting from walls with their leading edge between 27" and 80" above the finished floor, shall protrude no more than 4" into walks, halls, corridors, passageways or aisles. Objects mounted with their leading edges at or below 27" may protrude any amount. Freestanding objects mounted on posts or pylons may overhang 12" maximum from 27" to 80" above the ground of finished floor. Protruding objects shall not reduce the clear width of an accessible route or maneuvering space. CBC Section 1133B.8.6.1.

1. When an automatic door operator is utilized to operate a pair of doors, at least one the doors shall provide a clear, unobstructed opening width of 32 inches with the leaf positioned at an angle of 90 degrees from its closed position. (CBC sec. 113B.2.3.2) 52. Provide a floor or landing at the same elevation on each side of the door. Landings shall be level. Exterior landing are permitted a 1/4 inch per foot cross slope (2.083

SITE ACCESS NOTES FOR PUBLIC PHONES AND DRINKING FOUNTAINS

- a) A clear floor or ground space of at least 30" x 48" shall be provided. b) The highest operable part shall be 54" for side reach and 48" for forward reach.
- c) The cord from the telephone to the handset shall be at least 29" long. d) Telephones shall have push-button controls where service for such equipment is available.
- e) If telephone books are provided, they shall be located in a position that complies with the reach ranges specified above.
- and 8" in depth. CBC Section 1139A.3 (1.1A 1.4.A)
- controlled device. CBC Section 1139A (2.3,2.5) ACCESSIBLE ELEVATOR NOTES
- 59. Minimum clear door width for elevators shall be 36 inches. CBC Section 1116B.1.4
- obstructed while closing. CBC Section 1116B.1.4 61. The car inside shall allow for the turning of a wheelchair. CBC Section 1116B.1.8
- of 32 inches from the floor. Nominal equals +/- 1 inch. CBC Section 3003.4.12

- below the corresponding raised characters. See figure 11A-7C (Sec 1124A.8)
- ACCESSIBLE RESTROOM NOTES shall be distinctly different from the color contrast of the door. CBC Section 1115B.6
- shall be placed on the nearest adjacent wall, preferably on the right. CBC Section 1117B.5.7 69. Accessible toilets shall meet the requirements in CBC Section 1115B.4.1 - 7
- Activation shall be no greater than 5 pound-force
- 70. Accessible urinals shall meet the requirements in CBC Section 1115B.4.2 a) Mounting height to receptacles area shall be 24 inches above finish floor. b) Controls shall be located between 36 inches and 44 inches high max. above finish floor. Item 3.
- d) Urinals shall be mounted no closer than 16 inches to toilet partitions. 71. Accessible lavatories shall meet the requirements in CBC Section 1115B.4.3
- controls shall be no greater than 5 pounds-force (lb-f). CBC Section 1115B.4.1, Item 5. 72. Accessible showers shall meet the requirements in CBC Section 1115B.4.4 a) Thresholds in roll-in type showers shall be ½-inch high maximum. CBC Section 1115B.4.4.3
- 73. Grab bars shall comply with CBC Section 1115B.7 as follows: b) If the bars area mounted adjacent to a wall, the space between the wall and the grab bars shall be $1\frac{1}{2}$ inches. c) Grab bars shall not rotate within their fittings.
- e) The grab bar and fasteners shall be designed to support a weight of 250 lbs.
- ADA INTERIOR NOTES
- 75. Carpet used in a common area shall conform to CBC section 1124B.3 as follows: a) Have firm cushion, pad or backing or no cushion or pad (backing).
- d) Carpet trim shall comply with the requirements for changes in level.
- ADA EMERGENCY WARNING SYSTEMS
- EMERGENCY EGRESS
- 79. The emergency escape and rescue opening shall have the bottom of the clear opening not greater than 44 inches measured from the floor (Section 1029.3) REV-10-17-2011

54. If public telephones are provided they shall be made accessible by complying to the following (CBC Section 1140A.1):

55. Drinking fountains shall be located completely in alcoves 18" minimum in depth and 30" minimum in width. A clear knee space under the fountain shall be 27" in height

56. The bubbler outlet orifice shall be located within 6 inches of the front edge of the drinking fountain and within 36 inches of the floor. CBC Section 1139A.3 (2.7,2.5) 57. The bubbler shall be activated by a manually operated system that is front or side mounted and located within 6 inches of the front edge of the fountain or an electronically

58. All elevators shall be automatic and provided with a self-leveling feature to automatically bring the car to the floor landing with a tolerance of + 1/2" under normal loading and unloading conditions. The clearance between the car platform sill and the edge of the hoist way landing is to be no greater than 1¹/₄". CBC Section 1116B.1.2

60. Automatic doors shall be provided with a door-reopening device that will function to stop and reopen a car door and adjacent hoistway door in case the car door is

62. A handrail shall be provided on one wall of the car, preferably the rear. The rails shall be smooth, and the inside surface at least 1¹/₂" clear of the walls at a nominal height 63. Call operation buttons shall be centered 42 inches (1067 mm) off the floor. Buttons shall be a minimum of 3/4-inch in size and shall be raised 1/8-inch plus or minus

1/32-inch. above the surrounding surface. Visual indication shall be provided to show each call registered and extinguished when answered. Objects adjacent to, and below, hall call buttons shall not project more than 4 inches (101.6 mm) from the wall. (Sec 1124A.4).

64. Elevator floor buttons shall be no higher than 54 inches (1372 mm) above the finished floor for side approach and 48 inches (1219 mm) for front approach. Except for photoelectric tube bypass switches, emergency controls, including the emergency stop and alarm, shall be grouped in or adjacent to the bottom of the paneland shall be no lower than 35 inches (889 mm) from the floor. For multiple controls only, one set must comply with those height requirements. (Sec. 1124A.3.3.1) 65. The elevator emergency telephone handset shall be positioned no higher than 48 inches (1219 mm) above the floor, and the handset cord shall be a minimum of 29 inches

(737 mm) in length. If the elevator telephone system is located in a closed compartment, the compartment door hardware shall be lever type conforming to the provisions of Section 1003.3.1.8. Emergency intercommunication shall not require voice communication. (Sec. 1124A.3.4) 66. On the grade level, a raised five pointed star shall be placed to the left of the raised character. The outside diameter of the star shall be 2 inches. Braille shall be placed

57. Doorways leading to men's sanitary facilities shall be identified by an equilateral triangle, ¹/₄ inch thick with edges 12 inches long and a vertex pointing upward. Women's sanitary facilities shall be identified by a circle, ¹/₄ inches thick and 12 inches in diameter. Unisex sanitary facilities shall be identified by a circle with a ¹/₄-inch thick triangle superimposed on the circle and within the 12-inch diameter. These geometric symbols shall be centered on the door at a height of 60 inches and their color contras

68. Permanent signage shall be installed on the wall adjacent to the latch side of the door. Where these is no wall space no the latch side, including at double leaf doors, signs

a) The centerline of the water closet fixture shall be 18 inches from the sidewall or partition. On the other side of the water closet provide a minimum of 28 inch wide clear floor space in the water closet is adjacent to a fixture or a minimum of 32 inches wide clear space if water closet is adjacent to a wall or partition b) A minimum of 60 inch wide and 48 inch deep clear floor space shall be provided in from of the water closet.

c) Accessible water controls shall be operable with one hand. Controls shall be mounted on the wide side of the toilet area, no more than 44 inches above the floor.

d) Grab Bars. The side grab bar shall be 42 inches long minimum, located 12 inches maximum from the rear wall and extend 54 inches minimum from the rear wall with the front-end positions 25 inches minimum in front of the water closet. The side grab bar shall be securely attached and centered 33 inches above and parallel to the floor. e) Grab Bars: The rear grab shall be 36 inches long and minimum and extend from the centerline of the water closet 12 inches minimum on one side and 24 inches minimum on the other side. The rear barb bar shall be securely attached and centered 33 inches above and parallel to the floor. Except that were a tank-type toilet is used which obstruct placement at 33 inches, the grab bar may be a high as 36 inches and the space between the grab bar and the top of the tank shall be 1 ½ inches minimum.

c) Where urinals are provided, at least one shall have a clear floor space 30 inches by 48 inches in front of the urinal to allow forward approach. CBC Section 1115B.4.2,

a) Controls for the water closet flush valve shall be mounted on the wide side of toilet areas, no more than 44 inches above the floor. The force required to activate

a) The diameter or width of the gripping surfaces of a grab bar shall be $1\frac{1}{4}$ inches to $1\frac{1}{2}$ inches or the shape shall provide an equivalent gripping surface. CBC 1115B.7.1

d) The grab bar and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of 1/8 inch.

74. Toilet tissue dispensers shall be located on the wall within 12 inches of the front edge of the toilet seat, mounted below the grab bar, at a minimum height of 19 inches, and 36 inches maximum to the far edge from the rear wall. Dispensers that do not permit continuous paper flow shall not be used. CBC Section 1115B.8.4

b) Have a level loop, textured loop, level -cut pile or level-cut/uncut pile texture. The maximum pile height shall be 1/2" inch.

c) The exposed edges of carpet shall be fastened to floor surfaces and have trim along the entire length of the exposed edge.

76. If emergency warning systems are required, they shall activate a means of warning the hearing impaired. Emergency warning systems as part of a fire-alarm system shall be designed and installed in accordance with NFPA 72 as amended in Chapter 35. CBC Section 1111B.4.5

77. Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet. (Sec. 1029.2)

78. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches. The net clear opening dimensions shall be the result of normal operation of the opening (Section 1029.2.1)

ATTACHMENT 10



SHEET



LEGAL DESCRIPTION:

PARCEL "A" AND PARCEL "B" IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1127 OF PARCEL MAPS, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 28, 1972.

NOTES REGARDING PRELIMINARY REPORT:

THIS A.L.T.A./A.C.S.M. LAND TITLE SURVEY IS BASED ON INFORMATION FURNISHED IN CHICAGO TITLE COMPANY, PRELIMINARY REPORT, ORDER NO. 00025982-004-RM1, DATED AUGUST 8, 2014.

- 3. AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR WATER PIPE LINES RECORDED DECEMBER 13, 1910 IN BOOK 496, PAGE 157 OF DEEDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD AND THEREFOR COULD NOT BE PLOTTED. A PORTION OF SAID EASEMENT WAS VACATED BY RESOLUTION NO. 195186, RECORDED NOVEMBER 4, 1968 AS INSTRUMENT NO. 193283 OF OFFICIAL RECORDS.
- 11, 1950 IN BOOK 3893, PAGE 430 OF OFFICIAL RECORDS.
- $\langle 5. \rangle$ an easement granted to san diego gas and electric company for public utilities ingress and EGRESS RECORDED MARCH 14, 1969 AS INSTRUMENT NO. 45470 OF OFFICIAL RECORDS.
- 7. AN EASEMENT GRANTED TO AMERICAN TELEVISION AND COMMUNICATIONS CORPORATION DBA SOUTHWESTERN CABLE TV FOR CONSTRUCTION, INSTALLATION, USE, MAINTENANCE, ALTERATION, ADDITION, REPAIR, REPLACEMENT, REMOVAL, SERVICE, AND OTHER OPERATIONS WITH RESPECT TO COMMUNITY ANTENNA TELEVISION SYSTEMS, RECORDED FEBRUARY 12, 1987 AS INSTRUMENT NO. 87-80147 OF OFFICIAL RECORDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD AND THEREFOR COULD NOT BE PLOTTED.
- $\langle 8. \rangle$ The property is subject to the terms and provisions contained in the document entitled "ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT", RECORDED OCTOBER 24, 2002 AS INSTRUMENT NO. 2002–0934705 OF OFFICIAL RECORDS. SHOWN HEREON.

<u>BASIS OF BEARINGS:</u>

THE NORTHERLY RIGHT OF WAY LINE OF PLAYA DEL SUR STREET, PER PARCEL MAP NO. 1127. I.E. N 74°12'08" WEST

<u>BENCH MARK:</u> CITY OF SAN DIEGO BENCH MARK: SOUTHWEST BRASS PLUG AT THE INTERSECTION OF LA JOLLA BOULEVARD AND BONAIR STREET. ELEVATION = 78.238 M.S.L.

<u>PROPERTY NOTES:</u>

- 1. THERE ARE 32 STRIPED PARKING SPACES WITHIN THE BOUNDARY OF THE PROPERTY INCLUDING 1 HANDICAPPED SPACE.
- 2. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' (NON–SPECIAL FLOOD HAZARD AREA) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 06073C1584G, WITH A DATE OF IDENTIFICATION OF MAY 16, 2012, FOR COMMUNITY NO. 060295, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
- 3. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 22,048 SQUARE FEET / 0.506 ACRE.
- 4. THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 5. THERE WAS NO OBSERVABLE EVIDENCE ON THE SITE OF ANY SOLID WASTE DUMP, SUMP OR SANITARY LAND FILL.

SURVEYOR'S CERTIFICATE:

TO MB ACQUISITIONS AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES TABLE A ITEMS 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 16, 17 AND 18. THE FIELD WORK WAS COMPLETED ON AUGUST 6, 2014.

DATE: AUGUST 22, 2014

REVISIONS

NO. DATE

ROBERT J. BATEMAN PROFESSIONAL LAND SURVEYOR REGISTRATION NO. 7046 EMAIL: rbateman@sdlse.com

Sheet 1 of 2 Sheets

351-382-11&16

		ZONING DATA	For the exclusive us MB ACQUISITION 110 PACIFIC AVENUE, S SAN FRANCISCO, CALIFOR
VISIONS		RESIDENTIAL MULTIPLE UNIT-3-7 RM-3-7 MINIMUM FRONT: 10' STANDARD FRONT: 20' MINIMUM SIDE: 5'	San Diego Land Sur Engineering, 9665 Chesapeake Drive, Suite 445, San Dieg Phone: (858) 565-8362 Fax:
DESCRIPTION	BY	MINIMUM STREET SIDE: 10'	Date: 08-22-2014 Revised:
		REAR: 15' MAX. STRUCTURE HEIGHT: 40' ZONING HEIGHT	Scale: 1'=30' Drawn by: G.H.G.
		30' COASTAL HEIGH	

ATTACHMENT 10 $\langle 4. \rangle$ AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR A PRIVATE SEWER LATERAL RECORDED DECEMBER A.L.T.A./A.C.S.M. LAND TITLE SURVEY he exclusive use of: AB ACQUISITIONS IFIC AVENUE, SUITE 350 CISCO, CALIFORNIA 94111 Land Surveying & ineering, Inc. Suite 445, San Diego, California 92123–1354 35–8362 Fax: (858) 565–4354 evised: Revised:





SPEAR & ASSOCIATES, INC., 475 PRODUCTION STREET, SAN MARCOS, CA 92078, (760) 736-2040, JOB NO. 15-193P.DWG





ar Proiects/2015/15-193 MP ACOUISITIONS - SU CASA TA JOULA/CAD/15-193GP o

ATTACHMENT 10



EGEND OF	SYMBOLS
	PROPERTY LINE
	STREET CENTERLINE
230	EXISTING CONTOURS
	SAWCUT LINE
(XX.XX) FL	EXISTING SPOT ELEVATIONS
	EXISTING AC PAVEMENT, HARDSCAPE BUILDING TO BE REMOVED. (DEMOLITION AREA)

DEMOLITION NOTES

- (1) DEMOLISH EXISTING BUILDING.
- 2 REMOVE EXISTING A.C. PAVEMENT.
- ③ REMOVE EXISTING WALL.
- (4) REMOVE EXISTING WOOD FENCE AND PILLAR.
 (5) REMOVE EXISTING P.C.C. PAVEMENT.
- *REMOVE EXISTING P.C.C.REMOVE EXISTING TREE.*
- (7) REMOVE BRICK PAVEMENT.



<u>LEGEND</u> <u>DESCRIPTION</u> PROPERTY LINE STREET CENTER EXISTING CONT PROPOSED CON EXISTING SPOT PROPOSED SPC DIRECTION OF

P.C.C. PAVEMEI 95% COMPACTE 6" PVC SOLID

*GRADING QUANTITIES

GRADED AREA CUT QUANTITIES ____ FILL QUANTITIES ____ EXPORT ____ NUMBER OF RETAININ

THIS PROJECT PROPOSES TO EXPORT <u>5,300</u> CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

OF THE SITE SOILS REPORT.

PROPOSED

18" AMENDED SOIL (K=5 IN/HR)-@ 40% POROSITY 2"-4" WASHED SAND OVER 2" OF CHOKING STONE LAYER @ 40% POROSITY PLAYA DEL NORTE

<u>18" AMENDED SOIL LAYER</u> COMPOSITION AND TEXTURE:

PERMEABILITY:

PERCENT BY WEIGHT.

<u>18" DRAINAGE LAYER</u>

SURFACE VEGETATION AS SPECIFIED BY THE LANDSCAPE ARCHITECT PLANS.

SPECIFICATIONS/STANDARD DRAWINGS

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THIS PLAN, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND THE CITY OF SAN DIEGO STANDARD DRAWINGS, AS LAST AMENDED.

<u>I</u>	<u>SYMBOL</u>
E	
RLINE	
TOURS	230
NTOURS	600
T ELEVATIONS	(XX.XX) FL
OT ELEVATIONS	XX.XX FL
DRAINAGE FLOW	· .
ENT OVER ED SOIL	
STORM DRAIN (PVT)	SDSD

0.51 [ACRES]	MAX. CUT DEPTH 1.3' [FT]
6,000 [CYD]	MAX CUT SLOPE RATIO(2:1MAX)
700 [CYD]	MAX. FILL DEPTH 1.3' [FT]
5,300 [CYD]	MAX FILL SLOPE RATIO(2:1MAX)
ING WALLS _ 1 [EA]	RETAINING WALL HEIGHT(4.0'±MAX)

* THE QUANTITIES OF CUT AND FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS. THE QUANTITIES ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY: THEY ARE NOT TO BE USED FOR JOB BIDDING PURPOSES. ACTUAL QUANTITIES MAY VARY DUE TO FACTORS SUCH AS SHRINKAGE OR SWELL, RETAINING WALL BACKCUT REQUIREMENTS AND THE RECOMMENDATIONS









DIVISION 1- GENERAL REQUIREMENTS AND CONDITIONS

- 100 SUMMARY OF WORK -Scope The scope of this section shall cover the general condition, special conditions, alternates, submittals, and substitutions procedures governing the work by the General Contractor, Sub contractor and related trades on this project. General Conditions
- 2. The Project Specifications, Construction Drawings, Bid Package, Structural Calculations, Title 24 Report and Geotechnical Soils Report (if prepared) are part of this Construction Document Package. 3. These drawings have been prepared from the latest information available on existing conditions. Minor variations may occur in
- the actual construction. The Contractor and-sub-contractor shall verify all existing conditions and dimensions on the drawings. Notify the Architect of any discrepancies prior to starting or ordering materials. 4. The scope of work for this project is as shown on the "Project Scope" as shown on "T-1" of this set.
- 5. The Geotechnical Report if listed in the project Directory shall be a part of these documents and all recommendations included in full. Design bearing value shall be as indicated on the drawings. 6. The Structural Calculations if listed in the project Directory shall be part of these documents with all recommendations
- incorporated in the Construction Documents 7. The Energy Calculations if listed in the project Directory shall be part of these documents and all recommendations and mandatory compliance requirements included as such.
- 8. These contract documents do not contemplate handling of treatment of asbestos and/or any hazardous waste materials. Should any hazardous materials be discovered, the Contractor shall notify the Owner at once by telephone and in writing.
- 1013 PROJECT GENERAL REQUIREMENTS 1. The Contractor and sub-contractors work shall be in accordance with all applicable federal, state, and local building codes and agency standards.
- 2. All construction shall conform to the Latest Adopted Editions of the California Building Code (CBC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electric Code (CEC), California Energy Code (CEC) and all applicable local, state, and national codes, ordinances and laws.
- 3. The Architect shall not be held responsible for any means, methods and techniques of construction work, safety in, on, or about the project site, or the Contractors failure to confirm to the Construction Documents, codes, regulations, and laws, for the performance of the Contractor in a timely satisfactory manner.
- 4. All work shall conform to the latest California State Energy Conservation Regulations (Title 24).
- 5. Product manufacturer's written recommendations, drawings and specifications are to be followed under all conditions. Any conflict with drawings and specifications and above shall be determined by the Architect with no change in contract price. 6. All construction materials shall be new.
- 01013 SPECIAL PROJECT GENERAL REQUIREMENTS
- 7. These drawings and specifications imply a COMPLETE building ready and capable of being occupied and used in a normal manner. All light fixtures shall have bulbs. All exterior doors shall have locks. Street numbers and a mailbox shall be installed. All equipment shall function properly. All surfaces shall be finished. All debris shall be removed. All materials and equipment installed shall be new. All work shall be performed at the highest standards of quality and craftsmanship 8. In case of any difference between drawings and/or specifications, discrepancy shall be called to the attention of the Architect
- and the Architect shall choose which governs. 9. Written dimensions on drawings shall take precedence over lengths measurements by scale.
- 10. All requirements, standards, grades, species and strengths of materials and finishes listed in these specifications are minimums. Should drawings or reports conflict with specifications, the most resistive and superior quality shall apply.
- 11. The contractor shall be responsible for the accurate placement of the building on the site. Any existing structures, which are not located as shown on the plans, shall be brought to the Architect's attention immediately 12. This structure is designed as a stable unit after all components are in place. The contractor shall be responsible to provide
- temporary bracing as required to insure the vertical and lateral stability of the entire structure or a portion thereof during construction.
- 13. Provide under floor ventilation 12" x 18" space in each new foundation wall for each 100 square feet of underfloor space. Provide copper mesh screen frame at each opening.
- 14. Provide attic ventilation at eave line or in top of wall for gable roof ends to equal not less than 1/150 of area ventilated. Provide metal mesh screen in wood or metal frame at each opening with a maximum 1/4-inch mesh covering.
- 15. No vent pipe or any projection shall project above 30'-0" from finish grade, new or pre-existing 5'-0" from building face. The highest point of the roof shall not exceed 30'-0" above adjacent grade. 16. All outward swinging doors shall have an exterior landing within 1" of the top of the door threshold. Caulk and waterproof
- under the threshold. Slope landing away from the structure $\frac{1}{4}$ per foot. 17. Soil compacting report shall be provided to the building inspector at the job site prior to placement of concrete for the new
- foundation if requested by the City. 18. Prior to the start of any demolition or construction, the contractor shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be relocated. The contractor shall present this inventory to the owner and the architect for their approval. The contractor shall be held responsible for replacing any re-locatable item damaged during the demolition process. Salvaged items shall be the owner's choosing and shall be the owner's property
- 19. Coordinate all demolition work with architectural, structural, electrical, mechanical, plumbing and landscaping drawings. 20. Coordinate inspection and testing with Soils, Structural, Mechanical, and Electrical Engineers and with their reports, drawings and specifications.
- 21. Refer to structural, mechanical, plumbing and electrical drawings for other general notes and requirements and coordinate with architectural drawings
- 22. Provide draft stop on the attic space. Attic space shall not exceed 3,000 sq. ft.
- 23. Wood Frame Construction: (minimums, unless noted otherwise).
- 24. Bottom plates shall be pressure treated. All bottom plates shall be anchored to the foundation with 5/8" diameter anchor bolts having 7" minimum embedment (or other approved anchors) at a minimum of 12" from plate ends. (U.N.O.) 25. See framing specifications or detail sheets for the following information: Nailing Schedule, Ripper Attachment (where applicable) and Ceiling & Floor joist schedule.
- 26. Fire Blocking Notes: At concealed spaces of stud walls, and partitions, including furred spaces at the ceiling and floor levels, and at MAX. 10 ft. intervals both vertical and horizontal. At the connections between canceled vertical and horizontal spaces such as soffits, dropped ceilings, and cove ceilings and tops of framed columns. In concealed spaces between stair stringers, at the top and bottom of the run and between studs along and in line with the run of stairs, if the walls under the stairs are unfinished
- 27. In openings around vents, pipes, ducts, chimneys, fireplaces, and similar openings, which afford a passage for fire at ceiling and at ceiling and floor levels, use non-combustible materials. 28. At openings between attic spaces and chimney chases for factory-built chimney. Walls having parallel or staggered studs for
- sound control shall have fire blocks of mineral fiber or glass fiber or other material.
- 29. The integrity of all fire blocking, and draft stops, shall be maintained. 30. Maintain 1-hr fire resistive wall and ceiling construction between the garage and residence for occupancy separation. Refer to CBC Table 805.3.3.
- 31. See Architectural Drawings for Energy Requirements.
- THE CONTRACTOR SHALL
- 1. The Contractor shall guarantee all work performed by him directly for the period of one year. Work shall include all materials, fixtures, equipment and labor. Such guarantee shall begin on date of filing of Notice of Final Completion.
- 2. Notify the Architect about any condition requiring a modification or change, before proceeding with the work in question. 3. The contractor shall investigate, verify and be responsible for all conditions and dimensions of the project and shall notify the Architect of any discrepancies and inconsistencies between drawings, specifications and existing conditions prior to submitting
- 4. Verify all dimensions, levels and site conditions prior to the start of construction and report any discrepancies immediately to the Architect. Only noted dimensions are to be used for construction purposes. Do not scale drawings! Obtain clarification of dimensions from the Architect when necessary. Errors caused by scaled dimensions shall be corrected by the contractor at the contractor's expense
- 5. Notify the Architect promptly, should any questions arise pertaining to the construction documents, or if conditions are found that may prevent the proper excavation of any portion of the work. The contractor shall correct all errors, discrepancies, or omissions which result from his/her failure to notify the Architect before starting fabrication or installation of any item of work. 6. Protect the adjacent properties, including, but not limited to pollution, trash, or damages due to demolition, excavation, construction and/or flooding originating on site.
- 7. Be held responsible for compliance with the California Safety Orders. Contractor shall coordinate all mechanical and electrical equipment as to weights and exact locations with structural supports. In the event that the purchased equipment deviates in weight and location from those indicated on the plans, the Structural Engineer must be notified, and approval prior to
- 8. Grade the site and to slope all grading and concrete work to provide positive drainage away from the building and to area storm
- 9. Shall be responsible for the appropriate "hook-up" to all utilities required to support the work.
- 10. Flash and caulk as necessary to achieve a waterproof, watertight building.
- 11. The Contractor shall coordinate work with all trades and utilities.
- 12. Shoring shall be provided where demolition of support structures as occurs. 13. Provide and pay for labor, materials and equipment, tools construction equipment and machinery, electrical power, water, heat, telephones and other utilities required for construction, and other facilities and services necessary for proper execution and
- completion of the work. 14. Pay all legally required sales, consumer and use taxes.
- 15. Secure and pay for licenses and inspection, as necessary for proper execution and completion of work, which are customarily secured after start of construction and which are applicable at time contract is awarded
- 16. The owner shall pay for all permits and fees required for construction and all tests and inspection as required by drawings and specifications.
- 17. Give notices required by Governmental authorities and by the owner or his/her representative. 18. Maintain on the job site, in good order, one copy of all construction documents and modifications thereto, field test records and inspection reports, correspondence pertaining to the work on site permits and permit sets of plan for the use of building officials.
- 19. Maintain a separate set of drawings on the site to be marked up by the contractor with "as-built" information for project records. 20. Deliver to the owner, upon project close-out, the permit and record (as-built) sets of construction documents together with operation and maintenance data, warranties, certificates of compliance required by regulatory authorities, binds and such other project records as may be requested by the owner.
- 21. Contractor shall be responsible for complete cleanup including removal of stains, putty marks, paint marks, and complete scrub, wax and polishing of surfaces to the satisfaction of the owner and Architect. 01030 ALTERNATIVES
- Alternatives to an item specified herein, must be approved in writing by the Architect or Owner prior to installation. 2. The Contractor and/or Sub-Contractors wish to substitute materials or products other than those specified, he shall obtain the Architect's written approval no later than five (5) working days prior to the bid opening date.
- 3. The decision of the Architect as to the equality and utility of substitutions offered shall be final.
- 01330 SUBMITTALS . Submittals of product data, samples, manufacturer's installation instructions and warranties shall be made by the contractor to the architect when required by a section below or as required by the owner.
- 2. Provide minimum of Two (2) copies of shop drawings and color samples for all fabricated items including a structure, carpentry, finishes, specialties, equipment, furnishings, elevators, mechanical, electrical and plumbing. Submit and pick up from Architect office all items to be reviewed for his approval.

- 01350 SUBSTITUTIONS
- to the Architect and Owner for approval before the final contract for construction is signed. The written decision accepting or denying the proposed alternate by the Architect or Owner shall govern. 01420 ABBREVIATIONS AND SYMBOLS
- Architect.
- 01500 TEMPORARY FACILITIES
- following: (Unless otherwise agreed to by the owner) A. Work site temporary toilet facilities.
- and regulations.
- C. Job site Telephone D. Job shack or trailer.

E. Temporary trash bin or dumpster.

DIVISION 2 - SITE WORK 050 SITE PREPARATIO

- A. <u>Scope</u>
- The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This work shall include but not limited to any site work shown on the Construction Document.
- Special Requireme All work performed under this sections shall be performed by a State of California licensed contractor. 2. In the event that unknown utilities or structures are found during construction at unexposed or exposed locations, the contractor
- shall stop work in that area and notify the owner, architect and utility company, immediately 3. Protect all surrounding surfaces, vegetation and areas to remain from dust and damage during construction.

02300 EARTHWORK GENERAL REQUIREMENTS

Scope The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This work shall include site earthwork but is not limited to all grading, filling, compaction and backfilling.

Special Requirement

- All work performed under this section shall be performed by a State of California licensed grading or general contractor. All excavation and grading shall comply with OSHA and other governing regulations. Obtain civil engineering drawings (if part of the project scope) and coordinate work herein with site work performed by all trades to insure the orderly progress of the total work.
- Obtain the location and depth of utility lines, all underground work shown in the Construction Documents or indicated after contacting Dig Alert, all facilities in the vicinity of the Project and any other existing work not specifically indicated, and
- protect such utility lines, facilities and work from damage. 5. Contact Dig Alert (1-800-227-2600) to verify the location of any and all existing utilities located on the project site or vicinity affected by the project activities.
- C. Job Conditions Perform all work in accordance with accepted safety standards. All excavation work left exposed during non-working hours shall be sufficiently barricaded to prevent pedestrian or vehicular hazards. D.
- References All work in this section must conform to applicable codes and regulations. MATERIALS
- A. Materials to be placed as fill soils shall be approved by the Geotechnical Engineer, Certified Testing laboratory or industry approved material and shall be as specified in the grading specification section of the soils report. PERFORMANCE OF WORK
- General Notes
- all work. Preparation for Grading
- Verify elevations, dimensions and site conditions before commencing work. In addition, verify disposition of all site vegetation before any removal. **Excavation**
- Excavate foundations to size and depth shown. Footings shall be entirely into solid undisturbed soil or entirely into compacted fill and /or as directed by the soils report / engineer (of part of project team). No un-compacted fill is permitted under footings. Bottoms of all footing excavations shall be level. Excavations are to be kept free of standing water.
- D. Backfilling, Fill and Compaction All structural fill underlying building areas shall be compacted to at least 90 percent of its maximum dry density. Fill material under new driveways and parking areas shall have upper six inches of compacted to 95 percent of dry density. (For additional information refer to soils report) out
- Trenching Cut trenches for piping and conduits to minimum sufficient widths and depths as shown on site utility drawings by others as
- and/or to utility company requirements. Observation Of Grading
- Should any loose fill, expansive soil, ground water or other adverse conditions be encountered during excavation, the Owner and Architect shall be notified of the work in question. Finish Grading
- upon completion
- Slope finish grades a minimum of ¹/₄ inch per foot (2%) away from buildings, any portion of the foundation for a distance of four feet. and the edge of slope. Site shall drain so that water will not stand against buildings or flow over the edge of any
- COMPLETION OF WORK At the conclusion of the work, all earth areas shall be raked free of debris and left with a uniform finely graded surface. All finish grades shall be held 2 inches below level of sidewalks and a minimum of 6 inches below the finish floor line unless otherwise shown.

02500 PIPED UTILITIES the Owner.

02620 SUB-DRAINAGE SYSTEM Sub-drainage system shall be as shown and specified in the construction documents prepared by the Civil Engineer, Architect and/or Landscape Architect or as required by the Owner.

- 02630 STORM DRAINAGE SYSTEM Storm drainage system shall be as shown and specified in the documents prepared by the Civil Engineer, Architect and/or Landscape Architect or as required by the Owner.
- 02700 PAVING AND SURFACING

02900 LANDSCAPINO

Architect or as required by the Owner.

DIVISION 3-CONCRETE

noted otherwise on plans

Reinforcing Steel

be 8 inches minimum

00 CAST IN-PLACE CONCRETE GENERAL REQUIREMENTS The Structural Specifications will supercede this specification section if the structural specification sheets are included

- in the project documents for this project. Scope: The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes, but is not limited to: Excavation of all footings and foundations. Finish grading under concrete slabs and sand or gravel fills under slabs. Construction of all forms necessary for concrete work. Furnishing and placing of all reinforcing steel, mesh, metal inserts, vapor barrier, dowels, bolts clamps, ties, etc. Furnish and placing of all concrete, interior and exterior of the building including; slabs on grade, footings, grade beams not exceeding 3 feet in height and exterior hardscape flatwork. Removal of forms and cleaning of materials. Special Inspection Testing as required.
- Special Requirements All materials and installation thereof shall conform to current standards of A.C.I. All work performed under this section shall be performed by a State of California licensed contractor. MATERIALS <u>Concrete</u>
- All footings, slab-on-grade, and miscellaneous concrete shall have a minimum compressive strength of 2500 PSI at 28 days, unless noted otherwise on plans Concrete shall have a mixture ratio of 1: 2-1/2: 3-1/2 by volume with 7 gallons of water maximum per sack of cement, unless

1. The General Contractor shall inform the Architect in writing of any changes or substitutions to the specified material of this

2. Any substitutions or deviation from these specifications must be submitted in writing as a proposed alternate and include all information necessary for evaluation, together with reason or justification for substitution. All substitution shall be forwarded

Any abbreviation or symbol used in the Construction Documents and not defined as stated above shall be verified with the

Provide and maintain all temporary facilities for the project for the duration of the Contract including, but not limited to the

- B. All temporary fences, barricades and protective devices necessary for the safety of workmen, conforming to all governing laws
- E. Ready Mix Concrete Mix and deliver in accordance with ASTM C-94. PERFORMANCE OF WORK
- Formwork: The contractor is responsible for formwork design and construction. Construct forms firmly, of sound lumber and plywood, to lines and levels indicated. Brace and fasten to withstand superimposed loads. Remove all form boards as soon as concrete has acquired sufficient strength but not later than completion of framing. B. Reinforcement: Provide all reinforcement as required or indicated by the Architectural drawings, Structural drawings or soils report. Footings, slabs, grade beams, stem walls and other reinforced concrete shall have minimum depth, width, anchors and
- reinforcement as required and as indicated on the drawings.
- Placing of Concrete Hold down anchors to be tied in place prior to calling for foundation inspection
- Thoroughly compact concrete by puddling with suitable tools and or vibrators.
- Minimum concrete cover over steel reinforcement as follows: Footings placed against earth 3"
- · Formed surfaces exposed to weather or ground 2'
- \cdot Slabs-on-grade, top and bottom minimum 1-1/2"• Exterior wall above grade 1-1/2"
- Interior wall above grade 3/4"
- Tied columns (main steel) 1-1/2"
- \cdot Coverage to be equal to one bar diameter minimum. No pipes or ducts shall be paced in concrete columns, walls, or suspended slabs unless specifically detailed.
- D. Concrete Finish Finish slabs level or to slopes as shown on drawings. Tolerance 1/8 inch in 10 feet.
- Provide 3/4 inch chamfer on all exposed poured concrete corners.
- Slabs to receive tile, screed with straight edge and hand float to a true and uniform surface. Trowel finish slabs, steps, etc., unless otherwise indicated on plans.
- Construction Joints
 - Construction joints, wherever possible, shall be placed under non-bearing interior partitions at interior floor slabs unless otherwise shown. Construction joints shall not exceed a spacing of 30 feet on center each way, unless noted otherwise on plans or as indicated by the Structural Engineer.
 - Slab control joints shall be constructed with a key, to allow movement of slab.
 - Walkways, driveways, and patio slabs shall be provided with construction joints at approximately 10-foot intervals. Provide expansion joints at street sidewalks, intersecting drives, and change in drive width and at approximately 40 foot intervals on straight runs.
 - Curing Shall be as required to maintain moisture content of slabs on grade. Immediately following the finishing operation, keep concrete moist for at least seven days. Concrete slabs and paving shall be protected against damage and/or defacement during construction operations. Areas shall be fog sprayed immediately after finishing operation for a period of 2 hours. During periods of low humidity, wind, or temperatures in excess of 70 degrees, the fog spray shall be applied for a period of 4 hours. Fog spray prior to and during curing and finishing operations if required to keep the concrete moist. Inert curing compounds may be used as permitted by prior submittal and approval by the Architect or Structural Engineer, provided that the compound used is compatible with the floor finishes to be installed over the slab.
 - Defective Concrete If any concrete work is not formed as indicated, unless under the direction of the owner or their representative; is not true to intended alignments; is not plumb or level where so intended; is not true to intended grades and levels; has excessive cracking, voids, honeycomb or rock pockets, or does not fully conform to the provisions of the contract; then such concrete work shall be deemed to be defective (materials and/or faulty workmanship) and the Contractor shall remove defective concrete from the site and replace it with new concrete at his own expense.
 - 03510 Gypsum Concrete
 - Supply and install Gypsum concrete floor underlayment shown on the drawings. 2. Installation shall be by a factory-approved applicator in accordance with the manufacturer's written instructions and requirements of the referenced evaluation.

DIVISION 5-METALS

- 5100 STRUCTURAL STEE GENERAL REQUIREMENTS
- Structural Steel specified by the Structural Engineer shall supercede these specifications if part of this construction
- document package. They will be shown on the drawings prepared by the Structural Engineer.
- 2. The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes performing all operations necessary to complete all metal fabrication work including but not limited to railings, posts, angles, clips, ties, straps, tubes, bolts, anchors, welding, grinding, and shop priming. Special Requirements
- All work performed under this section shall be performed by a State of California licensed contractor. Supply and install structural steel as specified in drawings, Conform to additional requirements of the structural drawings and to applicable positions of American Institute of Steel Construction (AISC), Chicago IL, codes and manuals of American Welding Society (AWS).
- 3. Submit shop drawings fully detailing work of this section, including accessories, welding, connections, including minor connections not shown but necessary for complete installation. If conflict occurs between these specifications and the structural plans or specs, refer to the structural plans or specs and bring to the Architect's attention. Welding
- All shop welding shall comply with specifications of the "American Welding Society".
- Ornamental railing, etc. shall have all welds ground smooth.
- Submit shop drawings fully detailing work of this section, including accessories, welding, connections, including minor connections not shown but necessary for complete installation. If conflict occurs between these specifications and the structural plans or specs, refer to the structural plans or specs and bring to the Architect's attention. 4. All work shall be done by A.W.S. certified licensed welders approved by the local building department. Welding shall be in
- accordance with the provisions of the Structural Welding Code AWS D1-1 and AWS D1-4 as modified by referenced AISC Standards, and as indicated or noted on Drawings. 5. Special inspection required for all structural field welding, by a certified special inspection service.
- Grind exposed welds subject to contract with smooth surfaces, free of holes, slag, or other defects, flush with adjoining surfaces.
- MATERIALS
- Structural Metal Parts and Members shall conform to the following:
- Structural steel rolled shapes, plates and bars shall be ASTM A-36 unless otherwise noted. Steel pipe used for structural purposes shall be ASTM A-36
- Square & rectangular structural steel tubing (TS) shall be ASTM A36, ASTM A-500 grade B, or A501. Machine bolts and anchor bolts shall conform to ASTM A-307, grade A. High strength (HS) bolts shall conform to ASTM A-325, field inspection require for installation.
- Aluminum: ASTM B209, B221, AND B429, Alloy 6063-T5.
- Stainless Steel: ASTM A176, Type 303,304 or 306, with No. 4 satin finish unless otherwise shown. Miscellaneous Items: Fabricate items not specifically mentioned according to the drawings, approved shop drawings and as required to complete the entire work. Galvanize exterior items and shop prime interior items unless otherwise shown or
- specified.

8. See drawings for other material that would fall under this section. PERFORMANCE OF WORK

- Fabrication, materials, and workmanship shall conform to AISC Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings, Manual Of Steel Construction, Latest Edition.
- Miscellaneous steel parts are to be accurately fabricated as shown on plans. Cut, drill and tap to receive hardware as required. 3. Fasteners: Provide fasteners and connectors of approved types as required for the installation, whether or not indicated. Provide
- galvanized fasteners for galvanized items and for exterior use. 4. Installation shall conform to drawings, approved submittals and requirements herein. Obtain necessary templates and
- information to provide all holes and drilling indicated or required for fasteners. Protect aluminum from contact with dissimilar metals or with concrete or cement plaster by painting the contact surfaces of each with two heavy coats of bituminous suitable isolation gaskets, as applicable for each condition
- 5. Grouting: Provide non-shrink grouting for Work of this section as shown and required. Conform to manufacturer's directions. 6. Painting & Priming - After fabrication all items shall be fully coated with two coats of a steel shop primer paint of different colors. Lead-free red metal primer, zinc chromate or alkyd type. Items permanently exposed to weather shall be fully primed and coated per specifications.
- 7. Shop priming: Clean surfaces according to AISC Specifications. Apply shop coat of metal primer to minimum 1.0 mil dry film thickness. Work primer into joints. Do not prime galvanized items or items imbedded in concrete or masonry. Shop prime all ferrous items not to be galvanized unless otherwise indicated or specified.
- Shop Prime Coat Repair: Clean field welds, field bolts, and all damaged shop primer and apply a shop coat of the same primer used for the shop coat.
- Provide the necessary anchorage devices and fasteners for securing miscellaneous metal items to in-place construction. 10. Galvanizing Repair: Wire brush welds and damaged coating to clean bright metal. Apply one coat of galvanizing repair paint where surfaces are concealed or are to be finish painted. Use the specified hot-applied galvanizing repair compound where surfaces remain exposed and unpainted.

05500 METAL FABRICATIONS

- Supply and install miscellaneous metal fabrications as shown and detailed on the drawings.
- Verify with architect or owner finish on metal fabrications. All installed metal fabrications shall be protected once inplace. Contractor shall be responsible for all abrasions, dents, or other marks on finished installed metal fabrications.

DIVISION 6 - WOOD AND PLASTIC

06100: DIVISION 6 - SECTION 1 - ROUGH CARPENTRY GENERAL REQUIREMENTS

- Structural Carpentry specified by the Structural Engineer shall supercede these specifications if part of this
- construction document package. They will be shown on the drawings prepared by the Structural Engineer. The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes, but is not limited to, all wood framing, wood forms for concrete, all wood-cutting, furring and backing required for all trades and checking of layout and dimensions for all trades.
- Non-wood items in this section include manufactured metal connectors for wood framing.
- SPECIAL REQUIREMENTS
- All work performed under this section shall be performed by a State of California licensed contractor. 2. Contractor of this section shall be responsible for the location and elevation of all parts of the construction shown on plans or notes. Prior to commencing work, the Contractor shall carefully compare architectural and structural drawings that affect the location and/or elevation of the work, and any discrepancies shall be immediately reported to the Architect for clarification and/or adjustmen
- 3. Supply and install rough framing as shown on the structural drawings.

Contractor to provide all labor, materials and equipment to excavate, backfill, compact, and grade as required for a complete finished job. If existing elevations, dimensions and/or site conditions are different form those indicated on the plans, report discrepancy and obtain instructions from Architect before starting work. The contractor shall be responsible for the accuracy of

All trenching for underground piping, electrical conduits, etc. shall be done in a manner to prevent settlement. Backfilling of trenches shall be compacted to at least 90 percent of its maximum dry density or shall conform to the soils report

- The contractor shall be responsible for drainage away from all buildings and away from the site both during construction and
- Piped utilities shall be as shown and specified in the documents prepared by the Civil Engineer or Architects or as required by

Paving and surfacing shall be as shown and specified in the Construction Documents, by code or as required by the owner.

Landscaping shall be as shown and specified for installation at the site in the documents prepared by the Architect, Landscape

- An approved water-reducing admixture may be used in all concrete except footings.
- Use an approved air-entraining admixture may be used in all concrete (structural and non-structural) where exposed to weather.
- All #5 bars and larger to be ASTM A-615, Grade 60. Lap 30 inches. All #2 through #4 bars to be ASTM A-615, Grade 40. Lap 20 inches.
- Welded Wire Fabric: Welded wire fabric (WWF) shall be per ASTM A-185 and shall be placed at center of slab. Lap splice to
- D. Portland Cement: ASTM C-150, Aggregates ASTM C-33.

4. Coordinate all work with the work of other trades. Provide chases, cuts bracing, and blocking, required by other trades. References All work of this section shall conform to industry standards and all governing codes and regulations, including the current adopted edition of the Uniform Building Code. MATERIALS

Lumber Materials: -All lumber shall be graded per Western Wood Products Association Lumber grading Standards. Lumber shall bear identification stamps indicating :-Grading Association mill number -Grade and species -Moisture content-Preservative treatment2. Lumber grading: unless noted otherwise, the following shall apply -Wall stud framing Douglas-Fir Larch #2 & better. -Singular joists, rafters Douglas-Fir Larch #2 & better. -Multiple joists, rafters Douglas-Fir Larch #2 & better. -Stair stringers Douglas-Fir Larch #2 & better. -Beams and headers Douglas-Fir Larch #1 & better.

-Posts, Douglas-Fir Larch -Blocking, plates, backing and miscellaneous framing #3

-Glue-lam beams 24F-V4, grade or as specified on structural drawings.

2. All wood in contact with concrete, masonry, soil or exposed to the exterior (as defined by C.B.C. 2317.4) shall be pressure preservative treated lumber. Bottom plates shall be pressure treated. Sawn Lumber: Shall be Douglas fir, S4S, and shall bear a grade mark. Use grades as specified for stressed applications and

"stud" grade for blocking, bridging and other non-stressed conditions.

Use preservative treated lumber in contact with concrete or masonry.

Plywood and other type sheathing shall be grade, exposure, span rating and thickness, per plans. Sheathing: shall be plywood or oriented strand board rated by the American Plywood Association (APA), in grades and thickness as indicated on the structural drawings. Plywood shall conform to product standards U.S. PS 1, current edition. Floor and Deck Sheathing must be plywood.

Hardboard: Shall be Masonite as manufactured by Masonite Corp.. Installation shall conform to the written specifications of the manufacturer and to the recommendations of the American Hardboard Association See plans for additional wood framing grades or specifications. B. Metal Connectors

Connectors specified shall be by Simpson Strong-Tie Co. Inc. unless otherwise specified. Alternates may be used only with prior approval of the Architect. Other metal connectors as specified on the structural or architectural plans as required for compete installation.

Nails and Other Fasteners Nails to be Common nails per C.B.C. table 23-I-Q, galvanized based on exposure.

Minimum nailing shall conform to C.B.C. table 23-I-Q. (See plans, specifications & structural details for size and type) Bolts and Nuts: ASTM A307 galvanized minimum for exterior exposed use. Provide matching washers.

PERFORMANCE OF WORK

Framing and Fabrication: To be installed level, plumb, true to line and dimension, and in strict compliance with sections, details and notes. Work required, but not shown and/or specified, shall conform to applicable sections of governing codes.

All floor joists to be solid blocked at bearing lines, longest unblocked span shall be no larger than 8' - 0". Floor sheathing shall be screwed and glued to floor joists. Existing and new floors where applicable. Structural member fastener penetration shall be per C.B.C. section 2311.3.3.

Glue-laminated timbers and pressure preservative treated lumber shall be resealed (compatible treatment) following all shop or field cuts. Support all concentrated loads bearing on stud or joist cavities with solid bearing or blocking.6. Double floor framing joists

below interior walls, bath tubs and heavy appliances All wood within 6" of earth or 1" of the concrete shall be redwood or pressure treated.8. Contractor shall install and coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment. Installation shall be as shown and specified on the structural drawings, complete with connectors, nailing, bracing, temporary

supports, and materials not shown or specified but necessary for a complete job. Contractor shall install and coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment.

9. Installation shall be as shown and specified on the structural drawings, complete with connectors, nailing, bracing, temporary supports, and materials not shown or specified but necessary for a complete job.

B. <u>Cutting</u> Cutting of beams and joist shall be limited to one-fifth the beam depth from the top and located no further from the beam end than three times the beam depth. Cuts in excess of this, or bored holes with a diameter more than two inches are not permitted without special provisions and approved by the Structural Engineer.

Furring Provide wood furring where indicated or required to conceal piping, structural metal work, or other unfinished work. Use 2 inch nominal (1-1/2 inch actual) thick material of required width. Finish as shown, noted or detailed. (Metal furring may also be used where appropriate)

Plywood Sheathing

Plywood floor and roof sheathing shall be laid continuous over two or more framing spans. Install with face grain (and long dimension) of piece at right angles to joist and/or parallel to studs. Arrange so that no piece is less than 16 inch in either

Wall panels shall be not less than 16 inches wide and 4 feet in length. Stagger all sheathing panel seams a minimum of 2 feet minimum or two stud/joist cavities.

Thickness and nailing shall be as shown on plans. Fire blocking and Draft Stops

Firestops and draft stopping shall be installed to cut off all concealed draft openings (both vertical and horizontal) and shall form an effective barrier between floors, between a top story and a roof or attic space, and shall subdivide attic spaces, concealed roof spaces, and floor/ceiling assemblies.

The integrity of all fire blocks and draft stops shall be maintained.

Required fire blocking locations:

In concealed spaces of stud walls and partitions, including furred spaces at the ceiling and floor levels, and at 10 foot intervals in both vertical and horizontal dimensions

b. At all interconnections between concealed vertical and horizontal spaces such as occur at floors, drop ceilings and coved ceilings. In concealed spaces under stairs within stair structural stringer assemblies.

d. In openings around vents, pipes, ducts, chimney, fireplaces and similar openings which would afford a passage of fire at ceiling and floor levels with non-combustible fire stopping material. At openings between attic spaces and chimney chases for factory-built fireplace chimneys.

Where wood sleepers are laid under wood flooring over concrete floors, the space between the floor slab and underside of wood shall be filled with non-combustible material or fire blocking. Fire blocking shall be installed so that there will be no open spaces under the flooring which will exceed 100 square feet. Install fire blocking under all permanent partitions so that there shall be no unblocked spaces between adjoining rooms.

Fire Block Materials

a. Fire blocking shall consist of 2 inch nominal lumber or 3/4 inch plywood sheets with joints backed by a 3/4 inch wood panel. b. Fire blocks may also be constructed of gypsum board, mineral fiber, glass fiber, or other approved material, and securely fastened in place.

4. Draft stopping (location and criteria)

When there is a usable space above and below the concealed space of a floor /ceiling assembly (i.e. attic, or soffit area) it shall not exceed 1,000 square feet and/or measures more that 60 feet in any direction. Such spaces shall be equally divided by a draft

b. Draft stop min. construction shall be 1/2 inch gypsum board, 3/8 inch plywood or other approved materials, with a 3/8 inch maximum gap between sheets.

06170: PREFABRICATED STRUCTURAL WOOD

Wood Roof Trusses

Supply and install wood roof trusses as shown on the structural drawings. Deliver, store and handle trusses in conformance with the manufacturer's written instructions.

Submit shop drawings and engineering calculations to the Architect and Structural Engineer for review and approval prior to fabrication. The calculations shall be stamped and signed by an engineer registered in the state at which the project is being built. The truss manufacturer shall provide shop drawings and calculations, as reviewed and approved by the Structural Engineer, to the building Official prior to fabrication on the trusses or, if required by the building official, prior to the issuance of a building permit.

Installation shall be as shown on the truss manufacturer's shop drawings and in conformance with the manufacturers written installation instructions.

Manufactured Lumber

Supply and install manufactured joists, beams, and headers as shown on the framing drawings. Products shall be manufactured by the bear and trademark of, with quality control inspections. No substitution of products is

allowable unless permitted in writing by the Structural Engineer. Installation shall be in accordance with the Products Reference Guide published by Truss Joist MacMillan. Spans are not to exceed Truss Joist recommended spans based on L/480 live load fabrication.

06180: STRUCTURAL GLUED-LAMINATED TIMBER

Supply and install glued-laminated timber as shown on the structural drawings. Provide a certificate of conformance for each timber if required by the Building Official. Deliver, store and handle glued-laminated timbers in conformance with the manufacturer's instructions.

Installation shall be as shown on the structural drawings.

Product shall conform to ANSI Standards; Each timber shall be identified with an inspection mark either from the American Plywood Association - Engineered Wood Systems (APA-EWS), or from the American Institute of Timber Construction (AITC).

06200 DIVISION 6 - SECTION 2 - FINISHED CARPENTRY1.GENERAL REQUIREMENTS

Scope The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to, the furnishing and installation of all non-structural finished wood members, shaped wood members, wood door and window frames and trim, and other trim or finish items. It further includes the installation of doors, finish hardware and miscellaneous specialties.

B. <u>Special Requirement</u>

All millwork shall conform to the latest edition of the Woodwork Institute of California, (W.I.C.) Manual of Millwork. -Custom grade.

MATERIALS

Finished Wood Members: Kiln dried, clear vertical grain Douglas Fir except as noted or shown on plans. Wood Jambs, Sills, Trim and Handrails: Shall be clear kiln dried Douglas Fir, unless shown otherwise. PERFORMANCE OF WORK

Finish Carpentry

Provide solid blocking of all cabinets, countertops, mirrors, shelving, light fixtures, and all miscellaneous wall and ceiling mounted or recessed items.



- 2. Supply and install all interior wood trim, door frames, castings, shelves, poles and plastic work as shown on the drawings and as 11. Contractor shall have a meeting with the roofing contractor, owner and architect prior to installation to review drawings, and directed by the owner. Field measure for fabricated items prior to fabrication.
- 3. All interior exposed ceiling joists, beams or trim shall be finish grade. Finish treatment shall be confirmed with the Owner or Architect. Distresses treatments shall be confirmed with the Architect. Product wood species and finish shall be selected by the
- 4. Members shall be neatly and accurately scribed in place. All members shall be installed in full lengths. Joints shall be scarfed, corners mitered or coped. All members shall be fastened securely in place accurately and be scribed neatly to walls, ceilings or 2. other surfaces so that open joints do not occur. All joints shall be filled and sanded after installation. B. Exposed Wood Frames for Doors and Windows
- Frim shall be called out or detailed on plans. Members shall be butt or miter joined. Cut members for tight fit, install plumb, and level with firm connections to structure.

C. <u>Nails and Fasteners</u> Nails and fasteners shall be arranged in a straight line, uniform pattern, evenly spaced. All exposed fasteners shall be set and filled. Hammer marks are not acceptable. Damaged members shall be replaced. Exterior finish wood fasteners shall be stainless steel nails, unless shown otherwise.

- Closet hanging poles and support fittings shall be chrome finished metal. Hanging poles shall be provided with center supports for spans longer than 4'-0" in length.
- 2. Installation shall be true to line and level, fasten securely and scribed to prior finish work for a tight fit. Provide one shelf (1x12), mounted at six feet six inches above the floor and one rod (1-1/2'') diameter), mounted at six feet - six inches above the floor and 12" from the face of the rear wall at each clothes closet, whether or not such shelving and rod are shown on the drawings. Verify the requirement for closet layout with the owner.
- Confirm with the Architect the Owners desire for pole and shelf, or Owners Consultants closet design (if any). Interior Stairs and Handrails
- Supply and install stair parts and handrails as shown and detailed on the drawings. Clear Douglas Fir, unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize. 2. Product and finish shall be as selected by the owner.
- Installation shall be true to line and level, fastened securely and scribed to prior finish work for a tight fit.
- F. Exterior Wood (Modify per Job- See Exterior Finish Notes) Siding: Grade: Tight knot Douglas Fir, Re-Sawn, unless noted otherwise on drawings, seasoned, hand selected for appearance Miter at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.
- 2. Trim: Grade: Tight knot Douglas Fir, Re-Sawn (verify) unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections (verify with existing). Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.
- 3. Fascia, Trim & 2 X 'S: Grade: Tight knot Douglas Fir, S4S unless noted otherwise on drawings, seasoned, hand selected for appearance. Miter at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanized
- 4. Exposed Roof Eaves: 1 x 6 "V" Groove Grade: Tight knot Douglas Fir, Re-Sawn, seasoned, hand selected for appearance. Miter at corners and other intersections. Finish per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanize.
- 5. Roof Brackets: Constructed of 6 x 6 & 6 x 8, Grade: clear Douglas Fir, S4S, hand selected for appearance. Miter at corners and other intersections. Finish brackets per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanized.

DIVISION 6 - SECTION 4 - ARCHITECTURAL MILLWORK GENERAL REQUIREMENT

- A. <u>Scope</u> The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to, the furnishing and installation of all cabinets, shelving, casework and casework finish hardware.
- B. Special Requirements All work shall be in accordance with the latest edition of the Woodwork Institute Of California, (W.I.C.) Manual of Millwork All work performed under this section shall be performed by a State of California licensed cabinet contractor.
- 2. MATERIALS A. All materials shall be in accordance with the latest edition of the Woodwork Institute of California, (W.I.C.) Manual of Millwork and as listed herein.
- 3. PERFORMANCE OF WORK
- A. <u>Casework</u> Casework shall be fastened securely in place accurately, tightly and scribe neatly to walls, ceilings or other surfaces so open joints do not occur.
- 10. Garage cabinets and shelving shall have melamine finished interiors and faces with laminate countertops. 11. Cabinetmaker shall adjust hinges and glides as need to allow even seams and smooth operation.

4. COMPLETION REQUIREMENTS The Contractor is responsible for the cleaning of all components before final acceptance of the job. All component warranty and maintenance information shall be given to owner at project completion.

DIVISION 07050- MOISTURE PROTECTION

GENERAL REQUIREMENTS Scope

- The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work includes but is not limited to: roofing, waterproofing, damp proofing, nonmetallic flashing, sealants, and waterproof coatings. 2. Gravel stops, flashing, and counter flashing are included under "sheet metal".
- MATERIALS
- A. See Exterior Finish Notes, unless otherwise noted.
- B. Below Grade Vertical Waterproofing:
- 1. Waterproofing shall be "TUFF RUBBER (TR-950)" by **Optimum Safeguard Waterproofing** Or Architect approved equal. Telephone 1-800-794-5929.
- 2. BITUTHENE SYSTEM 4000", 60 mil. membrane by W. R. Grace, telephone, 1-(800) 237-2505. 3. Install in accordance with the manufacturer's specifications by a certified installer. Waterproofing contractor shall guarantee all
- labor and materials of waterproofing system for a period of five years. 4. Drain board and Protection Fabric: Shall be DB-55 drain board and PF-5 protection fabric by **Optimum Safeguard** Waterproofing. Install in accordance with the manufacturer's specifications.
- 5. Drainage Lines: shall be 4" (100 mm) diameter rigid perforated (holes down) PVC pipe. Locate bottom of pipe a minimum of 4" below bottom of slab. Surround pipe with 6" of gravel and filter fabric. Discharge line shall be a non-perforated 4" diameter rigid PVC pipe extending to daylight at slope.
- **C.** Sheet Waterproofing for Parapet and other Horizontal Surface Waterproofing: Membrane waterproofing system shall be JIFFY SEAL 140/60 membrane. by Protecto Wrap. Or Bituthene 3000, by W.R. Grace Company, or equal. Install in accordance with manufacturer's instructions.
- 2. Extend a continuous membrane a minimum of 9" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheet. Where membrane encounters vertical surfaces, the membrane shall extend 9" up the surface, and be lapped over by building wrap. No general nailing shall be done on horizontal surface of JIFFY SEAL.
- 3. For sealant in contact with "Jiffy Seal" use 160 H MASTIC or JSLM URETHANE or products manufactured by Protecto Wrap. Provide adhesive compounds and tapes recommended by waterproofing sheet manufacturer for flashing. 4. Provide collection course Amocor board or equal or as recommended by waterproofing sheet manufacturer.
- 5. Installer must examine substrate and notify contractor of unsatisfactory conditions. Do not proceed until these corrections have been corrected in a manner acceptable to installer. 6. Institute all required procedures for protection of completed membrane during installations of work over membrane.
- D. Building Weather Protection Building Wrap: 1. Supply and install weather-resistive barrier to all weather exposed surfaces to fully protect the structure from water intrusion as required by UBC. The weather-resistive barrier shall constitute of building paper, penetration flashing at all wall openings and
- waterproof membrane as shown on the drawings and details and as specified below 2. Shall comply with CBC section 1402. Building paper: Shall be breather type Grade D sheathing paper meeting or exceeding federal specifications.
- 3. Building wrap shall be applied horizontally with the upper layer lapped on the lower layer not less than 2 inches and end laps shall be not less than 6 inches. Building wrap shall include Two Layers of 60-minute grade "D" building paper.
- 4. Building paper shall be: Fortifiber Corp.: "SUPER JUMBO-TEX" or approved equal. Telephone: 1-(800) 443-4079. Install all materials per manufacturer's specifications 5. Use "JIFFY SEAL" 140/60 at all corners as noted on plans. Install over two layers of building paper with one layer building
- paper lapped over "JIFFY SEAL" or as noted or shown on details. 6. <u>Alternate</u> Building Wrap Layer: Base Layer: Tyvek "Home Wrap" house wrap by <u>Dupont</u>. Telephone 1(800) 448-9835.
- Install per manufacturers specifications 7. Penetration Flashing: Shall be 12" wide heavy-duty reinforced Moistop or equal between building wrap layers conforming to federal specifications.
- 8. Building Wrap: Shall be installed in accordance with manufacturer's installation instructions using primer form same
- manufacturer, as required
- E. Door & Window Flashing: Sheet metal head flashing shall be per plan notes and details.

Opening flashing shall be "MOISTOP" by Fortifiber Corp. Flashing including flashing sealants shall be installed per manufacturer's instructions

Windows, Doors and Skylights: Windows, Door and Skylights shall be per plans. Contractor to verify all rough openings with manufacturer. Provide for unit installations as required, and install per manufactures instructions. See schedules for Windows, Door and Skylights sizes F. Roofing: (See Roof Notes on Roof Sheet for Project Specific Roofing)

- 1. **Roofing Underlayment:**
- a. 40# fiberglass reinforced felt underlayment sheet. Install per manufactures instructions. As manufactured by GS Roofing
- **Products** (or architect approved equal).
- 2. Waterproofing at roof areas less than 4: 12 and Alternate Roofing Underlayment: a. "Ice and Water Shield" By W. R. Grace. Install per manufacturer's instruction. With a #40 roofing felt installed over
- 3. Roofing System: 40 Year UL 790, Class A Roof (See Roof Notes on Roof Sheet for Project Specific Roofing) a. Fiberglass Roof Singles shall be: Fiberglass Shingles, "Sable or Charcoal Black" by Elk, Inc. Or Owens Corning, IBCO ES ER 5443 (match existing). Install with exposure pattern to match existing over underlayment Roofing system installed by a licensed roofing contractor. Roofing system shall have a minimum 10-year labor and material warranty.
- b. Tile Roofing shall be: US Tile Roofing or equal.
- 1. Install per manufactures specifications
- . Lace all tile in valleys. 3. Mortar set all ridge & hip tiles.
- 4. Use copper flashing throughout
- 5. Use #40 tile under underlayment
- 6. Use torch down roofing at all horizontal surfaces.
- 7. Cricket all flat roof to vertical wall joints with copper flashing over solid wood cart.
- 8. Roofing shall be installed in accordance with manufacturer's specific installation procedures. 9. Provide all required sheet metal flashing and caulking.
- 10. Roofing system shall be installed by a licensed roofing contractor per manufacture's specifications. Roofing system shall have a minimum 10-year labor and material warranty against leaks.

- Deck and Balcony Waterproofing
- of all paints, oils, rust and any other contaminants.
- Deck Railing System: Per drawings and details. To be approved by owner.
- shall have a mill finish. Hem all exposed edges.
- from deck to foundations. Connect deck drain line to subterranean site drainage system. specification for plywood substrate. Water Test: After membrane is installed plug all scuppers and drains and flood test deck with a min. of 1" of water for 24
- 8. Protection Board: By W.R. Meadow, Inc., telephone (706) 883-4500: PC-2 or approved equal, (1/8") protection board. Install
- per manufacturers specifications. 9. Mortar Bed: 3.5# self furred expanded metal lath reinforced mortar bed, 3/4" minimum 1 -1/2" maximum thickness. Mortar bed is dependent on stone thickness.
- floor tile pattern. Provide 4 sample slate pieces for owner review and approval.
- 11. <u>Grout</u>: Color to be selected by owner. specifications. Sealer shall be re-applied every 2 years maximum.
- 13. <u>Caulking and Sealant</u>: Manufactured by <u>Dow Corning Corporation</u>, telephone (510) 490-0650. 3. PERFORMANCE OF WORK
- All materials shall be installed per manufacturer's recommendations, unless noted otherwise on plans. been corrected in a manner acceptable to installer. of project completion.

DIVISION 07200 - THERMAL PROTECTION - INSULATION GENERAL REQUIREMENTS A. <u>Scope</u>

- other insulation locations specified on the drawings. Special Requirement
- 2. MATERIALS
- shall be placed toward interior (heated) side of exterior walls, roofs, and raised floors.laymen compatible adhesive. Do not leave exposed above the grade line. above the grade line.
- PERFORMANCE OF WORK
- floors of new and existing portions of all bedrooms, bathrooms, and laundry or utility rooms.
- New 2x4 walls: R-13 Batt New 2x6 and 2x8 walls: R-19 - Batt New 2x10 or deeper walls: R-30 - Batt Existing 2x4walls: R-13 - Batt or Blown Wool
- New & Existing Raised floors: R-19 Batt Insulation between floor levels: R-19 - Batt Vaulted or Roofs Areas: R-19 - Batt (minimum) Attic space (as listed on plan): R-19 - Batt (minimum)
- New and existing hot water storage tanks: R-12 HVAC Ducts in unconditional spaces: R-4.2

DIVISION 07600 - SHEET METAI GENERAL REQUIREMENTS

- Scope
- Special Requirement
- Owner, including miscellaneous items required for a completely water tight job. 3. Contractor shall avoid installing copper flashing in contact with metal or aluminum. Where contact is anticipated, the
- Contractor shall notify the Architect. MATERIALS See exterior finish notes for materials, unless noted otherwise.
- Galvanized Steel sheet metal
- drawings of all custom fabricated items for Architect's review. Copper Sheet Metal
- PERFORMANCE OF WORK Workmanship
- Architectural Sheet Metal Manual, latest edition.
- Concealed Ducts for Exhaust Fans and Blowers
- **DIVISION 07700 PREFABRICATED ROOFING SPECIALTIES** GENERAL REQUIREMENTS

as the material will allow. Also, refer to mechanical specifications.

- <u>Scope</u>
- plans. The work of this section includes, but is not limited to prefabricated roof specialties and work shown, noted or specified. Special Requirement All work performed under this section shall be performed by a State of California licensed Roofing contractor.
- MATERIALS See Roofing notes for materials, unless noted otherwise. PERFORMANCE OF WORK
- Supply and install roof vents as indicated on the drawings.
- Product shall be half round dormer roof vents, or as shown on drawings.
- 6. Group all roof vent pipes and vents to be not be visible from street or entry.

will be required for proper installation.

or architect approved equivalent product

DIVISION 07900- JOINT SEALERS

GENERAL REQUIREMENTS

Scope

B. Special Requirement

MATERIALS

any questions or concerns regarding the roof details, installation, finish, and roof maintenance.

Surface Preparation: Wood surfaces shall be clean, dry, and free of sharp protrusions, dust and voids. Repair all area as needed before applying membrane. All exposed metal surfaces that will be in contact will waterproof membrane are to clean and free

Counter-slopes: Area of crickets and counter sloped to allow drainage to deck drains and scuppers shall be sloped 1/8" per 12" minimum) with G-26 (latex -cement) flooring underlayment by Crossfield Products Corp.4079

Metal Flashing and Counter Flashing: All exterior flashing to be 16 oz. copper unless otherwise noted. All exposed copper

5. <u>Deck Drain and Overflow:</u> Deck drain BDCD3NH by <u>Thunderbird Products</u>. Telephone (800) 658-2473. 5" x5' bronze grate with 16 oz copper base. Provide separate drain for deck drain and deck overflow drain lines. Provide 3" I.D. ABS drain line <u>Deck Surface Waterproofing:</u> Waterproofing system shall be "Dex-o Tex. Weatherwear " by <u>Crossfield Products Inc. I.C.B.0. #</u> C.

1338. Extend a continuous waterproof membrane a minimum of 6" above edges of deck. Installed in strict accordance with manufacturer's specifications by a manufacturer's certified installer. General Contractor shall follow manufacturer's

10. <u>Stone /Tile Flooring</u>: Provide a \$7 /square foot allowance for material only. Flooring material as selected by owner, verify

12. Penetrating Sealer: For stone and grout. "Enviroseal Double 7" by HYDROZO INC. telephone 1-(800) 422-1902. Penetrating, non-staining, non-coloring, or de hardening, water repellent sealer to be applied on all stone and grout surfaces. Prior to application a sample application to a 2' x 2' stone and grout a sample shall be done for approval. Apply per manufacturer's

14. One-part, silicone glazing and waterproofing sealant: Dow Corning #795 - medium modulus, Silicone Building Sealant.

B. Installer must examine substrate and notify contractor of unsatisfactory conditions. Do not proceed until these corrections have

C. All materials and installations shall be warranted by the installer and manufacture for a period of not less than ten years for date

The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work shall include but is not limited to; all wall, perimeter foundation, raised floors, ceiling and

All work performed under this section shall be performed by a State of California licensed contractor.

Batt Insulation: Foil faced glass fiber thermal insulation by **Owens/ Corning** or approved equal. Foil faced side of insulation

Rigid Insulation: AMOFOAM-CM by **TENENCO**, Telephone 1(800) 241-4402. Attach to substrate with a polystyrene

Protection Board: AMOCOR-PB4 (1/4") protection board by **TENNECO**, Telephone 1(800) 241-4402. Do not leave exposed

See plans for Insulation values and State of California, Title 24 Energy Calculations and notes.

A. Supply and install thermal or acoustical building insulation in the framed portions of all roof/ceiling assemblies, framed walls and all floors that separate conditioned and unconditioned spaces. Insulation shall also be installed in the walls, ceiling, and B. Batt type insulation shall comply with the California Quality Standards for Insulating Materials. The installer shall post a signed

certificate indicating compliance with the Energy Efficiency adopted by the California Energy Commission. Installation of thermal or acoustical insulation shall be in accordance with the manufacturer's written installation instructions. D. Contractor shall provide and install thermal or acoustical insulation minimum values as follows: (or as noted on the plans)

This section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to sheet metal work shown, noted or specified.

All work performed under this section shall be performed by a State of California licensed sheet metal contractor. Supply and install copper flashing, gutters, downspouts, scuppers as indicated on the drawings or as directed by the Architect or

Galvanized sheet metal shall be zinc coated steel, ASTM A562, with 0.20% copper, G90 hot dipped galvanized, mill phosphatized where indicated for painting. Sheet metal shall be 26-gauge minimum, unless otherwise noted. All cut metal edges shall be sealed with Cold Galv. All exposed edges to be hemmed back 1/4" unless detailed otherwise. Submit shop

tems include but are not limited to; flashing, counter flashing, gutters, roof penetrations and miscellaneous exterior metal. Use B. 20 oz. copper unless noted otherwise, Fasteners shall be copper. All exposed edges to be hemmed back 1/4" unless detailed otherwise. Submit shop drawings of all custom fabricated items for Architect's review.

All work shall conform to the Sheet Metal and Air Conditioning Contractors National Association (S.M.A.C.N.A.)

All exposed interior sheet metal shall be primed and painted to match color of adjoining materials, unless noted otherwise.

Same cross sectional areas as fan discharge opening, fabricated with smooth locked seam joints. Transitions: as short and direct

This section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the

Vents as manufactured by Harlen Metal Products, Inc., or approved equal. Roof vents of alternate manufacturers must provide a minimum of 73" square inches of free vent area each, unless additional vents are installed to provide equivalent total vent

4. Installation shall conform to the written instructions of the manufacturer and shall be coordinated with the work of the roofing installer. Provide curbs, flashings, fasteners, and accessories necessary for a fully watertight installation. 5. Install all plumbing vent stack, exhaust fans, or other miscellaneous roofing items as shown on the roof plan.

This section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. The work of this section includes, but is not limited to sealant application or work shown, noted or specified.

All work performed under this section shall be performed by a State of California licensed contractor. Supply and install all sealants and sealant accessories as indicated on the drawings or as directed by the Architect or Owner,

including miscellaneous items required for a completely water tight job. 3. Sealants for project shall be verified by contractor for specific application, substrate preparation and installation. A Dow Corning representative or other sealant manufacturers rep. shall be consulted to verify sealant application and if surface primers

A. Caulking and Sealant: Caulking and sealant shall be manufactured by **Dow Corning Corporation**, telephone (510) 490-0650,

One-part, mildew resistant silicone sealant: Dow Corning #786 -Mildew Resistant Silicone Sealant.

- One-part, ultra-low modulus (+100%,-50% movement), electrometric sealant: Dow Corning # 790 -Silicone Building Sealant. One-part, medium modulus (±50% movement), weatherproofing sealant: Dow Corning # 791 - Silicone Perimeter Sealant. 4. One-part, medium modulus (±50% movement), silicone glazing and waterproofing sealant: Dow Corning #795 - Silicone
- Building Sealant. One-part, high modulus (±25% movement), structural glass sealant: Dow Corning # 799 - Silicone Structural Adhesive One-part, high modulus (±25% movement), glazing sealant: Dow Corning # 999A - Silicone Building & Glazing Sealant
- For sealant adjacent to or in contact with "JIFFY SEAL", see sealant specified in section 2 item E. Backers: Inert fibrous glass, polyethylene or polyurethane as acceptable to sealant manufacturer.
- PERFORMANCE OF WORK
- Sealant shall be non-drying gun applied to make a watertight seal at all joints, sills, windows, door, trim elements, etc. Backer rods or bond breaker agents shall be used depending on the specific application. Sealant for each particular application shall be reviewed by the contractor for compatibility with surrounding materials prior to
- application. Color of exposed sealant shall match surrounding materials. Surfaces to be sealed shall be properly cleaned prior to application. Sealant installation shall be in accordance with the manufacturer's written installation instructions. Mask surfaces not to be sealed. Apply sealant manufacturer's recommended primer.
- D. Supply and install sealants with backer rods, to provide a watertight installation. Conform to the recommendations of the manufacturer. Colors shall match adjacent surfaces unless otherwise directed by the Architect
- Maximum 3/8" sealant depth unless otherwise shown. Minimum joint width is 1/8" for metal-to-metal joints and ½" maximum width elsewhere. Apply sealant under sufficient pressure to fill voids. Finish exposed joints smooth and flush with adjoining surface unless recessed joints are shown. Remove temporary masking as soon as joint is completed.
- F. Clean material from surfaces not to receive sealant and restore the finish as required. If surfaces adjoining joints are stained and cleaning is not acceptable to the Owner, remove the affected work and provide new finish materials as directed and approved, at not extra cost to the Owner.
- Seal penetrations through fire-rated assemblies using 3-M Fire-Barrier manufactures by 3-M Company Inc., installed to the specifications and recommendations of the manufacturer.

H. Warranty: Sealants shall have a 20-year warranty. **DIVISION 08050 - DOORS AND WINDOWS**

GENERAL REQUIREMENTS

- A. <u>Scope:</u> The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes furnishing and installing doors, glass, windows and mirrors. B. Special Requirements All work performed under this section shall be performed by a State of California licensed contractor. All installed glazing shall receive a protective coating or covering to protect finish after installation. Where windows and or doors are to be replaced or relocated, the Contractor shall coordinate with the Owner for removal and storage. The existing openings shall be field verified and modified as needed to accommodate the new door or window. If the
- walls or header must be enlarged, the Architect shall be notified prior to work starting. Provide emergency exit doors or windows from sleeping rooms. MATERIALS
- A. Doors All interior doors shall be by <u>T.M. COBB</u> unless noted on plans.
- Door style and finish shall be selected by architect and approved by owner.
- All exterior doors shall be shall be 1-3/4 inch thick solid core, fabricated with Type I adhesives. All doors to be drooms, bathrooms and laundry room shall be 1-3/4" solid core. All others shall be 1-3/8 inch hollow core. fabricated with type II adhesives at interior doors. All door frames shall be 1-1/4 inch thick paint grade Douglas Fir, width shall match wall thickness.
- All doors from interior of house to garage shall have a fire rating of 20 Minutes door and frame, equipped with a self closure. See Door and Window Notes and Title 24 Energy Notes for additional requirements.
- Shall be 1/4 inch crystal, clear polished edges, no exposed frames or clips, with fully sealed back.
- **Operable Windows** See Window Schedule, plans, or manufacturer's specifications.
- Also, see Door and Window Notes and Title 24 Energy Notes for additional requirements. Net clear window opening area shall be not less than 5.7-sq. ft. (821-sq. in.) minimum. Net opening height dimension, 24" clear minimum. Minimum net opening width dimension, 20" clear. Finished sill height maximum, 44" above floor.
- D. Fixed Windows
- Unless otherwise noted to be the same manufacturer as operable windows.
- Miscellaneous Fixed Glass As noted on plans.
- 08360 Sectional Overhead Doors-(See Door Schedule).
- Supply and install sectional overhead doors and operating hardware as shown on the drawings. Supply and install garage door openers as directed by Owner. Product shall be four section wood or other specified material door and door manufacturer's operating hardware. Submit
- manufacturer's catalog cuts to Owner for selection of design and finish.
- Installation shall be in accordance with the manufacturer's written installation instructions.
- G. <u>Shop Drawings (if requested)</u> Shop drawings of all exterior door and window installations to be submitted to the Architect for review prior to fabrication. PERFORMANCE OF WORK
- Installation All doors, glazing and windows shall be installed per manufactures specifications.
- Glass shall be cut smooth with straight edges, accurately sized as required with proper clearance for expansion.
- B. Breakage and Damage Breakage and damage of any kind shall be repaired or replaced by the Contractor.
- 4. COMPLETION REQUIREMENTS

The Contractor is responsible for the cleaning of all glass, widows and door frames before final acceptance of the job. 2. All component warranty and maintenance information shall be given to owner at project completion.

DIVISION 08200 - WOOD DOORS AND WINDOWS

- GENERAL REQUIREMENTS A. Scope: Supply and install wood exterior and interior doors as shown on the drawings. Doors shall conform to the applicable Industry Standard of the National Wood Window and Door Association (NWWDA). Store and handle doors in accordance with the recommendations of NWWDA and the manufacturer.
- Special Requirements
- All work performed under this section shall be performed by a State of California licensed contractor.
- MATERIALS A. Wood doors shall be:

Door Hardware

delivered to owner.

Lockset / latch Schedule:

INSTALLATION

hardware.

the jambs.

COMPLETION REQUIREMENTS

final acceptance of the job.

- 1. Exterior Flush Doors: 1-3/4 inch thick, 5-ply construction glued-up solid wood, or 7-ply construction particleboard core with
- sound grade birch or medium density overlay veneer unless otherwise shown. Trim shall be added if shown on drawings.
- 2. Exterior Stile and Rail Doors: 1-3/4 inch thick solid wood stile and rail and solid wood raised panels. Joinery shall be either doweled or mortise and tendon. Glazing, if indicated, shall be fully tempered to ANSI Standards.
- 3. Exterior Glazed Doors: 1-3/4" thick solid wood rail and stile door with individual panes of glass as shown on the exterior
- elevations. Glass shall be tempered to ANSI Standards. 4. Interior Doors: Flush 1-3/8" or 1-3/4" thick solid core, sized per the drawings. If other than flush door (raised panel, etc.) is indicated, door design shall be selected by the Owner from the Contractors supplier's submittal.
- Wood windows shall be: Comply with NWWDA Standards 1.5.2 and 1.5.4 with a Quality Certification Label on each unit. Install to the specifications and recommendations of NWWDA and the manufacturer.
- 2. Products shall be as selected by the Owner and shall be shop glazed.

Door hardware shall match Latch. Provide keyed deadbeats at all exterior doors.

Contractor shall supply and install all hardware except Owner supplied hardware.

templates to trade doing work and furnish all hardware complete with fasteners.

5. Contractor shall prepare & verify number, type & location for all door & misc. hardware.

B. All component warranty and maintenance information shall be given to owner at project completion.

3. Installation shall be in accordance with the recommendations of NWWDA and the manufacturer.

DIVISION 08700 - FINISH HARDWARE

GENERAL REQUIREMENTS A. <u>Scope</u>: The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section of work includes but is not limited to, the furnishing of all finish hardware including, door handles, door stops, door hinges, cabinet door pulls, and miscellaneous hardware necessary for a finished project. MATERIAL AND INSTALLATION

All locksets and dead bolts shall be operable by one key. All keys shall be tested in locks, properly tagged for location and

Submit a hardware schedule to the Owner, specifying the manufacturer's catalog numbers, location and finishes. Provide

6. Replace in properly marked boxes, and place in storage. After painting and finishing is completed, permanently install finish

8. Coat metal thresholds with asphaltic paint on the bottom, set in mastic and have plastic flashing specified elsewhere extend up

A. The Contractor shall be responsible for verifying the correct installation and smooth operation of all finish hardware before

Brush finished stainless steel unless furnished with the door unit. Exterior door threshold shall be brush finished stainless steel.

Door hinges and door strips shall be selected by Architect and Owner with finish submittals approved by Owner.

3. Secure finish hardware with suitable fasteners of the same material and finish as the item being attached. After fitting hardware

Provide each door with three (3) hinges. At exterior doors provide non-removable pins for out swing doors.

A. Material as selected or specified for project.

Provide four (4) complete key sets to owner.

B. See Door and Window Notes and Cabinet Schedule and Notes. C. All hardware not specified shall be selected and/or approved by the owner prior to installation.

Interior doors to bedrooms and baths shall have privacy latch.

Front door: Manufacture and Style to be selected by owner.

Other exterior doors: Schlage, style to be selected by owner

10. Interior swinging doors: <u>Schlage</u>, style to be selected by owner.

to doors, remove all finish hardware except hinges, carefully.

11. Sliding pocket & closet: <u>Schlage</u>, style to be selected by owner.

12. Provide cost allowance for hardware to be selected by owner.

Hinges shall be: Oil Rubbed Bronze or Brushed Stainless Steel (verify)

DIVISION 08800 - GLAZING GENERAL REQUIREMENTS

The scope of this section includes all labor, material and equipment.

Glass shall be manufactured by LOF Glass, Inc., PPG Industries, Inc., Ford Glass Division, except where specific types or colors of different manufacturers are indicated or specified.

4. Float Glass: Type I, (transparent glass flat), Class 1 (clear) Quality q3, (glazing select), double strength unless otherwise specified or required by glass area or hazardous location. Tinted float glass shall be Type I, Class 2 (tinted heat absorbing and

light reducing) quality q3. Tempered Glass: Condition A, Type I or II, Class 1, Quality q3, Kind FT, match color of clear, reflective or tinted glass as applicable; fully tempered. (Heat strengthened glass may not be substituted for fully tempered glass.) Perform tempering by horizontal roller gas hearth process only; processes making gripper or tong marks are not acceptable. Handle glass according to manufacturer's instructions. Lights showing excessive distortion will not be permitted.

All new glazing (fenestrations) will be installed with a certifying label attached, showing the U-value

Install tempered glazing in all hazardous locations as required by CBC and as indicated on the drawings, including, but not limited to the following locations:

Swinging, sliding, and fixed panels of doors, except wardrobe. Enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers. Glazing in walls enclosing these

compartments where the bottom edge of glazing is less than sixty (60) inches above the standing surface and drain inlet.

Glazing adjacent to bathtubs and within 5 feet from tub floor.

Glazing adjacent to a door within a twenty-four (24) inch arc of either vertical edge of the door in a closed position and where the bottom edge of glazing is less than sixty (60) inches above the walking surface. Glazing in individual, fixed, or operable panel, other than those locations indicated above, where the individual pane is greater

than nine (9) square feet, the bottom edge is less than eighteen (18) inches above the floor, and one or more walking surfaces is within thirty six (36) inches horizontally of the plane of glazing. Glazing in railings.

Manufacturer of the glass used in the assembly shall manufacture insulated glass.

PERFORMANCE OF WORK

A. Install glass in wood and metal frames according to manufacturer's instructions. Minimum glass edge bearing clearance and edge lap (bite) shall be per Code and manufacturer's printed instructions. B. Wash and polish glass both sides and leave free of soiling without the use of any harsh cleaning agents, caustics, abrasives, or

acids for cleaning. DIVISION 09-200 - LATH AND EXTERIOR PLASTER 1. GENERAL REQUIREMENTS

Scope The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section of work includes, but is not limited to, building wrap, lath and lath attachments, corner reinforcement, expansion screeds, extruded foam sections and exterior Portland cement plaster (stucco). All lath and plaster shall be prepared and installed per Chapter 25 of the 2001 C.B.C. and per the California Lathing and

Plastering Contractors Association Standards unless otherwise noted. Application: Conform to CBC and ICBO reports, printed instructions of manufacturer and the Plaster/Metal Framing System/Lath Manual published by the California Lathing and Plastering Contractors Association, Inc.

Special Requirements

All work performed under this section shall be performed by a State of California licensed plastering contractor. All disposal a plaster products shall conform to State and Local requirements.

Prior to installation of the weather-resistive barrier, inspect the condition of framing and all surfaces to receive stucco, to assure that they conform to code and are suitable for the finish to be applied. Make repair and corrections as needed. MATERIALS

<u>Lathing</u>

Vertical Exterior: lathing for exterior Portland cement plaster (stucco) shall be of woven steel wire fabric (stucco netting) galvanized, with 1-1/2 inch openings of #17 gauge, with a backing of two layers water resistant paper, over 18 gauge wire stretched taut horizontally to vertical surfaces and spaced at not more than six inch (6") intervals. Woven steel wire shall be attached to framing with 1-1/2 inch, 12 gauge, 3/8 inch head furring nails at a maximum intervals of six inches (6"). Maximum

spacing of attachments from longitudinal edges shall not exceed two inches. Horizontal Exterior :backing for exterior Portland cement plaster (stucco) shall be of 3/8 inch high rib - 3.4 lbs. / square yard, galvanized steel expanded metal or expanded metal (diamond mesh) lath design specifically for horizontal applications such as ceilings or soffits. Expanded metal and diamond lath shall be attached with 1-1/2 inch long - 4d box or common nail, or approved screw fasteners, with 5/8 inch minimum supporting frame penetration. Fasteners shall be spaced at 6 inch o.c. maximum. Maximum spacing of attachments from longitudinal edges shall not exceed two inches.

Framing: over framing spaced at 16 inches on center or at framing at 24 inches on surfaces or as indicted on drawings. Fasteners: Nails and Staples: Comply with CBC and drawings for type, size, gauge, and spacing.

Accessories: Unless noted otherwise on plans, use the following.

Expansion Screed: Type "M" - AMCJM-780, exterior grade vinyl, 3/16 inch reveal, 7/8 inch ground, exterior grade vinyl, by AMICO or equal. Telephone (800) 859-5363. Install per manufacturer's specifications Stucco Expansion Screed: Weep screed # AMFWSP-238-780, exterior grade vinyl, 7/8 inch ground, exterior grade vinyl, by

AMICO or equal. Telephone (800) 859-5363. Install per manufacturer's specifications. Miscellaneous stucco accessories as required by details or as needed to perform a complete and thorough job, shall be exterior

grade vinyl, by AMICO or equal. Copper or Galvanized Steel (Galvanized steel shall be minimum 26 gauge)may be used at specific job site were prior written approval by Architect is issued to Contractor.

Plastering Accessories: Amico, PVC by Plastic Components, Inc., Miami, FL, or equal

Reglet: by Fry Reglet Co., Alhambra, CA. Furnish and install all screeds, interior and exterior corner reinforcements, casing beads, fasteners, etc. Install as required or detailed. Secure all to metal lath required and backing. Lap flanges with weather-resistive barriers to shed water. Tape for cracks shall be a coated adhesive backed open-weave fiberglass tape, 2-1/2 inches wide, designed to reinforce joints. D. Plastering - Machine or Hand Applied

Portland cement plaster shall conform to "Standard Specification for Portland Cement" ASTM Designation: C 150, Type I or Type II.

Exterior Stucco: Conforming to the general requirements of "Specifications and Standards for Manufactured Stucco Finishes" issued by Stucco Manufacturers Association, Sherman Oaks, CA.

Manufactured by Expo Stucco, La Habra or Highland Stucco, delivered in manufacturer's sealed containers, requiring only addition of water for use. Furnish integrally-colored stucco in color and texture selected by Architect. When plastic or waterproof cement is used, no lime or other plasticizer may be added to mix.

Sand shall be clean and well graded from course to fine.

The approved application shall be composed of 3 coats totaling not less than 7/8" thickness.

ALTERNATE ADMIXTURE: Stucco shall contain a micro-fiber reinforcement: HI-TECH FIBERS or approved equal. Manufactured by <u>Hi-tech fibers</u>. Telephone 1(800) 344-1572. Mix fibers with stucco per manufacturer's instructions.

PERFORMANCE OF WORK

. <u>Subsurface Preparation</u>

Install stucco true to lines and level. Stucco shall be installed to provide uniform surface flatness with a maximum surface

variation of 1/8 inch in 10 feet in any direction. Extreme care shall be taken to fully mask all exposed aluminum, glass, wood, and other exposed surfaces prior to plastering. Surfaces shall be protected until all plastered surfaces are hardened and fully cured. Unless noted otherwise, all stucco walls shall have a stucco screed located not less than 4 inch above finish grade, or 2 inch above concrete or deck surface. Install only over two layer of grade "D" Weather-Resistive Barrier: Cover all surfaces with a weather-resistive barrier

conforming to UBC Standard 14-1 for Waterproof Building Paper or CBC Standard.

Over solid sheathing apply two layers of Grade D 60-min. paper.

Over horizontal or sloping areas apply one layer 40 mil. Waterproof membrane, "jiffy seal" or Bithuthane 3000 or equal. B. Trim Installation

A weep screed or "J" termination with weep hole shall be provided at or below the foundation plate line for all exteriors with stucco. Weeps shall be placed a minimum of 2" above concrete or 4" above grade.

Expansion and control joints shall be as called out on drawings and installed per manufacturer's recommendations. Joint spacing should meet the following criteria: No length should be greater than 18 ft. in either direction; no panel should exceed 144 sq. ft. for vertical applications; no panel should exceed 100 sq. ft. for horizontal, curved, or angular sections; no length-to-width ratio should exceed 2.5 to 1 in any given direction (per Portland Cement Plaster/Stucco Manual, EB049, based on ASTM C1063). Plaster Installation

Apply scratch (first) coat evenly with sufficient material and pressure to form full keys on metal and wire lath, then score horizontally. Scratch coat shall be cured for a minimum period of 48 hours. 2. Brown (second) coat: After scratch coat is initially set and hardened, apply brown coat. Apply brown coat to thoroughly

dampened scratch coat. Bring brown coat out to grounds, straighten to a true and uniform surface, float and compact and leave sufficiently rough to assure adequate bond for finish coat. Keep moist for 72 hours, and allow to air cure for 21 days before applying finish coat.

3. Prior to finish coat application, any surface cracks on "brown" coat shall be covered with an open-weave fiberglass tape. There shall be no cold joints left in any application, that is, each coat shall be applied in such a manner so as to start and stop only at normal breaks such as corners, expansion joints and other natural stops.

4. Finish coat (1/8"), color and texture shall be approved by the owner in advance of starting the application. Finish coat shall contain integral color and shall be applied no sooner than 21 days after application of the preceding coat. Finish texture shall be per exterior finish notes. 5. Fog Coat: Will not be required if finish plaster is uniform in color and texture, to the satisfaction of the Owner. If finish plaster

is not uniform, apply fog coat as part of this work, without additional cost to the Owner. 6. Material: Cementations spray consisting of white Portland cement, lime and pigments, of same manufacturer as finish coat. Color to match finish coat.

<u>Plaster Installation at Existing Plaster</u>

All joints between existing and new stucco shall be feathered together over 12 inches.

The projects with new and existing stucco finish shall match existing in texture and color unless otherwise indicated.

Where the existing stucco color is integral in the existing finish, provide a new color coat over all existing surfaces. Where the existing stucco has been painted the Contractor shall provide a new painted finish over all stucco surfaces or shall

sand blast stucco to remove paint and then provide a new color coat. Application over Masonry and Concrete: Apply bonding coat in accordance with manufacturer's recommendations. Apply brown coat and allow to cure for 14 days. Apply finish coat within screeds with no dry laps, tool marks, crazing, checking and

other surface irregularities. Stucco Over Decorative Foam or Wood Trim: Install foam shapes with adhesive, wood shape with nails. Apply boding coat over foam or wood, embed in fiberglass fabric in bonding coat and allow to set. Apply color coat and finish coat as specified elsewhere. Protect shapes from damage. Replace damaged material at no cost to the Owner. Seal-Coat: Apply to all exterior stucco surfaces after finish coat has set and dried thoroughly. Seal-coat applied to stucco shall be "Enviroseal Double 7" by **HYDROZO INC**. telephone 1-(800) 422-1902. Penetrating, non-staining, water repellent sealer

to be applied on all stucco surfaces. Apply per manufacturer's specifications. COMPLETION REQUIREMENTS A. On completion of the work, remove scaffolding, equipment, and rubbish from the site. Stucco and other surfaces shall be left in a clean and uniform appearance.

B. All over-spray shall be thoroughly removed and all affected surfaces cleaned and left in an unmarked condition.

ATTACHMENT 10



SHEET

DIVISION 09-250 - GYPSUM WALLBOARD AND ACCESSORIES GENERAL REQUIREMENTS

A. <u>Scope</u>

- The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section of work includes all gypsum wall board materials and installation as shown on the plans. All gypsum wall board shall be installed per Chapter 25 of the C.B.C. and per the manufacture's instructions for installation.
- B. Special Requirements All work performed under this section shall be performed by a State of California licensed drywall contractor.
- 2. MATERIALS
- A. <u>Wallboard</u>
- Gypsum Wallboard shall Conform to CBC, and the recommendations of the Gypsum Association.
- 5/8 inch thick, fire rated core, type "X" gypsum wallboard. Gypsum wallboard shall have tapered or beveled edges. 5/8 inch thick, fire rated core, type "X", water resistant gypsum wallboard. Gypsum wallboard shall have tapered or beveled edges.
- 5/8 inch thick "blue board" designed for use with plaster veneer systems, fire rated core, type "X", gypsum wallboard. Gypsum 3. wallboard shall have tapered or beveled edges. 5/8 inch thick "Dens-Shield" backer board by Georgia Pacific, type "X", wallboard. Gypsum wallboard shall have tapered or beveled edges.
- Location and type of wallboard used shall be noted on Interior Finish Schedule. Tape for seams, a coated adhesive backed open-weave fiberglass tape, 2-1/2 inches wide, designed to reinforce joints.
- B. <u>FASTENERS Single Layer Applications</u>
- Nail size shall be 6d 13 Ga. 1-7/8" long. Screws: Screws shall be, self-tapping, flat head, spiral thread, Type S for steel framing, for wood framing shall be 1-1/4" long minimum, type W drywall screw. (Preferred Fasteners) Ceilings shall be fastened with drywall screws only. Size and spacing shall be not less than required by the CBC, and as modified by fire resistive construction requirements. C. Joint Reinforcing Tape
- Joint tape of same manufacturer as wallboard or fiberglass reinforced tape.
- Tape for "Dens-Shield" seams shall be a coated adhesive backed open-weave fiberglass tape, 2-1/2 inches wide.
- D. Corner Bead & other drywall trim Shall be "Sheetrock" paper faced metal drywall bead and trim by <u>United States</u> <u>Gypsum Corporation</u> or approved equal. 2. Outside corners shall have standard corner trim, unless noted otherwise. (See Interior Finish Schedule) Other locations shall
- have appropriate casing or terminations.
- 3. If indicated on drawings all corners shall be ³/₄ inch radius "bull nose" corners. PERFORMANCE OF WORK
- A. Application
- Install standard grade (White)wallboard unless otherwise indicated on the drawings, in these specifications or required by code. Install type Water Resistant (Purple) board in all damp areas such as laundry rooms, basements, mech. kitchens, etc. Install water and mildew resistant (Yellow or Blue faces gypsum wall board) at exteriors or wet areas such as bathrooms,
- shower or tub area.
- 4. Single Layer Application: Apply wallboard first to ceiling, then to walls with long dimension at right angles to framing members. Maximum spacing of fasteners shall be, nails - 7 inches on center, screws - 9 inches on center. Gypsum board shall be installed and finished per manufacture's specifications.
- 5. <u>Multi Layer Application</u>: Apply wallboard first to ceiling, then to walls with long dimension at right angles to framing members. Maximum spacing of fasteners shall be nails - 7 inches on center, screws - 12 inches on center. Fasteners for second layer, shall be staggered and sufficient in length to penetrate base layer(s) and 3/4 inch into framing. Gypsum board shall be installed per manufacture's specifications for multi-layer applications.
- Joints: Finish all exposed joints with reinforcing tape and joint cement in accordance with written instructions of wallboard manufacturer per specific finish system coating. 2. Corner Beads and Trim: Install at all exterior and interior corners or angles and where wallboard abuts other materials and no
- other trim is shown. 3. Provide standard "L" corner beads, casing beads and other trim for all Modern, Traditional or Craftsman style homes. 4. Provide bull nose casing beads for all Mediterranean or Spanish style homes. (unless noted otherwise)
- 5. Finish and Texture:
- a. Gypsum Board Texture: As noted on Interior Finish Schedule
- b. Light "fog" spray finish texture or as indicated on plan. Provide 3' x 3' finish texture sample for Owner and Architect's approval 7. prior to texture application.
- c. Smooth Finish: Smooth texture on surfaces to receive wall covering.
- d. Plaster Veneer: Two coat "Imperial Finish Plaster" over "Imperial Basecoat Plaster" by United States Gypsum Corp. or approved equal. Total plaster thickness 1/8" minimum with a smooth "museum" finish. Install per manufacture's specifications. Provide 3' x 3' finish texture sample for Owner and Architect's approval prior to plaster application. e. <u>ALTERNATE:</u> Two coat - "Easicoat" veneer plaster by <u>Expo Stucco Products.</u> Telephone (619) 566-4343 Total plaster
- thickness 1/8" minimum with a smooth "museum" finish. Install per manufacture's specifications. Provide 3' x 3' finish texture D. sample for Owner and Architect's approval prior to plaster application. f. See Interior Finish Schedule for location of specific finish.
- 6. Caulking Compound (Acoustical Seals): Permanently non-hardening acoustical sealant. Install at perimeters of all sound-insulated walls, outlets and penetrations.
- 4. COMPLETION REQUIREMENTS
- A. On completion of the work, remove scaffolding, equipment, and rubbish from the site. Walls and other surfaces shall be left in a clean and uniform appearance.
- B. All over-spray shall be thoroughly removed and all affected surfaces cleaned and left in an unmarked condition.

DIVISION 09-300 - CERAMIC TILE AND STONE

- GENERAL REQUIREMENTS A. <u>Scope</u>
- The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. Work shall include but not limited to the following areas; floors, walls, ceilings, shower walls and floors, countertops, roof decks and balconies, patios and walkways, and waterproofing. B. Special Requirements
- 1. All work performed under this section shall be performed by a State of California licensed contractor.
- C. Quality Assurance Ceramic Tile: All workmanship and material shall be in conformance with applicable portions of ANSI Specifications and Standards and "Handbook for Ceramic Tile Installation" by the Ceramic Tile Institute of America, current edition. Stone: All workmanship and material shall be in conformance with applicable portions of ANSI Specifications and Standards
- and "Handbook for Stone Installation" by the Marble Institute of America, current edition. D. <u>Project Conditions</u>: Protect adjacent work surfaces during tile or stone work. Closed rooms or spaces to traffic of all types until mortar and grout has set.
- 2. MATERIALS
- A. Tile and Stone: 1. As indicated on plans or provide allowances as indicated on plans.
- . Provide all trim shapes as necessary for a complete installation.
- . See Plans, Finish Schedule and Interior Elevations for areas receiving tile or stone.
- Membranes: Slip sheet, cleavage membrane, waterproof membrane shall be as listed or approved equal. Thin set locations: Nobel Seal TS by The Nobel Company, (800) 878-5788.
- Full mortar bed locations: Chloroloy 240 by The Nobel Company, (800) 878-5788, or approved equal.
- C. Mortar Bed Installations Custom Building Products Custom-Float Bedding Mortar mixed with water and Acrylic Mortar Admix. Mortar bed shall be 3/4" thick minimum and 1-1/4" maximum, verify mortar thickness with actual field conditions.
- Metal lath 2.5 lbs./yard self furred expanded metal. D. Cementitious Backer Units: ¹/₂ inch "Durock Tile Backer Board" or Architect approved equal, at indicated walls, floors, countertops and ceilings to receive tile, as manufactured by United States Gypsum, Inc. Install Durock according to the
- manufacturer's recommended specifications. Tile Adhesives: Custom Building Products Master-Blend mixed with Custom-Flex latex. F. Grout Where indicated on the drawings, and elsewhere as required for filling the joints between tiles. All grout colors shall be selected by the owner
- Custom Building Products Polyblend® Sanded Colored Tile Grout for joints 1/8" 1/2". **Custom Building Products** Polyblend® Non-Sanded Colored Tile Grout for joints up to 1/8".
- G. <u>Elastomeric Joint Caulk</u> Where indicated on the drawings, and all expansion joints.
- All joints between floors and walls and at joints between tile or stone and dissimilar materials. Custom Building Products Polyblend® Ceramic Tile Caulk. Texture and color shall match adjacent grout.
- H. <u>Tile sealer</u>: as recommended by <u>Custom Building Products</u> and approved by Owner. Apply sealer per manufacturer's specifications. I. <u>Stone sealer</u>: as recommended by <u>Custom Building Products</u> and approved by Owner. Apply sealer per manufacturer's
- specifications.
- INSTALLATION
- Pre-installation Conference: Contractor shall conduct a pre-installation meeting at the project site.
- Contractor shall provide samples of all finish materials to be installed. 2. Mock ups and layout of special patterns shall be presented and reviewed for acceptance by Owner and Architect before installation

- B. Surfaces to Receive Tile: Examine surfaces which are to receive tile or stone.
- Do not proceed with work until defects or conditions which would adversely affect quality, execution and permanence of
- finished work are corrected Concrete: All concrete substrates shall be at least 28 days old, completely cured and free of hydrostatic conditions, and/or moisture problems.
- Plywood: sub floor shall be firm and dry. Verify that surfaces to receive tile or stone are stable, flat, firm, dry, clean and free of oil, waxes and curing compounds.
- Protect adjacent surfaces prior to beginning tile or stone work. C. Install slip sheet, cleavage membrane, waterproof membrane on walls and floors where indicated on drawings. Apply with strict accordance to manufacturer's instructions.
- Water test membranes at showers and other wet areas before installing mortar bed. Expansion joints, control joints, etc., as shown on plans, and elsewhere as required. All joints between floors and walls and joints between tile and dissimilar materials. Fill with materials as specified.
- Mortar-Set Installation: (Shower Floors, Bathroom floors, Tubs and other areas as indicated)
- Install over One layer class A building paper with one layer of waterproof membrane over in wet areas. Install self furred expanded metal lath See Sheet
- . Install 1-1/4" mortar bed.
- 4. Thin set tile set on mortar bed a latex modified thin set mortar.
- Tile Backer Board Installation: (Shower walls, Tub walls and other areas as indicated) 1. Install over One layer class A building paper with one layer of waterproof membrane over in wet areas.
- 2. Install cementitious tile backer board per manufactures specifications.
- 3. Thin set tile set on tile backer board a latex modified thin set mortar. Thin Set - Installation: (walls, floors and other areas as indicated)
- 4. Install over firm and clean substrate.

- 5. Thin set tile with a latex modified thin set mortar. Install tile or stone in accordance manufacturer's instructions. Lay tile or stone in grid pattern unless otherwise indicated on plans or directed by Architect. Terminate tile neatly at obstructions, edges, and corners, without disruption of pattern or joint alignment. Where tile or stone cuts are necessary, cuts shall be neat and scribed. Different finishes at floor shall meet under the door, unless otherwise noted.
- Install grout in accordance with manufacturer's directions. CLEANING AND PROTECTION
- A. Clean and Seal: tile, stone, and grout in accordance with product manufacturer's recommendations.
- Install exterior tile over concrete in 1-1/4" minimum mortar bed. Apply mortar bed bond coat to concrete substrate in preparation for mortar bed.
- Latex Portland Cement Mortar Installation: Installation with dry set or Latex-Portland Cement Mortar.
 - mortar over glass mesh mortar unit. 4. I n dry areas apply tile over firmly attached, taped and spackled gypsum wall board.

DIVISION 09-900 - PAINTING

- GENERAL REQUIREMENTS Scope The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. This section includes, but is not limited to painting or staining of all surfaces as shown and/or specified.
- Refer to Finish Schedule and Notes for location and finish of surface to be painted. Exterior Stucco Finish В. Special Requirements a. After curing for at least 48 hours, stucco finish may be applied directly over the coated EPS shape. Just before applying color All work performed under this section shall be performed by a State of California licensed painting contractor. coat, add four (4) ounces of bonder to each 50 lb. bag of stucco when mixing or brush bonder directly on foam shape. For other exterior finishes (EIFS) - to be approved by Pacific Coast Foam 2. Furnish paint materials from the same manufacturer whenever practicable. All materials shall be compatible with one another and with the surface materials over which they are to be applied. Comply with manufacturer's written recommendations for Acrylic Finish
- environmental conditions under which coatings and costing systems can be applied. Materials, application and disposal shall conform to all local and state regulations governing the use of paint materials at the
- building site. Submit a complete list of paint materials with two (2) color samples (8 x 10) inches on card board of each color and gloss. Submit color samples of stained or clear "natural" finishes on pieces of wood of the species to be finished.
- 5. Interior finishes must conform to the requirements of Chapter 8, 2001, CBC. All decorative materials are required to be naintained in a flame-retardant condition.
- MATERIALS All paint materials shall be by Frazee, Sherwin Williams, or approved equal. Colors as selected by architect and sample
- approved by owner. Wood stains shall be by **Olympic** or approved equal. Colors as selected by architect and sample approved by owner. Equivalent or comparable products of other reputable manufacturers may be used with the Architect's prior approval. PERFORMANCE OF WORK
- Preparation and Application
- All exterior and interior surfaces visible to the occupants, whether located in conditioned or unconditioned spaces shall receive paint, stain or clear finish.

including top and bottom edges

including top and bottom edges.

including top and bottom edges

apply two coats semi-gloss acrylic enamel.

DIVISION 09-950- FOAM APPLIED SHAPES

GENERAL REQUIREMENTS

PACIFIC COAST FOAM

DESCRIPTION & SCOPE

8585 Miramar Place

San Diego, CA 92121

TEL: (858) 455-1274

b. Lath and Plastering, div. 9

3. Description of systems

Pacific Coast Foam.

Coated Expanded Polystyrene (EPS) Shapes

b. Shall be treated, open weave or glass fiber type

Available in 10 x 10 fine and 6 x 6 regular net

2. MATERIALS

Coast Foam.

MATERIAL

application.

A. INSPECTION

frost, etc.

Reinforcing Mesh Netting

3. Base Coat and/or Adhesive

1. Examination of Substrate

Coast Foam details

B. INSTALLATION

cement 3. EPS Foam to EPS

conditions are corrected.

2. EPS Foam to Brown Coat

PERFORMANCE OF WORK

A. <u>GENERAL</u>

a. Finishes, div. 9

FAX: (858) 455-4531

2. Related work specified elsewhere

urethane.

- 2. Contractor shall re-paint or re-stain all existing surfaces to remain in place to match original color and texture unless otherwise 3. Vents, grilles and registers, shall be painted to match adjacent surfaces unless otherwise directed. 4. Clean surfaces of dust, dirt, grease, oil, encrustation and other foreign matter prior to the application of the primer coat. Repair
- all voids, nicks, cracks, dents with suitable patching material. Finish flush with adjacent surface. Where interior painting is specified for walls of a room, paint all incidental exposed surfaces in the room, such as base trim, grills and other miscellaneous items. Hardware such as hinges, levers or vinyl weather-stripping shall not be painted, unless
- specified. Items that are not to be painted shall be masked to prevent over spray or splatter. 6. Paint shall be applied at the manufacturer's recommended rate of coverage. Each coat shall be even, smooth and uniform; free
- of laps, skips, runs and color variations. Sand lightly between all coats. Edges of doors and windows scheduled to receive paint shall have complete coverage. Allow each coat to dry thoroughly before applying succeeding coat. Woodwork prep: Sand rough spots; seal knots, pitch pockets and sappy spots; spackle nail holes, cracks and joints after primer
- coat; caulk baseboard and trim (as occur) to gypsum board. Sheet metal Prep: Wash galvanized metal with neutralizer and allow to dry.
- B. Paint Color Schedule: Verify with Architect prior to application. Exterior colors selected by Architect or Owner. Interior colors selected by Owner C. <u>Front Door (Stained)</u>: One coat sanding sealer, two coats spar varnish. (Verify gloss). Coating shall include all surfaces

Protection: Protect finished installation from traffic and incidental dirt by covering with Kraft paper during construction period. All component warranty and maintenance information shall be given to owner at project completion.

Floors: For installation over plywood substrate apply one layer of glass mesh mortar unit. Set tile in latex Portland cement

- Ext. Doors and Windows: One coat wood primer, and two coats acrylic semi-gloss enamel. Coating shall include all surfaces
- E. Exterior Painted Siding: One coat wood primer, and two coats acrylic semi-gloss enamel. Coating shall include all surfaces
- F. Ext. Sandblasted Wood: Two coats semi-transparent water reducible stain with mildew inhibitor. G. Galvanized. Sheet Metal: Metal: Pretreatment for galvanized metal: 7113 Vinyl Wash Primer One coat etching metal primer,
- two coats acrylic satin enamel (color to match adjacent material.) H. Ext. Ornamental Steel: Sandblast scale and rust, one coat inorganic zinc primer, one coat two-part epoxy, one coat two-part
- Exterior Plaster- Painted: One coat high hide primer, and two coats 100% acrylic stucco paint.
- Stained Exterior Wood: One coat sanding sealer, two coats semi-transparent or full body stain. Plaster and Concrete: 1st Coat: Sealer, 2nd Coat: Prime Undercoat, 3rd Coat: Enamel, sheen as selected.
- Gypsum Board: One coat sealer, One coat Prime Undercoat and Two coats satin acrylic-vinyl, except at kitchens and baths
- M. Interior Painted Doors, Windows, Woodwork, and Paint Grade Cabinetry: One coat enamel u

Provide all labor, material and equipment necessary to install Pacific Coast Foam coated shapes or Architect approved equal.

- a. Coated Expanded Polystyrene (EPS) Shapes: Base-coated, paint-ready and stone coated shapes consisting of a
- polymer-modified cementitious coating (recommended with reinforcing mesh) over a closed cell, resilient, lightweight foamed plastic with a minimum standard density of one pound cubic foot to be produced by Pacific Coast Foam.
- b. Reinforcing Mesh: A fiberglass mesh used to strengthen the base coat. To be produced by Pacific Coast Foam.
- c. Base Coat and/or Adhesive: To be produced by Pacific Coast Foam or approved by Pacific Coast Foam. d. Interior, LykeWood, LykeStone, Concrete or Limestone Finishes: To be produced by Pacific Coast Foam or approved by
- 1. All components of PACIFIC COAST FOAM shapes shall be obtained from Pacific Coast Foam or its authorized distributors. NO SUBSTITUTIONS OR ADDITIONS of other material shall be permitted without prior written permission from Pacific
- a. Shall be coated with polymer-modified cementitious, acrylic based primer, or gypsum based coatings depending on your
- b. Foam shapes shall be produced by Pacific Coast Foam
- c. Shall meet current specifications of molded expanded polystyrene shapes Minimum nominal density shall be available in 1#, 2# and 3# density
- a. Shall be produced by Pacific Coast Foam or a manufacturer approved by Pacific Coast Foam
- a. Based on your application, cementitious or gypsum base coat and/or adhesive, or acrylic primer to approved substrate.
- a. The substrate surface shall be free of foreign materials such as oils, dust, dirt, form release agents, paint, wax, glaze, moisture,
- b. The substrate shall be examined for compliance with contrast documents. c. The substrate shall be examined for soundness, such as tightness of connections, crumbling or looseness of surface, voids and projections. It is the General Contractor's responsibility to make sure the substrate is flat, straight and ready to receive Pacific
- 2. The Architect and General Contractor shall be advised of all discrepancies. Work shall not proceed until unsatisfactory
- Pacific Coast Foam shapes are pre-coated and/or finished under factory controlled conditions.
- a. Primer should be mixed to a heavy-bodied, paste like consistency.
- b. Cover both the surfaces of the shapes and the brown coat completely where the shape will join the brown coat. c. Press shape into position on the brown coat. Generally, the adhesive to the substrate will be sufficient to hold the shape in place. On larger shapes, use fasteners to prevent the shape from sliding until the adhesive starts to set. Do not penetrate paper.
- Countersink and fill holes with primer adhesive. d. Plaster-Ready Product: mix additional primer to more flowable consistency (suitable for brush applications) and apply to shape at all joints with the brown coat and contiguous shapes. Two (2) inch fiberglass mesh to be used over joints
- e. Plaster-Ready Product: Primer must be applied to all joints. Mesh tape all joints. f. Exterior Paint-Ready, Lykestone or Limestone Product: Apply to substrate same as above. Joints to be filled with grout or
- a. It is recommended that all joints be coated with Adhesive Primer and 2 inch mesh to prevent cracking.

- 4. EPS Foam to Drywall
- a. Clean surface b. Use PL Premium for adhering materials to a smooth and level surface. Apply ¹/₄" continuous zigzag bead of adhesive within 2" of each other. Temporary blocking or fasteners may be needed until adhesive sets. (PL Premium Construction Adhesive is
- available at Pacific Coast Foam or local building supply outlet). c. Interior Paint Ready Product: Use PL Premium to apply to substrate same as above or using a 3/8" notched trowel, spread
- Hamiliton's Foam Coat FC-90 on back of shape detail. d. Interior Paint Ready Product: It is recommended that all joints be kept tight and coated with foam coat. Drywall compound can
- be applied on top and lightly sanded smooth.
- EPS Foam to Wood or Plastic
- a. Clean surface b. Use PL Premium for applying material to smooth and level surfaces. Apply ¹/₄" continuous zigzag bead of adhesive within 2 inches of each other for plastic or wood. Temporary blocking or fasteners may be needed until adhesive sets. (PL Premium Construction Adhesive is available at Pacific Coast Foam or local building supply outlet).
- 6. EPS Foam a. For larger shapes and details, mechanical fasteners may be needed. Fasteners to be approved by Pacific Coast Foam.
- 7. Cutting
- a. Wait a minimum of 24 hours before further work on the surface of bonded components in order to avoid any movement, which would weaken the bond between the components.
- FINISHING COAT **Exterior Paint Finish**
- a. Per paint manufacturer's specifications
- Conventional water-based paint may be applied after 48 hours of curing.
- a. Per acrylic manufacturer's specification
- b. Minimum 48 hours surface must be completely dry D. CLEAN UP
- Material left over by subcontractor at the job site shall be removed.
- 2. The subcontractor shall clean adjacent materials and surfaces and the work area of foreign material resulting from the work.
- **DIVISION 11- EQUIPMENT** DIVISION 11-450 - RESIDENTIAL APPLIANCES
- . GENERAL REOUIREMENTS

B. Provide allowance for items need but not specified.

Install all owner provided equipment or appliances.

Appliances and / or equipment as specified or selected by the Owner.

A. Install all appliances or equipment per manufacture's instructions.

Provide backing and power as need for complete installation.

A. All equipment shall be clean, connected and tested for proper operation.

Mechanical Code and the California Electrical Code, latest adopted editions.

Scope: All furnishings are by the owner and delivery and setup are not part of this contract.

- A. Scope: The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans.
- B. Special Requirements
- . All work performed under this section shall be performed by a State of California licensed contractor. 2. The Contractor shall provide all rough-ins, connections, fittings and incidental materials and all labor for complete installation in fully operable condition.

All work and materials shall be in accordance with all governing and applicable codes, rules and regulations, the California

B. Contractor shall be held responsible for the failure of equipment to operate properly, unless such failure was caused by the

C. All equipment operating instructions and component warranty information shall be given to owner at project completion.

Other: The Contractor shall move or store all furnishings or other materials from project area if required by Owner.

Shades as indicated on the Energy Compliance sheet in the drawings, installed in accordance with Owners directions.

All work performed under this section shall be performed by a State of California licensed plumbing contractor.

2. If necessary for the scope of work the Contractor shall saw cut slab(s) as necessary to install new lines. Contractor shall pour

3. Design and install the plumbing system per the latest approved edition of the CPC, CBC and other applicable ordinances and

4. Plumbing drawings and calculations, if required for obtaining permits and for construction, shall be provided by the Owner.

1. Copper water piping under concrete slabs shall be type "K" hard or soft drawn copper with no joints, placed in sand bed and

2. All above grade waste lines, deck drains and roof drains, within the building shall be cast iron. All others shall be A.B.S. DWV

1. Fixtures and Appliances, unless otherwise shown, will be furnished and installed by the Contractor per the manufacturer's

2. Plumbing fixtures are indicated on the drawings. Fixtures, faucets and trim shall be selected by the Owner. Furnish fixtures

A. All work and materials shall be installed in accordance with all governing and applicable codes, rules and regulations, including

the California Building Code and the California Mechanical Code and the California Electrical Code, latest adopted edition.

Provide new plumbing supply, soil, waste, and vent and sewer line(s) as necessary for the work shown, unless noted otherwise.

All new piping shall be pressure tested to the approval of the building inspector and/or the minimum standards as follows:

5. Waste piping shall be sloped a minimum of 1/4 inch per foot, only piping greater than 4 inches in diameter may be sloped a

7. All waste lines above concrete slab or raised floor on multi-story buildings shall be cast iron within habitable areas. Vents and

6. All water lines shall be copper, soldered with lead-free solder. Where possible water lines shall not be run beneath slabs.

9. All equipment giving off waste or condensation shall be required to drain to the exterior or be provided with a drain.

11. Connectors between copper and brass piping with other ferrous materials shall be made with approved dielectric couplings.

13. Plumbing contractor shall review all kitchen, bath and other equipment, and make service connection to each as required.

14. Gas vents, vent stacks and piping in walls, passing through three floors or less shall be effectively draft-stopped at each floor or

15. When feasible, waste, vent and rain water leads shall not run in shear walls. When waste, vent and rain water leads must run in

16. Boring and notching of shear panels, plates and studs shall be neatly drilled or cut. Borings or notches shall be of the minimum

Install a minimum of two (2) wall mounted hose bibs, with backflow prevention devises, per living unit as shown on drawings

Provide new gas meter and electrical service (gas, water and sewer) for new construction. Verify existing meter and service

Where local water pressure is in excess of 80 p.s.i., provide an approved pressure regulator as required by CPC Section 1007(b).

capacity for renovation of existing buildings at remodel/addition projects and upgrade and relocate as required.

Water closets and sinks shall have premium stainless steel flexible supply hoses, with chrome connectors and fittings.

5. Showerheads shall be 2.5 gpm (gallons per minute) max. Provide all accessories and connections required for proper operation

8. Unit showers shall have a fiberglass or pre-cast receptor with a minimum six (6) foot high integral wainscot; with direct connect

6. In showers and tub-shower combinations, control valves must be pressure balanced or thermostatic mixing valves, per CPC.

See Plumbing Schedule for fixtures and fittings. Provide allowance for fixtures and fitting not selected.

10. Cold and hot water piping to fixtures shall be thoroughly flushed and rinsed prior to placing system in service.

12. Hot and cold-water piping shall be a minimum of 12 inches apart where piping is parallel.

shear walls, penetrations through shear panels, plates and studs shall be held to a minimum.

All hose bibs shall be mounted 18 inches above the finish surface, unless noted otherwise.

B. All work shall conform to the following guidelines unless superseded by local building codes or noted on plans otherwise

A. <u>Piping</u>: All materials shall be new and shall be in full conformance with all governing and applicable codes, rules and

protected with a protective wrap when penetrating concrete. Copper piping elsewhere shall be type "L".

Project to have all new plumbing piping, fixtures and fittings throughout, unless noted otherwise.

Existing plumbing piping, fixtures and fittings to be abandoned and/or removed, unless noted otherwise.

A. Scope: The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and

as indicated on the plans. Furnish and install a complete plumbing system in full compliance with all applicable sections of the

MATERIALS A. See Plans and / or Appliance Schedule for all items to be specified.

Manufacture

. PERFORMANCE OF WORK

DIVISION 12 - FURNISHINGS

Window Shades:

B. Special Requirements

regulations.

MATERIALS

Schedule 40.

B. Fixtures and Appliances

Rough Plumbing

ceiling

Hose Bibbs

or as directed by the Owner.

Meters and Service Connections

Plumbing Fixtures and Fittings

of fixtures, appliances and equipment.

to framing as shown on the interior elevations.

PERFORMANCE OF WORK

GENERAL REQUIREMENT

Install all owner provide window shades

DIVISION 22 - MECHANICAL/ PLUMBING

latest adopted codes and governing regulations.

3. No C.P.V.C. piping shall be installed for potable water supply.

listed herein shall be complete with all items necessary.

-sanitary piping: min. water pressure 5 psi for 15 minutes.

min. of 1/8 inch per foot as approved by the local building department.

size to accommodate the particular pipe. Refer to Division 6 Section 1.

Permanent vacuum breakers shall be included with all new hose bibs.

All water closets shall be ultra low flush toilets with 1.6 gal/flush max.

7. Ceramic tile tub and shower units shall be built over a waterproof membrane as specified.

All hose bibs shall be protected by an anti-siphon device.

All faucets shall have a flow rate of 2.2 gallons per minute.

-water piping: min. water pressure 50 psi for 15 minutes.

-gas piping: min. gas pressure 10 psi for 15 minutes.

Insulate all hot water piping per Title 24 requirements.

8. All vertical sewer lines shall be insulated and shaped to bow.

other waste lines shall be ABS plastic.

recommendations. Provide a cost allowance for items not selected.

GENERAL REQUIREMENTS

concrete slab patches at all cuts.

COMPLETION REQUIREMENTS

9. Install tempered glass for shower enclosures.

10. Pressed steel or cast iron tub/shower units with baked enamel finish shall have wainscot as shown on the interior elevations or as requested by the Owner.

Water Heater and Fittings . Water heater(s) shall be braced to resist seismic forces per UPC section 1310.

2. All water heaters shall be installed, with clearances per CMC. See drawings for location(s). 3. Combustion air shall be provided as required by CPC.

H. Site or Deck Drains and Fittings

1. Roof drains shall be bonderized copper combination roof drain/overflow with ABS plastic dome grate as manufactured by Thunderbird Products, Inc., El Cajon, CA. (619) 448-3567. See plans for size and type. Do not attach drain to rain water leads until drain has been properly installed

2. Deck drains shall be bonderized copper with cast bronze or stainless steel grate as manufactured by Thunderbird Products, Inc. El Cajon, CA. (619) 448-3567. See plans for size and type. 3. Provide recessed washing machine supply and discharge box as manufactured by **Tech Specialties, Inc.**, Model No. WOMB-L.

 Miscellaneous Equipment and Fittings . Provide icemaker connection box by Tech Specialties, Inc., Model No. BB-1.

COMPLETION REQUIREMENTS

All fixtures shall be clean, connected and tested for proper operation. 2. All component warranty and maintenance information shall be given to owner at project completion.

DIVISION 26 - ELECTRICAL GENERAL REQUIREMENTS

A. Scope The scope of this section includes all labor, material and equipment necessary to complete all work specified herein and as indicated on the plans. Also included are materials not specifically mentioned herein or shown, but which are necessary to make a complete, properly functioning electrical system. Electrical work includes, but is not limited to: A complete service and distribution system including the main panels, conduit, conductor, breakers, sub panels, etc. as required Complete branch circuit wiring system for lighting, motors, vents, receptacles, and junction boxes as shown or specified. Furnish and installation of lighting fixtures, wall switches, receptacles, vents, etc. as shown on the plans, complete with all tubes and bulbs.

Minor cutting and notching as required for proper installation of electrical system and functioning fixtures. Television cable and telephone line provisions (verify location with the owner if not shown). Coordinate telephone system with local telephone company.

Exhaust fans and Vents

Doorbell and intercom system.

8. Trenching necessary for underground telephone and electrical service. 9. See Appliance Schedule for appliances and their respective electrical needs. Also refer to Mechanical Plan for Equipment schedule

10. Refer to Electrical Plan and Electrical Notes.

Special Requirements All work performed under this section shall be performed by a State of California licensed electrical contractor.

All electrical systems shall be installed in accordance with approved plans and governing codes. Specifications pursuant to this section shall be tested and approved to be in proper working condition to the satisfaction of the Building Official before issuance of the certificate of occupancy.

Install electrical, telephone and cable television systems to the latest edition of the CEC, CBC, utility company requirements and all local ordinances. Electrical Drawings and calculations, if required, shall be provided by the property Owner.

The Contractor shall coordinate all work with the public utilities and the property Owner.

MATERIALS All work and materials shall be in accordance with all governing and applicable codes, rules and regulations, the California Building Code and the California Mechanical Code and the California Electrical Code, latest adopted edition.

See Electrical Plans for: Electrical Equipment and Lighting Fixtures. All materials shall be new and UL listed. Provide a cost allowance for items not selected.

All wiring shall be copper. Wire gauge shall be sufficient for anticipated electrical loads.

PERFORMANCE OF WORK

Contractor shall coordinate with all other trades (Security System, Intercom/Phone System, etc.) to assist with electrical requirements as needed.

The contractor shall use the following guidelines, unless otherwise noted on electrical plans: Switches and Receptacles:

The locations of switches, outlets and light fixtures shown on electrical plans are approximate. Do not run wire until after

all boxes are in place and the owner or owner's agent has been called to make visual review of all locations. Rocker switches, dimmers, receptacles, wall plates and other related receptacles such as telephone jacks, GFIC receptacles and cable outlets shall be Leviton "Decora". Color of all items shall be "White" unless otherwise noted.

All electric wall switches unless noted on the plan are to be located 48 inches above the finish floor.

All outlet receptacles shall be twelve (12) inches above finish floor, unless noted otherwise. Verify locations for horizontally mounted outlets (marked "Horizontal" on plans). Multiple switches shall be ganged together, unless noted otherwise. Convenience outlets shown to be installed above base cabinets shall be installed six (6) inches from the bottom of the faceplate to the countertop

Convenience outlets in bathrooms, kitchens, outdoors, basements and garages shall be ground fault interrupt circuit (GFIC)

Electrical outlets at the exterior or within 6'-0" of the kitchen sink, other sink , showers or other water sources shall be provided with ground fault interrupter switch (GFIC).

Electrical outlet plate gaskets shall be installed on all receptacles, switches or other electrical boxes in exterior walls and any walls on perimeter of conditioned space.

Verify with owner any electrical stub outs for future electrical.

Junction boxes for ceiling fans shall be securely fastened to framing per fan manufacturer's instructions. Also see Site Plan, Sections and Interior Elevations for additional electrical requirements or fixture locations.

Lighting Fixtures

Mounting heights for light fixtures shown on plans are from finish floor or flatwork to the centerline of junction box, unless noted otherwise. Also refer to exterior and interior elevations for additional information regarding fixture-mounting heights. Owner supplied fixtures shall be installed by contractor.

The Owner shall select all light fixtures unless shown on the plans.

Light fixtures used for general lighting in kitchens and bathrooms shall provide forty (40) lumens per watt at task level. (General lighting shall be those lights switched on when entering a room. If the subject space has a single light source, that source will be considered general lighting). Lighting for specific visual tasks or decorative effect are exempt from these requirements.

Unless otherwise shown on the drawings, provide one bare-bulb light fixture at or above the attic mounted air-handling unit, switch able from an approved, convenient location. Install one convenience outlet within 24" of unit. Dropped or Luminous ceiling shall be sized and detailed as shown on the drawings, if any.

Appliances and Equipment:

Verify electrical requirements for new appliances and mechanical equipment prior to running wire. (see Appliance Schedule and floor plans for equipment)

Wiring Wiring in plenums shall be in conduit or conform to CEC articles 300-21 and 300-22.

Verify all electrical requirements for new work and provide service as necessary. All new electrical wiring and installation shall comply with the latest adopted edition of the C.E.C., state and local requirements.

Any fixed appliances such as disposal, dishwasher, clothes washer, dryer, built-in heaters, or any other fixed appliance with ¹/₄ H.P. motor or larger, shall be on a separate #12 AWG wire branch circuit. Each dwelling unit shall have installed therein an individual disposal circuit supplied with minimum #12 AWG wire and a 15 AMP indicating-type switch, (CEC 210-23 & 220). Electrical Service and Sub-Panels

All electrical panels shall have permanent legible labels indicating circuit use, amperage, etc. All circuit breaker switched to receptacle, must use only type AFCI circuit breakers.

Verify all electrical requirements for new work and provide service as necessary. All new electrical wiring and installation shall comply with the latest adopted edition of the C.E.C., state and local requirements.

Telephone, Sound Systems or Security Systems Verify with owner and coordinate installation requirements of sound system and speaker wire for sound system. (System and

wiring and not in contract) Provide four telephone lines to residence. (verify with owner) Pre-wire for cable TV and telephone per plans, verify size and shielding requirements for TV cable.

Verify locations of telephone, cable and computer outlets with owner prior to installation.

General contractor to verify with the owner and coordinate any electrical requirements for the installation of security system and/or intercom system. (System and wiring not in contract)

Smoke Detectors and Fire Alarms

Smoke detectors shall be provided at all sleeping rooms and in hallways adjacent, which conform to 2001 CBC Section 310.9. Install smoke detectors as required by CBC Chapter 3 and CBC Section 310.9 and in accordance with the approved manufacturer's instructions.

Smoke detectors shall be permanently wired to the building electrical system and shall be equipped with battery back up per UBC section 310.9. The detector shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than those required for over current protection. Detector shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each

separate sleeping area. When the dwelling unit has more than one story and in dwellings with basements, a detector shall be installed on each story and in the basement. In dwelling units where a story or basement is split into two or more levels, the smoke detector shall be

installed on each level. 6. When sleeping rooms are on an upper level, the detector shall be placed at the ceiling of the upper level in close proximity to the stairway. In dwelling units where the ceiling height of a room open the to the hallway serving the bedrooms exceeds that of the hallway by 24 inches or more, smoke detectors shall be installed in the hallway and the adjacent room. Detectors shall sound as alarm audible in all sleeping areas of the dwelling unit in which they are located.

. Site Lighting As shown and specified in the documents prepared by the Architect, Civil Engineer or Landscape Architect or as required by the Owner.

Provide electrical connection to exterior junction boxes, timers, or controls as required for functioning system.

COMPLETION REQUIREMENTS

All fixtures shall be clean, lamps installed and tested to respond to appropriate switch.

Other electrical devices shall be tested for proper operation. 3. All component warranty and maintenance information shall be given to owner at project completion.

ATTACHMENT 10



ELECTRICAL SHEET



DEMOLITION NOTES

ARCHITECT SHALL BE NOTIFIED IMMEDIATELY WHEN ANY DISCREPANCY WITH ARCHITECTURAL OR STRUCTURAL DRAWINGS ARE FOUND AT THE PROJECT SITE. ALL DRAWINGS MAY HAVE TO BE MODIFIED UPON REMOVAL OF EXISTING CONSTRUCTION. DO NOT PROCEED WITH WORK IN QUESTION UNTIL THE ARCHITECT ISSUES DIRECTIONS. CONTRACTOR SHALL VERIFY LAYOUT OF EXISTING STRUCTURE,

PROPERTY BOUNDARIES, LOCATION OF SITE UTILITIES - UNDERGROUND AND OVERHEAD, AND FIELD CONDITIONS AS SHOWN ON THE PLANS PRIOR TO DEMOLITION. . BEFORE START OF DEMOLITION CONTRACTOR SHALL VERIFY WITH THE

OWNER ANY ITEM TO BE SAVED (S), COVERED, OR STORED, VERIFY STORAGE LOCATIONS WITH OWNER BEFORE DEMOLITION COMMENCES. 4. ANY OUTDOOR STRUCTURES OR LANDSCAPING MARKED TO BE SAVED,

SHALL BE PROTECTED, FENCED AND/OR COVERED TO AVOID DAMAGE. ALL DEMOLITION MATERIAL SHALL BE TRANSPORTED OFF SITE AND PROPERLY DISPOSED AT CITY-APPROVED LOCATIONS BY THE CONTRACTOR CONTRACTOR TO VERIFY DUMPSTER LOCATION WITH ARCHITECT BEFORE DEMOLITION COMMENCES.

CONTRACTOR SHALL ALSO REFER TO FLOOR PLANS AND OTHER CONSTRUCTION PLANS FOR NEW WORK TO BE INCORPORATED INTO THE PROJECT AND TO PROCEED WITH DEMOLITION ACCORDINGLY.

CAREFULLY REMOVE STRUCTURE AS SHOWN ON PLAN. REMOVE ALL MATERIALS CAREFULLY TO AVOID DAMAGE TO ADJACENT SURFACES. . CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY OF THE EXPOSED WOOD SHOW EVIDENCE OF ACTIVE WATER LEAKS, TERMITES OR DRY ROT 10. PREPARE EXISTING WINDOW FRAMING OPENINGS (TO REMAIN) TO RECEIVE NEW WINDOW UNITS. SEE NEW FLOOR PLAN AND ELEVATIONS FOR

NEW WINDOW SIZE. 11. WHEN DEMOLITION IS COMPLETE, THE STRUCTURE AND SITE SHALL BE BROOM CLEAN AND READY TO RECEIVE NEW WORK.

12 REMOVE ALL EXISTING LANDSCAPE AND TREE ROOTS WITH IN 3 FEET OF THE OUTLINE OF NEW STRUCTURE. IF THE REMOVAL OF TREE ROOTS PRODUCES POTENTIALLY UNSTABLE TREES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A TREE SPECIALIST TO MAKE A **RECOMMENDATION.**

13. DEMOLITION OF OPENINGS IN ROOF AND EXTERIOR WALLS SHALL BE COVERED EACH NIGHT WITH PLASTIC TARPS AND SECURED TO PREVENT WATER AND DUST FROM ENTERING THE BUILDING.

14. EXISTING FLOORS SHALL BE COVERED DURING CONSTRUCTION. OPENINGS SHALL BE TAPED AND SEALED TO WALLS AT EDGES OF CONSTRUCTION ZONE TO MINIMIZE DUST. TEMPORARY WALL SHALL BE BUILT AND SEALED AS IF NEEDED OR SHOWN ON PLANS. 15. SHOULD ANY PORTION OF THE STRUCTURE BEING REMOVED PRODUCE

UNSTABLE OF UNSAFE CONDITIONS THE CONTRACTOR SHALL PROVIDE SHORING AND BRACING. 16. EXISTING FAU & WATER HEATER SHALL BE TURNED OFF AND

SALVAGED UNITS REMOVED AND STORED FOR RE-USE. EXISTING NATURAL GAS SERVICE SHALL BE TURNED OFF AND LINES TEMPORARILY CAPED AT RESIDENCE

17. ELECTRICAL SERVICE SHALL BE TURNED OFF AT RESIDENCE AND PROVISIONS FOR TEMPORARY POWER MADE DURING CONSTRUCTION. 18. PLEASE BE ADVISED THIS IS A REMODEL PROJECT. CONCEALED CONDITIONS OF ALL TYPES SHALL BE TAKEN INTO ACCOUNT AND/OR

VERIFIED PRIOR TO COMPLETION OF FINAL PROJECT BID. 19. CONTRACTOR SHALL VERIFY IN THE FIELD THE CONDITION OF ALL FOUNDATIONS, STEM WALLS, SILL ATTACHMENTS, PIER-FOOTING CONDITIONS AND ATTACHMENT TO FRAMING. DEFICIENCIES, CRACKS OR OTHER STRUCTURAL ISSUES IN FOUNDATIONS OR FOOTINGS OR LACK THEREOF SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.

20. EXISTING FRAMING AND FLOOR SURFACES MAY BE OUT OF PLUMB AND NOT LEVEL. THEY SHALL BE INSPECTED AND MADE PLUMB AND LEVELED UPON NOTIFICATION TO THE ARCHITECT AND A WRITTEN APPROVAL HAS BEEN DOCUMENTED. WOOD FRAMING ADJACENT TO SOIL MAY BE ENCOUNTERED AND MODIFICATIONS AND/OR PROTECTION MEASURES SHALL BE TAKEN.

1. ELEVATION CHANGES BETWEEN DOOR OPENINGS AND ADJACENT GRADE SHALL BE VERIFIED IN THE FIELD AND IF DISCREPANCIES EXIST BETWEEN FIELD CONDITIONS AND PLANS EXIST, NOTIFY THE ARCHITECT TO MAKE MODIFICATIONS AND/OR OTHER CORRECTIVE MEASURES. 22. IF SOILS REPORT OR SURVEY NOT INCLUDED WITH THIS SET OF DOCUMENTS, THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES, MODIFICATIONS, ORDERED REPORTS OR SURVEY OR OTHER ADDITIONAL ISSUES CAUSED BY LACK OF INFORMATION FROM THOSE DOCUMENTS.

COASTAL PROJECTS ADDITIONAL NOTES

A. THIS IS A COASTAL PROJECT. NO EXTERIOR WALLS SHALL BE DEMOLISHED OTHER THAN THOSE SPECIFIED ON THE DEMOLITION SHEET WITHOUT PRIOR WRITTEN INSTRUCTION FROM ARCHITECT. B. IT IS THE GENERAL CONTRACTORS SOLE RESPONSIBILITY THAT ALL EXISTING WALL SHOWN TO REMAIN SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES DURING THE PROJECT CONSTRUCTION.

DEMOLITION NOTES FOR COASTAL EXEMPTION

A. AT LEAST 50% OF THE EXISTING EXTERIOR WALLS (FROM THE FOUNDATION TO THE TOP PLATE) OF THE PRINCIPAL HABITABLE FLOOR MUST BE LEFT STANDING AND IN PLACE THROUGHOUT CONSTRUCTION AND INCORPORATED INTO THE COMPLETED STRUCTURE. B. THE WALL MUST CONTINUE TO BE USED AS EXTERIOR WALLS IN THE

COMPLETED PROJECT (MAY NOT BE USED AS INTERIOR WALLS OR USED IN A "DOUBLE WALL" CONFIGURATION WITH ANY NEW WALL) C. ANY DOOR OR WINDOW LOCATED WITHIN A SEGMENT OF THE WALL WHICH IS COUNTED TOWARD THE LENGTH OF AN EXISTING EXTERIOR WALL

TO BE LEFT STANDING (AT LEAST 50%) CANNOT HAVE THEIR LOCATION OR SIZE MODIFIED. D. THE SURFACE OF THE WALL CAN BE MODIFIED OR REMOVED DOWN TO THE STUDS BUT WITH BOTH THE TOP AND BOTTOM PLATES IN PLACE.

REMOVAL OF THE STUD WALLS, EVEN ON A TEMPORARY BASIS DOES NOT MEET EXEMPTION CRITERIA (FOR COASTAL EXEMPTION) AND IS NOT TO BE DONE . WALLS, WHICH ARE DESIGNATED TO REMAIN, CANNOT BE REPLACED,

HEIGHTENED OR RELOCATED FOR ANY REASON, INCLUDING REASONS OF STRUCTURAL INTEGRITY (DRY ROT, TERMITES). F. REINFORCEMENT IN THE FORM OF SISTERING MEMBERS (STUDS AND

PLATES) IS PERMITTED AS LONG AS THEY DO NOT INTERRUPT THE ASSEMBLY OF TOP PLATE STUDS AND SILL.

G. PENETRATION THROUGH TOP PLATE IS PERMITTED - ONLY THE WIDTH OF THE ACTUAL CUT WILL BE INCLUDED IN THE CALCULATION (E.G. ONLY ACTUAL WIDTH OF A 2X4 OR A 4X4 GOING THROUGH THE TOP PLATE WILL DEDUCT THAT AMOUNT) H. CRIPPLE WALLS ARE PERMITTED (PLACING A NEW BOTTOM PLATE ON

AN EXISTING TOP PLATE TOGETHER WITH NEW STUDS AND A NEW TOP PLATE FOR THE PURPOSES OF INCREASING FLOOR TO CEILING HEIGHT).

FOUNDATION REPLACEMENT IS ACCEPTABLE ONLY IF EXISTING WALLS CAN BE PROPERLY SUPPORTED IN THEIR PRE-EXISTING POSITION DURING REPLACEMENT OR REPAIR. J. A WINDOW MAY BE REPLACED OR MAY BE REDUCED IN AREA OR

DIMENSION OR MAY BE COVERED OVER (FILLED IN) PROVIDED THAT THE EXISTING STUDS AND HEADERS ARE RETAINED IN THEIR ORIGINAL POSITION.

K. REINFORCEMENT IN THE FORM OF FURRING IS PERMITTED FOR SINGLE WALL CONSTRUCTION ONLY IF IT IS DONE IN SUCH A MANNER THAT THE WALL IS NOT EXTENDED OUTWARD. ALL FURRING IS TO THE INTERIOR & VERIFIED BY THE ARCHITECT.

L. THERE SHALL BE NO SIGNIFICANT ALTERATION OF LAND FORMS INCLUDING REMOVAL OR PLACEMENT OF VEGETATION, ON A BEACH, WETLAND OR SAND DUNE, OR WITHIN 100 FEET OF THE EDGE OF A COASTAL BLUFF WITHOUT FIRST OBTAINING APPROVAL FROM THE GOVERNING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.





FIRE NOTES

- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. CFC 105.4.4
- CLEARLY DEFINE ALL RED CURB/NO PARKING SIGN AREAS. THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.

SITE NOTES

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4

2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

3.PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS

4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHAL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY 'S STORM WATER STANDARDS.

5. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING. 6. BASIS OF BEARINGS: THE NORTHERLY RIGHT OF WAY LINE OF PLAYA DEL

SUR STREET, PER PARCEL MAP NO. 1127. I.E N 74 12'08" WEST 7. CITY OF SAN DIEGO BENCH MARK: SOUTHWEST BRASS PLUG AT THE

INTERSECTION OF LA JOLLA BOULEVARD AND BONAIR STREET. ELEV=78.238 M.S.L

8. THE PROPOSED RETAIL/COMMERCIAL USE WILL COMPLY WITH THE PERMITTED USES OF APPENDIX A OF THE LA JOLLA PLANNED DISTRICT.

GRADING QUANTITIES

	GRADING AREA	22,215.6 S.F.	
	CUT QUANTITIES	6,000 C.Y.	
	MAX. CUT DEPTH	11'-3"	
	FILL QUANTITIES	700 C.Y.	
	MAX. FILL DEPTH	1'-3"	
	MAX. FILL SLOPE RATIO (2:1 MAX.)	+2:1	
THIS PROJECT PROPOSES TO EXPORT 5,300 C.Y. OF MATERIAL FROM THIS SITE			

NOTES:

1) ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE 2) THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL; ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

AREA DENSITY CALCULATION

ZONE: LJPDO- 4

TOTAL LOT AREA = 15,459.24 SF (.355 AC) TOTAL EASEMENT AREA = 986.46 SF UNIT CALCULATION (29 DU/ACRE = 1 DU/1502 SF): (15,459.24-986.46) = 14,472.78 (.332 AC) 14,472.78 / 1502 = 9.63 UNITS

ZONE: RM-3-7

TOTAL LOT AREA = 6,581.72 SF UNIT CALCULATION: 6,581.72 / 1,000 = 6.58

TOTAL NUMBER OF UNITS CALCULATION: 16 (16.22)

FAR CALCULATION

ZONE: LJPDO-4

TOTAL LOT AREA ALLOWABLE FAR ALLOWABLE BUILDING AREA PROPOSED BUILDING AREA UNDERGROUND PARKING AREA ACTUAL FAR

ZONE: RM-3-7

TOTAL LOT AREA ALLOWABLE FAR TOTAL BUILDING AREA **REQUIRED PARKING AREA** ALLOWABLE BUILDING AREA UNDERGROUND PARKING AREA PROPOSED BUILDING AREA ACTUAL FAR

6,581.72 SF 1.80 11,847.10 SF 3,949.03 SF 7,898.07 SF 5,898.50 SF 9,600.00 SF 1.45

15,459.24. SF

15,459.24 SF

15,459.00 SF

9,413.50 SF

-1.00

1.00

PARKING CALCULATION

RESIDENTIAL:

2.0 SPACES / (1) 2 BEDROOM UNIT (12) 2 BEDROOM UNITS x 2.0 SPACES = 24 SPACES

1.5 SPACES / (1) 1 BEDROOM UNIT (4) 1 BEDROOM UNITS x 1.5 SPACES = 6 SPACES

RETAIL: 1.7 SPACES / 1,000 S.F. 3,000 SF RETAIL x 1.7 SPACES = 5.1 SPACES

TOTAL PARKING REQUIRED = 35 SPACES TOTAL PARKING PROVIDED = 37 SPACES

STREET TREE REQUIREMENTS

STREET TREES REQUIRED: 36

EXISTING TREES: 31 TREES TO BE REMOVED: 22 TREES TO BE ADDED: 27

SEE LANDSCAPE PLAN ON L-1.1 FOR CALCULATIONS

LOT AREA CALCULATION AREA DEDICATED AREA VACATED



EAST 1,619 SF WEST 441 SF TOTAL 2,060 SF

DEDICATION + VACATION

AREA TO BE VACATED AREA TO BE DEDICATED

ATTACHMENT 10



SHEET

OF



PARKING CALCULATION MATRIX Overlay Zones: Parking Impact Overlay Zone (Coastal and Beach Impact Areas) Transit Area Overlay Zone Tandem Parking Overlay Zone Multiple Dwelling Residential Per (SDMC Tavel 142-05C) Minimum Requirements: 1 Bedroom Unit-1.50 Space per Dwelling Unit 2 Bedroom Unit-2.00 Space per Dwelling Unit Proposed Residentail Units: One Bedroom Units-4.00 12.00 Two Bedroom Units-Parking Regirements: 6.00 Spaces One bedroom Units-24.00 Spaces Two Bedroom Units-Total Res. Parking Required: 30.00 Spaces incuding (1) ADA Space Total Res. Parking Provided: 30.00 Spaces including (1) ADA Space ommercial Per (SDMC 142.0530, Table 142-05E, 142-05F) Ainimum Requirements: 1.70 Space per 1,000 sq. ft. G.F.A Retail -5.00 Space per 1,000 sq. ft. G.F.A Restaurant-Proposed Gross Floor Area: 3,188.00 Sq. Ft. Retail 0.00 Sq. Ft. Restaurant-Total Comm. Parking Required 5.42 6.00 Spaces including (1) ADA Space Total Comm. Parking Provided: Additional Spaces Required Per SDMC 142.0560 (d)(3) Through Circulation Req.-1.00 Space marked to prohibit parking Through Circulation Provided-1.00 Space marked to prohibit parking Project Total Parking Required-36.00 Spaces Project Total Parking Provided-37.00 Spaces MotorCycle Per SDMC Tavle 142-05C Minimum Requirements: Residential -0.10 Space per Dwelling Unit Retail/ Restaurant-Motorcycle parking shall be provided at a ratio of 2 percent of the minimum number of automobile parking spaces required or two spaces, whichever is greater. Total Motorcycle Parking Required: 3.60 Spaces 4.00 Spaces Total Motorcycle parking Provided: Bicycle Per SDMC Table 142-05C, SDMC 142.0530(e)(1),SDMC 142.0530(e)(2) Ainimum Residential Requirements: 0.40 Space per Dwelling Unit 1 Bedroom Unit-2 Bedroom Unit-0.50 Space per Dwelling Unit Proposed Residential Units: 4.00 One Bedroom Units-12.00 Two Bedroom Units-Minimum Commercial Requirements: 0.40 Space per Dwelling Unit 1 Bedroom Unit-2 Bedroom Unit-0.50 Space per Dwelling Unit Bicycle Space Regirements: 1.60 Spaces One bedroom Units-6.00 Spaces Two Bedroom Units-2.00 Spaces Short Term Commercial Long Term Commercial 1.00 Spaces Total Bicycle Spaces Required: 10.60 Spaces **Total Bicycle Spaces Provided:** 11.00 Spaces **On Street Parking Calculation** 33 Spaces Existing Street Parking-

DEDICATION + VACATION

1 Space Lost

32 Spaces

-3.03% loss

AREA TO BE VACATED

Proposed Street Parking-

Total Net Loss/ Gain-

ATTACHMENT 10 Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo DESA RENE J'ARL ★ 3 C-19371 REN. 04/30/2015 CA Il design, ideas and arrangements as indicate on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions. 7D 37 BLV 920 S JOLL \mathbf{O} ۲ ک \mathbf{D} s LA JOL S 6738 LA J REVISIONS 2015-04-22 Completeness Submittal 2015-05-14 Full City Submittal 2015-08-27 Full City Resubmittal 2015-11-10 Full City Resubmittal 2016-03-08 Full City Resubmittal 2016-08-22 Full City Resubmittal PHASE DESIGN PROJECT NO. 2014-26 REVIEWED BY CAM DRAWN BY AB DATE 08-22-2016 Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parti ecognize that data, plans, specifications, reports, documents, ther information recorded on or transmitted as electronic med er information recorded on or transmitted as electronic me-cluding but not necessarily limited to "CAD documents") i subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human eration. Accordingly, all such documents are provided to th parties for informational purposes only and not see as and

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SITE PLAN - PARKING DATA

OF

A-.

SHEET

SHEET TITLE







ATTACHMENT 10

GROUND FLOOR AREA PER SDMC TABLE 159-03A: MIN. 50% OF GROUND FLOOR AREA TO BE RETAIL USE IN LJPDO-4: RETAIL: RESIDENTIAL: TOTAL: 4,812.1 SF (51%) 4,611.1 SF (49%) 9,423.2 SF AREA LEGEND Marengo ----Morton RETAIL USE Architects r------7724 Girard Ave. Second Floor RESIDENTIAL USE La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo DESA RENA *3 C-19371 REN. 04/30/2015 All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions. 6738 LA JOLLA BLVD LA JOLLA, CA, 92037 ASA

REVISIONS 2015-04-22 Completeness Submittal 2015-05-14 Full City Submittal 2015-08-27 Full City Resubmittal 2015-11-10 Full City Resubmittal 2016-03-08 Full City Resubmittal 2016-08-22 Full City Resubmittal \square \square

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PHASE DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM JK

DATE 08-22-2016

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SHEET TITLE PROPOSED GROUND LEVEL

AREA PLAN A-1.6

SHEET OF







FLOOR PLAN KEYNOTES

PRIVATE EXTERIOR USABLE SPACE; RM 3-7 PER SDMC 131.0455(c) &

- LJPDO-4 PER SDMC 159.0309(d) 2 | LJPDO-4 REFUSE AREA; 32 SF MIN.; PER SDMC 159.0407.
- RM 3-7 REFUSE AREA: 24 SF MIN.: PER SDMC 142.0810, 142.0820
- AND TABLE 142.08B
- 4 LOADING ZONE: 623 SQ. FT. (16'-8' x 37'-4",14' H) PER SDMC 159.0409.
- 5 NEW 36" SITE WALLS, STUCCO FINISH
- 6 NEW 42" SITE WALLS, STUCCO FINISH
- 7 RM 3-7 COMMON EXTERIOR SPACE PER SDMC 131.0456
- 8 10 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE
- 9 163.5 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE
- 10 131.4 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE
- OUTLINE OF WALLS ABOVE
- 8'-0"X18'-0" TURN AROUND AREA
- VISABILITY TRIANGLES, NO OBSTRUCTIONS OVER 3 FT
- SHALL ENCROACH, TYP. 14 GREEN ROOF OVER LOADING ZONE
- 15 ROOF BELOW
- 16 RM 3-7 UPPER LEVEL WALKWAY PER SDMC 131.0461(c)(3)
- 17 NEW TANKLESS WATER HEATER; SEE FLOOR PLAN NOTE L
- 18 CONVEX SAFETY MIRRORS
- 19 LJPDO-4 UPPER LEVEL WALKWAY PER SDMC 159.037(b)

FLOOR PLAN NOTES A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question. B. Refer to Site Plan for Site and Utility Information. C. For Door and Windows See Schedules On Sheet A-8.1 D. For Interior Finish See Schedule On Sheet A-8.2 E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4 F. For Demolition, see sheets A-2.1 & A-2.2 G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2 H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls. R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas R-13 Batt Insulation at all accessible interior walls for sound control R-30 Batt Insulation at Ceiling & Roof Areas. R-4.5 Insulation Wrap On All New Hot Water Piping. R-4.5 Insulation Wrap On All New Supply Ducts. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3. J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2 K. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3. WATER HEATER: New Rinnai RL94e instant gas water heater, 0.82 EF (or eq) typ of 1, TANKLESS N. HVAC: New Rheem RGPJ10NAMER, 80,000 BTU gas FAU, 0.80 AFUE (or eq) typ of 1 O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC) P. Provide 5 air changes per hour for bathroom and laundry room ventilation. Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.

- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate per Title 24 report.
- Ducts in the garage and ducts penetrating the walls or ceilings S. separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND



FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo DESA RENE * 3 C-19371 REN. 04/30/2015 CA Il design, ideas and arrangements as indica on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions. 7D 37 BLV 920 A, S 8 LA JOLLA. C S 6738 LA J REVISIONS 2015-04-22 Completeness Submittal 2015-05-14 Full City Submittal 2015-08-27 Full City Resubmittal 2015-11-10 Full City Resubmittal 2016-03-08 Full City Resubmittal 2016-08-22 Full City Resubmittal \bigtriangleup \square PHASE DESIGN PROJECT NO. 2014-26 REVIEWED BY CAM DRAWN BY AB DATE 08-22-2016 Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The partie recognize that data, plans, specifications, reports, documents, o other information recorded on or transmitted as electronic medi (including but not necessarily limited to "CAD documents") ar subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon teemed to be unreasonable and unenforceable. The signed a stamped hard copies with the wet signature of the Architect Record are the Architect's Instruments of Service and are the area of the second area of the architect and the second area of the architect and the second area of the second area o only true contract documents of record. SHEET TITLE PROPOSED BASEMENT LEVEL PLAN SHEET OF







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- 6 NEW 42" SITE WALLS, STUCCO FINISH
- 7 RM 3-7 COMMON EXTERIOR SPACE PER SDMC 131.0456
- 8 10 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE
- 9 163.5 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE

- ROOF BELOW
- 6 RM 3-7 UPPER LEVEL WALKWAY PER SDMC 131.0461(c)(3)
- 18 CONVEX SAFETY MIRRORS
- 19 LJPDO-4 UPPER LEVEL WALKWAY PER SDMC 159.037(b)

FLOOR PLAN NOTES

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- C. For Door and Windows See Schedules On Sheet A-8.1 D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For Demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2 H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4
- Walls. R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised

Floor Areas R-13 Batt Insulation at all accessible interior walls for sound control.

- R-30 Batt Insulation at Ceiling & Roof Areas. R-4.5 Insulation Wrap On All New Hot Water Piping.
- R-4.5 Insulation Wrap On All New Supply Ducts.
- HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- L. WATER HEATER: New <u>Rinnai</u> RL94e instant gas water heater, 0.82 EF (or eq) typ of 1, TANKLESS N. HVAC: New Rheem RGPJ10NAMER, 80,000 BTU gas FAU,
- 0.80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC) P. Provide 5 air changes per hour for bathroom and laundry room
- ventilation. Q. All ABS and PVC piping and fittings shall be enclosed within
- walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate per Title 24 report.
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND



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only true contract documents of record.

GROUND LEVEL

PLAN

OF

SHEET TITLE PROPOSED

SHEET

17 NEW TANKLESS WATER HEATER; SEE FLOOR PLAN NOTE L

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS. **ATTACHMENT 10**

Marengo

Architects

La Jolla, CA 92037

Tel. (858) 459-3769

Fax. (858) 459-3768

Claude Anthony Marengo DESA

RENE

C-19371

REN. 04/30/2015

Michael Morton AIA

* 3

7724 Girard Ave.

Second Floor

Morton



PROPOSED SECOND LEVEL PLAN



FLOOR PLAN KEYNOTES



- LJPDO-4 REFUSE AREA; 32 SF MIN.; PER SDMC 159.0407.
- RM 3-7 REFUSE AREA; 24 SF MIN.; PER SDMC 142.0810, 142.0820 AND TABLE 142.08B
- 4 LOADING ZONE: 623 SQ. FT. (16'-8' x 37'-4",14' H) PER SDMC 159.0409.
- 5 NEW 36" SITE WALLS, STUCCO FINISH
- 6 NEW 42" SITE WALLS, STUCCO FINISH
- 7 RM 3-7 COMMON EXTERIOR SPACE PER SDMC 131.0456
- 8 10 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE
- 9 163.5 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE
- 10 131.4 SF BASEMENT ENCROACHMENT PAST PROPERTY LINE OUTLINE OF WALLS ABOVE
- 8'-0"X18'-0" TURN AROUND AREA
- VISABILITY TRIANGLES, NO OBSTRUCTIONS OVER 3 FT
- SHALL ENCROACH, TYP.
- 4 GREEN ROOF OVER LOADING ZONE
- ROOF BELOW
- 16 RM 3-7 UPPER LEVEL WALKWAY PER SDMC 131.0461(c)(3)
- 17 NEW TANKLESS WATER HEATER; SEE FLOOR PLAN NOTE L
- 18 CONVEX SAFETY MIRRORS
- 19 LJPDO-4 UPPER LEVEL WALKWAY PER SDMC 159.037(b)

FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1 D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For Demolition, see sheets A-2.1 & A-2.2 G. For Plumbing, Appliance and other Fixtures See Schedule on
- Sheet 8.2 INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.

R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas

R-13 Batt Insulation at all accessible interior walls for sound control.

- R-30 Batt Insulation at Ceiling & Roof Areas.
- R-4.5 Insulation Wrap On All New Hot Water Piping. R-4.5 Insulation Wrap On All New Supply Ducts.
- HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- WATER HEATER: New <u>Rinnai</u> RL94e instant gas water heater, 0.82 EF (or eq) typ of 1, TANKLESS
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- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC) P. Provide 5 air changes per hour for bathroom and laundry room
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- WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate per Title 24 report.
- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2

FLOOR PLAN LEGEND

NEW 2 X 6 EXTERIOR WALL W/ 1/2" PLY & 7/8" STUCCO ON BOTH SIDES NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS. NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE NEW 2 X 4 INTERIOR DOUBLE STUD PARTY WALL W/ 1" AIRSPACE, AND 1/2" PLY & (2) LAYERS 5/8" GYP. ON EACH SIDE NEW 8" CMU WALL, FINISH PER INTERIOR FINISH ***** SCHEDULE NEW 12" CMU WALL, FINISH PER INTERIOR FINISH SCHEDULE ONE HOUR CONSTRUCTION 2 X WOOD STUD $\overline{(a)}$ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A-8.1 NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A-8.2 SMOKE DETECTOR - PERM. WIRED TO BUILDING (S)POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0" ◍ FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS PROPOSED EXTERIOR LIGHTING Q NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED 4 1/2" U.O.N. ≁≮ 4 1/2" U.O.N. EXISTING STRUCTURE DIMENSION 10'-8"

PROPOSED STRUCTURE DIMENSION



2015-08-27 Full City Resubmittal 2015-11-10 Full City Resubmittal 2016-03-08 Full City Resubmittal 2016-08-22 Full City Resubmittal

PHASE DESIGN

PROJECT NO. 2014-26

REVIEWED BY CAM

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SHEET TITLE PROPOSED SECOND LEVEL PLAN

SHEET

OF

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.







FLOOR PLAN KEYNOTES

- PRIVATE EXTERIOR USABLE SPACE; RM 3-7 PER SDMC 131.0455(c) & LJPDO-4 PER SDMC 159.0309(d)
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FLOOR PLAN LEGEND

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