Abbreviations

Kitchen

		viau
A.B. A.C.	Anchor Bolt Asphaltic Concrete or	Kit.
A.C.T.	Air Conditioning Acoustical Ceiling Tile	Lam. Lb.(s)
Acous. A.D.	Acoustic Access Door	L.B. L.L.
Add. Adj. A.F.F.	Addendum Adjustable Above Finish Floor	L.L.H. L.L.V.
Al. Alt.	Aluminum Alternative	Longit. L.P. Lt.
Anod. Arch.	Anodized Architectural	L.W.C.
0	At	Mas. Mat'l
Bd., Bo. Bet. B.F.	Board Between Bottorn of Footing	Max. Mech.
Bldg. Blkg.	Building Blocking	Memb. Met. or Mfr.
Brn. B.N.	Beam Boundary Nail	Min. Misc.
Bot. Brg.	Bottom Bearing	Mtd.
Bsmt. B.U.	Basement Built Up	N. N.I.C. No.
Cab. C.L.	Cabinet Center Line	Norn. N.T.S.
Clr. Cer.	Clear Ceramic	0.C.
C.F.C.I. C.F.O.I.	Contractor Furnished, Contractor Install Contractor Furnished,	0.D. 0.F.
C.J.	Owner Install Control Joint	0.F.C.I. 0.F.O.I.
Clg. C.M.U.	Ceiling Concrete Masonry Unit	0.H.
Col. Conc.	Column Concrete Construction	Opg. Opp.
Constr. Cont. Coor'd	Continuous Coordinate	Ohd. P.C.
Corr. Cpt.	Corridor Corpet	PI. PI. P.L.
Csk. Ctr.	Countersink Counter	Plbg. Pnt.
С.Т. С.	Ceramic Tile Channel	Pwd. P.S.F.
d DЫ.	Penny (nail) Double	P.S.I. P.T. Ptd.
Demo. Dept.	Demolition Department	P.T.S. Perim.
Det. Dia.	Detail Diameter	Perp. Plas.
Diag. Diaph. D.F.	Diagonal Diaphragm Drinking Fountain or	Plast.
Dim.	Douglas Fir Dimension	Qty. R.
D.L. Dn.	Dead Load Down	R.C.P. R.D.
D.S. Dwg. Dwls.	Downspout Drawing Dowels	Ref. Reinf.
Dwr.	Drawer	Req.(d) Reqmts Resil.
E. Ea.	East Each	Ret. Rev.
E.B. E.J. El.	Expansion Bolt Expansion Joint Elevator	Rfg. Rm.
Elev. Elec.	Elevation Electric(al)	R.O. R.O.W.
Emer. E.N.	Emergency Edge Nail	R.P. R.T.U.
Enc. Engr.	Enclosure Engineer	S. S.C.
Eq. Equip. E.W.	Equal Equipment Each Way	Sched. Sht.
Exh. Exp.	Exhaust Expansion	S.F. Sim. S.P.
Ext. Exst.	Exterior Existing	Sp'g. Spec.
F.B. F.D.	Flat Bar Floor Drain	Sq. S.S.
F.F. Fin. Flr.	Finish Floor Finish Floor	Stagg. Std. Stiff.
Fdn. F.E.	Foundation Fire Extinguisher	Str. Stl.
F.E.C. F.F.E. F.H.C.	Fire Extinguisher Cabinet Finish Floor Elevation Fire Hose Cabinet	Susp. Sym.
Fin. Flex.	Finish Flexible	T.
Fir. Fluor.	Floor Fluorescent	T. & G. Temp. Thr.
F.N. F.O. F.O.B.	Field Nailing Face of (Item) Face of Brick	T.J. T.N.
F.O.C. F.O.M.	Face of Concrete Face of Masonry	T.O. T.O.C.
F.O.P. F.O.S.	Face of Panel Face of Stud	T.O.D. T.O.F. T.O.P.
Fp. Ft.	Fireproofing Foot or Feet Floor Sink	Topo. T.O.R.
F.S. Ga.	Floor Sink Gauge	T.O.S. <u>T</u> .O.W.
Galv. G.I.	Galvanized Galvanized Iron	Trans. Typ.
GI. G.L.B.	Glass Glue Laminated Beam Gragoria Bagad	U.N.O. U.B.C.
Gyp. Bd. H.B.	Gypsum Board Hose Bibb	Vac.
H.C. Hdr.	Hollow Core Header	V.A.T. V.B. V.C.T.
Hdwr. Hgr. H.M.	Hardware Hanger Hollow Metal	Vent. Vert.
H.M. Horiz. Hr.	Hollow Metal Horizontal Hour	V.I.F.
Ht. H.V.A.C.	Height Heating, Ventilating,	W. W/ Wd.
H.W.	and Air Conditioning Hot Water	wa. W.GI. W.H.
l.D. In.	Inside Diameter Inch	W.O. W/O
Incl. I.E.	Included Invert Elevation	Wp. W.P.J. W.R.
Insul. Int.	Insulation Interior	W.R. Wt. W.W.F.
Jan. Jst.	Janitor Joist	Yd.
Jt.	Joint	

Laminated Pound(s) Lag Bolts Live Load Long Leg Horizonta Long Leg Vertical Longitudinal Low Point Light Light Weight Concrete Masonry Material Maximum Mechanical Membrane let. or Mtl. Metal Manufacturer Minimum Miscellaneous Mounted North Not in Contract Number Nominal Not to Scale On Center Outside Diameter Over Flow or Outside Face F.C.I. Owner Furnished, Contractor Installe Owner Furnished, Owner Installed Opposite Hand Opening Opposite Overhead Pre-Cast Plate Property Line Plumbing Paint Plywood Pound(s) per Square Foot Pound(s) per Square Inch Pressure Treated Painted Post Tension Slab Perimeter Perpendicular Plaster Plastic Quantity Rise or Riser Reflected Ceiling Plan Roof Drain Reference Reinforcing eq.(d) Require or Required eqmts. Requirements Resilient Retain(ing Revision Roofing Room Rough Opening Right of Way Radius Point Roof Top HVAC Unit South Solid Core Schedule Sheet Square Feet Similar Stand Pipe Spacing Specification Square Stainless Steel Staggered Standard Stiffened Structural Steel Suspended Symmetrical Tread . & G. Tongue and Groove Tempered Threshold Tooled Joint Toe Nail Top of (item) Top of Curb or Top of Concrete Top of Drain Top of Footing Top of Parapet Topography Top of Roof Top of Slab Top of Wall Transverse Typical Unless Noted Otherwise Uniform Building Code Vacuum Vinyl Asbestos Tile Vapor Barrier Vinyl Composition Tile Ventilation Vertical Verify in Field

> West With Wood Wire Glass Water Heater Where Occurs Without Waterproof Weakened Plane Joint Water Resistant Weight Welded Wire Fabric Yard

Scope of Work

The project consists of 2 phases of work.

Phase 1: Includes the occupancy of Hillel of San Diego in the single family home I 8976 Cliffridge Avenue.

Phase 2: Includes the construction of 3 buildings totaling roughly 6,600 s.f. to be new student center for Jewish students at the University of California San Diego. A surface parking lot is located along the east portion of the site. Also included in development is the construction of a park like amenity near the corner of La Jolla and Torrey Pines Road.

Address & Site Information

<u>Phase 1:</u> 8976 Cliffridge Avenue La Jolla, CA 92037

<u>Phase 2:</u>

Intersection of La Jolla Village Drive, La Jolla Scenic Way, and La Jolla Scenic Drive <u>Phase 1 Legal Description:</u> Lot 67 of La Jolla Highlands unit no. 3, in the city of San Diego, county of San Die

California, according to the map there of no. 3528, filed in the office of the Count San Diego County, October 19, 1956.

Phase 1 Assessor's Parcel Number: 344–131–01

Phase 2 Legal Description: Portion of Lot 1299, Miscellaneous Map 36, Pueblo Lands

Phase 2 Assessor's Parcel Number: 344-120-26

Project Data

<u>Phase 1: Building Code</u> 2007 California Building Code Construction Type: Type V, B Occupancy: B

<u>Phase 2: Building Code</u> 2007 California Building Code Construction Type: Type V, B with sprinklers Occupancy: A-3 and B

<u>Zoning Information</u> La Jolla Community Plan La Jolla Shores Planned District Single—family Zone Coastal Height Limit: Proposition Plum-line 30'-0" height limit Maximum coverage restriction of 60% 4'-0" side property line setback for buildings with openings Refer to site plan for property line relationship to face of curb Campus Impact Area of the Parking Impact Overlay Zone

<u>Site Information</u> Geologic Hazard Category 52

<u>Phase 1: Existing Use</u> Single Family House

Phase 1: Proposed Use Hillel of San Diego Office use of single family house Building used primarily for religious purposes as allowed in single-family zone of La Planned District (SDMC Section 103.0304.1(e))

<u>Phase 2: Existing Use</u> Previously disturbed vacant land

Phase 2: Proposed Use New student center and surface parking lot for primarily religous purposes. To be utilized by Jewish students attending the University of California San Diego.

Project SDP Deviations

<1> Phase 1 – Temporary Parking Plan (during construction of phase 2): Required 24'cut. 12'-0" wide temporary curb cut provided. Deviation of 12'-0". Refer to Arc A2.00. 2 Parking deviations for church

City of San Diego Cycle Issue Notes

1. Prior to the issuance of the first foundation, building or grading permit, the Owner/ cut, plug and abandon the existing public 12—inch water facilities within the La Joll North right—of—way to be vacated, from La Jolla Scenic Way to Torrey Pines Road, satisfactory to the Director of Public Utilities and the City Engineer

- 2. Prior to the issuance of the first building permit, the Owner/Permittee shall assure bond, the design and construction of public 16-inch water facilities and the cut, abandonment of the existing public 8-inch water facilities within the La Jolla Sc right—of—way, from La Jolla Scenic Way to Torrey Pines Road, and connect to the existing water services still in service adjacent to the project, in a manner satisfac Director of Public Utilities and the City Engineer.
- 3. Prior to the issuance of the first building permit, the Owner/Permittee shall assure bond, the design and construction of new water service(s), including domestic, fire and the disconnection at the mains of all existing unused water services adjacent site, in a manner satisfactory to the Director of Public Utilities and the City Engine
- 4. Prior to the issuance of any building permits, the Owner/Permittee shall apply for for the installation of private back flow prevention device(s) on all water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Water Department Director and the City Engineer. All backflow prevention devices shall be located above grade and outside of any private structures.
- 5. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall install and/or replace fire hydrants at locations satisfactory to the Fire Marshal, the Director of Public Utilities and the City Engineer.

General Notes

- 1. Do not scale drawings. Notify architect immediately of any discrepancies
- 2. All work shall comply with applicable codes including but not limited to the UBC, UFC, UPC, UEC, CAC, CBC, FHA, and ADA. 3. These drawings are divided into sections for convenience only.
- 4. All dimensions shall take precedence over scale shown on plans, sections, and details. Dimensions are to face of studs or slab unless noted otherwise on drawings.
- 5. All larger scale drawings & details shall take precedence over those of smaller scale. 6. All existing site items including curb, walks, ramps, etc. are HCA compliant, subject to field
- verification. 7. Address shall be provided for all new and existing buildings in a position as to be plainly
- visible and legible from the street or road fronting the property. (CFC 901.4.4) 8. All required permits must be obtained from the fire plan check before the building is
- occupied. 9. At least one fire extinguisher with a minimum rating of 2-a-10b:c shall be provided within
- 75 feet maximum travel distance for each 6,000 s.f. or portion thereof. (CFC sec. 1002, UFC standard 10-1, Cal. Code regs., title 19, sec. 3.29) 10. All existing structures to be upgraded as required to meet all applicable CBC requirements if
- not currently in conformance. 11. The single family house for Phase 1 will be brought up to code at the time of building permit submittal including wall and opening protection for the intended temporary
- commercial use. 12. In the event that the existing single family garage is utilized for accessible parking, the minimum vertical clearnace will be 8'-2".
- 13. During the building permitting phase the single family garage will be evaluated for its feasibility of housing the accessible parking space with regards to it possibly being deemed an unreasonable hardship, due to its short term use and its anticipated return to a single family residential garage upon the completion of Phase 2.

Dimension	
Drawing Title	1 Drawing Title scale: Drawing Scale
Detail Reference	
Room Name	•
Room Tag	Room Name

© 2010, M.W. Steele Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without expressed written permission from M.W. Steele Group, Inc.

Room Number-

	Project Calculations	Parking Calculations				
	<u>Phase 1:</u>	<u>Phase 1:</u>				
located at	<u>Coverage Calculations:</u> Proposed Coverage (Temporary Parking): 2,288 s.f./8,358 s.f. = 27% Proposed Coverage (Permanent Parking): 2,288 s.f./9,166 s.f. = 25%	Parking Required: Per SDMC Section 142.0530 Table 142–05F. For Business and Professional Office Uses:				
be occupied as a A 27 space a the phase 2	<u>Site/Building Area Calculations:</u> Proposed Site Area = 9,166 s.f.	3.3 parking spaces per 1,000 s.f. of floor area. 1,792 s.f. gross house area. 1,792 s.f. / 1,000 s.f. = 1.792 x 3.3 = 5.9 = 6 spaces required				
lla Village Drive	Total Gross Building Area (Including garage and storage) = 2,288 s.f. Total Gross House Area = 1,792 s.f.	<u>Temporary Parking Provided:</u> 5 standard parking spaces 1 van accessible parking space				
	Total Net Building Area (Including storage) = 2,035 s.f. Total Net House Area = 1,529 s.f.	6 total parking spaces (Refer to sheet A2.00) Permanent Motorcycle Parking Required:				
n	<u>Occupancy Calculations (per CBC Table 1004.1.1):</u> Occupancy Load Factor for Business Areas = 1 occupant per 100 gross s.f. Gross House Area = 1,792 s.f. Total Occupancy = 1,792 s.f. / 100 s.f. = 17.92 = 18 Total Occupants	Per SDMC Section 142.0530(g). 2% of the minimum number of automobile parking spaces required or 2 space 6 automobile spaces required. 6 x 0.02 = 0.12 spaces < 2 spaces 2 motorcycle spaces required				
	<u>Phase 2:</u> <u>Coverage Calculations:</u>	<u>Motorcycle Parking Proposed:</u> 2 motorcycle spaces proposed				
ive North Diego, state of unty Recorder of	Existing Site Area = 15,350 s.f. (without the street vacation) Proposed Site Area = 33,541 s.f. (with the street vacation & right of way dedication) Proposed Site Area after the subtraction of 10,000 s.f. landscaped area = 23,541 s.f. Proposed Gross Ground Floor Area: HCJL Student Center 2,494 s.f. Library/Chaoel 984 s.f. Professional Leadership Building 1,813 s.f. Total Proposed Ground Floor Area 5,291 s.f.	Bicycle Parking Required: Per SDMC Section 142.0530 Table 142-05F. 0.03 bike spaces per 1,000 s.f. of floor area and 0.03 bike lockers with she spaces, whichever is greater. 1,792 s.f. gross house area. 1,792 s.f. / 1,000 s.f. = 1.792 x 0.03 = 0.05 spaces < 2 spaces 2 bicycle spaces required 1,792 s.f. / 1,000 s.f. = 1.792 x 0.03 = 0.05 bicycle lockers < 2 spaces 2 bicycle lockers required				
	Maximum Allowable Lot Coverage = 60%	<u>Bicycle Parking Proposed:</u> 4 bicycle spaces proposed				
	Proposed Lot Coverage (with 10,000 s.f. of landscaped area) = 5,291 s.f. / 33,541 s.f. = 15.8% Proposed Lot Coverage (without 10,000 s.f. of landscaped area) = 5,291 s.f. / 23,541 s.f. = 22.5% Building Area Calculations:					
	<u>HCJL Student Center:</u> Ground Floor Net S.F.:	Parking_Assessment				
	Student Lounge (includes Lobby)1,213 S.F.Kitchen298 S.F.Meeting Room116 S.F.Meeting Room116 S.F.	A site-specific study was conducted to determine the parking supply neede patrons and staff of the facility. Consideration was given to the types of a held at the facility, the amount of people expected to attend these events, serve the facility, survey data of existing UCSD Hillel student members, and data gathered from other similar Hillel facilities in California (UCLA, UCSB, o is a detailed discussion of this approach.				
	Women's Restroom 202 S.F. Storage 13 S.F. Elevator 65 S.F. Elevator 36 S.F.	<u>UCSD Hillel Student Center</u> Program Log and Event Attendance As mentioned in the trip generation section of this report, a monthly pro- by the client indicating the dates and times of the social events to be he				
	Second Floor Net S.F.: Student Activity Space (includes Lobby) Board Room Storage 674 S.F. 233 S.F. 74 S.F. 55 S.F.	Shabbat service, typically held on Friday evenings, would be held on carr (and not at the proposed facility), and would therefore not affect on sit activities consist of small study groups, lectures, meetings, student com administrative activities. It is expected that the majority of programs t attract 50 or less students. Only on rare occasion, such as a grand o a greater amount of attendees. It is also expected that 7 full time sto student center.				
	Elevator 03 3.1. Total Net S.F. 1,046 S.F. Library/Chapel:	Appendix D contains the anticipated program guide.				
	Ground Floor Net S.F.: Main Library Room 676 S.F. Study/Conference Room 148 S.F. <u>Storage 33 S.F.</u> Total Net S.F. 857 S.F. Professional Leadership Building:	<u>Transportation Modes</u> As discussed in the trip generation section of this report, a survey was cor among the students who currently attend Hillel related activities the UCSE survey collected responses from 115 students. The results of this survey for 80% of the students stated in their response that they would walk to the h proposed location. Of the approximate 80% of walking students, just over suggested they would carpool. Using the results of this survey, if 50 stude typical Hillel program at the San Diego student center, only 20% would drive 20% of students who would drive, half of those trips would be carpool trips				
La Jolla Shores	Ground Floor Net S.F.: Open Office Area (includes Copy Area) 667 S.F.	assumptions, only five parking spaces would be needed to serve the studen Assuming all 7 sttaff are onsite at one time and each drive individually, an would be required for a total of 12 spaces needed to acommodate the faci				
	Conference Room192 S.F.Office133 S.F.Office133 S.F.Office133 S.F.	program. In conducting the AM and PM peak hour intersection and daily st maximum of 100 students was assumed to frequent the site during the per day. If the same transportation mode split percentages are applied to the spaces would be necessary to acommodate student patrons (assuming all 1				
	Restroom49 S.F.Storage265 S.F. <u>Electrical Room45 S.F.</u> Total Net S.F.1,617 S.F.	at one time). An additional 7 spaces for staff would necessitate 17 spaces spaces proposed as part of the project. Appendix F contains the transport collected for UCSD.				
	Total Net S.F.: HCJL Student Center 3,298 S.F. Library/Chapel 857 S.F.	<u>Comparable Hillel Facilities</u> A list of other existing comparable Hillel facilities within California was devel the subject facility's parking demand. The following facilities were selected collection:Hillel at UCLA, Santa Barbara Hillel at UCSB, and CSU Northridge <u>Parking Rate Summary</u>				
4'—O" driveway curb	Professional Leadership Building 1,617 S.F. Total Net S.F. 5,772 S.F.	Campus Hillel Location Surrounding Uses Approx. Square Numbrain				
Architectural sheet	<u>Total Gross Floor Area:</u> HCJL Student Center (Includes Phantom Floor) 4,287 S.F.	UCSD Adjacent to Upscale 7,084 2 (Project Site) Campus Residential 7,084 2				
	Library/Chapel 984 S.F. Professional Leadership Building 1,813 S.F. Total Gross Floor Area With Phantom Floor 7,084 S.F.	UCLA Adjacent to Upscale 25,000 13 Campus Residential 13 14				
	(Total Gross Floor Area Without Phantom Floor 6,479 S.F.) <u>Calculations for Informational Purposes Only (Not Required by Code):</u>	UCSB Off Campus Urban 12,000 20 Residential/Mixed				
	Proposed Landscape Area = 14,906 s.f.	<u>CSUN</u> Off Campus Upscale 5,000 17				

r/Permittee shall bla Scenic Drive	6. "It is the sole responsibility of the Owner/Permittee for any damage caused to City of San Diego public water and sewer facilities, adjacent to the project site, due to the construction activities
1, in a manner	associated with this project. In the event any such facility loses integrity then, the Owner/Permi shall reconstruct any damaged public water and sewer facility in a manner satisfactory to the Director of Public Utilities and the City Engineer."
e, by permit and	
plug and	7. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the
enic Drive North	Owner/Permittee shall grant an acceptable water easement over the proposed 16—inch water
e 16—inch mains all	facilities within the vacated La Jolla Scenic Drive North right—of—way, from Cliffridge Avenue to
actory to the	Torrey Pines Road, for exclusive use of public water mains with no appurtenances, in a manner satisfactory to the Director of Public Utilities and the City Engineer. Minimum water easement wi for exclusive use of public water mains with no appurtenances, shall be 15—feet wide.
e, by permit and	
e and irrigation, to the project neer.	8. Prior to issuance of any building permits, the developer shall assure, by permit and bond, the de and construction of the realignment of the existing 8" public sewer main at the intersection of I Jolla Scenic Drive North and Cliffridge Avenue, satisfactory to the Director of Public Utilities and City Engineer.
plumbing permit(s)	
	0 Delay to the locustor of any contificate of encyperative the developer shall show dow the suisting a

9. Prior to the issuance of any certificate of occupancy, the developer shall abandon the existing public sewer mains located in the proposed street vacation, satisfactory to the Director of Public Utilities and the City Engineer.

10. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

Symbols

Slope

Section Cut Exterior Elevation Reference Keynote Deviation <->-----0'-0" Elevation Elevation 12%

Parking Calculations	Sheet Index
Phase 1: Parking Required: Per SDMC Section 142.0530 Table 142–05F. For Business and Professional Office Uses: 3.3 parking spaces per 1,000 s.f. of floor area. 1,792 s.f. / 1,000 s.f. = 1.792 x 3.3 = 5.9 = 6 spaces required Temporary Parking Provided: 5 standard parking spaces 1 van accessible parking spaces 1 van accessible parking spaces 6 total parking spaces (Refer to sheet A2.00) Per SDMC Section 142.0530(g). 2% of the minimum number of automobile parking spaces required or 2 spaces, whichever is greater. 6 automobile spaces required. 6 x 0.02 = 0.12 spaces < 2 spaces	Architectural A0.00 Title Sheet/Sheet Index/Project Data & Calculations A1.00 Existing Site Plan A1.01 Phasing Plan A1.02 Proposed Site Plan A1.03 Accessibility Plans Civil Ci C1 Existing Topography C2 Proposed Street Vacation, Street and Utility Easement Dedications C3 Existing and Proposed Boundaries C4 Conceptual Grading Plan Landscape L-1 L-1 Landscape Concept Plan L-2 Landscape Concept Plan L-3 Landscape Concept Plan A2.00 Phase 1: Temporary Parking Plan (During Construction of Phase 2) - Omit Sheet A2.03 Phase 2: Enorged Courtyard & Surface Parking Plan A2.04 Phase 2: Second Floor Building Plan A2.05 Phase 2: Roof Plan A3.00 Building Elevations A4.00 Site/Building Sec
	Project Team Directory
Parking Assessment A sile-specific study was conducted to determine the parking supply needed to adequately serve the partons and staff of the facility. Consideration was given to the types of events/forgaroms to be held at the facility, survey data of existing UCSD Hillel student members, and survey and statistical data gathered from other similor Hillel facilities in California (UCLA, UCSB, and CSUN). The following is a detailed discussion of this approach. UCSD Hillel Student Center Program Lag and Event Attendance As mentioned in the trip generation section of this report, a monthly pragram guide was provided by the client indicating the dates and times of the social events to be held at the subject facility. Stabbat service, typically held on friday evenings, student computer access and general administrative activities. It is expected that the majority of pargrams to be held at the site will attrate around to attendees. It is also expected that 7 full time staff members would serve the student center. Appendix D contains the anticipated program guide. Transportation Mades As discussed in the trip generation section of this report, a survey was conducted in March 2010 arong the students who currently attend Hille related activities of this survey found that dynoximidely 80% of the students stated in their response that they would wik to the hill facility at its proposed to all of 2000 corporations 200 corporations 200 corporations 200 corporation 200 corporation 200 corporations 200 corporatinte 200 corporations 200 corporations 200 corporations	Owners Site 653 Hillei of San Diego 8976 Cliffridge Ave., La Jolia, CA 92037 Contact: Robert Lapidus; Phone: 858.357.4746; E-mail: rlapidus@shertap.com 8976 Cliffridge Ave. Robert Marshall, property owner Contact: Robert Lapidus; Phone: 858.357.4746; E-mail: rlapidus@shertap.com Architecti MW Steele Group, Inc. 1805 Newton Ave., Suite A, San Diego, CA 92113 Contact: Robert Lapidus; Phone: 619.230.0325; For: 619.230.0335; E-mail: ken@mwsteele.com Chillecti MW Steele Group, Inc. 1805 Newton Ave., Suite A, San Diego, CA 92014 Contact: Row Walker; Phone: 619.230.0325; For: 619.230.0355; E-mail: ken@mwsteele.com Chill Engineer The Paul Design Group 915 Camino Del Mar, Suite 225, Del Mar, CA 92014 Contact: Brid Sager; Phone: 658.350.5845; For: 658.350.9745; E-mail: brad@thepauldesign.com Candactage Architecti David Reed Clandscope Architects 2171 India Street, Suite A, San Diego, CA 92101 Contact: Jone Kallein, Phone: 619.230.3300; For: 619.239.3341; E-mail: angelina@drasla.com Gestechnical Southern Collifornic Solis & Testing 6208 Riverdie St., San Diego, CA 92101 Contact: Jon Adler; Phone: 619.280.4321; For: 619.280.4717; E-mail: dadler@scst.com Taffic Linscott, Law & Greenspon, Engineers 4942 Ruffner St., Suite 100, San Diego, CA 92111 Contact: Bobbi Herdes; Phone: 619.308.9333; For: 619.308.9334; E-mail: bherdes@recon-us.com Noise Recor 1927 Fifth Avenue, San Diego, CA 92101 Contact: Bobbi Herdes; Phone: 619.308.9333; For: 619.308.9334; E-mail: bherdes@recon-us.com Noise Neion 1927 Fifth Avenue, San Diego, CA 92101 Contact: Bobbi Herdes; Phone: 619.308.9333; For: 619.308.9334; E-mail: bherdes@recon-us.com Noise Neion 1927 Fifth Avenue, San Diego, CA
Project Site	<section-header><section-header><section-header><section-header><section-header><text><text><text><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></text></text></text></section-header></section-header></section-header></section-header></section-header>
This parcel of land is located in an area identified as the La Jolla Shores Planned District in the La	Iolla Community Plan (LJCP). It is formerly city land, and the city has subsequently sold the land

Hillel Center for Jewish Life

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with **Deviations from Development Regulations**
- Change of Occupancy Permit
- Sustainable Expedite Program

Hillel of San Diego, is organized as a California non-profit religious corporation and is identified as a 501 (c) 3 non profit organization. We strive to be a vibrant Jewish campus presence and to involve Jewish students in ways that foster a lasting commitment to Jewish life. Our UCSD Hillel Center will allow us to pursue our mission by nurturing the religious, spiritual, and intellectual growth of Jewish students at UCSD in a pluralistic setting through community building, Jewish learning and spiritual counseling. We anticipate utilizing the UCSD Hillel Center for a variety of compelling religious programs such as meditation and prayer circles, programs relating to the observance of Jewish holidays and festivals. study of Torah and traditional Jewish texts, programs relating to Israel as the Jewish homeland and other Jewish religious, cultural and social interactions. We endeavor to build a strong sense of belonging and Jewish identity among the students we serve and to develop a culture infused by Jewish values.

M.W. STEELE GROUP, INC.

1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335 www.mwsteele.com ARCHITECTURE | PLANNING

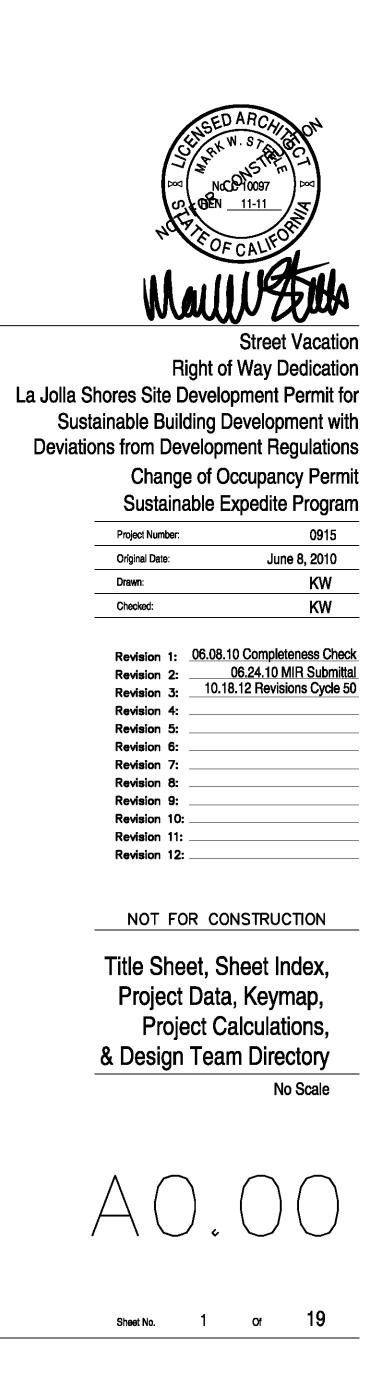
Hillel Center for Jewish Life San Diego, California

Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

Phase 2:

Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037

to Hillel of San Diego pursuant to City Council Resolution R-301433. The land is designated for residential land use in the La Jolla Community Plan, and in the La Jolla Shores Planned District, "Churches, temples, or buildings of a permanent nature, used primary for religious purposes" are consistent with that designation.

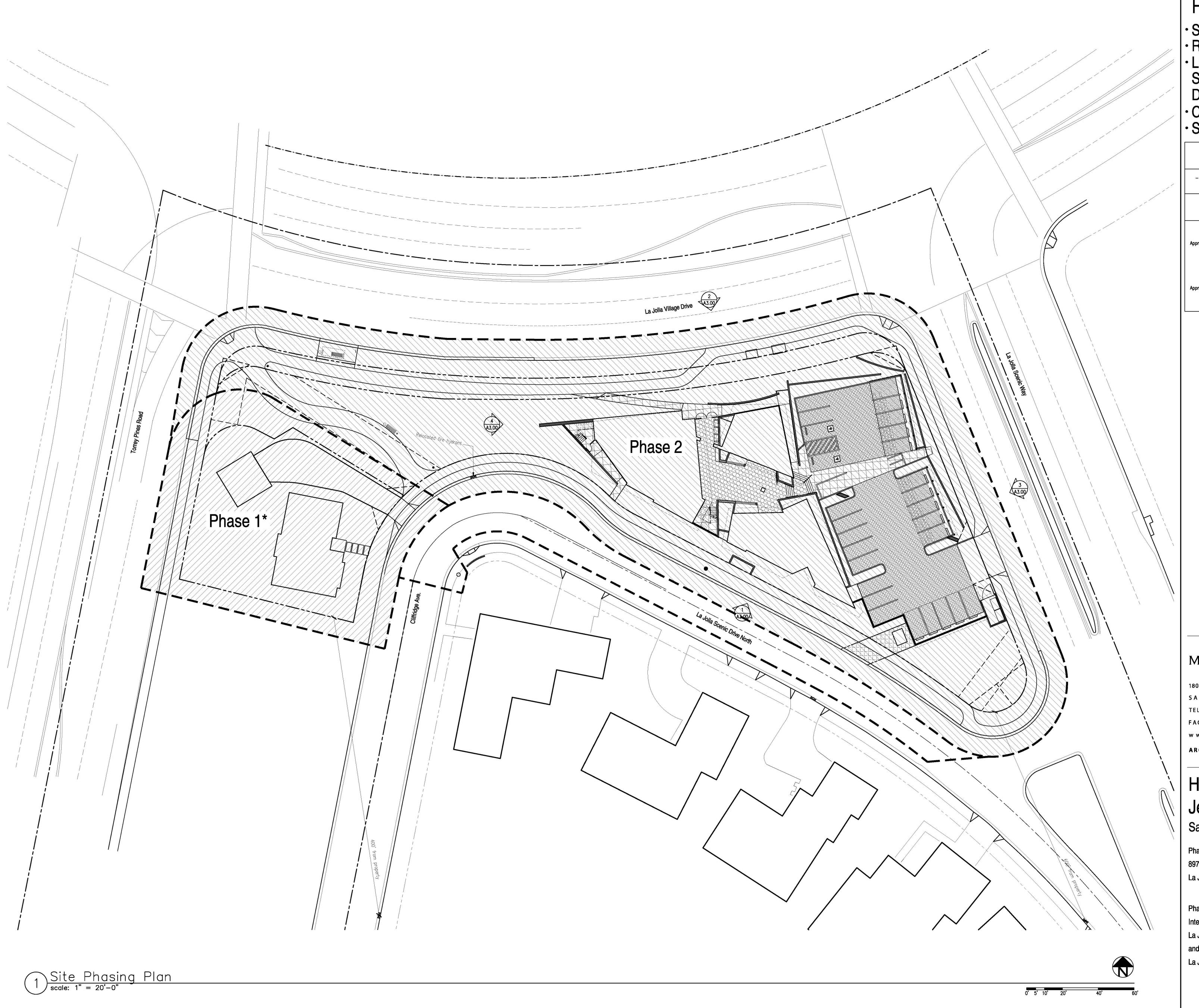




Hillel Center for Jewish Life

- Street Vacation

 Right of Way Dedication La Jolla Shores Site Developm Sustainable Building Developm Deviations from Development Change of Occupancy Permit Sustainable Expedite Program 	nent with Regulations
Existing Site Plan Notes	
 Existing paving to be removed. Refer to Landscape drawings for existing trees to be saved, typ. Diagonally hatched area is public right of way to be vacated. Existing curb to be removed. Existing bus stop location. Existing pedestrian ramp to remain. Existing driveway to be relocated. Easement reservation for storm drain. Existing property line. Existing median to remain. Existing median to remain. Existing vacant site to be developed as Phase 2. Existing single family house currently occupied by Hillel of San Diego as office use. To be temporarilly developed as part of Phase 1. Refer to Phase 1 plans. Existing fire hydrant. 	
General Notes	
 There are no sidewalks surrounding the existing property along La Jolla Scenic Way and La Jolla Scenic Drive North. There is one existing sidewalk along La Jolla Village Drive. 	
 Refer to Civil drawings for more information regarding all easements. Refer to Civil drawings for existing fire hydrant locations. 	
Legend	
Property line	-
Street/R.O.W. centerline	-
R.O.W. vacation boundary	-
Existing property (Phase 2)	
City of San Diego right of way to be vacated	CHISED ARCHION
Existing easement to remain. Refer to notes for specific conditions.	Wall total
GROUP, INC. Sust	Street Vacation Right of Way Dedication hores Site Development Permit for ainable Building Development with ons from Development Regulations
1805 NEWTON AVENUE SUITE A SAN DIEGO CA 92113	Change of Occupancy Permit Sustainable Expedite Program
TELEPHONE 619 230 0325 FACSIMILE 619 230 0335	Project Number: 0915 Original Date: June 8, 2010
www.mwsteele.com	Drawn: KW Checked: KW
ARCHITECTURE PLANNING	Revision 1:06.08.10 Completeness CheckRevision 2:06.24.10 MIR SubmittalRevision 3:10.18.12 Revisions Cycle 50
Hillel Center for	Revision 4: Revision 5: Revision 6:
Jewish Life	Revision 7: Revision 8: Revision 9:
San Diego, California	Revision 10:
Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037	NOT FOR CONSTRUCTION
Phase 2:	Existing Site Plan
Intersection of La Jolla Scenic Way, La Jolla Village Drive	1" = 20'-0"
and La Jolla Scenic Drive La Jolla, California 92037	A1.00
	Sheet No. 2 Of 19



Hillel Center for Jewish Life

	55 5
Phasing	Plan Note
Le	egend
pproximate Phase 1 Boundary	
pproximate Phase 2 Boundary	

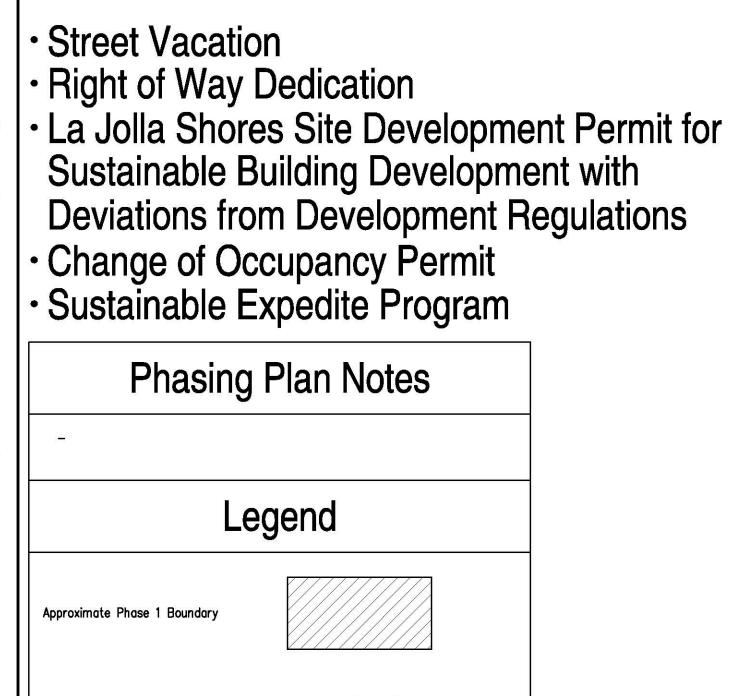
M.W. STEELE GROUP, INC. 1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335 www.mwsteele.com ARCHITECTURE | PLANNING

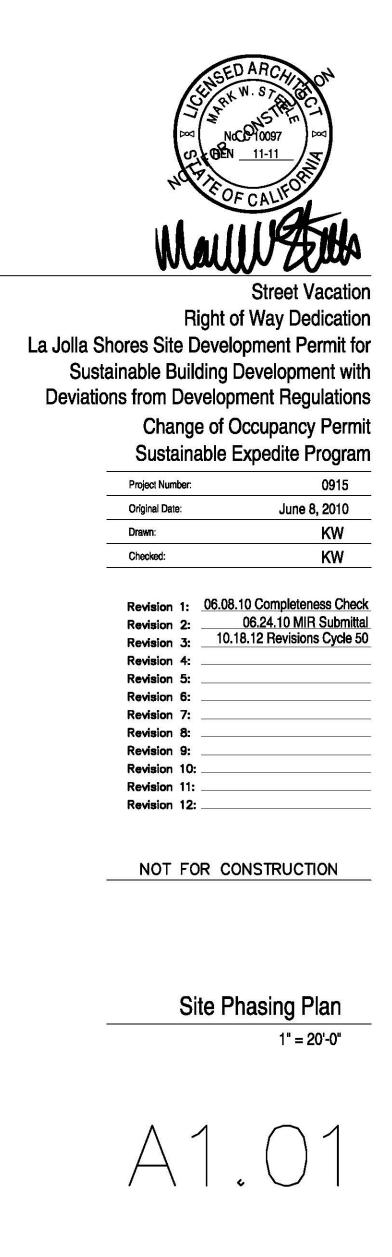
Hillel Center for Jewish Life San Diego, California

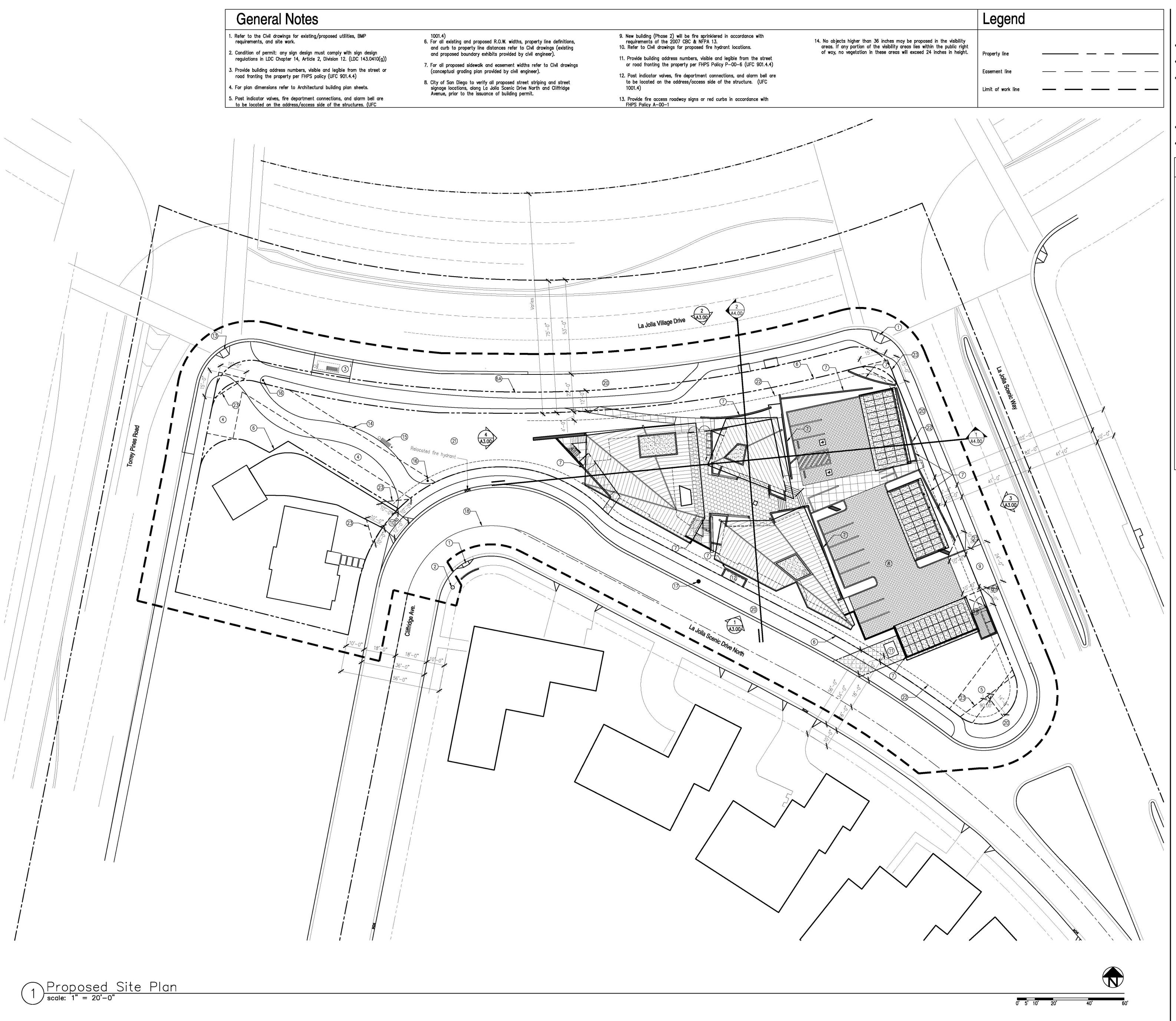
Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

Phase 2:

Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037







Hillel Center for Jewish Life

- Street Vacation
- Right of Way Dedication
 La Jolla Shores Site Deve Sustainable Building De **Deviations from Develop**
- Change of Occupancy F
 Sustainable Expedite P

Proposed Site Plan N

- (1) Existing pedestrian ramp to remain.
- (2) Existing stop sign to be removed.
- 3 Existing bus stop location.
- 4 New utility easement, refer to Civil drawings for more info
- (5) Easement reservation for storm drain, refer to Civil drawin information.
- 6 Adjusted property line.
- 6A New property line. (7) New site wall. Refer to Civil drawings for top and bottom
- (8) New surface parking lot for required off street parking.
- 9) New 24'-0" driveway and curb cut.
- (10) New residential driveway and curb cut for Phase 1.
- (11) Proposed transformer location.
- (12) Proposed backflow preventer location.
- (13) New pedestrian ramp.
- (14) New bicycle and pedestrian path.
- $(\overline{15})$ 3 seat bench, trash can, and drinking fountain location. (16) Bike path signage in accordance with sign criteria establis Jolla Shores Planned District Ordinance.
- (17) Proposed 'W1-1' (left) sign posted before curve. Refer to
- (18) Proposed double-yellow street striping centered in street. note below.
- (19) Trash and recycling enclosure.
- 20 New sidewalk and/or landscaped parkway.
- (21) Proposed 'park like' amenity.
- 2 4'-0" sideyard setback line per San Diego Municipal Code
- Visibility Area Trianles per SDMC Sec. 113.0273, diagram 1 intersections and driveways. See General Note 14.

M.W. STEELE GROUP, INC.

1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335 www.mwsteele.com ARCHITECTURE | PLANNING

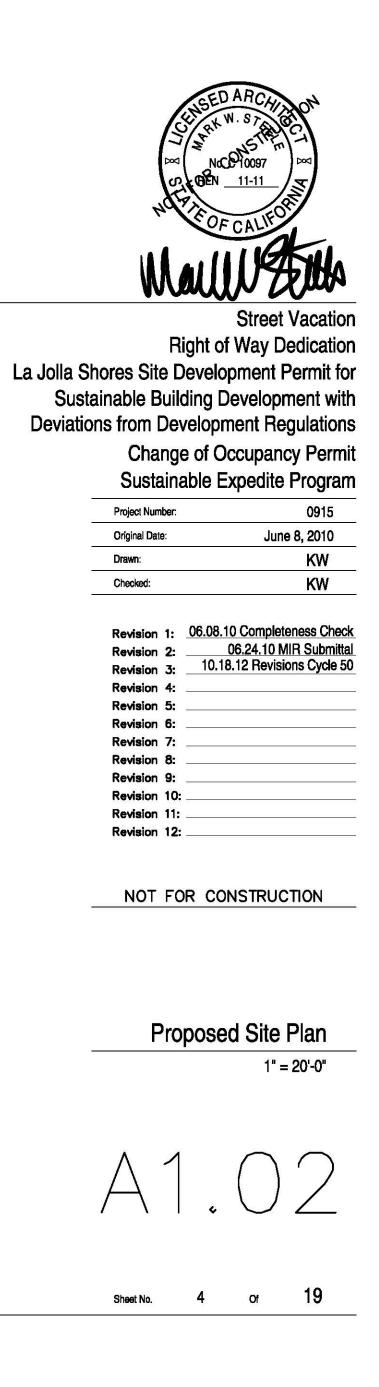
Hillel Center for Jewish Life San Diego, California

Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

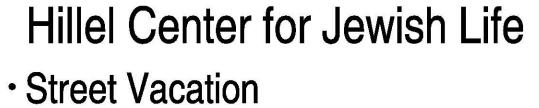
Phase 2:

Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037

evelopme	ent Permit for ent with egulations
Votes	
ormation	
ings for more	
of wall elevations.	
shed by the La	
general note below.	
Refer to general	
e. 113–02RR for street	







- Right of Way Dedication La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
 Sustainable Expedite Program

Accessibility Legend Bus stop Accessibile path of travel Accessible entry



Accessible

Accessible parking stripir

NOTE: Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. (Sec. 1127B.1). When more than one route of travel is provided, all routes must be accessible (Sec. 1114B.1.2).

M.W. STEELE GROUP, INC. 1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335

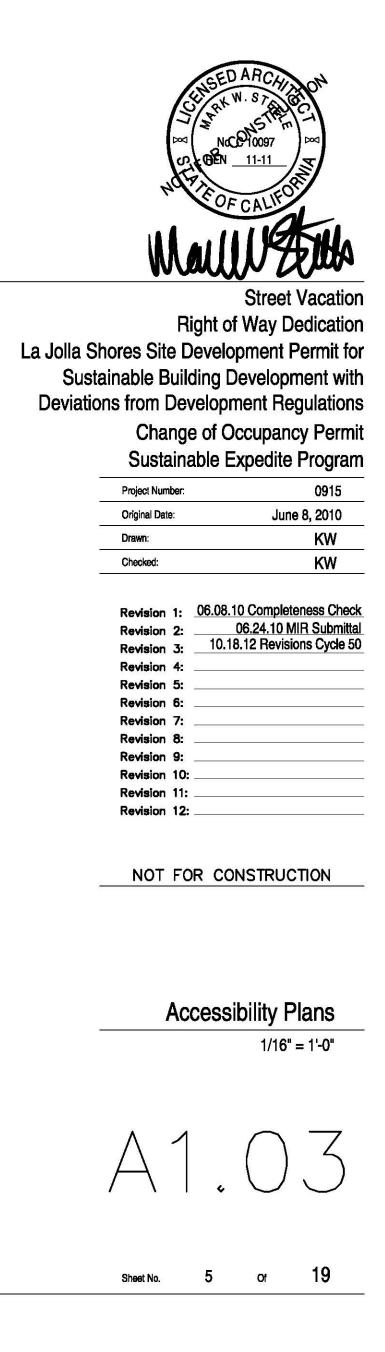
www.mwsteele.com ARCHITECTURE | PLANNING

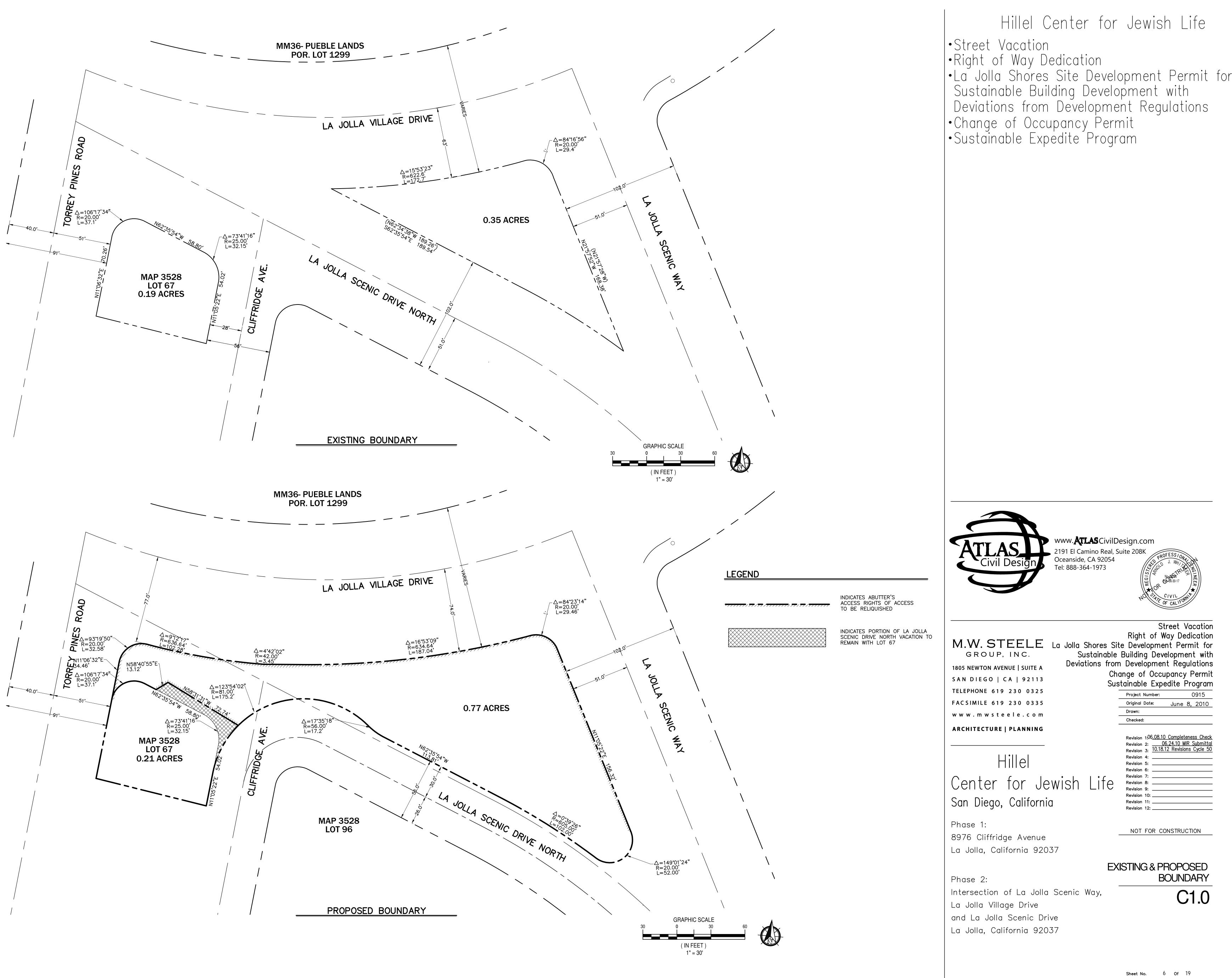
Hillel Center for Jewish Life San Diego, California

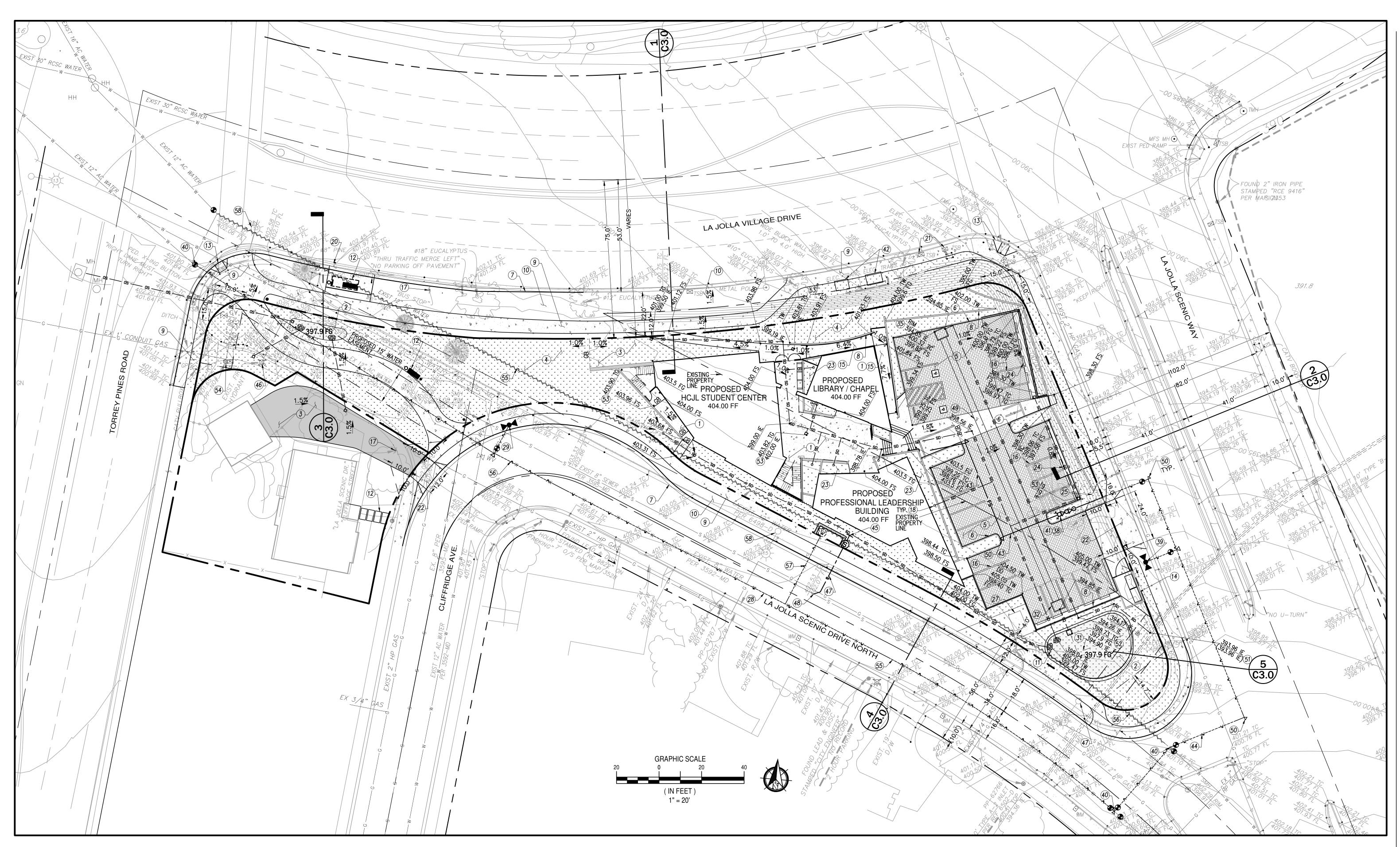
Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

Phase 2:

Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037





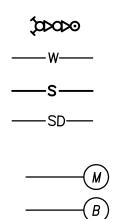


LEGEND

_____ _____ -0---0---0------ 250 --X 142.72' * 0 _____ ----—— XXX.XX'— ——W—— —____S —___ _____SD____ <u> /////////</u>

*

EXISTING PROPERTY LINE PROPOSED NEW PROPERTY LINE EXISTING CENTERLINE CONSTRUCTION FENCE EXISTING SITE FENCE EXISTING CONTOURS EXISTING SPOT ELEVATION EXISTING BUILDING EXISTING TREE EXISTING WALL PROPOSED STORM DRAIN INLET PROPOSED AREA DRAIN PROPERTY LINE LIMIT OF WORK EXISTING BLOCK WALL EXISTING CONTOURS EX . WATER LINE EX . SEWER LINE EX . STORM DRAIN EX. FIRE HYDRANT EXISTING BUILDING EXISTING TREE EXISTING WATER VALVE



NEW DDCA WITH PIV, FDC PROPOSED WATER LINE PROPOSED SEWER LINE PROPOSED SEWER LINE PROPOSED FIRE HYDRANT PROPOSED WATER METER PROPOSED BACKFLOW ASSEMBLY

DEFINED TERMS:

AB	- A	GGREGATE BASE
AC	– AS	SPHALT CONCRETE
BC	– B/	ACK OF CURB
CF	– Cl	JRB FACE
CL	— CE	NTERLINE
E	– E/	AST
E'LY	– E/	ASTERLY
EP	– E[GE OF PAVEMENT
EX.	– EX	KISTING
FF		NISHED FLOOR
FG	— FI	NISHED GRADE
FL	— FL	OW LINE
FS	— FI	NISHED SURFACE
GB		RADE BREAK
HI PT	– HI	GH POINT
INV		VERT
MH	— M.	ANHOLE
Ν	— N(ORTH

NTS	-	NOT TO SCALE
PCC	-	PORTLAND CEMENT
		CONCRETE
PL	-	PROPERTY LINE
R	-	RADIUS
RL	-	RIDGE LINE
R/W	_	RIGHT-OF-WAY
S	_	SEWER OR SOUTH
STD.	-	STANDARD
TC	-	TOP OF CURB
TG	-	TOP OF GRATE
IE	-	INVERT ELEVATION
TYP.	—	TYPICAL
0.C.	-	ON CENTER
W	-	WATER OR WEST
W'LY	-	WESTERLY
XXX.XX	-	PROPOSED ELEVATION
(XXX.XX)	-	EXISTING ELEVATION

BENCHMARK:

CITY OF SAN DIEGO BENCH & LA JOLLA VILLAGE DR.	MARK	ON	S.E.	CURB	AT LA	JOLLA	SCENIC
ELEV.=388.554							

EARTHWORK:

FILL: 225 C.Y. CUT: 870 ± C.Y. EXPORT: 645 ± C.Y.

UTILITY NOTES

THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES NOT CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

GRADING, PAVING & UTILITY NOTES

<u>rading, paving & utility no</u>)
PROPOSED SIDEWALK/PCC	
PROPOSED BIORETENTION AREA	(
PROPOSED AC PAVING	(
PROPOSED LANDSCAPE	((
PROPOSED PERVIOUS PAVERS	((
PROPOSED 6" CURB PROPOSED CURB AND GUTTER	((
PROPOSED RETAINING WALL	((
PROPOSED PUBLIC SIDEWALK PROPOSED PUBLIC PARKWAY	
PROPOSED RIP RAP PROPOSED SITE FEATURE PER ARCH. PLANS	(
PROPOSED CURB RAMP PER CITY STANDARDS	
PROPOSED TRASH ENCLOSURE	(
PROPOSED ACCESSIBLE RAMP WITH HANDRAILS	
XISTING STREET SIGNS TO BE RELOCATED PROPOSED 4" PVC RISER WITH ATRIUM GRATE	(
XISTING WALL TO REMAIN	
XISTING CURB, GUTTER AND PAVEMENT TO BE REMOVED XISTING UTILITY BOXES TO REMAIN	
ROPOSED NEW DRIVEWAY PER CITY STANDARD	
ROPOSED PLANTERS	(
ROPOSED WHEEL STOP LEAR AREA BASED ON VISIBILITY TRIANGLE	
ROPOSED STORM DRAIN CLEANOUT	() ()
ROPOSED NEW TRANSFORMER ROPOSED NEW 16" WATERLINE ROUTE	
ELOCATED FIRE HYDRANT	

<u>. </u>
0 NOT USED
D PROPOSED 6" SUBDRAIN CLEANOUT
32) PROPOSED MODIFIED A-4 STORM DRAIN CLEANOUT
33 PROPOSED 12" STORM DRAIN
PROPOSED STORM DRAIN INLET
35) PROPOSED A-4 STORM DRAIN CLEANOUT
6 PROPOSED 4" STORM DRAIN
VOT USED
8 PROPOSED FDC/PIV PER CITY STANDARD
9 PROPOSED FIRE HYDRANT PER CITY STANDARD
$\frac{10}{20}$ connect to existing water line
1) PROPOSED DDCA PER CITY STANDARD
2 PROPOSED UTILITY VAULTS
¹³ PROPOSED 8" FIRE SERVICE
4) PROPOSED 8" WATER LINE
5 PROPOSED POINT OF CONNECTION - SEWER
E EXISTING FIRE HYDRANT TO BE RELOCATED
77 PROPOSED 6" SEWER SERVICE
B CONNECT TO EXISTING 8" PUBLIC SEWER
9 PROPOSED STORM WATER DETENTION FACILITY
0 PROPOSED THRUST BLOCK
51) CONNECT TO EXISTING STORM DRAIN
2 PROPOSED 24"X24" CATCH BASIN
3) PROPOSED 12"X12" CATCH BASIN
EXISTING POWER POLE TO REMAIN
5 REMOVE EXISTING 8" PUBLIC WATERLINE
6 REMOVE EXISTING 12" PUBLIC WATERLINE
57) PROPOSED 2" WATER METER WITH BACKFLOW
8 EXISTING STREET LIGHT TO BE RELOCATED
9) EXISTING STREET LIGHT TO BE REMAIN

	╞	Hillel Center
Right La Jol Sustai Deviat Chang	of la na ior e	acation Way Dedication Shores Site [ble Building D s from Develor of Occupancy ble Expedite f
PROJECT	INF	FORMATION:
OWNER	:	HILLEL OF SAN DIEGO 8976 CLIFFRIDGE AVENUE LA JOLLA, CA 92037 858–550–1792
LOT AREA	:	1.43X ACRE (±70,416 SF)
DISTURBED ARE	EA:	1.43X ACRE
SITE ADDRESS	•	PHASE 1: 8976 CLIFFRIDGE AVENUE LA JOLLA, CALIFORNIA 92037
		PHASE 2: INTERSECTION OF LA JOLLA SCI LA JOLLA VILLAGE DRIVE AND LA JOLLA SCENIC DRIVE LA JOLLA, CALIFORNIA 92037
APN NO.	:	344–131–01, 344–120–26
FLOOD ZONE	:	X (OTHER AREAS)
MAP #	:	06073C0734H



www.**ATLAS**CivilDesign.com 2191 El Camino Real, Suite 208K Oceanside, CA 92054 Tel: 888-364-1973

GROUP, INC. 1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335 www.mwsteele.com ARCHITECTURE | PLANNING

Hillel Center for Jewish Life San Diego, California

Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

Phase 2:

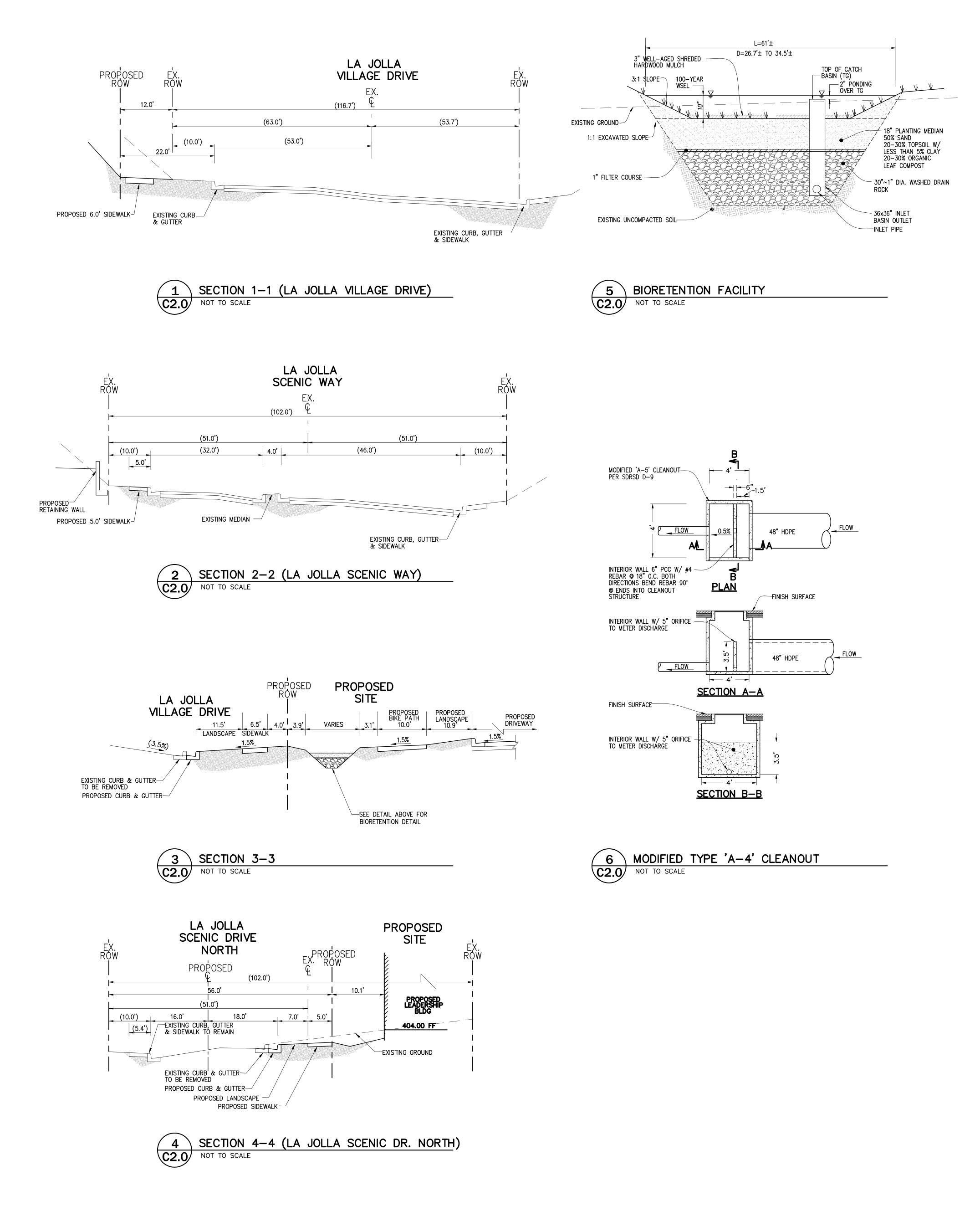
Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037

on Development Permit for Development with elopment Regulations Permit Program

SCENIC WAY,

Street Vacation Right of Way Dedication M.W. STEELE La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations Change of Occupancy Permit Sustainable Expedite Program Project Number: 0915 Original Date: June 8, 2010 Drawn: Checked: Revision 1.06.08.10 Completeness Check 06.24.10 MIR Submitte 3.12 Revisions Cycle Revision Revision Revision Revision Revision 8: Revision 9: Revision 10: ____ Revision 11: Revision 12: _ NOT FOR CONSTRUCTION PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN C2.0

Sheet No. 7 Of 19



Hillel Center



www.**ATLAS**CivilDesign.com

GROUP, INC. 1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335 www.mwsteele.com ARCHITECTURE | PLANNING

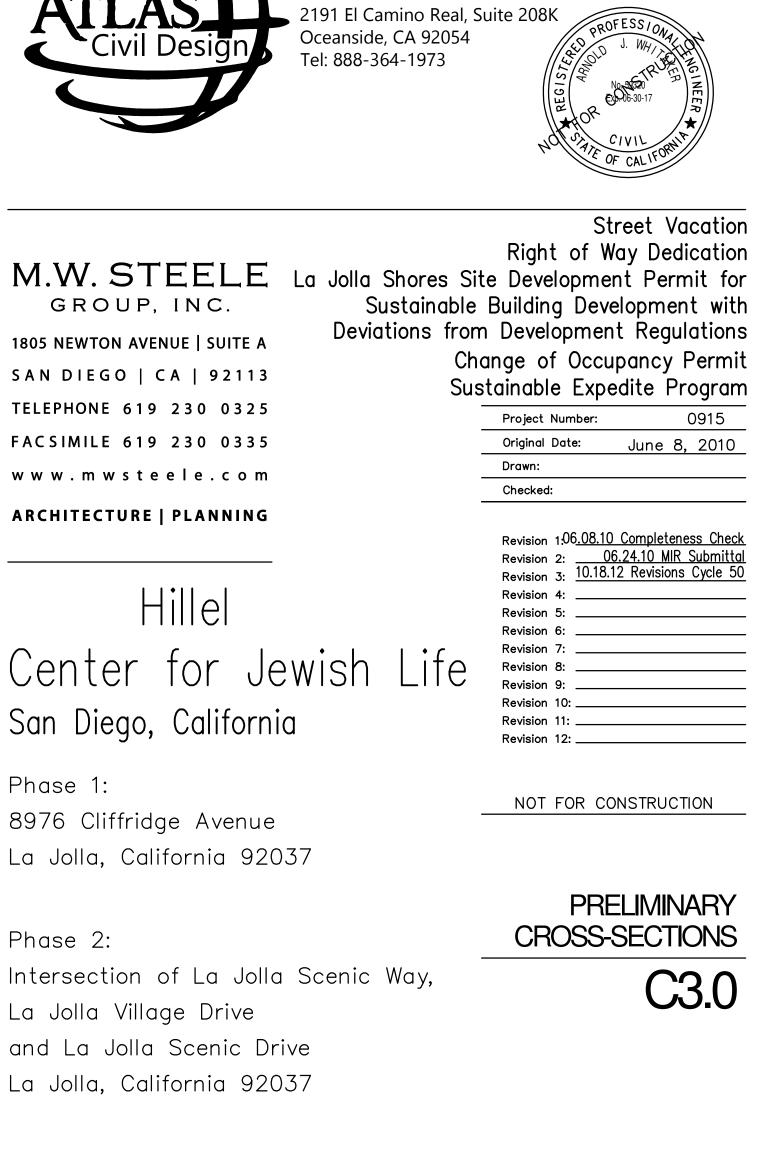
Hillel

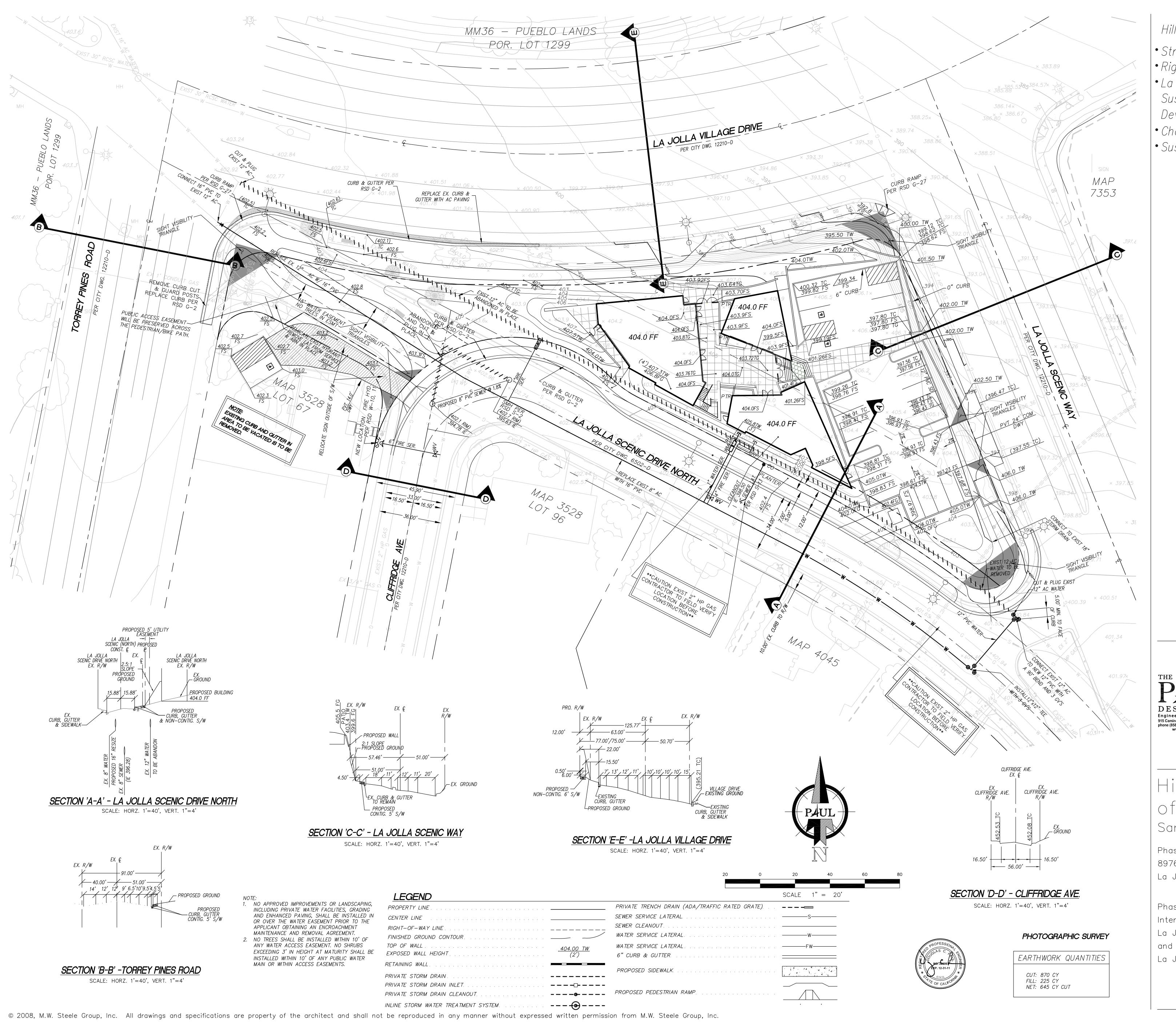
for Jewish Life Center San Diego, California

Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

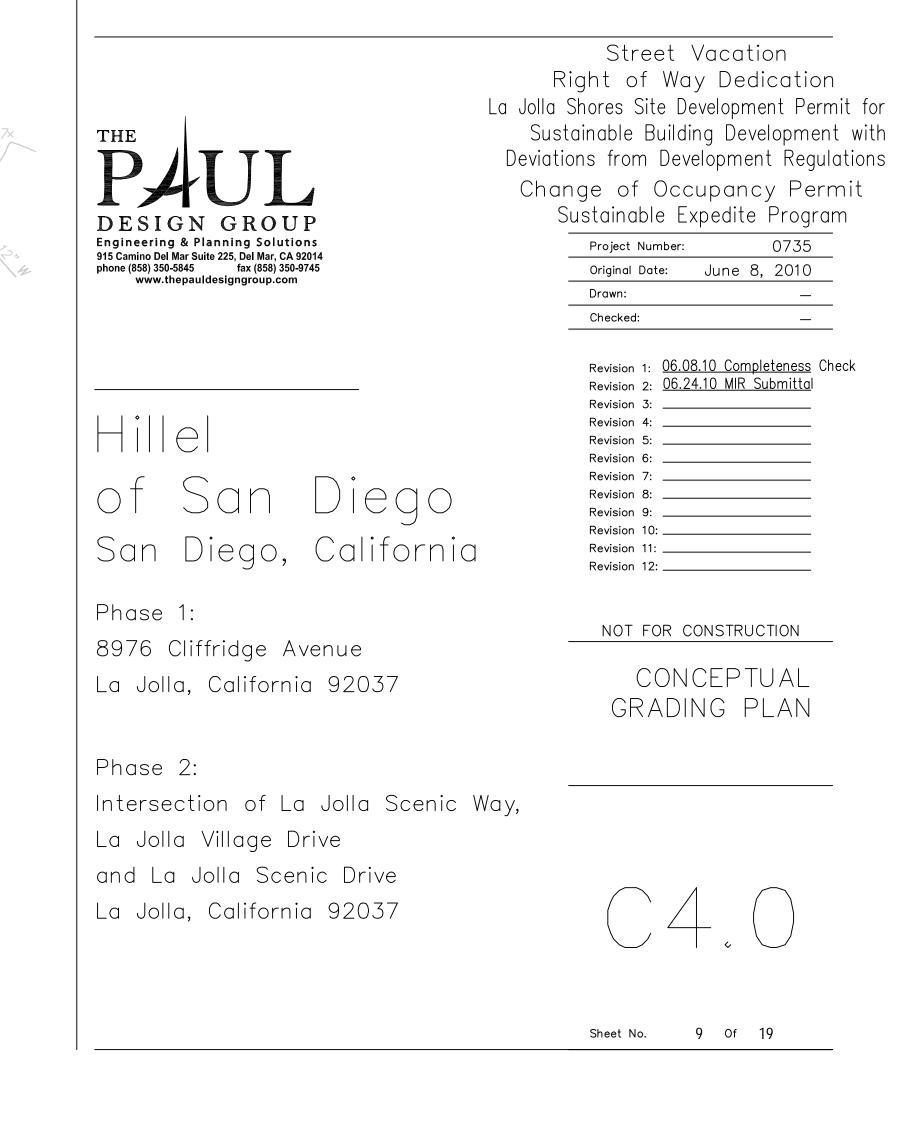
Phase 2: Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037

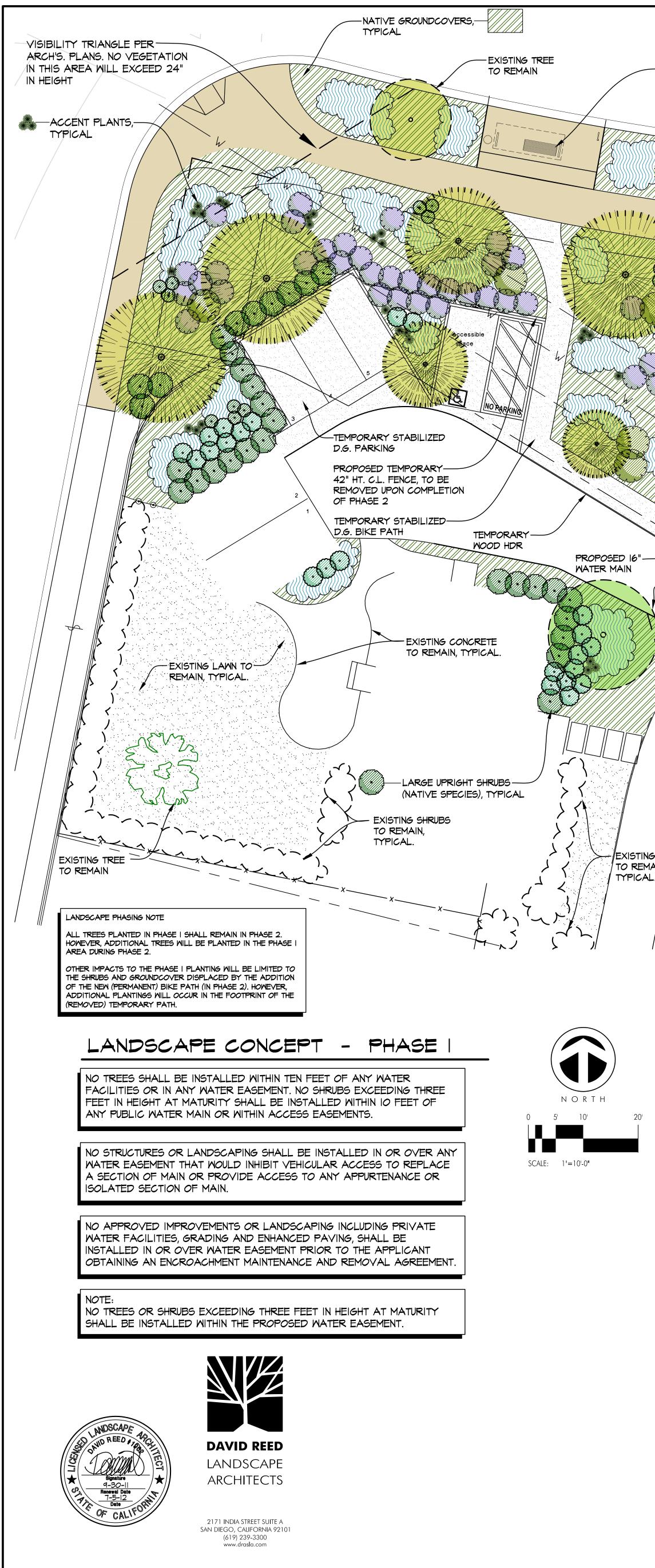
Street Vacation
Right of Way Dedication
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
Change of Occupancy Permit
Sustainable Expedite Program





Hillel of San Diego Street Vacation • Right of Way Dedication •La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations • Change of Use Permit • Sustainable Expedite Program





© 2010, M.W. Steele Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without expressed written permission from M.W. Steele Group, Inc.

		NOTES	S FOR PHASE I		
		ARE INTENDED , CONCEPT FOR 1 UPPER PORTION	HIS PLAN (I.E. IMPROVEMENTS AROUND THE EXISTING E AS TEMPORARY IMPROVEMENTS. THE PARTS THAT AR "HE OVERALL SITE (I.E. SIDEWALK AND STREETSCAPE OF THE PLAN) WILL REMAIN. TEMPORARY IMPROVEM BE REMOVED UPON COMPLETION OF PHASE 2.	E CONSISTENT WITH THE L ALONG LA JOLLA VILLA	ANDSCAPE SE AND THE
	MEDIUM FLOWERING SHRUBS, (NATIVE SPECIES), TYPICAL	3		TREE SEPARATION D	ISTANCE
			DOTING, AND SHALL BE FERTILIZED AS SIGNALS (STOP HORTICULTURAL PRACTICES. UNDERGROUND	ENT/MINIMUM DISTANCE TO STREET TH SIGNS) - 20 FEET UTILITY LINES - 5 FEET	REE, TRAFFIC
		PROFESSIONAL TRIM	RUNED IN ACCORDANCE WITH DRIVEWAY (ENT	O UTILITY STRUCTURES - 10 FEET IRIES) - 10 FEET (INTERSECTION CURB LINES OF TWO	STREETS) - 25 FEET
		TREE GUYS AND STA ADJUSTED PERIODIC	KE TIES SHALL BE INSPECTED ANDPLANTED IN PAALLY, AND REMOVED WHENMUST BE COVE	E AREAS FOR TREES: THE OPENINGS WED AREAS SHALL BE A MINIMUM 4 TER PERMEABLE. UNCONSOLIDATED 1 RED BY TREE GRATES OR UNATTACI	O SQUARE FEET IN MULCH MATERIALS
		SURROUNDING THE TR BRANCHES.	RE THAT THEY ARE ADEQUATELY EE WITHOUT GIRDLING TRUNKS OR	ON NOTES	
	(PROCUMBENT) SHRUBS	PASSAGEWAYS AND VEHICULAR TRAFFIC.	SIGHT DISTANCE VIEWS FOR THIS PROJECT HOWEVER, TO C	IS INTENDED TO AS A XERIPHYTIC L	
	(NATIVE SPECIES), TYPICAL	SHALL BE REMOVED,	AND OVERGROWN AREAS SHALL BE IRRIGATION SYS ECTIVE REMOVAL OF UNNECESSARY PRECIPITATION SPRINKLER HEA	BE IRRIGATED WITH A PERMANENT A STEM, USING DRIP IRRIGATION OR LC & PRECIPITATION MATCHED SPRINK NDS IN THE RIGHT-OF-WAY OR WITHI	DW LE HEADS. ALL N TWO FEET OF
	TORREY PINES (TYPICAL) - MIXED SIZES, CREATE	ENCLOSURES AND SE	SED FOR SCREENING TRASH RVICE AREAS SHALL BE PRUNED TO WHILE ALLOWING ACCESS TO THE	SHALL HAVE EXCESS FLOW VALVES CONTROLLED FROM EACH ADJACE	
	GROVE EFFECT	SHRUBS, TREES, AND YARD RESIDENTIAL I		ANCE NOTES	
	LOW GROWING FLOWERING - SHRUBS (NATIVE SPECIES, MAXIMUM HT. 30")	$-\{1,1,1,1,1,1,1,1,1,1,1,1,1,1,1,1,1,1,1,$	NOT INTERFERE WITH PEDESTRIANLANDSCAPE MT ENCROACH EXCESSIVELY ONTO THEAREAS OF THELANDSCAPE STLANDSCAPE ST	AINTENANCE SHALL BE PERFORMED SITE, PER THE CRITERIA OF THE CIT 'ANDARDS, AS WELL AS THE REQUIR MANUAL AND SPECIFICATIONS OF DA	TY OF SAN DIEGO EMENTS OF THE
			RESPONSIBLE F	RCHITECTS. T, HILLEL OF UCSD - LA JOLLA, SHAL FOR LONG TERM MAINTENANCE. CON "N, (858) 550-2210	
		STANDARDS OF THE CITY OF SAN DIEGO STANDARDS AND THE REGULATIONS AND A	IND IRRIGATION SHALL CONFORM TO THE CITY-WIDE LANDSCAPE REGULATIONS, THE AND DEVELOPMENT MANUAL LANDSCAPE I LA JOLLA SHORES PLANNED DISTRICT LL OTHER LANDSCAPE RELATED CITY AND DS AS OF THE APPROVED DATE OF THESE		
	PROPOSED 15' WATER EASEMENT PER CIVIL	FOR PROPER IRRIGA THE VEGETATION. THE	STEM SHALL BE PROVIDED AS REQUIRED TION, DEVELOPMENT AND MAINTENANCE OF E DESIGN OF THE SYSTEM SHALL PROVIDE FOR THE VEGETATION SELECTED.		
TO REMAIN, TYPICAL	PLANS. ISIBILITY TRIANGLE PER ARCH'S. PLANS. 2 VEGETATION IN THIS AREA WILL KCEED 24" IN HEIGHT	3. MAINTENANCE: ALL MAINTAINED FREE OF MATERIAL SHALL BE CONDITION. DISEASEI	. REQUIRED LANDSCAPE AREAS SHALL BE DEBRIS AND LITTER AND ALL PLANT MAINTAINED IN A HEALTHY GROWING O OR DEAD PLANT MATERIAL SHALL BE ATED OR REPLACED PER THE CONDITIONS		
	PLANT PALETTE -		*NOTE: THIS IS A NAT	VE PLANT LANDSC MATURE	CAPE
	SCIENTIFIC NAME STREET TREES - 100%-24" BOX	COMMON NAME	DESCRIPTION	HEIGHT/SPREAD	O.C. SPACING
	PINUS TORREYANA	TORREY PINE	LARGE AND OPEN WITH AGE. NATIVE PINE.	50' / 15'-20'	15'-0" MIN.
	TREES - 25%-24" BOX; 50%-15 GAL.; 25%-1 & 5 PINUS TORREYANA	GAL. TORREY PINE	LARGE AND OPEN WITH AGE. NATIVE PINE.	50' / 15'-20'	15'-0" MIN.
	LARGE UPRIGHT SHRUBS (NATIVE SPECIES) - 50 COMAROSTAPHYLIS DIVERSIFOLIA HETEROMELES ARBUTIFOLIA	%-5 GAL.; 50%-1 GAL. SUMMER HOLLY TOYON, HOLLYWOOD	EXCELLENT LARGE EVERGREEN SHRUB OR SMALL TREE (USU. 8-10' TALL GOOD WITH SUMMER WATER. MULTI-TRUNKED WITH LEATHERY DARK GREEN LEAVES. PRODUCES WHITE FLOWERS IN SPRING WITH RED	6'-10' / 6'-8' _). 2'-18' / 15'-20'	6'-0" 0'-0"
G SHRUBS	RHUS INTEGRIFOLIA XYLOCOCCUS BICOLOR	LEMONADE BERRY MISSION MANZANITA	BERRIES IN CLUSTERS DURING FALL AND WINTER. DENSE OLIVE GREEN FOLIAGE, NATIVE.	6'-12' / 6'-12' 3'-5' / 3'-5'	6'-0" 2'-6"
AIN,	MEDIUM FLOWERING SHRUBS (NATIVE SPECIES) - AMORPHA FRUITICOSA ARTEMISIA PYCNOCEPHALA 'DAVIDS CHOICE'	• 25%-5 GAL.; 75%-1 GAL. FALSE INDIGO HYBRID CALIFORNIA SAGEBRUSH	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	6'-8' / 6' 5"- 8" / 6'- 2'	5'-0" 2'-6"
	ENCELIA CALIFORNICA GALVESIA SPECIOSA	CALIFORNIA ENCELIA ISLAND BUSH SNAPDRAGON	YELLOW DAISY LIKE FLOWERS ON DEEP GREEN LEAVES.	3'-4' / 3'-4' 6'-8' / 8'-12'	30" 6'-0"
	ISOMERIS ARBOREA 'DORADO' MIMULUS PUNICEUS	BLADDER POD MONKEY FLOWER	YELLOW SPRAYS OF FLOWERS WITH INTERESTING PODS. YELLOW AND ORANGE FLOWERS.	3'-4' / 3'-5' 2' / 2'	0-0 2'-6"
	SALVIA 'WINIFRED GILMAN' SOLANUM XANTII	WINIFRED GILMAN HYBRID SAGE PURPLE NIGHTSHADE	I LEEUM AND URANGE I LUMENS.	4' / 4'-5' 2'-3' / 3'	3'-0" 2'-6"
	LOW SPREADING (PROCUMBENT) SHRUBS (NATIVI ARTEMISIA CALIFORNICA 'CANYON GRAY'		AL. VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER	15"-18" / 6'-12'	15"
	ARTEMISIA CALIFORNICA 'MONTARA' CEANOTHUS GRISEUS 'HORIZONTALIS'	HYBRID COASTAL SAGEBRUSH CARMEL CREEPER	WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM). ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY SPOTS).	'-2' / 3'-5' 8"-30" / 5'- 2'	2'-6" 4'-0"
	ERIOGONUM 'DANA POINT'	DANA POINT BUCKWHEAT	FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MU NOT BE OVERWATERED. PROSTATE FORM OF BUCKWHEAT, PINKISH FLOWER. HEADS OPEN TO		4'-0"
	IVA HAYESIANA	HAYES IVA	WHITE AND TURN RUSSET BROWN BY SUMMERS' END. DROUGHT TOLERANT GREEN GROUNDCOVER, ROOTS WELL.	2' / 5'	4'-0"
**	RIBES VIBURNIFOLIUM ZAUSCHNERIA CALIFORNICA 'CATALINA' ACCENT PLANTS	EVERGREEN CURRANT CATALINA CALIFORNIA FUCHSIA		2'-3' / 10' 12"-15" / 3'-4'	8' 2'-6"
***	YUCCA WHIPPLEI	OUR LORDS CANDLE	nATIVE, TRUNKLESS ROSETTE, NARROW GRAY LEAVES TO 2' LONG, SHAR 6' FLOWER SPIKE, PLANT DIES AFTER BLOOM, RESEEDS/OFFSETS READI		
	NATIVE GROUNDCOVERS (100% - ANY SIZE AVA	·			
	CAMISSONIA CHEIRANTHIFOLIA SSP. SUFFRUTICOSA CAMISSONIA CHEIRANTHIFOLIA CENTAURIUM VENUSTUM	SUN CUP (BEACH EVENING PRIMOSE) BEACH EVENING PRIMOSE CANCHALAGUA	YELLOW BEACH PRIMOSE. YELLOW BEACH PRIMOSE.		
	DUDLEYA EDULIS DUDLEYA LANCEOLATA LINANTHUS DIANTHIFLORUS	LIVE FOREVER LANCE LEAFED DUDLEYA GROUND PINK	LONG LEAVED GRAY GREEN SUCCULENT, FORMS UPRIGHT ROSETTE.		
	MONARDELLA SUBGLABRA SILENE LACINIATE	MINT BUSH MEXICAN PINK			
	SISYRINCHIUM BELLUM STIPA LEPIDA	BLUE-EYED GRASS FOOTHILL NEEDLE GRASS	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDI	NG.	
	LOW GROWING FLOWERING SHRUBS (NATIVE SPE	CIFS MAXIMIM LT 20"			
	ARCTOSTAPHYLOS INSULARIS 'JOHN DOURLEY' ARTEMISIA PYCNOCEPHALA 'DAVIDS CHOICE'	JOHN DOURLEY MANZANITA HYBRID CALIFORNIA SAGEBRUSH	SPREADING. VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES		4'-0" 2'-6"
	BACCHARIS PILULARIS 'PIGEON POINT' CEANOTHUS G. H. 'YANKEE POINT'	PIGEON POINT COYOTE BRUSH YANKEE POINT CARMEL CREEPER	SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLA AFTER 4 YEARS (IT LOSES FORM). EXCELLENT FIRE ZONE, NATURALIZED. USE AS DRIFTS. ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY	I2"/ 5' 24"-36"/ 6'	3'-6" 4'-6"
	Lotus scoparius	DEERWEED, BIRD'S FOOT TREFOIL	SPOTS). FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MUST NOT BE OVERWATERED.	24"/ 36"	2'-6"
	SALVIA MELLIFERA 'TERRA SECA'	TERRA SECA SAGE	PROSTRATE FORM OF BLACK SAGE.		4'-6"
				PHAS	5E1

NOTES EOR PHASE

Hillel of San Diego

- Street Vacation

- Change of Occupancy Permit
 Sustainable Expedite Program

M.W. STEELE GROUP, INC. 1805 NEWTON AVENUE | SUITE A SAN DIEGO | CA | 92113 TELEPHONE 619 230 0325 FACSIMILE 619 230 0335

www.mwsteele.com ARCHITECTURE | PLANNING

Hillel l of San Diego San Diego, California

Phase 1: 8976 Cliffridge Avenue La Jolla, California 92037

Phase 2:

Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive La Jolla, California 92037

Right of Way Dedication
 La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations

Street Vacation Right of Way Dedication La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations Change of Occupancy Permit Sustainable Expedite Program 0915 Project Number: June 8, 2010 Original Date: AS/AP Drawn: Checked: Revision 1: 06.08.10 Completeness Check 06.24.10 MIR Submittal Revision 2: Revision 3 Revision 4: Revision Revision Revision ⁻ Revision 8: Revision 9: Revision 10: Revision 11: Revision 12: _ NOT FOR CONSTRUCTION LANDSCAPE CONCEPT PLAN See Drawing Sheet No. 10 Of 19