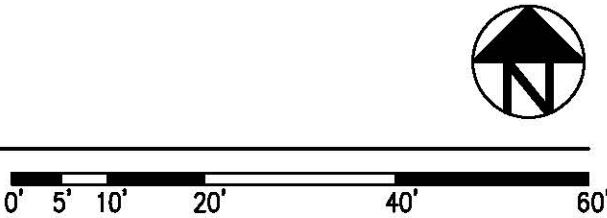


Abbreviations		Scope of Work	Project Calculations	Parking Calculations	Sheet Index
A.B. A.C. A.C.T. Acous. A.D. Add. Adj. A.F.F. Alt. Anod. Arch. B. Bd., Bo. Bet. Bldg. Blkg. Brn. B.N. Bot. Brg. Bamit. B.U. Cab. C.I. C.L. Cler. Cer. C.F.C.I. C.F.O.I. C.J. Cg. C.M.U. Cnc. Cnstr. Cont. Coar'd Corr. Ck. Cktr. C.T. C. d. Dbl. Demo. Dpt. Det. Dia. Diag. Diaph. Drinking Fountain or Douglin Fir Dim. D.M. Dead Load Dn. Downspout Dwg. Dwls. Dwr. E. Ea. E.C. E.B. E.J. E.L. Elev. Elec. Emer. Enc. Eng. Eq. Equip. E.W. Exh. Exp. Ext. Exst. F. F.B. F.D. F.F. Fin. Fin. Fr. Fdn. F.E. F.E.C. F.F.E. F.H.C. Fin. Flex. Fluor. F.N. F.O. F.O.B. F.O.C. F.O.M. F.O.P. F.O.S. Fp. Fl. F.S. Ga. Galv. G.I. G. G.L.B. Gy. Bd. H.B. H.C. Hdr. Hgr. H.M. Horiz. Hr. Ht. H.V.A.C. H.W. I.D. In. Incl. I.E. Insul. Int. Jan. Jst. Jt.	Klt. Lam. Lb.(s) L.B. L.L. L.L.H. L.L.V. Langlt. L.P. L.R. L.W.C. Max. Material Max. Mech. Membr. Met. or Mt. Metal Manufacturer Min. Minimum Misc. Miscellaneous Mounted N. N.I.C. Not In Contract No. Number Nom. Nominal N.T.S. Not to Scale O.C. On Center O.D. Outside Diameter O.F. Over Flow or Outside Face O.F.C.I. Owner Furnished, Contractor Installed O.F.O.I. Owner Furnished, Contractor Installed O.F.D.I. Owner Furnished, Contractor Installed O.H. Opposite Hand Opa. Opening Opp. Opposite Ond. Overhead P.C. Pre-Cast P.C. Plat. Plate P.L. Property Line Plbg. Plumbing Pnt. Paint Pwd. Plywood P.S.F. Pound(s) per Square Foot P.S.I. Pound(s) per Square Inch P.T. Painted P.T.S. Post Tension Slab Perim. Perimeter Perp. Perpendicular Plas. Plaster Plast. Plastic Qty. Quantity R. Rise or Riser R.C.P. Reflected Ceiling Plan R.D. Roof Drain Ref. Reference Reinf. Reinforcing Req.(d) Requires or Required Reqrnts. Requirements Resil. Resilient Ret.(ing) Ret. Revision Rev. Roofing Rm. Room R.O. Rough Opening R.O.W. Right of Way Rufus Point R.T.U. Roof Top HVAC Unit S. South S.C. Solid Core Sched. Schedule Sh. Sheet S.F. Square Feet Sim. Similar S.P. Stand Pipe Sp. Spacing Spec. Specification Sq. Square S.S. Stainless Steel Stagg. Staggered Std. Standard Stiff. Stiffened Str. Structural Stl. Steel Sup. Suspended Sym. Symmetrical T. Tread T. & G. Tongue and Groove Temp. Tempered Thr. Threshold T.J. Tooled Joint T.N. Toe Nail T.O. Top of (Item) T.O.C. Top of Curb or Top of Concrete T.O.D. Top of Drain T.O.F. Top of Footing T.O.P. Top of Parapet Topp. Topography T.O.R. Top of Roof T.O.S. Top of Slab T.O.W. Top of Wall Trans. Transverse Typ. Typical U.N.O. Unless Noted Otherwise U.B.C. Uniform Building Code Vac. Vacuum V.A.T. Vapor Barrier V.C.T. Vinyl Composition Tile Vent. Ventilation Ver. Vertical V.I.F. Verify in Field W. West Wd. Wood W.G. Wire Glass W.H. Water Heater Where Occurs W/O Without Wp. Waterproof W.P.J. Welded Plane Joint W.R. Water Resistant Wt. Weight W.W.F. Welded Wire Fabric Yd. Yard	The project consists of 2 phases of work. Phase 1: Includes the occupancy of Hillel of San Diego in the single family home located at 8976 Cliffridge Avenue. Phase 2: Includes the construction of 3 buildings totaling roughly 6,600 s.f. to be occupied as a new student center for Jewish students at the University of California San Diego. A 27 space surface parking lot is located along the east portion of the site. Also included in the phase 2 development is the construction of a park like amenity near the corner of La Jolla Village Drive and Torrey Pines Road. <div>Address & Site Information</div> <div>Phase 1: 8976 Cliffridge Avenue La Jolla, CA 92037</div> <div>Phase 2: Intersection of La Jolla Village Drive, La Jolla Scenic Way, and La Jolla Scenic Drive North</div> <div>Phase 1 Legal Description: Lot 67 of La Jolla Highlands unit no. 3, In the city of San Diego, county of San Diego, state of California, according to the map there of no. 3528, filed in the office of the County Recorder of San Diego County, October 19, 1956.</div> <div>Phase 1 Assessor's Parcel Number: 344-131-01</div> <div>Phase 2 Legal Description: Portion of Lot 1299, Miscellaneous Map 36, Pueblo Lands</div> <div>Phase 2 Assessor's Parcel Number: 344-120-26</div>	<div>Phase 1: Coverage Calculations: Per SDMC Section 142.0530 Table 142-05F: For Business and Professional Office Uses: 3.3 parking spaces per 1,000 s.f. of floor area: Gross House Area = 1,792 s.f. 1,792 s.f. / 1,000 s.f. = 1.792 x 3.3 = 5.9 = 6 spaces required</div> <div>Temporary Parking Provided: 5 standard parking spaces 1 van accessible parking space 6 total parking spaces (Refer to sheet A2.00)</div> <div>Permanent Motorcycle Parking Required: Per SDMC Section 142.0530(i): 25% of the minimum number of automobile parking spaces required or 2 spaces, whichever is greater. 6 automobile spaces required. 6 x 0.02 = 0.12 spaces < 2 spaces 2 motorcycle spaces required</div> <div>Motorcycle Parking Proposed: 2 motorcycle spaces proposed</div> <div>Bicycle Parking Required: Per SDMC Section 142.0530 Table 142-05F: 0.03 bike spaces per 1,000 s.f. of floor area and 0.03 bike lockers with shower per 1,000 s.f. or 2 spaces, whichever is greater. 1,792 s.f. gross house area. 1,792 s.f. / 1,000 s.f. = 1.792 x 0.03 = 0.05 spaces < 2 spaces 2 bicycle spaces required 1,792 s.f. / 1,000 s.f. = 1.792 x 0.03 = 0.05 bicycle lockers < 2 spaces 2 bicycle lockers required</div> <div>Bicycle Parking Proposed: 4 bicycle spaces proposed</div>	<div>Phase 1: Coverage Calculations: Per SDMC Section 142.0530 Table 142-05F: For Business and Professional Office Uses: 3.3 parking spaces per 1,000 s.f. of floor area: Gross House Area = 1,792 s.f. 1,792 s.f. / 1,000 s.f. = 1.792 x 3.3 = 5.9 = 6 spaces required</div> <div>Temporary Parking Provided: 5 standard parking spaces 1 van accessible parking space 6 total parking spaces (Refer to sheet A2.00)</div> <div>Permanent Motorcycle Parking Required: Per SDMC Section 142.0530(i): 25% of the minimum number of automobile parking spaces required or 2 spaces, whichever is greater. 6 automobile spaces required. 6 x 0.02 = 0.12 spaces < 2 spaces 2 motorcycle spaces required</div> <div>Motorcycle Parking Proposed: 2 motorcycle spaces proposed</div> <div>Bicycle Parking Required: Per SDMC Section 142.0530 Table 142-05F: 0.03 bike spaces per 1,000 s.f. of floor area and 0.03 bike lockers with shower per 1,000 s.f. or 2 spaces, whichever is greater. 1,792 s.f. gross house area. 1,792 s.f. / 1,000 s.f. = 1.792 x 0.03 = 0.05 spaces < 2 spaces 2 bicycle spaces required 1,792 s.f. / 1,000 s.f. = 1.792 x 0.03 = 0.05 bicycle lockers < 2 spaces 2 bicycle lockers required</div> <div>Bicycle Parking Proposed: 4 bicycle spaces proposed</div>	<div>Architectural A2.00 Title Sheet/Sheet Index/Project Data & Calculations A1.00 Existing Site Plan A1.01 Phasing Plan A1.02 Proposed Site Plan A1.03 Accessibility Plans Civil C1 Existing Topography C2 Proposed Street Vacation, Street and Utility Easement Dedications C3 Existing and Proposed Boundaries C4 Conceptual Grading Plan Landscape L-1 Landscape Concept Plan L-2 Landscape Concept Plan L-3 Landscape Concept Plan Architectural A2.00 Phase 1: Temporary Parking Plan (During Construction of Phase 2) Omit Sheet A2.02 Phase 2: Enlarged Courtyard & Surface Parking Plan A2.03 Phase 2: Ground Floor Building Plans A2.04 Phase 2: Second Floor Building Plan A2.05 Phase 2: Roof Plan A3.00 Building Elevations A4.00 Site/Building Sections</div> <div>Project Team Directory</div> <div>Owners Site 653 Hillel of San Diego 8976 Cliffridge Ave., La Jolla, CA 92037 Contact: Robert Lapidus; Phone: 858.357.4746; E-mail: rlapidus@herap.com 8976 Cliffridge Ave. Robert Marshall, property owner Contact: Robert Lapidus; Phone: 858.357.4746; E-mail: rlapidus@herap.com Architect MW Steele Group, Inc. 1805 Newton Ave., Suite A, San Diego, CA 92113 Contact: Ken Walker; Phone: 619.230.0325; Fax: 619.230.0335; E-mail: ken@mwsteele.com Civil Engineer The Paul Design Group 915 Camino Del Mar, Suite 225, Del Mar, CA 92014 Contact: Brad Sager; Phone: 858.350.5845; Fax: 858.350.9745; E-mail: brad@thepauldesign.com Landscape Architect David Reed Landscape Architects 6280 Riverdale St., San Diego, CA 92101 Contact: Angelina Solatis; Phone: 619.239.3300; Fax: 619.239.3341; E-mail: angelina@drola.com Geotechnical Southern California Soils & Testing 6280 Riverdale St., San Diego, CA 92120 Contact: Dan Adler; Phone: 619.280.4321; Fax: 619.280.4717; E-mail: dodler@sccst.com Traffic Lincoatt, Low & Greenspan, Engineers 4542 Ruffin St., Suite 100, San Diego, CA 92111 Contact: John Boorman; Phone: 858.300.8800; Fax: 858.300.8810; E-mail: boorman@jenginers.com Biology Recon 1927 Fifth Avenue, San Diego, CA 92101 Contact: Bobbi Herdes; Phone: 619.308.9333; Fax: 619.308.9334; E-mail: bherdes@recon-us.com Noise Recon 1927 Fifth Avenue, San Diego, CA 92101 Contact: Bobbi Herdes; Phone: 619.308.9333; Fax: 619.308.9334; E-mail: bherdes@recon-us.com Archaeology Brian F. Smith and Associates 14010 Poway Rd., Suite A, Poway, CA 92064 Contact: Brian Smith; Phone: 858.484.0915; Fax: 858.679.9896; E-mail: bsmith@bfsa-ca.com Energy Consulting Alliance Consulting Engineers, Inc. 9665 Chesapeake Dr., Suite 365, San Diego, CA 92123 Contact: Tamara Bodewenhorn-Gonyea; Phone: 858.268.2323; Fax: 858.279.2626; E-mail: tamara@alliance-engineers.com</div>
General Notes		Symbols	Vicinity Map		
1. Do not scale drawings. Notify architect immediately of any discrepancies 2. All work shall comply with applicable codes including but not limited to the UBC, UFC, UFG, UEC, CAC, CBC, FHA, and ADA. 3. These drawings are divided into sections for convenience only. 4. All dimensions shall take precedence over scale shown on plans, sections, and details. Dimensions are to face of studs or slab unless noted otherwise on drawings. 5. All larger scale drawings & details shall take precedence over those of smaller scale. 6. All existing site items including curb, walks, ramps, etc. are HCA compliant, subject to field verification. 7. Address shall be provided for all new and existing buildings in a position as to be plainly visible and legible from the street or road fronting the property. (CFC 801.4.4) 8. All required permits must be obtained from the fire plan check before the building is occupied. 9. At least one fire extinguisher with a minimum rating of 2~9-10bc shall be provided within 75 feet maximum travel distance for each 6,000 s.f. or portion thereof. (CFC sec.1002, UFG standard 10-1, Cal. Code regs., title 19, sec. 3.29) 10. All existing structures to be upgraded as required to meet all applicable CBC requirements if not currently in conformance. 11. The single family house for Phase 1 will be brought up to code at the time of building permit submittal including wall and opening protection for the intended temporary commercial use. 12. In the event that the existing single family garage is utilized for accessible parking, the minimum vertical clearance will be 8'-2". 13. During the building permitting phase the single family garage will be evaluated for its feasibility of housing the accessible parking space with regards to it possibly being deemed an unreasonable hardship, due to its short term use and its anticipated return to a single family residential garage upon the completion of Phase 2.		<div>Dimension</div> <div>Drawing Title</div> <div>Detail Reference</div> <div>Room Name</div> <div>Room Tag</div> <div>Room Number</div> <div>Finish Type</div> <div>Section Cut</div> <div>Exterior Elevation Reference</div> <div>Keynote</div> <div>Deviation</div> <div>Elevation</div> <div>Slope</div>	<div>University of California San Diego Campus</div> <div>Project Site</div> <div>La Jolla Village Drive</div> <div>Cliff Drive</div> <div>Vista La Jolla Drive</div> <div>Interstate 5</div> <div>No to Scale</div> <div>This parcel of land is located in an area identified as the La Jolla Shores Planned District in the La Jolla Community Plan (LJCP). It is formerly city land, and the city has subsequently sold the land to Hillel of San Diego pursuant to City Council Resolution R-301433. The land is designated for residential land use in the La Jolla Community Plan, and in the La Jolla Shores Planned District, "Churches, temples, or buildings of a permanent nature, used primarily for religious purposes" are consistent with that designation.</div>		



1 Existing Site Plan
scale: 1" = 20'-0"



Hillel Center for Jewish Life

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Existing Site Plan Notes

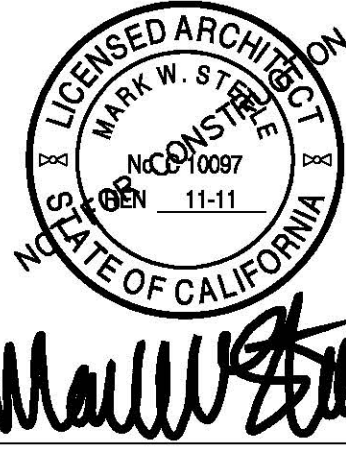
- Existing paving to be removed.
- Refer to Landscape drawings for existing trees to be saved, typ.
- Diagonally hatched area is public right of way to be vacated.
- Existing curb to be removed.
- Existing bus stop location.
- Existing pedestrian ramp to remain.
- Existing driveway to be relocated.
- Easement reservation for storm drain.
- Existing property line.
- Existing stop sign to be removed.
- Existing median to remain.
- Existing vacant site to be developed as Phase 2.
- Existing single family house currently occupied by Hillel of San Diego as office use. To be temporarily developed as part of Phase 1. Refer to Phase 1 plans.
- Existing fire hydrant.

General Notes

- There are no sidewalks surrounding the existing property along La Jolla Scenic Way and La Jolla Scenic Drive North. There is one existing sidewalk along La Jolla Village Drive.
- Refer to Civil drawings for more information regarding all easements.
- Refer to Civil drawings for existing fire hydrant locations.

Legend

Property line	---
Street/R.O.W. centerline	---
R.O.W. vacation boundary	---
Existing property (Phase 2)	
City of San Diego right of way to be vacated	
Existing easement to remain. Refer to notes for specific conditions.	



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ARCHITECTURE | PLANNING

Hillel Center for Jewish Life San Diego, California

Phase 1:
8976 Cliffridge Avenue
La Jolla, California 92037

Phase 2:
Intersection of La Jolla Scenic Way,
La Jolla Village Drive
and La Jolla Scenic Drive
La Jolla, California 92037

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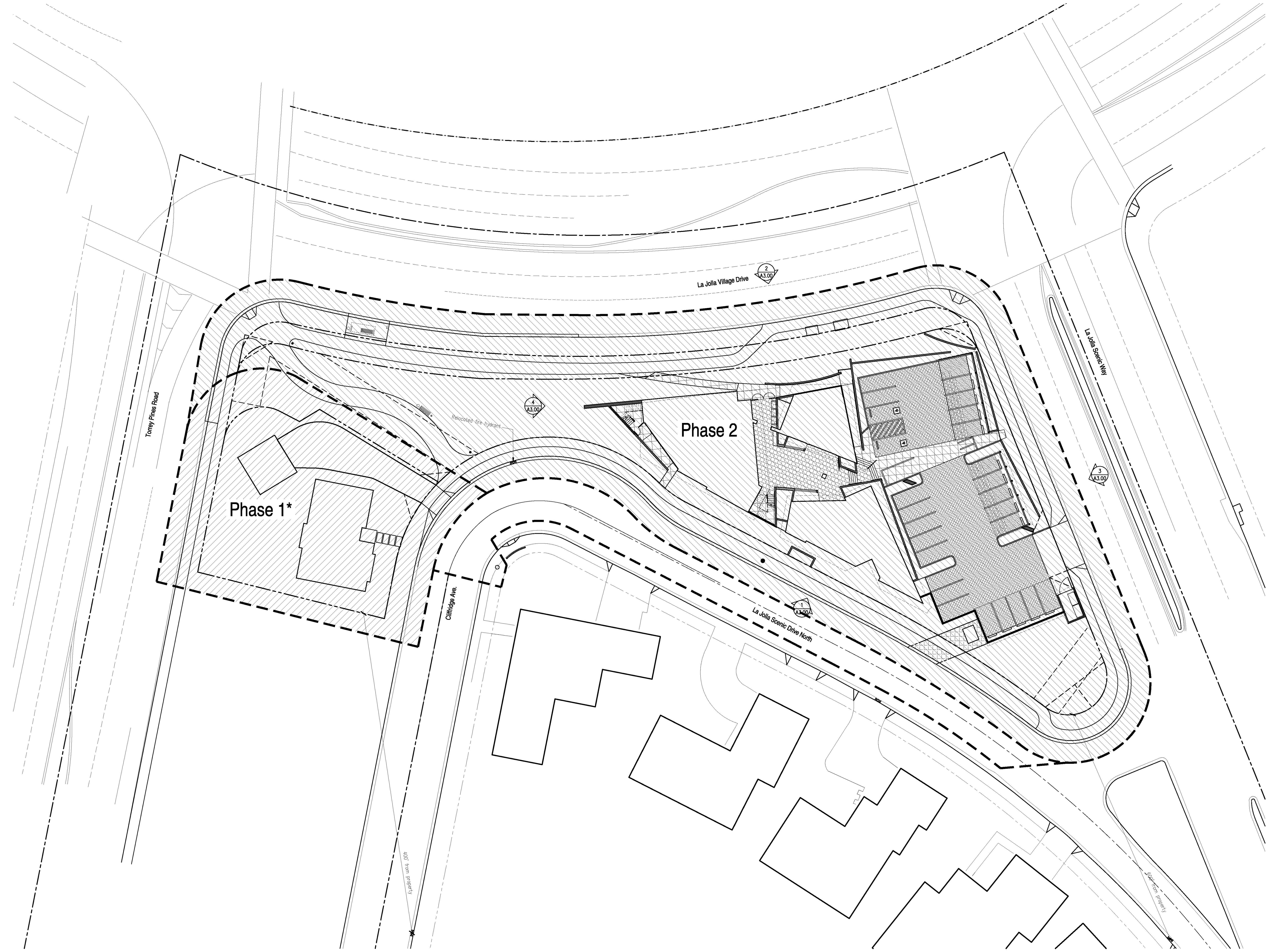
Project Number	0915
Original Date	June 8, 2010
Drawn	KW
Checked	KW

Revision 1:	06.08.10 Completeness Check
Revision 2:	08.24.10 MFR Submittal
Revision 3:	10.16.12 Revisions Cycle 50
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

NOT FOR CONSTRUCTION

Existing Site Plan

1" = 20'-0"

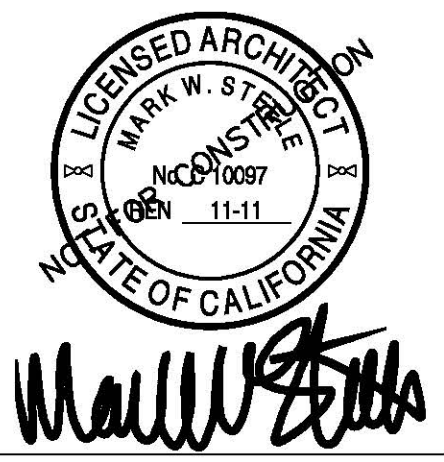


Hillel Center for Jewish Life

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Phasing Plan Notes

-	
Legend	
Approximate Phase 1 Boundary	
Approximate Phase 2 Boundary	



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Hillel Center for Jewish Life
San Diego, California

Phase 1:
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La Jolla, California 92037

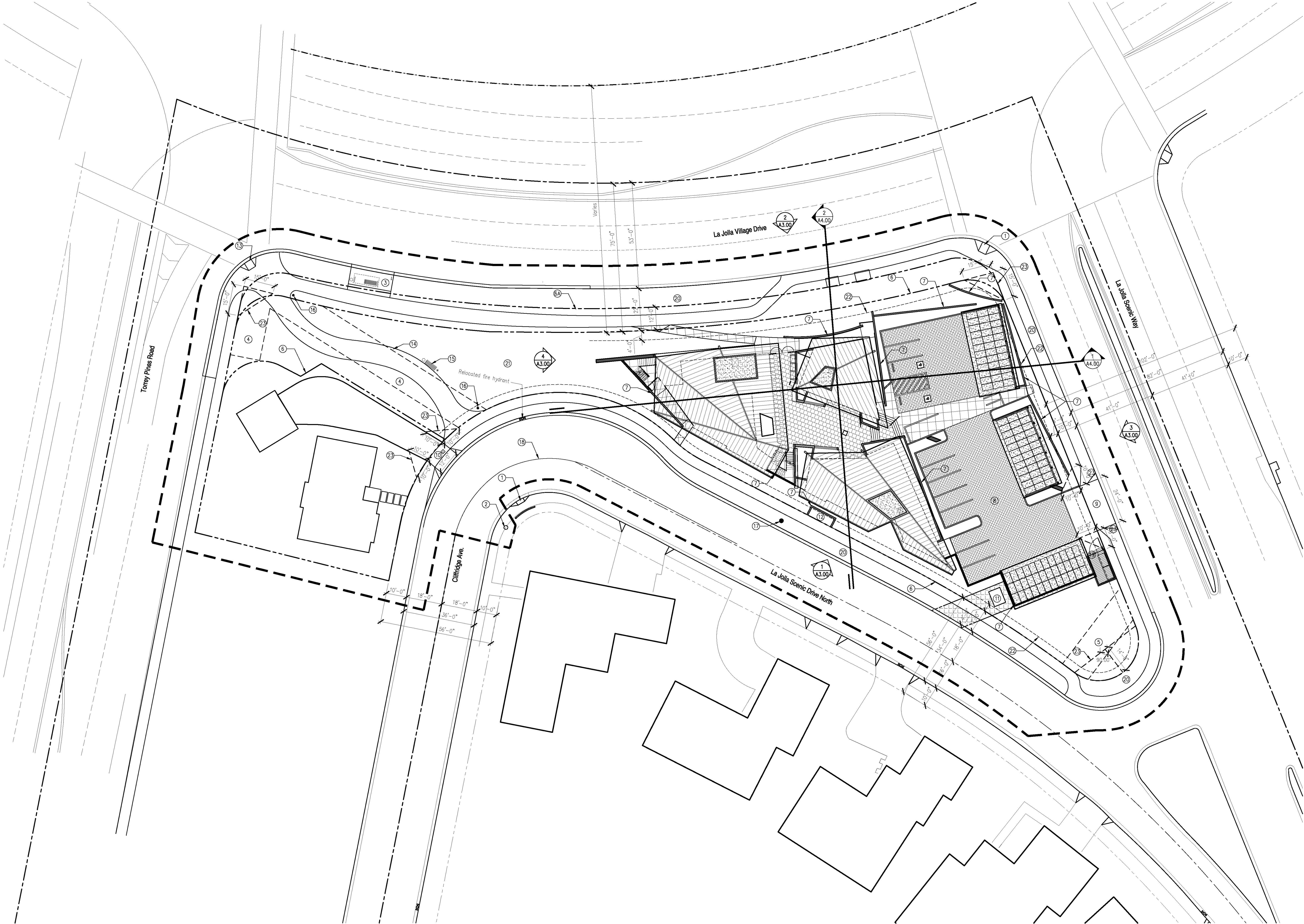
Phase 2:
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NOT FOR CONSTRUCTION

Site Phasing Plan
1" = 20'-0"

A1.01

General Notes				Legend
1. Refer to the Civil drawings for existing/proposed utilities, BMP requirements, and site work.	6. For all existing and proposed R.O.W. widths, property line definitions, and curb to property line distances refer to Civil drawings (existing and proposed boundary exhibits provided by civil engineer).	9. New building (Phase 2) will be fire sprinklered in accordance with requirements of the 2007 CBC & NFPA 13.	14. No objects higher than 36 inches may be proposed in the visibility areas. If any portion of the visibility areas lies within the public right of way, no vegetation in these areas will exceed 24 inches in height.	Property line
2. Condition of permit: any sign design must comply with sign design regulations in LDC Chapter 14, Article 2, Division 12. (LDC 14.3.0410(g))	7. For all proposed sidewalk and easement widths refer to Civil drawings (conceptual grading plan provided by civil engineer).	10. Refer to Civil drawings for proposed fire hydrant locations.		Easement line
3. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS policy (UFC 901.4.4)	8. City of San Diego to verify all proposed street striping and street signage locations, along La Jolla Scenic Drive North and Cliffridge Avenue, prior to the issuance of building permit.	11. Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC 901.4.4)		Limit of work line
4. For plan dimensions refer to Architectural building plan sheets.		12. Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structure. (UFC 1001.4)		
5. Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structures. (UFC 1001.4)		13. Provide fire access roadway signs or red curbs in accordance with FHPS Policy A-00-1		



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Proposed Site Plan Notes

- Existing pedestrian ramp to remain.
- Existing stop sign to be removed.
- Existing bus stop location.
- New utility easement, refer to Civil drawings for more information
- Easement reservation for storm drain, refer to Civil drawings for more information.
- Adjusted property line.
- New property line.
- New site wall. Refer to Civil drawings for top and bottom of wall elevations.
- New surface parking lot for required off street parking.
- New 24'-0" driveway and curb cut.
- New residential driveway and curb cut for Phase 1.
- Proposed transformer location.
- Proposed backflow preventer location.
- New pedestrian ramp.
- New bicycle and pedestrian path.
- 3 seat bench, trash can, and drinking fountain location.
- Bike path signage in accordance with sign criteria established by the La Jolla Shores Planned District Ordinance.
- Proposed "W1-1" (left) sign posted before curve. Refer to general note below.
- Proposed double-yellow street striping centered in street. Refer to general note below.
- Trash and recycling enclosure.
- New sidewalk and/or landscaped parkway.
- Proposed "park like" amenity.
- 4'-0" sideyard setback line per San Diego Municipal Code.
- Visibility Area Triangles per SDMC Sec. 113.0273, diagram 113-02RR for street intersections and driveways. See General Note 14.



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Hillel Center for Jewish Life
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Phase 1:
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NOT FOR CONSTRUCTION

Phase 2:
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Proposed Site Plan
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A1.02

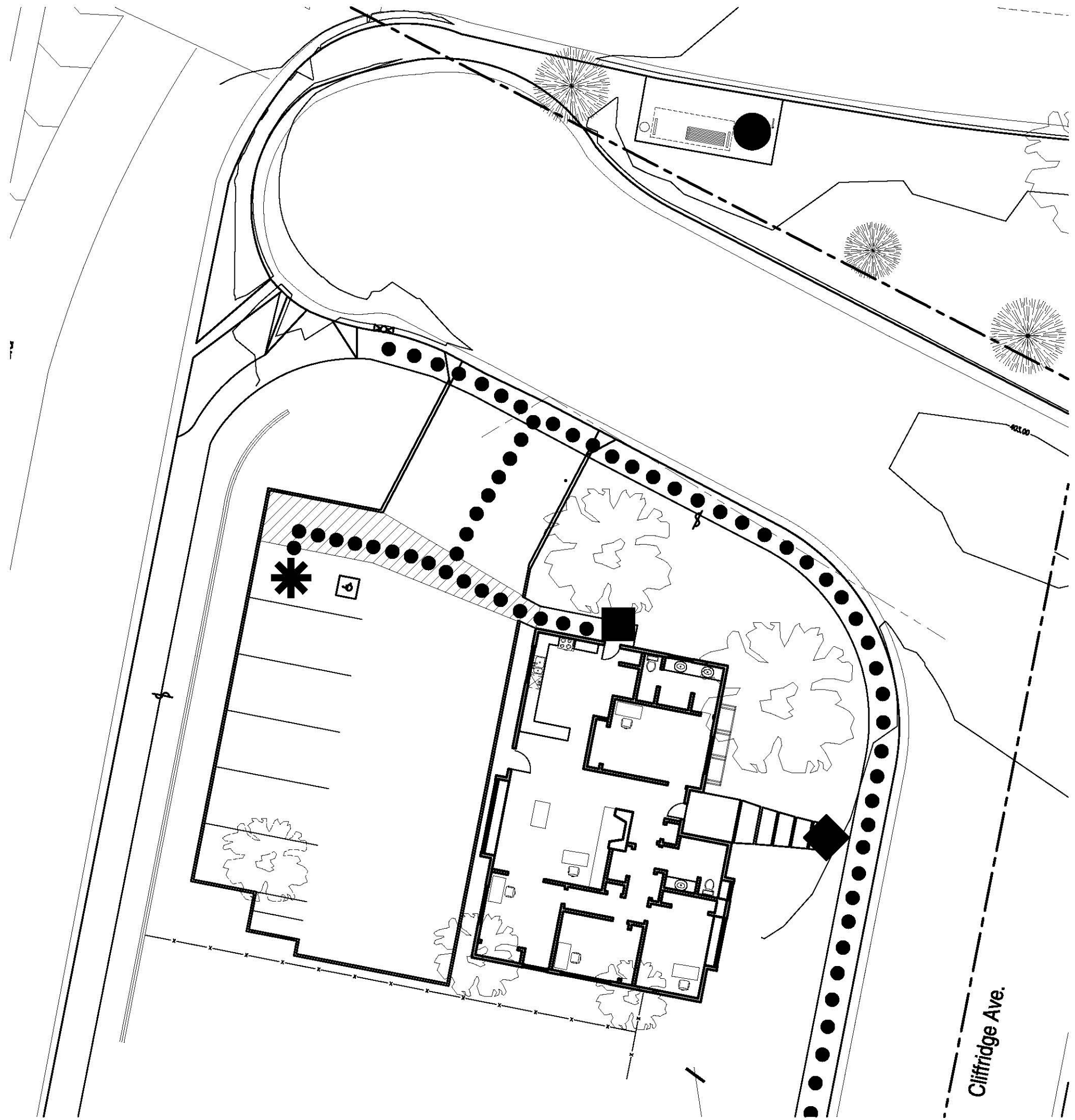
Hillel Center for Jewish Life

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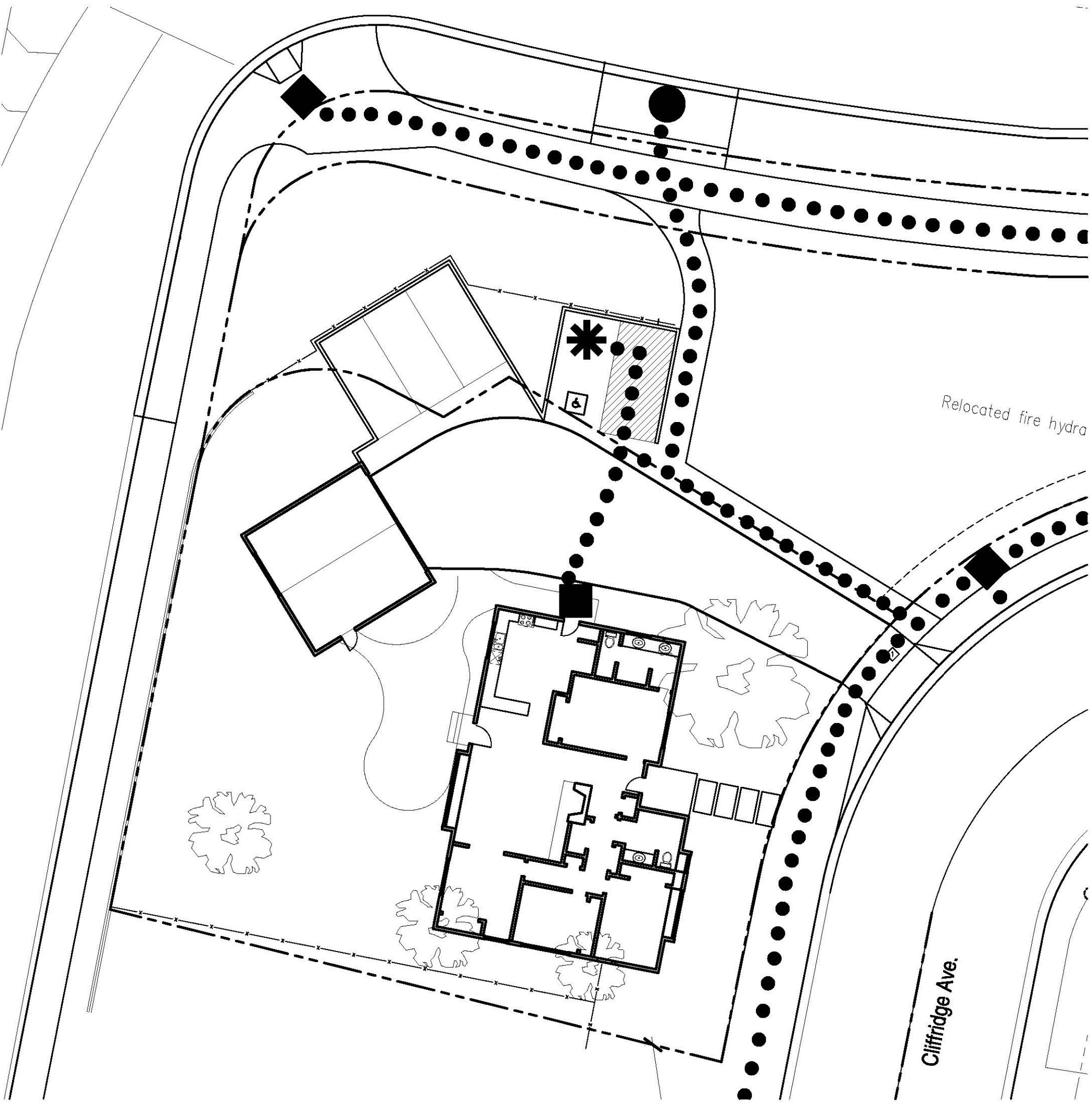
Accessibility Legend

- Bus stop
- Accessible path of travel
- Accessible entry
- Elevator
- Accessible parking space
- Accessible Curb Ramp
- Accessible parking striping

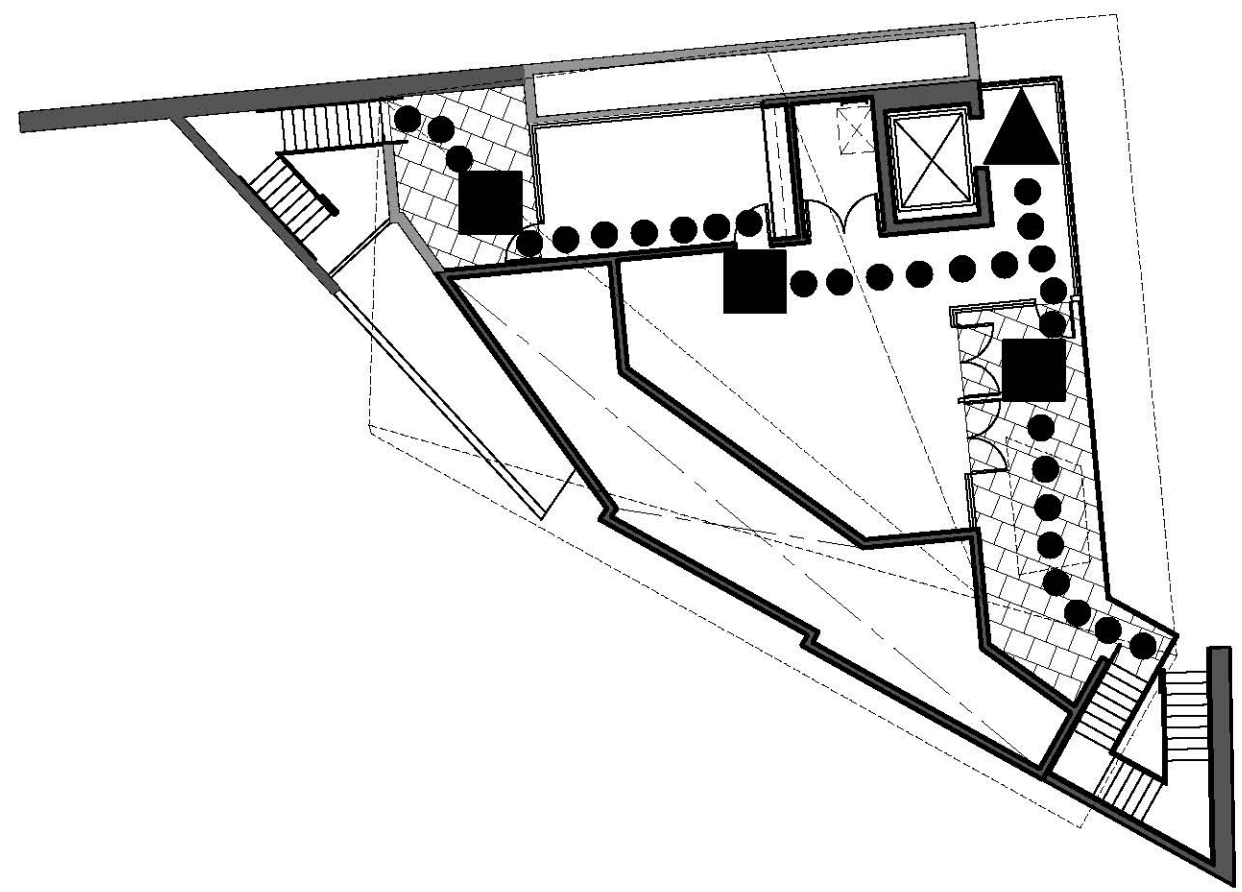
NOTE: Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. (Sec. 1127B.1). When more than one route of travel is provided, all routes must be accessible (Sec. 1114B.1.2).



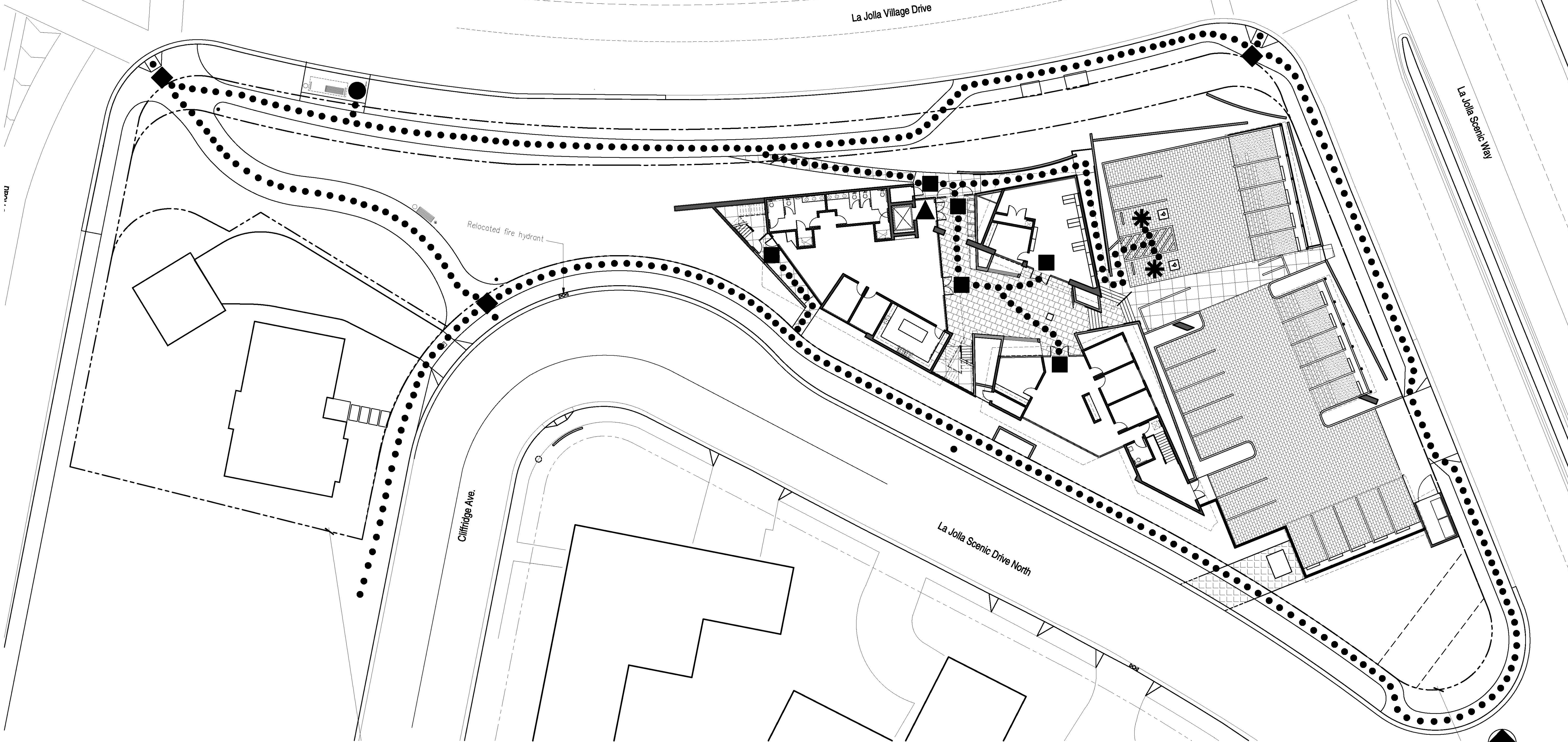
4 Existing With Improvements Accessibility Plan
scale: 1/16" = 1'-0"



3 Phase 1: Temporary Parking Accessibility Plan
scale: 1/16" = 1'-0"



2 Phase 2: Second Floor Accessibility Plan
scale: 1/16" = 1'-0"



1 Phase 2: Ground Floor Accessibility Plan
scale: 1/16" = 1'-0"



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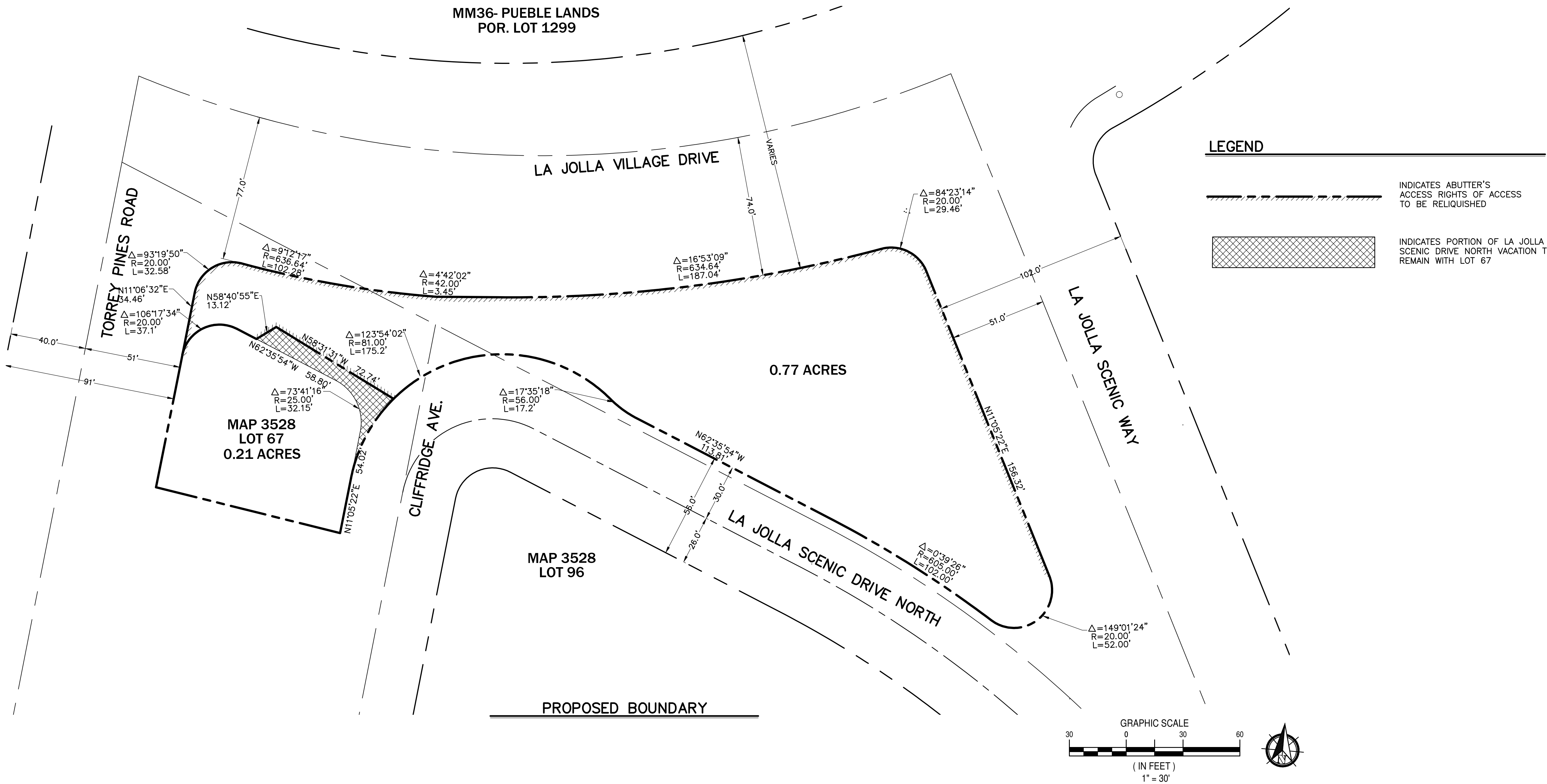
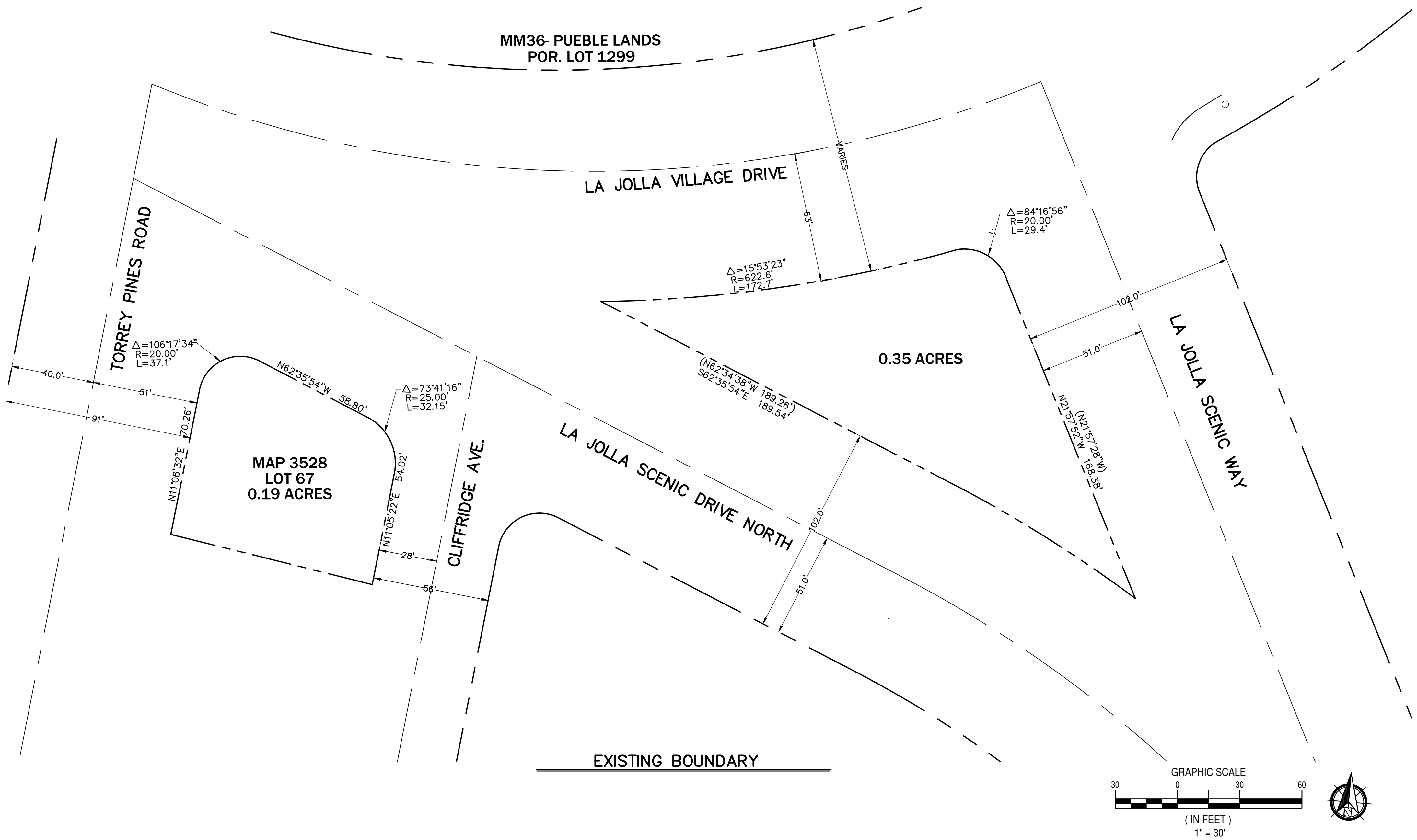
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Accessibility Plans
1/16" = 1'-0"

A1.03

Hillel Center for Jewish Life

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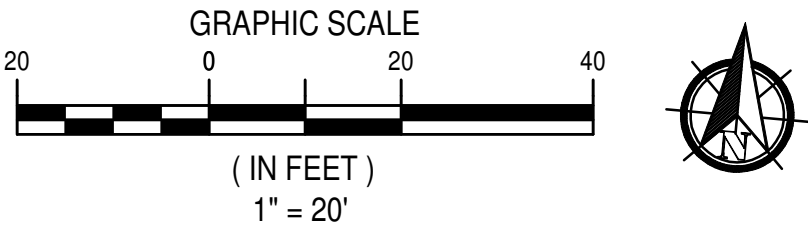
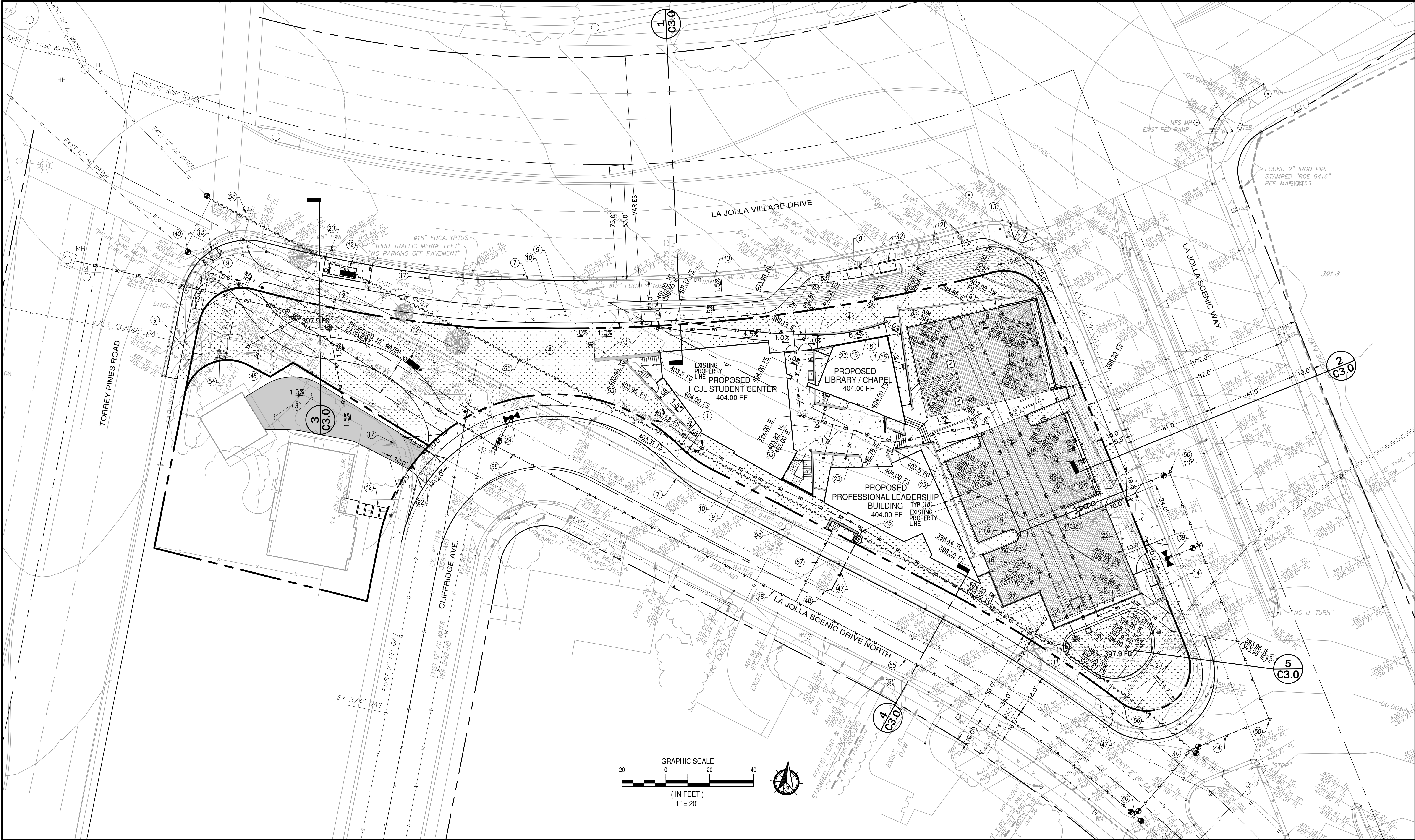
ARCHITECTURE PLANNING	
Revision 1:06.08.10	Completeness Check
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Revision 4:	
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Phase 1:
8976 Cliffridge Avenue
La Jolla, California 92037

Phase 2:
Intersection of La Jolla Scenic Way,
La Jolla Village Drive
and La Jolla Scenic Drive
La Jolla, California 92037

EXISTING & PROPOSED
BOUNDARY

C1.0



LEGEND

	EXISTING PROPERTY LINE		NEW DCA WITH PIV, FDC
	PROPOSED NEW PROPERTY LINE		PROPOSED WATER LINE
	EXISTING CENTERLINE		PROPOSED SEWER LINE
	CONSTRUCTION FENCE		PROPOSED FIRE HYDRANT
	EXISTING SITE FENCE		PROPOSED WATER METER
	EXISTING CONTOURS		PROPOSED BACKFLOW ASSEMBLY
	EXISTING SPOT ELEVATION		
	EXISTING BUILDING		
	EXISTING TREE		
	EXISTING WALL		
	PROPOSED STORM DRAIN INLET		
	PROPOSED AREA DRAIN		
	PROPERTY LINE		
	LIMIT OF WORK		
	EXISTING BLOCK WALL		
	EXISTING CONTOURS		
	EX . WATER LINE		
	EX . SEWER LINE		
	EX . STORM DRAIN		
	EX . FIRE HYDRANT		
	EXISTING BUILDING		
	EXISTING TREE		
	EXISTING WATER VALVE		

DEFINED TERMS:

AB	- AGGREGATE BASE	NTS	- NOT TO SCALE
AC	- ASPHALT CONCRETE	PCC	- PORTLAND CEMENT CONCRETE
BC	- BACK OF CURB	PL	- PROPERTY LINE
CF	- CURB FACE	R	- RADIUS
CL	- CENTERLINE	RL	- RIDGE LINE
E	- EAST	R/W	- RIGHT-OF-WAY
E'LY	- EASTERLY	S	- SEWER OR SOUTH STANDARD
EP	- EDGE OF PAVEMENT	TC	- TOP OF CURB
EX	- EXISTING	TG	- TOP OF GRATE
FF	- FINISHED FLOOR	IE	- INVERT ELEVATION
FG	- FINISHED GRADE	O.C.	- ON CENTER
FL	- FLOW LINE	W	- WATER OR WEST
FS	- FINISHED SURFACE	WLY	- WESTERLY
GB	- GRADE BREAK	XXX.XX	- PROPOSED ELEVATION (XXX.XX)
HI PT	- HIGH POINT		
INV	- INVERT		
MH	- MANHOLE		
N	- NORTH		

BENCHMARK:

CITY OF SAN DIEGO BENCH MARK ON S.E. CURB AT LA JOLLA SCENIC & LA JOLLA VILLAGE DR. ELEV.=388.554

EARTHWORK:

FILL: 225 C.Y.
CUT: 870 ± C.Y.
EXPORT: 645 ± C.Y.

UTILITY NOTES

THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES NOT CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

GRADING, PAVING & UTILITY NOTES

- 1

PROPOSED SIDEWALK/PCC
- 2

PROPOSED BIORETENTION AREA
- 3

PROPOSED AC PAVING
- 4

PROPOSED LANDSCAPE
- 5

PROPOSED PERVIOUS PAVERS
- 6

PROPOSED 6" CURB
- 7

PROPOSED CURB AND GUTTER
- 8

PROPOSED RETAINING WALL
- 9

PROPOSED PUBLIC SIDEWALK
- 10

PROPOSED PUBLIC PARKWAY
- 11

PROPOSED RIP RAP
- 12

PROPOSED SITE FEATURE PER ARCH. PLANS
- 13

PROPOSED CURB RAMP PER CITY STANDARDS
- 14

PROPOSED TRASH ENCLOSURE
- 15

PROPOSED ACCESSIBLE RAMP WITH HANDRAILS
- 16

PROPOSED STRIPING
- 17

EXISTING STREET SIGNS TO BE RELOCATED
- 18

PROPOSED 4" PVC RISER WITH ATRIUM GRATE
- 19

EXISTING WALL TO REMAIN
- 20

EXISTING CURB, GUTTER AND PAVEMENT TO BE REMOVED
- 21

EXISTING UTILITY BOXES TO REMAIN
- 22

PROPOSED NEW DRIVEWAY PER CITY STANDARD
- 23

PROPOSED PLANTERS
- 24

PROPOSED WHEEL STOP
- 25

CLEAR AREA BASED ON VISIBILITY TRIANGLE
- 26

PROPOSED STORM DRAIN CLEANOUT
- 27

PROPOSED NEW TRANSFORMER
- 28

PROPOSED NEW 16" WATERLINE ROUTE
- 29

RELOCATED FIRE HYDRANT
- 30

NOT USED
- 31

PROPOSED 6" SUBDRAIN CLEANOUT
- 32

PROPOSED MODIFIED A-4 STORM DRAIN CLEANOUT
- 33

PROPOSED 12" STORM DRAIN
- 34

PROPOSED STORM DRAIN INLET
- 35

PROPOSED A-4 STORM DRAIN CLEANOUT
- 36

PROPOSED 4" STORM DRAIN
- 37

NOT USED
- 38

PROPOSED FDC/PIV PER CITY STANDARD
- 39

PROPOSED FIRE HYDRANT PER CITY STANDARD
- 40

CONNECT TO EXISTING WATER LINE
- 41

PROPOSED DCA PER CITY STANDARD
- 42

PROPOSED UTILITY VAULTS
- 43

PROPOSED 8" FIRE SERVICE
- 44

PROPOSED 8" WATER LINE
- 45

PROPOSED POINT OF CONNECTION - SEWER
- 46

EXISTING FIRE HYDRANT TO BE RELOCATED
- 47

PROPOSED 6" SEWER SERVICE
- 48

CONNECT TO EXISTING 8" PUBLIC SEWER
- 49

PROPOSED STORM WATER DETENTION FACILITY
- 50

PROPOSED THRUST BLOCK
- 51

CONNECT TO EXISTING STORM DRAIN
- 52

PROPOSED 24" CATCH BASIN
- 53

PROPOSED 12" CATCH BASIN
- 54

EXISTING POWER POLE TO REMAIN
- 55

REMOVE EXISTING 8" PUBLIC WATERLINE
- 56

REMOVE EXISTING 12" PUBLIC WATERLINE
- 57

PROPOSED 2" WATER METER WITH BACKFLOW
- 58

EXISTING STREET LIGHT TO BE RELOCATED
- 59

EXISTING STREET LIGHT TO BE REMAIN

Hillel Center for Jewish Life

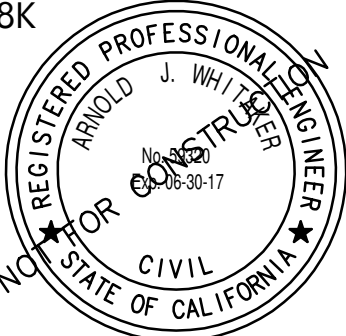
- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

PROJECT INFORMATION:

OWNER :	HILLEL OF SAN DIEGO 8976 CLIFFRIDGE AVENUE LA JOLLA, CA 92037 858-550-1792
LOT AREA :	1.43X ACRE (±70,416 SF)
DISTURBED AREA:	1.43X ACRE
SITE ADDRESS :	PHASE 1: 8976 CLIFFRIDGE AVENUE LA JOLLA, CALIFORNIA 92037 PHASE 2: INTERSECTION OF LA JOLLA SCENIC WAY, LA JOLLA VILLAGE DRIVE AND LA JOLLA SCENIC DRIVE LA JOLLA, CALIFORNIA 92037
APN NO. :	344-131-01, 344-120-26
FLOOD ZONE :	X (OTHER AREAS)
MAP # :	06073C0734H



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Street Vacation
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Sustainable Expedite Program

1805 NEWTON AVENUE | SUITE A
SAN DIEGO | CA | 92113
TELEPHONE 619 230 0325
FACSIMILE 619 230 0335
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ARCHITECTURE | PLANNING

Project Number:	0915
Original Date:	June 8, 2010
Drawn:	
Checked:	

Revision 1:	06.08.10_Completeness Check
Revision 2:	06.24.10_MIR_Submittal
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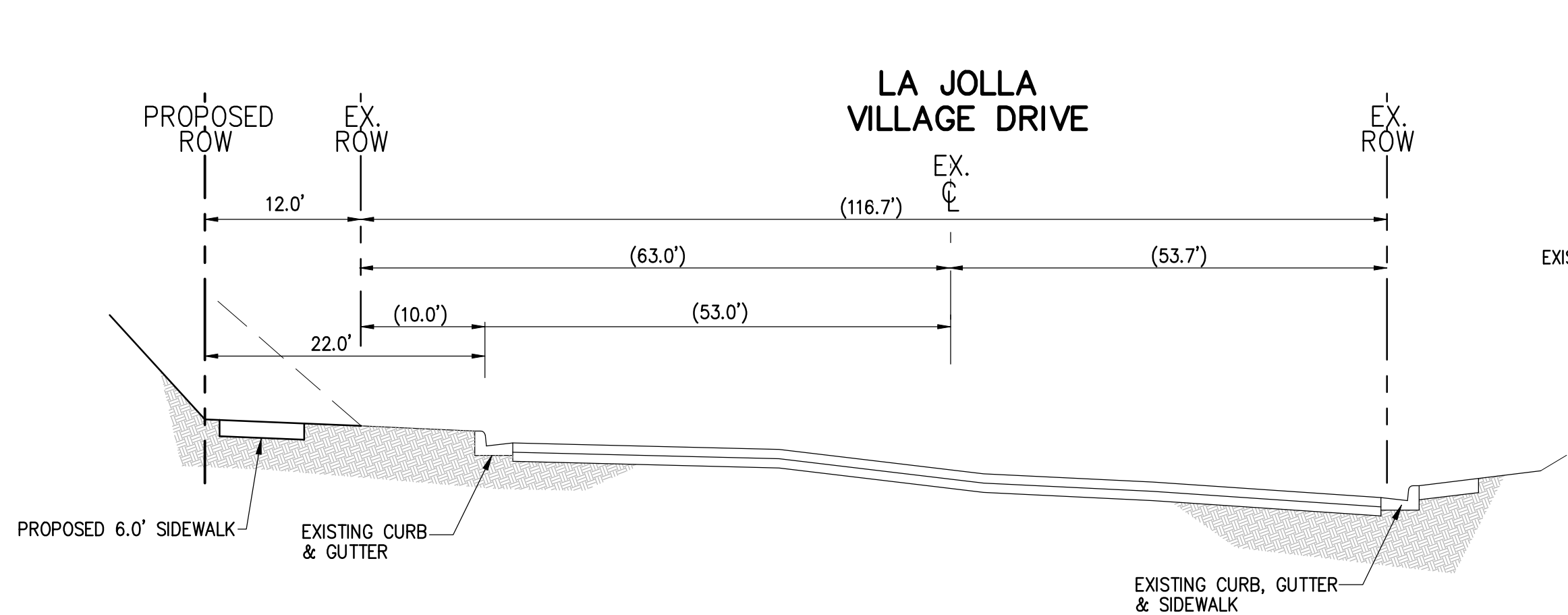
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Center for Jewish Life
San Diego, California

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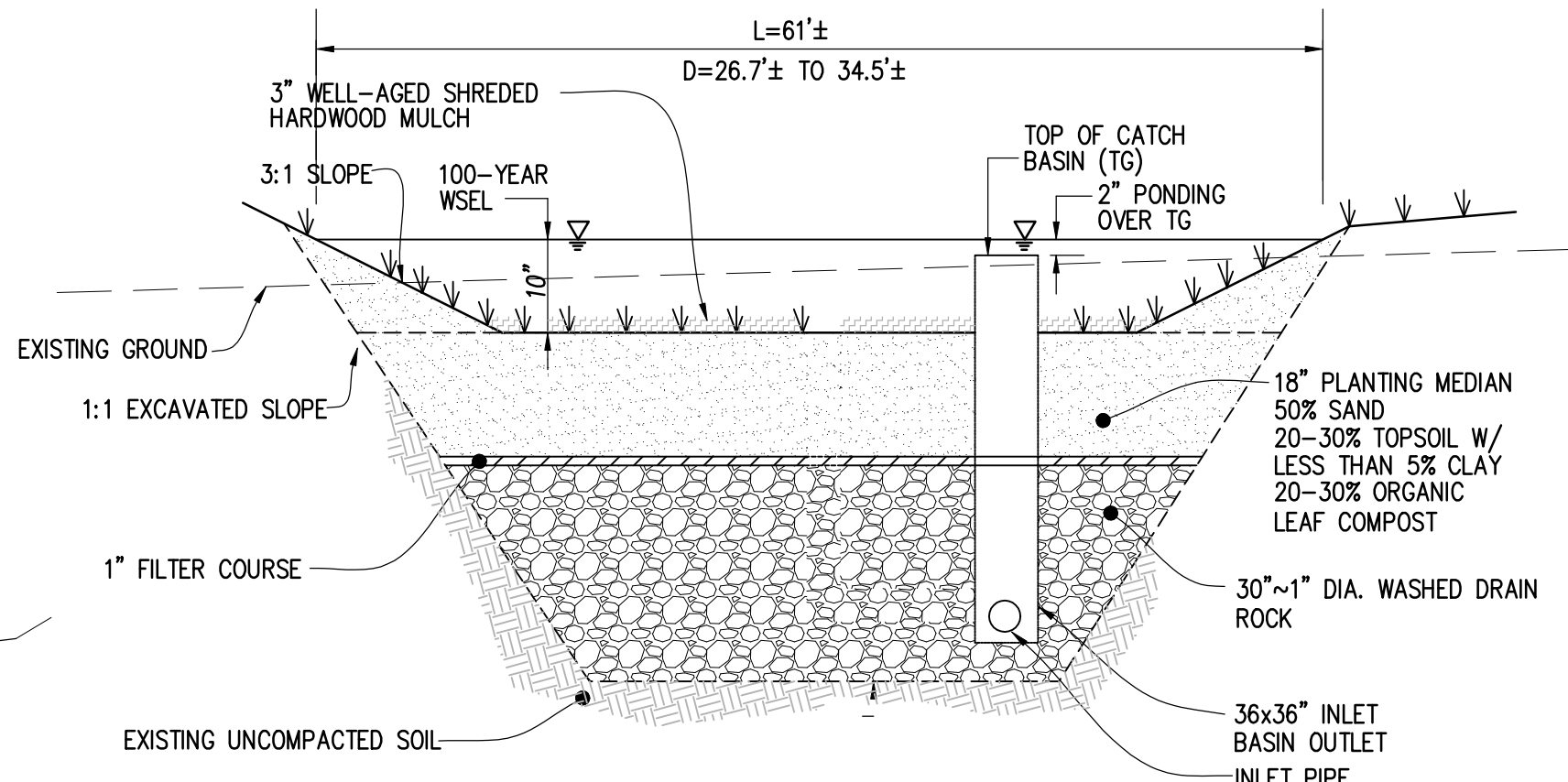
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PRELIMINARY GRADING,
DRAINAGE AND
UTILITY PLAN

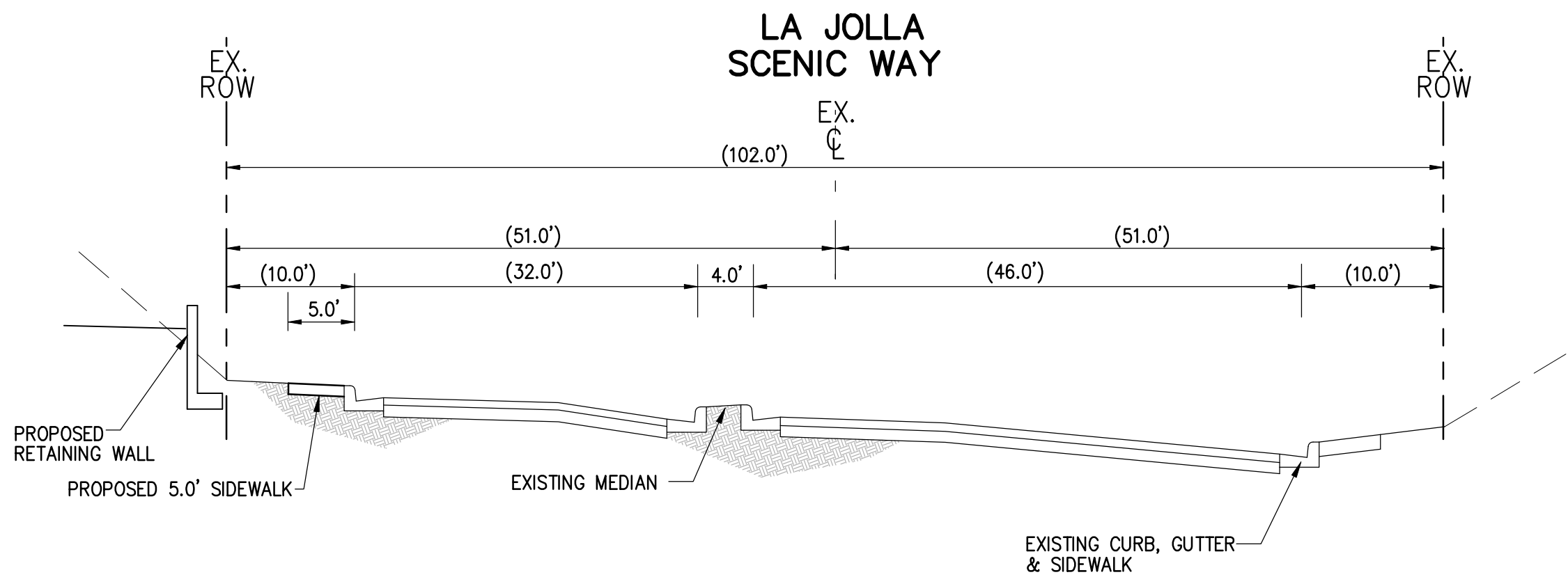
C2.0



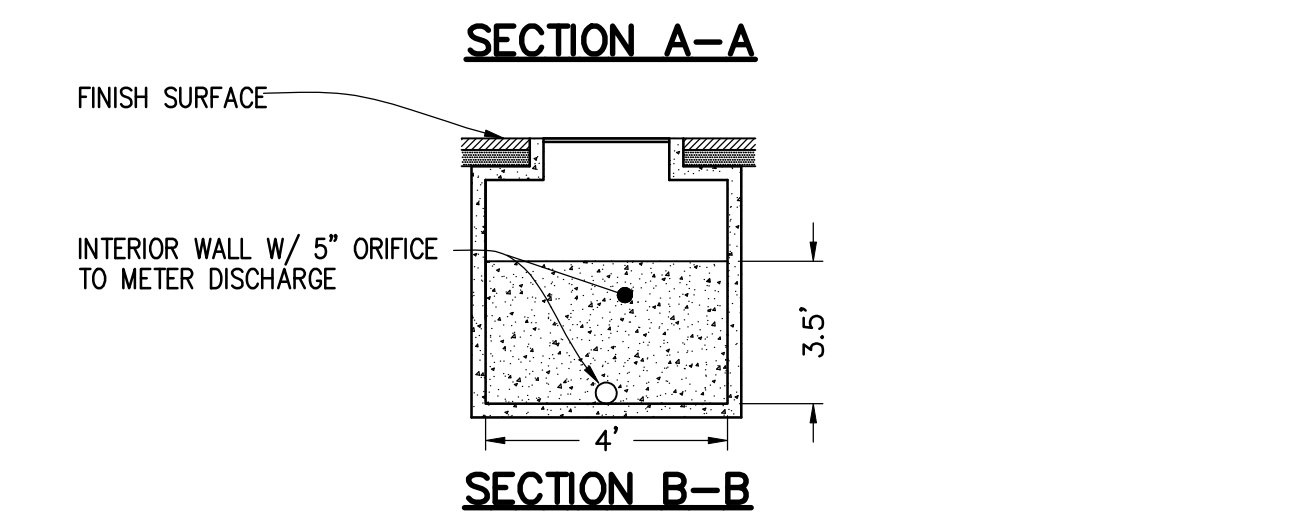
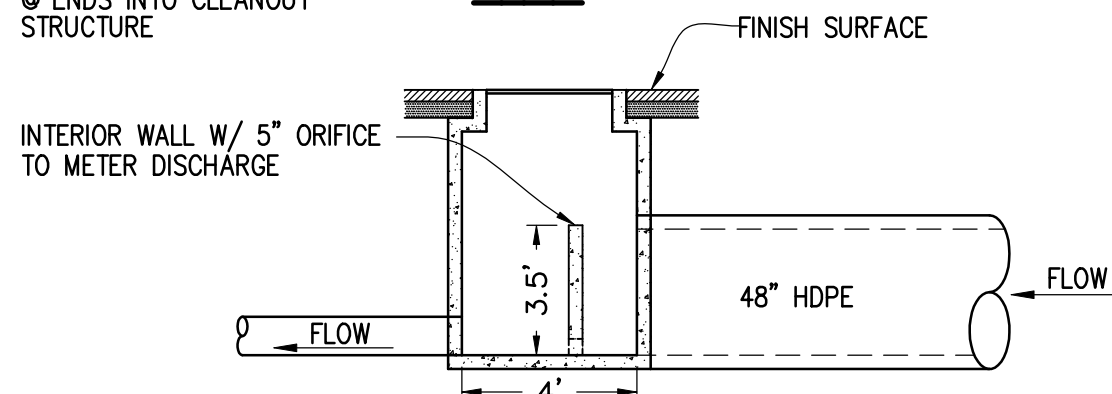
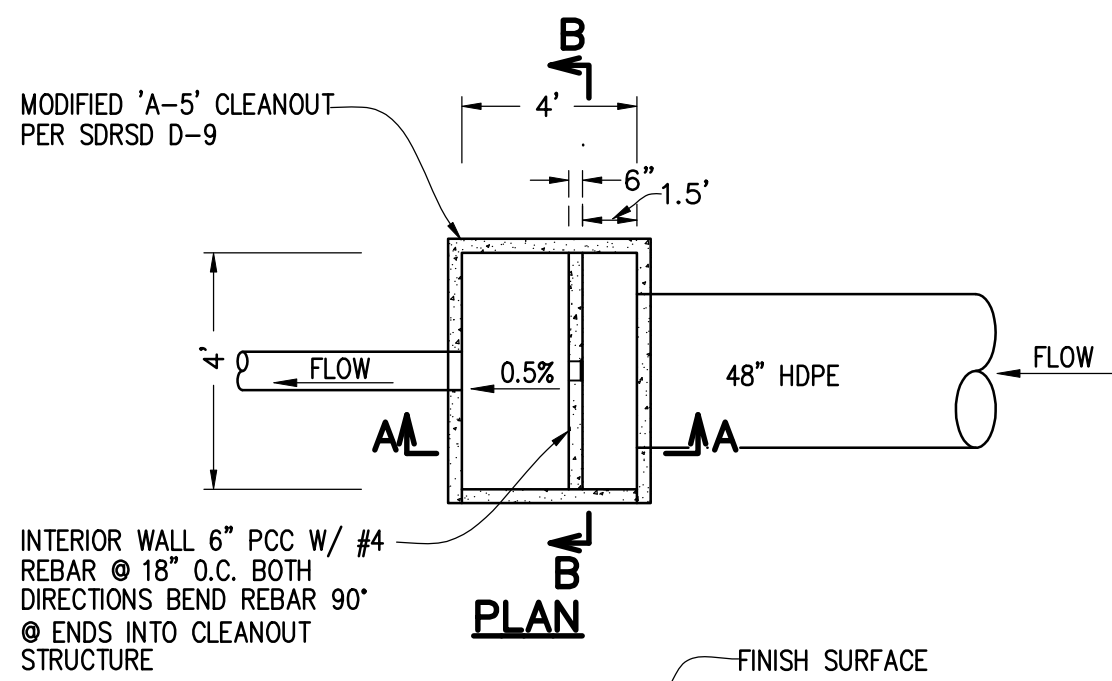
1 SECTION 1-1 (LA JOLLA VILLAGE DRIVE)
C2.0 NOT TO SCALE



5 BIORETENTION FACILITY
C2.0 NOT TO SCALE

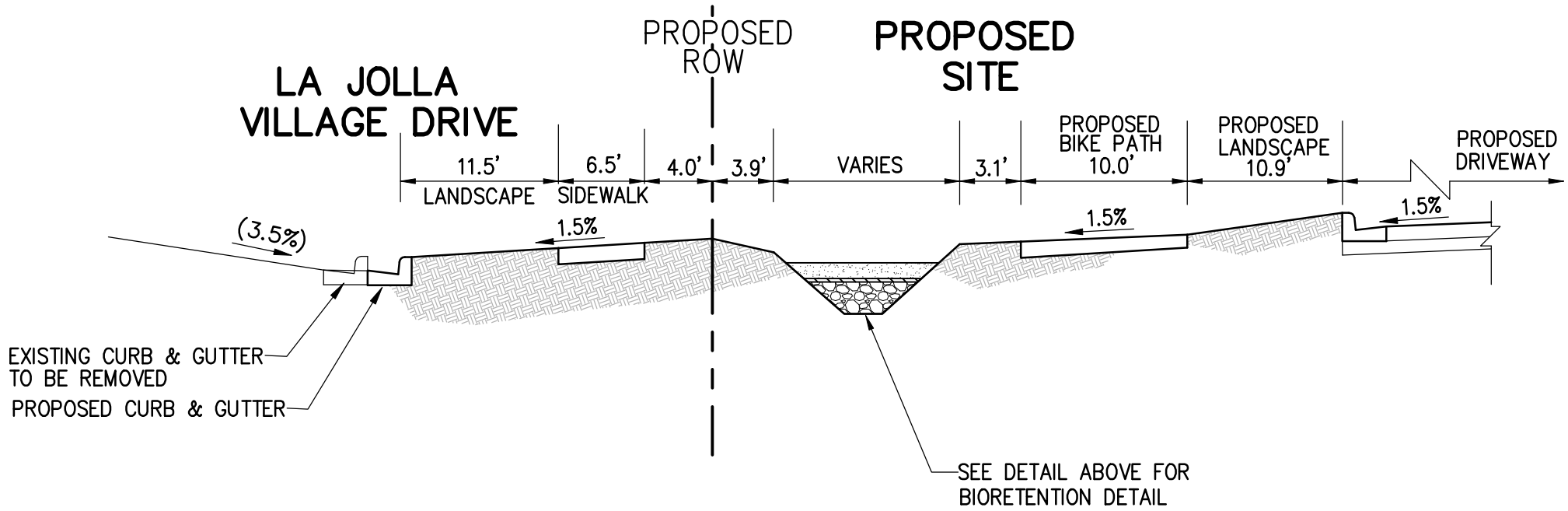


2 SECTION 2-2 (LA JOLLA SCENIC WAY)
C2.0 NOT TO SCALE

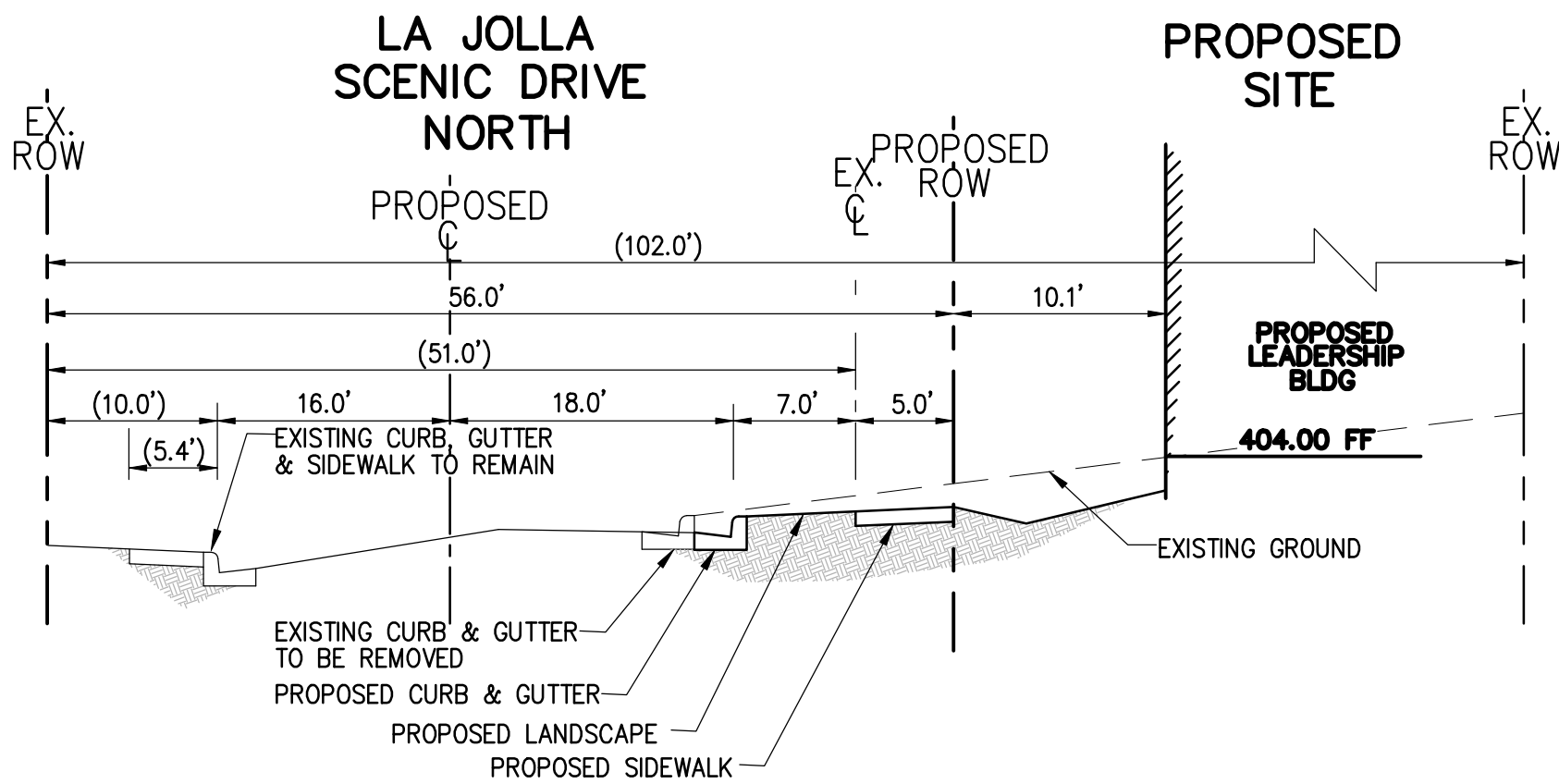


3 SECTION 3-3
C2.0 NOT TO SCALE

6 MODIFIED TYPE 'A-4' CLEANOUT
C2.0 NOT TO SCALE



4 SECTION 4-4 (LA JOLLA SCENIC DR. NORTH)
C2.0 NOT TO SCALE



Hillel Center for Jewish Life

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ARCHITECTURE | PLANNING

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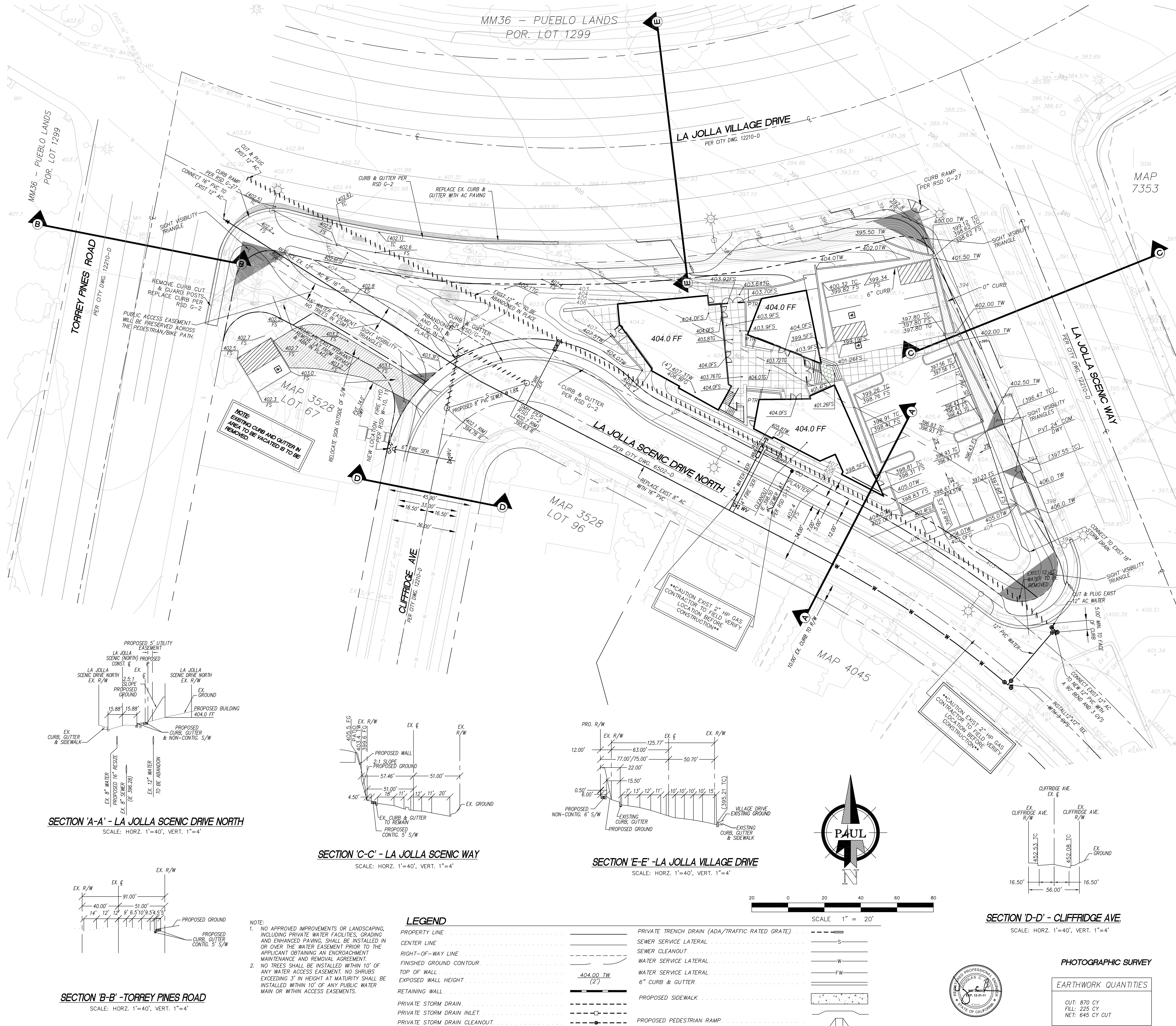
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PRELIMINARY
CROSS-SECTIONS

C3.0



Hillel of San Diego

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Use Permit
- Sustainable Expedite Program

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San Diego, California

Phase 1:
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Street Vacation
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Revision 7: —
Revision 8: —
Revision 9: —
Revision 10: —
Revision 11: —
Revision 12: —

NOT FOR CONSTRUCTION
CONCEPTUAL
GRADING PLAN

C4.0

