



NO TREES SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER FACILITIES OR IN ANY WATER EASEMENT. NO SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY PUBLIC WATER MAIN OR WITHIN ACCESS EASEMENTS.

NO STRUCTURES OR LANDSCAPING SHALL BE INSTALLED IN OR OVER ANY WATER EASEMENT THAT WOULD INHIBIT VEHICULAR ACCESS TO REPLACE A SECTION OF MAIN OR PROVIDE ACCESS TO ANY APPURTENANCE OR ISOLATED SECTION OF MAIN.

NO APPROVED IMPROVEMENTS OR LANDSCAPING INCLUDING PRIVATE WATER FACILITIES, GRADING AND ENHANCED PAVING, SHALL BE INSTALLED IN OR OVER WATER EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.

NOTE:  
NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN THE PROPOSED WATER EASEMENT.

LANDSCAPE CALCULATIONS

STREET YARD

TOTAL AREA = 25,644 SQ. FT.  
PLANTING AREA REQUIRED = 25,668 X 25% = 6,411 SQ. FT.  
PLANTING AREA PROVIDED = 14,937 SQ. FT.  
EXCEEDS REQUIREMENT BY 8,526 SQ. FT.

PLANT POINTS REQUIRED = 25,668 X .05 = 1,283 POINTS  
PLANT POINTS PROVIDED = 1,350 POINTS

1 EXISTING 8" CAL. TORREY PINE	250 POINTS
1 EXISTING 6" CAL. TORREY PINE	200 POINTS
(8) 5 GAL. TREES * 5 PTS=	40 POINTS
(1) 15 GAL. TREES * 10 PTS=	10 POINTS
(1) 24" BOX TREES * 20 PTS=	20 POINTS
(1) 36" BOX TREES * 50 PTS=	50 POINTS
	1,350 POINTS
EXCEEDS REQUIREMENT BY 67 POINTS	

REMAINING YARD

TOTAL AREA = 646 SQ. FT.  
PLANTING AREA REQUIRED = 646 X 30% = 200 SQ. FT.  
PLANTING AREA PROVIDED = 323 SQ. FT.  
EXCEEDS REQUIREMENT BY 115 SQ. FT.

PLANT POINTS REQUIRED = 626 X .05 = 31 POINTS  
PLANT POINTS PROVIDED = 50 POINTS  
(1) 36" BOX TREES \* 50 PTS = 50 POINTS  
EXCEEDS REQUIREMENT BY 19 POINTS

VEHICULAR USE AREA  
IN THE STREET YARD

TOTAL AREA = 5,701 SQ. FT.  
PLANTING AREA REQUIRED = 5,701 X 5% = 285 SQ. FT.  
PLANTING AREA PROVIDED = 1,045 SQ. FT.  
EXCEEDS REQUIREMENT BY 760 SQ. FT.

PLANT POINTS REQUIRED = 5,701 X 0.05 = 285 POINTS  
PLANT POINTS PROVIDED = 344 POINTS  
(4) 36" BOX TREES \* 50 PTS = 200 POINTS  
(1) 24" BOX TREES \* 20 PTS = 20 POINTS  
(62) 5 GAL. SHRUBS \* 2 PTS = 124 POINTS  
344 POINTS  
EXCEEDS REQUIREMENT BY 59 POINTS

STREET TREE &  
PUBLIC R.O.W. REQUIREMENTS

STREET NAME

STREET FRONTAGE LA JOLLA SCENIC DR NORTH =  
TREES REQUIRED = 382/30 = 12.73 STREET TREES  
TREES PROVIDED = (12) 24" BOX TREES

STREET FRONTAGE LA JOLLA SCENIC WAY =  
TREES REQUIRED = 214/30 = 7.13 STREET TREES  
TREES PROVIDED = (7) 24" BOX TREES

STREET FRONTAGE LA JOLLA VILLAGE DR =  
TREES REQUIRED = 370/30 = 12.33 STREET TREES  
TREES PROVIDED = (12) 24" BOX TREES

STREET FRONTAGE TORREY PINES ROAD =  
TREES REQUIRED = 50/30 = 1.67 STREET TREES  
TREES PROVIDED = (1) 24" BOX TREES

CONCEPT - PHASE 2

THIS PASSIVE, NATIVE HABITAT GARDEN SET WITHIN A GROVE OF TORREY PINES, IS DEDICATED TO THOSE INDIVIDUALS WHO HELPED SAVE, FOSTER, STUDY, CELEBRATE AND OTHERWISE BEFRIEND THIS RARE SPECIES OF TREE THAT IS UNIQUE TO LA JOLLA.

MAINTENANCE CRITERIA

TREES SHALL BE WATERED DEEPLY, BUT INFREQUENTLY, TO PROMOTE DEEPER ROOTING, AND SHALL BE FERTILIZED AS REQUIRED BY SOUND HORTICULTURAL PRACTICES.

PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TRIMMING STANDARDS TO MAINTAIN THEIR INTENDED SHAPES AND SIZES, AND TO INSURE THE HEALTH OF THE SPECIMEN AND THE SAFETY OF THE PUBLIC.

TREE GUYS AND STAKE TIES SHALL BE INSPECTED AND ADJUSTED PERIODICALLY, AND REMOVED WHEN NECESSARY, TO INSURE THAT THEY ARE ADEQUATELY SURROUNDING THE TREE WITHOUT GIRDLING TRUNKS OR BRANCHES.

PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALLS, PASSAGEWAYS AND SIGHT DISTANCE VIEWS FOR VEHICULAR TRAFFIC.

DEAD PLANTS SHALL BE REPLACED, DAMAGED BRANCHES SHALL BE REMOVED, AND OVERGROWN AREAS SHALL BE THINNED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.

SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAXIMIZE SCREENING WHILE ALLOWING ACCESS TO THE STORAGE/SERVICE AREAS.

SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTIES SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENCROACH EXCESSIVELY ONTO THE ADJACENT PROPERTY.

GENERAL NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND THE LA JOLLA SHORES PLANNED DISTRICT REGULATIONS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.

2. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

3. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT WITHIN 30 DAYS.

MINIMUM TREE SEPARATION DISTANCE

A. IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE, TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET  
UNDERGROUND UTILITY LINES - 5 FEET  
ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
DRIVEWAY (ENTRIES) - 10 FEET  
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FEET

B. LANDSCAPE AREAS FOR TREES: THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE UNCONSOLIDATED MULCH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVERS.

IRRIGATION NOTES

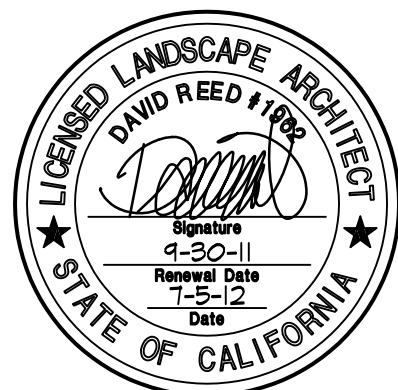
THIS PROJECT IS INTENDED TO AS A XERISCAPIC LANDSCAPE. HOWEVER, TO COMPLY WITH CITY REGULATIONS, ALL PLANTING AREAS SHALL BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM USING DRIP IRRIGATION OR LOW PRECIPITATION & PRECIPITATION MATCHED SPRINKLE HEADS. ALL SPRINKLER HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM EACH ADJACENT LOT.

MAINTENANCE NOTES

LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL AND SPECIFICATIONS OF DAVID REED, LANDSCAPE ARCHITECTS. THE APPLICANT, HILLEL OF UCSD - LA JOLLA, SHALL BE RESPONSIBLE FOR LONG TERM MAINTENANCE. CONTACT: LISA GOLDSTEIN, (858) 550-2210



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PHASE 2

Hillel of San Diego

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
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Street Vacation  
Right of Way Dedication  
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ARCHITECTURE | PLANNING

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Project Number:	0915
Original Date:	June 8, 2010
DRAWN:	AS/AP
CHECKED:	-

Revision 1:	06.08.10 Completeness Check
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Revision 3:	08.28.11
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
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Revision 10:	
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Revision 12:	

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LANDSCAPE CONCEPT  
PLAN

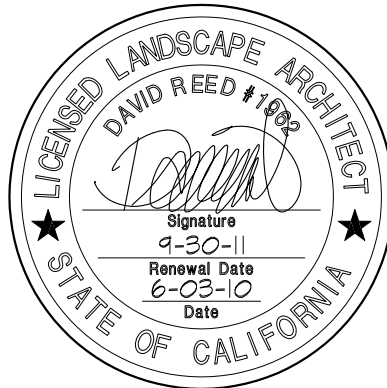
See Drawing

L-2



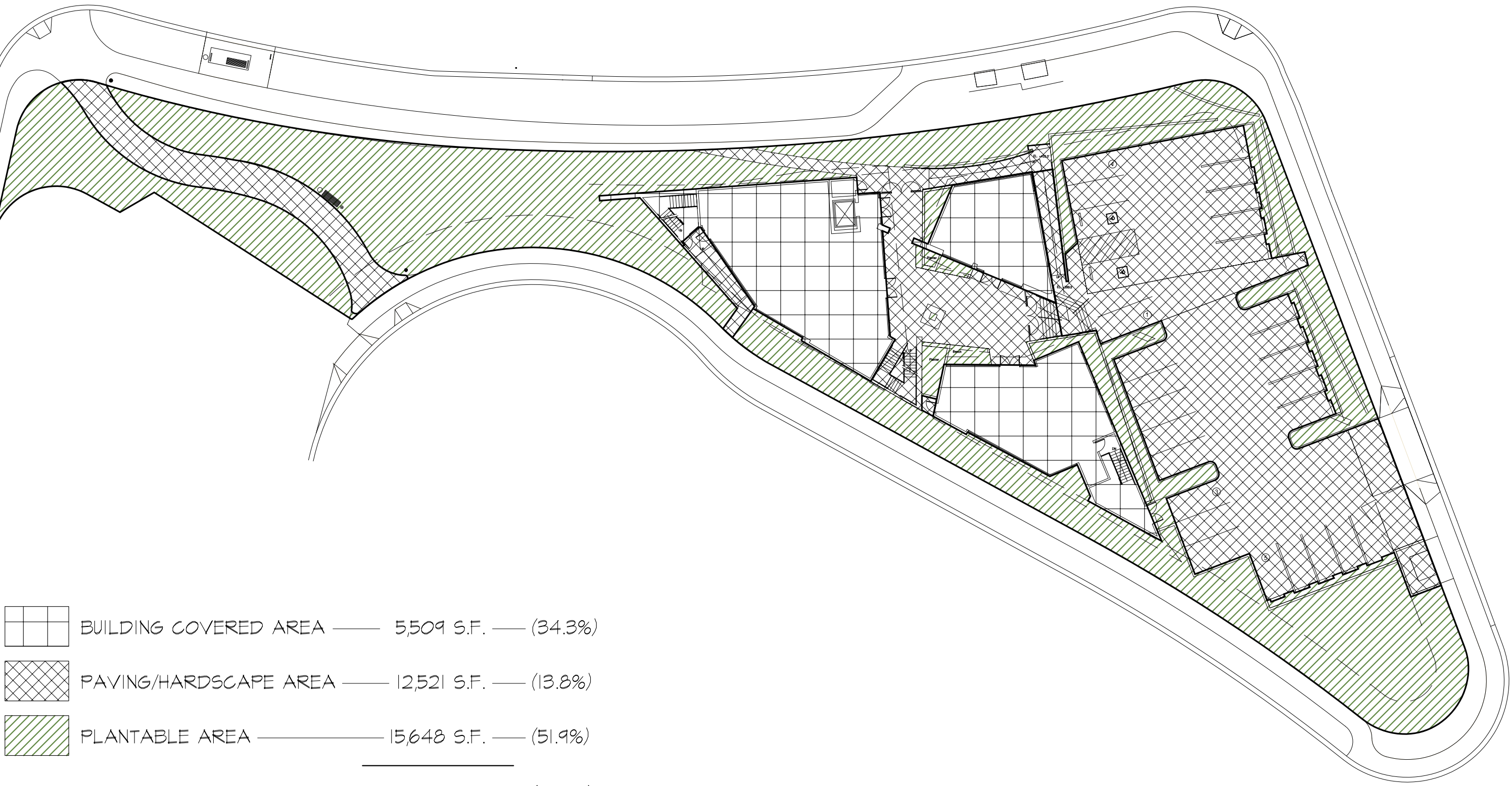


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PLANT PALETTE - PHASE 2

*NOTE: THIS IS A NATIVE PLANT LANDSCAPE SCIENTIFIC NAME	COMMON NAME	DESCRIPTION	MATURE HEIGHT/SPREAD	O.C. SPACING
STREET TREES - 100%-24" BOX				
HETEROMELES ARBUTIFOLIA	TOYON, HOLLYWOOD	EXCELLENT LARGE EVERGREEN SHRUB OR SMALL TREE (USU. 8-10' TALL). GOOD WITH SUMMER WATER. MULTI-TRUNKED WITH LEATHERY DARK GREEN LEAVES. PRODUCES WHITE FLOWERS IN SPRING WITH RED BERRIES IN CLUSTERS DURING FALL AND WINTER.	12'-18' / 15'-20'	10'-0"
PINUS TORREYANA	TORREY PINE	LARGE AND OPEN WITH AGE. NATIVE PINE.	50' / 15-20	15'-0" MIN.
TREES - 25%-24" BOX; 50%-15 GAL.; 25%-1 & 5 GAL.				
HETEROMELES ARBUTIFOLIA	TOYON, HOLLYWOOD	SEE NOTES ABOVE	12'-18' / 15'-20'	10'-0"
PINUS TORREYANA	TORREY PINE	LARGE AND OPEN WITH AGE. NATIVE PINE.	50' / 15-20	15'-0" MIN.
PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	LARGE, DECIDUOUS TREE, WITH MEDIUM-FAST GROWTH.	30' / 20	15'-0" MIN.
QUERCUS AGRIIFOLIA	COAST LIVE OAK	EVERGREEN SHINY PRICKLY LEAVES. GROWS ON HILLSIDES IN CALIFORNIA.	20-40' / 20-50	15'-0" MIN.
LARGE UPRIGHT SHRUBS (NATIVE SPECIES) - 50%-5 GAL.; 50%-1 GAL.				
COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	EXCELLENT LARGE EVERGREEN SHRUB OR SMALL TREE (USU. 8-10' TALL). GOOD WITH SUMMER WATER. MULTI-TRUNKED WITH LEATHERY DARK GREEN LEAVES. PRODUCES WHITE FLOWERS IN SPRING WITH RED BERRIES IN CLUSTERS DURING FALL AND WINTER.	6'-10' / 6'-8	6'-0"
HETEROMELES ARBUTIFOLIA	TOYON, HOLLYWOOD		12'-18' / 15'-20'	10'-0"
RHUS INTEGRIIFOLIA	LEMONADE BERRY	DENSE OLIVE GREEN FOLIAGE, NATIVE.	6'-12' / 6'-12'	6'-0"
XYLOCCOCUS BICOLOR	MISSION MANZANITA		3'-5' / 3'-5'	2'-6"
MEDIUM FLOWERING SHRUBS (NATIVE SPECIES) - 25%-5 GAL.; 75%-1 GAL.				
AMORPHA FRUITICOSA	FALSE INDIGO	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	6'-8' / 6'	5'-0"
ARTEMISIA PYCNOCEPHALA 'DAVIDS CHOICE'	HYBRID CALIFORNIA SAGEBRUSH		15'-18' / 6'-12'	2'-6"
COREOPSIS MARITIMA	SEA DAHLIA	YELLOW DAISY LIKE FLOWERS ON MUM-LIKE FOLIAGE.	2' / 3'	1'-6"
ENGELIA CALIFORNICA	CALIFORNIA ENGELIA	YELLOW DAISY LIKE FLOWERS ON DEEP GREEN LEAVES.	3'-4' / 3'-4'	30"
GALVESIA SPECIOSA	ISLAND BUSH SNAPDRAGON		6'-8' / 8'-12'	6'-0"
ISOMERIS ARBOREA 'DORADO'	BLADDER POD		3'-4' / 3'-5'	2'-6"
MIMULUS FULCIS	MONKEY FLOWER	YELLOW SPRAYS OF FLOWERS WITH INTERESTING PODS.	2' / 2'	3'-0"
RHAMNUS 'EVE CASE'	EVE CASE CA. COFFEEBERRY	EVERGREEN SHRUB, NATIVE TO CALIFORNIA. LARGE BERRIES GREEN, THEN RED, THEN BLACK WHEN RIPE.	4'-8'/4'-8'	3'-6"
SALVIA 'WINIFRED GILMAN'	WINIFRED GILMAN HYBRID SAGE		4' / 4'-5'	3'-0"
SOLANUM XANTII	PURPLE NIGHTSHADE		2'-3' / 3'	2'-6"
LOW SPREADING (PROCUMBENT) SHRUBS (NATIVE SPECIES) - 25%-5 GAL.; 75%-1 GAL.				
ARTEMISIA CALIFORNICA 'CANYON GRAY'	HYBRID CALIFORNIA SAGEBRUSH	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	15'-18' / 6'-12'	15"
ARTEMISIA CALIFORNICA 'MONTANA'	HYBRID COASTAL SAGEBRUSH		1'-2' / 3'-5'	2'-6"
CEANOTHUS GRISSEUS 'HORIZONTALIS'	CARMEL CREEPER	ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY SPOTS). FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MUST NOT BE OVERWATERED.	18'-30" / 5'-12'	4'-0"
ERIGONUM 'DANA POINT'	DANA POINT BUCKWHEAT	PROSTRATE FORM OF BUCKWHEAT. PINKISH FLOWER. HEADS OPEN TO WHITE AND TURN RUSSSET BROWN BY SUMMER'S END.	2' / 5'	4'-0"
IYA HAYESIANA	HAYES IYA	DROUGHT TOLERANT GREEN GROUNDCOVER. ROOTS WELL.	2' / 5'	4'-0"
RIBES VIBURNIFOLIUM	EVERGREEN CURRANT		2'-3' / 10'	8'
ZAUSCHNERIA CALIFORNICA 'CATALINA'	CATALINA CALIFORNIA FUCHSIA		12'-15' / 3'-4'	2'-6"
ACCENT PLANTS				
YUCCA WHIPPLEI	OUR LORDS CANDLE	NATIVE. TRUNKLESS ROSETTE. NARROW GRAY LEAVES TO 2' LONG. SHARP, 6' FLOWER SPIKE. PLANT DIES AFTER BLOOM. RESEEDS/OFFSETS READILY.	3' / 5'	
NATIVE GROUNDCOVERS (100% - ANY SIZE AVAILABLE)				
ABROMA MARITIMA	COASTAL SAND VERBENA	PINK INFLORESCENCE ON HAIRY SUCULENT LIKE LEAVES.		
AMEROSIA CHAMISSONIS	SILVER BURR			
CAMISSONIA CHEIRANTHIFOLIA SSP. SUFFRUTICOSA	SUN CUP (BEACH EVENING PRIMROSE)	YELLOW BEACH PRIMROSE.		
CENTAURIUM VENUSTUM	CANCHALAGUA			
DUDLEYA EDULIS	LIVE FOREVER			
DUDLEYA LANCEOLATA	LARGE LEAFED DUDLEYA	LONG LEAVED GRAY GREEN SUCULENT. FORMS UPRIGHT ROSETTE.		
LINANTHUS DIANTHIFLORUS	GROUND PINK			
MONARDELLA SUBGLABRA	MINT BUSH			
SILENE LAGINATE	MEXICAN PINK			
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING.		
STIPA LEPIDA	FOOTHILL NEEDLE GRASS	PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES, TO GOLDEN YELLOW IN SUMMER.		
STIPA PULCHRA	PURPLE NEEDLE GRASS			
LOW GROWING FLOWERING SHRUBS (NATIVE SPECIES, MAXIMUM HT. 30")				
ARGOSTAPHYLOS INSULARIS 'JOHN DOURLEY'	JOHN DOURLEY MANZANITA	SPREADING.	12"-24" / 4'-6'	4'-0"
ARTEMISIA PYCNOCEPHALA 'DAVIDS CHOICE'	HYBRID CALIFORNIA SAGEBRUSH	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	12"-24" / 36"	2'-6"
BACCHARIS PILULARIS 'PIGEON POINT'	PIGEON POINT COYOTE BRUSH	EXCELLENT FIRE ZONE, NATURALIZED. USE AS DRIFTS.	12"/ 5'	3'-6"
CEANOTHUS S. H. 'YANKEE POINT'	YANKEE POINT CARMEL CREEPER	ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY SPOTS). FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MUST NOT BE OVERWATERED.	24"-36"/ 6'	4'-6"
LOTUS SCOPARIUS	DEERWEED, BIRD'S FOOT TREFOL		24"/ 36"	2'-6"
SALVIA MELLIFERA 'TERRA SEGA'	TERRA SEGA SAGE	PROSTRATE FORM OF BLACK SAGE.	12"-24'/6'	4'-6"



BUILDING COVERED AREA	5,509 S.F.	(34.3%)
PAVING/HARDSCAPE AREA	12,521 S.F.	(38.8%)
PLANTABLE AREA	15,648 S.F.	(51.9%)
TOTAL SITE AREA	33,687 S.F.	(100%)

LANDSCAPE AREA DIAGRAM

SCALE: 1"=30'-0"

Hillel of San Diego

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
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Sustainable Expedite Program

Project Number:	0915
Original Date:	June 3, 2010
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Checked:	

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Revision 6:	
Revision 7:	
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Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

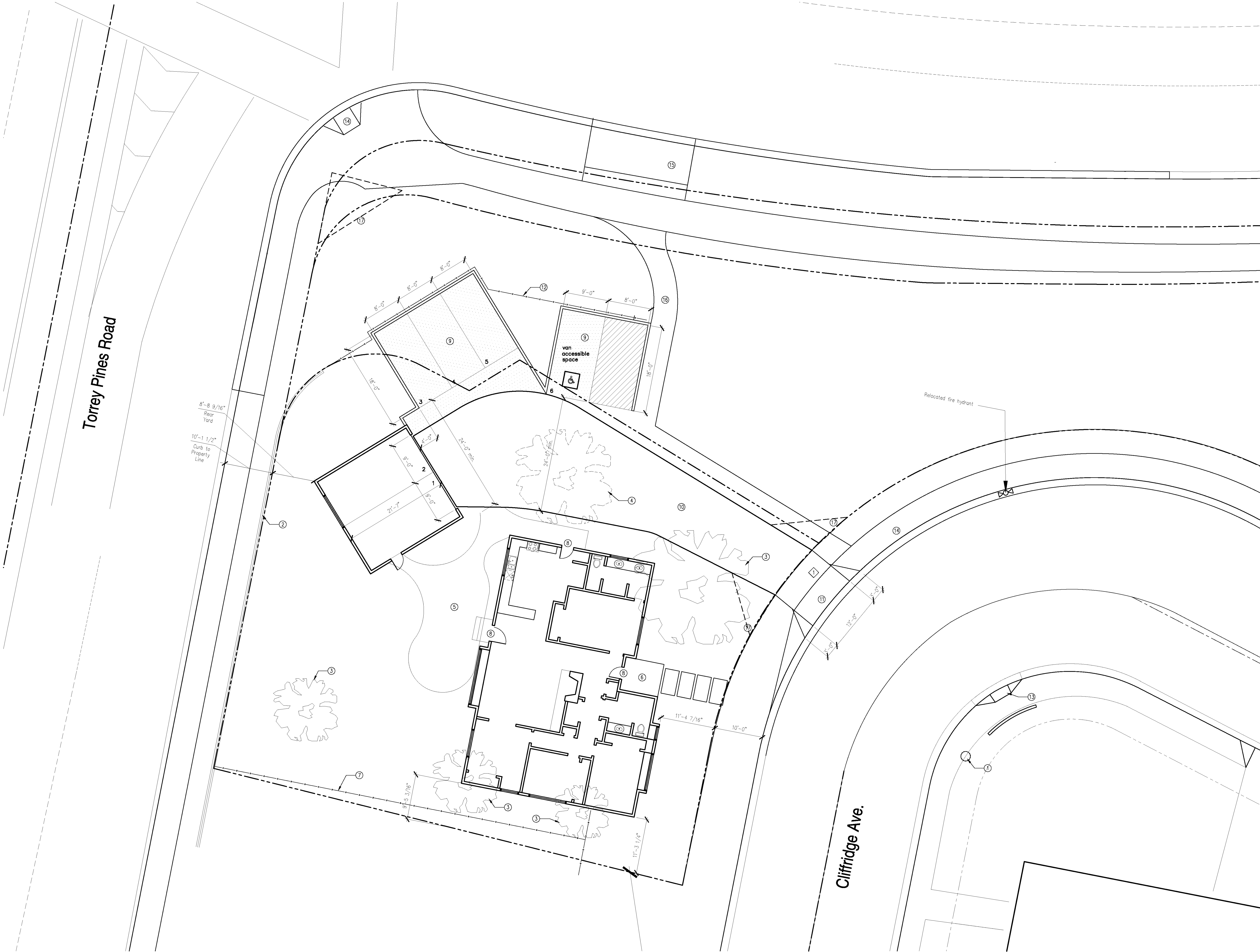
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LANDSCAPE CONCEPT PLAN

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

L-3





1 Phase 1: Temporary Parking Plan (During Phase 2 Construction)  
scale: 1/8" = 1'-0"

Hillel Center for Jewish Life

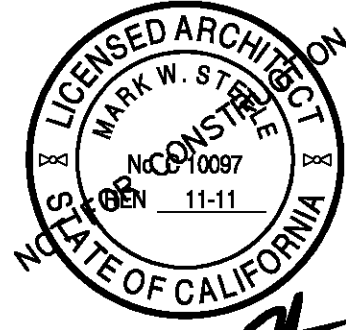
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Phase 1: Temp. Parking Notes

- Existing stop sign to be removed.
- Existing concrete masonry wall.
- Existing tree to remain.
- Existing tree to be removed.
- Existing patio.
- Existing walkway.
- Existing fence.
- Exit door (3'-0" x 6'-8").
- Temporary paving, to be removed upon completion of Phase 2.
- New concrete driveway.
- New curb cut.
- Proposed 42" high fence temporary fence for screening.
- Existing pedestrian curb ramp to remain.
- Proposed pedestrian curb ramp.
- Existing bus stop to remain.
- Temporary bike and pedestrian path during construction of Phase 2.
- Visibility Area Triangles per SDMC Sec. 113.0273, diagram 113-02RR for street intersections and driveways. See General Note 3.

General Notes

- The temporary parking plan for Phase 1, provides parking for the existing temporary office use of the single family residence at 8976 Cliffridge Ave., La Jolla, CA 92037, during the construction of Phase 2 on site 653. This provides 6 parking spaces through a combination of utilizing the existing garage and providing new spaces in the vacated cul-de-sac. It also involves the construction of a temporary sidewalk connecting La Jolla Village Dr. to La Jolla Scenic Drive North.
- No objects higher than 36 inches may be proposed in the visibility areas. If any portion of the visibility areas lies within the public right of way, no vegetation in these areas will exceed 24 inches in height.



M.W. Steele

Street Vacation  
Right of Way Dedication  
M.W. STEELE GROUP, INC.  
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ARCHITECTURE | PLANNING

Hillel Center for Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
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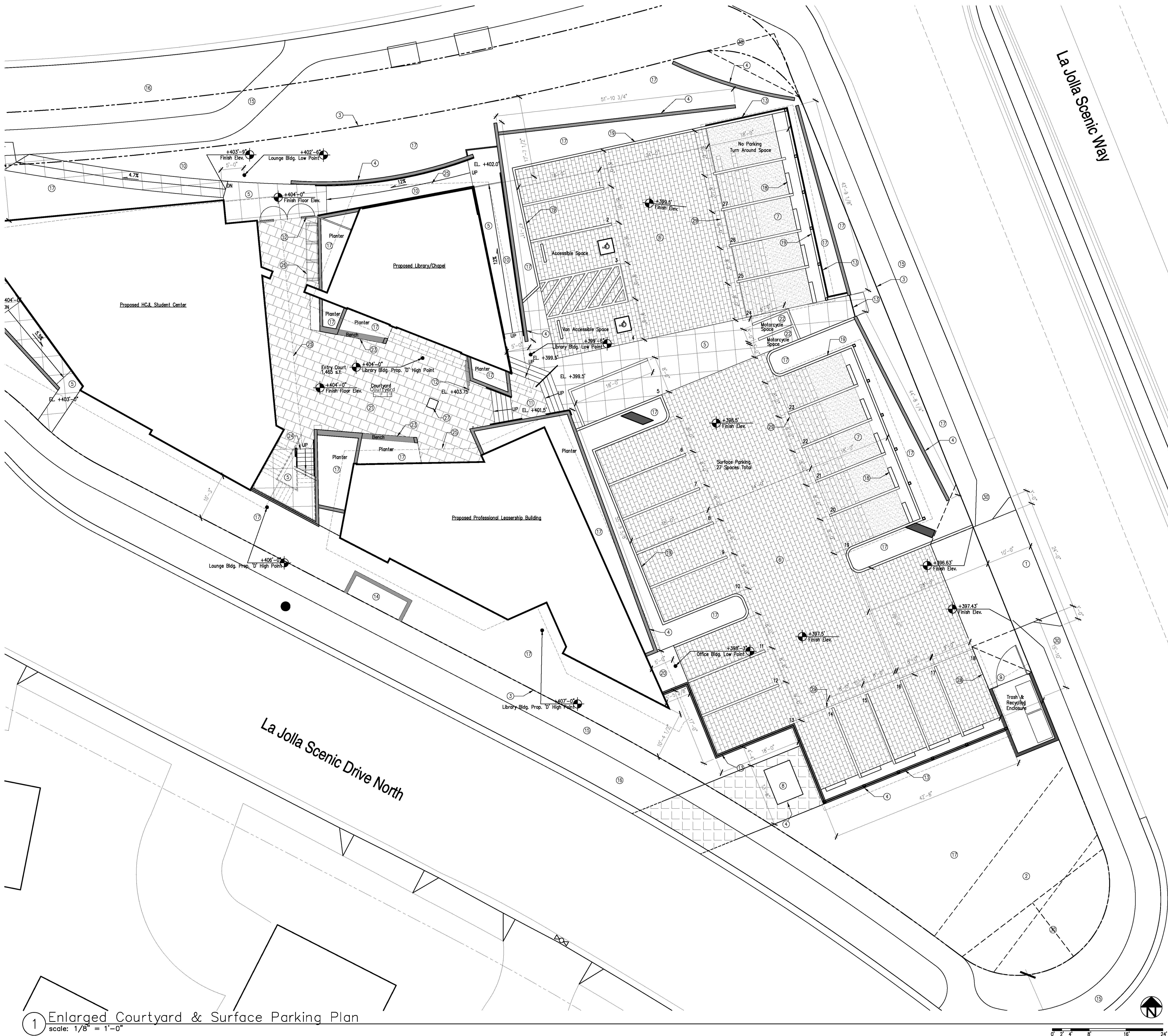
Project Number 0915  
Original Date June 8, 2010  
Drawn: KW  
Checked: KW

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Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

NOT FOR CONSTRUCTION

Phase 1:  
Temporary Parking Plan  
(During Phase 2 Construction)  
1/8" = 1'-0"





1 Enlarged Courtyard & Surface Parking Plan  
scale: 1/8" = 1'-0"

La Jolla Scenic Way

La Jolla Scenic Drive North

# Hillel Center for Jewish Life

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## Courtyard & Parking Plan Notes

- 1 New 24'-0" driveway and curb cut.
- 2 Easement reservation for storm drain, refer to Civil drawings for more information.
- 3 Adjusted property line.
- 4 New site wall. Refer to Civil drawings for top and bottom of wall elevations.
- 5 Enhanced stained concrete paving.
- 6 Permeable pavers. Refer to Landscape drawings for more information.
- 7 Decorative gravel paving. Refer to Landscape drawings for more information.
- 8 Proposed transformer location.
- 9 Trash and recycling enclosure.
- 10 Accessible pedestrian ramp to courtyard entry.
- 11 Stairs up to courtyard entry.
- 12 Courtyard security gate.
- 13 Decorative guardrail.
- 14 Proposed backflow preventer location.
- 15 New concrete sidewalk.
- 16 New landscaped parkway. Refer to Landscape drawings for additional planting information.
- 17 New landscaped planting area.
- 18 Concrete wheel stop, typical.
- 19 Concrete curb.
- 20 Storage room access.
- 21 Stone pavers.
- 22 Motorcycle parking space.
- 23 Bench integrated with raised planter.
- 24 Stair up to second floor above student lounge.
- 25 Line of roof above.
- 26 Bicycle rack.
- 27 Tree location. Refer to Landscape drawings for more information.
- 28 Line of trellis above.
- 29 Line of carport structure above.
- 30 Visibility Area Triangles per SDMC Sec. 113.0273, diagram 113-02RR for street intersections and driveways. See General Note 5.

## General Notes

1. Refer to Architectural sheet A0.00 for parking requirements and calculations.
2. Refer to Architectural sheet A0.00 for bicycle parking requirements and calculations.
3. Refer to Architectural sheet A2.03 for the building plans and notes.
4. Refer to the Landscape drawings for more information regarding planting materials.
5. No objects higher than 36 inches may be proposed in the visibility areas. If any portion of the visibility areas lies within the public right of way, no vegetation in these areas will exceed 24 inches in height.



Street Vacation  
Right of Way Dedication

## M.W. STEELE GROUP, INC.

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ARCHITECTURE | PLANNING

## Hillel Center for Jewish Life San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

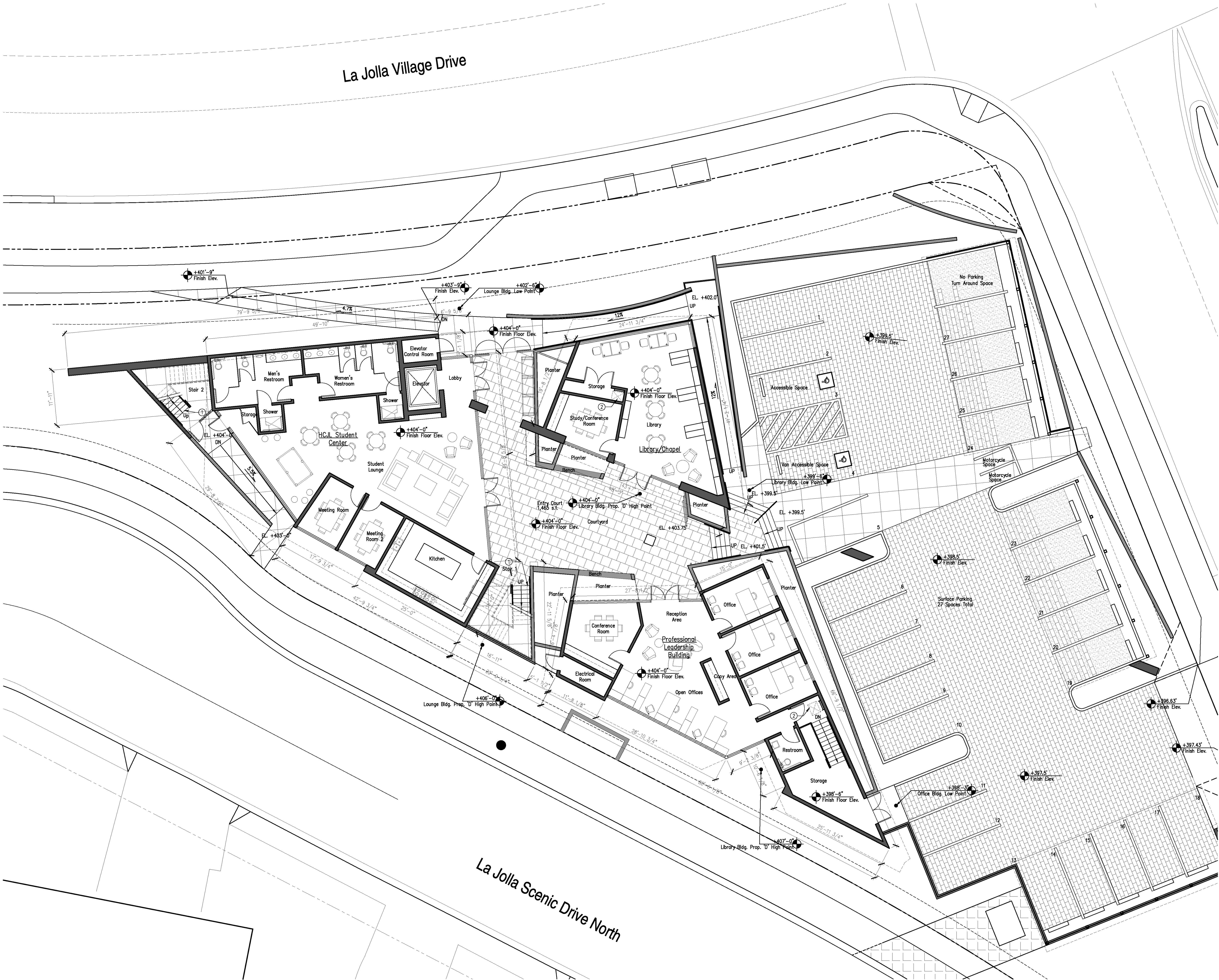
NOT FOR CONSTRUCTION

Phase 2:  
Enlarged Courtyard &  
Surface Parking Plan

1/8" = 1'-0"

A2.02





# Hillel Center for Jewish Life

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

## Building Plan Notes

- ① Student lounge exit stair.
- ② Access hatch and ladder up to mechanical equipment on roof.

## General Notes

1. Refer to Architectural sheet A0.00 for overall building area and occupancy calculations.
2. Refer to Architectural sheet A0.00 for building coverage calculations.

## Building Area Tabulations

<b>HCIL Student Center:</b>	
<b>Ground Floor Net S.F.:</b>	
Student Lounge (includes Lobby)	1,213 S.F.
Kitchen	298 S.F.
Meeting Room	116 S.F.
Men's Restroom	193 S.F.
Women's Restroom	202 S.F.
Storage	13 S.F.
Elevator	65 S.F.
Elevator Control Room	2,292 S.F.
<b>Total Net S.F.:</b>	
<b>Second Floor Net S.F.:</b>	
Student Activity Space (includes Lobby)	674 S.F.
Board Room	233 S.F.
Storage	74 S.F.
Elevator	65 S.F.
<b>Total Net S.F.:</b>	
<b>Library/Chapel:</b>	
<b>Ground Floor Net S.F.:</b>	
Main Library Room	678 S.F.
Study/Conference Room	148 S.F.
Storage	33 S.F.
<b>Total Net S.F.:</b>	
<b>Professional Leadership Building:</b>	
<b>Ground Floor Net S.F.:</b>	
Open Office Area (includes Copy Area)	667 S.F.
Conference Room	192 S.F.
Office	133 S.F.
Office	133 S.F.
Office	49 S.F.
Restroom	265 S.F.
Storage	45 S.F.
Electrical Room	1,817 S.F.
<b>Total Net S.F.:</b>	
<b>HCIL Student Center</b>	
Library/Chapel	3,298 S.F.
Professional Leadership Building	857 S.F.
<b>Total Net S.F.:</b>	
<b>Total Gross Floor Area:</b>	
<b>HCIL Student Center (includes Phantom Floor)</b>	
Library/Chapel	4,287 S.F.
Professional Leadership Building	984 S.F.
<b>Total Gross Floor Area With Phantom Floor</b>	
<b>Total Gross Floor Area Without Phantom Floor</b>	



Street Vacation  
Right of Way Dedication

## M.W. STEELE GROUP, INC.

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## ARCHITECTURE | PLANNING

## Hillel Center for Jewish Life San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
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Phase 2:  
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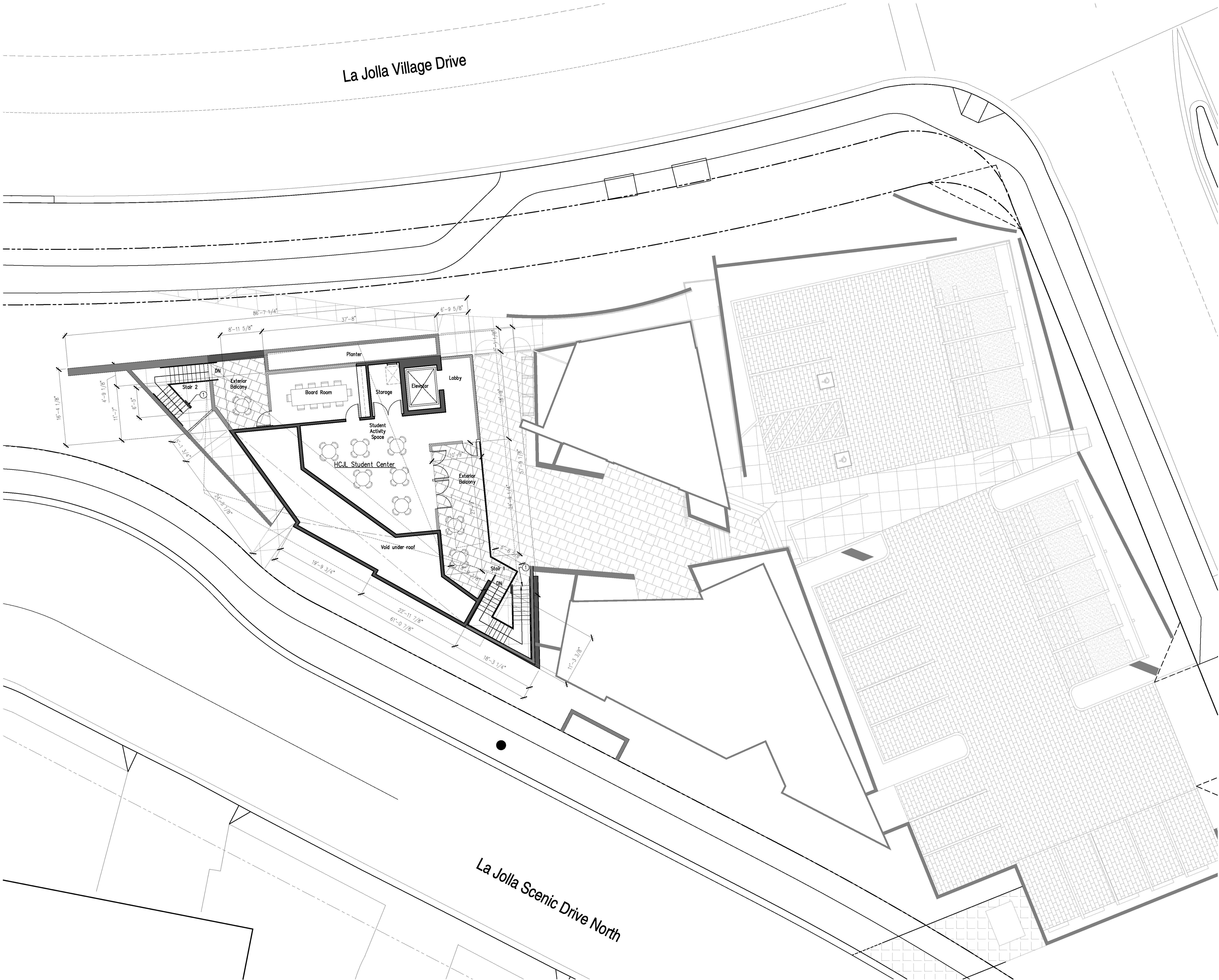
Phase 2:  
Proposed Ground  
Floor Building Plans  
1/8" = 1'-0"

A2.03

## ① Proposed Ground Floor Building Plans

scale: 1/8" = 1'-0"





1 Proposed Second Floor Building Plan  
scale: 1/8" = 1'-0"

## Hillel Center for Jewish Life

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### Building Plan Notes

- ① Student lounge exit stair.
- ② Access hatch and ladder up to mechanical equipment on roof.

### General Notes

1. Refer to Architectural sheet A0.00 for overall building area and occupancy calculations.
2. Refer to Architectural sheet A0.00 for building coverage calculations.

### Building Area Tabulations

#### H.C.J. Student Center:

Ground Floor Net S.F.:	
Student Lounge (includes Lobby)	1,213 S.F.
Kitchen	298 S.F.
Meeting Room	116 S.F.
Meeting Room	116 S.F.
Men's Restroom	193 S.F.
Women's Restroom	202 S.F.
Storage	13 S.F.
Elevator	65 S.F.
Elevator-Control Room	36 S.F.
Total Net S.F.	2,252 S.F.

#### Second Floor Net S.F.:

Student Activity Space (includes Lobby)	674 S.F.
Board Room	233 S.F.
Storage	74 S.F.
Elevator	65 S.F.
Total Net S.F.	1,046 S.F.

#### Library/Chapel:

Ground Floor Net S.F.:	
Main Library Room	678 S.F.
Study/Conference Room	148 S.F.
Storage	33 S.F.
Total Net S.F.	857 S.F.

#### Professional Leadership Building:

Ground Floor Net S.F.:	
Open Office Area (includes Copy Area)	667 S.F.
Conference Room	192 S.F.
Office	133 S.F.
Office	133 S.F.
Office	133 S.F.
Restroom	49 S.F.
Storage	265 S.F.
Electrical Room	45 S.F.
Total Net S.F.	1,817 S.F.

#### Total Net S.F.:

H.C.J. Student Center	3,298 S.F.
Library/Chapel	857 S.F.
Professional Leadership Building	1,817 S.F.
Total Net S.F.	5,972 S.F.

#### Total Gross Floor Area:

H.C.J. Student Center (includes Phantom Floor)	4,287 S.F.
Library/Chapel	984 S.F.
Professional Leadership Building	1,813 S.F.
Total Gross Floor Area With Phantom Floor	7,084 S.F.
(Total Gross Floor Area Without Phantom Floor 6,479 S.F.)	



M.W. Steele

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
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ARCHITECTURE | PLANNING

Hillel Center for  
Jewish Life  
San Diego, California

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Project Number	0915
Original Date	June 8, 2010
Drawn	KW
Checked	KW

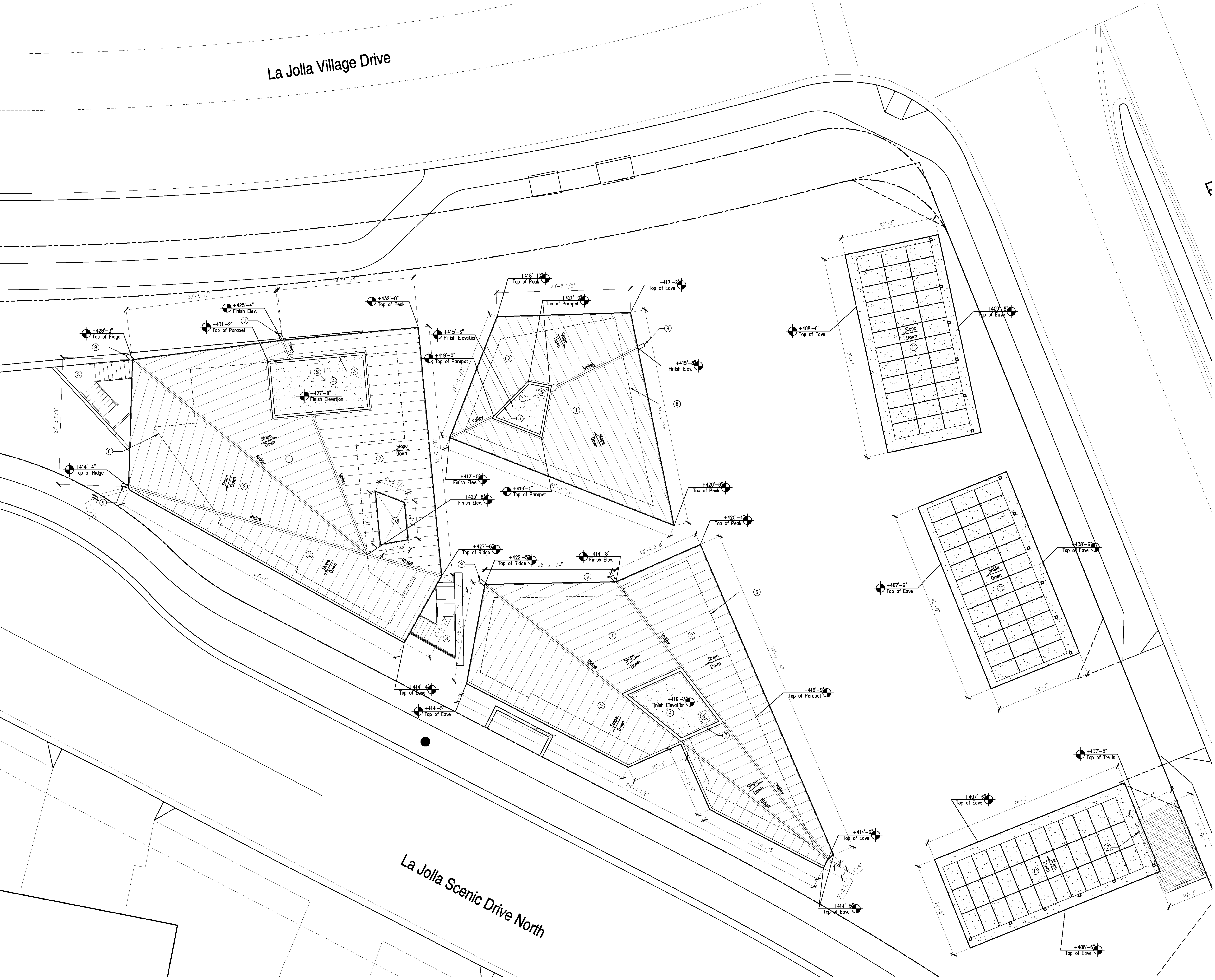
Revision 1:	06.08.10 Completeness Check
Revision 2:	08.24.10 MHP Submittal
Revision 3:	10.16.12 Revisions Cycle 50
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

NOT FOR CONSTRUCTION

Phase 2:  
Proposed Second  
Floor Building Plan  
1/8" = 1'-0"

A2.04





1 Proposed Roof Plan  
scale: 1/8" = 1'-0"

# Hillel Center for Jewish Life

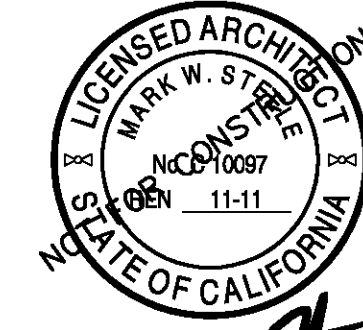
- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
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## Roof Plan Notes

- 1 Metal roof.
- 2 Surface applied photovoltaic 'film'.
- 3 Parapet wall.
- 4 Mechanical equipment well.
- 5 Access hatch to interior space below for maintenance access.
- 6 Line of wall below.
- 7 4x trellis over trash enclosure.
- 8 Stair below.
- 9 Exposed heavy timber beam.
- 10 Open to below.
- 11 Carport structure with solar photovoltaic panels on top.

## General Notes

1. All parapet walls around mechanical wells to provide screening for medical equipment.



Street Vacation  
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ARCHITECTURE | PLANNING

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Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

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Phase 2:  
Proposed Roof Plan  
1/8" = 1'-0"

A2.05



Hillel Center for Jewish Life

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Elevation Notes

- 1 Existing grade.
- 2 Proposed grade.
- 3 Stucco – earth tone colors.
- 4 Glazing.
- 5 Stone veneer facing.
- 6 Concrete block – earth tone colors.
- 7 Copper roofing.
- 8 Surface parking lot.
- 9 Landscaping – refer to Landscape Drawings for all paving and planting materials.
- 10 Concrete block retaining wall – earth tone colors.
- 11 Courtyard entry gate.
- 12 Parapet wall of mechanical well.
- 13 Trash enclosure.
- 14 Maximum permitted structure height limit line: 30'-0" line from existing or finish grade, whichever is lower.
- 15 Maximum permitted overall structure height limit line: 30'-0" line from the low point within 5'-0" of building perimeter.
- 16 Coastal height limit line: 30'-0" line from the high point within 5'-0" of building perimeter.
- 17 Carport with solar photovoltaic panels on top.
- 18 Proposed transformer location.

General Notes

- 1. All parapet walls around mechanical wells to provide screening for mechanical equipment.
- 2. Refer to roof plan for roof spot elevations and surface applied photovoltaic film locations.
- 3. Refer to Architectural site plan drawing for locations of property lines and 4'-0" setback lines. Property lines and setback lines are shown at approximate location of elevation cut. Property lines and setback lines beyond are shown for the outermost locations at the particular view shown.
- 4. Refer to Architectural courtyard plan for high and low points for the Prop 'D' and Overall structure height limit lines.

Legend

Property line	-----
Max. permitted structure height limit line	-----
Max. permitted overall structure height limit line	-----
Max. permitted "Prop D" height limit line	-----
Existing Grade	-----



Street Vacation  
Right of Way Dedication  
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ARCHITECTURE | PLANNING

Hillel Center for Jewish Life  
San Diego, California

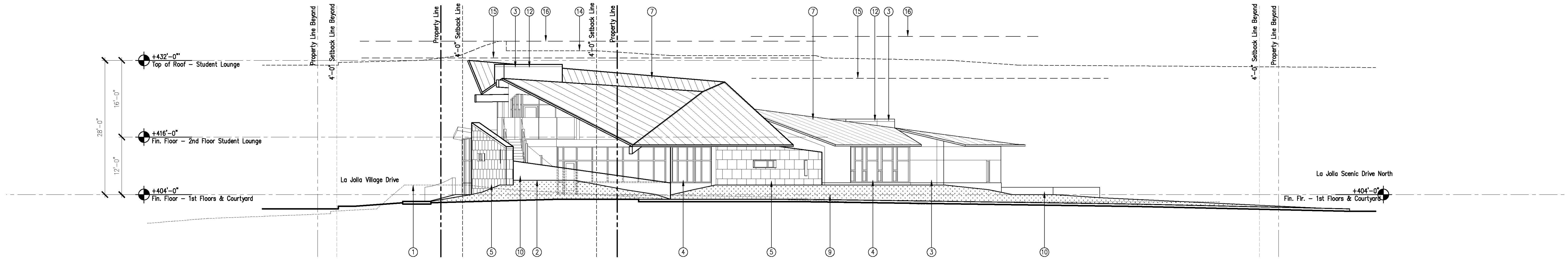
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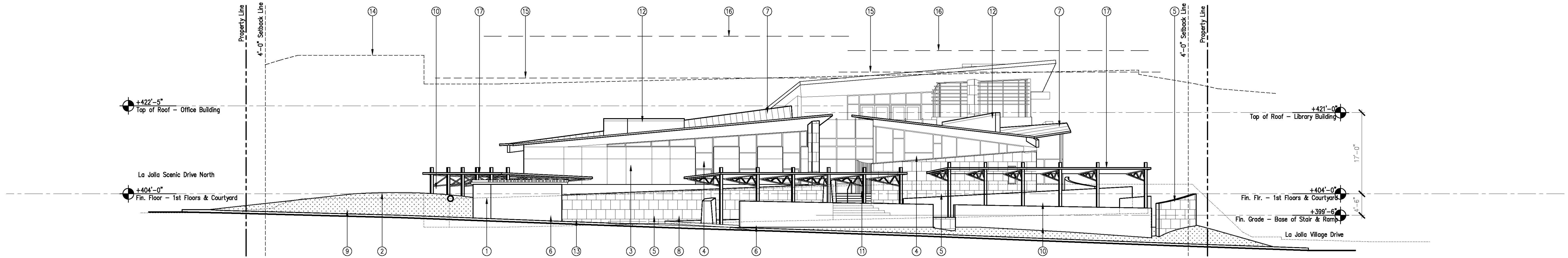
NOT FOR CONSTRUCTION

Phase 2:  
Proposed Elevations  
1" = 10'-0"

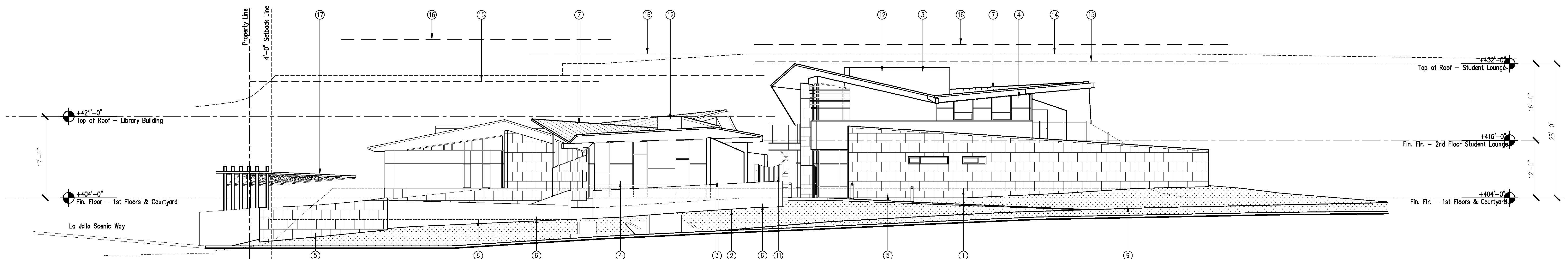
A3.00



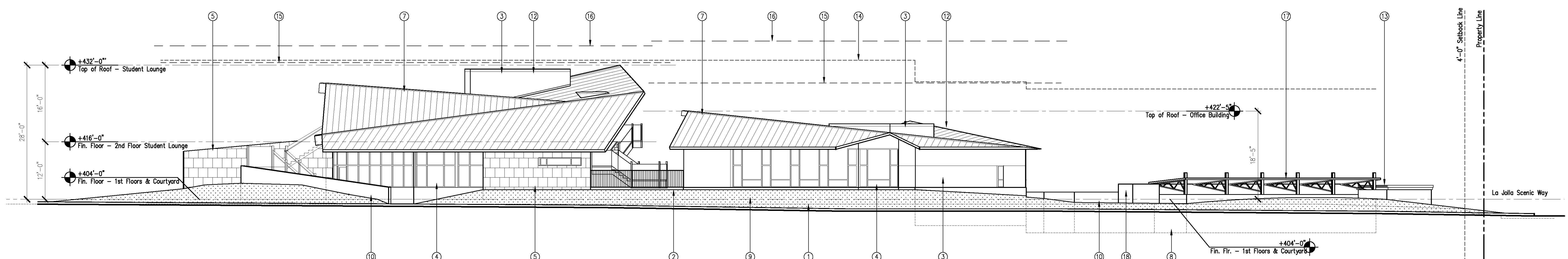
4 Proposed West Elevation (Park Facing)  
scale: 1" = 10'-0"



3 Proposed East Elevation (La Jolla Scenic Way)  
scale: 1" = 10'-0"



2 Proposed North Elevation (La Jolla Village Drive)  
scale: 1" = 10'-0"



1 Proposed South Elevation (La Jolla Scenic Drive North)  
scale: 1" = 10'-0"



Hillel Center for Jewish Life

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Section Notes

- 1 Existing grade.
- 2 Proposed grade.
- 3 Stucco – earth tone colors.
- 4 Glazing.
- 5 Stone veneer facing.
- 6 Metal roofing.
- 7 Surface parking lot.
- 8 Landscaping – refer to Landscape Drawings for all paving and planting materials.
- 9 Concrete block retaining wall – earth tone colors.
- 10 Parapet wall of mechanical well.
- 11 Accessible pedestrian ramp.
- 12 Stair.
- 13 Railing system.
- 14 Maximum permitted structure height limit line: 30'-0" line from existing or finish grade, whichever is lower.
- 15 Maximum permitted overall structure height limit line: 30'-0" line from the low point within 5'-0" of building perimeter.
- 16 Coastal height limit line: 30'-0" line from the high point within 5'-0" of building perimeter.
- 17 Carport with solar photovoltaic panels on top.

General Notes

- 1. All parapet walls around mechanical wells to provide screening for mechanical equipment.
- 2. Refer to roof plan for roof spot elevations and surface applied photovoltaic film locations.
- 3. Refer to Architectural site plan drawing for locations of property lines and 4'-0" setback lines. Property lines and setback lines are shown at approximate location of elevation cut. Property lines and setback lines beyond are shown for the outermost locations at the particular view shown.
- 4. Refer to Architectural elevations for top of roof heights and overall building heights.
- 5. Refer to Architectural courtyard plan for high and low points for the Prop 'D' and Overall structure height limit lines.

Legend

Property line	
Max. permitted structure height limit line	
Max. permitted overall structure height limit line	
Max. permitted "Prop D" height limit line	
Existing Grade	



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Hillel Center for Jewish Life  
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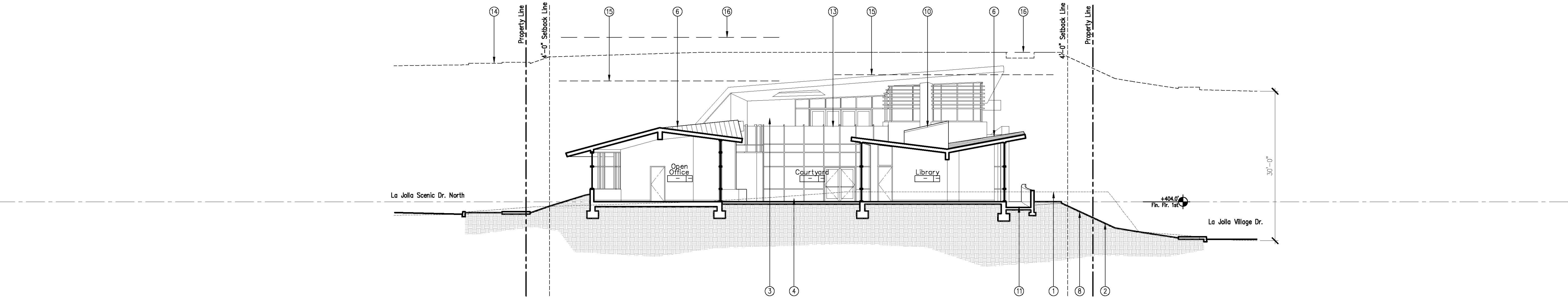
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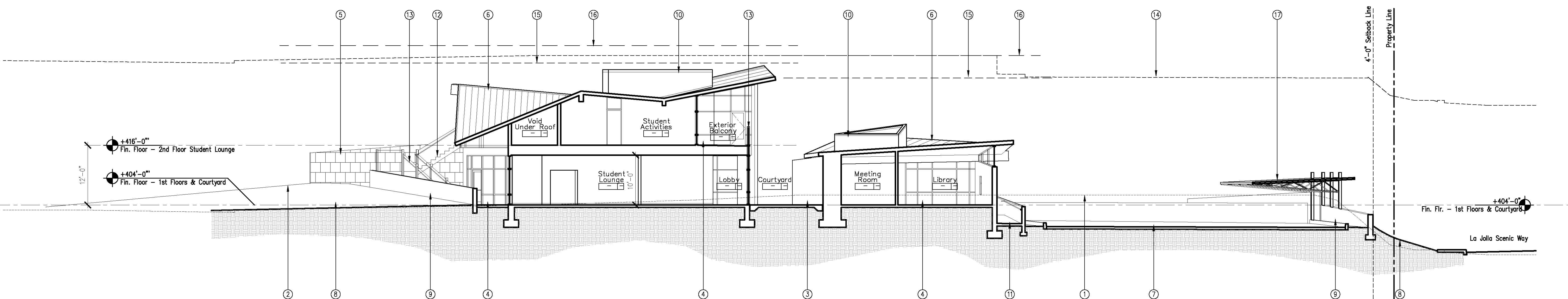
NOT FOR CONSTRUCTION

Phase 2:  
Site/Building Sections  
1/8" = 1'-0"

A4.00



2 Site/Building Section  
scale: 1" = 10'-0"



1 Site/Building Section  
scale: 1" = 10'-0"