



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: April 20, 2017 REPORT NO. PC-17-031

HEARING DATE: April 27, 2017

SUBJECT: HILLEL CENTER FOR JEWISH LIFE - Process Five Decision.

PROJECT NUMBER: [221995](#)

REFERENCE: Planning Commission Report No. PC-05-004 (Attachment 10)  
Planning Commission Report No. PC-08-119 (Attachment 11)

OWNER/APPLICANT: Hillel of San Diego and Robert Marshall, Owners/  
Hillel of San Diego, Applicant (Attachment 14).

### SUMMARY:

Issue: Should the Planning Commission recommend approval to the City Council of a two-phase development utilizing an existing residence for religious offices and the construction of a Jewish religious student center in the La Jolla Community Plan area?

### Staff Recommendations:

1. Recommend the City Council CERTIFY Environmental Impact Report No. 212995 with Findings and ADOPT Mitigation Monitoring and Reporting Program;
2. Recommend the City Council APPROVE Site Development Permit No. 758098;
3. Recommend the City Council APPROVE Public Right-of-way Vacation No. 758099; and

Community Planning Group Recommendation - On June 7, 2012, the La Jolla Community Planning Association voted 10:2:1 to recommend denial of the project. For additional information please refer to Attachment 9.

La Jolla Shores Advisory Board Recommendation - On November 20, 2012, the La Jolla Shores Advisory Board made a motion to recommend approval of the project, yet the motion failed for a lack of four affirmative votes (Attachment 13).

Environmental Review - An Environmental Impact Report No. 212995 and draft Candidate Findings have been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program would be implemented which would reduce, to below a level of significance, the potential environmental impacts identified from the environmental review process.

Fiscal Impact Statement - No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Housing Impact Statement - The proposed Hillel Center for Jewish Life is located on parcels designated for Low Density Residential (5-9 dwelling units per acre). The site contains a portion of the adjacent public right-of-way that is proposed to be vacated as part of the project. Without the public right-of-way being vacated, the site would allow three dwelling units. With the public right-of-way being vacated, the site would allow seven dwelling units. Therefore, there would be a net loss of three to seven dwelling units on the site to allow for the proposed project.

## BACKGROUND

The project proposes to construct a two-phase project for the development of a religious facility. The entire site is located at 8976 Cliffridge Avenue and on a vacant 0.77-acre lot at 9009 La Jolla Scenic Drive North totaling 0.98-acre within the La Jolla Community Plan area within the La Jolla Shores Planned District SF Zone (Single Family), Coastal Height Limit Overlay Zone, and the Campus Parking Impact Overlay Zone at (Attachment 1). The site is not within the Coastal Overlay Zone. The property located at 8976 Cliffridge Avenue is presently developed with a single family dwelling unit currently being utilized as a temporary Hillel Center (Attachment 2). The La Jolla Community Plan Land Use Map identifies the proposed project site for low density residential development at a density range of five to nine dwelling units per acre (Attachment 4).

In 2003, Hillel submitted applications for a Site Development Permit (SDP), a Planned Development Permit (PDP), and a public right-of-way vacation for a 12,000 square-foot Hillel Center for Jewish Life (Project PTS No. 6098). On March 3, 2005, the Planning Commission voted 5-0 to recommend the City Council deny SDP No. 158094. On May 9, 2006 the City Council voted 6-2 to approve the project by adopting Resolutions R-301432, 301437, 301433, and 301435. Due to litigation disputes, on May 28, 2010, the Superior Court of the State of California issued a Peremptory Writ commanding Resolutions R-301432, 301437, 301433, and 301435 for Project No. 6098 be rescinded.

On June 12, 2008, the applicant submitted a slightly revised Hillel Student Center under Project No. 149437. The project scope was generally the same as the 2003 submittal with the addition of 28 on-site parking spaces supplied by parking lifts. On November 8, 2008, the Planning Commission voted 4-1-1 to recommend the City Council deny the project. Subsequent to the Planning Commission hearing, Project No. 149437 was withdrawn.

## Project Description

On July 28, 2011, Hillel submitted the current application for a Site Development Permit and a Public Right-of-Way Vacation for a two phased development (PTS No. 212995). The proposed project is a scaled-down version of the 2003 and 2008 plans and consists of a 6,479 square-foot religious facility. The existing single-family dwelling unit located at 8976 Cliffridge Avenue (Phase I), currently being used as a temporary Hillel Center for Jewish Life, is anticipated to be used for that purpose until the permanent facility in Phase II is constructed. At that time, the 8979 Cliffridge Avenue site will be converted back to a single family dwelling unit. The conversion is a requirement of the permit as identified in Condition No. 57, which indicates the temporary religious student shall be converted to a single family dwelling unit within 120 days subsequent to final inspection of the permanent religious student center.

As indicated above, Phase I would temporarily continue the use of the existing single family dwelling unit located at 8976 Cliffridge Avenue for religious offices and related uses. Phase II would develop the vacant lot (9009 La Jolla Scenic Drive North) with a permanent 6,479 square-foot religious student center, surface parking lot for 27 vehicles; and retain 10,000 square feet for a landscaped area as a public amenity with a bike and pedestrian path from La Jolla Scenic Drive to the corner of Torrey Pines Road and La Jolla Village Drive. Upon the completion of Phase II, the temporary religious uses of the existing structure located at 8976 Cliffridge Avenue would revert back to a single family dwelling unit.

Phase II will include the development of three structures consisting of a Student Center, Library, and Professional Leadership building. The Student Center would include a lounge, meeting rooms, and restrooms on the ground floor. The second floor will include an activity room and board room. The Library will include the main library room, study/conference room, and chapel. The Professional Leadership Building will include a conference room, offices, and restrooms. The Project would incorporate several design features allowing the Phase II buildings to be complementary to the existing single family neighborhood. The buildings would utilize variations in height, sloping roof lines, a variety of materials and textures and the articulation of massing to reduce the perceived volume of the buildings. When viewed from the surrounding streets, the buildings would appear as several smaller structures rather than as one large building (Attachment 16). The articulation of the massing to reduce the perceived volume of the buildings would result in a harmony of scale between the project and the existing development pattern of single family dwellings in the neighborhood. Torrey Pine trees in a natural California landscape would be used both as street trees and in informal groupings around the periphery of the project site to further soften and screen the Phase II building at maturity. The parking area is screened from view by low walls and by locating the entrance driveway along La Jolla Scenic Way and the primary pedestrian entrance from La Jolla Village Drive, both away from the existing residential areas.

The Project's height will reach 28 feet, two feet lower than the allowed height in the SF Zone and the Coastal Height Limit Overlay Zone limit of 30 feet. The La Jolla Community Plan recommends avoiding extreme and intrusive changes to the residential scale of the neighborhoods, and promotes good design and harmony within the visual relationships and transitions between new and older structures. The proposed Project is designed to relate to the adjacent residential structures by varying the bulk and scale of the massing, and by varying the roofline.

The Project's access will be located off of La Jolla Scenic Way. This is the preferred location to enter and exit the site as it avoids the heavily traveled La Jolla Village Drive. Additionally the driveway access provides a separation between the single family residences to the south and the proposed activities on the site. The Project is consistent with the allowed uses and development regulations of the zone, as allowed through the Site Development Permit process as of the deemed complete date.

The Project's design incorporates a roof-mounted photovoltaic system consisting of solar panels and a fuel cell sufficient to generate at least 30 percent of the project's projected energy consumption. In addition, the Project proposes to meet the standards required to obtain a Leadership in Energy and Environmental Design (LEED) Silver rating.

The surrounding land uses are single family residential development to the east and south, to the west, across Torrey Pines Road are parks and open space and to the north across La Jolla Village Drive is University of California San Diego (UCSD). The University Community Plan area is north of La Jolla Village Drive and designates the land use north of La Jolla Village Drive as Public Facilities/Institutional.

The Project requires several actions to approve the development as proposed. The Planning Commission must recommend to the City Council certification of an Environmental Impact Report, and approval of both a Public Right-of-Way Vacation, and a Site Development Permit. The Public Right-of-Way Vacation is required to vacate a portion of La Jolla Scenic Drive and the Site Development Permit is required to allow development within the La Jolla Shores Planned District with deviations from the applicable development regulations for sustainable building projects (SDMC sections 125.0910(a), 1510.0201(a), and 143.0920). Supplemental Findings are required to be made to approve deviations to the development regulations for an Affordable/In-Fill Housing and Sustainable Building projects. (SDMC section 126.0504(m).)

### SF Zone Use Change

The application for this project was deemed complete on July 28, 2011, when [San Diego Municipal Code \(SDMC\) section 1510.0303\(e\)](#) allowed by right "Churches, Temples or buildings of a permanent nature, used primarily for religious purposes" within the SF zone of the La Jolla Shores Planned District. While section 1510.0303 was later amended and no longer allows such buildings in the SF zone, it is the Development Services Department practice to apply the regulations effective on the date an application is deemed complete, and therefore this project application was processed under the version of Section 1510.0303 that was effective on July 28, 2011.

### Deviations

The Project applicant requests one temporary deviation from the SDMC regulations until Phase II is completed. This includes a minimum width of a non-residential driveway. [SDMC section 142.0560](#) requires a 24-foot wide driveway for a non-residential use. The applicant requests a 12-foot-wide driveway for the 8976 Cliffridge Avenue/Phase I site during its temporary religious use. When Phase II is completed, the religious office and related uses at 8976 Cliffridge Avenue would move to the completed Phase II building and the temporary use of the single family residential dwelling structure would revert to its original single family use, which only requires a 12-foot curb cut and two parking spaces.

Staff supports the temporary deviation to a 12-foot wide curb cut. The narrower driveway is temporary in nature, and the structure use is expected to revert back to a single family residence. The deviation reduces the impacts to on-street parking, and allows for appropriate separation between the driveway and the required pedestrian ramp which matches the existing pedestrian ramp on the opposite side of the street.

The project is proposing as additional permanent deviation to the minimum parking requirements for the new 6,479 square-foot Hillel Center for Jewish Life. [SDMC Table 142-05G](#) "Parking Ratios for Specified Non-Residential Uses" identifies parking requirements for "*Churches and places of religious assembly*." This category of use considers the parking needs associated with gatherings of large numbers of people at the same time. This is demonstrated by the units of measure being "seats," "pew space" and/or "assembly area." The project does not propose pews, permanent seats for services or assembly area, therefore a Parking Deviation Request is proposed for the project. The deviation would allow the project to provide parking based on the specific needs of the facility as determined by existing comparable facilities. The results of parking surveys, including an evaluation of the number of individuals who indicated they would walk to the facility concluded that a total of 27 parking spaces would be adequate to serve the anticipated programming at the facility.

### General Plan/Community Plan Analysis

The proposed project is located on parcels designated as Low Density Residential (5-9 dwelling units per acre) in the La Jolla Community Plan. The proposed project is subject to the La Jolla Shores Planned District Ordinance (LJSPDO) which at the time that the project application was deemed complete on July 28, 2011, allowed churches, temples or buildings of a permanent nature, used primarily for religious purposes in SF zone. (SDMC section 1510.0303(e)).

The La Jolla Community Plan encourages and promotes energy efficient building design and orientation. The project proposes solar panels and LEED certification. The La Jolla Community Plan recommends new residential development comply with the landscaping and streetscape guidelines identified in the residential element and those of Appendix E of the plan. Appendix E recommends Torrey Pines as street trees. The proposed project includes Torrey Pines as street trees as well as several new plantings in the open space area.

The City of San Diego's General Plan adopted in 2008 set forth a variety of goals and policies to implement the City of Villages Strategy. The village concept is defined as "the mixed-use heart of a community where residential, commercial, employment, and civic uses are all present and integrated." The Project contributes towards fulfilling the concept of a village by providing a mix of uses in close proximity: UCSD, the single family dwelling units and the Hillel development. This would provide students and local residents the possibility of accessing the Hillel development on foot, or bicycle and also by car. It further contributes to a mix of uses that work together to create strong neighborhoods and communities. The proposed land use is consistent with the General Plan, La Jolla Community Plan and the La Jolla Shoes Planned District Ordinance land use designations.

### Environmental Analysis

The environmental analysis for the Project evaluated the potential for impacts resulting from project implementation in accordance with the California Environmental Quality Act. The Environmental Impact Report (EIR) concluded the Project would result in significant and mitigated direct impacts associated with Biological Resources, Noise and Paleontological Resources. Implementation of Mitigation Monitoring and Reporting Program would reduce the environmental effects of the Project to below a level of significance. Neither the Phase I/Phase II project nor the Existing with Improvements Option would result in significant unmitigated impacts.

### Conclusion

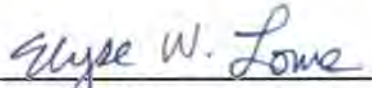
The proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the proposed Right-of-Way Vacation and proposed development. Staff is recommending the Planning Commission recommend the City Council approve the Project, Phases I and II, as proposed.

### **ALTERNATIVES**

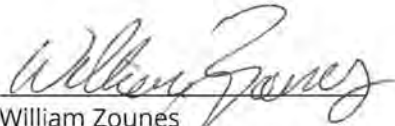
1. Recommend the City Council CERTIFY Environmental Impact Report No. 212995 and ADOPT Mitigation Monitoring and Reporting Program; and APPROVE Site Development Permit No. 758098 and Public Right-of-way Vacation 758099, with modifications.

2. Recommend the City Council DO NOT CERTIFY Environmental Impact Report No. 212995 and DO NOT ADOPT Mitigation Monitoring and Reporting Program; and DENY Site Development Permit No. 758098 and Public Right-of-way Vacation 758099, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe  
Deputy Director  
Development Services Department

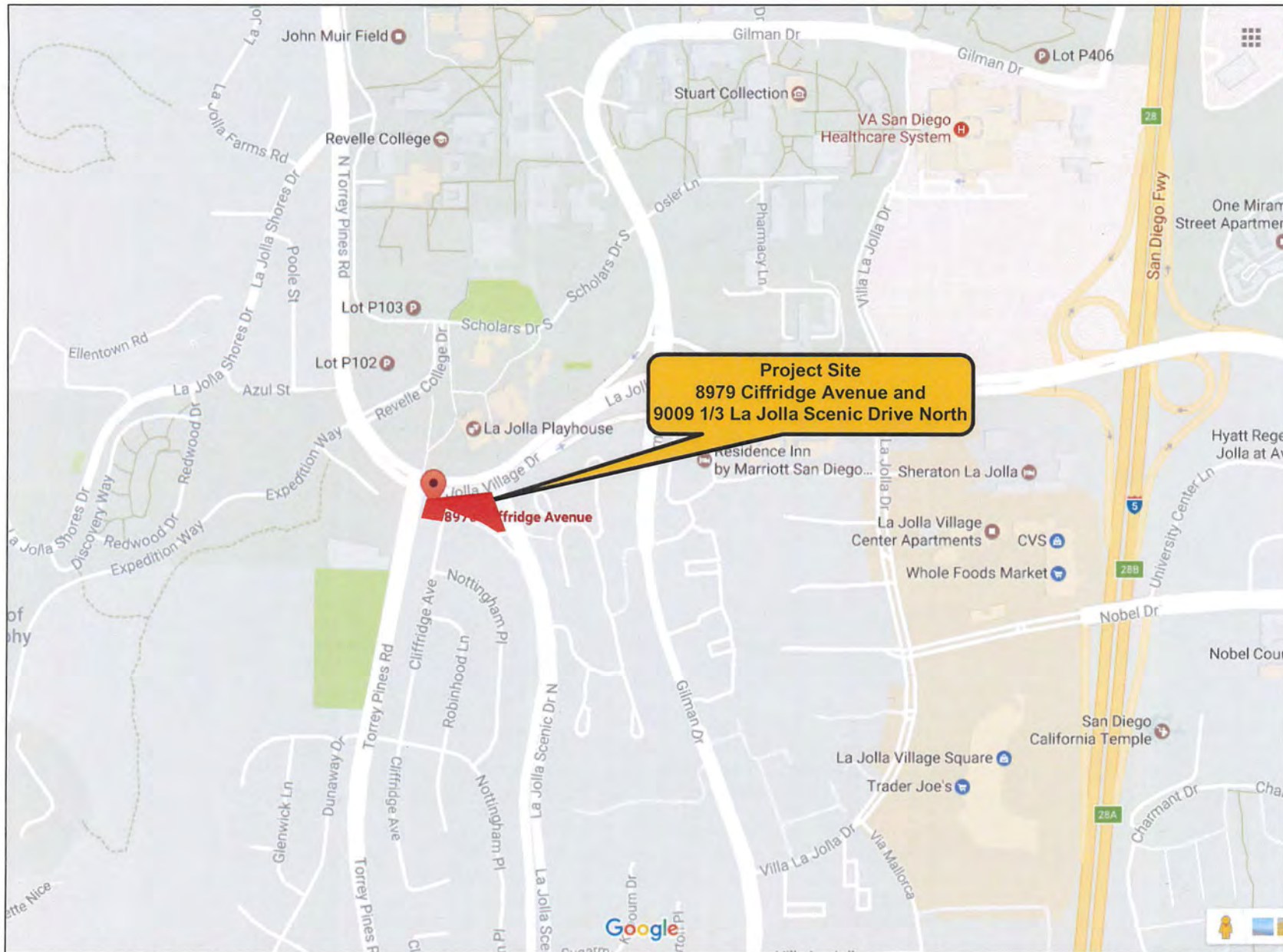


William Zounes  
Development Project Manager  
Development Services Department

LOWE:WZ

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Draft SDP Permit Resolution with Findings
7. Draft SDP Permit with Conditions
8. Draft Public Right-of-Way Resolution
9. Draft Environmental Resolution
10. Planning Commission Report No. PC-05-004
- 10a. City Manager' Report No. 05-193
11. Planning Commission Report No. PC-08-119
12. Community Planning Group Recommendation
13. La Jolla Shores Planned District Ordinance Advisory Board
14. Ownership Disclosure Statement
15. Public Right-of-Way Drawing No. 37432-3-C
16. Project Plans



## Project Location Map

Hillel Center for Jewish Life Project No. 212995

8979 Cliffridge Avenue & 9009 1/3 La Jolla Scenic Drive North



Attachment 1  
Project Location Map

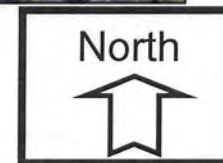


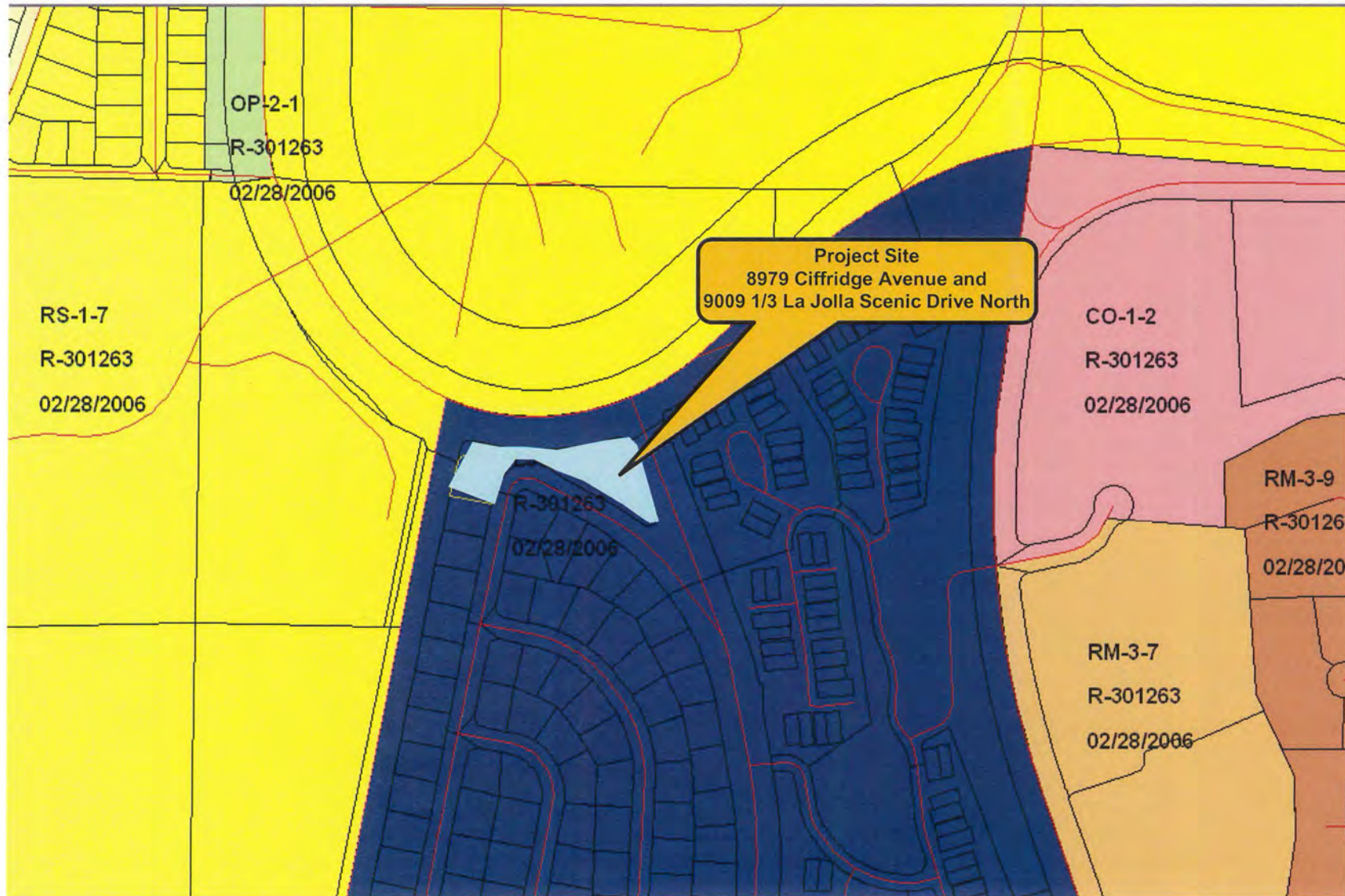
## Attachment 2 Aerial Photograph of Site



### Aerial Photograph (Birds Eye)

Hillel Center for Jewish Life Project No. 212995  
8979 Cliffridge Avenue & 9009 1/3 La Jolla Scenic Drive North



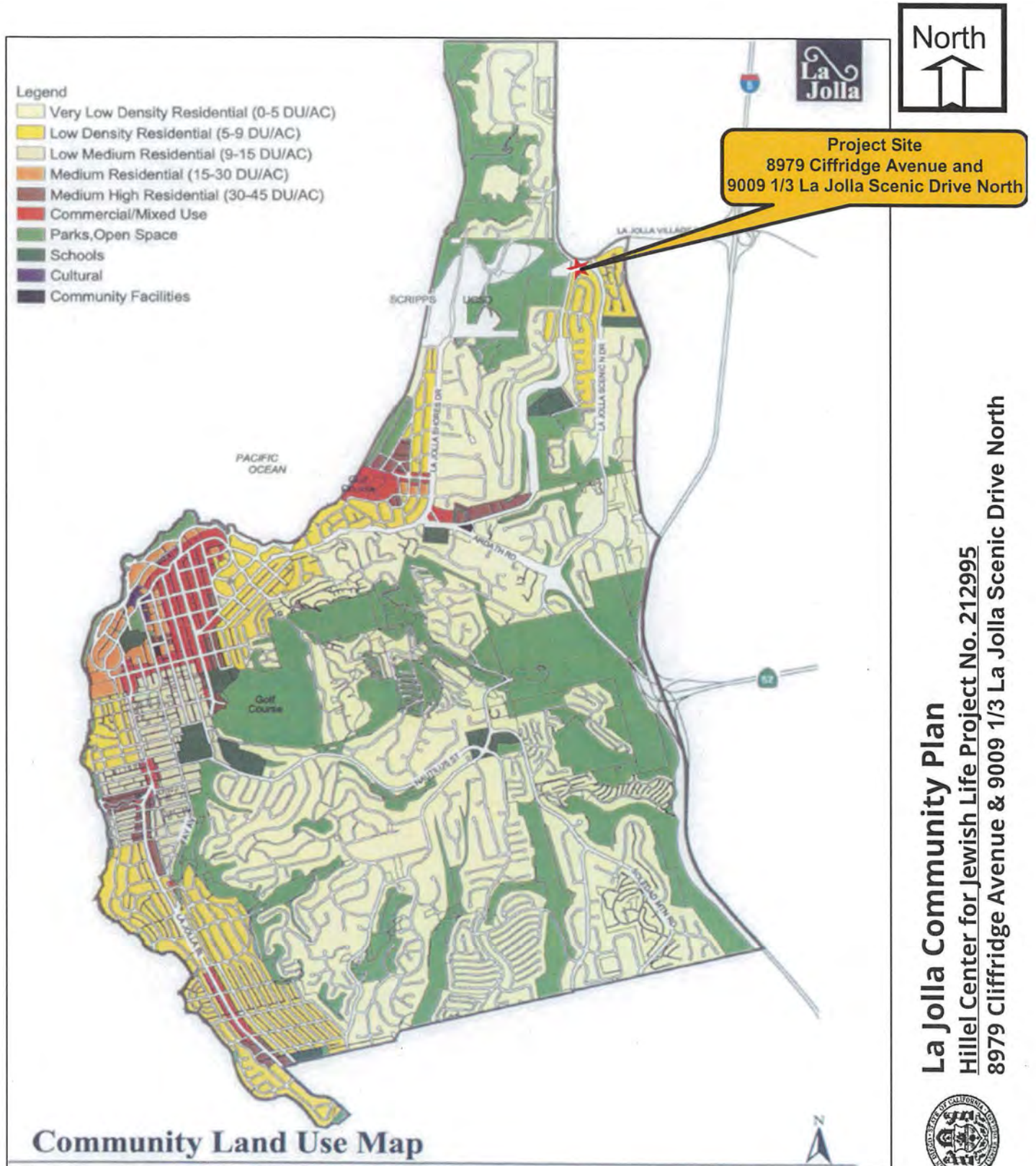


## Project Zoning Map

Hillel Center for Jewish Life Project No. 212995  
8979 Cliffridge Avenue & 9009 1/3 La Jolla Scenic Drive North



# Attachment 4 Community Plan Land Use Map



**La Jolla Community Plan**  
Hillel Center for Jewish Life Project No. 212995  
8979 Cliffridge Avenue & 9009 1/3 La Jolla Scenic Drive North



**Attachment 5**  
**Project Data Sheet**

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Hillel Center for Jewish Life	
<b>PROJECT DESCRIPTION:</b>	Two-phase project for the development of a 6,489 square-foot religious facility	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit/Public Right-of-Way Vacation	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low Density Residential (5-9 du/ac)	
<b>ZONING INFORMATION:</b> <div style="margin-left: 40px;"> <b>ZONE:</b> Single Family (SF)  <b>HEIGHT LIMIT:</b> 30 feet  <b>LOT SIZE:</b> .77-acres for new religious facility and 0.21-acres for existing home  <b>FLOOR AREA RATIO:</b> N/A  <b>FRONT SETBACK:</b> General Conformity with those in the Vicinity  <b>SIDE SETBACK:</b> General Conformity with those in the Vicinity  <b>STREETSIDE SETBACK:</b> General Conformity with those in the Vicinity  <b>REAR SETBACK:</b> General Conformity with those in the Vicinity  <b>PARKING:</b> 27 spaces proposed         </div>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Parks and Open Space and Institutional/SF	Parks, UCSD
<b>SOUTH:</b>	Single Family/SF	Single Family Homes
<b>EAST:</b>	Single Family/SF	Single Family Homes
<b>WEST:</b>	Parks & Open space/ RS-1-7	Athletic Fields
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	One Temporary deviation for curb cut for single family dwelling unit and one permanent for parking requirements within the new religious center.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On June 7, 2012, the La Jolla Community Planning Association voted 10:2:1 to recommend denial of the project. On November 20, 2012, the La Jolla Shores Advisory Board made a motion to recommend approval of the project, yet the motion failed for a lack of four affirmative votes.	

RESOLUTION NUMBER R-\_\_\_\_\_  
ADOPTED ON \_\_\_\_\_

SITE DEVELOPMENT PERMIT NO. 758098  
**HILLEL CENTER FOR JEWISH LIFE - PROJECT NO. 212995 [MMRP]**  
CITY COUNCIL

WHEREAS, Robert Marshall, Trustee of the UDT Trust, dated June 1, 2002, and Hillel of San Diego, a California non-profit religious corporation, Owner/Permittee, filed an application with the City of San Diego for a Site Development Permit No. 758098 to construct a two-phase project known as the Hillel Center of Jewish Life Project (Project): Phase I will use the existing single-family dwelling unit on a 0.21-acre site located at 8976 Cliffridge Avenue as a temporary Jewish Life Center until Phase II is completed; and Phase II will construct a 6,479 square-foot building and other improvements for the permanent Jewish Life Center on a vacant 0.77-acre site located at 9009 La Jolla Scenic Drive North ; and

WHEREAS, after Phase II is completed, the structure at 8976 Cliffridge Avenue will be returned to use as a single-family dwelling unit; and

WHEREAS, the Project site is and legally described as legally described as Lot 67 of La Jolla Highlands Unit No. 3, according to Map thereof No. 3528, filed October 19, 1956 and a Portion of Lot 1299, Miscellaneous Map No. 36, Pueblo Lands, in the La Jolla Community Plan area, in the SF Zone of the La Jolla Shores Planned District; and

WHEREAS, on April 27, 2017, the Planning Commission of the City of San Diego considered Site Development Permit No. 758098, and pursuant to Resolution No. \_\_\_\_\_-PC       voted       to recommend City Council approval of the permit; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 758098:

**I. Site Development Permit - Section 126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan.**

The Hillel Center for Jewish Life (Project) will construct a two-phase project: Phase I will utilize the existing residence at 8976 Cliffridge Avenue as a temporary Jewish life center; and Phase II will construct a 6,479 square-foot building and other improvements for the permanent Jewish life center on a vacant 0.77-acre site on the south side of La Jolla Village Drive between Torrey Pines Road & La Jolla Scenic Way and a vacated portion of La Jolla Scenic Drive North. The temporary Jewish life center use within the existing residence at 8976 Cliffridge Avenue will be returned to a single family residential unit use after Phase II is completed. The site is located within the SF Zone of the La Jolla Shores Planned District and within the La Jolla Community Plan area.

The City of San Diego's General Plan adopted in 2008 set forth a variety of goals and policies to implement the City of Villages Strategy. The village concept is defined as "the mixed-use heart of a community where residential, commercial, employment, and civic uses are all present and integrated". The Project contributes to fulfilling the concept of a village by providing a mix of uses in close proximity: University of California San Diego (UCSD), the single family residences and the Hillel development. The Project will be located on parcels designated as Low Density Residential at a density range of five to nine dwelling units per acre in the La Jolla Community Plan. The land use proposed will be consistent with the La Jolla Community Plan land use designation. Therefore, the Project will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The Project will not be detrimental to public health, safety, and welfare because the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. These conditions include but not limited to the replacement of curbs with City standard curbs and gutters; the construction of a privately owned and maintained bike path in a public access easement traversing the site from La Jolla Village Drive to La Jolla Scenic Drive

North; new curb ramps; the construction of a City standard bus stop slab on La Jolla Village Drive; storm runoff restrictions; and the relocation of public water service. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations, and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. The conditions of approval will therefore assure the continued health, safety and general welfare of persons residing or working in the area.

The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code requirements, and development regulations. Therefore, the Project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The Project will construct a two-phase project: Phase I will utilize the existing residence at 8976 Cliffridge Avenue as a temporary Jewish life center; and Phase II will construct a 6,479 square-foot building and other improvements for the permanent Jewish life center on a vacant 0.77-acre site on the south side of La Jolla Village Drive between Torrey Pines Road & La Jolla Scenic Way and a vacated portion of La Jolla Scenic Drive North. The temporary Jewish life center use within the existing residence at 8976 Cliffridge Avenue will be returned to a single family residential unit use after Phase II is completed. The site is located within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan. The proposed project is subject to the La Jolla Shores Planned District Ordinance (LJSPDO) at the time that the project application was deemed complete on July 28, 2011, which allowed churches, temples or buildings of a permanent nature, used primarily for religious purposes in SF zone. (SDMC section 1510.0303(e)).

The San Diego Municipal Code (SDMC) Section 143.0920 allows an applicant to request deviations from the regulations for Affordable/In-Fill Housing and Sustainable Buildings projects in accordance with Section 143.0915 pursuant to a Site Development Permit, as long as the decision maker makes the findings in Section 126.0504(a) and the supplemental findings in Section 126.0504(m).

The Project applicant requests one temporary deviation from the San Diego Municipal Code regulations until Phase II is completed. This includes a minimum width of a non-residential driveway. SDMC section 142.0560 requires a 24-foot wide driveway for a non-residential use. The applicant requests a 12-foot-wide driveway for the 8976 Cliffridge Avenue/Phase I site during its temporary religious use. When Phase II is completed, the religious office and related uses at 8976 Cliffridge Avenue would move to the completed Phase II building and the temporary use of the single family residential dwelling structure would revert to its original single family use, which only requires a 12-foot curb cut.

The 12-foot wide curb cut deviation can be supported because the narrower driveway is temporary in nature which is expected to revert back to a single family residence, reduces the impacts to on-street parking and allows for appropriate separation between the

driveway and the required pedestrian ramp which matches the existing pedestrian ramp on the opposite side of the street.

The project is proposing a second and permanent deviation to the minimum parking requirements to the new 6,479 square-foot Hillel Center for Jewish Life. SDMC Table 142-05G Parking Ratios for Specified Non-Residential Uses identifies parking requirements for "Churches and places of religious assembly." This category of use considers the parking needs associated with gatherings of large numbers of people at the same time. This is demonstrated by the units of measure being "seats," "pew space" and/or "assembly area." The project does not propose pews, permanent seats for services or assembly area, therefore a Parking Deviation Request is proposed for the project. The deviation would allow the project to provide parking based on the specific needs of the facility as determined by existing comparable facilities. The results of parking surveys, including an evaluation of the number of individuals who indicated they would walk to the facility concluded that a total of 27 parking spaces would be adequate to serve the anticipated programming at the facility.

With the exception of the temporary 12-foot driveway for a non-residential use and the parking deviation, the proposed development complies with the applicable zoning and development regulations of the Land Development Code including land development requirements regulating uses allowed in the SF zone. The proposed project was reviewed for compliance with the SF zone land development requirements for requirements to setbacks, density, landscape, parking, and floor area ratio. Therefore, the Project will comply with the applicable regulations of the Land Development Code.

**M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings (SDMC section 126.0504(m))**

**1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.**

The Project will construct a two-phase project: Phase I will utilize the existing residence at 8976 Cliffridge Avenue as a temporary Jewish life center; and Phase II will construct a 6,479 square-foot building and other improvements for the permanent Jewish life center on a vacant 0.77 acre site on the south side of La Jolla Village Drive between Torrey Pines Road & La Jolla Scenic Way and a vacated portion of La Jolla Scenic Drive North. The temporary Jewish life center use within the existing residence at 8976 Cliffridge Avenue will be returned to a single family residential unit use after Phase II is completed. The site is located within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan.

The La Jolla Community Plan encourages and promotes energy efficient building design and orientation. The Project will include solar panels for the generation of 30-percent of electricity on-site and obtain a Leadership in Energy and Environmental Design (LEED) certification. Requirements to meet the LEED certification include that the project provide

public transportation access, create priority parking for low-emitting and fuel efficient vehicles, maximize open space, create quality control for storm water design, non-roof heat island reduction, light pollution reduction, water efficient landscaping, provide innovative wastewater design, reduce water use, optimize energy performance, provide on-site renewable energy, use of recycle contents, provide low-emitting materials, provide thermal comfort, and maximize daylight.

Such measures will promote the reduction of impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies. Therefore, the Project will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

**2. The development will not be inconsistent with the purpose of the underlying zone.**

The Project will construct a two-phase project: Phase I will utilize the existing residence at 8976 Cliffridge Avenue as a temporary Jewish life center; and Phase II will construct a 6,479 square-foot building and other improvements for the permanent Jewish life center on a vacant 0.77-acre site on the south side of La Jolla Village Drive between Torrey Pines Road & La Jolla Scenic Way and a vacated portion of La Jolla Scenic Drive North. The temporary Jewish life center use within the existing residence at 8976 Cliffridge Avenue will be returned to a single family residential unit use after Phase II is completed. The site is located within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan. The proposed project is subject to the La Jolla Shores Planned District Ordinance (LJSPDO) at the time that the project application was deemed complete on July 28, 2011, which allowed churches, temples or buildings of a permanent nature, used primarily for religious purposes in SF zone. (SDMC section 1510.0303(e)).

The San Diego Municipal Code (SDMC) Section 143.0920 allows an applicant to request deviations from the regulations for Affordable/In-Fill Housing and Sustainable Buildings in accordance with Section 143.0915 pursuant to a Site Development Permit, as long as the decision maker makes the findings in Section 126.0504(a) and the supplemental findings in Section 126.0504(m).

The San Diego Municipal Code (SDMC) Section 143.0920 allows an applicant to request deviations from the regulations for Affordable/In-Fill Housing and Sustainable Buildings in accordance with Section 143.0915 pursuant to a Site Development Permit, as long as the decision maker makes the findings in Section 126.0504(a) and the supplemental findings in Section 126.0504(m).

The Project applicant requests one temporary deviation from the San Diego Municipal Code regulations until Phase II is completed. This includes a minimum width of a non-residential driveway. SDMC section 142.0560 requires a 24-foot wide driveway for a non-residential use. The applicant requests a 12-foot-wide driveway for the 8976 Cliffridge Avenue/Phase I site during its temporary religious use. When Phase II is completed, the religious office and related uses at 8976 Cliffridge Avenue would move to the completed Phase II building and

the temporary use of the single family residential dwelling structure would revert to its original single family use, which only requires a 12-foot curb cut and two parking space.

The 12-foot wide curb cut deviation can be supported because the narrower driveway is temporary in nature which is expected to revert back to a single family residence, reduces the impacts to on-street parking and allows for appropriate separation between the driveway and the required pedestrian ramp which matches the existing pedestrian ramp on the opposite side of the street.

The project is proposing a second and permanent deviation to the minimum parking requirements to the new 6,479 square-foot Hillel Center for Jewish Life. SDMC Table 142-OSG Parking Ratios for Specified Non-Residential Uses identifies parking requirements for "Churches and places of religious assembly." This category of use considers the parking needs associated with gatherings of large numbers of people at the same time. This is demonstrated by the units of measure being "seats," "pew space" and/or "assembly area." The project does not propose pews, permanent seats for services or assembly area, therefore a Parking Deviation Request is proposed for the project. The deviation would allow the project to provide parking based on the specific needs of the facility as determined by existing comparable facilities. The results of parking surveys, including an evaluation of the number of individuals who indicated they would walk to the facility concluded that a total of 27 parking spaces would be adequate to serve the anticipated programming at the facility.

With the exception of the temporary 12-foot driveway for a non-residential use and the parking deviation, the proposed development complies with the applicable zoning and development regulations of the Land Development Code including land development requirements regulating uses allowed in the SF zone. The proposed project was reviewed for compliance with the SF zone land development requirements for requirements to setbacks, density, landscape, parking, and floor area ratio.

The Project will be consistent with the overall bulk and scale of the residential neighborhood to the south of the parcels. Considering the size of the site, over 33,000 square feet, and the building of 6,479 square feet, without and with calculations for a phantom floor, the floor area ratio (FAR) is approximately 0.21. If the project were subject to a City-wide FAR, the FAR would be limited to 0.60, however, the La Jolla Shores Planned District does not have an FAR limitation. The Project building height will reach 28 feet, two feet lower than the Proposition D height limit of 30 feet. The Project's proposed building is designed to relate to the adjacent residential structures by varying the bulk and scale of the massing, and by varying the roofline. The Projects access will be located off of La Jolla Scenic Way. This is the safest location for access as it avoids accessing the site from heavily traveled La Jolla Village Drive. Additionally the driveway access provides a separation between the single family residences to the south and the proposed activities on the site.

The purpose and intent of the La Jolla Shores Planned District states: "the public health, safety, and welfare require that property in La Jolla Shores shall be protected from impairment in value and that the distinctive residential character and the open seascape orientation of the La Jolla Shores Area shall be retained and enhanced" and "The development of land in La Jolla Shores should be controlled so as to protect and enhance

the area's unique ocean-oriented setting, architectural character and natural terrain and enable the area to maintain its distinctive identity as part of one of the outstanding residential areas of the Pacific Coast. The proper development of La Jolla Shores is in keeping with the objectives and proposals of the General Plan for the City of San Diego, of the La Jolla Community Plan, and of the La Jolla Shores Precise Plan." The Project location will provide students and local residents the opportunity of accessing the proposed development on foot, or bicycle and also by car. The Project further contributes to a mix of uses in the neighborhood that work together to create strong neighborhoods and communities. Therefore, the development will not be inconsistent with the purpose of the underlying zone.

**3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The Project will construct a two-phase project: Phase I will utilize the existing residence at 8976 Cliffridge Avenue as a temporary Jewish life center; and Phase II will construct a 6,479 square-foot building and other improvements for the permanent Jewish life center on a vacant 0.77-acre site on the south side of La Jolla Village Drive between Torrey Pines Road & La Jolla Scenic Way and a vacated portion of La Jolla Scenic Drive North. The temporary Jewish life center use within the existing residence at 8976 Cliffridge Avenue will be returned to a single family residential unit use after Phase II is completed. The site is located within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan. The proposed project is subject to the La Jolla Shores Planned District Ordinance (LJSPDO) at the time that the project application was deemed complete on July 28, 2011, which allowed churches, temples or buildings of a permanent nature, used primarily for religious purposes in SF zone. (SDMC section 1510.0303(e)).

The San Diego Municipal Code (SDMC) Section 143.0920 allows an applicant to request deviations from the regulations for Affordable/In-Fill Housing and Sustainable Buildings in accordance with Section 143.0915 pursuant to a Site Development Permit, as long as the decision maker makes the findings in Section 126.0504(a) and the supplemental findings in Section 126.0504(m).

The Project applicant requests one temporary deviation from the San Diego Municipal Code regulations until Phase II is completed. This includes a minimum width of a non-residential driveway. SDMC section 142.0560 requires a 24-foot wide driveway for a non-residential use. The applicant requests a 12-foot-wide driveway for the 8976 Cliffridge Avenue/Phase I site during its temporary religious use. When Phase II is completed, the religious office and related uses at 8976 Cliffridge Avenue would move to the completed Phase II building and the temporary use of the single family residential dwelling structure would revert to its original single family use, which only requires a 12-foot curb cut and two parking space.

The 12-foot wide curb cut deviation can be supported because the narrower driveway is temporary in nature which is expected to revert back to a single family residence, reduces the impacts to on-street parking and allows for appropriate separation between the driveway and the required pedestrian ramp which matches the existing pedestrian ramp on the opposite side of the street.

The project is proposing a second and permanent deviation to the minimum parking requirements to the new 6,479 square-foot Hillel Center for Jewish Life. SDMC Table 142-05G Parking Ratios for Specified Non-Residential Uses identifies parking requirements for "Churches and places of religious assembly." This category of use considers the parking needs associated with gatherings of large numbers of people at the same time. This is demonstrated by the units of measure being "seats," "pew space" and/or "assembly area." The project does not propose pews, permanent seats for services or assembly area, therefore a Parking Deviation Request is proposed for the project. The deviation would allow the project to provide parking based on the specific needs of the facility as determined by existing comparable facilities. The results of parking surveys, including an evaluation of the number of individuals who indicated they would walk to the facility concluded that a total of 27 parking spaces would be adequate to serve the anticipated programing at the facility.

With the exception of the temporary 12-foot driveway for a non-residential use and the parking deviation, the proposed development complies with the applicable zoning and development regulations of the Land Development Code including land development requirements regulating uses allowed in the SF zone. The proposed project was reviewed for compliance with the SF zone land development requirements for requirements to setbacks, density, landscape, parking, and floor area ratio. Therefore, the deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Site Development Permit No. 758098 is granted to Hillel of San Diego, Owner/Permittee and Robert Marshall, Owner, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: Mara W. Elliott, City Attorney

By \_\_\_\_\_  
Inga Lintvedt  
Deputy City Attorney

ATTY/SEC. INITIALS

DATE

Or.Dept:Clerk

R-INSERT

Form=permitr.frm(61203wct)

Reviewed by John S. Fisher

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**  
**MAIL STATION 2A**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24000958

SITE DEVELOPMENT PERMIT NO. 758098  
**HILLEL CENTER FOR JEWISH LIFE - PROJECT NO. 212995 [MMRP]**  
CITY COUNCIL

This Site Development Permit No. 758098 is granted by the City Council of the City of San Diego to HILLEL OF SAN DIEGO, a California non-profit religious corporation, and ROBERT MARSHALL, Trustee of the UDT Trust, together the Owner/Permittee, pursuant to San Diego Municipal Code section 126.0504 and 1510.0201(c). The 0.98-acre site is located at 9009 La Jolla Scenic Drive North and at 8976 Cliffridge Avenue, both sites are located in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan. The project site is legally described as: Lot 67 of La Jolla Highlands Unit No. 3, according to Map thereof No. 3528, filed October 19, 1956 and a Portion of Lot 1299, Miscellaneous Map No. 36, Pueblo Lands.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow construction of a two-phased project where Phase I will utilize the existing residence single-family dwelling unit located at 8976 Cliffridge Avenue as a temporary religious student center, Phase II to construct a 6,479 square-foot religious student center, and the temporary use of the existing residence structure at 8976 Cliffridge Avenue will be returned to a single family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated \_\_\_\_\_, on file in the Development Services Department.

The Project shall include:

- a. Phase I to utilize the existing single-family dwelling unit located at 8976 Cliffridge Avenue as a temporary religious student center until Phase II is completed;
- b. Phase II to construct a 6,479 square-foot building as the permanent religious student center at 9009 La Jolla Scenic Drive North and the temporary use of the existing residence at 8976 Cliffridge Avenue will be returned to use as a single family residence;

- c. One temporary deviations is proposed:
  - i. Allow a driveway width of twelve feet for the temporary use in Phase I where the minimum driveway width for non-residential uses is twenty-four feet;
- d. One permanent deviation is proposed:
  - i. Parking deviation to the 6,479 square-foot religious student center to allow the project to provide parking based on the specific needs of the facility for a total of 27 parking spaces;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking;
- g. Phase II shall include a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 30-percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- h. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the

appropriate City decision maker. With the occupancy of the Phase II improvements, the existing residence at 8976 Cliffridge Avenue must revert to use as a single family residence.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Game [CDFG] pursuant to California Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. This Permit may be developed in two phases.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

13. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

14. The mitigation measures specified in the MMRP and outlined in Environmental Impact Report No. 212995, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the MMRP as specified in Environmental Impact Report No. 212995, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Noise

Paleontological Resources

**CLIMATE ACTION PLAN (CAP) REQUIREMENTS:**

16. The Owners/Permittees shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A" Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

17. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

18. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the replacement of curb with City standard curb and gutter, adjacent to the site on La Jolla Scenic Drive North, La Jolla Village Drive and Torrey Pines Road, satisfactory to the City Engineer.

22. The drainage system proposed for this development is private and subject to approval by the City Engineer.

23. The project proposes to export 645 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

24. Prior to the construction of the privately owned and maintained bike path in a Public Access Easement traversing the site from La Jolla Village Drive to La Jolla Scenic Drive North as depicted in the Exhibit 'A', the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, for the bike path, satisfactory to the City Engineer.

25. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

26. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
27. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of curb ramp at the intersection of Cliffridge Avenue and La Jolla Scenic Drive North, satisfactory to the City Engineer.
28. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of curb ramp at the intersection of La Jolla Village Drive and La Jolla Scenic Drive, satisfactory to the City Engineer.
29. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a City standard driveway on La Jolla Scenic Drive, satisfactory to the City Engineer.
30. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of new sidewalk along the property frontage, satisfactory to the City Engineer.
31. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, for the private storm drain in the City's storm drain easement, satisfactory to the City Engineer.
32. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a City standard bus stop slap on La Jolla Village Drive, satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

33. Prior to issuance of construction permits for grading, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual, Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.
34. Prior to issuance of construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
35. In the event that a foundation-only permit is requested by the Permittee or Subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas

consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

36. Prior to issuance of any construction permits for buildings; the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department.

37. Prior to Final Inspection for Phase II construction, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

38. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

39. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity; in this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

40. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to issuance of a Certificate of Occupancy.

41. Prior to issuance of construction permits for grading; the Owner/Permittee shall ensure that all proposed landscaping, shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the prohibited plant species list found in "Table 1" of the Landscape Standards shall not be permitted.

**PLANNING/DESIGN REQUIREMENTS:**

42. Owner/Permittee shall maintain a minimum of 27 automobile spaces (including 1 standard accessible space and 1 van accessible space), 2 motorcycle spaces, and 4 bicycle spaces with rack(s) shall be provided as required by the project traffic impact analysis and shown per the project's Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

43. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
44. The cul-de-sac area proposed for vacation shall be retained in perpetuity for public pedestrian and bicycle access. The area shall not be gated or otherwise obstructed to prevent free movement and public access. In addition, the project shall incorporate signage which identify this area as public access to the satisfaction of the City Planner.
45. Prior to Final Inspection for Phase II construction, the Owner/Permittee shall grant a Public Access Easement over the bicycle and pedestrian path as shown on Exhibit "A," satisfactory to the City Engineer.
46. Hours of operation shall be limited to 7:00 A.M. to 10:00 P.M. daily and events will be concluded by 10:00 P.M., allowing for 11:00 P.M. clean up and closing of the facility. Hillel may observe Jewish holidays, customs and ritual practices for High Holiday, Shavuot, Purim, Passover and other Jewish special observances provided that the above hours of operation are observed.
47. Occasional events will be limited to no more than 12 in a calendar year. Occasional event parking demands will be met by the mitigation outlined in the traffic and parking study that is conditioned upon the project.
48. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.
49. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower.
50. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
51. No building additions shall be permitted unless approved by the City Manager.
52. All signs associated with this development shall be consistent with sign criteria established by the La Jolla Shores Planned District Ordinance.
53. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the

satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," on file in the Development Services Department.

54. Prior to the issuance of building permits for Phase II, construction documents shall fully illustrate incorporation of roof-mounted (carport) photovoltaic systems consisting of solar panels sufficient to generate at least 30 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

55. All outdoor lighting shall be adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

56. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

57. The temporary religious student center located at 8976 Cliffridge Avenue shall be converted to a single family dwelling unit within 120 days subsequent to final inspection of the permanent religious student center. The Owner shall inform the Development Services Department, Submittal and Project Management Division when the home has been converted to a single family dwelling unit.

#### **TRANSPORTATION REQUIREMENTS**

58. Prior to issuance of any construction permit, the Owner/Permittee shall dedicate twelve feet of right-of-way along the project frontage along La Jolla Village Drive, as shown on the Exhibit "A." The project frontage shall include a twenty-two foot parkway including a minimum five foot wide non-contiguous sidewalk, satisfactory to the City Engineer.

59. Prior to issuance of any construction permit, the Owner/Permittee shall install twenty-five linear feet of painted red curb north of the project driveway on La Jolla Scenic Way, satisfactory to the City Engineer.

60. A monitoring report including a discussion of the Transportation Demand and Parking Management plan measures which have been implemented and a determination of the effectiveness of the combined Transportation Demand and Parking Management plan measures shall be prepared and provided to the City of San Diego annually for a three (3) year period utilizing surveys from Hillel employees and traffic counts prepared by a licensed Traffic Engineer.

#### **PUBLIC UTILITIES REQUIREMENTS:**

61. Prior to the issuance of the first foundation, building or grading permit, the Owner/Permittee shall cut, plug and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive North right-of-way to be vacated, from La Jolla Scenic Way to Torrey Pines Road, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

62. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of public 16-inch water facilities and the cut, plug and abandonment of the existing public 8-inch water facilities within the La Jolla Scenic Drive North right-of-way, from La Jolla Scenic Way to Torrey Pines Road, and connect to the 16-inch mains all existing water services still in service adjacent to the project, in a manner satisfactory to the Director of Public Utilities and the City Engineer.
63. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s), including domestic, fire and irrigation, and the disconnection at the mains of all existing unused water services adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.
64. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permit(s) for the installation of private back flow prevention device(s) on all water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Water Department Director and the City Engineer. All backflow prevention devices shall be located above grade and outside of any private structures.
65. Prior to the first final inspection of any building permit, the Owner/Permittee shall install and/or replace fire hydrants at locations satisfactory to the Fire Marshal, the Director of Public Utilities and the City Engineer.
66. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall install and/or replace fire hydrants at locations satisfactory to the Fire Marshal, the Director of Public Utilities and the City Engineer.
67. It is the sole responsibility of the Owner/Permittee for any damage caused to city of San Diego public water and sewer facilities, adjacent to the project site, due to the construction activities associated with this project. In the event any such facility loses integrity then, the Owner/Permittee shall reconstruct any damaged public water and sewer facility in a manner satisfactory to the Director of Public Utilities and the City Engineer.
68. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall grant an acceptable water easement over the proposed 16-inch water facilities within the vacated La Jolla Scenic Drive North right-of-way, from Cliffridge Avenue to Torrey Pines Road, for exclusive use of public water mains with no appurtenances, in a manner satisfactory to the Director of Public Utilities and the City Engineer. Minimum water easement width, for exclusive use of public water mains with no appurtenances, shall be 15-feet-wide.
69. Prior to issuance of any building permits, the developer shall assure, by permit and bond, the design and construction of the realignment of the existing 8" public sewer main at the intersection of La Jolla Scenic Drive North and Cliffridge Avenue, satisfactory to the Director of Public Utilities and the City Engineer..
70. Prior to the Final Inspection of Phase II, the developer shall abandon the existing public sewer mains located in the proposed street vacation, satisfactory to the Director of Public Utilities and the City Engineer.

71. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

72. Prior to the first final inspection of any building permit for the Hillel of San Diego project, all public water and sewer facilities necessary to serve this development shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

73. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and sewer Facility Design Guidelines and City regulations, standards and practices.

74. The Owner/Permittee shall process Encroachment Maintenance and Removal Agreements, for all acceptable encroachments into the water easement, including but not limited to structures, enhanced paving, or landscaping.

75. No structures or landscaping shall be installed in or over any water easement that would inhibit vehicular access to replace a section of main or provide access to any appurtenance or isolated section of main.

76. No trees shall be installed within ten feet of any water facilities or in any water easement. No shrubs exceeding three feet in height at maturity shall be installed within 10 feet of any public water main or within access easements.

**GEOLOGY REQUIREMENTS:**

77. The Owner/Permittee shall submit a geotechnical investigation that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

78. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of Development Services prior to exoneration of the bond and grading permit close-out.

**PUBLIC FRANCHISE COMPANY REQUIREMENTS:**

79. Prior to issuance of any building permit the Owner/Permittee shall relocate all Charter Communication (formally Time Warner) Cable existing overhead lines into an existing underground utility easement, to the satisfaction of the City Engineer.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on \_\_\_\_\_.

**Attachment 7**  
**Draft SDP Permit with Conditions**

Permit Type/PTS Approval No.: SDP No. 758098

Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
William Zounes  
Development Project Manager

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**HILLEL OF SAN DIEGO,**  
a California non-profit religious corporation  
Owner/Permittee

By \_\_\_\_\_  
Robert B. Lapidus,  
Vice President Facilities

**ROBERT MARSHALL,**

By \_\_\_\_\_  
Robert Marshall  
Owner

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NUMBER R-\_\_\_\_\_

DATE OF FINAL PASSAGE \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAN DIEGO  
VACATING A PORTION OF LA JOLLA SCENIC DRIVE BETWEEN LA JOLLA  
SCENIC WAY AND TORREY PINES ROAD (RIGHT-OF-WAY VACATION  
NO. 758099) - PROJECT NO. 221995.

WHEREAS, California Streets and Highways Code section 8320 *et seq.* and San Diego Municipal Code section 125.0901 *et seq.* provide a procedure for the vacation of public rights-of-way by City Council resolution; and

WHEREAS, Robert Marshall, Trustee UDT, dated June 1, 2002, and Hillel of San Diego, a California non-profit religious corporation, Owners, filed applications necessary to develop the Hillel Center for Jewish Life (PTS No. 221995), including an application to vacate excess public right-of-way along a portion of La Jolla Scenic Drive between La Jolla Scenic Way and Torrey Pines Road (Right-of-Way Vacation No. 758099); and

WHEREAS, the public right-of-way is excess public right-of-way and not required for street or highway purposes; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Right-of-Way Vacation No. 758099, the Council makes the following findings, as required by San Diego Municipal Code section 125.0941:

**(a) There is no present or prospective use for the public right-of-way, either for the purpose for which originally acquired, or for any other public use of a like nature that can be anticipated.**

The land intended to be vacated is no longer needed as public right-of-way and is not needed to provide public circulation or services. The public right-of-way was originally acquired for circulation, access and public services, but with the approval of the Hillel Center for Jewish Life project, the design and construction of La Jolla Scenic Drive will be updated to the current standards of the Street Design Manual (adopted by the City Council on November 25, 2002 by Resolution R-297376), which will result in this portion of the existing public right-of-way being no longer necessary for the purposes it was originally acquired or any other public use of a like nature that can be anticipated. The neighborhood and community have several existing improved public rights-of-way that provide the public circulation necessary to the community and this portion of La Jolla Scenic Drive is not needed for providing public circulation. Public water and sewer services are provided throughout the community and this portion of La Jolla Scenic Drive is not needed for providing water or sewer services. The project's permit conditions require the developer to cut, plug, and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive North right-of-way being vacated, from La Jolla Scenic Way to Torrey Pines Road and relocate and replace the water service to outside the vacated Right-of-Way with a 16-inch water facility running through La Jolla Scenic Drive North. The project will include a water easement extending from La Jolla Scenic Drive North to Torrey Pines Road to allow the new 16-inch water facility to connect to an existing water facility. Electricity, Telephone, and other services are provided through other easements and rights-of-way in the community. However, Charter Communication Cable (formally Time Warner) has existing overhead lines in the in the proposed vacated portion of La Jolla Scenic Drive North. This facility will be relocated into a future utility easement. A portion of La Jolla Scenic Drive North is not needed for these other services.

As such, the portion of La Jolla Scenic Drive North will no longer be necessary and will have no prospective use. Further, with the redesign and new construction of the remaining portion of La Jolla Scenic Drive North, the portion of La Jolla Scenic Drive North being vacated is no longer necessary because of the new development. Therefore, there is no present or prospective public use for the public right-of-way, either for the purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

**(b) The public will benefit from the vacation through improved use of the land made available by the vacation.**

Currently, the public right-of-way limits the use of this land to only circulation purposes and public utility, those being the purpose for which the public right-of-way was originally acquired. The

public will benefit by the vacation because the site owned by the underlying fee owners will become larger, which will in turn facilitate the development of the Hillel Center for Jewish Life. The Owners will control, maintain, and be responsible for and liable for that portion of La Jolla Scenic Drive to be vacated. The City of San Diego and the County of San Diego will benefit by the increase of property value by increasing the area of privately owned land subject to property tax and the incremental increase to the tax base. With an increase of tax revenue the general public will benefit by the vacation of the existing right-of-way by the increase of available public funds. The public will benefit by the reduction of liability to the City of San Diego by reducing the land it controls. The project proposes the retention of 10,000 square feet for a landscaped area as a public amenity with a bike and pedestrian path from La Jolla Scenic Drive to the corner of Torrey Pines Road and La Jolla Village Drive.

The adopted La Jolla Community Plan designates the Hillel Center for Jewish Life project site for development adjacent to La Jolla Scenic Drive. Further the public will benefit by the vacation of the public right-of-way by the development of a new facility for the enrichment and spiritual development of the Jewish community and in that the Jewish community is an integral and vital part of the City of San Diego. Therefore, the public will benefit by the vacation of a portion of the La Jolla Scenic Drive public right-of-way.

**(c) The vacation does not adversely affect any applicable land use plan.**

The adopted La Jolla Community Plan identifies the adjacent site, which is the subject of the Hillel Center for Jewish Life project and to which the vacation of a portion of La Jolla Scenic Drive North public right-of-way is related, for development to include the proposal of a 6,479 square-foot building and other improvements for a religious facility and accessory uses. The vacation of an unimproved portion of La Jolla Scenic Drive North will facilitate the fullest and highest use of the land as designated by the community plan. Although the project is requesting the Public Right-of-Way Vacation of an undeveloped portion of La Jolla Scenic Drive, the existing and improved portion of the La Jolla Scenic Drive North will remain unaffected by the proposed development and Public Right-of-Way Vacation.

The City of San Diego's General Plan adopted in 2008 set forth a variety of goals and policies to implement the City of Villages Strategy. The village concept is defined as "the mixed-use heart of a community where residential, commercial, employment, and civic uses are all present and integrated". The Project contributes to fulfilling the concept of a village by providing a mix of uses in close proximity: University of California San Diego (UCSD), the single family residences and the Hillel development. The Project will be located on parcels designated as Low Density Residential at a density range of five to nine dwelling units per acre in the La Jolla Community Plan. The land use proposed will be consistent with the La Jolla Community Plan land use designation. For these reasons the proposed vacation of a portion of this portion of La Jolla Scenic Drive North is consistent with the policies and goals of the adopted within the La Jolla Community Plan and will not adversely affect the La Jolla Community Plan.

**(d) The public facility for which the right-of-way was originally acquired will not be detrimentally affected by this vacation.**

The public right-of-way was originally acquired for circulation, access, and public services and was subsequently developed for circulation and these other uses. The neighborhood and community have several existing improved public rights-of-way that provide circulation necessary to the public within and through the La Jolla community and this portion of La Jolla Scenic Drive is not needed to provide adequate public circulation. Public water and sewer services are provided throughout the community and this portion of La Jolla Scenic Drive is not needed to provide water or sewer services. The project's permit conditions require the developer to cut, plug, and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive right-of-way being vacated, from La Jolla Scenic Way to Torrey Pines Road and relocate and replace the water service to outside the vacated Right-of-Way with a 16-inch water facility running through La Jolla Scenic Drive North. The project will include a water easement extending from La Jolla Scenic Drive North to Torrey Pines Road to allow the new 16-inch water facility to connect to an existing water facility. Electricity, Telephone, and other services are provided through other easements and rights-of-way in the community. However, Charter Communication Cable (formally Time Warner) has existing overhead lines in the in the proposed vacated portion of La Jolla Scenic Drive North. This facility will be relocated into a future utility easement. The redesign and reconstruction of La Jolla Scenic Drive North to the current standards of the Street Design Manual, adopted by the City Council on November 25, 2002 by Resolution R-297376, will result in a portion of the existing public right-of-way being no longer necessary for the purposes it was originally acquired or any other public use of a like nature and the public facility for which the right-of-way was originally acquired will not be detrimentally affected by this vacation in that the remaining reconstructed La Jolla Scenic Drive will continue to serve the circulation and other public needs for which the street was acquired.

BE IT FURTHER RESOLVED, that in connection with Site Development Permit No. 758098, Right-of-Way Vacation No. 758099, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing Nos. 37432-1-C, 37432-2-C and 37432-3-C, marked as Exhibit "B," which said drawing is attached hereto and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that said street vacation is conditioned upon the relocation, solely at the expense of developer, of existing Charter Cable facilities to the new general utility easement, and the reservation of easement for general utilities for the benefit of AT&T, San Diego Gas & Electric, Charter Cable, and Cox Cable, as both are shown on Exhibit B. In the event this condition is not completed within three years following the adoption of this resolution, then this resolution shall become void and be of no further force or effect.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the office of the County Recorder.

APPROVED: MARA W. ELLIOTT, City Attorney

By \_\_\_\_\_  
Inga B. Lintvedt  
Deputy City Attorney

IBL: mm  
4/4/2017  
Or.Dept: DSD

Attachment(s):      Exhibit A: Legal Description  
                             Exhibit B: Drawing Nos. 37432-1-C, 37432-2-C and 37432-3-C

RESOLUTION NUMBER R- \_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, on July 28, 2011, Hillel Of San Diego submitted an application to Development Services Department for a Site Development Permit and Public Right-of-Way Vacation for the Hillel Center for Jewish Life (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on \_\_\_\_\_ and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the City Council considered the issues discussed in Environmental Impact Report No. 212995/SCH No. 2010101030 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council that it is certified that the Report has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the City Council in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081 and State CEQA Guidelines Section 15091, the City Council hereby adopts the Findings made with respect to the Project, which are attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the City Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit B.

BE IT FURTHER RESOLVED, that the Report and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: MARA W. ELLIOTT

By: \_\_\_\_\_  
INGA LINTVEDT, DEPUTY CITY ATTORNEY

ATTACHMENT(S):      Exhibit A, Findings  
                             Exhibit B, Mitigation Monitoring and Reporting Program

EXHIBIT B

MITIGATION MONITORING AND REPORTING PROGRAM

[INSERT PERMITS/APPROVALS/ENTITLEMENTS/ACTIONS]

PROJECT NO. 212995

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Environmental Impact Report No. 212995/SCH No. 2010101030 shall be made conditions of the Site Development Permit and Public Right-of-Way Vacation as may be further described below.

**A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:  
  
<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:  
**Qualified paleontological monitor**

**Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
  - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant t is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 212995 and/or Environmental Document Number 212995, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

**Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**
4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for

clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>DOCUMENT SUBMITTAL/INSPECTION CHECKLIST</b>		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Biology Reports	Biology/Habitat Restoration Inspection
Paleontology	Paleontology Reports	Paleontology Site Observation
Noise	Acoustical Reports	Noise Mitigation Features Inspection
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

### **C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

#### **Noise**

**NOS-1:** At the time that building plans are available for the proposed buildings and prior to the issuance of building permits, a detailed acoustical analysis shall demonstrate that interior noise levels due to exterior sources will be at or below the 45 CNEL standard. Possible interior noise attenuation measures include using construction materials with greater noise reduction properties. The exterior to interior noise reduction provided by the building structure is partially a function of the sound transmission class values of the window, door, wall, and roof components used in the building. The greater the STC value, generally the greater the noise reduction. The necessary STC values required to reduce interior noise levels to 45 CNEL or less would be determined as a part of the required interior noise analysis. The applicant's final building plans shall identify all recommendations of the acoustical report, including STC ratings of windows and doors, ventilation requirements, insulation, plumbing isolation, etc. Final building plans shall be reviewed by the City of San Diego's Acoustical Plan Checker to verify that the mitigation measures recommended in the acoustical report have been incorporated.

**NOS-2:** The design for the proposed buildings shall include a ventilation or air conditioning system to provide a habitable interior environment when windows are closed.

### **Biological Resources**

**BIO-1:** To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction (precon) survey within 300 feet of proposed construction to determine the presence or absence of nesting birds on the proposed area of disturbance. The precon survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable state and federal Law (i.e., appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

### **Paleontological Resources**

#### ***I. Prior to Permit Issuance***

##### ***A. Entitlements Plan Check***

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans, but prior to the first precon meeting, whichever is applicable, the ADD Environmental designee shall verify that the requirements for paleontological monitoring have been noted on the appropriate construction documents.

##### ***B. Letters of Qualification have been submitted to ADD***

1. The applicant shall submit a letter of verification to MMC identifying the PI for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**

**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

**B. PI Shall Attend Precon Meetings**

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a precon meeting that shall include the PI, CM, and/or Grading Contractor, RE, BI, if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related precon meetings to make comments and/or suggestions concerning the paleontological monitoring program with the CM and/or Grading Contractor.
  - a. If the PI is unable to attend the precon meeting, the Applicant shall schedule a focused precon meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored - Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
  - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

**III. During Construction**

**A. Monitor Shall be Present During Grading/Excavation/Trenching**

1. The monitor shall be present full time during grading/excavation/ trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The CM is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the CSV. The CSVs shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

**B. Discovery Notification Process**

1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or PI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

**C. Determination of Significance**

1. The PI shall evaluate the significance of the resource.
  - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
  - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground

disturbing activities in the area of discovery will be allowed to resume.

- c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils), the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
- d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

**IV. *Night and/or Weekend Work***

- A. If night and/or weekend work is included in the contract.
  - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  - 2. The following procedures shall be followed.
    - a. No Discoveries - In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVr and submit to MMC via fax by 8 A.M. on the next business day.
    - b. Discoveries - All discoveries shall be processed and documented using the existing procedures detailed in Section III - During Construction.
    - c. Potentially Significant Discoveries - If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
    - d. The PI shall immediately contact MMC, or by 8 A.M. on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
  - 1. The CM shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**V. *Post Construction***

- A. *Preparation and Submittal of Draft Monitoring Report*
  - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results,

analysis, and conclusions of all phases of the paleontological monitoring program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,

- a. For significant paleontological resources encountered during monitoring, the paleontological recovery program shall be included in the Draft Monitoring Report.
  - b. Recording Sites with the San Diego Natural History Museum - The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the paleontological monitoring program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  4. MMC shall provide written verification to the PI of the approved report.
  5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

**B. *Handling of Fossil Remains***

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.

**C. *Curation of fossil remains: Deed of Gift and Acceptance Verification***

1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

**D. *Final Monitoring Report(s)***

1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** February 3, 2005      **REPORT NO. PC-05-004**

**ATTENTION:** Planning Commission, Agenda of February 10, 2005

**SUBJECT:** HILLEL OF SAN DIEGO - PROJECT NO. 6098. PROCESS 5

**OWNER/  
APPLICANT:** Robert Marshall, Owner 8976 Cliffridge Avenue site, City of San Diego,  
Owner Site 653 and Hillel of San Diego, Permittee.

### SUMMARY

**Issue(s):** Should the Planning Commission recommend approval to the City Council of the City of San Diego of a two phased development utilizing an existing residence for religious offices and the construction of a Jewish religious student center requiring a Planned Development Permit No. 158095, Site Development Permit No. 158094, Street Vacations No. 158097 and Right-of-Way Dedications No. 158098 for the sites within and adjacent to the triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North in the SF zone of the La Jolla Shores Planned District and La Jolla Community Plan?

### Staff Recommendation:

1. **CERTIFY** Mitigated Negative Declaration No. 6098, and **ADOPT** Mitigation Monitoring and Reporting Program No. 6098; and
2. **RECOMMEND** City Council Approval of Planned Development Permit No. 158095; and
3. **RECOMMEND** City Council Approval of Site Development Permit No. 158094; and
4. **RECOMMEND** City Council Approval of Public Right-of-Way Vacation No. 158097; and
5. **RECOMMEND** City Council Approval of Public Right-of-Way Dedication No. 158098.

6. RECOMMEND City Council Approval of the Lot-line Adjustment Parcel Map No. 188004

**Community Planning Group Recommendation:** The project site is located within the La Jolla Shores Planned District within the boundaries of the La Jolla Community Planning area. The decision-maker is required to consider the recommendation of the La Jolla Shores Planned District Advisory Board (LJSPDAB) and City staff strongly recommends that all applicants seek the recommendation of the La Jolla Community Planning Association (CPG).

The LJSPDAB, on their agenda of Tuesday, January 18, 2005, made three motions denying their approval of the proposed project. Motion No. 1, stated that the Advisory Board believed that the project was not providing sufficient parking, did not comply with the 'distinctive residential character' as defined by the purpose and intent of the PDO, concern over the loss of 12 on-street parking spaces and loss of a bike lane. Motion No. 2, stated that the 'Findings' for the street vacation could not be made and that the right-of-way should be reserved for future traffic mitigation. Motion No. 3, stated that the use of the residence in Phase I is illegal.

The CPG is scheduled to hear this item on their agenda of Thursday, February 3, 2005. If not available to be included in this report, any recommendations received, will be presented orally or by memo to the Planning Commission.

**Other Recommendations:** None.

**Environmental Review:** A Mitigated Negative Declaration, No. 6098, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared and will be implemented which will reduce the potential impacts to Paleontological Resources and Parking to a level below significant.

**Fiscal Impact:** All costs associated with the processing of this project application are paid from a deposit account maintained by the applicant.

**Code Enforcement Impact:** The owner/applicant converted the use of the existing single-family residence located at 8976 Cliffridge Avenue from residential to religious use without obtaining a Site Development Permit (SDP) for City staff evaluation of any required conditions. A Code Compliance Case was opened by the City of San Diego Neighborhood Code Compliance Department and the owner/applicant made application with the City for the SDP. This application has been combined with the applications for Site 653 and is included within this Report to the Planning Commission as the Phase I of the project. If approved by the City Council, the Code Enforcement action would terminate.

**Housing Impact Statement:** The religious use of the single-family residence at 8976 Cliffridge Avenue has removed one residential dwelling unit from available housing but this situation would be temporary if the project applications are approved by the City Council. The use of the residence at 8976 Cliffridge Avenue would continue as a Phase I use and terminate when Site 653 is available for occupancy under the Phase II development. The owners of the residence would convert the dwelling back to residential use and the overall project would not have any permanent Housing Impacts.

## **BACKGROUND**

The 'Hillel' project site consists of a total area of 43,329 square-feet of area which includes a 8,882 square-foot (post lot-line adjustment) single-family residential lot used for religious offices at 8976 Cliffridge Avenue and a 33,518 square-foot City owned site commonly referred to as 'Site 653' and located in a triangular shaped area bounded on the north by La Jolla village drive, on the east by La Jolla Scenic Way and on the south by La Jolla Scenic Drive North. The 33,518 square-foot Site 653 includes areas proposed for street vacations, an easement abandonment and street right-of-way dedication. A City Council requirement that 10,000 square-feet of area at the intersection of La Jolla Scenic Drive North/Torrey Pines Road be landscaped as a neighborhood amenity, leaves an area of 23,518 square-feet for the proposed development. The property is zoned SF (Single-family residential) within the La Jolla Shores Planned District Ordinance and is within the boundaries of the La Jolla Community Plan. The campus of the University of California at San Diego lies to the north within the boundaries of the University Community Plan area, while vacant land and youth athletic fields are to the west, a detached single-family residential neighborhood to the south and a Planned Residential Development to the east developed through the Conditional Use Permit Ordinance.

Site 653 is City owned property which, until 1995, was designated as residential land use in the La Jolla Community Plan and La Jolla Shores Precise Plan. In 1995, the land use designation for Site 653 was changed to open space and remained that way until recently when the La Jolla Community Plan was amended and the redesignation of the site to residential use was made consistent with the SF zoning that had remained over this site. The City Council approved the entering into of an exclusive agreement with Hillel to develop the site and possible acquisition. Neighbors opposed to this action and proposed change to the land use, challenged the City action in court and to date, the City has prevailed. The Real Estate Assets Department of the City of San Diego who oversees and administers city owned property, gave Hillel permission to proceed with the submittal of the proposed development plans and permits to develop the site.

Apart from the previous actions and decisions in regard to site 653, Hillel got permission to use the single-family residence at 8976 Cliffridge Avenue for religious offices and complaints to the City's Neighborhood Code Enforcement Office led to the city issuing a violation notice to the owner and Hillel for changing the use without City approvals. The City determined that the use is a permitted use in the zone but the change of use required a Site Development Permit as required by the La Jolla Shores Planned District Ordinance (LJSPDO). The parties applied for

this permit and City staff had evaluated only that additional off-street parking would be required. Environmental staff, for compliance with the California Environmental Quality Act (CEQA), determined that the residence and Site 653 proposal was one project. City staff, recognizing this and that the applicants both projects was Hillel and the street vacation and parking proposals overlapped the sites, directed the applicant to combine the projects into one consolidated project.

Site 653 is currently vacant and is relatively level with the street grade of the residences on the south side of La Jolla Scenic Drive North. La Jolla Village drive descends to the east from the intersection with Torrey Pines Road and La Jolla Scenic Way descends to the north to its intersection with La Jolla Village Drive making the low point of the project site the southwest corner of this intersection.

## **DISCUSSION**

### **Project Description:**

The 'Hillel' project is the development of a Jewish religious student center off-campus from the government entity campus of the University of California at San Diego which lies directly to the north. The project proposal consists of two Phases with Phase I being the continued use of the single-family residence at 8976 Cliffridge Avenue for religious offices and the Phase II is the construction of the student center.

Phase I will permit the applicant to continue to use the 1,792 square-foot single-family residence with a detached garage for religious office use with six off-street parking spaces required to be provided. This use would continue until such time as the Hillel student center in Phase II is constructed and approved for occupancy, at which time Phase I would terminate the use of the residence and the owner of the property would restore the residential use, maintaining a minimum of two off-street parking spaces.

Phase II is the development of Site 653, a 33,518 square-foot piece of city owned property including the requested street vacation and dedication. The square-footage of the vacated rights-of-way comprise 21,278 square-feet of the total site area while the area to be dedicated along the La Jolla Village Drive frontage comprises 2,183 square-feet. The City Council, in agreeing to permit Hillel to proceed with the presentation of development plans for the site and acquisition, required that Hillel landscape a 10,000 square-foot area near the intersection of La Jolla Village Drive and Torrey Pines Road on the west portion of the site as a neighborhood amenity. The proposed student center will consist of a 17,000 square-foot subterranean garage for 40 vehicles, storage, trash enclosure and elevators to the upper level so that users can directly access the building. The upper floor will have a floor area of 12,000 square-feet and contain a multi-use area (sanctuary for parking calculations), a lounge, restrooms, breakroom, computer room, offices and other designations. The upper floor will be at street grade on La Jolla Scenic Drive North consistent with the residences on the south side and the Hillel facility will be a one-story elevation. A pedestrian entry/front door faces La Jolla Scenic Drive North while the parking access is on La Jolla Scenic Way. The La Jolla Scenic Drive North elevation includes minimal

window openings facing the street and mounded landscaping softens the building mass facing the residences opposite the site to allow for a measure of privacy and low impact to the residents. An outdoor patio area is on the northeast corner of the site at the high point of the building mass overlooking the intersection of La Jolla Village Drive and La Jolla Scenic Way.

City staff has critically evaluated the on-site parking requirements and needs for this religious facility using the multi-purpose area as sanctuary for parking calculations. Seating for 200 persons requires a total of 67 parking spaces on-site (one space/three seats). Only for 40 spaces can be provided in the parking garage due lot shape, physical constraints and the City's landscape requirement. Transportation staff informed the applicant that we would accept off-site parking for the additionally required 27 spaces if a shared parking agreement could be secured and be acceptable to the City. Staff also required the applicant to list their schedule of activities, hours of operation and frequency. It was determined that religious services named Shabbat and limited occasional special events, would increase attendance on the premises and additional parking is required. Hillel has secured three separate agreements for shared parking off-site with the basic 27 spaces required located at a Lutheran Church in the area that also provides assistance for Lutheran students on the U.C. campus, and two additional to cover the Shabbat services and limited occasional special events. Conditions in the accompanying permit requires monitoring of the parking for this project to assure to negative impacts on the neighborhood. When Shabbat and the special events take place, signage will be provided on- and off-site, a shuttle service provided, verbal communication between sites to assure adequate and timely service provided and education with the frequent facility users to not burden the neighborhood with parking. The City will be able to review the adequacy of the parking needs and success and to bring back for amendment should problems occur and the proposal not succeed.

A pedestrian/bicycle path will meander through the vacated right-of-way and landscaped area from the intersection of La Jolla Village Drive and Torrey Pines Road to Cliffridge Avenue/La Jolla Scenic Drive North and non-contiguous sidewalks will be installed adjoining the project site. Pedestrian impacts generated by the project should not produce more than a minimal impact on La Jolla Scenic Drive North as parking in the garage accesses the facility via two elevators from below and the shuttle service will deposit and pick-up students within the garage.

#### **Community Plan Analysis:**

The subject properties are designated as Low Density Residential (5-9 du/ac) in the La Jolla Community Plan. Religious uses are commonly found to fit within residential areas without adversely affecting the Land Use Plan. Additionally, the proposed use is permitted by the La Jolla Shores Planned District Ordinance which was adopted specifically to implement the Land Use Plan. The Hillel center is located directly across the street from the University of California and on the northern edge of the adjacent residential neighborhood, making it an appropriate location for the student-related activity.

The proposed development incorporates a number of specific design features which will allow the religious student center to achieve compatibility with the existing residential development in

the vicinity. The center utilizes variations in height, textures, and rooflines in order to create the appearance of a series of smaller, individual structures. In addition, lower portions of the structure are concealed behind landscaped berms, which reduces the overall scale of the structure as viewed from the adjacent residential neighborhood. Torrey Pine trees are proposed as both street trees and in informal groupings around the periphery of the project, and would further screen and soften the structure at maturity. Parking for the facility is located within a subterranean garage. The garage is also equipped with a loading area, trash and recycling area, and a service elevator, so that any noise and visual impacts associated with these activities will be screened from surrounding residents.

In order to further minimize impacts to the adjacent residential neighborhood, staff has proposed specific conditions limiting the hours of operation for the center and the frequency of large events. The center will be permitted to be open from 7:00 AM to 10:00 PM daily, while all post-event cleanup and securing of the center must conclude by 11:00 PM. Religious observances with large attendances shall be limited to no more than 12 times per calendar year, in accordance with the parking mitigation measures identified by the Mitigated Negative Declaration, and would be subject to the same time limits.

The project also implements policies of the La Jolla Community Plan which recommend enhanced pedestrian-orientation. Non-contiguous sidewalks are located along the La Jolla Village Drive and La Jolla Scenic Drive North frontages, with Torrey Pine trees and other landscaping planted between the curb and sidewalk. While screening the project from the adjacent residential neighborhood, this configuration will also buffer pedestrians from automobile traffic to create an environment conducive to walking and transit use. As such, students would be encouraged to use transit or walk from the UC San Diego campus to the student center, reducing automobile traffic and demand for parking at the center. By incorporating the cited design features and the conditions regarding operation of the center, the project implements the policies of the La Jolla Community Plan and will not adversely affect the residential land use designation of the subject properties.

#### **Environmental Analysis:**

The Environmental Initial Study (EIS) identified potential significant impacts to Paleontological Resources and Parking on the project site for the proposed student center. The application for the single family residence located at 8976 Cliffridge Avenue was submitted after the application for the proposed student center. According to the State of California Environmental Quality Act (CEQA), Section 15165, "segmenting or piecemealing" a project is not permitted. Since the single family residence and the proposed student center were both parts of the same overall project, the two applications were combined for review under CEQA.

The determination within the EIS was based on the amount (7,000 cubic yards) of soil proposed to be exported from the site during the grading activity for the subterranean parking garage. A Mitigation, Monitoring and Reporting Program (MMRP) is established as part of the Mitigated Negative Declaration that mitigates potential impacts to paleontological resources and parking to

below a level of significance. The MMRP includes specific monitoring requirements including preconstruction meetings, full-time on-site monitoring by a qualified Paleontologist and discovery and curation protocols. The MMRP includes specific parking requirements including providing additional off-site parking spaces during special events and Shabbat Services; providing adequate signage at the student center and the off-site parking location that indicate the location of the parking and that the spaces are for use by the applicant; shuttle service between the off-site location and the student center; and that a shared parking agreement be provided satisfactory to the City of San Diego prior to the issuance of the first building permit. Additional environmental issues considered during the project review that were determined to not be significant included Archeological Resources, Biological Resources, Noise, and Water Quality/Hydrology.

**Deviations:**

In order to develop this triangular shaped site, setting aside a 10,000 square-foot landscaped area over the western area, the project application and design requires a number of deviations from the Land Development Code (LDC). The Planned Development Permit (PDP) allows for the decision-maker to consider granting these deviations which are described as follows:

1. Parking requirement for religious assemblies per Table 142-05F of LDC Section 142.0530 of the LDC required is 30 spaces per 1000 square feet of assembly areas without fixed seats. Therefore, the parking requirement for 3,541 square feet assembly area is 106 parking spaces. However, the parking analysis for Hillel indicates a need for 38 parking spaces during Shabbat Services. Hillel is proposing to have no more than 200 movable seats for weekly Shabbat services which would require 67 parking spaces. Hillel is also proposing to provide 40 on-site parking spaces and 27 off-site parking spaces through a shared parking agreement. The parking analysis also indicates a need for 113 parking spaces during special events. Hillel is proposing to provide a total of 115 parking spaces for occasional special events including the 40 on-site spaces and 75 off-site parking spaces through three shared parking agreements. Therefore, Hillel is requesting a deviation through the PDP from the parking requirement in LDC section 142.0530 for weekly Shabbat services.
2. LDC Section 142.0545(a) does not allow shared parking in single-family residential zones. Hillel is located in the SF (single-family) zone of the La Jolla Shores Planned District and is proposing a deviation through the PDP for the required off-site shared parking agreement.
3. LDC Section 142.0545 (a)(2) requires all off-site parking spaces to be provided within 600 feet of the project site. Hillel is requesting the possibility of providing off-site parking spaces outside the 600 feet required distance and is proposing to provide shuttle services between the off-site location(s) and project site during Shabbat services and special events. Therefore, Hillel is requesting a deviation for location of the off-site parking requirement as required in LDC Section 142.0545(a)(2).

4. Table 142-05L of LDC Section 142.0560 requires non-residential uses to provide a minimum 24-foot wide driveway. Hillel is proposing a 20-foot wide temporary driveway under Phase 1 'Parking Alternative 2' for the office use of the building located at 8976 Cliffridge Avenue site. Therefore, Hillel is requesting a deviation through the PDP for this driveway width.

5. Table 142-05L of LDC Section 142.0560 requires non-residential uses to provide a minimum 24-foot wide driveway. Hillel is proposing a 12-foot wide driveway under Phase 1 'Parking Alternative 1' for the office use of the building located at 8976 Cliffridge Avenue site. This building will be converted to a single family home after construction of Site 653 and would require a 12-foot wide driveway. Therefore, Hillel is requesting a deviation through the PDP for this driveway width.

6. Table 142-05L of LDC Section 142.0560 requires non-residential uses to provide a minimum 24-foot wide driveway. Hillel is proposing a 22-foot wide driveway for the subterranean parking garage for Site 653. Therefore, Hillel is requesting a deviation through the PDP for this driveway width.

Additionally, there are two additional deviations requested from the Street Design Manual that the City Engineer may approve. These deviations are:

1. The connection of La Jolla Scenic Drive North and Cliffridge Avenue does not provide a 100-foot curve radius. The City Engineer believes that the proposed design is preferable given all conditions relative to the site.
2. The pedestrian/bike path connecting La Jolla Scenic Drive North to Torrey Pines Road is required to be a 12-foot width of pavement within a 36-foot wide right-of-way. The project is providing only 10-feet of pavement and it has not been ascertained if the total width would be an easement or public right-of-way. This area overlaps and is a portion of the City Council required landscaped area.
3. Deviation for an on-site utility easement on La Jolla Scenic Drive North. All utilities are in the right-of-way.

**Project-Related Issues:**

1. City staff identified parking and circulation with an initial preliminary review and that focus has been an integral part of City staff review of the Hillel proposed project, including both Phase I and Phase II.
2. The City Council decision and direction to the Real Estate Assets Department to negotiate use and possible sale of the site with Hillel has been a contentious decision within portions of the neighborhood and community. Dispute between SF (single-family) zoning and a prior land use designation of 'open space' and the religious student center use of the site within the SF zone remains an issue within a segment of the community.

3. The subsequent use of the adjacent single-family residence at 8976 Cliffridge Avenue, after the Hillel Site 653 application, became a City issue upon code enforcement action by the City and has remained a conflict within the neighborhood.
4. The use of the site for a religious student center at the north boundary of this residential neighborhood has raised questions of the intensity of the use of the planned facility, hours of operation, noise, activity within public areas, trash pick-up, the street vacation, parking and issues in regard to just about every aspect of the project design and site use.

The La Jolla Community Plan and La Jolla Shores Planned District designations for the Hillel Site 653 City owned property was changed with the adoption of plan amendments which left the SF zone in place but changed the land use designation to residential. The SF zone specifically permits as a matter of right the primary land use of single-family residential but also permits, Churches, Temples and buildings of a religious nature. The current adopted land use documents and zoning permits the application for, and the City to consider, the development of the property which has been requested and presented in this report.

The single-family residence at 8976 Cliffridge Avenue will continue to take off-street parking access to La Jolla Scenic Drive North and no physical change to the facilities (buildings) on this site have taken place. The continued use of the residence under the Phase I plan requires additional off-street parking to be provided per City standards. With the approval of Phase II and the anticipated occupancy, Phase I will be required to terminate and the owner's use of the site reverting to single-family residential and maintaining two off-street parking spaces.

Phase II, the student center, is proposed on a triangular shaped lot containing 33,518 square-feet of area of which the westerly 10,000 square-feet is to be landscaped as a public amenity. A structure proposed for a religious purpose having an area designated for religious services, is required to provide off-street parking. The City is calculating that the area would have seating for 200 persons and required off-street parking, at a ratio of one parking space per 3 seats, would require 67 parking spaces. The proposed structure on site has the single main upper floor of 12,000 square-feet, including the worship area of 3,541 square-feet. The subterranean garage of 17,000 square-feet will permit the parking on-site for 40 of the required 67 parking spaces and trash enclosures, some storage and elevators to the floor above. Physical constraints in the lot shape, landscape requirement and topography limit the development of a useable facility of this nature and the attainment of parking on-site.

To satisfy the City's requirement of 67 parking spaces, the applicant has secured off-site parking for the remaining 27 required spaces at a Lutheran Church in the area and has secured two additional off-site parking agreements to permit the Shabbat religious service and a limited number of special events. This off-site parking requires deviations to the Land Development Code and permit conditions for a shuttle service, monitoring of the parking for these events and subsequent review by the City. City staff has reviewed the applicants proposed project design.

use, requirements or necessities for the development to occur and its setting within this long established residential community. The staff analysis of parking needs and the options to achieve the minimum requirements within the parameters given, has evolved into the recommendations and draft permit conditions presented. Staff believes these measures will need to be implemented, monitored and staff presented the documentation to determine with the desired results are achieved or if the permit should be amended.

All other aspects of the development have been fairly well thought out by the applicant. Staff believes the building design and materials are well chosen and low impact in elevation and mass acknowledging that this is a distinguishable different facility than a residence within a residential neighborhood. The project structure is low profile facing the neighboring residences, mounded landscape and minimal windows facing La Jolla Scenic Drive North and the City required landscaped area will all be beneficial design features. The parking garage enters from the east side on La Jolla Scenic Way and two elevators will take users into the main complex without having to utilize the public sidewalks and front doorway on La Jolla Scenic Drive North. Additionally, when the shuttle service is in use, the vehicles will load and unload riders within the garage. Outdoor areas and exterior view areas are mostly to the north/northeast, further showing the intent of the applicant to reduce any potential conflicts with residential neighbors.

The public right-of-way being vacated on La Jolla Scenic Drive North is un-improved and excess right-of-way for a future widening that will never be necessary. The right-of-way adjacent to Site 653 is right-of-way dedicated from that parcel of City owned land and as such reverts back to City Ownership. Likewise, that portion of right-of-way lying between Site 653 and the adjacent single-family residence on Lot 67, will revert from the center-line to the two adjoining owners. A Lot-line Adjustment Parcel Map will allow the owner of Lot 67 to transfer title to his portion of the vacated right-of-way to Hillel while retaining sufficient right-of-way to assure access to the required off-street parking for the Phase I use and the subsequent reversion back to residential use when Phase II obtains occupancy approval.

### **Conclusion:**

The proposed project began with actions by the City Council authorizing Hillel to proceed with presenting a development proposal to the City and exploring purchase of the site. Legal actions to date have not invalidated any of these actions.

A La Jolla Community Plan amendment has brought the land use designation in line with the existing zoning on-site. The SF zone of the La Jolla Shores Planned District permits the proposed religious student center and place of worship.

Staff has been in constant receipt of information from interested parties and has disseminated information to these same parties. The parking requirements have been thoroughly evaluated and options for achieving minimum standards discussed in great detail. City staff believes that the site design, architecture of the facility, vacation of excess public right-of-way, restriction on hours of operation and the events and uses scheduled for the facility, details like trash storage,

utilities and equipment and other aspects of the development, have been thoroughly analyzed.

The facility serves a religiously oriented segment of the college campus adjacent to the north in a similar fashion to the Mormon student facility in La Jolla Farms area and what the churches in the area/community do for students in their faiths.

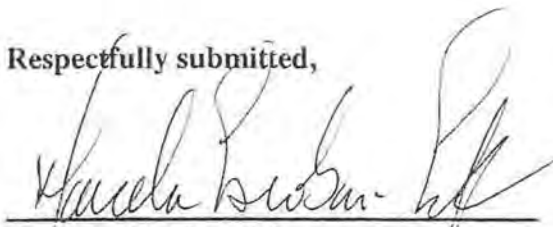
The Jewish facility will need to be a good neighbor and address and grievances brought to them. They will need to monitor the parking for the larger events and know they are under the scrutiny of a neighborhood wanting to know if the Hillel organization can deliver on their commitments. The City will need to review the parking and listen to concerns of the neighbors and the neighbors themselves must give Hillel the opportunity to succeed in their goal of serving the students and of being a good neighbor.

City staff has taken the final design of the facility, reviewed it for compliance with all regulations, heard the concerns of the neighborhood and has forwarded this recommendation to the decision-maker to consider whether the project can be approved or needs further addressing of issues or revisions to the proposed conditions and actions required.

#### **ALTERNATIVES**

1. **Recommend Approval** of Planned Development Permit No. 158095, Site Development Permit No. 158094, Public Right-of-Way Vacation No. 158097 and Public Right-of-Way Dedication No. 158098, **with modifications.**
2. **Recommend Denial** of Planned Development Permit No. 158095, Site Development Permit No. 158094, Public Right-of-Way Vacation No. 158097 and Public Right-of-Way Dedication No. 158098, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



---

Marcela Escobar-Eck  
Deputy Director, Project Management Division  
Development Services Department



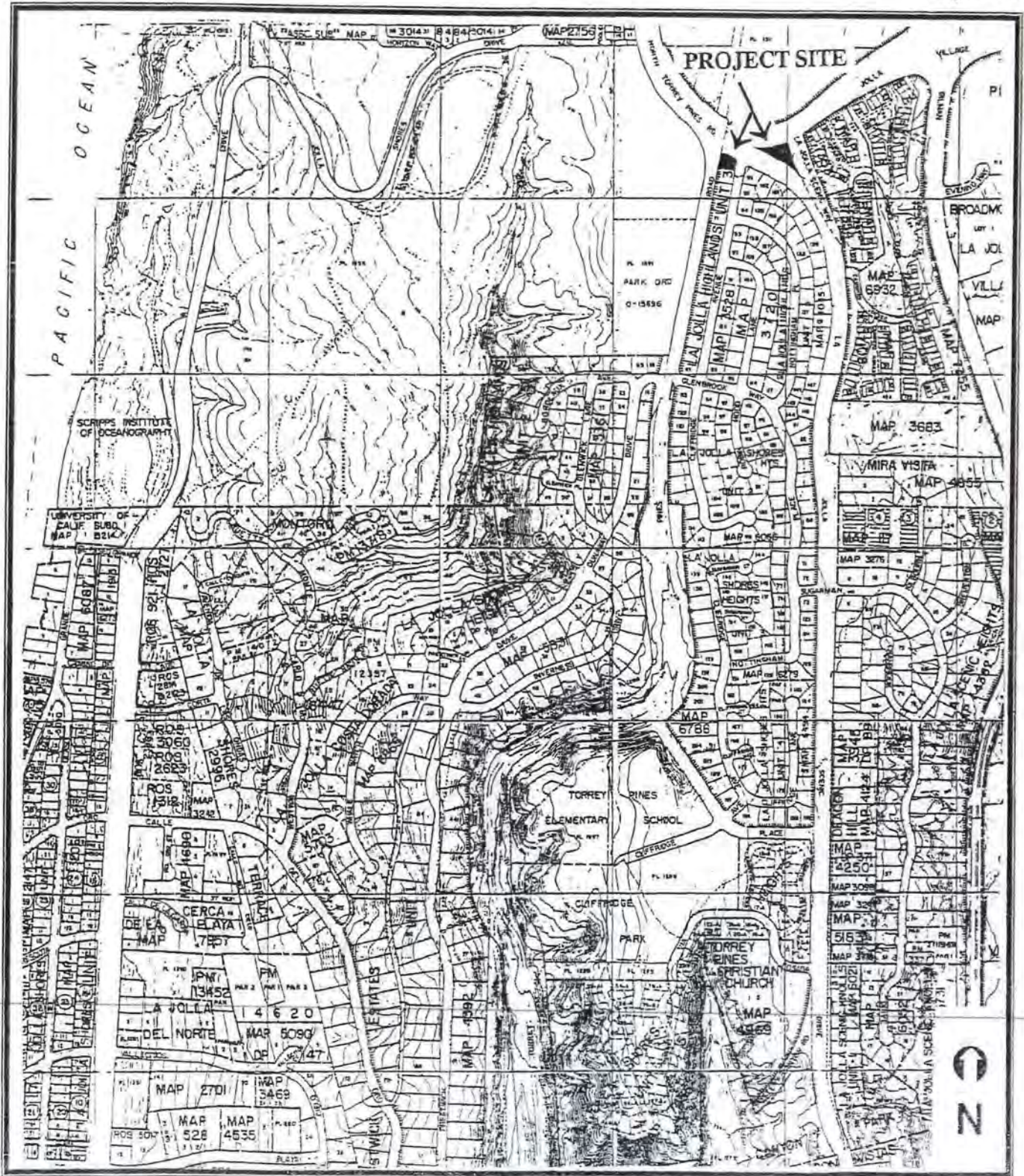
---

Robert Korch, Project Manager  
Development Project Manager  
Development Services Department

Attachments:

- ( ) Aerial Photograph(s)

2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet(s)
5. Project Site Plan(s)
6. Reduced Project Plans (Reduced 11x17 for Planning Commission only)
7. Draft Planned and Site Development Permit with Conditions
8. Draft Planned and Site Development Permit Resolution with Findings
9. Draft Street Vacation/Dedication Resolution
10. Hillel Sample Event Schedule
11. Community Planning Group Recommendation(s)
12. Ownership Disclosure Statement
13. Project Chronology



Hill of San Diego



## Location Map

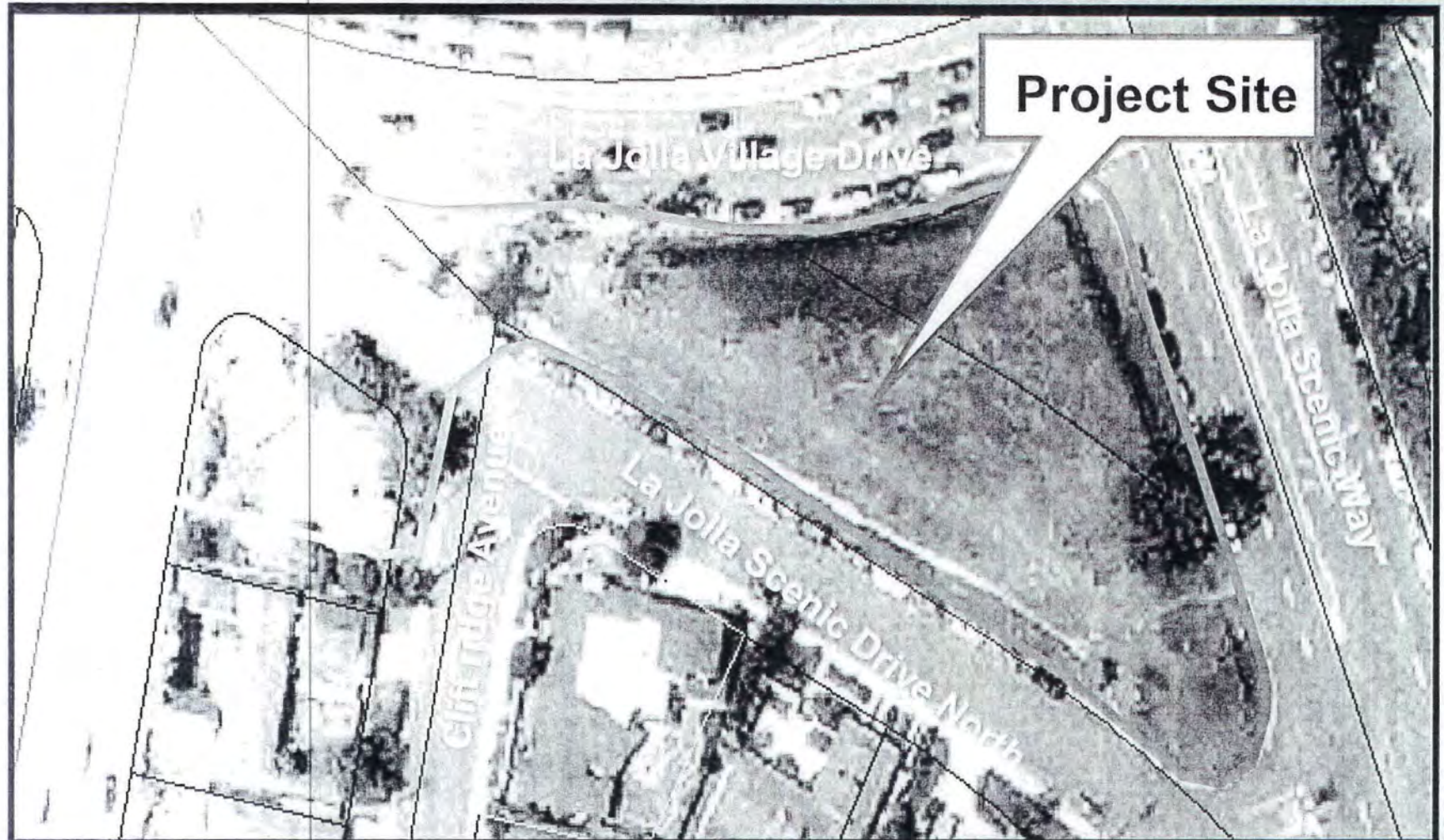
Environmental Analysis Section Project No. 6098  
 CITY OF SAN DIEGO · DEVELOPMENT SERVICES

Figure

1

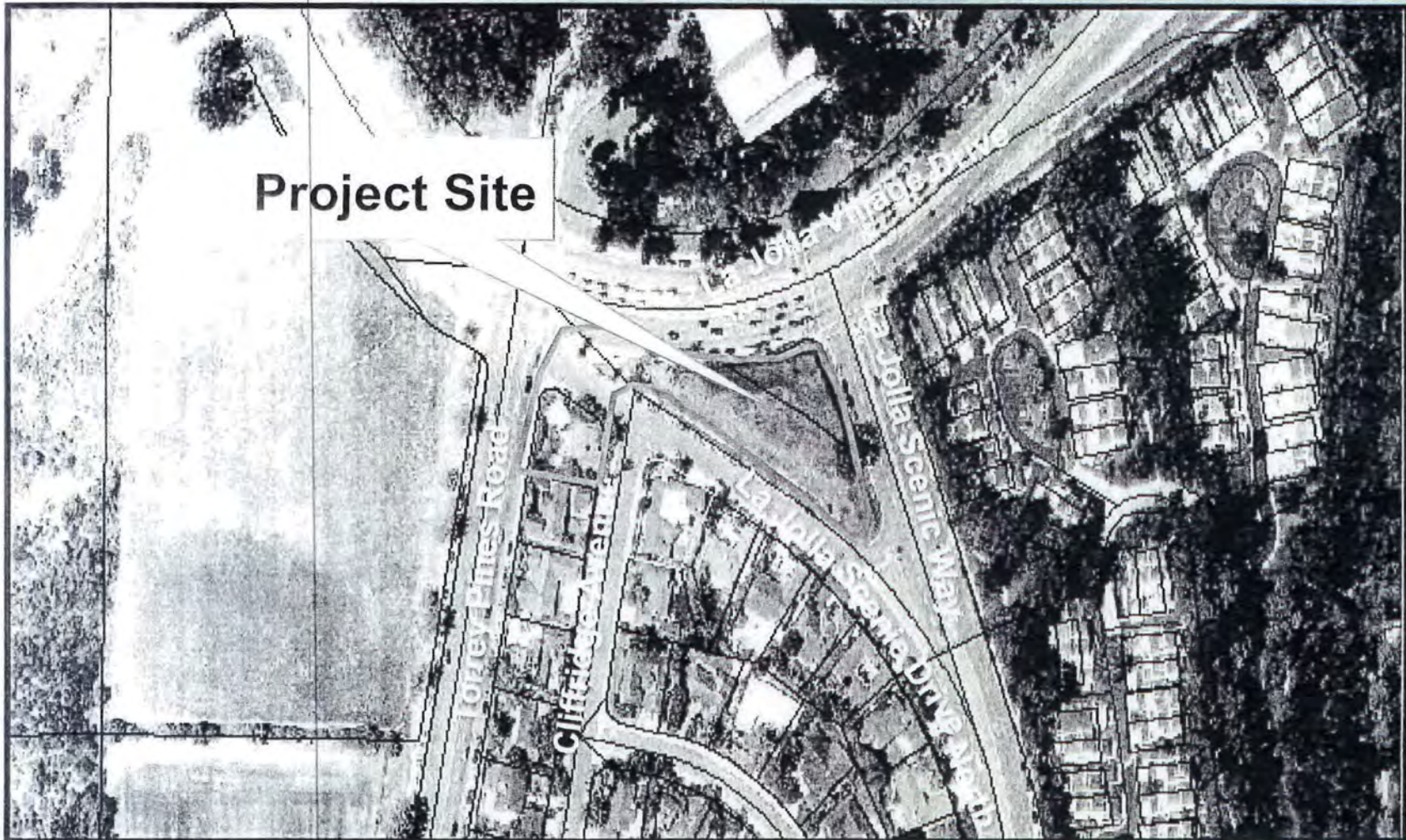
Development Services Department  
Project Management Division

# Aerial Site No. 1



Development Services Department  
Project Management Division

## Aerial Site No. 2



# Community Land Use Map







# PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Hillel of San Diego (Phase I)	
<b>PROJECT DESCRIPTION:</b>	Continue use of an existing Single-family residence for religious purposes until Phase II approved for occupancy.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla Shores Planned District / La Jolla Community Plan	
<b>DISCRETIONARY ACTIONS:</b>	Planned and Site Development Permits, Easement Abandonment, Street Vacation and Street Dedications..	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential / Single-family	
<p align="center"><b><u>ZONING INFORMATION:</u></b></p> <p><b>ZONE:</b> SF (Single-family) within the La Jolla Shores Planned District. Permits single-family residences and Churches, Temples and buildings used for religious purposes</p> <p><b>HEIGHT LIMIT:</b> 30-Foot maximum height limit.</p> <p><b>LOT SIZE:</b> 8,260 square-feet</p> <p><b>FLOOR AREA RATIO:</b> N/A</p> <p><b>LOT COVERAGE:</b> 27.6 percent</p> <p><b>FRONT SETBACK:</b> 9-feet existing</p> <p><b>SIDE SETBACK:</b> 5-feet existing</p> <p><b>STREETSIDE SETBACK:</b> 10-feet existing</p> <p><b>REAR SETBACK:</b> 7-feet existing</p> <p><b>PARKING:</b> 6 spaces to be maintained / 2 required when reverted back to Single-family residence</p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	R1-5000	College Campus
<b>SOUTH:</b>	SF	Single-family residential
<b>EAST:</b>	SF	Single-family residential/vacant
<b>WEST:</b>	R1-5000	Vacant land/Youth athletic field
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviations to the Street Design Manual for the intersection of Cliffridge Avenue and La Jolla Scenic Drive North knuckle, width of bike/pedestrian path and utility space within the curb-to-propertyline distance.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 3, 2005, the La Jolla Community Planning Association is scheduled to consider this project. If action is taken it will be orally presented to the Planning Commission.	

	On January 18, 2005, the Land Use Planning Commission Report Advisory Board voted 5-0 on three separate motions to Deny the project as proposed.
--	--

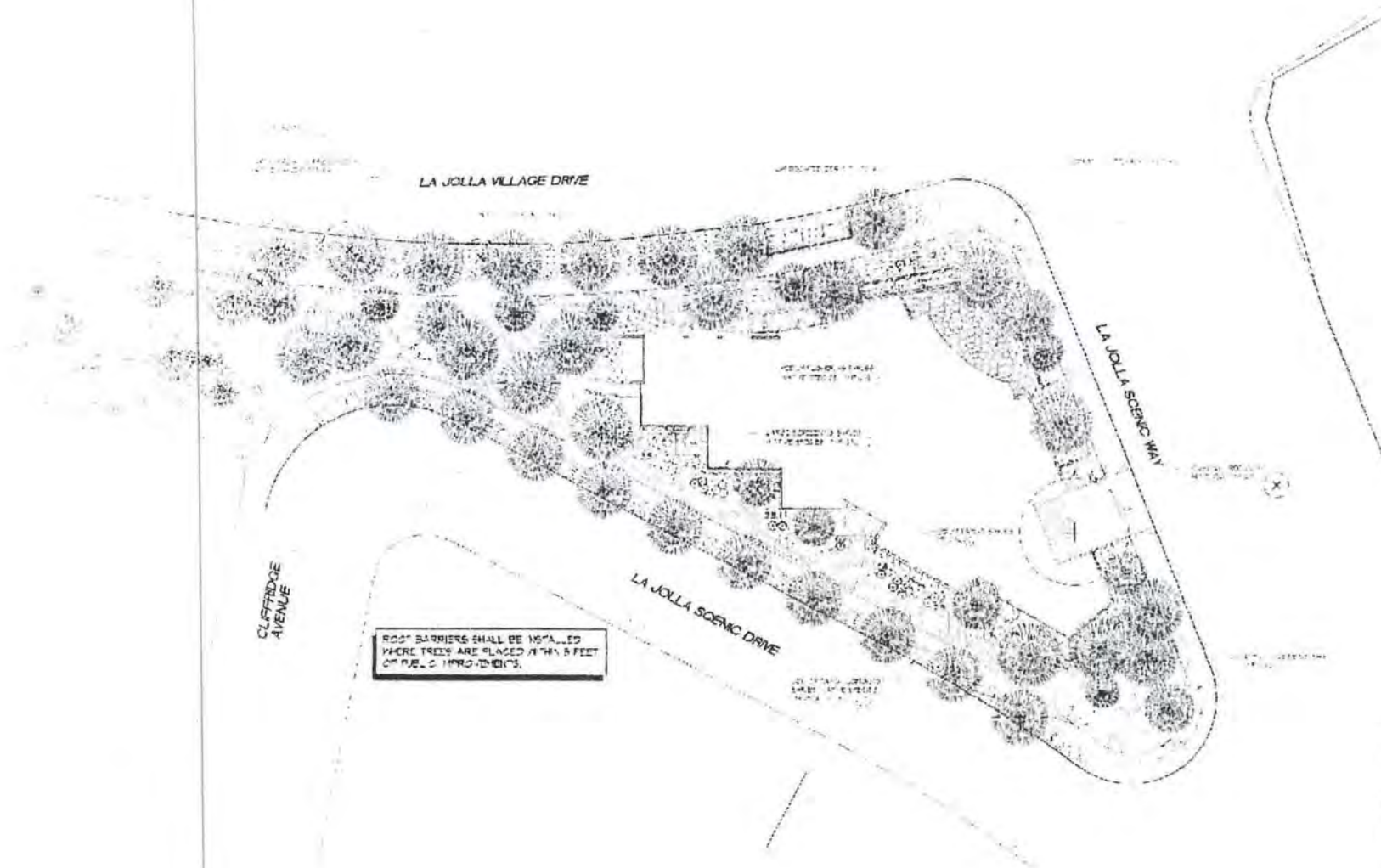
# PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Hillel of San Diego (Phase II)	
<b>PROJECT DESCRIPTION:</b>	Construction of a new 12,100 square-foot Jewish student religious center over a 17,000 square-foot subterranean parking garage.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla Shores Planned District/La Jolla Community Plan	
<b>DISCRETIONARY ACTIONS:</b>	Planned and Site Development Permits, Easement Abandonment, Street Vacation and Street Dedication	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential / Single-family	
<p align="center"><b><u>ZONING INFORMATION:</u></b></p> <p><b>ZONE:</b> SF (Single-family residential) within the La Jolla Shores Planned District. Permits single-family residential and Churches, Temples and buildings used for religious purposes</p> <p><b>HEIGHT LIMIT:</b> 30-Foot maximum height limit.</p> <p><b>LOT SIZE:</b> 35,069 square-feet gross/ 25,069 square-feet net</p> <p><b>FLOOR AREA RATIO:</b> N/A</p> <p><b>FRONT SETBACK:</b> 14-feet (La Jolla Scenic Way).</p> <p><b>STREETSIDE SETBACK:</b> 14-feet (La Jolla Scenic Drive North).</p> <p><b>STREETSIDE SETBACK:</b> 12-feet (La Jolla Village Drive)</p> <p><b>REAR SETBACK:</b> N/A</p> <p><b>PARKING:</b> 40-off street spaces on-site/27 spaces off-site/additional off-site spaces through shared parking agreements.</p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	R1-5000	College campus
<b>SOUTH:</b>	SF	Single-family residential
<b>EAST:</b>	SF	Single-family residential
<b>WEST:</b>	SF / R1-5000	Single-family residential / vacant lands
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviations to the Street Design Manual for the intersection of Cliffridge Avenue and La Jolla Scenic Drive North knuckle, width of bike/pedestrian path and utility space within the curb-to-propertyline distance.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 3, 2005, the La Jolla Community Planning Association is scheduled to hear this project. If action is taken it will be only presented to the Planning	

	<p>Commission. Planning Commission Report No PC-05-004</p> <p>On January 18, 2005, the La Jolla Shores Planned District Advisory Board voted 5-0 on three separate motions to Deny the project as proposed.</p>	<p>Page 22 of 90</p>
--	---	----------------------

Conceptual Plot Plan

Hillel of San Diego





<sup>†</sup> See Appendix C (page LXXXI, dated February 24, 2004) for more information regarding the ongoing evaluation of the relationship between the use of the product and the occurrence of adverse events.

This parcel of land is located in an area identified as the La Jolla Shores Planned District in the La Jolla Comprehensive Plan (LJCP). It is currently city land, and the city has entered into negotiations with H&M of San Diego for leasing the land. This land is designated for medium-density land use in the La Jolla Community Plan, and in the La Jolla Shores Planned District. "Churches, temples, or buildings of a religious nature, used primarily for religious purposes, are consistent with that designation."

# Sheet Index

info & links

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

304

305

306

307

308

309

310

311

312

313

314

315

316

317

318

319

320

321

322

323

324

325

326

327

328

329

330

331

332

333

334

335

336

337

338

339

340

341

342

343

344

345

346

347

348

349

350

351

352

353

354

355

356

357

358

359

360

361

362

363

364

365

366

367

368

369

370

371

372

373

374

375

376

377

378

379

380

381

382

383

384

385

386

387

388

389

390

391

392

393

394

395

396

397

398

399

400

401

402

403

404

405

406

407

408

409

410

411

412

413

414

415

416

417

418

419

420

421

422

423

424

425

426

427

428

429

430

431

432

433

434

435

436

437

438

439

440

441

442

443

444

445

446

447

448

449

450

451

452

453

454

455

456

457

458

459

460

461

462

463

464

465

466

467

468

469

470

471

472

473

474

475

476

477

478

479

480

481

482

483

484

485

486

487

488

489

490

491

492

493

494

495

496

497

498

499

500

501

502

503

504

505

506

507

508

509

510

511

512

513

514

515

516

517

518

519

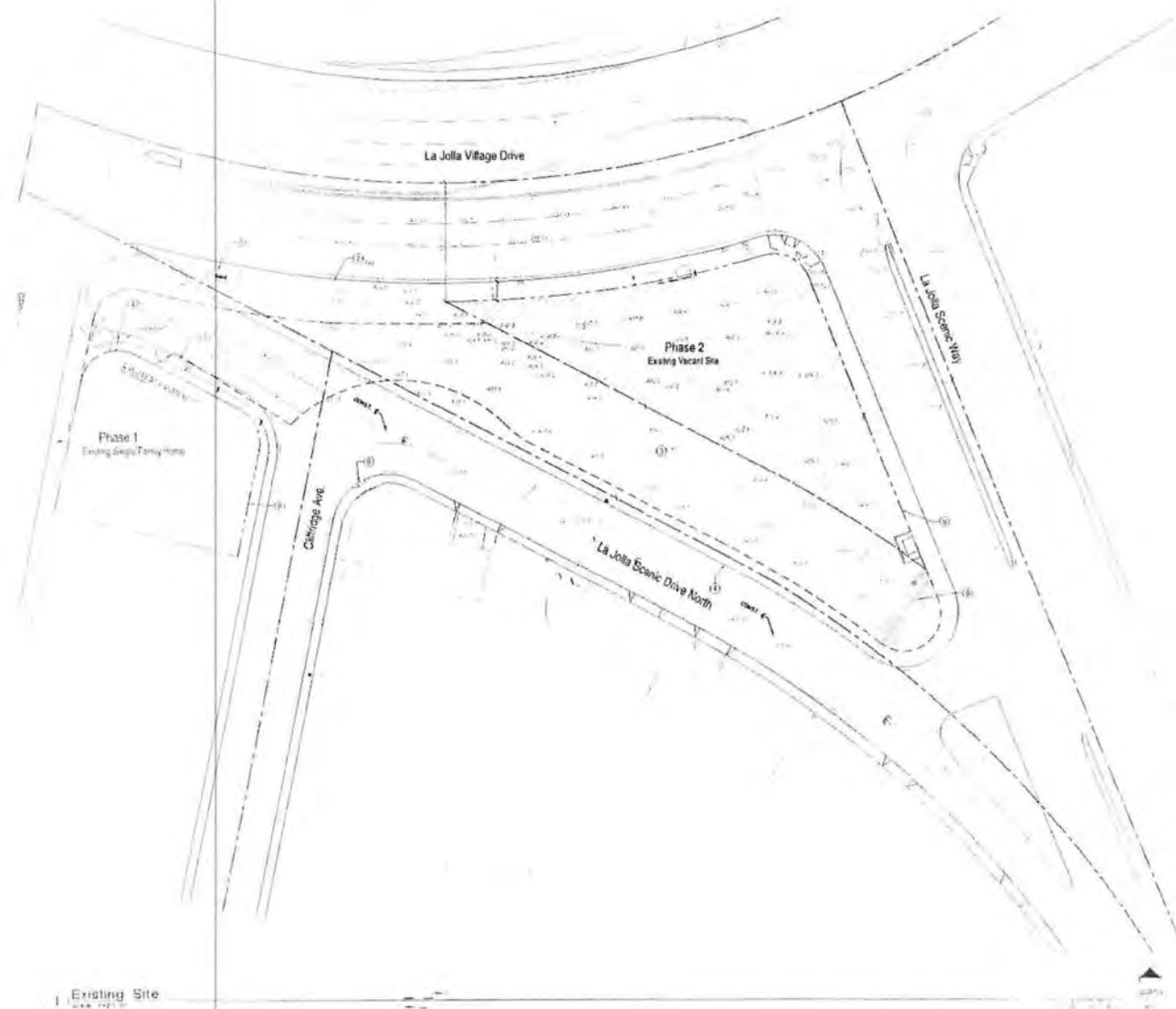
520

521

522

523

**Vicinity Map**



Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit

1" = 100'  
 This site plan is not to be used for any other purpose without the written consent of the City of San Diego.

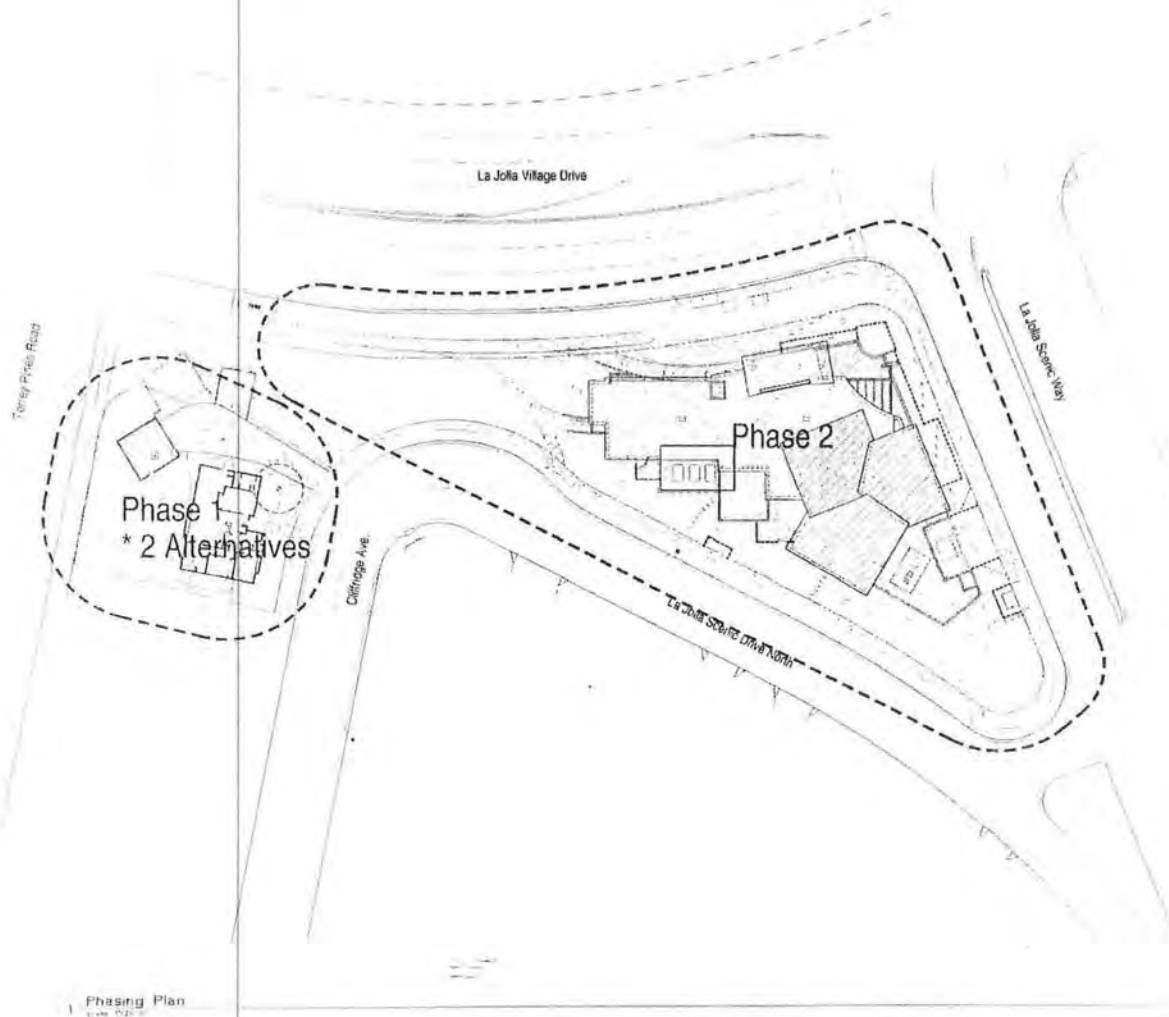


Hillel  
 of San Diego  
 San Diego, California

Phase 1  
 1.55 Acres of the 10.00  
 La Jolla Shores 1000'

Phase 2  
 1.55 Acres of the 10.00  
 La Jolla Shores 1000'  
 La Jolla Shores 1000'

Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit



Phasing Plan  
 Scale: 1" = 100'

Notes:  
 1. All development shall be in accordance with the City of San Diego's Comprehensive Zoning Ordinance and the City of San Diego's General Plan.

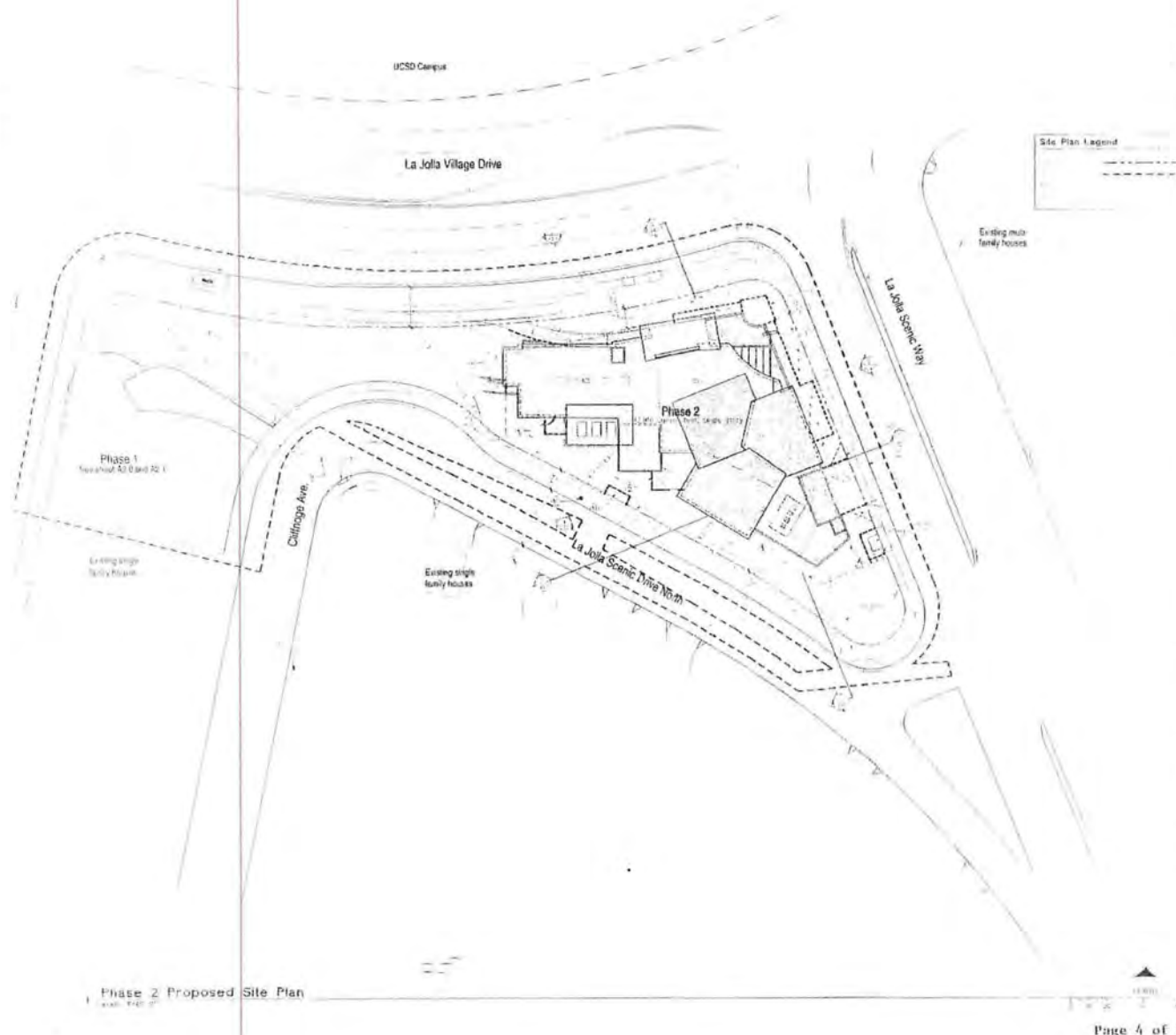


Hillel  
 of San Diego  
 San Diego, California

Phase 1  
 1000 Cliffridge Ave.  
 San Diego, California 92107

Phase 2  
 1000 Cliffridge Ave.  
 San Diego, California 92107

Item	Quantity	Unit
1. Street Vacation	1.00	Acres
2. Right of Way Dedication	1.00	Acres
3. Planned Development Permit	1.00	Acres
4. La Jolla Shores Site Development Permit	1.00	Acres
5. Change of Use Permit	1.00	Acres



Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit

Site Plan Legend

100%  
 Planning Commission, 24, 2014-05-04  
 2014-05-04, 2014-05-04, 2014-05-04  
 2014-05-04, 2014-05-04, 2014-05-04

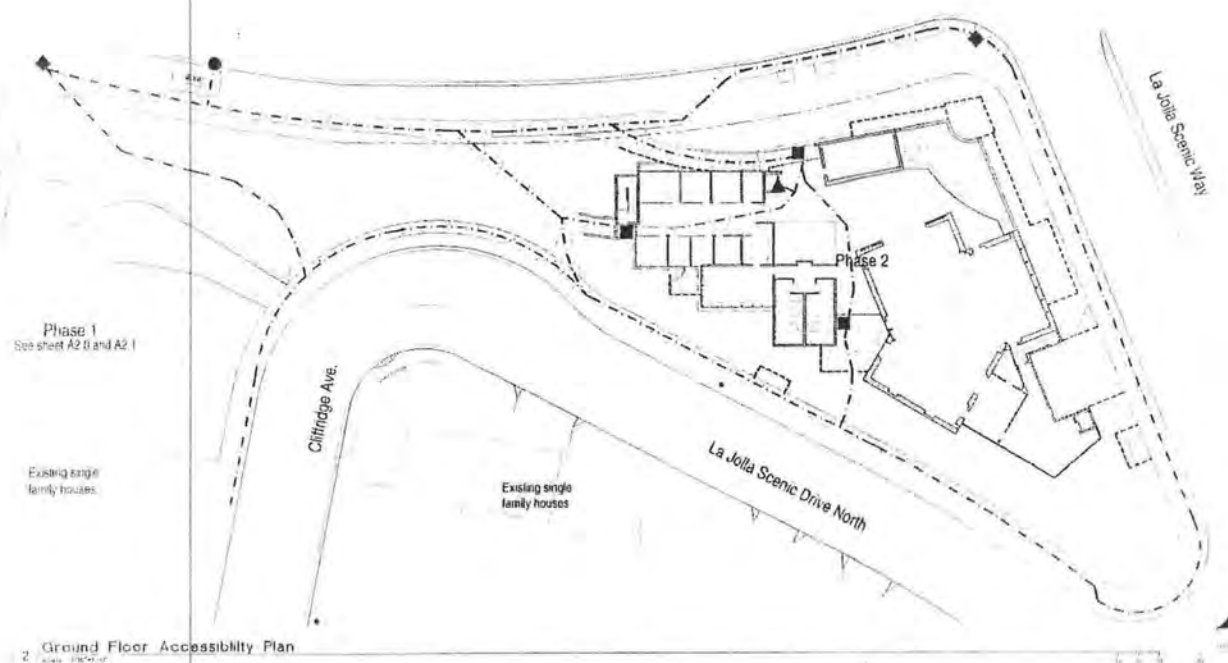


Hillel  
 of San Diego  
 San Diego, California

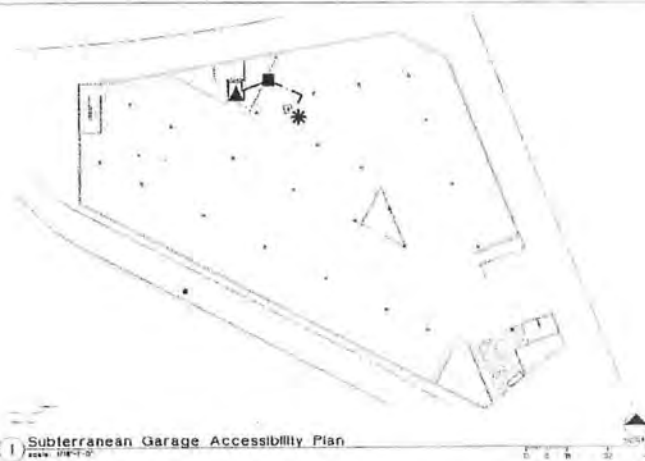
Phase 1  
 2014-05-04, 2014-05-04, 2014-05-04  
 2014-05-04, 2014-05-04, 2014-05-04

Phase 2  
 2014-05-04, 2014-05-04, 2014-05-04  
 2014-05-04, 2014-05-04, 2014-05-04

Planning Commission Report No PC-05-004  
 Page 28 of 90



2 Ground Floor Accessibility Plan



Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit

Legend



Site  
 Project: Hillel of San Diego  
 5000 La Jolla Village Drive  
 San Diego, CA 92161



Hillel  
 of San Diego  
 San Diego, California

Project  
 5000 La Jolla Village Drive  
 San Diego, CA 92161

Project  
 5000 La Jolla Village Drive  
 San Diego, CA 92161



Final Map  
Sheet 10000  
Planned Development  
for the Home A/C Development  
Exempt from the  
Change of Use Permit



BENCH MARK

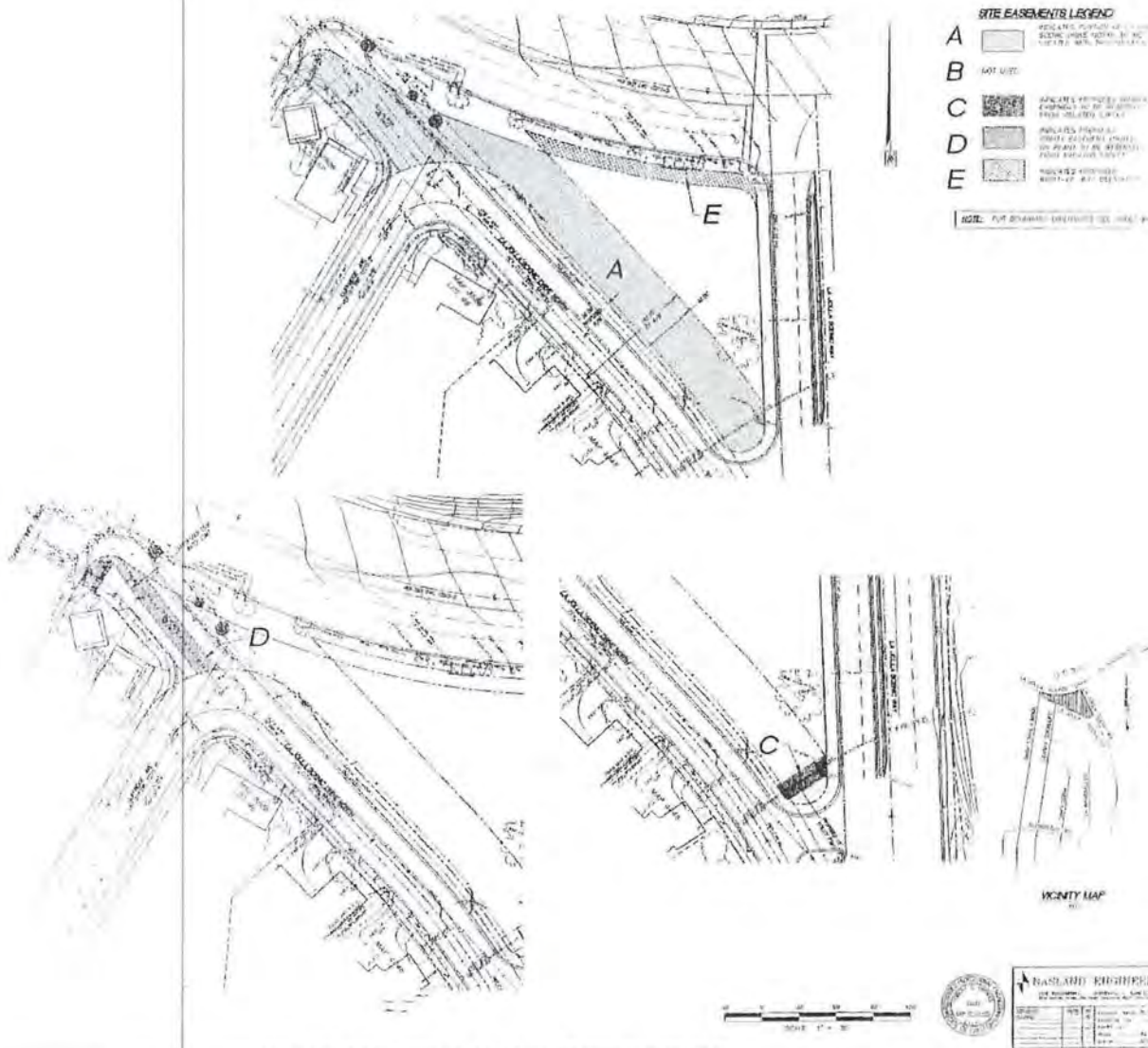
TOPOGRAPHIC SOURCE

Map 10000  
Sheet 10000  
Planned Development  
for the Home A/C Development  
Exempt from the  
Change of Use Permit

NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	Original Map	10/1/00	J. H. HARRIS	J. H. HARRIS
2	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
3	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
4	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
5	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
6	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
7	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
8	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
9	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS
10	Revised Map	10/1/00	J. H. HARRIS	J. H. HARRIS

Map 10000  
Sheet 10000  
Planned Development  
for the Home A/C Development  
Exempt from the  
Change of Use Permit



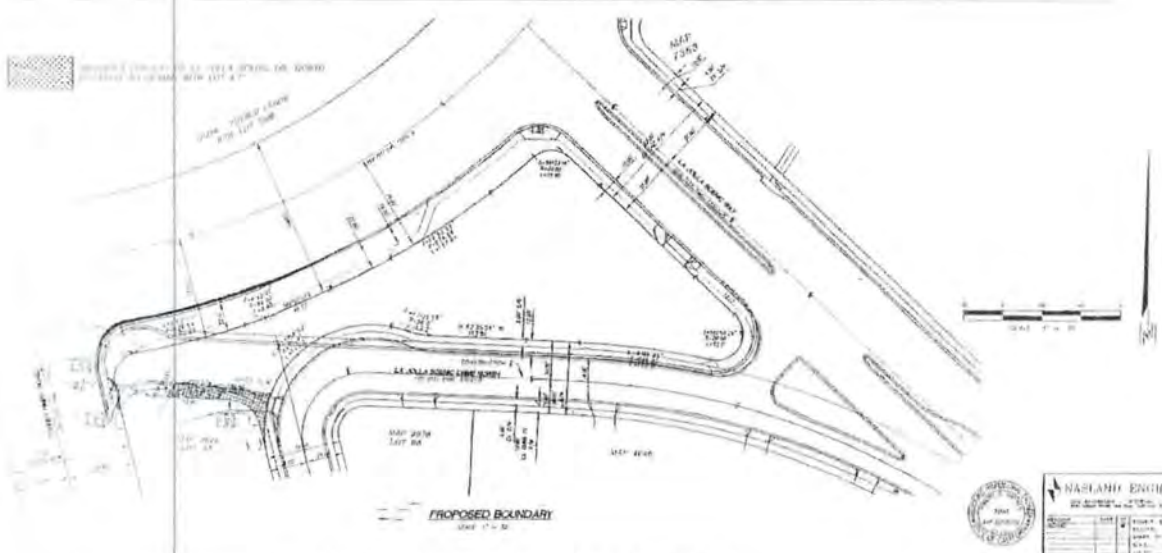
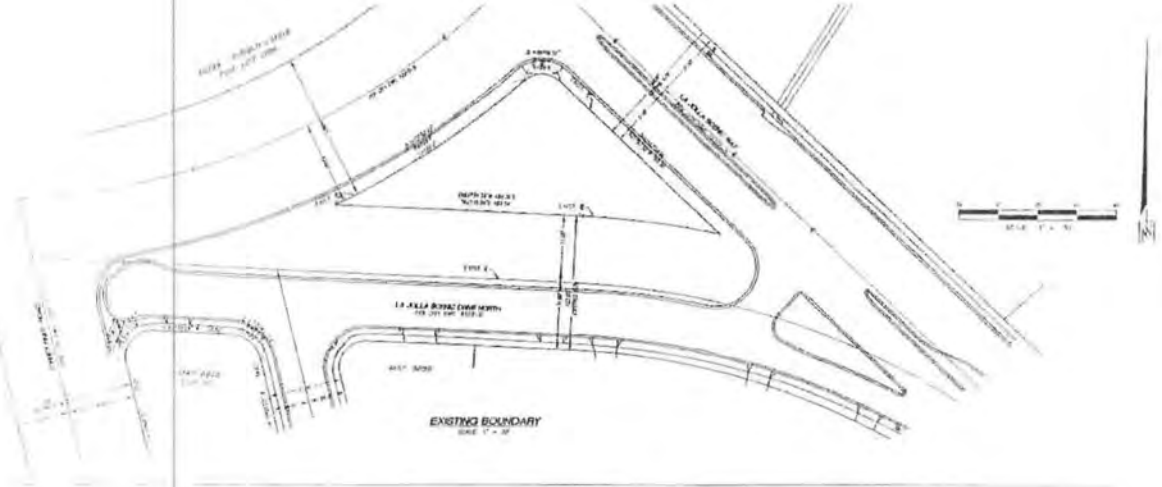


Notes of San Diego  
 Street location  
 Planned Development Permit  
 La Jolla Shores Site Development  
 Easement Abandonment  
 Change of Use Permit

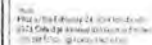
Table with 2 columns: Item, Description. The table lists various items and their descriptions, including easement areas and regulatory portions.

Item	Description
1	Regulatory Portion of Easement
2	Regulatory Portion of Easement
3	Regulatory Portion of Easement
4	Regulatory Portion of Easement
5	Regulatory Portion of Easement
6	Regulatory Portion of Easement
7	Regulatory Portion of Easement
8	Regulatory Portion of Easement
9	Regulatory Portion of Easement
10	Regulatory Portion of Easement

City of San Diego  
 Street Vandalia  
 Planned Development Permit  
 La Jolla Shores Site Development  
 Easement Abandonment  
 Change of Use Permit







**M. W. STEARNS**  
GROUP INC.  
121 E. Wacker Drive  
Chicago, Ill. 60601  
Tel. (312) 467-1000  
Telex 251 251 251  
Fax (312) 467-1000

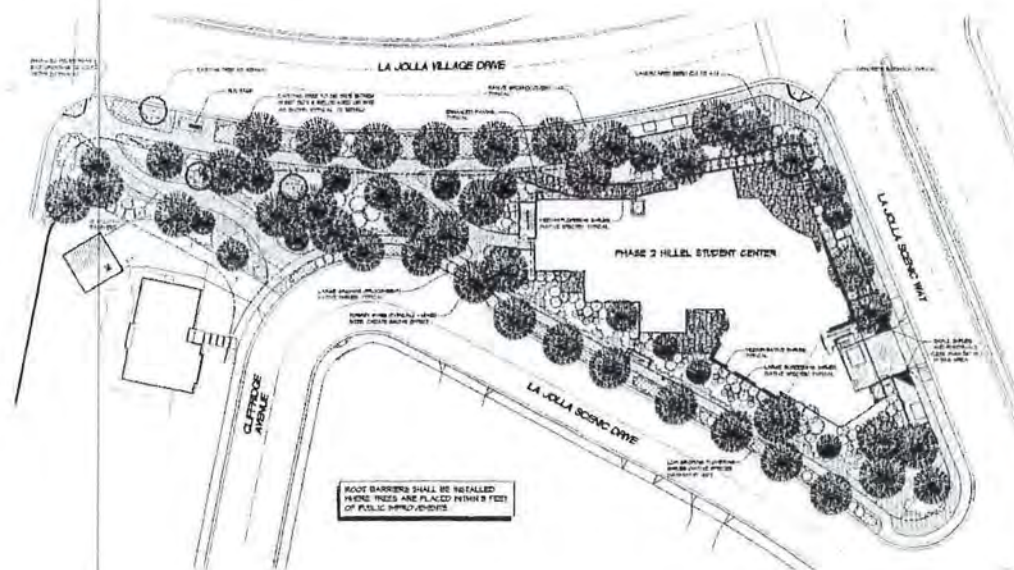
**Hillet**  
**of San Diego**  
San Diego, California

Title 11/20/2014 Author: [Name]	[Empty Cell]
---------------------------------------	--------------

Chen et al.  
Watershed of the Yangtze River  
Landscape Ecology  
2014, 5:14  
http://www.landscape-ecology.com/content/5/1/14

## PHASE 1

Hill of San Diego  
Street Vacation  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Easement Abandonment  
Change of Use Permit



## LANDSCAPE CALCULATIONS

## STREET YARD

TOTAL AREA = 1138 SQ. FT.  
PLANTING AREA REQUIRED = 1138 SQ. FT.  
PLANTING AREA PROVIDED = 1138 SQ. FT. = 100%  
PLANTING AREA DEFICIENCY BY 100%  
PLANTING POINTS REQUIRED = 1138 SQ. FT. = 100%  
PLANTING POINTS PROVIDED = 1138 SQ. FT. = 100%

## REMAINING YARD

TOTAL AREA = 2301 SQ. FT.  
PLANTING AREA REQUIRED = 2301 SQ. FT. = 100%  
PLANTING AREA PROVIDED = 2301 SQ. FT. = 100%  
PLANTING AREA DEFICIENCY BY 100%  
PLANTING POINTS REQUIRED = 2301 SQ. FT. = 100%  
PLANTING POINTS PROVIDED = 2301 SQ. FT. = 100%

FOR PLANT PALETTE, SEE SHEET L-3

## PHASE 2 CONCEPT

THIS PHASE 2 NATIVE PLANT GARDEN SET WITH A BENCH OF TURKEY FEED IS DEDICATED TO THOSE INDIVIDUALS WHO HELPED SAVE FORIDA, GULF, COASTAL AND OTHERWISE ENJOYED THE RARE SPECIES OF THIS THAT IS IN THE LA JOLLA.

## MAINTENANCE CRITERIA

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

## GENERAL NOTES

1. THE LANDSCAPE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

2. THE LANDSCAPE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

3. THE LANDSCAPE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

4. THE LANDSCAPE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

5. THE LANDSCAPE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

6. THE LANDSCAPE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

## IRRIGATION NOTES

1. THE IRRIGATION SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

2. THE IRRIGATION SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

3. THE IRRIGATION SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

4. THE IRRIGATION SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

5. THE IRRIGATION SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

6. THE IRRIGATION SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

## MAINTENANCE NOTES

1. THE MAINTENANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

2. THE MAINTENANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

3. THE MAINTENANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

4. THE MAINTENANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

5. THE MAINTENANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

6. THE MAINTENANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

## HUMAN TRAIL SEPARATION DISTANCE

1. THE HUMAN TRAIL SEPARATION DISTANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

2. THE HUMAN TRAIL SEPARATION DISTANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

3. THE HUMAN TRAIL SEPARATION DISTANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

4. THE HUMAN TRAIL SEPARATION DISTANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

5. THE HUMAN TRAIL SEPARATION DISTANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

6. THE HUMAN TRAIL SEPARATION DISTANCE SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED. PLANTING SHALL BE DONE WITHIN 100% OF THE PLANTING AREA PROVIDED.

PHASE 2

M.W. STEELE  
ARCHITECT  
1000 LA JOLLA VILLAGE DRIVE  
LA JOLLA, CA 92037  
(619) 435-1234  
WWW.MWSTEELEARCHITECT.COM

Hill of San Diego  
San Diego, California

Project:  
805 10th Avenue  
La Jolla, CA 92037

Client:  
Hill of San Diego  
1000 La Jolla Village Drive  
La Jolla, CA 92037

Scale:  
1" = 100' (Horizontal)  
1" = 20' (Vertical)

Project:  
805 10th Avenue  
La Jolla, CA 92037

Client:  
Hill of San Diego  
1000 La Jolla Village Drive  
La Jolla, CA 92037

Project:  
805 10th Avenue  
La Jolla, CA 92037

L-2

Hillel  
of San Diego  
San Diego, California

■ BUILDING COVERED AREA 14,210 S.F. (52.2%)  
 ■ PAVING/LANDSCAPE AREA 18,841 S.F. (67.5%)  
 ■ PLANTABLE AREA 18,071 S.F. (63.2%)  
 TOTAL SITE AREA 26,954 S.F. (100%)

PHASE 2

Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit

Torrey Pines Road

Cliffridge Ave

Phase 1: Parking Alternative 1: Temporary Parking until Phase 2 complete

**Notes:**  
 Parking Alternative 1: Provide 6 parking spaces in the abandoned out-of-use SAC. This alternative involves the construction of a temporary sidewalk and parking improvements in the abandoned out-of-use right-of-way. If the abandonment is approved as part of the Site EIS Project. This alternative assumes that Hillel's application for the Site EIS, Site Development Permit and application for abandonment of right-of-way/out-of-use will be approved.  
 Parking Alternative 2: This alternative provides for studying the parking requirements on site. This alternative provides for demolition of the existing garage at the House and construction of 6 parking spaces on the site of the House Project as depicted on site plan Sheet A2-1, submitted separately. We would propose that this alternative be required only if the Site EIS application and corresponding right-of-way abandonment is denied.

7/20/2016  
 Hillel of San Diego  
 1875 Camino del Rio South  
 San Diego, CA 92108



Hillel  
 of San Diego  
 San Diego, California

Phase 1  
 Hillel of San Diego House  
 1875 Camino del Rio South

Phase 2  
 Hillel of San Diego House  
 1875 Camino del Rio South  
 San Diego, CA 92108

Planning Commission Report No PC-05-004  
 Page 37 of 90  
 Attachment 10

Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit



Phase 1 Parking Alternative 2 (If Phase 2 Development of Site 653, for Hillel, is not approved)

NOTE:  
 Parking Alternative 1: Provide 6 parking spaces in the abandoned cul-de-sac. This alternative involves the construction of a temporary sidewalk and parking improvements in the abandoned cul-de-sac/right of way, if the abandonment is approved as part of the Site 653 Project. This alternative assumes that Hillel's application for the Site 653 Site Development Permit and application for abandonment of right-of-way/cul-de-sac will be approved.  
 Parking Alternative 2: This alternative provides for satisfying the parking requirements on site. This alternative provides for demolition of the existing garage at the House and construction of 6 parking spaces on the site of the House Project as depicted on site plan Sheet A2.1 is limited herein. We would require that this alternative be required only if the Site 653 application and corresponding right of way abandonment is denied.

12th  
 Planning Commission  
 12th District  
 12th District  
 12th District



Hillel  
 of San Diego  
 San Diego, California

Project:  
 Hillel of San Diego  
 12th District

Item:  
 Hillel of San Diego  
 12th District  
 12th District

Planning Commission Report No PC-05-004  
 Page 38 of 90

A2

Hillel of San Diego  
Street Vacation  
Right of Way Dedication  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

Garage Area

NOT  
FOR CONSTRUCTION  
FOR INFORMATION ONLY  
DO NOT SCALE



Hillel  
of San Diego  
San Diego, California

Phase 1  
Waste Collection Area  
to ADA Compliance

Phase 2  
Waste Collection Area  
to ADA Compliance  
La Jolla Shores Site  
to ADA Compliance

Attachment 10  
Planning Commission Report No PC-05-004  
Page 39 of 90

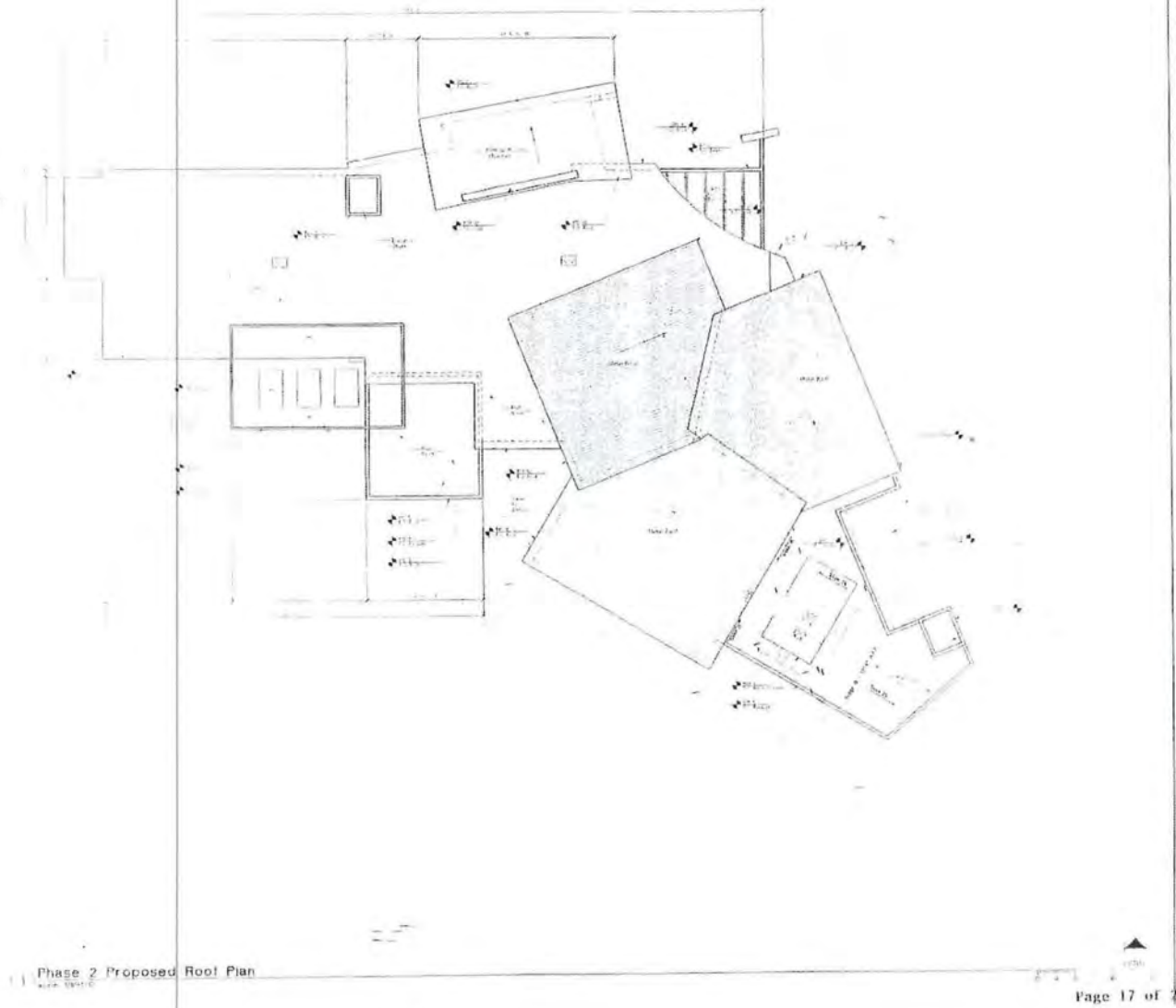
A2



Phase 2 Proposed Subterranean Parking Garage



Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit



THE  
 PROJECT  
 Hillel of San Diego  
 1000 La Jolla Village Drive  
 San Diego, CA 92037

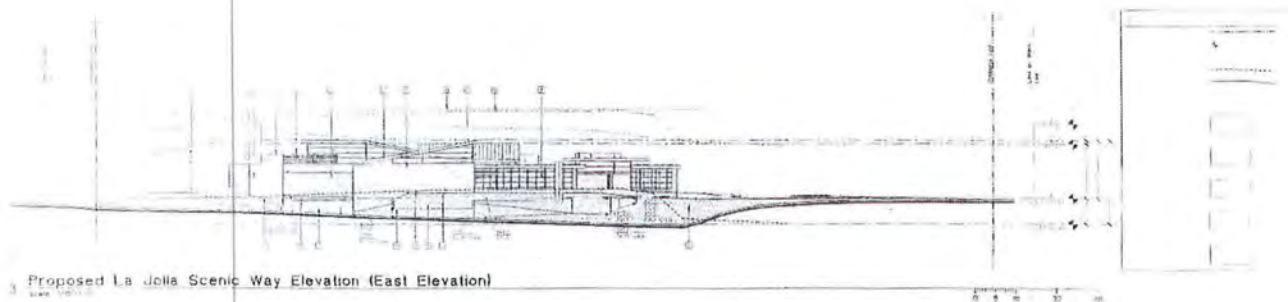


Hillel  
 of San Diego  
 San Diego, California

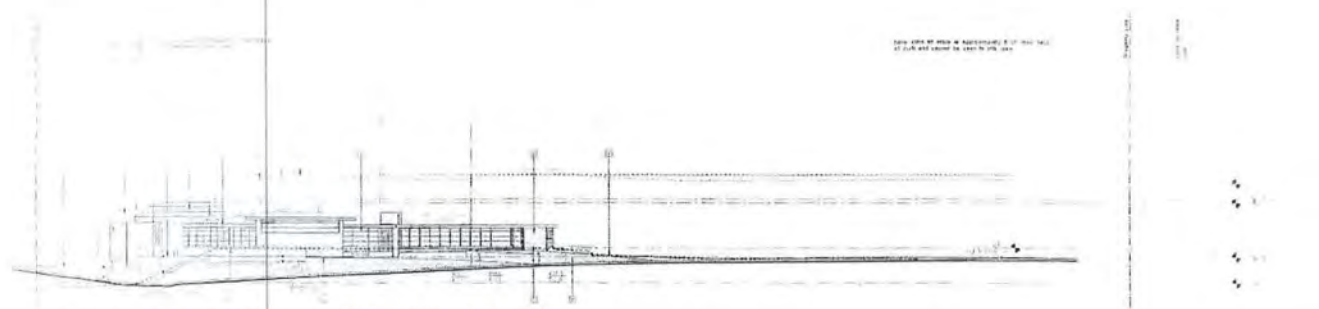
Project:  
 1000 La Jolla Village Drive  
 San Diego, CA 92037  
 Project:  
 1000 La Jolla Village Drive  
 San Diego, CA 92037

Planning Commission Report No PC-05-004  
 Page 41 of 90

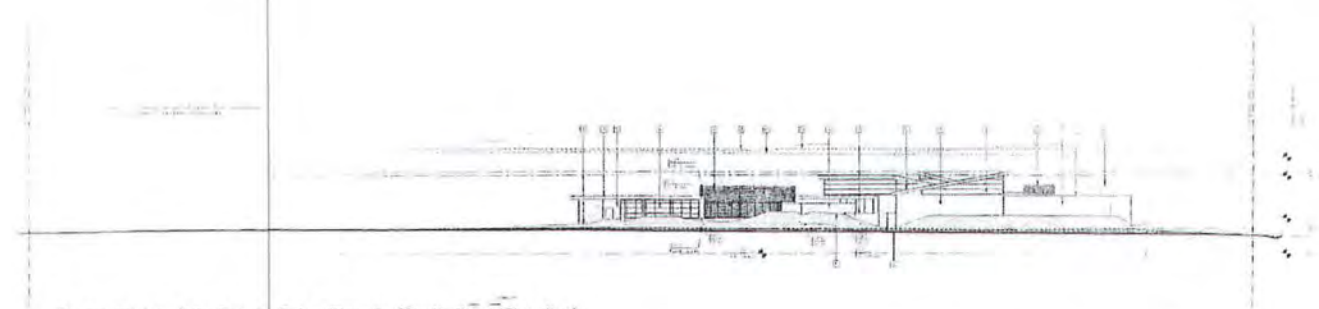
Hillel of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit



3 Proposed La Jolla Scenic Way Elevation (East Elevation)



2 Proposed La Jolla Village Drive Elevation (North Elevation)



1 Proposed La Jolla Scenic Drive Elevation (South West Elevation)

NOTES:  
 1. See attached site plan for location of building.  
 2. See attached site plan for location of building.



Hillel  
 of San Diego  
 San Diego, California

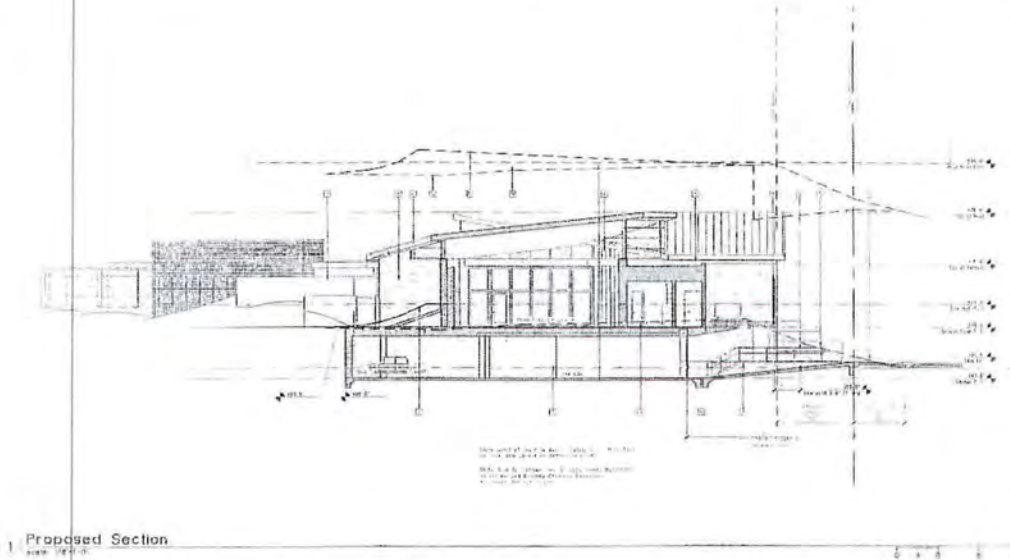
Project:  
 Hillel of San Diego

Project:  
 Hillel of San Diego  
 1000 La Jolla Village Drive  
 San Diego, California 92037

A3.0

Hill of San Diego  
 Street Vacation  
 Right of Way Dedication  
 Planned Development Permit  
 La Jolla Shores Site Development Permit  
 Change of Use Permit

2 Proposed Section  
 DATE: 10-1-17



1 Proposed Section  
 DATE: 10-1-17

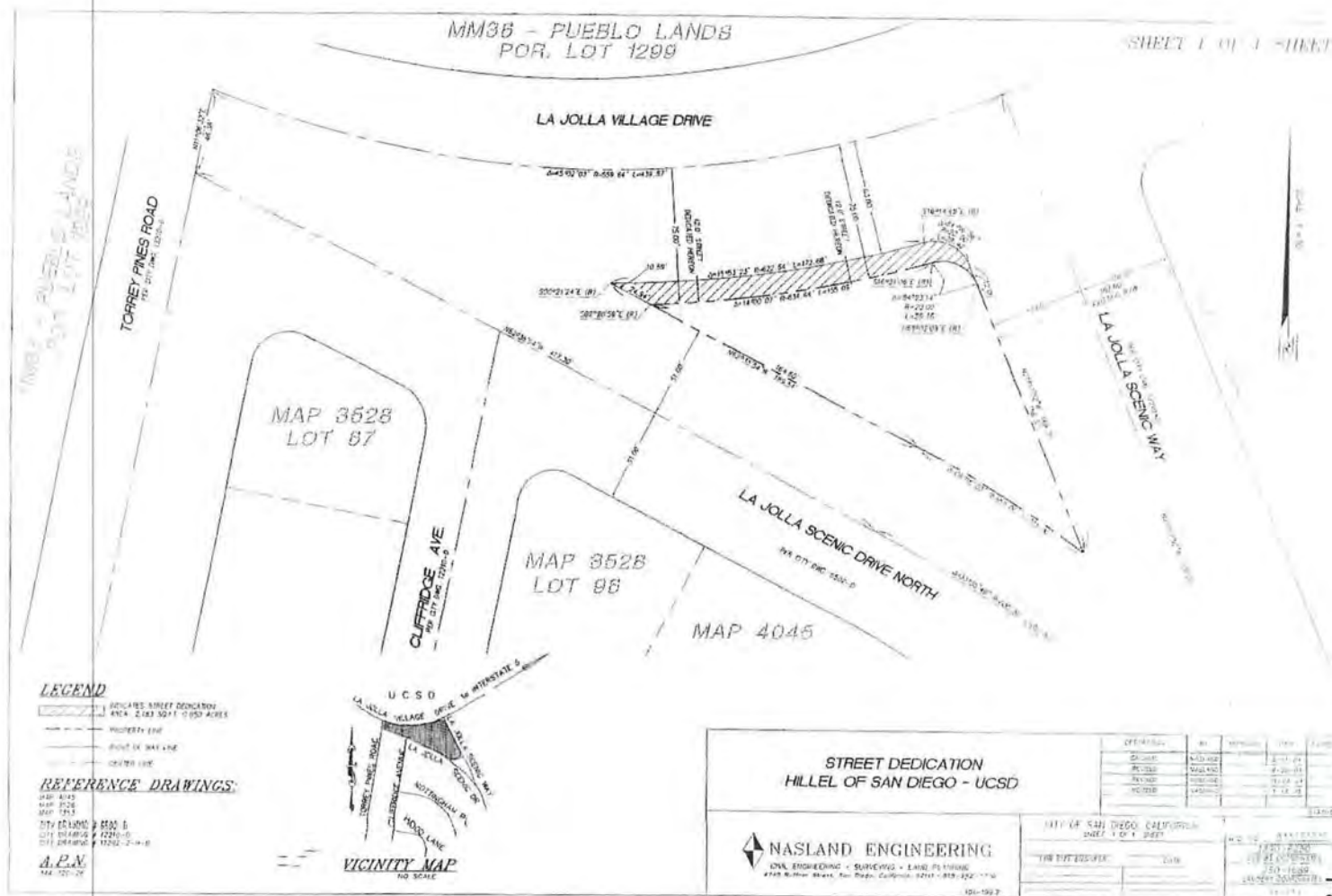
10/18  
 Proposed Hill of San Diego  
 40% Citywide, 40% Countywide, 20% Statewide  
 10/18/17

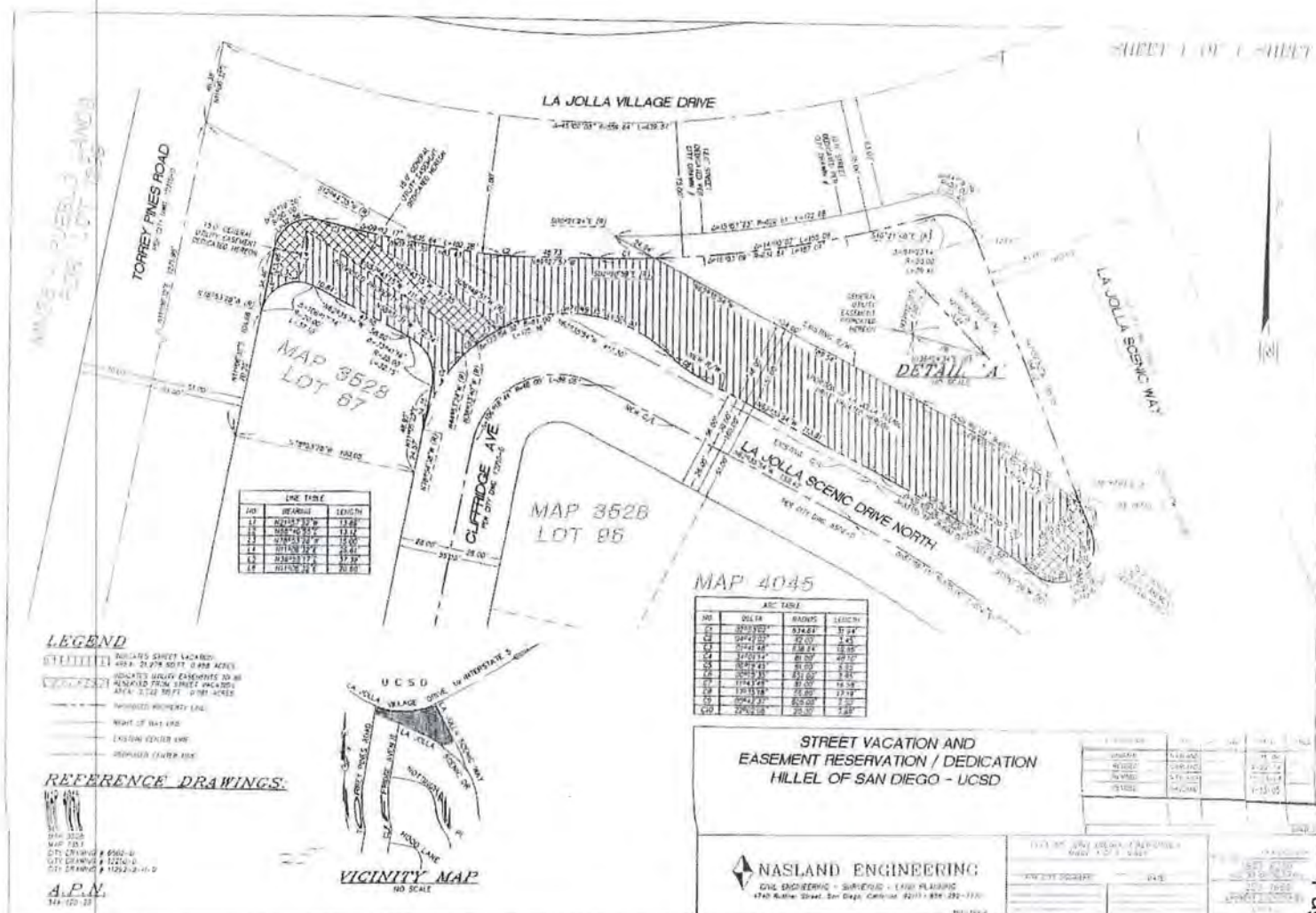


Hill of San Diego  
 San Diego, California

Project 1  
 40% Citywide, 40% Countywide, 20% Statewide

Project 2  
 40% Citywide, 40% Countywide, 20% Statewide





**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**

**CITY CLERK  
MAIL STATION 2A**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-1438

PLANNED DEVELOPMENT PERMIT NO. 158095  
SITE DEVELOPMENT PERMIT NO. 158094  
LOT LINE ADJUSTMENT PARCEL MAP NO. 188004  
**HILLEL OF SAN DIEGO (MMRP) – PROJECT NO. 6098**  
CITY COUNCIL

This Planned Development Permit No. 158095 and Site Development Permit No. 158094, is granted by the City Council of the City of San Diego to ROBERT MARSHALL, an Individual, Owner, and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase I) and CITY OF SAN DIEGO, a Municipal Corporation, Owner, and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase II), pursuant to San Diego Municipal Code [SDMC] Sections 126.0601, 126.0501 and 103.0300. The 8,882 (post lot-line adjustment) square-foot Phase I site located at 8976 Cliffridge Avenue and the 33,518 (23,518 square-foot developable) square-foot Phase II site is within the triangular area known as Site 653 bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North in the SF (single-family) zone of the La Jolla Shores Planned District, Coastal Height Limit and Parking Impact Overlay (Campus Impact Area), all within the boundaries of the La Jolla Community Plan. The project site is legally described as: Phase I: Lot 67, La Jolla Highlands, Unit No. 3, Map No. 3528; and Phase II: A Portion of Lot 1299, Pueblo Lands, Miscellaneous Map No. 36.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners and Permittees to continue to use an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement and to develop a triangular shaped parcel with a 12,000 square-foot Jewish student religious center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement, described and identified by size, dimension, quantity, type, and location on the approved exhibits, dated April xx, 2005, on file in the Development Services Department.

The project or facility shall include:

- a. Phase I: Continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy; and

Phase II: The development of a two-level Jewish student religious center consisting of an upper level main floor plan use are of 12,000 square-feet and a lower subterranean garage of 17,000 square-feet for the parking of 40 vehicles, trash enclosures and elevators; and

- b. A Lot-line Adjustment Parcel Map for the vacated right-of-way of La Jolla Scenic Drive North between Phase I and Phase II to assure sufficient right-of-way for continued access to the required off-street parking when the Phase I terminates and the structure reverts to residential use.
- c. Landscaping (planting, irrigation and landscape related improvements) with existing landscaping at the residence at 8976 Cliffridge Avenue to be maintained, the 23,518 square-foot Hillel center to be landscaped and maintained in accord with the approved Exhibit 'A' Landscape Plan subject to the conditions contained herein, and the required public benefit 10,000 square-foot area between the Phase I and II sites; and
- d. Off-street parking facilities to be maintained on both the Phase I and II sites as conditioned herein, and the requirement for off-site parking required for the use and events associated with Phase II; and
- e. Fencing, walls, decorative site features and signage; and
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

#### **STANDARD REQUIREMENTS:**

- 1. Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
- 2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder

3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
4. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the Development Services Department. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.  
  
In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
10. This Permit may be utilized in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase (per the approved exhibits, dated April xx, 2005).

11. At all bus stops within the project area, if any, the applicant shall be responsible for installing sidewalk improvements where needed to comply with Americans with Disability Act (ADA) requirements and in accordance with standards contained in the City of San Diego Street Design Manual.

12. The Phase I continued use of the residentially constructed house at 8976 Cliffridge Avenue for religious purposes shall continue, subject to the applicable conditions of this permit, until Phase II is completed and ready for occupancy. As Phase II is utilized for Hillel purposes, Phase I shall terminate and the owner of the residence will convert the use of the site back to single-family residential. Should the owner desire to utilize the residence and property for some other use permitted by the SF zone of the La Jolla Shores Planned District, the owner shall apply for a separate Site Development Permit.

#### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

13. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.

14. As conditions of this Planned Development Permit No. 158095 and Site Development Permit No. 158094, the mitigation measures specified in the MMRP, and outlined in the ENVIRONMENTAL IMPACT REPORT NO. 6098, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in the ENVIRONMENTAL IMPACT REPORT NO. 6098 satisfactory to the City Manager and City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

#### **Paleontological Resources and Parking**

16. Prior to issuance of any construction permit, the applicant shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

17. A Job Order number open to the Land Development Review Division of the Development Services Department shall be required to cover the Land Development Review Division's cost associated with the implementation of the MMRP.

#### **ENGINEERING REQUIREMENTS:**

18. Prior to building occupancy, the applicant shall conform to Section 62.0203 of the Municipal Code, "Public Improvement Subject to Desuetude or Damage." If repair or replacement of such public improvements is required, the owner shall obtain the required permits for work in the public right-of-way, satisfactory to the permit-issuing authority.

19. The drainage system proposed for this development, as shown on the approved plans, is subject to approval by the City Engineer.
20. Prior to the issuance of any building permits, the applicant shall obtain a bonded grading permit from the City Engineer for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the installation of sidewalk on La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North along the property frontage, new curb, gutter and sidewalk along the vacated area at Cliffridge Avenue and La Jolla Scenic Drive North, a connection to the City storm drain in La Jolla Scenic Way, 3 sidewalk underdrains (one in each adjacent street), a pedestrian ramp at La Jolla Village Drive and La Jolla Scenic Way and a 24-foot driveway on La Jolla Scenic Way, all satisfactory to the City Engineer.
22. Prior to the issuance of any construction permits, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.
24. Prior to the issuance of any construction permits, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
25. Prior to the issuance of any building permits, the applicant shall process the street vacation and dedication drawings and drawings for the easement reservations, all satisfactory to the City Engineer.
26. Prior to the issuance of any building permits, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for two (2) D-27 sidewalk underdrains (in La Jolla Village Drive and La Jolla Scenic Drive North) and a connection to the City drain system.

#### **LANDSCAPE REQUIREMENTS:**

27. No change, modification or alteration shall be made to the project unless appropriate application or amendment of this Permit shall have been granted by the City.
- 
28. Prior to issuance of any grading permits or construction permits for structures, complete landscape construction documents, including planting plans, irrigation plans, details and notes, shall be submitted to the Development Services Department for approval. The plans shall be in substantial conformance to Exhibit "A", on file in the Office of the Development Services Department.
29. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit A Landscape Development Plan, on file in the Office of Development Services. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as landscaping area.

30. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage and prior to issuance of a Certificate of Occupancy.
32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
33. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A No Fee Street Tree Permit shall be obtained for the installation, establishment and on-going maintenance of all street trees.

**TRANSPORTATION REQUIREMENTS:**

34. The project shall provide an additional 27 off-site parking spaces through a shared parking agreement(s) for Hillel's weekly Shabbat services. The 27 parking spaces shall be available from 1 hour prior to the event until 1 hour after each Shabbat Service.
35. The project shall provide an additional 75 off-site parking spaces through a shared parking agreement(s) for Hillel's special events. The 75 parking spaces shall be available from 1 hour prior to the event until 1 hour after each event.
36. Prior to the issuance of the first building permit, a shared parking agreement shall be provided between Hillel and the off-site parking provider(s) for the required off-site parking spaces, satisfactory to the City of San Diego.
- 
37. Hillel shall provide a shuttle service between the off-site parking location(s) and the Hillel facility for both weekly Friday Shabbat services and the occasional special events. If the off-site location is within 600-feet of the Hillel site, no shuttle service will be required.
38. During Shabbat services and special events, signs shall be placed and maintained in front of the project clearly indicating available parking spaces at the off-site location(s).
39. During Shabbat services and special events, signs shall be placed and maintained at the entrance of the off-site parking location(s) clearly indicating that parking spaces are available for Hillel.

40. No fewer than 6 temporary parking spaces shall be constructed in the vacated/abandoned portion of La Jolla Scenic Drive North right-of-way (as shown on Exhibit "A") for the use of the 8976 Cliffridge Avenue site (Phase I). These temporary parking spaces shall be removed and the area restored upon the completion of the project at Site 653 (Phase II).
41. No fewer than 6 on-site parking spaces shall be maintained on 8976 Cliffridge Avenue (Phase I) in the event that the Hillel project is not constructed on Site 653 (Phase II) in the approximate locations shown on the approved Exhibit "A", on the file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.
42. No landscaping and/or hardscaping more than 30-inches in height shall be placed in the visibility triangle as shown on Exhibit "A".
43. Prior to the issuance of the first building permit, applicant shall assure by permit and bond, construction of new pedestrian curb ramps at the intersections of La Jolla Village Drive / La Jolla Scenic Way and Torrey Pines Road / La Jolla Village Drive, satisfactory to the City Engineer.
44. Prior to the issuance of the first building permit, applicant shall assure by permit and bond, reconstruction of La Jolla Scenic Drive north along its frontage between La Jolla Scenic Way and Cliffridge Avenue to provide 34 feet of pavement, curb, gutter and sidewalk, with 12 feet curb to property line distance, satisfactory to the City Engineer.
45. Prior to the issuance of the first building permit, applicant shall assure by permit and bond removal of the existing stop sign, stop legend and limit line at the intersection of Cliffridge Avenue / La Jolla Scenic Drive North, satisfactory to the City Engineer.
46. Prior to the issuance of the first building permit, applicant shall assure by permit and bond removal of the existing pedestrian curb ramp at the intersection of Cliffridge Avenue / La Jolla Scenic Drive North, satisfactory to the City Engineer.
47. Prior to the issuance of the first building permit, applicant shall assure by permit and bond installation of curve warning signs in advance of the intersection of Cliffridge Avenue / La Jolla Scenic Drive North, satisfactory to the City Engineer.
48. Prior to the issuance of the first building permit, applicant shall assure by permit and bond installation of double yellow center line along the curve on Cliffridge Avenue and La Jolla Scenic Drive North, satisfactory to the City Engineer.
49. Prior to the issuance of the first building permit, applicant shall dedicate approximately 5-feet along project frontage on La Jolla Village Drive (as shown on Exhibit "A") and shall assure by permit and bond, reconstruction of curb, gutter, contiguous and non-contiguous sidewalk, with 22-feet curb-to-property line distance, satisfactory to the City Engineer.

50. Prior to the issuance of the first building permit, applicant shall assure by permit and bond construction of a 10-foot wide pedestrian/bicycle path between La Jolla Scenic Drive North and Torrey Pines Road, satisfactory to the City Engineer.
51. The gate to the subterranean garage shall be monitored by Hillel's staff during all gatherings.
52. Prior to the issuance of the first building permit, the applicant must submit a Transportation Demand Management (TDM) Plan. The TDM Plan shall include the following:
  - a) Provide staff at both Hillel facility and the off-site location to monitor parking for occasional special events.
  - b) Publicize the availability of off-site parking and transportation prior to the occasional special events.
  - c) Annual post-occupancy parking demand study shall be conducted by Hillel for Shabbat services and occasional special services for 3 years after the facility becomes operational, satisfactory to the City Engineer. If post occupancy study indicates need for additional off-site parking, then Hillel shall secure the additional needed parking spaces, satisfactory to the City of San Diego. If post occupancy study indicates that Hillel has no need for the required off-site parking spaces, then those spaces do not need to be provided. The parking demand study should also include an annual summary of the type and frequency of the events that take place at Hillel's facility. The parking demand study should also monitor the use of the on-street parking in the vicinity of the project and eliminate any adverse impact of the project on the on-street parking.

**PLANNING/DESIGN REQUIREMENTS:**

53. Hillel hours of operation shall be limited to 7:00 A.M. to 10:00 P.M. daily and events will be concluded by 10:00 P.M., allowing for 11:00 P.M. clean up and closing of the facility. Hillel may observe Jewish holidays, customs and ritual practices for High Holiday, Shavuot, Purim, Passover and other Jewish special observances provided that the above hours of operation shall observed and these occasional events shall comply with Condition No. 54 of this Permit.
  54. Occasional events will be limited to no more than 12 in a calendar year. Occasional event parking demands will be met by the mitigation outlined in the traffic and parking study that is conditioned upon the project.
- 
55. No fewer than 40 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A," on file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.
  56. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance

from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

57. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

58. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

59. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

60. No building additions shall be permitted unless approved by the City Manager.

61. All signs associated with this development shall be consistent with sign criteria established by the La Jolla Shores Planned District Ordinance.

62. All outdoor lighting shall be adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

63. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

64. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

65. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," on file in the Development Services Department.

---

#### **LONG-RANGE PLANNING:**

66. The cul-de-sac area proposed for vacation shall be retained in perpetuity for public pedestrian and bicycle access. The area shall not be gated or otherwise obstructed to prevent free movement and public access. In addition, the project shall incorporate signage which identify this area as public access to the satisfaction of the City Planner.

**WASTEWATER REQUIREMENTS:**

67. Prior to issuance of any building permits, the developer shall assure, by permit and bond, the design and construction of realignment of the existing 8" public sewer main at the turn of La Jolla Scenic Drive North and Cliffridge Avenue in a fashion acceptable to the Metropolitan Wastewater Department Director.
68. Prior to issuance of any building permits, the developer shall prepare appropriate public improvement plans for the construction of realignment of the existing 8" sewer main at the turn of La Jolla Scenic Drive North and Cliffridge Avenue acceptable to the Metropolitan Wastewater Director, reviewed and approved by the Wastewater Plan Check Section.
69. Prior to the final inspection of any building permit, the developer shall have the construction of the realignment of the existing 8" sewer main at the turn of La Jolla Scenic Drive North and Cliffridge Avenue completed per approved plans and satisfactory to the wastewater Department Director and the City Engineer.
70. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be re-designed.
71. All proposed private sewer facilities that serve more than one lot are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Accordingly, improvement drawings and inspection by the Field Engineering Division will be required.
72. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
73. The project has a parking structure which is below grade, and it is in a zone where the Regional Water Quality Control Board (RWQCB) will not issue permits to discharge pumped ground water. Hence, the underground structure will shall be designed: a) water-tight with no sump pumps, b) to withstand any hydrostatic pressure that may result from surface water percolation or ground water, and c) for hydraulic uplift.

**WATER REQUIREMENTS:**

74. Prior to the issuance of the first foundation, building or grading permit, the Owner/Permittee shall cut, plug and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive North right-of-way to be vacated, from La Jolla Scenic Way to Torrey Pines Road, in a manner satisfactory to the Water Department Director and the City Engineer.
75. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of public 16-inch water facilities and the cut, plug and abandonment of the existing public 8-inch water facilities within the La Jolla Scenic Drive North right-of-way, from

La Jolla Scenic Way to Torrey Pines Road, and connect to the 16-inch mains all existing water services still in service adjacent to the project, in a manner satisfactory to the Water Department Director and the City Engineer.

76. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s), including domestic, fire and irrigation, and the disconnection at the mains of all existing unused water services adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

77. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permit(s) for the installation of private back flow prevention device(s) on all water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Water Department Director and the City Engineer. All backflow prevention devices shall be located above grade and outside of any private structures.

78. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall install and/or replace fire hydrants at locations satisfactory to the Fire Marshal, the Water Department Director and the City Engineer.

79. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall design and construct new public water facilities, into acceptable alignments and rights-of-way, in the event any public water facility in the vicinity of the project site loses integrity due to the construction and grading activities associated with this development, in a manner satisfactory to the Water Department Director and the City Engineer.

80. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall grant acceptable water easements over all public water facilities located outside of fully improved public rights-of-way, in a manner satisfactory to the Water Department Director and the City Engineer. Minimum water easement width, for exclusive use of public water mains with no appurtenances, shall be 15-feet-wide.

81. Prior to the first final inspection of any building permit for the Hillel of San Diego project, all public water facilities necessary to serve this development shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

82. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and easements, as shown on approved Exhibit "A," shall be modified at final engineering to comply with standards.

#### **MAPPING:**

83. A Lot-line Adjustment Parcel Map will be filed in conjunction with the vacation of the public right-of-way for that portion of La Jolla Scenic Drive North reverting to Lot 67, La Jolla Highlands Unit No. 3, map No. 3528 and the Portion of Lot 1299, Pueblo Lands, Misc. Map No. 36, for the benefit of

Lot 1299 but assuring access to Lot 67 for the required off-street parking, as shown on Exhibit 'A' and to the satisfaction of the City Engineer.

**INFORMATION ONLY:**

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

APPROVED by the City Council of the City of San Diego on April xx, 2005, Resolution No. RR-  
xxxxxxxxxx.

AUTHENTICATED BY THE CITY MANAGER

By \_\_\_\_\_

---

**The undersigned Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

**[NAME OF COMPANY]**

Owner/Permittee

By \_\_\_\_\_

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

Rev 7/15/04 dcj



**Resolution for Approving/Denying Permits**

(R-INSERT)

RESOLUTION NUMBER R-NUMBER  
MITIGATED NEGATIVE DECLARATION NO. 6098

ADOPTED ON APRIL XX, 2005

WHEREAS, ROBERT MARSHALL, an Individual, Owner and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase I) and CITY OF SAN DIEGO, a Municipal Corporation, Owner and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase II), filed an application with the City of San Diego for a Planned Development Permit No. 158095 and a Site Development Permit No. 158094, to continue to use an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement and to develop a triangular shaped parcel with a 12,000 square-foot Jewish student religious center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement, located at 8976 Cliffridge Avenue (Phase I) and within the triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North (Phase II), and legally described as Lot 67, La Jolla Highlands, Unit No. 3, Map No. 3528 (Phase I) and a Portion of Lot 1299, Pueblo Lands, Miscellaneous Map No. 36, in the La Jolla Shores Planned District and La Jolla Community Plan area, in the SF (Single-family) zone; and

---

WHEREAS, on February 10, 2005, the Planning Commission of the City of San Diego considered Planned Development Permit No. 158095 and Site Development Permit No. 158094, and pursuant to Resolution No. XXXX-PC voted to "Recommend City Council approval of the permits"; and

WHEREAS, the matter was set for public hearing on April XX, 2005, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 158095 and Site Development Permit No. 158094:

**Planned Development Permit - Section 126.0604**

**1. The proposed development will not adversely affect the applicable land use plan.**

The proposed development consists of a Phase I plan to continue use of a single-family residence at 8976 Cliffridge Avenue as religious offices with the addition of six off-street required parking spaces until such time as the Phase II improvements are approved for occupancy, at which time the owner of the residence will revert it back to residential use and maintain two off-street parking spaces.

Phase II consists of the construction of a 12,000 square-foot Jewish student center above a subterranean 40-space parking garage of 17,000 square-feet of area. The Phase II site is a triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North. Development of the site will also require easement reservations and street vacations and dedication. A 10,000 square-foot landscaped area required by the City Council will be developed between the existing residence and new Hillel facility. To the north is the campus of the University of California at San Diego while a vacant area and youth athletic fields lie to the west with a detached single-family to the immediate south and a Planned Residential Development to the east.

This development is located within the SF (Single-family) zone of the La Jolla Shores Planned District within the La Jolla Community Plan boundary. The SF zone permits use for churches, temples and buildings of a religious nature. The Hillel facility is for a Jewish student center, serving primarily the Jewish student population on the neighboring college campus, where religious services will take place on-site. The Planned Development Permit addresses specifically the inability to meet all parking needs on-site through the reasonable square-footage of the functionable space and the capability to supply all parking on the site. The City Council has required the retention of 10,000 square-feet of landscaping as a public amenity and the triangular shape of the parcel, even with the additional site area gained by the street vacations, constrains the ability to design sufficient parking on-site. The applicant has secured off-site parking at two locations to meet the 67 off-street parking space requirement for Friday evening Shabbat services and one location for the 115 off-street parking spaces required for special event occurrences. Only 40 off-street parking spaces are provided on-site. Additional off-site parking will

meet needs for higher attendance religious services and occasional special events. Deviations from the Street Design Manual by the City Engineer address bikeway/pedestrian path width requirements from the intersection of La Jolla Village Drive/Torrey Pines Road to La Jolla Scenic Drive/Cliffridge Avenue, the intersection design for Cliffridge Avenue/La Jolla Scenic Drive North, for the back of sidewalk utility width area along the La Jolla Scenic Drive North frontage, and for driveway/curb cut widths at 8976 Cliffridge Avenue and the Phase II garage entry.

With development of the site in compliance with the approved Exhibit 'A' drawings and fulfillment of the conditions of approval, including monitoring of the parking needs, the development of this project will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The development of the proposed Jewish student center, utilizing an existing single-family residence at 8976 Cliffridge Avenue and constructing a 12,000 square-foot facility over a 17,000 square-foot subterranean 40-space garage on a triangular parcel bounded by La Jolla Village drive, La Jolla Scenic Way and La Jolla Scenic Drive North, will not be detrimental to the public health, safety, and welfare.

The 42,400 square-foot site that includes the residence, area of City owned property known commonly as Site 653 and the area of proposed street vacations, is zoned SF (Single-family) within the boundaries of the La Jolla Shores Planned District and the La Jolla Community Plan. The use is specifically listed as a permitted use in the SF zone. The proposed development is requested to be a 2 phase project with the religious office use of the single-family residence terminating with occupancy of Phase II and the residence reverting back to residential use. The City Council required 10,000 square-foot landscaped area and a bike/pedestrian path required by City staff will separate the new religious student center from the adjacent single-family residence. The new structure lies across La Jolla Scenic Drive North from other residences. The design is a one-story elevation with mounded landscape area, a single entry point and minimal windows. The use inherently represents a larger structure for its different purpose but the overall design is relatively consistent to the neighborhood in low profile, materials, setbacks and landscape buffer. The subterranean garage is accessed from La Jolla Scenic Way on the east and the full impact of building mass is visible on the northeast corner of the site away from the residential neighborhood to the south.

A Mitigated Negative Declaration (MND) No. 6098, was completed on January 20, 2005, which determines that the development could have a significant environmental effect in the areas of Paleontological Resources and parking. A number of conditions for mitigation to a level below significance are incorporated in the environmental document and made conditions of approval for the project requested for development. Also considered during the preparation of the MND were Archaeological Resources, Biological Resources, Noise and Water Quality/Hydrology.

Additional consideration was given to compatibility requirements of the La Jolla Shores Planned District Ordinance. A survey of development within a 300-foot radius indicated that the Hillel facility, with its use of earth tone colored stucco, stone cladding, masonry blocks, earth tone colored concrete, wood siding, dual-glazed windows, metal trellis and metal roof, together with a one-story low profile elevation facing the residential neighborhood, would be compatible and in keeping with the intent of the Ordinance given that this use is different but in the same zone/neighborhood.

With conditions of approval and plans and exhibits on file for the development of the site, the development will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code.**

The proposed development of this two phased Jewish student center in an existing residence and adjoining vacant City owned tract of land generally located on the south side of La Jolla Village Drive and north side of La Jolla Scenic Drive North, complies with all regulations of the Land Development Code. The guiding land use regulations are contained in the La Jolla Shores Planned District Ordinance and the applicable SF zone regulations. The religious use of the site for religious services and as a Jewish student center, is a permitted use in the SF zone. The design of the new structure and associated site improvements is consistent with other development within the neighborhood, recognizing that the use is different from that of a single-family detached residence. The main project issue for this option constrained triangular shaped parcel, has been the ability to meet parking requirements on-site. While the facility will meet parking needs on-site for the Phase I religious office use of an existing single-family residence, the 40 parking spaces provided for the Hillel facility fall 27 spaces short of the 67 space requirement. The City staff has considered off-site parking through secured shared parking agreements and the applicant has obtained those for the required basic parking to the satisfaction of the City Engineer. Additional off-site parking for Friday evening Shabbat religious services and occasional special events has been secured through three shared parking agreements. This situation will require extra procedures for Hillel to perform to assure that the parking is utilized and works without negatively impacting the adjoining neighborhood. Monitoring by the City will be done and the parking situation can be re-evaluated for modifications to assure Hillel meets its parking needs.

---

With buildout compliance in accord with the approved Exhibit 'A' plans and compliance with all conditions of approval, the development will comply with all provisions of the Land Development Code.

**4. The proposed development, when considered as a whole, will be beneficial to the community.**

Although the development site for the proposed Hillel Jewish student center is within the SF zone of the La Jolla Shores Planned District and La Jolla Community Plan area, the 'community' includes the neighboring campus of the University of California at San Diego to the north within the boundaries of the University Community Plan which also

extends southerly on the east side of Gilman Drive. Communities within the confines of the City of San Diego have felt churches and places of a religious nature to be beneficial within the residential neighborhoods of the population they serve. Traditionally, churches have been permitted uses in the multi-family residential zones and by Conditional Use Permits in the single-family zones. When the La Jolla Shores Planned District was established, the SF zone covered all the prior existing City-wide residential zones and those previously developed church sites. The SF zone specifically permits churches, temples and buildings used for religious purposes. To meet the needs of students attending the neighboring college campus, other churches have established similar student centers or utilized previously church facilities in the area. Development within the La Jolla Shores Planned District requires a Site Development Permit to assure public review and compliance with land use development regulations. Increased landscaping, a bike/pedestrian pathway, non-contiguous sidewalks and parking access from La Jolla Scenic Way, all provide for a safer pedestrian scale project and lessens the direct impact of motor vehicles on the neighborhood.

The proposed development will serve Jewish students at the U.C. campus which represents a segment of the population of this 'community'. The scope of activities, hours of operation, no alcohol policy, requirement to keep the site cleaned up and monitoring of parking for the larger attendance programs assist in keeping this use a benefit to the community.

**5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The 'Hillel' project is a Jewish student religious center currently using a single-family residence at 8976 Cliffridge Avenue for religious offices but planned to terminate with the anticipated development of the Phase II development and occupancy of a 12,000 square-foot facility over a 17,000 square-foot subterranean garage for 40 vehicles. The total site area of 42,400 square-feet of area will decrease to 33,518 square-feet when the residence reverts back to single-family residential use. A further reduction in developable area to 23,518 square-feet results from the development of the 10,000 square-feet of landscaped area required by the City Council at the intersection of La Jolla Village Drive/Torrey Pines Road, as a neighborhood amenity. Design and use of the site is further constrained by its triangular shape and maintaining a design profile compatible with the adjacent single-family neighborhood to the south, as required by the La Jolla Shores Planned District Ordinance.

From the start of negotiations with the City Council to develop this site and preliminary reviews with City staff, parking was recognized as problematic from the standpoint of providing the required minimum parking on-site to meet the needs of the projects multi-use area. The City will consider off-site shared parking if it is secured through agreements, meets criteria and can be conditioned and monitored to assure parking needs are satisfied. Parking for the facility has been calculated as 67 on-site parking spaces required but the architect cannot provide more than 40 on-site spaces in the garage and

meet minimum floor area needs to all functions of the facility. This Planned Development Permit allows the City to evaluate off-site parking which the applicant has secured through two agreements with the University Lutheran Church and the Protea la Jolla Corporate Center for the additional 27 spaces required for Friday evening Shabbat services and through one additional agreement for the higher attendance occasional special events with Torrey Pines Christian Church. The City's Transportation staff has carefully analyzed the parking needs as well as the Planning Department staff, and it is felt that these agreements, if implemented and performed properly per the conditions of the accompanying permit, will serve the needs of the facility and not impose a burden on the neighborhood. A shuttle service will be implemented, signage posted, the users of the facility informed and communication between sites maintained. The City will monitor this situation and consider modifications to the conditions, uses and other aspects if warranted.

For the planned or anticipated highest use of the project, 115 off-street parking spaces are required. Only 40 spaces are accommodated on-site. For Friday evening Shabbat services, 67 off-street spaces are required based on the calculation of 200-seats for the worship area. To comply solely with the number of parking spaces available on-site, the worship area would have to be reduced to 120 seats. For the occasional special events, the 115 off-street parking spaces are only available if shared parking agreements are secured and operated by the parameters contained within the Site Development Permit.

The deviations are appropriate, assure parking needs met, allows for a better project given site constraints and landscaping required, and allows for the project to be considered beyond the strict application of development criteria for this unique site.

#### **Site Development Permit - Section 126.0504**

##### **1. The proposed development will not adversely affect the applicable land use plan.**

The proposed two-phased project site is located within the La Jolla Shores Planned District and the La Jolla Community Plan area. The combined site is 42,400 square-feet in area including public rights-of-way to be vacated. Phase I is an existing single-family residence on a 8,882 square-foot lot (post lot-line adjustment) currently in use as a religious office and related uses and Phase II is a 33,518 square-foot site required by the City Council of the City of San Diego to landscape a 10,000 square-foot area as a public benefit and a 23,518 square-foot development area proposed for a 12,000 square-foot Jewish student religious center with a 17,000 square-foot parking garage below.

The sites are zoned SF (Single-family) and designated for residential use. The SF zone permits single-family residences and Churches, Temples and buildings for religious purposes as permitted uses in conformity to the zone and Planned District Ordinance. The Phase I religious use of a single-family residence will terminate upon occupancy approval of the Phase II development and revert back to use as a residence. The project site is not within the Coastal Overlay Zone.

The City Council entered into exclusive negotiations with Hillel of San Diego for use and acquisition of the Phase II site more commonly known as 'Site 653'. The development permits submitted to show and review the proposed development also include easement reservations and street vacations and dedications. Staff has determined that the project can meet City design and zoning development criteria through deviations considered under the Planned Development Permit for off-site parking and from the Street Design Manual. The Site Development Permit is required to measure compliance with the La Jolla Shores Planned District Ordinance.

The proposed development, subject to conformity to the Exhibit 'A' drawings and materials and subject to all approval documents and conditions, will not adversely affect the adopted General Plan and Land Use, the La Jolla Shores Planned District and the La Jolla Community Plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed two Phase development, that retains use of an existing single-family residence for religious offices until occupancy of Phase II is completed and the facilities approved for occupancy, has been evaluated by City staff for compliance with adopted land use documents, zoning, development guidelines and principles. A Mitigated Negative Declaration No. 6098, has been prepared and evaluated impacts in the areas of Paleontological areas and Parking. The La Jolla Shores Planned District zoning and land use designation of SF, permits churches, temples and buildings used for religious purposes as well as the prevalent use for single-family residential development. The satisfaction of on-site parking to meet the needs of the scope of the development has long been a concern of the City staff and the community. The applicant has provided the City with information on the proposed sanctuary area seating, the schedule of events held at the Hillel center (as well as on-campus and off-site in various other locations) and for Shabbat and special events. The days, hours and frequencies have been evaluated and off-site shared parking agreements have been assured and evaluated by the City to sufficiently determine that parking will not be detrimental to the public health, safety, and welfare. An evaluation of the parking will be conducted to assure its implementation and to evaluate the need to amend conditions should problems be determined to exist. The design of the site and structure has been determined by City staff to conform to the neighborhood given that single-family detached residences exist to the south and a planned residential development (under a Conditional Use Permit) lies to the east and that this project is within the same zone but an entirely different use with inherent, and expected, design differences. The property to the north contains the campus of the University of California at San Diego and the property to the west is within the La Jolla Community Plan but not the Planned District.

Mitigated Negative Declaration (MND) No. 6098 has evaluated impacts of the development on this site and has determined that in the two areas of Paleontological Resources and Parking, that mitigation is required to avoid a significant impact. Conditions of approval have been included in the accompanying Site Development Permit and are referenced as conditions as they are described in the MND.

The overall proposed project will not be detrimental to the public health, safety, and welfare subject to development consistent with approved conceptual plans and subject to all conditions of approval.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project application consists of a two Phase land use proposal with Phase I being the continued use of a constructed single-family residence at 8976 Cliffridge Avenue in the SF zone of the La Jolla Shores Planned District as religious offices until such time as the Phase II Jewish student center on the triangular shaped parcel adjoining to the east is constructed and approved for occupancy. The existing single-family residence was constructed according to all codes and regulations in effect at the time and the only requirement for the change of use is an increase in off-site parking. Prior to its use as religious offices, the residence was required to maintain two off-street parking spaces but a previous owner had converted the garage to an office in violation of regulations and the religious office use has not complied to date with the parking requirements. With this approval, six parking spaces will be provided at the residence and when the religious office use terminates with occupancy of Phase II, two off-street parking spaces will be maintained for its reuse as a residence.

The Phase II development consists of a main entry level of 12,000 square-feet of floor area containing the multi-use area by which off-street parking needs are measured, lounge, library, restrooms, offices, computer room, break room, elevators and patio areas. Below is a 17,000 square-foot subterranean garage for 40 vehicles, storage, trash and driveway entry/exit to La Jolla Scenic Way. The remaining 27 required off-street parking spaces for Friday evening Shabbat services are provided off-site through shared parking agreements and an additional shared parking agreement for 115 parking spaces for the higher attendance occasional special events. Both of these events require shuttle services and monitoring of attendees use of the off-site parking. Parking will be evaluated as conditioned in the accompanying permit conditions.

The religious use of the development is a permitted use in the SF zone of the La Jolla Shores Planned District and the development of the site conforms to the regulations and land use criteria of the codes. City staff has evaluated the development and has formulated the conditions of approval to assure compliance with City's applicable regulations of the Land Development Codes. Through implementation of the buildout consistent with the Exhibit 'A' plans, compliance with conditions and the continued monitoring of the parking needs and implementation, this project will comply.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Planned Development Permit No. 158095 and Site Development Permit No. 158094 is granted to ROBERT MARSHALL, Owner Phase I and the CITY OF SAN DIEGO, Owner Phase II and HILLEL OF SAN DIEGO, Permitte Phases I and II, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: MICHAEL AGUERRE, City Attorney

By

\_\_\_\_\_  
NAME

Deputy City Attorney

ATTY/SEC. INITIALS

DATE

Or.Dept:Clerk

R-INSERT

Form=permitr.frm(61203wct)

Reviewed by Robert Korch



(R-9)

RESOLUTION NUMBER R-

ADOPTED ON

WHEREAS, Section 8330 et seq. of the California Streets and Highways Code provides a procedure for the summary vacation of public street easements by City Council resolution where the easement is no longer required; and

WHEREAS, the affected property owner has requested the vacation of a Portion of La Jolla Scenic Drive North, a Portion of La Jolla Scenic Drive and a Portion of Torrey Pines Road, to unencumber this property; and

WHEREAS, the City Council finds that:

(a) there is no present or prospective use for the public street system, for which the right-of-way was originally acquired, or for any other public use of a like nature that can be anticipated in that the right-of-way is not needed for public street, bikeway, or open space purposes; and

(b) the public will benefit from the vacation through improved utilization of land; and

(c) the vacation is not inconsistent with the General Plan or an approved Community Plan; and

(d) the public street system for which the right-of-way was originally acquired will not be detrimentally affected by this vacation; NOW, THEREFORE,

---

BE IT RESOLVED, by the Council of The City of San Diego, as follows:

1. That a Portion of La Jolla Scenic Drive North, a Portion of La Jolla Scenic Drive and a Portion of Torrey Pines, as described in the legal description marked as Exhibit "A," and as more particularly shown on Drawing No. XXXXX-B, labeled Exhibit "B", on file in the Office of the

City Clerk as Document No. RR\_\_\_\_\_ which is by this reference incorporated herein and made a part hereof, is ordered vacated.

2. That said street vacation is conditioned upon the dedication of 'General Utility Easements' over portions of the vacated public right-of-way, satisfactory to the City Engineer.

3. The City Engineer shall advise the City Clerk of the completion of the aforementioned condition, and the City Clerk shall then cause a certified copy of this Resolution with Drawing No. XXXXX-B (labeled Exhibit 'B') and Exhibit "A", attested by him under seal, to be recorded in the Office of the County Recorder.

APPROVED: MICHAEL AGUIRRE, City Attorney

By

Deputy City Attorney

Or.Dept: Dev. Serv.  
SA: 6098  
WO: 42-1438  
Dwg: XXXXX-B  
R-9  
Form=sumv.frm

EXHIBIT "A"  
STREET VACATION - EASEMENT RESERVATION

THAT PORTION OF LA JOLLA SCENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406, TOGETHER WITH THAT PORTION OF LA JOLLA SCENIC DRIVE AND TORREY PINES ROAD BOTH DEDICATED PER MAP 3528, FILED IN THE OFFICE OF THE COUNTY, OCTOBER 19, 1956 AS FILE NO. 1447757, ALL OF OFFICIAL RECORDS

VACATING THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE; THENCE SOUTHERLY ON THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE SOUTH  $62^{\circ}35'54''$  EAST, 24.94 FEET TO THE **TRUE POINT OF BEGINNING**; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE SOUTH  $62^{\circ}35'54''$  EAST, 164.60 FEET TO THE BEGINNING OF A TANGENT 651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND SOUTHERLY THROUGH A CENTRAL ANGLE OF  $09^{\circ}16'03''$ , AN ARC DISTANCE OF 105.30 FEET TO A POINT HEREIN DESCRIBED AS **POINT 'A'** ALSO BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC WAY; THENCE SOUTHERLY ON SAID RIGHT OF WAY LINE SOUTH  $21^{\circ}57'52''$  EAST, 17.17 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE ALONG THE ARC OF SAID CURVE SOUTHERLY AND WESTERLY THROUGH A CENTRAL ANGLE OF  $149^{\circ}01'24''$ , AN ARC DISTANCE OF 52.02 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 605.00 FEET; THENCE ALONG THE ARC OF SAID CURVE NORTHERLY AND WESTERLY THROUGH A CENTRAL ANGLE OF  $09^{\circ}39'26''$ , AN ARC DISTANCE OF 101.97 FEET; THENCE NORTH  $62^{\circ}35'54''$  WEST, 113.81 FEET TO THE BEGINNING OF A TANGENT 56.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND NORTHERLY THROUGH A CENTRAL ANGLE OF  $17^{\circ}35'18''$ , AN ARC DISTANCE OF 17.19 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 81.00 FEET, THENCE WESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $123^{\circ}54'02''$  AN ARC DISTANCE OF 175.16 FEET TO THE WESTERLY RIGHT OF WAY LINE OF CLIFFRIDGE AVENUE ALSO THE EASTERLY LOT LINE OF LOT 67 PER SAID MAP 3528; THENCE NORTHERLY ALONG SAID LOT LINE NORTH  $11^{\circ}05'22''$  EAST 24.35 FEET TO THE BEGINNING OF TANGENT 25.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE ALONG THE ARC

OF SAID CURVE NORTHERLY AND EASTERLY THROUGH A CENTRAL ANGLE OF  $73^{\circ}41'16''$ , AN ARC DISTANCE OF 32.15 FEET; THENCE NORTH  $62^{\circ}35'54''$  WEST, 58.80 FEET TO THE TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND SOUTHERLY THROUGH A CENTRAL ANGLE OF  $106^{\circ}17'34''$ , AN ARC DISTANCE OF 37.10 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF TORREY PINES ROAD; THENCE NORTH  $11^{\circ}06'32''$  EAST, 20.60 FEET TO A POINT HEREIN DESCRIBED AS **POINT 'B'**; THENCE NORTH  $11^{\circ}06'32''$  EAST, 13.86 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL OF  $93^{\circ}19'50''$ , AN ARC DISTANCE OF 32.58 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 636.64 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $09^{\circ}12'17''$ , AN ARC DISTANCE OF 102.28 FEET TO THE BEGINNING OF A TANGENT 42.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE ALONG THE ARC OF SAID CURVE EASTERLY THROUGH A CENTRAL ANGLE OF  $04^{\circ}42'02''$ , AN ARC DISTANCE OF 3.45 FEET; THENCE NORTH  $89^{\circ}27'57''$  WEST, 48.73 FEET TO THE TO THE BEGINNING OF A TANGENT 634.64 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE ALONG THE ARC OF SAID CURVE EASTERLY THROUGH A CENTRAL ANGLE OF  $02^{\circ}53'02''$ , AN ARC DISTANCE OF 31.94 FEET TO THE **TRUE POINT OF BEGINNING**.

AREA: 21,278 SQ.FT. 0.488 ACRES

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY PURPOSES, DESCRIBED AS FOLLOWS:

BEGINNING AT ABOVE DESCRIBED POINT "A"; THENCE SOUTH  $21^{\circ}57'52''$  EAST, 13.86 FEET; THENCE SOUTH  $36^{\circ}59'17''$  WEST, 37.39 FEET TO THE BEGINNING OF A NON TANGENT 20.00 FOOT RADIUS CURVE. CONCAVE NORTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH  $15^{\circ}01'26''$  EAST; THENCE WESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $22^{\circ}02'06''$ , AN ARC DISTANCE OF 7.69 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 605.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $00^{\circ}42'37''$ , AN ARC DISTANCE OF 7.50 FEET; THENCE NORTH  $37^{\circ}12'32''$  EAST, 46.00 FEET TO A POINT ON THE ARC OF A NON TANGENT 651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, A RADIAL TO SAID POINT BEARS NORTH  $36^{\circ}24'34''$  EAST; THENCE EASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGEL OF  $00^{\circ}15'35''$ , AN ARC DISTANCE OF 2.95 FEET TO THE POINT OF BEGINNING.

AREA: 640 SQ.FT. 0.014 ACRES

Prepared by: DK Nasland PLS 5562  
My License renews 9-30-2005

101-199.2  
1/18/2005, 8:48 AM

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY PURPOSES, DESCRIBED AS FOLLOWS:

BEGINNING AT ABOVE DESCRIBED POINT "B"; THENCE NORTH  $11^{\circ}06'32''$  EAST, 13.86 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL OF  $93^{\circ}19'50''$ , AN ARC DISTANCE OF 32.58 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 636.64 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $01^{\circ}41'48''$ , AN ARC DISTANCE OF 18.85; THENCE SOUTH  $57^{\circ}43'15''$  EAST, 97.85 FEET TO THE BEGINNING OF A NON TANGENT 81.00 FOOT RADIUS CURVE. CONCAVE SOUTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH  $26^{\circ}49'51''$  WEST; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $11^{\circ}43'48''$ , AN ARC DISTANCE OF 16.58 FEET; THENCE NORTH  $57^{\circ}43'15''$  WEST, 111.85 FEET; THENCE SOUTH  $11^{\circ}06'32''$  WEST, 26.61 FEET; THENCE NORTH  $78^{\circ}53'28''$  WEST, 15.00 FEET TO THE POINT OF BEGINNING.

AREA: 2,082 SQ.FT. 0.047 ACRES

EXHIBIT "A"  
STREET DEDICATION

THAT PORTION OF PUEBLO LOT 1299 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 ALSO KNOWN AS MISCELLANEOUS MAP NO. 36.

LYING NORTHEASTERLY OF LA JOLLA SENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 OF OFFICIAL RECORDS, SOUTHERLY OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) AND WESTERLY OF LA JOLLA SENIC WAY DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS

EXCEPTING THAT PORTION LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE NOTHERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC DRIVE NORTH , SAID POINT BEING DISTANT 24.94 FEET FROM THE WESTERLY CORNER OF SAID LAND, ALSO BEING THE BEGINNING OF AN ARC PARALLEL WITH AND 12.00 FEET SOUTHERLY, MEASURE AT RIGHT ANGLES, TO THE SOUTHERLY RIGHT OF WAY OF LA JOLLA VILLAGE DRIVE; THENCE ALONG SAID ARC 155.09 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 20.00 FEET, A RADIAL TO SAID BEGINNING OF REVERSE CURVE BEARS NORTH 16°21'06" WEST; THENCE EASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 84°23'14" AN ARC DISTANCE OF 29.46 FEET TO THE WESTERLY RIGHT OF WAY OF LA JOLLA SCENIC WAY AND THE TERMINUS OF SAID LINE.

EXHIBIT "A"  
GENERAL UTILITY EASEMENT DEDICATION

THAT PORTION OF PUEBLO LOT 1299 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 ALSO KNOWN AS MISCELLANEOUS MAP NO. 36.

LYING NORTHEASTERLY OF LA JOLLA SENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 OF OFFICIAL RECORDS, SOUTHERLY OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) AND WESTERLY OF LA JOLLA SENIC WAY DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS

EXCEPTING THAT PORTION LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC DRIVE WAY, SAID POINT BEING DISTANT 3.44 FEET FROM THE SOUTHERLY CORNER OF SAID LAND, THENCE SOUTH 37°12'32" WEST 1.80 FEET TO THE NORTHERLY RIGHT OF WAY OF LA JOLLA SCENIC DRIVE AND THE TERMINUS OF SAID LINE.



## UCSD HILLEL CALENDAR FOR FALL QUARTER 04

The following contains additional information on our Hillel calendar for fall quarter at UCSD. We generally establish our calendar for the academic quarter in advance of the start of the quarter. However, from time to time, we may reschedule, cancel or add events and programs depending on circumstances. This information is being provided to assist City Staff in understanding what we do programmatically and how the Hillel Center may be used for student programs. This is intended to supplement the information already provided on Hours of Operation and Uses.

The premise underlying our programmatic goals is to bring the program to the students in order to serve them "where they are." This also helps to support our outreach, community service and student engagement efforts. However, a Hillel Center will certainly provide an appropriate venue and enhancement for many future programs although certain programs, by their nature, will continue to be held either on the UCSD Campus or off campus and away from the future Hillel Center. The following schedule represents our projected attendance of each of our calendared programs for the quarter and assuming our Hillel Center had been completed as of this calendar quarter, whether we could utilize the Center for that particular program. A more thorough description of the program is contained in the Calendar which is provided herewith. For reference purposes, "HC" means Hillel Center, "Off Campus" means that the program will NOT be held at the Hillel Center or On Campus. "On Campus" means that the program will be held on the UCSD Campus and NOT at the Hillel Center.

### Fall Quarter 04 Undergraduate Programs Calendar

Date	Program	Expected Attendance	Location
9/28	Roundtables at Round Table	5	HC
9/29	Raising the Roof	20	HC
9/29	Crafts and Snacks in the Sukkah	5	HC
10/2	Shabbos Lunch in the Sukkah	20	HC
10/2	Havdalah Under the Stars	20	Off Campus
10/4	Shake your Lulav	20	HC
10/5	Mitzvah Lunch and Bingo Bash	25	HC
10/5	Birthright Informational	20	HC
10/5	Supper in the Sukkah	10	Off Campus
10/6	Pizza in the Hut; FYSH and Sophomores	50	HC
10/6	Alternative Spring Break	25	HC

	Informational		
10/6	Just Show Up	50	On Campus
10/9	Shabbat Sha-Bash	100	Off Campus
10/12	Jewish Commitment to Helping the Homeless	25	HC
10/13	Israel Rally	100	On Campus
10/14	Career Options in Marketing	10	On Campus
10/17	Area Wide Event: Making Strides against Breast Cancer	150	Off Campus
10/17	Rosh Chodesh (Women Only)	15	HC
10/18	Tikkun Olam Tabling	NA	On Campus
10/13-11/17 (Wednesdays)	Read Hebrew America	10	HC
10/20	Is There Such a Thing as a Positive Stereotype	20	HC
10/21	Pluralism Project Informational	30	On Campus
10/21	A Slice of Sephardic Life	30	On Campus
10/23	Shabbat Lunch and More	10	On Campus
10/26	Roundtable at Roundtable	5	HC
10/26	Prescription: Jewish Medical Ethics	15	On Campus
10/27	Challah Baking (Women only)	15	HC
11/2	From the Business Wife to the High Culture Mother: Stories of Jewish Women in Germany	25	HC
11/5-11/6	Koach Shabbaton	25	Off Campus
11/7	Lend a Helping Hand: Habitat for Humanity	15	Off Campus
11/7	Roundtables at Roundtable	5	HC
11/10	Exploring the Non-Profit World	15	Off Campus
11/11	Outback Climbing Adventures	20	On Campus
11/13	S'mores and More at the Shores	50	Off Campus
11/13-11/18	The 11 <sup>th</sup> Annual Jewish Book-Fair		Off Campus
11/14	Rosh Chodesh	15	HC
11/18	Sephardic Sundaes	30	On Campus

11/21	Mitzvah with the Western Service Workers Association	15	Off Campus
12/2	The Great Hanukah Spin Off Campus	50	HC
12/7	Hip Hanukah Happenings	50	HC

#### Weekly Events

Mondays	Rabbi Lisa at Café Roma	10	On Campus
Tuesdays	Jewish Lecture Series	10	HC
Wednesdays	Lishma	10	HC
Fridays	Meditation with Rabbi Lisa	10	On Campus
Fridays	Shabbat Services and Dinner	Average 150	HC

#### High Holidays

High Holiday program information is provided as part of our parking study and parking management plan under "Occasional Events." At this time we do not contemplate utilizing the future Hillel Center for our High Holiday services although we may chose to do so in the future. In such event, we would abide by the parking management plan. In the past we have held Rosh Hashana Services combined with SDSU students at Temple Emanuel with a peak attendance for the holiday of between 200 and 250 students. UCSD was not in session for Rosh Hashana this year. UCSD is on a quarter system and therefor classes start in late September. Yom Kippur services were held at the Price Center at UCSD and peak attendance was between 350 and 400 students. This is also a combined service with SDSU students. In the future, based upon plans for expansion of the Hillel Center at SDSU, we may implement separate services for UCSD and SDSU for the High Holiday services.

#### Graduate Programs

10/4	Brew & Jews	20	On Campus
10/9	Moonlight Kayaking and Havdallah	30	Off Campus
10/17	Area Wide Event: Hillel of San Diego Makes Strides Against Breast	Combined with Undergrad Program Attendance included in Projection	Off Campus

	Cancer		
10/22	Graduate Student Shabbat	Combined with Undergrad Program Attendance included in Projection	HC
10/26	Prescription: Jewish Medical Ethics	20	HC
10/28	Roll It Kosher	20	On Campus
11/5	Graduate Student Shabbat	Combined with Undergrad Program Attendance included in Projection	HC
11/13	Night on the Town	20	Off Campus
11/22	Brews & Jews	20	On Campus
12/3	Graduate Student Shabbat	Combined with Undergrad Program Attendance included in Projection	HC
Ongoing Programs	Monday Midday Munchies	20	On Campus

## COMMUNITY PLANNING GROUP RECOMMENDATIONS

The La Jolla Shores Planned District Advisory Board considered the Hillel application on January 18, 2005, and voted on three separate motions with the Chair not voting and one member recusing. Each motion passed on a vote of 5-0 and each motion was to DENY the requested application/actions to develop the 'Hillel' project.

Mr. Kevin Guy, from the Planning department of the City of San Diego, acts as the secretary for the Board in putting together the agendas, meeting rooms/locations and finalizing the recommendations of the Advisory Board. Mr. Guy left January 28, 2005, for a new position in the Bay area and only submitted the attached e-mail describing the actions/motions of the Advisory Board.

The La Jolla Community Planning Association is scheduled to meet and consider this item at their meeting of February 3, 2005. This report will be printed and distributed by that time. City staff will verbally present the motion, vote and any recommendations made by the Association at the Planning Commission hearing on February 10, 2005.

**From:** Robert Korch  
**To:** Guy, Kevin  
**Subject:** Re: Hillel----LJSPAAB

after reading your recollection, that sounds right on to e. Thanks a lot. Bob

>>> Kevin Guy 01/26/05 11:12AM >>>

Bob - When making their motions, the Board members were still in 'discussion mode', so I had to paraphrase a bit. I believe I captured the intent of each of their motions. The vote for each of the motions was 5-0:

1st Motion: To deny project, with the following reasons stated:

- Insufficient parking
- Does not conform with "distinctive residential character", as defined by purpose and intent of PDO
- Loss of 12 public (on-street) parking spaces
- Loss of bike lane

2nd Motion: Findings cannot be made for a street vacation. Site should be reserved for future traffic mitigation.

3rd Motion: Board condemns the illegal use of the residence, as defined by Phase I portion of the project.

I hope this is the information you were looking for. Let me know if you need anything further.

-Kevin

>>> Robert Korch 1/26/2005 9:29:22 AM >>>

Kevin: Do you have the three motions adopted by the Advisory Board on Hillel. I'd like to attach to the report to PC. Thanks. Bob

Your time is ticking down.....



City of San Diego  
Development Services  
Division Name  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# PHASE I. Ownership Disclosure Statement

Project Title 8976 Cliffridge Avenue	Project No. For City Use Only 20140
Project Address: 8976 Cliffridge Avenue, La Jolla, CA	

## Part I - To be completed when property is held by Individual(s)

Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☒ No

Name of Individual (type or print):  
Robert Marshall, Trustee  
☒ Owner ☐ Tenant/Lessee  
3360 N. Torrey Pines Court  
Street Address:  
Suite 210  
La Jolla, CA 92037  
City/State/Zip:  
858-657-9400 858-657-9031  
Phone No: Fax No:

Signature : Date:

Name of Individual (type or print):  
Hillel of San Diego  
☐ Owner ☒ Tenant/Lessee  
8976 Cliffridge Avenue  
Street Address:  
La Jolla, CA 92037  
City/State/Zip:  
858-550-2210 858-550-1794  
Phone No: Fax No:

Signature : Date:

Name of Individual (type or print):  
☐ Owner ☐ Tenant/Lessee  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
☐ Owner ☐ Tenant/Lessee  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
☐ Owner ☐ Tenant/Lessee  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
☐ Owner ☐ Tenant/Lessee  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

This information is available in alternative formats for persons with disabilities.  
To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (TDD)  
Be sure to see us on the World Wide Web at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services)

DS-318 (5-03)

RECORDING REQUESTED BY  
CHICAGO TITLE COMPANY  
AND WHEN RECORDED MAIL TO

Robert A. Marshall  
8976 Cliffridge Avenue  
La Jolla, CA 92037

DOC # 2002-0504546

JUN 14, 2002 8:00 AM

001534

OFFICIAL RECORDS  
SAN DIEGO COUNTY RECORDER'S OFFICE  
GREGORY J. SMITH, COUNTY RECORDER  
FEES: 766.00  
DC: 00



Escrow No. 28011785 - N42  
Order No. 28011785 - PCs

2002-0304646

SPACE ABOVE THIS LINE FOR RECORDER'S USE

344-13101-00

## GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX IS \$759.00

☐ unincorporated area ☐ City of

☒ computed on the full value of the interest or property conveyed, or is

☐ computed on the full value less the value of liens or encumbrances remaining at time of sale, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

SHEILA CHANDRASEKHAR, TRUSTEE OF THE SRIPATI CHANDRASEKHAR AND ANN D. CHANDRASEKHAR  
FAMILY TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 30, 1992.

hereby GRANT(S) to

Robert Marshall, Trustee UDT Dated June 1, 2002

the following described real property in the  
County of SAN DIEGO

, State of California:

LOT 67 OF LA JOLLA HIGHLANDS UNIT NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN  
DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3528, FILED IN THE OFFICE OF  
THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 19, 1956.

Dated May 22, 2002

STATE OF CA  
COUNTY OF Alameda

On May 30, 2002Ann S. Kraynak

) ss.

before me,

Sheila Chandrasekhar, Trustee

a Notary Public in and for said County and State, personally appeared  
Sheila Chandrasekhar

personally known to me (or proved to me on the basis of satisfactory  
evidence) to be the person(s) whose name(s) is/are subscribed to the  
within instrument and acknowledged to me that he/she/they executed the  
same in his/her/their authorized capacity(ies), and that by his/her/their  
signature(s) on the instrument the person(s), or the entity upon behalf of  
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Ann S. Kraynak  
Signature of Notary

2/19/04  
Date My Commission Expires



FOR NOTARY SEAL OR STAMP

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE: IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Name

Street Address

City, State &amp; Zip

031 - 05/03/0704



THE CITY OF SAN DIEGO

City of San Diego  
Development Services Department  
1222 First Ave. - MS-302  
San Diego, CA 92101-4154  
(619) 446-5000

# PHASE II. Ownership Disclosure Statement

<b>Project Title</b> Hillel of San Diego	<b>Project No. For City Use Only</b> 6098
<b>Project Address:</b> Intersection of La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive	
<b>Legal Status (please check):</b> <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General What State? _____ Corporate Identification No. _____ <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Individual	
<p>Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals, all corporate officers, and all partners in a partnership who own the property). Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property.</p>	
<b>Name (type or print):</b> Hillel of San Diego	<b>Name (type or print):</b>
<b>Title/Property Interest (type or print):</b>	<b>Title/Property Interest (type or print):</b>
<b>Street Address:</b> 5742 MONTEZUMA ROAD	<b>Street Address:</b>
<b>City/State/Zip:</b> SAN DIEGO, CA 92115	<b>City/State/Zip:</b>
<b>Phone No:</b> 619-583-6080	<b>Phone No:</b>
<b>Fax No:</b>	<b>Fax No:</b>
<b>Signature:</b> Hillel of San Diego By: Nuel X. [Signature]	<b>Signature:</b>
<b>Date:</b> 1/27/03	<b>Date:</b>
<b>Name (type or print):</b>	<b>Name (type or print):</b>
<b>Title/Property Interest (type or print):</b>	<b>Title/Property Interest (type or print):</b>
<b>Street Address:</b>	<b>Street Address:</b>
<b>City/State/Zip:</b>	<b>City/State/Zip:</b>
<b>Phone No:</b>	<b>Phone No:</b>
<b>Fax No:</b>	<b>Fax No:</b>
<b>Signature:</b>	<b>Signature:</b>
<b>Date:</b>	<b>Date:</b>
<b>Name (type or print):</b>	<b>Name (type or print):</b>
<b>Title/Property Interest (type or print):</b>	<b>Title/Property Interest (type or print):</b>
<b>Street Address:</b>	<b>Street Address:</b>
<b>City/State/Zip:</b>	<b>City/State/Zip:</b>
<b>Phone No:</b>	<b>Phone No:</b>
<b>Fax No:</b>	<b>Fax No:</b>
<b>Signature:</b>	<b>Signature:</b>
<b>Date:</b>	<b>Date:</b>

This information is available in alternative formats for persons with disabilities.  
 To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (TDD)

DS-318(4-01)



## LETTER OF AUTHORIZATION

Date: January 27, 2003

To: Development Services Department

Project Name / Location: Site 653 / Between La Jolla Village Drive & La Jolla Scenic Drive

Property Address / Description: No street address / Pueblo Lot 1299 West ½ Portion  
APN: 344-120-26

The City of San Diego's Real Estate Assets Department, as authorized representative of the City as Land Owner, grants authorization to Hillel, its agents or representatives, to submit and process on the City's behalf all permit applications necessary for the proposed construction and operation of a religious student center facility on the above referenced City-owned property.

The act of authorization of Hillel's application for development review does not obligate the City in any way to enter into negotiations for the disposition of the subject property nor approve, in whole or in part, land use entitlements or approvals, permits, waivers or reduction of fees, development or financing of the site or any other matters to be acted on by the City, as applicable; that all such matters shall be considered and processed by the City in accordance with all otherwise applicable City requirements and procedures and that the City reserves all rights to approve, disapprove, or approve with conditions all such matters in its sole discretion.

The City reserves the right to terminate development review processing at any time at its sole discretion. It is further specifically acknowledged, that the City shall not be responsible or held liable for any costs incurred by the undersigned in relation to the undersigned's development review processing with the City, regardless of the type or amount of costs incurred.

  
Tim C. Rothans, Deputy Director

1-27-03  
Date

The above is acknowledged and accepted for Hillel by:

Hillel of San Diego

By: Neal X. [Signature], VP

Title:

1-27-03  
Date

Hillel of San Diego  
 PLANNED AND SITE DEVELOPMENT PERMITS, EASEMENT  
 ABANDONMENT & STREET VACATIONS AND DEDICATION  
 Project No. 6098  
 Project Chronology

Date	Action	Description	City Review Time	Applicant Response
05/02/03	Applicant submits initial plans/Deemed Complete	Project plans distributed for City staff review.	1 day	
06/18/03	First Assessment Letter	First Assessment Letter identifying required approvals and outstanding issues provided to applicant.	47 days	
03/04/04	Applicant submits second full set of plans.	Applicant's revised set of plans submitted in response to first assessment letter from City staff.		251 days
05/25/04	Second Assessment Letter	Second Assessment Letter identifying all remaining/outstanding issues.	82 days	
07/07/04	Applicant submits third full set of plans.	Applicant's revised set of plans submitted in response to second assessment letter from City staff.		43 days
10/13/04	Third Assessment Letter	Third Assessment Letter identifying all remaining/outstanding issues provided to applicant.	98 days	
01/12/05	Applicant submits fourth set of plans.	Applicant's revised plans addressing outstanding issues.		83 days
01/2X/05	Environmental Mitigated Negative t Declaration Final	Project can be heard after February 4, 2005	0 days	
01/26/04	Issues resolved	Staff determines project issues resolved, okay Process 5 Planning Commission hearing to proceed.	14 days	
02/10/05	Planning Commission Recommendation Hearing	Public Hearing	8 days	7 days
TOTAL STAFF TIME		Averaged at 30 days per month	8 Months 10 Days	
TOTAL APPLICANT TIME		Averaged at 30 days per month		1 Year 24 Days
TOTAL PROJECT RUNNING TIME			1 Year, 9 Months, 4 Days	



435



333  
9/27

THE CITY OF SAN DIEGO  
**MANAGER'S REPORT**

Attachment 10a  
City Managers Report No. 05-193  
Page 1 of 80

DATE ISSUED: September 21, 2005

REPORT NO. 05-193

ATTENTION: Honorable Mayor and City Council  
Docket of September 27, 2005

SUBJECT: Hillel of San Diego, Project No. 6098, Council District One, Process 5

OWNER/  
APPLICANT: Robert Marshall, Owner 8976 Cliffridge Avenue site; City of San Diego,  
Owner Site 653; and Hillel of San Diego, Permittee for both sites.

SUMMARY

Issues - Should the City Council of the City of San Diego approve, modify or deny a two phased development utilizing an existing residence for religious offices and the construction of a Jewish religious student center requiring a Planned Development Permit No. 158095, Site Development Permit No. 158094, Street Vacations No. 158097, Right-of-Way Dedication No. 158098, and lot-Line Adjustment Parcel Map No. 188004 for the sites within and adjacent to the triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North in the SF zone of the La Jolla Shores Planned District and La Jolla Community Plan?

Staff's Recommendation:

1. **CERTIFY** Mitigated Negative Declaration No. 6098, and **ADOPT** Mitigation Monitoring and Reporting Program No. 6098; and
2. **APPROVE** Planned Development Permit No. 158095; and
3. **APPROVE** Site Development Permit No. 158094; and
4. **APPROVE** Public Right-of-Way Vacation No. 158097; and
5. **APPROVE** Public Right-of-Way Dedication No. 158098.

6. **APPROVE** Lot-line Adjustment Parcel Map No. 188004

Planning Commission Recommendation – On February 24, 2005, the Planning Commission voted 5-0 to recommend that the City Council deny the requested actions required to develop the subject site as proposed. Planning Commissioner Steele recused and did not participate in this consideration and Commissioner Griswold was not present.

The Planning Commissioners expressed interest in and focused upon the access, parking on- and off-site, the proposed Traffic Demand Management Plan and the occasional special events planned by Hillel for the facility.

The motion to recommend denial stated an incompatibility of the use with the single-family neighborhood where the Hillel site is located and that the Traffic Demand Management Plan, although believed by a majority of the Commissioners to be well prepared and responsive, did not resolve access and parking impacts for the normal operation of the project. The necessity for shared parking agreements off-site to serve the project was viewed as a problem. The Commissioners in discussion of the motion, put forward the following comments:

- Greater parking on or near the site (preferably at UCSD) is needed and the 40-spaces on-site were not sufficient
- The proposed deviations to parking regulations are significant. Defining and enforcing limitations on 'special events' is problematic. The size of the project should be tied to the amount of parking that can be provided on-site
- There is a lack of community support and use of public lands should take community direction into consideration. Another use of the site may be preferable
- Shared parking agreements should be secured prior to approval so that all parties can evaluate impacts related to the shared parking facility and shuttling of patrons between the project site and shared parking facility. Monitoring of the on- and off-site parking should be continuous and not limited to a 3-year period

Community Planning Group Recommendation - The project site is located within the La Jolla Shores Planned District within the boundaries of the La Jolla Community Planning area. The decision-maker is required to consider the recommendation of the La Jolla Shores Planned District Advisory Board (LJSPDAB) and City staff strongly recommends that all applicants seek the recommendation of the La Jolla Community Planning Association (CPG).

The LJSPDAB, on their agenda of Tuesday, January 18, 2005, passed three motions in recommending denial of the proposed project. Motion No. 1, stated that the Advisory Board believed that the project was not providing sufficient parking, did not comply with the 'distinctive residential character' as defined by the purpose and intent of the PDO, and

stated concern over the loss of 12 on-street parking spaces and loss of a bike lane. Motion No. 2, stated that the 'Findings' for the street vacation could not be made and that the right-of-way should be reserved for future traffic mitigation. Motion No. 3, stated that the use of the residence in Phase I is illegal.

The CPG considered this project on Thursday, February 3, 2005, and voted 10-2-0 to recommend denial of the proposed project on the basis of issues with parking, illegal use, loss of on-street parking, bike way issues and other concerns not communicated.

Other Recommendations - None

Environmental Review - A Mitigated Negative Declaration, No. 6098, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared and will be implemented which will reduce the potential impacts to Paleontological Resources and Parking to a level below significant.

Fiscal Impact Statement - All costs associated with the processing of this project application are paid from a deposit account maintained by the applicant.

Code Enforcement Impact - The owner/applicant converted the use of the existing single-family residence located at 8976 Cliffridge Avenue from residential to religious use without first obtaining a Site Development Permit (SDP). A Code Compliance Case was opened by the City of San Diego Neighborhood Code Compliance Department and the owner/applicant made application with the City for the SDP. This application has been combined with the applications for Site 653 and is included within this Report to the Planning Commission as the Phase I of the project. If approved by the City Council, the Code Enforcement action would terminate. If the project is not approved, the applicant could resubmit a Site Development Permit as required by the La Jolla Shores Planned District Ordinance if they choose to continue use of the residence for religious purposes.

Housing Impact Statement - The religious use of the single-family residence at 8976 Cliffridge Avenue has removed one residential dwelling unit from available housing but this situation would be temporary if the project applications are approved by the City Council. The use of the residence at 8976 Cliffridge Avenue would continue as a Phase I use and terminate when Site 653 is available for occupancy under the Phase II development. The owners of the residence would convert the dwelling back to residential use and the overall project would not have any permanent Housing Impacts.

Water Quality Impact Statement - During construction, this project will comply with Best Management Practices (BMP's) through preparation of a Storm Water Pollution Prevention Plan (SWPPP) in conjunction with the grading plans. The SWPPP will identify all BMPs to be implemented during the construction phase to reduce/eliminate discharges of pollutants into the public drainage system. The post development Best Management Practices (BMPs) incorporated into the project consist of site design, source

control, and treatment. The project's post development runoff will be collected by a private drainage system and conveyed to the public drainage system. The post-construction BMP's detailed in the Water Quality Technical Report have been evaluated and accepted by the City Engineer. The property owner(s) will be responsible for the long term maintenance of all private drainage facilities.

## BACKGROUND

The 'Hillel' project site consists of a total area of 42,400 square-feet of area which includes a 8,882 square-foot single-family residential lot used for religious offices at 8976 Cliffridge Avenue and a 33,518 square-foot City owned site commonly referred to as 'Site 653'. The project site is located in a triangular shaped area bounded on the north by La Jolla Village Drive, on the east by La Jolla Scenic Way, and on the south by La Jolla Scenic Drive North. The site includes areas proposed for street vacation, easement abandonment, and street right-of-way dedication. A City Council requirement that 10,000 square-feet of area at the intersection of La Jolla Scenic Drive North/Torrey Pines Road be landscaped as a neighborhood amenity, leaves an area of 23,518 square-feet for the proposed development. The property is zoned SF (Single-family residential) within the La Jolla Shores Planned District Ordinance and is within the boundaries of the La Jolla Community Plan. The campus of the University of California at San Diego (UCSD) lies to the north, vacant land and youth athletic fields are to the west, a detached single-family residential neighborhood is located to the south, and a Planned Residential Development to the east. Site 653 is currently vacant and is relatively level with the street grade of the residences on the south side of La Jolla Scenic Drive North. La Jolla Village Drive descends to the east from the intersection with Torrey Pines Road and La Jolla Scenic Way descends to the north from La Jolla Scenic Drive North to its intersection with La Jolla Village Drive making the low point of the project site the southwest corner of this intersection.

Site 653 is City owned property which, until 1995, was designated as residential land use in the La Jolla Community Plan and La Jolla Shores Precise Plan. In 1995, the land use designation for Site 653 was changed to open space and remained that way until February, 2004, when the La Jolla Community Plan was amended and the site was redesignated to residential use. The City Council approved the entering into an exclusive agreement (letter issued by the Real Estate Assets Department on January 27, 2003) with Hillel for development of the site and possible acquisition.

Separate from decisions in regard to Site 653, Hillel received permission from the owner of the single-family residence at 8976 Cliffridge Avenue to use it for religious offices. Subsequent complaints to the City's Neighborhood Code Enforcement Office led to the City issuing a violation notice to the owner and Hillel for changing the use without City approvals. The City determined that the religious use is permitted in the zone but the change of from single-family to religious use requires a Site Development Permit as required by the La Jolla Shores Planned District Ordinance (LJSPDO). Environmental staff, for CEQA compliances, determined that the residence and Site 653 proposal should be considered as a single project. Staff directed the applicant to combine the projects into one consolidated project application.

## DISCUSSION

**Project Description:**

The 'Hillel' project is the proposed development of a Jewish religious student center off-campus from UCSD which lies directly to the north across La Jolla Village Drive. The project proposal consists of two Phases with Phase I being the continued use of the single-family residence at 8976 Cliffridge Avenue for religious offices and Phase II being the construction of the student center.

Phase I would permit the applicant to continue to use the single-family residence and detached garage for religious office use with six off-street parking spaces required to be provided. This use would continue until such time as the Hillel student center in Phase II is constructed and approved for occupancy, at which time Phase I would terminate the use of the residence and the owner of the property would restore the residential use, maintaining a minimum of two off-street parking spaces.

Phase II is the development of Site 653 with the student center. The square-footage of the vacated rights-of-way comprise 21,278 square-feet of the total 33,518 square-foot site. The area to be dedicated along the La Jolla Village Drive frontage comprises 2,183 square-feet. The City Council, in agreeing to permit Hillel to proceed with the presentation of development plans for the site and acquisition, required that Hillel landscape a 10,000 square-foot area near the intersection of La Jolla Village Drive and Torrey Pines Road on the west portion of the site as a neighborhood amenity. The proposed student center would include a 17,000 square-foot subterranean garage for 40 vehicles, storage, trash enclosure and elevators to the upper level so that users can directly access the building. The upper floor would have a floor area of 12,000 square-feet and contain a multi-use area, a lounge, restrooms, breakroom, computer room and offices. The upper floor would be a one-story elevation structure at street grade on La Jolla Scenic Drive North consistent with the residences on the south side of the street. The main pedestrian entry faces La Jolla Village Drive and the UCSD campus to the north while a secondary pedestrian access faces La Jolla Scenic Drive North. Parking access is on La Jolla Scenic Way with a stairway and elevator providing direct access to the student facility. The La Jolla Scenic Drive North elevation includes minimal window openings facing the street and mounded landscaping softens the building mass facing the residences opposite the site to allow for a measure of privacy and reduced impact to the residents. An outdoor patio area is on the northeast corner of the site at the high point of the building mass overlooking the intersection of La Jolla Village Drive and La Jolla Scenic Way.

*This is no longer the case* { City staff has evaluated the on-site parking requirements and needs for this religious facility assuming the multi-purpose area as "sanctuary" for parking calculations. Seating for 200 persons requires a total of 67 parking spaces on-site (one space/three seats). Physical constraints limit the underground off-street parking to 40 spaces. The additional 27 required spaces would be required through a shared parking agreement.

Staff also required the applicant to list their schedule of activities, hours of operation and frequency in order to determine any additional event driven parking demand. It was determined

that religious services (Shabbat) and limited occasional special events, not to exceed 12 per year, would increase attendance on the premises and that additional parking over the 67 spaces would be required for these events. Hillel had secured three separate agreements for shared parking off-site with the basic 27 spaces required located at a Lutheran Church in the area that also provides assistance for Lutheran students on the U.C. campus, and two additional to cover the Shabbat services and limited occasional special events. **Following the Planning Commission hearing, Hillel has secured an off-site parking agreement with UCSD to cover the required 67 parking spaces required and 75 off-street parking spaces necessary for the maximum of the 12 special events planned yearly.** Conditions in the accompanying permit require monitoring of the parking for this project to assure no significant negative parking impacts on the neighborhood. When Shabbat and the special events take place, signage will be provided on- and off-site, a shuttle service provided with verbal communication to assure adequate and timely service is provided, and frequent users will be educated on the parking services provided in order to alleviate the neighborhood of parking problems. **The City will review the adequacy of the parking supply and success of the Transportation Demand and Parking Management Plan and to bring it back to the Hearing Officer for amendment if needed.**

A pedestrian/bicycle path will meander through the vacated right-of-way and landscaped area from the intersection of La Jolla Village Drive and Torrey Pines Road to Cliffridge Avenue/La Jolla Scenic Drive North. **Non-contiguous sidewalks will be installed on the streets adjoining the project site.**

The public right-of-way being vacated on La Jolla Scenic Drive North is unimproved and excess right-of-way. The right-of-way adjacent to Site 653 is right-of-way dedicated from the parcel of City owned land and would revert back to City ownership. Likewise, the portion of right-of-way lying between Site 653 and the adjacent single-family residence on Lot 67, would revert from the center-line to the two adjoining owners. A Lot-line Adjustment Parcel Map will allow the owner of Lot 67 to transfer title of his portion of the vacated right-of-way to Hillel while retaining sufficient right-of-way to assure access to the required off-street parking for the Phase I use and the subsequent reversion back to residential use when Phase II obtains occupancy approval.

#### Community Plan Analysis:

The subject properties are designated as Low Density Residential (5-9 du/ac) in the La Jolla Community Plan. Religious uses are commonly found to fit within residential areas without adversely affecting the Land Use Plan. Additionally, the proposed use is permitted by the La Jolla Shores Planned District Ordinance which was adopted specifically to implement the Land Use Plan. The Hillel center is located directly across the street from the University of California and on the northern edge of the adjacent residential neighborhood, making it an appropriate location for student-related activity.

The proposed development incorporates a number of specific design features which would allow the religious student center to achieve compatibility with the existing residential development in the vicinity. The center utilizes variations in height, textures, and rooflines in order to create the

appearance of a series of smaller, individual structures. In addition, lower portions of the structure are concealed behind landscaped berms which reduce the overall scale of the structure as viewed from the adjacent residential neighborhood. Torrey Pine trees are proposed as both street trees and in informal groupings around the periphery of the project, and would further screen and soften the structure at maturity. Parking for the facility is located within a subterranean garage. The garage is also equipped with a loading area, trash and recycling area, and a service elevator, so that any noise and visual impacts associated with these activities would be screened from surrounding residents.

In order to further minimize impacts to the adjacent residential neighborhood, staff has proposed specific conditions limiting the hours of operation for the center and the frequency of large events. The center would be permitted to be open from 7:00 AM to 10:00 PM daily, while all post-event cleanup and securing of the center must conclude by 11:00 PM. Religious observances with large attendances would be limited to no more than 12 times per calendar year, in accordance with the parking mitigation measures identified by the Mitigated Negative Declaration, and would be subject to the same time limits.

The project also implements policies of the La Jolla Community Plan which recommend enhanced pedestrian-orientation. Non-contiguous sidewalks are located along the La Jolla Village Drive and La Jolla Scenic Drive North frontages, with Torrey Pine trees and other landscaping planted between the curb and sidewalk. While screening the project from the adjacent residential neighborhood, this configuration would also buffer pedestrians from automobile traffic to create an environment conducive to walking and transit use. As such, students would be encouraged to use transit or walk from the UC San Diego campus to the student center, reducing automobile traffic and demand for parking at the center. By incorporating the cited design features and the conditions regarding operation of the center, the project implements the policies of the La Jolla Community Plan and would not adversely affect the residential land use designation of the subject properties.

#### Environmental Analysis:

The Environmental Initial Study (EIS) identified potential significant impacts to Paleontological Resources and Parking on the project site for the proposed student center. The application for the single family residence located at 8976 Cliffridge Avenue was submitted after the application for the proposed student center. According to the State of California Environmental Quality Act (CEQA), Section 15165, "segmenting or piecemealing" a project is not permitted. Since the single family residence and the proposed student center were both parts of the same overall project, the two applications were combined for review under CEQA.

The determination within the EIS was based on the amount (7,000 cubic yards) of soil proposed to be exported from the site during the grading activity for the subterranean parking garage. A Mitigation, Monitoring and Reporting Program (MMRP) is established as part of the Mitigated Negative Declaration that mitigates potential impacts to paleontological resources and parking to below a level of significance. The MMRP includes specific monitoring requirements including

preconstruction meetings, full-time on-site monitoring by a qualified Paleontologist and discovery and curation protocols. The MMRP includes specific parking requirements including providing additional off-site parking spaces during special events and Shabbat Services; providing adequate signage at the student center and the off-site parking location that indicate the location of the parking and that the spaces are for use by the applicant; shuttle service between the off-site location and the student center; and that a shared parking agreement be provided satisfactory to the City of San Diego prior to the issuance of the first building permit. The parking mitigation measures have been expanded and clarified since the Planning Commission hearings. Additional environmental issues considered during the project review that were determined to not be significant included Archeological Resources, Biological Resources, Noise, and Water Quality/Hydrology.

### Deviations:

In order to develop this triangular shaped site, setting aside a 10,000 square-foot landscaped area over the western area, the project application and design requires a number of deviations from the Land Development Code (LDC). The Planned Development Permit (PDP) allows for the decision-maker to consider granting these deviations which are described as follows:

1. Parking requirement for religious assemblies per Table 142-05F of LDC Section 142.0530 of the LDC required is 30 spaces per 1000 square feet of assembly areas without fixed seats. Therefore, the parking requirement for 3,541 square feet assembly area is 106 parking spaces. However, the parking analysis for Hillel indicates a need for 38 parking spaces during Shabbat Services. Hillel is proposing to have no more than 200 movable seats for weekly Shabbat services which would require 67 parking spaces. Hillel is also proposing to provide 40 on-site parking spaces and 27 off-site parking spaces through a shared parking agreement. The parking analysis also indicates a need for 113 parking spaces during special events. Hillel is proposing to provide a total of 115 parking spaces for occasional special events including the 40 on-site spaces and 75 off-site parking spaces through a shared parking agreement. Therefore, Hillel is requesting a deviation through the PDP from the parking requirement in LDC section 142.0530.
2. LDC Section 142.0545(a) does not allow shared parking in single-family residential zones. Hillel is located in the SF (single-family) zone of the La Jolla Shores Planned District and is proposing a deviation through the PDP for the required off-site shared parking agreement.
3. LDC Section 142.0545 (a)(2) requires all off-site parking spaces to be provided within 600 feet of the project site. Hillel is requesting the provision of off-site parking spaces at UCSD outside the 600 feet required distance and is proposing to provide shuttle services between the off-site location(s) and project site during Shabbat services and special events. Therefore, Hillel is requesting a deviation for location of the off-site parking requirement as required in LDC Section 142.0545(a)(2).
4. Table 142-05L of LDC Section 142.0560 requires non-residential uses to provide a minimum 24-foot wide driveway. Hillel is proposing a 20-foot wide temporary driveway under Phase 1

*This deviation is no longer applicable*

'Parking Alternative 2' for the office use of the building located at 8976 Cliffridge Avenue site. Therefore, Hillel is requesting a deviation through the PDP for this driveway width.

5. Table 142-05L of LDC Section 142.0560 requires non-residential uses to provide a minimum 24-foot wide driveway. Hillel is proposing a 12-foot wide driveway under Phase 1 'Parking Alternative 1' for the office use of the building located at 8976 Cliffridge Avenue site. This building will be converted to a single family home after construction of Site 653 and would require a 12-foot wide driveway. Therefore, Hillel is requesting a deviation through the PDP for this driveway width.

6. Table 142-05L of LDC Section 142.0560 requires non-residential uses to provide a minimum 24-foot wide driveway. Hillel is proposing a 22-foot wide driveway for the subterranean parking garage for Site 653. Therefore, Hillel is requesting a deviation through the PDP for this driveway width.

Additionally, there are two additional deviations requested from the Street Design Manual that the City Engineer may approve. These deviations are:

1. The connection of La Jolla Scenic Drive North and Cliffridge Avenue does not provide a 100-foot curve radius. The City Engineer believes that the proposed design is preferable given all conditions relative to the site.
2. The Street Design Manual indicates that the pedestrian/bike path connecting La Jolla Scenic Drive North to Torrey Pines Road should have a 12-foot width where 10-feet is proposed. This path would overlap and be a portion of the City Council required landscaped area.

### **Conclusion:**

The proposed project was submitted by the applicants after actions by the City Council authorizing Hillel to proceed with presenting a development proposal to the City and exploring purchase of the site. Legal actions to date have not invalidated any of these actions.

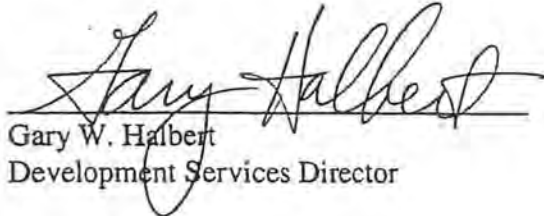
The La Jolla Community Plan designates this site as low density residential and the property is zoned SF. The SF zone of the La Jolla Shores Planned District allows the proposed religious student center and place of worship through a Site Development Permit.

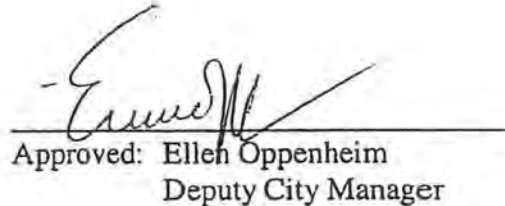
Staff recommends that the City Council Certify the environmental Mitigated Negative Declaration No. 6098 and Adopt the Mitigation Monitoring and Reporting Program (MMRP) and Approve the Planned and Site Development Permits, Right-of-Way vacations and dedication and the Lot-line Adjustment to permit the development of the proposed student center.

### **ALTERNATIVES**

1. **Approve** Planned Development Permit No. 158095, Site Development Permit No. 158094, Public Right-of-Way Vacation No. 158097 and Public Right-of-Way Dedication No. 158098, **with modifications.**
2. **Deny** Planned Development Permit No. 158095, Site Development Permit No. 158094, Public Right-of-Way Vacation No. 158097 and Public Right-of-Way Dedication No. 158098, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,

  
Gary W. Halbert  
Development Services Director

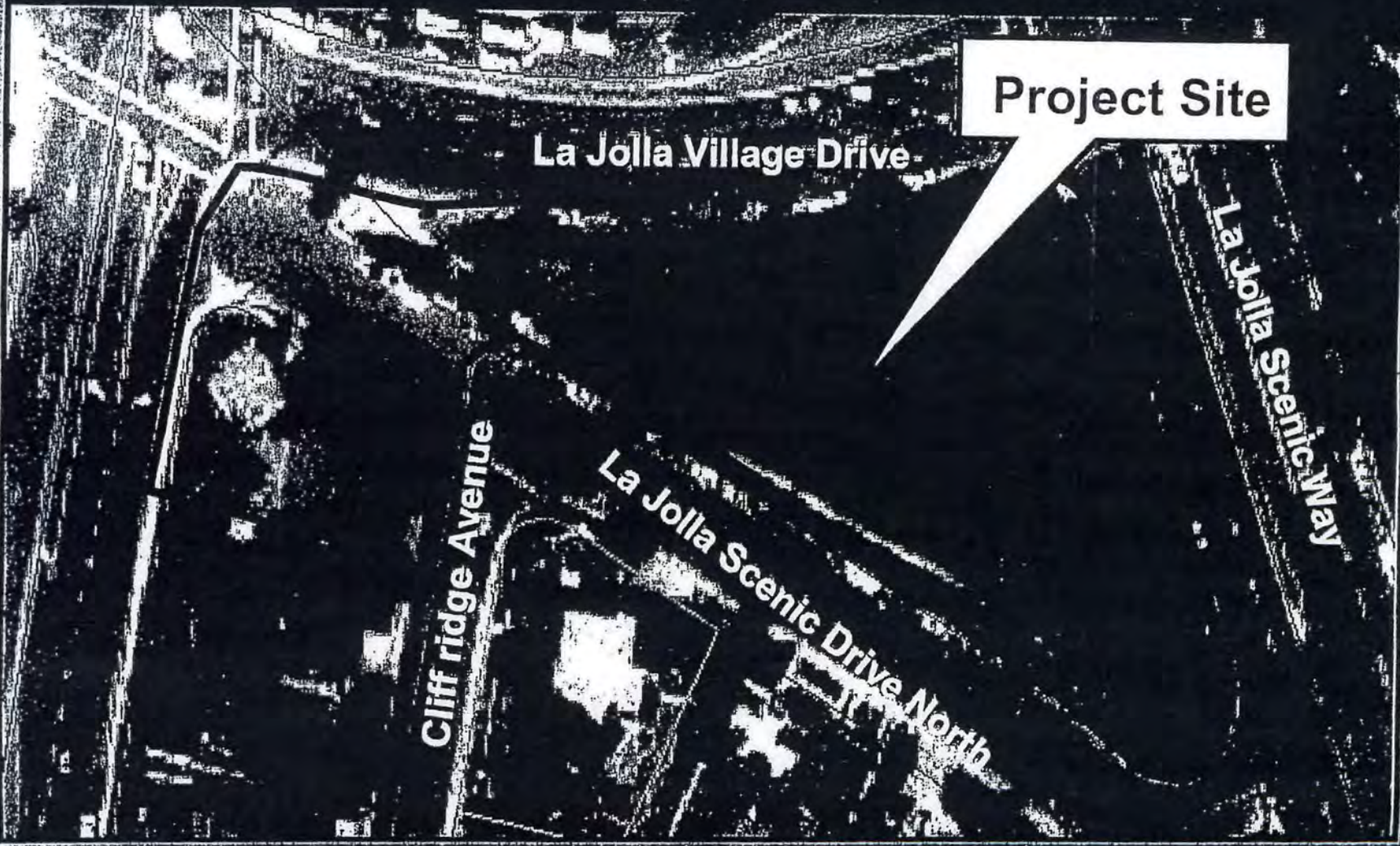
  
Approved: Ellen Oppenheim  
Deputy City Manager

Halbert/RMK

Attachments:

1. Aerial Photograph(s)
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet(s)
5. Project Site Plan(s)
6. Reduced Project Plans (Reduced 11x17 for Planning Commission only)
7. Draft Planned and Site Development Permit with Conditions
8. Draft Planned and Site Development Permit Resolution with Findings
9. Draft Street Vacation/Dedication Resolution
10. Hillel Sample Event Schedule
11. Community Planning Group Recommendation(s)
12. Ownership Disclosure Statement
13. Project Chronology

Development Services Department  
Project Management Division



Project Site

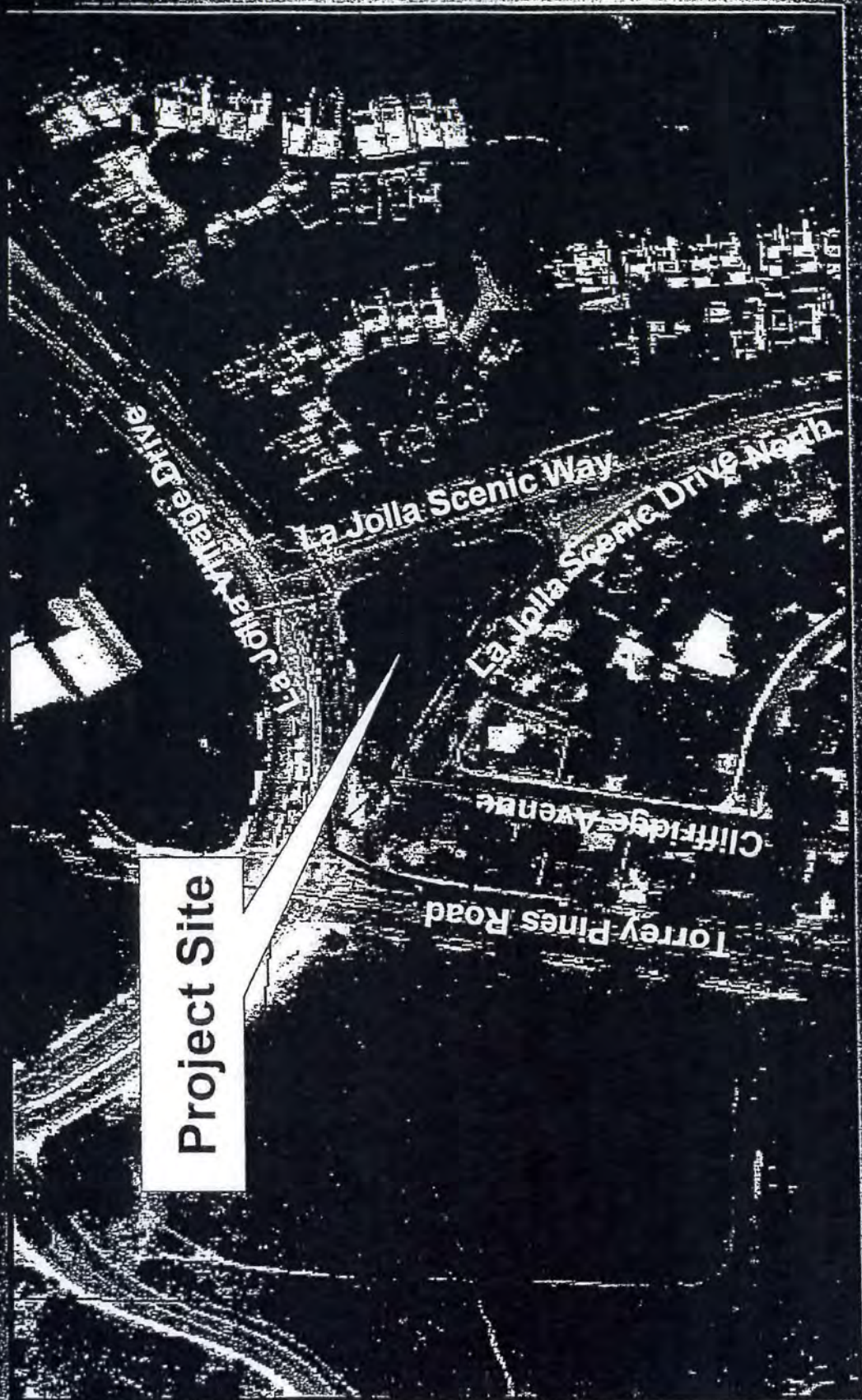
La Jolla Village Drive

La Jolla Scenic Way

La Jolla Scenic Drive North

Cliff ridge Avenue

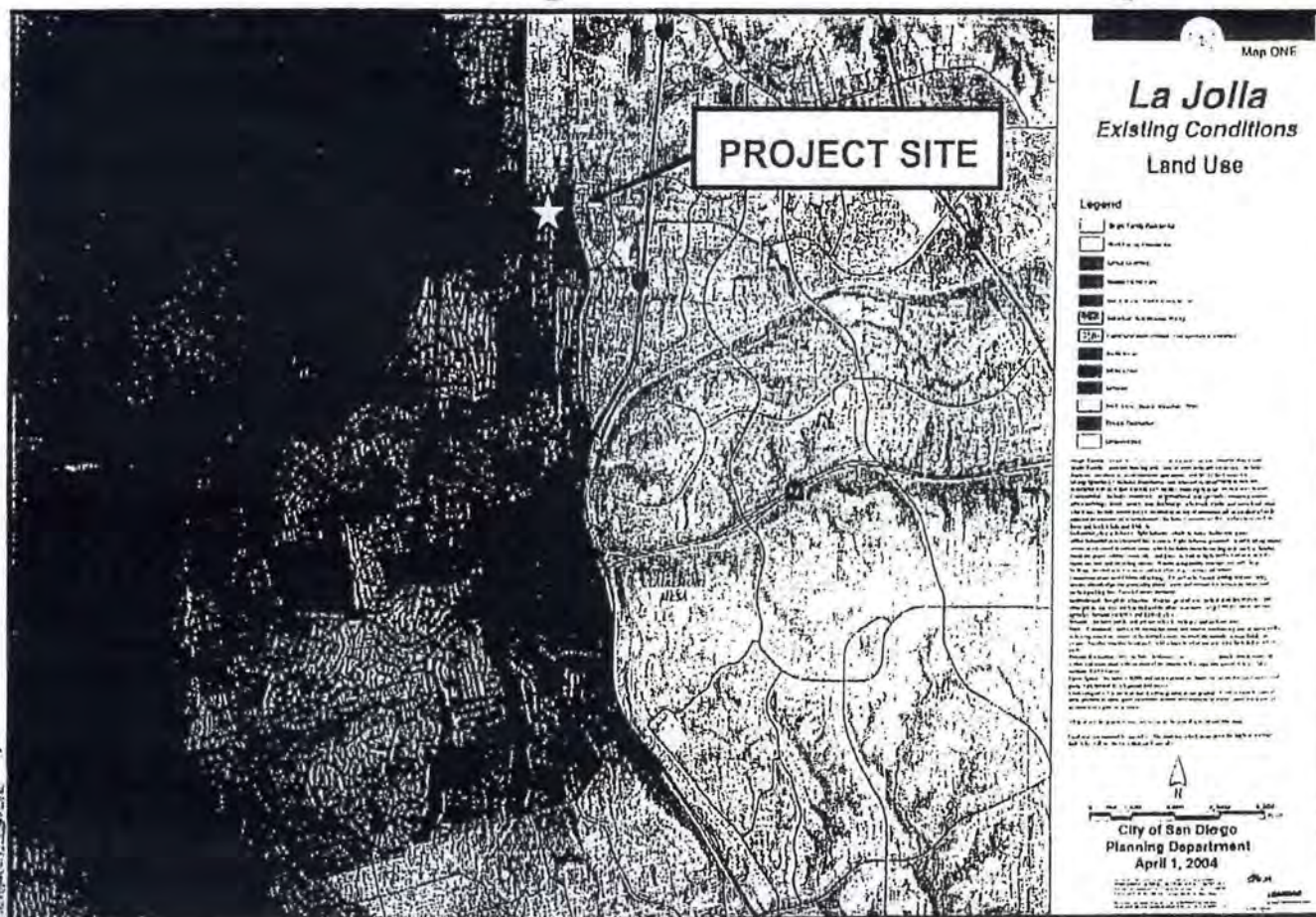
Development Services Department  
Project Management Division



# Development Services Department Project Management Division

447

## Community Land Use Map





449

**PROJECT DATA SHEET**

<b>PROJECT NAME:</b>	Hillel of San Diego (Phase I)
<b>PROJECT DESCRIPTION:</b>	Continue use of an existing Single-family residence for religious purposes until Phase II approved for occupancy.
<b>COMMUNITY PLAN AREA:</b>	La Jolla Shores Planned District / La Jolla Community Plan
<b>DISCRETIONARY ACTIONS:</b>	Planned and Site Development Permits, Easement Abandonment, Street Vacation and Street Dedications..
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential / Single-family

**ZONING INFORMATION:**

**ZONE:** SF (Single-family) within the La Jolla Shores Planned District. Permits single-family residences and Churches, Temples and buildings used for religious purposes

**HEIGHT LIMIT:** 30-Foot maximum height limit.

**LOT SIZE:** 8,260 square-feet

**FLOOR AREA RATIO:** N/A

**LOT COVERAGE:** 27.6 percent

**FRONT SETBACK:** 9-feet existing

**SIDE SETBACK:** 5-feet existing

**STREETSIDE SETBACK:** 10-feet existing

**REAR SETBACK:** 7-feet existing

**PARKING:** 6 spaces to be maintained / 2 required when reverted back to Single-family residence

<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	R1-5000	College Campus
<b>SOUTH:</b>	SF	Single-family residential
<b>EAST:</b>	SF	Single-family residential/vacant
<b>WEST:</b>	R1-5000	Vacant land/Youth athletic field
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviations to the Street Design Manual for the intersection of Cliffridge Avenue and La Jolla Scenic Drive North knuckle, width of bike/pedestrian path and utility space within the curb-to-propertyline distance.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 3, 2005, the La Jolla Community Planning Association is scheduled to consider this project. If action is taken it will be orally presented to the Planning Commission.	

On January 18, 2005, the La Jolla City Manager's Report No. 05-193  
Advisory Board voted 5-0 on three separate motions Page 16 of 80  
Deny the project as proposed.

**451****PROJECT DATA SHEET**

<b>PROJECT NAME:</b>	Hillel of San Diego (Phase II)
<b>PROJECT DESCRIPTION:</b>	Construction of a new 12,100 square-foot Jewish student religious center over a 17,000 square-foot subterranean parking garage.
<b>COMMUNITY PLAN AREA:</b>	La Jolla Shores Planned District/La Jolla Community Plan
<b>DISCRETIONARY ACTIONS:</b>	Planned and Site Development Permits, Easement Abandonment, Street Vacation and Street Dedication
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential / Single-family

**ZONING INFORMATION:**

**ZONE:** SF (Single-family residential) within the La Jolla Shores Planned District. Permits single-family residential and Churches, Temples and buildings used for religious purposes

**HEIGHT LIMIT:** 30-Foot maximum height limit.

**LOT SIZE:** 35,069 square-feet gross/ 25,069 square-feet net

**FLOOR AREA RATIO:** N/A

**FRONT SETBACK:** 14-feet (La Jolla Scenic Way).

**STREETSIDE SETBACK:** 14-feet (La Jolla Scenic Drive North).

**STREETSIDE SETBACK:** 12-feet (La Jolla Village Drive)

**REAR SETBACK:** N/A

**PARKING:** 40-off street spaces on-site/27 spaces off-site/additional off-site spaces through shared parking agreements.

<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	R1-5000	College campus
<b>SOUTH:</b>	SF	Single-family residential
<b>EAST:</b>	SF	Single-family residential
<b>WEST:</b>	SF / R1-5000	Single-family residential / vacant lands
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviations to the Street Design Manual for the intersection of Cliffridge Avenue and La Jolla Scenic Drive North knuckle, width of bike/pedestrian path and utility space within the curb-to-propertyline distance.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 3, 2005, the La Jolla Community Planning Association is scheduled to hear this project. If action is taken it will be orally presented to the Planning	

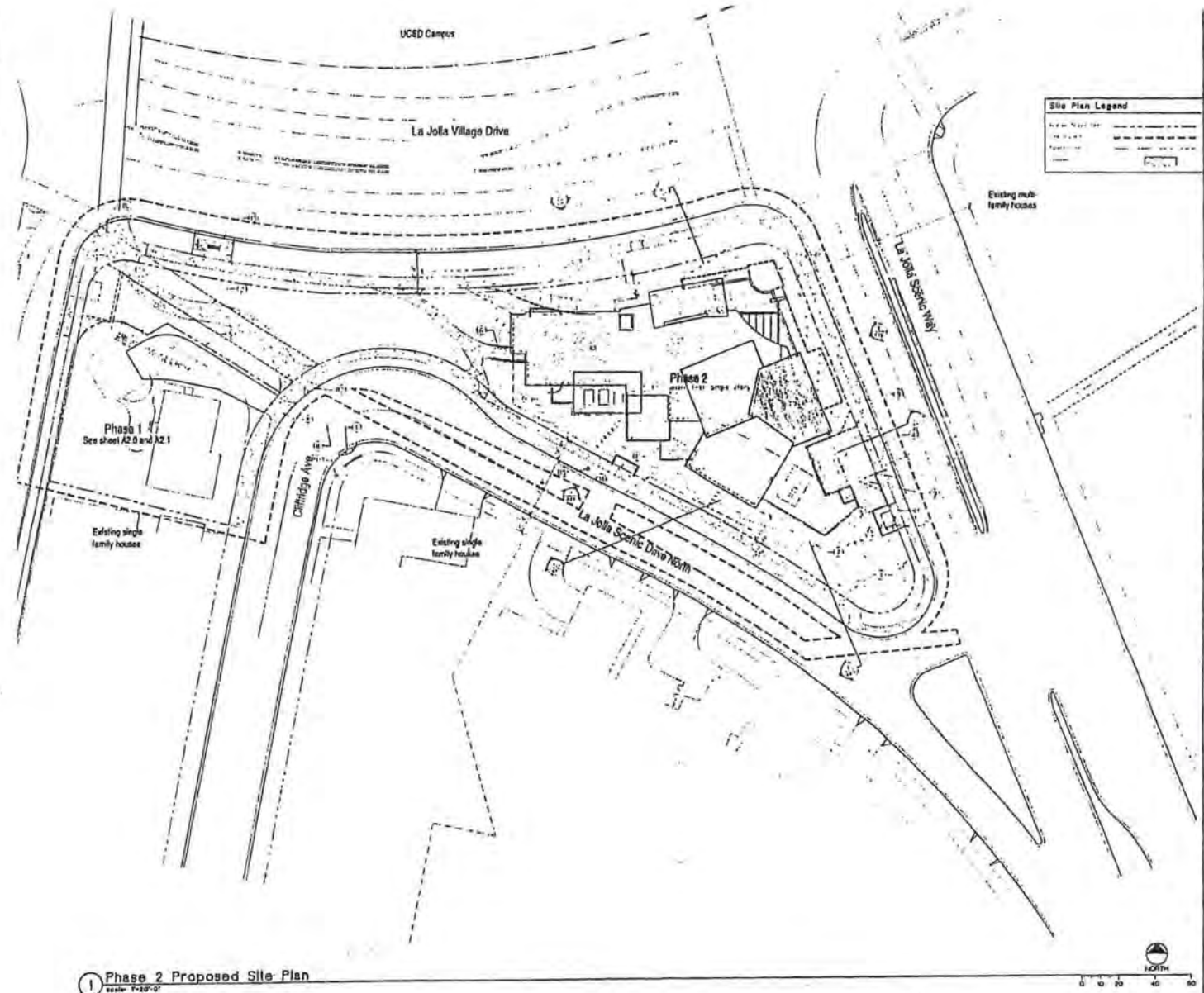
452

Commission.

City Manager's Report No. 05-193

On January 18, 2005, the La Jolla Shores Planned Development

Advisory Board voted 5-0 on three separate motions to  
Deny the project as proposed.



1 Phase 2 Proposed Site Plan  
Scale: 1"=30'-0"

© 2005, M.W. Silliman, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without express permission from M.W. Silliman, Inc.

**Site Plan Legend**

1. Proposed Building Footprint	10. Proposed Parking Space
2. Proposed Driveway	11. Proposed Storm Drain
3. Proposed Walkway	12. Proposed Easement
4. Proposed Fencing	13. Proposed Utility
5. Proposed Landscaping	14. Proposed Retention Wall
6. Proposed Access Point	15. Proposed Right of Way
7. Proposed Boundary	16. Proposed Easement
8. Proposed Easement	17. Proposed Utility
9. Proposed Retention Wall	18. Proposed Right of Way

Street Vacation  
Right of Way C  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

**Site Plan Notes**

1. All proposed building footprints shall be constructed in accordance with the approved plans.
2. All proposed parking spaces shall be constructed in accordance with the approved plans.
3. All proposed driveways shall be constructed in accordance with the approved plans.
4. All proposed walkways shall be constructed in accordance with the approved plans.
5. All proposed fencing shall be constructed in accordance with the approved plans.
6. All proposed landscaping shall be constructed in accordance with the approved plans.
7. All proposed access points shall be constructed in accordance with the approved plans.
8. All proposed boundaries shall be constructed in accordance with the approved plans.
9. All proposed easements shall be constructed in accordance with the approved plans.
10. All proposed utilities shall be constructed in accordance with the approved plans.
11. All proposed retention walls shall be constructed in accordance with the approved plans.
12. All proposed right of ways shall be constructed in accordance with the approved plans.

**General Notes**

1. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
2. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
3. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
4. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
5. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
6. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
7. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
8. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
9. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
10. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
11. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.
12. The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.

**CDP Description**

The proposed site plan is based on the approved plans and shall be constructed in accordance with the approved plans.

Prior to the February 24, 2004 resubmission, 8878 Cliffside Avenue had been submitted with the following revision schedule:

**Revision Schedule**

Revision	Description
1	Initial Submission
2	Revised Submission
3	Revised Submission
4	Revised Submission
5	Revised Submission
6	Revised Submission
7	Revised Submission
8	Revised Submission
9	Revised Submission
10	Revised Submission
11	Revised Submission
12	Revised Submission

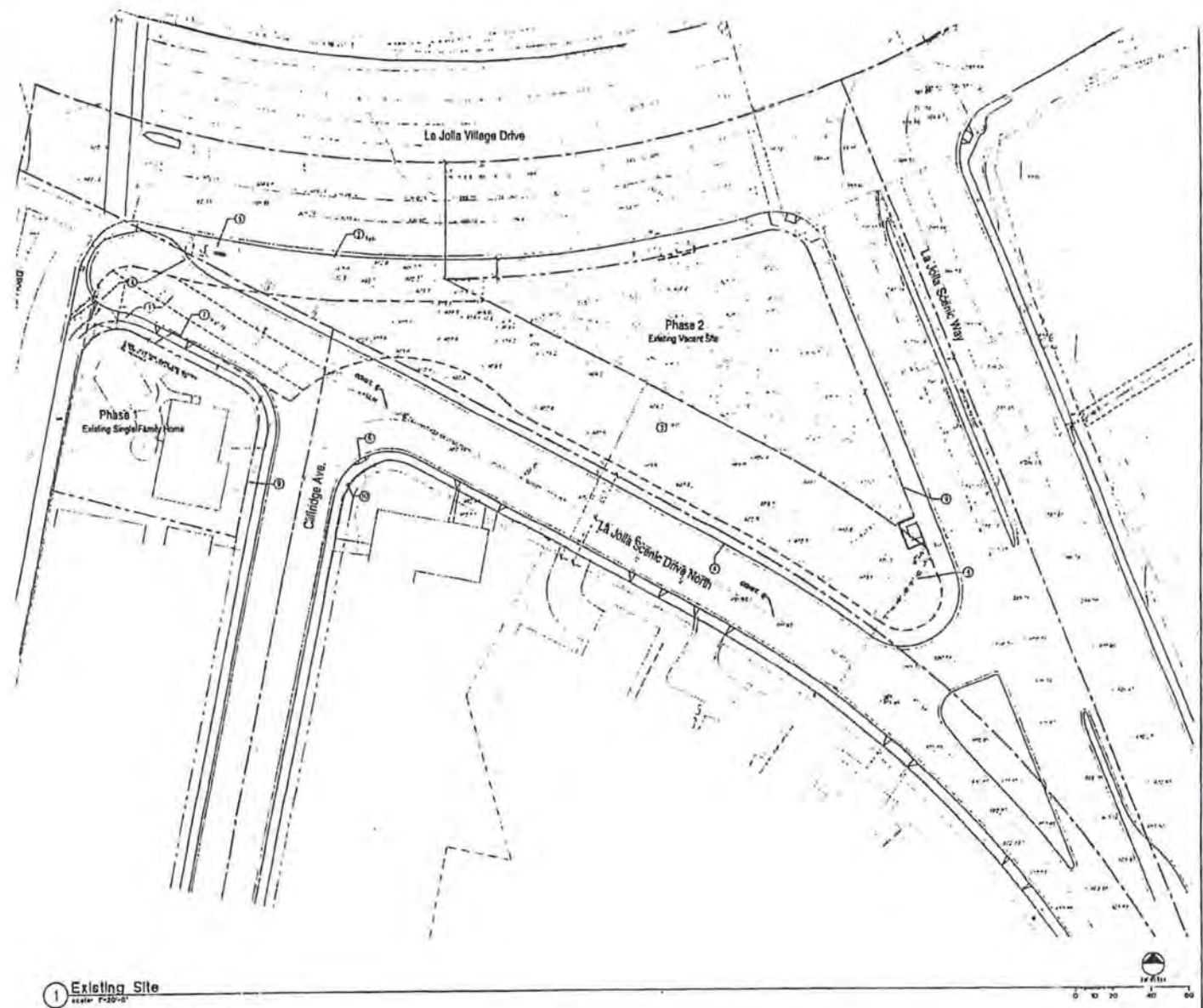
**Hillel of San Diego**  
San Diego, California

**Phase 1:**  
8878 Cliffside Avenue  
La Jolla, California 92037

**Phase 2:**  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Attachment 10a  
City Manager's Report No. 05-193  
Page 19 of 80





Street Vacation  
Right of Way C  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

Phase/Type Notes	
1	Existing Single-Family Home
2	Existing Vacant Site
3	Proposed Single-Family Home
4	Proposed Single-Family Home
5	Proposed Single-Family Home
6	Proposed Single-Family Home
7	Proposed Single-Family Home
8	Proposed Single-Family Home
9	Proposed Single-Family Home
10	Proposed Single-Family Home
General Notes	
There are no easements or other interests shown on this map.	
The owner of the property is responsible for obtaining all necessary permits from the appropriate agencies.	
Legend	
1	Existing Single-Family Home
2	Existing Vacant Site
3	Proposed Single-Family Home
4	Proposed Single-Family Home
5	Proposed Single-Family Home
6	Proposed Single-Family Home
7	Proposed Single-Family Home
8	Proposed Single-Family Home
9	Proposed Single-Family Home
10	Proposed Single-Family Home

NOTE:  
Prior to the February 24, 2004 resubmittal,  
8878 Collings Avenue had been submitted  
with the following revision schedule:



Hillel  
of San Diego  
San Diego, California

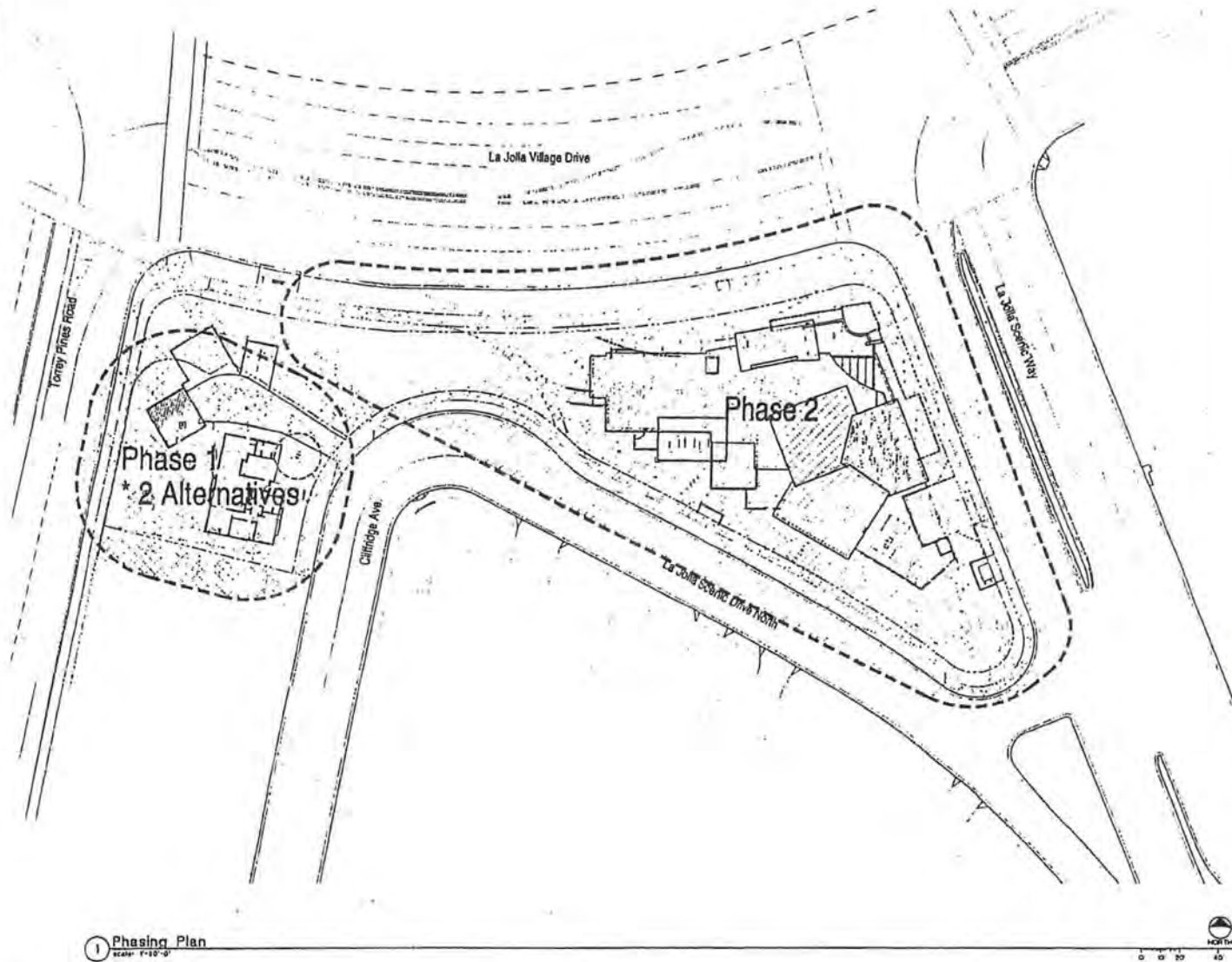
Phase 1:  
8878 Collings Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Street Vacation	
Planned Development Permit	La Jolla Shores Site
Development Permit	Right of Way Dedication
Phase 1	8878 Collings Avenue
Phase 2	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 3	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 4	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 5	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 6	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 7	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 8	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 9	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive
Phase 10	Intersection of La Jolla Scenic Way, La Jolla Village Drive and La Jolla Scenic Drive

Existing  
Site Plan  
City Manager's Report No. 05-193  
Page 21 of 80  
Attachment 10a

© 2004, M.W. Sillie Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without expressed written permission from M.W. Sillie Group, Inc.



1 Phasing Plan  
 Scale: 1"=20'-0"

© 2001, M.W. Seidl Group, Inc. All drawings and specifications are property of the applicant and shall be maintained in confidence without permission from M.W. Seidl Group, Inc.

Note:  
 Prior to the February 24, 2004 meeting,  
 8878 Calridge Avenue had been submitted  
 with the following revision schedule:

Revision 1: 03/28/2004  
 Revision 2: 05/01/2004  
 Revision 3: 05/12/2004



Hillel  
 of San Diego  
 San Diego, California

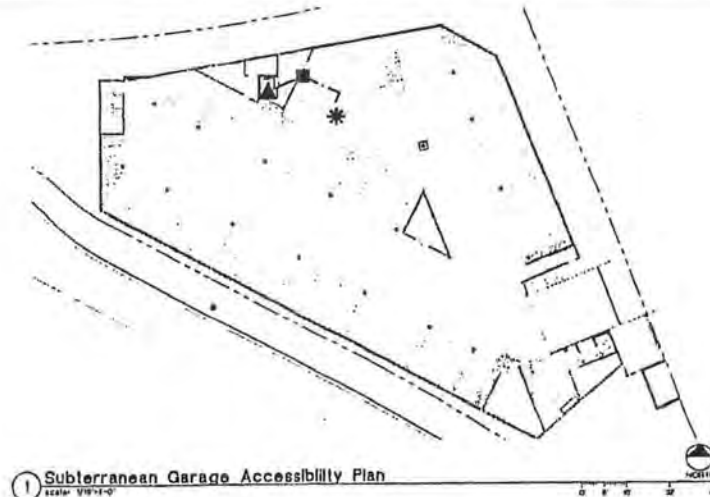
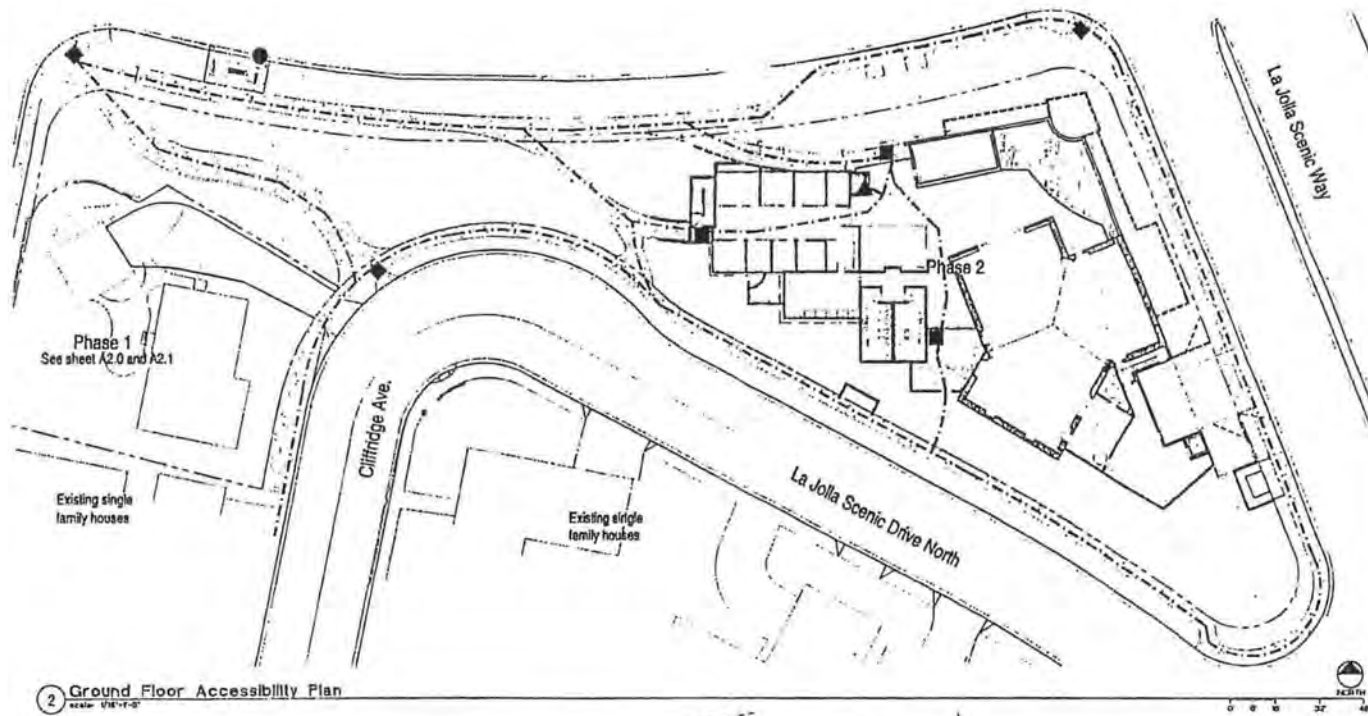
Phase 1:  
 8878 Calridge Avenue  
 La Jolla, California 92037

Phase 2:  
 Intersection of La Jolla Scenic Way,  
 La Jolla Village Drive  
 and La Jolla Scenic Drive  
 La Jolla, California 92037

Street Vacation  
 Planned Development Permit  
 La Jolla Shores Site  
 Development Permit  
 Right of Way Dedication

Item	Description	Quantity	Unit
1	Right of Way Dedication	1.00	Acres
2	Street Vacation	1.00	Acres
3	Planned Development Permit	1.00	Acres
4	La Jolla Shores Site Development Permit	1.00	Acres
5	Right of Way Dedication	1.00	Acres
6	Street Vacation	1.00	Acres
7	Planned Development Permit	1.00	Acres
8	La Jolla Shores Site Development Permit	1.00	Acres
9	Right of Way Dedication	1.00	Acres
10	Street Vacation	1.00	Acres
11	Planned Development Permit	1.00	Acres
12	La Jolla Shores Site Development Permit	1.00	Acres
13	Right of Way Dedication	1.00	Acres
14	Street Vacation	1.00	Acres
15	Planned Development Permit	1.00	Acres
16	La Jolla Shores Site Development Permit	1.00	Acres
17	Right of Way Dedication	1.00	Acres
18	Street Vacation	1.00	Acres
19	Planned Development Permit	1.00	Acres
20	La Jolla Shores Site Development Permit	1.00	Acres

City Manager's Report No. 05-193  
 Page 22 of 80



Street Vacation  
Right of Way  
Planned Development Permit  
La Jolla Shores and Development Permit  
Change of Use Permit

457



Notes:  
Prior to the February 21, 2004 modification,  
4876 Cliffridge Avenue had been submitted  
with the following releases attached:

Release 1: 10/10/03  
Release 2: 10/10/03  
Release 3: 10/10/03



Hillel  
of San Diego  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Street Vacation  
Planned Development Permit  
La Jolla Shores and  
Development Permit  
Right of Way Dedication

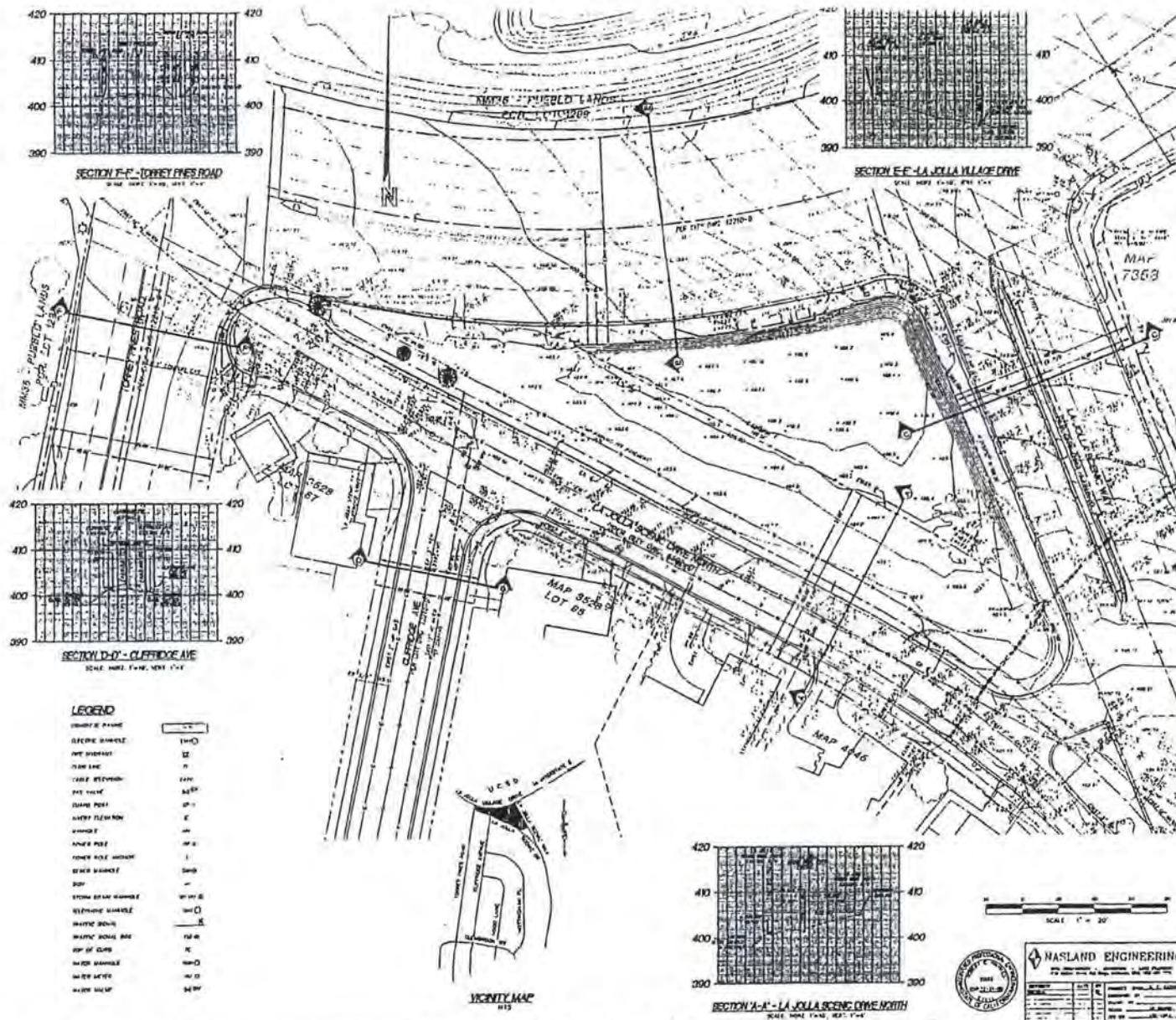
Release 1: 10/10/03  
Release 2: 10/10/03  
Release 3: 10/10/03  
Release 4: 10/10/03  
Release 5: 10/10/03  
Release 6: 10/10/03  
Release 7: 10/10/03  
Release 8: 10/10/03  
Release 9: 10/10/03  
Release 10: 10/10/03

NET FORTHRIGHTLY

Phase 2:  
Accessibility Plan

City Manager's  
Report No. 05-193  
Page 23 of 80

Attachment 10a



© 2005, M.W. Steele Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without expressed written permission from M.W. Steele Group, Inc.

Street Vacation  
Right of Way Dedication  
Planned Development Permit  
La Jolla Shores Site  
Development Permit  
Change of Use Permit



**BENCH MARK**  
CITY OF SAN DIEGO BENCH MARK ON THE  
SE CORNER RETURN AT LA JOLLA SCENIC AVE  
LA JOLLA VILLAGE DRIVE  
ELEVATION = 388.54

**TOPOGRAPHIC SOURCE**  
INFORMATION PROVIDED BY HASLAND ENGINEERING  
FIELD SURVEY MARCH 03, 2003

\*Note:  
Prior to the February 24, 2004 resubmission,  
8076 Cliffbridge Avenue had been submitted  
with the following revision schedule:



Street Vacation  
Planned Development Permit  
La Jolla Shores Site  
Development Permit  
Right of Way Dedication

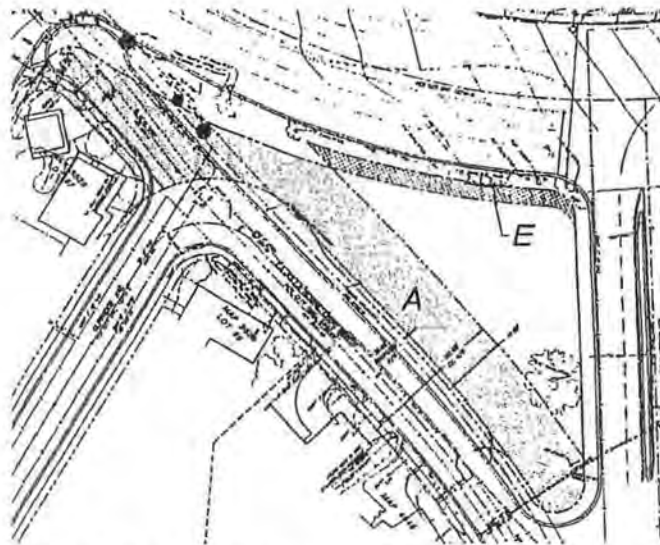
Hillel  
of San Diego  
San Diego, California

Phase 1:  
8076 Cliffbridge Avenue  
La Jolla, California 92037

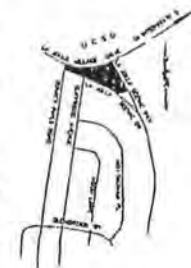
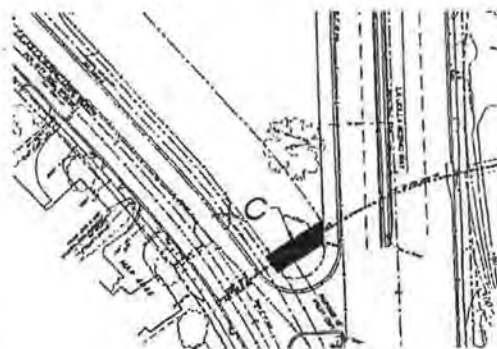
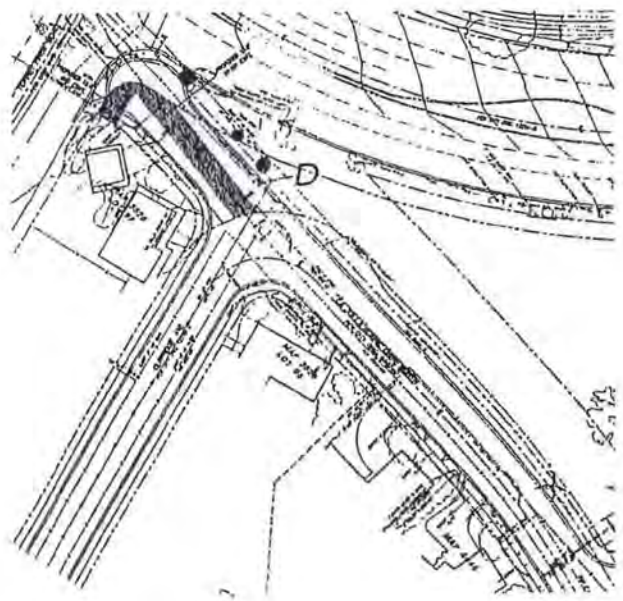
Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037



Attachment 10a  
M.W. Steele's Report No. 05-193  
Page 24 of 80



- ALL LOTS TO BE VACATED BY THE END OF THE PROJECT
- A [Pattern] INDICATES PROPOSED EASEMENT TO BE RESERVED FROM VACATED STREET
  - B [Pattern] NOT USED
  - C [Pattern] INDICATES PROPOSED EASEMENT TO BE RESERVED FROM VACATED STREET
  - D [Pattern] INDICATES PROPOSED EASEMENT TO BE RESERVED FROM VACATED STREET
  - E [Pattern] INDICATES PROPOSED EASEMENT TO BE RESERVED FROM VACATED STREET
- NOTE: FOR BOUNDARY DIMENSIONS SEE SHEET A2



Street Vacat  
Right of Way, Location  
Planned Development Permit  
La Jolla Shores Site  
Development Permit  
Change of Use Permit

459

Note:  
Prior to the February 24, 2004 resubmission, the project was submitted with the following revision schedule:

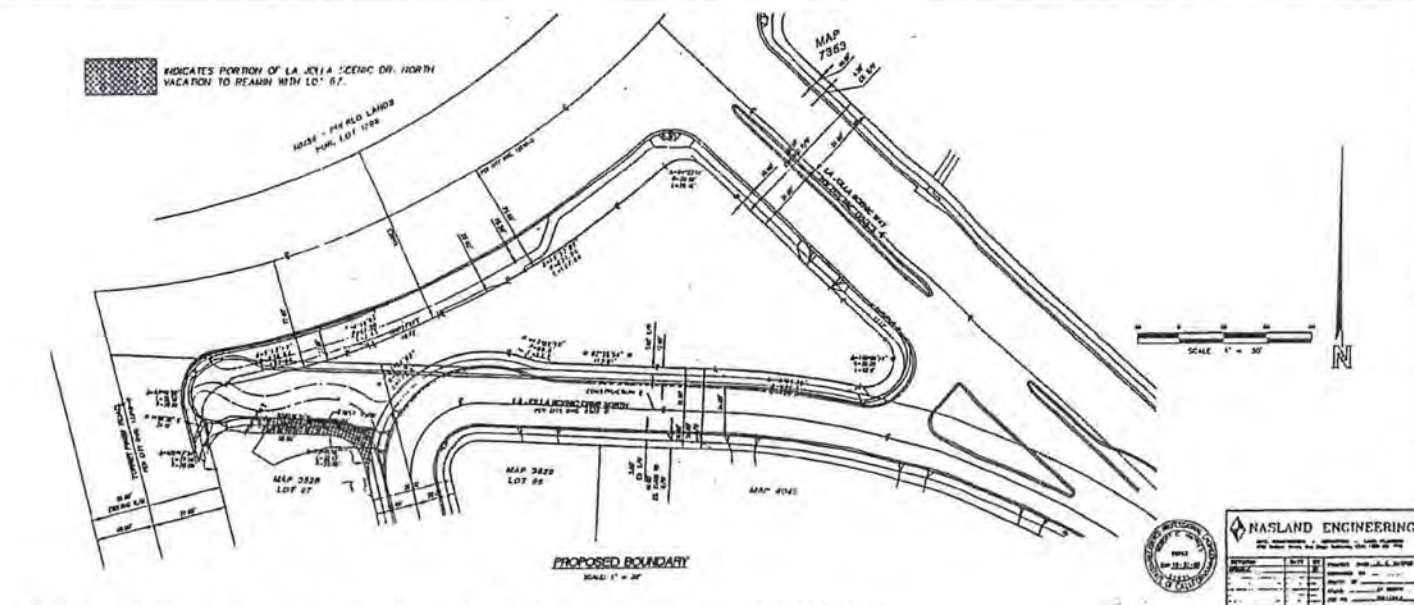
Revision	Description	Date
1	Initial Submission	01/21/04
2	Revised Submission	02/11/04
3	Revised Submission	02/11/04
4	Revised Submission	02/11/04
5	Revised Submission	02/11/04
6	Revised Submission	02/11/04
7	Revised Submission	02/11/04
8	Revised Submission	02/11/04
9	Revised Submission	02/11/04
10	Revised Submission	02/11/04

Hillel  
of San Diego  
San Diego, California

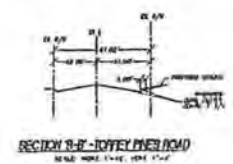
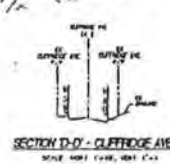
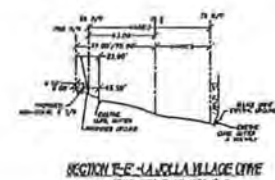
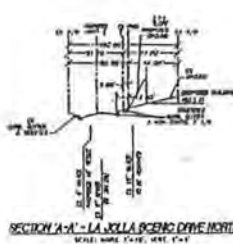
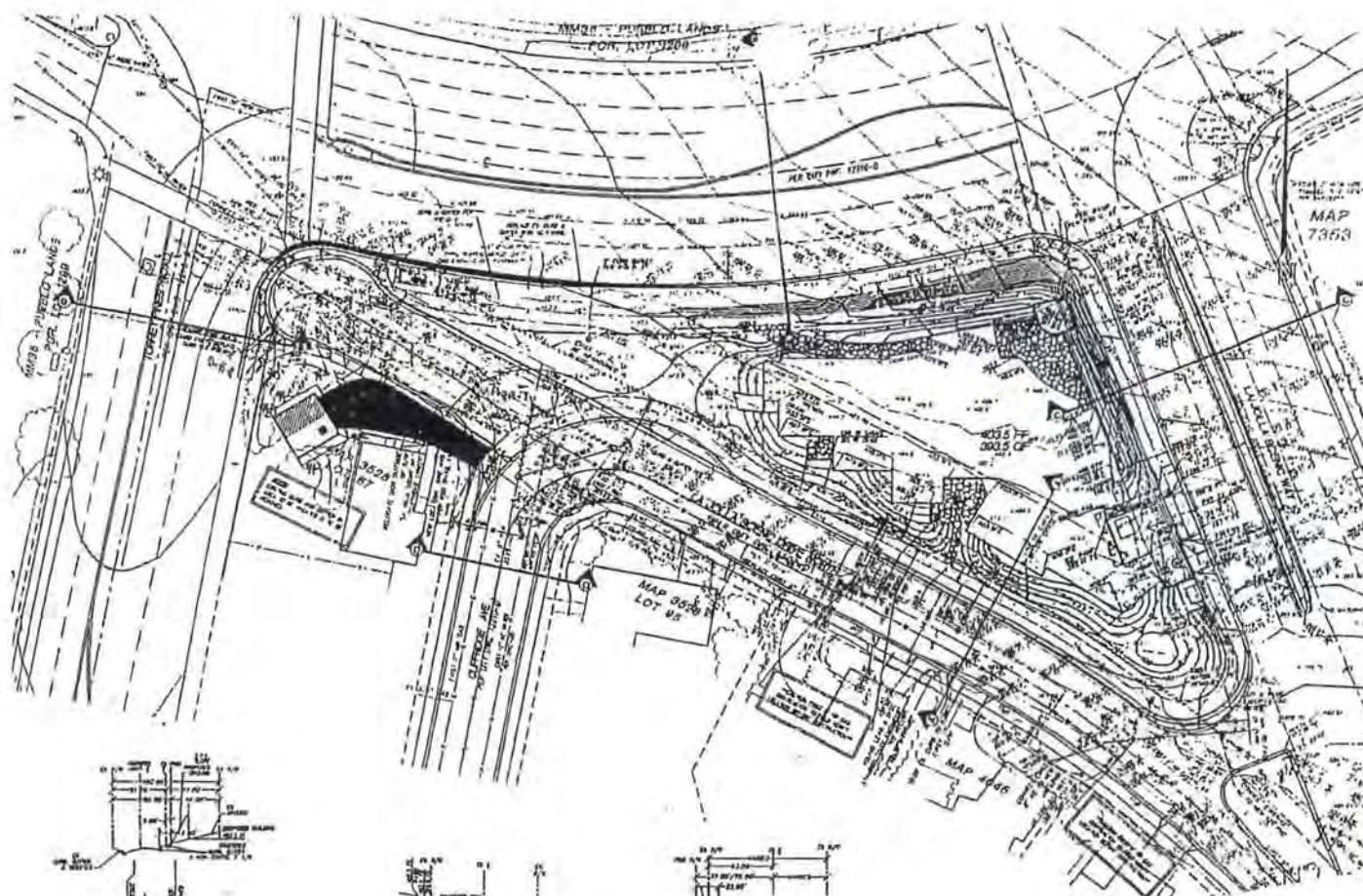
Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Page 26 of 80



© 2005, M.W. Steele Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without expressed written permission from M.W. Steele Group, Inc.



**LEGEND**

PROPOSED ROAD	PROPOSED SIDEWALK	PROPOSED DRAINAGE	PROPOSED UTILITIES
EXISTING ROAD	EXISTING SIDEWALK	EXISTING DRAINAGE	EXISTING UTILITIES
PROPOSED DRIVEWAY	PROPOSED FENCE	PROPOSED LIGHTING	PROPOSED LANDSCAPE
PROPOSED LOT	PROPOSED LOT	PROPOSED LOT	PROPOSED LOT



**NASLAND ENGINEERING**

10000 JOLLY PINE ROAD  
SAN DIEGO, CA 92121  
TEL: (619) 594-1234  
FAX: (619) 594-1235  
WWW.NASLANDENGINEERING.COM

Street Vac  
Right of Way Jication  
Planned Development Permit  
La Jolla Shores Site  
Development Permit  
Change of Use Permit

461

Note:  
Prior to the February 24, 2024 resubmittal,  
8976 Cliffridge Avenue had been submitted  
with the following revision schedule:

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02/24/2024	Initial Submission
2	03/15/2024	Revised Site Plan
3	04/10/2024	Revised Engineering
4	05/05/2024	Revised Landscape
5	06/01/2024	Revised Utilities
6	07/01/2024	Revised Final Plan

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Attachment 10a  
C400  
Bagger's Report No. 05-193  
Page 27 of 80

© 2005, W.W. Stille Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without express written permission from W.W. Stille Group, Inc.



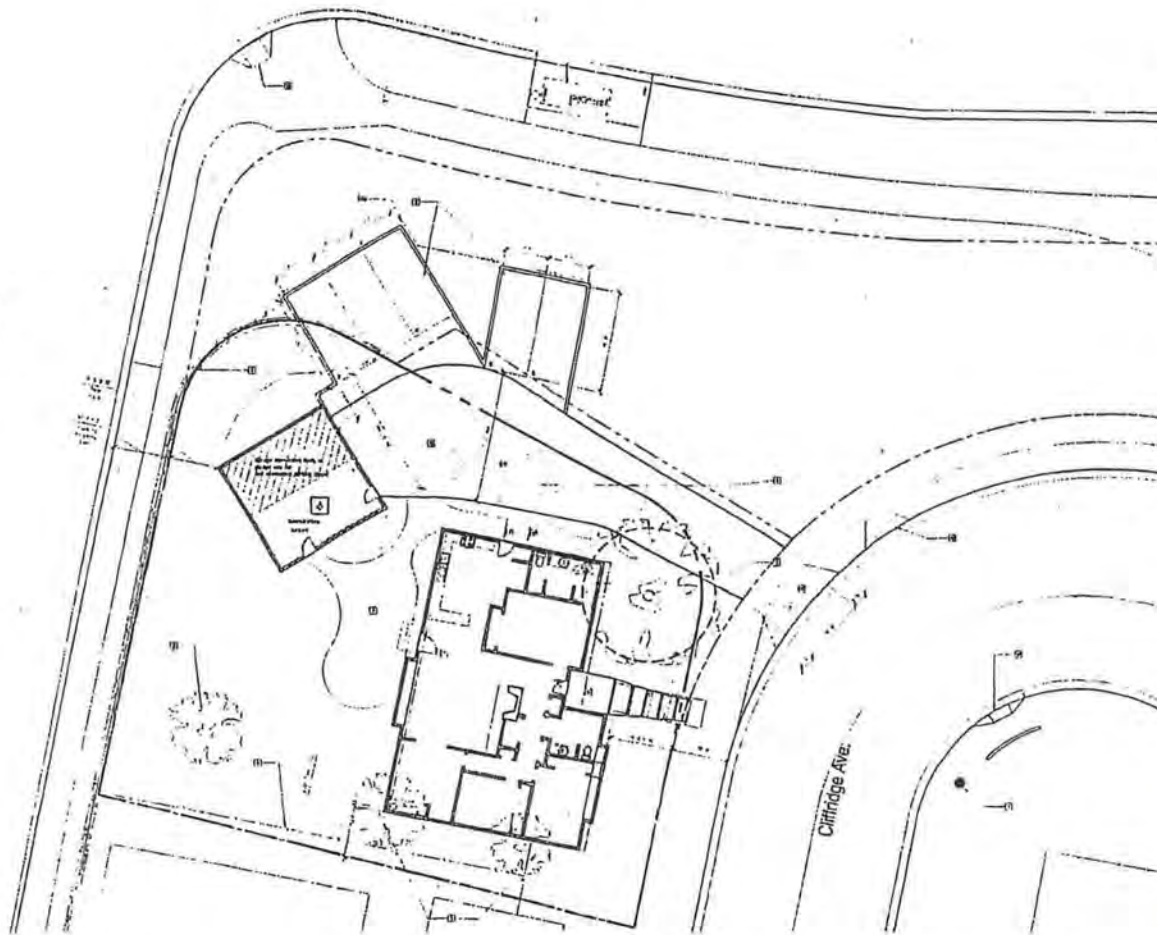


PHASE 2

Phase 2:  
Intersection of La Jolla Scenic Way  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

gdr's R&D

Torrey Pines Road



**1 Phase 1: Parking Alternative 1: Temporary Parking until Phase 2 complete**  
Scale: 1/8"=1'-0"

**Notes:**

**Parking Alternative 1:** Provides 8 parking spaces in the abandoned cul-de-sac. This alternative involves the construction of a temporary sidewalk and parking improvements in the abandoned cul-de-sac/right of way, if the abandonment is approved as part of the Site 653 Project. This alternative assumes that Hillel's application for the Site 653 Site Development Permit and application for abandonment of right of way/cul-de-sac will be approved.

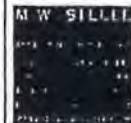
**Parking Alternative 2:** This alternative provides for satisfying the parking requirements on site. This alternative provides for demolition of the existing garage at the House and construction of 8 parking spaces on the site of the House Project as depicted on site plan Sheet A2.1, submitted herewith. We would propose that this alternative be required only if the Site 653 application and corresponding right of way abandonment is denied.

© 2012, M.W. Sillit & Co., Inc. All drawings and text hereon are property of the architect and shall not be reproduced in any manner without express written permission from M.W. Sillit & Co., Inc.

Street Vacation  
Right of Way  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

Site Plan Notes	
1	See site plan for location of temporary parking spaces.
2	See site plan for location of temporary sidewalk.
3	See site plan for location of temporary improvements.
4	See site plan for location of temporary improvements.
5	See site plan for location of temporary improvements.
6	See site plan for location of temporary improvements.
7	See site plan for location of temporary improvements.
8	See site plan for location of temporary improvements.
9	See site plan for location of temporary improvements.
10	See site plan for location of temporary improvements.
11	See site plan for location of temporary improvements.
12	See site plan for location of temporary improvements.
13	See site plan for location of temporary improvements.
14	See site plan for location of temporary improvements.
15	See site plan for location of temporary improvements.
16	See site plan for location of temporary improvements.
17	See site plan for location of temporary improvements.
18	See site plan for location of temporary improvements.
19	See site plan for location of temporary improvements.
20	See site plan for location of temporary improvements.
21	See site plan for location of temporary improvements.
22	See site plan for location of temporary improvements.
23	See site plan for location of temporary improvements.
24	See site plan for location of temporary improvements.
25	See site plan for location of temporary improvements.
26	See site plan for location of temporary improvements.
27	See site plan for location of temporary improvements.
28	See site plan for location of temporary improvements.
29	See site plan for location of temporary improvements.
30	See site plan for location of temporary improvements.
31	See site plan for location of temporary improvements.
32	See site plan for location of temporary improvements.
33	See site plan for location of temporary improvements.
34	See site plan for location of temporary improvements.
35	See site plan for location of temporary improvements.
36	See site plan for location of temporary improvements.
37	See site plan for location of temporary improvements.
38	See site plan for location of temporary improvements.
39	See site plan for location of temporary improvements.
40	See site plan for location of temporary improvements.
41	See site plan for location of temporary improvements.
42	See site plan for location of temporary improvements.
43	See site plan for location of temporary improvements.
44	See site plan for location of temporary improvements.
45	See site plan for location of temporary improvements.
46	See site plan for location of temporary improvements.
47	See site plan for location of temporary improvements.
48	See site plan for location of temporary improvements.
49	See site plan for location of temporary improvements.
50	See site plan for location of temporary improvements.
51	See site plan for location of temporary improvements.
52	See site plan for location of temporary improvements.
53	See site plan for location of temporary improvements.
54	See site plan for location of temporary improvements.
55	See site plan for location of temporary improvements.
56	See site plan for location of temporary improvements.
57	See site plan for location of temporary improvements.
58	See site plan for location of temporary improvements.
59	See site plan for location of temporary improvements.
60	See site plan for location of temporary improvements.
61	See site plan for location of temporary improvements.
62	See site plan for location of temporary improvements.
63	See site plan for location of temporary improvements.
64	See site plan for location of temporary improvements.
65	See site plan for location of temporary improvements.
66	See site plan for location of temporary improvements.
67	See site plan for location of temporary improvements.
68	See site plan for location of temporary improvements.
69	See site plan for location of temporary improvements.
70	See site plan for location of temporary improvements.
71	See site plan for location of temporary improvements.
72	See site plan for location of temporary improvements.
73	See site plan for location of temporary improvements.
74	See site plan for location of temporary improvements.
75	See site plan for location of temporary improvements.
76	See site plan for location of temporary improvements.
77	See site plan for location of temporary improvements.
78	See site plan for location of temporary improvements.
79	See site plan for location of temporary improvements.
80	See site plan for location of temporary improvements.

Note:  
Prior to the February 21, 2014 meeting,  
8878 Cliffridge Avenue had been approved  
with the following conditions:



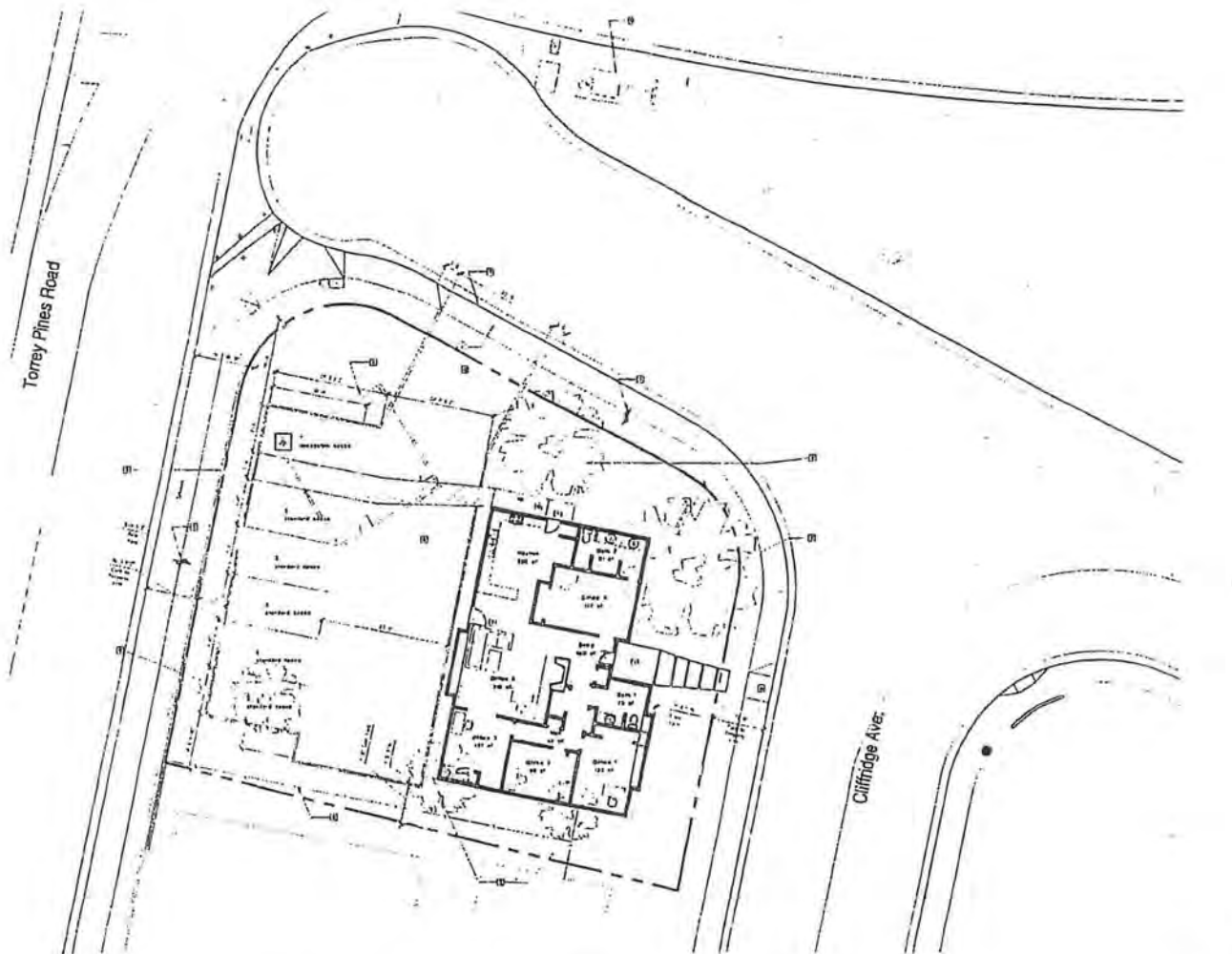
Hillel  
of San Diego  
San Diego, California

Phase 1:  
8878 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Village Way,  
La Jolla Village Drive  
and La Jolla County Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION  
Phase 1:  
Alternative "1"  
Parking Plan

Attachment 10a  
City Manager's Report No. 05-193  
Page 31 of 80



**1 Phase 1: Parking Alternative 2 (If Phase 2 Development of Site 653, for Hillel, is not approved)**

**Notes:**

**Parking Alternative 1:** Provide 8 parking spaces in the abandoned cul-de-sac. This alternative involves the construction of a temporary sidewalk and parking improvements in the abandoned cul-de-sac/right of way, if the abandonment is approved as part of the Site 653 Project. This alternative assumes that Hillel's application for the Site 653 Site Development Permit and application for abandonment of right of way/cul-de-sac will be approved.

**Parking Alternative 2:** This alternative provides for satisfying the parking requirements on site. This alternative provides for demolition of the existing garage at the House and construction of 8 parking spaces on the site of the House Project as depicted on site plan Sheet A2.1, submitted herewith. We would propose that this alternative be required only if the Site 653 application and corresponding right of way abandonment is denied.

© 2024, M.W. Stone Group, Inc. All drawings and specifications are property of the architect and shall not be reproduced in any manner without expressed written permission from M.W. Stone Group, Inc.

Hillel of San Diego  
Street Vacation  
Right of Way Dedication  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

Site Plan Notes	
1	See Note 1 on Sheet A2.1
2	See Note 2 on Sheet A2.1
3	See Note 3 on Sheet A2.1
4	See Note 4 on Sheet A2.1
5	See Note 5 on Sheet A2.1
6	See Note 6 on Sheet A2.1
7	See Note 7 on Sheet A2.1
8	See Note 8 on Sheet A2.1
9	See Note 9 on Sheet A2.1
10	See Note 10 on Sheet A2.1
11	See Note 11 on Sheet A2.1
12	See Note 12 on Sheet A2.1
13	See Note 13 on Sheet A2.1
14	See Note 14 on Sheet A2.1
15	See Note 15 on Sheet A2.1
16	See Note 16 on Sheet A2.1
17	See Note 17 on Sheet A2.1
18	See Note 18 on Sheet A2.1
19	See Note 19 on Sheet A2.1
20	See Note 20 on Sheet A2.1
21	See Note 21 on Sheet A2.1
22	See Note 22 on Sheet A2.1
23	See Note 23 on Sheet A2.1
24	See Note 24 on Sheet A2.1
25	See Note 25 on Sheet A2.1
26	See Note 26 on Sheet A2.1
27	See Note 27 on Sheet A2.1
28	See Note 28 on Sheet A2.1
29	See Note 29 on Sheet A2.1
30	See Note 30 on Sheet A2.1
31	See Note 31 on Sheet A2.1
32	See Note 32 on Sheet A2.1
33	See Note 33 on Sheet A2.1
34	See Note 34 on Sheet A2.1
35	See Note 35 on Sheet A2.1
36	See Note 36 on Sheet A2.1
37	See Note 37 on Sheet A2.1
38	See Note 38 on Sheet A2.1
39	See Note 39 on Sheet A2.1
40	See Note 40 on Sheet A2.1
41	See Note 41 on Sheet A2.1
42	See Note 42 on Sheet A2.1
43	See Note 43 on Sheet A2.1
44	See Note 44 on Sheet A2.1
45	See Note 45 on Sheet A2.1
46	See Note 46 on Sheet A2.1
47	See Note 47 on Sheet A2.1
48	See Note 48 on Sheet A2.1
49	See Note 49 on Sheet A2.1
50	See Note 50 on Sheet A2.1
51	See Note 51 on Sheet A2.1
52	See Note 52 on Sheet A2.1
53	See Note 53 on Sheet A2.1
54	See Note 54 on Sheet A2.1
55	See Note 55 on Sheet A2.1
56	See Note 56 on Sheet A2.1
57	See Note 57 on Sheet A2.1
58	See Note 58 on Sheet A2.1
59	See Note 59 on Sheet A2.1
60	See Note 60 on Sheet A2.1
61	See Note 61 on Sheet A2.1
62	See Note 62 on Sheet A2.1
63	See Note 63 on Sheet A2.1
64	See Note 64 on Sheet A2.1
65	See Note 65 on Sheet A2.1
66	See Note 66 on Sheet A2.1
67	See Note 67 on Sheet A2.1
68	See Note 68 on Sheet A2.1
69	See Note 69 on Sheet A2.1
70	See Note 70 on Sheet A2.1
71	See Note 71 on Sheet A2.1
72	See Note 72 on Sheet A2.1
73	See Note 73 on Sheet A2.1
74	See Note 74 on Sheet A2.1
75	See Note 75 on Sheet A2.1
76	See Note 76 on Sheet A2.1
77	See Note 77 on Sheet A2.1
78	See Note 78 on Sheet A2.1
79	See Note 79 on Sheet A2.1
80	See Note 80 on Sheet A2.1
81	See Note 81 on Sheet A2.1
82	See Note 82 on Sheet A2.1
83	See Note 83 on Sheet A2.1
84	See Note 84 on Sheet A2.1
85	See Note 85 on Sheet A2.1
86	See Note 86 on Sheet A2.1
87	See Note 87 on Sheet A2.1
88	See Note 88 on Sheet A2.1
89	See Note 89 on Sheet A2.1
90	See Note 90 on Sheet A2.1
91	See Note 91 on Sheet A2.1
92	See Note 92 on Sheet A2.1
93	See Note 93 on Sheet A2.1
94	See Note 94 on Sheet A2.1
95	See Note 95 on Sheet A2.1
96	See Note 96 on Sheet A2.1
97	See Note 97 on Sheet A2.1
98	See Note 98 on Sheet A2.1
99	See Note 99 on Sheet A2.1
100	See Note 100 on Sheet A2.1

Notes:  
Prior to the February 24, 2024 meeting,  
6575 Cliffridge Avenue had been identified  
with the following revision schedule:



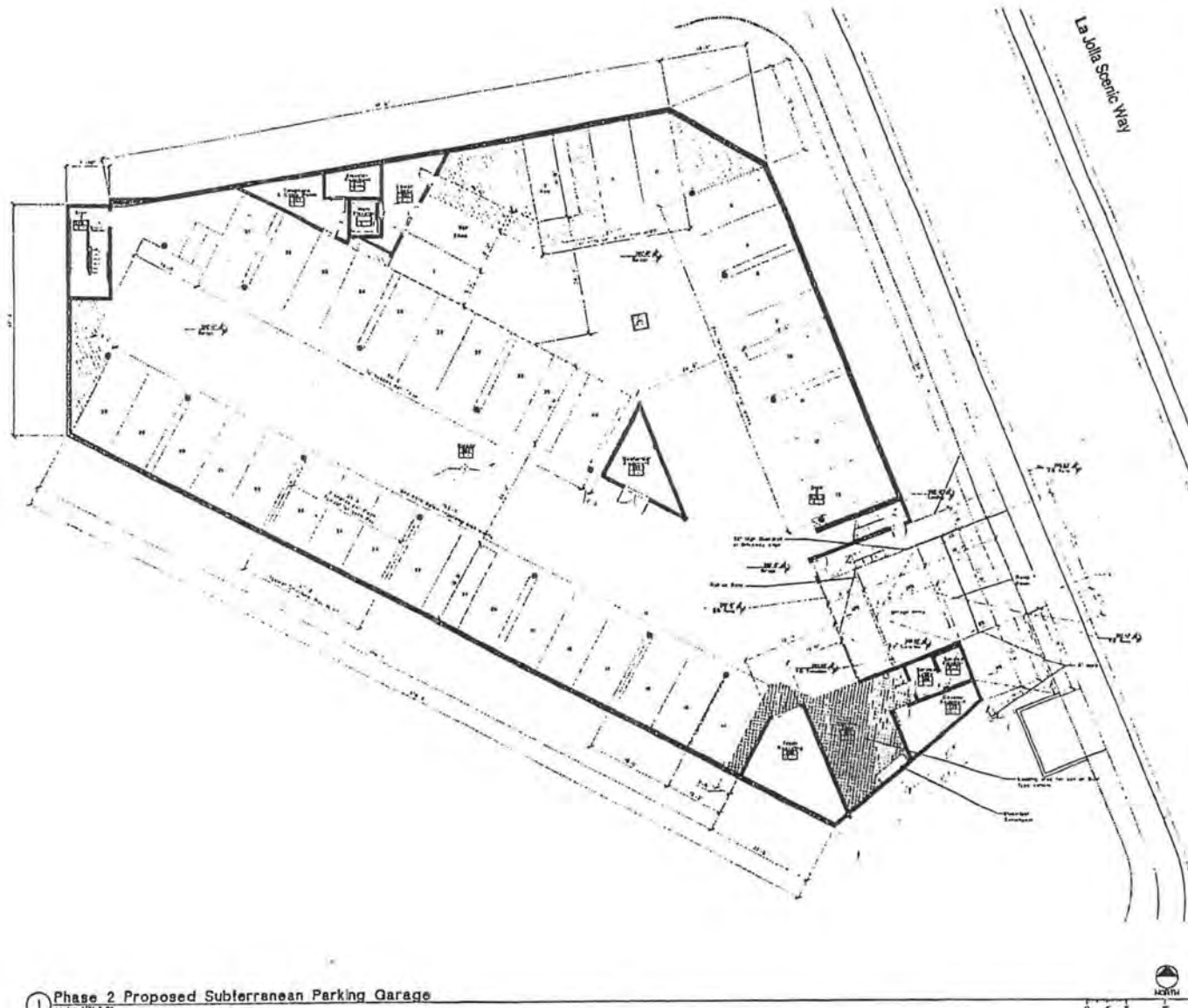
Hillel  
of San Diego  
San Diego, California

Phase 1:  
8875 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Village Way,  
La Jolla Village Drive,  
and La Jolla Village Drive  
La Jolla, California 92037

Street Vacation	
1	See Note 1 on Sheet A2.1
2	See Note 2 on Sheet A2.1
3	See Note 3 on Sheet A2.1
4	See Note 4 on Sheet A2.1
5	See Note 5 on Sheet A2.1
6	See Note 6 on Sheet A2.1
7	See Note 7 on Sheet A2.1
8	See Note 8 on Sheet A2.1
9	See Note 9 on Sheet A2.1
10	See Note 10 on Sheet A2.1
11	See Note 11 on Sheet A2.1
12	See Note 12 on Sheet A2.1
13	See Note 13 on Sheet A2.1
14	See Note 14 on Sheet A2.1
15	See Note 15 on Sheet A2.1
16	See Note 16 on Sheet A2.1
17	See Note 17 on Sheet A2.1
18	See Note 18 on Sheet A2.1
19	See Note 19 on Sheet A2.1
20	See Note 20 on Sheet A2.1
21	See Note 21 on Sheet A2.1
22	See Note 22 on Sheet A2.1
23	See Note 23 on Sheet A2.1
24	See Note 24 on Sheet A2.1
25	See Note 25 on Sheet A2.1
26	See Note 26 on Sheet A2.1
27	See Note 27 on Sheet A2.1
28	See Note 28 on Sheet A2.1
29	See Note 29 on Sheet A2.1
30	See Note 30 on Sheet A2.1
31	See Note 31 on Sheet A2.1
32	See Note 32 on Sheet A2.1
33	See Note 33 on Sheet A2.1
34	See Note 34 on Sheet A2.1
35	See Note 35 on Sheet A2.1
36	See Note 36 on Sheet A2.1
37	See Note 37 on Sheet A2.1
38	See Note 38 on Sheet A2.1
39	See Note 39 on Sheet A2.1
40	See Note 40 on Sheet A2.1
41	See Note 41 on Sheet A2.1
42	See Note 42 on Sheet A2.1
43	See Note 43 on Sheet A2.1
44	See Note 44 on Sheet A2.1
45	See Note 45 on Sheet A2.1
46	See Note 46 on Sheet A2.1
47	See Note 47 on Sheet A2.1
48	See Note 48 on Sheet A2.1
49	See Note 49 on Sheet A2.1
50	See Note 50 on Sheet A2.1
51	See Note 51 on Sheet A2.1
52	See Note 52 on Sheet A2.1
53	See Note 53 on Sheet A2.1
54	See Note 54 on Sheet A2.1
55	See Note 55 on Sheet A2.1
56	See Note 56 on Sheet A2.1
57	See Note 57 on Sheet A2.1
58	See Note 58 on Sheet A2.1
59	See Note 59 on Sheet A2.1
60	See Note 60 on Sheet A2.1
61	See Note 61 on Sheet A2.1
62	See Note 62 on Sheet A2.1
63	See Note 63 on Sheet A2.1
64	See Note 64 on Sheet A2.1
65	See Note 65 on Sheet A2.1
66	See Note 66 on Sheet A2.1
67	See Note 67 on Sheet A2.1
68	See Note 68 on Sheet A2.1
69	See Note 69 on Sheet A2.1
70	See Note 70 on Sheet A2.1
71	See Note 71 on Sheet A2.1
72	See Note 72 on Sheet A2.1
73	See Note 73 on Sheet A2.1
74	See Note 74 on Sheet A2.1
75	See Note 75 on Sheet A2.1
76	See Note 76 on Sheet A2.1
77	See Note 77 on Sheet A2.1
78	See Note 78 on Sheet A2.1
79	See Note 79 on Sheet A2.1
80	See Note 80 on Sheet A2.1
81	See Note 81 on Sheet A2.1
82	See Note 82 on Sheet A2.1
83	See Note 83 on Sheet A2.1
84	See Note 84 on Sheet A2.1
85	See Note 85 on Sheet A2.1
86	See Note 86 on Sheet A2.1
87	See Note 87 on Sheet A2.1
88	See Note 88 on Sheet A2.1
89	See Note 89 on Sheet A2.1
90	See Note 90 on Sheet A2.1
91	See Note 91 on Sheet A2.1
92	See Note 92 on Sheet A2.1
93	See Note 93 on Sheet A2.1
94	See Note 94 on Sheet A2.1
95	See Note 95 on Sheet A2.1
96	See Note 96 on Sheet A2.1
97	See Note 97 on Sheet A2.1
98	See Note 98 on Sheet A2.1
99	See Note 99 on Sheet A2.1
100	See Note 100 on Sheet A2.1

Attachment 10a  
Drawing 7  
Report No. 05-193  
Page 32 of 80



① Phase 2 Proposed Subterranean Parking Garage  
Scale: 1/8"=1'-0"

© 2005, M.W. Steele Group, Inc. All drawings and specifications are property of the publisher and shall not be reproduced in any manner without prior written permission from M.W. Steele Group, Inc.

Street Vacator  
Right of Way C  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

TOP SURVEY	
1. The proposed structure is shown on the site plan.	
2. The proposed structure is shown on the site plan.	
3. The proposed structure is shown on the site plan.	
4. The proposed structure is shown on the site plan.	
5. The proposed structure is shown on the site plan.	
6. The proposed structure is shown on the site plan.	
7. The proposed structure is shown on the site plan.	
8. The proposed structure is shown on the site plan.	
9. The proposed structure is shown on the site plan.	
10. The proposed structure is shown on the site plan.	
Garage Areas	
1. The proposed structure is shown on the site plan.	
2. The proposed structure is shown on the site plan.	
3. The proposed structure is shown on the site plan.	
4. The proposed structure is shown on the site plan.	
5. The proposed structure is shown on the site plan.	
6. The proposed structure is shown on the site plan.	
7. The proposed structure is shown on the site plan.	
8. The proposed structure is shown on the site plan.	
9. The proposed structure is shown on the site plan.	
10. The proposed structure is shown on the site plan.	

Notes:  
Prior to the February 24, 2004 revision, 8574 Chabotte Avenue had been identified with the following revision schedule:

**M.W. STEELE**

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8574 Chabotte Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

## 468

Attachment 10a  
 Report No. 05-193  
 Page 34 of 80

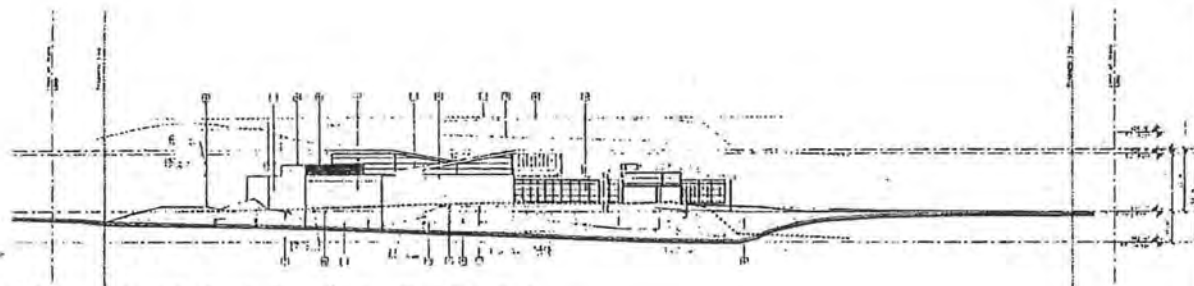


**M.W. STEELE**  
 Director of Research  
 and Development  
 General Motors  
 Warren, Michigan

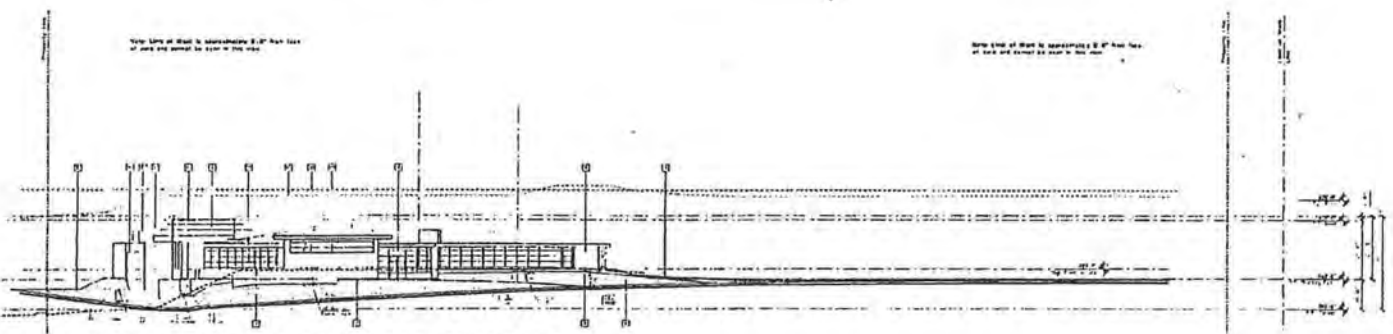
Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

© 2009, M W Studio Group, Inc. All designs and specifications are property of the artist and shall not be reproduced in any manner without expressed written permission from M W Studio Group, Inc.

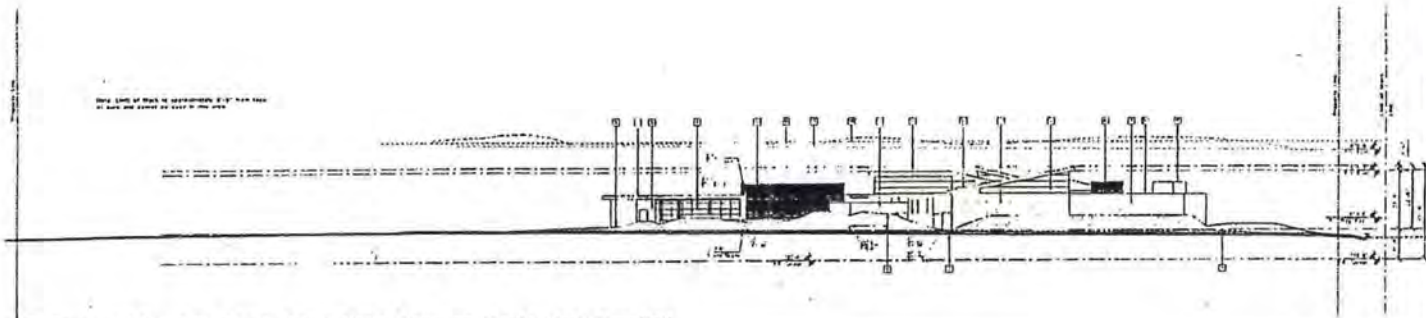




3 Proposed La Jolla Scenic Way Elevation (East Elevation)



2 Proposed La Jolla Village Drive Elevation (North Elevation)



1 Proposed La Jolla Scenic Drive North Elevation (South West Elevation)

Legend	Notes
1. Proposed Building	
2. Existing Building	
3. Proposed Parking	
4. Proposed Landscape	
5. Proposed Street	
6. Proposed Sidewalk	
7. Proposed Bicycle Lane	
8. Proposed Storm Drain	
9. Proposed Utility	
10. Proposed Tree	
11. Proposed Sign	
12. Proposed Light Pole	
13. Proposed Street Light	
14. Proposed Storm Drain	
15. Proposed Utility	
16. Proposed Tree	
17. Proposed Sign	
18. Proposed Light Pole	
19. Proposed Street Light	
20. Proposed Storm Drain	
21. Proposed Utility	
22. Proposed Tree	
23. Proposed Sign	
24. Proposed Light Pole	
25. Proposed Street Light	
26. Proposed Storm Drain	
27. Proposed Utility	
28. Proposed Tree	
29. Proposed Sign	
30. Proposed Light Pole	
31. Proposed Street Light	
32. Proposed Storm Drain	
33. Proposed Utility	
34. Proposed Tree	
35. Proposed Sign	
36. Proposed Light Pole	
37. Proposed Street Light	
38. Proposed Storm Drain	
39. Proposed Utility	
40. Proposed Tree	
41. Proposed Sign	
42. Proposed Light Pole	
43. Proposed Street Light	
44. Proposed Storm Drain	
45. Proposed Utility	
46. Proposed Tree	
47. Proposed Sign	
48. Proposed Light Pole	
49. Proposed Street Light	
50. Proposed Storm Drain	
51. Proposed Utility	
52. Proposed Tree	
53. Proposed Sign	
54. Proposed Light Pole	
55. Proposed Street Light	
56. Proposed Storm Drain	
57. Proposed Utility	
58. Proposed Tree	
59. Proposed Sign	
60. Proposed Light Pole	
61. Proposed Street Light	
62. Proposed Storm Drain	
63. Proposed Utility	
64. Proposed Tree	
65. Proposed Sign	
66. Proposed Light Pole	
67. Proposed Street Light	
68. Proposed Storm Drain	
69. Proposed Utility	
70. Proposed Tree	
71. Proposed Sign	
72. Proposed Light Pole	
73. Proposed Street Light	
74. Proposed Storm Drain	
75. Proposed Utility	
76. Proposed Tree	
77. Proposed Sign	
78. Proposed Light Pole	
79. Proposed Street Light	
80. Proposed Storm Drain	
81. Proposed Utility	
82. Proposed Tree	
83. Proposed Sign	
84. Proposed Light Pole	
85. Proposed Street Light	
86. Proposed Storm Drain	
87. Proposed Utility	
88. Proposed Tree	
89. Proposed Sign	
90. Proposed Light Pole	
91. Proposed Street Light	
92. Proposed Storm Drain	
93. Proposed Utility	
94. Proposed Tree	
95. Proposed Sign	
96. Proposed Light Pole	
97. Proposed Street Light	
98. Proposed Storm Drain	
99. Proposed Utility	
100. Proposed Tree	

Street Vacation  
Right of Way Dedication  
Planned Development Permit  
La Jolla Shores Site Development Permit  
Change of Use Permit

Item	Description
1	Proposed Building
2	Existing Building
3	Proposed Parking
4	Proposed Landscape
5	Proposed Street
6	Proposed Sidewalk
7	Proposed Bicycle Lane
8	Proposed Storm Drain
9	Proposed Utility
10	Proposed Tree
11	Proposed Sign
12	Proposed Light Pole
13	Proposed Street Light
14	Proposed Storm Drain
15	Proposed Utility
16	Proposed Tree
17	Proposed Sign
18	Proposed Light Pole
19	Proposed Street Light
20	Proposed Storm Drain
21	Proposed Utility
22	Proposed Tree
23	Proposed Sign
24	Proposed Light Pole
25	Proposed Street Light
26	Proposed Storm Drain
27	Proposed Utility
28	Proposed Tree
29	Proposed Sign
30	Proposed Light Pole
31	Proposed Street Light
32	Proposed Storm Drain
33	Proposed Utility
34	Proposed Tree
35	Proposed Sign
36	Proposed Light Pole
37	Proposed Street Light
38	Proposed Storm Drain
39	Proposed Utility
40	Proposed Tree
41	Proposed Sign
42	Proposed Light Pole
43	Proposed Street Light
44	Proposed Storm Drain
45	Proposed Utility
46	Proposed Tree
47	Proposed Sign
48	Proposed Light Pole
49	Proposed Street Light
50	Proposed Storm Drain
51	Proposed Utility
52	Proposed Tree
53	Proposed Sign
54	Proposed Light Pole
55	Proposed Street Light
56	Proposed Storm Drain
57	Proposed Utility
58	Proposed Tree
59	Proposed Sign
60	Proposed Light Pole
61	Proposed Street Light
62	Proposed Storm Drain
63	Proposed Utility
64	Proposed Tree
65	Proposed Sign
66	Proposed Light Pole
67	Proposed Street Light
68	Proposed Storm Drain
69	Proposed Utility
70	Proposed Tree
71	Proposed Sign
72	Proposed Light Pole
73	Proposed Street Light
74	Proposed Storm Drain
75	Proposed Utility
76	Proposed Tree
77	Proposed Sign
78	Proposed Light Pole
79	Proposed Street Light
80	Proposed Storm Drain
81	Proposed Utility
82	Proposed Tree
83	Proposed Sign
84	Proposed Light Pole
85	Proposed Street Light
86	Proposed Storm Drain
87	Proposed Utility
88	Proposed Tree
89	Proposed Sign
90	Proposed Light Pole
91	Proposed Street Light
92	Proposed Storm Drain
93	Proposed Utility
94	Proposed Tree
95	Proposed Sign
96	Proposed Light Pole
97	Proposed Street Light
98	Proposed Storm Drain
99	Proposed Utility
100	Proposed Tree

Notes:  
Prior to the February 21, 2024 resubmission,  
8876 Chalmers Avenue had been submitted  
with the following revision schedule:

Revision	Description
1	W. M. Smith
2	W. M. Smith
3	W. M. Smith



Hillel  
of San Diego  
San Diego, California

Phase 1:  
8876 Chalmers Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

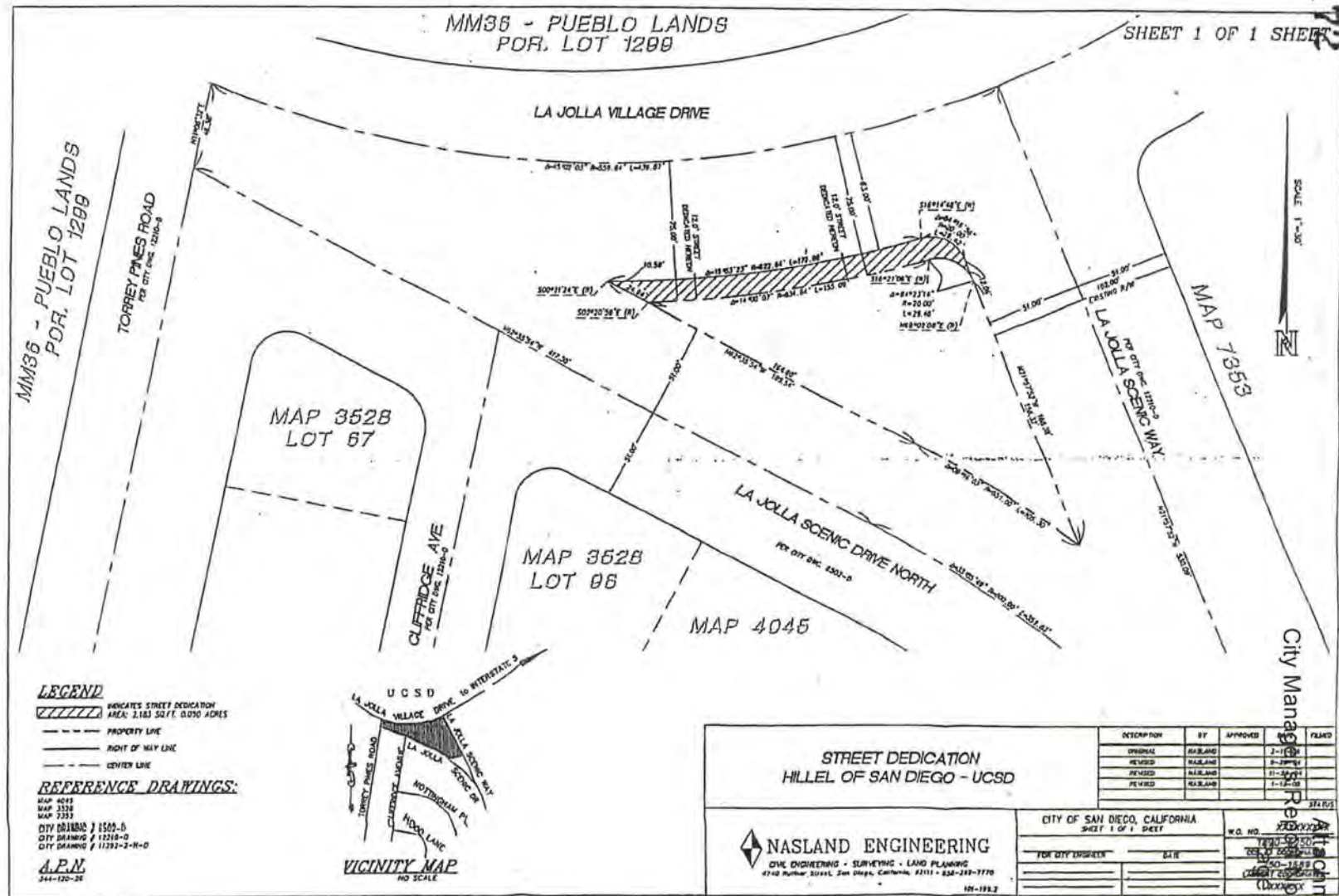
Street Vacation  
Planned Development Permit  
La Jolla Shores Site  
Development Permit  
Right of Way Dedication

Revision 1: W. M. Smith  
Revision 2: W. M. Smith  
Revision 3: W. M. Smith  
Revision 4: W. M. Smith  
Revision 5: W. M. Smith  
Revision 6: W. M. Smith  
Revision 7: W. M. Smith  
Revision 8: W. M. Smith  
Revision 9: W. M. Smith  
Revision 10: W. M. Smith

Phase 2:  
Proposed  
Elevations

Attachment 10a  
Wagers Report No. 05-193  
Page 36 of 80





SCALE 1"=50'



City Manager  
 05-193  
 38 of 80

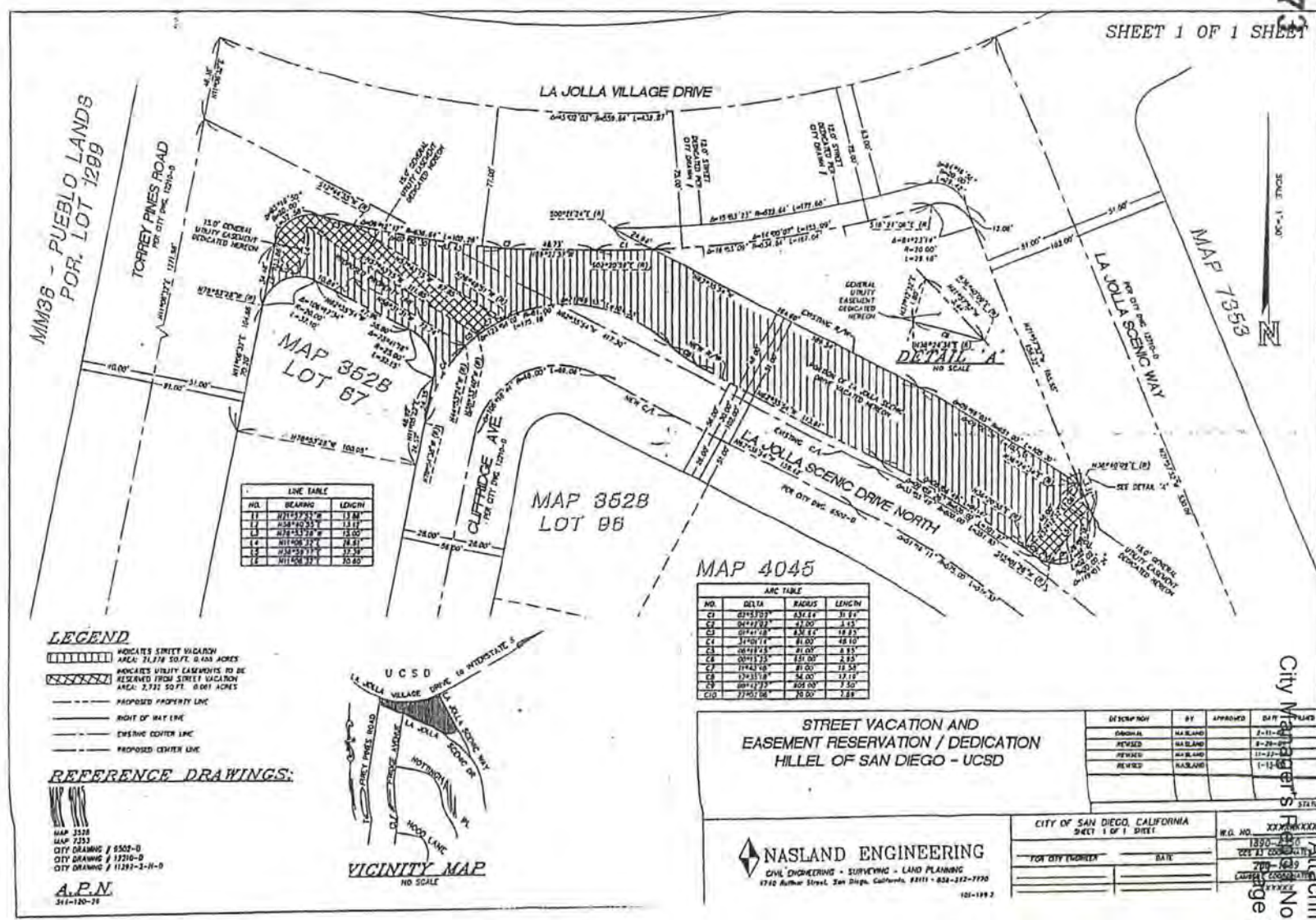
DESCRIPTION	BY	APPROVED	FILED
DESIGNED	NASLAND	J. H. HARRIS	
REVISED	NASLAND	J. H. HARRIS	
REVISED	NASLAND	J. H. HARRIS	
REVISED	NASLAND	J. H. HARRIS	

**STREET DEDICATION**  
**HILLESIDE OF SAN DIEGO - UCSD**

**NASLAND ENGINEERING**  
 CIVIL ENGINEERING • SURVEYING • LAND PLANNING  
 4740 Ruffalo Street, San Diego, California 92111 • 619-232-7770

CITY OF SAN DIEGO, CALIFORNIA  
 SHEET 1 OF 1 SHEET

FOR CITY ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_



LINE TABLE

NO.	BEARING	LENGTH
1	N 75° 15' 00" E	11.81
2	S 75° 15' 00" E	11.81
3	N 75° 15' 00" E	11.81
4	S 75° 15' 00" E	11.81
5	N 75° 15' 00" E	11.81
6	S 75° 15' 00" E	11.81

ARC TABLE

NO.	DELTA	RADIUS	LENGTH
C1	0° 00' 00"	0.00	0.00
C2	0° 00' 00"	0.00	0.00
C3	0° 00' 00"	0.00	0.00
C4	0° 00' 00"	0.00	0.00
C5	0° 00' 00"	0.00	0.00
C6	0° 00' 00"	0.00	0.00
C7	0° 00' 00"	0.00	0.00
C8	0° 00' 00"	0.00	0.00
C9	0° 00' 00"	0.00	0.00
C10	0° 00' 00"	0.00	0.00

- LEGEND**
- INDICATES STREET VACATION AREA: 24.78 SQ. FT. 0.000 ACRES
  - INDICATES UTILITY EASEMENTS TO BE RESERVED FROM STREET VACATION AREA: 2.732 SQ. FT. 0.001 ACRES
  - PROPOSED PROPERTY LINE
  - RIGHT OF WAY LINE
  - EXISTING CENTER LINE
  - PROPOSED CENTER LINE

**REFERENCE DRAWINGS:**

- MAP 3528
- MAP 7353
- CITY DRAWING / 5502-D
- CITY DRAWING / 13210-D
- CITY DRAWING / 11291-2-H-D

**A.P.N.**  
314-130-28

**STREET VACATION AND EASEMENT RESERVATION / DEDICATION**  
**HILLET OF SAN DIEGO - UCSD**

DESCRIPTION	BY	APPROVED	DATE	STATUS
ORIGINAL	NASLAND		7-11-88	
REVISED	NASLAND		8-28-88	
REVISED	NASLAND		11-22-88	
REVISED	NASLAND		1-12-89	

**NASLAND ENGINEERING**  
CIVIL ENGINEERING - SURVEYING - LAND PLANNING  
1740 Arthur Street, San Diego, California 92111 • 858-312-7770  
102-199-2

CITY OF SAN DIEGO, CALIFORNIA SHEET 1 OF 1 SHEET		W.D. NO.	1890-XXXXXX
FOR CITY ENGINEER	DATE		

RECORDING REQUESTED BY  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

CITY CLERK  
 MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-1438

PLANNED DEVELOPMENT PERMIT NO. 158095  
 SITE DEVELOPMENT PERMIT NO. 158094  
 LOT LINE ADJUSTMENT PARCEL MAP NO. 188004  
**HILLEL OF SAN DIEGO (MMRP) - PROJECT NO. 6098**  
 CITY COUNCIL

This Planned Development Permit No. 158095 and Site Development Permit No. 158094, is granted by the City Council of the City of San Diego to ROBERT MARSHALL, an Individual, Owner, and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase I) and CITY OF SAN DIEGO, a Municipal Corporation, Owner, and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase II), pursuant to San Diego Municipal Code [SDMC] Sections 126.0601, 126.0501 and 103.0300. The 8,882 (post-lot-line adjustment) square-foot Phase I site located at 8976 Cliffridge Avenue and the 33,518 (23,518 square-feet developable) square-foot Phase II site is within the triangular area known as Site 653 bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North in the SF (single-family) zone of the La Jolla Shores Planned District, Coastal Height Limit and Parking Impact Overlay (Campus Impact Area), all within the boundaries of the La Jolla Community Plan. The project site is legally described as: Phase I: Lot 67, La Jolla Highlands, Unit No. 3, Map No. 3528; and Phase II: A Portion of Lot 1299, Pueblo Lands, Miscellaneous Map No. 36.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners and Permittees to continue to use an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement and to develop a triangular shaped parcel with a 12,000 square-foot Jewish student religious center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement, described and identified by size, dimension, quantity, type, and location on the approved exhibits, dated September 27, 2005, on file in the Development Services Department.

The project or facility shall include:

- a. Phase I: Continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy; and

Phase II: The development of a two-level Jewish student religious center consisting of an upper level main floor plan use are of 12,000 square-feet and a lower subterranean garage of 17,000 square-feet for the parking of 40 vehicles, trash enclosures and elevators; and

- b. A Lot-line Adjustment Parcel Map for the vacated right-of-way of La Jolla Scenic Drive North between Phase I and Phase II to assure sufficient right-of-way for continued access to the required off-street parking when the Phase I terminates and the structure reverts to residential use.
- c. Landscaping (planting, irrigation and landscape related improvements) with existing landscaping at the residence at 8976 Cliffridge Avenue to be maintained, the 23,518 square-foot Hillel center to be landscaped and maintained in accord with the approved Exhibit 'A' Landscape Plan subject to the conditions contained herein, and the required public benefit 10,000 square-foot area between the Phase I and II sites; and
- d. Off-street parking facilities to be maintained on both the Phase I and II sites as conditioned herein, and the requirement for off-site parking required for the use and events associated with Phase II; and
- e. Fencing, walls, decorative site features and signage; and
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

#### **STANDARD REQUIREMENTS:**

1. Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder

3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
4. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the Development Services Department. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.  
  
In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
10. This Permit may be utilized in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase (per the approved exhibits, dated September 27, 2005).

11. At all bus stops within the project area, if any, the applicant shall be responsible for installing sidewalk improvements where needed to comply with Americans with Disability Act (ADA) requirements and in accordance with standards contained in the City of San Diego Street Design Manual.
12. The Phase I continued use of the residentially constructed house at 8976 Cliffridge Avenue for religious purposes shall continue, subject to the applicable conditions of this permit, until Phase II is completed and ready for occupancy. As Phase II is utilized for Hillel purposes, Phase I shall terminate and the owner of the residence will convert the use of the site back to single-family residential. Should the owner desire to utilize the residence and property for some other use permitted by the SF zone of the La Jolla Shores Planned District, the owner shall apply for a separate Site Development Permit.

#### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

13. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.
14. As conditions of this Planned Development Permit No. 158095 and Site Development Permit No. 158094, the mitigation measures specified in the MMRP, and outlined in the ENVIRONMENTAL IMPACT REPORT NO. 6098, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.
15. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in the ENVIRONMENTAL IMPACT REPORT NO. 6098 satisfactory to the City Manager and City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

#### **Paleontological Resources and Parking**

16. Prior to issuance of any construction permit, the applicant shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.
17. A Job Order number open to the Land Development Review Division of the Development Services Department shall be required to cover the Land Development Review Division's cost associated with the implementation of the MMRP.

#### **ENGINEERING REQUIREMENTS:**

18. Prior to building occupancy, the applicant shall conform to Section 62.0203 of the Municipal Code, "Public Improvement Subject to Desuetude or Damage." If repair or replacement of such public improvements is required, the owner shall obtain the required permits for work in the public right-of-way, satisfactory to the permit-issuing authority.

19. The drainage system proposed for this development, as shown on the approved plans, is subject to approval by the City Engineer.
20. Prior to the issuance of any building permits, the applicant shall obtain a bonded grading permit from the City Engineer for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the installation of sidewalk on La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North along the property frontage, new curb, gutter and sidewalk along the vacated area at Cliffridge Avenue and La Jolla Scenic Drive North, a connection to the City storm drain in La Jolla Scenic Way, 3 sidewalk underdrains (one in each adjacent street), a pedestrian ramp at La Jolla Village Drive and La Jolla Scenic Way and a <sup>22</sup>24-foot driveway on La Jolla Scenic Way, all satisfactory to the City Engineer.
22. Prior to the issuance of any construction permits, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.
24. Prior to the issuance of any construction permits, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
25. Prior to the issuance of any building permits, the applicant shall process the street vacation and dedication drawings and drawings for the easement reservations, all satisfactory to the City Engineer.
26. Prior to the issuance of any building permits, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for two (2) D-27 sidewalk underdrains (in La Jolla Village Drive and La Jolla Scenic Drive North) and a connection to the City drain system.

#### LANDSCAPE REQUIREMENTS:

27. No change, modification or alteration shall be made to the project unless appropriate application or amendment of this Permit shall have been granted by the City.
28. Prior to issuance of any grading permits or construction permits for structures, complete landscape construction documents, including planting plans, irrigation plans, details and notes, shall be submitted to the Development Services Department for approval. The plans shall be in substantial conformance to Exhibit "A", on file in the Office of the Development Services Department.
29. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit A Landscape Development Plan, on file in the Office of Development Services. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as landscaping area.

30. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage and prior to issuance of a Certificate of Occupancy.

32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

33. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A No Fee Street Tree Permit shall be obtained for the installation, establishment and on-going maintenance of all street trees.

#### **TRANSPORTATION REQUIREMENTS:**

34. The project shall provide an additional <sup>68</sup>~~27~~ off-site parking spaces through a shared parking agreement(s) for Hillel's weekly Shabbat services. The <sup>67</sup>~~27~~ parking spaces shall be available from 1 hour prior to the event until 1 hour after each Shabbat Service.

35. The project shall provide an additional 75 off-site parking spaces through a shared parking agreement(s) for Hillel's special events. The 75 parking spaces shall be available from 1 hour prior to the event until 1 hour after each event.

36. Prior to the issuance of the first building permit, a shared parking agreement shall be provided between Hillel and the off-site parking provider(s) for the required off-site parking spaces, satisfactory to the City of San Diego.

37. Hillel shall provide a shuttle service between the off-site parking location(s) and the Hillel facility for both weekly Friday Shabbat services and the occasional special events. If the off-site location is within 600-feet of the Hillel site, no shuttle service will be required.

38. During Shabbat services and special events, signs shall be placed and maintained in front of the project clearly indicating available parking spaces at the off-site location(s).

39. During Shabbat services and special events, signs shall be placed and maintained at the entrance of the off-site parking location(s) clearly indicating that parking spaces are available for Hillel.

40. No fewer than 6 temporary parking spaces shall be constructed in the vacated/abandoned portion of La Jolla Scenic Drive North right-of-way (as shown on Exhibit "A") for the use of the 8976 Cliffridge Avenue site (Phase I). These temporary parking spaces shall be removed and the area restored upon the completion of the project at Site 653 (Phase II).
41. No fewer than 6 on-site parking spaces shall be maintained on 8976 Cliffridge Avenue (Phase I) in the event that the Hillel project is not constructed on Site 653 (Phase II) in the approximate locations shown on the approved Exhibit "A", on the file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.
42. No landscaping and/or hardscaping more than 30-inches in height shall be placed in the visibility triangle as shown on Exhibit "A".
43. Prior to the issuance of the first building permit, applicant shall assure by permit and bond, construction of new pedestrian curb ramps at the intersections of La Jolla Village Drive / La Jolla Scenic Way and Torrey Pines Road / La Jolla Village Drive, satisfactory to the City Engineer.
44. Prior to the issuance of the first building permit, applicant shall assure by permit and bond, reconstruction of La Jolla Scenic Drive north along its frontage between La Jolla Scenic Way and Cliffridge Avenue to provide 34 feet of pavement, curb, gutter and sidewalk, with 12 feet curb to property line distance, satisfactory to the City Engineer.
45. The stop sign will remain on Cliffridge Avenue at its intersection with La Jolla Scenic Drive North. A curve warning sign on westbound La Jolla Scenic Drive North in advance of its intersection with Cliffridge Avenue shall be installed satisfactory to the City Engineer.
46. Prior to the issuance of the first building permit, applicant shall assure by permit and bond installation of curve warning signs in advance of the intersection of Cliffridge Avenue / La Jolla Scenic Drive North, satisfactory to the City Engineer.
47. The applicant is required to install a pedestrian ramp on the west side of the intersection of La Jolla Scenic Drive North and Cliffridge Avenue prior to the issuance of the first building permit.
48. Prior to the issuance of the first building permit, applicant shall assure by permit and bond installation of double yellow center line along the curve on Cliffridge Avenue and La Jolla Scenic Drive North, satisfactory to the City Engineer.
49. Prior to the issuance of the first building permit, applicant shall dedicate approximately 5-feet along project frontage on La Jolla Village Drive (as shown on Exhibit "A") and shall assure by permit and bond, reconstruction of curb, gutter, contiguous and non-contiguous sidewalk, with 22-feet curb-to-property line distance, satisfactory to the City Engineer.
50. Prior to the issuance of the first building permit, applicant shall assure by permit and bond construction of a 10-foot wide pedestrian/bicycle path between La Jolla Scenic Drive North and Torrey Pines Road, satisfactory to the City Engineer.

51. The gate to the subterranean garage shall be monitored by Hillel's staff during all gatherings.
52. Prior to the issuance of the first building permit, the applicant must submit a Transportation Demand Management (TDM) Plan. The TDM Plan shall include the following:
- a) Provide staff at both Hillel facility and the off-site location to monitor parking for occasional special events.
  - b) Publicize the availability of off-site parking and transportation prior to the occasional special events.
  - c) Annual post-occupancy parking demand study shall be conducted by Hillel for Shabbat services and occasional special services for 3 years after the facility becomes operational, satisfactory to the City Engineer. If post occupancy study indicates need for additional off-site parking, then Hillel shall secure the additional needed parking spaces, satisfactory to the City of San Diego. If post occupancy study indicates that Hillel has no need for the required off-site parking spaces, then those spaces do not need to be provided. The parking demand study should also include an annual summary of the type and frequency of the events that take place at Hillel's facility. The parking demand study should also monitor the use of the on-street parking in the vicinity of the project and eliminate any adverse impact of the project on the on-street parking.
53. Prior to the expiration of the term of the shared parking agreement, Hillel shall provide a renewed shared parking agreement for the off-site parking requirement to the City of San Diego.

**PLANNING/DESIGN REQUIREMENTS:**

54. Hillel hours of operation shall be limited to 7:00 A.M. to 10:00 P.M. daily and events will be concluded by 10:00 P.M., allowing for 11:00 P.M. clean up and closing of the facility. Hillel may observe Jewish holidays, customs and ritual practices for High Holiday, Shavuot, Purim, Passover and other Jewish special observances provided that the above hours of operation shall observed and these occasional events shall comply with Condition No. 54 of this Permit.
55. Occasional events will be limited to no more than 12 in a calendar year. Occasional event parking demands will be met by the mitigation outlined in the traffic and parking study that is conditioned upon the project.
- 56. No fewer than 40 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A," on file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.
57. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance

from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

58. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

59. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

60. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

61. No building additions shall be permitted unless approved by the City Manager.

62. All signs associated with this development shall be consistent with sign criteria established by the La Jolla Shores Planned District Ordinance.

63. All outdoor lighting shall be adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

64. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

65. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

66. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," on file in the Development Services Department.

#### **LONG-RANGE PLANNING:**

67. The cul-de-sac area proposed for vacation shall be retained in perpetuity for public pedestrian and bicycle access. The area shall not be gated or otherwise obstructed to prevent free movement and public access. In addition, the project shall incorporate signage which identify this area as public access to the satisfaction of the City Planner.

**WASTEWATER REQUIREMENTS:**

68. Prior to issuance of any building permits, the developer shall assure, by permit and bond, the design and construction of realignment of the existing 8" public sewer main at the turn of La Jolla Scenic Drive North and Cliffridge Avenue in a fashion acceptable to the Metropolitan Wastewater Department Director.

69. Prior to issuance of any building permits, the developer shall prepare appropriate public improvement plans for the construction of realignment of the existing 8" sewer main at the turn of La Jolla Scenic Drive North and Cliffridge Avenue acceptable to the Metropolitan Wastewater Director, reviewed and approved by the Wastewater Plan Check Section.

70. Prior to the final inspection of any building permit, the developer shall have the construction of the realignment of the existing 8" sewer main at the turn of La Jolla Scenic Drive North and Cliffridge Avenue completed per approved plans and satisfactory to the wastewater Department Director and the City Engineer.

71. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be re-designed.

72. All proposed private sewer facilities that serve more than one lot are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Accordingly, improvement drawings and inspection by the Field Engineering Division will be required.

73. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

74. The project has a parking structure which is below grade, and it is in a zone where the Regional Water Quality Control Board (RWQCB) will not issue permits to discharge pumped ground water. Hence, the underground structure will shall be designed: a) water-tight with no sump pumps, b) to withstand any hydrostatic pressure that may result from surface water percolation or ground water, and c) for hydraulic uplift.

**WATER REQUIREMENTS:**

75. Prior to the issuance of the first foundation, building or grading permit, the Owner/Permittee shall cut, plug and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive North right-of-way to be vacated, from La Jolla Scenic Way to Torrey Pines Road, in a manner satisfactory to the Water Department Director and the City Engineer.

76. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of public 16-inch water facilities and the cut, plug and abandonment of the existing public 8-inch water facilities within the La Jolla Scenic Drive North right-of-way, from

La Jolla Scenic Way to Torrey Pines Road, and connect to the 16-inch mains all existing water services still in service adjacent to the project, in a manner satisfactory to the Water Department Director and the City Engineer.

77. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s), including domestic, fire and irrigation, and the disconnection at the mains of all existing unused water services adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

78. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permit(s) for the installation of private back flow prevention device(s) on all water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Water Department Director and the City Engineer. All backflow prevention devices shall be located above grade and outside of any private structures.

79. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall install and/or replace fire hydrants at locations satisfactory to the Fire Marshal, the Water Department Director and the City Engineer.

80. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall design and construct new public water facilities, into acceptable alignments and rights-of-way, in the event any public water facility in the vicinity of the project site loses integrity due to the construction and grading activities associated with this development, in a manner satisfactory to the Water Department Director and the City Engineer.

81. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall grant acceptable water easements over all public water facilities located outside of fully improved public rights-of-way, in a manner satisfactory to the Water Department Director and the City Engineer. Minimum water easement width, for exclusive use of public water mains with no appurtenances, shall be 15-feet-wide.

82. Prior to the first final inspection of any building permit for the Hillel of San Diego project, all public water facilities necessary to serve this development shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

83. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and easements, as shown on approved Exhibit "A," shall be modified at final engineering to comply with standards.

#### **MAPPING:**

84. A Lot-line Adjustment Parcel Map will be filed in conjunction with the vacation of the public right-of-way for that portion of La Jolla Scenic Drive North reverting to Lot 67, La Jolla Highlands Unit No. 3, map No. 3528 and the Portion of Lot 1299, Pueblo Lands, Misc. Map No. 36, for the benefit of

Lot 1299 but assuring access to Lot 67 for the required off-street parking, as shown on Exhibit 'A' and to the satisfaction of the City Engineer.

**INFORMATION ONLY:**

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

APPROVED by the City Council of the City of San Diego on September 27, 2005, Resolution No. RR-xxxxxxxxxx.

AUTHENTICATED BY THE CITY MANAGER

By \_\_\_\_\_

---

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

[NAME OF COMPANY]

Owner/Permittee

By \_\_\_\_\_

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

Rev. 7/15/04 dcj

## Resolution for Approving/Denying Permits

(R-INSERT)

RESOLUTION NUMBER R-NUMBER  
MITIGATED NEGATIVE DECLARATION NO. 6098

ADOPTED ON SEPTEMBER 27, 2005

WHEREAS, ROBERT MARSHALL, an Individual, Owner and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase I) and CITY OF SAN DIEGO, a Municipal Corporation, Owner and HILLEL OF SAN DIEGO, a Religious Corporation, Permittee (Phase II), filed an application with the City of San Diego for a Planned Development Permit No. 158095 and a Site Development Permit No. 158094, to continue to use an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement and to develop a triangular shaped parcel with a 12,000 square-foot Jewish student religious center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement, located at 8976 Cliffridge Avenue (Phase I) and within the triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North (Phase II), and legally described as Lot 67, La Jolla Highlands, Unit No. 3, Map No. 3528 (Phase I) and a Portion of Lot 1299, Pueblo Lands, Miscellaneous Map No. 36, in the La Jolla Shores Planned District and La Jolla Community Plan area, in the SF (Single-family) zone; and

WHEREAS, on February 10, 2005, the Planning Commission of the City of San Diego considered Planned Development Permit No. 158095 and Site Development Permit No. 158094, and pursuant to Resolution No. 3676-PC voted to "Recommend City Council denial of the permits"; and

WHEREAS, the matter was set for public hearing on September 27, 2005, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 158095 and Site Development Permit No. 158094:

**Planned Development Permit - Section 126.0604**

**1. The proposed development will not adversely affect the applicable land use plan.**

The proposed development consists of a Phase I plan to continue use of a single-family residence at 8976 Cliffridge Avenue as religious offices with the addition of six off-street required parking spaces until such time as the Phase II improvements are approved for occupancy, at which time the owner of the residence will revert it back to residential use and maintain two off-street parking spaces.

Phase II consists of the construction of a 12,000 square-foot Jewish student center above a subterranean 40-space parking garage of 17,000 square-feet of area. The Phase II site is a triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North. Development of the site will also require easement reservations and street vacations and dedication. A 10,000 square-foot landscaped area required by the City Council will be developed between the existing residence and new Hillel facility. To the north is the campus of the University of California at San Diego while a vacant area and youth athletic fields lie to the west with a detached single-family neighborhood to the immediate south and a Planned Residential Development to the east.

This development is located within the SF (Single-family) zone of the La Jolla Shores Planned District within the La Jolla Community Plan boundary. The SF zone permits use for churches, temples and buildings of a religious nature. The Hillel facility is for a Jewish student center, serving primarily the Jewish student population on the neighboring college campus, where religious services will take place on-site. The Planned Development Permit addresses specifically the inability to meet all parking needs on-site through the reasonable square-footage of the functionable space and the capability to supply all parking on the site. The City Council has required the retention of 10,000 square-feet of landscaping as a public amenity and the triangular shape of the parcel, even with the additional site area gained by the street vacations, constrains the ability to design sufficient parking on-site. The applicant is required to secure a shared parking agreement(s) for off-site parking prior to the issuance of building permits to meet the 67 off-street parking space requirement for Friday evening Shabbat services and for the 115 off-street parking spaces required for special event occurrences. Only 40 off-street

parking spaces are provided on-site. Additional off-site parking will meet needs for higher attendance religious services and occasional special events. Deviations from the Street Design Manual by the City Engineer address bikeway/pedestrian path width requirements from the intersection of La Jolla Village Drive/Torrey Pines Road to La Jolla Scenic Drive/Cliffridge Avenue, the intersection design for Cliffridge Avenue/La Jolla Scenic Drive North, for the back of sidewalk utility width area along the La Jolla Scenic Drive North frontage, and for driveway/curb cut widths at 8976 Cliffridge Avenue and the Phase II garage entry.

With development of the site in compliance with the approved Exhibit 'A' drawings and fulfillment of the conditions of approval, including monitoring of the parking needs, the development of this project will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The development of the proposed Jewish student center, utilizing an existing single-family residence at 8976 Cliffridge Avenue and constructing a 12,000 square-foot facility over a 17,000 square-foot subterranean 40-space garage on a triangular parcel bounded by La Jolla Village drive, La Jolla Scenic Way and La Jolla Scenic Drive North, will not be detrimental to the public health, safety, and welfare.

The 42,400 square-foot site that includes the residence, area of City owned property known commonly as Site 653 and the area of proposed street vacations, is zoned SF (Single-family) within the boundaries of the La Jolla Shores Planned District and the La Jolla Community Plan. The use is specifically listed as a permitted use in the SF zone. The proposed development is requested to be a 2 phase project with the religious office use of the single-family residence terminating with occupancy of Phase II and the residence reverting back to residential use. The City Council required 10,000 square-foot landscaped area and a bike/pedestrian path required by City staff will separate the new religious student center from the adjacent single-family residence. The new structure lies across La Jolla Scenic Drive North from other residences. The design is a one-story elevation with mounded landscape area, a single entry point and minimal windows. The use inherently represents a larger structure for its different purpose but the overall design is relatively consistent to the neighborhood in low profile, materials, setbacks and landscape buffer. The subterranean garage is accessed from La Jolla Scenic Way on the east and the full impact of building mass is visible on the northeast corner of the site away from the residential neighborhood to the south.

A Mitigated Negative Declaration (MND) No. 6098, was completed on January 20, 2005, which determines that the development could have a significant environmental effect in the areas of Paleontological Resources and parking. A number of conditions for mitigation to a level below significance are incorporated in the environmental document and made conditions of approval for the project requested for development. Also considered during the preparation of the MND were Archaeological Resources, Biological Resources, Noise and Water Quality/Hydrology.

Additional consideration was given to compatibility requirements of the La Jolla Shores Planned District Ordinance. A survey of development within a 300-foot radius indicated that the Hillel facility, with its use of earth tone colored stucco, stone cladding, masonry blocks, earth tone colored concrete, wood siding, dual-glazed windows, metal trellis and metal roof, together with a one-story low profile elevation facing the residential neighborhood, would be compatible and in keeping with the intent of the Ordinance given that this use is different but in the same zone/neighborhood.

With conditions of approval and plans and exhibits on file for the development of the site, the development will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code.**

The proposed development of this two phased Jewish student center in an existing residence and adjoining vacant City owned tract of land generally located on the south side of La Jolla Village Drive and north side of La Jolla Scenic Drive North, complies with all regulations of the Land Development Code. The guiding land use regulations are contained in the La Jolla Shores Planned District Ordinance and the applicable SF zone regulations. The religious use of the site for religious services and as a Jewish student center, is a permitted use in the SF zone. The design of the new structure and associated site improvements is consistent with other development within the neighborhood, recognizing that the use is different from that of a single-family detached residence. The main project issue for this option constrained triangular shaped parcel, has been the ability to meet parking requirements on-site. While the facility will meet parking needs on-site for the Phase I religious office use of an existing single-family residence, the 40 parking spaces provided for the Hillel facility fall 27 spaces short of the 67 space requirement. The City staff has considered off-site parking through secured shared parking agreements and the applicant is required to obtain those prior to the issuance of building permits, to the satisfaction of the City Engineer, for the additional off-site parking for Friday evening Shabbat religious services and occasional special events. This situation will require extra procedures for Hillel to perform to assure that the parking is utilized and works without negatively impacting the adjoining neighborhood. Monitoring by the City will be done and the parking situation can be re-evaluated for modifications to assure Hillel meets its parking needs.

With buildout compliance in accord with the approved Exhibit 'A' plans and compliance with all conditions of approval, the development will comply with all provisions of the Land Development Code.

**4. The proposed development, when considered as a whole, will be beneficial to the community.**

Although the development site for the proposed Hillel Jewish student center is within the SF zone of the La Jolla Shores Planned District and La Jolla Community Plan area, the 'community' includes the neighboring campus of the University of California at San Diego to the north within the boundaries of the University Community Plan which also

extends southerly on the east side of Gilman Drive. Communities within the confines of the City of San Diego have felt churches and places of a religious nature to be beneficial within the residential neighborhoods of the population they serve. Traditionally, churches have been permitted uses in the multi-family residential zones and by Conditional Use. Permits in the single-family zones. When the La Jolla Shores Planned District was established, the SF zone covered all the prior existing City-wide residential zones and those previously developed church sites. The SF zone specifically permits churches, temples and buildings used for religious purposes. To meet the needs of students attending the neighboring college campus, other churches have established similar student centers or utilized previously church facilities in the area. Development within the La Jolla Shores Planned District requires a Site Development Permit to assure public review and compliance with land use development regulations. Increased landscaping, a bike/pedestrian pathway, non-contiguous sidewalks and parking access from La Jolla Scenic Way, all provide for a safer pedestrian scale project and lessens the direct impact of motor vehicles on the neighborhood.

The proposed development will serve Jewish students at the U.C. campus which represents a segment of the population of this 'community'. The scope of activities, hours of operation, no alcohol policy, requirement to keep the site cleaned up and monitoring of parking for the larger attendance programs assist in keeping this use a benefit to the community.

**5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The 'Hillel' project is a Jewish student religious center currently using a single-family residence at 8976 Cliffridge Avenue for religious offices but planned to terminate with the anticipated development of the Phase II development and occupancy of a 12,000 square-foot facility over a 17,000 square-foot subterranean garage for 40 vehicles. The total site area of 42,400 square-feet of area will decrease to 33,518 square-feet when the residence reverts back to single-family residential use. A further reduction in developable area to 23,518 square-feet results from the development of the 10,000 square-feet of landscaped area required by the City Council at the intersection of La Jolla Village Drive/Torrey Pines Road, as a neighborhood amenity. Design and use of the site is further constrained by its triangular shape and maintaining a design profile compatible with the adjacent single-family neighborhood to the south, as required by the La Jolla Shores Planned District Ordinance.

From the start of negotiations with the City Council to develop this site and preliminary reviews with City staff, parking was recognized as problematic from the standpoint of providing the required minimum parking on-site to meet the needs of the projects multi-use area. The City will consider off-site shared parking if it is secured through agreements, meets criteria and can be conditioned and monitored to assure parking needs are satisfied. Parking for the facility has been calculated as 67 on-site parking spaces required but the architect cannot provide more than 40 on-site spaces in the garage and

meet minimum floor area needs to all functions of the facility. This Planned Development Permit allows the City to evaluate off-site parking which the applicant must secure prior to the issuance of building permits, for the additional 27 spaces required for Friday evening Shabbat services and for the higher attendance occasional special events. The City's Transportation staff has carefully analyzed the parking needs as well as the Planning Department staff, and it is felt that these agreements, if implemented and performed properly per the conditions of the accompanying permit, will serve the needs of the facility and not impose a burden on the neighborhood. A shuttle service will be implemented, signage posted, the users of the facility informed and communication between sites maintained. The City will monitor this situation and consider modifications to the conditions, uses and other aspects if warranted.

For the planned or anticipated highest use of the project, 115 off-street parking spaces are required. Only 40 spaces are accommodated on-site. For Friday evening Shabbat services, 67 off-street spaces are required based on the calculation of 200-seats for the worship area. To comply solely with the number of parking spaces available on-site, the worship area would have to be reduced to 120 seats. For the occasional special events, the 115 off-street parking spaces are only available if shared parking agreements are secured and operated by the parameters contained within the Site Development Permit.

The deviations are appropriate, assure parking needs met, allows for a better project given site constraints and landscaping required, and allows for the project to be considered beyond the strict application of development criteria for this unique site.

#### **Site Development Permit - Section 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan.**

The proposed two-phased project site is located within the La Jolla Shores Planned District and the La Jolla Community Plan area. The combined site is 42,400 square-feet in area including public rights-of-way to be vacated. Phase I is an existing single-family residence on a 8,882 square-foot lot (post lot-line adjustment) currently in use as a religious office and related uses and Phase II is a 33,518 square-foot site required by the City Council of the City of San Diego to landscape a 10,000 square-foot area as a public benefit and a 23,518 square-foot development area proposed for a 12,000 square-foot Jewish student religious center with a 17,000 square-foot parking garage below.

The sites are zoned SF (Single-family) and designated for residential use. The SF zone permits single-family residences and Churches, Temples and buildings for religious purposes as permitted uses in conformity to the zone and Planned District Ordinance. The Phase I religious use of a single-family residence will terminate upon occupancy approval of the Phase II development and revert back to use as a residence. The project site is not within the Coastal Overlay Zone.

The City Council entered into exclusive negotiations with Hillel of San Diego for use and acquisition of the Phase II site more commonly known as 'Site 653'. The development

permits submitted to show and review the proposed development also include easement reservations and street vacations and dedications. Staff has determined that the project can meet City design and zoning development criteria through deviations considered under the Planned Development Permit for off-site parking and from the Street Design Manual. The Site Development Permit is required to measure compliance with the La Jolla Shores Planned District Ordinance.

The proposed development, subject to conformity to the Exhibit 'A' drawings and materials and subject to all approval documents and conditions, will not adversely affect the adopted General Plan and Land Use, the La Jolla Shores Planned District and the La Jolla Community Plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed two Phase development, that retains use of an existing single-family residence for religious offices until occupancy of Phase II is completed and the facilities approved for occupancy, has been evaluated by City staff for compliance with adopted land use documents, zoning, development guidelines and principles. A Mitigated Negative Declaration No. 6098, has been prepared and evaluated impacts in the areas of Paleontological areas and Parking. The La Jolla Shores Planned District zoning and land use designation of SF, permits churches, temples and buildings used for religious purposes as well as the prevalent use for single-family residential development. The satisfaction of on-site parking to meet the needs of the scope of the development has long been a concern of the City staff and the community. The applicant has provided the City with information on the proposed sanctuary area seating, the schedule of events held at the Hillel center (as well as on-campus and off-site in various other locations) and for Shabbat and special events. The days, hours and frequencies have been evaluated and off-site shared parking agreements have been assured and evaluated by the City to sufficiently determine that parking will not be detrimental to the public health, safety, and welfare. An evaluation of the parking will be conducted to assure its implementation and to evaluate the need to amend conditions should problems be determined to exist. The design of the site and structure has been determined by City staff to conform to the neighborhood given that single-family detached residences exist to the south and a planned residential development (under a Conditional Use Permit) lies to the east and that this project is within the same zone but an entirely different use with inherent, and expected, design differences. The property to the north contains the campus of the University of California at San Diego and the property to the west is within the La Jolla Community Plan but not the Planned District.

Mitigated Negative Declaration (MND) No. 6098 has evaluated impacts of the development on this site and has determined that in the two areas of Paleontological Resources and Parking, that mitigation is required to avoid a significant impact. Conditions of approval have been included in the accompanying Site Development Permit and are referenced as conditions as they are described in the MND.

The overall proposed project will not be detrimental to the public health, safety, and welfare subject to development consistent with approved conceptual plans and subject to all conditions of approval.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project application consists of a two Phase land use proposal with Phase I being the continued use of a constructed single-family residence at 8976 Cliffridge Avenue in the SF zone of the La Jolla Shores Planned District as religious offices until such time as the Phase II Jewish student center on the triangular shaped parcel adjoining to the east is constructed and approved for occupancy. The existing single-family residence was constructed according to all codes and regulations in effect at the time and the only requirement for the change of use is an increase in off-site parking. Prior to its use as religious offices, the residence was required to maintain two off-street parking spaces but a previous owner had converted the garage to an office in violation of regulations and the religious office use has not complied to date with the parking requirements. With this approval, six parking spaces will be provided at the residence and when the religious office use terminates with occupancy of Phase II, two off-street parking spaces will be maintained for its reuse as a residence.

The Phase II development consists of a main entry level of 12,000 square-feet of floor area containing the multi-use area by which off-street parking needs are measured, lounge, library, restrooms, offices, computer room, break room, elevators and patio areas. Below is a 17,000 square-foot subterranean garage for 40 vehicles, storage, trash and driveway entry/exit to La Jolla Scenic Way. **The remaining 66 required off-street parking spaces for Friday evening Shabbat services are required by off-site shared parking agreements and an additional shared parking agreements for 75 parking spaces for the higher attendance occasional special events.** Both of these events require shuttle services and monitoring of attendees use of the off-site parking. Parking will be evaluated as conditioned in the accompanying permit conditions.

The religious use of the development is a permitted use in the SF zone of the La Jolla Shores Planned District and the development of the site conforms to the regulations and land use criteria of the codes. City staff has evaluated the development and has formulated the conditions of approval to assure compliance with City's applicable regulations of the Land Development Codes. Through implementation of the buildout consistent with the Exhibit 'A' plans, compliance with conditions and the continued monitoring of the parking needs and implementation, this project will comply.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is reversed, and Planned Development Permit No. 158095 and Site Development Permit No.

158094 is granted to ROBERT MARSHALL, Owner Phase I and the CITY OF SAN DIEGO, Owner Phase II and HILLEL OF SAN DIEGO, Permitte Phases I and II, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: MICHAEL AGUERRE, City Attorney

By

\_\_\_\_\_  
NAME

Deputy City Attorney

ATTY/SEC. INITIALS

DATE

Or.Dept:Clerk

R-INSERT

Form=permitr.frm(61203wct)

Reviewed by Robert Korch

(R-9)

## RESOLUTION NUMBER R-

## ADOPTED ON

WHEREAS, Section 8330 et seq. of the California Streets and Highways Code provides a procedure for the summary vacation of public street easements by City Council resolution where the easement is no longer required; and

WHEREAS, the affected property owner has requested the vacation of a Portion of La Jolla Scenic Drive North, a Portion of La Jolla Scenic Drive and a Portion of Torrey Pines Road, to unencumber this property; and

WHEREAS, the City Council finds that:

(a) there is no present or prospective use for the public street system, for which the right-of-way was originally acquired, or for any other public use of a like nature that can be anticipated in that the right-of-way is not needed for public street, bikeway, or open space purposes; and

(b) the public will benefit from the vacation through improved utilization of land; and

(c) the vacation is not inconsistent with the General Plan or an approved Community Plan; and

(d) the public street system for which the right-of-way was originally acquired will not be detrimentally affected by this vacation; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, as follows:

1. That a Portion of La Jolla Scenic Drive North, a Portion of La Jolla Scenic Drive and a Portion of Torrey Pines, as described in the legal description marked as Exhibit "A," and as more particularly shown on Drawing No. XXXXX-B, labeled Exhibit "B", on file in the Office of the

City Clerk as Document No. RR\_\_\_\_\_ which is by this reference incorporated herein and made a part hereof, is ordered vacated.

2. That said street vacation is conditioned upon the dedication of 'General Utility Easements' over portions of the vacated public right-of-way, satisfactory to the City Engineer.

3. The City Engineer shall advise the City Clerk of the completion of the aforementioned condition, and the City Clerk shall then cause a certified copy of this Resolution with Drawing No. XXXXX-B (labeled Exhibit 'B') and Exhibit "A", attested by him under seal, to be recorded in the Office of the County Recorder.

APPROVED: MICHAEL AGUIRRE, City Attorney

By

Deputy City Attorney

Or.Dept: Dev. Serv.  
SA: 6098  
WO: 42-1438  
Dwg: XXXXX-B  
R-9  
Form=sumv.frm

EXHIBIT "A"  
STREET VACATION - EASEMENT RESERVATION

THAT PORTION OF LA JOLLA SCENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406, TOGETHER WITH THAT PORTION OF LA JOLLA SCENIC DRIVE AND TORREY PINES ROAD BOTH DEDICATED PER MAP 3528, FILED IN THE OFFICE OF THE COUNTY, OCTOBER 19, 1956 AS FILE NO. 1447757, ALL OF OFFICIAL RECORDS

VACATING THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE; THENCE SOUTHERLY ON THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE SOUTH 62°35'54" EAST, 24.94 FEET TO THE TRUE POINT OF BEGINNING; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE SOUTH 62°35'54" EAST, 164.60 FEET TO THE BEGINNING OF A TANGENT 651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND SOUTHERLY THROUGH A CENTRAL ANGLE OF 09°16'03", AN ARC DISTANCE OF 105.30 FEET TO A POINT HEREIN DESCRIBED AS POINT 'A' ALSO BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC WAY; THENCE SOUTHERLY ON SAID RIGHT OF WAY LINE SOUTH 21°57'52" EAST, 17.17 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE ALONG THE ARC OF SAID CURVE SOUTHERLY AND WESTERLY THROUGH A CENTRAL ANGLE OF 149°01'24", AN ARC DISTANCE OF 52.02 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 605.00 FEET; THENCE ALONG THE ARC OF SAID CURVE NORTHERLY AND WESTERLY THROUGH A CENTRAL ANGLE OF 09°39'26", AN ARC DISTANCE OF 101.97 FEET; THENCE NORTH 62°35'54" WEST, 113.81 FEET TO THE BEGINNING OF A TANGENT 56.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND NORTHERLY THROUGH A CENTRAL ANGLE OF 17°35'18", AN ARC DISTANCE OF 17.19 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 81.00 FEET, THENCE WESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 123°54'02" AN ARC DISTANCE OF 175.16 FEET TO THE WESTERLY RIGHT OF WAY LINE OF CLIFFRIDGE AVENUE ALSO THE EASTERLY LOT LINE OF LOT 67 PER SAID MAP 3528; THENCE NORTHERLY ALONG SAID LOT LINE NORTH 11°05'22" EAST 24.35 FEET TO THE BEGINNING OF TANGENT 25.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE ALONG THE ARC

OF SAID CURVE NORTHERLY AND EASTERLY THROUGH A CENTRAL ANGLE OF  $73^{\circ}41'16''$ , AN ARC DISTANCE OF 32.15 FEET; THENCE NORTH  $62^{\circ}35'54''$  WEST, 58.80 FEET TO THE TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND SOUTHERLY THROUGH A CENTRAL ANGLE OF  $106^{\circ}17'34''$ , AN ARC DISTANCE OF 37.10 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF TORREY PINES ROAD; THENCE NORTH  $11^{\circ}06'32''$  EAST, 20.60 FEET TO A POINT HEREIN DESCRIBED AS POINT 'B'; THENCE NORTH  $11^{\circ}06'32''$  EAST, 13.86 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL OF  $93^{\circ}19'50''$ , AN ARC DISTANCE OF 32.58 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 636.64 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $09^{\circ}12'17''$ , AN ARC DISTANCE OF 102.28 FEET TO THE BEGINNING OF A TANGENT 42.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE ALONG THE ARC OF SAID CURVE EASTERLY THROUGH A CENTRAL ANGLE OF  $04^{\circ}42'02''$ , AN ARC DISTANCE OF 3.45 FEET; THENCE NORTH  $89^{\circ}27'57''$  WEST, 48.73 FEET TO THE TO THE BEGINNING OF A TANGENT 634.64 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE ALONG THE ARC OF SAID CURVE EASTERLY THROUGH A CENTRAL ANGLE OF  $02^{\circ}53'02''$ , AN ARC DISTANCE OF 31.94 FEET TO THE TRUE POINT OF BEGINNING.

AREA: 21,278 SQ.FT. 0.488 ACRES

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY PURPOSES, DESCRIBED AS FOLLOWS:

BEGINNING AT ABOVE DESCRIBED POINT "A"; THENCE SOUTH  $21^{\circ}57'52''$  EAST, 13.86 FEET; THENCE SOUTH  $36^{\circ}59'17''$  WEST, 37.39 FEET TO THE BEGINNING OF A NON TANGENT 20.00 FOOT RADIUS CURVE. CONCAVE NORTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH  $15^{\circ}01'26''$  EAST; THENCE WESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $22^{\circ}02'06''$ , AN ARC DISTANCE OF 7.69 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 605.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $00^{\circ}42'37''$ , AN ARC DISTANCE OF 7.50 FEET; THENCE NORTH  $37^{\circ}12'32''$  EAST, 46.00 FEET TO A POINT ON THE ARC OF A NON TANGENT 651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, A RADIAL TO SAID POINT BEARS NORTH  $36^{\circ}24'34''$  EAST; THENCE EASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGEL OF  $00^{\circ}15'35''$ , AN ARC DISTANCE OF 2.95 FEET TO THE POINT OF BEGINNING.

AREA: 640 SQ.FT. 0.014 ACRES

Prepared by: DK Nasland PLS 5562  
My License renews 9-30-2005

101-199.2  
1/18/2005, 8:48 AM

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY PURPOSES, DESCRIBED AS FOLLOWS:

BEGINNING AT ABOVE DESCRIBED POINT "B"; THENCE NORTH  $11^{\circ}06'32''$  EAST, 13.86 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL OF  $93^{\circ}19'50''$ , AN ARC DISTANCE OF 32.58 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 636.64 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $01^{\circ}41'48''$ , AN ARC DISTANCE OF 18.85; THENCE SOUTH  $57^{\circ}43'15''$  EAST, 97.85 FEET TO THE BEGINNING OF A NON TANGENT 81.00 FOOT RADIUS CURVE. CONCAVE SOUTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH  $26^{\circ}49'51''$  WEST; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $11^{\circ}43'48''$ , AN ARC DISTANCE OF 16.58 FEET; THENCE NORTH  $57^{\circ}43'15''$  WEST, 111.85 FEET; THENCE SOUTH  $11^{\circ}06'32''$  WEST, 26.61 FEET; THENCE NORTH  $78^{\circ}53'28''$  WEST, 15.00 FEET TO THE POINT OF BEGINNING.

AREA: 2,082 SQ.FT. 0.047 ACRES

EXHIBIT "A"  
STREET DEDICATION

THAT PORTION OF PUEBLO LOT 1299 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 ALSO KNOWN AS MISCELLANEOUS MAP NO. 36.

LYING NORTHEASTERLY OF LA JOLLA SENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 OF OFFICIAL RECORDS, SOUTHERLY OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) AND WESTERLY OF LA JOLLA SENIC WAY DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS

EXCEPTING THAT PORTION LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC DRIVE NORTH, SAID POINT BEING DISTANT 24.94 FEET FROM THE WESTERLY CORNER OF SAID LAND, ALSO BEING THE BEGINNING OF AN ARC PARALLEL WITH AND 12.00 FEET SOUTHERLY, MEASURE AT RIGHT ANGLES, TO THE SOUTHERLY RIGHT OF WAY OF LA JOLLA VILLAGE DRIVE; THENCE ALONG SAID ARC 155.09 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 20.00 FEET, A RADIAL TO SAID BEGINNING OF REVERSE CURVE BEARS NORTH 16°21'06" WEST; THENCE EASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 84°23'14" AN ARC DISTANCE OF 29.46 FEET TO THE WESTERLY RIGHT OF WAY OF LA JOLLA SCENIC WAY AND THE TERMINUS OF SAID LINE.

EXHIBIT "A"  
GENERAL UTILITY EASEMENT DEDICATION

THAT PORTION OF PUEBLO LOT 1299 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 ALSO KNOWN AS MISCELLANEOUS MAP NO. 36.

LYING NORTHEASTERLY OF LA JOLLA SENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 OF OFFICIAL RECORDS, SOUTHERLY OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) AND WESTERLY OF LA JOLLA SENIC WAY DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS

EXCEPTING THAT PORTION LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC DRIVE WAY, SAID POINT BEING DISTANT 3.44 FEET FROM THE SOUTHERLY CORNER OF SAID LAND, THENCE SOUTH 37°12'32" WEST 1.80 FEET TO THE NORTHERLY RIGHT OF WAY OF LA JOLLA SCENIC DRIVE AND THE TERMINUS OF SAID LINE.

### UCSD HILLEL CALENDAR FOR FALL QUARTER 04

The following contains additional information on our Hillel calendar for fall quarter at UCSD. We generally establish our calendar for the academic quarter in advance of the start of the quarter. However, from time to time, we may reschedule, cancel or add events and programs depending on circumstances. This information is being provided to assist City Staff in understanding what we do programmatically and how the Hillel Center may be used for student programs. This is intended to supplement the information already provided on Hours of Operation and Uses.

The premise underlying our programmatic goals is to bring the program to the students in order to serve them "where they are." This also helps to support our outreach, community service and student engagement efforts. However, a Hillel Center will certainly provide an appropriate venue and enhancement for many future programs although certain programs, by their nature, will continue to be held either on the UCSD Campus or off campus and away from the future Hillel Center. The following schedule represents our projected attendance of each of our calendared programs for the quarter and assuming our Hillel Center had been completed as of this calendar quarter, whether we could utilize the Center for that particular program. A more thorough description of the program is contained in the Calendar which is provided herewith. For reference purposes, "HC" means Hillel Center, "Off Campus" means that the program will NOT be held at the Hillel Center or On Campus. "On Campus" means that the program will be held on the UCSD Campus and NOT at the Hillel Center.

#### Fall Quarter 04 Undergraduate Programs Calendar

Date	Program	Expected Attendance	Location
9/28	Roundtables at Round Table	5	HC
9/29	Raising the Roof	20	HC
9/29	Crafts and Snacks in the Sukkah	5	HC
10/2	Shabbos Lunch in the Sukkah	20	HC
10/2	Havdalah Under the Stars	20	Off Campus
10/4	Shake your Lulav	20	HC
10/5	Mitzvah Lunch and Bingo Bash	25	HC
10/5	Birthright Informational	20	HC
10/5	Supper in the Sukkah	10	Off Campus
10/6	Pizza in the Hut: FYSH and Sophomores	50	HC
10/6	Alternative Spring Break	25	HC

	Informational		
10/6	Just Show Up	50	On Campus
10/9	Shabbat Sha-Bash	100	Off Campus
10/12	Jewish Commitment to Helping the Homeless	25	HC
10/13	Israel Rally	100	On Campus
10/14	Career Options in Marketing	10	On Campus
10/17	Area Wide Event: Making Strides against Breast Cancer	150	Off Campus
10/17	Rosh Chodesh (Women Only)	15	HC
10/18	Tikkun Olam Tabling	NA	On Campus
10/13-11/17 (Wednesdays)	Read Hebrew America	10	HC
10/20	Is There Such a Thing as a Positive Stereotype	20	HC
10/21	Pluralism Project Informational	30	On Campus
10/21	A Slice of Sephardic Life	30	On Campus
10/23	Shabbat Lunch and More	10	On Campus
10/26	Roundtable at Roundtable	5	HC
10/26	Prescription: Jewish Medical Ethics	15	On Campus
10/27	Challah Baking (Women only)	15	HC
11/2	From the Business Wife to the High Culture Mother: Stories of Jewish Women in Germany	25	HC
11/5-11/6	Koach Shabbaton	25	Off Campus
11/7	Lend a Helping Hand: Habitat for Humanity	15	Off Campus
11/7	Roundtables at Roundtable	5	HC
11/10	Exploring the Non-Profit World	15	Off Campus
11/11	Outback Climbing Adventures	20	On Campus
11/13	S'mores and More at the Shores	50	Off Campus
11/13-11/18	The 11 <sup>th</sup> Annual Jewish Book-Fair		Off Campus
11/14	Rosh Chodesh	15	HC
11/18	Sephardic Sundaes	30	On Campus

11/21	Mitzvah with the Western Service Workers Association	15	Off Campus
12/2	The Great Hanukah Spin . Off Campus	50	HC
12/7	Hip Hanukah Happenings	50	HC

#### Weekly Events

Mondays	Rabbi Lisa at Café Roma	10	On Campus
Tuesdays	Jewish Lecture Series	10	HC
Wednesdays	Lishma	10	HC
Fridays	Meditation with Rabbi Lisa	10	On Campus
Fridays	Shabbat Services and Dinner	Average 150	HC

#### High Holidays

High Holiday program information is provided as part of our parking study and parking management plan under "Occasional Events." At this time we do not contemplate utilizing the future Hillel Center for our High Holiday services although we may chose to do so in the future. In such event, we would abide by the parking management plan. In the past we have held Rosh Hashana Services combined with SDSU students at Temple Emanuel with a peak attendance for the holiday of between 200 and 250 students. UCSD was not in session for Rosh Hashana this year. UCSD is on a quarter system and therefor classes start in late September. Yom Kippur services were held at the Price Center at UCSD and peak attendance was between 350 and 400 students. This is also a combined service with SDSU students. In the future, based upon plans for expansion of the Hillel Center at SDSU, we may implement separate services for UCSD and SDSU for the High Holiday services.

#### Graduate Programs

10/4	Brew & Jews	20	On Campus
10/9	Moonlight Kayaking and Havdallah	30	Off Campus
10/17	Area Wide Event: Hillel of San Diego Makes Strides Against Breast	Combined with Undergrad Program Attendance included in Projection	Off Campus

	Cancer		
10/22	Graduate Student Shabbat	Combined with Undergrad Program Attendance included in Projection	HC
10/26	Prescription: Jewish Medical Ethics	20	HC
10/28	Roll It Kosher	20	On Campus
11/5	Graduate Student Shabbat	Combined with Undergrad Program Attendance included in Projection	HC
11/13	Night on the Town	20	Off Campus
11/22	Brews & Jews	20	On Campus
12/3	Graduate Student Shabbat	Combined with Undergrad Program Attendance included in Projection	HC
Ongoing Programs	Monday Midday Munchies	20	On Campus

## COMMUNITY PLANNING GROUP RECOMMENDATIONS

The La Jolla Shores Planned District Advisory Board considered the Hillel application on January 18, 2005, and voted on three separate motions with the Chair not voting and one member recusing. Each motion passed on a vote of 5-0 and each motion was to DENY the requested application/actions to develop the 'Hillel' project.

Mr. Kevin Guy, from the Planning department of the City of San Diego, acts as the secretary for the Board in putting together the agendas, meeting rooms/locations and finalizing the recommendations of the Advisory Board. Mr. Guy left January 28, 2005, for a new position in the Bay area and only submitted the attached e-mail describing the actions/motions of the Advisory Board.

The La Jolla Community Planning Association considered this project on Thursday, February 3, 2005, and voted 10-2-0 to deny the application on the basis of issues with parking, illegal use, loss of on-street parking, bikeway issues and other concerns not communicated.

508

City Manager's Report No. 05-193  
Page 74 of 80

From: Robert Korch  
To: Guy, Kevin  
Subject: Re: Hillel---LJSPAAB

after reading your recollection, that sounds right on to e. Thanks a lot. Bob

>>> Kevin Guy 01/26/05 11:12AM >>>

Bob - When making their motions, the Board members were still in 'discussion mode', so I had to paraphrase a bit. I believe I captured the intent of each of their motions. The vote for each of the motions was 5-0:

1st Motion: To deny project, with the following reasons stated:

- Insufficient parking
- Does not conform with "distinctive residential character", as defined by purpose and intent of PDO
- Loss of 12 public (on-street) parking spaces
- Loss of bike lane

2nd Motion: Findings cannot be made for a street vacation. Site should be reserved for future traffic mitigation.

3rd Motion: Board condemns the illegal use of the residence, as defined by Phase I portion of the project.

I hope this is the information you were looking for. Let me know if you need anything further.

-Kevin

>>> Robert Korch 1/26/2005 9:29:22 AM >>>

Kevin: Do you have the three motions adopted by the Advisory Board on Hillel. I'd like to attach to the report to PC. Thanks. Bob

Your time is ticking down.....



City of San Diego  
Development Services  
Division Name  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# PHASE I. Ownership Disclosure Statement

Project Title <b>8976 Cliffridge Avenue</b>	Project No. For City Use Only <b>20140</b>
Project Address: <b>8976 Cliffridge Avenue, La Jolla, CA</b>	
<b>Part I - To be completed when property is held by Individual(s)</b>	
<p>Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). <u>A signature is required of at least one of the property owners.</u> Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.</p> <p>Additional pages attached <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
Name of Individual (type or print): <b>Robert Marshall, Trustee</b> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <b>3360 N. Torrey Pines Court</b> Street Address: <b>Suite 210</b> <b>La Jolla, CA 92037</b> City/State/Zip: <b>858-657-9400</b> <b>858-657-9031</b> Phone No: Fax No: Signature : Date:	Name of Individual (type or print): <b>Hillel of San Diego</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee <b>8976 Cliffridge Avenue</b> Street Address: <b>La Jolla, CA 92037</b> City/State/Zip: <b>858-550-2210</b> <b>858-550-1794</b> Phone No: Fax No: Signature : Date:
Name of Individual (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Signature : Date:	Name of Individual (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Signature : Date:
Name of Individual (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Signature : Date:	Name of Individual (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Signature : Date:

This information is available in alternative formats for persons with disabilities.  
To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (TDD)  
Be sure to see us on the World Wide Web at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services)

DS-318 (5-03)

510

City Manager's Report No. 05-193  
Page 76 of 80RECORDING REQUESTED BY  
CHICAGO TITLE COMPANY  
AND WHEN RECORDED MAIL TORobert A. Marshall  
8976 Cliffridge Avenue  
La Jolla, CA 92037

DOC # 2002-0504546

JUN 14, 2002 8:00 AM

001534

OFFICIAL RECORDS  
SAN DIEGO COUNTY RECORDER'S OFFICE  
GREGORY J. SMITH, COUNTY RECORDERFEES: 766.00  
OC: OC

2002-0904648

ORANGE ABOVE THIS LINE FOR RECORDER'S USE

Escrow No. 28011785 - N43  
Order No. 28011785 - P05

344-13161-00

## GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX IS \$759.00

☐ unincorporated area☐ City of☒ computed on the full value of the interest or property conveyed, or is☐ computed on the full value less the value of liens or encumbrances remaining at time of sale, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

SHEILA CHANDRASEKHAR, TRUSTEE OF THE SRIPATI CHANDRASEKHAR AND ANN D. CHANDRASEKHAR  
FAMILY TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 30, 1992.

hereby GRANT(S) to

Robert Marshall, Trustee UDT Dated June 1, 2002

the following described real property in the  
County of SAN DIEGO

, State of California:

LOT 67 OF LA JOLLA HIGHLANDS UNIT NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN  
DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3528, FILED IN THE OFFICE OF  
THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 19, 1956.

Dated May 22, 2002

STATE OF

COUNTY OF

Alameda

On

May 30, 2002

before me,

Ann S. Kravak

  
Sheila Chandrasekhar, Trusteea Notary Public in and for said County and State, personally appeared  
Sheila Chandrasekharpersonally known to me (or proved to me on the basis of satisfactory  
evidence) to be the person(s) whose name(s) is/are subscribed to the  
within instrument and acknowledged to me that he/she/they executed the  
same in his/her/their authorized capacity(ies), and that by his/her/their  
signature(s) on the instrument the person(s), or the entity upon behalf of  
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

  
Signature of Notary2/19/04  
Date My Commission Expires

FOR NOTARY SEAL OR STAMP

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Name

Street Address

City, State &amp; Zip

GQ1 - 05/20/97bk



City of San Diego  
Development Services Department  
1222 First Ave. • MS-302  
San Diego, CA 92101-4154  
(619) 446-5000

# PHASE II. Ownership Disclosure Statement

Project Title <b>Hillel of San Diego</b>	Project No. For City Use Only <b>6098</b>
Project Address: <b>Intersection of La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive</b>	
Legal Status (please check): <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General What State? _____ Corporate Identification No.: _____ <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Individual	
<p>Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals, all corporate officers, and all partners in a partnership who own the property). Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property.</p>	
Name (type or print): <b>Hillel of San Diego</b> Title/Property Interest (type or print):  Street Address: <b>5742 MONTEZUMA ROAD</b> City/State/Zip: <b>SAN DIEGO, CA 92115</b> Phone No: <b>619-583-6080</b> Fax No: Signature: <b>Hillel of San Diego</b> Date: <b>1/27/03</b> <b>By: Nuel X. Sig</b>	Name (type or print):  Title/Property Interest (type or print):  Street Address:  City/State/Zip:  Phone No: Fax No: Signature: Date:
Name (type or print):  Title/Property Interest (type or print):  Street Address:  City/State/Zip:  Phone No: Fax No: Signature: Date:	Name (type or print):  Title/Property Interest (type or print):  Street Address:  City/State/Zip:  Phone No: Fax No: Signature: Date:
Name (type or print):  Title/Property Interest (type or print):  Street Address:  City/State/Zip:  Phone No: Fax No: Signature: Date:	Name (type or print):  Title/Property Interest (type or print):  Street Address:  City/State/Zip:  Phone No: Fax No: Signature: Date:

This information is available in alternative formats for persons with disabilities.  
To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (TDD)

DS-318 (4-01)



## LETTER OF AUTHORIZATION

Date: January 27, 2003

To: Development Services Department


Project Name / Location: Site 653 / Between La Jolla Village Drive & La Jolla Scenic Drive

Property Address / Description: No street address / Pueblo Lot 1299 West ½ Portion  
APN: 344-120-26

The City of San Diego's Real Estate Assets Department, as authorized representative of the City as Land Owner, grants authorization to Hillel, its agents or representatives, to submit and process on the City's behalf all permit applications necessary for the proposed construction and operation of a religious student center facility on the above referenced City-owned property.

The act of authorization of Hillel's application for development review does not obligate the City in any way to enter into negotiations for the disposition of the subject property nor approve, in whole or in part, land use entitlements or approvals, permits, waivers or reduction of fees, development or financing of the site or any other matters to be acted on by the City, as applicable; that all such matters shall be considered and processed by the City in accordance with all otherwise applicable City requirements and procedures and that the City reserves all rights to approve, disapprove, or approve with conditions all such matters in its sole discretion.

The City reserves the right to terminate development review processing at any time at its sole discretion. It is further specifically acknowledged, that the City shall not be responsible or held liable for any costs incurred by the undersigned in relation to the undersigned's development review processing with the City, regardless of the type or amount of costs incurred.

  
\_\_\_\_\_  
Tim C. Rothans, Deputy Director

1-27-03  
\_\_\_\_\_  
Date

The above is acknowledged and accepted for Hillel by:

*Hillel of San Diego*

*By: Neal Z. Sg...*  
\_\_\_\_\_  
Title:

1-27-03  
\_\_\_\_\_  
Date

This Authorization expires 90 days from the above date of issuance.

Hillel of San Diego  
**PLANNED AND SITE DEVELOPMENT PERMITS, EASEMENT  
ABANDONMENT & STREET VACATIONS AND DEDICATION**

**Project No. 6098  
Project Chronology**

Date	Action	Description	City Review Time	Applicant Response
05/02/03	Applicant submits initial plans/Deemed Complete	Project plans distributed for City staff review.	1 day	
06/18/03	First Assessment Letter	First Assessment Letter identifying required approvals and outstanding issues provided to applicant.	47 days	
03/04/04	Applicant submits second full set of plans.	Applicant's revised set of plans submitted in response to first assessment letter from City staff.		251 days
05/25/04	Second Assessment Letter	Second Assessment Letter identifying all remaining/outstanding issues.	82 days	
07/07/04	Applicant submits third full set of plans.	Applicant's revised set of plans submitted in response to second assessment letter from City staff.		43 days
10/13/04	Third Assessment Letter	Third Assessment Letter identifying all remaining/outstanding issues provided to applicant.	98 days	
01/12/05	Applicant submits fourth set of plans.	Applicant's revised plans addressing outstanding issues.		83 days
01/2X/05	Environmental Mitigated Negative t Declaration Final	Project can be heard after February 4, 2005	0 days	
01/26/04	Issues resolved	Staff determines project issues resolved, okay Process 5 Planning Commission hearing to proceed.	14 days	
02/10/05	Planning Commission Recommendation Hearing	Public Hearing	8 days	7 days
<b>TOTAL STAFF TIME</b>		Averaged at 30 days per month	<b>8 Months 10 Days</b>	
<b>TOTAL APPLICANT TIME</b>		Averaged at 30 days per month		<b>1 Year 24 Days</b>
<b>TOTAL PROJECT RUNNING TIME</b>			<b>1 Year, 9 Months, 4 Days</b>	





THE CITY OF SAN DIEGO

Attachment 11  
Planing Commision Report No. PC-08-119  
Page 1 of 130

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** October 9, 2008 **REPORT NO.** PC-08-119

**ATTENTION:** Planning Commission, Agenda of October 16, 2008

**SUBJECT:** HILLEL OF SAN DIEGO STUDENT CENTER. PROCESS 5

**REFERENCE:** **REPORT NO. PC-05-004 – Hillel of San Diego**  
<http://www.sandiego.gov/planning-commission/pcreports/pc05004hillel.pdf>

**OWNER/** Robert Marshall and Hillel of San Diego

**APPLICANT:** Hillel of San Diego (See Attachment 16)

### SUMMARY

**Issue:** Should the Planning Commission recommend approval to the City Council of a two phased development, with Phase I to retain the existing use of a single-family residence and garage/storage structure for religious offices and related uses; and Phase II the development of a 12,100 square-foot religious student center over a subterranean garage on a vacant 0.77-acre site on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way within the La Jolla Community Plan?

### Staff Recommendation:

1. **Recommend** City Council **Certification** of the Mitigated Negative Declaration No. 149437, and **Adoption** of the Mitigation Monitoring and Reporting Program;
2. **Recommend** City Council Approval of Site Development Permit No. 527861;
3. **Recommend** City Council Approval of Public Right-of-Way Vacation No. 527860; and
4. **Recommend** City Council Approval of Easement Acquisition No. 584509.

**Community Planning Group Recommendation:** The project site is located within the La Jolla Shores Planned District within the boundaries of the La Jolla Community Planning area. The decision-maker is required to consider the recommendation of the La Jolla Shores Planned District Advisory Board (LJSPDAB) and City staff strongly



recommends that all applicants seek the recommendation of the La Jolla Community Planning Association, the officially recognized Community Planning Group for the La Jolla Community Planning Area.

On September 4, 2008, the La Jolla Community Planning Association (LJCPA) passed two motions; one taking action to recommend denial of the project by a vote of 14-0-0, and the other providing direction to the President of the LJCPA regarding the project's environmental document (See Attachment 14). Please see the Discussion section of the report for more detail.

On September 16, 2008 the La Jolla Shores Planned District Advisory Board (LJSPDAB) voted 4-0 to deny the project (See Attachment 15).

**Environmental Review:** Mitigated Negative Declaration No. 149437 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce, to a level of insignificance, any potential impacts identified in the environmental review process.

**Fiscal Impact Statement:** All costs associated with the processing of this project are recovered from a deposit account maintained by the applicant.

**Code Enforcement Impact:** The owner/applicant converted the use of the existing single-family residence at 8976 Cliffridge Avenue from residential to religious use without obtaining a required Site Development Permit (SDP). A Code Compliance Case was opened by the City of San Diego Neighborhood Code Compliance Division of the Development Services Department. Approval of this project would remedy the code compliance case.

**Housing Impact Statement:** The subject properties are designated as Low Density Residential (5-9 dwelling units/acre) in the La Jolla Community Plan. The religious use of the single-family residence at 8976 Cliffridge Avenue has removed one residential dwelling unit from the available housing; however, this situation would be temporary if the project applications are approved by the City Council. The use of the residence at 8976 Cliffridge Avenue would continue as a Phase I use and terminate when the vacant, 0.77-acre portion of the site is available for occupancy under the Phase II development. Upon approval of Phase II, the single-family home would revert back to its original use, and the overall project would not have any permanent housing impacts. The project is not subject to the requirements of the Affordable Inclusionary Housing Ordinance.

---

## **BACKGROUND**

An almost identical project first came before the Planning Commission on February 10, 2005. After being ultimately heard on March 3, 2005, the Planning Commission voted 5-0 to recommend denial to the City Council. The vote was based on the use not being compatible with the surrounding residential uses; therefore, not being able to make the neighborhood compatibility finding; and while the parking plan could meet the needs for special events, it could not be depended on for the regular operation of the facility. After the addition of numerous

conditions regarding parking and traffic, the City Council ultimately approved the Hillel Student Center on May 9, 2006, by a vote of 6-2.

The May 9, 2006 approval was challenged in court, and a judge ruled that although the project's Mitigated Negative Declaration was the appropriate environmental document, the Mitigated Negative Declaration failed to adequately evaluate the pedestrians crossing La Jolla Village Drive, and the possibility of on-site raptors. The judge's order was challenged by both the applicant and a group of project opponents. Given the pending status of the previous approvals, it was determined that the applicant would be allowed to resubmit a new application addressing the judge's concerns, and process it through the City's review process. Should the current application reach City Council prior to the legal action being resolved on the prior approvals, the prior approvals would be rescinded as a part of the current application, prior to the City Council action on the current application.

The applicant submitted the current Hillel Student Center Project on June 12, 2008. The project scope is generally the same, with the addition of 28 on-site parking spaces supplied by parking lifts, and the incorporation of a roof-mounted photovoltaic system consisting of solar panels and the installation of a fuel cell sufficient to generate at least 30 percent of the project's projected energy consumption, meeting the requirements of City Council Policy 900-14. Each of the project's technical studies was redone, and the two areas of concern raised by the judge's order were addressed in the new traffic and biology studies.

The project site consists of a total area of approximately 42,684 square feet which includes a single family home used for religious purposes located at 8976 Cliffridge Avenue (8,358 square feet existing; 9,166 square feet after the public right-of-way vacation), and the existing adjacent vacant site (15,350 square feet existing; 33,518 square feet after the public right-of-way vacation) which is bound on the north by La Jolla Village Drive, on the east by La Jolla Scenic Way and on the south by La Jolla Scenic Drive North. The project site is located in the Single Family Zone of the La Jolla Shores Planned District within the La Jolla Community Planning Area, Coastal Height Limit Overlay Zone, and the Campus Parking Impact Overlay Zone. Properties to the south and east are designated for residential uses (5-9 dwelling units/acre) and are currently developed with detached single-family homes to the south, and attached single family homes to the east, across La Jolla Scenic Way. Properties to the north and west are designated for Public Facilities/Institutional uses. Properties to the north are developed with the University of California San Diego facilities, and the properties to the west, beyond Torrey Pines Road, are currently vacant. The topography for the existing vacant site is relatively flat and gently slopes to the southeast with steeper grade along La Jolla Village Drive and La Jolla Scenic Way with a grade differential of approximately 14 feet.

The City of San Diego was the previous owner of the 0.77-acre vacant portion of the site. As a condition of sale of the vacant portion of the project site to Hillel, the City Council required a minimum of 10,000 square feet of land area at the intersection of La Jolla Scenic Drive North/Torrey Pines Road be landscaped as a neighborhood amenity, which limits the remaining site area of approximately 23,518 square-feet for the proposed development. This has been incorporated into the applicant's Landscape Development Plan (See Attachment 7).

The vacant portion of the site was designated as residential land use in the La Jolla Community Plan and La Jolla Shores Precise Plan until 1995. In 1995, the land use designation for this portion of the site was changed to open space and remained that way until February of 2004 when the La Jolla Community Plan was amended and the site was again designated to residential use, making it consistent with the SF zoning that had remained over this site. Although the land was designated as Open Space for nine years, it was never dedicated as Parkland or Open Space.

The owner and applicant converted the use of the existing single-family residence at 8976 Cliffridge Avenue from residential to religious use without obtaining a required Site Development Permit (SDP). A Code Compliance Case was opened by the City of San Diego Neighborhood Code Compliance Division of the Development Services Department. Since the applicant has applied for the required SDP as Phase I of the current application, the use of the single-family residence as a religious use has been allowed to continue, pending the outcome of the current application. If Phase II of the application is approved, the religious offices and related use at 8976 Cliffridge Avenue would move into the new 12,100 square-foot facility (Phase II) and the single-family home would revert back to its original use. Should Phase II be denied, the applicant would request the approval of Phase I on a permanent basis.

## **DISCUSSION**

### **Project Description:**

The Hillel Student Center Project consists of an application for a Site Development Permit, Easement Acquisition, and Public Right-of-Way Vacation for a two-phased development to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot, one-story religious student center above a subterranean garage of 17,000 square-feet of area as a Phase II entitlement.

Phase I involves the continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy. Phase I would include interior improvements to the existing single family residence and construction of a parking lot to allow for the required off-street parking associated with the use of the single family residence. The exterior elevations of the existing residence would not change.

There are two alternatives proposed for providing the required off-street parking spaces. Alternative I would provide six parking spaces; three standard spaces and one accessible space in the vacated cul-de-sac adjacent to the existing single family residence; and the remaining two spaces would be in the existing detached two-car garage existing on the lot (See Attachment 8, Sheet A2.0). This alternative involves construction of temporary sidewalk and parking improvements in the cul-de-sac/right-of-way proposed for vacation. Alternative II would provide six parking spaces; five standard spaces and one accessible space, within the western portion of the existing site (See Attachment 8, Sheet A2.1). This alternative would require the demolition of the existing detached 462 square-foot garage/storage area to provide adequate space for the cars on site.

Phase II involves the development of a two-level religious student center, with an overall height of 22 feet above grade, consisting of an upper level main floor use area of 12,100 square-feet and a lower subterranean garage of 17,000 square-feet for the parking of 68 vehicles, trash enclosures, storage, and elevators. The student center level would contain three multi-purpose rooms, a library, a lounge area, a computer room, student offices, administrative offices, an elevator, a kitchen, storage, two restrooms, and three outdoor patio areas. The garage also includes a mechanical room, elevator, telephone cable room, service lobby and a trash/recycling area. The subterranean parking garage would be located directly beneath the proposed religious student center building. The vehicle entrance and exit would be located off of La Jolla Scenic Way, approximately 140 feet from La Jolla Village Drive, and 100 feet from La Jolla Scenic Drive North.

A previously approved traffic study, *Traffic Generation, Site Access and Parking Evaluation of Hillel Facility at UC San Diego*, dated May 11, 2004 was prepared for the proposed project by Kimley-Horn and Associates, Inc., to analyze the potential impact of the project on the roadway system and on the on-street parking in the area. A new Traffic study was prepared for the current project, *Traffic Impact Analysis, Hillel Facility*, dated July 7, 2008, prepared by Linscott, Law, and Greenspan.

The proposed project is estimated to generate 234 average daily trips on Fridays (Shabbat Services) with 11 morning peak-hour trips and 8 evening peak-hour trips. Other days of the week would be estimated to generate lower traffic volumes. Once a week on a late Friday night, there are 58 trips expected between 9:00PM and 10:00PM.

The project would meet the parking requirements of the Land Development Code by proposing 68 automobile spaces (56 spaces provided within 28 tandem spaces), 3 accessible spaces, 2 motorcycle spaces, and 20 bicycle spaces on site. The 68 vehicle parking spaces would be provided with a 40-space underground parking garage. In addition, the project has provided a shared parking agreement to allow for the use of up to 75 parking spaces for each Friday between 5:00 PM and 12:00 AM for occasional special events.

The exterior elevations of the student center building indicate the use of earth tone colored stucco, stone cladding, masonry blocks, earth tone colored concrete, wood siding, dual-glaze windows, metal trellis, and metal roof. The project design incorporates a roof-mounted photovoltaic system consisting of solar panels and the installation of a fuel cell sufficient to generate at least 30 percent of the project's projected energy consumption, meeting the requirements of City Council Policy 900-14. In addition, the project proposes to meet the standards required to obtain a Leadership in Energy and Environmental Design (LEED) Silver rating.

Proposed grading of the site would consist of 9,200 cubic yards of cut and 400 cubic yards of fill with an average depth of cut of 15 feet. Approximately 8,800 cubic yards of material would be exported offsite. The project proposes seven retaining walls along the southwestern, northern and eastern portions of the site with a maximum height of seven feet.

Landscaping for the proposed project would consist of Torrey Pines, large screening shrubs, medium flowering shrubs, low spreading shrubs, low growing flowering shrubs, groundcover and

hardscape areas. All proposed plants on the project site would be native species. Torrey Pines are proposed along the property line for the project site. Large screening shrubs and medium flowering shrubs are proposed along the outside walls of the proposed building. A combination of groundcover, low spreading shrubs and low growing flowering shrubs are proposed along the proposed building and along the property line with the proposed Torrey Pines. Hardscaped areas are proposed on the north and south portion of the site.

**Community Plan Analysis:**

The subject properties are designated as Low Density Residential (5-9 du/ac) in the La Jolla Community Plan. Religious uses are commonly found to fit within residential areas without adversely affecting the Land Use Plan. Additionally, the proposed use is permitted by the La Jolla Shores Planned District Ordinance which was adopted specifically to implement the Land Use Plan. The Hillel center is located directly across the street from the University of California and on the northern edge of the adjacent residential neighborhood, making it an appropriate location for the student-related activity.

The proposed development incorporates a number of specific design features which would allow the religious student center to achieve compatibility with the existing residential development in the vicinity. The center utilizes variations in height, textures, and rooflines in order to create the appearance of a series of smaller, individual structures. In addition, lower portions of the structure would be concealed behind landscaped berms which would reduce the overall scale of the structure as viewed from the adjacent residential neighborhood. Torrey Pine trees are proposed as both street trees and in informal groupings around the periphery of the project, and would further screen and soften the structure at maturity. Parking for the facility is located within a subterranean garage and meets the San Diego Municipal Code requirement of 68 vehicle parking spaces. The garage would also be equipped with a loading area, trash and recycling area, and a service elevator, so that any noise and visual impacts associated with these activities would be screened from surrounding residents.

In order to further minimize impacts to the adjacent residential neighborhood, staff has proposed specific conditions limiting the hours of operation for the center and the frequency of large events. The center will be permitted to be open from 7:00 AM to 10:00 PM Monday - Friday, while all post-event cleanup and securing of the center must conclude by 11:00 PM. Weekend hours would be limited to Saturday from 8:00 AM to 10:00 PM and Sunday from 10:00 AM to 6:00 PM unless there is a Jewish Holiday or other occasional special event, where the weekday hours of operation would be allowed.

The number of occasional special events for the first twelve months of operation shall be limited to six. The number may be increased after the first year to a maximum of nine occasional special events per year with the approval of the Development Services Department Director, in his or her sole discretion, where Neighborhood Code Compliance would be in charge of documenting the number of these events.

The project also implements policies of the La Jolla Community Plan which recommend enhanced pedestrian-orientation. Non-contiguous sidewalks are located along the La Jolla Village Drive and La Jolla Scenic Drive North frontages, with Torrey Pine trees and other

landscaping planted between the curb and sidewalk. While screening the project from the adjacent residential neighborhood, this configuration would also buffer pedestrians from automobile traffic to create an environment conducive to walking and transit use. As such, students would be encouraged to use transit or walk from the UC San Diego campus to the student center, reducing automobile traffic and demand for parking at the center. By incorporating the cited design features and the conditions regarding operation of the center, the project implements the policies of the La Jolla Community Plan and would not adversely affect the residential land use designation of the subject properties.

**Environmental Analysis:**

The City of San Diego conducted an Initial Study, which determined that the proposed project construction could potentially result in significant but mitigable impacts in the areas of Paleontological Resources and Parking. Mitigated Negative Declaration Number 149437 was prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program would be implemented which would reduce, to below a level of significance, the potential environmental impacts identified from the environmental review process for Paleontological Resources and Parking.

**Project-Related Issues:**

Community Planning Group Recommendation - The project site is located within the La Jolla Shores Planned District within the boundaries of the La Jolla Community Planning area. The decision-maker is required to consider the recommendation of the La Jolla Shores Planned District Advisory Board (LJSPDAB) and City staff strongly recommends that all applicants seek the recommendation of the La Jolla Community Planning Association, the officially recognized Community Planning Group for the La Jolla Community Planning Area. The project went before both groups and the results of their actions are detailed below.

On September 4, 2008, the La Jolla Community Planning Association (LJCPA) passed two motions; one taking action on the application, and the other providing direction to the President of the LJCPA regarding the project's environmental document (See Attachment 14).

In the first motion, the LJCPA voted 14-0-0 to recommend denial of the subject project, following the recommendations of the La Jolla Traffic and Transportation Board and the La Jolla Shores Permit Review Committee. The LJCPA recommended denial of the project because of:

1. Inadequate transportation plan with impacts on adjacent intersections and pedestrian movements;
2. Detrimental street vacation for which the findings cannot be made;
3. Insufficient parking;

4. Unpermitted use of a Student Center in the La Jolla Shores Planned District Ordinance (LJSPDO); and
5. The project does not meet the green space requirements of the LJSPDO on its own without the public right of way vacations.

In the second motion, the LJCPA voted 14-0-0 to request that the President of the LJCPA send a letter to the City that:

1. Points out the errors in the draft Mitigated Negative Declaration (MND) and
2. Requests an Environmental Impact Report with better analysis of transportation, parking, street vacation, open space, land use, and community character.

On September 16, 2008 the La Jolla Shores Planned District Advisory Board (LJSPDAB) voted 4-0 to recommend denial of the project. Among a list of reasons, the LJSPDAB based their recommendation on traffic, impact on the surrounding neighborhood, non-conforming use as a student center, the proposed street vacation action, and non-use by the nearby single-family residential community.

Staff Response to Community Planning Group Issues – Following each of the LJCPA reasons for their denial recommendation, are responses from staff each issue.

1. Inadequate transportation plan with impacts on adjacent intersections and pedestrian movements - A comprehensive traffic study was completed for the project using City standards. In addition to the base analysis, a worst case analysis in terms of vehicular impact was conducted (assuming all patrons drive to the facility) and a worst case analysis in terms of pedestrian movements was conducted (assuming all patrons walk to the facility). These two extra analyses were conducted above and beyond the typical traffic study analyses. A full analysis of the La Jolla Village Drive/Torrey Pines Road, La Jolla Village Drive/La Jolla Scenic Way, La Jolla Scenic Drive North/Cliffridge Avenue, La Jolla Scenic Way/La Jolla Scenic Drive North, and La Jolla Scenic Drive North/Caminito Deseo intersections was completed in the project's traffic impact analysis. This analysis was completed for the scenarios listed below. No significant impacts were identified in terms of vehicular or pedestrian movements based on City of SD significance criteria.
  - a. Existing
  - b. Existing + cumulative projects
  - c. Existing + cumulative projects + project
  - d. 2030 without project
  - e. 2030 with project
2. Detrimental street vacation for which the findings cannot be made – It is staff's position that the street vacation findings can be made. As noted in the Public Right-of-Way Vacation Resolution (Attachment 9), there is no present or prospective use for the public right-of-way, either for the purpose for which it was originally required, or for any other public use of a like nature that can be anticipated; the public will benefit from the vacation through the improved utilization of the land

made available by the vacation; the vacation does not adversely affect any applicable land use plan; and the public facility for which the public right-of-way was originally acquired will not be detrimentally affected by this vacation.

La Jolla Scenic Drive North is a local street and there is little likelihood that this local street would be widened to the width allowed by the current right-of-way. As designed, La Jolla Scenic Drive North would meet the design standards of the City of San Diego Traffic Design Manual. The applicant would maintain more than 10,000 square feet of landscaped and hardscaped area for public use, both visually and physically, with a bike and pedestrian path, grove of native Torrey Pine Trees, a park bench, trash receptacle, and public drinking fountain. In addition, any liability and maintenance cost would be transferred from the City to the property owner with this vacation. The intended use of the site is consistent with the community plan and SF zone, which allows religious uses by right. Therefore, it is staff's position that the street vacation findings can be made.

3. Insufficient parking – The total parking requirement for proposed project is 74 spaces; with 6 spaces for Phase I and 68 spaces for Phase II. Six parking spaces are proposed for Phase I which meets the requirements of the San Diego Municipal Code. Sixty-eight parking spaces are proposed for Phase II, with 56 of the 68 spaces proposed through the use of parking lifts, which meets the requirements of the San Diego Municipal Code. In addition, the project has been conditioned to require the maintenance of a shared parking agreement with the University of California, San Diego for an additional sixty-seven (67) off-site parking spaces for Hillel's weekly Shabbat services, and up to 75 off-site parking spaces for occasional special events. The additional parking spaces shall be available from 1 hour prior to the event until 1 hour after each event. Should the off-site parking location be more than 600 feet from the subject site, the applicant shall be required to provide a shuttle service between the off-site location and the Hillel facility for both weekly Shabbat services and the occasional, on-site special events. Therefore, the project would meet the parking requirements of the San Diego Municipal Code.
4. Unpermitted use of a Student Center in the La Jolla Shores Planned District Ordinance (LJSPDO) – The project is proposing the development of a 12,100 square foot religious student center, including associated administrative uses and functions. The Hillel project site is within the Single Family (SF) zone in the La Jolla Shores Planned District, which permits churches, temples or buildings of a permanent nature, used primarily for religious purposes. Therefore, the religious student center is an allowable use at this location.
5. The project does not meet the green space requirements of the LJSPDO on its own without the public right of way vacations - The planting area requirement for the LJSPDO is 30 percent of the total lot area as specified in Section 1510.0304(h) of the Land Development Code. Should the public-right-of-way vacation be approved, the subject property would exceed the required amount of green space or landscape planting area by 215 percent. Should the vacated area not be included in the calculation, the planting area would be 78.9 percent of the entire street yard,

exceeding the LJSPDO requirement of 30 percent and the standard Street Yard Requirement of 25 percent as specified in Table 142-04C of the Land Development Code, Landscape Regulations.

Bulk and Scale not consistent with the surrounding development – It is staff's position that the Hillel project is compatible with the neighboring structures. Phase I involves the continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy. Alterations to the exterior or the height of the single-family home are not a part of this project, and would require additional review and approval by the City of San Diego, as conditioned in the project's Site Development Permit. Phase II involves the development of a two-level religious student center, consisting of an upper level main floor use area of 12,100 square-feet and a lower subterranean 17,000 square-foot garage.

As fully discussed in the Community Plan Analysis, the proposed development incorporates a number of specific design features which will allow the religious student center to achieve compatibility with the existing residential development in the vicinity, including variations in design in order to create the appearance of a series of smaller, individual structures; and concealing lower portions of the structure behind landscaped berms which will reduce the overall scale of the structure as viewed from the adjacent residential neighborhood. Torrey Pine trees are proposed as part of the project's landscaping plan, which would further screen and soften the structure at maturity. In addition, the project's subterranean garage is houses the project's loading area, trash and recycling area, and service elevator, so that any noise and visual impacts associated with these activities would be screened from surrounding residents.

The maximum building height for the Hillel facility is 22 feet above the main finish floor elevation. This is well below the allowable 30 feet and is consistent with the adjacent single-family development, including the two-story single family residence on the corner of Cliffridge Avenue and La Jolla Scenic Drive North. Additionally, any of the surrounding single family residences are allowed to develop up to the 30-foot height limit consistent with the allowable building heights within the LJSPDO and the Proposition 'D' Coastal Height Limit. The La Jolla Playhouse Theater complex on the University of California, San Diego (UCSD) campus exists across La Jolla Village Drive, approximately 100 yards to the north, and is developed with multi-story structures. The nature and color of the Hillel project's materials are similar to other structures in the neighborhood, and the design provides landscaping in excess of what is required.

---

Proposed Deviations – Following each deviation listed below, is staff's reason (**in bold**) for supporting that deviation. All three deviations seek to reduce the 24-foot width of curb cuts providing access to the project site:

1. Phase I, Alternative 1. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (j)(1) for minimum width of a non-residential driveway. Temporary deviation from the driveway width requirements, whereas, the applicant is proposing a 12-foot curb cut to access 8976 Cliffridge Avenue where the San

Diego Municipal Code requires 24 feet for a non-residential use. This deviation assumes approval of Phase II and the public right-of-way vacation request. When Phase II is constructed, the religious offices and related use at 8976 Cliffridge Avenue will move into the new 12,100 square-foot facility (Phase II) and the single-family home will revert back to its original use, which only requires a 12-foot curb cut as a residential use.

**Staff supports this deviation to a 12 foot wide curb cut because the narrower driveway is temporary in nature which is expected to revert back to a single family residence, reduces the impacts to on-street parking and allows for appropriate separation between the driveway and the required pedestrian ramp which matches the existing pedestrian ramp on the opposite side of the street.**

2. Phase I, Alternative 2. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (j)(1) for minimum width of a non-residential driveway. Permanent deviation from the driveway width requirements, whereas, the applicant is proposing a 20-foot curb cut to access 8976 Cliffridge Avenue where the San Diego Municipal Code requires 24 feet for a non-residential use. This deviation assumes denial of Phase II and the Public Right-of-Way Vacation request, and the permanent use of the single family home at 8976 Cliffridge Avenue as a non-residential use.

**Staff supports this deviation to a 20-foot curb cut because the narrower driveway reduces the impacts to on-street parking while still accommodating two-way traffic.**

3. Phase II. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (j)(1) for minimum width of a non-residential driveway. Deviation from the driveway width requirements, whereas, the applicant is proposing a 22-foot curb cut to access the religious student center where the San Diego Municipal Code requires 24 feet for a non-residential use.

**Staff supports this deviation to a 22-foot wide curb cut to reduce the impacts to on-street parking and to match the proposed drive aisle as designed for the project still accommodating two-way traffic.**

### **Conclusion:**

The continued use of 8976 Cliffridge Avenue as Hillel offices and the proposed 12,100 square-foot religious student center and subterranean parking structure are consistent with the Community Plan land use designation and zoning regulations of the La Jolla Shores Planned District Ordinance, which permit churches, temples or buildings of a permanent nature, used primarily for religious purposes. The Hillel facility's sole function is for religious purposes to promote the Jewish faith spiritually, educationally, and socially to the students at UCSD. All mentioned ancillary uses support the religious purpose and programming of the facility.

The project has been reviewed in accordance with all applicable development regulations and the La Jolla Community Plan and Local Coastal Program, the City's General Plan, and the California Environmental Quality Act. Staff has determined the project complies with the applicable development regulations and would be consistent with the purpose and intent of the underlying zone. Staff believes the religious student center project is well designed and would be an asset to the neighborhood. Staff has provided the required findings to affirm the project and recommends that the Planning Commission recommend to the City Council approval of the project as proposed.

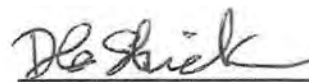
### ALTERNATIVES

1. Recommend that the City Council **Certify** Mitigated Negative Declaration No. 149437 and **Adopt** the Mitigation, Monitoring, and Reporting Program; and **Approve** Site Development Permit No. 527861, Public Right-of-Way Vacation No. 527860; and Easement Acquisition No. 584509, **with modifications**.
2. Recommend that the City Council **Not Certify** Mitigated Negative Declaration No. 149437 and **Not Adopt** the Mitigation, Monitoring, and Reporting Program; **Deny** Site Development Permit No. 527861, Public Right-of-Way Vacation No. 527860; and Easement Acquisition No. 584509, **if the findings required to approve the project cannot be affirmed**.
3. Should the Planning Commission vote to **Deny** Site Development Permit No. 527861 and Public Right-of-Way Vacation No. 527860 required for Phase II, it is requested that the Planning Commission Recommend that the City Council **Approve** Site Development Permit No. 527861 to allow the continued use of the single-family home at 8976 Cliffridge Avenue on a permanent basis. This alternative has been covered by the Mitigated Negative Declaration, and sufficiently reviewed by staff.

Respectfully submitted,



Mike Westlake  
Program Manager  
Development Services Department



Daniel Stricker  
Development Project Manager  
Development Services Department

BROUGHTON/DES

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map

4. Project Data Sheets
5. Project Information and Site Plans
6. Civil Engineering Plans
7. Landscape Plans
8. Architectural Plans
9. Draft Right-of-Way Vacation Resolution and Exhibits
10. Draft Permit with Conditions
11. Draft Permit Resolution with Findings
12. Transportation Demand and Parking Management Plan
13. Shared Parking Agreement
14. La Jolla Community Planning Association Recommendation
15. La Jolla Shores Planned District Ordinance Advisory Board Recommendation
16. Ownership Disclosure Statement
17. Project Chronology



Development Services Department  
Project Management Division

# Aerial Photograph



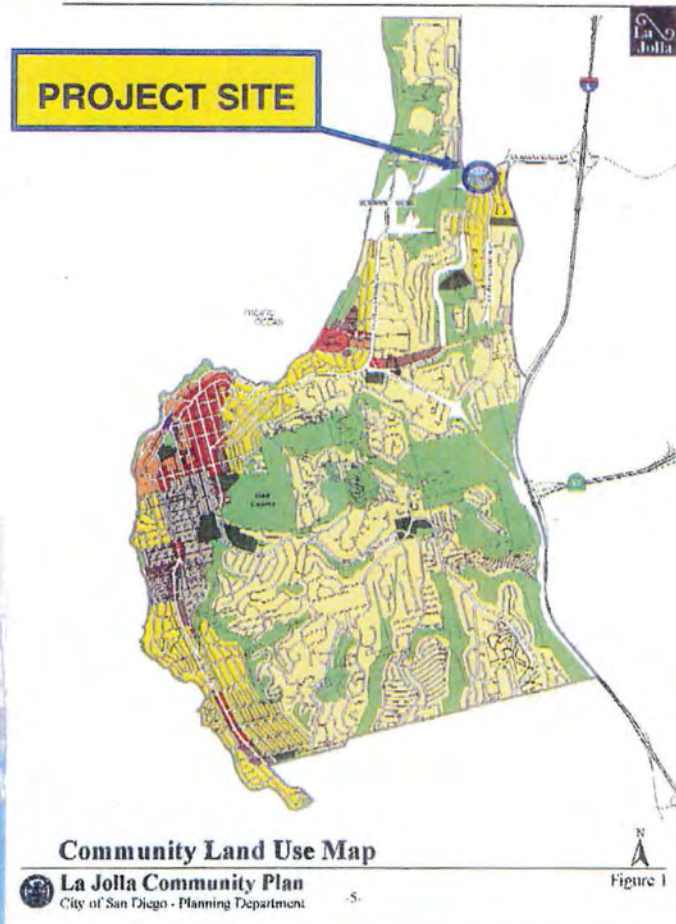


Development Services Department  
Project Management Division

# Community Land Use Map

Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

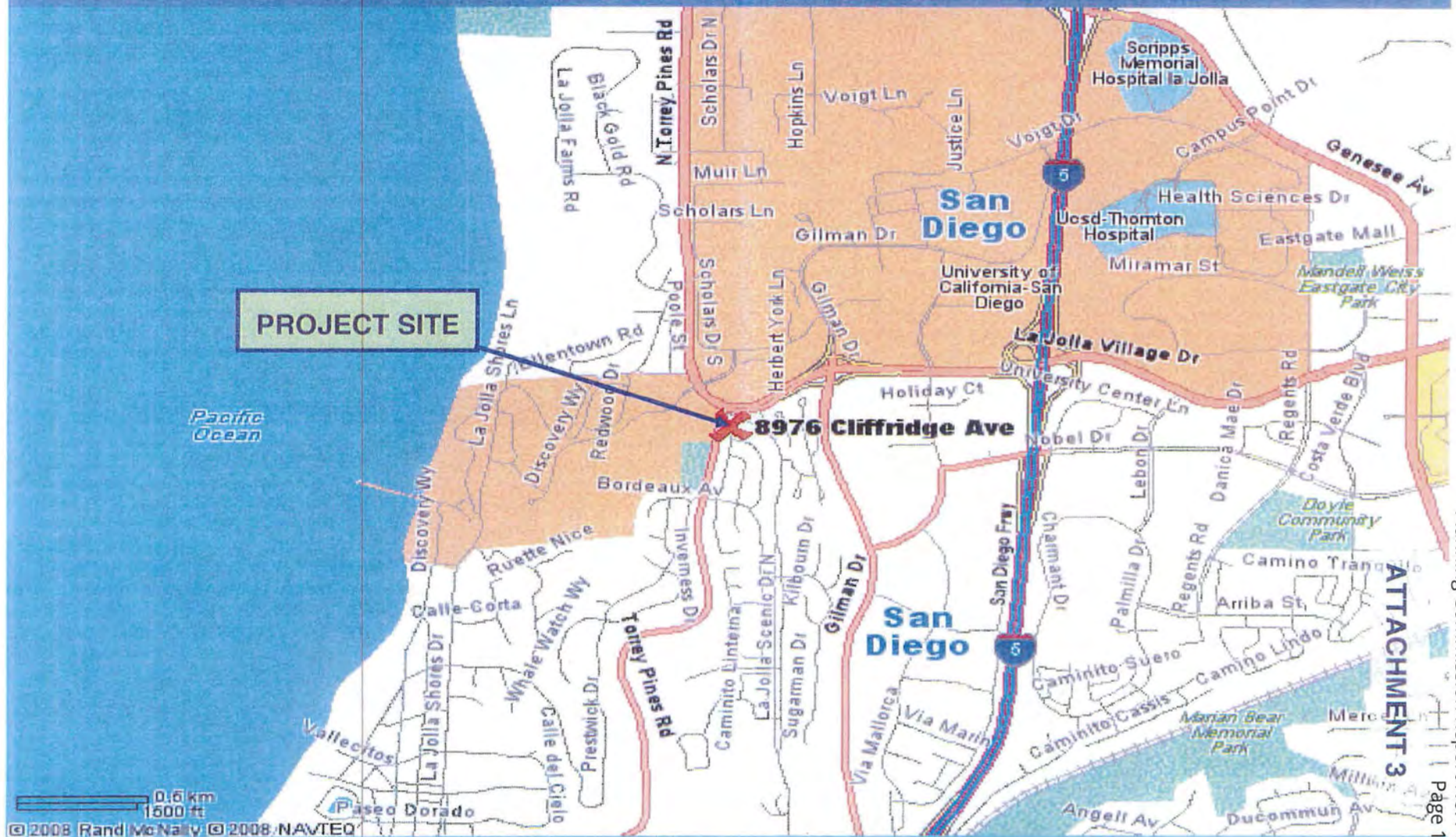


ATTACHMENT 2

4

x

# Development Services Department Project Management Division



**Project Location Map**



Hillel of San Diego Student Center, Phase I

ATTACHMENT 4

PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	Hillel of San Diego Student Center (Phase I) – Project 149437	
<b>PROJECT DESCRIPTION:</b>	Continue use of an existing single dwelling for religious purposes until Phase II is occupied	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit, Easement Dedication, and Public Right-of-Way Vacation	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low Density Residential (5-9 du/ac)	
<b><u>ZONING INFORMATION:</u></b> <div style="padding-left: 40px;"> <b>ZONE:</b> SF (Single Family) in the La Jolla Shores Planned District.            Permits single unit residential, churches, temples and buildings used for religious purposes  <b>HEIGHT LIMIT:</b> 30 feet  <b>LOT SIZE:</b> Any size legal lot  <b>FLOOR AREA RATIO:</b> NA  <b>FRONT SETBACK:</b> General conformity  <b>SIDE SETBACK:</b> General conformity  <b>STREETSIDE SETBACK:</b> General conformity  <b>REAR SETBACK:</b> General conformity  <b>PARKING:</b> 6 parking spaces required, 6 parking spaces proposed.         </div>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Public Facilities/Institutional & RS-1-7 across street	University Campus
<b>SOUTH:</b>	Low Density Residential & SF	Single Detached Dwellings
<b>EAST:</b>	Low Density Residential & SF	Single Attached Dwellings
<b>WEST:</b>	Public Facilities/Institutional & RS-1-7 across street	Vacant
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Minimum width of a non-residential driveway. See Permit for more detail.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	- On September 4, 2008, the La Jolla Community Planning Association voted 14-0-0 to Deny. - On September 16, 2008, the La Jolla Shores Planned District Advisory Board voted 4-0 to Deny.	

Hillel of San Diego Student Center, Phase II

ATTACHMENT 4

PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	Hillel of San Diego Student Center (Phase II) – Project 149437	
<b>PROJECT DESCRIPTION:</b>	Construction of a 12,100 square foot religious student center over a 17,000 square foot subterranean parking garage	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit, Easement Dedication, and Public Right-of-Way Vacation	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low Density Residential (5-9 du/ac)	
<b><u>ZONING INFORMATION:</u></b> <b>ZONE:</b> SF (Single Family) in the La Jolla Shores Planned District. Permits single unit residential, churches, temples and buildings used for religious purposes <b>HEIGHT LIMIT:</b> 30 feet <b>LOT SIZE:</b> Any size legal lot <b>FLOOR AREA RATIO:</b> NA <b>FRONT SETBACK:</b> General conformity <b>SIDE SETBACK:</b> General conformity <b>STREETSIDE SETBACK:</b> General conformity <b>REAR SETBACK:</b> General conformity <b>PARKING:</b> 68 parking spaces required, 68 parking spaces proposed		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Public Facilities/Institutional & RS-1-7 across street	University Campus
<b>SOUTH:</b>	Low Density Residential & SF	Single Detached Dwellings
<b>EAST:</b>	Low Density Residential & SF	Single Attached Dwellings
<b>WEST:</b>	Public Facilities/Institutional & RS-1-7 across street	Vacant
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Minimum width of a non-residential driveway. See Permit for more detail.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	<ul style="list-style-type: none"> <li>- On September 4, 2008, the La Jolla Community Planning Association voted 14-0-0 to Deny.</li> <li>- On September 16, 2008, the La Jolla Shores Planned District Advisory Board voted 4-0 to Deny.</li> </ul>	

[illegible]

**Delayed Submittals**

Submittals received from designers and/or vendors must be submitted to the engineer on or before the deadline date. Late submittals may be reviewed, but the engineer will not be responsible for any delays in construction. The engineer will not be responsible for any delays in construction. The engineer will not be responsible for any delays in construction.

**Plumbing Fixture Requirements**

See the following table for the minimum number of plumbing fixtures required for each type of building.

**Special Inspection**

See the following table for the minimum number of plumbing fixtures required for each type of building.

**Disabled Access Information**

See the following table for the minimum number of plumbing fixtures required for each type of building.

[illegible][illegible]

Building Area / Occupancy	
<b>Phase 1</b>	
Existing and Planned Occupancy: (Existing Occupancy: 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 82	

# Sheet Index

**100** **Index**

**101** **Index**

**102** **Index**

**103** **Index**

**104** **Index**

**105** **Index**

**106** **Index**

**107** **Index**

**108** **Index**

**109** **Index**

**110** **Index**

**111** **Index**

**112** **Index**

**113** **Index**

**114** **Index**

**115** **Index**

**116** **Index**

**117** **Index**

**118** **Index**

**119** **Index**

**120** **Index**

**121** **Index**

**122** **Index**

**123** **Index**

**124** **Index**

**125** **Index**

**126** **Index**

**127** **Index**

**128** **Index**

**129** **Index**

**130** **Index**

**131** **Index**

**132** **Index**

**133** **Index**

**134** **Index**

**135** **Index**

**136** **Index**

**137** **Index**

**138** **Index**

**139** **Index**

**140** **Index**

**141** **Index**

**142** **Index**

**143** **Index**

**144** **Index**

**145** **Index**

**146** **Index**

**147** **Index**

**148** **Index**

**149** **Index**

**150** **Index**

**151** **Index**

**152** **Index**

**153** **Index**

**154** **Index**

**155** **Index**

**156** **Index**

**157** **Index**

**158** **Index**

**159** **Index**

**160** **Index**

**161** **Index**

**162** **Index**

**163** **Index**

**164** **Index**

**165** **Index**

**166** **Index**

**167** **Index**

**168** **Index**

**169** **Index**

**170** **Index**

**171** **Index**

**172** **Index**

**173** **Index**

**174** **Index**

**175** **Index**

**176** **Index**

**177** **Index**

**178** **Index**

**179** **Index**

**180** **Index**

**181** **Index**

**182** **Index**

**183** **Index**

**184** **Index**

**185** **Index**

**186** **Index**

**187** **Index**

**188** **Index**

**189** **Index**

**190** **Index**

**191** **Index**

**192** **Index**

**193** **Index**

**194** **Index**

**195** **Index**

**196** **Index**

**197** **Index**

**198** **Index**

**199** **Index**

**200** **Index**

**201** **Index**

**202** **Index**

**203** **Index**

**204** **Index**

**205** **Index**

**206** **Index**

**207** **Index**

**208** **Index**

**209** **Index**

**210** **Index**

**211** **Index**

**212** **Index**

**213** **Index**

**214** **Index**

**215** **Index**

**216** **Index**

**217** **Index**

**218** **Index**

**219** **Index**

**220** **Index**

**221** **Index**

**222** **Index**

**223** **Index**

**224** **Index**

**225** **Index**

**226** **Index**

**227** **Index**

**228** **Index**

**229** **Index**

**230** **Index**

**231** **Index**

**232** **Index**

**233** **Index**

**234** **Index**

**235** **Index**

**236** **Index**

**237** **Index**

**238** **Index**

**239** **Index**

**240** **Index**

**241** **Index**

**242** **Index**

**243** **Index**

**244** **Index**

**245** **Index**

**246** **Index**

**247** **Index**

**248** **Index**

**249** **Index**

**250** **Index**

**251** **Index**

**252** **Index**

**253** **Index**

**254** **Index**

**255** **Index**

**256** **Index**

**257** **Index**

**258** **Index**

**259** **Index**

**260** **Index**

**261** **Index**

**262** **Index**

**263** **Index**

**264** **Index**

**265** **Index**

**266** **Index**

**267** **Index**

**268** **Index**

**269** **Index**

**270** **Index**

**271** **Index**

**272** **Index**

**273** **Index**

**274** **Index**

**275** **Index**

**276** **Index**

**277** **Index**

**278** **Index**

**279** **Index**

**280** **Index**

**281** **Index**

**282** **Index**

**283** **Index**

**284** **Index**

**285** **Index**

**286** **Index**

**287** **Index**

**288** **Index**

**289** **Index**

**290** **Index**

**291** **Index**

**292** **Index**

**293** **Index**

**294** **Index**

**295** **Index**

**296** **Index**

**297** **Index**

**298** **Index**

**299** **Index**

**300** **Index**

**301** **Index**

**302** **Index**

**303** **Index**

**304** **Index**

**305** **Index**

**306** **Index**

**307** **Index**

**308** **Index**

**309** **Index**

**310** **Index**

**311** **Index**

**312** **Index**

**313** **Index**

**314** **Index**

<

• Hill of San Diego  
 • Street Vacation  
 • Right of Way Dedication  
 • La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
 • Change of Occupancy Permit  
 • Sustainable Expedite Program

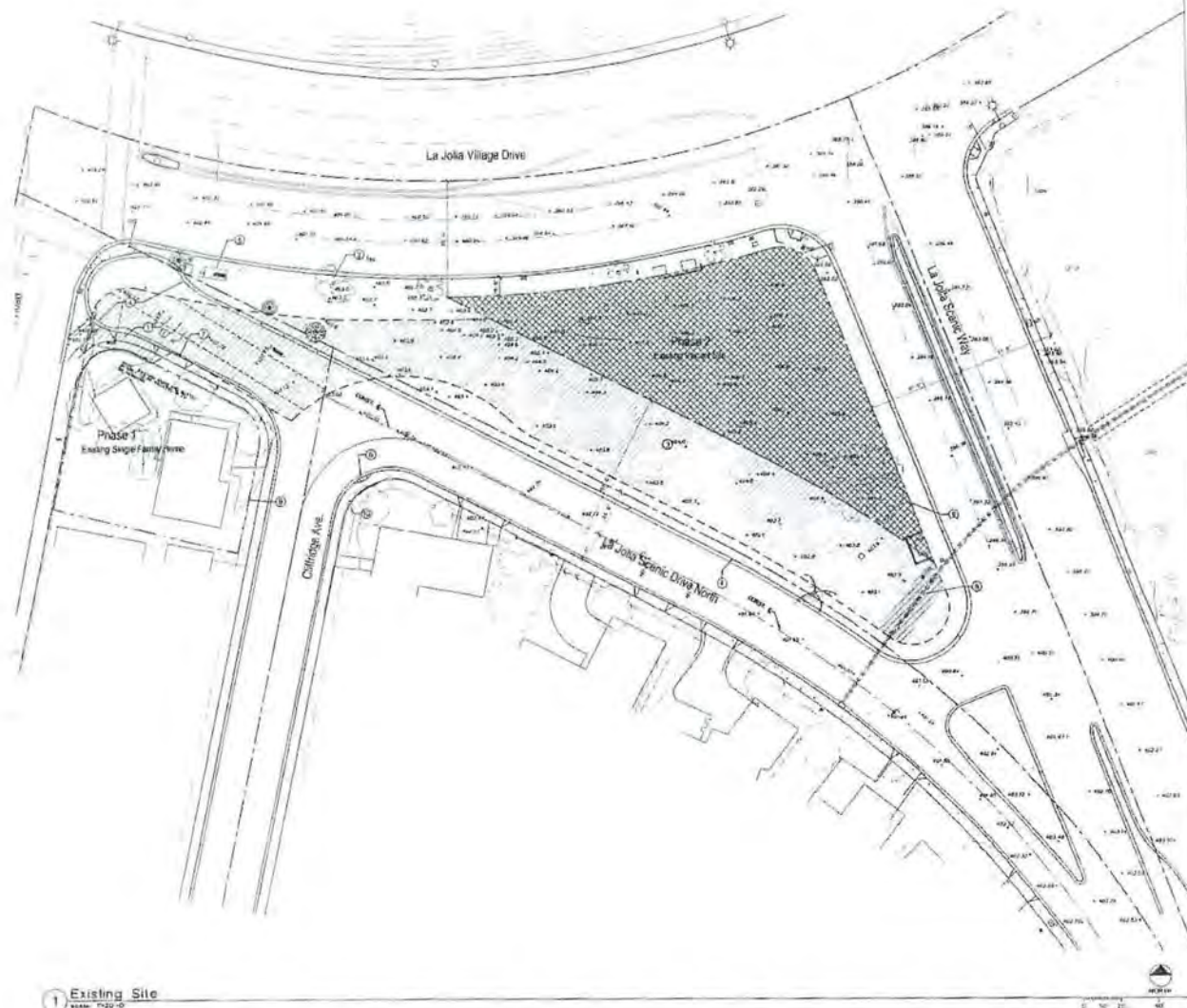
[illegible][illegible][illegible]

4-bit ripple-carry adder

Diagram illustrating a 4-bit ripple-carry adder circuit. The circuit consists of four full-adder blocks connected in series. The inputs are A0, B0, and a carry-in of 0. The outputs are S0, S1, S2, S3, and a carry-out. The carry-out of one block is the carry-in for the next block. The final carry-out is the carry-out of the last block.

Plan  
Exam 1





- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

[illegible]

Street Vacates  
 Rights of Way Dedication  
 La Jolla Shores Site Developers Ponder Is  
 Sustainable Building Development with  
 Tensions from Development Regulations

<b>Seminar/Exposition</b>	
Name:	
Adress:	
Telefon:	
Fax:	
E-Mail:	

Hillel  
of San Diego  
San Diego, California

Pharm. J.  
6976 Coltrappe Avenue  
La Jolla, California 92037

Phase 2:  
Inventory of La Jolla (James Hall)  
La Jolla Village Drive  
and La Jolla Green Drive  
La Jolla, California 92037

NOT FOR CIRCULATION

Learning  
Soc Plan

A1.0





1 Phasing Plan  
scale: 1"=20' 0"

- Hillel of San Diego
- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program



Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program



Hillel  
of San Diego  
San Diego, California

Phase 1  
8819 Chittage Avenue  
La Jolla, California 92037

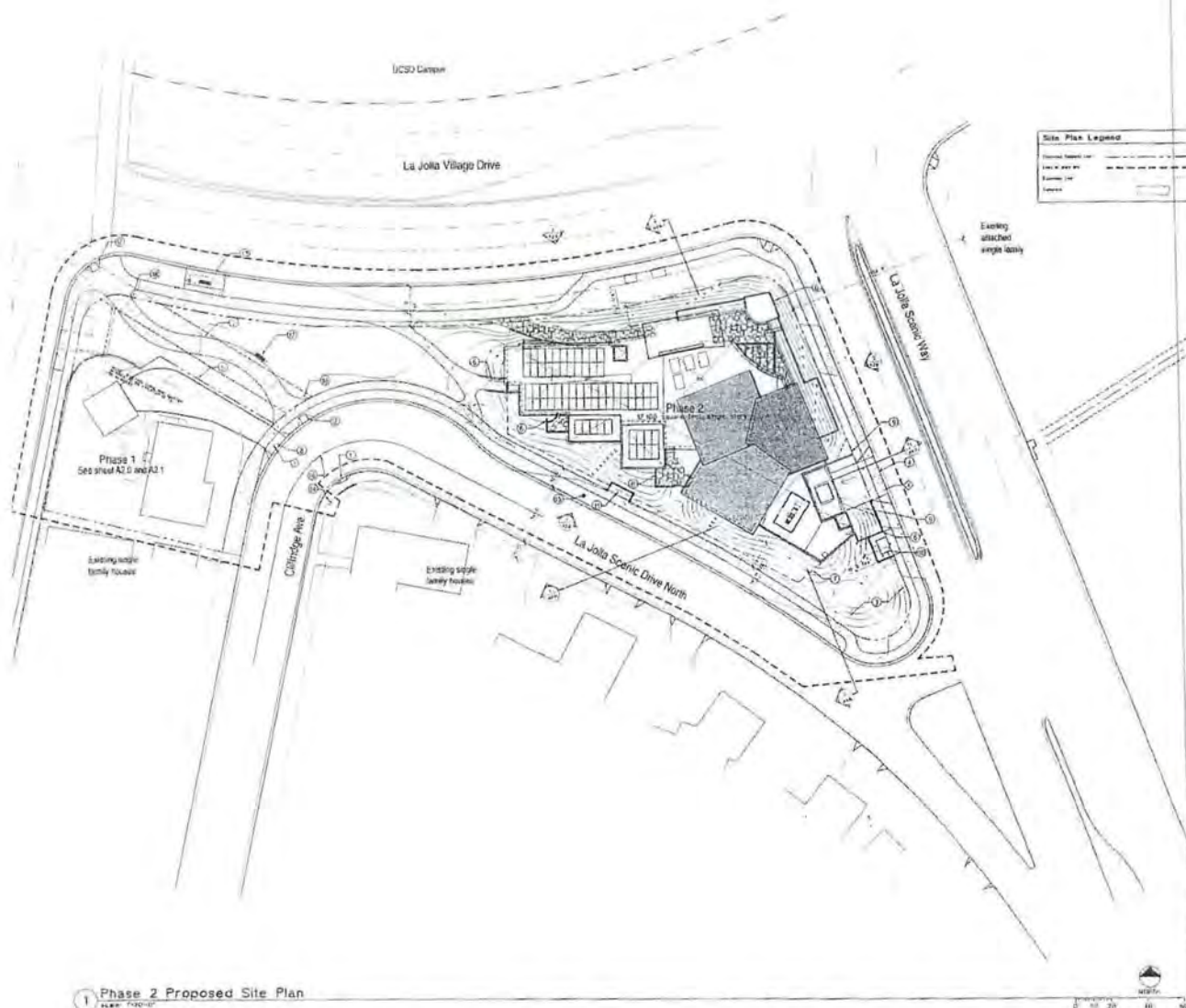
Phase 2  
Vacation of La Jolla Shores Way  
La Jolla Village Drive  
and La Jolla Shores Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Phasing Plan

A1.1





- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

**Site Plan Legend**

Proposed Support Lot	_____
Lot 10, 201 St. St.	_____
Existing Lot	_____
Lot 10, 201 St. St.	_____

[illegible]

**General Issues**

1. There is a lot of overlap in the frequency of different studies and authors. For example, 10 studies by 10 different authors have been published.
2. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies in 10 countries)
3. Possible limitations: quality of evidence and suggest how the strength of evidence from the studies can be improved (e.g. 10 studies, 10 countries)
4. All studies (10) are based on a common source (academic)
5. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies, 10 countries)
6. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies, 10 countries)
7. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies, 10 countries)
8. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies, 10 countries)
9. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies, 10 countries)
10. Generalization of results: are they large enough to have external validity and can they be generalized to other countries? (e.g. 10 studies, 10 countries)

[illegible]

**P. W. STEPLE**  
 Director  
 The National Bureau of Standards  
 Gaithersburg, Maryland 20899

Hillel  
of San Diego  
San Diego, California

Head 1  
157C California Avenue  
La Jolla, California 92037

Photo 2  
Illustration of La Jolla Science Plaza  
La Jolla Village Drive  
and La Jolla Science Drive  
La Jolla, California 92037

Street Vacation  
Right of Way Dedication  
Shows the Developer's Intent to  
Dedicate Building Development and  
Access from Development to Public  
Change of Occupancy Permit  
Sanitary Sewerage Permit

Year 2000	27%
Year 2001	28.5%
Year 2002	29%
Year 2003	30%

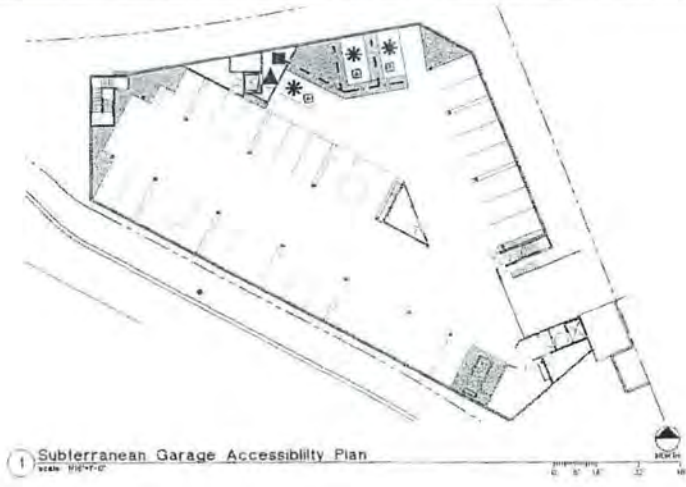
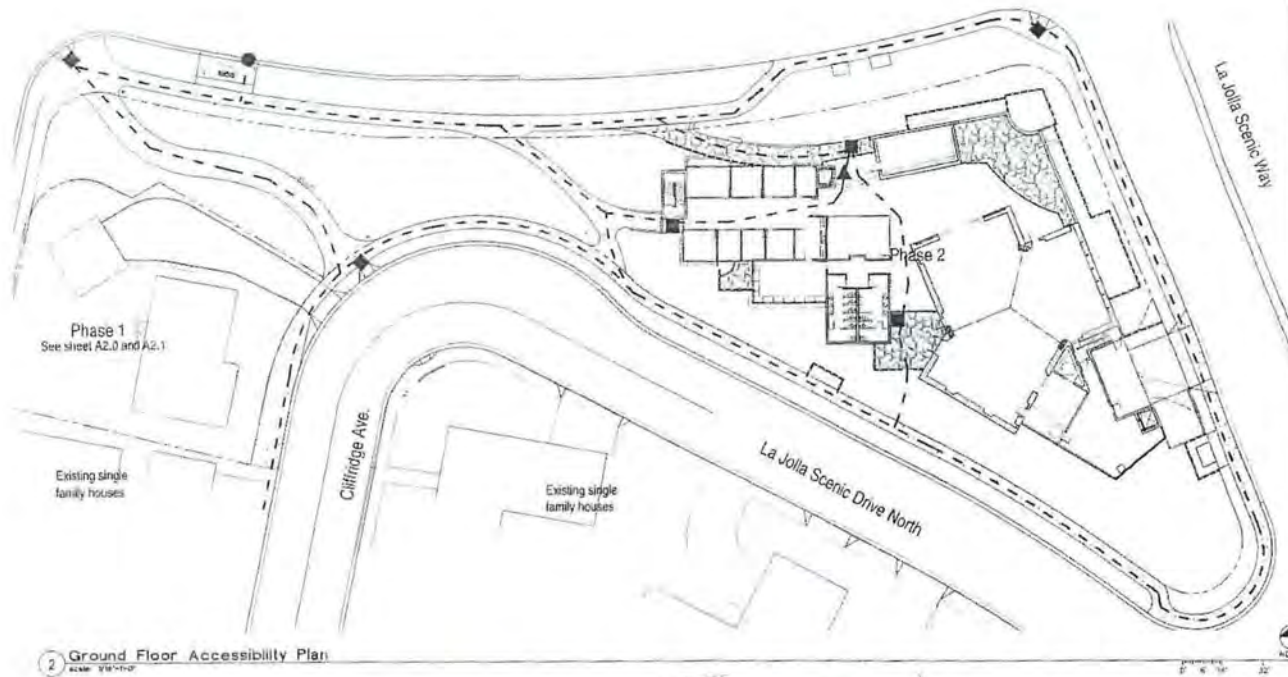
[illegible]

END OF CONSTRUCTION

Phase 2:  
Proposed Site Plan

A1.2





- Hillel of San Diego
- Street Vacation
  - Right of Way Dedication
  - La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
  - Change of Occupancy Permit
  - Sustainable Expedite Program



Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program



Hillel  
of San Diego  
San Diego, California

Phase 1:  
6375 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Phase 2:  
Accessibility Plan

A1.3





- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program



TOPOGRAPHIC SOURCE  
INFORMATION PROVIDED BY HASLAND ENGINEERING  
- FIELD SURVEY MARCH 09, 2002 -

**NOTE:**  
SOME PARTS WILL BE PRIVATELY OWNED AND MAINTAINED. PLEASE SEE  
TABLE #



Street Vacation  
Right of Way Dedication  
Lease Share Site Development Permit for  
Sustainable Building Development with  
Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Easement Program

[illegible]

Hillel  
of San Diego  
San Diego, California

Phase 1  
8926 Cliffridge Avenue  
La Jolla, California 92037

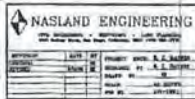
EXISTING TOPOGRAPHY  
EXISTING CONDITIONS

Phase 2:  
Intersection at La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive,  
La Jolla, California 92037

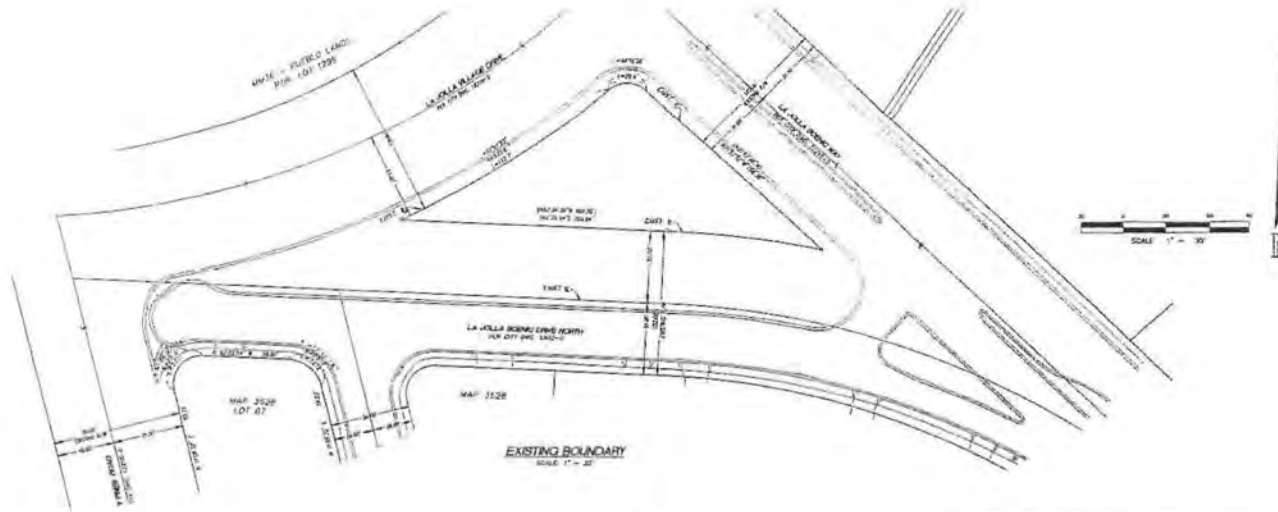
C1.0

ATTACHMENT 6







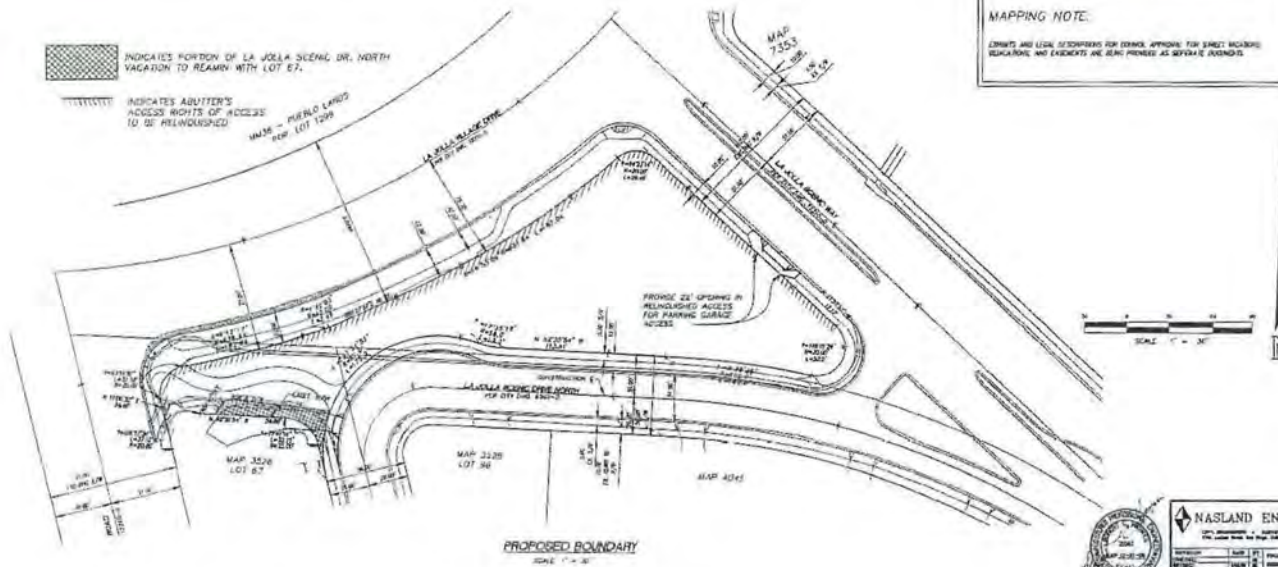


INDICATES PORTION OF LA JOLLA VILLAGE DR. NORTH VACATION TO REMAIN WITH LOT 67.

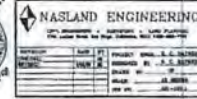
INDICATES ADJUTANT'S ACCESS RIGHTS OF ACCESS TO BE RELINQUISHED

#### MAPPING NOTE:

EXISTING AND PROPOSED BOUNDARIES FOR EXISTING AND PROPOSED BOUNDARIES. EXISTING AND PROPOSED BOUNDARIES ARE SHOWN AS BEFORE AND AFTER.



PROPOSED BOUNDARY  
SCALE: 1" = 30'



## Hillel of San Diego ATTACHMENT 6

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Note: Prior to the February 24, 2004 resubmission, 8876 Cliffridge Avenue had been submitted with the following revision schedule:

Revision	Description	Date
1	Initial Submission	01/20/04
2	Revised Submission	02/02/04
3	Revised Submission	02/02/04
4	Revised Submission	02/02/04
5	Revised Submission	02/02/04
6	Revised Submission	02/02/04
7	Revised Submission	02/02/04
8	Revised Submission	02/02/04
9	Revised Submission	02/02/04
10	Revised Submission	02/02/04
11	Revised Submission	02/02/04
12	Revised Submission	02/02/04
13	Revised Submission	02/02/04
14	Revised Submission	02/02/04
15	Revised Submission	02/02/04
16	Revised Submission	02/02/04
17	Revised Submission	02/02/04
18	Revised Submission	02/02/04
19	Revised Submission	02/02/04
20	Revised Submission	02/02/04
21	Revised Submission	02/02/04
22	Revised Submission	02/02/04
23	Revised Submission	02/02/04
24	Revised Submission	02/02/04
25	Revised Submission	02/02/04
26	Revised Submission	02/02/04
27	Revised Submission	02/02/04
28	Revised Submission	02/02/04
29	Revised Submission	02/02/04
30	Revised Submission	02/02/04
31	Revised Submission	02/02/04
32	Revised Submission	02/02/04
33	Revised Submission	02/02/04
34	Revised Submission	02/02/04
35	Revised Submission	02/02/04
36	Revised Submission	02/02/04
37	Revised Submission	02/02/04
38	Revised Submission	02/02/04
39	Revised Submission	02/02/04
40	Revised Submission	02/02/04
41	Revised Submission	02/02/04
42	Revised Submission	02/02/04
43	Revised Submission	02/02/04
44	Revised Submission	02/02/04
45	Revised Submission	02/02/04
46	Revised Submission	02/02/04
47	Revised Submission	02/02/04
48	Revised Submission	02/02/04
49	Revised Submission	02/02/04
50	Revised Submission	02/02/04
51	Revised Submission	02/02/04
52	Revised Submission	02/02/04
53	Revised Submission	02/02/04
54	Revised Submission	02/02/04
55	Revised Submission	02/02/04
56	Revised Submission	02/02/04
57	Revised Submission	02/02/04
58	Revised Submission	02/02/04
59	Revised Submission	02/02/04
60	Revised Submission	02/02/04
61	Revised Submission	02/02/04
62	Revised Submission	02/02/04
63	Revised Submission	02/02/04
64	Revised Submission	02/02/04
65	Revised Submission	02/02/04
66	Revised Submission	02/02/04
67	Revised Submission	02/02/04
68	Revised Submission	02/02/04
69	Revised Submission	02/02/04
70	Revised Submission	02/02/04
71	Revised Submission	02/02/04
72	Revised Submission	02/02/04
73	Revised Submission	02/02/04
74	Revised Submission	02/02/04
75	Revised Submission	02/02/04
76	Revised Submission	02/02/04
77	Revised Submission	02/02/04
78	Revised Submission	02/02/04
79	Revised Submission	02/02/04
80	Revised Submission	02/02/04
81	Revised Submission	02/02/04
82	Revised Submission	02/02/04
83	Revised Submission	02/02/04
84	Revised Submission	02/02/04
85	Revised Submission	02/02/04
86	Revised Submission	02/02/04
87	Revised Submission	02/02/04
88	Revised Submission	02/02/04
89	Revised Submission	02/02/04
90	Revised Submission	02/02/04
91	Revised Submission	02/02/04
92	Revised Submission	02/02/04
93	Revised Submission	02/02/04
94	Revised Submission	02/02/04
95	Revised Submission	02/02/04
96	Revised Submission	02/02/04
97	Revised Submission	02/02/04
98	Revised Submission	02/02/04
99	Revised Submission	02/02/04
100	Revised Submission	02/02/04

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8876 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Village Way,  
La Jolla Village Drive  
and La Jolla Village Drive  
La Jolla, California 92037

EXISTING AND  
PROPOSED  
BOUNDARIES

C3.0

ATTACHMENT 6













TOTAL AREA = 8501 SQ. FT.

PLANTING AREA REQUIRED = 8501 SQ. FT.  $\times$  0.06  
= 510 SQ. FT.

PLANTING AREA PROVIDED = 4.416 SQ. FT.  $\times$  0.06  
= 0.265 SQ. FT.

EXCEEDS PLANTING AREA REQUIREMENTS BY 100%  
(2629 SQ. FT.)

PLANTING POINTS REQUIRED = 8501 SQ. FT.  $\times$  0.01  
= 270 POINTS

PLANTING POINTS PROVIDED = 2000 POINTS

(1) 50' DIA. TREES = 50 TREES	500 POINTS
(2) 24" DIA. TREES = 20 TREES	500 POINTS
(3) 18" DIA. TREES = 10 TREES	100 POINTS
(4) 12" DIA. TREES = 5 TREES	100 POINTS
	500 POINTS

PHASIS

<sup>2</sup> (PMA, N.Y. 1996; Thayer and Al-Ghazali 1995). Corollaries are clearly of the utmost and must not be constructed in any manner without consulting written agreement from N.Y. State Courts.

## PHASE 2



Hillel  
of San Diego  
San Diego, California

Phase 2:  
Intersection of La Jolla Scenic Way  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92032

18

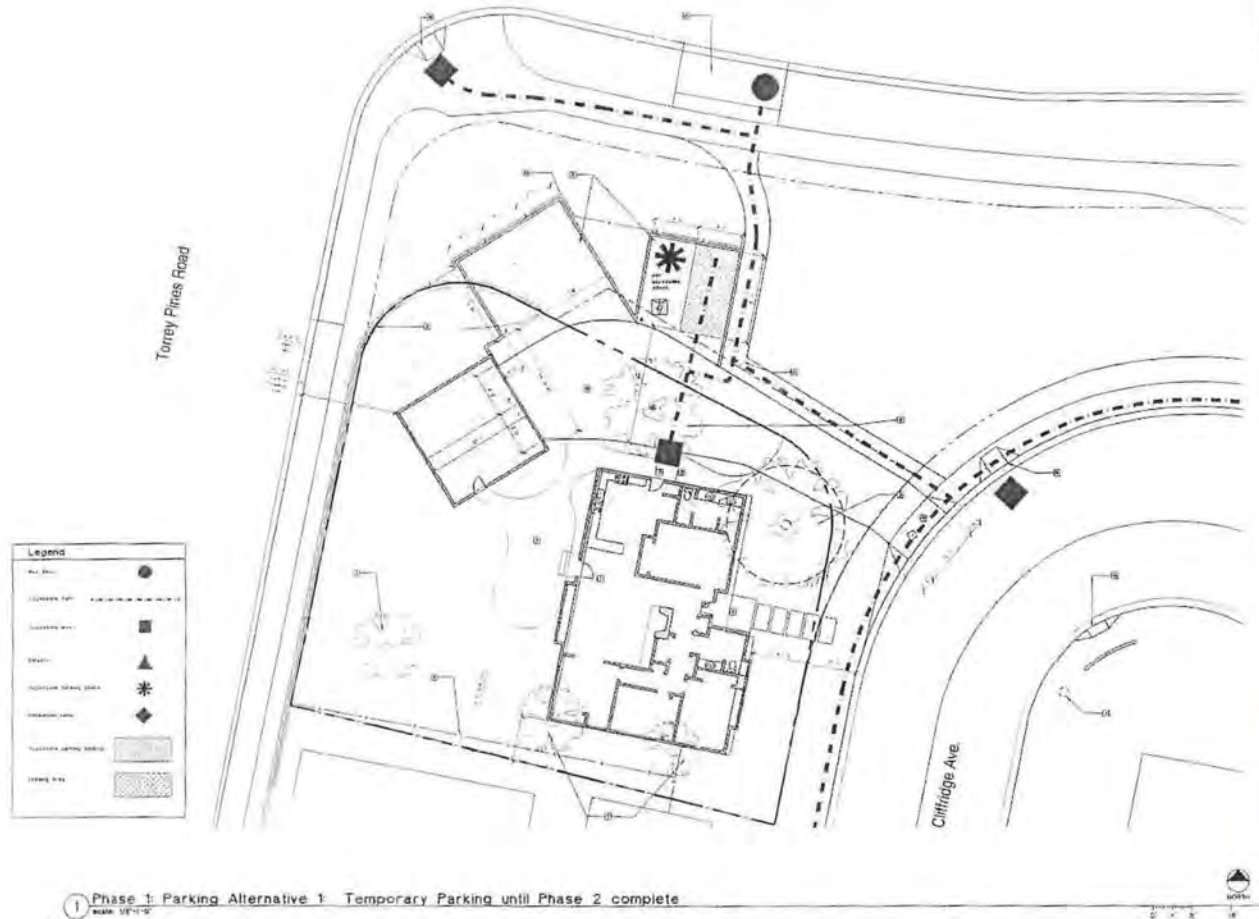
LANDSCAPE AREA DIAGRAM, PHASE 2

BUILDING FOOTPRINT AREA — 0.810 S.F. (24.5%)  
 PAVING/HARDSCAPE AREA — 4.710 S.F. (10.9%)  
 PLANTABLE AREA — 11.826 S.F. (27.1%)  
 TOTAL SITE AREA — 34.564 S.F. (100%)

## PHASE 2







① Phase 1: Parking Alternative 1: Temporary Parking until Phase 2 complete

Notes

**Parking Alternative 1:** Provide 6 parking spaces in the abandoned curbside. This alternative involves the construction of a temporary sidewalk and parking improvements in the abandoned on-street right-of-way, if the street vacation is approved as part of the Site 653 Project. This alternative assumes that Hillel's application for the Site 653 Site Development Permit and application for street vacation will be approved.

**Parking Alternative 2:** This alternative provides for switching the parking requirements on site. This alternative provides for demolition of the existing garage at the House and construction of a parking space on the site of the House Project as depicted on site plan Sheet A2.1, submitted herewith. We would propose that this alternative be required only if the Site 653 application and corresponding street vacation is denied.

- Hillel of San Diego
- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Site Plan Notes	
(1)	Existing street sign on site removed
(2)	Existing street sign
(3)	Existing street sign
(4)	Existing street sign
(5)	Existing street sign
(6)	Existing street sign
(7)	Existing street sign
(8)	Existing street sign
(9)	Existing street sign
(10)	Existing street sign
(11)	Existing street sign
(12)	Existing street sign
(13)	Existing street sign
(14)	Existing street sign
(15)	Existing street sign
(16)	Existing street sign
(17)	Existing street sign
(18)	Existing street sign
(19)	Existing street sign
(20)	Existing street sign
(21)	Existing street sign
(22)	Existing street sign
(23)	Existing street sign
(24)	Existing street sign
(25)	Existing street sign
(26)	Existing street sign
(27)	Existing street sign
(28)	Existing street sign
(29)	Existing street sign
(30)	Existing street sign
(31)	Existing street sign
(32)	Existing street sign
(33)	Existing street sign
(34)	Existing street sign
(35)	Existing street sign
(36)	Existing street sign
(37)	Existing street sign
(38)	Existing street sign
(39)	Existing street sign
(40)	Existing street sign
(41)	Existing street sign
(42)	Existing street sign
(43)	Existing street sign
(44)	Existing street sign
(45)	Existing street sign
(46)	Existing street sign
(47)	Existing street sign
(48)	Existing street sign
(49)	Existing street sign
(50)	Existing street sign
(51)	Existing street sign
(52)	Existing street sign
(53)	Existing street sign
(54)	Existing street sign
(55)	Existing street sign
(56)	Existing street sign
(57)	Existing street sign
(58)	Existing street sign
(59)	Existing street sign
(60)	Existing street sign
(61)	Existing street sign
(62)	Existing street sign
(63)	Existing street sign
(64)	Existing street sign
(65)	Existing street sign
(66)	Existing street sign
(67)	Existing street sign
(68)	Existing street sign
(69)	Existing street sign
(70)	Existing street sign
(71)	Existing street sign
(72)	Existing street sign
(73)	Existing street sign
(74)	Existing street sign
(75)	Existing street sign
(76)	Existing street sign
(77)	Existing street sign
(78)	Existing street sign
(79)	Existing street sign
(80)	Existing street sign
(81)	Existing street sign
(82)	Existing street sign
(83)	Existing street sign
(84)	Existing street sign
(85)	Existing street sign
(86)	Existing street sign
(87)	Existing street sign
(88)	Existing street sign
(89)	Existing street sign
(90)	Existing street sign
(91)	Existing street sign
(92)	Existing street sign
(93)	Existing street sign
(94)	Existing street sign
(95)	Existing street sign
(96)	Existing street sign
(97)	Existing street sign
(98)	Existing street sign
(99)	Existing street sign
(100)	Existing street sign

**Hillel of San Diego**  
San Diego, California

**NOT FOR CONSTRUCTION**

Phase 1:  
Hillel of San Diego  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Village Drive  
and La Jolla Village Drive  
La Jolla, California 92037

**ATTACHMENT 8**





① Phase 1: Parking Alternative 2 (If Phase 2 Development of Site 653 for Hillel is not approved)

**Notes:**  
**Parking Alternative 1:** Provide 6 parking spaces in the abandoned curbside. This alternative involves the construction of a temporary sidewalk and parking improvements in the abandoned on-deckings of way. If the street vacation is approved as part of the Site 653 Project. This alternative assumes that Hillel's application for the Site 653 Site Development Permit and application for street vacation will be approved.  
**Parking Alternative 2:** This alternative provides for satisfying the parking requirements on site. This alternative provides for completion of the existing layout of the House and construction of 6 parking spaces on the site of the House Project as depicted on site plan Sheet A2.1, submitted herewith. We would propose that this alternative be a minimum of 6 parking spaces if the Site 653 application and associated street vacation is denied.

- Hillel of San Diego
- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Site Plan Notes	
1	Existing Sign
2	Existing Sign, new
3	Existing sign to remain
4	Existing garage to be converted
5	Existing wall new
6	Existing ramp
7	Existing ramp, 21' x 11' x 11'
8	New concrete driveway
9	Existing ramp to be removed
10	New concrete driveway
11	New ramp new
12	Existing ramp new
13	Existing ramp new
14	Existing ramp new
15	Existing ramp new
16	Existing ramp new
17	Existing ramp new
18	Existing ramp new
19	Existing ramp new
20	Existing ramp new
21	Existing ramp new
22	Existing ramp new
23	Existing ramp new
24	Existing ramp new
25	Existing ramp new
26	Existing ramp new
27	Existing ramp new
28	Existing ramp new
29	Existing ramp new
30	Existing ramp new
31	Existing ramp new
32	Existing ramp new
33	Existing ramp new
34	Existing ramp new
35	Existing ramp new
36	Existing ramp new
37	Existing ramp new
38	Existing ramp new
39	Existing ramp new
40	Existing ramp new
41	Existing ramp new
42	Existing ramp new
43	Existing ramp new
44	Existing ramp new
45	Existing ramp new
46	Existing ramp new
47	Existing ramp new
48	Existing ramp new
49	Existing ramp new
50	Existing ramp new
51	Existing ramp new
52	Existing ramp new
53	Existing ramp new
54	Existing ramp new
55	Existing ramp new
56	Existing ramp new
57	Existing ramp new
58	Existing ramp new
59	Existing ramp new
60	Existing ramp new
61	Existing ramp new
62	Existing ramp new
63	Existing ramp new
64	Existing ramp new
65	Existing ramp new
66	Existing ramp new
67	Existing ramp new
68	Existing ramp new
69	Existing ramp new
70	Existing ramp new
71	Existing ramp new
72	Existing ramp new
73	Existing ramp new
74	Existing ramp new
75	Existing ramp new
76	Existing ramp new
77	Existing ramp new
78	Existing ramp new
79	Existing ramp new
80	Existing ramp new
81	Existing ramp new
82	Existing ramp new
83	Existing ramp new
84	Existing ramp new
85	Existing ramp new
86	Existing ramp new
87	Existing ramp new
88	Existing ramp new
89	Existing ramp new
90	Existing ramp new
91	Existing ramp new
92	Existing ramp new
93	Existing ramp new
94	Existing ramp new
95	Existing ramp new
96	Existing ramp new
97	Existing ramp new
98	Existing ramp new
99	Existing ramp new
100	Existing ramp new



Hillel  
of San Diego  
San Diego, California

Phase 1:  
8576 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Village Drive  
La Jolla Village Drive  
4400 La Jolla Village Drive  
La Jolla, California 92037

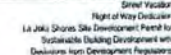
A2.1



- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program



Hard Petal covers your  
spine and all sides for  
extra value.



Project Name	2018
Project 1	January 15, 2018
Project 2	2018
Project 3	2018

Question 1: 11/21/18, 10:00 AM  
 Question 2: 11/21/18, 10:00 AM  
 Question 3: 11/21/18, 10:00 AM  
 Question 4: 11/21/18, 10:00 AM  
 Question 5: 11/21/18, 10:00 AM  
 Question 6: 11/21/18, 10:00 AM  
 Question 7: 11/21/18, 10:00 AM  
 Question 8: 11/21/18, 10:00 AM  
 Question 9: 11/21/18, 10:00 AM  
 Question 10: 11/21/18, 10:00 AM

NOT FOR CONSTRUCTION

### Phase 2: Subterranean Parking Garage

Hillel  
of San Diego  
San Diego, California

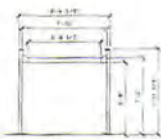
Phase I:  
6176 Cambridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92033

A2.2

100 11 19

After the accident, according to the report, the driver of the truck, who was not named, was not wearing a seat belt and was not wearing a seat belt. The driver of the truck was not wearing a seat belt and was not wearing a seat belt.

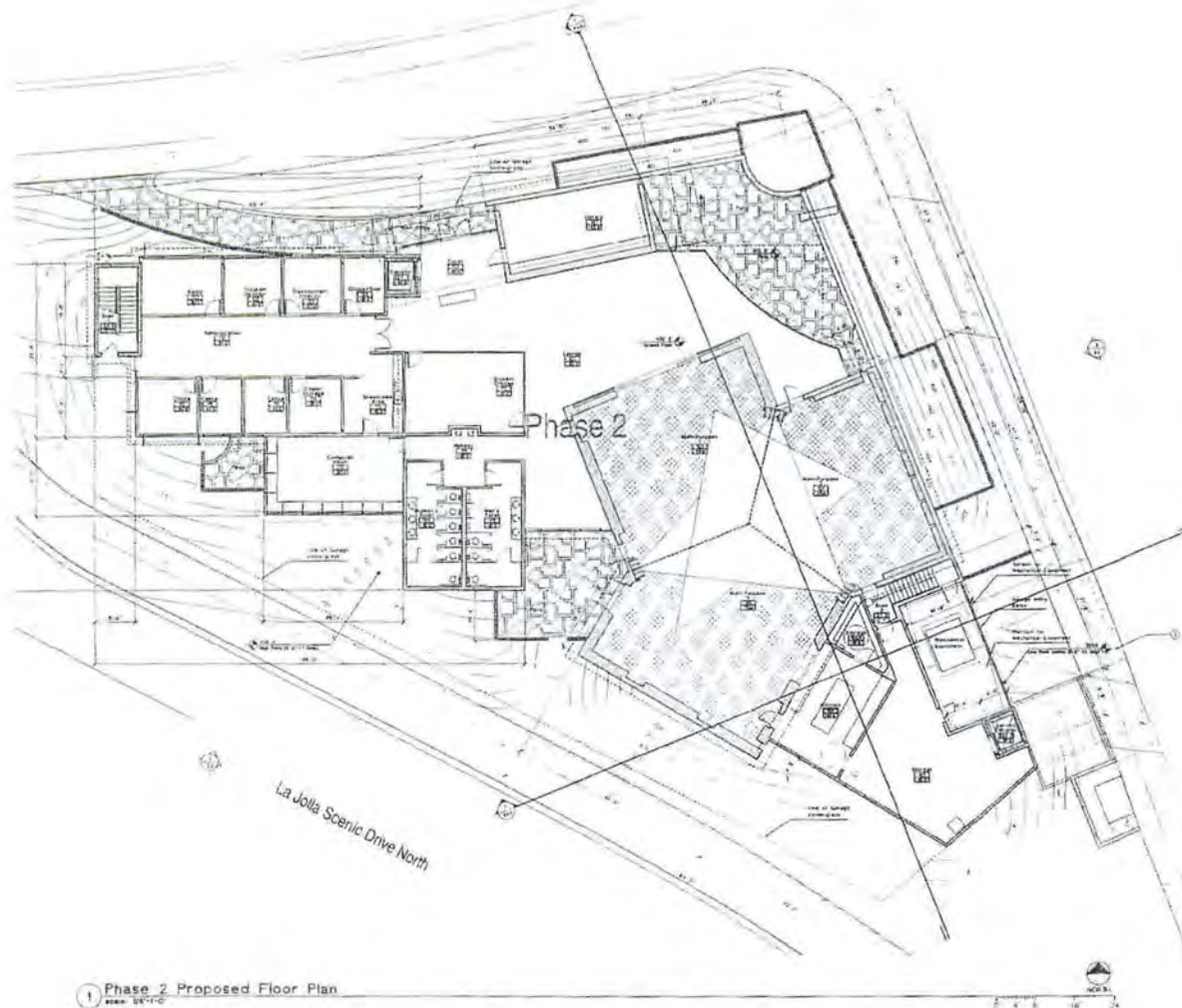


Sum group information for parsing subset 2 & 2

① Phase 2 Proposed Subterranean Parking Garage  
scale: VE-1-0'

© 2006, M. D. Gould, 2006. All financial and accounting are property of the company and shall not be reproduced in any manner without the express written permission from M. D. Gould, Inc.





- Hill of San Diego
- Street Vacation
- Night of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

[illegible]

Street Vacation  
Right of Way Dedication  
La Jolla Streets Site Development Permit to  
Sustainable Building Development with  
Deviation from Development Regulations  
Change of Occupancy Permit

Team Name:	STC
Created:	January 21, 2006
Owner:	



NEW STEEL  
CANTON, OH  
COLUMBIAN BOOK CO.  
1015 N. 10TH ST.  
COLUMBIAN BOOK CO.  
COLUMBIAN BOOK CO.

Hillel  
of San Diego  
San Diego, California

Phase I  
8575 Clifbridge Avenue  
La Jolla, California 92037

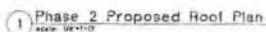
Intersección de La Jolla Scenic Way  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Phase 2  
Program  
Floor Plan

A2.3





- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program



Head Office	170
Regional	January 21, 2001
Local	170

[illegible]

#### NEW LOW CONSTRUCTION

Phase 2:  
Proposed  
Road Plan

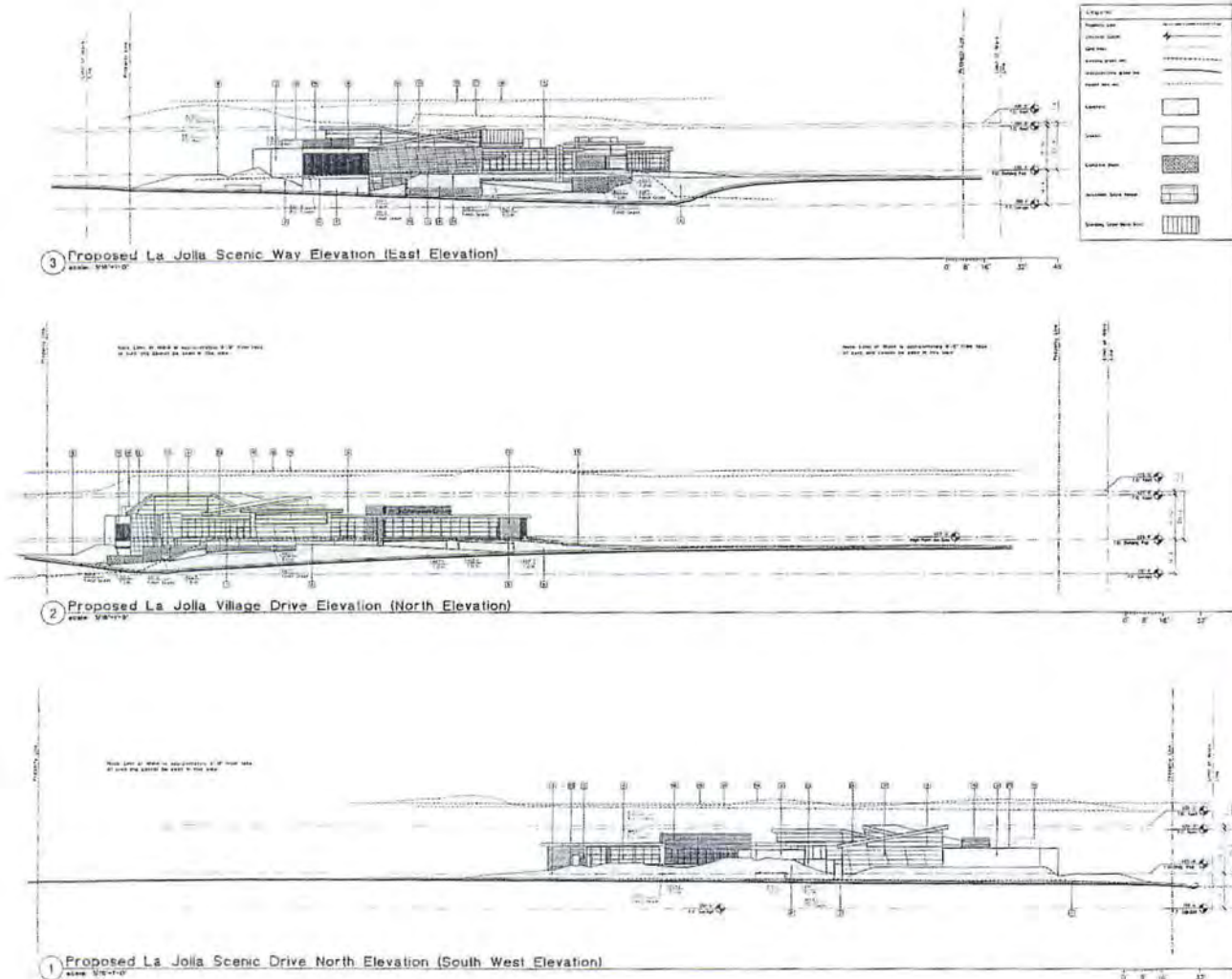
Hillel  
of San Diego  
San Diego, California

Phone 1  
8975 Calhoun Avenue  
La Jolla, California 92037

Phase 2  
Intersection of La Jolla Scenic View  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

A2.4






- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

**10. Vocabulary** (10 items)

1. ☐ Having more
2. ☐ Increasing slowly
3. ☐ Same; equal (see item 1)
4. ☐ Empty
5. ☐ Lessen; diminish (see item 1)
6. ☐ Make better
7. ☐ Involuntary; forcing
8. ☐ Intentionally; with a purpose (see item 7)
9. ☐ Easy to manage
10. ☐ No sign
11. ☐ Weak; tender
12. ☐ No sign
13. ☐ Increasing fast
14. ☐ Easy
15. ☐ Involuntary
16. ☐ Single unit; all of them (see item 16) in French and Italian
17. ☐ Single unit; all of them (see item 16) in French and Italian
18. ☐ Single unit; all of them (see item 16) in French and Italian
19. ☐ Single unit; all of them (see item 16) in French and Italian
20. ☐ Single unit; all of them (see item 16) in French and Italian

**11. Grammar** (10 items)

1. ☐ Being able to do sth. or have sth. done



Project Name	072
Project No.	January 21, 2007
Sheet	030/20

Hillel  
of San Diego  
San Diego, California

Phase 1:  
6276 Calivista Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Village Way  
La Jolla Village Drive  
and La Jolla Shores Drive  
La Jolla, California 92037

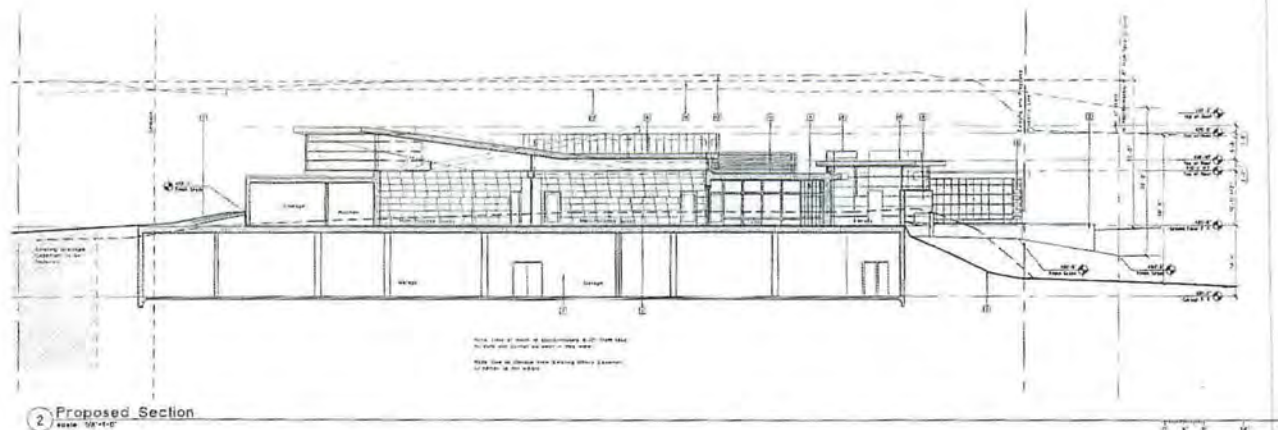
ROI FOR CONSTRUCTIVE

Phase 2:  
Prevention/  
Evaluations

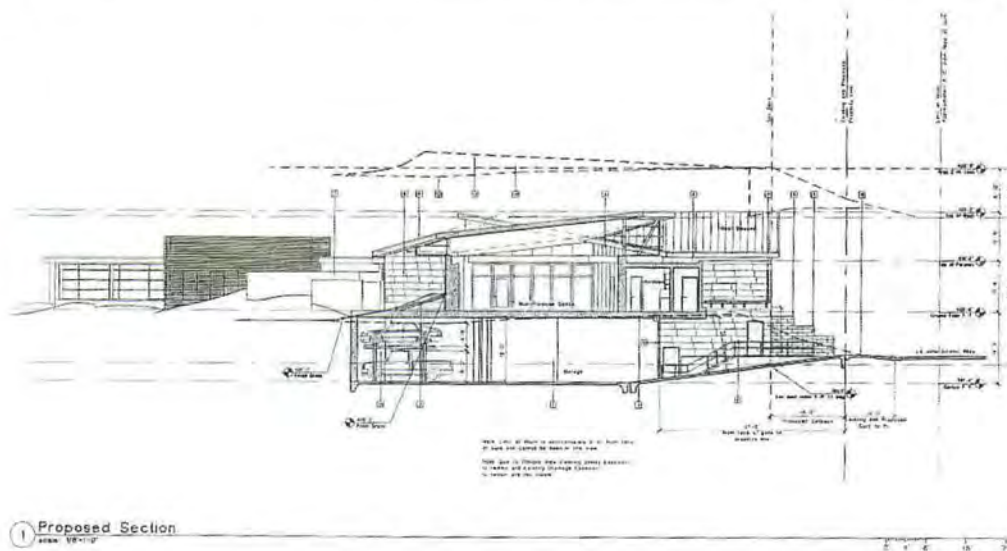
A3.0

ATTACHMENT 8





2 Proposed Section  
scale: 1/8"=1'-0"



1 Proposed Section  
area: 10.00'

Hillel of San Diego

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

**Question: 100000**

1) Learning curve

2) Minimum cost

3) Variable unit cost curve

4) Steep

5) Learning Month, when total cost

6) Linear learning

7) Concentration learning curve

8) Linear curve

9) No learning effect

10) Low

11) Decreasing return

12) High cost, but it may not be the learning curve

13) High cost, but it may not be the learning curve

14) High cost, but it may not be the learning curve

15) High cost, but it may not be the learning curve

16) High cost, but it may not be the learning curve

17) High cost, but it may not be the learning curve

18) High cost, but it may not be the learning curve

19) High cost, but it may not be the learning curve

20) High cost, but it may not be the learning curve

**Correct Answer: 100000**

1) Learning curve

2) Minimum cost

3) Variable unit cost curve

4) Steep

5) Learning Month, when total cost

6) Linear learning

7) Concentration learning curve

8) Linear curve

9) No learning effect

10) Low

11) Decreasing return

12) High cost, but it may not be the learning curve

13) High cost, but it may not be the learning curve

14) High cost, but it may not be the learning curve

15) High cost, but it may not be the learning curve

16) High cost, but it may not be the learning curve

17) High cost, but it may not be the learning curve

18) High cost, but it may not be the learning curve

19) High cost, but it may not be the learning curve

20) High cost, but it may not be the learning curve



Project/Event	Date
Street Vacation	2015
Tight of Way Dedication	2015
La Jolla Shores Ski Development Permit to Subdivide Building Development and Unions from Developing Populations	2015
Change of Occupancy Permit	2015
Sustainable Expense Program	2015

Hillel  
of San Diego  
San Diego, California

Piazza 1  
2975 Cottage Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Drive  
and La Jolla Village Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Phase 2:  
Proposed  
Securities

A40

ATTACHMENT 8



**DRAFT PUBLIC RIGHT-OF-WAY VACATION RESOLUTION**

**ATTACHMENT 9**

(R-2008-\_\_\_)

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, California Streets and Highways Code section 8330 et seq. provides a procedure for the summary vacation of public street easements by City Council resolution where the easement is no longer required; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the affected property owner has requested the vacation of a portion of La Jolla Scenic Drive North (Project No. 149437, Approval No. 527860), to unencumber this property as approved by Site Development Permit No. 527861; and

WHEREAS, as a part of this action the property owner is relinquishing abutter's rights on the south side of La Jolla Village Drive, between Torrey Pines Road to La Jolla Scenic Way, and on a portion of the west side of La Jolla Scenic Way, between La Jolla Scenic Drive North and La Jolla Village Drive, as shown on Drawing No. No. 00116-C, marked as Exhibit "B;" and

WHEREAS, the City Council finds that:

**DRAFT PUBLIC RIGHT-OF-WAY VACATION RESOLUTION**

**ATTACHMENT 9**

(a) there is no present or prospective public use for the public right-of-way, either for the facility for which it was originally acquired, or for any other public use of a like nature that can be anticipated;

(b) the public will benefit from the action through improved use of the land made available by the vacation;

(c) the vacation does not adversely affect any applicable land use plan or; and

(d) the public facility for which the public right-of-way was originally acquired will not be detrimentally affected by this vacation; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, as follows:

1. That the public right-of-way easement located within the La Jolla Community Plan area in connection with Site Development Permit No. 527861, as more particularly described in the legal description marked as Exhibit "A" and as shown on Drawing No. 00116-C, marked as Exhibit "B", and on file in the office of the City Clerk as Document No. RR-\_\_\_\_\_-1 is ordered vacated.

2. That said public right-of-way vacation is conditioned on the following, satisfactory to the City Engineer. In the event these conditions are not completed within three years following the adoption of this resolution, then this resolution shall become void and be of no further force or effect.

a. Prior to the recordation of the public right-of-way vacation, the Applicant shall cut, plug and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive North

**DRAFT PUBLIC RIGHT-OF-WAY VACATION RESOLUTION**

**ATTACHMENT 9**

right-of-way to be vacated, in a manner satisfactory to the Water Department Director and the City Engineer.

b. Prior to the recordation of the public right-of-way vacation, the Applicant shall assure, by permit and bond, the design and construction of new public 16-inch water facilities and the cut, plug and abandonment of the existing public 8-inch water facilities within the La Jolla Scenic Drive North right-of-way and appropriate water easement, from La Jolla Scenic Way to Torrey Pines Road, in a manner satisfactory to the Water Department Director and the City Engineer.

c. Prior to the recordation of the public right-of-way vacation, the Applicant shall assure, by permit and bond, the installation/replacement of fire hydrants at locations and in a manner satisfactory to the Fire Marshal, the Water Department Director and the City Engineer.

d. Prior to the recordation of the public right-of-way vacation, Applicant shall assure, by permit and bond, the reconnection all existing water services still in use to the new 16-inch facilities adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

e. The Applicant shall retain an acceptable water easement over the 16-inch water facilities within the vacated La Jolla Scenic Drive North right-of-way, from Cliffridge Avenue to Torrey Pines Road, for exclusive use of public water mains with no appurtenances, in a manner satisfactory to the Water Department Director and the City Engineer. The minimum easement width shall be 15-feet-wide.

**DRAFT PUBLIC RIGHT-OF-WAY VACATION RESOLUTION**

**ATTACHMENT 9**

f. The Applicant agrees to design and construct all required public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto.

g. Prior to the recordation of the public right-of-way vacation, Applicant shall assure, by permit and bond, the design and construction of the realignment of the existing 8" public sewer main at the intersection of La Jolla Scenic Drive North and Cliffridge Avenue, satisfactory to the Director of Public Utilities.

h. Prior to the recordation of the public right-of-way vacation the Applicant agrees to relocate all San Diego Gas and Electric Facilities into a general utilities easement to be reserved from the portion of La Jolla Scenic Drive North to be vacated.

i. Prior to the recordation of the public right-of-way vacation the Applicant agrees to relocate all Time-Warner Facilities into a general utilities easement to be reserved from the portion of La Jolla Scenic Drive North to be vacated.

j. A public access easement to the satisfaction of the City Engineer linking La Jolla Scenic Drive North and Torrey Pines Road shall be retained in perpetuity for public pedestrian and bicycle access. The area shall not be gated or otherwise obstructed to prevent free movement and public access. In addition, the project shall incorporate signage which identifies this area as public access to the satisfaction of the Development Services Director.

3. That the Development Services Department shall cause a certified copy of this resolution, with attached exhibits, to be recorded in the office of the County Recorder.

**DRAFT PUBLIC RIGHT-OF-WAY VACATION RESOLUTION**

**ATTACHMENT 9**

4. The City Engineer shall advise the City Clerk of the completion of the conditions listed in number 2 above. After completion of the conditions, the City Clerk shall cause a certified copy of this resolution, with attached legal description marked as Exhibit "A" and as shown on Drawing No. 00116-C, marked as Exhibit "B," attested by the City Engineer under seal to be recorded in the Office of the County Recorder.

APPROVED: MICHAEL AGUIRRE, City Attorney

By \_\_\_\_\_

Deputy City Attorney

Orig.Dept: DSD  
J.O. 43-0376  
Drawing No. \_\_\_\_\_-C  
R-2008-\_\_\_\_

EXHIBIT "A"  
LEGAL DESCRIPTION

STREET VACATION – LA JOLLA SCENIC DRIVE AND GENERAL UTILITY AND  
ACCESS EASEMENT RESERVED FROM STREET VACATION  
SOUTHEASTERLY OF TORREY PINES ROAD

STREET DEDICATION – LA JOLLA VILLAGE DRIVE SOUTHEASTERLY OF TORREY  
PINES ROAD AND EASEMENT DEDICATION

PARCEL 'A'

THAT PORTION OF LA JOLLA SCENIC DRIVE, DEDICATED FOR STREET PURPOSES  
BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 O.R.,  
TOGETHER WITH THAT PORTION OF LA JOLLA SCENIC DRIVE AND TORREY PINES  
ROAD BOTH DEDICATED PER LA JOLLA HIGHLANDS UNIT NO. 3, IN THE CITY OF  
SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO  
MAP THEREOF NO. 3528, FILED IN THE OFFICE OF THE COUNTY, OCTOBER 19, 1956.

VACATING THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF LA JOLLA  
VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) DEDICATED FOR STREET  
PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO.  
56775 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT ON THE  
NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE DEDICATED  
FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958  
DOCUMENT NO. 163406 O.R.; THENCE SOUTHERLY ON THE NORTHERLY RIGHT OF  
WAY LINE OF SAID LA JOLLA SCENIC DRIVE, SOUTH 62°35'54" EAST, 24.94 FEET TO  
THE **TRUE POINT OF BEGINNING**; THENCE ALONG SAID NORTHERLY RIGHT OF  
WAY LINE SOUTH 62°35'54" EAST, 164.60 FEET TO THE BEGINNING OF A TANGENT  
651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE ALONG THE  
ARC OF SAID CURVE WESTERLY AND SOUTHERLY THROUGH A CENTRAL ANGLE  
OF 09°16'03", AN ARC DISTANCE OF 105.30 FEET TO A POINT HEREIN DESCRIBED  
AS **POINT 'A'** ALSO BEING A POINT ON THE SOUTHWESTERLY RIGHT OF WAY  
LINE OF LA JOLLA SCENIC WAY DEDICATED PER RESOLUTION 150337, RECORDED  
OCTOBER 3, 1958 AS DOCUMENT NO. 163406 O.R., A RADIAL TO SAID POINT BEARS  
NORTH 36°40'09" EAST; THENCE SOUTHERLY ON SAID RIGHT OF WAY LINE SOUTH  
21°57'52" EAST, 17.17 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS  
CURVE, CONCAVE NORTHWESTERLY; THENCE ALONG THE ARC OF SAID CURVE  
SOUTHERLY AND WESTERLY THROUGH A CENTRAL ANGLE OF 149°01'24", AN  
ARC DISTANCE OF 52.02 FEET TO THE BEGINNING OF A REVERSE CURVE,  
CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 605.00 FEET; THENCE ALONG  
THE ARC OF SAID CURVE NORTHERLY AND WESTERLY THROUGH A CENTRAL  
ANGLE OF 09°39'26", AN ARC DISTANCE OF 101.97 FEET; THENCE NORTH 62°35'54"  
WEST, 113.81 FEET TO THE BEGINNING OF A TANGENT 56.00 FOOT RADIUS CURVE,

CONCAVE NORTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND NORTHERLY THROUGH A CENTRAL ANGLE OF 17°35'18", AN ARC DISTANCE OF 17.19 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 81.00 FEET, THENCE WESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 123°54'02" AN ARC DISTANCE OF 175.16 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF CLIFFRIDGE AVENUE ALSO BEING THE EASTERLY LOT LINE OF LOT 67 PER SAID MAP 3528; DISTANT 24.57 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT 67, THENCE NORTHERLY ALONG SAID LOT LINE NORTH 11°05'22" EAST 24.35 FEET TO THE BEGINNING OF TANGENT 25.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; THENCE ALONG THE ARC OF SAID CURVE NORTHERLY AND EASTERLY THROUGH A CENTRAL ANGLE OF 73°41'16", AN ARC DISTANCE OF 32.15 FEET; THENCE NORTH 62°35'54" WEST, 58.80 FEET TO THE TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE WESTERLY AND SOUTHERLY THROUGH A CENTRAL ANGLE OF 106°17'34", AN ARC DISTANCE OF 37.10 FEET TO A POINT HEREIN DESCRIBED AS **POINT 'B'**, ALSO BEING A POINT ON THE EASTERLY RIGHT OF WAY LINE OF TORREY PINES ROAD ALSO BEING THE WESTERLY LINE OF SAID LOT 67, DISTANT 70.20 FROM THE SOUTHWESTERLY CORNER OF SAID LOT 67; THENCE NORTH 11°06'32" EAST, 34.46 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL OF 93°19'50", AN ARC DISTANCE OF 32.58 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 636.64 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 09°12'17", AN ARC DISTANCE OF 102.28 FEET TO THE BEGINNING OF A TANGENT 42.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE ALONG THE ARC OF SAID CURVE EASTERLY THROUGH A CENTRAL ANGLE OF 04°42'02", AN ARC DISTANCE OF 3.45 FEET; THENCE NORTH 89°27'57" WEST, 48.73 FEET TO THE TO THE BEGINNING OF A TANGENT 634.64 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE ALONG THE ARC OF SAID CURVE EASTERLY THROUGH A CENTRAL ANGLE OF 02°53'02", AN ARC DISTANCE OF 31.94 FEET TO THE **TRUE POINT OF BEGINNING**.

AREA: 21,278 SQ.FT. 0.488 ACRES MORE OR LESS

---

**PARCEL 'B'**

---

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY AND ACCESS EASEMENT, DESCRIBED AS FOLLOWS:

**BEGINNING** AT SAID **POINT "A"**; THENCE SOUTH 21°57'52" EAST, 13.86 FEET ALONG THE SOUTHWESTERLY RIGHT OF WAY OF LA JOLLA SCENIC WAY PER DOCUMENT 56775 RECORDED APRIL 5, 1966 OF O.R.; THENCE SOUTH 36°59'17" WEST, 37.39 FEET TO THE BEGINNING OF A NON TANGENT 20.00 FOOT RADIUS CURVE. CONCAVE NORTHEASTERLY, A RADIAL TO SAID POINT BEARS SOUTH

15°01'26" WEST; THENCE WESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 22°02'06", AN ARC DISTANCE OF 7.69 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 605.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°42'37", AN ARC DISTANCE OF 7.50 FEET; THENCE NORTH 37°12'32" EAST, 46.00 FEET TO A POINT ON THE ARC OF A NON TANGENT 651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, A RADIAL TO SAID POINT BEARS NORTH 36°24'34" EAST; THENCE EASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°15'35", AN ARC DISTANCE OF 2.95 FEET TO THE **POINT OF BEGINNING**.

AREA: 640 SQ.FT. 0.015 ACRES MORE OR LESS

**PARCEL 'C'**

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY AND ACCESS EASEMENT, DESCRIBED AS FOLLOWS:

**BEGINNING** AT SAID POINT "B"; THENCE NORTH 11°06'32" EAST, 34.46 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL OF 93°19'50", AN ARC DISTANCE OF 32.58 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE, CONCAVE NORTHERLY HAVING A RADIUS OF 636.64 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01°41'48", AN ARC DISTANCE OF 18.85 FEET A RADIAL TO SAID POINT NORTH 12°44'35" WEST; THENCE SOUTH 57°43'15" EAST, 83.50 FEET; THENCE NORTH 32°16'45" EAST, 10.00 FEET; THENCE SOUTH 57°43'15" EAST, 21.42 FEET TO THE BEGINNING OF A NON-TANGENT 81.00 FOOT RADIUS CURVE. CONCAVE SOUTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH 18°09'49" WEST; THENCE WESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 26°43'35", AN ARC DISTANCE OF 37.78 FEET; THENCE NORTH 58°31'31" WEST, 72.74 FEET; THENCE SOUTH 58°40'55" WEST, 13.12 FEET TO A POINT ON THE NORTHERLY LINE OF LOT 67 OF MAP 3528 RECORDED OCTOBER 19, 1956 O.R.; THENCE ALONG SAID NORTHERLY LOT LINE OF LOT 67 NORTH 62°35'54" WEST, 10.84 FEET TO THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 106°17'34", AN ARC DISTANCE OF 37.10 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF TORREY PINES ROAD AS DEDICATED PER SAID MAP 3528, ALSO BEING THE **POINT OF BEGINNING**.

AREA: 3,540 SQ.FT. 0.081 ACRES MORE OR LESS

**PARCEL 'D'**

STREET DEDICATION – LA JOLLA VILLAGE DRIVE

THAT PORTION OF PUEBLO LOT 1299 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 ALSO KNOWN AS MISCELLANEOUS MAP NO. 36.

LYING NORTHEASTERLY OF LA JOLLA SCENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 OF OFFICIAL RECORDS, SOUTHERLY OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) AND WESTERLY OF LA JOLLA SCENIC WAY DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS

EXCEPTING THAT PORTION LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF LA JOLLA SCENIC DRIVE NORTH, SAID POINT BEING DISTANT 24.94 FEET FROM THE WESTERLY CORNER OF SAID LAND, ALSO BEING THE BEGINNING OF AN ARC PARALLEL WITH AND 12.00 FEET SOUTHERLY, MEASURE AT RIGHT ANGLES, TO THE SOUTHERLY RIGHT OF WAY OF LA JOLLA VILLAGE DRIVE; THENCE ALONG SAID ARC 155.09 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 20.00 FEET, A RADIAL TO SAID BEGINNING OF REVERSE CURVE BEARS NORTH 16°21'06" WEST; THENCE EASTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 84°23'14" AN ARC DISTANCE OF 29.46 FEET TO THE WESTERLY RIGHT OF WAY OF LA JOLLA SCENIC WAY AND THE TERMINUS OF SAID LINE.

#### PARCEL 'E'

##### EASEMENT DEDICATION – GENERAL UTILITY

THAT PORTION OF PUEBLO LOT 1299 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 ALSO KNOWN AS MISCELLANEOUS MAP NO. 36.

LYING NORTHEASTERLY OF LA JOLLA SCENIC DRIVE, DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 OF OFFICIAL RECORDS, SOUTHERLY OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) AND WESTERLY OF LA JOLLA SCENIC WAY DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED

APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING AT SAID POINT "A";** THENCE NORTH 21°57'52" WEST, 3.44 FEET ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SAID LA JOLLA SCENIC WAY; THENCE SOUTH 37°12'32" WEST 1.80 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF SAID LA JOLLA SCENIC DRIVE NORTH ALSO BEING THE BEGINNING OF A NON TANGENT 651.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, A RADIAL TO SAID POINT BEARS NORTH 36°24'34" EAST; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°15'35", AN ARC DISTANCE OF 2.95 FEET TO THE **POINT OF BEGINNING.**

AREA: 2 SQ.FT. 0.000 ACRES MORE OR LESS

#### **PARCEL 'F'**

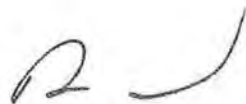
EASEMENT DEDICATION – GENERAL UTILITY

RESERVING FROM SAID VACATION AN EASEMENT FOR GENERAL UTILITY AND ACCESS EASEMENT, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF LA JOLLA VILLAGE DRIVE (FORMALLY MIRAMAR ROAD) DEDICATED FOR STREET PURPOSES BY RESOLUTION NO. 186827 RECORDED APRIL 5, 1966 DOCUMENT NO. 56775 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE DEDICATED FOR STREET PURPOSES BY RESOLUTION 150337, RECORDED OCTOBER 3, 1958 DOCUMENT NO. 163406 O.R.; THENCE SOUTHERLY ON THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE, SOUTH 62°35'54" EAST, 24.94 FEET TO THE BEGINNING OF A NON-TANGENT, 634.64 FOOT RADIUS CURVE, CONCAVE NORTHERLY, A RADIAL LINE TO SAID CURVE BEARS SOUTH 02°20'59" EAST; THENCE DEPARTING SAID NORTHERLY LINE, WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02°53'02" A DISTANCE OF 31.94 FEET; THENCE NORTH 89°27'57" WEST 42.82 FEET TO **THE TRUE POINT OF BEGINNING;** THENCE SOUTHERLY ON A LINE WHICH IS PARALLEL WITH AND 34.50 FEET SOUTHWESTERLY, MEASURED AT RIGHT ANGLES, FROM THE NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE SOUTH 62°35'54" EAST FEET 230.92 FEET TO THE BEGINNING OF A TANGENT 616.50 FOOT RADIUS CURVE CONCAVE SOUTHERLY; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11°19'42" AN ARC DISTANCE OF 121.89 FEET TO A POINT ON A NON-TANGENT 20.00 FOOT RADIUS CURVE CONCAVE NORTHERLY, A RADIAL LINE TO SAID POINT BEARS NORTH 26°57'28" WEST; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 17°35'18" A DISTANCE OF 22.35 FEET TO THE BEGINNING OF

A 605.00 FOOT RADIUS REVERSE CURVE, CONCAVE SOUTHWESTERLY, SAID CURVE BEING CONCENTRIC WITH AND 46.00 FEET SOUTHWESTERLY OF SAID NORTHERLY RIGHT OF WAY LINE OF SAID LA JOLLA SCENIC DRIVE; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 09°39'26" A DISTANCE OF 101.97 FEET; THENCE NORTH 62°35'54" WEST FEET 113.81 FEET TO THE BEGINNING OF A TANGENT 56.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 17°35'18" A DISTANCE OF 17.19 FEET; TO THE BEGINNING OF A REVERSE 81.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 46°13'09" A DISTANCE OF 65.34 FEET; THENCE NORTH 62°35'54" WEST FEET 74.03 FEET TO THE BEGINNING OF A NON-TANGENT 636.47 FOOT RADIUS CURVE, CONCAVE NORTHERLY, A RADIAL LINE TO SAID CURVE BEARS SOUTH 07°59'59" WEST; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02°45'54" A DISTANCE OF 30.72 FEET TO THE BEGINNING OF A COMPOUND 42.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04°42'02" A DISTANCE OF 3.45 FEET; THENCE SOUTH 89°27'57" EAST FEET 5.91 FEET TO THE TRUE POINT OF BEGINNING.

AREA = 4,564.72 SQ. FT. OR 0.105 ACRES MORE OR LESS.



10-1-2008

DK NASLAND PLS 5562

DATE



J.O. NO. 421438  
P.T.S. NO 6098  
DWG NO

MM36 - PUEBLO LANDS  
POR. LOT 1299

SHEET 2 OF 2 SHEETS

MM36 - PUEBLO LANDS  
POR. LOT 1299

TORREY PINES ROAD  
PER CITY DNR 12919-0

LA JOLLA VILLAGE DRIVE

MAP 352B  
LOT 67

CLIFFRIDGE AVE  
PER CITY DNR 12210-0

MAP 352B  
LOT 96

MAP 4045

LA JOLLA SCENIC DRIVE NORTH  
PER CITY DNR 8502-0

MAP 7353

LA JOLLA SCENIC WAY  
PER CITY DNR 12210-0

SCALE 1"=50'



**LEGEND**

- INDICATES STREET DEDICATION AREA: 2,183 SQ. FT. 0.050 ACRES
- PROPERTY LINE
- RIGHT OF WAY LINE
- CENTER LINE

**REFERENCE DRAWINGS:**

- MAP 4045
- MAP 352B
- MAP 7353
- CITY DRAWING # 8502-0
- CITY DRAWING # 12210-0
- CITY DRAWING # 11291-2-11-0

**A.P.N.**  
314-120-26



**VICINITY MAP**  
NO SCALE



**STREET DEDICATION  
HILLEL OF SAN DIEGO - UCSD**

**NASLAND ENGINEERING**  
CIVIL ENGINEERING • SURVEYING • LAND PLANNING  
4740 Riffarth Street, San Diego, California, 92111 • 619-292-7770

DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	MP		7-17-08	
REVISED - NEW EASE	MP		8-12-08	
REVISED - PARCELS C, D, E	MP		9-10-08	
REVISED - NEW EASE	MT		9-22-08	
FINAL - SIGNED	MP		10-1-08	

CITY OF SAN DIEGO, CALIFORNIA SHEET 1 OF 1 SHEET	J.O. NO. 42143H PIS NO. 6098 1608-8255 DCS BY COORDINATES 256-1685 LAMBERT COORDINATES
FOR CITY ENGINEER	DATE

# MM36 - PUEBLO LANDS POR. LOT 1299

SHEET 1 OF 2 SHEETS

NO.	BEARING	LENGTH
L1	N71°05'23"W	11.86'
L2	N58°40'03"E	11.71'
L3	N58°45'12"E	37.39'

LA JOLLA VILLAGE DRIVE

LA JOLLA SCENIC WAY

CLIFFRIDGE AVE  
FOR CITY DING 12210-0

MAP 3528  
LOT 86

MAP 4045

LA JOLLA SCENIC DRIVE NORTH  
FOR CITY DING 6502-0

## LEGEND

- INDICATES STREET VACATION  
PARCEL "A" AREA: 21,279 SQ.FT., 0.486 ACRES
- INDICATES UTILITY EASEMENTS TO BE RESERVED FROM STREET VACATION  
PARCEL "B" AREA: 640 SQ.FT., 0.014 ACRES  
PARCEL "C" AREA: 3,540 SQ.FT., 0.081 ACRES
- INDICATES UTILITY EASEMENT TO BE DEDICATED  
PARCEL "E" AREA: 2 SQ.FT., 0.000 ACRES
- INDICATES PROPOSED TEMPORARY WATER EASEMENT TO BE RESERVED FROM STREET VACATION. THE TEMPORARY WATER EASEMENT WILL BE OBTAINED BY THE CITY UPON COMPLETION OF THE ADJACENTMENT OF PORTION OF THE 12" WATER MAIN (SEE SHEET, C-4)  
PARCEL "F" AREA: 4,565 SQ.FT., 0.105 ACRES

- PROPOSED PROPERTY LINE
- RIGHT OF WAY LINE
- EXISTING CENTER LINE
- PROPOSED CENTER LINE

## REFERENCE DRAWINGS:

MAP 4045  
MAP 3528  
MAP 7353  
CITY DRAWING # 6502-0  
CITY DRAWING # 12210-0  
CITY DRAWING # 11292-2-11-0

A.P.N.  
314-120-26



## STREET VACATION AND EASEMENT RESERVATION / DEDICATION HILLEL OF SAN DIEGO - UCSD

DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	MP		7-17-08	
REVISED - NEW EASE	MP		8-18-08	
REVISED - PARCEL C	BN		8-10-08	
REVISED - NEW EASE	MT		8-25-08	
FINAL - SIGNED	MP		10-1-08	



NASLAND ENGINEERING

CIVIL ENGINEERING • SURVEYING • LAND PLANNING  
4740 Ruffner Street, San Diego, California 92111 • 619-283-7770

101-149.2

CITY OF SAN DIEGO, CALIFORNIA  
SHEET 1 OF 1 SHEET

FOR CITY ENGINEER

J.O. NO. 421438  
PTS. NO. 6098

1956-6755  
CDS 83 COORDINATES

258-1695  
LAMBERT COORDINATES

NO.	DELTA	RADIUS	LENGTH
C1	02°43'00"	2,116.6'	31.91'
C2	04°49'00"	41.00'	3.43'
C3	01°41'42"	636.84'	18.85'
C4	05°15'18"	851.00'	2.85'
C5	00°42'37"	845.00'	7.30'
C6	25°02'04"	20.00'	7.69'
C7	43°39'17"	20.00'	14.72'
C8	24°49'48"	20.00'	26.61'
C9	02°45'54"	636.84'	30.79'
C10	7°43'18"	58.00'	77.19'
C11	00°45'29"	576.30'	16.43'
C12	01°42'32"	616.55'	14.88'
C13	04°01'00"	20.00'	22.35'



**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10**

Page 75 of 130

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
CITY CLERK  
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 43-0276

**SITE DEVELOPMENT PERMIT NO. 527861**  
**HILLEL OF SAN DIEGO STUDENT CENTER - PROJECT NO. 149437 - MMRP**  
**CITY COUNCIL DRAFT**

This Site Development Permit, No. 527861 is granted by the City Council of the City of San Diego to ROBERT MARSHALL, Trustee, Owner, and HILLEL OF SAN DIEGO, a California nonprofit Corporation, Permittee (Phase I) and HILLEL OF SAN DIEGO, a California nonprofit Corporation, Owner and Permittee (Phase II), pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The 9,166 square-foot Phase I site (after proposed dedications and vacations) is located at 8976 Cliffridge Avenue. The 33,518 square-foot (0.77-acre) Phase II site (after proposed dedications and vacations) is located within the triangular area bounded by La Jolla Village Drive, La Jolla Scenic Way, and La Jolla Scenic Drive North. Both sites are located in the Single Family (SF) Zone of La Jolla Shores Planned District, Coastal Height Limit Overlay Zone, Campus Parking Impact Overlay Zone, and within the La Jolla Community Plan.

The project site is legally described as: Phase I: Lot 67 of La Jolla Highlands, Unit No. 3, in the City of San Diego, County of San Diego, State of California, according to the map thereof, No. 3528, filed in the office of the County Recorder of San Diego County. Phase II: A Portion of Lot 1299, Pueblo Lands, Miscellaneous Map No. 36.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners and Permittee to continue to use an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement and to develop a triangular shaped parcel with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"], dated \_\_\_\_\_, 2008, on file in the Development Services Department.

The project shall include:

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10**

- a. Phase I: Continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy;
- b. Phase II: The development of a two-level religious student center consisting of an upper level main floor use area of 12,100 square-feet and a lower subterranean garage of 17,000 square-feet for the parking of 68 vehicles, trash enclosures and elevators;
- c. Deviations:
  - 1). Phase I, Alternative 1. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (j)(1) for minimum width of a non-residential driveway. This would be a temporary deviation from the driveway width requirements, whereas, the applicant is proposing a 12-foot curb cut to access the single-family home at 8976 Cliffridge Avenue where the San Diego Municipal Code requires 24 feet for a non-residential use. This deviation assumes approval of Phase II and the public right-of-way vacation request. When Phase II is constructed, the religious offices and related use at 8976 Cliffridge Avenue will move into the new 12,100 square-foot facility (Phase II) and the single-family home would revert back to its original use, which only requires a 12-foot curb cut as a residential use.
  - 2). Phase I, Alternative 2. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (j)(1) for minimum width of a non-residential driveway. This would be a permanent deviation from the driveway width requirements, whereas, the applicant is proposing a 20-foot curb cut to access 8976 Cliffridge Avenue where the San Diego Municipal Code requires 24 feet for a non-residential use. This deviation assumes denial of Phase II and the Public Right-of-Way Vacation request, and the permanent use of the single-family home at 8976 Cliffridge Avenue as a non-residential use.
  - 3). Phase II. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (j)(1) for minimum width of a non-residential driveway. Deviation from the driveway width requirements, whereas, the applicant is proposing a 22-foot curb cut to access Phase II where the San Diego Municipal Code requires 24 feet for a non-residential use.
- d. Landscaping (planting, irrigation and landscape related improvements) with existing landscaping at the residence at 8976 Cliffridge Avenue to be maintained; the 12,100 square-foot religious student center to be landscaped and maintained in accordance with the approved Exhibit 'A' Landscape Plan subject to the conditions contained herein; and the required public benefit 10,000 square-foot landscaped area between the Phase I and II sites;
- e. Off-street parking facilities to be maintained on both the Phase I and II sites as conditioned herein, and the requirement for off-site parking required for the use and events associated with Phase II;

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10** Page 77 of 130

- f. Fencing, walls, decorative site features and signage;
- g. Installation of a bike path linking La Jolla Scenic Drive North with Torrey Pines Road;
- h. A roof-mounted photovoltaic system consisting of solar panels, in addition to the installation of a fuel cell, sufficient to generate at least 30 percent of the proposed project's projected energy consumption, as established by Council Policy 900-14; and
- i. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This portion of the Permit covering Phase II is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. Should Phase II not be approved, the portion of the Permit covering Phase I would be a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10**

Page 78 of 130

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

9. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues,

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10**  
Page 79 of 130

the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

12. This Permit may be developed in phases. As described above, Phase I would consist of the continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy; and Phase II would consist of the development of a two-level religious student center consisting of an upper level main floor use area of 12,100 square-feet and a lower subterranean garage of 17,000 square-feet for the parking of 68 vehicles, trash enclosures and elevators.

13. The Phase I continued use of the single family house at 8976 Cliffridge Avenue for religious purposes shall continue, subject to the applicable conditions of this permit, until Phase II is completed and ready for occupancy. As Phase II is utilized for Hillel purposes, Phase I shall terminate and the owner of the residence will convert the use of the site back to single-family residential use. Should the owner desire to utilize the residence and property for some other use permitted by the SF zone of the La Jolla Shores Planned District, the owner shall apply for a separate Site Development Permit.

14. Should Phase II of the project not be approved, use of the residentially constructed house at 8976 Cliffridge Avenue for religious purposes (Phase I) shall continue as a permanent use.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

15. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.

16. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 149437, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

17. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 149437, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Paleontological Resources  
Parking

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 11**  
Page 80 of 130

18. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

**ENGINEERING REQUIREMENTS:**

19. Prior to the issuance of any building permits, the applicant shall obtain a bonded grading permit from the City Engineer for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the installation of sidewalk on La Jolla Village Drive, La Jolla Scenic Way and La Jolla Scenic Drive North along the property frontage, new curb, gutter and sidewalk along the vacated area at Cliffridge Avenue and La Jolla Scenic Drive North, a pedestrian ramp at La Jolla Village Drive and La Jolla Scenic Way and a 22-foot driveway on La Jolla Scenic Way, all satisfactory to the City Engineer.

21. Prior to the issuance of any building permits, the applicant shall vacate a portion of La Jolla Scenic Drive North, reserving easements for water, sewer and drain pipes, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

23. Prior to the issuance of any construction permits, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

24. Prior to the issuance of any building permits, the applicant shall process a lot consolidation parcel map, including the dedication on La Jolla Village Drive, reservations of easements, and a lot line adjustment, all satisfactory to the City Engineer.

25. Prior to the issuance of any building permits, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for sidewalk underdrains (in La Jolla Village Drive and La Jolla Scenic Drive North) and a connection to the City drain system.

26. The drainage system proposed for this development is private and subject to approval by the City Engineer.

**MAPPING REQUIREMENTS:**

27. Prior to the issuance of any building permits, the applicant shall process a Lot Line Adjustment/Lot Consolidation Parcel Map, including the dedication of La Jolla Village Drive, and the granting or reservation of easements, all satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

28. Prior to issuance of construction permits for grading, the Permittee or Subsequent Owner shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual, Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

29. Prior to issuance of construction permits for public right-of-way improvements, the Permittee or Subsequent Owner shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. In the event that a foundation only permit is requested by the Permittee or Subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

31. Prior to issuance of any construction permits for buildings; the Permittee or Subsequent Owner shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department.

32. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or Subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

33. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

34. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed

during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to issuance of a Certificate of Occupancy.

36. Prior to issuance of construction permits for grading; the Permittee or Subsequent Owner shall ensure that all proposed landscaping, shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the prohibited plant species list found in "Table 1" of the Landscape Standards shall not be permitted.

**PLANNING/DESIGN REQUIREMENTS:**

37. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

38. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels, in addition to the installation of a fuel cell, sufficient to generate at least 30 percent of the proposed project's projected energy consumption, as established by Council Policy 900-14.

39. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or the La Jolla Shores Planned District sign regulations.

40. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC. Outdoor lighting will be limited to low-voltage lighting for safety and way-finding when the facility is unoccupied.

41. Hillel hours of operation shall be limited to 7:00 AM to 10:00 PM daily allowing for clean up and closing of the facility until 11:00 PM. Hillel may observe Jewish holidays, customs, and ritual practices for High Holiday, Shavuot, Purim, Passover, and other Jewish special observances provided that the above hours of operation are observed and that occasional special events comply with condition 48 of this permit.

42. Weekend hours shall be limited to Saturday from 8:00 AM to 10:00 PM and Sunday from 10:00 AM to 6:00 PM unless there is a Jewish Holiday or other occasional special event, where the typical hours of operation described in condition No. 41 of this permit would be allowed.

43. The building capacity shall be capped at 204 people, and 400 for "occasional special events." An "occasional special event" is any event attended by more than 204 people.

44. There shall be no deliveries or trash pick-up before 8:00 AM on any day.

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10** Page 83 of 130

45. The applicant shall pay for the undergrounding of the two utility lines that are located onsite, and the undergrounding project shall be completed before the issuance of the occupancy permit.
46. The applicant shall add a drinking fountain, trash receptacle, and one three-seat bench that Hillel will maintain. The applicant will maintain a recycling program in its facility.
47. The applicant agrees not to oppose the formation of a maintenance assessment district.
48. The courtyard will not be used for outside gatherings of more than ten (10) people, except for Sukkot and similar religious rituals. This would not preclude visitors from going out on the patio or using the patio during gatherings within the center.
49. No alcohol will be allowed, except for religious rituals.
50. Smoking will not be allowed on the site.
51. Air-conditioning units will be acoustically abated.
52. Outside amplified noise is prohibited.
53. A three-foot glass wall will be added to the patio wall at the northeast corner of the property.
54. Overnight events are prohibited.
55. Use or rental to outside groups for commercial purposes is prohibited.
56. Hillel will advise visitors to the Center of Friday night Shabbat and during occasional special events not to park in the neighborhood and that individuals that fail to comply with this policy will be asked to move their car or to leave the Hillel Center.
57. The applicant agrees to participate in a Neighborhood Advisory Committee consisting of one representative of the University of California at San Diego; two representatives appointed by the La Jolla Shores Association, two representatives appointed by Hillel; one neighborhood resident appointed by the City Council Representative for Council District One, and one neighborhood resident appointed by the Mayor. The Committee shall be formed within thirty (30) days of the issuance of building permits, while working on construction issues as well, and shall work to facilitate appropriate interchange and beneficial collaboration between the applicant and the surrounding community, resolve disputes if possible, and advise the Development Services Department Director and the Mayor of any disputes that are not resolved.
58. The applicant will agree to defend and indemnify the City of San Diego against any actions related to the legality of the sale or lease of the site.

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10**

**TRANSPORTATION REQUIREMENTS**

59. The applicant shall maintain the shared parking agreement dated July 6, 2005 with the Regents of the University of San Diego for an additional sixty-seven (67) off-site parking spaces for Hillel's weekly Shabbat services. The 67 parking spaces shall be available from 1 hour prior to the event until 1 hour after each Shabbat service, to the satisfaction of the City Engineer.

60. The applicant shall maintain the shared parking agreement dated July 6, 2005 with the Regents of the University of San Diego for an additional seventy-five (75) off-site parking spaces for Hillel's occasional special events, with such parking spaces available from 1 hour prior to the event until 1 hour after each event, to the satisfaction of the City Engineer.

61. The applicant shall provide a shuttle service between the off-site parking location(s) and the Hillel facility for both weekly Friday Shabbat services and the occasional special events to the satisfaction of the City Engineer. If the off-site location is within 600-feet of the Hillel site, no shuttle service will be required.

62. The applicant shall provide a minimum of sixty-eight (68) on-site, underground parking spaces. The applicant shall not prohibit any of its staff, visitors, or persons participating in its on-site activities from parking in the garage. The applicant acknowledges that any such closure is grounds for the immediate suspension of all operations by the Development Services Department Director, in his or her sole discretion.

63. In the event of a cancellation of a shared parking agreement, the applicant will immediately suspend any activities with more than 204 people in attendance, which would effectively bring the cap down to what sixty-eight (68) spaces would support, including Shabbat services and occasional special events (which are limited to six times a year for the first year and up to nine times a year thereafter with the approval of the Development Services Department Director) at the facility, until an equivalent parking management plan or shared parking agreement is secured and approved by the Development Services Department Director, in his or her sole discretion and executed by the applicant. In the event of failure of the parking shuttle to operate during any Shabbat services, the applicant will immediately suspend any activities with more than 204 people in attendance at the facility until the shuttle services have been resumed and the resumed operation is approved by the Development Services Department Director, in his or her sole discretion, and executed by the applicant. At any time after the first year of operation of the facility, the Development Services Department Director may, in his or her sole discretion, require that this Shabbat services off-site parking requirement and shuttle requirement be continued or discontinued. This would take sixty-seven (67) parking spaces, in addition to sixty-eight (68) on-site spaces that would be the parking requirement. If for any reason the off-street parking is not satisfied or the shuttle is not available, the occupancy of the facility shall be limited to 204 people, which is what the sixty-eight (68) on-site parking spaces would support.

64. The number of occasional special events for the first twelve months of operation shall be limited to six. The number may be increased after the first year to a maximum of nine occasional special events per year with the approval of the Development Services Department Director, in

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 10**  
Page 85 of 130

his or her sole discretion, where Neighborhood Code Compliance will be in charge of documenting the number of these events.

65. The applicant shall provide signs to be placed and maintained in front of the project clearly indicating available parking spaces at the off-site location(s) during Shabbat services and occasional special events, to the satisfaction of the City Engineer.

66. The applicant shall provide signs to be placed and maintained at the entrance of the off-site parking location(s) clearly indicating the available parking spaces at the off-site location(s) during Shabbat services and special events, to the satisfaction of the City Engineer.

67. No fewer than six (6) temporary parking spaces shall be constructed in the vacated/abandoned portion of La Jolla Scenic Drive North right-of-way (as shown on Exhibit "A") for the use of the 8976 Cliffridge Avenue site (Phase I) and these temporary parking spaces shall be removed and the area restored upon the completion of the project at vacant portion of the site, formerly known as Site 653 (Phase II), to the satisfaction of the City Engineer.

68. No fewer than 6 on-site parking spaces shall be maintained on 8976 Cliffridge Avenue (Phase I) in the event that the Hillel project is not constructed on Site 653 (Phase II) in the approximate locations shown on the approved Exhibit "A", on the file in the Development Services Department and such parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Engineer, to the satisfaction of the City Engineer.

69. No landscape and/or hardscape more than 30-inches in height shall be placed in the visibility triangle as shown on Exhibit "A."

70. Prior to the issuance of the first building permit, applicant shall deposit \$20,000 into a dedicated fund for the express purpose of the Development Services Department enforcement and monitoring of the permit conditions, with the proviso that if the \$20,000 is used for enforcement and drops below \$10,000, it will be replenished back to \$20,000. The fund shall be interest bearing with interest, minus administrative fees, accruing to the Permittee. Two years thereafter, a deposit of \$10,000 per year plus Consumer Price Index may be required at the sole discretion of the Development Services Director in subsequent years. Any portion of this deposit that is unused will be returned to the applicant.

71. Prior to the issuance of the first building permit, applicant shall assure by permit and bond, construction of new pedestrian curb ramps at the intersections of La Jolla Village Drive / La Jolla Scenic Way and Torrey Pines Road / La Jolla Village Drive, satisfactory to the City Engineer.

72. Prior to the issuance of the first building permit, applicant shall assure by permit and bond, reconstruction of La Jolla Scenic Drive North along its frontage between La Jolla Scenic Way and Cliffridge Avenue to provide 34 feet of pavement, curb, and gutter (curb to curb dimension) with an additional 12 feet curb to property line distance that includes the sidewalk for the north portion of La Jolla Scenic Drive North, satisfactory to the City Engineer.

73. The applicant shall install a pedestrian ramp on the west side of the intersection of La Jolla Scenic Drive North and Cliffridge Avenue prior to the issuance of the first building permit, to the satisfaction of the City Engineer.

74. Prior to the issuance of the first building permit, applicant shall assure by permit and bond installation of double yellow center line along the curve on Cliffridge Avenue and La Jolla Scenic Drive North, satisfactory to the City Engineer.

75. Prior to the issuance of the first building permit, applicant shall dedicate approximately 5-feet along project frontage on La Jolla Village Drive (as shown on Exhibit "A") and shall assure by permit and bond, reconstruction of curb, gutter, contiguous and non-contiguous sidewalk, with a 22-foot curb-to- property line distance, satisfactory to the City Engineer.

76. Prior to the issuance of the first building permit, applicant shall assure by permit and bond construction of a 10-foot wide pedestrian/bicycle path between La Jolla Scenic Drive North and Torrey Pines Road, satisfactory to the City Engineer.

77. The gate to the subterranean garage shall be monitored by Hillel's staff during all gatherings and the parking lot attendant shall be present to utilize the parking lifts, to the satisfaction of the City Engineer.

78. The applicant shall provide an on-site parking attendant to oversee the use of the lift parking spaces when the project has visitors expected above the non-lift space spaces required and during these higher demand times, visitors are expected to leave automobile keys to allow for vehicle movement as necessary to utilize the lift equipment within the parking lot, to the satisfaction of the City Engineer.

79. No fewer than 68 on-site parking spaces shall be maintained on the (Phase II) project site in the approximate locations shown on the approved Exhibit "A", on the file in the Development Services Department and such parking spaces shall comply at all times with the SDMC including 28 lift spaces and 3 accessible spaces and shall not be converted for any other use unless otherwise authorized by the City Engineer, to the satisfaction of the City Engineer.

80. At all bus stops within the project area, if any, the applicant shall be responsible for installing sidewalk improvements where needed to comply with Americans with Disability Act (ADA) requirements and in accordance with standards contained in the City of San Diego Street Design Manual.

81. The gate to the subterranean garage shall be monitored by Hillel's staff during all occasional special events.

82. A Transportation Demand and Parking Management (TDPM) Plan has been submitted for the project and includes the following:

- a) Provides staff at both Hillel facility and the off-site location to monitor parking for occasional special events.
- b) Publicizes the availability of off-site parking and transportation prior to the occasional special events.
- c) Annual post-occupancy parking demand study shall be conducted by Hillel for Shabbat services and occasional special services for 3 years after the facility becomes operational, satisfactory to the City Engineer. If post occupancy study indicates need for additional off-site parking, then Hillel shall secure the additional needed parking spaces, satisfactory to the Development Services Director. If post occupancy study indicates that Hillel has no need for the required off-site parking spaces, then those spaces do not need to be provided. The parking demand study should also include an annual summary of the type and frequency of the events that take place at Hillel's facility. The parking demand study should also monitor the use of the on-street parking in the vicinity of the project and eliminate any adverse impact of the project on the on-street parking.

83. The TDPM plan shall be adopted as a condition of this permit and the requirements of the TDPM plan become requirements of this permit. The monitoring program shall be conducted by the applicant and evaluated by the Development Services Director, or his or her designee, at least nine (9) times and no more than 12 times during the first year, and at least three (3) times and no more than five (5) times per year in subsequent years. The monitoring after the first year shall be conducted during times when school is in session and at least once during an occasional special event.

84. Prior to the expiration of the term of the shared parking agreement, Hillel shall provide a renewed shared parking agreement for the off-site parking requirement to the City of San Diego. If after the initial three-year Post Occupancy Evaluation (POE) period, Hillel finds that they no longer require the off-site parking, Hillel must submit a POE to the Development Services Director prior to rescinding the off-site parking agreement(s) per the TDPM plan.

85. The applicant shall notify the La Jolla Shores Association whenever the Traffic and Transportation Committee of the La Jolla Community Planning Association considers issues related to the TDPM plan.

---

#### **WATER REQUIREMENTS:**

86. Prior to the issuance of the first foundation, building or grading permit, the Owner/Permittee shall cut, plug and abandon the existing public 12-inch water facilities within the La Jolla Scenic Drive North right-of-way to be vacated, from La Jolla Scenic Way to Torrey Pines Road, in a manner satisfactory to the Water Department Director and the City Engineer.

87. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of public 16-inch water facilities and the cut, plug and abandonment of the existing public 8-inch water facilities within the La Jolla Scenic Drive

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 11**  
Page 88 of 130

North right-of-way, from La Jolla Scenic Way to Torrey Pines Road, and connect to the 16-inch mains all existing water services still in service adjacent to the project, in a manner satisfactory to the Water Department Director and the City Engineer.

88. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s), including domestic, fire and irrigation, and the disconnection at the mains of all existing unused water services adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

89. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permit(s) for the installation of private back flow prevention device(s) on all water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Water Department Director and the City Engineer. All backflow prevention devices shall be located above grade and outside of any private structures.

90. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall install and/or replace fire hydrants at locations satisfactory to the Fire Marshal, the Water Department Director and the City Engineer.

91. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall design and construct new public water facilities, into acceptable alignments and rights-of-way, in the event any public water facility in the vicinity of the project site loses integrity due to the construction and grading activities associated with this development, in a manner satisfactory to the Water Department Director and the City Engineer.

92. Prior to the first final inspection of any building permit for the Hillel of San Diego project, the Owner/Permittee shall grant acceptable water easements over all public water facilities located outside of fully improved public rights-of-way, in a manner satisfactory to the Water Department Director and the City Engineer. Minimum water easement width, for exclusive use of public water mains with no appurtenances, shall be 15-feet-wide.

93. Prior to the first final inspection of any building permit for the Hillel of San Diego project, all public water facilities necessary to serve this development shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

94. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and easements, as shown on approved Exhibit "A," shall be modified at final engineering to comply with standards.

**WASTEWATER REQUIREMENTS:**

95. Prior to issuance of any building permits, the developer shall assure, by permit and bond, the design and construction of the realignment of the existing 8" public sewer main at the

**DRAFT CITY COUNCIL SITE DEVELOPMENT PERMIT**

**ATTACHMENT 11** Page 89 of 130

intersection of La Jolla Scenic Drive North and Cliffridge Avenue, satisfactory to the Metropolitan Wastewater Department Director.

96. Prior to issuance of any building permits, the developer shall prepare appropriate public improvement plans for the construction of the realignment of the existing 8" sewer main at the intersection of La Jolla Scenic Drive North and Cliffridge Avenue, satisfactory to the Metropolitan Wastewater Director, and it shall be reviewed and approved by the Wastewater Plan Check Section.

97. Prior to the issuance of any certificate of occupancy, the developer shall have the construction of the realignment of the existing 8" sewer main at the intersection of La Jolla Scenic Drive North and Cliffridge Avenue completed per approved plans and satisfactory to the Wastewater Department Director and the City Engineer.

98. Prior to the issuance of any certificate of occupancy, the developer shall have the construction of the realignment of the existing 8" sewer main at the intersection of La Jolla Scenic Drive North and Cliffridge Avenue completed per approved plans and satisfactory to the Wastewater Department Director and the City Engineer.

99. The developer shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

100. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

101. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Plumbing Code and shall be reviewed as part of the building permit plan check.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on \_\_\_\_\_ by Resolution Number R-\_\_\_\_\_.

Site Development Permit No. 527861  
Date of Approval:

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

---

Daniel Stricker  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[NAME OF COMPANY]  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

[NAME OF COMPANY]  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT 11**

**DRAFT Resolution for Approving/Denying Permits**

(R-\_\_\_\_\_)

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, ROBERT MARSHALL, Trustee, Owner, and HILLEL OF SAN DIEGO, a California nonprofit Corporation, Permittee (Phase I) and HILLEL OF SAN DIEGO, a California nonprofit Corporation, Owner and Permittee (Phase II), filed an application with the City of San Diego for a Site Development Permit [SDP] No. 527861 to allow for the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped, approximately 0.77-acre parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement. Phase I involves the continued use of a 1,792 square-foot single-family residence and garage/storage structure at 8976 Cliffridge Avenue for religious offices and related use until such time as the proposed Phase II is developed and approved for occupancy. Phase II involves the development of a two-level religious student center consisting of an upper level main floor use area of 12,100 square-feet and a lower subterranean garage of 17,000 square-feet for the parking of 68 vehicles, trash enclosures and elevators. Both are located in the SF Zone of La Jolla Shores Planned District within the La Jolla Community Plan, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone, and Council District 1. Phase I is legally described as Lot 67 of La Jolla Highlands Unit No. 3 in the City of San Diego, County of San Diego, State of California, according to the map thereof No. 3528, filed in the Office of the County Recorder of San Diego County, October 19, 1956. Phase

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT 11**

It is legally described as a portion of Lot 1299, Miscellaneous Map 36, Pueblo Lands. Both sites are within Township 15 South, Range 4 West, San Bernardino Base Meridian, in the La Jolla Community Plan area, in the Single Family (SF) Zone of the La Jolla Planned District; and

WHEREAS, on October 16, 2008, the Planning Commission of the City of San Diego considered SDP No. 527861, and pursuant to Resolution No. \_\_\_\_\_ -PC voted to recommend City Council approval/denial of the permit; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, 2008 testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to SDP No. 527861:

**Findings Site Development Permit - Section 126.0504**

**(a) Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan;**

The project proposes the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement. The City Council has required the retention of 10,000 square-feet of landscaping as a public amenity and a bike/pedestrian path required by City staff will separate the new religious student center from the adjacent single-family residence.

The project site consists of a total area of approximately 42,684 square feet which includes a single family home used for religious purposes located at 8976 Cliffridge Avenue (8,358 square feet existing; 9,166 square feet after the public right-of-way vacation), and the existing adjacent vacant site (15,350 square feet existing; 33,518 square feet after the public right-of-way vacation) which is bound on the north by La Jolla Village Drive, on the east by La Jolla Scenic Way and on the south by La Jolla Scenic Drive North. The project site is located in the Single Family Zone of the La Jolla Shores Planned District within the La Jolla Community Planning Area, Coastal Height Limit Overlay Zone, and the Campus Parking Impact Overlay Zone. The project site is not within the Coastal Overlay Zone. The Single Family Zone of the La Jolla Shores Planned District permits use for churches, temples and buildings of a religious nature.

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT 11** of 130

The subject properties are designated as Low Density Residential (5-9 du/ac) in the La Jolla Community Plan. Religious uses are commonly found to fit within residential areas without adversely affecting the Land Use Plan. Additionally, the proposed use is permitted by the La Jolla Shores Planned District Ordinance which was adopted specifically to implement the Land Use Plan. The Hillel center is located directly across the street from the University of California and on the northern edge of the adjacent residential neighborhood, making it an appropriate location for the student-related activity.

The proposed development incorporates a number of specific design features which will allow the religious student center to achieve compatibility with the existing residential development in the vicinity. The center utilizes variations in height, textures, and rooflines in order to create the appearance of a series of smaller, individual structures. In addition, lower portions of the structure are concealed behind landscaped berms which will reduce the overall scale of the structure as viewed from the adjacent residential neighborhood. Torrey Pine trees are proposed as both street trees and in informal groupings around the periphery of the project, and will further screen and soften the structure at maturity. Parking for the facility is located within a subterranean garage and meets the San Diego Municipal Code requirement of 68 vehicle parking spaces. The garage is also equipped with a loading area, trash and recycling area, and a service elevator, so that any noise and visual impacts associated with these activities will be screened from surrounding residents.

In order to further minimize impacts to the adjacent residential neighborhood, staff has proposed specific conditions limiting the hours of operation for the center and the frequency of large events. The center will be permitted to be open from 7:00 AM to 10:00 PM daily, while all post-event cleanup and securing of the center must conclude by 11:00 PM. The number of occasional special events for the first twelve months of operation shall be limited to six. The number may be increased after the first year to a maximum of nine occasional special events per year with the approval of the Development Services Department Director, in his or her sole discretion, where Neighborhood Code Compliance will be in charge of documenting the number of these events.

The project also implements policies of the La Jolla Community Plan which recommend enhanced pedestrian-orientation. Non-contiguous sidewalks are located along the La Jolla Village Drive and La Jolla Scenic Drive North frontages, with Torrey Pine trees and other landscaping planted between the curb and sidewalk. While screening the project from the adjacent residential neighborhood, this configuration would also buffer pedestrians from automobile traffic to create an environment conducive to walking and transit use. As such, students would be encouraged to use transit or walk from the University of California at San Diego (UCSD) campus to the student center, reducing automobile traffic and demand for parking at the center.

The project is consistent with the policies contained in the La Jolla Community Plan to build out residential areas with development that is consistent with the surrounding area's residential character. The project is designed to blend with the scale and character of the surrounding residential uses with, similar setbacks, residential massing, warm materials,

landscape berms and native vegetation. The building maintains a single story scale with a combination of flat and sloping roofs to provide articulation. At a proposed maximum height of 22 feet, the project is well under the 30-foot height limit of the zone.

By incorporating the cited design features and the conditions regarding operation of the center, the project implements the policies of the La Jolla Community Plan and will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The project proposes the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement. The City Council has required the retention of 10,000 square-feet of landscaping as a public amenity and a bike/pedestrian path required by City staff will separate the new religious student center from the adjacent single-family residence.

The project site consists of a total area of approximately 42,684 square feet which includes a single family home used for religious purposes located at 8976 Cliffridge Avenue (8,358 square feet existing; 9,166 square feet after the public right-of-way vacation), and the existing adjacent vacant site (15,350 square feet existing; 33,518 square feet after the public right-of-way vacation) which is bound on the north by La Jolla Village Drive, on the east by La Jolla Scenic Way and on the south by La Jolla Scenic Drive North. The project site is located in the Single Family Zone of the La Jolla Shores Planned District within the La Jolla Community Planning Area, Coastal Height Limit Overlay Zone, and the Campus Parking Impact Overlay Zone. The project site is not within the Coastal Overlay Zone. The Single Family Zone of the La Jolla Shores Planned District permits use for churches, temples and buildings of a religious nature.

The City of San Diego conducted an Initial Study, which determined that the proposed project construction could potentially result in significant but mitigable impacts in the areas of Paleontological Resources and Parking. Mitigated Negative Declaration Number 149437 was prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program would be implemented which would reduce, to below a level of significance, the potential environmental impacts identified from the environmental review process for Paleontological Resources and Parking

The proposed religious use is permitted in the La Jolla Shores Planned District Single-Family zone and would provide valuable services to UCSD students, the community of La Jolla and the City and County of San Diego. As designed, both phases of the development are compatible in character and scale with surrounding residential uses. In addition, Phase II will transform what is now a vacant, remnant parcel into a park-like amenity at a prominent gateway into the La Jolla community. The project is consistent with the applicable land use plans, complies with the regulations of the California Building Code and would benefit the UCSD and La Jolla communities. The project

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT II**

proposes to deviate from the regulations governing minimum width of a non-residential driveway. Staff supports the requested deviations as they are minor in nature, in some cases temporary, and reduce the impacts to existing on-street parking. Other than the requested deviations to driveway widths, the project is in conformance to the San Diego Municipal Code. For those reasons, the project would not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project proposes the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement.

The use of the single-family home for religious purposes is proposed to continue until such time that the entitlements for Phase II are approved, and the 12,100 square-foot religious student center is constructed and approved for occupancy. Should Phase II be approved, the religious uses taking place in the single-family home would move into the new 12,100 square-foot facility, and the single-family home would return to a residential use. The existing single-family residence was constructed according to all codes and regulations in effect at the time of construction. Upon entitlement approval, building permits would be processed which would bring the existing single-family home into compliance with California Building Code requirements for the change of occupancy, including an increase in off-site parking.

As allowed through the approval of a Site Development Permit, the applicant is requesting to deviate from the regulations governing minimum width of non-residential driveways. Staff supports the requested deviations as they are minor in nature, in some cases temporary, and reduce the impacts to existing on-street parking.

Other than the proposed deviations described the proposed development would comply with the applicable regulations of the San Diego Municipal Code and be consistent with the recommended land-use, design guidelines, and development standards in effect for this site. The project has been reviewed in accordance with all applicable development regulations and the La Jolla Community Plan and Local Coastal Program, the City's General Plan, and the California Environmental Quality Act, and the permit has been conditioned to meet those requirements. Staff has determined the project complies with the applicable development regulations and would be consistent with the purpose and intent of the underlying zone. Staff believes the religious student center project is well designed and would be an asset to the neighborhood. Therefore, proposed development will comply with the applicable regulations of the Land Development Code.

**(m) Supplemental Findings—Deviations for Sustainable Development**

- 1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities**

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT H**

**throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;**

The project proposes the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement.

The applicant is requesting to deviate from the regulations governing minimum width of non-residential driveways. Staff supports the requested deviations as they are minor in nature, in some cases temporary, and reduce the impacts to existing on-street parking.

The San Diego Municipal Code (SDMC) allows flexibility in the application of development regulations (deviations) for sustainable developments where strict application of the base zone development regulations would restrict design options and result in a less desirable project, through the processing of a Site Development Permit. The purpose of these regulations is to provide flexibility in the application of development regulations for projects which will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

The proposed development will materially assist in accomplishing the goal of reducing impacts associated with fossil fuel energy use and meet the requirements of City of San Diego Council Policy 900-14 through the installation of roof mounted photovoltaic panels and a fuel cell to provide 30% of the project's energy use through alternative means.

In addition the project's design proposes to incorporate the U. S. Green Building Council's Leadership in Energy and Environmental Design (LEED) silver design standards for sustainable design.

Therefore, the proposed development will materially assist in accomplishing the goal of reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources.

**2. The development will not be inconsistent with the purpose of the underlying zone;**  
~~and~~

The project proposes the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a vacant triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT 11**  
Page 97 of 130

foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement.

The project site is located in the Single Family Zone of the La Jolla Shores Planned District within the La Jolla Community Planning Area, Coastal Height Limit Overlay Zone, and the Campus Parking Impact Overlay Zone, and is designated for residential use in the La Jolla Community Plan. The La Jolla Shores Planned District Ordinance permits churches, temples or buildings of a permanent nature, used primarily for religious purposes in the SF zone. The use of the single-family home for religious purposes is proposed to continue until such time that the entitlements for Phase II are approved, and the 12,100 square-foot religious student center is constructed and approved for occupancy. Should Phase II be approved, the religious uses taking place in the single-family home would move into the new 12,100 square-foot facility, and the single-family home would return to a residential use. Should Phase II not be approved, the single-family home would remain as a religious use indefinitely, as allowed by the La Jolla Shores Planned District Ordinance.

The proposed development incorporates a number of specific design features which will allow the religious student center to achieve compatibility with the existing residential development in the vicinity. The center utilizes variations in height, textures, and rooflines in order to create the appearance of a series of smaller, individual structures. In addition, lower portions of the structure are concealed behind landscaped berms which will reduce the overall scale of the structure as viewed from the adjacent residential neighborhood. Torrey Pine trees are proposed as both street trees and in informal groupings around the periphery of the project, and will further screen and soften the structure at maturity. Parking for the facility is located within a subterranean garage and meets the San Diego Municipal Code requirement of 68 vehicle parking spaces. The garage is also equipped with a loading area, trash and recycling area, and a service elevator, so that any noise and visual impacts associated with these activities will be screened from surrounding residents.

In order to further minimize impacts to the adjacent residential neighborhood, staff has proposed specific conditions limiting the hours of operation for the center and the frequency of large events. The center will be permitted to be open from 7:00 AM to 10:00 PM daily, while all post-event cleanup and securing of the center must conclude by 11:00 PM. The number of occasional special events for the first twelve months of operation shall be limited to six. The number may be increased after the first year to a maximum of nine occasional special events per year with the approval of the Development Services Department Director, in his or her sole discretion, where Neighborhood Code Compliance will be in charge of documenting the number of these events.

The project also implements policies of the La Jolla Community Plan which recommend enhanced pedestrian-orientation. Non-contiguous sidewalks are located along the La Jolla Village Drive and La Jolla Scenic Drive North frontages, with Torrey Pine trees and other landscaping planted between the curb and sidewalk. While screening the project from the adjacent residential neighborhood, this configuration would also buffer pedestrians from automobile traffic to create an environment conducive to walking and

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT 11**

Page 98 of 130

transit use. As such, students would be encouraged to use transit or walk from the UCSD campus to the student center, reducing automobile traffic and demand for parking at the center.

The project is designed to blend with the scale and character of the surrounding residential uses with, similar setbacks, residential massing, warm materials, landscape berms and native vegetation. The building maintains a single story scale with a combination of flat and sloping roofs to provide articulation and meets coverage requirements. At a proposed maximum height of 22 feet, the project is well under the 30-foot height limit of the zone. Therefore, the proposed development will not be inconsistent with the purpose of the underlying zone.

3. **Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The project proposes the development of a two-phased project to continue the use of an existing single-family dwelling for religious offices and related purposes as a Phase I entitlement; and to develop a triangular shaped parcel on the south side of La Jolla Village Drive between Torrey Pines Road and La Jolla Scenic Way with a 12,100 square-foot religious student center with a lower level garage of 17,000 square-feet of area as a Phase II entitlement.

The deviations requested within the proposed project affect temporary improvements in Phase I of the project and permanent improvements within Phase II. The first Phase I deviation is a request to deviate from San Diego Municipal Code regulations governing minimum width of a non-residential driveway. This would be a temporary deviation from the driveway width requirements, whereas, the applicant is proposing a 12-foot curb cut to access 8976 Cliffridge Avenue where the San Diego Municipal Code requires 24 feet for a non-residential use. This deviation assumes approval of Phase II and the public right-of-way vacation request. When Phase II is constructed, the religious offices and related use at 8976 Cliffridge Avenue would move into the new 12,100 square-foot facility (Phase II) and the single-family home would revert back to its original use, which only requires a 12-foot curb cut as a residential use.

The second deviation for Phase I is also a request to deviate from San Diego Municipal Code regulations governing minimum width of a non-residential driveway. However, this would be permanent deviation from the driveway width requirements, whereas, the applicant is proposing a 20-foot curb cut to access 8976 Cliffridge Avenue where the San Diego Municipal Code requires 24 feet for a non-residential use. This deviation assumes denial of Phase II and the Public Right-of-Way Vacation request, and the permanent use of the single family home at 8976 Cliffridge Avenue as a non-residential use. The deviation would be necessary to allow the single-family house at 8976 Cliffridge Avenue to have access to the street for the 6 required parking spaces. The deviation is required to preserve an existing mature tree and to allow code required depth of parking spaces. In addition, the deviation allows for the preservation of on street parking as well as maintaining visual consistency with adjacent single family development.

**DRAFT CITY COUNCIL PERMIT RESOLUTION**

**ATTACHMENT 11**

The deviation for Phase II is also a request to deviate from San Diego Municipal Code regulations governing minimum width of a non-residential driveway, whereas, the applicant is proposing a 22-foot curb cut to access the underground parking garage as a part of Phase II where the San Diego Municipal Code requires 24 feet for a non-residential use. The deviation is necessary to allow for shared emergency egress, a turnaround (if denied access to the garage) from the garage and for required number of parking spaces to be provided. This minimizes the building's encroachment on the site, keeps the driveway as far away from adjacent intersections as possible, and minimizes the loss of on-street parking.

The proposed deviations assist in preserving the single-family nature of the surrounding development rather than emphasizing vehicular access which would increase the amount of impervious surfaces in the area and produce the potential for greater storm water runoff. Therefore, the proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Site Development Permit No. 527861 is granted to ROBERT MARSHALL, Trustee, Owner, and HILLEL OF SAN DIEGO, a California nonprofit Corporation, Permittee (Phase I) and HILLEL OF SAN DIEGO, a California nonprofit Corporation, Owner and Permittee (Phase II), under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: MICHAEL AGUIRRE, City Attorney

By \_\_\_\_\_  
NAME  
Deputy City Attorney

ATTY/SEC. INITIALS  
DATE  
Or.Dept:Clerk  
R-\_\_\_\_\_  
Form=permitr.frm(61203wct)  
Reviewed by Daniel Stricker



**Hillel – TDPM Plan**

**Transportation Demand and Parking Management Plan  
Hillel Facility for UCSD Students  
San Diego, California**

September 19, 2008

## Hillel – TDPM Plan

### Purpose and Need

Hillel of San Diego is proposing to develop Site 653 in the City of San Diego with an approximately 12,100 square foot Hillel Center to serve the Jewish students at UCSD. The Kimley Horn, *Traffic Generation, Site Access and Parking Evaluation of Hillel of San Diego Facility* of May 2004 indicated that a forty (40) space subterranean on-site parking structure previously planned within this project was expected to fully accommodate Hillel's parking needs for its regular weekly events, including its largest weekly event, Friday evening Shabbat services, held throughout the school academic year. The Parking Study was supported by surveys of modes of transportation by UCSD students attending Hillel events, by post occupancy studies at other Hillel facilities, and by the parking impact experience of other Hillel facilities. However, Hillel will provide a minimum of sixty-eight (68) on-site, underground parking spaces to ease the parking impact concerns of the surrounding community and meet the requirements of the San Diego Municipal Code. Hillel is employing parking lifts to achieve this number. Pursuant to providing sixty-eight (68) parking spaces on site, Linscott, Law & Greenspan, Engineers (LLG) provided a new *Traffic Impact Analysis*, dated July 07, 2008 to study the impact of the Hillel facility on the adjacent traffic environment. LLG provided traffic analysis for very "worst case" scenarios of "everybody walking" and "everybody driving" to the Hillel facility on a Friday, which is anticipated to be the day with the most potential impact to the facility and surrounding areas.

Hillel recognizes that the La Jolla Highlands neighborhood has experienced adverse parking impacts due to the growth of the UCSD campus. Hillel is committed to insuring that its new facility will not increase the adverse parking impacts on this residential neighborhood. Therefore, Hillel of San Diego agrees to bind its use of the facility to a Transportation Demand and Parking Management plan (TDPM).

This Transportation Demand and Parking Management (TDPM) plan provides specific, measurable and interactive procedures to mitigate any parking and traffic impacts on the La Jolla Highlands neighborhood. While it is anticipated that the most common methods of traveling to and from the Hillel student center will involve non Single Occupancy Vehicle (SOV) modes of travel (i.e., walking, biking, UCSD shuttle service<sup>1</sup>, public transit, carpooling etc.), it is recognized that some vehicles will be used to travel to and from the project. Accordingly, Hillel of San Diego has structured this TDPM plan to minimize or eliminate potential parking impacts associated with the project.

Transportation Demand and Parking Management (TDPM) measures include:

- A parking management strategy to control parking activity.
- Procedures to monitor and quantify the parking activity.
- Methods to validate the Linscott, Law & Greenspan, Engineers *Traffic Impact Analysis* of the Hillel of San Diego Facility dated July 07, 2008 via post-occupancy surveys and evaluations.
- Specific post occupancy modifications to be implemented in the event that the parking activity does or does not indeed significantly impact the La Jolla Highlands neighborhood.
- A mechanism to monitor and respond to feedback from members of the community.

This TDPM plan is a living document. The TDPM plan shall be adopted as a condition of the Site Development Permit. The monitoring program shall be conducted by Hillel in accordance with the *Post-Occupancy Surveys, Evaluations, and Studies* section of this TDPM plan. Hillel will meet with City of San Diego staff 3 years after Hillel opens to adapt and amend this TDPM plan, as needed, based upon the realities of the project's parking activity.

---

<sup>1</sup> The shuttle has an existing stop within ¼ mile of the facility and operates on a 10 minute frequency during the hours of 7:00 AM and Midnight, Mondays through Fridays and 9:00AM to Midnight on weekends.

**Hillel – TDPM Plan**

**Table of Contents**

- 1. Transportation Demand and Parking Management Strategy**
- 2. Monitoring and Quantification**
- 3. Post Occupancy Surveys, Evaluations, and Studies**
- 4. Post Occupancy Modifications**

## **Transportation Demand and Parking Management Strategy**

This section outlines the methods used to manage the transportation and parking demands of the Hillel attendees during peak use of the facility (i.e., during Shabbat services and Occasional Special Events) after full occupancy of the facility is achieved. The goal of this TDPM plan strategy is to avoid spillover parking on neighboring streets during these activities. This goal will be achieved through the following policies and procedures:

### **I. Transportation Demand Strategy**

- A. Emphasis on alternative modes of transportation**
- B. Remote parking shuttle service and staffing of off-site parking**
- C. Information program**
- D. Hillel student center policies**
- E. Community outreach**

### **II. Parking Management Strategy**

- F. Maximum building occupancy policies**
- G. Shabbat service and Occasional Special Events parking monitoring**
- H. Off-site parking agreements**
- I. Daily parking policy**
  
- J. Policies pertaining to Occasional Special Events**
- K. Policies pertaining to the garage gate**
- L. Staff parking access**
- M. Monitoring of neighborhood parking**

#### **A. Emphasis on alternative modes of transportation**

Students will be encouraged to walk, bike, use the existing UCSD shuttle, and carpool to the facility when feasible.

- Bike racks will be provided within the garage.
- Flyers with information on the UCSD shuttle route will be provided at the Hillel Student Center.
- The UCSD Community Service Officer (CSO) Program system will be publicized and encouraged for people who do not want to walk alone to and from the Hillel student center.

#### **B. Remote parking shuttle service and staffing of off-site parking**

Hillel shall provide shuttle service between the off-site parking location(s) and the Hillel facility for both weekly Friday Shabbat services and the Occasional Special Events.

- The remote lot shuttle will drop passengers off within the subterranean parking garage. The shuttle will be provided one hour before to one hour after each event.
- Hillel shall provide staff at both the Hillel facility and the off-site locations to monitor parking for Shabbat services and Occasional Special Events.
  - In the event that the designated off-site parking location is changed for Friday night Shabbat services, Hillel shall provide a parking

attendant at the original location an hour before the scheduled start time until an hour after the scheduled start time, for the first two scheduled events after the location change, to direct any applicable vehicles to the new off-site parking location. Hillel will also publish the change of location on its website and inform students by e-mail and other methods of the change of location as specified under the information program described herein.

- The monitors of the parking locations will have two-way communication capability to ensure shuttle riders are served.
- In the event of failure of the parking shuttle to operate during any Shabbat services or Occasional Special Events, Hillel will immediately suspend any activities with more than 204 people in attendance at the facility until the shuttle service is resumed and the resumed operation is approved by the Mayor/City Manager in his or her sole discretion.

### C. Information program

Hillel will implement a comprehensive public information program to educate all Hillel students and visitors about the options for coming and going from the Hillel student center.

- The Shuttle pick-up/drop-off times and route map will be published on Hillel's website and available as a flyer in the Hillel office.
- A flyer will be produced by Hillel regarding transportation options and parking regulations. The flyer will include information on alternative modes of transportation to and from the Hillel student center, locations of off-site parking, recommended pedestrian arrival and departure, and parking permit regulations.
- This information will also be available to the students and general community through Hillel's website.
- Other materials that will include information pertaining to the TDPM plan are the quarterly calendar of events and the weekly Hillel e-mail.
- Hillel will also announce parking availability and regulations during announcements at Friday night Shabbat services.
- Hillel will advise visitors to the center for Friday night Shabbat services and during Occasional Special Events not to park in the neighborhood and that individuals that fail to comply with this policy will be asked to move their car or to leave the Hillel facility. The following will be included on the website and all printed literature:

---

Please note that parking is available at Hillel on a first come/first serve basis. In order to be good neighbors, we will not allow parking on the surrounding neighborhood streets. Individuals who fail to honor this rule will be denied admission to Hillel. Overflow parking is available for free at [location to be determined] with a shuttle service one hour prior to one hour after Shabbat and Occasional Special Events. For locations please call Hillel or go to <http://hillelsd.org>

## Hillel – TDPM Plan

### D. Hillel student center policies

- Hillel will not rent the facility for community weddings or Bar or Bat Mitzvahs.
- Hillel will not provide or rent the facility for use by other groups.
- Hillel hours of operation shall be limited to 7:00 a.m. to 10:00 p.m. Monday through Friday with events concluding by 10:00 p.m., allowing for 11:00 p.m. clean up and closing of the facility. Weekend hours shall be limited on Saturday from 8:00 a.m. to 10:00 p.m. and on Sunday from 10:00 a.m. to 6:00 p.m. unless there is a Jewish Holiday or Occasional Special Event.

### E. Community outreach

- Hillel will be responsible for sending a representative to the La Jolla Community Planning Association's Traffic and Transportation committee at the beginning of each academic quarter (three times a school calendar year) to:
  - Update the community on Hillel's expected quarterly events.
  - Let the community know of any upcoming Occasional Special Events.
  - Update the community on the status of any complaints that have been received through Hillel's website and what response has been initiated.
  - Inform the community how to provide feedback through the website and have available hard-copy forms for those without internet access.
- Hillel shall notify the La Jolla Shores Association of any time that the Traffic and Transportation Committee of the La Jolla Community Planning Association considers issues related to the TDMP plan.
- Hillel agrees to participate in a Neighborhood Advisory Committee consisting of one representative from the University of California San Diego, two representatives appointed by the La Jolla Shores Association, two representatives appointed by Hillel, one neighborhood resident appointed by the City Council Representative for District One, and one neighborhood resident appointed by the Mayor/City Manager.
  - The committee shall be formed within thirty (30) days of the issuance of building permits, while working on construction issues as well, and shall work to facilitate appropriate interchange and beneficial collaboration between Hillel and the surrounding community, resolve disputes if possible, and advise the Development Services Department and the Neighborhood Code Compliance Department and the Mayor/City Manager of any disputes that are not resolved.

### F. Maximum building occupancy policies

- The maximum building occupancy shall be 204 people at all times, except for Occasional Special Events.
- Occasional Special Events shall have a maximum occupancy of 400 people. Any event attended by more than 204 people is considered an Occasional Special Event.

### G. Shabbat service and Occasional Special Events parking monitoring

- The Hillel facility will have an attendant monitor the garage entry. If the garage is full, vehicles will be directed to the off-site parking location.

**Hillel – TDPM Plan**

**H. Off-site parking agreements**

- In addition to the sixty-eight (68) spaces provided within the garage, Hillel shall provide an additional sixty-seven (67) off-site parking spaces through shared parking agreement for Hillel's weekly Shabbat services. The sixty-seven (67) parking spaces shall be available from one hour prior to the event until one hour after each Shabbat service. Hillel has entered into a parking agreement with UCSD to satisfy the Shabbat services off site parking requirement.
  - Hillel shall provide an additional seventy-five (75) off-site parking spaces through shared parking agreement for Hillel's Occasional Special Events. The seventy-five (75) parking spaces shall be available from one hour prior to the event until one hour after each event. Hillel has entered into a parking agreement with UCSD to satisfy the Occasional Special Event parking requirement.
  - Hillel has entered into a shared parking agreement for Shabbat service parking and Occasional Special Events parking with UCSD. Hillel will perform all of its obligations under this agreement and will maintain the agreement in full force and effect. Hillel will not amend or modify the shared parking agreement without the prior approval of the City of San Diego. Hillel will either cause the UCSD agreement to be extended prior to expiration of its term, or will enter into a new shared parking agreement with an off-site parking provider(s) for the required off-site parking spaces, satisfactory to the City of San Diego. In the event of cancellation of a shared parking agreement, Hillel will immediately suspend any activities with more than 204 people in attendance, which would effectively bring the cap down to what sixty-eight (68) spaces would support, including Shabbat services and Occasional Special Events at the facility until an equivalent parking management plan or shared parking agreement is secured and approved by the Mayor/City Manager in his or her sole discretion.
  - During Shabbat services and Occasional Special Events, signs shall be placed and maintained in front of the project clearly indicating available parking spaces at the off-site location(s).
  - The parking attendant in the subterranean parking garage will provide directions to the offsite parking location and shuttle information.
- 
- During Shabbat services and Occasional Special Events, signs shall be placed and maintained at the entrance of the off-site parking location(s) clearly indicating that parking spaces are available for Hillel.
  - If any of the off-site locations are further than 600' from the site, Hillel will provide shuttle service referred to in Section B of the *Transportation Demand Strategy* of this TDPM plan.

**I. Daily parking policy**

- All visitor parking within the subterranean garage shall be for people visiting the Hillel facility only and shall only be for the duration of their visit to the Hillel facility.
- Two signs will be posted within the parking garage notifying drivers that the garage parking is for Hillel use only and all others will be towed.

**J. Policies pertaining to occasional special events**

- There will be a maximum of six (6) times during the first twelve (12) months of operation in which Hillel can hold an Occasional Special Event. The maximum number of Occasional Special Events may be increased after the first year to nine (9) times per year with the approval of the Mayor/City Manager, in his or her sole discretion, where the Neighborhood Code Compliance Department will be in charge of supervising the number of these events. The following policies will apply:
  - Hillel will notify neighbors a minimum of three weeks in advance of Occasional Special Events in specific reference to parking accommodations, expected attendance, and the nature of the event.
  - Notice will be made through a direct mailer to all addresses within 300 feet of the Hillel student center and a representative will inform the La Jolla Community Planning Association's Traffic and Transportation committee (see community outreach for scheduled attendance), and the Hillel web site will post any Occasional Special Event information.

**K. Policies pertaining to the garage gate**

- The subterranean garage gate will generally be kept closed for security purposes.
- The subterranean garage gate will be monitored at all times from within the student center with video and voice equipment for remote-controlled access to visitors, during normal facility hours of operation.
- For Shabbat and Occasional Special Events the subterranean garage gate will be attended by the parking attendant from 1 hour before the event to 1 hour after the event to control access.
- Hillel will not prohibit any of its staff, visitors, or anyone participating in its on-site activities from parking in the garage, unless during Shabbat services or an Occasional Special Event where the garage is full and the remote parking lot and shuttle service are being utilized.

**L. Staff parking access**

- All staff members will have controlled access to the garage.

**M. Monitoring neighborhood parking**

- Hillel will monitor the parking activity within the La Jolla Highlands neighborhood by a neighborhood parking monitor from 1 hour before each Shabbat service to 1 hour after each Shabbat service has begun, 4 times per year, for 3 years after occupancy of the facility. The monitor will be authorized to request that any student or visitor who is going to Hillel to move their car out of the surrounding neighborhood.

**Hillel – TDPM Plan**

**Monitoring and Quantification**

There will be two types of parking monitoring. The first type includes methods by which Hillel will monitor their parking program and the second type includes methods that provide a means for the community to communicate any complaints they have directly to Hillel.

**Methods of monitoring parking activity**

- Hillel will record the number of parking spaces used/available for each Shabbat and Occasional Special Event at both the on-site parking garage and the off-site parking location.
- Hillel's appointed monitor will collect data on the Shabbat service parking activity within the La Jolla Highlands neighborhood. The monitor will record the number of times students visiting Hillel must be told not to park on the following streets:
  - La Jolla Scenic Drive North (adjacent to the Hillel student center)
  - La Jolla Scenic Way
  - Cliffridge Ave between La Jolla Scenic Drive North and Nottingham Place
  - Nottingham Place
- Hillel will survey the on-street parking use at least nine (9) times and no more than twelve (12) times during the first year of operation and at least three (3) times and no more than five (5) times in subsequent years. The survey will start one hour prior to the beginning of Shabbat services and include measurements each hour until 1 hour after Shabbat services for the following streets:
  - La Jolla Scenic Drive North (adjacent to the Hillel student center)
  - La Jolla Scenic Way
  - Cliffridge Avenue between La Jolla Scenic Drive North and Nottingham Place
  - Nottingham Place

**Methods for community feedback**

- Hillel will provide means for community feedback through the mail and its website.
- The website will contain a section devoted to parking information and feedback. Community members will be able to download a feedback form and submit it to Hillel either electronically or by mail. Community members will be asked to supply the specific date, time, vehicle license number and nature of their complaint.
- *The link to Hillel's online feedback form is <http://hillelsd.org>*
- For those without internet access, forms can be obtained by mail from Hillel at the facility's future address, to be determined upon issuance of building permits, or, at their location at the time of application, which is:
  - Hillel of San Diego
  - 8976 Cliffridge Avenue
  - La Jolla, California 92037
- In addition, the Hillel representative to the La Jolla Community Planning Association's Traffic and Transportation committee will bring feedback forms to each meeting which a Hillel representative attends (see item E of the *Parking Management Strategy* of this TDPM plan.)

**Hillel – TDPM Plan**

**ATTACHMENT 12**

- Feedback forms will be provided to the La Jolla Community Planning Association's Traffic and Transportation committee for distribution at each of their meetings.
- Feedback must be in written form (via internet or hard copy) to be documented.
- Community feedback monitoring shall continue in perpetuity.

**Hillel – TDPM Plan**

**Post-Occupancy Surveys, Evaluations, and Studies**

- Annual post-occupancy evaluation (or POE) studies shall be conducted by Hillel for Shabbat services and Occasional Special Events for 3 years after the facility becomes operational, satisfactory to the City Engineer and evaluated by the Mayor/City Manager at least nine (9) times and no more than twelve (12) times during the first year of occupancy, and at least three (3) times and no more than five (5) times per year in subsequent years as long as the TDPM plan remains in existence. The monitoring after the first year shall be conducted during times when school is in session and at least once during an Occasional Special Event. Hillel will submit a letter to the City of San Diego Development Services Department Director upon full occupancy to document when full occupancy was taken.
- Hillel will include the information gathered in the monitoring section of this TDPM plan, and the following additional items:
  - Number of cars that are turned away from the subterranean garage or the off-site location during each Shabbat
  - An annual summary of the type and frequency of the events that take place at Hillel's student center.
  - Review and summary of formal complaints that were submitted, with copies of the actual complaints.
  - Measurement of Hillel student on-street parking on the adjacent streets outlined in *Methods of Monitoring Parking Activity* during Shabbat.
  - Observe and survey the users of the off-site parking locations to find out:
    - How is it working?
    - How many cars are parking in the lot on Shabbat?
    - Is there any confusion?
  - Review operations of on-site parking to find out:
    - How many cars were turned away for each Shabbat?
    - How is it working?
    - Is there any confusion?
- Conclusions of the POE shall include:
  - The POE will determine the actual parking demand of the Hillel student center.
  - The POE will determine if there is an adverse impact upon the La Jolla Highlands neighborhood.
  - The POE will determine the validity of the calculated parking demand within the Linscott, Law & Greenspan, Engineers *Traffic Impact Analysis* of the Hillel of San Diego facility dated July 07, 2008.
- Hillel will submit the POE to the City of San Diego City Engineer and copy the La Jolla Community Planning Association's Traffic and Transportation committee.

**Post-Occupancy Modifications**

This section describes modifications that Hillel will employ depending on the conclusions found in the POE.

**Hillel – TDPM Plan**

**ATTACHMENT 12**  
Page 113 of 130

- Any modification to the TDPM (Transportation Demand and Parking Management) plan shall require a Process 4 modification to the SDP which can be appealed to the City Council.
- If conditions in the neighborhood change with respect to parking (such as red curbing, residential permit parking etc...) the Mayor/City Manager can modify or eliminate these requirements through a Process 4 modification to the SDP which can be appealed to the City Council.
- If the post occupancy study indicates the need for additional off-site parking, then Hillel shall secure the additional needed parking spaces, satisfactory to the Mayor/City Manager. If the post occupancy study indicates that Hillel has no need for the required off-site parking spaces, then those spaces do not need to be provided, and shared parking agreements can be terminated, through a Process 4 modification to the SDP which can be appealed to the City Council.
- If it is determined that more than 6 vehicles (10% of garage capacity), on average, are turned away from parking within the subterranean parking garage on Shabbat a parking permit policy will be implemented for parking within the subterranean garage during Shabbat services. Parking permit policies will be established in consultation with the Mayor/City Manager but may include the following: Sixty-one (61) free permits will be issued one week prior to the start of each academic quarter. Five (5) non-permitted spaces will be reserved for invited guests. Drivers with ADA needs will not be turned away if they do not have a permit. Two (2) spaces will be reserved for ADA users indefinitely. Up to twenty (20) of the sixty-one (61) permits will be dedicated for "drivers of carpools only". The remaining forty-one (41) permits will be distributed at Hillel's discretion based on the priority listing below. No permits will be issued to campus residents or others living within close proximity to campus. Once the permits have all been allocated, students who apply for Shabbat permits will be put on a waiting list and then be directed to park at one of the off-site locations if they still plan to drive to the site.

**Priority of permits**

- People with ADA needs
  - Carpoolers
  - Off-campus students
  - Others
  - Hillel will reserve the right to revoke a pass for a higher priority user.
- 
- If the offsite parking location is within six hundred (600) feet of the project, no shuttle service shall be required.

**Post 3 Year Review**

- Any modification to the TDPM (Transportation Demand and Parking Management) plan shall require a Process 4 modification to the SDP which can be appealed to the City Council.

**Hillel – TDPM Plan**

- If Hillel finds that they no longer require the off-site parking after the initial 3 year POE period, Hillel must submit a POE to the Mayor/City Manager prior to rescinding the off-site parking agreement(s).
- If the Mayor/City Manager deems it necessary based upon neighborhood complaints or other legitimate reasons verified by the City Traffic Engineer after the initial 3 year POE period, Hillel must submit a POE to the Mayor/City Manager for review and if necessary implementation of a post occupancy modification.

[END]

LICENSE AGREEMENT BETWEEN  
THE REGENTS OF THE UNIVERSITY OF CALIFORNIA  
AND  
HILLEL OF SAN DIEGO

This License Agreement ("Agreement") is made and entered into this (date to be filled in by UCSD-Real Estate Development after both parties have signed) 6th day of July, 2005, by and between THE REGENTS OF THE UNIVERSITY OF CALIFORNIA, a California corporation, ("Licensor"), on behalf of the San Diego Campus ("UCSD") and HILLEL OF SAN DIEGO, a California non profit corporation ("Licensee").

RECITALS

WHEREAS, Licensor is the owner of real property consisting of various parking lot facilities located at UCSD; and

WHEREAS, Licensee is proceeding with the development of a permanent Hillel Center ("Hillel Center") to serve the Jewish students at UCSD, to be located adjacent to UCSD on La Jolla Village Drive, and in connection with its development and use of the Hillel Center has requested permission for itself, its guests, and employees to use parking facilities in a parking lot at UCSD (the "Premises"), to be designated in accordance with the terms of this Agreement, for Licensee's use during Friday night Shabbat Services ("Shabbat Services") and for special event overflow parking up to 12 times per year ("Special Events") while UCSD is in session, at Licensor's facilities; and

WHEREAS, Licensor desires to grant such permission under the terms and conditions as set forth below:

NOW, THEREFORE, the parties agree as follows:

1. Use. Licensor hereby grants to Licensee, its agents and contractors, a non-exclusive License to enter upon and use the Premises and the right of ingress and egress to and from the Premises, subject to the terms and conditions herein, for the purpose of parking a maximum of sixty seven (67) passenger vehicles owned by Licensee's invitees, guests and employees for Shabbat Services and a maximum of seventy five (75) passenger vehicles owned by Licensee's invitees, guests and employees for Special Events and for providing for pick-up/drop off sites for shuttle services between the Premises and the Hillel Center ("License"). The hours of use permitted in this License shall be each Friday from 5 p.m. until 12:00 p.m. for the purpose of Shabbat Services. The hours of use for Special Events shall be subject to the prior designation and approval by Licensor for each requested date and time of use, in accordance with the notice procedures set forth herein. Provided, however, the use of the Premises will be subject to availability for Special Events occurring before 5 p.m. during UCSD's normal academic or work week.

2. Premises.

2.1 The particular parking lot facility to be used as the Premises hereunder shall be designated by Licensor from time to time during the term of this License in the exercise of Licensor's reasonable discretion, with the intent that Licensor shall reasonably designate a parking lot in closest proximity to the Hillel Center that is anticipated to have sufficient parking availability during the date and time of the Licensed use. Licensee has requested use of one of the following Lots P604 or P608 for Shabbat Services. The location of these Lots is depicted on Exhibit A attached hereto and incorporated herein by reference. Licensor and Licensee acknowledge that these facilities currently have adequate parking availability to meet Licensee's need for Shabbat Services; however, availability may change over time and another location for the designated Premises may be more appropriate. Licensor hereby approves one of the above referenced Lots for Shabbat

Services use, subject to Licensor's right to designate another lot as the Premises for Shabbat Services in accordance with the terms of this paragraph. Licensor and Licensee shall confer on any changes in location of the designated Premises as necessary from time to time.

2.2 The designation of the Premises for Special Events shall be made by Licensor based upon anticipated availability of parking at the proposed location on and at the particular date and time as reasonably determined by Licensor with the intent that Licensor shall reasonably designate a parking lot in closest proximity to the Hillel Center as is reasonably feasible. Licensee shall provide not less than 120 days' notice to Licensor of the date and hours of Licensee's Special Event and Licensor and Licensee shall confer on the appropriate designated Premises for Licensee's use for such Special Event. Licensor shall notify Licensee of the designated Premises for the Special Event at least 30 days prior to the date of the Special Event, provided that Licensee has given adequate notice to Licensor as stated herein.

2.3 Use of any parking lot will be on a non-exclusive basis.

3. Term. The term of this License Agreement shall commence on the date of issuance of a certificate of occupancy (and Licensee shall provide Licensor with written notice thereof) after completion of the Hillel Center (expected between Fall 2006 and Spring 2007) for a period of five (5) years, and shall expire no later than the close of Spring semester in 2012. However, after the expiration of the initial term of this Agreement, this Agreement may be renewed with the written mutual agreement of Licensor and Licensee.

4. Consideration. Licensee shall pay to Licensor a fee for each parking space on the Premises used by Licensee hereunder at the daily or evening parking rate then in effect by Licensor as applicable to the time and date of the event. For instance, Licensor does not currently charge for public parking at the University for weekend use. However, if parking rates or policies are changed in the future, Licensee shall pay the applicable rate then in effect. In addition, Licensor may charge Licensee a standard and customary administrative fee for implementing this Agreement. All payments shall be made within 10 days after the completion of the Licensed use and shall be submitted and made payable to The Regents of the University of California and remitted to:

Director, Operations  
 Transportation & Parking Services, 0040  
 University of California, San Diego  
 9500 Gilman Drive  
 La Jolla, CA 92093-0040

5. Conditions Applicable to License. This License is subject to all existing covenants, conditions, reservations, contracts, leases, licenses, easements, encumbrances, restrictions and rights of way with respect to the Premises, whether or not of record.

6. Licensee Responsibilities

Licensee shall:

- A. Accept the Premises on an "as is" condition basis and acknowledge that no further improvements will be made by Licensor.
- B. Limit its use to provide parking on the Premises on the dates and during those times that have been specifically designated by Licensor to event guests, invitees and/or employees. Licensee shall not collect any money on the Premises for parking.

- C. Provide, at its sole cost and expense, appropriate signage as desired for its temporary parking. Licensee agrees to place such signage on the Premises earlier than the day of the event and will remove such signage at the conclusion of the event.
- D. At Licensee's option, provide a security guard(s) on site to oversee Premises and direct vehicles during time of the licensed use at its sole cost and expense. It is understood by both parties that the Licenser assumes no responsibility for stolen and/or damaged property on the Premises during the term of this Agreement.
- E. Licensee shall take reasonable steps to advise its employees, invitees and guests that no parking under this Agreement should occur on UCSD land other than the Premises, except pursuant to a valid parking permit approved for such location. Licensee acknowledges that Licenser will cite violators who park on or in non-licensed areas and may, in its election, tow offending vehicles, at the vehicle owner's expense, if warranted.
- F. Assume all responsibility for clean up of the Premises after each use and during the term of this License Agreement, agreeing to leave the Premises in its original condition.
- G. Notify UCSD Campus Police of any unusual occurrence or emergency (858-534-4357).
7. No Transfer or Assignment. This License is personal to Licensee. Any attempt to assign this License shall terminate it.
8. No Interference. Licensee shall not unreasonably interfere with the normal operation and activities of Licenser, and Licensee shall use such procedures in its activities on the Premises as shall result in the least practical damage to the Premises and inconvenience to Licenser.
9. Repair and Restoration. If Licensee, its agents or contractors cause any damage to the Premises or to Licenser's roads, infrastructure or other property and improvements (collectively "Property") in connection with the exercise of the rights under this Agreement. Licensee shall repair and restore the Premises and Property to at least their original condition prior to Licensee's entry to and use of the Premises. At the expiration of each Licensed use, Licensee shall immediately cease use of the Premises. Licensee shall perform the repair and restoration required hereunder prior to or within ten (10) days after the expiration of each Licensed use. In the event that repair and restoration is performed following the termination of this Agreement, the Licensee's Indemnity and Insurance obligations in paragraphs 13 and 14 shall continue until repair and restoration is completed as provided herein.
10. Breach and Cure. In the event that the Licensee breaches any of its obligations under this Agreement, Licensee shall have ten (10) days from the receipt of written notice from Licenser specifying the nature of such breach, to cure such breach. If more time is reasonably required for Licensee's performance, then Licensee shall commence performance within such ten (10) day period and, thereafter diligently proceed to completion. If Licensee fails to cure or to commence cure within such ten (10) day period then Licenser shall have the right to terminate this License immediately by serving Licensee with written notice of termination. Licenser shall have, for all defaults in the performance of Licensee's obligations under this License, all rights and remedies available under California law including, but not limited to, actions for damages and specific performance.

11. Alteration in Writing. This License supersedes any and all prior understandings, agreements, whether written or oral, between the parties with respect to the subject matter of this License. No alteration or variation of this License shall be valid unless made in writing and signed by Licensor and Licensee.

12. Notices. Any notice required hereunder shall be in writing and shall be addressed as follows:

To Licensor:

By U.S. Mail:

Director  
University of California, San Diego  
Real Estate Development, 0982  
9500 Gilman Drive  
La Jolla, CA 92093-0982

By Hand Delivery:

Director  
University of California, San Diego  
Real Estate Development  
10280 N. Torrey Pines Road, Suite 365  
La Jolla, CA 92037

With a copy to:

Director, Operations  
University of California., San Diego  
Transportation and Parking Services  
9500 Gilman Drive, 0040  
La Jolla, CA 92093-0040

To Licensee:

Executive Director  
Hillel of San Diego  
8976 Cliffridge Avenue  
La Jolla, CA 92037

Or to such other address as either party may indicate in written notice to the other. All notices and communications given under this License Agreement shall be deemed to have been duly given and received: (i) upon personal delivery, or (ii) as of the third business day after mailing by United States certified mail, return receipt requested, postage prepaid, addressed as set forth above, or (iii) the immediately succeeding business day after deposit (for next day delivery) with Federal Express or other similar overnight courier system, or (iv) 24 hours after facsimile transmittal with confirmation of receipt and followed by personal delivery, United States mail, or overnight delivery as specified in this Paragraph.

13. Indemnification. Licensee shall indemnify, defend and hold harmless Licensor, its officers, agents, and employees from and against any claims, damages, costs, expenses, or liabilities (collectively "Claims") arising out of or in any way connected with this License including, without limitation, Claims for loss or damage to any property, or for death or injury to any person or persons but only in proportion to and to the extent that such Claims arise from the negligent or intentional acts or omissions of Licensee its officers, agents, invitees or employees.

14. Insurance.

- 14.1 Licensee's Insurance. Licensee, at its sole cost and expense, shall insure its activities in connection with this License and obtain, keep in force, and maintain insurance as follows:

- A. Commercial Form General Liability Insurance (contractual liability included) with minimum limits as follows:

i.	Each Occurrence	\$1,000,000
ii.	Products/Completed Operations Aggregate	\$1,000,000
iii.	Personal and Advertising Injury	\$1,000,000
iv.	General Aggregate	\$2,000,000

If the above insurance is written on a claims-made form, it shall continue for three (3) years following termination of this License. The insurance shall have a retroactive date of placement prior to or coinciding with the commencement of the Term of this License.

- B. Business Automobile Liability Insurance for owned, scheduled, non-owned, or hired automobiles with a combined single limit of not less than One Million Dollars (\$1,000,000.00) per occurrence.
- C. Property Insurance, Fire and Extended Coverage Form in an amount sufficient to reimburse Licensee (or all of its equipment, trade fixtures, inventory, fixtures and other personal property located on or in the Premises.
- D. Workers' Compensation as required by California law
- E. Such other insurance in such amounts which from time to time may be reasonably required by the mutual consent of Licensor and Licensee against other insurable risks relating to performance.

The coverages required herein shall not limit the liability of Licensee.

The coverages referred to under A and B of this Section 14.1 shall include University as an additional insured. Such a provision shall apply only in proportion to and to the extent of the negligent acts or omissions of Licensee, its officers, agents, and employees. Licensee, upon the execution of this License, shall furnish University with certificates of insurance evidencing compliance with all requirements. Certificates shall provide for thirty (30) days (ten [10] days for non-payment of premium) advance written notice to University of any material modification, change or cancellation of the above insurance coverages.

14.2 Waiver of Subrogation. Licensee hereby waives any right of recovery against Licensor as a result of loss or damage to the property of Licensee when such loss or damage arises out of an Act of God or any of the property perils included in the classification of fire, extended perils ("all risk" as such term is used in the insurance industry) whether or not such peril has been insured, self-insured, or non-insured.

15. Right of Cancellation. Either Licensee or Licensor has the right to cancel this Agreement at any time, without liability, if services can no longer be provided due to extenuating or unforeseen circumstances. Notice of such cancellation shall be provided by either party to the other, in writing, giving at least 120 days' notice of the intention to cancel the Agreement.
16. Lien Free Condition. Licensee shall not cause or permit any liens to be placed against the Premises or against Licensor's other property as a result of Licensee's exercise of rights under this License. In the event of the filing of any such liens, Licensee shall promptly (but in no event more than 30 days) cause such liens to be removed.

IN WITNESS WHEREOF, the parties hereto have executed this License Agreement as of the Page 120 of 130 **ATTACHMENT 11**  
date first above written.

**LICENSEE:**

HILLEL OF SAN DIEGO,

By: 

Robert B. Lapidus  
Vice President of Facilities  
Board of Trustees

Date: 6/30/05**LICENSOR:**

THE REGENTS OF THE UNIVERSITY OF CALIFORNIA

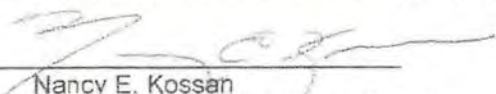
SEE ATTACHED SIGNATURE PAGE

By: \_\_\_\_\_

Nancy E. Kossan  
Director, UCSD Real Estate Development

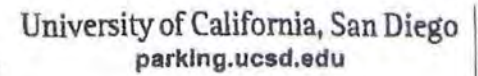
Date: \_\_\_\_\_







LICENSOR:  
THE REGENTS OF THE UNIVERSITY OF CALIFORNIA

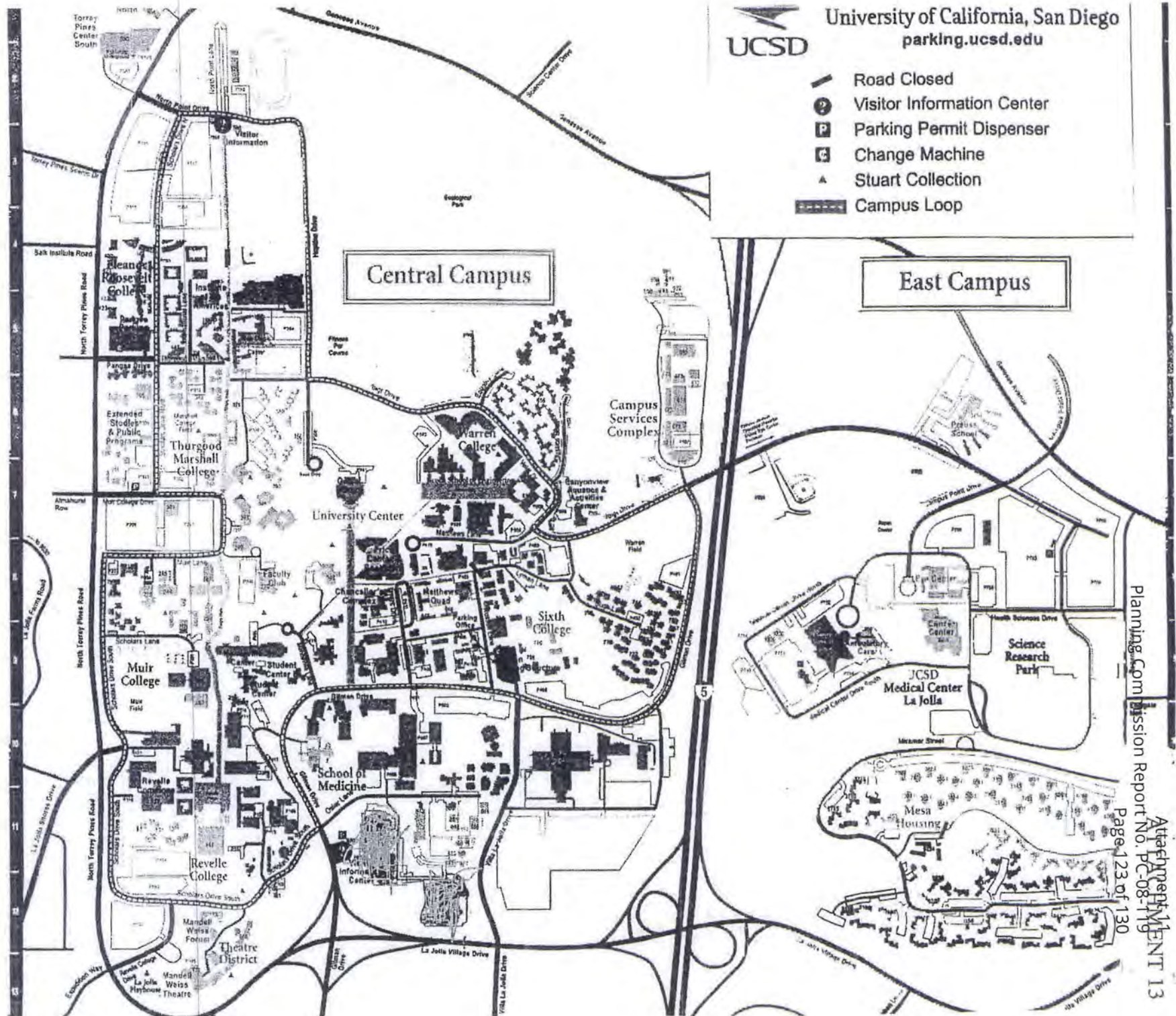
By:   
Nancy E. Kossan  
Director, UCSD Real Estate Development

Date: 7/6/05





-  Road Closed
-  Visitor Information Center
-  Parking Permit Dispenser
-  Change Machine
-  Stuart Collection
-  Campus Loop





# LA JOLLA SHORES PLANNED DISTRICT

Applicant: HILL OF SAN DIEGO Item: #1 9/16/08  
 \_\_\_\_\_ Date: September 16, 2008  
 \_\_\_\_\_

To: Planning Director  
 From: La Jolla Shores Planned District Advisory Board  
 Subject: Proposal Within La Jolla Shores Planned District

The La Jolla Shores Planned District Advisory Board has reviewed the applicant for:

HILL OF SAN DIEGO STUDENT COUNCIL -

COMMITTEE WOULD TO DENY THE PROJECT -  
PARKING, TRAFFIC, IMPACT ON SURROUNDING NEIGHBORHOOD  
NON CONFORMING USE AS A STUDENT COUNCIL, STREET VARIATION?  
NON-USE BY THE SFR COMMUNITY, AND MORE.

located \_\_\_\_\_

and recommends:

☐

A. Approval because of conformity to criteria and design standards adopted by the City Council

☐

B. Denial because of nonconformity to criteria and design standards adopted by the City Council. (Reasons for nonconformity on reverse side.)

☐

C. Approval subject to the following modifications to ensure conformity to criteria and design standards adopted by the City Council.

\_\_\_\_\_  
 \_\_\_\_\_


☒

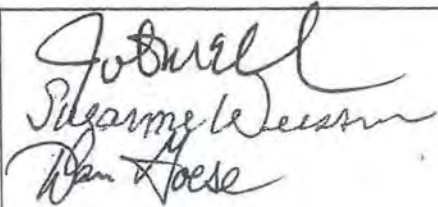
D. Denial because of lack of four affirmative votes.

## Board Signatures

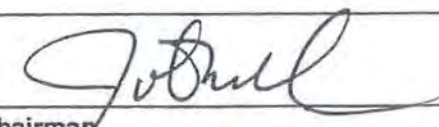
Approving Item: 2/0

Disapproving Item: 4





Absentees:

  
 Chairman





City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

## Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☒ Site Development Permit ☒ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☒ Other Street Vacation

**Project Title**

Hillel of San Diego Student Center - La Jolla

Project No. For City Use Only

149437

**Project Address:**

Intersection of La Jolla Scenic Dr & La Jolla Village Drive

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:



**ATTACHMENT 17**

**Project Chronology**  
 Hillel of San Diego Student Center – Project No. 149437

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
6/12/08	First Submittal	<b>Project Deemed Complete After Mandatory Initial Review</b>		
6/30/08	Initial Review Assessment Letter	Issued to Applicant	12 Business Days	
7/21/08	Second Submittal	Submitted by Applicant		14 Business Days
8/5/08	Second Review Assessment Letter	Issued to Applicant	11 Business Days	
8/15/08	Third Submittal	Submitted by Applicant		8 Business Days
8/25/08	Third Review	Issued to Applicant	6 Business Days	
9/25/08	Applicant Works to Resolve All Issues			22 Business Days
10/1/08	Applicant Supplies Required Documents			4 Business Days
10/1/08		Staff Completes Hearing Documents	0 Business Days	
10/16/08 *	Planning Commission Hearing	First Available Hearing		
<b>Total Staff Time</b>			29 Business Days	
<b>Total Applicant Time</b>				48 Business Days
<b>Total Project Running Time</b>		<b>From Deemed Complete to PC Hearing</b>	<b>4 Months, 4 Days</b>	

\* After final environmental document and first available Planning Commission Date





LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900  
<http://www.LaJollaCPA.org> Email: [Info@LaJollaCPA.org](mailto:Info@LaJollaCPA.org)

**Regular Meeting – 07 June 2012**

**Attention:** John Fisher, PM  
City of San Diego

**Project:** UCSD Hillel Center for Jewish Life  
8966 Cliffridge Ave.  
PN: 212995

**Motion:** Motion to confirm the recommendation and action of the La Jolla Shores Permit Review Committee: Findings cannot be made for the right-of-way vacation as proposed, as detailed in the La Jolla Shores Permit Review Committee Minutes of March 27, 2012:  
None of the four findings can be made for a right-of-way vacation.

1. Finding 1 cannot be met: There is a present and prospective public use for right-of-way. While a park has significant value, it would come at the cost of losing a current cul-de-sac in the right-of-way, which is being used for both vehicular traffic and parking.
2. Finding 2, public benefit, cannot be made: There is a loss of benefit in that parking will be lost and the street will be arrowed. Decreasing the width of the street is problematic and a safety issue.
3. Finding 3, not adversely affecting the land use plan, cannot be made: The vacation is for the purpose of developing a facility, which is at odds with the surrounding low-density residential use, and is contrary to the La Jolla Shores Planned District Ordinance.
4. Finding 4, public right-of-way use as originally acquired, cannot be met: Vehicular traffic will be affected and the cul-de-sac providing both a place for turning around and parking will be lost.

**Vote:** 10-2-1



LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900  
<http://www.LaJollaCPA.org> Email: [Info@LaJollaCPA.org](mailto:Info@LaJollaCPA.org)

**UCSD HILLEL – CONT.**


**Motion: Findings cannot be made: for the continued existing office use of the single-family dwelling: 8976 Cliffridge Avenue: Inconsistent with the La Jolla Shores Planned District Ordinance, (Phase 1, at the present time and also Phase 2, if not approved).**

**Vote: 9-3-1**

**Motion to deny: Findings cannot be made for a Site Development Permit because the proposed development is not consistent with regulations of the Land Development Code; specifically, proposed use is not allowed by the La Jolla Shores Planned District Ordinance.**

**Vote: 10-2-1**

**07 June 2012**

  
Submitted by: **Tony Crisafi, President**  
**La Jolla CPA**

**Date**

## LA JOLLA SHORES PLANNED DISTRICT

Applicant: Hillel of San Diego Item: 1. UCSD Hillel Center  
Date: November 20, 2012

To: Planning Director  
From: La Jolla Shores Planned District Advisory Board  
Subject: Proposal Within La Jolla Shores Planned District

The La Jolla Shores Planned District Advisory Board has reviewed the applicant for:

APPROVE PROJECT AS PRESENTED - RECOMMEND MAINTAIN 36'  
WIDTH OF LA JOLLA SEWELL DRIVE NORTH. THE  
PROJECT IS AN APPROPRIATE SCALE & TRANSITION FROM  
UNIVERSITY. PROJECT, WITH CONDITIONS OF THE EIR,  
WILL PROVIDE CONTROLS ON OPERATION  
OF THE E FACILITY. ADEQUATE TRANSITION  
located FROM UNIVERSITY TO RESIDENTIAL USE

and recommends:

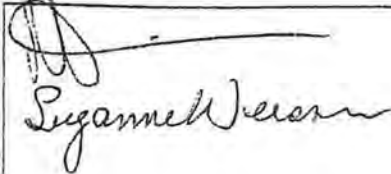
- ☒ A. Approval because of conformity to criteria and design standards adopted by the City Council
- ☐ B. Denial because of nonconformity to criteria and design standards adopted by the City Council. (Reasons for nonconformity on reverse side.)
- ☐ C. Approval subject to the following modifications to ensure conformity to criteria and design standards adopted by the City Council.

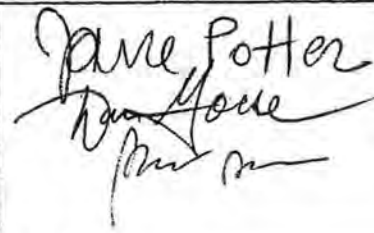
- ☒ D. Denial because of lack of four affirmative votes.

### Board Signatures

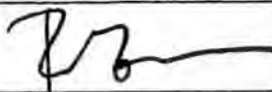
Approving Item: 2

Disapproving Item: 3

  
Suzanne Weisman

  
Jane Potter  
Dan Gould  
[Signature]

Absentees:

  
Chairman



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☒ Other Street Vacation

**Project Title**

**Project No. For City Use Only**

Hillel Student Center - La Jolla

212995

**Project Address:**

Intersection of La Jolla Village Drive and La Jolla Scenic Way

## Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached** ☐ Yes ☒ No

**Name of Individual (type or print):**

Robert Marshall, Trustee

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

8976 Cliffridge Avenue

**City/State/Zip:**

La Jolla, CA 92037

**Phone No:**

858-657-9400

**Fax No:**

858-657-9031

**Signature:**

*Robert Marshall, Trustee*

**Date:**

June 2, 2010

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature:**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature:**

**Date:**

**Name of Individual (type or print):**

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:**

**Fax No:**

**Signature:**

**Date:**

Project Title:  
Hillel Student Center - La Jolla

Project No. (Page 2 of 2)

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☒ Corporation ☐ Limited Liability -or- ☐ General) What State? \_\_\_\_\_ Corporate Identification No. C1808924  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☒ No

Corporate/Partnership Name (type or print):

Hillel of San Diego

☒ Owner ☐ Tenant/Lessee

Street Address:

8976 Cliffridge Ave.

City/State/Zip:

La Jolla, CA 92037

Phone No:

(858) 550-1792

Fax No:

(858) 550-1794

Name of Corporate Officer/Partner (type or print):

Robert B. Lapidus

Title (type or print):

VP Facilities

Signature:

Date:

June 2, 2010

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:

Fax No:

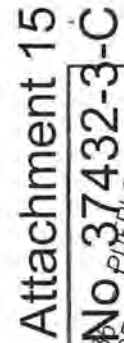
Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :

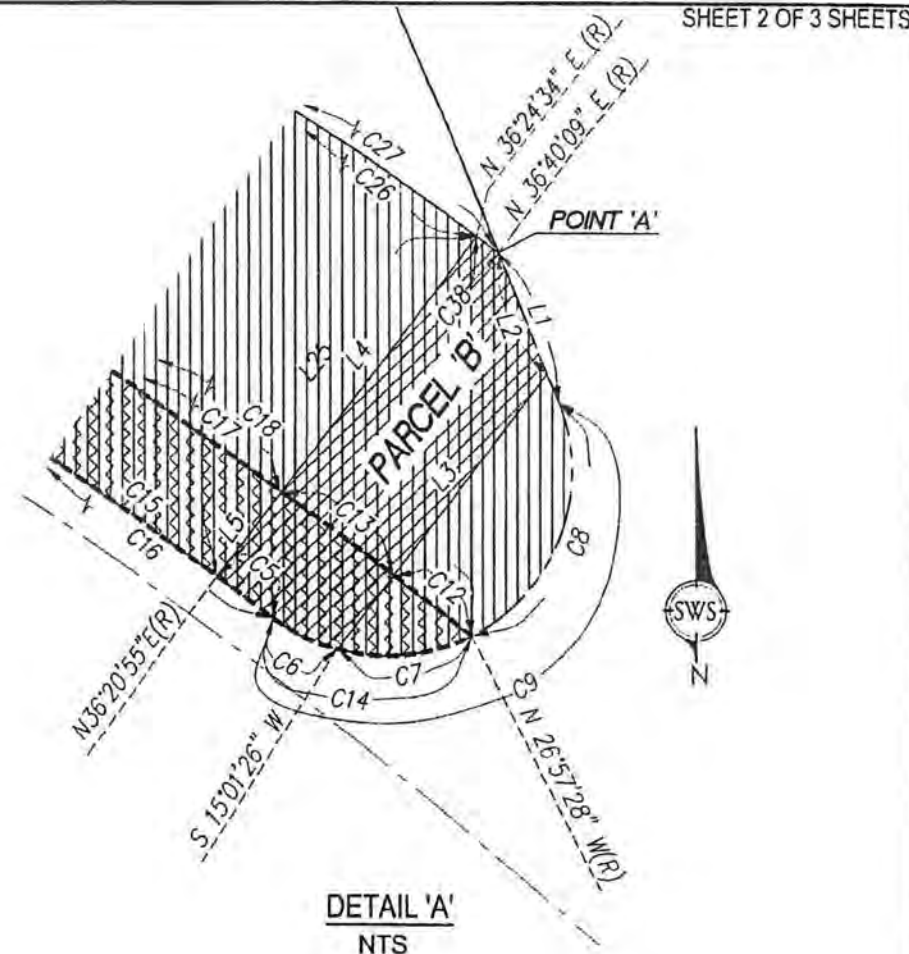
Date:

No. 37432-3-C



CURVE DATA TABLE			
NO.	Δ DELTA	RADIUS	LENGTH
C1	02°53'02"	634.64'	31.94'
C2	04°42'02"	42.00'	3.45'
C3	01°41'47"	636.64'	18.85'
C4	00°15'35"	651.00'	2.95'
C5	00°42'37"	605.00'	7.50'
C6	22°02'06"	20.00'	7.69'
C7	42°09'32"	20.00'	14.72'
C8	84°49'46"	20.00'	29.61'
C9	149°01'24"	20.00'	52.02'
C10	02°45'54"	636.64'	30.72'
C11	17°35'18"	56.00'	17.19'
C12	00°58'20"	616.50'	10.49'
C13	01°23'25"	616.50'	14.96'
C14	64°11'38"	20.00'	22.41'
C15	08°56'49"	605.00'	94.47'
C16	09°39'26"	605.00'	101.97'
C17	08°57'47"	616.50'	96.44'
C18	11°19'42"	616.50'	121.89'
C19	46°13'09"	81.00'	65.34'
C20	16°56'04"	81.00'	23.94'
C21	26°43'35"	81.00'	37.78'
C22	34°01'14"	81.00'	48.10'
C23	123°54'02"	81.00'	175.16'
C24	106°18'44"	48.00'	89.06'
C25	33°35'49"	600.00'	351.83'
C26	09°00'28"	651.00'	102.35'
C27	09°16'03"	651.00'	105.30'
C28	84°16'56"	20.00'	29.42'
C29	84°23'14"	20.00'	29.46'
C30	14°00'07"	634.64'	155.09'
C31	16°53'09"	634.64'	187.04'
C32	15°53'23"	622.64'	172.68'
C33	04°44'36"	636.64'	52.71'
C34	09°12'17"	636.64'	102.28'
C35	93°19'50"	20.00'	32.58'
C36	106°17'34"	20.00'	37.10'
C37	73°41'16"	25.00'	32.15'
C38	00°15'35"	651.00'	2.95'

LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	N21°57'52"W	17.17'
L2	N21°57'52"W	13.86'
L3	N36°59'17"E	37.39'
L4	N37°12'32"E	34.47'
L5	N37°12'32"E	11.54'
L6	N62°35'54"W	417.30'
L7	N62°35'54"W	113.81'
L8	N62°35'54"W	159.42'
L9	S62°35'54"E	230.92'
L10	S89°27'57"E	48.73'
L11	S89°27'57"E	42.82'
L12	S89°27'57"E	5.91'
L13	N62°35'54"W	74.03'
L14	N57°43'15"W	21.42'
L15	N32°16'45"E	10.00'
L16	N57°43'15"W	83.50'
L17	N58°31'31"W	72.74'
L18	S58°40'55"W	13.12'
L19	N62°35'54"W	10.84'
L20	N62°35'54"W	47.96'
L21	N62°35'54"W	58.80'
L22	N11°05'22"E	24.35'
L23	N11°05'22"E	24.57'
L24	N11°05'22"E	48.92'
L25	N37°12'32"E	46.00'
L26	N62°35'54"W	24.94'



PREPARED BY:

*Ron V. Banuelos*  
RON V. BANUELOS, LS 7940, EXP 12-31-13

**SWS ENGINEERING, INC.**

CIVIL ENGINEERING \* LAND PLANNING \* SURVEYING  
261 Autumn Drive, Suite 115 | 31045 Temecula Parkway, Suite 201  
San Marcos, CA 92069 | Temecula, CA 92592  
P: 760-744-0011 F: 760-744-0046 | P: 951-296-3407 F: 951-547-9451

DATE: Jun 03, 13 10:47am By: Ron V. Banuelos  
FILE: C:\Projects\37432-3-C\37432-3-C.dwg



**STREET VACATION AND  
EASEMENT RESERVATION  
HILLEL OF SAN DIEGO - UCSD**

CITY OF SAN DIEGO, CALIFORNIA  
SHEET 2 OF 3 SHEETS

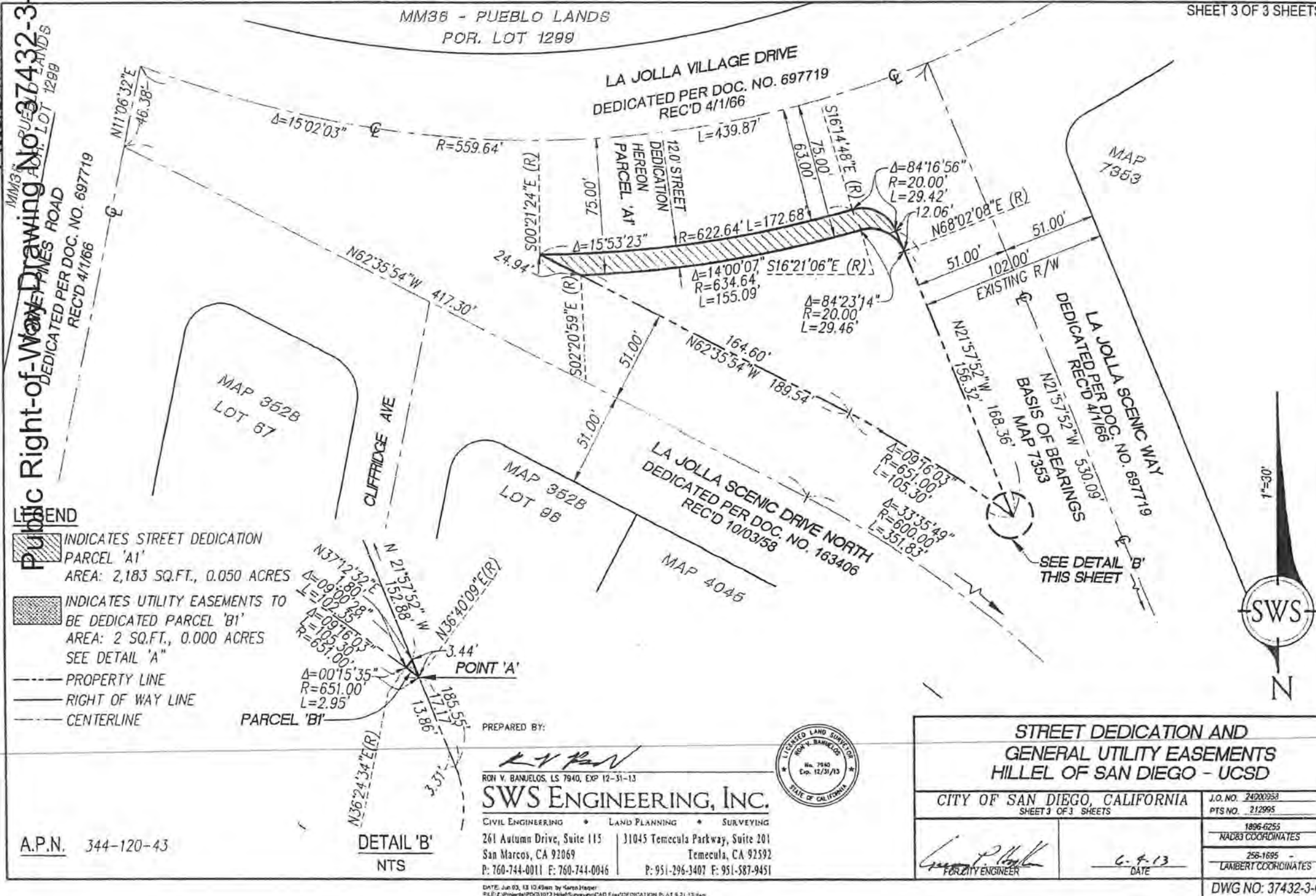
*Gregory P. Hillel*  
FOR CITY ENGINEER

6-4-13  
DATE

I.D. NO. 24000958  
PTS. NO. 212993  
1896-6255  
NAD83 COORDINATES  
256-1695  
LAMBERT COORDINATES  
DWG NO: 37432-2-C

Attachment 15

Public Right-of-Way Drawing No. 37432-3-C





- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

**Existing Site Plan Notes**

- Existing paving to be removed.
- Refer to landscape drawings for existing trees to be saved, etc.
- Stippled finished area is public right of way to be vacated.
- Existing curb to be removed.
- Existing bus stop location.
- Existing pedestrian ramp to remain.
- Existing driveway to be relocated.
- Equipment reservation for storm drain.
- Existing easement line.
- Existing stop sign to be removed.
- Existing median to remain.
- Existing vacant site to be developed in Phase 2.
- Existing single family house currently occupied by Hillel of San Diego as office use. To be temporarily developed as part of Phase 1. Refer to Phase plans.
- Existing fire hydrant.

**General Notes**

- There are no sidewalks surrounding the existing property along La Jolla Scenic Way and La Jolla Scenic Drive North. There is one existing sidewalk along La Jolla Village Drive.
- Refer to Civil drawings for more information regarding all easements.
- Refer to Civil drawings for existing fire hydrant locations.

**Legend**

Property line \_\_\_\_\_

Street/R.O.W. centerline \_\_\_\_\_

R.O.W. vacation boundary \_\_\_\_\_

Existing property (Phase 2) 

City of San Diego, right of way to be vacated 

Existing equipment to remain. Refer to notes for specific conditions. 



**M.W. STEELE GROUP, INC.**  
1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM  
ARCHITECTURE | PLANNING

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 2013  
Original Date: June 8, 2010  
Drawn: KW  
Checked: KW

Revision 1:	06/26/10 Construction Check
Revision 2:	06/24/10 M/S Submittal
Revision 3:	10/18/12 Revisions Cycle 30
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

**Hillel Center for Jewish Life**  
San Diego, California

Phase 1:  
8876 Chiffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Existing Site Plan  
1" = 20'-0"

A1.00

1 Existing Site Plan  
scale: 1" = 20'-0"

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Phasing Plan Notes

Legend

Approximate Phase 1 Boundary

Approximate Phase 2 Boundary



1 Site Phasing Plan  
scale: 1" = 20'-0"

Professional Seal

M.W. Steele

M.W. STEELE GROUP, INC.

1805 NEWTON AVENUE | SUITE A

SAN DIEGO | CA | 92113

TELEPHONE 619 230 0325

FACSIMILE 619 230 0335

WWW.MWSTEELEGROUP.COM

ARCHITECTURE | PLANNING

Hillel Center for Jewish Life

San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Project Number: 0910

Original Date: June 8, 2010

Drawn: KW

Checked: KW

Revision 1: 06/28/10 Completed Review Check

Revision 2: 06/28/10 MIB Submittal

Revision 3: 10/18/12 Re-Review Cycle 50

Revision 4:

Revision 5:

Revision 6:

Revision 7:

Revision 8:

Revision 9:

Revision 10:

Revision 11:

Revision 12:

NOT FOR CONSTRUCTION

Site Phasing Plan

1" = 20'-0"

A1.01

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

General Notes				Legend
1. Refer to the Civil drawings for existing/proposed utilities, BMP requirements, and site work.	2. Condition of permit: any sign design must comply with sign design regulations in LDC Chapter 14, Article 2, Division 12. (LDC 14.2.0410(c))	3. Provide building address numbers, visible and legible from the street or road fronting the property per THPS policy (UTC 901.4.4)	4. For plan dimensions refer to Architectural building plan sheets	Property line
5. Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structure. (UTC 1001.4)	6. For all existing and proposed R.O.W. widths, property line definitions, and curb to property line distances refer to Civil drawings (existing and proposed boundary exhibits provided by civil engineer)	7. For all proposed sidewalk and easement widths refer to Civil drawings (conceptual grading plan provided by civil engineer)	8. City of San Diego is entity on proposed street abutting and street signage locations, along La Jolla Scenic Drive North and Cliffridge Avenue, prior to the issuance of building permit.	Easement line
	9. New building (Phase 2) will be fire sprinklered in accordance with requirements of the 2007 CBC & MPA 13.	10. Refer to Civil drawings for proposed fire hydrant locations.	11. Provide building address numbers, visible and legible from the street or road fronting the property per THPS Policy P-20-6 (UTC 901.4.4)	Limit of work line
		12. Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structure. (UTC 1001.4)	13. Provide fire access roadway/signs or red areas in accordance with THPS Policy A-20-1	
			14. No objects higher than 36 inches may be proposed in the visibility areas in any portion of the visibility areas line within the public right of way, no vegetation in these areas will exceed 24 inches in height.	

- Proposed Site Plan Notes
- Existing pedestrian ramp to remain.
  - Existing stop sign to be removed.
  - Existing bus stop location.
  - New utility easement, refer to Civil drawings for more information.
  - Easement reservation for storm drain, refer to Civil drawings for more information.
  - Adjusted property line.
  - New property line.
  - New site wall. Refer to Civil drawings for top and bottom of wall elevations.
  - New surface parking lot for request off street parking.
  - New 24'-0" driveway and curb cut.
  - New residential driveway and curb cut for Phase 1.
  - Proposed transformer location.
  - Proposed backflow preventer location.
  - New pedestrian ramp.
  - New bicycle and pedestrian path.
  - 1 seat bench, trash bin, and drinking fountain location.
  - Bike path signage in accordance with sign criteria established by the La Jolla Shores Planned District Ordinance.
  - Proposed "W-1" (left) sign posted before curve. Refer to general notes below.
  - Proposed double-yellow street striping outlined in street. Refer to general notes below.
  - Trash and recycling enclosure.
  - New sidewalk and/or landscaped pathway.
  - Proposed "dark blue" amenity.
  - 4'-0" industry setback line per San Diego Municipal Code.
  - Visibility Area Triangles per SDMC Sec. 113.0275, diagram 113-028R for street intersections and driveway. See General Note 14.



M.W. STEELE  
GROUP, INC.  
1805 NEWTON AVENUE | SUITE A  
SAN DIEGO, CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
www.mwsteele.com  
ARCHITECTURE | PLANNING

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number:	0915
Original Date:	June 8, 2010
Drawn:	KW
Checked:	KW
Revision 1:	06.08.10 Completion Check
Revision 2:	06.24.10 MIT Submittal
Revision 3:	10.18.12 Revisions Cycle 90
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

Hillel Center for  
Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue,  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION

Proposed Site Plan  
1" = 20'-0"

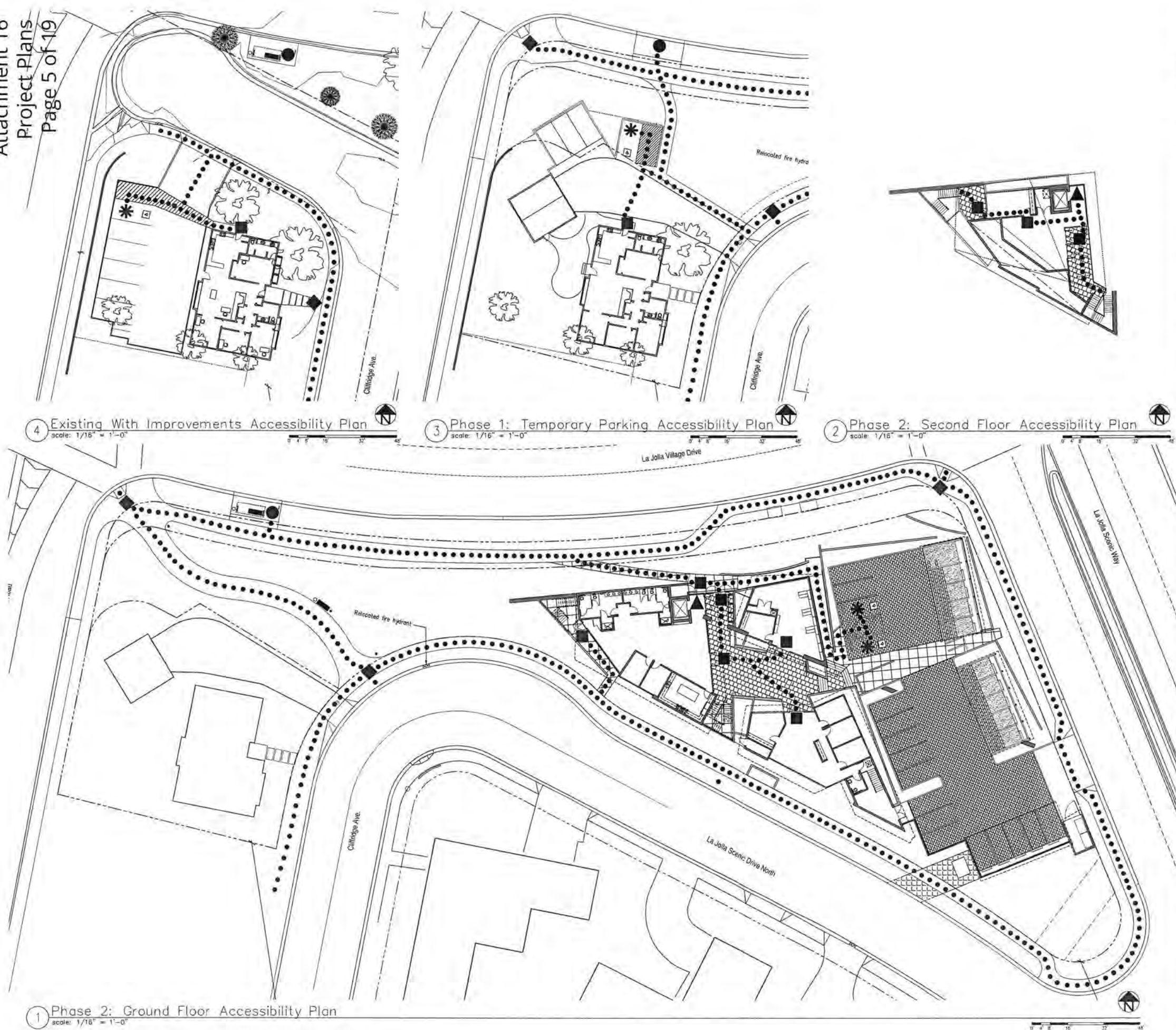
A1.02

Proposed Site Plan  
Scale: 1" = 20'-0"

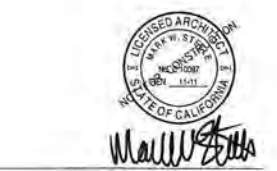
**Accessibility Legend**

- Bus stop: ●
- Accessible path of travel: ..... (dashed line)
- Accessible entry: ■
- Devitr: ▲
- Accessible parking space: \*
- Accessible curb ramp: ◆
- Accessible parking striping: [hatched box]

NOTE: Site development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. (Sec. 112.01.1). When more than one route of travel is provided, all routes must be accessible (Sec. 111.03.1.2).



**M.W. STEELE GROUP, INC.**  
1805 NEWTON AVENUE, SUITE A  
SAN DIEGO, CA 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM



Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number	0515
Original Date	June 8, 2010
Drawn	KW
Checked	KW
Revision 1	05/08/10 Completeness Check
Revision 2	05/24/10 AMP Submitted
Revision 3	10/16/10 Revisions Cycle 50
Revision 4	
Revision 5	
Revision 6	
Revision 7	
Revision 8	
Revision 9	
Revision 10	
Revision 11	
Revision 12	

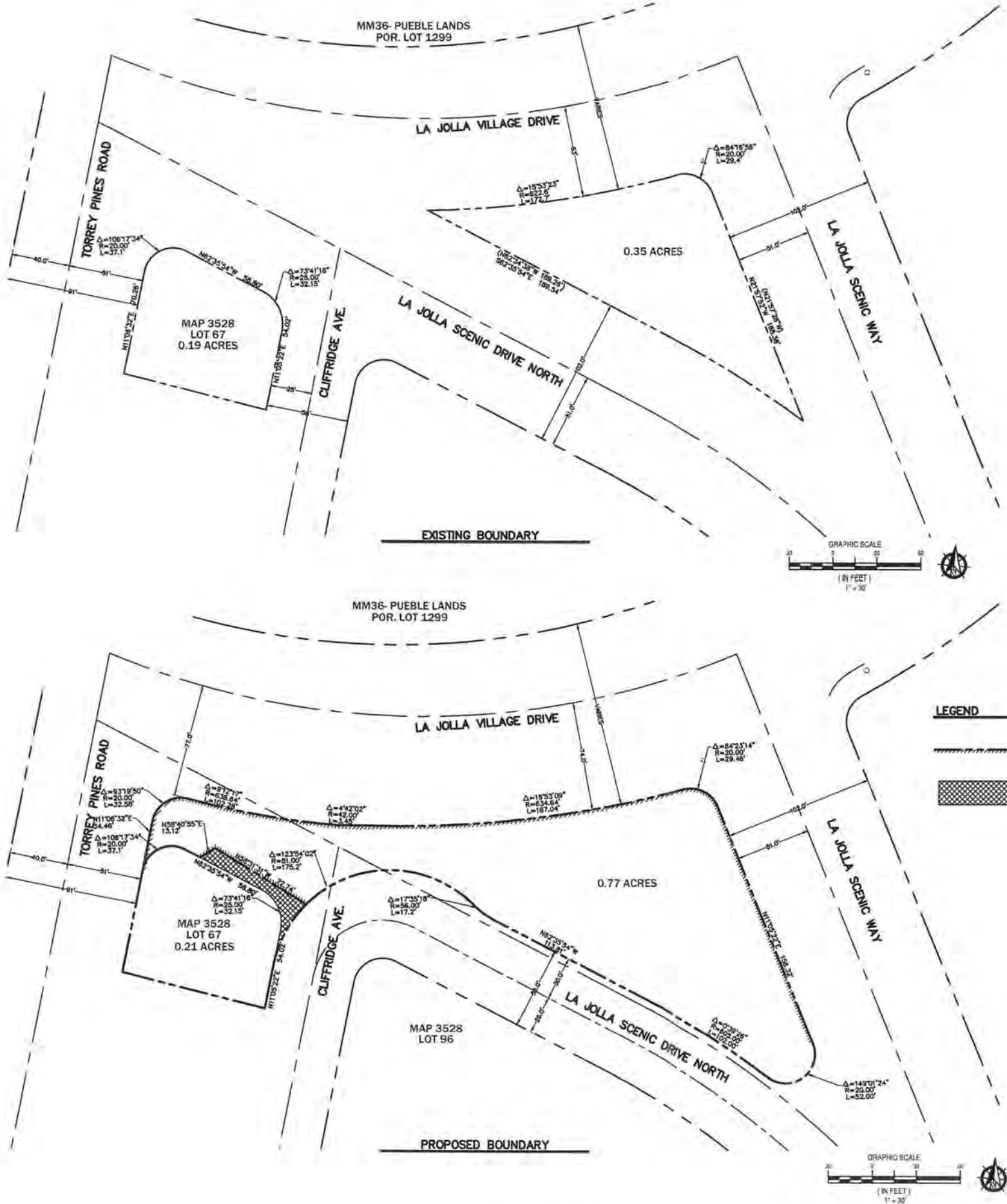
**Hillel Center for Jewish Life**  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Accessibility Plans  
1/16" = 1'-0"

**A1.03**



www.ATLASCivilDesign.com  
2191 El Camino Real, Suite 208K  
Oceanside, CA 92054  
Tel: 888-364-1973



**M.W. STEELE GROUP, INC.**  
1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
www.mwsteele.com  
ARCHITECTURE | PLANNING

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 0915  
Original Date: June 6, 2010  
Drawn:  
Checked:

Revision 1:	10/06/10	Completions Check
Revision 2:	06/24/10	MEL Submittal
Revision 3:	10/16/12	Revisions Cycle 50
Revision 4:		
Revision 5:		
Revision 6:		
Revision 7:		
Revision 8:		
Revision 9:		
Revision 10:		
Revision 11:		
Revision 12:		

Hillel  
Center for Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

EXISTING & PROPOSED  
BOUNDARY  
**C1.0**

NOT FOR CONSTRUCTION

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

**PROJECT INFORMATION:**

OWNER : HILLEL OF SAN DIEGO  
8976 CLIFFRIDGE AVENUE  
LA JOLLA, CA 92037  
858-550-1792

LOT AREA : 1.43X ACRE (470,416 SF)

DISTURBED AREA: 1.43X ACRE

SITE ADDRESS : PHASE 1:  
8976 CLIFFRIDGE AVENUE  
LA JOLLA, CALIFORNIA 92037

PHASE 2:  
INTERSECTION OF LA JOLLA SCENIC WAY,  
LA JOLLA VILLAGE DRIVE  
AND LA JOLLA SCENIC DRIVE  
LA JOLLA, CALIFORNIA 92037

APH NO. : 344-131-01, 344-120-28

FLOOD ZONE : X (OTHER AREAS)

MAP # : 08073C0734H



www.ATLASCivilDesign.com  
2191 El Camino Real, Suite 208K  
Oceanside, CA 92054  
Tel: 888-364-1973



**M.W. STEELE GROUP, INC.**

1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
www.mwsteele.com  
ARCHITECTURE | PLANNING

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 0915  
Original Date: June 8, 2010  
Checked:

Hillel  
Center for Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

PRELIMINARY GRADING,  
DRAINAGE AND  
UTILITY PLAN

C2.0



**LEGEND**

---	EXISTING PROPERTY LINE	---	NEW DOCA WITH PIV, FDC
---	PROPOSED NEW PROPERTY LINE	---	PROPOSED WATER LINE
---	EXISTING CENTERLINE	---	PROPOSED SEWER LINE
---	EXISTING SITE FENCE	---	PROPOSED FIRE HYDRANT
---	EXISTING CONTOURS	---	PROPOSED WATER METER
---	EXISTING SPOT ELEVATION	---	PROPOSED BACKFLOW ASSEMBLY
---	EXISTING BUILDING		
---	EXISTING WALL		
---	PROPOSED STORM DRAIN INLET		
---	PROPOSED AREA DRAIN		
---	PROPERTY LINE		
---	LIMIT OF WORK		
---	EXISTING BLOCK WALL		
---	EXISTING CONTOURS		
---	EX. WATER LINE		
---	EX. SEWER LINE		
---	EX. STORM DRAIN		
---	EX. FIRE HYDRANT		
---	EXISTING BUILDING		
---	EXISTING TREE		
---	EXISTING WATER VALVE		

**DEFINED TERMS:**

AB	AGGREGATE BASE	INTS	NOT TO SCALE
AC	ASPHALT CONCRETE	POC	PORTLAND CEMENT CONCRETE
BC	BACK OF CURB	PL	PROPERTY LINE
CL	CURB FACE	R	RADIUS
CL	CENTERLINE	RL	RISE LINE
E	EAST	R/W	RIGHT-OF-WAY
ELEV	ELEVATION	S	SEWER OR SOUTH
EP	EDGE OF PAVEMENT	STL	STANDARD
EX	EXISTING	TC	TOP OF CURB
FG	FINISHED GRADE	TO	TO
FL	FINISHED FLOOR	TYP	TYPICAL
FS	FINISHED SURFACE	W	WEST
GB	GRADE BREAK	WLY	WESTERLY
H PT	HIGH POINT	XXLXX	EXISTING ELEVATION
IN	INVERT		
MH	MANHOLE		
N	NORTH		

**BENCHMARK:**

CITY OF SAN DIEGO BENCHMARK ON S.E. CURB AT LA JOLLA SCENIC & LA JOLLA VILLAGE DR.  
ELEV.=388.554

**EARTHWORK:**

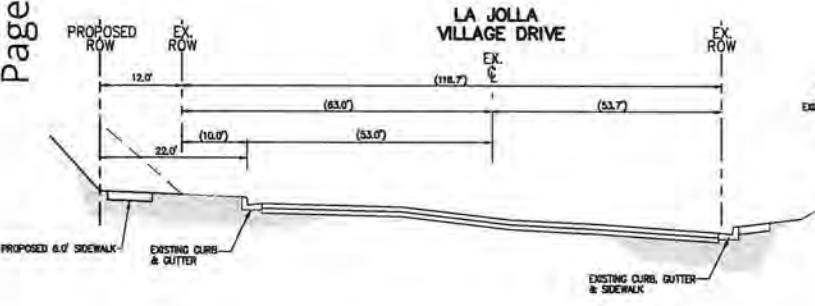
FILL: 225 C.Y.  
CUT: 870 ± C.Y.  
EXPORT: 645 ± C.Y.

**UTILITY NOTES**

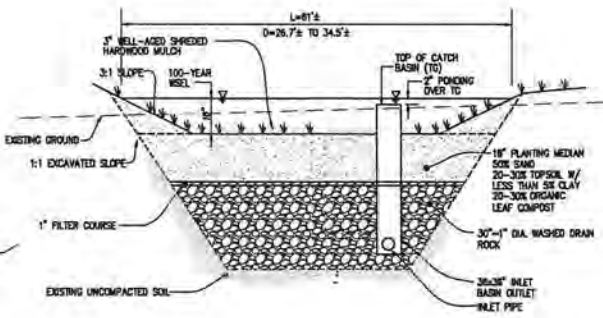
THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES NOT CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**GRADING, PAVING & UTILITY NOTES**

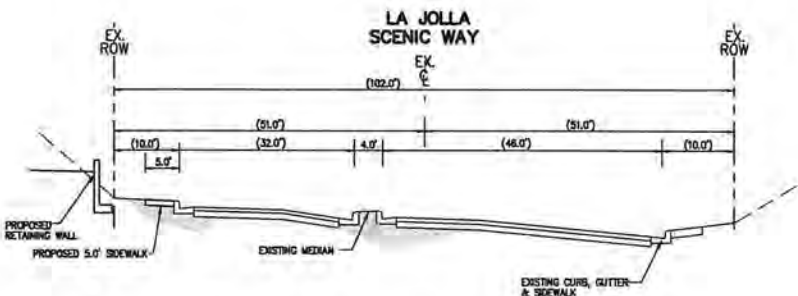
- PROPOSED SIDEWALK/POC
- PROPOSED BIKE/STREETWAY AREA
- PROPOSED AC PAVING
- PROPOSED LANDSCAPE
- PROPOSED PERVIOUS PAVERS
- PROPOSED 6" CURB
- PROPOSED CURB AND GUTTER
- PROPOSED RETAINING WALL
- PROPOSED PUBLIC SIDEWALK
- PROPOSED PUBLIC PARKWAY
- PROPOSED RAMP
- PROPOSED SITE FEATURE PER ARCH. PLANS
- PROPOSED CURB RAMP PER CITY STANDARDS
- PROPOSED TRASH ENCLOSURE
- PROPOSED ACCESSIBLE RAMP WITH HANDRAILS
- PROPOSED STRIPING
- EXISTING STREET SIGNS TO BE RELOCATED
- PROPOSED 4" PVC RISER WITH ATRIUM GRATE
- EXISTING WALL TO REMAIN
- EXISTING CURB, GUTTER AND PAVEMENT TO BE REMOVED
- EXISTING UTILITY BOXES TO REMAIN
- PROPOSED NEW DRIVEWAY PER CITY STANDARD
- PROPOSED PLANTERS
- PROPOSED WHEEL STOP
- CLEAR AREA BASED ON VISION TRIANGLE
- PROPOSED STORM DRAIN CLEANOUT
- PROPOSED NEW TRANSFORMER
- PROPOSED NEW 16" WATERLINE ROUTE
- RELOCATED FIRE HYDRANT
- NOT USED
- PROPOSED 8" SUBURBAN CLEANOUT
- PROPOSED MODIFIED A-4 STORM DRAIN CLEANOUT
- PROPOSED 12" STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED A-4 STORM DRAIN CLEANOUT
- PROPOSED 4" STORM DRAIN
- NOT USED
- PROPOSED FDC/PIV PER CITY STANDARD
- PROPOSED FIRE HYDRANT PER CITY STANDARD
- CONNECT TO EXISTING WATER LINE
- PROPOSED DOCA PER CITY STANDARD
- PROPOSED UTILITY VAULTS
- PROPOSED 8" FIRE SERVICE
- PROPOSED 8" WATER LINE
- PROPOSED POINT OF CONNECTION - SEWER
- EXISTING FIRE HYDRANT TO BE RELOCATED
- PROPOSED 6" SEWER SERVICE
- CONNECT TO EXISTING 8" PUBLIC SEWER
- PROPOSED STORM WATER DETENTION FACILITY
- PROPOSED THURST BLOCK
- CONNECT TO EXISTING STORM DRAIN
- PROPOSED 24"x24" CATCH BASIN
- PROPOSED 12"x24" CATCH BASIN
- EXISTING POWER POLE TO REMAIN
- REMOVE EXISTING 8" PUBLIC WATERLINE
- REMOVE EXISTING 12" PUBLIC WATERLINE
- PROPOSED 2" WATER METER WITH BACKFLOW
- EXISTING STREET LIGHT TO BE RELOCATED
- EXISTING STREET LIGHT TO BE REMAIN



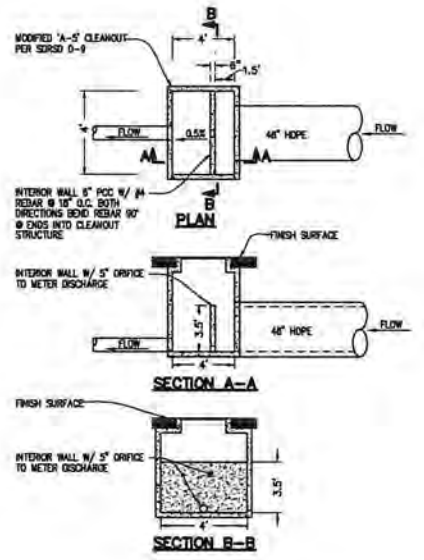
1 SECTION 1-1 (LA JOLLA VILLAGE DRIVE)  
C2.0 NOT TO SCALE



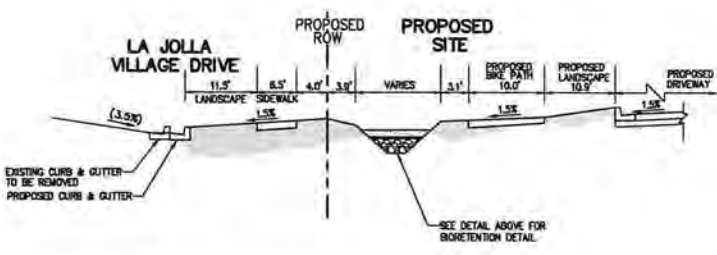
5 BIORETENTION FACILITY  
C2.0 NOT TO SCALE



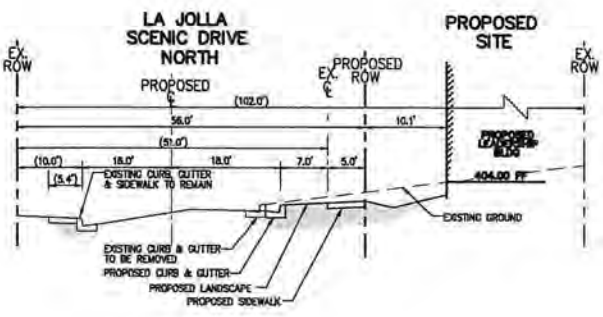
2 SECTION 2-2 (LA JOLLA SCENIC WAY)  
C2.0 NOT TO SCALE



6 MODIFIED TYPE 'A-4' CLEANOUT  
C2.0 NOT TO SCALE



3 SECTION 3-3  
C2.0 NOT TO SCALE



4 SECTION 4-4 (LA JOLLA SCENIC DR. NORTH)  
C2.0 NOT TO SCALE

**ATLAS**  
Civil Design

www.ATLASCivilDesign.com  
2191 El Camino Real, Suite 208K  
Oceanside, CA 92054  
Tel: 888-364-1973

REGISTERED PROFESSIONAL  
ENGINEER & ARCHITECT  
STATE OF CALIFORNIA  
CIVIL

**M.W. STEELE GROUP, INC.**  
1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
www.mwsteele.com  
ARCHITECTURE | PLANNING

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 0915  
Original Date: June 8, 2010  
Drawn:  
Checked:

Hillel  
Center for Jewish Life  
San Diego, California

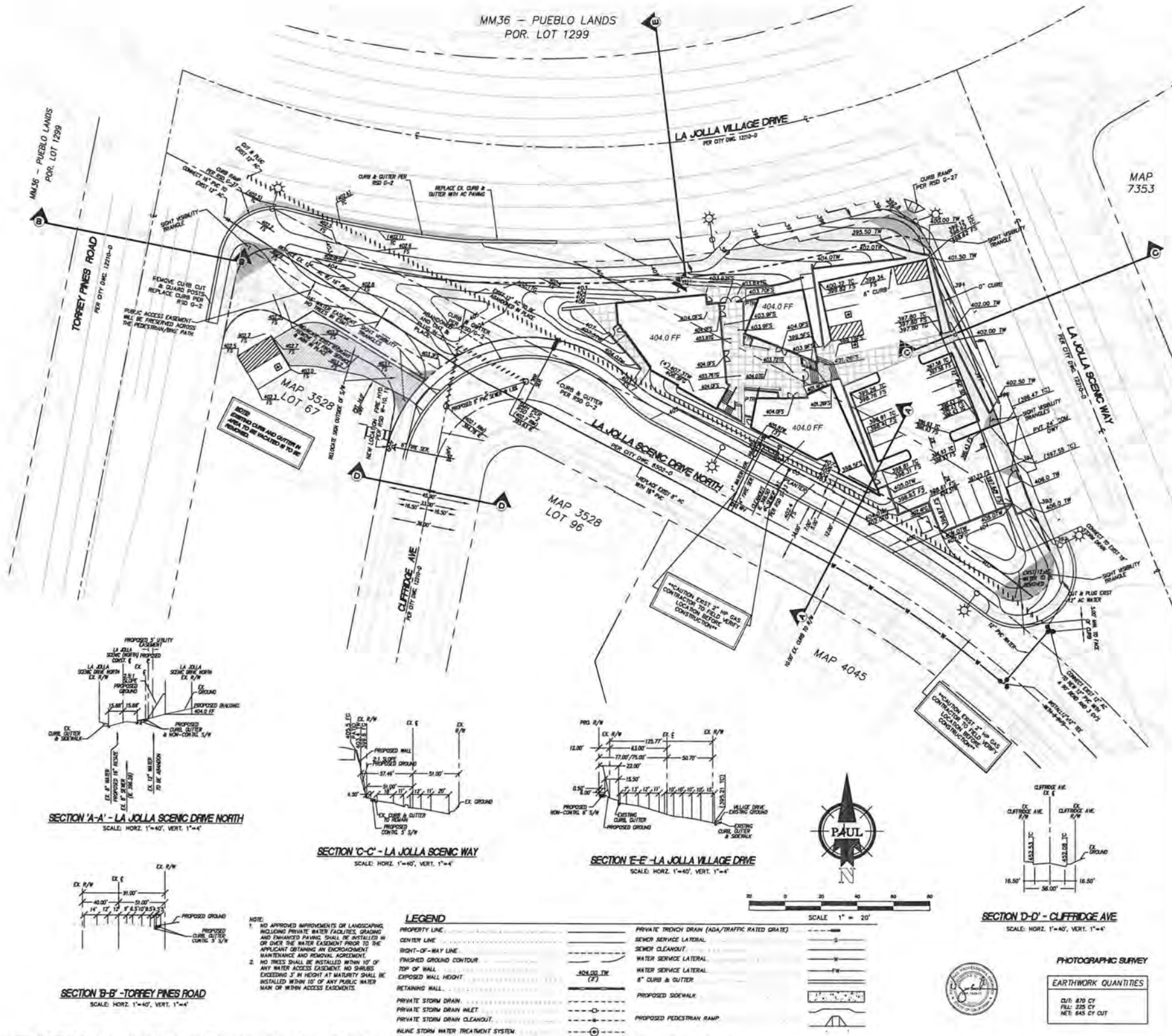
Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

PRELIMINARY  
CROSS-SECTIONS  
C3.0

NOT FOR CONSTRUCTION

Revision 1: 06/08/10 Completion Check  
Revision 2: 06/24/10 MJP Submitted  
Revision 3: 10/18/12 Revision Cycle 50  
Revision 4:  
Revision 5:  
Revision 6:  
Revision 7:  
Revision 8:  
Revision 9:  
Revision 10:  
Revision 11:  
Revision 12:



Hillel of San Diego

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Use Permit
- Sustainable Expedite Program

THE  
**PAUL**  
DESIGN GROUP  
Engineering & Planning Solutions  
218 Camino del Rio South, Suite 200, San Diego, CA 92108  
(619) 594-1000  
www.thepaulgroup.com

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8975 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

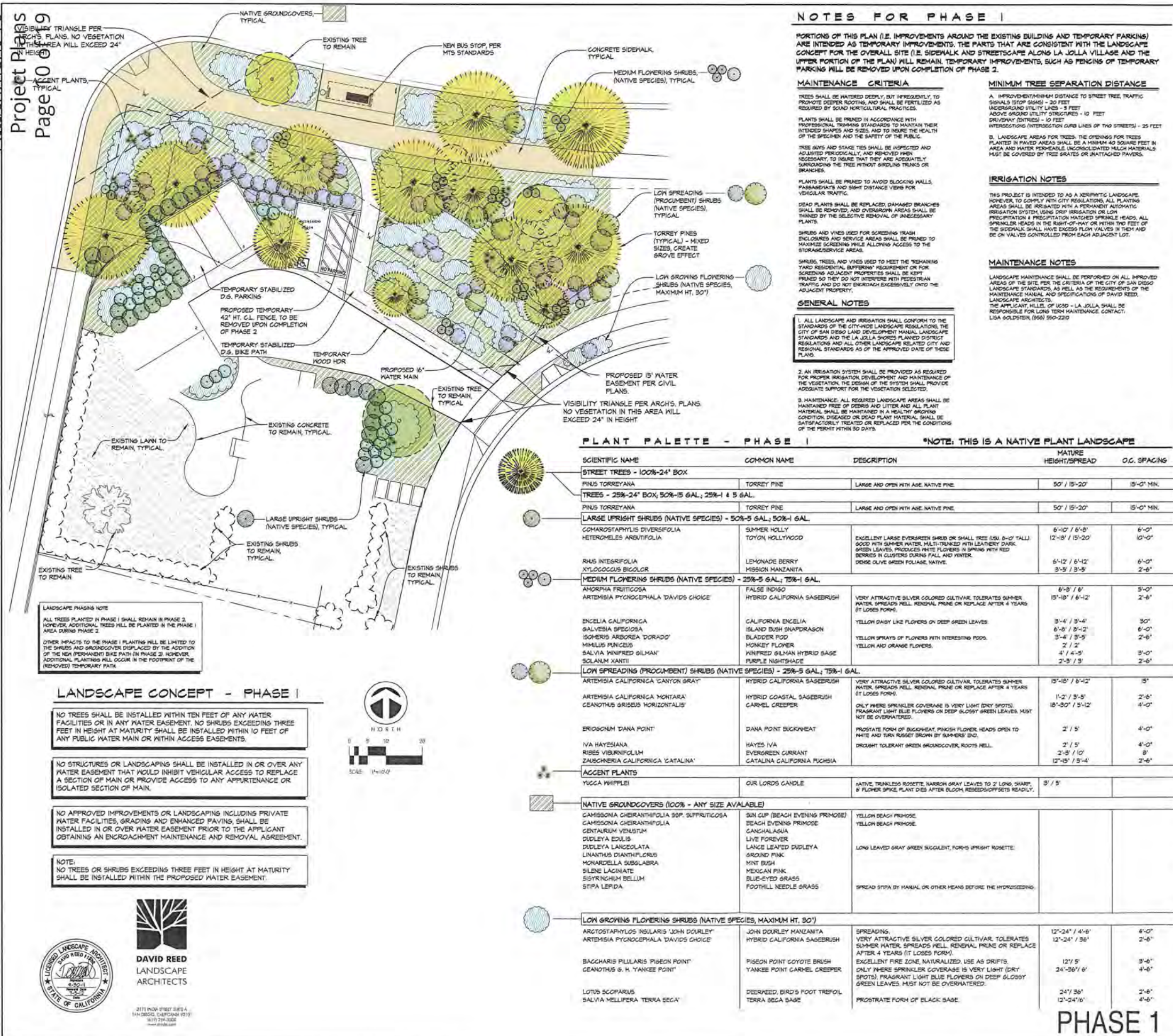
Project Number: 0735  
Original Date: June 8, 2010  
Drawn: [blank]  
Checked: [blank]

Revision 1: 06.08.10, Compliance Check  
Revision 2: 08.24.10, SBT Submitted  
Revision 3: [blank]  
Revision 4: [blank]  
Revision 5: [blank]  
Revision 6: [blank]  
Revision 7: [blank]  
Revision 8: [blank]  
Revision 9: [blank]  
Revision 10: [blank]  
Revision 11: [blank]  
Revision 12: [blank]

NOT FOR CONSTRUCTION  
CONCEPTUAL  
GRADING PLAN

C4.0

Sheet No. 9 of 19



- Hillel of San Diego
- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program



NO TREES SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER FACILITIES OR IN ANY WATER EASEMENT. NO SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY PUBLIC WATER MAIN OR WITHIN ACCESS EASEMENTS.

NO STRUCTURES OR LANDSCAPING SHALL BE INSTALLED IN OR OVER ANY WATER EASEMENT THAT WOULD INHIBIT VEHICULAR ACCESS TO REPLACE A SECTION OF MAIN OR PROVIDE ACCESS TO ANY APPURTENANCE OR ISOLATED SECTION OF MAIN.

NO APPROVED IMPROVEMENTS OR LANDSCAPING INCLUDING PRIVATE WATER FACILITIES, GRADING AND ENHANCED PAVING, SHALL BE INSTALLED IN OR OVER WATER EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.

NOTE:  
NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN THE PROPOSED WATER EASEMENT.

#### LANDSCAPE CALCULATIONS

##### STREET YARD

TOTAL AREA = 25,644 SQ. FT.  
PLANTING AREA REQUIRED = 25,668 X 25% = 6,411 SQ. FT.  
PLANTING AREA PROVIDED = 6,431 SQ. FT.  
EXCEEDS REQUIREMENT BY 20 SQ. FT.

PLANT POINTS REQUIRED = 25,668 X .05 = 1,283 POINTS  
PLANT POINTS PROVIDED = 1,350 POINTS

1 EXISTING 6" GAL. TORREY PINE	250 POINTS
1 EXISTING 6" GAL. TORREY PINE	200 POINTS
(5) 5 GAL. TREES * 5 PTS =	40 POINTS
(7) 15 GAL. TREES * 10 PTS =	70 POINTS
(17) 24" BOX TREES * 20 PTS =	340 POINTS
(4) 36" BOX TREES * 50 PTS =	200 POINTS
	1,350 POINTS

EXCEEDS REQUIREMENT BY 67 POINTS

##### REMAINING YARD

TOTAL AREA = 646 SQ. FT.  
PLANTING AREA REQUIRED = 646 X 30% = 194 SQ. FT.  
PLANTING AREA PROVIDED = 329 SQ. FT.  
EXCEEDS REQUIREMENT BY 135 SQ. FT.

PLANT POINTS REQUIRED = 626 X .05 = 31 POINTS  
PLANT POINTS PROVIDED = 50 POINTS

(1) 36" BOX TREES * 50 PTS =	50 POINTS
	50 POINTS

EXCEEDS REQUIREMENT BY 15 POINTS

#### VEHICULAR USE AREA IN THE STREET YARD

TOTAL AREA = 5,101 SQ. FT.  
PLANTING AREA REQUIRED = 5,101 X 5% = 255 SQ. FT.  
PLANTING AREA PROVIDED = 1,045 SQ. FT.  
EXCEEDS REQUIREMENT BY 790 SQ. FT.

PLANT POINTS REQUIRED = 5,101 X 0.05 = 255 POINTS  
PLANT POINTS PROVIDED = 344 POINTS

(4) 36" BOX TREES * 50 PTS =	200 POINTS
(1) 24" BOX TREES * 20 PTS =	20 POINTS
(62) 5 GAL. SHRUBS * 2 PTS =	124 POINTS
	344 POINTS

EXCEEDS REQUIREMENT BY 89 POINTS

#### STREET TREE & PUBLIC R.O.W. REQUIREMENTS

##### STREET NAME

STREET FRONTAGE LA JOLLA SCENIC DR NORTH =  
TREES REQUIRED = 302/30 = 12.15 STREET TREES  
TREES PROVIDED = (12) 24" BOX TREES

STREET FRONTAGE LA JOLLA SCENIC WAY =  
TREES REQUIRED = 214/30 = 7.13 STREET TREES  
TREES PROVIDED = (7) 24" BOX TREES

STREET FRONTAGE LA JOLLA VILLAGE DR =  
TREES REQUIRED = 310/30 = 10.33 STREET TREES  
TREES PROVIDED = (12) 24" BOX TREES

STREET FRONTAGE TORREY PINES ROAD =  
TREES REQUIRED = 50/30 = 1.67 STREET TREES  
TREES PROVIDED = (1) 24" BOX TREES

#### CONCEPT - PHASE 2

THIS PASSIVE, NATIVE HABITAT GARDEN SET WITHIN A GROVE OF TORREY PINES, IS DEDICATED TO THOSE INDIVIDUALS WHO HELPED SAVE, FOSTER, STUDY, CELEBRATE AND OTHERWISE BEFRIEND THIS RARE SPECIES OF TREE THAT IS UNIQUE TO LA JOLLA.

#### MAINTENANCE CRITERIA

TREES SHALL BE WATERED DEEPLY, BUT INFREQUENTLY, TO PROMOTE DEEPER ROOTING, AND SHALL BE FERTILIZED AS REQUIRED BY SOUND HORTICULTURAL PRACTICES.

PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TRIMMING STANDARDS TO MAINTAIN THEIR INTENDED SHAPES AND SIZES, AND TO INSURE THE HEALTH OF THE SPECIES AND THE SAFETY OF THE PUBLIC.

TREE SHAVES AND STAKE TIES SHALL BE INSPECTED AND ADJUSTED PERIODICALLY, AND REMOVED WHEN NECESSARY, TO INSURE THAT THEY ARE ADEQUATELY SURROUNDING THE TREE WITHOUT BRIDGING BRANCHES OR BRANCHES.

PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALLS, PASSAGEWAYS AND SIGHT DISTANCE VIEWS FOR VEHICULAR TRAFFIC.

DEAD PLANTS SHALL BE REPLACED. DAMAGED BRANCHES SHALL BE REMOVED, AND OVERGROWN AREAS SHALL BE THINNED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.

SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAXIMIZE SCREENING WHILE ALLOWING ACCESS TO THE STORAGE/SERVICE AREAS.

SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTIES SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENCRUST EXCESSIVELY ONTO THE ADJACENT PROPERTY.

#### GENERAL NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND THE LA JOLLA SHORES PLANNED DISTRICT REGULATIONS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.

2. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

3. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT WITHIN 30 DAYS.

#### MINIMUM TREE SEPARATION DISTANCE

A. IMPROVEMENT-MINIMUM DISTANCE TO STREET TREE, TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET  
UNDERGROUND UTILITY LINES - 5 FEET  
ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
DRIVEWAY (ENTRIES) - 10 FEET  
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FEET

B. LANDSCAPE AREAS FOR TREES: THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE. UNCONSOLIDATED MULCH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVERS.

#### IRRIGATION NOTES

THIS PROJECT IS INTENDED TO BE A PERMANENT LANDSCAPE. HOWEVER, TO COMPLY WITH CITY REGULATIONS, ALL PLANTING AREAS SHALL BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM USING Drip Irrigation OR Low PRECIPITATION & PRECIPITATION MATCHED SPRINKLER HEADS. ALL SPRINKLER HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM EACH ADJACENT LOT.

#### MAINTENANCE NOTES

LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE, PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL AND SPECIFICATIONS OF DAVID REED, LANDSCAPE ARCHITECTS. THE APPLICANT, HILLEL OF U.S.D. - LA JOLLA, SHALL BE RESPONSIBLE FOR LONG TERM MAINTENANCE. CONTACT: LISA GOLDSTEIN, (858) 950-2210



2171 VISTA STREET, SUITE A  
SAN DIEGO, CALIFORNIA 92114  
(619) 239-3330  
www.davidreed.com



PHASE 2

#### M.W. STEELE GROUP, INC.

1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0323  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM  
ARCHITECTURE | PLANNING

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

NOT FOR CONSTRUCTION  
LANDSCAPE CONCEPT  
PLAN

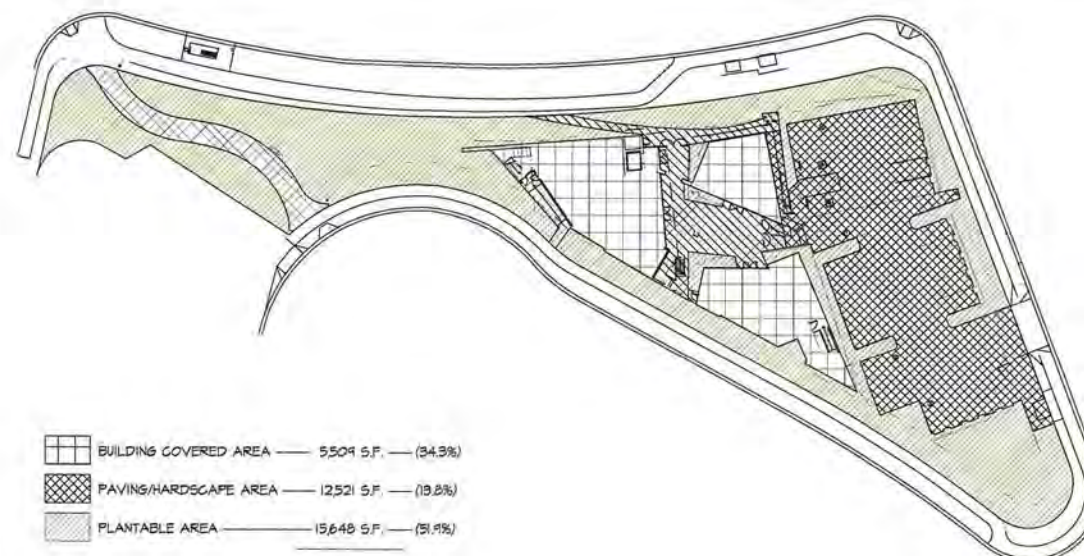
See Drawing

L-2

- Hillel of San Diego
- Street Vacation
  - Right of Way Dedication
  - La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
  - Change of Occupancy Permit
  - Sustainable Expedite Program

#### PLANT PALETTE - PHASE 2

*NOTE: THIS IS A NATIVE PLANT LANDSCAPE	SCIENTIFIC NAME	COMMON NAME	DESCRIPTION	MATURE HEIGHT/SPREAD	O.C. SPACING
STREET TREES - 100% 24" BOX					
	HETEROMELES ARBUTIFOLIA	TOYON, HOLLYWOOD	EXCELLENT LARGE EVERGREEN SHRUB OR SMALL TREE (8-12' TALL). GOOD WITH SUMMER WATER. MULTI-TRUNKED WITH LEATHERY DARK GREEN LEAVES. PRODUCE WHITE FLOWERS IN SPRING WITH RED BERRIES IN CLUSTERS DURING FALL AND WINTER.	12'-15' / 15'-20'	10'-0"
	PIRUS TORREYANA	TORREY PINE	LARGE AND OPEN WITH AGE. NATIVE PINE.	50' / 15'-20'	15'-0" MIN.
TREES - 25% 24" BOX, 50% 15 GAL, 25% 1 1/2 5 GAL					
	HETEROMELES ARBUTIFOLIA	TOYON, HOLLYWOOD	SEE NOTES ABOVE	12'-15' / 15'-20'	10'-0"
	PIRUS TORREYANA	TORREY PINE	LARGE AND OPEN WITH AGE. NATIVE PINE.	50' / 15'-20'	15'-0" MIN.
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	LARGE DECIDUOUS TREE WITH MEDIUM-FAST GROWTH.	30' / 20'	15'-0" MIN.
	QUERCUS AGRIIFOLIA	COAST LIVE OAK	EVERGREEN SHINY PEGGY LEAVES. GROWS ON HILLSIDES IN CALIFORNIA.	20'-40' / 20'-30'	15'-0" MIN.
LARGE UPRIGHT SHRUBS (NATIVE SPECIES) - 50% 5 GAL, 50% 1 GAL					
	COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	EXCELLENT LARGE EVERGREEN SHRUB OR SMALL TREE (8-12' TALL). GOOD WITH SUMMER WATER. MULTI-TRUNKED WITH LEATHERY DARK GREEN LEAVES. PRODUCE WHITE FLOWERS IN SPRING WITH RED BERRIES IN CLUSTERS DURING FALL AND WINTER.	6'-10' / 6'-8'	6'-0"
	HETEROMELES ARBUTIFOLIA	TOYON, HOLLYWOOD	EXCELLENT LARGE EVERGREEN SHRUB OR SMALL TREE (8-12' TALL). GOOD WITH SUMMER WATER. MULTI-TRUNKED WITH LEATHERY DARK GREEN LEAVES. PRODUCE WHITE FLOWERS IN SPRING WITH RED BERRIES IN CLUSTERS DURING FALL AND WINTER.	12'-15' / 15'-20'	10'-0"
	RHUS INTERFOLIA	LEMONADE BERRY	DENSE OLIVE GREEN FOLIAGE. NATIVE.	6'-12' / 6'-12'	6'-0"
	XYLOCOCCUS BICOLOR	MISSION MANZANITA	DENSE OLIVE GREEN FOLIAGE. NATIVE.	3'-5' / 3'-5'	2'-6"
MEDIUM FLOWERING SHRUBS (NATIVE SPECIES) - 25% 5 GAL, 75% 1 GAL					
	ANORRHINA FRUTICOSA	FALSE NOBIS	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	6'-8' / 6'	5'-0"
	ARTEMISIA PYCNOCERHALA DAVIDS CHOICE	HYBRID CALIFORNIA SAGEBRUSH	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	15'-18' / 6'-12'	2'-6"
	COREOPSIS MARITIMA	SEA DALLIA	YELLOW DAILY LIKE FLOWERS ON HOPE-LIKE FOLIAGE.	1'-6" / 1'-6"	1'-6"
	ENGELIA CALIFORNICA	CALIFORNIA ENGELIA	YELLOW DAILY LIKE FLOWERS ON HOPE-LIKE FOLIAGE.	2' / 3'	3'-0"
	GALVANIA SPECIOSA	ISLAND BUSH SNAPDRAGON	YELLOW DAILY LIKE FLOWERS ON HOPE-LIKE FOLIAGE.	3'-4' / 3'-4'	3'-0"
	ISOMERIS ARBOREA DORADO	BLADDER POD	YELLOW SPRAYS OF FLOWERS WITH INTERESTING PODS.	6'-8' / 8'-12'	6'-0"
	MIMULUS PUNCEUS	MONKEY FLOWER	YELLOW AND ORANGE FLOWERS.	3'-4' / 3'-5'	3'-6"
	RHAMNUS EYE CASE	EVE CASE CA. COFFEEBERRY	EVERGREEN SHRUB. NATIVE TO CALIFORNIA. LARGE BERRIES GREEN THEN RED, THEN BLACK WHEN RIPE.	2' / 2'	3'-0"
	SALVIA WINIFRED GILMAN	WINIFRED GILMAN HYBRID SAGE	EVERGREEN SHRUB. NATIVE TO CALIFORNIA. LARGE BERRIES GREEN THEN RED, THEN BLACK WHEN RIPE.	4'-8' / 4'-8'	3'-6"
	SOLANUM XANTH	PURPLE NIGHTSHADE	EVERGREEN SHRUB. NATIVE TO CALIFORNIA. LARGE BERRIES GREEN THEN RED, THEN BLACK WHEN RIPE.	4' / 4'-5'	3'-0"
LOW SPREADING (PROCUMBENT) SHRUBS (NATIVE SPECIES) - 25% 5 GAL, 75% 1 GAL					
	ARTEMISIA CALIFORNICA CANYON GRAY	HYBRID CALIFORNIA SAGEBRUSH	VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	15'-18' / 6'-12'	15'
	ARTEMISIA CALIFORNICA MONTANA	HYBRID COASTAL SAGEBRUSH	ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY SPOTS). FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MUST NOT BE OVERWATERED.	1'-2' / 3'-5'	2'-6"
	GEANTHUS GRISSEUS HORIZONTALIS	CARMEL CREEPER	ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY SPOTS). FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MUST NOT BE OVERWATERED.	15'-20' / 3'-12'	4'-0"
	ERIGONUM DANA POINT	DANA POINT BUCKWHEAT	PROSTATE FORM OF BUCKWHEAT. PINKISH FLOWER HEADS OPEN TO WHITE AND TURN RUSET BROWN BY SUMMER'S END.	2' / 5'	4'-0"
	IVA HAYESIANA	HAYES IVA	DROUGHT TOLERANT GREEN GROUNDCOVER. ROOTS WELL.	2' / 5'	4'-0"
	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	DROUGHT TOLERANT GREEN GROUNDCOVER. ROOTS WELL.	2'-3' / 10'	8'
	ZAUSCHNERIA CALIFORNICA CATALINA	CATALINA CALIFORNIA PUCHIA	DROUGHT TOLERANT GREEN GROUNDCOVER. ROOTS WELL.	12'-15' / 3'-4'	2'-6"
ACCENT PLANTS					
	YUCCA WHIPPLE	OUR LORDS GANDLE	NATIVE. TRUNKLESS ROSETTE. NARROW GRAY LEAVES TO 2' LONG. SHARP. 6' FLOWER SPIKE. PLANT DIES AFTER BLOOM. RESEEDS/OFFSETS READILY.	3' / 5'	
NATIVE GROUNDCOVERS (100% - ANY SIZE AVAILABLE)					
	ABROMA MARITIMA	COASTAL SAND VERBENA	PINK INFLORESCENCE ON HARTY SUGGENT LIKE LEAVES.		
	AMERGOSIA CHAMISSONIS	SILVER BURR	YELLOW BEACH PERMOSE.		
	CAMISSONIA CHERANTHIFOLIA SSP. SUPRUTICOSA	SUN CUP (BEACH EVENING PRIMROSE)	YELLOW BEACH PERMOSE.		
	CENTAUURUM VENUSTUM	CANGIALASIA	LONG LEAVED GRAY GREEN SUGGENT. FORMS UPRIGHT ROSETTE.		
	DIDLEYA EDLIS	LIVE FOREVER	LONG LEAVED GRAY GREEN SUGGENT. FORMS UPRIGHT ROSETTE.		
	DIDLEYA LANCEOLATA	LANCE LEAFED DIDLEYA	LONG LEAVED GRAY GREEN SUGGENT. FORMS UPRIGHT ROSETTE.		
	LINANTHUS DIANTHIFLORIS	GROUND PINK	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING. PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES. TO GOLDEN YELLOW IN SUMMER.		
	MONARDELLA SUBULABRA	MINT BUSH	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING. PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES. TO GOLDEN YELLOW IN SUMMER.		
	SILENE LACINATE	MEXICAN PINK	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING. PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES. TO GOLDEN YELLOW IN SUMMER.		
	SISTRICHUM BELLUM	BLUE-EYED GRASS	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING. PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES. TO GOLDEN YELLOW IN SUMMER.		
	STIPA LEPIDA	FOOTHILL NEEDLE GRASS	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING. PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES. TO GOLDEN YELLOW IN SUMMER.		
	STIPA PULCHRA	PURPLE NEEDLE GRASS	SPREAD STIPA BY MANUAL OR OTHER MEANS BEFORE THE HYDROSEEDING. PURPLISH FLOWERS WITH LONG BRISTLES. ALONG WITH LEAVES. TO GOLDEN YELLOW IN SUMMER.		
LOW GROWING FLOWERING SHRUBS (NATIVE SPECIES, MAXIMUM HT. 30")					
	ARCTOSTAPHYLIS INSULARIS JOHN DORLEY	JOHN DORLEY MANZANITA	SPREADING. VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	12'-24' / 4'-6'	4'-0"
	ARTEMISIA PYCNOCERHALA DAVIDS CHOICE	HYBRID CALIFORNIA SAGEBRUSH	SPREADING. VERY ATTRACTIVE SILVER COLORED CULTIVAR. TOLERATES SUMMER WATER. SPREADS WELL. RENEWAL PRUNE OR REPLACE AFTER 4 YEARS (IT LOSES FORM).	12'-24' / 36'	2'-6"
	BACCHARIS FILLARIS PIGEON POINT	PIGEON POINT COYOTE BRUSH	EXCELLENT FIRE ZONE. NATURALIZED. USE AS DRIFTS.	12' / 5'	3'-6"
	GEANTHUS S. H. YANKEE POINT	YANKEE POINT CARMEL CREEPER	ONLY WHERE SPRINKLER COVERAGE IS VERY LIGHT (DRY SPOTS). FRAGRANT LIGHT BLUE FLOWERS ON DEEP GLOSSY GREEN LEAVES. MUST NOT BE OVERWATERED.	24'-36' / 6'	4'-6"
	LOTUS SCOPARIUS	DEERWEED, BIRD'S FOOT TREPOL	PROSTATE FORM OF BLACK SAGE.	24' / 36'	2'-6"
	SALVIA MELLIFERA TERRA SEGA	TERRA SEGA SAGE	PROSTATE FORM OF BLACK SAGE.	12'-24' / 6'	4'-6"



M.W. STEELE

ARCHITECTS & ENGINEERS  
11111 JEFFERSON AVE., SUITE 100  
SAN DIEGO, CA 92120  
(619) 594-1111  
WWW.MWSTEELE.COM

Hillel  
of San Diego  
San Diego, California

Phase 1:  
8876 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for  
Sustainable Building Development with  
Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 0515  
Original Date: June 3, 2010  
Owner: ASI/AP  
Designer: M.W. Steele

Revision 1: 05/15/10 MRS. STEELE  
Revision 2: 05/15/10 MRS. STEELE  
Revision 3: 05/15/10 MRS. STEELE  
Revision 4: 05/15/10 MRS. STEELE  
Revision 5: 05/15/10 MRS. STEELE  
Revision 6: 05/15/10 MRS. STEELE  
Revision 7: 05/15/10 MRS. STEELE  
Revision 8: 05/15/10 MRS. STEELE  
Revision 9: 05/15/10 MRS. STEELE  
Revision 10: 05/15/10 MRS. STEELE  
Revision 11: 05/15/10 MRS. STEELE  
Revision 12: 05/15/10 MRS. STEELE

NOT FOR CONSTRUCTION  
LANDSCAPE CONCEPT  
PLAN

L-3



- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Phase 1: Temp. Parking Notes

- ① Existing stop sign to be removed.
- ② Existing concrete masonry wall.
- ③ Existing tree to remain.
- ④ Existing tree to be removed.
- ⑤ Existing patio.
- ⑥ Existing driveway.
- ⑦ Existing fence.
- ⑧ Exit door (3'-0" x 6'-8").
- ⑨ Temporary parking, to be removed upon completion of Phase 2.
- ⑩ New concrete driveway.
- ⑪ New curb cut.
- ⑫ Proposed 42" high fence temporary fence for screening.
- ⑬ Existing pedestrian curb ramp to remain.
- ⑭ Proposed pedestrian curb ramp.
- ⑮ Existing bus stop to remain.
- ⑯ Temporary bike and pedestrian path during construction of Phase 2.
- ⑰ Visibility Area Triangles per SMC Sec. 11.0273, diagram 113-020R for street intersections and driveways. See General Note 3.

General Notes

1. The temporary parking plan for Phase 1, provides parking for the existing temporary office use of the single family residence at 8978 Cliffridge Ave., La Jolla, CA 92037, during the construction of Phase 2 on site 053. This provides 8 parking spaces through a combination of utilizing the existing garage and providing new spaces in the vacated cul-de-sac. It also involves the construction of a temporary sidewalk connecting La Jolla Village Dr. to La Jolla Scenic Drive North.
2. No objects higher than 36 inches may be prepared in the visibility areas. If any portion of the visibility areas lies within the public right of way, no vegetation or other areas will exceed 36 inches in height.



M.W. STEELE  
GROUP, INC.  
1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM  
ARCHITECTURE | PLANNING

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number:	0915
Original Date:	June 8, 2010
Drawn:	KW
Checked:	KW
Revision 1:	06.08.10 Completion Check
Revision 2:	06.24.10 MIB Submittal
Revision 3:	10.18.12 Revisions Cycle 30
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

NOT FOR CONSTRUCTION

Hillel Center for Jewish Life  
San Diego, California

Phase 1:  
8978 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Phase 1:  
Temporary Parking Plan  
(During Phase 2 Construction)  
1/8" = 1'-0"

A2.00

① Phase 1: Temporary Parking Plan (During Phase 2 Construction)  
Scale: 1/8" = 1'-0"

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

### Courtyard & Parking Plan Notes

1. New 24'-0" driveway and curb cut.
2. Easement reservation for storm water, refer to Civil drawings for more information.
3. Adjusted driveway line.
4. New site wall, refer to Civil drawings for top and bottom of wall elevations.
5. Entrances shown concrete paving.
6. Permeable pavers, refer to Landscape drawings for more information.
7. Decorative gravel paving, refer to Landscape drawings for more information.
8. Proposed transformer location.
9. Trash and recycling enclosure.
10. Accessible pedestrian ramp to courtyard entry.
11. Stairs up to courtyard entry.
12. Courtyard security gate.
13. Decorative guardrail.
14. Proposed backflow preventer location.
15. New permeable sidewalk.
16. New landscaped pathway, refer to Landscape drawings for additional planting information.
17. New landscaped planting area.
18. Concrete wheel stop, typical.
19. Concrete curb.
20. Storage room access.
21. Storm pavers.
22. Motorcycle parking space.
23. Bench integrated with raised garden.
24. Stair up to second floor above student lounge.
25. Line of roof above.
26. Bicycle rack.
27. Tree location, refer to Landscape drawings for more information.
28. Line of trees above.
29. Line of support structure above.
30. Visibility Area Shading per SDMC Sec. 11.5.0273, diagram 113-0299 for street intersections and driveways. See General Note 3.

### General Notes

1. Refer to Architectural sheet A2.00 for parking requirements and calculations.
2. Refer to Architectural sheet A2.00 for bicycle parking requirements and calculations.
3. Refer to Architectural sheet A2.03 for tree building area and notes.
4. Refer to the Landscape drawings for more information regarding planting materials.
5. No objects higher than 36 inches may be proposed in the visibility areas if any portion of the visibility area lies within the public right of way, no vegetation in these areas will exceed 24 inches in height.



Street Vacation  
Right of Way Dedication

### M.W. STEELE GROUP, INC.

1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0326  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM  
ARCHITECTURE | PLANNING

La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 0916  
Design Date: June 8, 2016  
Sheet: KW  
Checked: KW

Revision 1: 06/08/16 Comprehensive Check  
Revision 2: 06/24/16 MPR Submittal  
Revision 3: 10/16/16 Revisions Cycle 30  
Revision 4:  
Revision 5:  
Revision 6:  
Revision 7:  
Revision 8:  
Revision 9:  
Revision 10:  
Revision 11:  
Revision 12:

NOT FOR CONSTRUCTION

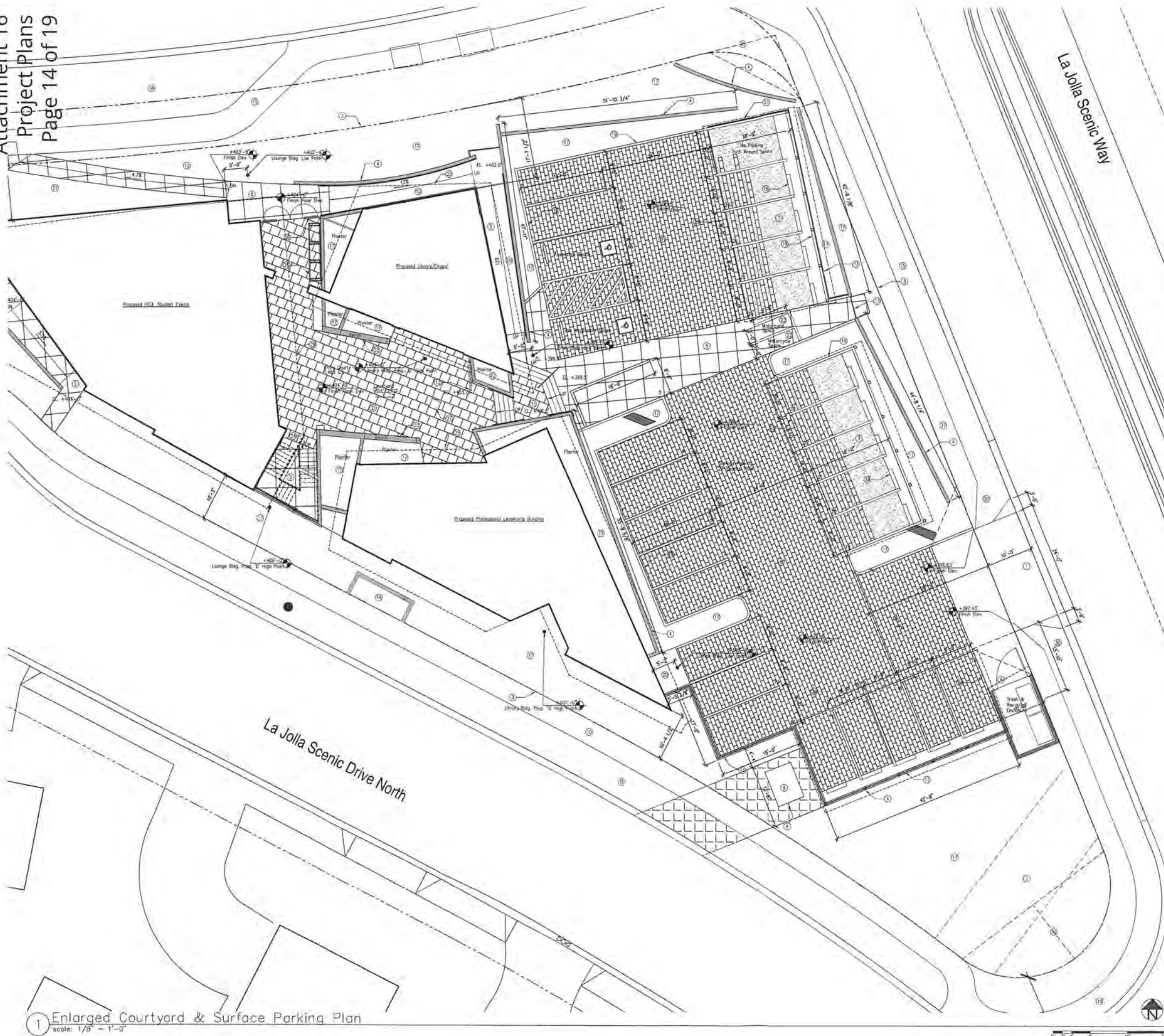
Hillel Center for Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Phase 2:  
Enlarged Courtyard & Surface Parking Plan  
1/8" = 1'-0"

A2.02



1 Enlarged Courtyard & Surface Parking Plan  
scale: 1/8" = 1'-0"

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Building Plan Notes

- ① Student lounge will add.
- ② Access hatch and ladder up to mechanical equipment on roof.

General Notes

- 1. Refer to Architectural sheet A0.00 for overall building area and occupancy calculations.
- 2. Refer to Architectural sheet A0.00 for building coverage calculations.

Building Area Tabulations

<b>HCL Student Center</b>	
Ground Floor Net S.F.:	
Student Lounge (includes lobby)	1,215 S.F.
Kitchen	296 S.F.
Meeting Room	116 S.F.
Men's Restroom	193 S.F.
Women's Restroom	202 S.F.
Storage	13 S.F.
Deviation	80 S.F.
Deviation Change Room	36 S.F.
Total Net S.F.	2,257 S.F.
Second Floor Net S.F.:	
Student Activity Space (includes lobby)	674 S.F.
Board Room	213 S.F.
Storage	74 S.F.
Deviation	95 S.F.
Total Net S.F.	1,056 S.F.
Library/Reading	
Ground Floor Net S.F.:	
Men Library Room	676 S.F.
Study/Conference Room	148 S.F.
Storage	21 S.F.
Total Net S.F.	857 S.F.
<b>Professional Services Building</b>	
Ground Floor Net S.F.:	
Open Office Area (includes entry area)	667 S.F.
Conference Room	192 S.F.
Office	133 S.F.
Office	133 S.F.
Reception	49 S.F.
Storage	265 S.F.
Deviation Room	45 S.F.
Total Net S.F.	1,587 S.F.
Total Net S.F.:	
HCL Student Center	3,398 S.F.
Library/Reading	207 S.F.
Professional Services Building	1,637 S.F.
Total Net S.F.	5,712 S.F.
<b>Total Gross Floor Area:</b>	
HCL Student Center (includes Phantom Floor)	4,287 S.F.
Library/Reading	284 S.F.
Professional Services Building	1,917 S.F.
Total Gross Floor Area With Phantom Floor	7,084 S.F.
Total Gross Floor Area Without Phantom Floor	5,479 S.F.



Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

M.W. STEELE GROUP, INC.

1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
www.mwsteele.com

ARCHITECTURE | PLANNING

Hillel Center for Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Project Name	D915
Original Date	June 8, 2010
Drawn	KW
Checked	KW
Revision 1:	05.28.10 Completion Check
Revision 2:	06.24.10 100% Submittal
Revision 3:	07.19.12 Revision Cycle 20
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	

NOT FOR CONSTRUCTION

Phase 2:  
Proposed Ground Floor Building Plans  
1/8" = 1'-0"

① Proposed Ground Floor Building Plans  
scale: 1/8" = 1'-0"

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

Building Plan Notes

- ① Student lounge will stain
- ② Access hatch and ladder up to mechanical equipment on roof

General Notes

1. Refer to Architectural sheet A0.00 for overall building area and occupancy calculations.
2. Refer to Architectural sheet A0.00 for building coverage calculations.

Building Area Tabulations

<b>HCL Student Center</b>	
Ground Floor Net S.F.:	
Student Lounge (includes Lobby)	1,213 S.F.
Kitchen	298 S.F.
Meeting Room	116 S.F.
Men's Restroom	193 S.F.
Women's Restroom	200 S.F.
Storage	13 S.F.
Elevator	65 S.F.
Chapel-Central Room	36 S.F.
Total Net S.F.	2,252 S.F.
Second Floor Net S.F.:	
Student Activity Space (includes Lobby)	674 S.F.
Board Room	233 S.F.
Storage	74 S.F.
Elevator	82 S.F.
Total Net S.F.	1,063 S.F.
Library/Chapel	
Ground Floor Net S.F.:	
Main Library Room	678 S.F.
Study/Conference Room	148 S.F.
Storage	33 S.F.
Total Net S.F.	859 S.F.
<b>Professional Leadership Building</b>	
Ground Floor Net S.F.:	
Open Office Area (includes Copy Area)	567 S.F.
Conference Room	192 S.F.
Office	133 S.F.
Office	133 S.F.
Office	133 S.F.
Restroom	49 S.F.
Storage	285 S.F.
Electrical Room	45 S.F.
Total Net S.F.	1,517 S.F.
<b>Total Net S.F.:</b>	
HCL Student Center	3,298 S.F.
Library/Chapel	859 S.F.
Professional Leadership Building	1,517 S.F.
Total Net S.F.	5,674 S.F.
<b>Total Gross Floor Area:</b>	
HCL Student Center (includes Phantom Floor)	4,287 S.F.
Library/Chapel	984 S.F.
Professional Leadership Building	1,813 S.F.
Total Gross Floor Area With Phantom Floor	7,084 S.F.
(Total Gross Floor Area Without Phantom Floor 6,479 S.F.)	



M.W. Steele

M.W. STEELE  
GROUP, INC.

1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM  
ARCHITECTURE | PLANNING

Hillel Center for  
Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for  
Sustainable Building Development with  
Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number: 0315  
Original Date: June 8, 2010  
Drawn: KW  
Checked: KW

Revision 1: 06.08.10 Completeness Check  
Revision 2: 06.24.10 MTR Submittal  
Revision 3: 10.18.12 Revisions Cycle 50  
Revision 4:  
Revision 5:  
Revision 6:  
Revision 7:  
Revision 8:  
Revision 9:  
Revision 10:  
Revision 11:  
Revision 12:

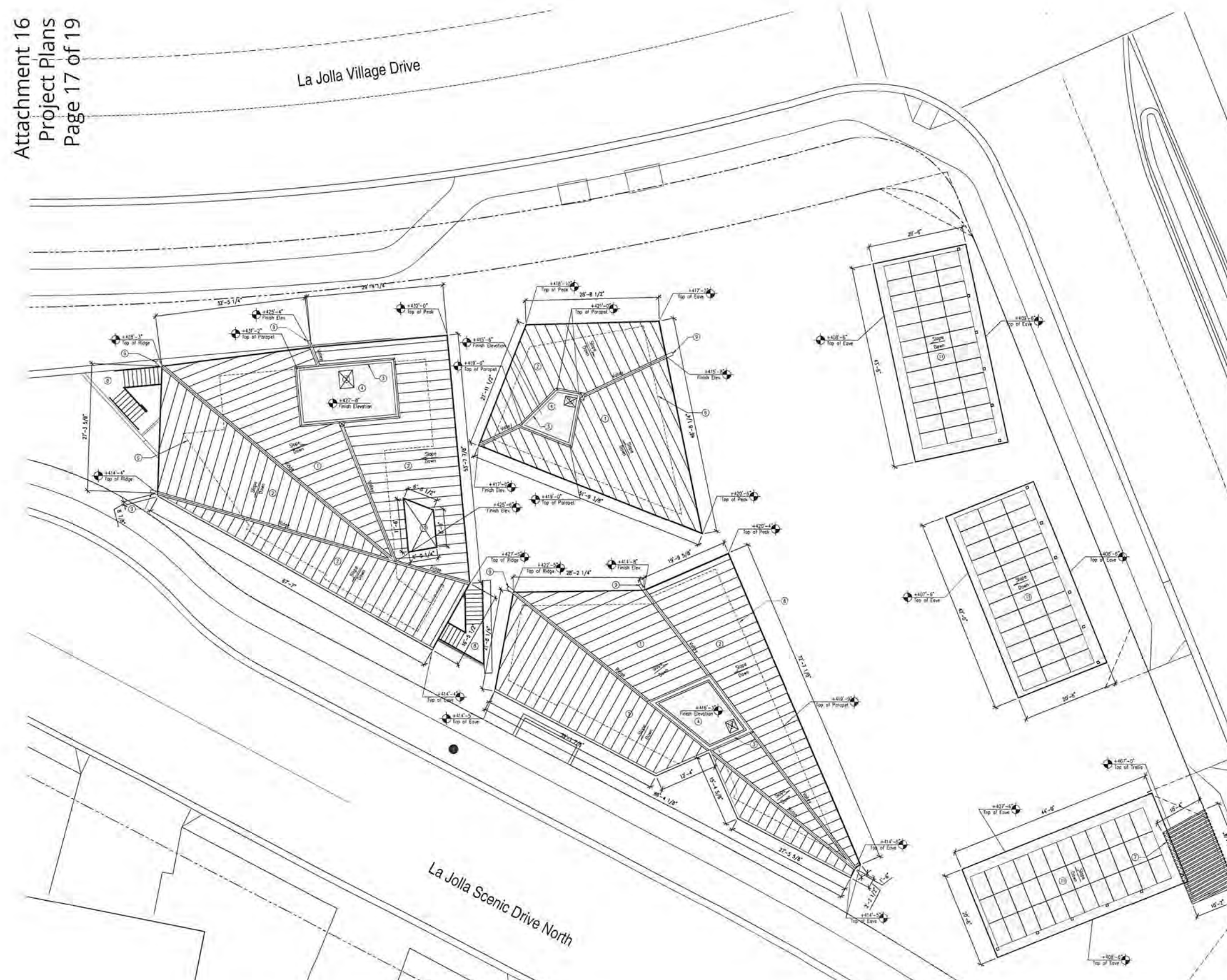
NOT FOR CONSTRUCTION

Phase 2:  
Proposed Second  
Floor Building Plan  
1/8" = 1'-0"

A2.04

Sheet No. 16 of 19

1 Proposed Second Floor Building Plan  
scale: 1/8" = 1'-0"



- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

### Roof Plan Notes

- ① Weld rail.
- ② Surface applied photoelastic "film".
- ③ Permanent seal.
- ④ Mechanical equipment seal.
- ⑤ Access hatch to interior space before for maintenance access.
- ⑥ Line of wall below.
- ⑦ Ice helix over trash collectors.
- ⑧ Stair below.
- ⑨ Exposed heavy timber beam.
- ⑩ Open to below.
- ⑪ Carpet structure with solar photovoltaic panels on top.

## General Notes

1. All parapet walls around mechanical wells to provide screening for mechanical equipment.



WALLACE

M.W. STEELE  
GROUP, INC.

1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0375  
FACSIMILE 619 230 0335

ARCHITECTURE | PLANNING

Hillel Center for  
Jewish Life  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Street Vacation  
Right of Way Dedication  
La Jolla Shores Site Development Permit for  
Sustainable Building Development with  
Deviations from Development Regulations  
Change of Occupancy Permit  
Sustainable Expedite Program

Project Number:	0915
Original Date:	June 8, 2010
Drawn:	KW
Checked:	KW

Revision 1: 06.08.10 Completeness Ch  
Revision 2: 06.24.10 MIR Subm  
Revision 3: 10.18.12 Revisions Cycle

Revision 4: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 12: \_\_\_\_\_

NOT FOR CONSTRUCTION

Phase 2:  
Proposed Roof Plan

A2.05

- Street Vacation
- Right of Way Dedication
- La Jolla Shores Site Development Permit for Sustainable Building Development with Deviations from Development Regulations
- Change of Occupancy Permit
- Sustainable Expedite Program

### Elevation Notes

- Existing grade.
- Proposed grade.
- Stucco - earth tone colors.
- Cladding.
- Stone veneer coping.
- Concrete block - earth tone colors.
- Copper roofing.
- Surface parking lot.
- Landscaping - refer to Landscape Drawings for all planting and planting materials.
- Concrete block retaining wall - earth tone colors.
- Courtyard entry gate.
- Perennial wall of mechanical wall.
- Tree enclosure.
- Maximum permitted structure height limit line: 30'-0" line from existing or finish grade, whichever is lower.
- Maximum permitted overall structure height limit line: 30'-0" line from the low point within 5'-0" of building perimeter.
- Overall height limit line: 30'-0" line from the high point within 5'-0" of building perimeter.
- Comply with solar photovoltaic panels on top.

### General Notes

- All parapet walls around mechanical walls to provide screening for mechanical equipment.
- Refer to roof plan for roof slope elevations and surface applied materials.
- Refer to Architectural site plan drawing for locations of property lines and 4'-0" setback lines. Property lines and setback lines are shown at approximate location of elevation cut. Property lines and setback lines beyond are shown for the adjacent locations of the particular view shown.
- Refer to Architectural site plan drawing for high and low points for the Prop 10' and Overall structure height limit lines.

### Legend

Property line	_____
Max. permitted structure height limit line	_____
Max. permitted overall structure height limit line	_____
Max. permitted "Prop 10" height limit line	_____
Existing Grade	_____



Seal of M.W. Steele Group, Inc. Architect, State of California, No. 11411

**M.W. STEELE GROUP, INC.**  
1805 NEWTON AVENUE | SUITE A  
SAN DIEGO | CA | 92113  
TELEPHONE 619 230 0325  
FACSIMILE 619 230 0335  
WWW.MWSTEELE.COM  
ARCHITECTURE | PLANNING

**Hillel Center for Jewish Life**  
San Diego, California

Phase 1:  
8976 Cliffridge Avenue  
La Jolla, California 92037

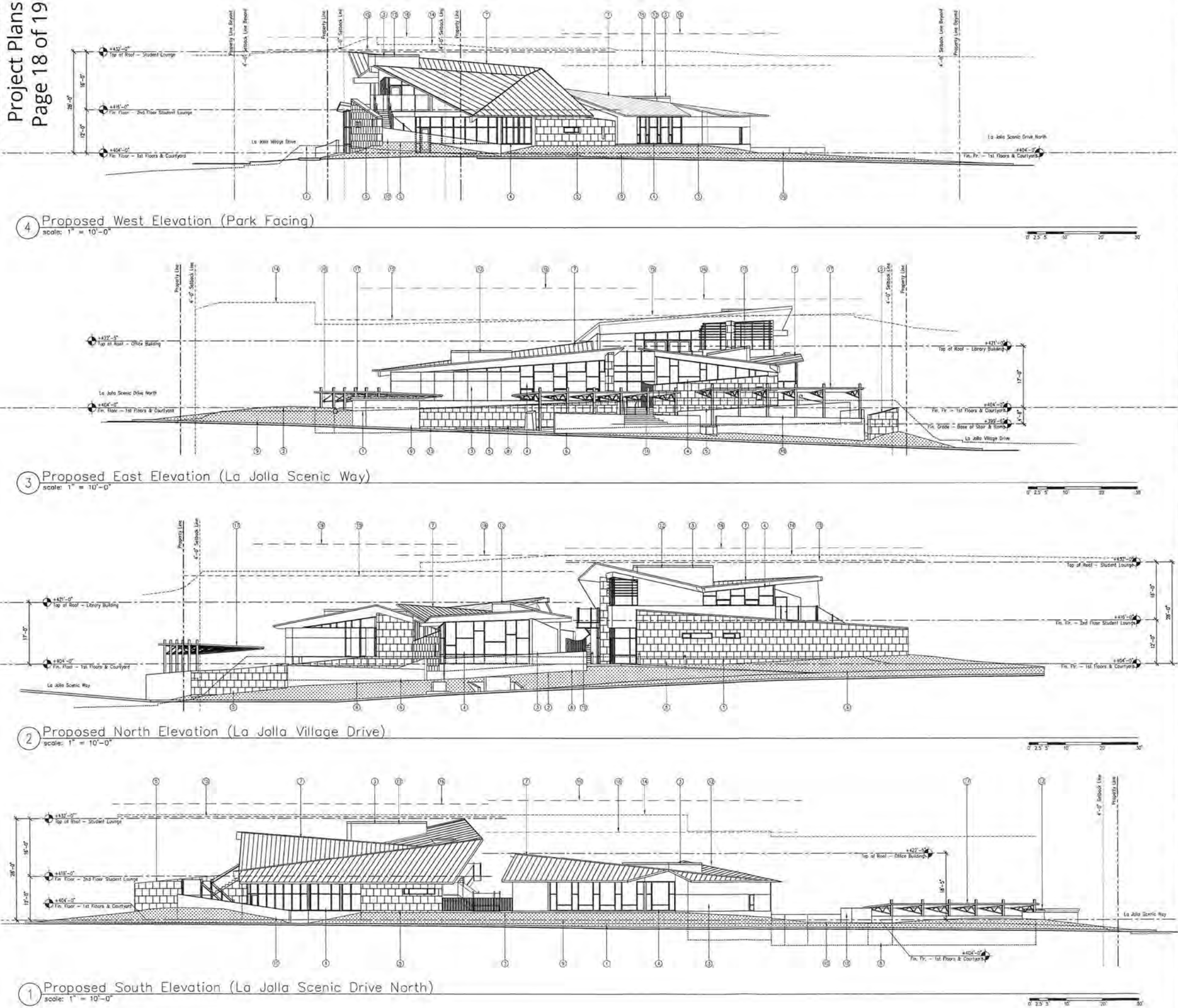
Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

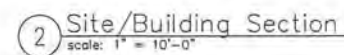
Revision 1: 06.06.10 Construction Check  
Revision 2: 06.24.10 MRS Submittal  
Revision 3: 10.18.12 Revisions Cycle 50  
Revision 4:  
Revision 5:  
Revision 6:  
Revision 7:  
Revision 8:  
Revision 9:  
Revision 10:  
Revision 11:  
Revision 12:

NOT FOR CONSTRUCTION

Phase 2:  
Proposed Elevations  
1" = 10'-0"

A3.00





- ① Existing grade.
- ② Proposed grade.
- ③ Slope – north lane colors.
- ④ Existing.
- ⑤ Stone veneer facing.
- ⑥ Metal roofing.
- ⑦ Surface parking lot.
- ⑧ Landscaping – refer to Landscape Drawings for oil paving and planting materials.
- ⑨ Concrete block retaining wall – north lane colors.
- ⑩ Target wall of mechanical well.
- ⑪ Accessible pedestrian ramp.
- ⑫ Slab.
- ⑬ Railing system.
- ⑭ Maximum permitted structure height limit line: 30'-0" line from existing or mean grade, whichever is lower.
- ⑮ Maximum permitted overall structure height limit line: 30'-0" line from the low point within 5'-0" of building perimeter.
- ⑯ Coastal height limit line: 32'-0" line from the high point within 5'-0" of building perimeter.
- ⑰ Carport with solar photovoltaic panels on top.

1. All gorges was around mechanical wells to provide screening for mechanical equipment.
2. Refer to roof plan for roof spot elevations and surface applied photovoltaic film locations.
3. Refer to Architectural site plan drawing for locations of property lines and "Y" setback lines. Property lines and setback lines shown at approximate location of elevation cut. Property lines and setback lines beyond are shown for the outmost locations at the particular view shown.
4. Refer to Architectural elevations for top of roof heights and overall building heights.
5. Refer to Architectural courtyard plan for high and low points for the "Prop 13" and Overall structure height limit lines.

Property line	
Max. permitted structure height limit line	-----
Max. permitted overall structure height limit line	-----
Max. permitted "Prop D" height limit line	-----
Existing Grade	-----



Phase 2:  
Intersection of La Jolla Scenic Way,  
La Jolla Village Drive  
and La Jolla Scenic Drive  
La Jolla, California 92037

Phase 2:  
Site/Building Sections

A4.00