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ARCHITECTURAL ABBREVIATIONS

ARCHITECTURAL LEGEND

PROJECT TITLE

DRAWING INDEX

STRAUSS FIFTH AVENUE
A PRIVATE HOUSING PROJECT
3534 FIFTH AVENUE
SAN DIEGO, CA 92103
SITE DEVELOPMENT PERMIT

OCTOBER 20, 2016



Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Lists various architectural symbols and their corresponding terms like ANCHOR BOLT, ASPHALT CONCRETE, etc.

Table with 2 columns: Symbol, Description. Lists architectural symbols like EXTERIOR ELEVATION, INTERIOR ELEVATION, DETAIL, WALL SECTION, BUILDING SECTION, and their meanings.

PLAN CHECK NOTES

APPLICABLE CODES & STANDARDS

MULTI-FAMILY HOUSING REQUIREMENTS

PROJECT TEAM

Table with 2 columns: Fire Protection - Submittals/Permits, Fire Protection - Fire-Resistant Construction. Lists requirements for fire safety, including submittals and fire-resistant construction details.

Table with 2 columns: Fire Protection - Fire-Resistant Construction, Means of Egress. Lists requirements for fire-resistant construction and means of egress, including door swing and exit doors.

Table with 2 columns: APPLICABLE STATE STANDARDS, PARTIAL LIST OF APPLICABLE STATE STANDARDS. Lists various state standards and codes applicable to the project.

Table with 2 columns: MULTI-FAMILY HOUSING REQUIREMENTS, ARCHITECT OF RECORD DECLARATION. Lists multi-family housing requirements and the architect's declaration of record.

Table with 2 columns: PROJECT TEAM, OWNER, ARCHITECT/INTERIORS, MECHANICAL/PLUMBING ENGINEER, CIVIL ENGINEER, SHORING ENGINEER, DRY UTILITY CONSULTANT. Lists the project team members and their contact information.

Table with 2 columns: Fire Protection - Fire Department Access, Fire Protection - Fire Department Access. Lists requirements for fire department access, including road frontage and access roads.

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Drawing Index Table listing drawing titles and sheet numbers, such as 01 - GENERAL, 02 - PUBLIC IMPROVEMENT, 03 - LANDSCAPE, 04 - ARCHITECTURAL.

Table with 2 columns: VICINITY MAP, PROJECT DATA. Includes a vicinity map showing the project location and project data like project description, address, and legal description.

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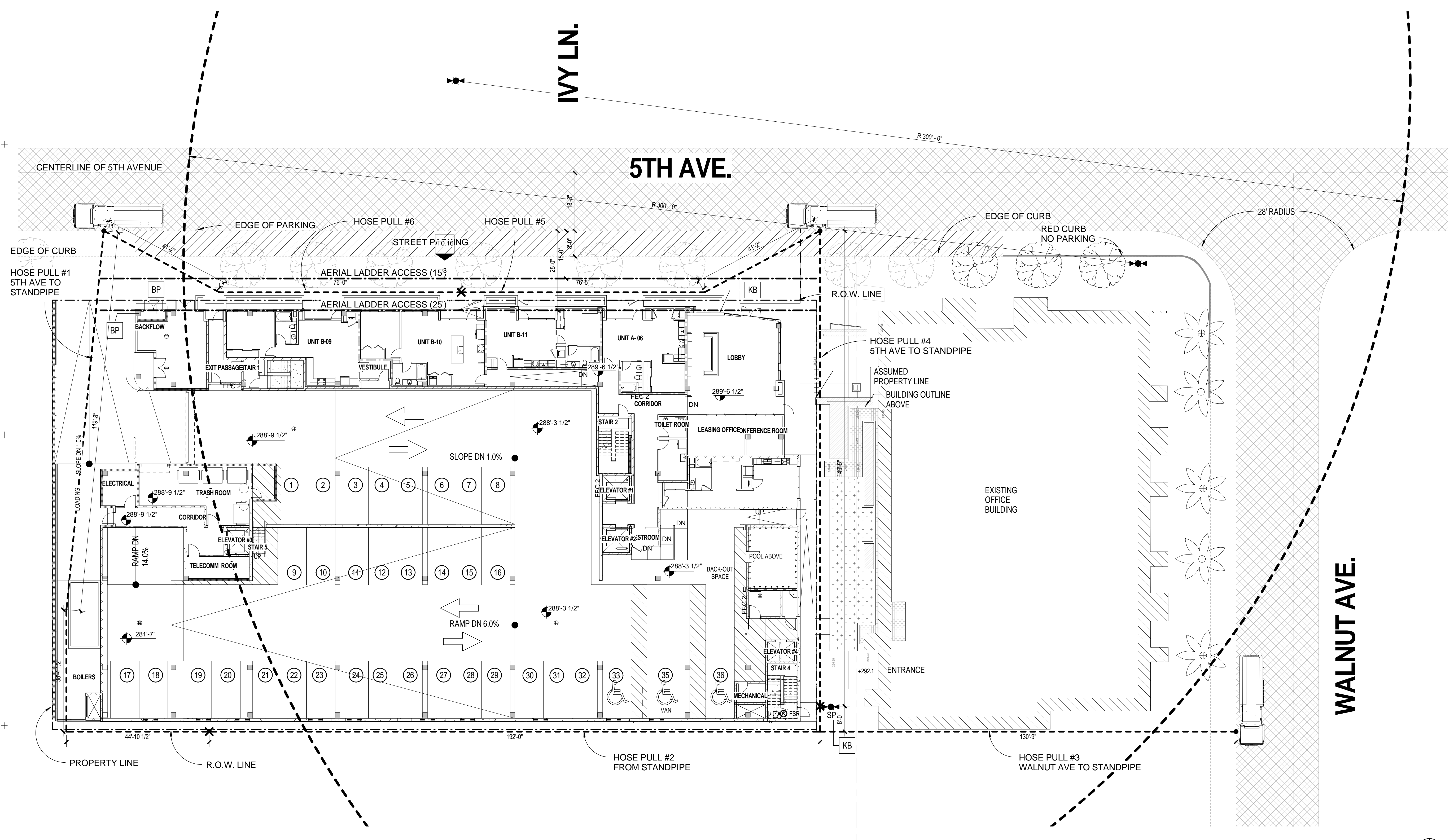
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carrierjohnson + culture
architecture + environments + brand strategy + graphics

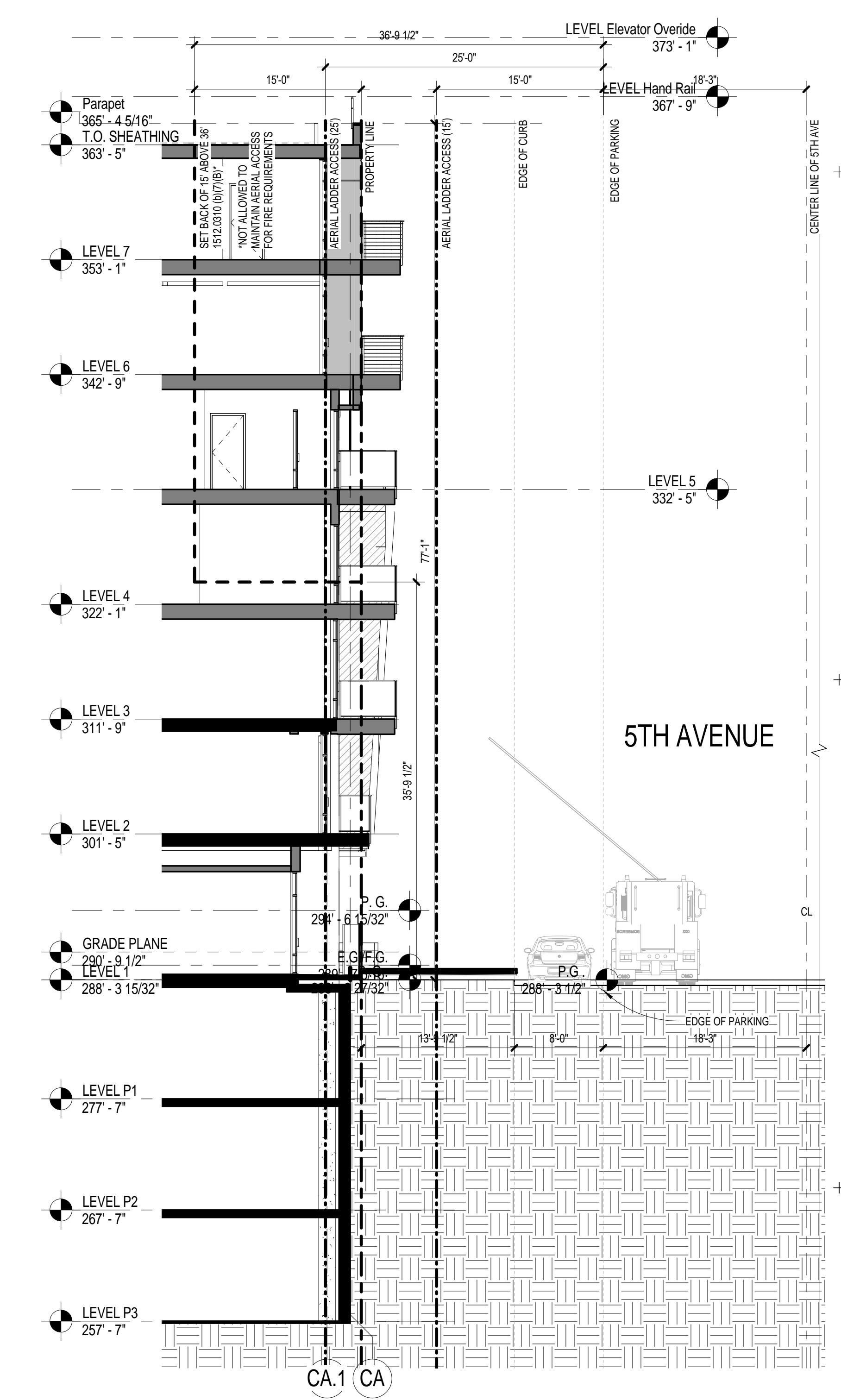
STRAUSS FIFTH AVENUE
3534 FIFTH AVENUE
SAN DIEGO CA 92103

T0.1
1 OF 37

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1 FIRE ACCESS SITE PLAN
 SCALE: 1/16" = 1'-0"



2 FIRE ACCESS SECTION
 SCALE: 1/8" = 1'-0"

FIRE LANE SIGNAGE	FIRE HOSE PULL TABULATION	FIRE PROTECTION LEGEND	LOCAL FIRE AUTHORITY REVIEW																												
<p>FIRE LANE SIGNAGE SCALE: 1 1/2" = 1'-0"</p>	<table border="1"> <thead> <tr> <th>NUMBER</th> <th>ORIGIN</th> <th>COVERAGE</th> <th>DISTANCE</th> </tr> </thead> <tbody> <tr> <td>#1</td> <td>TRUCK (5TH AVE)</td> <td>BLDG NORTH</td> <td>200'-0"</td> </tr> <tr> <td>#2</td> <td>STANDPIPE (ALLEY)</td> <td>BLDG WEST/SOUTH</td> <td>200'-0"</td> </tr> <tr> <td>#3</td> <td>TRUCK (WALNUT AVE)</td> <td>BLDG WEST/SOUTH</td> <td>138'-9"</td> </tr> <tr> <td>#4</td> <td>TRUCK (5TH AVE)</td> <td>BLDG SOUTH</td> <td>149'-5"</td> </tr> <tr> <td>#5</td> <td>TRUCK (5TH AVE)</td> <td>BLDG EAST</td> <td>117'-7"</td> </tr> <tr> <td>#6</td> <td>TRUCK (5TH AVE)</td> <td>BLDG EAST</td> <td>117'-2"</td> </tr> </tbody> </table>	NUMBER	ORIGIN	COVERAGE	DISTANCE	#1	TRUCK (5TH AVE)	BLDG NORTH	200'-0"	#2	STANDPIPE (ALLEY)	BLDG WEST/SOUTH	200'-0"	#3	TRUCK (WALNUT AVE)	BLDG WEST/SOUTH	138'-9"	#4	TRUCK (5TH AVE)	BLDG SOUTH	149'-5"	#5	TRUCK (5TH AVE)	BLDG EAST	117'-7"	#6	TRUCK (5TH AVE)	BLDG EAST	117'-2"	<p>FIRE PROTECTION LEGEND</p> <ul style="list-style-type: none"> FIRE DEPARTMENT ACCESS LANE, CFC 901.4.2, CFC 902.2 (MIN 26'-0" WIDTH X 15'-4" VERTICAL CLEARANCE 26' MIN. INSIDE RADIUS, 50' MIN. OUTSIDE RADIUS) ACCESS SHALL SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS TO WITHSTAND A MINIMUM 95,000 LB. VEHICLE LOAD. PAINT CURBS: RED W/ 4" HIGH WHITE LETTERING "NO PARKING - FIRE LANE" STENCILED EVERY 30'-0" ON FACE OF CURB, WHERE NO CURB IS PRESENT, PAINT 8" WIDE RED STRIPE W/ 4" HIGH WHITE LETTERING "NO PARKING - FIRE LANE" STENCILED EVERY 30'-0" ON PAVEMENT. PROVIDE APPROVED SIGN EVERY 100' NO PARKING - FIRE LANE SIGN LOCATE AT 100' MAXIMUM SPACING FACING TRAFFIC AT A HEIGHT OF 7'. SEE DETAIL THIS SHEET FIRE HYDRANT LOCATE 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 901.4.3, CFC 903.4 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 1001.7.3) STANDPIPE LOCATION FIRE DEPT. CONNECTION / PIV NOTE: POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF T STRUCTURE. BACKFLOW PREVENTER KNIX BOX (RECESSED), CFC 902.4 (CONFIRM MOUNTING HT. W/ LOCAL FIRE DEPT.) 	<p>LOCAL FIRE AUTHORITY REVIEW</p> <p>FIRE DEPARTMENT ACCESS</p> <p>A. ACCESS ROADS AND GATE ENTRANCES ARE IN ACCORDANCE WITH TITLE 19 CALIFORNIA CODE OF REGULATIONS SUB-CHAPTER 1, ARTICLE 3.05 (ACCESS ROADS) AND ARTICLE 3.16 (GATE ENTRANCES).</p> <p>FIRE FLOW AND FIRE HYDRANTS</p> <p>B. FIRE FLOW, FIRE HYDRANT LOCATION AND DISTRIBUTION ARE IN ACCORDANCE WITH CALIFORNIA FIRE CODE APPENDIX III-A (FIRE FLOW) AND APPENDIX III-B (HYDRANT LOCATIONS).</p> <p>SIGNATURE: _____ DATE: _____</p> <p>A WET SIGNATURE ABOVE SIGNIFIES THAT THE LOCAL FIRE AUTHORITY WAS CONSULTED REGARDING ACCESS ROADS, GATES IN PERIMETER FENCES, LOCATION OF FIRE HYDRANTS, FIRE FLOW, FIRE DEPARTMENT CONNECTIONS, PORTABLE FIRE EXTINGUISHERS, AND FIRE PROTECTION DURING CONSTRUCTION. METHODS INDICATED ON PLAN AND IN SPECIFICATION ARE CONSIDERED ADEQUATE.</p>
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#6	TRUCK (5TH AVE)	BLDG EAST	117'-2"																												

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
 ISSUES:

PROJECT NO: 5548-00
 FILE NAME: STRAUSS_FIFTH_AVE_FIRE_ACCESS_SITE_PLAN.dwg
 DRAWN BY: _____ CHECKED BY: _____
 PLOT DATE: 10/19/2016 11:12:33 AM
 TITLE:

FIRE ACCESS SITE PLAN

DRAWING NO: **T0.3**



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
2601 Mencham Boulevard
Fort Worth, TX 76193

Aeronautical Study No.
2015-AWP-5825-OE

Issued Date: 06/05/2015

Diana Casey
Danube Properties
2055 Third Avenue
San Diego, CA 92101

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Strauss Fifth Avenue
Location: San Diego, CA
Latitude: 32-44-31.89N NAD 83
Longitude: 117-09-38.65W
Heights: 296 feet site elevation (SE)
85 feet above ground level (AGL)
381 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is marked/lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, red lights - Chapters 4,5(Red),&12.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

Any height exceeding 85 feet above ground level (381 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.

This determination expires on 12/05/2016 unless:

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- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before July 05, 2015. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager, Airspace Regulations & ATC Procedures Group, Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591.

This determination becomes final on July 15, 2015 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Regulations & ATC Procedures Group via telephone -- 202-267-8783 - or facsimile 202-267-9328.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

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An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Karen McDonald, at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-5825-OE.

Signature Control No: 252145873-254251020
Mike Helvey
Manager, Obstruction Evaluation Group

(DNH)

Attachment(s)
Additional Information
Case Description
Map(s)

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Additional information for ASN 2015-AWP-5825-OE

The proposal, submitted by Danube Properties, will construct a 6-story 85-foot above ground level (agl) residential structure (Strauss Fifth Avenue) at Walnut and 5th Avenues, on significantly rising natural terrain in San Diego, California. The site is approximately two streets west of the western boundary of Balboa Park. This site point is located approximately 1.55 nautical miles (NM) northeast of the San Diego-Lindbergh Field (SAN) airport reference point. The SAN Field Elevation (FE) is 16 feet above mean sea level (amsl). SAN is the closest civilian public-use landing area. The site elevation of this project point is 296 feet amsl.

Viewed on a satellite map, this area is saturated with single and multi-family residential structures of similar height, and is potentially designated for further redevelopment growth of this type of structure by the City of San Diego.

The structure height exceeds the obstruction standards of Title 14 Code of Federal Regulations (CFR) Part 77 as follows:

Section 77.19(a) by 215 feet, the entire structure height above the ground because of the significantly rising site terrain - a height exceeding the SAN Horizontal Surface.

Details of the proposal were not circularized for public aeronautical comment because internal FAA evaluation finds that the adverse effect of this structure is known. There would be no derogation of the navigable airspace overlying the site. Existing obstacles and terrain control the development of future approach and departure instrument Terminal Procedures at SAN. Therefore, no further attempt to negotiate the structure to a lower height was considered necessary. This does not affect the right to petition for review determinations regarding structures which exceed the subject obstruction standards.

AERONAUTICAL STUDY FOR POSSIBLE EFFECT UPON THE OPERATION OF AN AIR NAVIGATION AID:

- None.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.

- The proposal would have no effect on any existing or proposed IFR en route routes, operations, or procedures.

- The proposal would have no effect on any existing or proposed IFR minimum flight altitudes.

AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.

- The proposal would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports, including SAN. The proposal does not penetrate the maneuvering

Page 4 of 8

area associated with VFR Traffic Pattern operations at SAN. Aircraft at normal Traffic Pattern altitudes and standard rates of descent over this significantly rising natural terrain have reasonable clearance above this structure.

- The proposal would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

The cumulative impact of the proposed structure, when combined with other existing structures is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned civilian public-use or military airport.

Therefore, it is determined that the proposed construction would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

This determination, issued in accordance with Part 77, concerns the effect of the proposal on the safe and efficient use of the navigable airspace by aircraft and does not relieve the sponsor of any compliance responsibilities relating to laws, ordinances, or regulations of any Federal, state, or local governmental bodies.

Determinations, which are issued in accordance with Part 77, do not supersede or override any state, county, or local laws, aviation easements, or ordinances, or local zoning maximum heights.

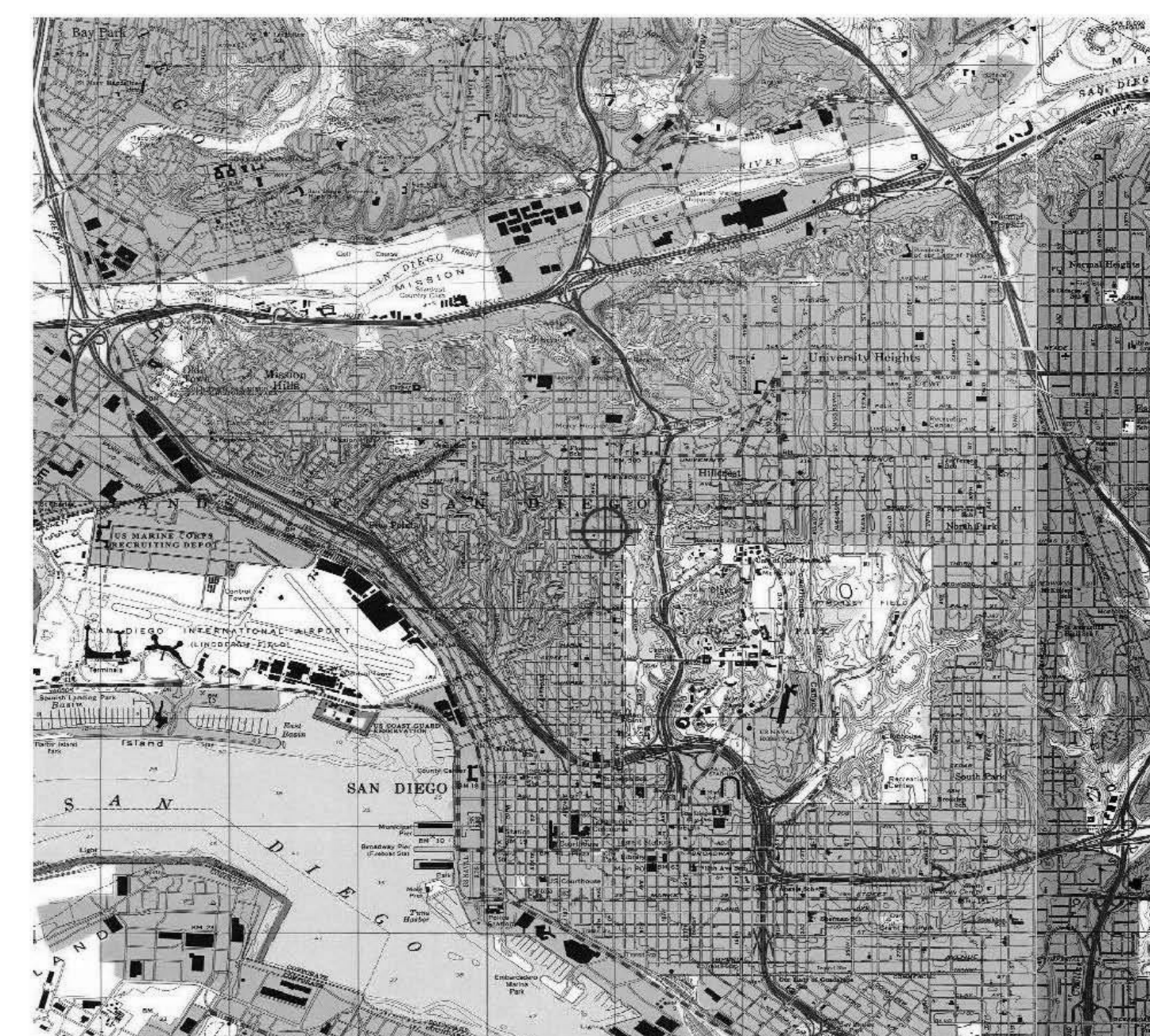
Page 5 of 8

Case Description for ASN 2015-AWP-5825-OE

6 story building with 118 apartment units, at grade and below grade parking.

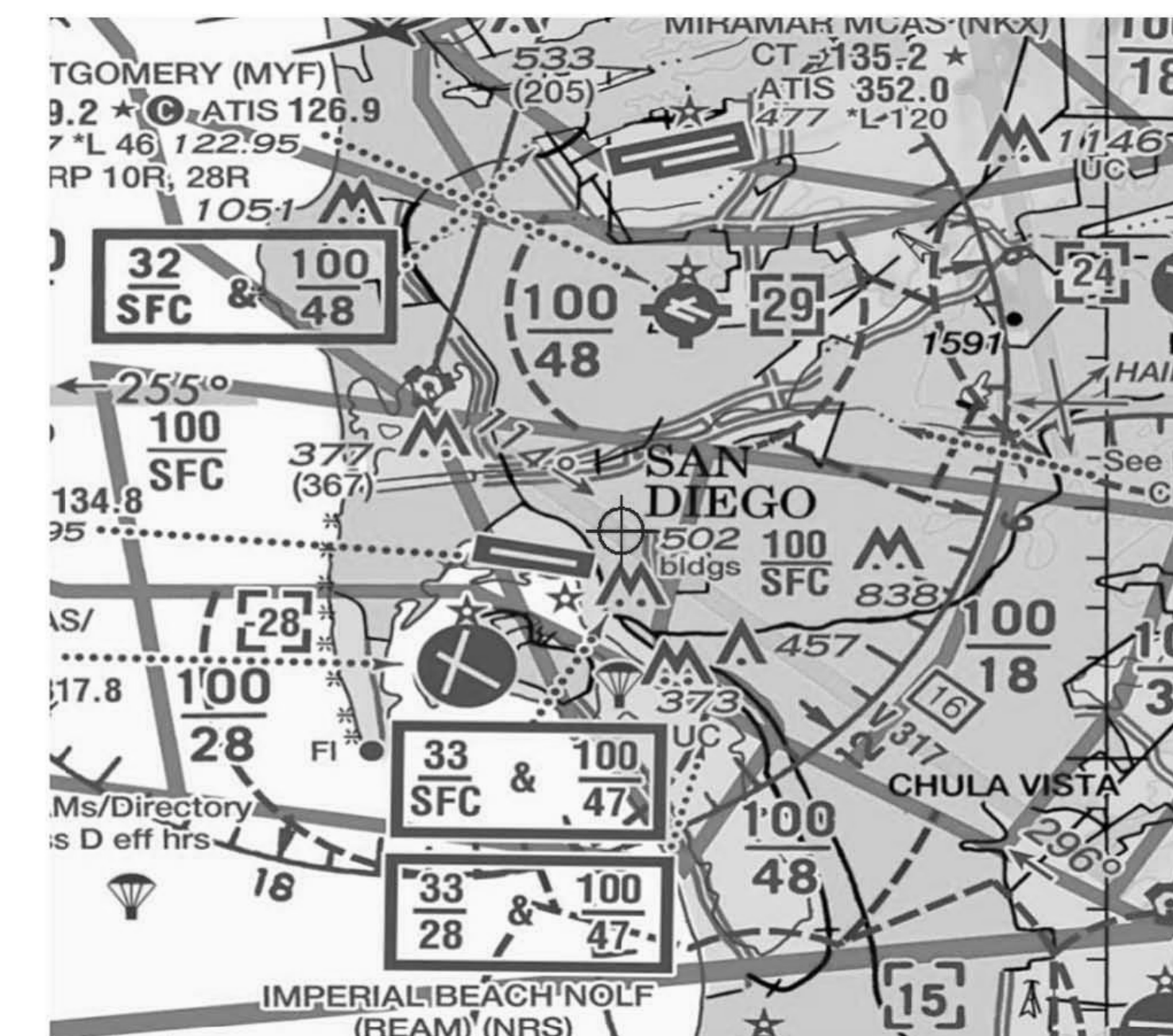
Page 6 of 8

TOPO Map for ASN 2015-AWP-5825-OE



Page 7 of 8

Sectional Map for ASN 2015-AWP-5825-OE



Page 8 of 8

10/20/2016 SITE DEVELOPMENT PERMIT SUBMITTAL ISSUES:

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO: 5548-00
FILE NAME: WRITE CENTRAL FILE PATH HERE (E.G. P:\5548\5548\Central\5548-00-central.rvt)
DRAWN BY: Author CHECKED BY: Checker
PLOT DATE: 10/19/2015 12:58:47 PM
TITLE:

FAA DETERMINATION

DRAWING NO:

T0.4
SHEET 04 OF 37

STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE
SAN DIEGO CA 92103

carrierjohnson + CULTURE
architecture + environments + brand strategy + graphics

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Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
2601 Mencham Boulevard
Fort Worth, TX 76193

Aeronautical Study No.
2015-AWP-5826-OE

Issued Date: 06/05/2015

Diann Casey
Danube Properties
2055 Third Avenue
San Diego, CA 92101

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Strauss Fifth Avenue
Location: San Diego, CA
Latitude: 32-44-32.39N NAD 83
Longitude: 117-09-38.66W
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85 feet above ground level (AGL)
381 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

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- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

Any height exceeding 85 feet above ground level (381 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.

This determination expires on 12/05/2016 unless:

Page 1 of 8

area associated with VFR Traffic Pattern operations at SAN. Aircraft at normal Traffic Pattern altitudes and standard rates of descent over this significantly rising natural terrain have reasonable clearance above this structure.

The proposal would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

The cumulative impact of the proposed structure, when combined with other existing structures is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned civilian public-use or military airport.

Therefore, it is determined that the proposed construction would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

This determination, issued in accordance with Part 77, concerns the effect of the proposal on the safe and efficient use of the navigable airspace by aircraft and does not relieve the sponsor of any compliance responsibilities relating to laws, ordinances, or regulations of any Federal, state, or local governmental bodies.

Determinations, which are issued in accordance with Part 77, do not supersede or override any state, county, or local laws, aviation easements, or ordinances, or local zoning maximum heights.

Page 5 of 8

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before July 05, 2015. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager, Airspace Regulations & ATC Procedures Group, Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591.

This determination becomes final on July 15, 2015 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Regulations & ATC Procedures Group via telephone -- 202-267-8783 - or facsimile 202-267-9328.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

Page 2 of 8

Case Description for ASN 2015-AWP-5826-OE

6 story 118 apartment units with at grade and below grade parking.

Page 6 of 8

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Karen McDonald, at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-5826-OE.

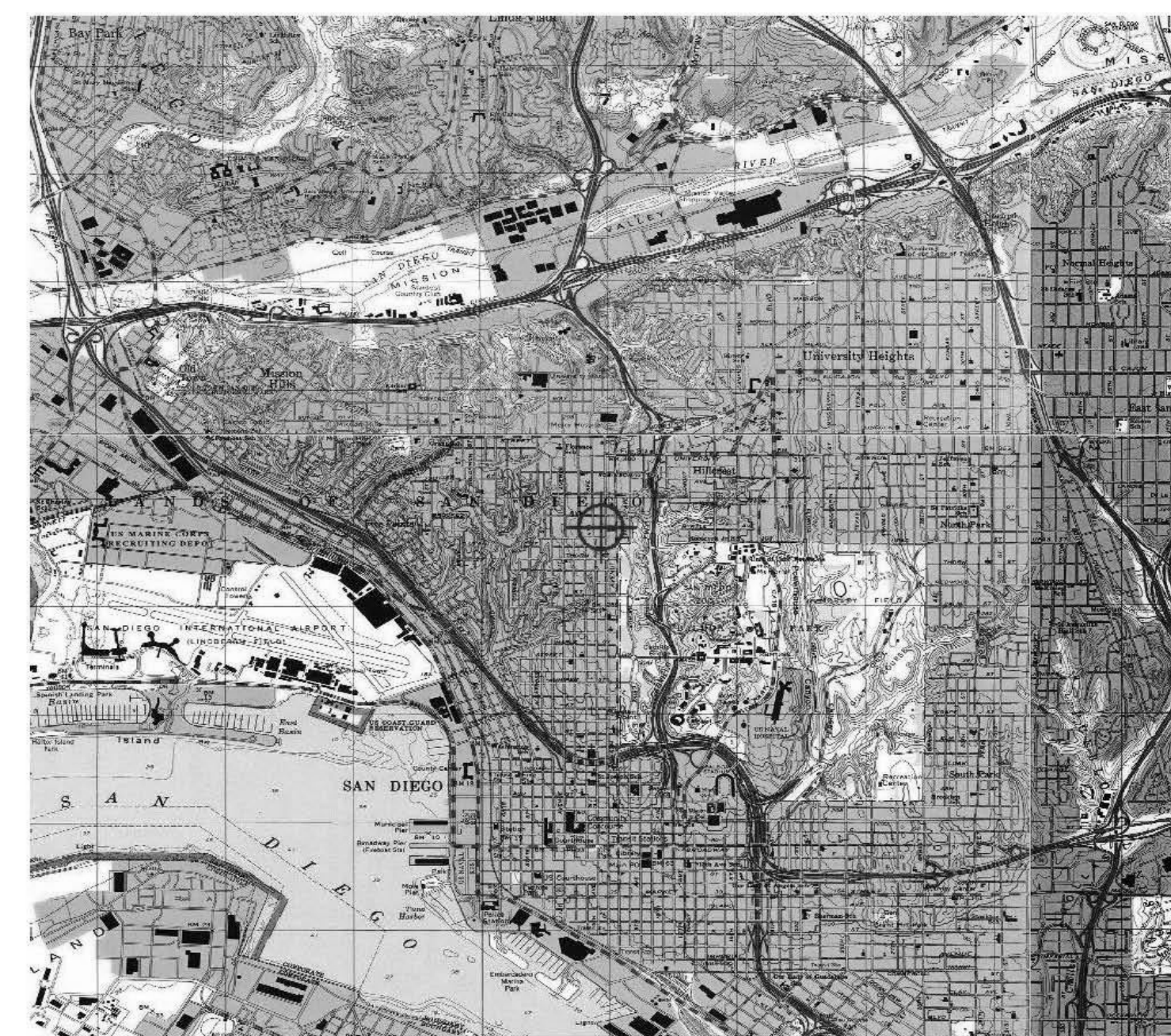
Signature Control No: 252146290-254251174
Mike Hevey
Manager, Obstruction Evaluation Group

(DNH)

Attachment(s)
Additional Information
Case Description
Map(s)

Page 3 of 8

TOPO Map for ASN 2015-AWP-5826-OE



Page 7 of 8

Additional information for ASN 2015-AWP-5826-OE

The proposal, submitted by Danube Properties, will construct a 6-story 85-foot above ground level (agl) residential structure (Strauss Fifth Avenue) at Walnut and 5th Avenues, on significantly rising natural terrain in San Diego, California. The site is approximately two streets west of the western boundary of Balboa Park. This site point is located approximately 1.56 nautical miles (NM) northeast of the San Diego-Lindbergh Field (SAN) airport reference point. The SAN Field Elevation (FE) is 16 feet above mean sea level (amsl). SAN is the closest civilian public-use landing area. The site elevation of this project point is 296 feet amsl.

Viewed on a satellite map, this area is saturated with single and multi-family residential structures of similar height, and is potentially designated for further redevelopment growth of this type of structure by the City of San Diego.

The structure height exceeds the obstruction standards of Title 14 Code of Federal Regulations (CFR) Part 77 as follows:

Section 77.19(a) by 215 feet, the entire structure height above the ground because of the significantly rising site terrain - a height exceeding the SAN Horizontal Surface.

Details of the proposal were not circularized for public aeronautical comment because internal FAA evaluation finds that the adverse effect of this structure is known. There would be no derogation of the navigable airspace overlying the site. Existing obstacles and terrain control the development of future approach and departure instrument Terminal Procedures at SAN. Therefore, no further attempt to negotiate the structure to a lower height was considered necessary. This does not affect the right to petition for review determinations regarding structures which exceed the subject obstruction standards.

AERONAUTICAL STUDY FOR POSSIBLE EFFECT UPON THE OPERATION OF AN AIR NAVIGATION AID:

- None.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.

- The proposal would have no effect on any existing or proposed IFR en route routes, operations, or procedures.

- The proposal would have no effect on any existing or proposed IFR minimum flight altitudes.

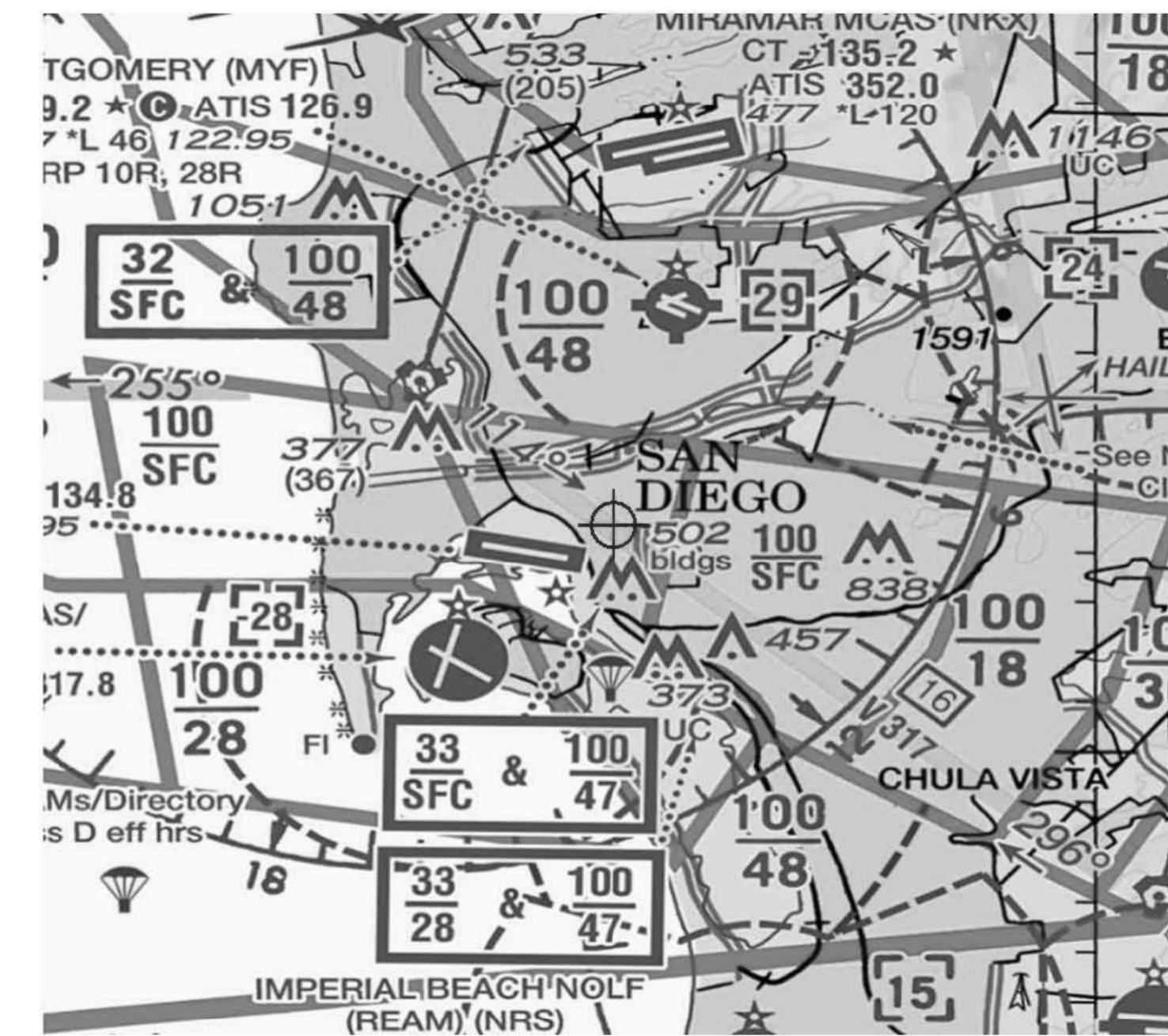
AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.

- The proposal would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports, including SAN. The proposal does not penetrate the maneuvering

Page 4 of 8

Sectional Map for ASN 2015-AWP-5826-OE



Page 8 of 8

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architecture + environments + brand strategy + graphics

STRAUSS FIFTH AVENUE
3534 FIFTH AVENUE
SAN DIEGO CA 92103

10.20.2016 SITE DEVELOPMENT
PERMIT SUBMITTAL
ISSUES:

PRELIMINARY NOT
FOR CONSTRUCTION

PROJECT NO:
5548.00
FILE NAME:
WRITE CENTRAL FILE PATH HERE
(E.G. P:\5548\5548\Central\5548-00-central.rvt)
DRAWN BY: CHECKED BY:
Author Checker
PLOT DATE:
10/19/2015 12:58:49 PM
TITLE:

FAA
DETERMINATION

DRAWING NO:

T0.5
SHEET 05 OF 38

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, CARRIER, JOHNSON + CULTURE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN, AND IN CONNECTION WITH THIS PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CARRIER, JOHNSON + CULTURE. FILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT A PUBLICATION OF SAME. NO COPYING, REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CARRIER, JOHNSON + CULTURE.



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
2601 Mencham Boulevard
Fort Worth, TX 76193

Aeronautical Study No.
2015-AWP-5827-OE

Issued Date: 06/05/2015

Diana Casey
Danube Properties
2055 Third Avenue
San Diego, CA 92101

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Strauss Fifth Avenue
Location: San Diego, CA
Latitude: 32-44-33.38N NAD 83
Longitude: 117-09-38.67W
Heights: 293 feet site elevation (SE)
85 feet above ground level (AGL)
378 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is marked/lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, red lights - Chapters 4,5(ReD),&12.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

Any height exceeding 85 feet above ground level (378 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.

This determination expires on 12/05/2016 unless:

Page 1 of 8

area associated with VFR Traffic Pattern operations at SAN. Aircraft at normal Traffic Pattern altitudes and standard rates of descent over this significantly rising natural terrain have reasonable clearance above this structure.

The proposal would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

The cumulative impact of the proposed structure, when combined with other existing structures is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned civilian public-use or military airport.

Therefore, it is determined that the proposed construction would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

This determination, issued in accordance with Part 77, concerns the effect of the proposal on the safe and efficient use of the navigable airspace by aircraft and does not relieve the sponsor of any compliance responsibilities relating to laws, ordinances, or regulations of any Federal, state, or local governmental bodies.

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Page 5 of 8

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
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This determination is subject to review if an interested party files a petition that is received by the FAA on or before July 05, 2015. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager, Airspace Regulations & ATC Procedures Group, Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591.

This determination becomes final on July 15, 2015 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Regulations & ATC Procedures Group via telephone -- 202-267-8783 - or facsimile 202-267-9328.

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This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

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This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules, the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

Page 2 of 8

Case Description for ASN 2015-AWP-5827-OE

118 apartment units with at grade and below grade parking

Page 6 of 8

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Karen McDonald, at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-5827-OE.

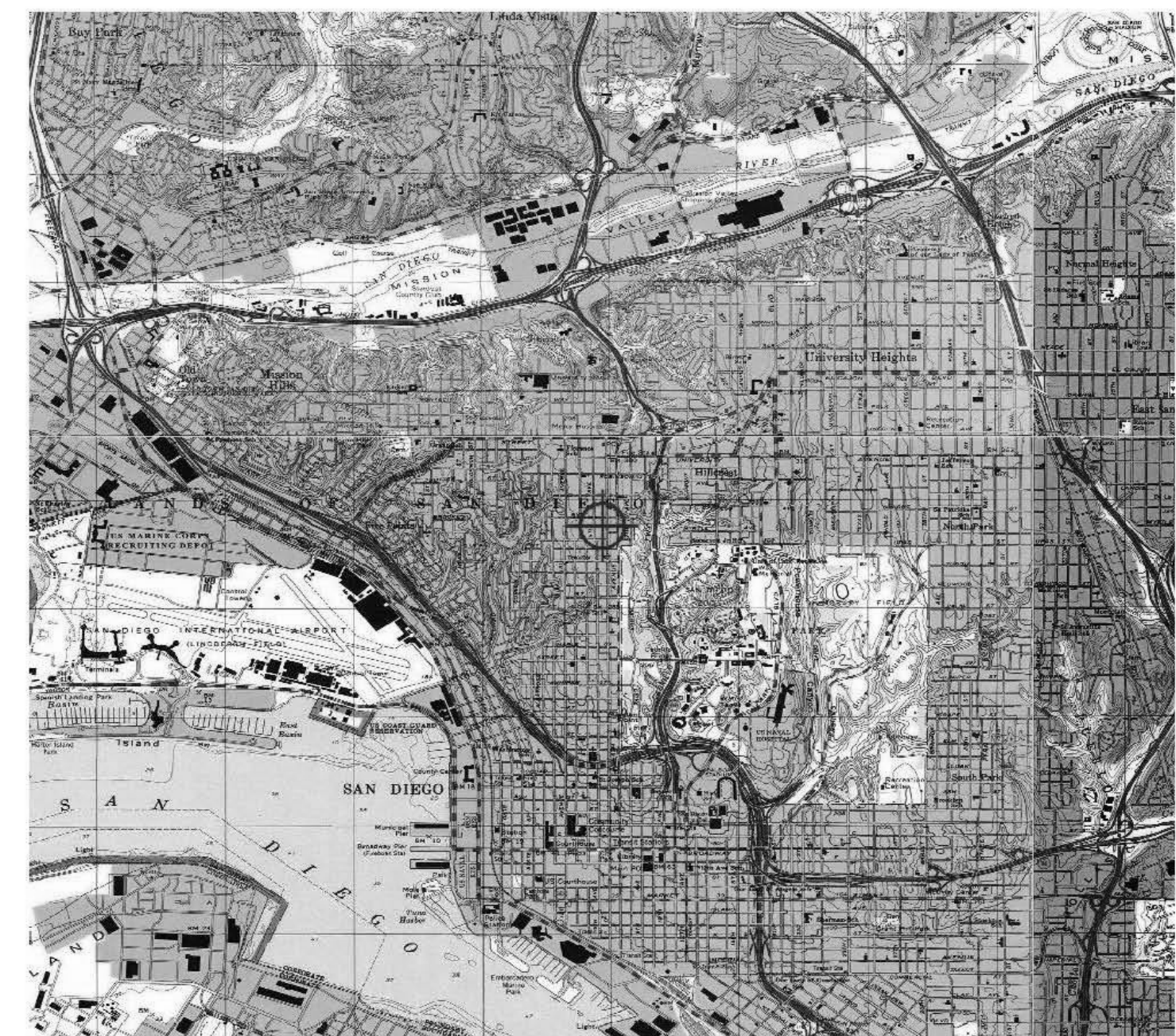
Signature Control No: 252146587-254251325
Mike Hehvey
Manager, Obstruction Evaluation Group

(DNH)

Attachment(s)
Additional Information
Case Description
Map(s)

Page 3 of 8

TOPO Map for ASN 2015-AWP-5827-OE



Page 7 of 8

Additional information for ASN 2015-AWP-5827-OE

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Viewed on a satellite map, this area is saturated with single and multi-family residential structures of similar height, and is potentially designated for further redevelopment growth of this type of structure by the City of San Diego.

The structure height exceeds the obstruction standards of Title 14 Code of Federal Regulations (CFR) Part 77 as follows:

Section 77.19(a) by 212 feet, the entire structure height above the ground because of the significantly rising site terrain - a height exceeding the SAN Horizontal Surface.

Details of the proposal were not circularized for public aeronautical comment because internal FAA evaluation finds that the adverse effect of this structure is known. There would be no derogation of the navigable airspace overlying the site. Existing obstacles and terrain control the development of future approach and departure instrument Terminal Procedures at SAN. Therefore, no further attempt to negotiate the structure to a lower height was considered necessary. This does not affect the right to petition for review determinations regarding structures which exceed the subject obstruction standards.

AERONAUTICAL STUDY FOR POSSIBLE EFFECT UPON THE OPERATION OF AN AIR NAVIGATION AID:

- None.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.

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- The proposal would have no effect on any existing or proposed IFR minimum flight altitudes.

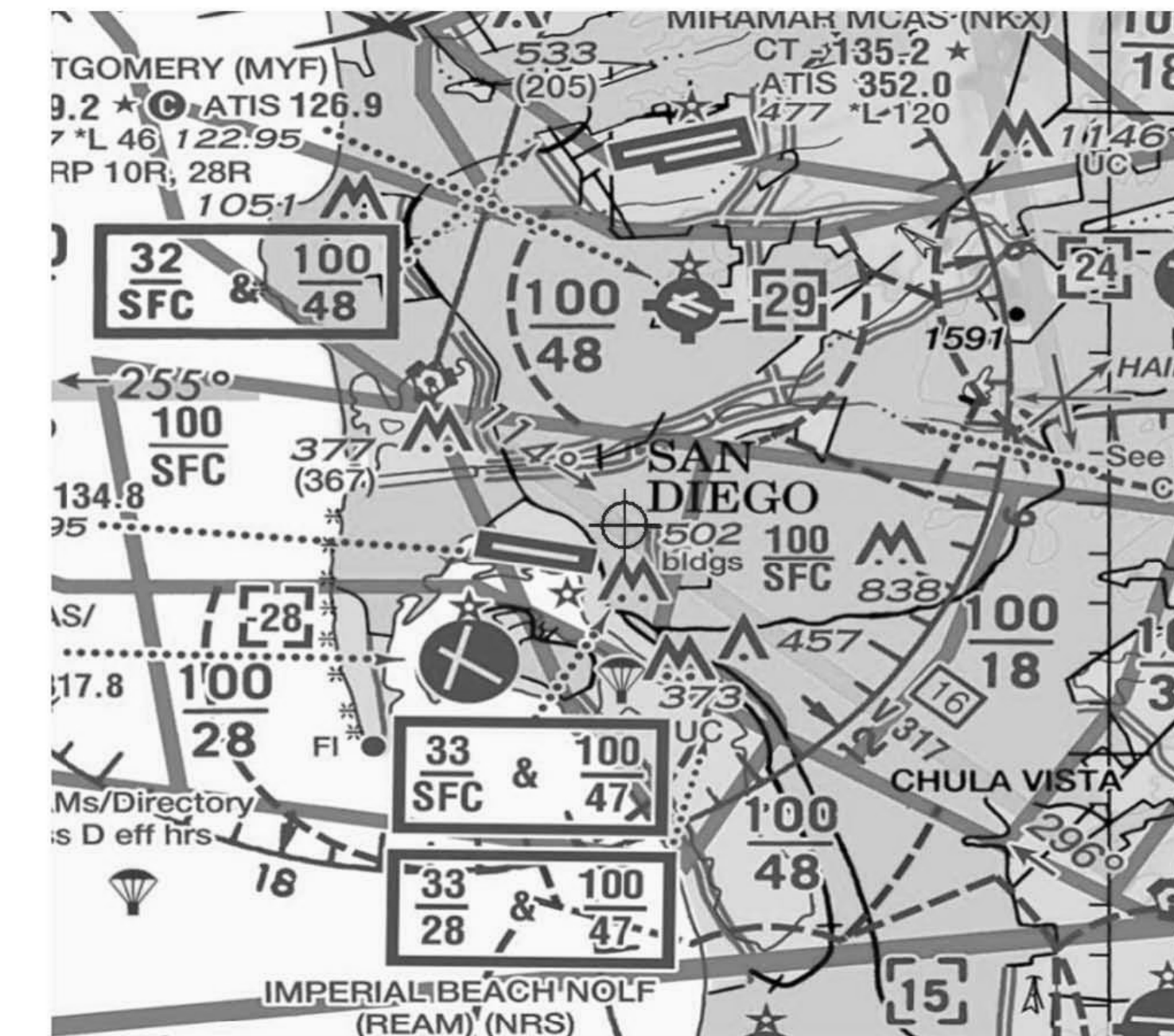
AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.

- The proposal would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports, including SAN. The proposal does not penetrate the maneuvering

Page 4 of 8

Sectional Map for ASN 2015-AWP-5827-OE



Page 8 of 8

10/20/2015 SITE DEVELOPMENT PERMIT SUBMITTAL ISSUES:

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO: 5548-00
FILE NAME: WRITE CENTRAL FILE PATH HERE (E.G. P:\5548\5548\Central\5548-00-central.rvt)
DRAWN BY: Author CHECKED BY: Checker
PLOT DATE: 10/19/2015 12:58:50 PM
TITLE:

FAA DETERMINATION

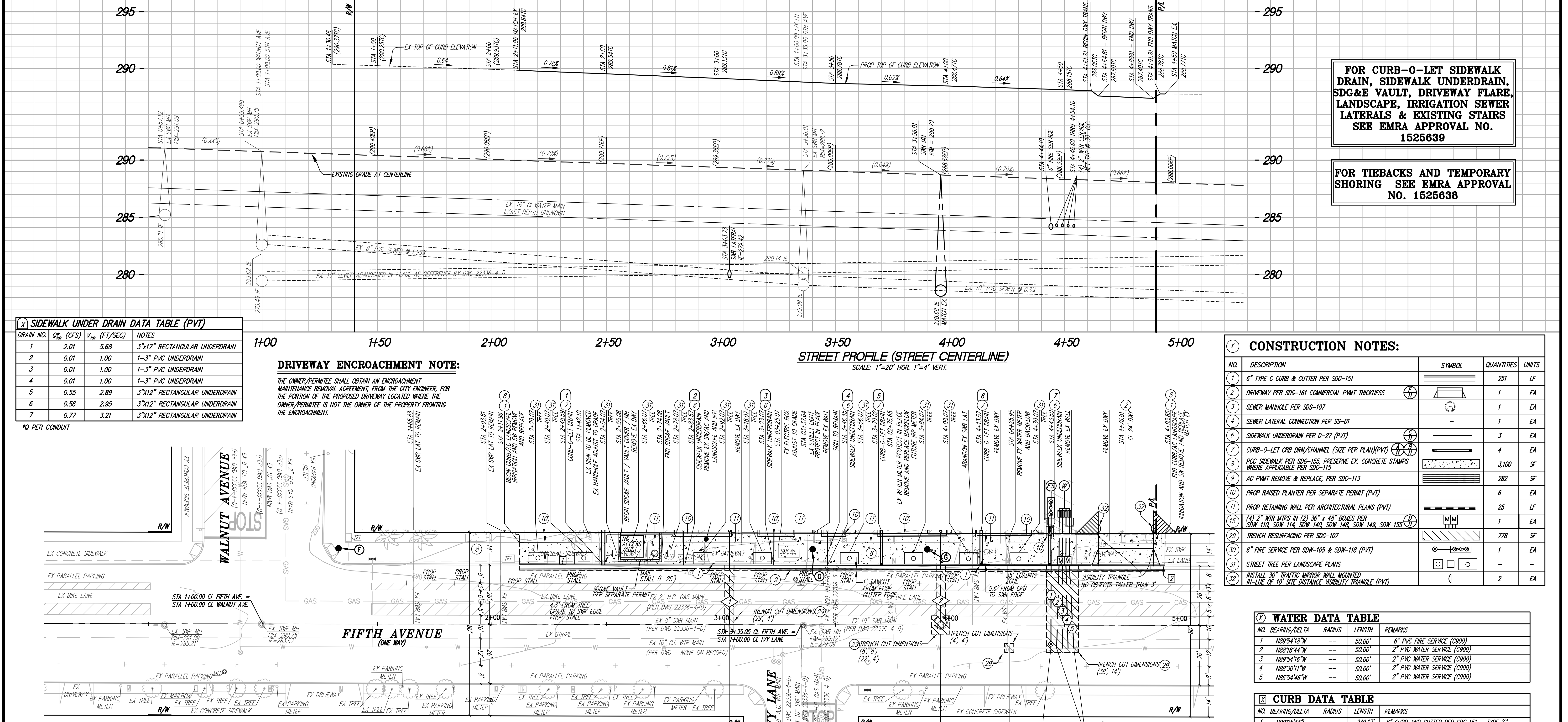
DRAWING NO:

T0.6 SHEET 06 OF 37

carrierjohnson + CULTURE
architecture + environments + brand strategy + graphics

STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE
SAN DIEGO CA 92103



FOR CURB-0-LET SIDEWALK DRAIN, SIDEWALK UNDERDRAIN, SDG&E VAULT, DRIVEWAY FLARE, LANDSCAPE, IRRIGATION SEWER LATERALS & EXISTING STAIRS SEE EMRA APPROVAL NO. 1525639

FOR TIEBACKS AND TEMPORARY SHORING SEE EMRA APPROVAL NO. 1525638

2 SIDEWALK UNDER DRAIN DATA TABLE (PVT)

DRAIN NO.	Q _{max} (CFS)	V _{max} (FT/SEC)	NOTES
1	2.01	5.68	3"x17" RECTANGULAR UNDERDRAIN
2	0.01	1.00	1-3" PVC UNDERDRAIN
3	0.01	1.00	1-3" PVC UNDERDRAIN
4	0.01	1.00	1-3" PVC UNDERDRAIN
5	0.55	2.89	3"x12" RECTANGULAR UNDERDRAIN
6	0.56	2.95	3"x12" RECTANGULAR UNDERDRAIN
7	0.77	3.21	3"x12" RECTANGULAR UNDERDRAIN

*0 PER CONDUIT

DRIVEWAY ENCRoACHMENT NOTE:
THE OWNER/PERMITTEE SHALL OBTAIN AN ENCRoACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PORTION OF THE PROPOSED DRIVEWAY LOCATED WHERE THE OWNER/PERMITTEE IS NOT THE OWNER OF THE PROPERTY FRONTING THE ENCRoACHMENT.

CONSTRUCTION NOTES:

NO.	DESCRIPTION	SYMBOL	QUANTITIES	UNITS
1	6" TYPE C CURB & GUTTER PER SDG-151		251	LF
2	DRIVEWAY PER SDG-161 COMMERCIAL PAINT THICKNESS		1	EA
3	SEWER MANHOLE PER SDG-107		1	EA
4	SEWER LATERAL CONNECTION PER SS-01		1	EA
5	SIDEWALK UNDERDRAIN PER D-27 (PVT)		3	EA
6	CURB-0-LET CRB DRN/CHANNEL (SIZE PER PLAN/PVT)		4	EA
7	6" PVC SIDEWALK PER SDG-165 PRESERVE EX. CONCRETE STAMPS WHERE APPLICABLE PER SDG-115		3,100	SF
8	AC PAINT REMOVE & REPLACE, PER SDG-113		282	SF
9	PROP RAISED PLANTER PER SEPARATE PERMIT (PVT)		6	EA
10	PROP RETAINING WALL PER ARCHITECTURAL PLANS (PVT)		25	LF
11	(4) 2" WTR METERS IN (2) 36" x 48" BOXES PER SDW-110, SDW-114, SDW-140, SDW-148, SDW-149, SDW-155 (1)		1	EA
12	TRENCH RESURFACING PER SDG-107		778	SF
13	6" FIRE SERVICE PER SDW-105 & SDW-118 (PVT)		1	EA
14	STREET TREE PER LANDSCAPE PLANS		-	-
15	INSTALL 30" TRAFFIC MIRROR WALL MOUNTED IN-LINE OF 10' ST. DISTANCE VISIBILITY TRIANGLE (PVT)		2	EA

1 WATER DATA TABLE

NO.	BEARING/Delta	RADIUS	LENGTH	REMARKS
1	N89°54'18"W	50.00'	50.00'	6" PVC FIRE SERVICE (C900)
2	N89°19'44"W	50.00'	50.00'	2" PVC WATER SERVICE (C900)
3	N89°54'18"W	50.00'	50.00'	2" PVC WATER SERVICE (C900)
4	N89°19'44"W	50.00'	50.00'	2" PVC WATER SERVICE (C900)
5	N89°54'18"W	50.00'	50.00'	2" PVC WATER SERVICE (C900)

2 CURB DATA TABLE

NO.	BEARING/Delta	RADIUS	LENGTH	REMARKS
1	N00°05'44"E	249.17'	6"	6" CURB AND GUTTER PER SDG 151 - TYPE 'C'
2	N00°05'44"E	1.36'	6"	6" CURB AND GUTTER PER SDG 151 - TYPE 'C'

3 SEWER LATERAL TABLE (PRIVATE)

NO.	INV. ELEV. @ MAN/WH	DROP TO MAIN (RISE)	LENGTH TO P.L.	SLOPE %	INV. ELEV. AT P.L.	SEWER STA	SIZE/TYPER
1	279.71(MAN)	1.20'	40.00'	2.0%	281.71	3+03.66	6" PVC SDW-35
2	278.62(MH)	N/A	38.00'	2.0%	279.18	3+49.61	6" PVC SDW-35

GRADING QUANTITIES:

ONSITE:
TOTAL AMOUNT OF SITE TO BE GRADED: 0.802 ACRES (34,936 SF)
PERCENT OF TOTAL SITE FINE GRADED: 100 %
AMOUNT OF SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0.0 ACRES
PERCENT OF TOTAL SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0.0 %

OFFSITE:
TOTAL AMOUNT OF OFF-SITE TO BE GRADED: 0.126 ACRES (5,500 SF)
GRADED AREA: 0.126 [ACRES] MAX CUT DEPTH: 0.2 FT
CUT QUANTITIES: 1 [CY] MAX CUT/FILL SLOPE RATIO: N/A
FILL QUANTITIES: 18 [CY] MAX FILL DEPTH: 0.4 FT
IMPORT QUANTITIES: 17 [CY]

GRADED AREA: 0.802 [ACRES] MAX CUT DEPTH: 45 FT
CUT QUANTITIES: 39,885 [CY] MAX CUT/FILL RATIO: 2:1 MAX
FILL QUANTITIES: 0 [CY] MAX FILL DEPTH: 0 FT
EXPORT QUANTITIES: 39,885 [CY] MAX FILL SLOPE RATIO: 2:1 MAX
RETAINING WALLS: 0 WALLS (MAX LENGTH 0 FT, MAX HEIGHT 0 FT)

THIS PROJECT PROPOSES TO EXPORT 39,885 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

STREET EXCAVATION TABLE

STREET NAME	STREET CLASSIFICATION (ARTERIAL, MAJOR COLLECTOR, RESIDENTIAL)	UTILITY TYPE (MET OR DRY)	LATERAL OR MAIN	STREET SERVICE AGE (YRS)	INFLUENCE AREA WIDTH (FT) PER MC 62.1208	TRENCH WIDTH (FT)	TRENCH LENGTH (FT)
5TH AVENUE	COLLECTOR	MET	LATERAL	< 1 YR	6.83	4	29
5TH AVENUE	COLLECTOR	MET	LATERAL	< 1 YR	6.83	14	38
5TH AVENUE	COLLECTOR	MET	LATERAL	< 1 YR	6.83	4	4
5TH AVENUE	COLLECTOR	MET	LATERAL	< 1 YR	6.83	4	22
5TH AVENUE	COLLECTOR	MET	LATERAL	< 1 YR	6.83	8	8

EXCAVATION MORATORIUM
FIFTH AVENUE FROM WALNUT AVENUE TO BROOKS AVENUE IS A MORATORIUM STREET AS DEFINED IN MUNICIPAL CODE SECTION 62.1203 FOR OVERLAY. THE MORATORIUM EXPIRES ON 03/16/2020.
THE EXCAVATOR SHALL RESURFACE THE LENGTH OF THE EXCAVATION PLUS THE EXCAVATION INFLUENCE AREA EXTENDING ON EACH END OF THE EXCAVATION. THE RESURFACE SHALL ALSO INCLUDE THE EXCAVATION AREA PLUS THE EXCAVATION INFLUENCE AREA ON EACH SIDE OF THE EXCAVATION AREA. INFLUENCE AREA = 82 IN

OMEGA ENGINEERING CONSULTANTS
4340 VIEWBRIDGE AVENUE, SUITE B
SAN DIEGO, CALIFORNIA 92131
PH: (858) 634-8620 FAX: (858) 634-8627

STREET PARKING DATA TABLE - 5TH AVE

EXISTING SPACES	PROPOSED SPACES
PARALLEL PARKING, STALLS NOT DELINEATED	10

1 + 1 = DENOTES STALL STRIPING (W=8', L=21')
*ALL PROPOSED STREET PARKING STALLS SHALL BE METERED.



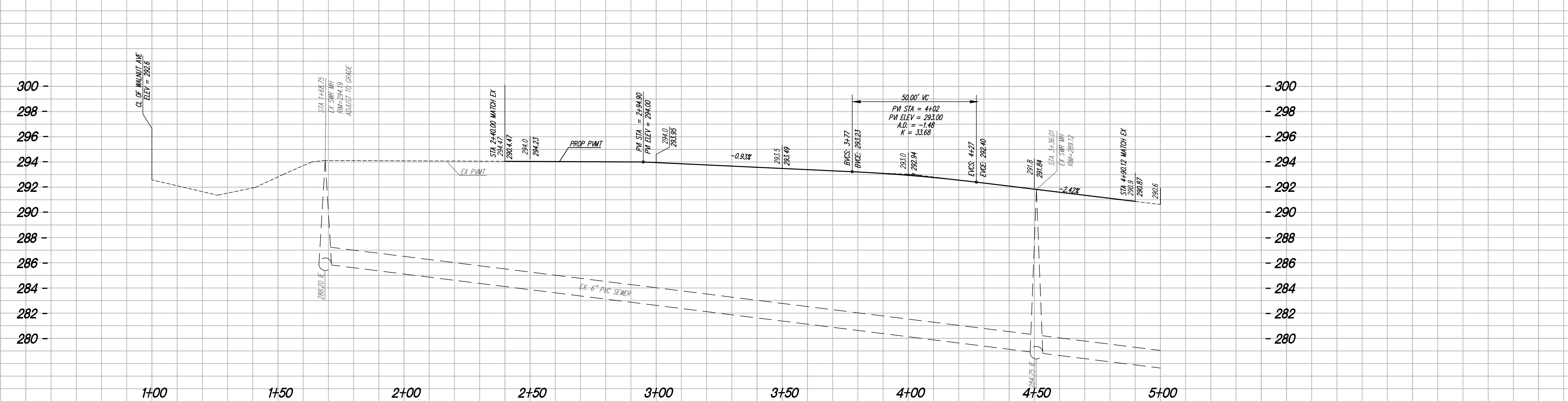
PRIVATE CONTRACT
IMPROVEMENT PLAN FOR:
FIFTH AVE. & WALNUT AVE.
LOT 11 THRU 17 OF BLOCK 3, MAP NO. 692

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 5 OF 30 SHEETS

FOR CITY ENGINEER: [] DATE: []
DESCRIPTION BY: [] APPROVED: [] DATE: []
ORIGINAL: [] DEC: []
AS-BUILTS: []
CONTRACTOR: [] DATE STARTED: []
INSPECTOR: [] DATE COMPLETED: []

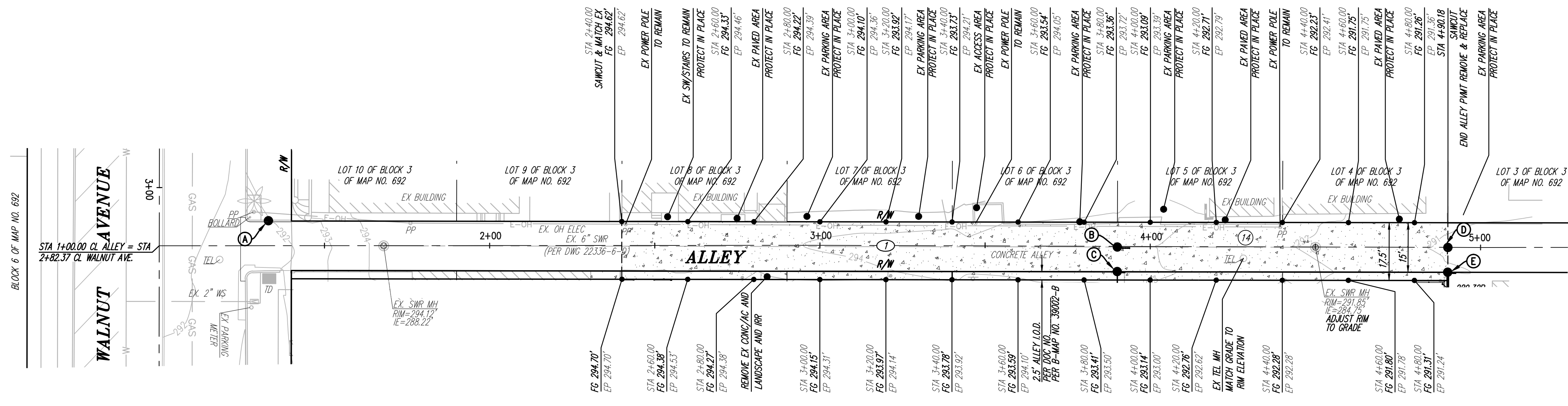
I.O. NO. 2402859
PROJECT NO. 621030
1850-6279
NAD83 COORDINATES
210-1719
LAMBERT COORDINATES
38764-5-D

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CARRIER JOHNSON + CULTURE. FILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT A PUBLICATION OR USE THEREOF. REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CARRIER JOHNSON + CULTURE.



STREET PROFILE (STREET CENTERLINE)
 SCALE: 1"=20' HOR. 1"=2' VERT.

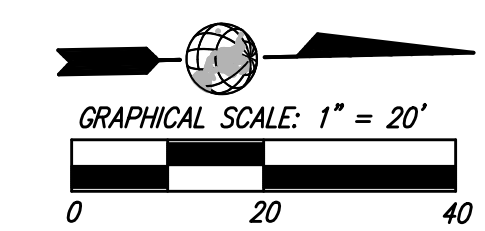
CENTERLINE DATA				
NO.	BEARING/Delta TA	RADIUS	LENGTH	REMARKS
1	N001147E	--	390.11'	CENTER LINE OF ALLEY



CONSTRUCTION NOTES:				
NO.	DESCRIPTION	SYMBOL	QUANTITIES	UNITS
14	PCC PMT PER G-21		3,750	SF

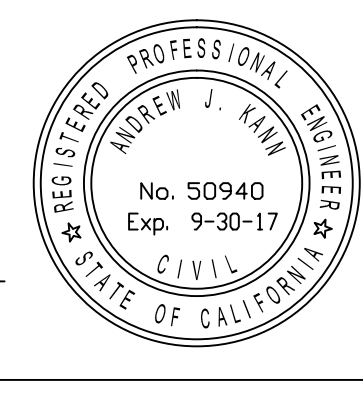
- MONUMENT NOTES**
- (A) FOUND LEAD & TACK AT 7.00' OFFSET.
 - (B) FOUND LEAD & DISC STAMPED "SAN DIEGO CITY ENGR" AT A 7.50' OFFSET.
 - (C) FOUND LEAD & DISC STAMPED "THE 913".
 - (D) FOUND LEAD & DISC STAMPED "SAN DIEGO CITY ENGR" AT A 7.50' OFFSET.
 - (E) FOUND LEAD & DISC STAMPED "S 6165".

CALL BEFORE YOU DIG
UNDERGROUND SERVICE ALERT
 SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @ 1-800-422-4133 TMO (2) WORKING DAYS BEFORE YOU DIG. WEB ADDRESS: WWW.DIGALERT.ORG



OMEGA ENGINEERING CONSULTANTS
 4340 VIEWBRIDGE AVENUE, SUITE B
 SAN DIEGO, CALIFORNIA 92123
 PH: (858) 634-8620 FAX: (858) 634-8627

ANDREW J. KANN, P.E. 50940
 MY REGISTRATION EXPIRES 9-30-17
 DATE _____



PRIVATE CONTRACT
 IMPROVEMENT PLAN FOR:
FIFTH AVE. & WALNUT AVE.
 LOT 11 THRU 17 OF BLOCK 3, MAP NO. 692

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 7 OF 30 SHEETS

I.O. NO. 24005859
 PROJECT NO. 423050

V.T.M. _____

FOR CITY ENGINEER	DATE			
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	DEC			

AS-BUILTS _____

CONTRACTOR _____ DATE STARTED _____
 INSPECTOR _____ DATE COMPLETED _____

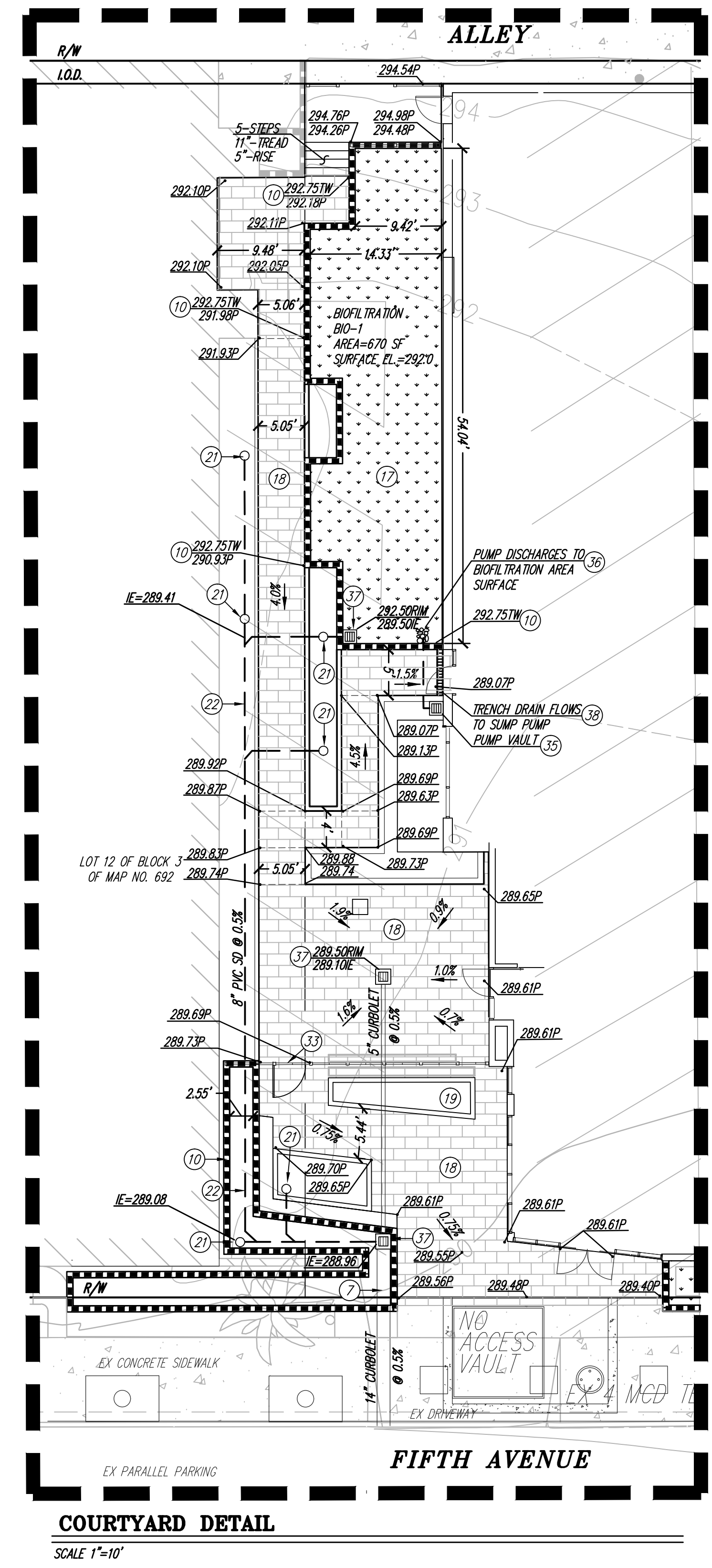
1850-6270
 NAD83 COORDINATES
 210-1719
 LAMBERT COORDINATES

38764-7-D

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL ISSUES:

PROJECT NO: 5548.00
 FILE NAME: F:\DMG\06040202 STN AND PLAN ALLEY DWS IMPROVEMENT LAYOUT.DWG
 LAYOUT BY: UHLEAU BY:

PLOT DATE: _____
 TITLE: _____



PRIVATE CONTRACT

GRADING PLAN FOR:
FIFTH AVE. & WALNUT AVE.
 LOT 11 THRU 17 OF BLOCK 3, MAP NO. 692

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 10 OF 30 SHEETS		I.O. NO. 24020892 PROJECT NO. 623032
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	DATE
ORIGINAL	DEC	
AS-BUILTS		
CONTRACTOR	DATE STARTED	38764-10-D
INSPECTOR	DATE COMPLETED	

STORM WATER NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0009000, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. 19-2013-0001, OR SUBSEQUENT ORDER, IN ACCORDANCE WITH ORDER NO. 2009-0009000, OR SUBSEQUENT ORDER. A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
- PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDID) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION I.I.C OF ORDER NO. 2009-0009000 AND A COPY SHALL BE SUBMITTED TO THE CITY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

BACKWATER NOTE:
 1ST FLOOR SEWER SHALL BE PROTECTED BY BACKWATER DEVICE. UPSTREAM MANHOLE RIM EL=290.75. SEE SEPARATE PLUMBING CONSULTANT PLAN FOR BACKWATER DEVICE.

TOPOGRAPHY SOURCE

FIELD SURVEY PERFORMED BY OMEGA LAND SURVEYING, INC.
 4340 VIEWRIDGE AVE. SAN DIEGO, CA 92123
 TRADITIONAL TOTAL STATION
 MARCH 2ND THROUGH APRIL 16, 2015

BENCHMARK

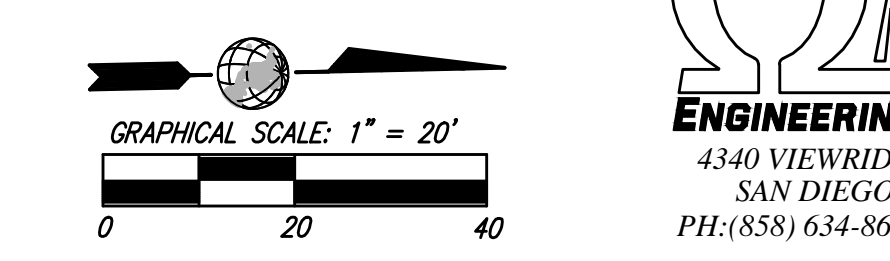
DESCRIPTION: BRASS PLUG IN CURB RETURN
 LOCATION: NORTHWEST CORNER OF 5TH AVENUE AND THORN STREET
 ELEVATION: 287.913
 SOURCE: CITY OF SAN DIEGO VERTICAL CONTROL CHECK

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS BROOKES AVENUE AS SHOWN ON PM 19452, BEING N 89°54'14" W

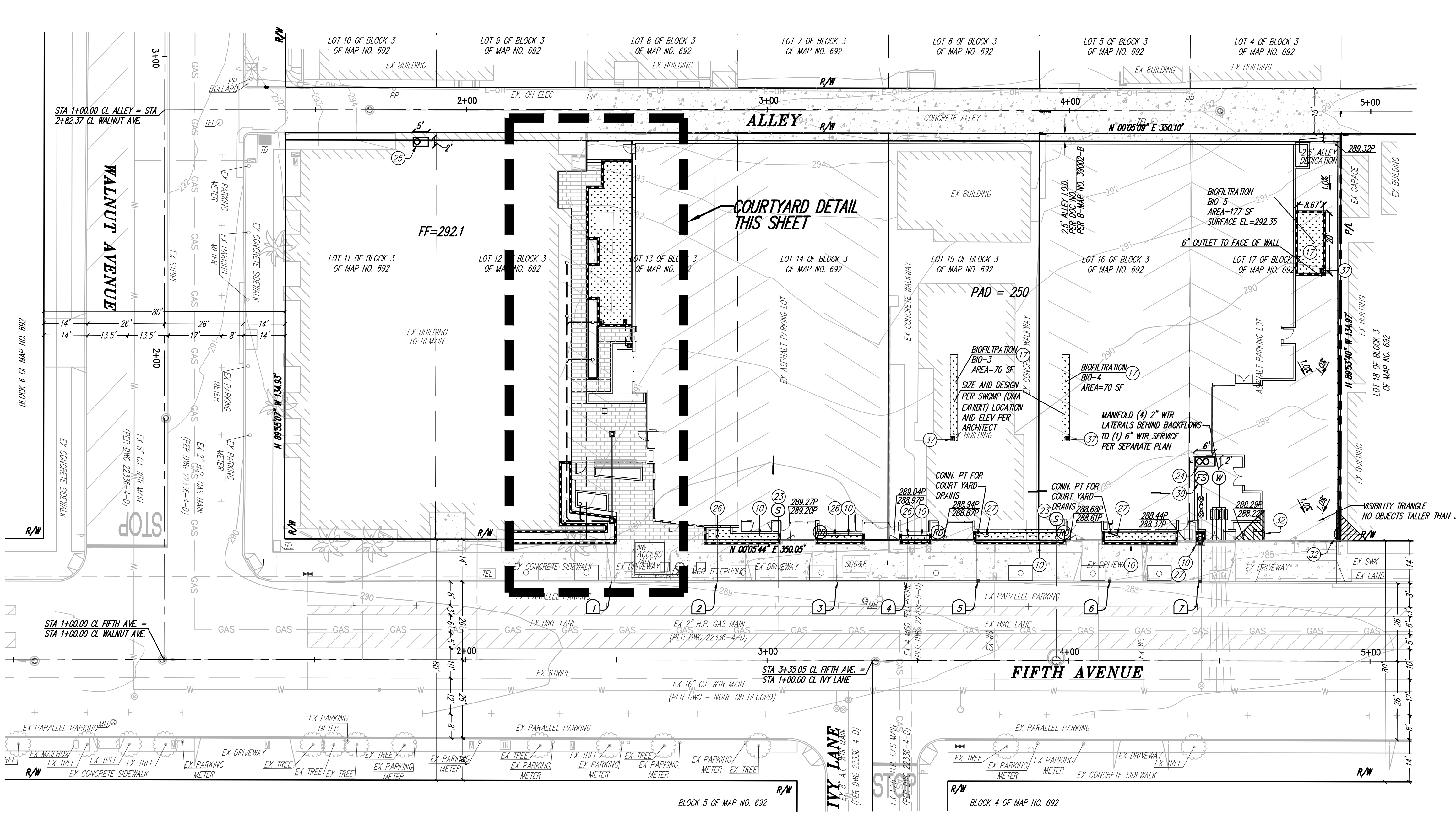
SEWER FLOW

FIXTURE UNITS= 1,619
 FLOW RATE= 290 GMP WASTE WATER



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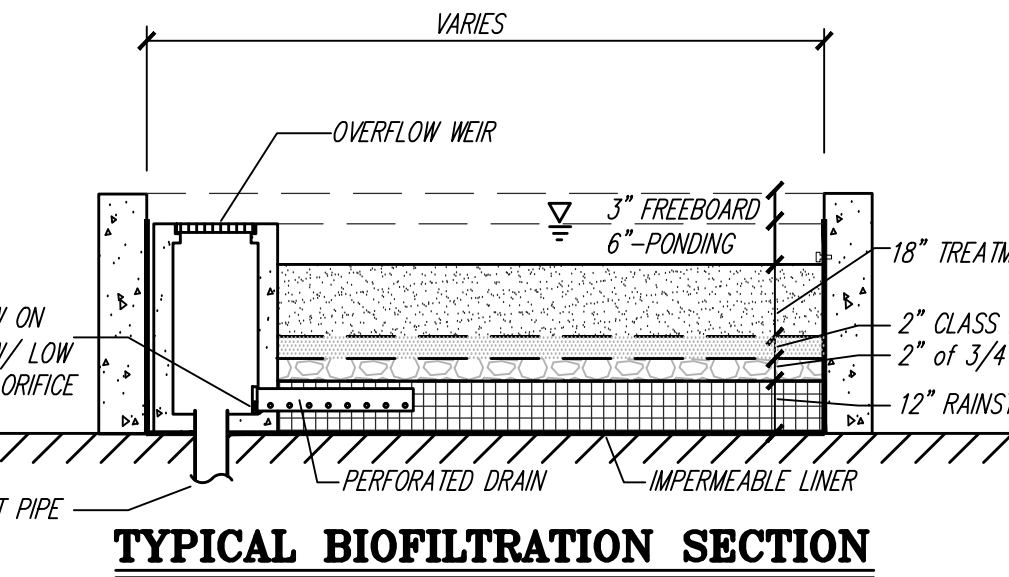
ANDREW J. KANN, RCE 50940
 MY REGISTRATION EXPIRES 9-30-17



2) SIDEWALK UNDER DRAIN DATA TABLE (PVT)

DRAIN NO.	Q _u (CFS)	V _u (FT/SEC)	NOTES
1	2.01	5.69	3"x17" RECTANGULAR UNDERDRAIN
2	0.01	1.00	1-3" PVC UNDERDRAIN
3	0.01	1.00	1-3" PVC UNDERDRAIN
4	0.01	1.00	1-3" PVC UNDERDRAIN
5	0.55	2.89	3"x12" RECTANGULAR UNDERDRAIN
6	0.56	2.95	3"x12" RECTANGULAR UNDERDRAIN
7	0.77	3.21	3"x12" RECTANGULAR UNDERDRAIN

*0 PER CONDUIT



UNDERGROUND SERVICE ALERT
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1) CONSTRUCTION NOTES:

NO.	DESCRIPTION	SYMBOL	QUANTITIES	UNITS
1	CURB-O-LET ORB DRN/CHANNEL (SIZE PER PLAN)(PVT)	⊕	4	EA
10	PROP RAISED PLANTER PER SEPARATE PERMIT (PVT)	⊕	6	EA
17	PROPOSED BIOTILTRATION BASIN	⊕	4	EA
18	PROP PERMEABLE PAVERS PER LANDSCAPE (PVT)	⊕	245	EA
19	PROP WATER FEATURE PER SEPARATE PERMIT (PVT)	⊕	1	EA
21	PROP AREA DRAIN (PVT)	⊕	-	EA
22	PROP PVC STORM DRAIN SIZE PER PLAN (PVT)	⊕	-	LF
23	PROP SWIR CLEANOUT PER S05-103 (PVT)	⊕	2	EA
24	CONTECH STORMFILTER W/ 1-18" CARTRIDGES (PVT)	⊕	1	EA
25	CONTECH STORMFILTER W/ 1-18" CARTRIDGES TO BE LOCATED IN EXISTING BUILDING BY ARCH (PVT)	⊕	1	EA
26	DRAIN IN PLANTER BOX (PVT)	⊕	-	EA
27	DRAIN / ROOF DRAIN IN PLANTER BOX (PVT)	⊕	-	EA
28	0" PCC CURB PER MODIFIED S00-150 (PVT)	⊕	94	LF
30	6" FIRE SERVICE PER S0W-105 & S0W-118 (PVT)	⊕	1	EA
32	INSTALL 30" TRAFFIC MIRROR WALL MOUNTED IN-LINE OF 10' SITE DISTANCE VISIBILITY TRIANGLE (PVT)	⊕	2	EA
33	GATE & FENCE PER ARCHITECTURAL PLANS (PVT)	⊕	-	-
35	SUMP PUMP	⊕	1	EA
36	RIP RAP PER S00-104 NO. 2 BACKING	⊕	1	EA
37	BROOKS BOX	⊕	4	EA
38	TRENCH DRAIN	⊕	1	EA

LANDSCAPE DEVELOPMENT NOTES

GENERAL NOTES:
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARD OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. THIS MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE ADJACENT IMPROVEMENTS SDMC 142.0403 (B)(5).

A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403 (B)(5). NOTE, IF THE MINIMUM DIMENSION IS NOT FEASIBLE, 40 SF OF STRUCTURAL SOIL SHALL BE INSTALLED FOR PROPOSED TREE.

LANDSCAPE DESIGN STATEMENT

THE INTENT OF THIS DESIGN IS TO DEVELOP A UNIFIED RESIDENTIAL DEVELOPMENT THROUGH THE USE OF APPROVED PLANT MATERIAL AND HARDSCAPE ELEMENTS. A STREET LEVEL SHARED OFFICE BUILDING COURTYARD WILL PROVIDE A PLACE TO REST & SIT FOR RESIDENTS AND EVERY DAY OFFICE USERS. PRIVATE SECURITY FENCE & GATES, LOW SEAT WALLS, SMALL GATHERING AREAS, AND A SUBTLE WATER FEATURE WILL SERVE AS A PEDESTRIAN CONNECTOR, AS WELL AS ESTABLISHING AN OUTDOOR COMMON ENTRY SPACE. PLANT MATERIAL WILL ENHANCE THE SPACE, PROVIDE SHADE AT STRATEGIC GATHERING AREAS, SCREEN FOR PRIVACY AND INTEGRATE INTO NEIGHBORHOOD. THE PODIUM LEVEL 2 WILL INCORPORATE A COMMON SPACE WITH SMALL GATHERING AREAS, PLANTING IN FREE-STANDING POTS, ENHANCED CONCRETE PAVING, A COMMON SPACE SUN DECK WITH SPA AND SCREENING AT PRIVATE PATIOS.

EXISTING VEGETATION

THE EXISTING LANDSCAPE AROUND THE EXISTING WEBSTER BUILDING WILL REMAIN UNLESS NOTED OTHERWISE.

LIGHTING NOTES

LOW VOLTAGE LANDSCAPE LIGHTING SHALL BE USED WITHIN THE COURTYARD & PODIUM LEVEL.

MAINTENANCE NOTES

MAINTENANCE SHALL BE PROVIDED BY OWNER/LESSEE FOR ALL NEW LANDSCAPE AS SHOWN ON AN ONGOING BASIS.

ALL LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD MATERIAL SHALL BE TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION NOTES

IRRIGATION SHALL BE PROVIDED TO ALL PLANTING AREAS AS SHOWN. ALL NEW STREET TREE AND RIGHT OF WAY / PARKWAY PLANTINGS SHALL BE RENOVATED OR NEW EQUIPMENT SHALL BE INSTALLED TO PROVIDE A UNIFORM WATERING SYSTEM.

IRRIGATION WORK SHALL CONFORM WITH THE SAN DIEGO MUNICIPAL CODE / LAND DEVELOPMENT CODE AND LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS.

THE FOLLOWING DESIGN FEATURES SHALL BE INCLUDED:

- AN APPROVED BACKFLOW PREVENTION DEVICE.
- AN AUTOMATIC CONTROLLER WITH WATER BUDGETING FEATURES.
- SEPARATED VALVES FOR DIFFERENT CONDITIONS AND MATERIALS.
- RAIN SHUT-OFF AND WATER CONSERVATION DEVICES.

ALL IRRIGATION SHALL BE METERED THROUGH THE OWNER'S METER.

THE IRRIGATION SYSTEM WILL BE DESIGNED FOR POTABLE WATER USE.

NOTE: SEE THIS SHEET FOR ESTIMATED WATER USE CALCULATIONS

LANDSCAPE CONCEPT NOTES

1. THE LANDSCAPE DESIGN WILL PROVIDE A LOW/MODERATE WATER USE PALETTE, SCREEN PARKING AND UTILITY AREAS AS MUCH AS POSSIBLE FROM SURROUNDING LAND USE, AND PROVIDE OUTDOOR AMENITY AREAS THROUGHOUT THE CAMPUS CORE.

2. ALL TREES WILL BE A MINIMUM OF 24" BOX SIZE OR LARGER AT INSTALLATION, UNLESS NOTED OTHERWISE.

3. ALL TREES AND SHRUBS SHALL BE ALLOWED TO TAKE ON THEIR NATURAL SIZE, SHAPE AND CHARACTER. IT IS THE INTENT OF THIS DESIGN TO MINIMIZE THE NEED FOR PRUNING AND EXTENSIVE MAINTENANCE.

5. ALL REQUIRED VEGETATION SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING DISTURBANCE.

6. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

7. TREE ROOT BARRIERS AND/OR STRUCTURAL SOIL SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

8. ALL NEW LANDSCAPE SHALL CONFORM TO CITY OF SAN DIEGO DEVELOPMENT AND DISTRICT LANDSCAPE REQUIREMENTS AND LAND DEVELOPMENT CODE LANDSCAPE REQUIREMENTS AS REFERENCED THEREIN.

MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNALS / STOP SIGN	-	20 FEET
UNDERGROUND UTILITY LINES	-	5 FEET
ABOVE GROUND UTILITY STRUCTURE	-	10 FEET
DRIVEWAY (ENTRIES)	-	10 FEET
INTERSECTIONS	-	25 FEET
SEWER MAINS & LATERAL	-	10 FEET

IRRIGATION WATER DEMAND

PROJECT: STRAUSS FIFTH AVENUE (15-009.000)
BY: WYAC DATE: 08/17/2016

MAXIMUM APPLIED WATER ALLOWANCE

$MAWA = (Eto) \times (0.62) \times (0.55) \times LA$

MAWA	MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)
Eto	REFERENCE EVAPOTRANSPIRATION PER YEAR, CIMIS = 47
0.55	ET ADJUSTMENT FACTOR FOR PLANT FACTOR & IRRIGATION EFFICIENCY (ETAF)
LA	LANDSCAPE AREA (SQUARE FEET)
0.62	CONVERSION FACTOR (GALLONS PER SQUARE FOOT)

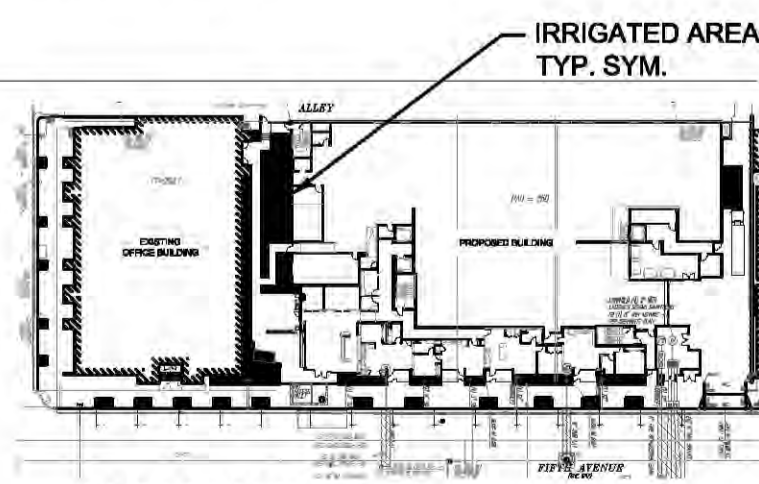
MAXIMUM APPLIED WATER ALLOWANCE

$MAWA = (Eto) \times (0.62) \times (0.55) \times LA$
 $MAWA = (47) \times (0.62) \times (0.55) \times (4,217)$
 $MAWA = 67,586$
 67,586 GALLONS / YEAR

ESTIMATED TOTAL WATER USE

$ETWU = (Eto) \times (0.62) \times (PF \times HA / IE)$

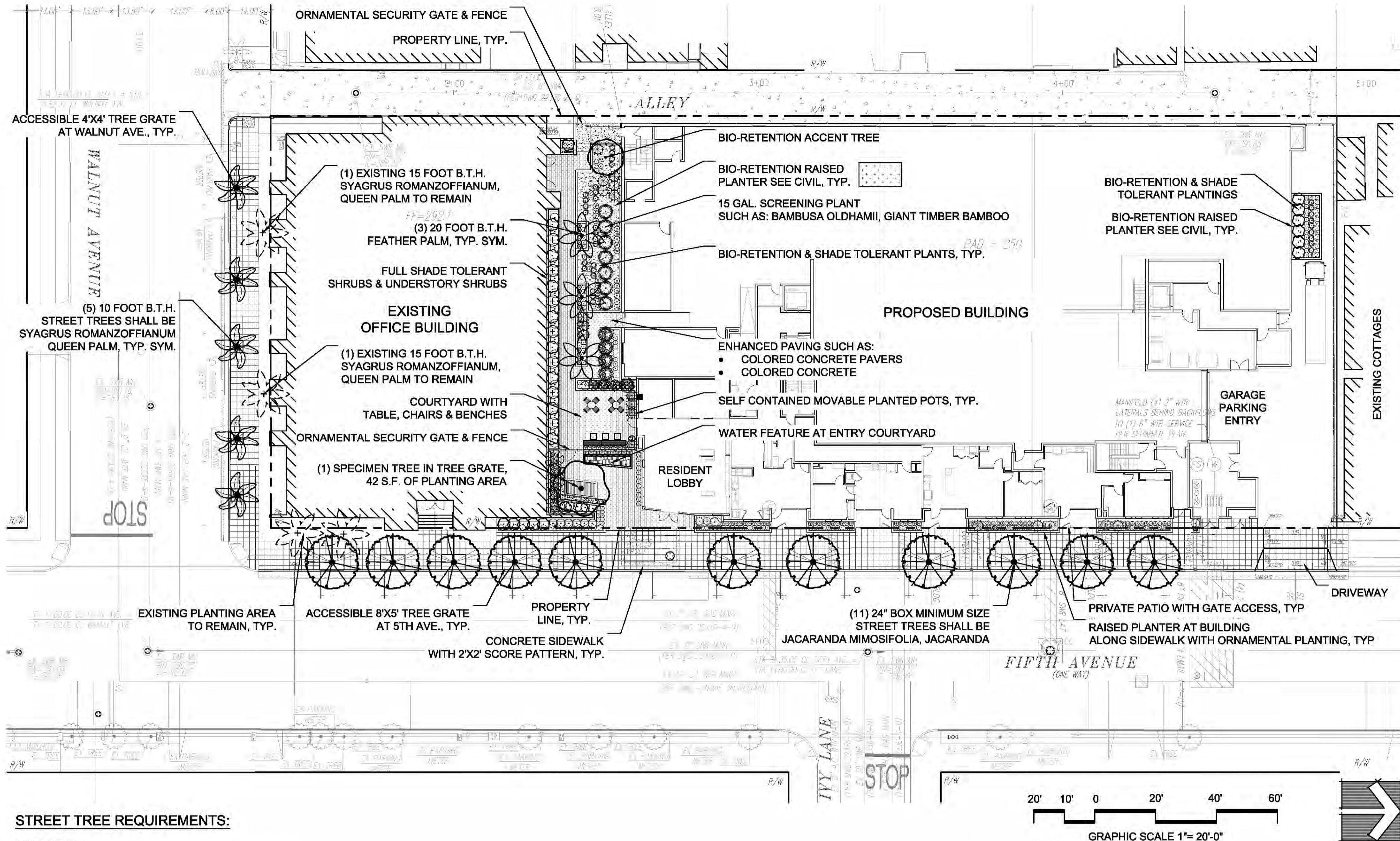
ETWU	ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)
Eto	REFERENCE EVAPOTRANSPIRATION PER YEAR, CIMIS = 47
PF	CONVERSION FACTOR (GALLONS PER SQUARE FOOT) PLANT FACTOR FROM WUCOLS
1.0	LAWN
0.8	HIGH WATER USE PLANTS
0.4	AVERAGE WATER USE PLANTS
0.3	LOW WATER USE PLANTS
HA	HYDROZONE AREAS
IE	IRRIGATION EFFICIENCY
0.80	DRIP IRRIGATION
0.75	MP ROTATOR
0.60	CONVENTIONAL SPRAY



HYDROZONE
2,340 S.F. OF IRRIGATED PLANTING AREA AT STREET LEVEL
DRIP IRRIGATION INCLUDING:
• STREET TREES
• RAISED PLANTERS

ESTIMATED TOTAL WATER USE

$ETWU = (Eto) \times (0.62) \times (PF \times LA / IE)$
 $ETWU = (47) \times (0.62) \times (4 \times 4,217 / .81)$
 $ETWU = 60,683$
 60,683 GALLONS / YEAR



STREET TREE REQUIREMENTS:

5TH AVENUE
1 TREE EVERY 30 FEET OF LINEAR STREET FRONTAGE
TOTAL STREET 5TH AVE. FRONTAGE = 350 LF, THEREFORE 12 STREET TREES ARE REQUIRED
NOTE: DUE TO EXISTING UTILITY CONFLICTS AND NEW UTILITY CONFLICTS ONLY 11 TREES CAN BE PROVIDED (SEE PLAN)

WALNUT AVENUE
DESIGN CONCEPT IS TO MAINTAIN THE EXISTING PALM TREE SCHEME. THEREFORE, PER CITY COMMENT CYCLE 6, 7 PALM TREES ARE REQUIRED ALONG THE WALNUT AVENUE FACADE. (SEE PLAN)

LANDSCAPE CALCULATIONS

STREET YARD

* PROJECT EXERCISES A ZERO LOT LINE WITH NO STREET YARD REQUIREMENT. HOWEVER, PROJECT WILL PROVIDE PLANTERS OVER STRUCTURE TO SOFTEN THE ENTRIES ON THE STREET LEVEL AND NEW STREET TREES PROVIDED UNDER PTS 423050 WILL HELP BREAK UP THE MASSING OF THE EAST FACADE*

REMAINING YARD / COMMON AREA OPEN SPACE

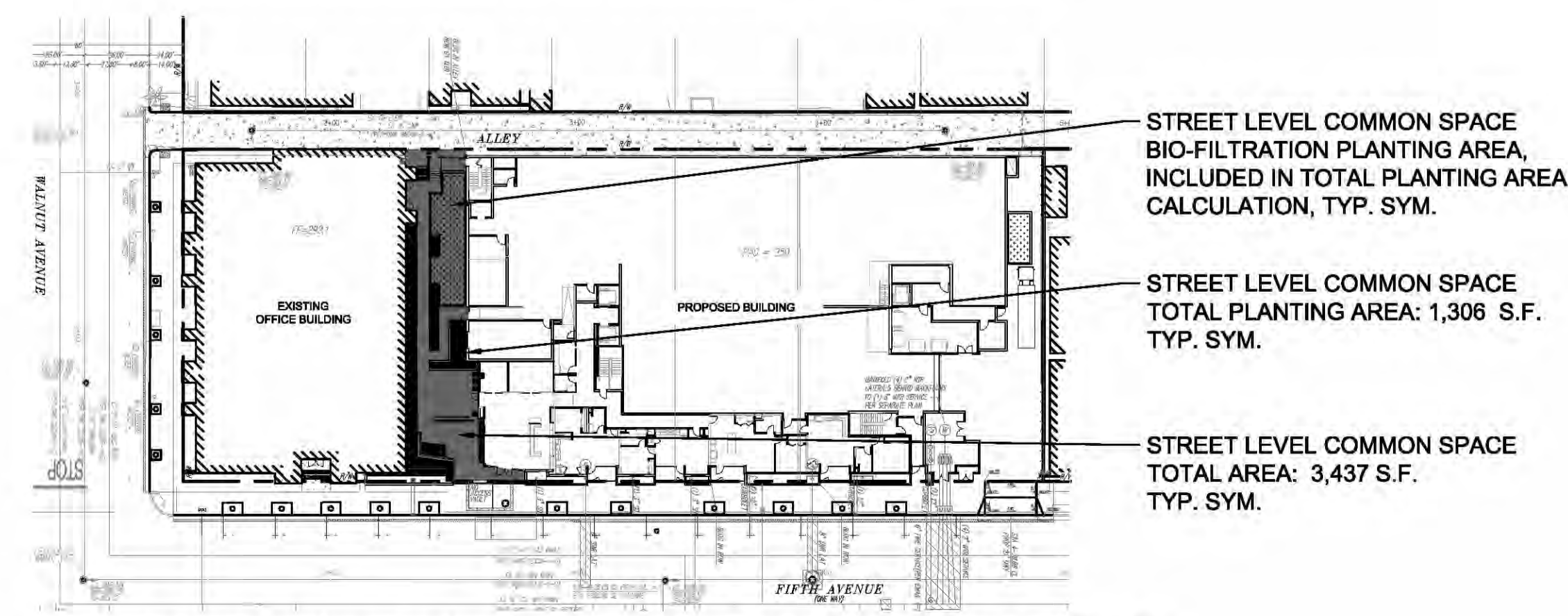
PLANTING AREA REQUIRED FOR COMMON AREA OPEN SPACES
COMMON AREA OPEN SPACE REMAINING YARD AREA @ STREET LEVEL: 3,437 S.F.
COMMON AREA OPEN SPACE REMAINING YARD AREA @ PODIUM LEVEL: 3,680 S.F. (SEE SHEET L-2)
TOTAL REMAINING YARD AREA: 7,117 S.F.

PLANTING AREA REQUIRED (.5% OF COMMON AREA OPEN SPACE): 3,559 S.F.
PLANTING AREA PROVIDED INCLUDING PRE-MANUFACTURED PLANT CONTAINERS ON PODIUM LEVEL: 1,897 S.F.
PLANTING AREA PROVIDED INCLUDING PRE-MANUFACTURED PLANT CONTAINERS AT STREET LEVEL: 1,306 S.F.
TOTAL COMMON SPACE PLANTING AREA PROVIDED: 3,203 S.F.

NOTE: THIS PROJECT HAS LIMITED SPACE AT 'COMMON AREA OPEN SPACES' FOR PLANTING AREA DUE TO AMENITY LIFESTYLE ENRICHED PROGRAMMING.
THEREFORE, ENHANCED PAVING WILL BE PROVIDED.
3,816 SF OF ENHANCED PAVING AT PODIUM LEVEL SUCH AS COLORED CONCRETE OR THIN-SET PAVERS
1,616 SF OF ENHANCED PAVING AT STREET LEVEL SUCH AS COLORED CONCRETE OR COLORED CONCRETE PAVERS

PLANT POINTS REQUIRED FOR COMMON AREA OPEN SPACES

POINTS REQUIRED: 356
STREET LEVEL POINTS PROVIDED ACHIEVED AT .05 PTS PER TOTAL SQUARE FOOTAGE W/ TREES ONLY: 240
PODIUM LEVEL POINTS PROVIDED ACHIEVED AT .05 PTS PER TOTAL SQUARE FOOTAGE: 534
TOTAL POINTS ACHIEVED AT .05 PTS PER TOTAL SQUARE FOOTAGE: 774 PTS.



STREET LEVEL COMMON AREA LANDSCAPE DIAGRAM

NOT TO SCALE

STREET LEVEL SCHEMATIC PLANT LEGEND

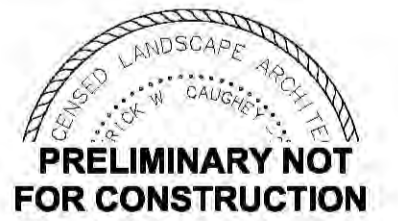
GRAPHIC SYMBOL	DESCRIPTION	SIZE	QTY
	SINGLE TRUNK FEATHER PALM SUCH AS: • SYAGRUS ROMANZOFFIANA - QUEEN PALM • ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	20" BTH	3
	SPECIMEN TREE SUCH AS: • LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' - CREPE MYRTLE • GEJERA PARVIFLORA - AUSTRALIAN WILLOW	36" BOX	1
	BIO-RETENTION TREE SUCH AS: • MAGNOLIA GRANDIFLORA 'LITTLE GEM' - DWARF SOUTHERN MAGNOLIA • LAURUS NOBILIS - SWEET BAY	15 GAL	1
	TALL SCREENING SHRUB SUCH AS: • BAMBUSA OLDHAMII - GIANT TIMBER BAMBOO • PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' - KOHUHU *	5 GAL	N/A
	FULL SHADE TOLERANT SHRUBS & UNDERSTORY SHRUBS SUCH AS: • PITTOSPORUM TENUIFOLIUM 'MARJORIE CHANNON' - VARIEGATED KOHUHU * • PITTOSPORUM TOBIRA 'VARIEGATA' - VARIEGATED JAPANESE MOCK ORANGE * • PRUNUS CAROLINIANA 'MONUS' - BRIGHT 'N' TIGHT CAROLINA LAUREL	1 GAL	N/A
	UPRIGHT ACCENT SHRUB SUCH AS: • PHILODENDRON XANADU - XANADU • SCHEFFLERA ARBORICOLA 'VARIEGATA' - DWARF VARIEGATED SCHEFFLERA • SCHEFFLERA ARBORICOLA - HAWAIIAN ELF SCHEFFLERA • DIANELLA TASMANICA + CVS - TASMAN FLAX LILY * • ASPIDISTRA ELATIOR + CVS - CAST IRON PLANT • LIRIOPE MUSCARI + CVS - BIG BLUE LILY TURF • SANSEVIERIA TRIFASCIATA - SNAKE PLANT • MAHONIA EURYBRACTEATA 'SOFT CARESS' - MAHONIA SOFT CARESS	1 GAL	N/A
	BIO-RETENTION AND SHADE TOLERANT PLANTS SUCH AS: • DIANELLA + CVS - FLAX LILY * • LOMANDRA LONGIFOLIA 'LM300' - BREEZE DWARF MAT RUSH * • CAREX DIVULSA - EURASIAN GREY SEDGE * • PITTOSPORUM TENUIFOLIUM + CVS - KOHUHU * • PITTOSPORUM TOBIRA 'VARIEGATA' - VARIEGATED JAPANESE MOCK ORANGE *	1 GAL	N/A
	COMPACT SHRUB ON EAST SIDE OF BUILDING SUCH AS: • RHAPHIOLEPIS UMBELLATA 'MINOR' - DWARF YEDDA HAWTHORN • RHAPHIOLEPIS INDICA + CVS - INDIAN HAWTHORN CULTIVAR • MYRTUS COMMUNIS 'VARIEGATA' - VARIEGATED MYRTLE	1 GAL	N/A

* BIO-RETENTION PLANTER ACCEPTABLE

SEE SHEET L-2 FOR PODIUM LEVEL PLAN

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL

ISSUES:



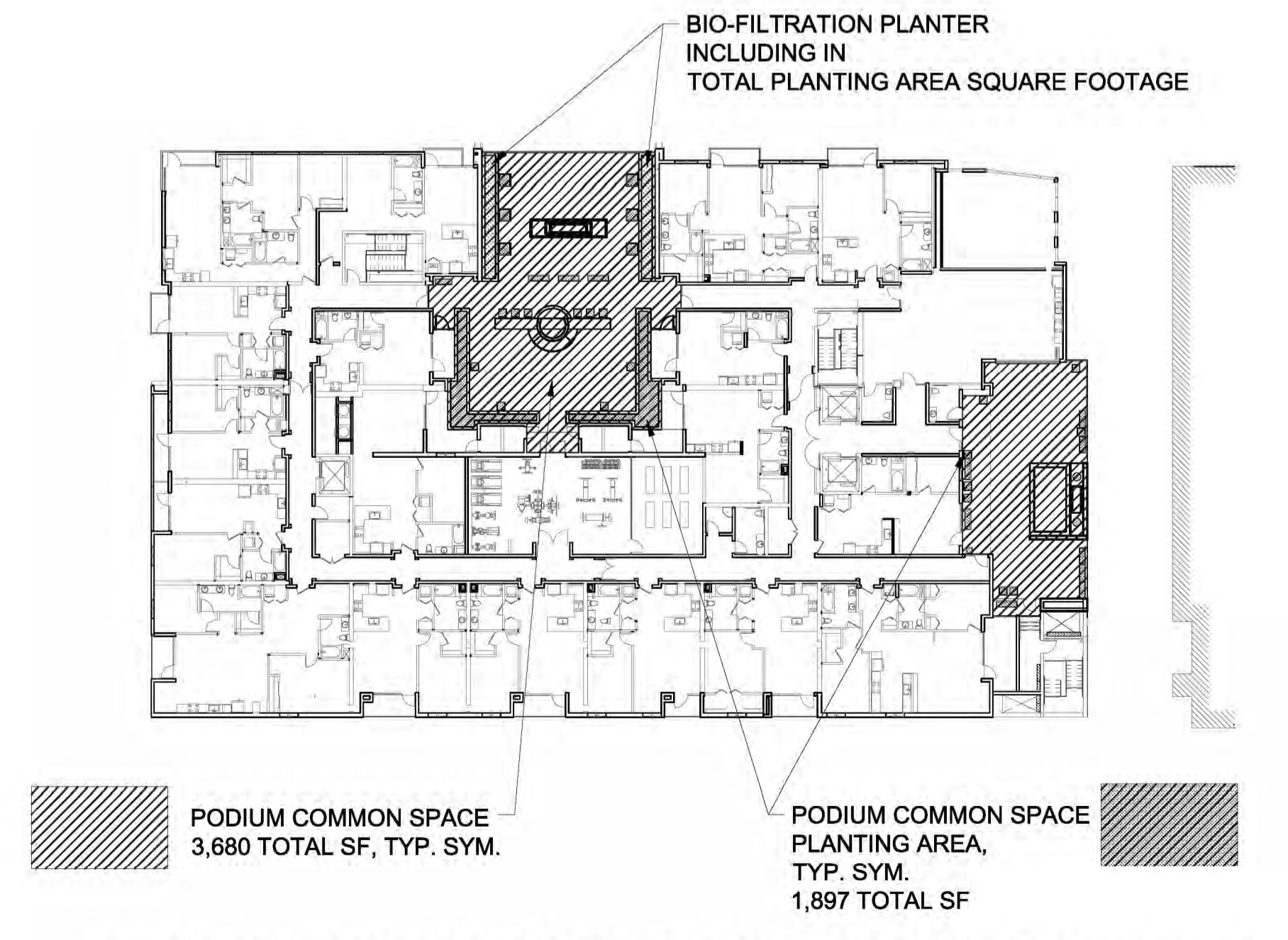
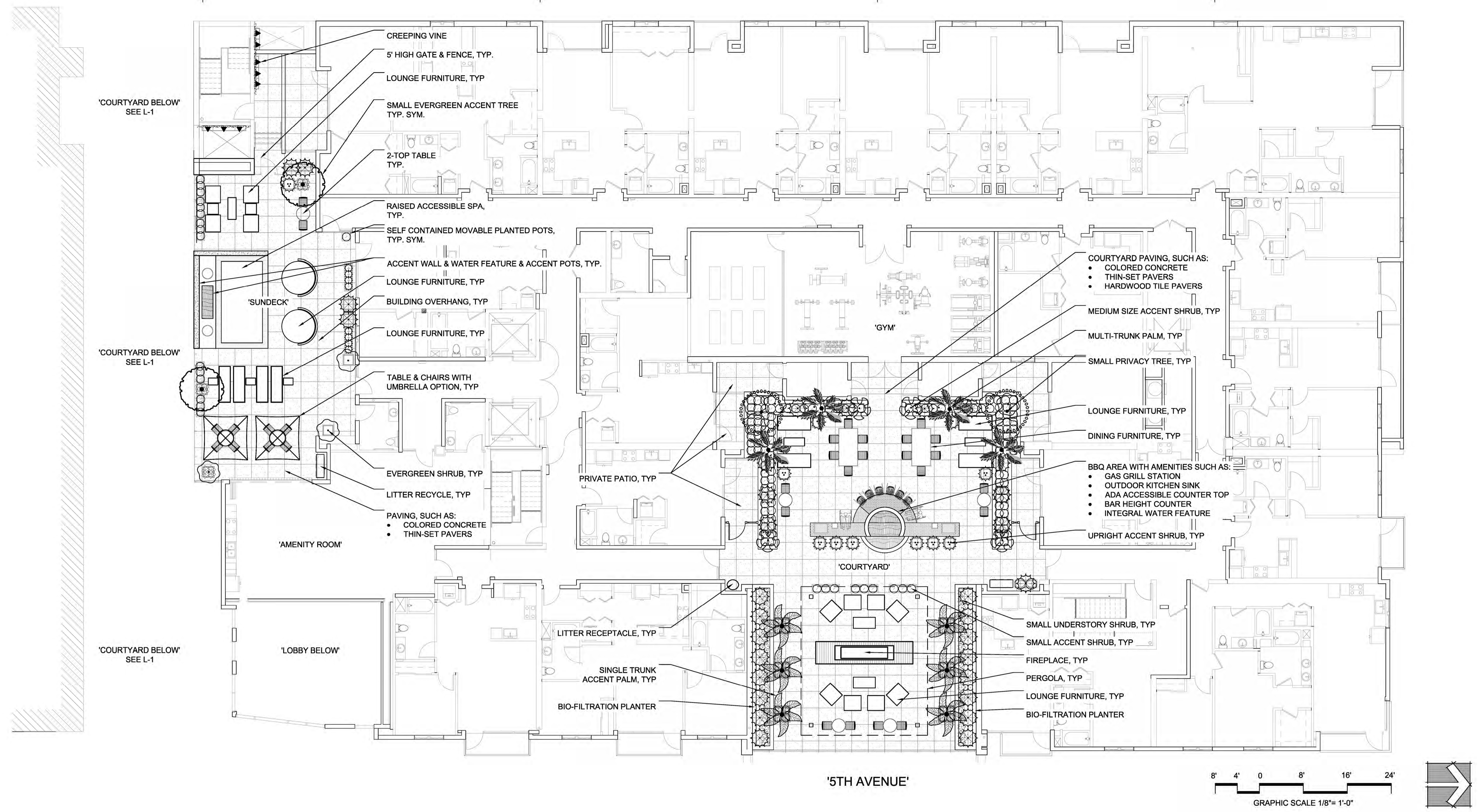
PROJECT NO: 5548.00
FILE NAME:
DRAWN BY: MC, RR
CHECKED BY: BH, JJ
PLOT DATE: 8/17/2016

TITLE:

LANDSCAPE DEVELOPMENT PLAN & NOTES STREET LEVEL

DRAWING NO:

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PODIUM LEVEL COMMON AREA LANDSCAPE DIAGRAM
 SCALE: 1/32" = 1'-0"
 SEE SHEET L-1 FOR COMPLETE LANDSCAPE CALCULATIONS

PODIUM COMMON SPACE SCHEMATIC PLANT LEGEND

GRAPHIC SYMBOL	DESCRIPTION	SIZE	QTY	GRAPHIC SYMBOL	DESCRIPTION	SIZE	QTY
	SINGLE TRUNK PALM SUCH AS: • ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM • HOWEA FORSTERIANA - KENTIA PALM	5' BTH	6		MEDIUM SIZE ACCENT SHRUB SUCH AS: • SCHEFFLERA ARBORICOLA 'VARIEGATA' - DWARF VARIEGATED SCHEFFLERA • SCHEFFLERA ARBORICOLA - HAWAIIAN ELF SCHEFFLERA	5 GAL	4
	MULTI-TRUNK PALM SUCH AS: • HOWEA FORSTERIANA - KENTIA PALM • ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	5' BTH	4		UPRIGHT ACCENT SHRUB SUCH AS: • CORDYLIN 'ELECTRIC PINK' - ELECTRIC PINK GRASS TREE • DIANELLA TASMANICA 'VARIEGATA' - VARIEGATED FLAX LILY *	5 GAL	10
	COMPACT PRIVACY TREE SUCH AS: • MAGNOLIA GRANDIFLORA 'LITTLE GEM' - DWARF SOUTHERN MAGNOLIA • LAURUS NOBILIS - SWEET BAY	15 GAL	2		SMALL ACCENT SHRUB SUCH AS: • DIANELLA CAERULEA 'CASSA BLUE' - BLUE FLAX LILY * • DIANELLA TASMANICA 'VARIEGATA' - VARIEGATED FLAX LILY * • LOMANDRA LONGIFOLIA 'LM300' - BREEZE DWARF MAT RUSH *	1 GAL	160
	SMALL EVERGREEN ACCENT TREE: • OLEA EUROPAEA 'MAJESTIC BEAUTY' - FRUITLESS OLIVE TREE • LAURUS NOBILIS - SWEET BAY	15 GAL	2		SMALL UNDERSTORY SHRUB SUCH AS: • DIANELLA REVOLUTA 'BABY BLISS' - BABY BLISS FLAX LILY * • DIANELLA REVOLUTA 'LITTLE REV' - LITTLE REV FLAX LILY * • LOMANDRA LONGIFOLIA 'LM300' - BREEZE DWARF MAT RUSH * • CAREX DIVULSA - EURASIAN GREY SEDGE *	1 GAL	52
	SCREENING / UPRIGHT SHRUB SUCH AS: • PITTOSPORUM TENUIFOLIUM 'MAJORIE CHANNON' - VARIEGATED KOHUIHU* • PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' - SILVER SHEEN KOHUIHU* • PITTOSPORUM TOBIRA 'VARIEGATA' - VARIEGATED JAPANESE MOCK ORANGE * • PRUNUS CAROLINIANA 'MONUS' - BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL	31		CREEPING VINE SUCH AS: • CALLIANDRA HAEMATOCOPHALA - RED POWDER PUFF • TRACHELOSPERMUM JASMINOIDES - STAR JASMINE • FICUS PUMILA - CREEPING FIG	5 GAL	8
	EVERGREEN DENSE SHRUB SUCH AS: • LAURUS NOBILIS - SWEET BAY • PHILODENDRON XANADU - XANADU	5 GAL	13				

NOTE: * ACCEPTABLE BIO-RETENTION PLANT MATERIAL

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL

ISSUES:

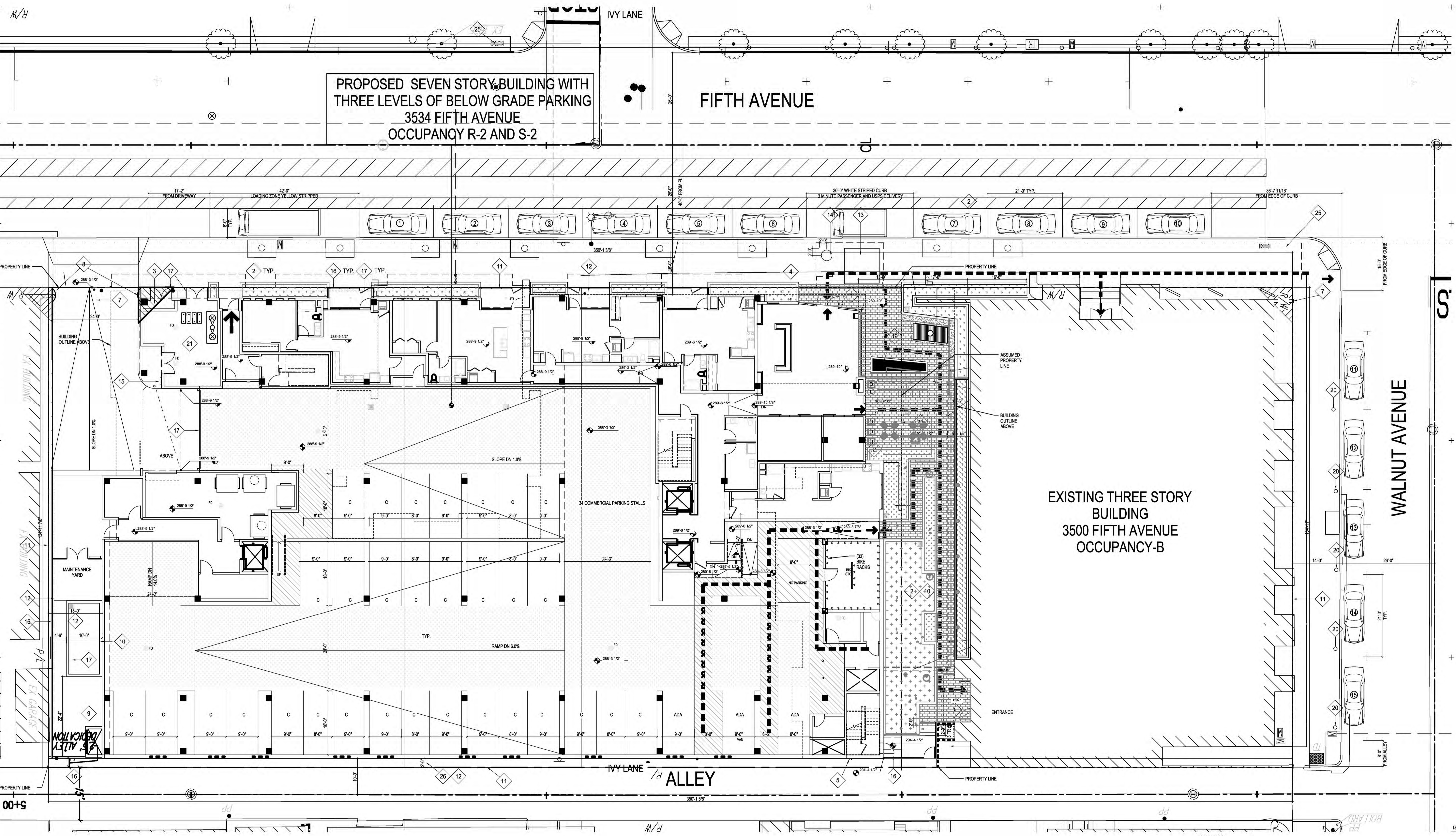
PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO: 5548.00
 FILE NAME:
 DRAWN BY: MC, RR
 CHECKED BY: BH, JJ
 PLOT DATE: 6/17/2016

TITLE:
LANDSCAPE DEVELOPMENT PLAN
PODIUM LEVEL

DRAWING NO:

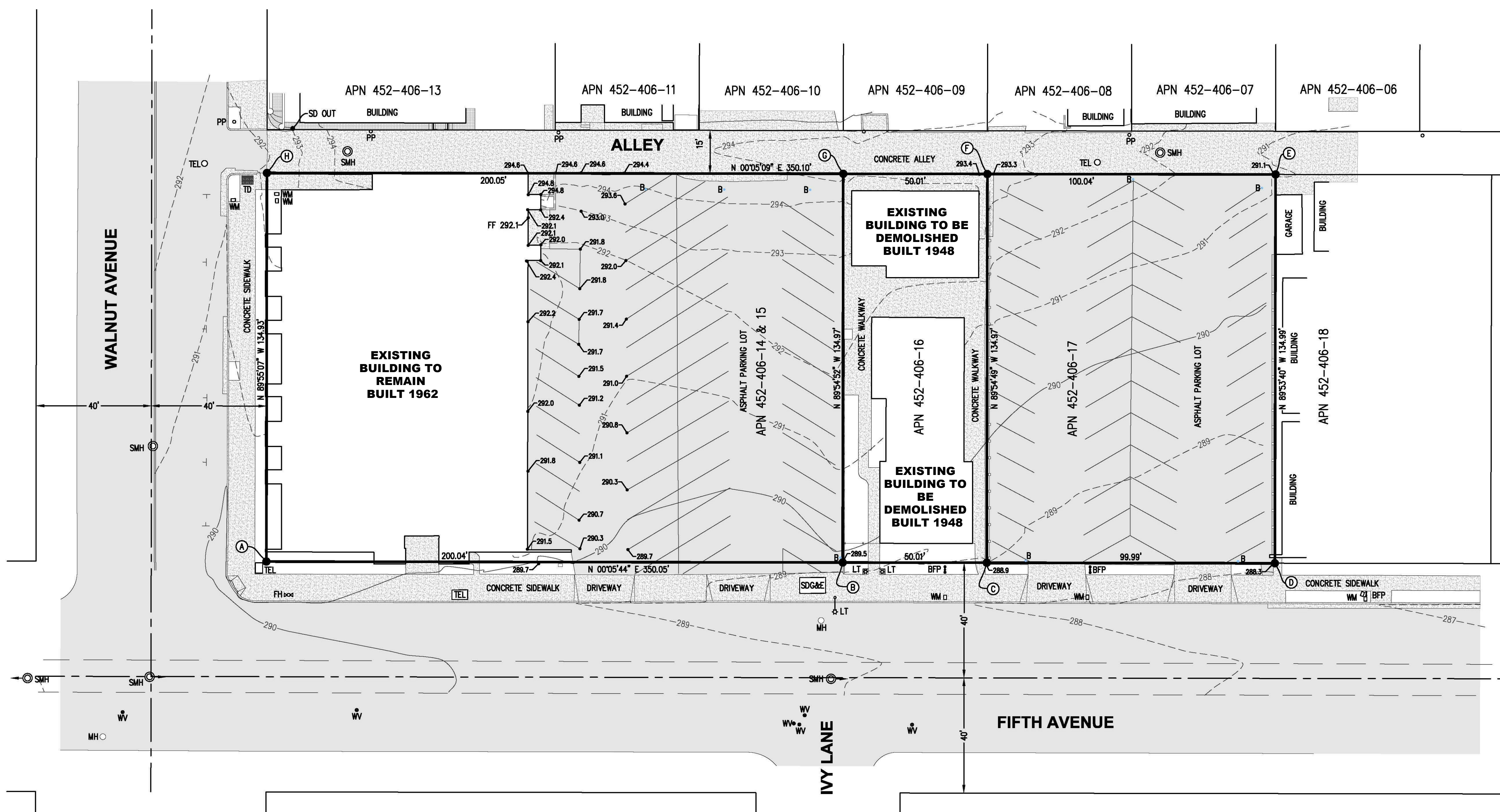
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1 ACCESSIBILITY SITE PLAN
 SCALE: 3/32" = 1'-0"

ACCESSIBILITY LEGEND	NOTES	SITE PLAN KEYNOTES																																																																		
<p>ACCESSIBLE PATH OF TRAVEL PER CBC 11B PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT VERTICAL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT (MEDIUM BROOM FINISH WITH AMPLITUDE OF 1/16" TO 1/32") STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS NO MORE THAN 5% UNLESS OTHERWISE INDICATED. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM A WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR TO VERIFY THAT THERE ARE NO BARRIERS IN THE POT, AND THE POT COMPLIES WITH CBC 11B-403, 405.</p> <p>ACCESSIBLE PARKING SPACE PER CBC 11B-402</p> <p>ACCESSIBLE CURB RAMP W/ 1/2" GROOVED BORDER AND DETECTABLE WARNING SURFACE PER CBC 11B-404</p> <p>ACCESSIBLE BUILDING ENTRANCE - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ENTRANCE DECAL MOUNTED BETWEEN 4'-0" TO 5'-0" A.F.F., CENTERED ON SINGLE DOORS, CENTERED ON RIGHT DOUBLE DOORS) PER CBC 11B-404</p>	<ol style="list-style-type: none"> SEE SHEET T0.6 FOR OCCUPANCY AND EXITING SUMMARY FOR LEVEL 1. EXISTING WEBSTER BUILDING, 3500 FIFTH AVENUE, TO REMAIN ON SITE. PARKING FOR BUILDING WILL BE PROVIDED IN PROPOSED BUILDING. FOR GRADING, PUBLIC IMPROVEMENT, POST CONSTRUCTION BMP AND CONSTRUCTION BMP APPROVALS, SEE DRAWING NO. 38764-D, SWMDCMA Approval 1525640 AND SWPPP Filed Under PTS 423050. GRADE PLANE CALCULATION: $288'-1" + 291'-0" + 294'-6" + 289'-7" = 290'-9 \frac{1}{2}"$ SUBTERRANEAN GARAGES ENCROACHMENTS SHALL EXTEND 8 FEET BELOW THE TOP OF THE SIDEWALK AND SHALL NOT BE LOCATED WITHIN 6 FEET FROM THE CURB FACE, EXCEPT TO ACCOMMODATE ACCESS HATCHES TO UNDERGROUND VAULTS. SUCH HATCHES SHALL BE LOCATED TO NOT INTERFERE WITH STREET TREE PLANTING. NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT OF WAY. FIVE (5) EXISTING METEDED SPACES ON WALNUT AVENUE. TEN (10) NOW-METEDED SPACES ON FIFTH AVENUE. ONE (1) 42' LONG LOADING-ZONE-STRIPPED YELLOW. ONE (1) 35' LONG USPS AND PASSENGER DROP OFF, STRIPPED WHITE. THE PROJECT IS A DEVIATION FOR THE ON STREET LOADING ZONE. 	<table border="1"> <tr> <td>1</td><td>INTERNATIONAL SIGN OF ACCESSIBILITY SEE DETAIL ISA/A8.71</td> <td>12</td><td>REQUIRED SETBACK</td> <td>23</td><td>ASSUMED PROPERTY LINE</td> </tr> <tr> <td>2</td><td>PLANTER - PER LANDSCAPE DRAWINGS</td> <td>13</td><td>SDGE VAULT COVER</td> <td>24</td><td>CMU WALL</td> </tr> <tr> <td>3</td><td>GAS METERS</td> <td>14</td><td>SDGE MANHOLE, SEE 2/A1.21</td> <td>25</td><td>FIRE HYDRANT</td> </tr> <tr> <td>4</td><td>KNOX BOX AT 7'-0" ABOVE ADJACENT GRADE</td> <td>15</td><td>ADA ENTRY SIGN. SEE 2/E/A1.40</td> <td>26</td><td>DEDICATED TO CITY FOR ALLEY INCREASE IN WIDTH</td> </tr> <tr> <td>5</td><td>FIRE SPRINKLER RISER LOCATION</td> <td>16</td><td>PLANK FENCING -6'-0" TALL</td> <td></td><td></td> </tr> <tr> <td>6</td><td>LINE OF BELOW GRADE GARAGE</td> <td>17</td><td>GATE</td> <td></td><td></td> </tr> <tr> <td>7</td><td>10' X 10' VISIBILITY TRIANGLE</td> <td>18</td><td>EXISTING TRASH ENCLOSURE AREA</td> <td></td><td></td> </tr> <tr> <td>8</td><td>INSTALL 30" CONVEX TRAFFIC MIRROR-POST MOUNTED FOR VISIBILITY TO THE SOUTH</td> <td>19</td><td>PLANTER WALL OR BENCH PER LANDSCAPE DWGS</td> <td></td><td></td> </tr> <tr> <td>9</td><td>BOILER AND EQUIPMENT YARD</td> <td>20</td><td>EXISTING METER</td> <td></td><td></td> </tr> <tr> <td>10</td><td>STORM WATER FILTER PER CIVIL DRAWINGS</td> <td>21</td><td>SEE MEP DRAWINGS FOR EQUIPMENT</td> <td></td><td></td> </tr> <tr> <td>11</td><td>PROPERTY LINE OR RIGHT OF WAY</td> <td>22</td><td>CONCRETE SITE STAIR & HAND RAIL-SEE 1/A1.21</td> <td></td><td></td> </tr> </table>	1	INTERNATIONAL SIGN OF ACCESSIBILITY SEE DETAIL ISA/A8.71	12	REQUIRED SETBACK	23	ASSUMED PROPERTY LINE	2	PLANTER - PER LANDSCAPE DRAWINGS	13	SDGE VAULT COVER	24	CMU WALL	3	GAS METERS	14	SDGE MANHOLE, SEE 2/A1.21	25	FIRE HYDRANT	4	KNOX BOX AT 7'-0" ABOVE ADJACENT GRADE	15	ADA ENTRY SIGN. SEE 2/E/A1.40	26	DEDICATED TO CITY FOR ALLEY INCREASE IN WIDTH	5	FIRE SPRINKLER RISER LOCATION	16	PLANK FENCING -6'-0" TALL			6	LINE OF BELOW GRADE GARAGE	17	GATE			7	10' X 10' VISIBILITY TRIANGLE	18	EXISTING TRASH ENCLOSURE AREA			8	INSTALL 30" CONVEX TRAFFIC MIRROR-POST MOUNTED FOR VISIBILITY TO THE SOUTH	19	PLANTER WALL OR BENCH PER LANDSCAPE DWGS			9	BOILER AND EQUIPMENT YARD	20	EXISTING METER			10	STORM WATER FILTER PER CIVIL DRAWINGS	21	SEE MEP DRAWINGS FOR EQUIPMENT			11	PROPERTY LINE OR RIGHT OF WAY	22	CONCRETE SITE STAIR & HAND RAIL-SEE 1/A1.21		
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TOPOGRAPHIC BASE MAP FOR 5TH AND WALNUT



LEGAL DESCRIPTION:
 LOTS 11 THROUGH 17 IN BLOCK 3 OF LOMA GRANDE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 892, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 23, 1891.

BENCHMARK:
 DESCRIPTION: BRASS PLUG IN CURB RETURN
 LOCATION: NORTHWEST CORNER OF 5TH AVENUE AND THORN STREET
 ELEVATION: 287.913
 SOURCE: CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK

BOUNDARY NOTES:
 BOUNDARY RESOLVED PER FIELD SURVEY PERFORMED BY OMEGA LAND SURVEYING, INC. ON MARCH 3, 2015. TO BE SHOWN ON FORTHCOMING CORNER RECORD.

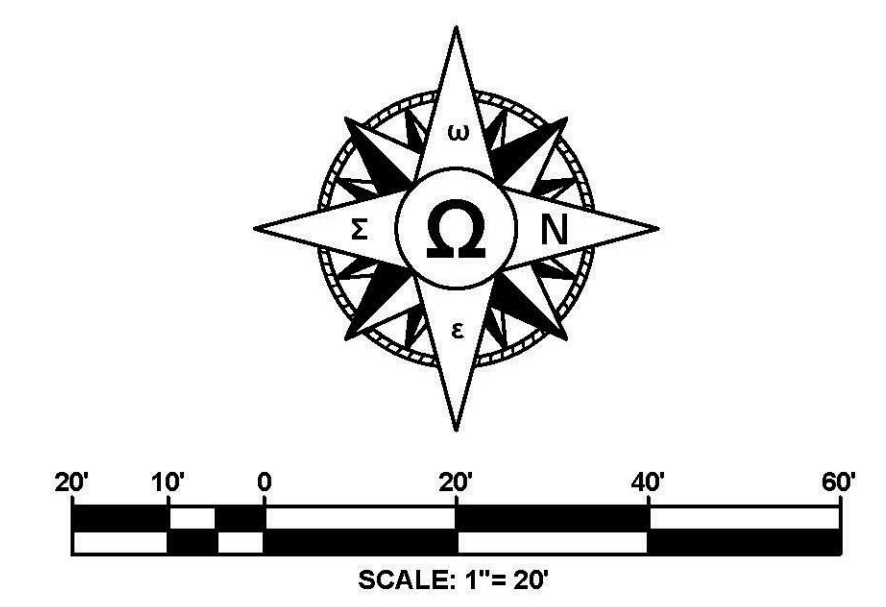
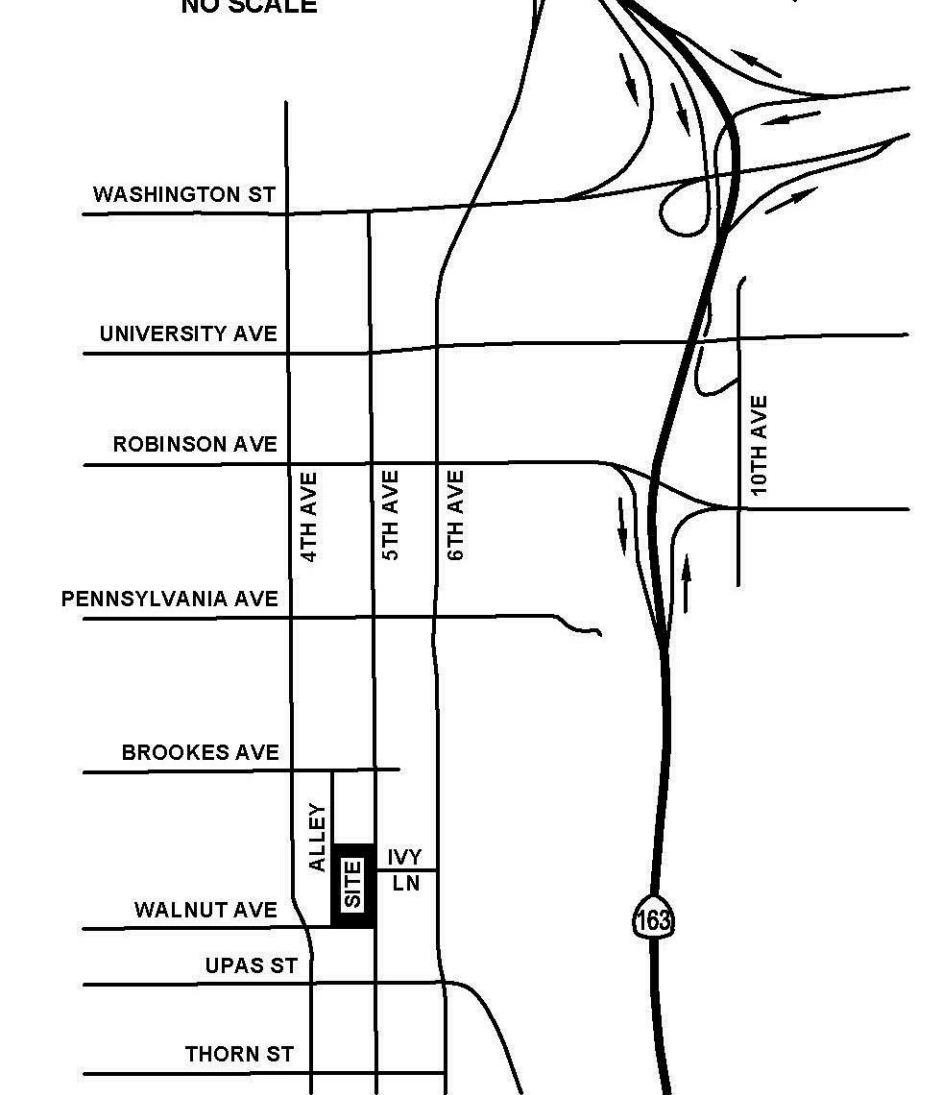
LOT AREA: 47246 SQUARE FEET

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS MAP IS BROOKES AVENUE AS SHOWN ON FM 19452, BEING N 89°54'14" W.

TOPOGRAPHY:
 FIELD SURVEY PERFORMED BY OMEGA LAND SURVEYING, INC. ON MARCH 2 AND 5, 2015.

SITE ADDRESS:
 3500-3534 5TH AVE
 SAN DIEGO, CA 92103
 (APN 452-406-14, 15, 16, & 17)

VICINITY MAP
 NO SCALE



ABBREVIATIONS:

- B = BOLLARD
- BFP = BACK FLOW PREVENTOR
- ELEC = ELECTRIC UTILITIES
- FH = FIRE HYDRANT
- LT = LIGHT POLE
- PP = POWER POLE
- SMH = SEWER MANHOLE
- TEL = TELEPHONE UTILITIES
- TD = ADA TRUNCATED DOMES
- WV = WATER VALVE
- WM = WATER METER

FAA 1A CERTIFICATION:

I HEREBY CERTIFY THAT THE LATITUDE AND LONGITUDE VALUES SHOWN IN THIS SURVEY FOR THE CORNERS OF THE PROPERTY ARE ACCURATE AND WITHIN 20 FEET HORIZONTALLY; AND THAT THE SITE ELEVATION SHOWN AT EACH OF THE CORNERS IS ACCURATE TO WITHIN 3 FEET VERTICALLY, IN COMPLIANCE WITH FAA 1A SURVEY ACCURACY STANDARDS. THE HORIZONTAL DATUM COORDINATES ARE IN TERMS OF NAD83 AND ARE EXPRESSED IN DEGREES, MINUTES AND SECONDS, TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATION) IS SHOWN IN BOTH TERMS OF THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE DETERMINED TO THE NEAREST TENTH OF A FOOT.

HORIZONTAL COORDINATES WERE CALCULATED AS NAD83 STATE PLANE COORDINATES FOR CALIFORNIA ZONE 6 THEN CONVERTED TO DEGREES USING NGS SPCS83. VERTICAL COORDINATES WERE CALCULATED ON THE NGVD 29 DATUM THEN CONVERTED TO THE NAVD 88 DATUM USING NGS VERTCON.

FAA COORDINATES:

HORIZONTAL LATITUDE	LONGITUDE	VERTICAL (GROUND ELEVATION) NGVD 29	NAVD 88
Ⓐ 32°44'29.92"	117°09'37.06"	290.3'	292.4'
Ⓑ 32°44'31.90"	117°09'37.07"	289.5'	291.6'
Ⓒ 32°44'32.40"	117°09'37.08"	288.9'	291.0'
Ⓓ 32°44'33.38"	117°09'37.08"	288.3'	290.4'
Ⓔ 32°44'33.38"	117°09'38.67"	291.1'	293.2'
Ⓕ 32°44'32.39"	117°09'38.66"	293.4'	295.5'
Ⓖ 32°44'31.89"	117°09'38.65"	293.9'	296.0'
Ⓙ 32°44'29.91"	117°09'38.63"	292.1'	294.2'

OMEGA LAND SURVEYING, INC.
 RYAN J. WAKEFIELD
 DATE: 3-10-2015
 4340 VIEWRIDGE AVENUE, SUITE B
 SAN DIEGO, CALIFORNIA 92123
 PH: 619.634.2083 FAX: 619.634.9627
 ADMIN@OMEGA-SURVEYING.COM



OMEGA LAND SURVEYING, INC.

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL

ISSUES:

PROJECT NO: 5548.00
 FILE NAME: WRTS_CENTRAL_FILE_PATH_HERE
 (E:\PROJECTS\2016\Central\Permit\5548-00-central.rvt)
 DRAWN BY: CHECKED BY:

PLOT DATE: 3/26/2016 9:22:13 AM
 TITLE:

STRAUSS FIFTH AVENUE
 3534 FIFTH AVENUE
 SAN DIEGO CA 92103

EXISTING SURVEY

DRAWING NO:

A1.11

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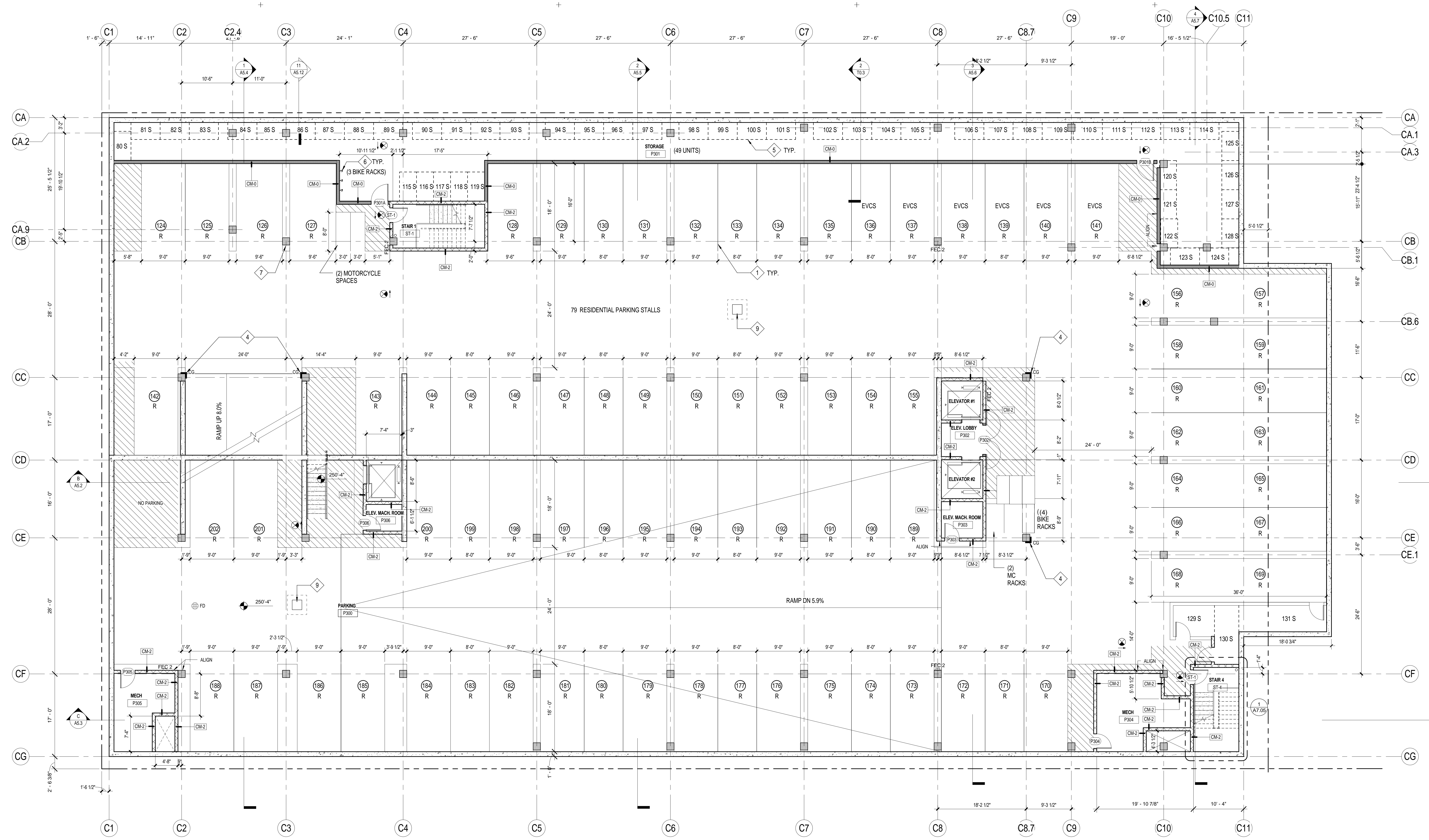
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BUS STOP AT 4TH & BROOKS AVE

BUS STOP AT 5TH & BROOKS AVE



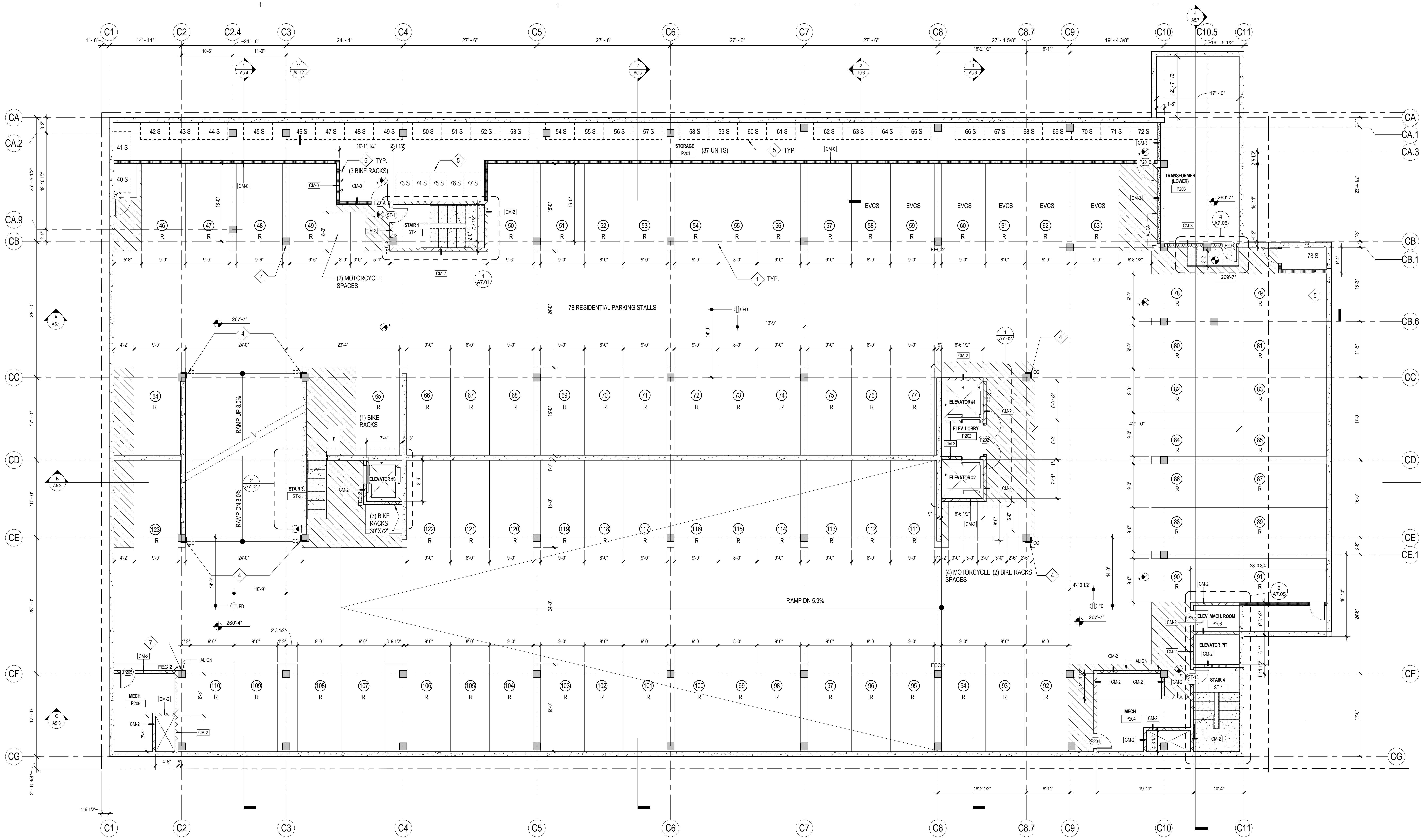


1 LEVEL P3
SCALE: 1/8" = 1'-0"

PARKING LEVEL GENERAL NOTES		PARKING LEVEL KEYNOTES		PARKING LEVEL LEGEND		WALL LEGEND		PARKING SUMMARY																																																																																					
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DRAWING NO:
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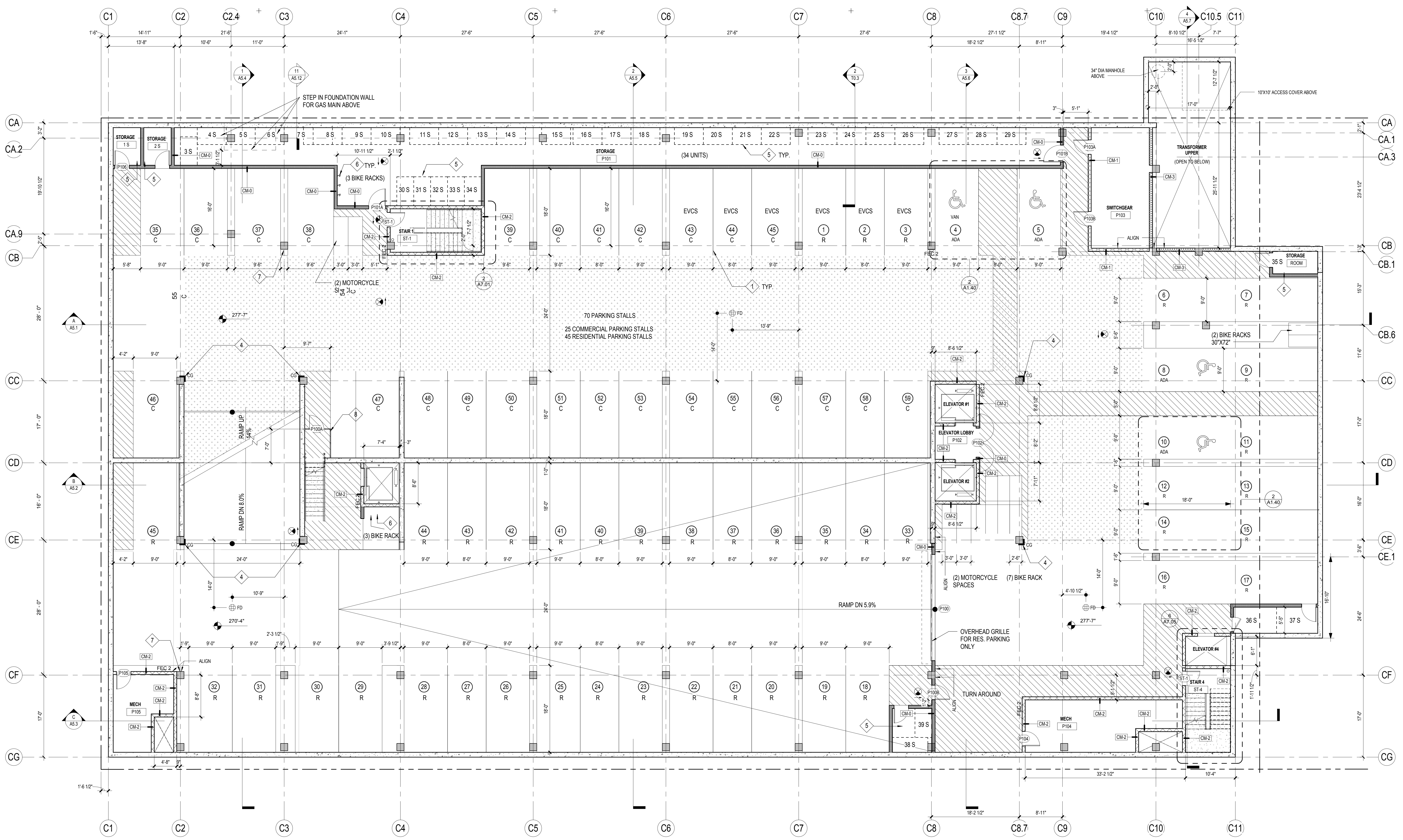


1 LEVEL P2
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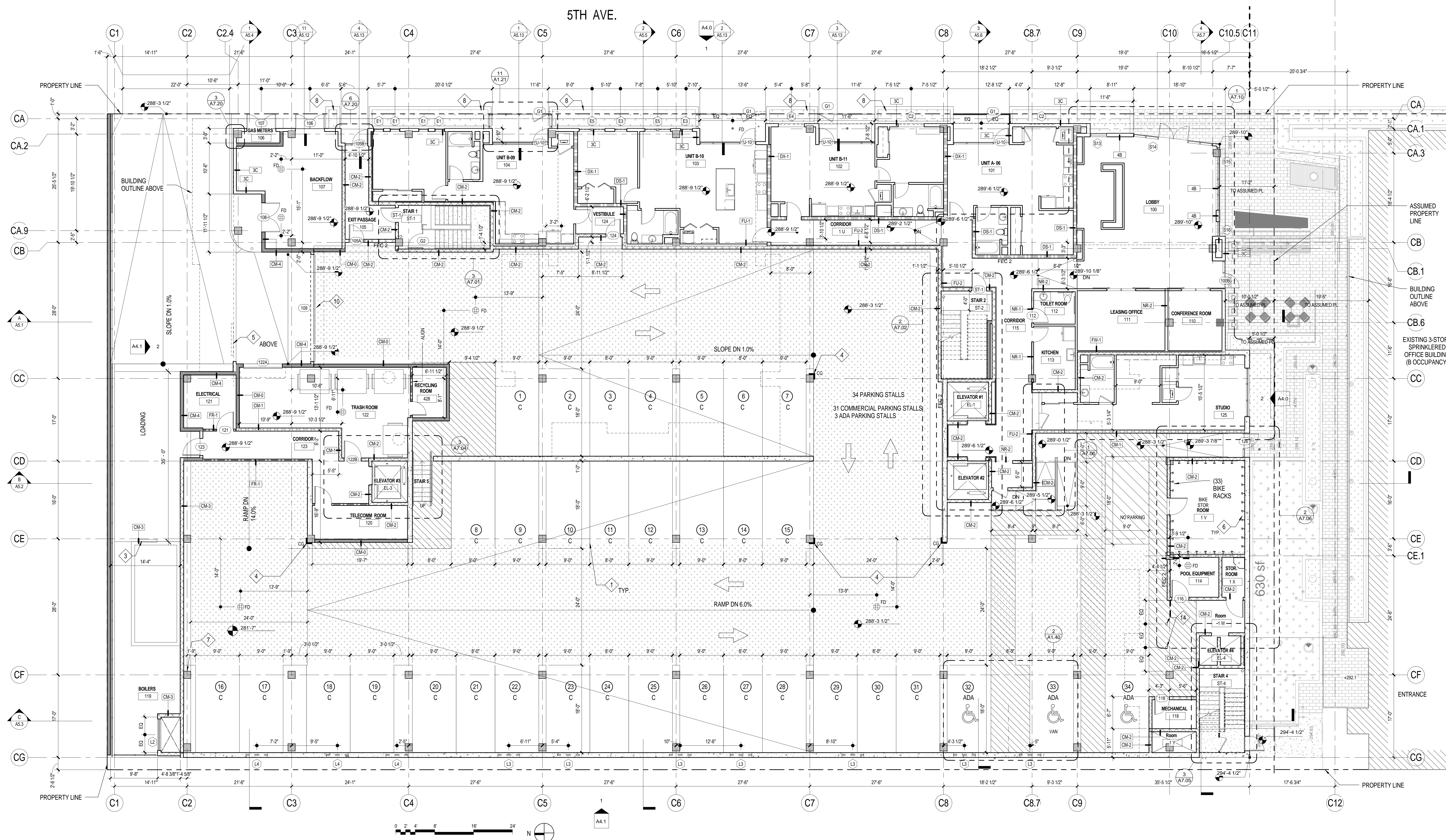
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FLOOR PLAN GENERAL NOTES

- DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL U.O.N.). WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "HOLD" OR "CLR" DIMENSIONS MUST BE MAINTAINED.
- DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
- ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALIGN, TAPE, AND SPACKLE WITH NEW PARTITION.
- PENETRATIONS: PENETRATIONS OF FIRE RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 AND SHALL HAVE AN F-RATING (AND A T-RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACOUSTICAL WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.
- WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, 1/2" GA BRICKING FOR CABINETS; SHELVING, MARKER BOARDS, CHAIR RAILS; GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
- WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH C.J. PRIOR TO INSTALLATION.
- RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACOUSTICAL WALL LOCATIONS AND FIRE SMOKE DAMPERS AT ALL FIRE-RATED WALLS.

FLOOR PLAN KEYNOTES

- | KEYNOTE | DETAIL | SPEC SECTION |
|---|-----------|--------------|
| 1 TYPICAL STALL STRIPING; 2 COATS, 4" WIDE WHITE TRAFFIC PAINT | - | - |
| 2 SEMI-RECESSED FIRE EXTINGUISHER CABINET | - | 10 44 16 |
| 3 PRECAST CONCRETE WHEELSTOP | 4/ A1.40 | - |
| 4 CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC | 3/ A1.40 | 05 50 00 |
| 5 GARAGE CLEARANCE WARNING BAR | 8/ A1.40 | - |
| 6 BIKE STORAGE RACKS | - | 12 93 00 |
| 7 TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F. | 9/ A1.40 | 11 12 00 |
| 8 CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING | - | - |
| 9 CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD | 13/ A8.81 | - |

FLOOR PLAN LEGEND

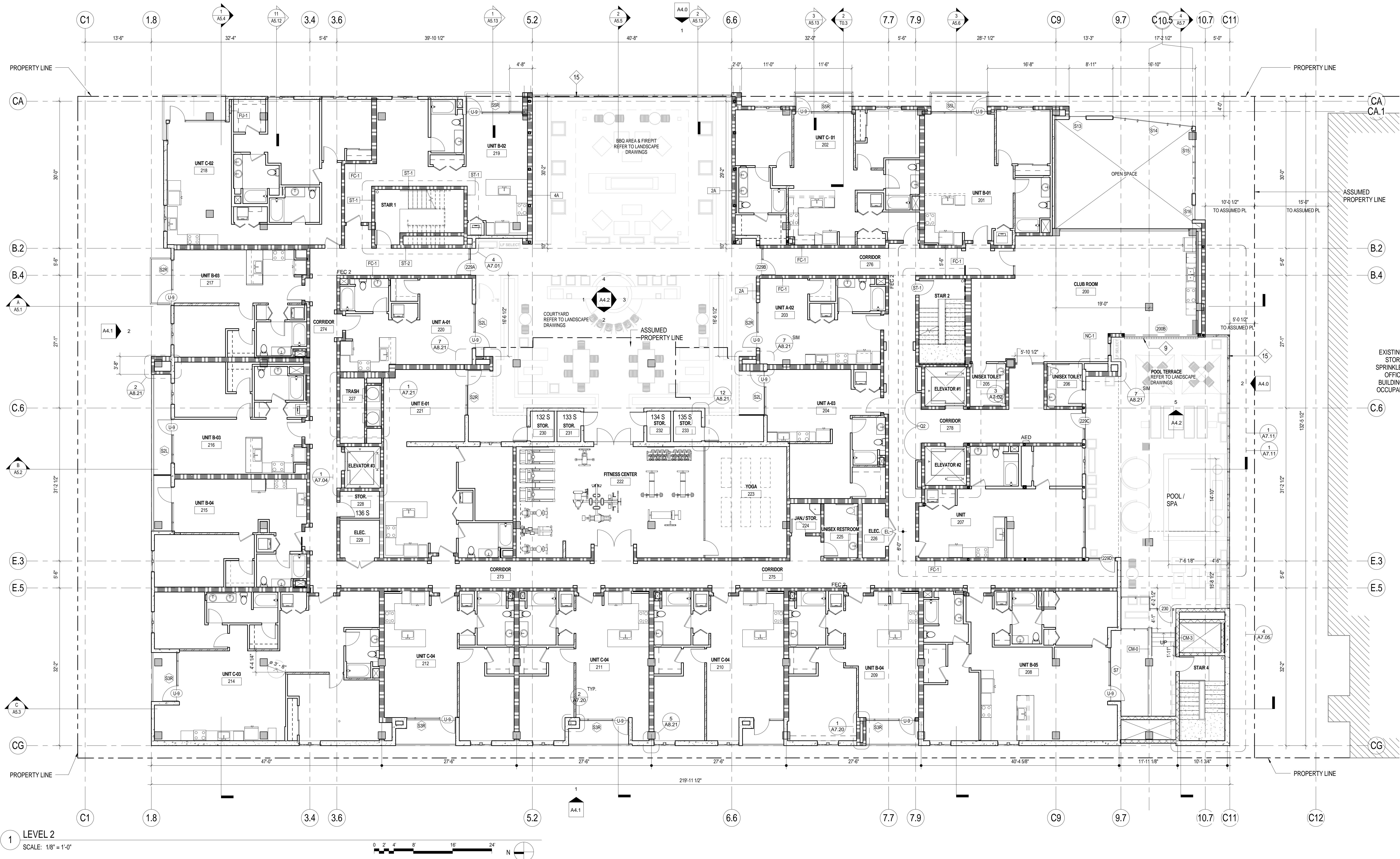
- | SYMBOL | DETAIL | SPEC SECTION |
|----------------|---|------------------------|
| (000) | ROOM NUMBER | - |
| (000) | DOOR NUMBER | 17/ A8.14
16/ A8.14 |
| (00) | WINDOW NUMBER | 18/ A8.14 |
| FEC # | FIRE EXTINGUISHERS: | 21/ A8.14
23/ A8.14 |
| FD | FLOOR DRAIN | SEE PLUMBING DWGS. |
| FSR | FIRE SPRINKLER RISER LOCATION | SEE PLUMBING DWGS. |
| DF | DRINKING FOUNTAIN | SEE PLUMBING DWGS. |
| AED | SEMI RECESSED AED CABINET | - |
| (Hatched Area) | MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1 | - |

WALL LEGEND

- | SYMBOL | DESCRIPTION | DETAIL |
|-------------------|---------------------------------|--|
| (Dotted Line) | NON-RATED STUD WALL | - |
| (Horizontal Line) | 1 HOUR FIRE-RATED INTERIOR WALL | REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12 |
| (Vertical Line) | 1 HOUR FIRE-RATED WALL | - |
| (Horizontal Line) | 2 HOUR FIRE-RATED WALL | - |
| (Vertical Line) | 3 HOUR FIRE-RATED WALL | - |
| (Horizontal Line) | 2 HOUR CMU WALL (CM-2) | CM/A8.12 |
| (Vertical Line) | 1 HOUR CMU WALL (CM-1) | CM/A8.12 |
| (Horizontal Line) | NON RATED CMU WALL (CM-0) | CM/A8.12 |
| (Vertical Line) | CONCRETE WALL PER STRUCTURAL | - |

NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

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 PLOT DATE: 9/12/2016 11:54:25 AM
 TITLE: FLOOR PLAN LEVEL 1
 DRAWING NO: A2.1
 18 OF 37



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FLOOR PLAN GENERAL NOTES

1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL U.O.N.). WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "HOLD" OR "CLR" DIMENSIONS MUST BE MAINTAINED.
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
3. ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALIGN TAPE, AND SPACKLE WITH NEW PARTITION.
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustICAL WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACoustICAL SEALANT.
5. WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH 1x6 GA BRICKING FOR CABINETS; SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH CJ PRIOR TO INSTALLATION.
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACoustICAL WALL LOCATIONS AND FIRE/SMOKE DAMPERS AT ALL FIRE-RATED WALLS.

FLOOR PLAN KEYNOTES

KEYNOTE	DETAIL	SPEC SECTION
1	TYPICAL STALL STRIPING; 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-
2	SEMI-RECESSED FIRE EXTINGUISHER CABINET	10 44 16
3	PRECAST CONCRETE WHEELSTOP	4/ A1.40
4	CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/ A1.40 05 50 00
5	GARAGE CLEARANCE WARNING BAR	8/ A1.40
6	BIKE STORAGE RACKS	-
7	TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/ A1.40 11 12 00
8	CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING	-
9	CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD	13/ A8.81

FLOOR PLAN LEGEND

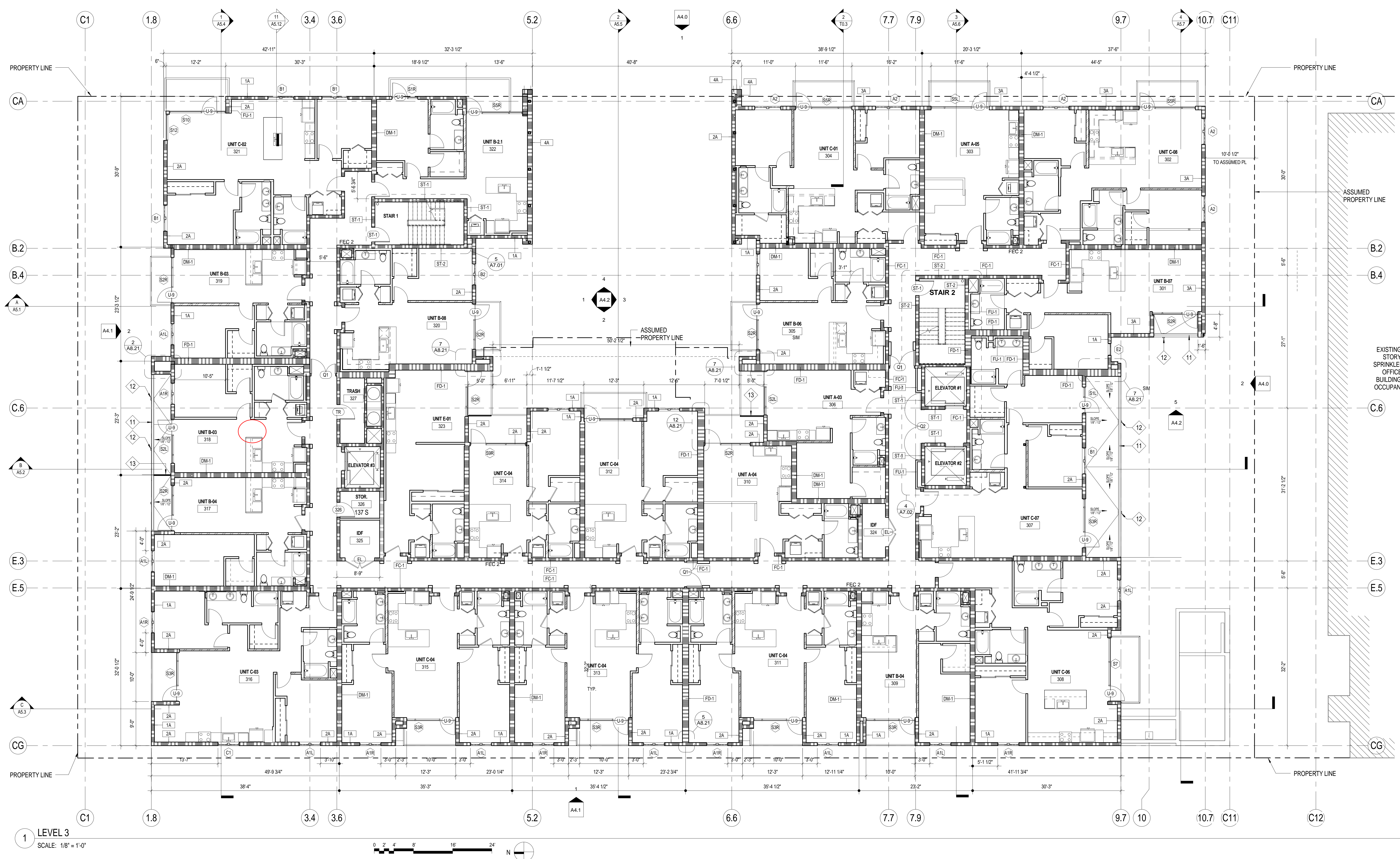
SYMBOL	DETAIL	SPEC SECTION
000	ROOM NUMBER	-
000	DOOR NUMBER	17/ A8.14 16/ A8.14
00	WINDOW NUMBER	18/ A8.14
FC #	FIRE EXTINGUISHERS:	21/ A8.14 23/ A8.14
FD	FLOOR DRAIN	10/ A1.40
FSR	FIRE SPRINKLER RISER LOCATION	20/ A8.14
DF	DRINKING FOUNTAIN	-
AED	SEMI RECESSED AED CABINET	-
■	MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1	-

WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
—	NON-RATED STUD WALL	-
—	1 HOUR FIRE-RATED INTERIOR WALL	REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12
—	1 HOUR FIRE-RATED WALL	-
—	2 HOUR FIRE-RATED WALL	-
—	3 HOUR FIRE-RATED WALL	-
—	2 HOUR CMU WALL (CM-2)	CM/A8.12
—	1 HOUR CMU WALL (CM-1)	CM/A8.12
—	NON-RATED CMU WALL (CM-0)	CM/A8.12
—	CONCRETE WALL PER STRUCTURAL	-

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 TITLE: FLOOR PLAN LEVEL 2
 DRAWING NO: A2.2
 19 OF 37

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- WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH CJ PRIOR TO INSTALLATION.
- RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILINGS AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACOUSTICAL WALL LOCATIONS AND FIRE/SMOKE DAMPERS AT ALL FIRE-RATED WALLS.

FLOOR PLAN KEYNOTES

KEYNOTE	DETAIL	SPEC SECTION
1	TYPICAL STALL STRIPING; 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-
2	SEMI-RECESSED FIRE EXTINGUISHER CABINET	10 44 16
3	PRECAST CONCRETE WHEELSTOP	4/ A1.40
4	CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/ A1.40 05 50 00
5	GARAGE CLEARANCE WARNING BAR	8/ A1.40
6	BIKE STORAGE RACKS	- 12 93 00
7	TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/ A1.40 11 12 00
8	CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING	-
9	CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD	13/ A8.81

FLOOR PLAN LEGEND

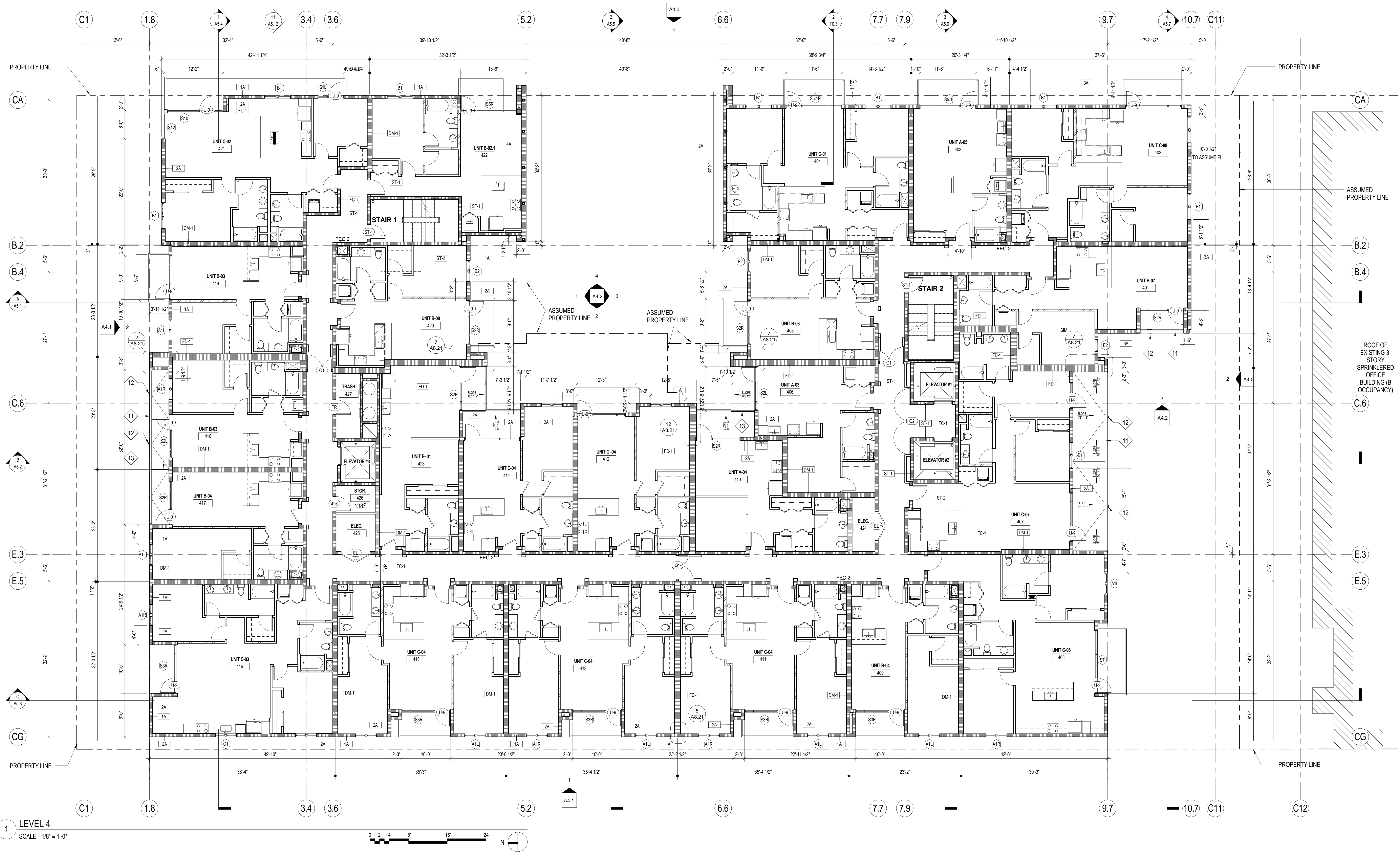
SYMBOL	DESCRIPTION	DETAIL	SPEC SECTION
000	ROOM NUMBER		
000	DOOR NUMBER		
00	WINDOW NUMBER		
FEC #	FIRE EXTINGUISHERS: FEC #1 = 2A108 C, SEMI-RECESSED; FEC #2 = 2A108 C, SEMI-RECESSED, FIRE-RATED; FEC #3 = 4A-808 C, SEMI-RECESSED, OUTSIDE MECH. ELEC. BOLER RMS		
FD	FLOOR DRAIN	SEE PLUMBING DWGS.	
FD	FIRE SPRINKLER RISER LOCATION	SEE PLUMBING DWGS.	
DF	DRINKING FOUNTAIN	SEE PLUMBING DWGS.	
AED	SEMI RECESSED AED CABINET		
[Hatched]	MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1		

WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
[Line]	NON-RATED STUD WALL	
[Line]	1 HOUR FIRE-RATED INTERIOR WALL	REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12
[Line]	1 HOUR FIRE-RATED WALL	
[Line]	2 HOUR FIRE-RATED WALL	
[Line]	3 HOUR FIRE-RATED WALL	
[Line]	2 HOUR CMU WALL (CM-2)	CM/A8.12
[Line]	1 HOUR CMU WALL (CM-1)	CM/A8.12
[Line]	NON RATED CMU WALL (CM-0)	CM/A8.12
[Line]	CONCRETE WALL PER STRUCTURAL	

NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

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 PLOT DATE: 5/26/2016 11:38:47 AM
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 DRAWING NO: A2.3
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- DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
- ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALIGN, TAPE, AND SPACKLE WITH NEW PARTITION.
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- WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, 1/2" GA. BACKING FOR CABINETS; SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
- WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH CJ PRIOR TO INSTALLATION.
- RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILINGS AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACoustICAL WALL LOCATIONS AND FIRE/SMOKE DAMPERS AT ALL FIRE-RATED WALLS.

FLOOR PLAN KEYNOTES

- | KEYNOTE | DESCRIPTION | DETAIL | SPEC SECTION |
|---------|---|-----------|--------------|
| 1 | TYPICAL STALL STRIPING; 2 COATS, 4" WIDE WHITE TRAFFIC PAINT | - | - |
| 2 | SEMI-RECESSED FIRE EXTINGUISHER CABINET | - | 10 44 16 |
| 3 | PRECAST CONCRETE WHEELSTOP | 4/ A1.40 | - |
| 4 | CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC | 3/ A1.40 | 05 50 00 |
| 5 | GARAGE CLEARANCE WARNING BAR | 8/ A1.40 | - |
| 6 | BIKE STORAGE RACKS | - | 12 93 00 |
| 7 | TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F. | 9/ A1.40 | 11 12 00 |
| 8 | CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING | - | - |
| 9 | CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD | 13/ A8.81 | - |

FLOOR PLAN LEGEND

- | SYMBOL | DESCRIPTION | DETAIL | SPEC SECTION |
|-----------|---|--------------------|--------------|
| 000 | ROOM NUMBER | - | - |
| 000 | DOOR NUMBER | - | - |
| 00 | WINDOW NUMBER | - | - |
| FEC # | FIRE EXTINGUISHERS: | - | - |
| FD | FLOOR DRAIN | SEE PLUMBING DWGS. | - |
| FEC # | FIRE SPRINKLER RISER LOCATION | SEE PLUMBING DWGS. | - |
| DF | DRINKING FOUNTAIN | SEE PLUMBING DWGS. | - |
| AED | SEMI RECESSED AED CABINET | - | - |
| [Hatched] | MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1 | - | - |

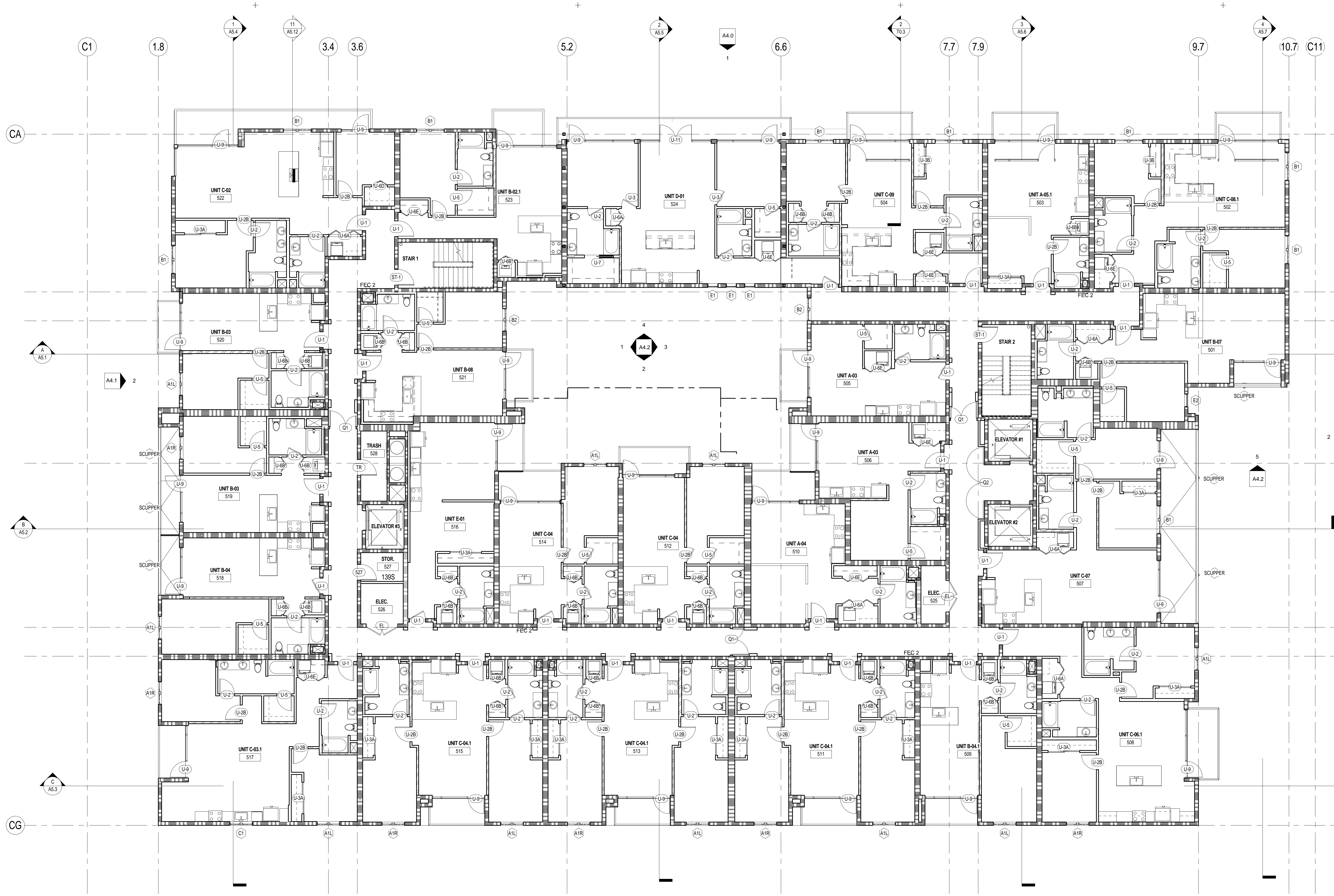
WALL LEGEND

- | SYMBOL | DESCRIPTION | DETAIL |
|--------|---------------------------------|--|
| [Line] | NON-RATED STUD WALL | - |
| [Line] | 1 HOUR FIRE-RATED INTERIOR WALL | REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12 |
| [Line] | 1 HOUR FIRE-RATED WALL | - |
| [Line] | 2 HOUR FIRE-RATED WALL | - |
| [Line] | 3 HOUR FIRE-RATED WALL | - |
| [Line] | 2 HOUR CMU WALL (CM-2) | CM/A8.12 |
| [Line] | 1 HOUR CMU WALL (CM-1) | CM/A8.12 |
| [Line] | NON RATED CMU WALL (CM-0) | CM/A8.12 |
| [Line] | CONCRETE WALL PER STRUCTURAL | - |

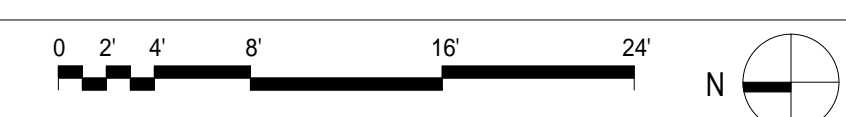
NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

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 PLOT DATE: 5/25/2016 2:19:48 PM
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 DRAWING NO: A2.4
 21 OF 37

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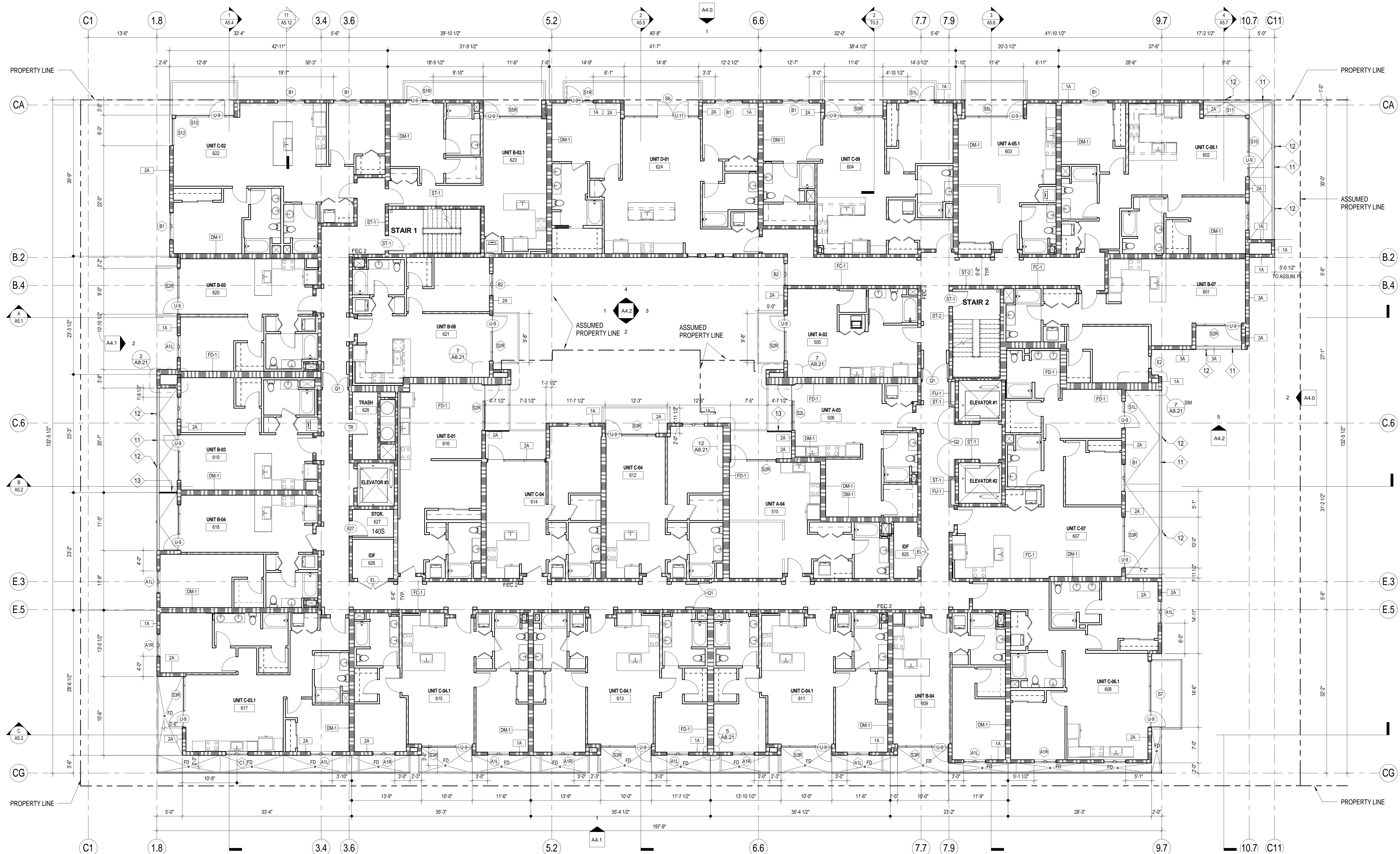


1 LEVEL 5
 SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES		FLOOR PLAN KEYNOTES		FLOOR PLAN LEGEND		WALL LEGEND	
1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS. NOMINAL U.G.N., WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "HOLD" OR "CLR" DIMENSIONS MUST BE MAINTAINED.	1	TYPICAL STALL STRIPING; 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-	10	OVERHEAD COILING SECURITY GRILLE	000	ROOM NUMBER
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.G.N.	2	SEMI-RECESSED FIRE EXTINGUISHER CABINET	-	10 44 16	17/ A8.14 16/ A8.14	000	DOOR NUMBER
3. ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALIGN, TAPE, AND SPACKLE WITH NEW PARTITION.	3	PRECAST CONCRETE WHEELSTOP	4/ A1.40	-	18/ A8.14	00	WINDOW NUMBER
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustICAL WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.	4	CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/ A1.40	05 50 00	21/ A8.14 23/ A8.14	FEC #	FIRE EXTINGUISHERS: FEC #1 = 2A-10B-C, SEMI-RECESSED FEC #2 = 2A-10B-C, SEMI-RECESSED, FIRE-RATED FEC #3 = 4A-80B-C, SEMI-RECESSED, OUTSIDE MECH. ELEC. BOLTER RMS
5. WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, T&G BACKING FOR CABINETS, SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.	5	GARAGE CLEARANCE WARNING BAR	8/ A1.40	-	10/ A1.40	FD	FLOOR DRAIN SEE PLUMBING DWGS.
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH CJ PRIOR TO INSTALLATION.	6	BIKE STORAGE RACKS	-	12 93 00	20/ A8.14	F&S	FIRE SPRINKLER RISER LOCATION SEE PLUMBING DWGS.
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILINGS AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACOUSTICAL WALL LOCATIONS AND FIRE/SMOKE DAMPERS AT ALL FIRE-RATED WALLS.	7	TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/ A1.40	11 12 00		DF	DRINKING FOUNTAIN SEE PLUMBING DWGS.
	8	CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING				AED	SEMI RECESSED AED CABINET
	9	CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD	13/ A8.81				MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1
							REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12
							CM/A8.12 CM/A8.12 CM/A8.12
							CONCRETE WALL PER STRUCTURAL
							NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

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 DRAWN BY: CHECKED BY:
 PLOT DATE: 5/25/2016 4:04:34 PM
 TITLE: FLOOR PLAN LEVEL 5
 DRAWING NO: A2.5
 22 OF 37



1 LEVEL 6
 SCALE: 1/8" = 1'-0"
 0 2 4 8 16 24' N

FLOOR PLAN GENERAL NOTES

- DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL U.O.N.). WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "HOLD" OR "CLR" DIMENSIONS MUST BE MAINTAINED.
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- WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 6" HIGH, 1/2" GA. BRICKING FOR CABINETS, SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
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FLOOR PLAN KEYNOTES

KEYNOTE	DETAIL	SPEC SECTION
1	TYPICAL STALL STRIPING; 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-
2	SEMI-RECESSED FIRE EXTINGUISHER CABINET	10 44 16
3	PRECAST CONCRETE WHEELSTOP	4/ A1.40
4	CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/ A1.40 05 50 00
5	GARAGE CLEARANCE WARNING BAR	8/ A1.40
6	BIKE STORAGE RACKS	- 12 93 00
7	TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/ A1.40 11 12 00
8	CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING	-
9	CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD	13/ A8.81

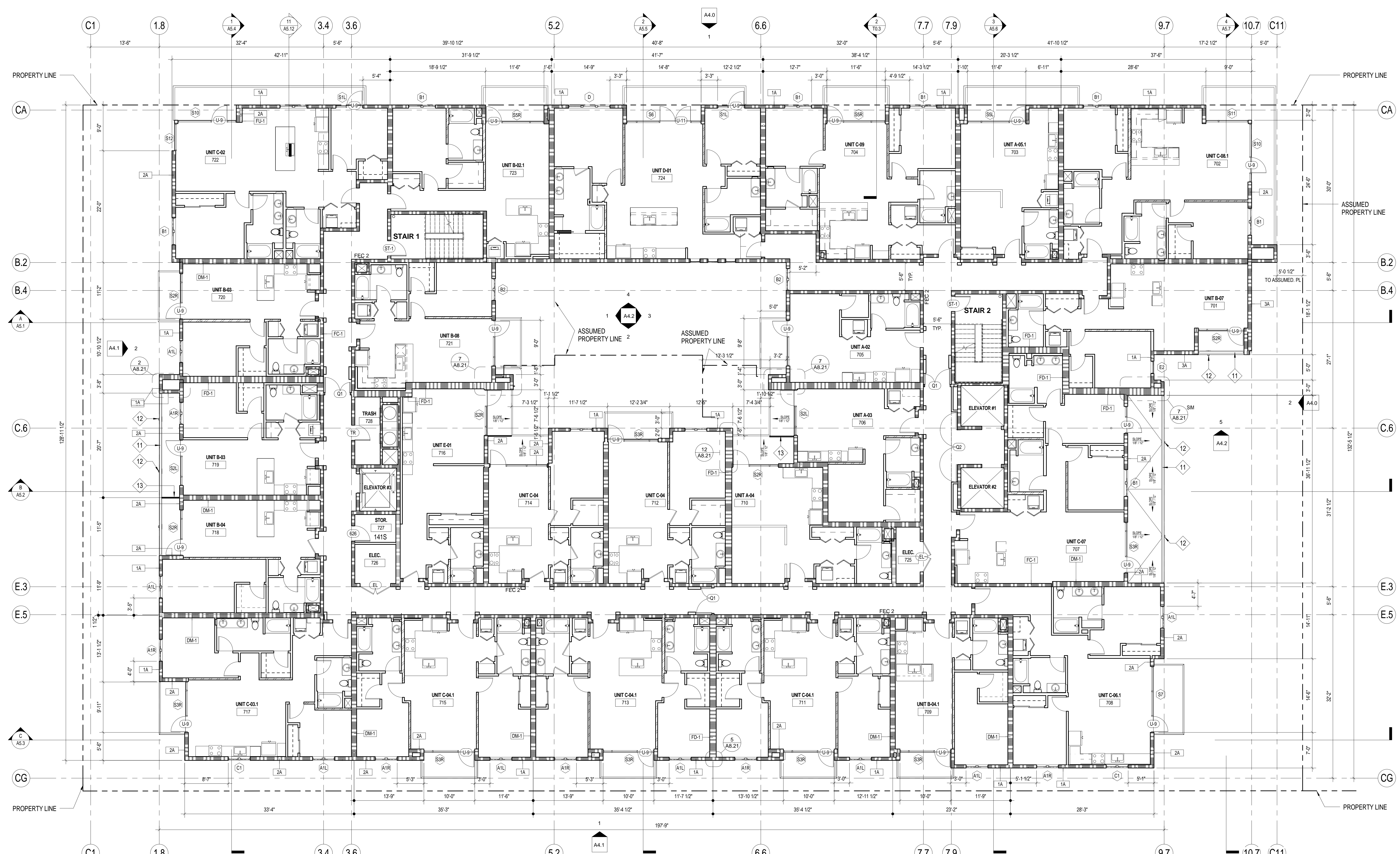
FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION	DETAIL	SPEC SECTION
000	ROOM NUMBER		
000	DOOR NUMBER		
00	WINDOW NUMBER		
FEC #	FIRE EXTINGUISHERS:		
FD	FLOOR DRAIN	SEE PLUMBING DWGS.	
FSR	FIRE SPRINKLER RISER LOCATION	SEE PLUMBING DWGS.	
DF	DRINKING FOUNTAIN	SEE PLUMBING DWGS.	
AED	SEMI RECESSED AED CABINET		
[Hatched]	MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1		

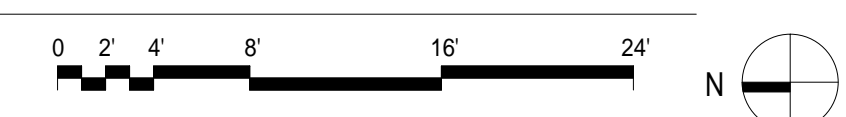
WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
[Line]	NON-RATED STUD WALL	
[Line]	1 HOUR FIRE-RATED INTERIOR WALL	REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12
[Line]	1 HOUR FIRE-RATED WALL	
[Line]	2 HOUR FIRE-RATED WALL	
[Line]	3 HOUR FIRE-RATED WALL	
[Line]	2 HOUR CMU WALL (CM-2)	CM/A8.12
[Line]	1 HOUR CMU WALL (CM-1)	CM/A8.12
[Line]	NON RATED CMU WALL (CM-0)	CM/A8.12
[Line]	CONCRETE WALL PER STRUCTURAL	

NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS



1 LEVEL 7
 SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL U.O.N.). WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "HOLD" OR "CLR" DIMENSIONS MUST BE MAINTAINED.
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FLOOR PLAN KEYNOTES

KEYNOTE	DETAIL	SPEC SECTION
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5	GARAGE CLEARANCE WARNING BAR	8/ A1.40
6	BIKE STORAGE RACKS	- 12 93 00
7	TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/ A1.40 11 12 00
8	CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING	-
9	CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD	13/ A8.81

FLOOR PLAN LEGEND

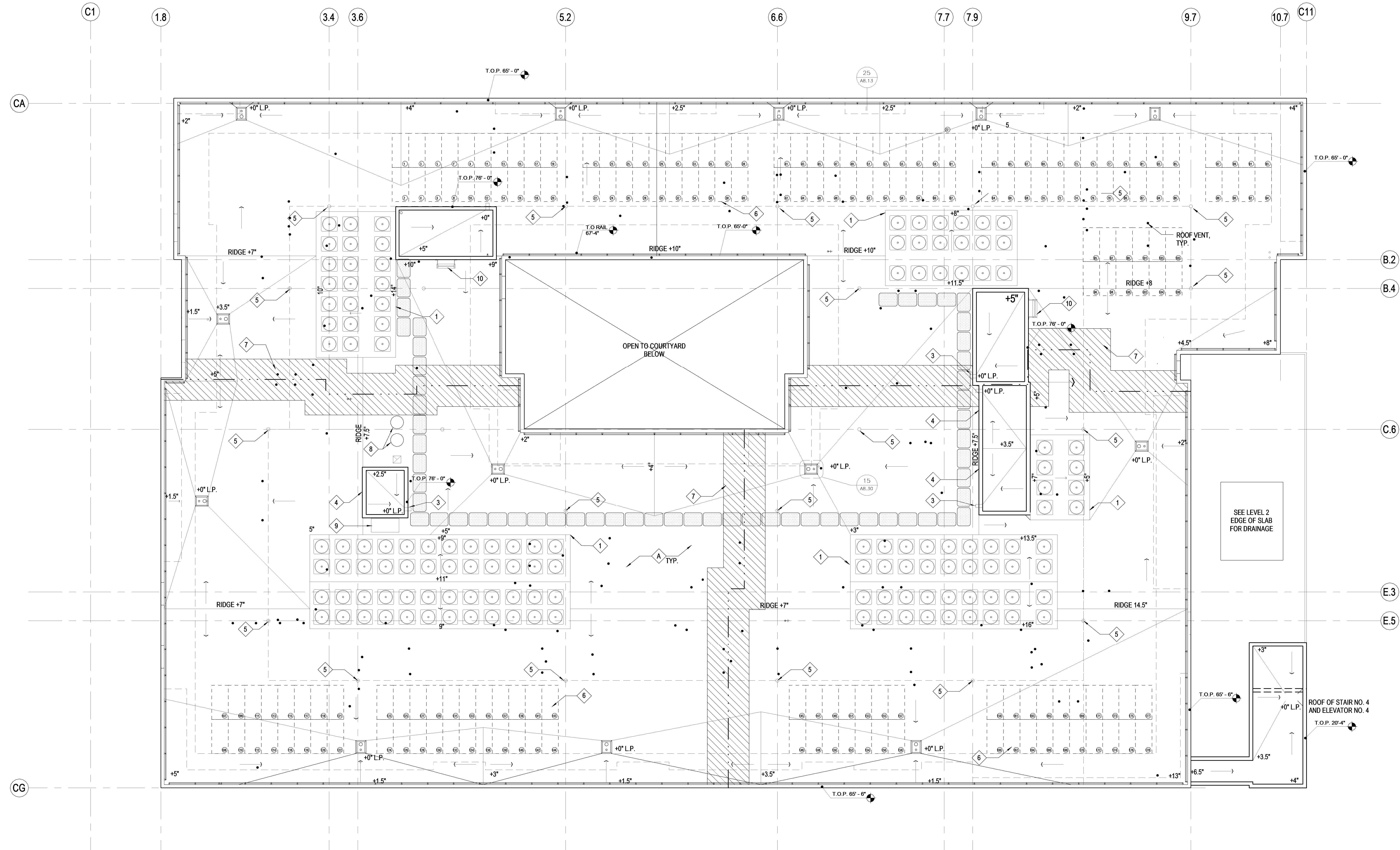
SYMBOL	DESCRIPTION	DETAIL	SPEC SECTION
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000	DOOR NUMBER		
00	WINDOW NUMBER		
FEC #	FIRE EXTINGUISHERS:		
FD	FLOOR DRAIN	SEE PLUMBING DWGS.	
FSD	FIRE SPRINKLER RISER LOCATION	SEE PLUMBING DWGS.	
DF	DRINKING FOUNTAIN	SEE PLUMBING DWGS.	
AED	SEMI RECESSED AED CABINET		
	MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1		

WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
[Symbol]	NON-RATED STUD WALL	
[Symbol]	1 HOUR FIRE-RATED INTERIOR WALL	
[Symbol]	1 HOUR FIRE-RATED WALL	
[Symbol]	2 HOUR FIRE-RATED WALL	
[Symbol]	3 HOUR FIRE-RATED WALL	
[Symbol]	2 HOUR CMU WALL (CM-2)	CM/A8.12
[Symbol]	1 HOUR CMU WALL (CM-1)	CM/A8.12
[Symbol]	NON RATED CMU WALL (CM-0)	CM/A8.12
[Symbol]	CONCRETE WALL PER STRUCTURAL	

NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

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1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

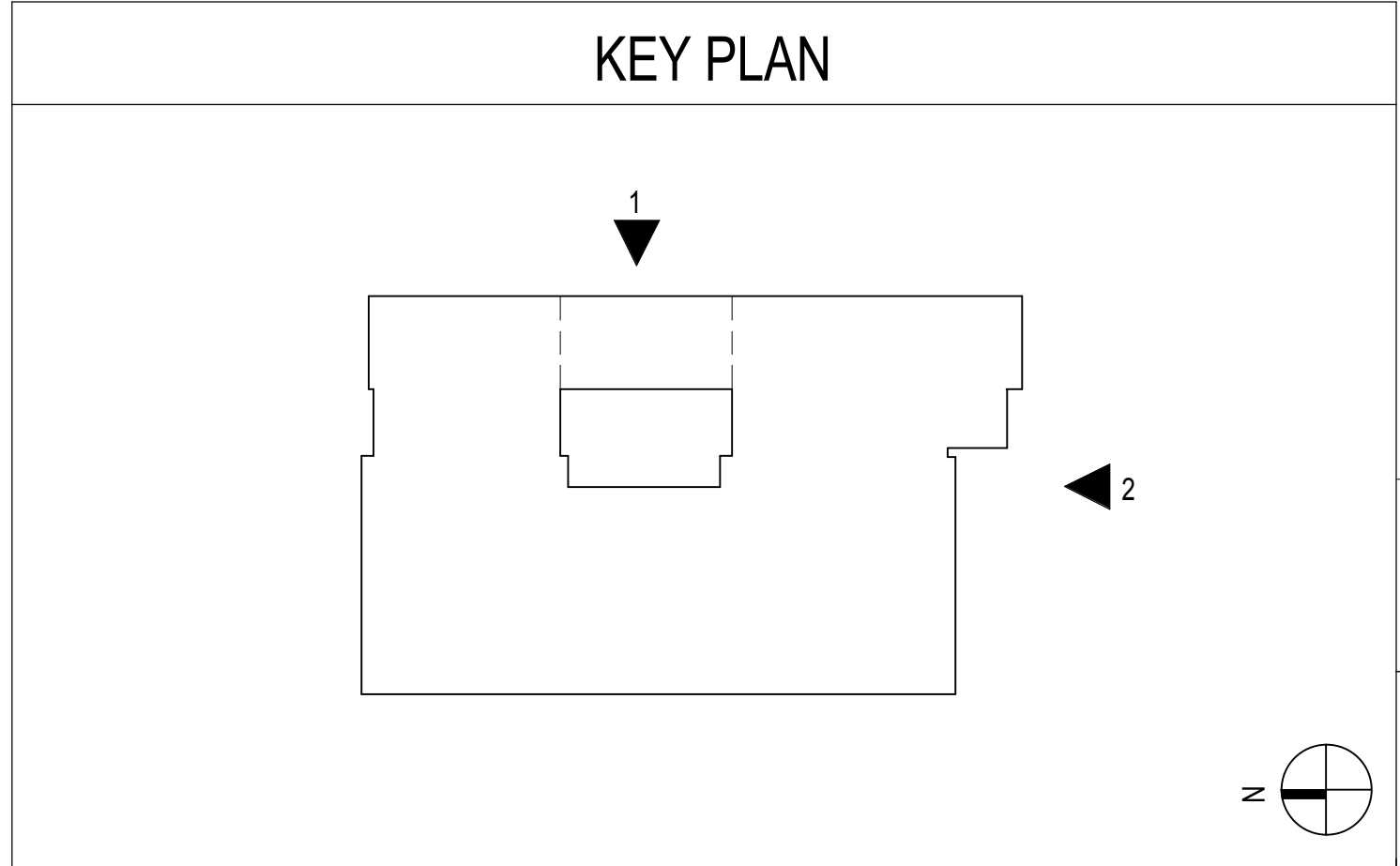
ROOF PLAN GENERAL NOTES	ROOF ASSEMBLY TYPES	DETAIL	SPEC SECTION	ROOF PLAN KEYNOTES	DETAIL	SPEC SECTION	ROOF PLAN LEGEND	DETAIL	SPEC SECTION	DETAIL	SPEC SECTION				
<p>FIRE CLASSIFICATION: CLASS LISTED AND IDENTIFIED BY AN APPROVED TESTING AGENCY (CBC 1505)</p> <p>ROOF INSULATION: R-30 BATT INSULATION BELOW ROOF PLYWOOD SHEATHING. SEE 12/A8.02 FOR ROOF ASSEMBLY</p> <p>ROOF SLOPE: TYPICAL ROOF SLOPE IS 1/4" FT MINIMUM, 1/8" FT AT CRICKETS.</p> <p>TOP OF PARAPET: TYPICAL TOP OF PARAPET HEIGHT IS +65'-0" U.O.N.</p> <p>FLASHING LOCATIONS: AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, PARAPETS, ROOF EDGES, ROOF PENETRATIONS, ETC., FLASHING AND COUNTERFLASHING SHALL BE PROVIDED PER THE ROOF MANUFACTURER'S RECOMMENDATIONS AND, WHEN OF METAL, SHALL NOT BE LESS THAN NO. 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT METAL (CBC 1503) ALL ROOF FLASHINGS SHALL CONFORM TO SMACNA AND NRCA STANDARDS. FLASHING AND COUNTERFLASHING SHALL BE PAINTED U.O.N.</p> <p>OVERFLOW DRAINS AND SCUPPERS: WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE WATER INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS AND HAVING A MINIMUM OPENING HEIGHT OF 4 INCHES MAY BE INSTALLED IN THE ADJACENT PARAPET WALLS WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ADJACENT ROOF. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES</p> <p>OVER PUBLIC PROPERTY: ROOF DRAINAGE WATER FROM A BUILDING SHALL NOT BE PERMITTED TO FLOW OVER PUBLIC PROPERTY</p> <p>MAINTENANCE ACCESS: ACCESS SHALL BE PROVIDED TO ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF AS REQUIRED BY THE MECHANICAL CODE</p> <p>COORDINATION: CONTRACTOR SHALL VERIFY LOCATIONS AND COORDINATE SIZES FOR ALL ROOF OPENINGS, CURBS, CONCRETE PADS, AND ATTACHMENT REQUIREMENTS W/ MANUFACTURER FOR ACTUAL MECHANICAL EQUIPMENT SUBMITTED</p>	<p>SINGLE PLY ROOFING OVER PLYWOOD SHEATHING ON TJI WITH (R-30 MINIMUM) BATT INSULATION BELOW SHEATHING. SEE SPECIFICATIONS.</p>	12/A8.02	DIV 07	<p>1 CURB-MOUNTED MECHANICAL UNIT</p> <p>2 MAINTENANCE GUARDRAIL</p> <p>3 SCUPPER</p> <p>4 ELEVATOR HOISTWAY VENT</p> <p>5 ROOF MOUNTED TIE-BACK ANCHOR</p> <p>6 FUTURE PV ARRAY- DESIGN & INSTALLATION BY PV SUBCONTRACTOR. NO THROUGH-ROOF PLUMBING VENTS IN THESE LOCATIONS.</p> <p>7 3-HR FIRE WALL TERMINATION AREA AT UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHING. NO PENETRATIONS ALLOWED WITHIN 4' OF FIRE WALL (HATCHED REGION).</p> <p>8 TRASH CHUTE VENT</p> <p>9 FUTURE WALL MOUNTED SOLAR INVERTOR</p> <p>10 ROOF LADDER</p>	<p>24/ A8.30</p> <p>24/ A8.13 25/ A8.13</p> <p>5/ A8.30 21/ A8.30</p> <p>23/ A8.30</p> <p>25/ A8.30</p> <p>8/ A8.21</p> <p>22/A8.30</p> <p>25/ A8.50</p>	<p>15/ A8.30</p> <p>12/ A8.30 25/A8.30</p> <p>9/ A8.30 14/ A8.30</p> <p>18/ A8.30</p> <p>-A8.30</p> <p>-A8.30</p>	<p>ROOF DRAIN / OVERFLOW DRAIN</p> <p>TRAFFIC WALK PAD</p> <p>TAPERED RIGID INSULATION (FOR SLOPE ONLY)</p> <p>EXHAUST FAN</p> <p>PLUMBING VENT THROUGH ROOF (VTR)</p> <p>HVAC DUCT THROUGH ROOF</p> <p>WINDOW WASHING FIXED DAVIT BASE W/ PEDESTAL</p> <p>WINDOW WASHING FLUSH DAVIT BASE W/ PEDESTAL</p> <p>FUTURE SOLAR PV PANEL 20.7 SF</p>	<p>15/ A8.30</p> <p>07 54 19</p> <p>07 54 19</p> <p>DIV 23</p> <p>DIV 22</p> <p>DIV 22</p> <p>11 24 00</p> <p>11 24 00</p>	<p>CLASS 1 STANDPIPE HOSE CONNECTION</p> <p>HIGH POINT ELEVATION</p> <p>LOW POINT ELEVATION</p> <p>TOP OF PARAPET ELEVATION</p>	<p>DIV 21</p>	<p>PROJECT NO: 5548.00</p> <p>FILE NAME: WRITE CENTRAL FILE PATH HERE: (E:\PROJECTS\2016\Permit\Roof\A2.8.dwg)</p> <p>DRAWN BY: CHECKED BY:</p> <p>PLOT DATE: 3/25/2016 6:25:10 PM</p> <p>TITLE: ROOF PLAN</p> <p>DRAWING NO: A2.8</p> <p>25 OF 37</p>				
	<p>SOLAR READY AREA CALCULATION</p> <p>UNOCCUPIED ROOF AREA: 26,535 SF MINIMUM SOLAR ZONE: 15% OF ROOF AREA: 3,980 SF APPROXIMATE PANEL SIZE: 20.7 SF MINIMUM PANELS REQUIRED 178</p>														

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1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:
 VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.

METAL FINISHES:
 ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.

INSULATION:
 PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.

WEATHER-TIGHTNESS:
 ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.

PREMISES IDENTIFICATION:
 ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH U.N.O.

TILE PATTERN:
 SEE 6/A4.2 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL -	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD				
[Symbol]	PLASTER - SAND FINISH, PAINT TBD				
[Symbol]	CERAMIC TILE - 12" x 24"				
[Symbol]	CERAMIC TILE -				
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:		[Symbol]	3 HOUR OCCUPANCY SEPARATION	
[Symbol]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT:		[Symbol]	BALCONY TYPE	

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
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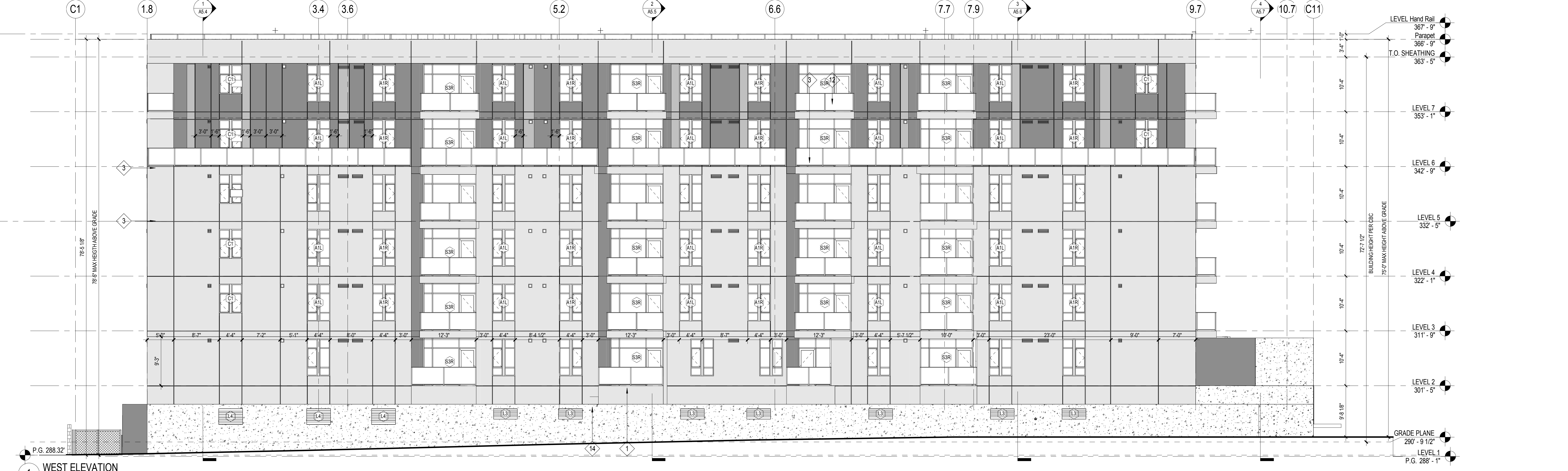
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EXTERIOR ELEVATIONS

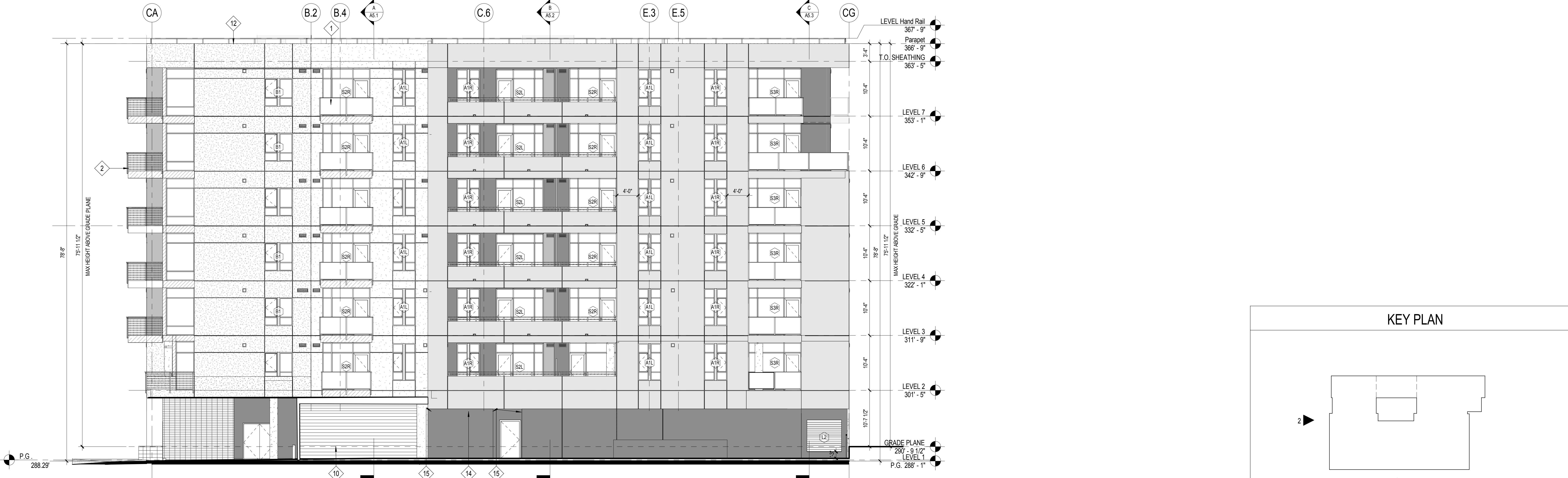
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A4.0
 26 OF 37

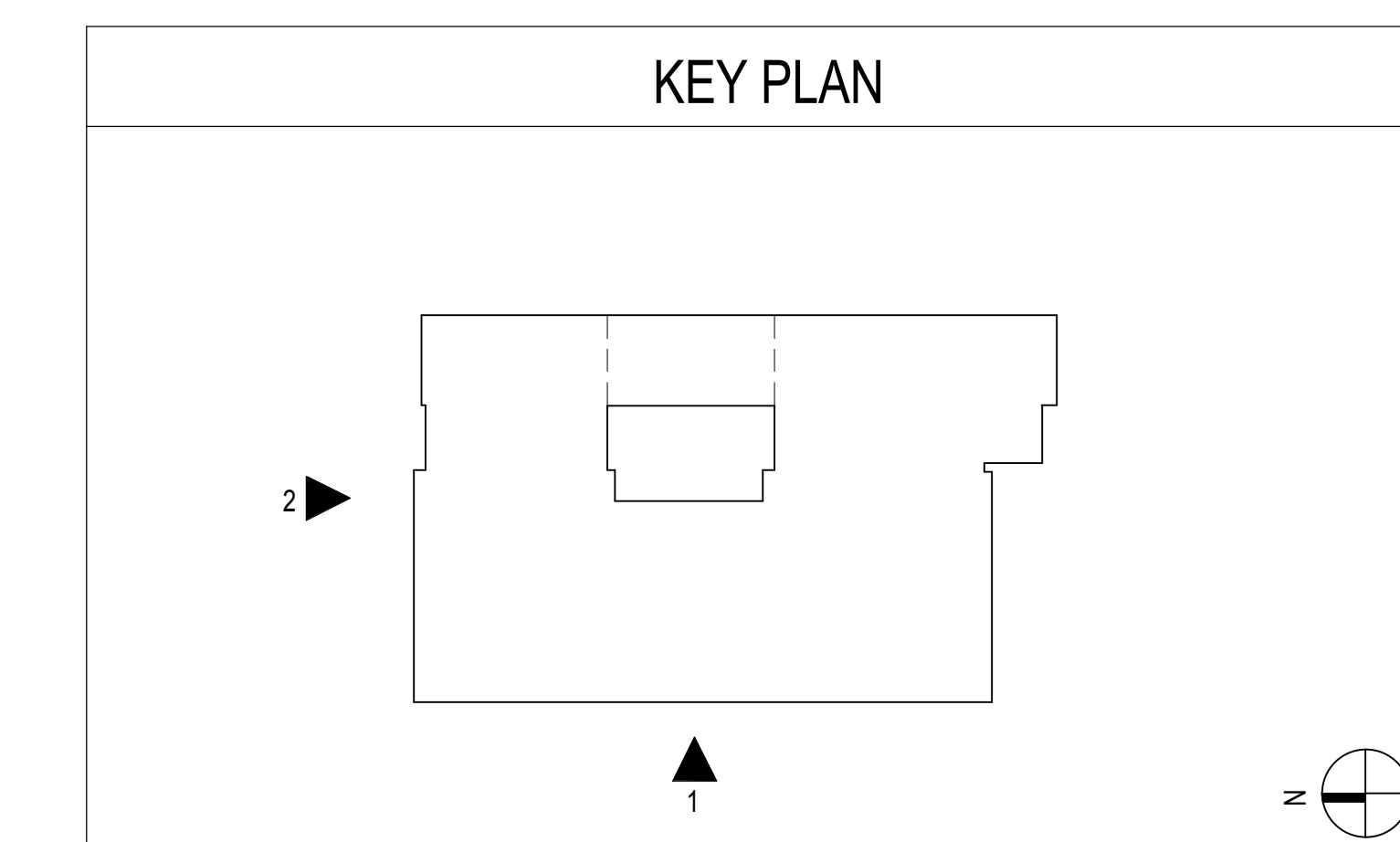
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1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
 ISSUES:

PROJECT NO: 5548-00
 FILE NAME: \\P:\0000\000000\Central\Permit\10-2016-0001.dwg
 DRAWN BY: CHECKED BY:
 PLOT DATE: 5/26/2016 10:19:36 AM
 TITLE:

EXTERIOR ELEVATIONS

DRAWING NO:

ELEVATION / SECTION GENERAL NOTES

- REFERENCE POINTS:**
 VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.
- METAL FINISHES:**
 ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.
- INSULATION:**
 PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.
- WEATHER-TIGHTNESS:**
 ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.
- PROMINENT IDENTIFICATION:**
 ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH U.O.N.
- TILE PATTERN:**
 SEE 6/A4.2 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

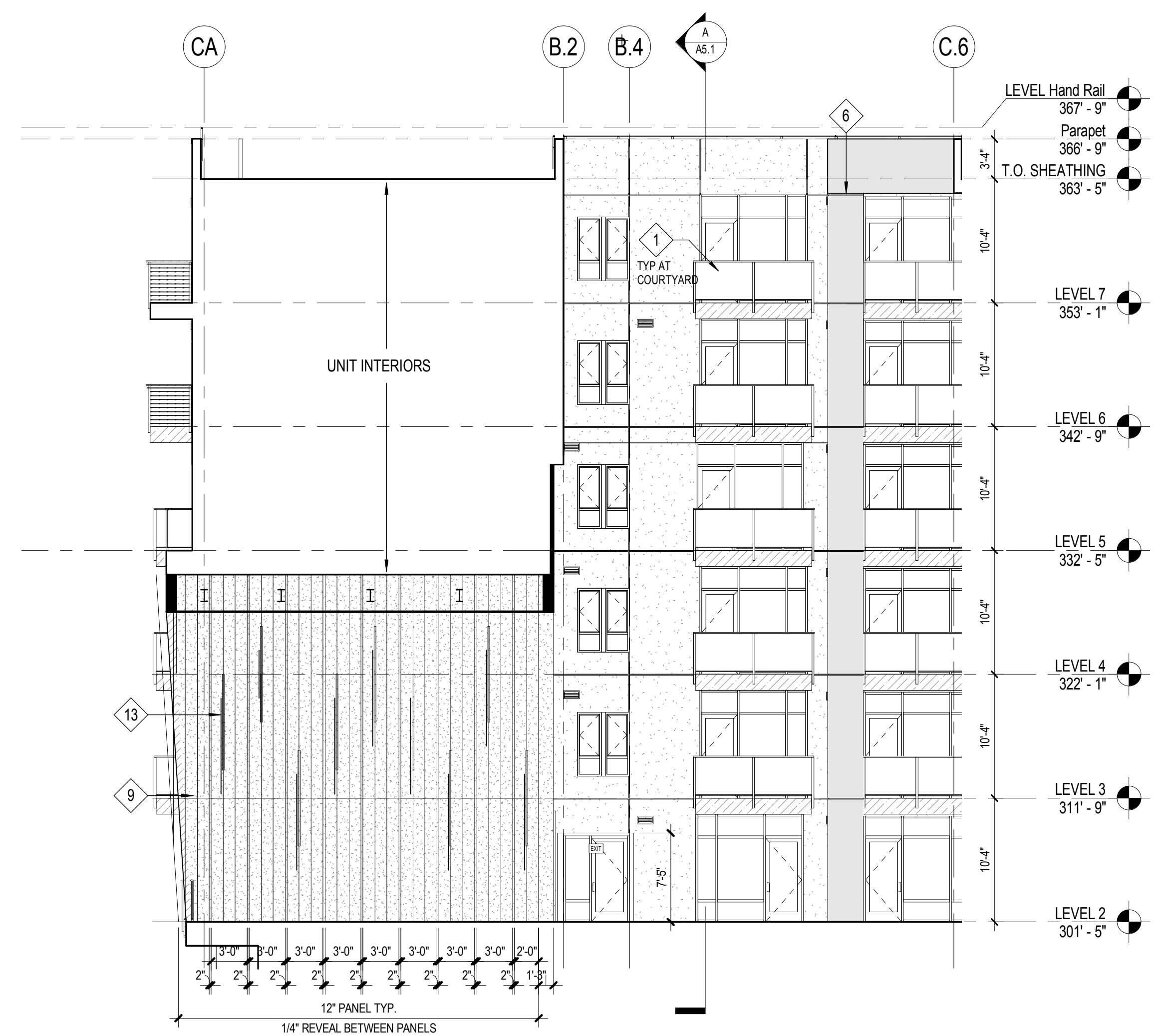
KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	
			16	PLANTERS PER LANDSCAPE	

EXTERIOR MATERIAL LEGEND

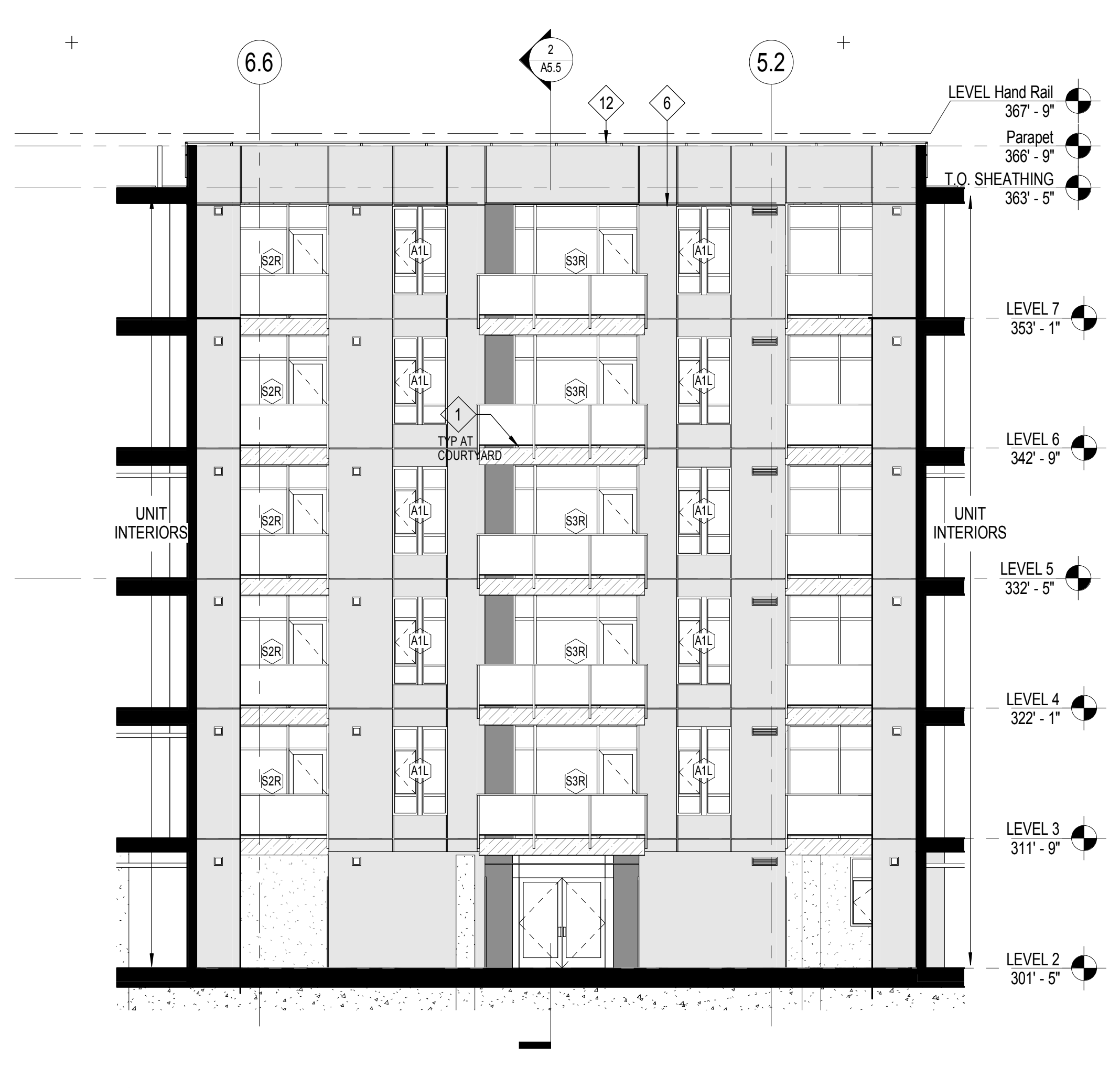
SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]	METAL PANEL -	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD				
[Pattern]	PLASTER - SAND FINISH, PAINT TBD				
[Pattern]	CERAMIC TILE - 12" x 24"				
[Pattern]	CERAMIC TILE -				
[Pattern]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:		[Symbol]	3 HOUR OCCUPANCY SEPARATION	
[Pattern]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT:		[Symbol]	BALCONY TYPE	

LEGEND

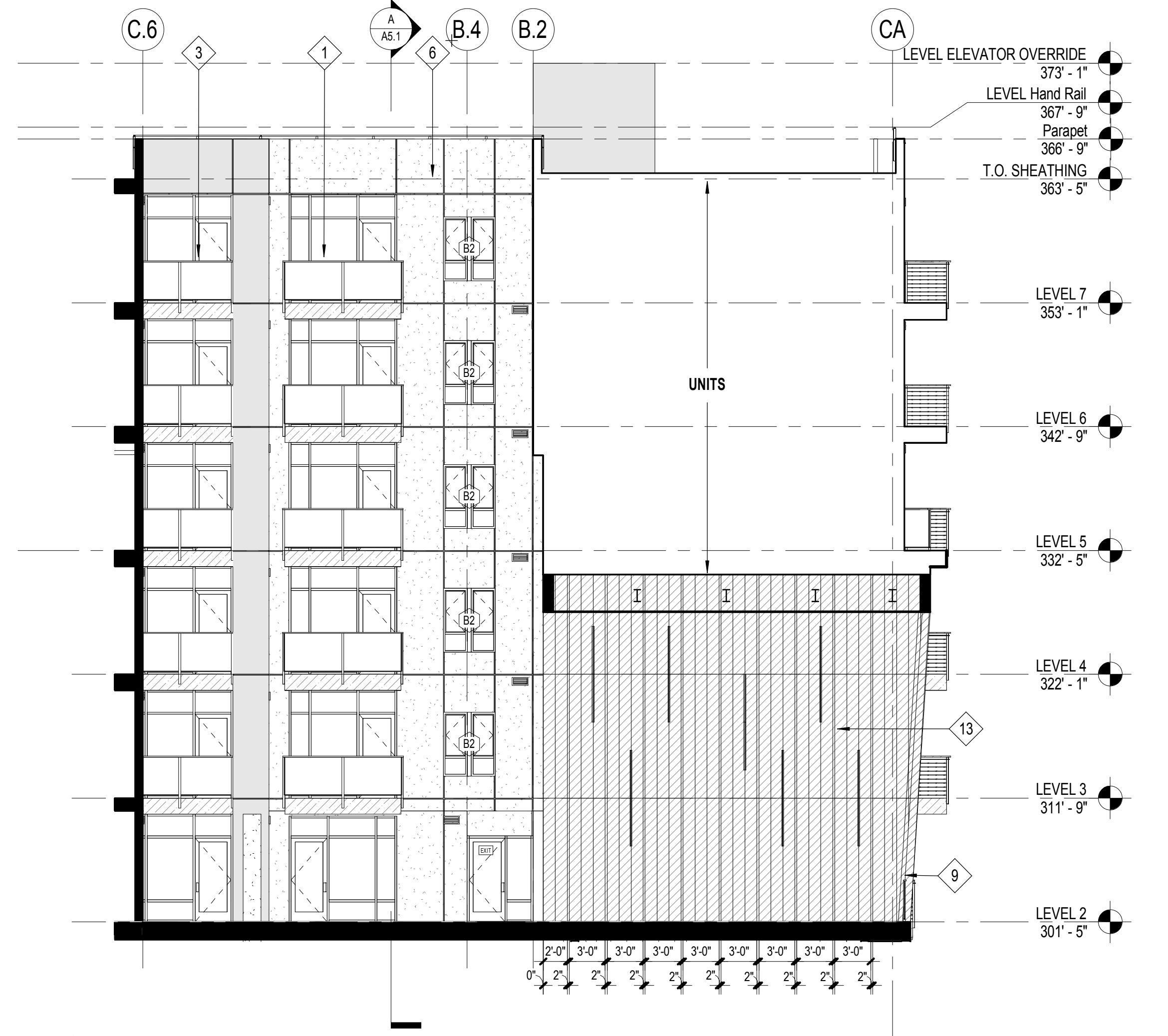
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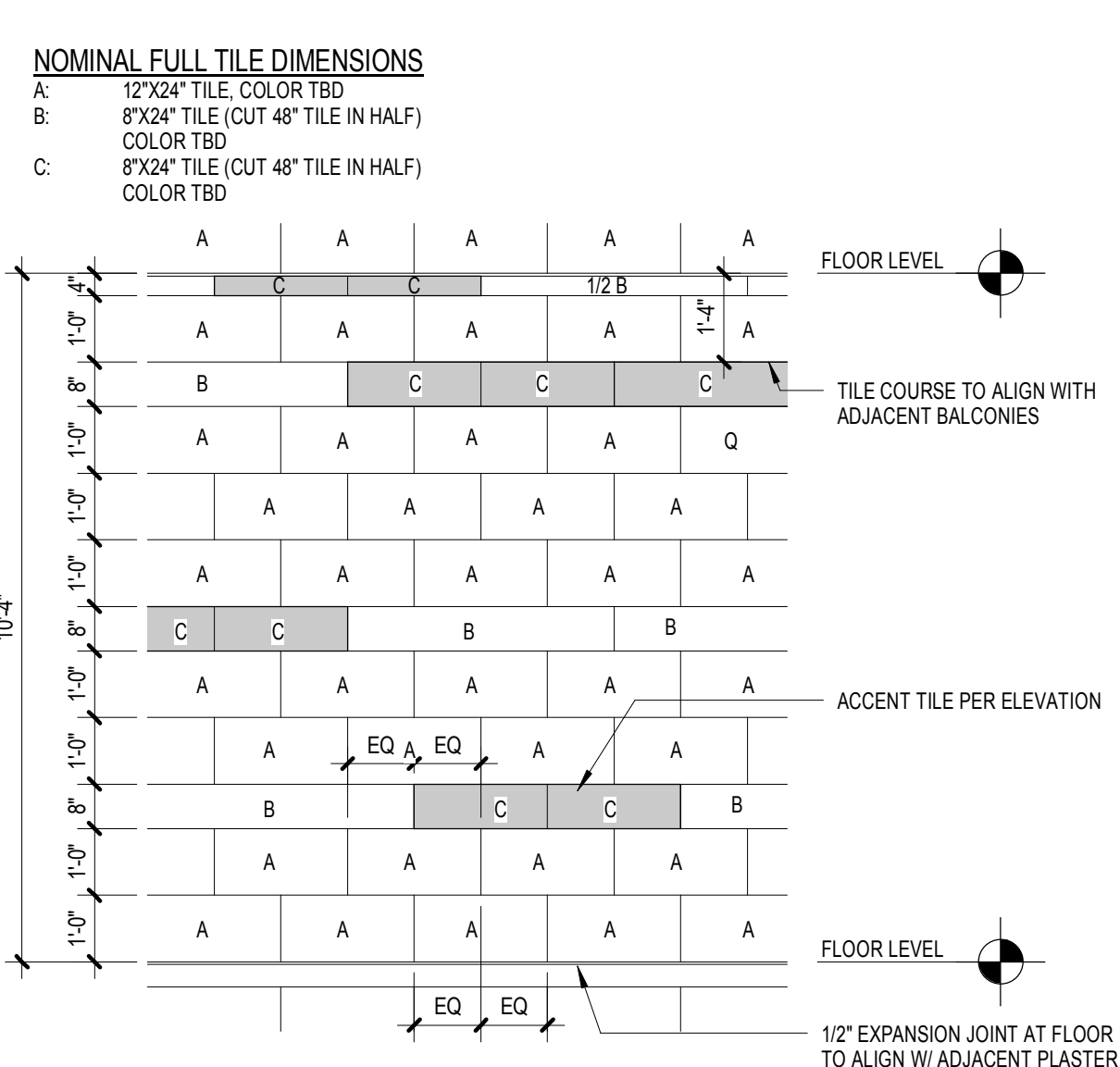
3 COURTYARD - NORTH
 SCALE: 1/8" = 1'-0"



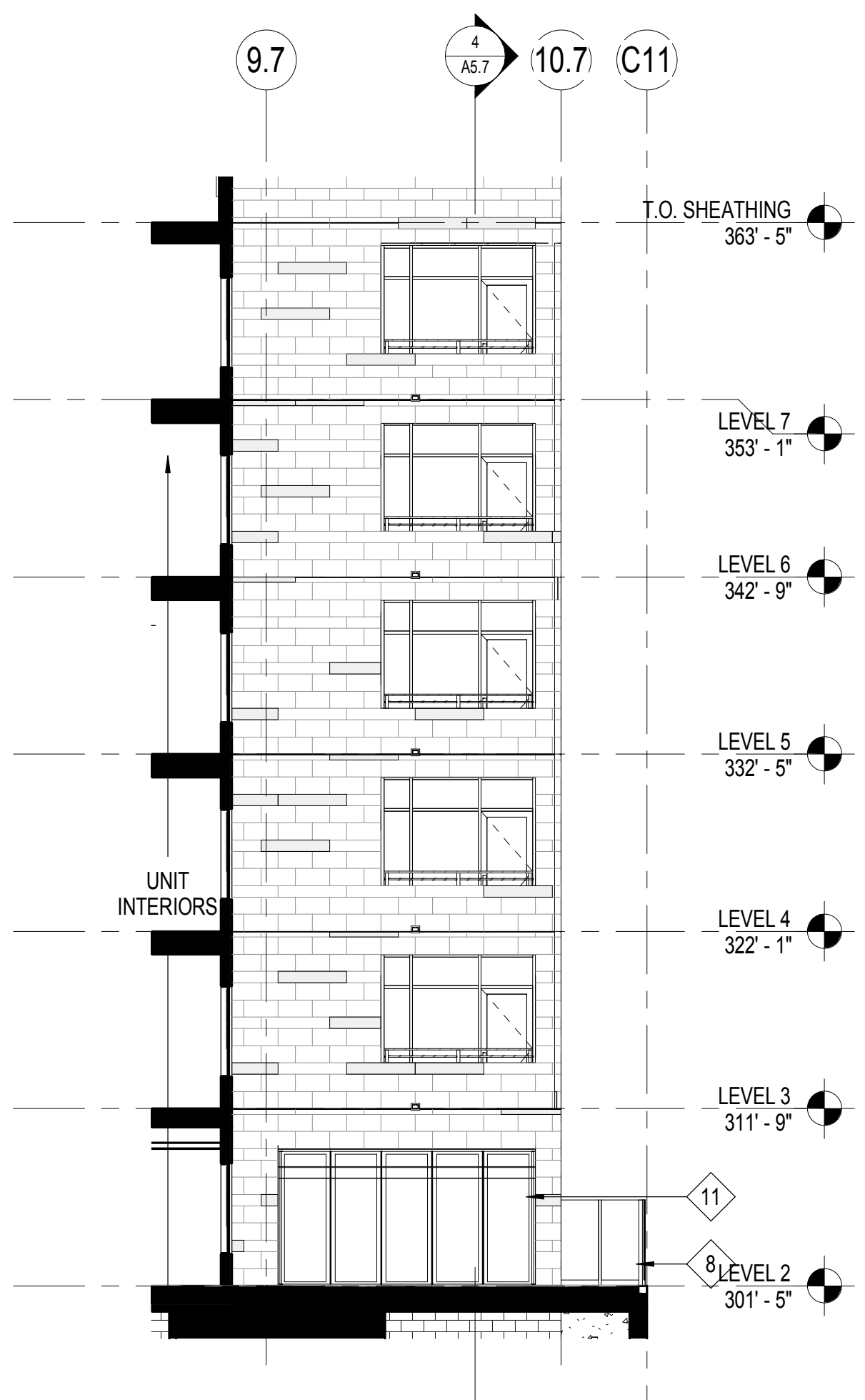
2 COURTYARD - EAST
 SCALE: 1/8" = 1'-0"



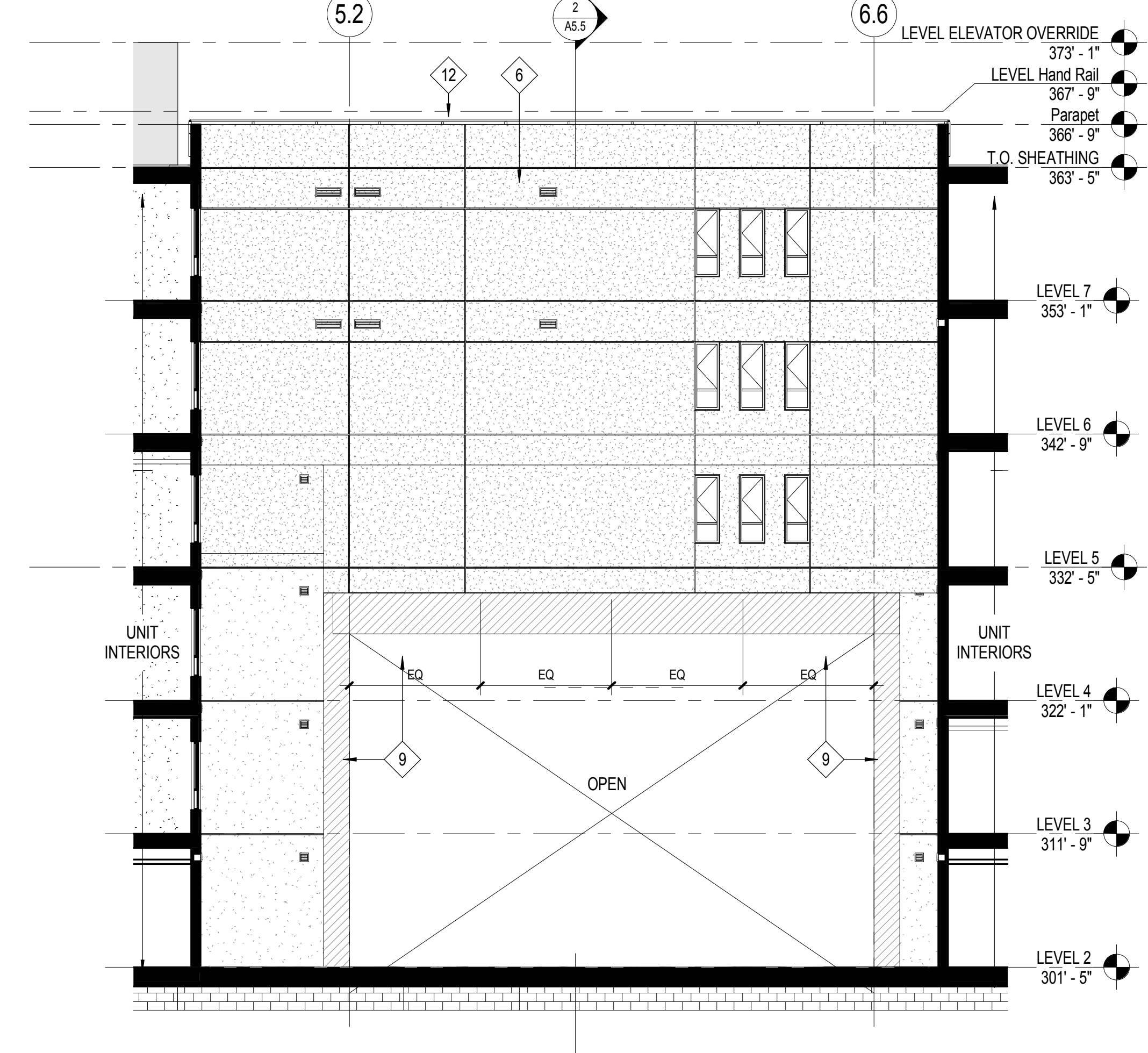
1 COURTYARD - SOUTH
 SCALE: 1/8" = 1'-0"



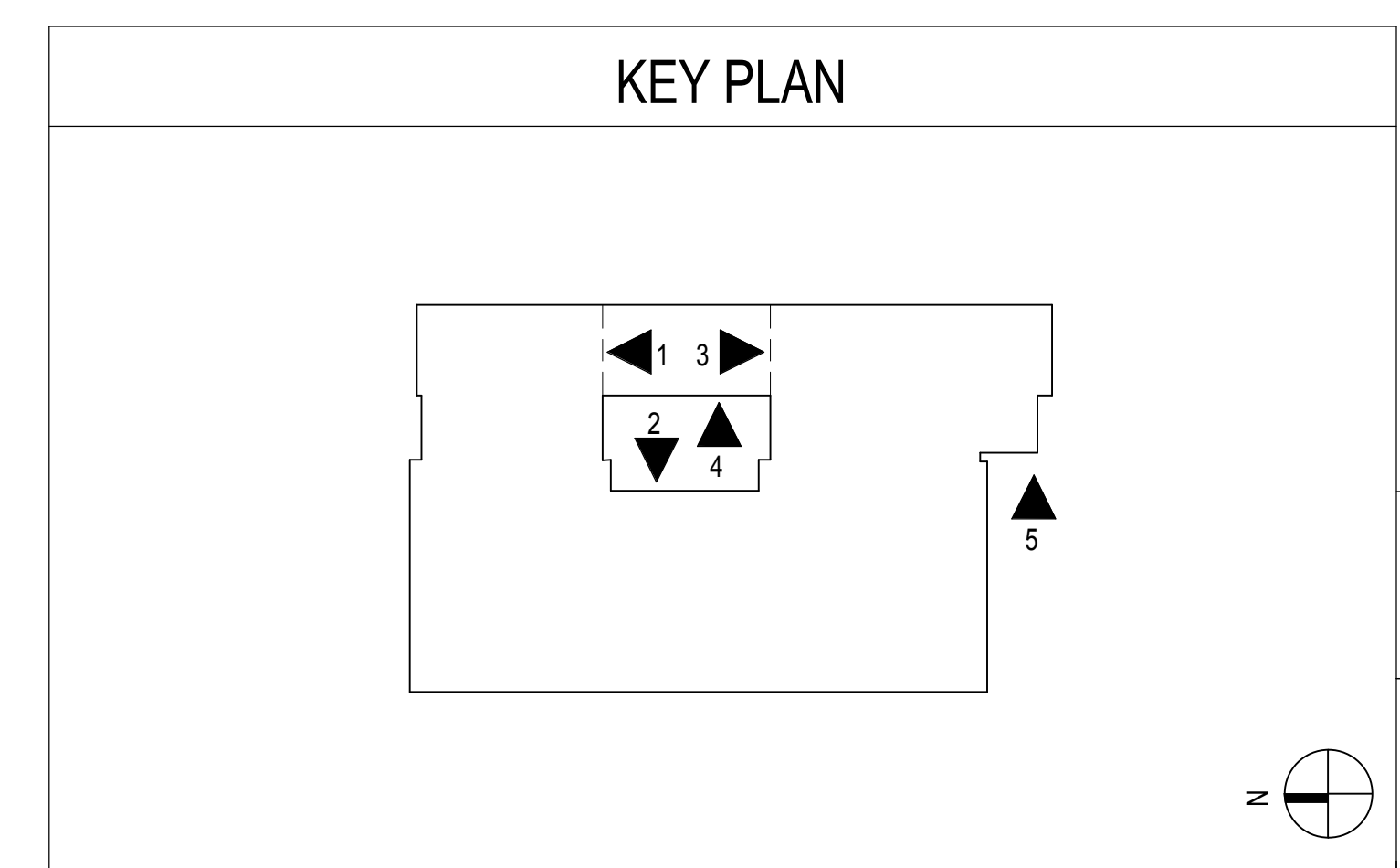
6 TYP. TILE COURSING
 SCALE: 3/8" = 1'-0"



5 POOL EAST ELEVATION
 SCALE: 1/8" = 1'-0"



4 COURTYARD - WEST
 SCALE: 1/8" = 1'-0"



10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
 ISSUES:

ELEVATION / SECTION GENERAL NOTES

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TILE PATTERN:
 SEE 6/A4.2 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
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2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]	METAL PANEL -	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD				
[Pattern]	PLASTER - SAND FINISH, PAINT TBD				
[Pattern]	CERAMIC TILE - 12" x 24"				
[Pattern]	CERAMIC TILE -				
[Pattern]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:				
[Pattern]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT:				

LEGEND

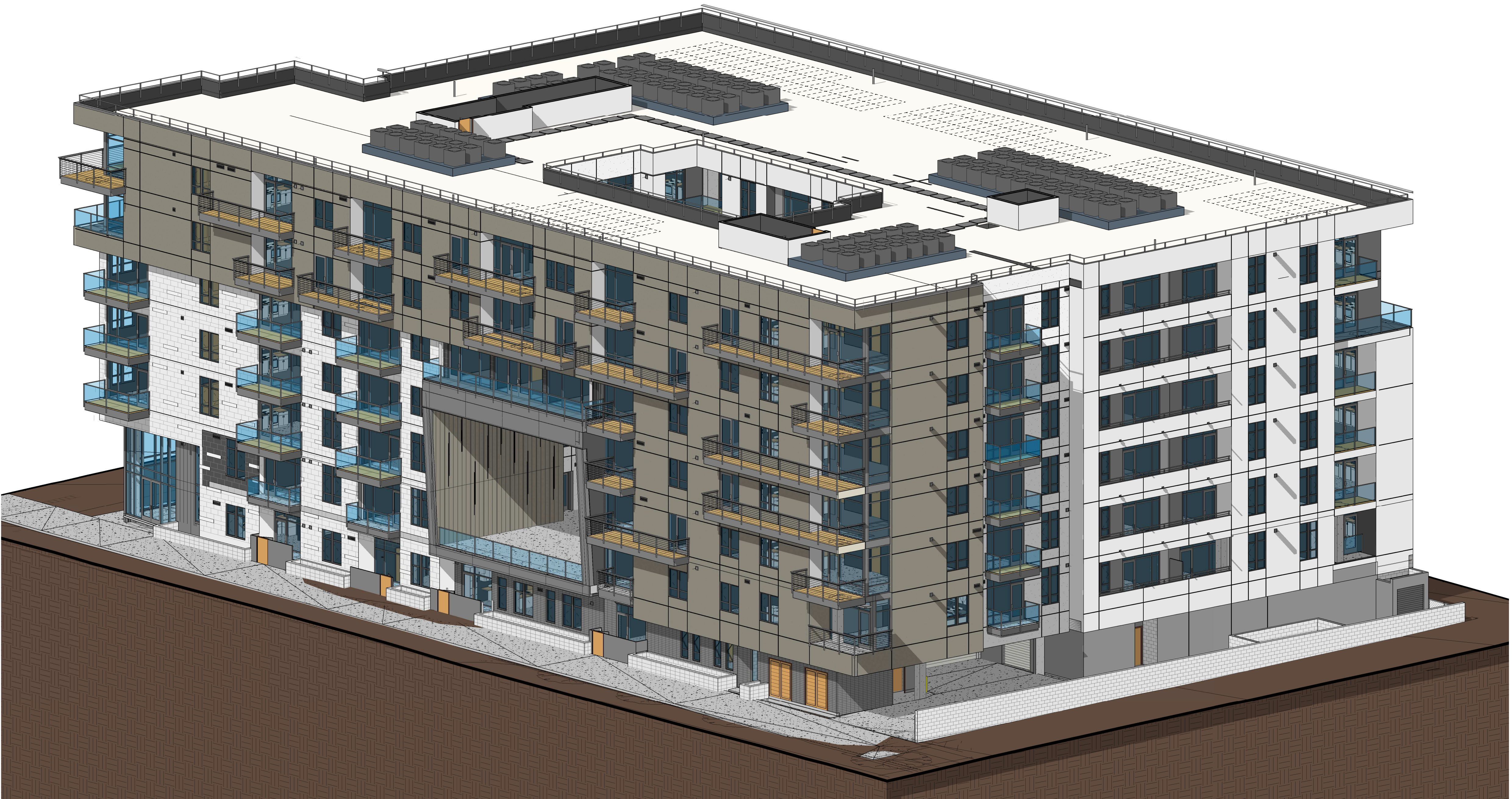
[Symbol] 3 HOUR OCCUPANCY SEPARATION
 [Symbol] BALCONY TYPE

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 DRAWN BY: CHECKED BY:
 PLOT DATE: 5/26/2016 10:37:28 AM
 TITLE:
EXTERIOR ELEVATIONS
 DRAWING NO:
A4.2
 28 OF 37

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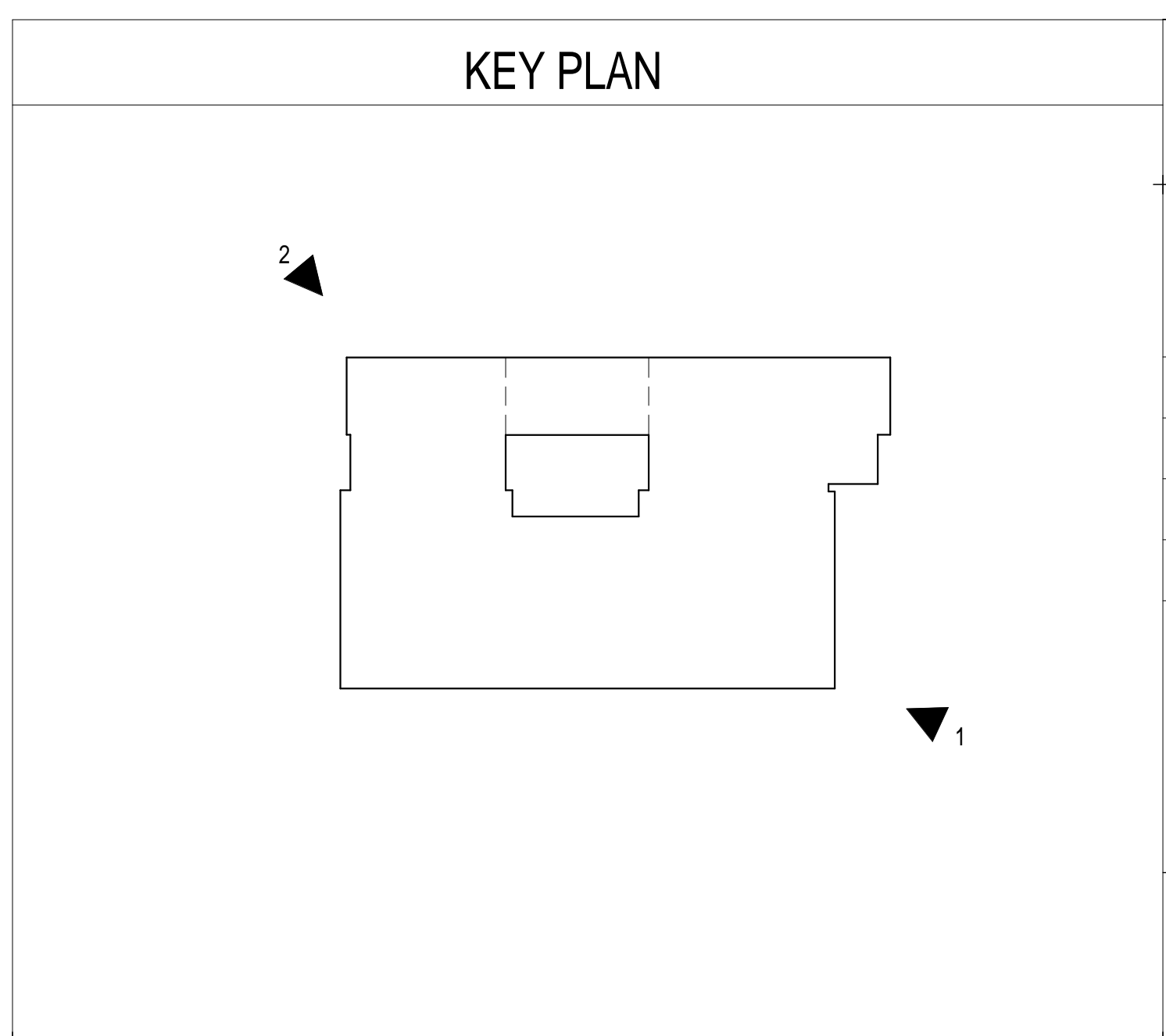
1 AXONOMETRIC 1



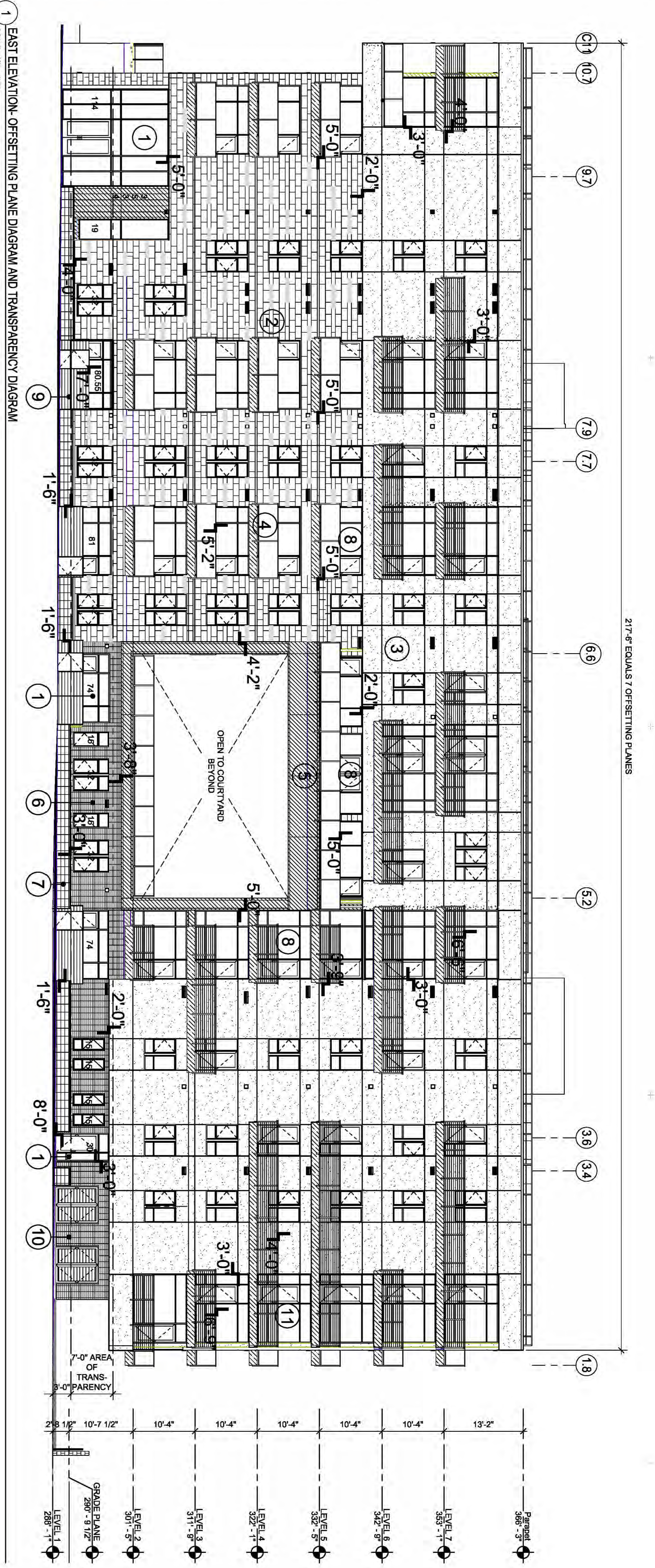
2 AXONOMETRIC 2

carrierjohnson + CULTURE
architecture + environments + brand strategy + graphics
1301 third avenue san diego ca 92101
phone 619.239.2353 | fax 619.239.8227

STRAUSS FIFTH AVENUE
3534 FIFTH AVENUE
SAN DIEGO CA 92103



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ISSUES:
PROJECT NO: 5548.00
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PLOT DATE: 25/03/2016 06:22:39 p.m.
TITLE: EXTERIOR ISOMETRICS (FOR REFERENCE ONLY)
DRAWING NO:



TRANSPARENCY AREA CALCULATION

AREA BETWEEN 3'-10 FEET ABOVE SIDEWALK: 1,428 SF
 TRANSPARENCY REQUIRED: 714 SF
 TRANSPARENCY PROVIDED: 723 SF

TRANSPARENCY AREA CALCULATION

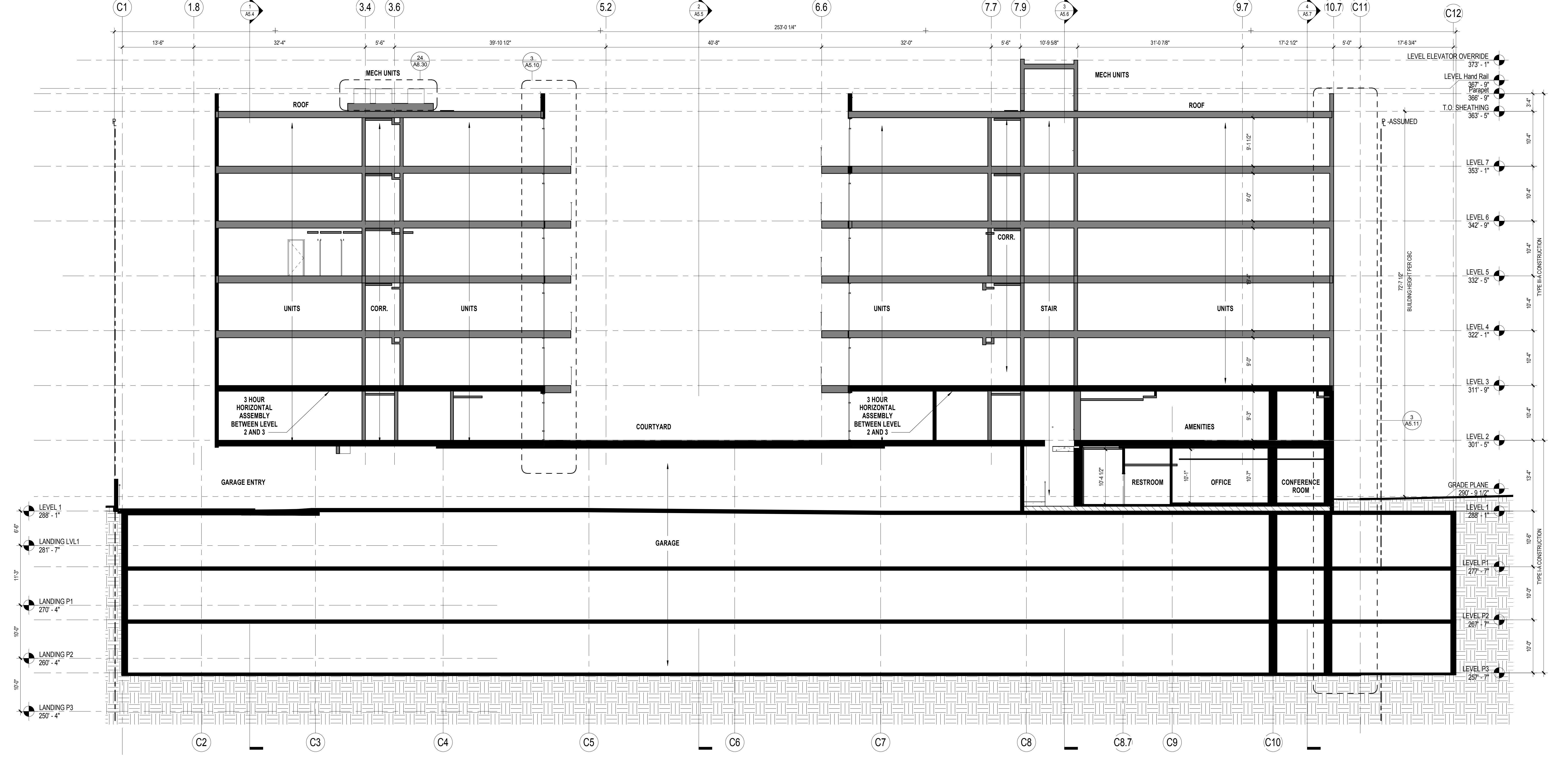
DISTANCE BETWEEN FRONT PLANE AND BACK PLANE: 15'-2 1/2"

STRAUSS FIFTH AVENUE
 3534 FIFTH AVENUE
 SAN DIEGO CA 92103

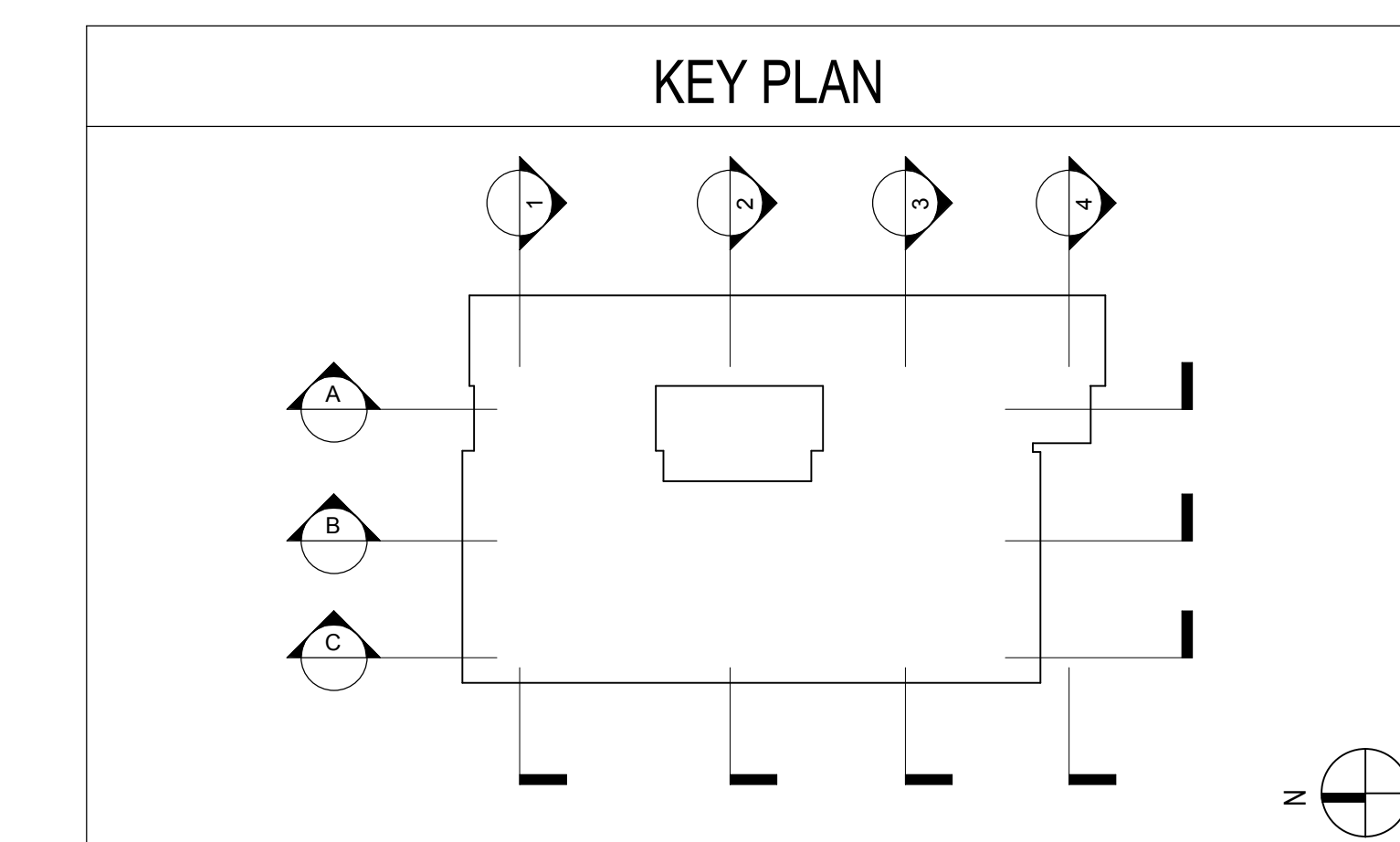
2 PERSPECTIVE VIEW FROM FIFTH AVENUE
 SCALE: 1/8" = 1'-0"



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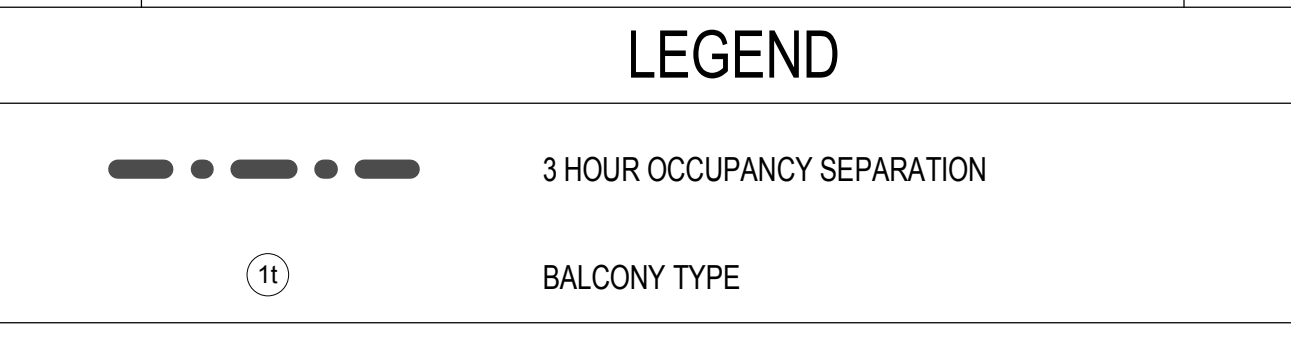
A BUILDING SECTION A
SCALE: 1/8" = 1'-0"



ELEVATION / SECTION GENERAL NOTES	
REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.	
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TILE PATTERN: SEE 6/A4.2 FOR TYPICAL TILE PATTERN	

ELEVATION / SECTION KEYNOTES			
KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15
			16
	PLANTERS PER LANDSCAPE		21/ A8.13

EXTERIOR MATERIAL LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SYMBOL
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]
[Pattern]	PLASTER - SAND FINISH, PAINT TBD		[Pattern]
[Pattern]	CERAMIC TILE - 12" x 24"		[Pattern]
[Pattern]	CERAMIC TILE -		[Pattern]
[Pattern]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:		[Pattern]
[Pattern]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT.		[Pattern]



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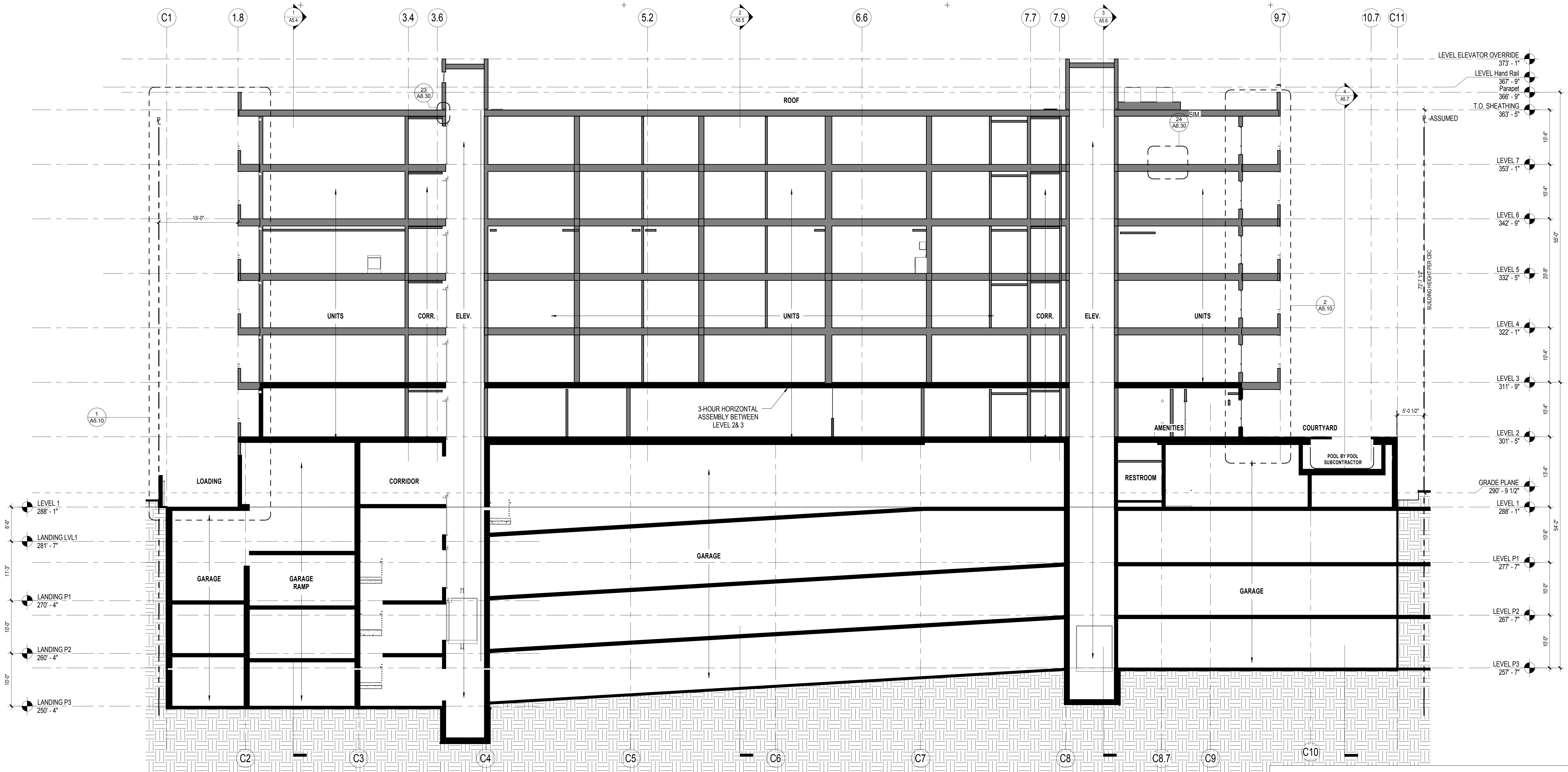
STRAUSS FIFTH AVENUE
 3534 FIFTH AVENUE
 SAN DIEGO CA 92103

10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
 ISSUES:

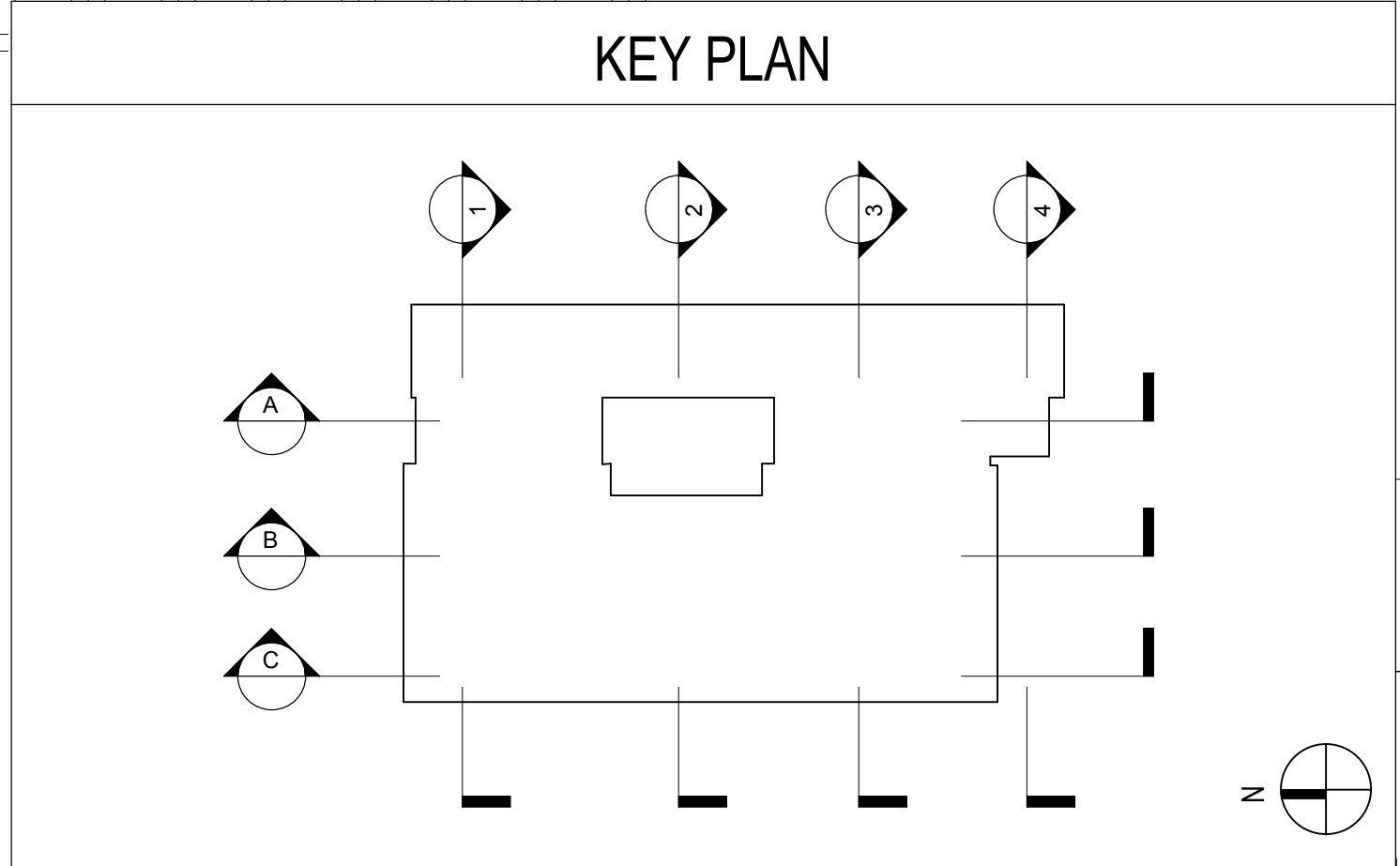
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 PLOT DATE: 5/26/2016 11:21:34 AM
 TITLE:

BUILDING SECTION
 DRAWING NO:
A5.1
 31 OF 37

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B BUILDING SECTION B
 SCALE: 1/8" = 1'-0"



10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
 ISSUES:

PROJECT NO: 5548-00
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BUILDING SECTION

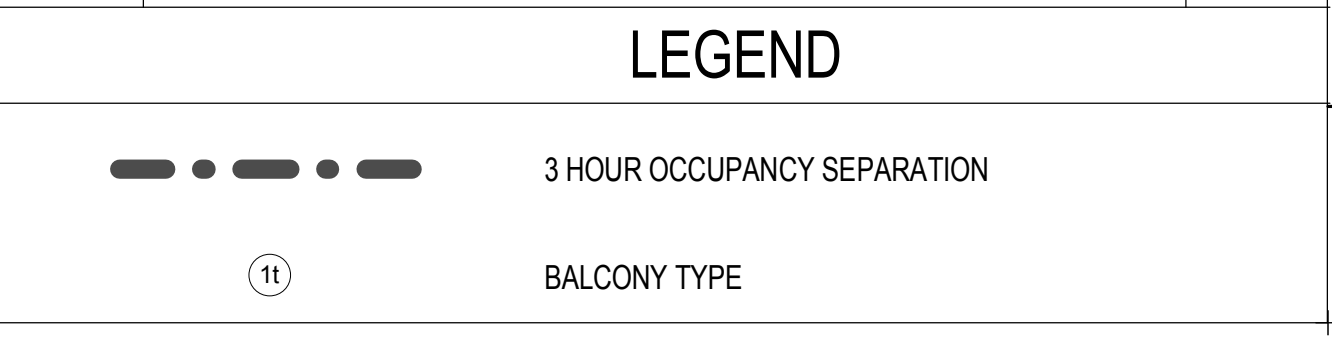
DRAWING NO:

A5.2
 32 OF 37

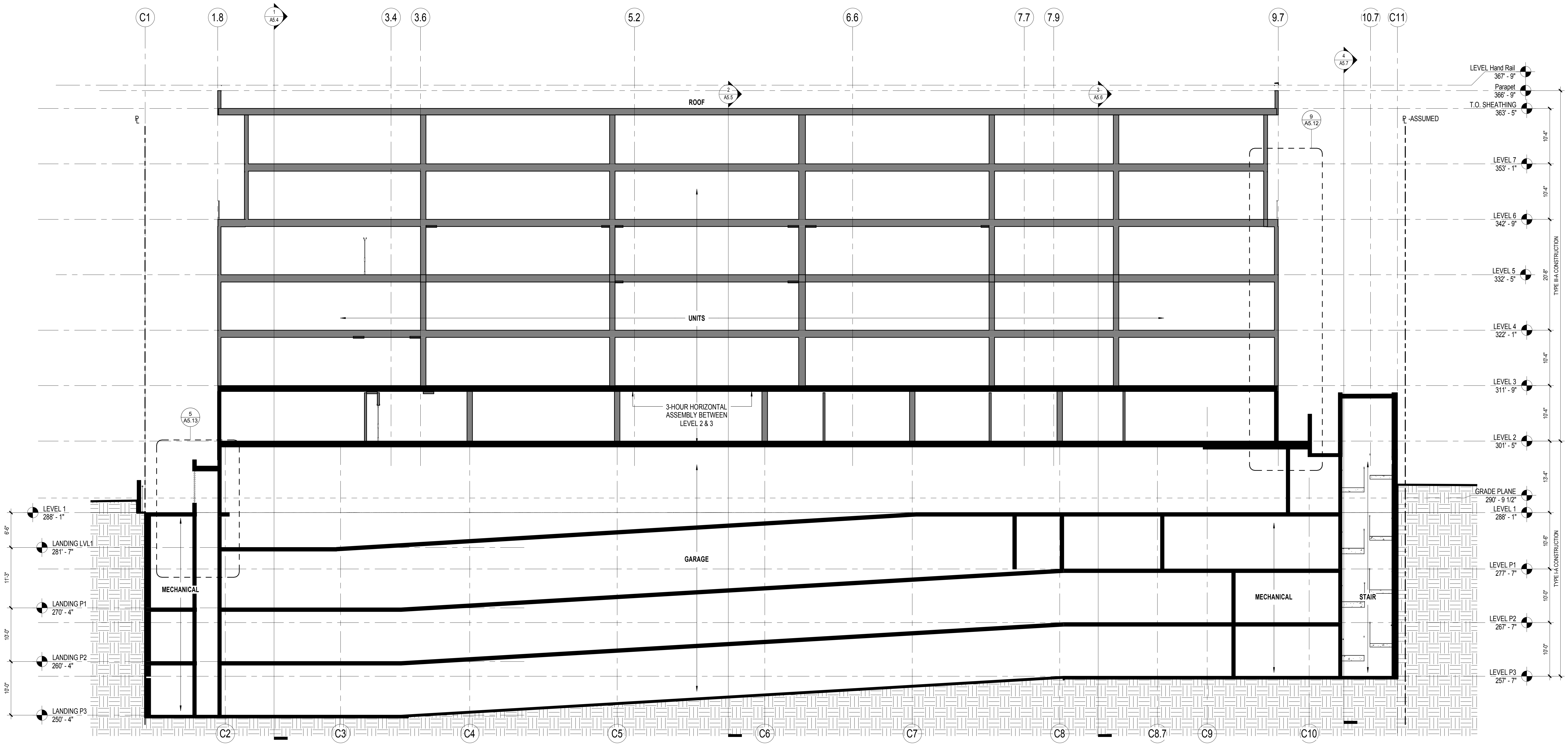
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TILE PATTERN: SEE 6/A4.2 FOR TYPICAL TILE PATTERN	

ELEVATION / SECTION KEYNOTES			
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4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15
			16
			PLANTERS PER LANDSCAPE
			21/ A8.13

EXTERIOR MATERIAL LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SYMBOL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	CERAMIC TILE - 12" x 24"		[Symbol]
[Symbol]	CERAMIC TILE -		[Symbol]
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT.		[Symbol]
[Symbol]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT.		[Symbol]

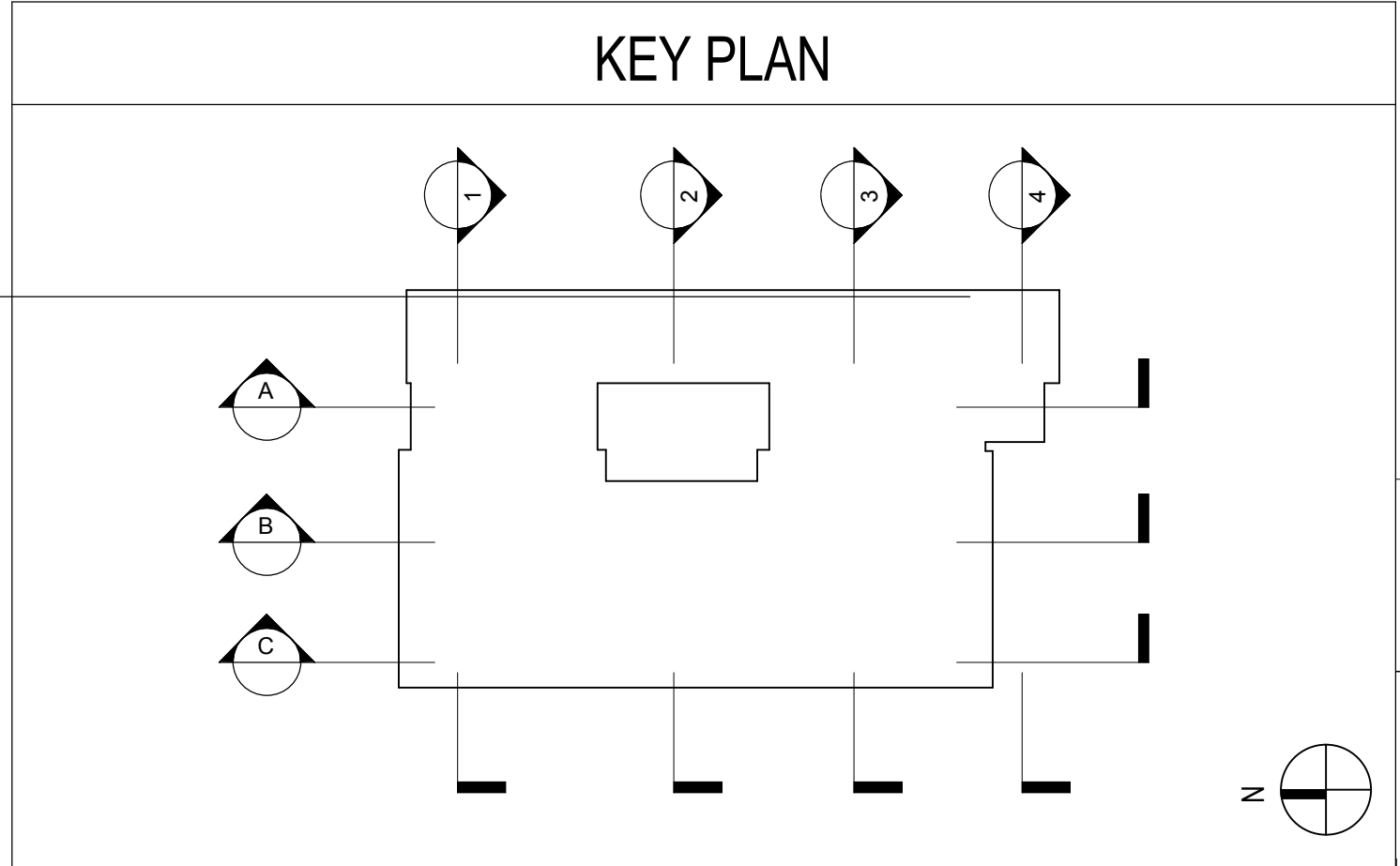


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LEVEL Hand Rail	367' - 9"
Parapet	366' - 9"
T.O. SHEATHING	363' - 5"
LEVEL 7	353' - 1"
LEVEL 6	342' - 9"
LEVEL 5	332' - 5"
LEVEL 4	322' - 1"
LEVEL 3	311' - 9"
LEVEL 2	301' - 5"
GRADE PLANE	290' - 9 1/2"
LEVEL 1	288' - 1"
LEVEL P1	277' - 7"
LEVEL P2	267' - 7"
LEVEL P3	257' - 7"

C BUILDING SECTION C
 SCALE: 1/8" = 1'-0"



ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:
 VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.

METAL FINISHES:
 ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.

INSULATION:
 PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.

WEATHER-TIGHTNESS:
 ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.

PREMISES IDENTIFICATION:
 ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 11/2" WIDE STROKE WIDTH U.N.O.

TILE PATTERN:
 SEE 6/A4.2 FOR TYPICAL TILE PATTERN

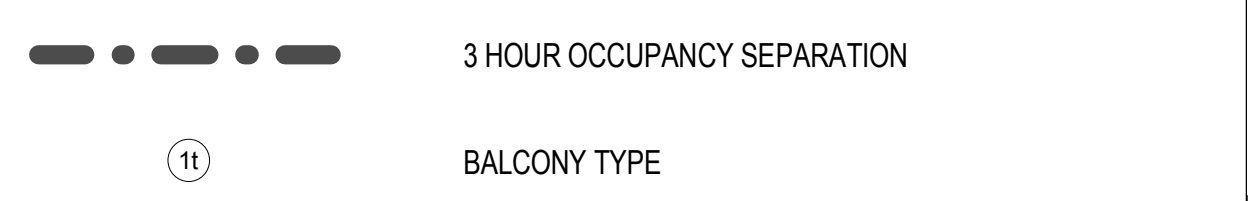
ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL -	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]		
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]		
[Symbol]	CERAMIC TILE - 12" x 24"		[Symbol]		
[Symbol]	CERAMIC TILE -		[Symbol]		
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT.		[Symbol]		
[Symbol]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT.		[Symbol]		

LEGEND



10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
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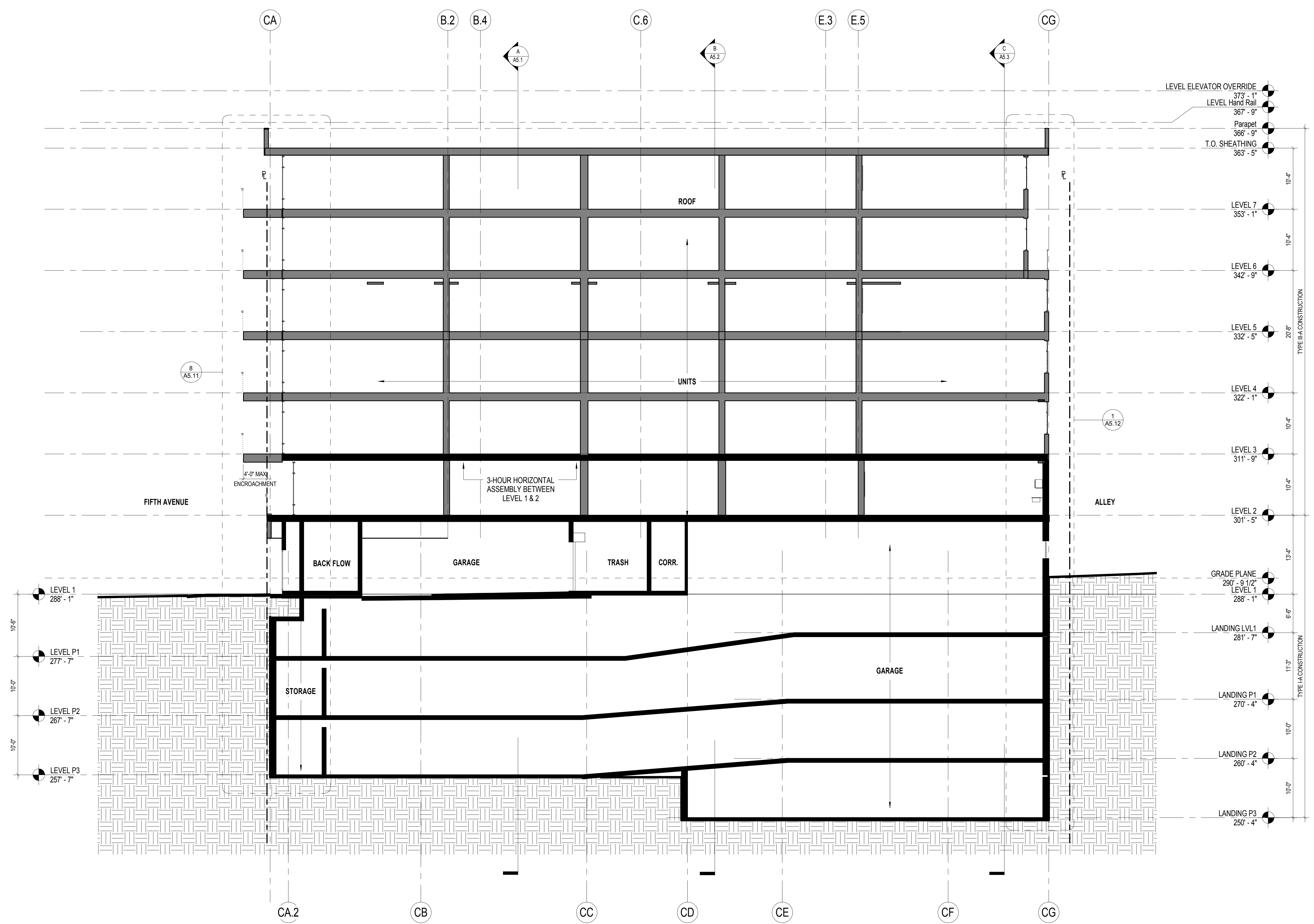
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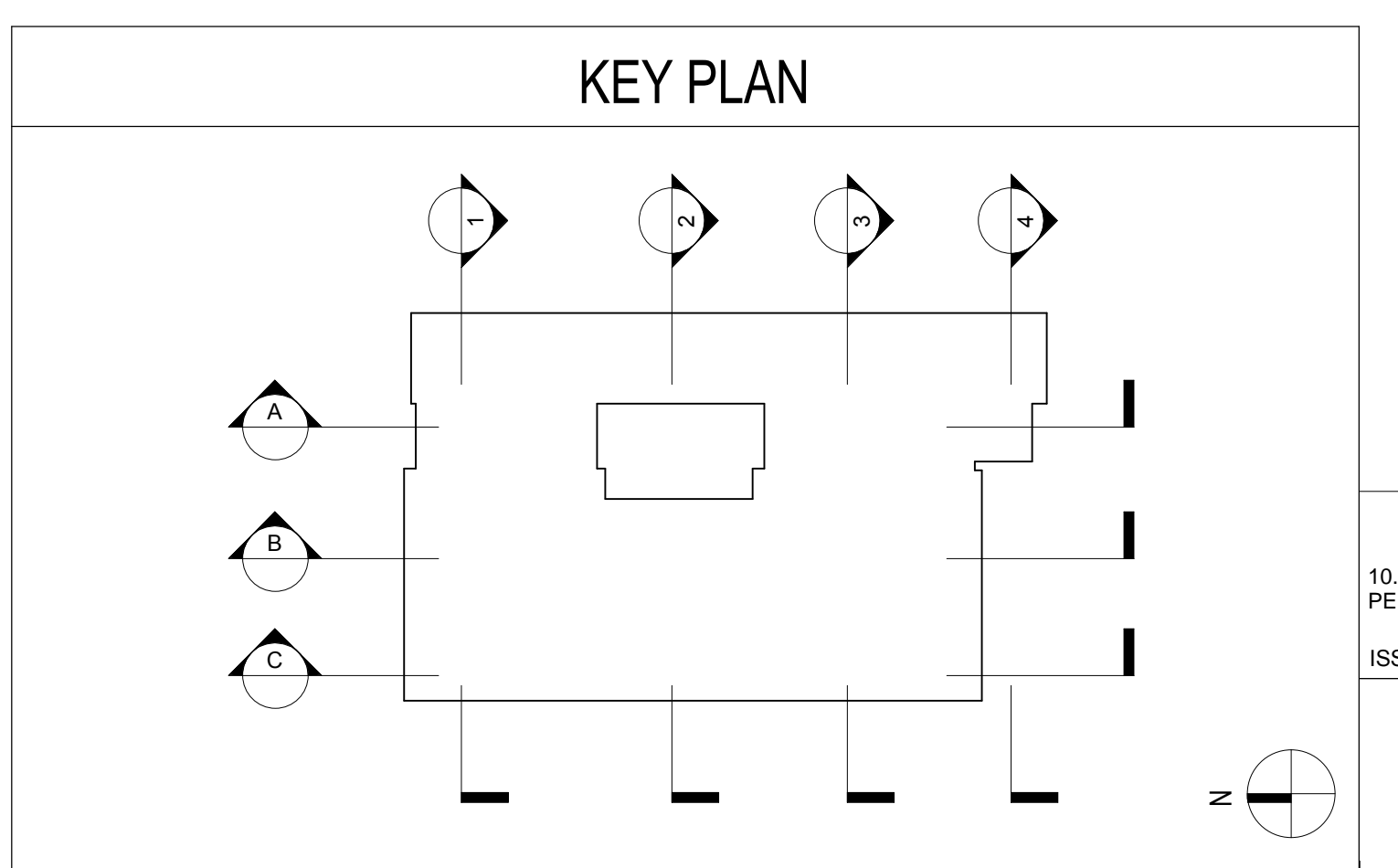
BUILDING SECTION

DRAWING NO:

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1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"



ELEVATION / SECTION GENERAL NOTES

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INSULATION:
PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.

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TILE PATTERN:
SEE 6/A4.2 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
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2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3c	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

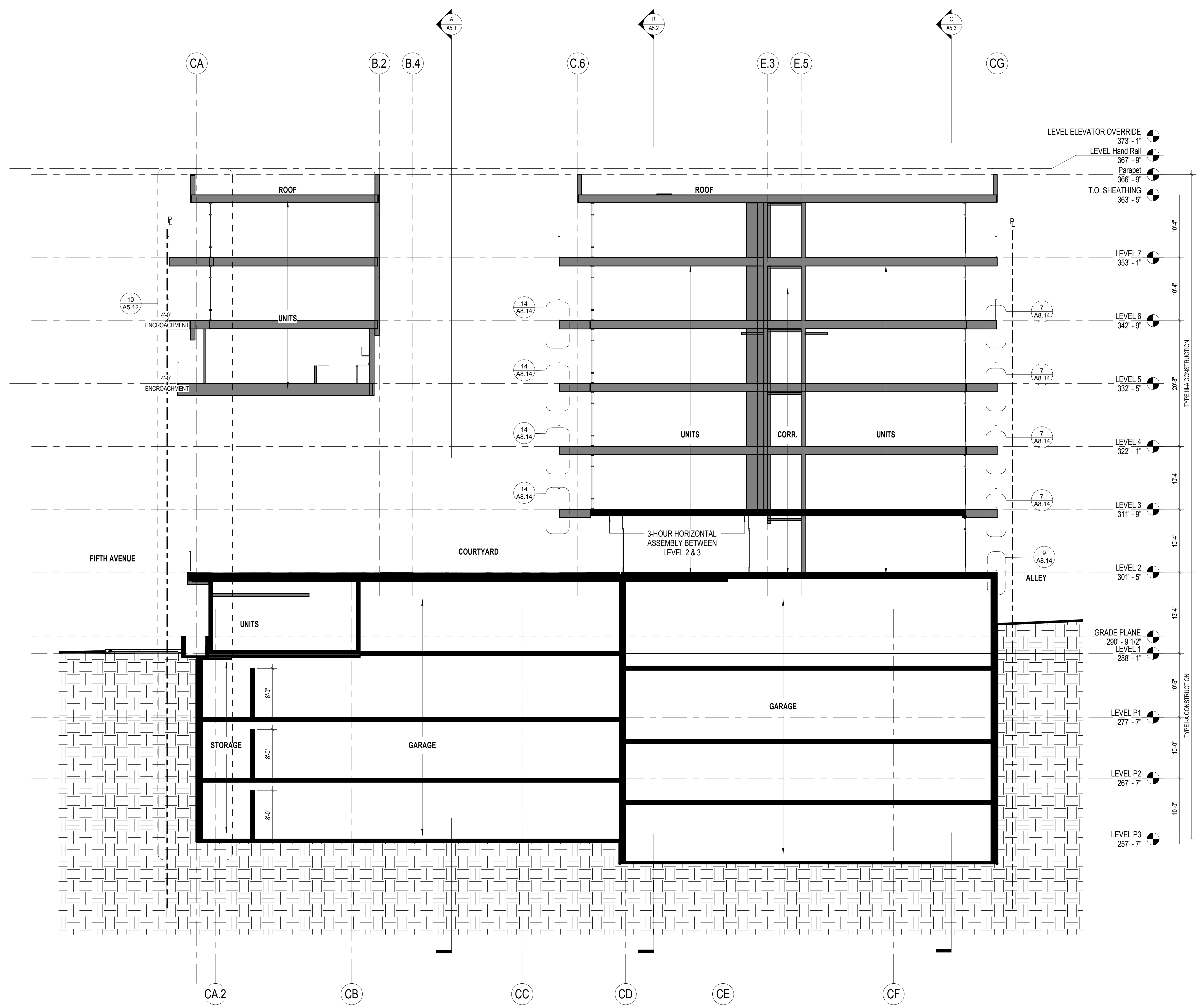
EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PLASTER - SAND FINISH, PAINT TBD		METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.
	PLASTER - SAND FINISH, PAINT TBD		METAL PANEL -
	PLASTER - SAND FINISH, PAINT TBD		
	PLASTER - SAND FINISH, PAINT TBD		
	CERAMIC TILE - 12" x 24"		
	CERAMIC TILE -		
	CAST IN PLACE CONCRETE - SACK FINISH, PAINT.		
	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT.		

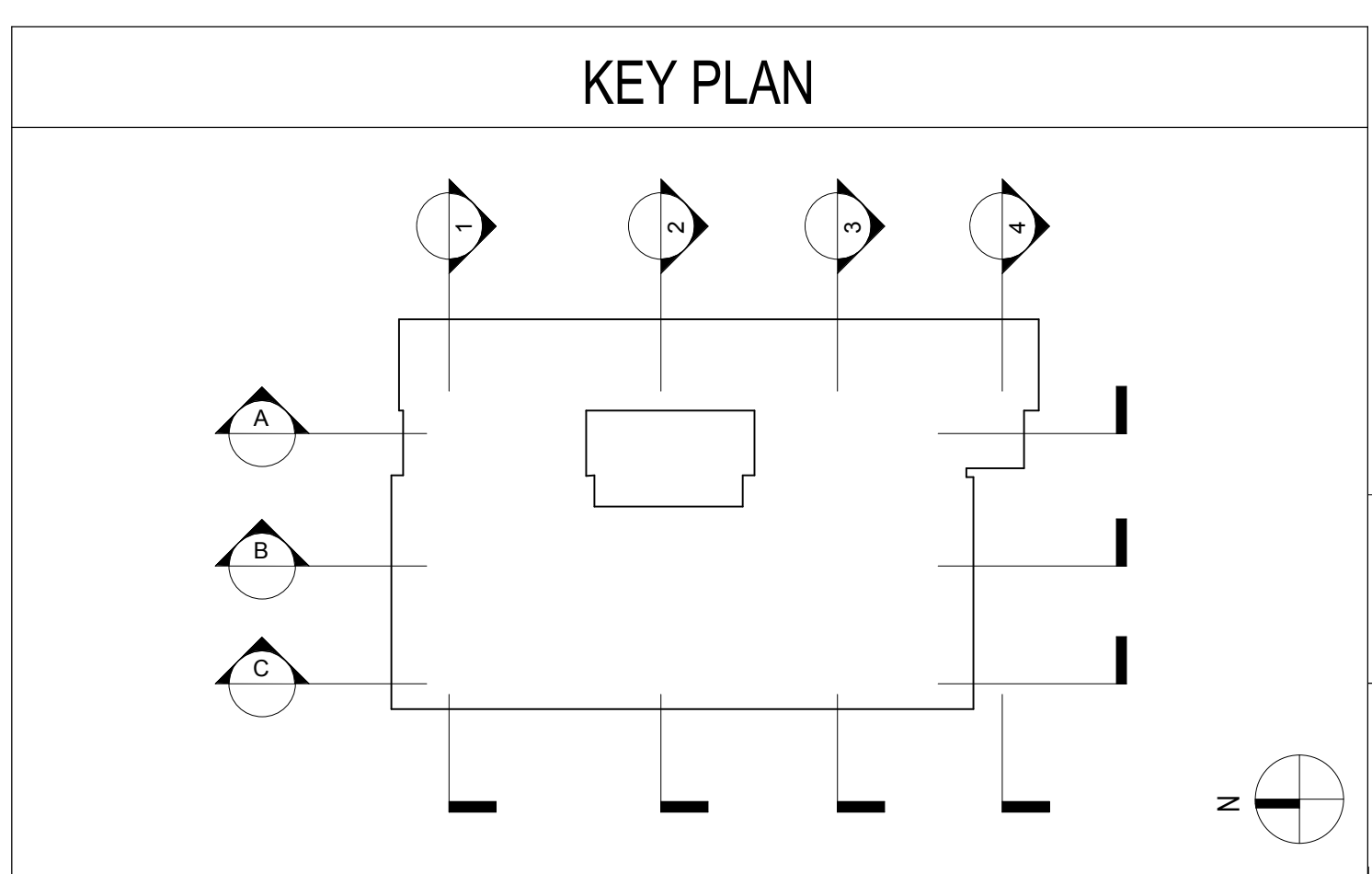
LEGEND

	3 HOUR OCCUPANCY SEPARATION
	BALCONY TYPE

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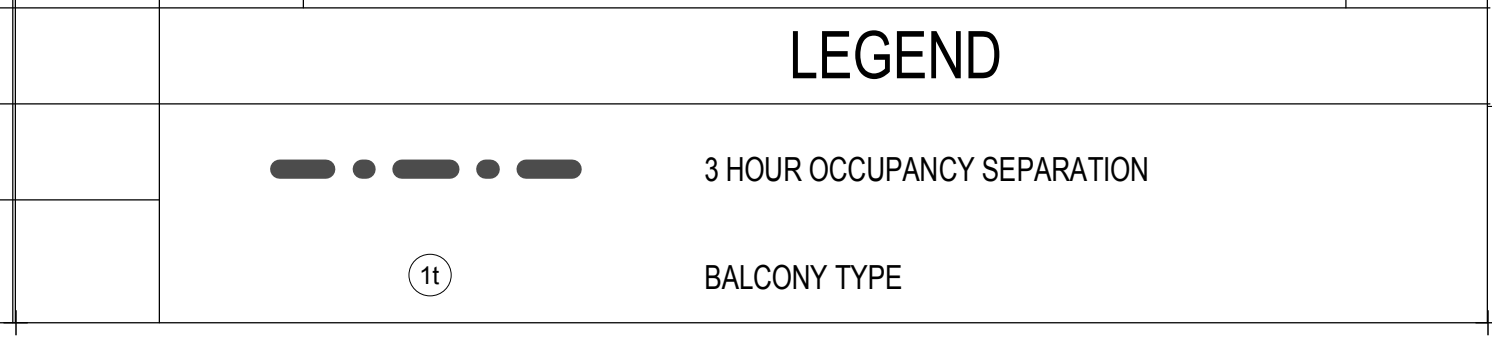
2 BUILDING SECTION 2
SCALE: 1/8" = 1'-0"



ELEVATION / SECTION GENERAL NOTES	
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TILE PATTERN: SEE 6/A4.2 FOR TYPICAL TILE PATTERN	

ELEVATION / SECTION KEYNOTES					
KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
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3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
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5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND					
SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL -	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD				
[Symbol]	PLASTER - SAND FINISH, PAINT TBD				
[Symbol]	CERAMIC TILE - 12" x 24"				
[Symbol]	CERAMIC TILE -				
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:				
[Symbol]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT:				

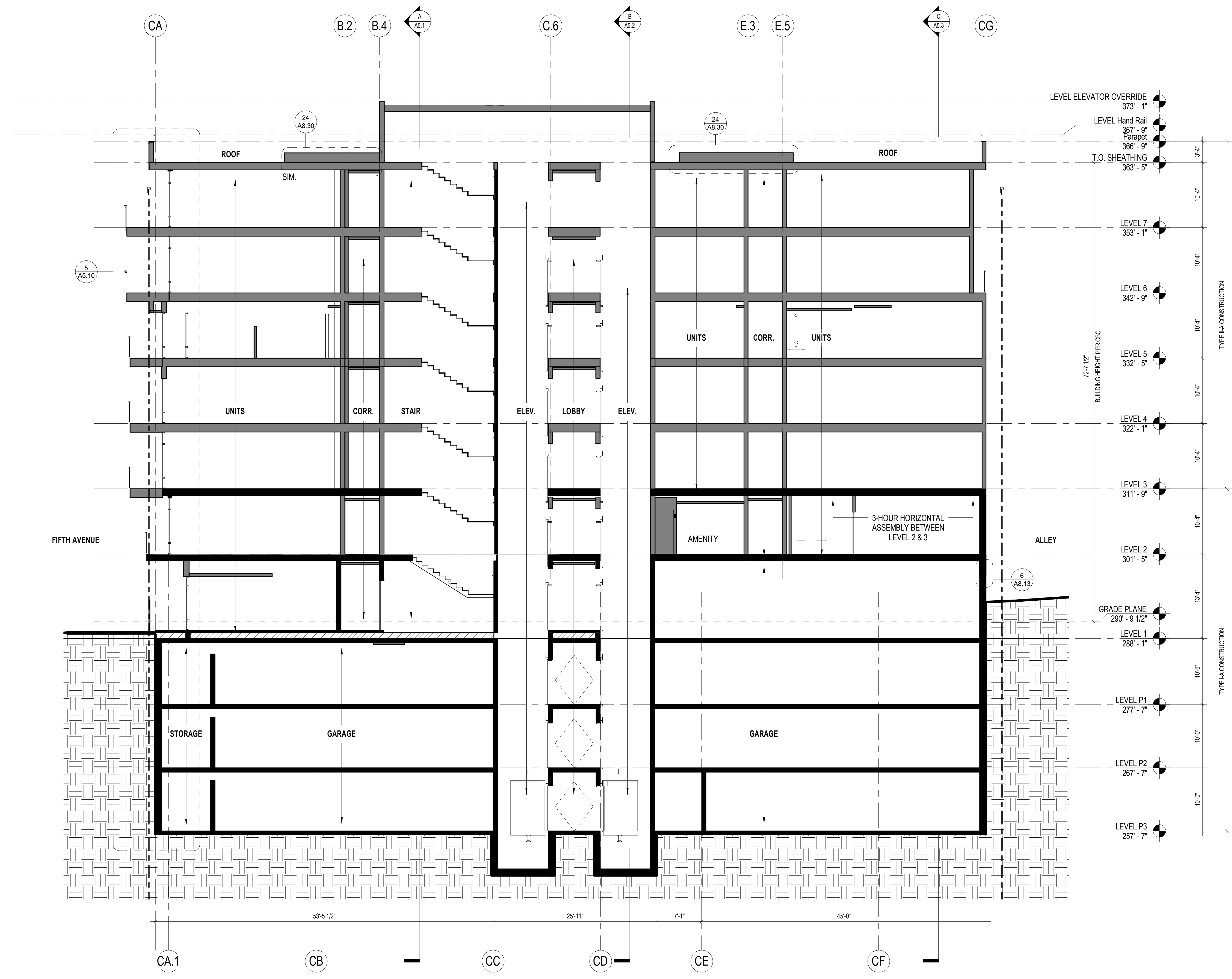


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DRAWING NO:
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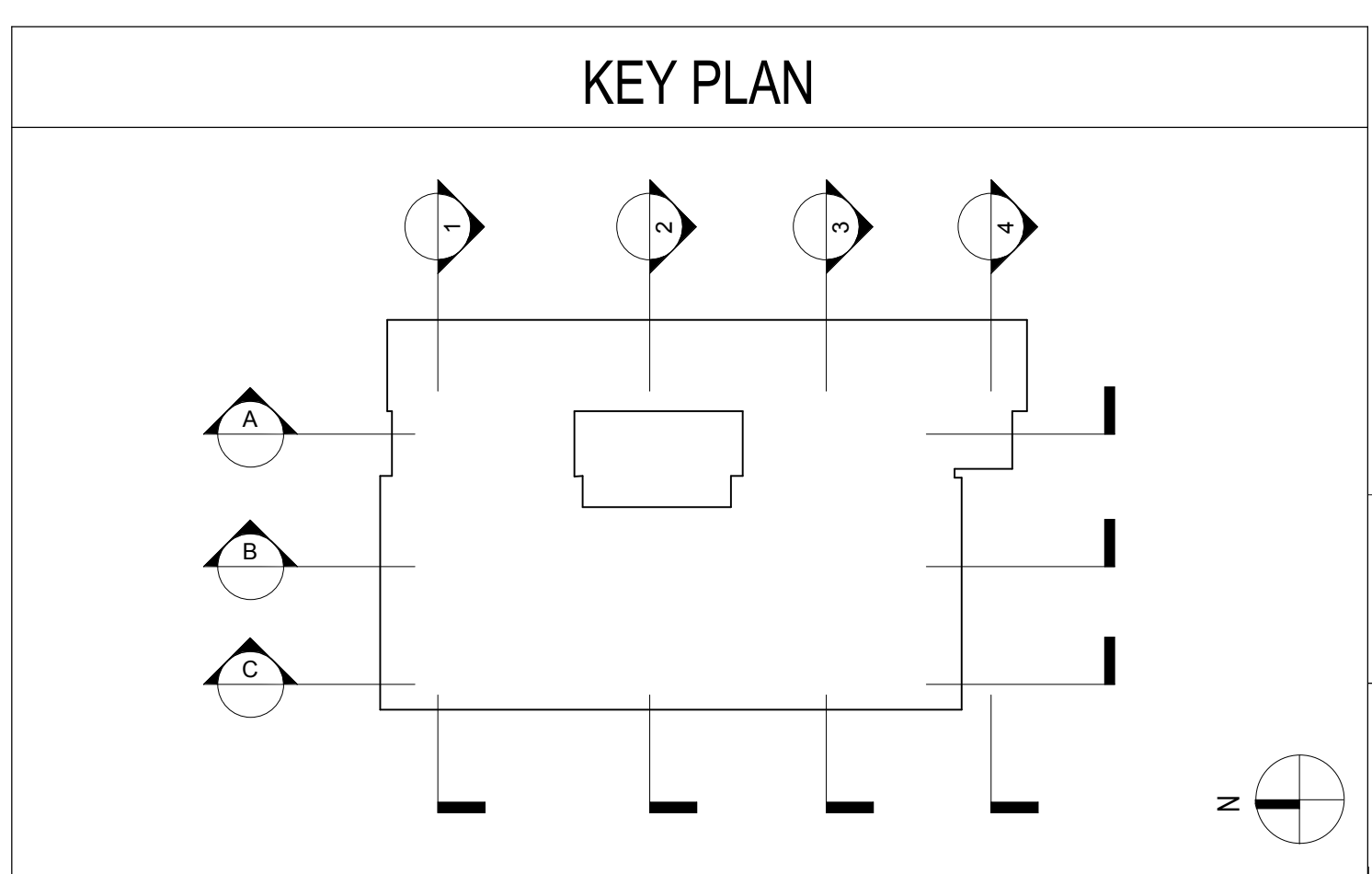
STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE
SAN DIEGO CA 92103

carrierjohnson + CULTURE
architecture + environments + brand strategy + graphics
1301 third avenue san diego ca 92101
phone 619.239.2355 | fax 619.239.9227



3 BUILDING SECTION 3
 SCALE: 1/8" = 1'-0"



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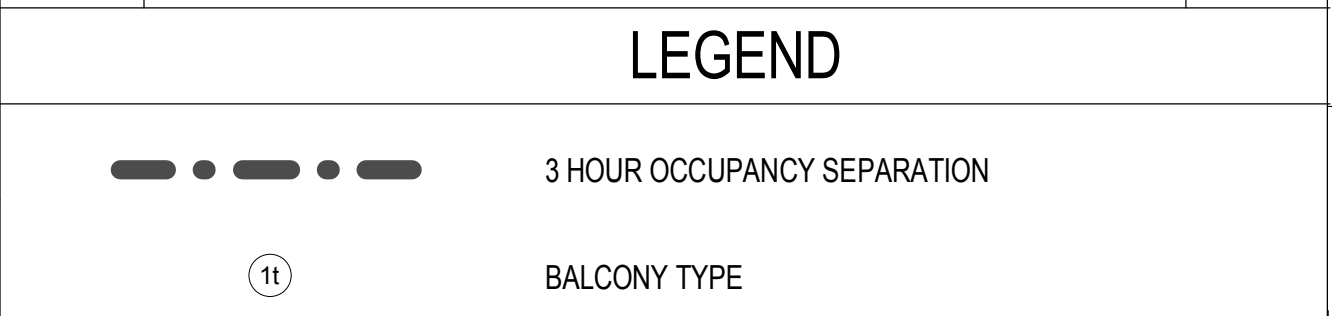
A5.6
 36 OF 37

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TILE PATTERN: SEE 6/A4.2 FOR TYPICAL TILE PATTERN	

ELEVATION / SECTION KEYNOTES			
KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE
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2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9
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3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15
			16
			21/ A8.13
			24/ A8.13
			17/ A8.13
			19/ A8.13 6/ A8.13
			15

EXTERIOR MATERIAL LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SYMBOL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]
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[Symbol]	CERAMIC TILE -		[Symbol]
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:		[Symbol]
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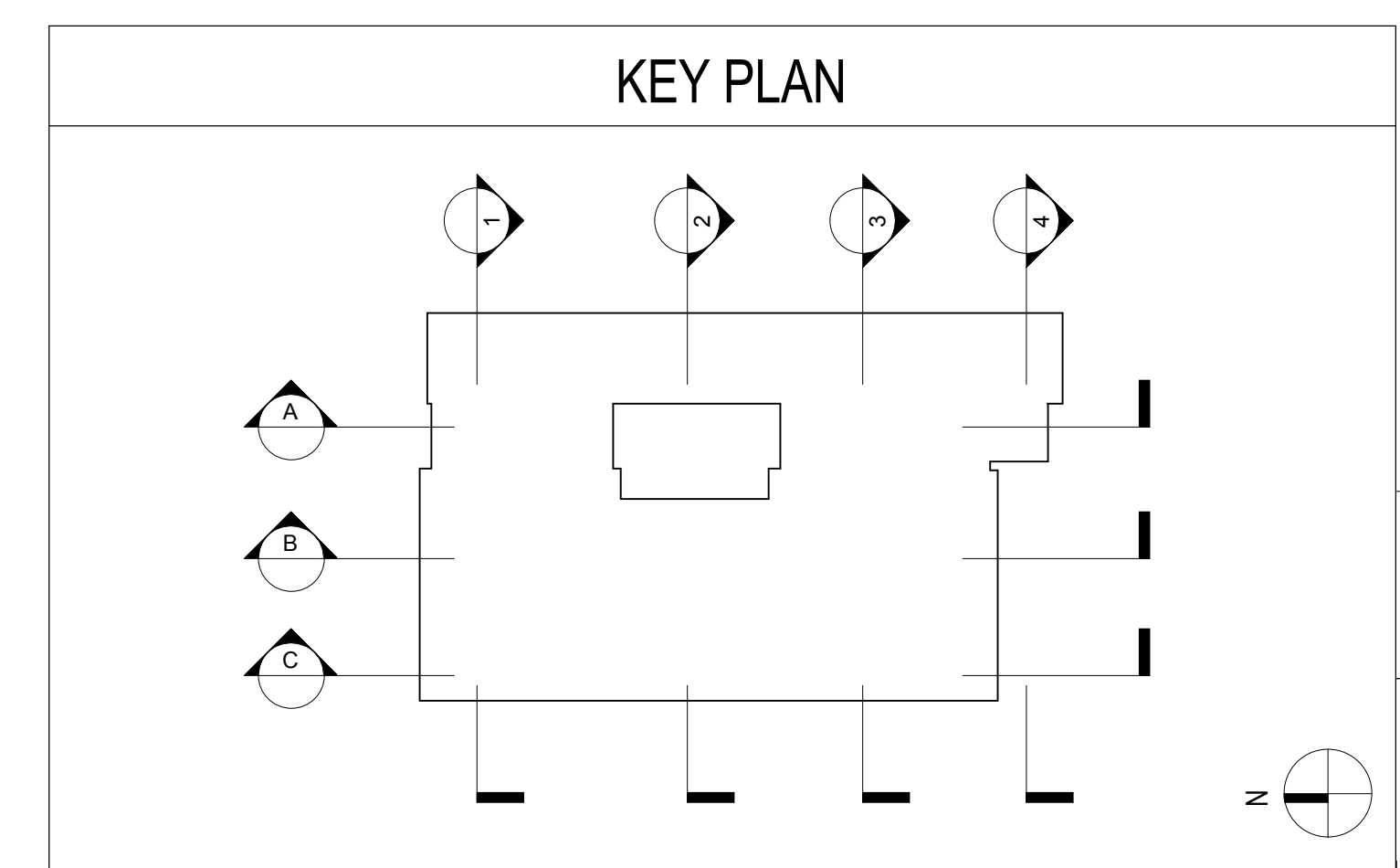


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LEVEL Hand Rail	367' - 9"
Parapet	366' - 9"
T.O. SHEATHING	363' - 5"
10'-4"	
LEVEL 7	353' - 1"
10'-4"	
LEVEL 6	342' - 9"
20'-8"	
LEVEL 5	332' - 5"
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LEVEL 4	322' - 1"
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LEVEL 3	311' - 9"
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13'-4"	
GRADE PLANE	290' - 9 1/2"
LEVEL 1	288' - 1"
10'-6"	
LEVEL P1	277' - 7"
10'-0"	
LEVEL P2	267' - 7"
10'-0"	
LEVEL P3	257' - 7"

4 BUILDING SECTION 4
SCALE: 1/8" = 1'-0"



10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL
ISSUES:

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TITLE:

BUILDING SECTION

DRAWING NO:

A5.7
37 OF 37

ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:
VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.

METAL FINISHES:
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ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
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1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL -	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	PLASTER - SAND FINISH, PAINT TBD	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	CERAMIC TILE - 12" x 24"	
[Symbol]	CERAMIC TILE -		[Symbol]	CERAMIC TILE -	
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT.		[Symbol]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS. STEEL TROWEL PLASTER AND PAINT.	

LEGEND

- [Symbol] 3 HOUR OCCUPANCY SEPARATION
- [Symbol] BALCONY TYPE

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