



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: May 4, 2017 REPORT NO. PC-17-035

HEARING DATE: May 11, 2017

SUBJECT: STRAUSS FIFTH AVE APTS SDP - Process Four Decision

PROJECT NUMBER: [451832](#)

OWNER/APPLICANT: Strauss Fifth Avenue, L.P./Carrier Johnson and Culture

### SUMMARY:

Issue: Should the Planning Commission approve an application for a Site Development Permit to allow the construction of 141 multi-family dwelling units with an Affordable Housing Density Bonus Agreement, on a developed 1.08-acre site located at 3500-3534 Fifth Avenue in the Uptown Community Plan area?

### Staff Recommendations:

1. ADOPT Mitigated Negative Declaration No. 451832 and the Mitigation, Monitoring and Reporting Program; and
2. APPROVE Site Development Permit No. 1587863.

Community Planning Group Recommendation: On May 2, 2016, the Uptown Community Planning Group voted 7-6-1 to recommend approval of the project with conditions, as discussed on Page 6 of this report (Attachment 8).

Environmental Review: Mitigated Negative Declaration No. 451832 has been prepared for the project in accordance with State of California Environmental Quality Act Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented to reduce, to below a level of significance, all potential impacts identified in the environmental review process.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: As explained in the “Background” section below, this project has been reviewed using the 1988 version of the Uptown Community Plan, which designates the 1.08-acre site as Commercial-Residential with up to 110 dwelling units per acre. Based on the land use designation, 119 dwelling units would be allowed on site. Nine dwelling units which exist on site, would be demolished to allow construction of 141 new, for-rent dwelling units. The increased density is allowed through an Affordable Housing Density Bonus agreement, which includes the requirement to restrict six of the 141 units to very-low income households. Therefore, the project would result in a net gain of 132 dwelling units. This project is subject to the requirements of the City’s Inclusionary Affordable Housing Regulations ([Chapter 14, Article 2, Division 13 of the Municipal Code](#)).

## **BACKGROUND**

The 1.08-acre project site is located on the west side of Fifth Avenue at 3500-3534 Fifth Avenue, between Walnut Avenue and Brookes Avenue, in the CC-3-9 Zone, within in the Uptown Community Plan area (Attachments 1 and 2). The site is also located in the Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Airport Influence Review Area Two and the Federal Aviation Administration Part 77 Notification Area. The site consists of seven existing lots, all of which are under the same ownership.

When the project application was deemed complete on November 11, 2015, the site was located in CV-1 Zone of the Mid-City Communities Planned District (MCCPD) and the previous 1988 version of the Uptown Community Plan was in effect which designated the site for Commercial Residential. The current CC-3-9 Zone became effective for the site on February 6, 2017, in conjunction with an update to the Uptown Community Plan. The applicant has elected to process this project under the 1988 version of the Community Plan and the MCCPD CV-1 regulations, which is allowed because the application was deemed complete prior to the Community Plan update and related rezone. The current version of the Community Plan designates the site for Community Commercial and allows up to 119 units on the project site.

The CV-1 Zone is a Community Village zone intended to provide for pedestrian oriented districts for either commercial, residential, or mixed-use development. The CV-1 Zone allows one dwelling unit per 400 square feet of lot area, or 118 units allowed on the project site. The 1988 version of the Community Plan designated the site for Commercial Residential and allowed up to 119 units on the project site.

The project site is developed with one office structure, two multi-unit residential structures and two paved surface parking lots. Site access is currently taken from four driveways on Fifth Avenue and from the alley adjacent to the western property line. The 36,757-square-foot, three-story office located at 3500 Fifth Avenue, at the northwest corner of Fifth Avenue and Walnut Avenue, was constructed in 1961. The two, two-story residential structures with nine units, located at 3534 Fifth Avenue, were constructed in 1948. Based on City staff review, the existing structures do not meet local designation criteria as individually significant resources under the Historical Resource Regulation criteria.

The project site is located in a developed, urban, mixed-use neighborhood, does not contain Environmentally Sensitive Lands (ESL) and is not within or adjacent to the City's Multiple Habitat Planning Area (MHPA). The site is level with onsite ground elevations ranging from 25.07 feet above Mean Sea Level at the northeast corner and 28.8 feet at the southwest corner. Surrounding development includes one- to three-story commercial development to the east including Nunu's Bar and Grill, a single-story multi-unit residential development to the north which transitions to two-story commercial, a mix of one- and two-story commercial and residential development to the west across the alley and two- to three-story commercial development to the south. The area is transitional in terms of height, with one- to 14-story buildings located within three blocks of the project site.

## DISCUSSION

### Project Description:

The project proposes to demolish the two existing residential structures and surface parking lots to allow the construction of 141 dwelling units in a seven-story, 261,936-square foot structure with three levels of subterranean parking. The existing office structure would remain with no modifications or enlargements. All project parking would be provided within an enclosed, three-level 261-space subterranean parking garage accessed from a single driveway opening on Fifth Avenue at the north end of the site. Three of the four existing driveways would be removed, reducing the potential for pedestrian/vehicle conflicts and allowing 12 on-street parking spaces on Fifth Avenue where 10 are currently provided. The project also includes 60 indoor bicycle parking spaces. The proposed building square footage, unit breakdown and parking are detailed in the tables below:

<b>Building Area Square Footage Summary</b>					
Residential	Parking/Utility	Storage	Amenities	Lobby/Leasing	<b>Total</b>
142,496	107,488	7,761	2,662	1,529	<b>261,936</b>

<b>Residential Unit Breakdown</b>			
Studio	One Bedroom	Two Bedroom	<b>Total</b>
23	66	52	<b>141</b>

<b>Required Parking Spaces</b>			
Residential	Existing Office	Total Required	<b>Total Provided</b>
196	59	255	<b>261</b>

The project design incorporates walk-up units along Fifth Avenue, a central outdoor gathering space with patio, barbeque and seating areas with views onto Fifth Avenue, common areas with meeting and fitness/yoga rooms, pool/spa and required individual unit storage areas. Although not a San Diego Municipal Code (SDMC) requirement, roof-mounted solar panels would be provided. The project would include other associated improvements such as City-standard curb, gutter, sidewalk and parking garage driveway, the dedication and improvement of an additional 2.5 feet of alley right-of-way, on-site storm water treatment facilities and off-site utility connections.

The project design incorporates both cantilevered and recessed decks on all four elevations, multiple offsetting planes and varied materials, finishes and colors to provide visual interest and reduce the perceived bulk and scale of the structure. The central outdoor gathering space would feature a 40-foot-wide by three-story tall opening along the Fifth Avenue frontage, which breaks up the building plane and provides a visual connection between the building's common areas and the right-of-way. Substantial landscaping, including the addition of 16 street trees along Fifth Avenue and Walnut Avenue, planters adjacent to the sidewalk and a landscaped street-level courtyard along the south side of the new structure would be provided.

To provide a buffer between the project and the existing single-story, multi-unit residential development to the north, a first floor side yard setback of 14.3 feet to 22 feet and an upper floor setback of 15 feet to 17 feet has been incorporated into the design. This complies with the CV-1 Zone requirement that properties which abut existing residential maintain a nine-foot setback for the third floor and a 15-foot setback for all additional stories.

A Process Three Mid-City Communities Development Permit (processed in the same manner as a Site Development Permit) is required per SDMC Section [1512.0203\(b\)\(1\)](#). This discretionary process is based upon the proposed development of 141 units on consolidated lots exceeding the dwelling unit threshold listed in Table [1512-02A](#).

#### Project Related Issues:

Affordable Housing Density Bonus and Development Incentives - The project includes an Affordable Housing Density Bonus pursuant to San Diego Municipal Code Section (SDMC) Section [143.0710](#), which allows a 20 percent increase in the allowed density in exchange for restricting five percent of the pre-density bonus units to very low income households. Very low income is defined by the US Housing and Urban Development Department (HUD) as households earning less than 50 percent of Area Median Income (AMI). With the application of the 20 percent density bonus, a total of 142 units would be allowed onsite. Therefore, the proposed 141 units, which includes six affordable units (five percent of 118 units), is allowed. The six affordable units would consist of one studio, three one-bedroom and two two-bedroom units.

CV-1 Zone Allowed Units	Density Bonus Market Rate Units	Very Low Income Units	<b>Total Units Provided</b>
118	17	6	<b>141</b>

Pursuant to SDMC Section [143.0710](#), the project is eligible for one development incentive because an Affordable Housing Density Bonus is included, as required by State Density Bonus law. The applicant is requesting this incentive in the form of a height deviation to allow a maximum height of 85 feet where 65 feet is allowed.

The applicant is requesting the approval of an additional development incentive, which is allowed with the approval of a Process Four Site Development Permit, per SDMC Section [143.0750](#). This additional incentive would allow the required loading zone to be placed in the public right-of-way and not onsite, as required by the SDMC. With approval of this incentive, the 35-foot loading zone would be located on Fifth Avenue towards the north end of the property.



The applicant considered several different design options to accommodate the loading zone onsite. These were determined unfeasible by the applicant due to structural and cost considerations related to the underground parking garage, storm water treatment facilities and provision of enough units to balance the cost of the very low income affordable units.

Climate Action Plan (CAP) Consistency - A CAP Consistency Checklist was prepared by the applicant which determined project conformance with the CAP. The project has been designed to incorporate a 15-percent energy budget improvement to the Title 24, Part 6 Energy Budget. This reduction will be provided through a combination of on-site renewable energy generation (photovoltaic) and energy performance design elements. The project would conserve water by using use low-flow fixtures/appliances and provides for future installation of 18 electric vehicle supply charging stations in the parking garage.

Federal Aviation Administration (FAA) Determination - The FAA issued a Determination of No Hazard for the project which determined that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or the operation of air navigation facilities. The project was also reviewed by the San Diego County Regional Airport Authority who determined Airport Land Use Consistency review was not required.

#### Community Plan Analysis:

The project would implement the Community Plan objective to concentrate high-density housing adjacent to commercial areas and near transit and higher volume traffic corridors, as well as the General Plan Urban Design Element strategy to direct growth into commercial areas where a high level of activity already exists. The site is located in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including office, commercial, retail and eating/drinking establishments and is located three blocks south of University Avenue commercial corridor. The site is also within the Transit Area Overlay Zone and is served by existing Metropolitan Transit System bus lines and a Class II bicycle lane along Fifth Avenue.

The proposed project would help implement the General Plan Urban Design Element goal to utilize landscaping as an important aesthetic and unifying element through the City by providing a total of 16 street trees adjacent to the proposed development on Fifth Avenue and adjacent to the existing office structure on Fifth Avenue and Walnut Avenue. Planters adjacent to the sidewalk and a landscaped street-level courtyard along the south side of the structure would also be provided. The Uptown Community Plan does not provide specific recommendations regarding development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates both cantilevered and recessed decks, multiple offsetting planes and varied materials, finishes and colors to provide visual interest and reduce the perceived bulk and scale of the structure. The central outdoor gathering space would feature a 40-foot-wide by three-story tall opening along the Fifth Avenue frontage, which breaks up the building plane and provides a visual connection between the building's usable areas and the street. To provide a buffer between the project and the existing single-story multi-unit residential development to the north, appropriate upper-floor step backs have been incorporated into the design.

The proposed project would help implement the General Plan Conservation Element goal to reduce the City's overall carbon dioxide footprint by improving energy efficiency and employing sustainable planning and design techniques.

A goal of the Mobility Element of the General Plan is to encourage bicycling as a viable travel choice within the City. The project would assist in attaining this goal by providing 60 bicycle spaces. Fifth Avenue is currently developed with a Class II bicycle lane. The project would also help implement the General Plan Mobility Element goal to create a safe and comfortable pedestrian environment by closing three of the four existing driveways on Fifth Avenue, reducing the potential for vehicle/pedestrian conflicts. The site is located one block north of Fifth Avenue/Upas Street bus stop, which provides access to the No. 3 (UCSD, Euclid Trolley) and No. 120 (Downtown, Kearny Mesa Transit Center) bus lines. Current bus transit times are approximately 16 minutes to downtown and 21 minutes to Mission Valley.

#### Community Planning Group Recommendation:

On May 2, 2016, the Uptown Community Planning Group voted 7-6-1 to recommend approval of the project with two conditions as discussed below (Attachment 8):

Condition No. 1 - *There should be commercial use added to the project along Fifth Avenue.*

Staff Response - The CV-1 Zone does not require mixed-use development for this site and the residential project as proposed is allowed under the zone and Community Plan.

Condition No. 2 - *Set-backs be provided along the north side of the project above 65 feet; along the border of the Casitas bungalow court property.*

Staff Response - The project incorporates a north side yard setback ranging from 14.3 feet to 22 feet, with the required 15-foot upper-floor setback incorporated.

A substitute motion to delay review of the project until the second assessment letter/cycle issues is reviewed by the board failed by a vote of 4-9-2. Two board members voted against the approved motion because they opposed condition two because it might not allow for affordable housing units in the project; one board member indicated opposition based on the project being out of scale with the neighborhood, and resulting in a net loss of parking; a third member indicated he wished to review the 2<sup>nd</sup> cycle issues before voting.

#### Environmental Analysis:

City Staff has reviewed the project and Mitigated Negative Declaration No. 451832 was prepared for this project in accordance with the State of California Environmentally Quality Act (CEQA) Guidelines. The project includes mitigation measures to offset potential impacts to the environment in the area of Paleontological Resources. Implementation of the Mitigation, Monitoring and Reporting Program as well as permit conditions would reduce potential impacts to below a level of significance.

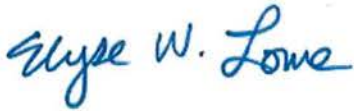
Conclusion:

Staff has reviewed the request for a Site Development Permit to develop 141 multi-dwelling units with an Affordable Housing Density Bonus and found that the project is in conformance with the applicable sections of the San Diego Municipal Code. Staff has determined that the development is consistent with the Uptown Community Plan and believes the required findings can be supported. Therefore, staff recommends the Planning Commission approve the project as conditioned.

ALTERNATIVES

1. Approve Site Development Permit No. 1587863, with modifications.
2. Deny Site Development Permit No. 1587863, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe  
Deputy Director  
Development Services Department



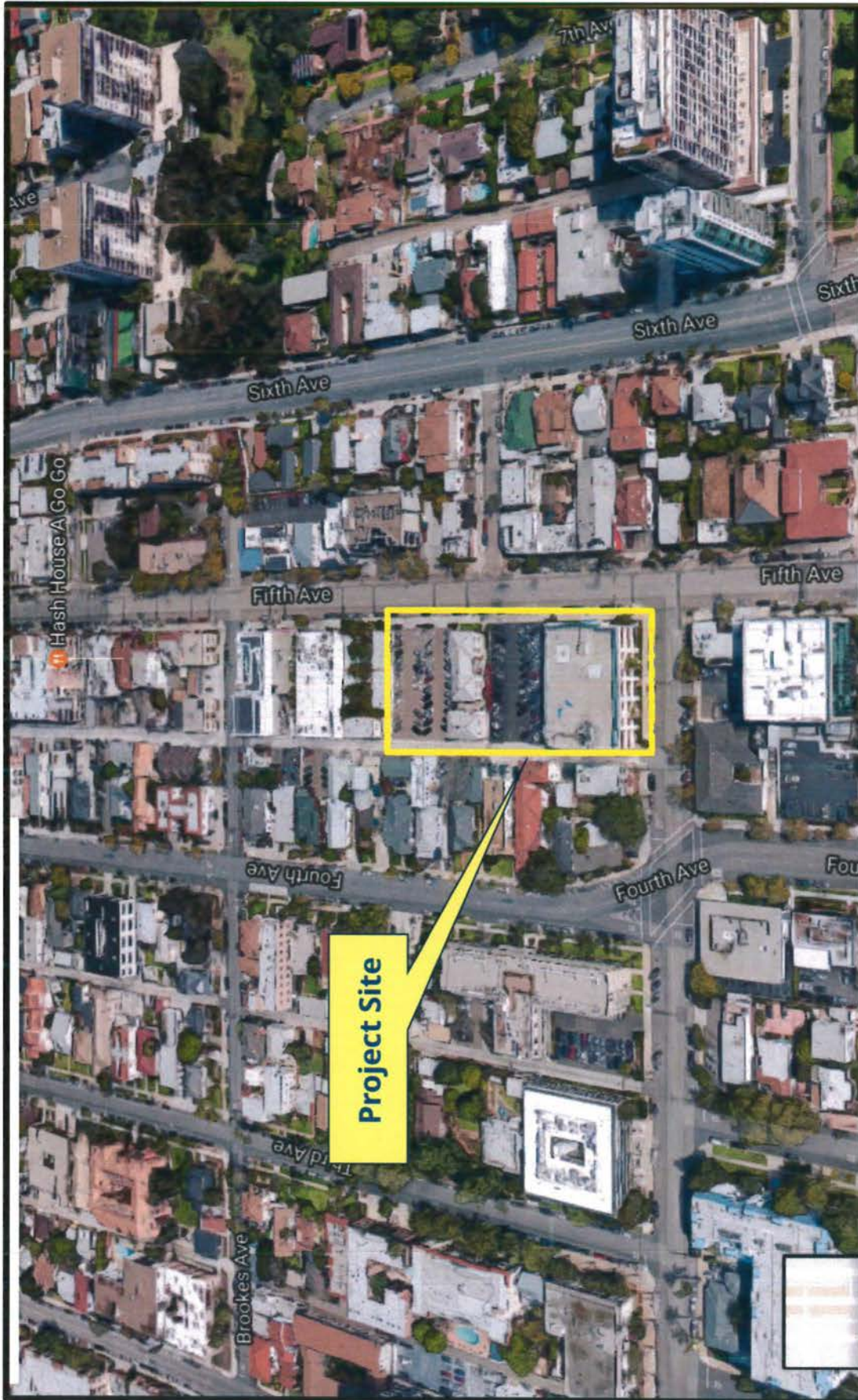
Paul B. Godwin  
Development Project Manager  
Development Services Department

LOWE/PBG

Attachments:

1. Aerial Photograph
2. Location Map
3. Community Plan Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution with MMRP
7. Project Plans
8. Project Renderings
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Site Photos

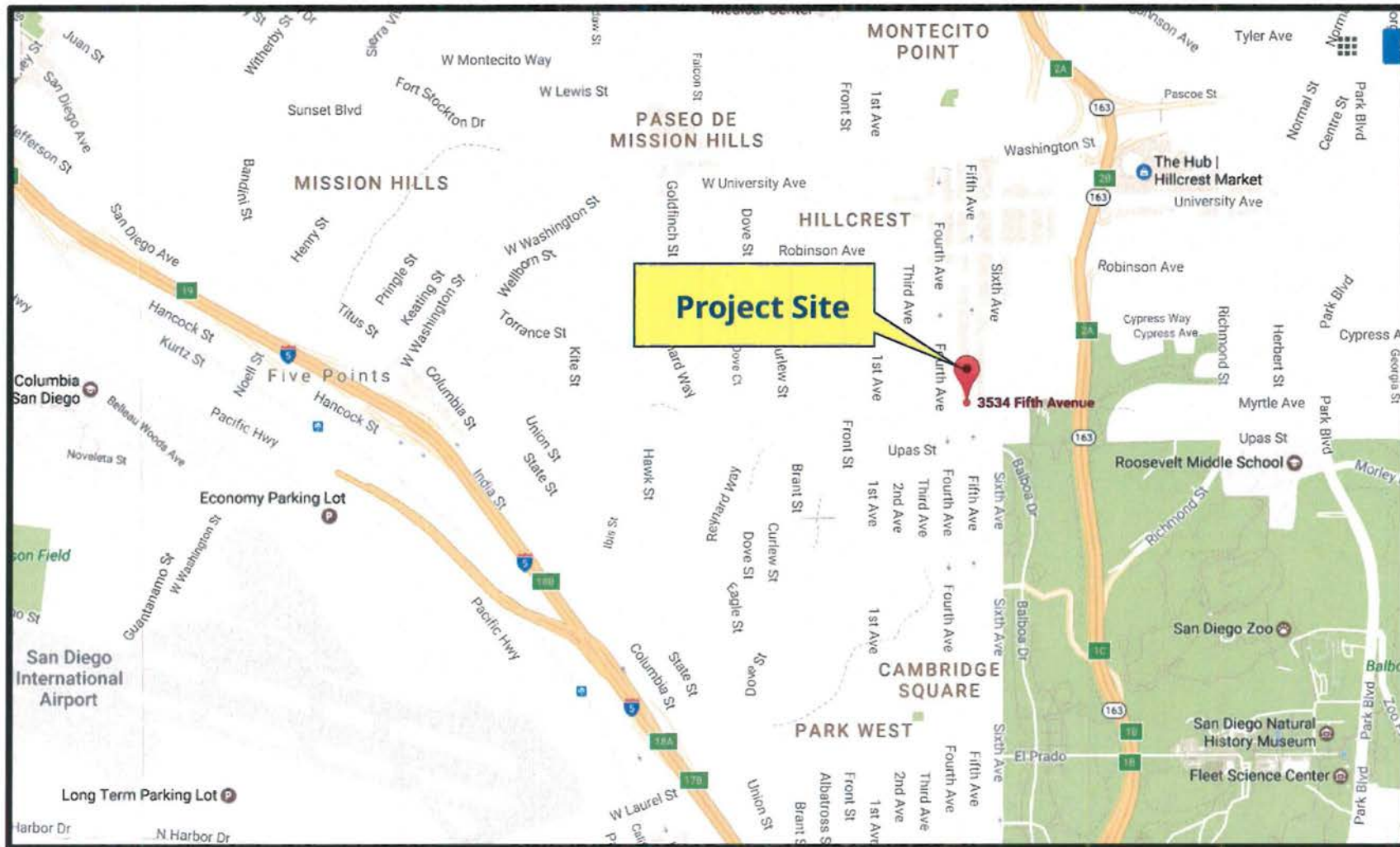




**Aerial Photo**  
STRAUSS FIFTH AVE. APTS SDP - 3534 5TH AVENUE  
PROJECT NO. 451832



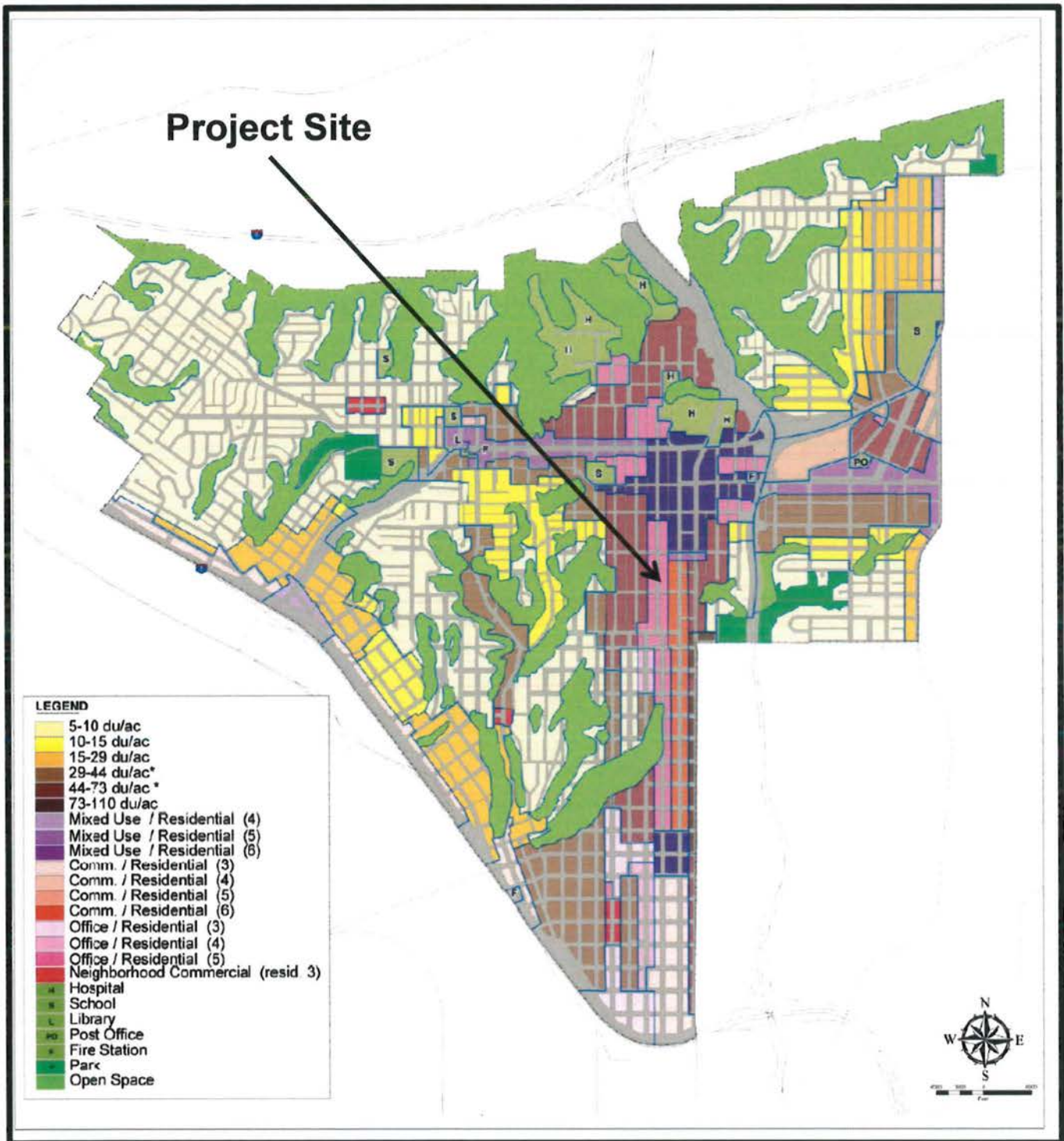




## Location Map

STRAUSS FIFTH AVE. APTS SDP - 3534 5<sup>TH</sup> AVENUE  
PROJECT NO. 451832





## Land Use Map

STRAUSS FIFTH AVE. APTS SDP – 3534 5<sup>TH</sup> AVENUE  
PROJECT NO. 451832





PLANNING COMMISSION  
RESOLUTION NO. \_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 1587683  
**STRAUSS FIFTH AVE SDP - PROJECT NO. 451832 [MMRP]**  
PLANNING COMMISSION  
DRAFT

WHEREAS, Strauss Fifth Avenue L.P., Owner/Permittee, filed an application with the City of San Diego for a permit to demolish two existing multi-family structures and construct a 141-unit multi-dwelling unit structure (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1587683), on portions of a 1.08-acre site;

WHEREAS, the project site is located at 3534 Fifth Avenue in the CC-3-9 Zone, within the Uptown Community Plan area;

WHEREAS, the project site is legally described as Lots 13, 14, 16 and 17, Block 3 of Loma Grande, Map No. 692, filed November 23, 1891;

WHEREAS, on May 11, 2017, the Planning Commission of the City of San Diego considered Site Permit No. 1587683 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated May 11, 2017.

**Mid-City Communities Development Permit Findings – SDMC Section 1512.0204:**

- 1. Conformance with Community Plan. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.**

The project site is located at 3534 Fifth Avenue, within in the Uptown Community Plan area. An update to the Community Plan became effective on February 6, 2017, after the project was deemed complete on November 11, 2015. The applicant has elected to process the project under the previous 1988 version of the Community Plan, which is allowed because the application was deemed complete prior to the effective date of the Community Plan update and all plan references in this section are to that version.

The Community Plan designates the 1.08-acre site for Commercial Residential development with up to 119 units allowed on the project site. With requested Affordable Housing Density Bonus, the 141 units are allowed and the project would fully realize the maximum density envisioned by the Community Plan. The project would help implement the Community Plan's objective to develop adequate housing for low-income persons by providing six units restricted to very low income households.

The project site is developed with a 36,757-square-foot, three-story office structure, two, two-story residential structures with nine units and two paved surface parking lots. The project would demolish the two existing residential structures and surface parking lots to allow the construction of 141 dwelling units in a seven-story, 261,936-square foot structure with three levels of subterranean parking. The office structure would remain with project implementation.

The proposed project would implement the Community Plan's objective to concentrate high density housing adjacent to commercial areas and near transit and higher volume traffic corridors and the General Plan Urban Design Element strategy to direct growth into commercial areas where a high level of activity already exists. The site is located in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including office, commercial, retail and eating/drinking establishments and is located three blocks south of the University Avenue commercial corridor. The site is also within the Transit Area Overlay Zone and is served by existing Metropolitan Transit System bus lines.

The proposed project would help implement the General Plan Urban Design Element goal to utilize landscape as an important aesthetic and unifying element through the City by providing a total of 16 street trees adjacent to the proposed development on Fifth Avenue and adjacent to the existing office structure on Fifth Avenue and Walnut Avenue. Planters adjacent to the sidewalk and a landscaped street-level courtyard along the south side of the structure adjacent to the lobby would also be provided.

The Uptown Community Plan does not provide specific recommendations regarding particular development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates both cantilevered and recessed decks, glazing areas, multiple offsetting planes and varied materials, finishes and colors to provide visual interest and reduce the perceived bulk and scale of the structure. The central outdoor gathering space would feature a 40-foot-wide by three-story tall opening along the Fifth Avenue frontage, which breaks up the building plane and provides a visual connection between the building's usable areas and the street. To provide a buffer between the project and the existing single-story multi-unit residential development to the north, a first floor side yard setback of 22 feet to 14.3 feet and an upper floor setback of 15 feet to 17 feet has been incorporated into the design.

The proposed project would help implement the General Plan Conservation Element goal to reduce the City's overall carbon dioxide footprint by improving energy efficiency and employing sustainable planning and design techniques through the provision of a roof-mounted solar photovoltaic system, which has been included as a project feature although not a requirement of the SDMC.

The proposed project is located along Fifth Avenue which is identified in the community plan as a Class II bicycle lane. A goal of the Mobility Element of the General Plan is to encourage bicycling as a viable travel choice within the City. The project would assist in attaining this goal by providing 60 bicycle spaces. The project would help implement the General Plan Mobility Element goal to create a safe and comfortable pedestrian environment by closing three of the four existing driveways, reducing the potential for vehicle/pedestrian conflicts.



Therefore, the proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

2. **Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.**

The project site is developed with a 36,757-square-foot, three-story office structure, two, two-story residential structures with nine units and two paved surface parking lots. The project would demolish the two existing residential structures and surface parking lots to allow the construction of 141 dwelling units in a seven-story, 261,936-square foot structure with three levels of subterranean parking. The office structure would remain with project implementation.

The site is located in an established, mixed-use, urban neighborhood which includes a wide variety of uses, including office, commercial, retail and eating/drinking establishments and is located three blocks south of University Avenue commercial corridor. Surrounding development includes one- to three-story commercial development to the east including Nunu's Bar and Grill, single-story multi-unit residential development to the north which transitions to two-story commercial, a mix of one- and two-story commercial and residential development to the west across the alley and two- to three-story commercial development to the south. The area is transitional in terms of height, with one to 14-story buildings located within three blocks of the project site. Architectural styles vary greatly, ranging from the traditional bungalow court units to the north to contemporary commercial office developments to the south.

The project design incorporates both cantilevered and recessed decks, multiple offsetting planes and varied materials, finishes and colors to provide visual interest and reduce the perceived bulk and scale of the structure. The central outdoor gathering space would feature a 40-foot-wide by three-story tall opening along the Fifth Avenue frontage, which breaks up the building plane and provides a visual connection between the building's common areas and the right-of-way. Substantial landscaping, including the addition of 16 street trees along Fifth Avenue and Walnut Avenue, planters adjacent to the sidewalk and a landscaped street-level courtyard along the south side of the new structure would be provided.

To provide a buffer between the project and the existing single-story, multi-unit residential development to the north, a first floor side yard setback of 14.3 feet to 22 feet and an upper floor setback of 15 feet to 17 feet has been incorporated into the design. This complies with the CV-1 Zone requirement that properties which abut existing residential maintain an additional upper-floor step back. Therefore, the project will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

- 3. No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.**

The project site is developed with a 36,757-square-foot, three-story office structure, two, two-story residential structures with nine units and two paved surface parking lots. The project would demolish the two existing residential structures and surface parking lots to allow the construction of 141 dwelling units in a seven-story, 261,936-square foot structure with three levels of subterranean parking. The office structure would remain with project implementation.

The site would be accessed from a single driveway on Fifth Avenue and has been conditioned to install current City-standard curb, gutter, sidewalk and a driveway along the Fifth Avenue right-of-way. The project would also dedicate and improve an additional 2.5 feet of the adjacent alley right-of-way. As designed the project would close three of the four existing driveways onto Fifth Avenue, reducing the potential for vehicle/pedestrian conflicts. All necessary public improvements are included as project conditions and all public utilities required to service the site are available.

A Mitigated Negative Declaration was prepared for this project in accordance with the State of California Environmentally Quality Act (CEQA) Guidelines and includes mitigation for potential significant impacts to Paleontological Resources. The permit for the project includes conditions of approval and exhibits to achieve project compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area.

The proposed development will require a demolition permit for the existing residential structures and ministerial building permits will be required for new construction. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development has been prepared that demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Therefore, the proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity

- 4. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.**

The property is served by an existing street light located at the middle of the site along the Fifth Avenue frontage. The site is also within 90 feet of an existing street light at the southwest corner of Fifth Avenue and Walnut Avenue. Therefore, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided as required.



**5. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.**

The project site is located at 3534 Fifth Avenue, in the citywide CC-3-9 Zone. The site is also located in the Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Airport Influence Review Area Two and the Federal Aviation Administration Part 77 Notification Area. The CC-3-9 Zone became effective for the site on February 6, 2017, in conjunction with an update to the Uptown Community Plan. When the project application was deemed complete on November 11, 2015, the site was located in CV-1 Zone of the Mid-City Communities Planned District (MCCPD). The applicant has elected to process the project under the previous CV-1 Zone regulations, which is allowed because the application was deemed complete prior to the zone change.

The CV-1 Zone is a Community Village zone intended to provide for pedestrian oriented districts for either commercial, residential, or mixed-use development. The CV-1 Zone allows one dwelling unit per 400 square feet of lot area, or 118 units allowed on the project site. The project scope includes an Affordable Housing Density Bonus, which would allow the 141 units (20 percent bonus above 118 allowed units) in exchange for restricting six units to very low income households. With the Affordable Housing Density Bonus, the proposed multi-dwelling unit project complies with the CV-1 Zone regulations. As designed the project meets all applicable development regulations, including setbacks, floor area ratio, offsetting planes, upper floor step back, parking and landscape standards.

The project incorporates two development incentives which are allowed as part of the Affordable Housing Density Bonus to assist with the provision of affordable housing. Pursuant to SDMC Section [143.0710](#), the project is eligible for one development incentive consistent with State Density Bonus Law, which the applicant has taken as a height deviation to allow a maximum height of 85 feet where 65 feet is allowed.

The applicant is requesting an additional development incentive, which is allowed with the approval of a Process Four Site Development Permit, per SDMC Section [143.0750](#). The additional incentive allows the required loading zone to be located adjacent to the site in the Fifth Avenue right-of-way, not onsite as required by SDMC. Staff is supportive of this additional incentive as described in the "Deviation for Affordable Housing Findings" below. Therefore, the proposed use will comply with the relevant regulations in the San Diego Municipal Code.

**Site Development Permit Findings – SDMC Section 126.0504:**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 3534 Fifth Avenue, within in the Uptown Community Plan area. An update to the Community Plan became effective on February 6, 2017, after the project was deemed complete on November 11, 2015. The applicant has elected to process the project under the previous version of the Community Plan which is allowed because the application was deemed complete prior to the effective date of the Community Plan update and all plan references in this section are to that version

The Community Plan designates the 1.08-acre site for Commercial Residential development with up to 119 units allowed on the project site. The project scope includes an Affordable Housing Density Bonus, which would allow 141 units (20 percent bonus) in exchange for restricting six units to very low income households. This allows the project to fully realize the maximum density envisioned by the Community Plan and would help implement the Community Plan's objective to develop adequate housing for low-income persons by providing six units restricted to very low income households.

The project site is developed with a 36,757-square-foot, three-story office structure, two, two-story residential structures with nine units and two paved surface parking lots. The project would demolish the two existing residential structures and surface parking lots to allow the construction of 141 dwelling units in a seven-story, 261,936-square foot structure with three levels of subterranean parking. The office structure would remain with project implementation.

The proposed project would implement the Community Plan's objective to concentrate density housing adjacent to commercial areas and near transit and higher volume traffic corridors. The site is located in an established, mixed-use, urban neighborhood which includes office, commercial, retail and eating/drinking establishments and is located three blocks south of University Avenue commercial corridor. The site is also within the Transit Area Overlay Zone and is served by existing Metropolitan Transit System bus lines.

The Uptown Community Plan does not provide specific recommendations regarding particular development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates both cantilevered and recessed decks, multiple offsetting planes and varied materials, finishes and colors to provide visual interest and reduce the perceived bulk and scale of the structure. The central outdoor gathering space would feature a 40-foot-wide by three-story tall opening along the Fifth Avenue frontage, which breaks up the building plane and provides a visual connection between the building's usable areas and the street. To provide a buffer between the project and the existing single-story multi-unit residential development to the north, a first floor side yard setback of 22 feet to 14.3 feet and an upper floor setback of 15 feet to 17 feet has been incorporated into the design. Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project site is developed with a 36,757-square-foot, three-story office structure, two, two-story residential structures with nine units and two paved surface parking lots. The project would demolish the two existing residential structures and surface parking lots to allow the construction of 141 dwelling units in a seven-story, 261,936-square foot structure with three levels of subterranean parking. The office structure would remain with project implementation.



The site would be accessed from a single driveway on Fifth Avenue and has been conditioned to install current City-standard curb, gutter, sidewalk and a driveway along the Fifth Avenue right-of-way. The project would also dedicate and improve an additional 2.5 feet of the adjacent alley right-of-way. As designed the project would close three of the four existing driveways onto Fifth Avenue, reducing the potential for vehicle/pedestrian conflicts. All necessary public improvements are included as project conditions and all public utilities required to service the site are available.

A Mitigated Negative Declaration was prepared for this project in accordance with the State of California Environmentally Quality Act (CEQA) Guidelines and includes mitigation for potential significant impacts to Paleontological Resources. The permit for the project includes conditions of approval and exhibits to achieve project compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area.

The proposed development will require a demolition permit for the existing residential structures and ministerial building permits will be required for new construction. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development has been prepared that demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 3534 Fifth Avenue, in the citywide CC-3-9 Zone. The site is also located in the Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Airport Influence Review Area Two and the Federal Aviation Administration Part 77 Notification Area. The CC-3-9 Zone became effective for the site on February 6, 2017, in conjunction with an update to the Uptown Community Plan. When the project application was deemed complete on November 11, 2015, the site was located in CV-1 Zone of the Mid-City Communities Planned District (MCCPD). The applicant has elected to process the project under the previous CV-1 regulations, which is allowed because the application was deemed complete prior to the zone change.

The CV-1 Zone is a Community Village zone intended to provide for pedestrian oriented districts for either commercial, residential, or mixed-use development. The CV-1 Zone allows one dwelling unit per 400 square feet of lot area, or 118 units allowed on the project site. The project scope includes an Affordable Housing Density Bonus, which would allow the 141 units (20 percent bonus above 118 allowed units) in exchange for restricting six units to very low income households. With the Affordable Housing Density Bonus, the proposed multi-dwelling unit project complies with the CV-1 Zone regulations. As designed the project meets all applicable development regulations, including setbacks, floor area ratio, offsetting planes, upper floor step back, parking and landscape standards.

The project incorporates two development incentives which are allowed as part of the Affordable Housing Density Bonus to assist with the provision of affordable housing. Pursuant to SDMC Section [143.0710](#), the project is eligible for one development incentive consistent with State Density Bonus Law, which the applicant has taken as a height deviation to allow a maximum height of 85 feet where 65 feet is allowed.

The applicant is requesting an additional development incentive, which is allowed with the approval of a Process Four Site Development Permit, per SDMC Section [143.0750](#). The additional incentive allows the required loading zone to be located adjacent to the site in the Fifth Avenue right-of-way, not onsite as required by SDMC. Staff is supportive of this additional incentive as described in the "Deviation for Affordable Housing Findings" below. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

**Site Development Permit Supplemental Findings - Deviation for Affordable Housing  
SDMC Section 126.0504:**

- 1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.**

The proposed project will provide six residential units for very low income households through an Affordable Housing Agreement. The six affordable units would consist of one studio, three one-bedroom and two two-bedroom units and would be restricted to very low income households for a minimum of 55 years. Therefore, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

- 2. The development will not be inconsistent with the purpose of the underlying zone.**

The purpose of the CV-1 (Commercial Village) Zone of the Mid-City Communities Planned District is to provide for pedestrian oriented districts for either commercial, residential, or mixed-use development and encourages pedestrian activity through the design and location of building frontages and of parking and vehicle access. The development meets this purpose by providing 141 for-rent dwelling units in an established, mixed-use, urban neighborhood which includes office, commercial, retail and eating/drinking establishments and is located three blocks south of University Avenue commercial corridor. The location of the project in proximity to a variety of services encourages pedestrian activities. The site is also within the Transit Area Overlay Zone and is served by existing Metropolitan Transit System bus lines.

The project would further promote pedestrian activity by closing three of the four existing driveways on Fifth Avenue, reducing the potential for pedestrian/vehicle conflicts. Access would be taken from the remaining single driveway on Fifth Avenue. The elevation along Fifth Avenue has been designed to reduce the effects of bulk and scale and provide views from the project's main common area to the street through the provision of a 40-foot-wide by three-story tall opening.



All required parking would be provided within the building in three levels of subterranean parking, screened from view from the public right-of-way and would include 60 indoor bicycle parking spaces. Therefore, the development will not be inconsistent with the purpose of the underlying zone.

**3. The deviation is necessary to make it economically feasible for the applicant to utilize a density bonus authorized for the development pursuant to Section 143.0725.**

The applicant is requesting the approval of an additional development incentive to allow the required loading zone to be placed in the public right-of-way and not onsite, as required by the SDMC. With approval of this incentive, the 35-foot loading zone would be located on Fifth Avenue towards the north end of the property. The applicant considered several design options to accommodate the loading zone onsite. The first option was to provide the loading zone onsite with turn around so truck backing onto Fifth Avenue would not be required. This would require an additional driveway, the loss of first floor units and raising the entire structure five feet. The second option was to provide a continuous loading zone from Fifth Avenue to the alley, which would result in a difficult turning radius in the alley for standard trucks, the loss of parking resulting in the need for a fourth underground parking level and relocation of significant mechanical equipment to the roof which would exceed the limits of the wood-frame structure, requiring concrete framing. These options were determined infeasible by the applicant due to structural and cost considerations related to impacts to the underground parking garage, mechanical and storm water treatment facilities and the provision of enough units to balance the cost of the very low income affordable units. Therefore, the deviation is necessary to make it economically feasible for the applicant to utilize a density bonus authorized for the development pursuant to Section 143.0725.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Permit No. 1587683 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1587683 a copy of which is attached hereto and made a part hereof.

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Paul Godwin  
Development Project Manager  
Development Services

Adopted on: May 11, 2017

IO#: 24006280

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006280

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1587683  
**STRAUSS FIFTH AVE APTS SDP - PROJECT NO. 451832 [MMRP]**  
PLANNING COMMISSION

This Site Development Permit No. 1587683 is granted by the Planning Commission of the City of San Diego to Strauss Fifth Avenue L.P., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0502, 143.0750 and 1512.0203. The 1.08-acre site is located at 3500 and 3534 Fifth Avenue in the CC-3-9 zone of the Uptown Community Plan area. The project site is legally described as: Lots 13, 14, 16 and 17, Block 3 of Loma Grande, Map No. 692, filed November 23, 1891.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish two existing multi-family structures and construct a 141-unit multi-unit residential structure, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 11, 2017, on file in the Development Services Department. The project shall include:

- a. The demolition of two existing multi-family structures and surface parking lots and the construction of 141 apartment units, including six very-low income affordable units, in a 261,936-square-foot, seven-story building with underground parking;
- b. The project includes an Affordable Housing Density Bonus and associated development incentive to allow a maximum height of 85 feet where 65 feet is allowed. A second development incentive would allow the required onsite loading zone to be provided adjacent to the project site in the Fifth Avenue right-of-way;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A roof-mounted photovoltaic system; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.



**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 25, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 451832, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in in Mitigated Negative Declaration No. 451832, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for Paleontological Resources.



**CLIMATE ACTION PLAN REQUIREMENTS:**

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**AFFORDABLE HOUSING REQUIREMENTS:**

15. Prior to the issuance of the first residential building permit, the Owner/Permittee shall enter into an affordable housing agreement with the San Diego Housing Commission to provide 6 housing units affordable to very-low income households (rents at 30% of 50% AMI) for a period of 55 years.

16. Prior to issuance of the first residential building permit, Owner/Permittee shall comply with the provisions of Chapter 14, Article 2, Division 13 of the San Diego Municipal Code ("Inclusionary Affordable Housing Regulations") by payment of a prorated Inclusionary Affordable Housing Fee of 49.15% of the Inclusionary Affordable Housing Fee set forth in San Diego Municipal Code Section 142.1304 that would otherwise be applicable to the Project.

**AIRPORT REQUIREMENTS:**

17. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

**ENGINEERING REQUIREMENTS:**

18. The project proposes to export 39,885 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

19. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains and curb outlets in the Fifth Avenue Right-of-Way.

21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the raised planters in the Fifth Avenue Right-of-Way.

22. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the portion of the proposed driveway located where the Owner/Permittee is not the owner of the property fronting the encroachment.
23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 24-foot wide concrete driveway, adjacent to the site on Fifth Avenue, satisfactory to the City Engineer.
24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard curb, gutter and sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Fifth Avenue, satisfactory to the City Engineer.
25. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.
26. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Applicant must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, reconstruction of the alley with current City Standard full-width concrete alley, satisfactory to the City Engineer.
28. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
29. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
30. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
31. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.



**LANDSCAPE REQUIREMENTS:**

32. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.
33. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
34. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.
35. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'
36. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
37. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
38. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

39. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

**TRANSPORTATION REQUIREMENTS:**

40. No fewer than 196 residential, and 59 commercial parking spaces for a total of 255 spaces including 7 accessible spaces (202 residential, and 59 commercial spaces for a total of 261 spaces including 7 accessible spaces proposed), plus 14 motorcycle spaces, and 59 bicycle spaces shall be maintained on the property at all times in the approximate locations shown on Exhibit "A".

41. All on-site parking stalls shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

42. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

43. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

44. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

45. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

46. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

47. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

48. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.



49. Prior to issuance of any building permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, medians, landscaping, enriched paving, curb, gutter and sidewalk, and electrical conduits to be installed within the public right-of-way.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 11, 2017, and Resolution No. ????????

Permit Type/PTS Approval No.: Site Development Permit No. 1587683

Date of Approval: May 11, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Paul Godwin  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Strauss Fifth Avenue L.P.**

Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**Strauss Fifth Avenue L.P.**

Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, on November 5, 2015, Vicki Piazza, representing Carrier Johnson, submitted an application to the Development Services Department for a Site Development Permit for the Strauss Fifth Ave Apts SDP Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on May 11, 2017; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 451832 Declaration prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
Paul Godwin, Development Project Manager

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A****MITIGATION MONITORING AND REPORTING PROGRAM**

Site Development Permit

PROJECT NO. 451832

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 451832 shall be made conditions of Site Development Permit as may be further described below.

**A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:  
  
<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)**



1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Paleontological Monitor

**Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
  - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 451832 and/or Environmental Document Number 451832, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

**Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

**NONE REQUIRED**

4. **MONITORING EXHIBITS**  
All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

**5. OTHER SUBMITTALS AND INSPECTIONS:**

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>Document Submittal/Inspection Checklist</b>		
<b>Issue Area</b>	<b>Document submittal</b>	<b>Associated Inspection/Approvals/Notes</b>
General	Consultant Qualification Letters	Prior to Pre-construction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at the Pre-Construction meeting
Paleontology	Paleontological Monitoring Reports	Paleontological Site Observations
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**PALEONTOLOGICAL RESOURCES**

**PAL-1**

**I. Prior to Permit Issuance**

**A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

**B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to MMC identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City Paleontology Guidelines.



2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

## **II. Prior to Start of Construction**

### **A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to, a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

### **B. PI Shall Attend Preconstruction Meetings**

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Preconstruction Meeting that shall include the PI, CM, and/or Grading Contractor, RE, BI, if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Preconstruction Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the CM and/or Grading Contractor.
  - a. If the PI is unable to attend the Preconstruction Meeting, the Applicant shall schedule a focused Preconstruction Meeting with MMC, the PI, RE, CM, or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
  - a. Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored, including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
  - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site

graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

### **III. During Construction**

#### **A. Monitor Shall be Present During Grading/Excavation/Trenching**

1. The monitor shall be present full time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances, Occupational Safety and Health Administration safety requirements may necessitate modification of the PME.
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition, such as trenching activities, does not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

#### **B. Discovery Notification Process**

1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or e-mail with photos of the resource in context, if possible.

#### **C. Determination of Significance**

1. The PI shall evaluate the significance of the resource.
  - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
  - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program and obtain written approval from MMC. Impacts to significant



resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.

- c. If the resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils), the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
- d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

#### **IV. Night and/or Weekend Work**

##### **A. If night and/or weekend work is included in the contract:**

- 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the Preconstruction Meeting.
- 2. The following procedures shall be followed.

##### **a. No Discoveries**

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8 A.M. on the next business day.

##### **b. Discoveries**

All discoveries shall be processed and documented using the existing procedures detailed in Section III - During Construction.

##### **c. Potentially Significant Discoveries**

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.

- d. The PI shall immediately contact MMC, or by 8 A.M. on the next business day, to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

##### **B. If night work becomes necessary during the course of construction:**

- 1. The CM shall notify the RE, or BI as appropriate, a minimum of 24 hours before the work is to begin.
- 2. The RE or BI, as appropriate, shall notify MMC immediately.

##### **C. All other procedures described above shall apply, as appropriate.**



**V. Post Construction**

**A. Preparation and Submittal of Draft Monitoring Report**

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
  - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
  - b. Recording Sites with the San Diego Natural History Museum

The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

**B. Handling of Fossil Remains**

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and cataloged.
2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area, that faunal material is identified as to species, and that specialty studies are completed, as appropriate.

**C. Curation of Fossil Remains: Deed of Gift and Acceptance Verification**

1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

**D. Final Monitoring Report(s)**

1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative) within 90 days after notification from MMC that the Draft Monitoring Report has been approved.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



## DRAWING INDEX

A photograph of a modern building with large glass windows and a white facade. In the foreground, there is a palm tree and a flowering tree with purple blossoms. The building is situated in an urban environment with other structures visible in the background.

## An architectural rendering of a modern, multi-story residential building. The building features a light-colored, textured facade and numerous balconies with glass railings. A prominent glass entrance is visible on the left side of the building. The rendering includes landscaping with palm trees and flowering trees, and a clear blue sky.

<b>01 - GENERAL</b>	
L1 (1) OF 32	TITLE SHEET
L2 (2) OF 32	PROJECT DATA SUMMARY
L3 (3) OF 32	PER ACCESS SITE PLAN
L4 (4) OF 32	PAAS TO TOP OF FILL
L5 (5) OF 32	PAAS DETECTION
L6 (6) OF 32	PAAS DETECTION
<b>02 - PUBLIC IMPROVEMENT</b>	
C-1 (1) OF 32	IN-ARE IMPROVEMENT PLAN
C-2 (2) OF 32	ADJACENT IMPROVEMENT PLAN
C-3 (3) OF 32	GRADING PLAN
<b>03 - LANDSCAPE</b>	
L1 (1) OF 32	LANDSCAPE DEVELOPMENT PLAN AND NOTES
L2 (1) OF 32	LANDSCAPE DEVELOPMENT PLAN FOOTER SHEET
<b>04 - ARCHITECTURAL</b>	
A1 (1) OF 32	ARCHITECTURAL & ACCESSIBILITY SITE PLAN
A1.1 (1) OF 32	EXISTING SURVEY
A1.2 (1) OF 32	EXISTING SITE PHOTOGRAPHIC SURVEY
A2 (2) OF 32	PAAS DETECTION
A2.1 (1) OF 32	PAAS DETECTION
A2.2 (1) OF 32	PAAS DETECTION
A2.3 (1) OF 32	FLOOR PLAN LEVEL 1
A2.4 (1) OF 32	FLOOR PLAN LEVEL 2
A2.5 (1) OF 32	FLOOR PLAN LEVEL 3
A2.6 (1) OF 32	FLOOR PLAN LEVEL 4
A2.7 (1) OF 32	FLOOR PLAN LEVEL 5
A2.8 (1) OF 32	FLOOR PLAN LEVEL 6
A2.9 (1) OF 32	FLOOR PLAN LEVEL 7
A3 (3) OF 32	ROOF PLAN
A3.1 (1) OF 32	ROOF PLAN
A3.2 (1) OF 32	ROOF PLAN
A3.3 (1) OF 32	ROOF PLAN
A4 (4) OF 32	EXTERIOR ELEVATIONS
A4.1 (1) OF 32	EXTERIOR ELEVATIONS
A4.2 (1) OF 32	EXTERIOR ELEVATIONS
A4.3 (1) OF 32	EXTERIOR ELEVATIONS
A4.4 (1) OF 32	EXTERIOR ELEVATIONS
A5 (5) OF 32	EXTERIOR ELEVATIONS
A5.1 (1) OF 32	EXTERIOR ELEVATIONS
A5.2 (1) OF 32	EXTERIOR ELEVATIONS
A5.3 (1) OF 32	EXTERIOR ELEVATIONS
A5.4 (1) OF 32	EXTERIOR ELEVATIONS
A5.5 (1) OF 32	EXTERIOR ELEVATIONS
A6 (6) OF 32	EXTERIOR ELEVATIONS
A6.1 (1) OF 32	EXTERIOR ELEVATIONS
A6.2 (1) OF 32	EXTERIOR ELEVATIONS
A6.3 (1) OF 32	EXTERIOR ELEVATIONS
A6.4 (1) OF 32	EXTERIOR ELEVATIONS
A6.5 (1) OF 32	EXTERIOR ELEVATIONS
A6.6 (1) OF 32	EXTERIOR ELEVATIONS
A7 (7) OF 32	EXTERIOR ELEVATIONS
A7.1 (1) OF 32	EXTERIOR ELEVATIONS
A7.2 (1) OF 32	EXTERIOR ELEVATIONS
A7.3 (1) OF 32	EXTERIOR ELEVATIONS
A7.4 (1) OF 32	EXTERIOR ELEVATIONS
A7.5 (1) OF 32	EXTERIOR ELEVATIONS
A7.6 (1) OF 32	EXTERIOR ELEVATIONS
A7.7 (1) OF 32	EXTERIOR ELEVATIONS

## PROJECT TEAM

COVERED DWELLING UNITS INCLUDES:		METHOD OF COMPLIANCE	
		ONE BATHROOM	ALL BATHROOM
UNIT NUMBERS:	141	o	

PSE CONSTRUCTION MEETING  
 A MANDATORY PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH A SENIOR STRUCTURAL INSPECTOR BY CALLING FIELD INSPECTION SERVICES AT (858) 493-5075.

<b>OWNER:</b> STANFORD FIFTH AVENUE, L.P. 1015 FIFTH AVENUE SAN DIEGO, CA 92101 TEL: 619-696-4075 CONTACT: DON CAULFIELD	<b>STRUCTURAL ENGINEER:</b> DKO ENGINEERS 415 THIRD AVENUE, SUITE 1260 SAN DIEGO, CA 92101 TEL: 619-234-0051 CONTACT: JUSTIN KEE	<b>CIVIL ENGINEER:</b> NETO CONSULTING ENGINEERS 415 THIRD AVENUE, SUITE 208 SAN DIEGO, CA 92101 TEL: 708-558-2772 CONTACT: MANUEL NETO	<b>LANDSCAPE ARCHITECT:</b> VIMERY YAMADA AND CAJOVICH 3017 FIFTH AVENUE SAN DIEGO, CA 92103 TEL: 619-524-4024 CONTACT: BRAD HELLNER	<b>GENERAL CONTRACTOR:</b> CANCON CONSTRUCTORES SOUTH 11225 ELIZABETH DRIVE, SUITE 213 SAN DIEGO, CA 92128 TEL: 619-494-7878 CONTACT: TOM REMENBERGER
<b>ARCHITECT / INTERIORS:</b> CARRETT JOHNSON 1311 THIRD AVE. 4000 SAN DIEGO, CA 92101 TEL: 619-232-3553 FAX: 619-232-4422 CONTACT: WENDY PRAZZA	<b>Mechanical/PLUMBING ENGINEER:</b> LEE & ASSOCIATES, INC. 214 S. JACKSON STREET, SUITE 151 SAN DIEGO, CA 92103 TEL: 619-420-3100 CONTACT: DANG L. LEE	<b>CIVIL ENGINEER:</b> OMEGA ENGINEERING CONSULTANTS, INC. 434 W. MONROE AVENUE, SUITE B SAN DIEGO, CA 92123 TEL: 619-544-8120 CONTACT: ANDREW KANN	<b>CODE CONSULTANT:</b> COOCH ENGINEERS, INC. 3303 FIFTH AVENUE, SUITE C SAN DIEGO, CA 92103 TEL: 619-549-4429 CONTACT: JAMES COOCHILL	<b>GRUPO CONSULTANT:</b> DRYD UTILITY DESIGN 4470 PENWICK CHERRY LANE, SUITE 200 SAN DIEGO, CA 92126 TEL: 760-200-2651 CONTACT: JOEL RADOVAN
<b>GEOTECHNICAL ENGINEER:</b> GEOTECH INCORPORATED 690 FLANDERS DRIVE SAN DIEGO, CA 92121 TEL: 619-594-1882 CONTACT: JOHN HOBSBS	<b>ACUSTICAL ENGINEER:</b> EARL AND ASSOCIATES 1023 KANAWHA STREET ESCONDIDO, CA 92025 TEL: 760-791-1882 CONTACT: JONATHAN BROTHERS	<b>DOERING ENGINEER:</b> EARTH SUPPORT SYSTEMS, INC. 904 ENCINITAS BLVD., SUITE 200 SAN DIEGO, CA 92126 TEL: 760-200-2651 CONTACT: RICARDO JORDAN		

## VICINITY MAP

DATE	SIGNATURE
	DATE

1. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

2. FOR NEW CONSTRUCTION, REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM

AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITH  
 WHICH FUEL-BURNING APPLIANCES ARE INSTALLED, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

FOR NEW CONSTRUCTION, REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A BATTERY BACKUP SYSTEM. THE BATTERY BACKUP SYSTEM SHALL BE A COMMERCE-RATED SYSTEM AND BE EQUIPPED WITH A BATTERY BACKUP ALARM WIRING THAT IS DIRECTLY CONNECTED TO PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CORRECT PROTECTION.

3. SINGLE AND MULTIPLE CARBON MONOXIDE ALARMS SHALL BE LISTED PER UL 704, CARBON MONOXIDE DETECTORS SHALL BE LISTED UNDER CATEGORY 1. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE. THE CURRENT EDITION OF NFPA 720 "STANDARD FOR THE INSTALLATION OF CARBON MONOXIDE, GAS DETECTION AND WARNING EQUIPMENT" AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL CARBON MONOXIDE ALARMS AND DETECTION DEVICES ARE RECOGNIZED IN NFPA 720 ARE ALSO ACCEPTABLE.

4. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR DETACHED GARAGE, A MINIMUM OF TWO SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING MANNER THAT THE ACTION OF AN ALARM SHALL ACTUALLY ALARM ALL OF THE INDIVIDUAL UNITS. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER CARPETING AND NOISE LEVELS WITH ALL DOORWAYS OPENING CLOSING.

**NOTE TO OFFICIALS:** REFER TO ELECTRICAL DRAWINGS FOR ALL CARBON MONOXIDE AND SMOKE ALARM DETECTOR LOCATIONS SHOWN ON PLANS.

5. PRANKTLY FINISHED BUILDINGS PROGRAM ASSIGNED DWELLING TYPING, ON AN ACCESSIBLE ROUTE SHALL BE PROVIDED FOR AT LEAST 2 PERCENT OF THE COVERED DWELLING UNITS, BUT NOT LESS THAN ONE. SMOKE BATTERIES PROVIDED FOR ACCESSIBLE UNITS SHALL BE MAINTAINED.

6. REFLECTIVE WARNING SIGNS SHALL BE INSTALLED AT TRANSITIONS FROM THE R-2 TO LOWER LEVELS EQUIPPED IN VERTICAL PASSENGER VEHICLES AT THE SAME PASSENGER LEVEL.

### VERY HIGH FIRE SEVERITY ZONE NOTES

1. THE PROPOSED STRUCTURE IS LOCATED ON A LOT THAT IS IN A VERY HIGH FIRE SEVERITY ZONE. THE MATERIALS AND METHODS OF CONSTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY STRUCTURES SHALL BE IN ACCORDANCE WITH CHAPTER 7A, AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO [SDMC 145.070(b)]

### VERY HIGH FIRE SEVERITY ZONE NOTES

THE GUTTER, ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-CORROSIBLE MATERIALS [CFC 709.4].

3. Drip Edge Flashing Used at the Free Edges of Roofing Materials shall be Non-Corrosible [CFC 709.4.1].

4. Valley Flashing shall not be less than 0.019mm (No. 26 Galvanized Steel) Corrosion Resistant Metal Installed over a Minimum 19mm (3/4") Plywood Underlayment Consisting of One Layer of No. 17 ASTM Card Stock Running over the Full Length of the Valley [CFC 709.4.2].

5. Glazing Framed made of Vinyl Materials shall have Welded Corners, Metal Reinforcement in the Interlock Area, and be Certified to the Most Current Edition of ANSI AAMA 1900.1-1998 2.3 Structural Requirements [CFC 709.2.1].

VICINITY MAP	PROJECT DATA
<p><b>STRAUS FIFTH AVENUE</b> 3435 FIFTH AVENUE SAN DIEGO, CA 92103</p> <p><b>Ivy Lane</b></p> <p><b>NORTH</b> <b>NO SCALE</b></p>	<p><b>PROJECT DESCRIPTION:</b> NEW CONSTRUCTION OF FIVE FLOORS OF APARTMENTS (TYPE-B-A) CONSTRUCTION, OVER TWO FLOORS OF APARTMENTS AND PARKING GARAGE (TYPE-1A) CONSTRUCTION, OVER THREE FLOORS OF PARKING BELOW GRADE (TYPE-1B) CONSTRUCTION. EXISTING OFFICE BUILDING AT SOUTH END OF SITE TO REMAIN AND LANDSCAPED AREA WILL BE CREATED BETWEEN BOTH BUILDINGS. A PRIVATELY FUNDED PROJECT.</p> <p><b>ADDRESS / LOCATION:</b> PROPOSED BUILDING: 3534 FIFTH AVENUE, SAN DIEGO, CA 92103 EXISTING BUILDING: 3509 FIFTH AVENUE, SAN DIEGO, CA 92103</p> <p><b>ASSESSOR'S PARCEL NO.:</b> 432-405-1500, 432-406-1699 AND 432-406-1700</p> <p><b>LEGAL DESCRIPTION:</b> LOTS 13-17 BLOCK 3 LOMA GRANDE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, CALIFORNIA, ACCORDING TO MAP THEREOF NO. 882 FILED AT THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, NOVEMBER 23, 1981.</p> <p><b>HISTORICAL RESOURCE INFORMATION:</b> ITS NO. 432718 PRELIMINARY REVIEW OF THE EXISTING BUILDING LOCATED AT 3534 DETERMINED THE BUILDING DOES NOT MEET IRHS DESIGNATION CRITERIA. THE BUILDING WILL BE DEMOLISHED UNDER A SEPARATE PERMITTING PROCESS.</p> <p><b>NOTE:</b> THE BUILDING LOCATED AT 3530 FIFTH AVENUE, LOTS 13-12, APRIL NO. 432-406-1698 OWNED BY STRAUSS FIFTH AVENUE, L.P. USED FOR RESEARCH AND ANALYSIS AND TO PROVIDE SIX REPLACEMENT PARKING SPACES ONLY. BUT NOT INCLUDED IN THIS PROJECT.</p> <p>THE PROJECT IS SEEKING ONE DEVIATION: PROVIDE AN ON-STREET LOADING ZONE ON FIFTH AVENUE. IN LIEU OF AN ON-SITE LOADING. THERE WILL BE NO REDUCTIONS TO THE OFF-SITE PARKING THAT IS CURRENTLY PROVIDED. THE UPTOWN PLANNING GROUP APPROVED THE DEVIATION ON AN 11-04 NOTE ON NOVEMBER 1, 2016.</p>
<h2 style="text-align: center;">ADDITIONAL PLAN CHECK NOTES</h2> <ol style="list-style-type: none"> <li>DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE TINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR II STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED PER CFC 304.3.</li> <li>BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33 WELDING, CUTTING AND OTHER HOT WORK.</li> <li>WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CFC TABLE B03 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19 DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCTION OR PROCESS APPROVED BY THE JUDGE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.</li> <li>ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PROMINELY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHICHEVER ADDRESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MANS SIGN SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CDC SECTION 302.2.</li> </ol>	



architecture for urban environments

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phone 619.239.2253 | fax 619.239.6227

carrierjohnson

STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103

PROJECT NO:  
5048.00  
FILENAME:  
DRAWN BY: VJP  
CHECKED BY: VJP  
PLOT DATE:  
TITLE:

PROJECT  
DATA  
SUMMARY

DRAWING NO:

T0.2

CODE ANALYSIS

DEVELOPMENT SUMMARY				BUILDING PLANNING				BUILDING PLANNING				ACCESSORY USE CALCULATIONS				FIRE-RESISTIVE REQUIREMENTS				ENERGY CONSERVATION STANDARDS			
ZONING				CONSTRUCTION TYPE				CONSTRUCTION TYPE				LEVEL 1				BUILDING ELEMENT				AIR LEAKAGE			
YARD SETBACKS				OCCUPANCIES				OCCUPANCIES				LEVEL 2				STRUCTURAL FRAME				U-FACTOR			
SITE AREA				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				LEVEL 3				BEARING WALLS - EXTERIOR				SHGC			
MAXIMUM HEIGHT				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				LEVEL 4				BEARING WALLS - INTERIOR				VT			
FAR RATIO				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				LEVEL 5				NON-BEARING WALLS - EXTERIOR				JOINTS			
MAXIMUM DENSITY				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				LEVEL 6				NON-BEARING WALLS - INTERIOR				INSULATION			
MID-CITY COMMUNITY PLANNED DISTRICT TABLE 1512-035				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				LEVEL 7				ROOF CONSTRUCTION				SCHOOL FEES			
AFFORDABLE HOUSING BONUS UNITS				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				TOTAL				EXTERIOR OPENINGS (UNPROTECTED)				SEE SHEETS TO 10.1 TO 10.2 FOR ASSESSABLE AREA SHEET T0.1 DEMO PLAN			
AREA SUMMARY (F.A.R.)				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				EXISTING OFFICE BUILDING				EXISTING BUILDING				TOTAL			
LEVEL 1				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				CONSTRUCTION TYPE				FIRE SPRINKLERS				NO. OF STORIES			
SUB TOTAL				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				EXISTING USE				EXISTING AREA				FOOTPRINT			
LEVEL 2				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				APPROX GROSS AREA				APPROX GROSS AREA				APPROX GROSS AREA			
SUB TOTAL				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			
LEVEL 3				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			
LEVEL 4				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			
LEVEL 5				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			
LEVEL 6				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			
LEVEL 7				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			
TOTAL				OCCUPANCY SEPARATION				OCCUPANCY SEPARATION				OCCUPANCY				OCCUPANCY				OCCUPANCY			

Building Area Summary

Level	Floor Elev	Use	GFA	Core	Shafts	Leasable	Balcony (FAR)	Balcony (non FAR)	FAR	Efficiency
P3	-30'-6"	Parking	28,382 sf	1,367 sf	68 sf					
		Storage/Util	2,306 sf							
		Sub-total	32,123 sf							
P2	-20'-6"	Parking	28,495 sf	1,456 sf	68 sf					
		Storage/Util	2,363 sf							
		Sub-total	32,382 sf							
P1	-10'-6"	Parking	28,109 sf	1,845 sf	68 sf					
		Storage/Util	2,360 sf							
		Sub-total	32,382 sf							
1	0'-0"	Residential	7,575 sf	3,704 sf	136 sf	3,735 sf			7,439 sf	49.3%
		Storage/Util	333 sf						333 sf	
		Lobby/Leasing	1,529 sf						1,529 sf	
		Parking	17,630 sf						17,630 sf	
		Sub-total	27,067 sf			3,735 sf			26,931 sf	
2	11'-4"	Residential	19,054 sf	3,679 sf	366 SF	15,375 sf			19,054 sf	80.7%
		Amenities	2,662 sf						2,662 sf	
		Storage	399 sf						22,115 sf	
		Sub-total	22,115 sf			15,375 sf				
3	21'-8"	Residential	22,550 sf	2,610 sf	276 SF	19,940 sf			22,550 sf	88.4%
4	32'-0"	Residential	22,550 sf	2,610 sf	276 SF	19,940 sf			22,550 sf	88.4%
5	42'-4"	Residential	23,745 sf	2,756 sf	276 SF	20,989 sf			23,745 sf	88.4%
6	52'-8"	Residential	23,515 sf	2,809 sf	276 SF	20,706 sf			23,515 sf	88.1%
7	63'-0"	Residential	23,507 sf	2,809 sf	276 SF	20,698 sf			23,507 sf	88.1%

\*\* Note "Core" at Level 2 includes area of phantom floor (For FAR Calculation purposes):

Total Parking/Util.	107,488 sf		
Total Residential	142,496 sf		121,383 sf
Total Amenities	2,662 sf		
Total Storage	7,761 sf		
Total Lobby/Leasing	1,529 sf		
Total Bldg. Area (F.A.R.)			164,913 sf
Total Bldg. Area W/Und.Parking	261,936 sf		

Overall Efficiency

Site Summary

Site

Parcel #	Lot #	SF	Acres	CV Zone	DU/SF Unit	Density SF/Unit	DU Allowed
1	11	6,748		1	400		
	12	6,748		1	400		
	13	6,748		1	400		
	14	6,749		1	400		
2	15	6,750		1	400		
3	16	6,750		1	400		
	17	6,750		1	400		
Sub Total		47,243	1.08	1	400		118

Developable Lot Area	SF	Acres	Zone
Gross Lot Area	47,243	1.08	MCCPD-CV-1 Mid-City Community Planned District - Commercial Village

Existing Office Bldg to Remain	36,575	Applicable Plans
		Uptown Community Plan

Allowable FAR	No Limit
FAR (proposed residential)	3.49
FAR (w/ existing office bldg)	4.26

Max Structure Height	65'
----------------------	-----

Unit Mix Summary

Unit Mix	STUDIO	1BR	2BR	Total
Level 1	2	3		5
Level 2	3	11	4	18
Level 3	3	11	9	23
Level 4	3	11	9	23
Level 5	4	10	10	24
Level 6	4	10	10	24
Level 7	4	10	10	24
Total	23	66	52	141
% of Total	16.31%	46.81%	36.88%	100.00%
Average SF	491	517	1,033	847

Parking & Bicycle Summary - Transit Overlay

Parking required - Vehicular	
COMMERCIAL	
Replace existing commercial on site parking per Shared Parking Agreement	59
RESIDENTIAL	
Studio	1 stall/unit
1 BR	1.25 stall/unit
2 BR	1.75 stall/unit
GUEST	NR
Sub Total	197
Total	256
Total Residential Accessible stalls Req'd.	4
Total Commercial Accessible stalls Req'd.	3

Note: Up to 25% of total provided spaces may be unassigned, provided 1 space/du is assigned min.

Parking required - Motorcycle

RESIDENTIAL	
Studio	0.05 stall/unit
1 BR	0.10 stall/unit
2 BR	0.10 stall/unit
Total	13

Parking required - Bicycle

RESIDENTIAL	
Studio	0.3 stall/unit
1 BR	0.4 stall/unit
2 BR	0.5 stall/unit
Total	59

Parking provided	Level P3	Level P2	Level P1	Level 1	Total
COMMERCIAL/GUEST					
Standard			24	32	56
Accessible *				2	2
Van Accessible *				1	1
Sub Total					59
RESIDENTIAL					
Standard	79	78	41		198
Accessible **			3		3
Van Accessible **			1		1
Sub Total					202
Total	79	78	69	35	261

\* Minimum Required Number of Accessible Spaces per 11B-208

\*\* Minimum Required Number of Accessible Spaces per 11.09A.3-1109A.5, 1109A.8.6

Private Exterior Usable Area

Private Exterior Usable Area Required	
Notes:	Min dimension of 5'
	Min. 25 SF with a project average of 50 SF/DU
	Min 50% of all units must have private exterior usable area

Private Exterior Usable Area Provided

Number of Units with Private Exterior Usable Area	79	56%
Total Area of Private Exterior Usable Area	5,675 sf	
Project Avg Area of Private Exterior Usable Area	72 sf	

On-Street Parking (does not count towards req. parking)

Parallel Parking	5th Avenue	Walnut Avenue
Existing	10 spaces	5 spaces
Proposed	10 spaces	5 spaces
Net Change	0 spaces	0 spaces

Loading

Loading Zone - Required	Required
Multiple Unit (100,000-200,000 sf)	1
35' Length min. L, 12' Wide min., vertical clearance of 14'	
(note: must be screened from public)	

Loading Zone - On Fifth Avenue (Deviation No. 2)

42' Length, 9' wide, vertical clearance - unobstructed	Provided
Deviation No. 1	1

Trash and Recycling

Required	Trash	Recycling	Total
126-150 Units	240 sf	240 sf	480 sf
Provided	Trash	Recycling	Total
141 Units	260 sf	260 sf	520 sf

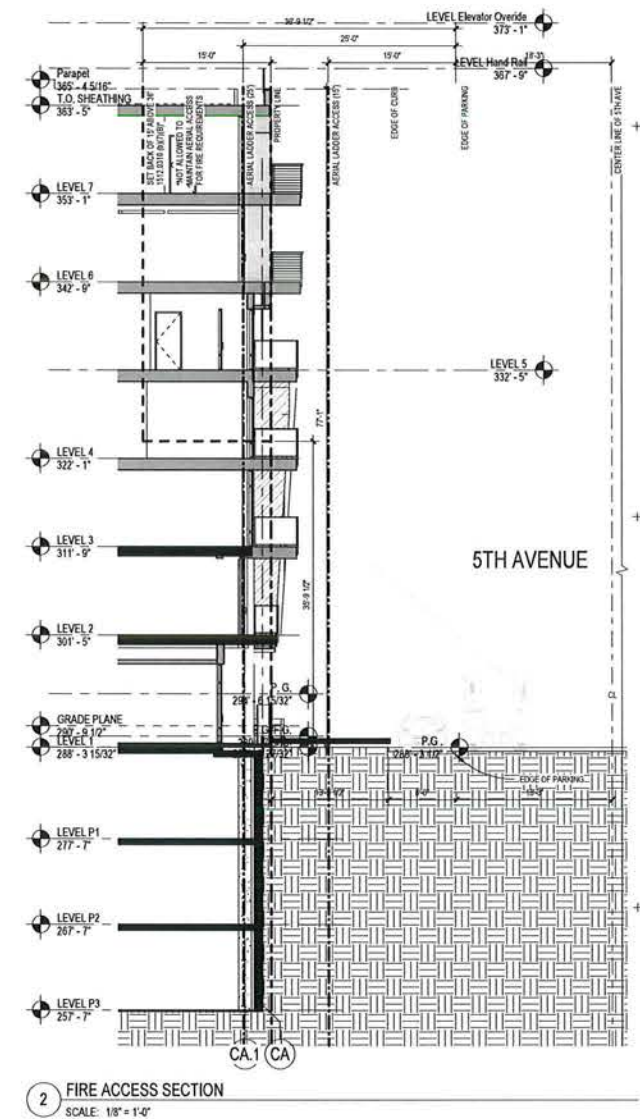
Resident Storage

<b>Resident Storage Area Required</b>					
Minimum 100 CF of secured storage for each DU					
<b>Resident Storage Area Provided</b>					
	Level P3	Level P2	Level P1	Level 1-7	Total
Storage Locker *	52	40	39	10	141
*3.5'W x 6'D x 8'H Storage Locker (168 CF)					

General Notes:

- "GFA" is Gross Floor Area. Gross Floor Area is measured





SAN DIEGO CA 92103

PROJECT NO  
55-48 00

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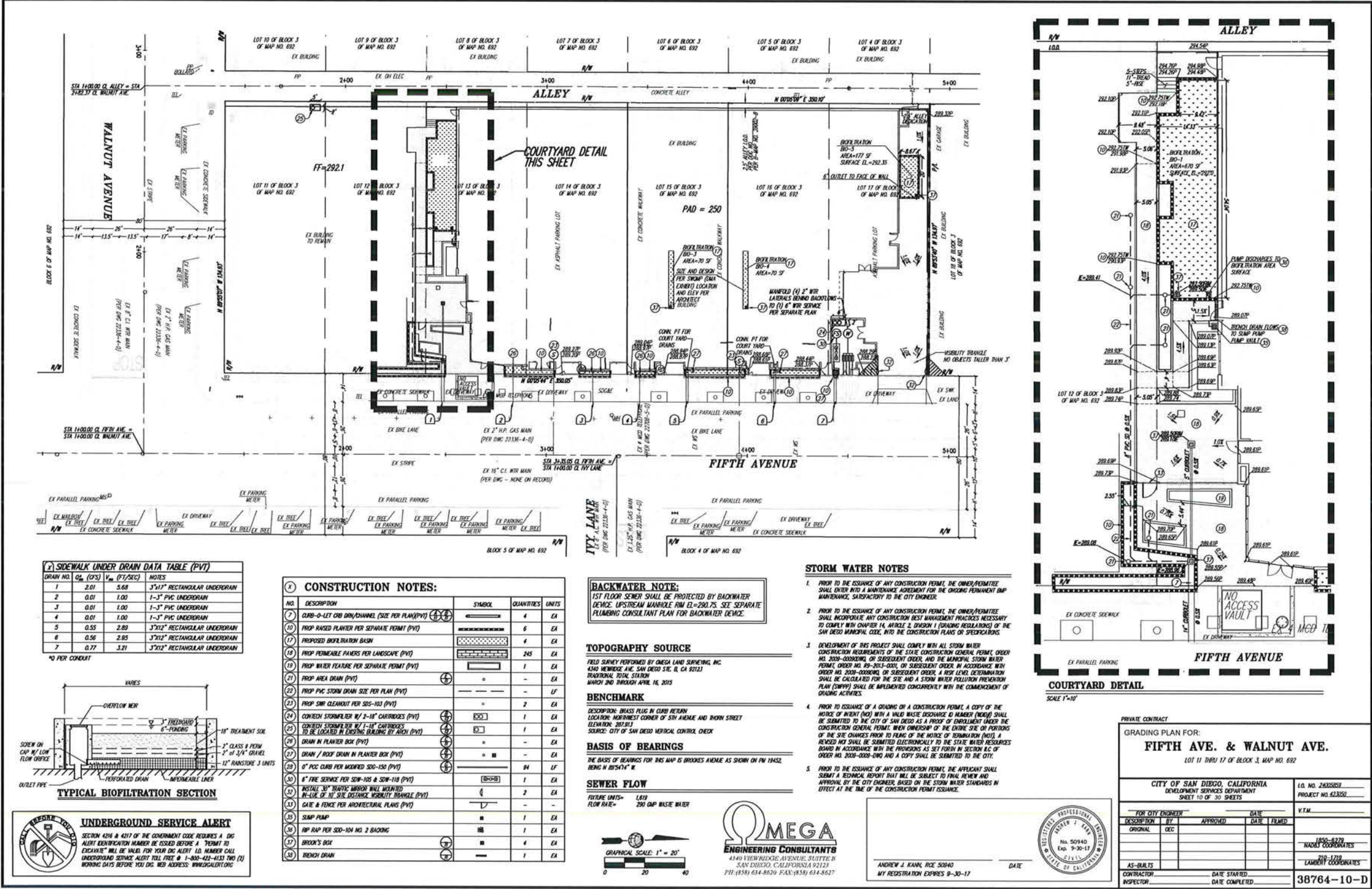
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10/19/2016 11 12 33 AM

TITLE  
  
**FIRE ACCESS  
SITE PLAN**

DRAWING NO  
  
**T0.3**







LANDSCAPE DEVELOPMENT NOTES

GENERAL NOTES:  
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARD OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. THIS MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE ADJACENT IMPROVEMENTS SDCM 142.0403 (B)(5).

A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDCM 142.0403 (B)(5). NOTE, IF THE MINIMUM DIMENSION IS NOT FEASIBLE, 40 SF OF STRUCTURAL SOIL SHALL BE INSTALLED FOR PROPOSED TREE.

LANDSCAPE DESIGN STATEMENT

THE INTENT OF THIS DESIGN IS TO DEVELOP A UNIFIED RESIDENTIAL DEVELOPMENT THROUGH THE USE OF APPROVED PLANT MATERIAL AND HARDSCAPE ELEMENTS. A STREET LEVEL SHARED OFFICE BUILDING COURTYARD WILL PROVIDE A PLACE TO REST & SIT FOR RESIDENTS AND EVERY DAY OFFICE USERS. PRIVATE SECURITY FENCE & GATES, LOW SEAT WALLS, SMALL GATHERING AREAS, AND A SUBTLE WATER FEATURE WILL SERVE AS A PEDESTRIAN CONNECTOR. AS WELL AS ESTABLISHING AN OUTDOOR COMMON ENTRY SPACE. PLANT MATERIAL WILL ENHANCE THE SPACE, PROVIDE SHADE AT STRATEGIC GATHERING AREAS, SCREEN FOR PRIVACY AND INTEGRATE INTO NEIGHBORHOOD. THE PODIUM LEVEL 2 WILL INCORPORATE A COMMON SPACE WITH SMALL GATHERING AREAS, PLANTING IN FREE-STANDING POTS, ENHANCED CONCRETE PAVING, A COMMON SPACE SUN DECK WITH SPA AND SCREENING AT PRIVATE PATIOS.

EXISTING VEGETATION

THE EXISTING LANDSCAPE AROUND THE EXISTING WEBSTER BUILDING WILL REMAIN UNLESS NOTED OTHERWISE.

LIGHTING NOTES

LOW VOLTAGE LANDSCAPE LIGHTING SHALL BE USED WITHIN THE COURTYARD & PODIUM LEVEL.

MAINTENANCE NOTES

MAINTENANCE SHALL BE PROVIDED BY OWNER/LESSEE FOR ALL NEW LANDSCAPE AS SHOWN ON AN ONGOING BASIS.

ALL LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD MATERIAL SHALL BE TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION NOTES

IRRIGATION SHALL BE PROVIDED TO ALL PLANTING AREAS AS SHOWN. ALL NEW STREET TREE AND RIGHT OF WAY / PARKWAY PLANTINGS SHALL BE RENOVATED OR NEW EQUIPMENT SHALL BE INSTALLED TO PROVIDE A UNIFORM WATERING SYSTEM.

IRRIGATION WORK SHALL CONFORM WITH THE SAN DIEGO MUNICIPAL CODE / LAND DEVELOPMENT CODE AND LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS.

THE FOLLOWING DESIGN FEATURES SHALL BE INCLUDED:

- AN APPROVED BACKFLOW PREVENTION DEVICE.
- AN AUTOMATIC CONTROLLER WITH WATER BUDGETING FEATURES.
- SEPARATED VALVES FOR DIFFERENT CONDITIONS AND MATERIALS.
- RAIN SHUT-OFF AND WATER CONSERVATION DEVICES.

ALL IRRIGATION SHALL BE METERED THROUGH THE OWNER'S METER.

THE IRRIGATION SYSTEM WILL BE DESIGNED FOR POTABLE WATER USE.

NOTE: SEE THIS SHEET FOR ESTIMATED WATER USE CALCULATIONS

LANDSCAPE CONCEPT NOTES

1. THE LANDSCAPE DESIGN WILL PROVIDE A LOW/MODERATE WATER USE PALETTE. SCREEN PARKING AND UTILITY AREAS AS MUCH AS POSSIBLE FROM SURROUNDING LAND USE, AND PROVIDE OUTDOOR AMENITY AREAS THROUGHOUT THE CAMPUS CORE.
2. ALL TREES WILL BE A MINIMUM OF 24" BOX SIZE OR LARGER AT INSTALLATION, UNLESS NOTED OTHERWISE.
3. ALL TREES AND SHRUBS SHALL BE ALLOWED TO TAKE ON THEIR NATURAL SIZE, SHAPE AND CHARACTER. IT IS THE INTENT OF THIS DESIGN TO MINIMIZE THE NEED FOR PRUNING AND EXTENSIVE MAINTENANCE.
5. ALL REQUIRED VEGETATION SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING DISTURBANCE.
6. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
7. TREE ROOT BARRIERS AND/OR STRUCTURAL SOIL SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
8. ALL NEW LANDSCAPE SHALL CONFORM TO CITY OF SAN DIEGO DEVELOPMENT AND DISTRICT LANDSCAPE REQUIREMENTS AND LAND DEVELOPMENT CODE LANDSCAPE REQUIREMENTS AS REFERENCED THEREIN.

MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNALS / STOP SIGN	- 20 FEET
UNDERGROUND UTILITY LINES	- 5 FEET
ABOVE GROUND UTILITY STRUCTURE	- 10 FEET
DRIVEWAY (ENTRIES)	- 10 FEET
INTERSECTIONS	- 25 FEET
SEWER MAINS & LATERAL	- 10 FEET

IRRIGATION WATER DEMAND

PROJECT: STRAUSS FIFTH AVENUE (15-009.000)  
BY: WYAC DATE: 06/17/2016

MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ETo) x (0.62) x (0.55) x LA

INFORMATION REQUIRED TO CALCULATE FORMULAS:

MAWA	MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)
ETo	REFERENCE EVAPOTRANSPIRATION PER YEAR. CIMIS = 47
0.55	ET ADJUSTMENT FACTOR FOR PLANT FACTOR & IRRIGATION EFFICIENCY (ETAF)
LA	LANDSCAPE AREA (SQUARE FEET)
0.62	CONVERSION FACTOR (GALLONS PER SQUARE FOOT)

MAXIMUM APPLIED WATER ALLOWANCE

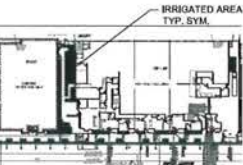
MAWA = (ETo) (0.62) (0.55) (LA)  
MAWA = (47) (0.62) (0.55) (4,217)  
MAWA = 67,586  
67,586 GALLONS / YEAR

ESTIMATED TOTAL WATER USE

ETWU = (ETo) x (0.62) x (PF x HA / IE)

INFORMATION REQUIRED TO CALCULATE FORMULAS:

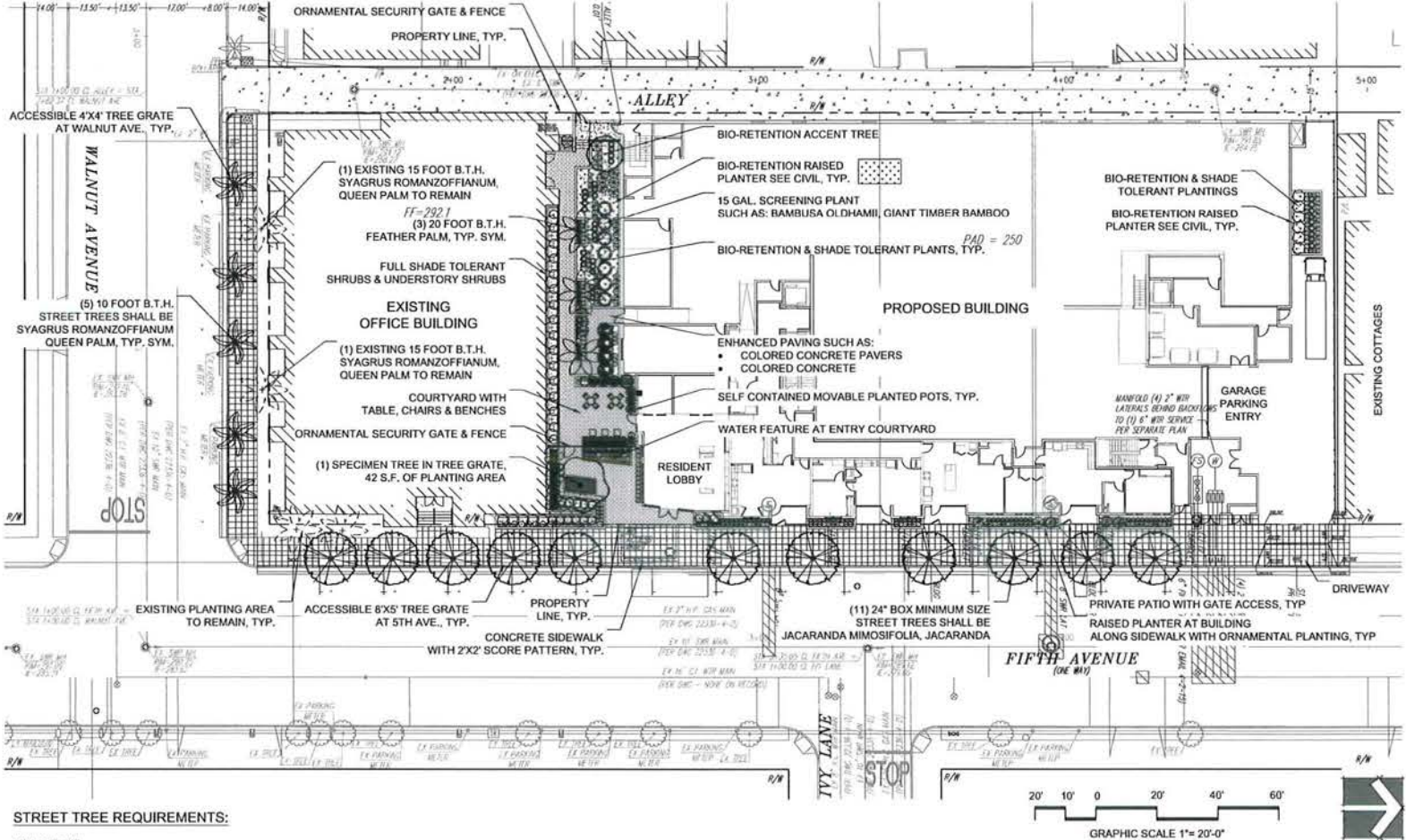
ETWU	ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)
ETo	REFERENCE EVAPOTRANSPIRATION PER YEAR. CIMIS = 47
CONVERSION FACTOR (GALLONS PER SQUARE FOOT)	
PF	PLANT FACTOR FROM WUCOLS
1.0	- LAWN
0.8	- HIGH WATER USE PLANTS
0.4	- AVERAGE WATER USE PLANTS
0.3	- LOW WATER USE PLANTS
HA	HYDROZONE AREAS
IE	IRRIGATION EFFICIENCY
0.80	- DRIP IRRIGATION
0.75	- MP ROTATOR
0.60	- CONVENTIONAL SPRAY



HYDROZONE  
2,340 S.F. OF IRRIGATED PLANTING AREA  
AT STREET LEVEL  
DRIP IRRIGATION INCLUDING:  
• STREET TREES  
• RAISED PLANTERS

ESTIMATED TOTAL WATER USE

ETWU = (ETo) (0.62) (PF x HA / IE)  
ETWU = (47) (0.62) (4 x 4,217 / .81)  
ETWU = 60,683  
60,683 GALLONS / YEAR



STREET TREE REQUIREMENTS:

5TH AVENUE  
1 TREE EVERY 30 FEET OF LINEAR STREET FRONTAGE  
TOTAL STREET 5TH AVE. FRONTAGE = 350 LF, THEREFORE 12 STREET TREES ARE REQUIRED  
NOTE: DUE TO EXISTING UTILITY CONFLICTS AND NEW UTILITY CONFLICTS ONLY 11 TREES CAN BE PROVIDED (SEE PLAN)  
  
WALNUT AVENUE  
DESIGN CONCEPT IS TO MAINTAIN THE EXISTING PALM TREE SCHEME. THEREFORE, PER CITY COMMENT CYCLE 6, 7 PALM TREES ARE REQUIRED ALONG THE WALNUT AVENUE FACADE. (SEE PLAN)

LANDSCAPE CALCULATIONS

STREET YARD

\* PROJECT EXERCISES A ZERO LOT LINE WITH NO STREET YARD REQUIREMENT. HOWEVER, PROJECT WILL PROVIDE PLANTERS OVER STRUCTURE TO SOFTEN THE ENTRIES ON THE STREET LEVEL AND NEW STREET TREES PROVIDED UNDER PTS 423050 WILL HELP BREAK UP THE MASSING OF THE EAST FACADE

REMAINING YARD / COMMON AREA OPEN SPACE

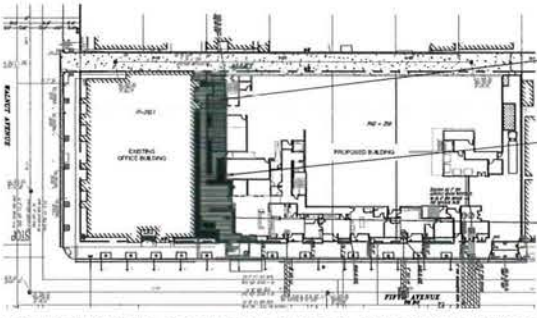
PLANTING AREA REQUIRED FOR COMMON AREA OPEN SPACES  
COMMON AREA OPEN SPACE REMAINING YARD AREA @ STREET LEVEL: 3,437 S.F.  
COMMON AREA OPEN SPACE REMAINING YARD AREA @ PODIUM LEVEL: 3,680 S.F. (SEE SHEET L-2)  
TOTAL REMAINING YARD AREA: 7,117 S.F.

PLANTING AREA REQUIRED (.5% OF COMMON AREA OPEN SPACE): 3,559 S.F.  
PLANTING AREA PROVIDED INCLUDING PRE-MANUFACTURED PLANT CONTAINERS ON PODIUM LEVEL: 1,897 S.F.  
PLANTING AREA PROVIDED INCLUDING PRE-MANUFACTURED PLANT CONTAINERS AT STREET LEVEL: 1,306 S.F.  
TOTAL COMMON SPACE PLANTING AREA PROVIDED: 3,203 S.F.

NOTE: THIS PROJECT HAS LIMITED SPACE AT 'COMMON AREA OPEN SPACES' FOR PLANTING AREA DUE TO AMENITY LIFESTYLE ENRICHED PROGRAMING.  
THEREFORE, ENHANCED PAVING WILL BE PROVIDED.  
3,816 SF OF ENHANCED PAVING AT PODIUM LEVEL SUCH AS COLORED CONCRETE OR THIN-SECT PAVERS  
1,616 SF OF ENHANCED PAVING AT STREET LEVEL SUCH AS COLORED CONCRETE OR COLORED CONCRETE PAVERS

PLANT POINTS REQUIRED FOR COMMON AREA OPEN SPACES

POINTS REQUIRED: 356  
STREET LEVEL POINTS PROVIDED ACHIEVED AT .05 PTS PER TOTAL SQUARE FOOTAGE W/ TREES ONLY: 240  
PODIUM LEVEL POINTS PROVIDED ACHIEVED AT .05 PTS PER TOTAL SQUARE FOOTAGE: 534  
TOTAL POINTS ACHIEVED AT .05 PTS PER TOTAL SQUARE FOOTAGE: 774 PTS.



STREET LEVEL COMMON AREA LANDSCAPE DIAGRAM

NOT TO SCALE

STREET LEVEL SCHEMATIC PLANT LEGEND

GRAPHIC SYMBOL	DESCRIPTION	SIZE	QTY
	SINGLE TRUNK FEATHER PALM SUCH AS: • SYAGRUS ROMANZOFFIANA - QUEEN PALM • ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	20" BTH	3
	SPECIMEN TREE SUCH AS: • LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' - CREPE MYRTLE • GEJERA PARVIFLORA - AUSTRALIAN WILLOW	36" BOX	1
	BIO-RETENTION TREE SUCH AS: • MAGNOLIA GRANDIFLORA 'LITTLE GEM' - DWARF SOUTHERN MAGNOLIA • LAURUS NOBILIS - SWEET BAY	15 GAL	1
	TALL SCREENING SHRUB SUCH AS: • BAMBUSA OLDHAMII - GIANT TIMBER BAMBOO • PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' - KOHUIHU *	15 GAL	12
	SCREENING / UPRIGHT SHRUB SUCH AS: • PITTOSPORUM TENUIFOLIUM 'MARJORIE CHANNON' - VARIEGATED KOHUIHU * • PITTOSPORUM TOBIRA 'VARIEGATA' - VARIEGATED JAPANESE MOCK ORANGE * • PRUNUS CAROLINIANA 'MONIE' - BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL	N/A
	FULL SHADE TOLERANT SHRUBS & UNDERSTORY SHRUBS SUCH AS: • PHILODENDRON XANADU - XANADU • SCHEFFLERA ARBORICOLA 'VARIEGATA' - DWARF VARIEGATED SCHEFFLERA • SCHEFFLERA ARBORICOLA - HAWAIIAN ELF SCHEFFLERA • DIANELLA TASMANICA + CVS - TASMAN FLAX LILY * • ASPIDIOTRA ELATIOR + CVS - CAST IRON PLANT • LIROPE MUSCARI + CVS - BIG BLUE LILY TURF • SANSEVIERIA TRIFASCIATA - SNAKE PLANT • MAHONIA EURYBRACATA 'SOFT CARESS' - MAHONIA SOFT CARESS	1 GAL	N/A
	UPRIGHT ACCENT SHRUB SUCH AS: • CORDYLIN 'ELECTRIC PINK' - ELECTRIC PINK GRASS TREE • DIANELLA TASMANICA 'VARIEGATA' - VARIEGATED FLAX LILY * • SANSEVIERIA TRIFASCIATA - SNAKE PLANT	1 GAL	N/A
	BIO-RETENTION AND SHADE TOLERANT PLANTS SUCH AS: • DIANELLA + CVS - FLAX LILY * • LOMANDRA LONGIFOLIA LM300 - BREEZE DWARF MAT RUSH * • CAREX DIVULSA - EURASIAN GREY SEDGE * • PITTOSPORUM TENUIFOLIUM + CVS - KOHUIHU * • PITTOSPORUM TOBIRA 'VARIEGATA' - VARIEGATED JAPANESE MOCK ORANGE *	1 GAL	N/A
	COMPACT SHRUB ON EAST SIDE OF BUILDING SUCH AS: • RHAPHIOLEPIS UMBELLATA 'MINOR' - DWARF YEDDA HAWTHORN • RHAPHIOLEPIS INDICA + CVS - INDIAN HAWTHORN CULTIVAR • MYRTUS COMMUNIS 'VARIEGATA' - VARIEGATED MYRTLE	1 GAL	N/A

\* BIO-RETENTION PLANTER ACCEPTABLE

SEE SHEET L-2  
FOR PODIUM LEVEL PLAN

carrierjohnson + cultura  
architecture + environments + brand strategy + graphics

1301 third avenue san diego ca 92101  
phone 619.239.2353 | fax 619.239.6227

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1001 Fifth Avenue, San Diego, California 92101  
www.carrierjohnson.com

STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103

10.20.2016 SITE DEVELOPMENT PERMIT  
SUBMITTAL

ISSUES:

PRELIMINARY NOT  
FOR CONSTRUCTION

WYAC PROJECT NO. 15-009.000

PROJECT NO:

5548-00

FILE NAME:

DRAWN BY:

MC RR

CHECKED BY:

BH JJ

PLOT DATE: 6/17/2016

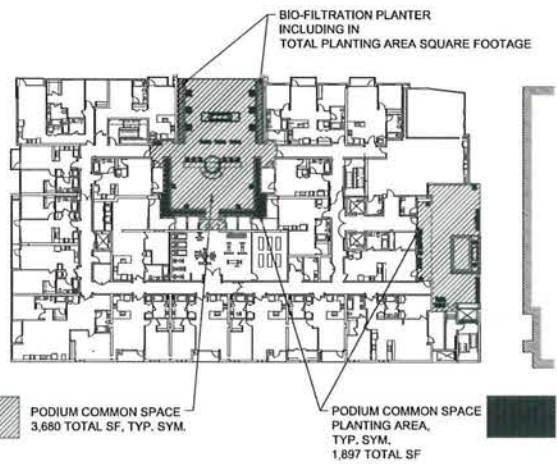
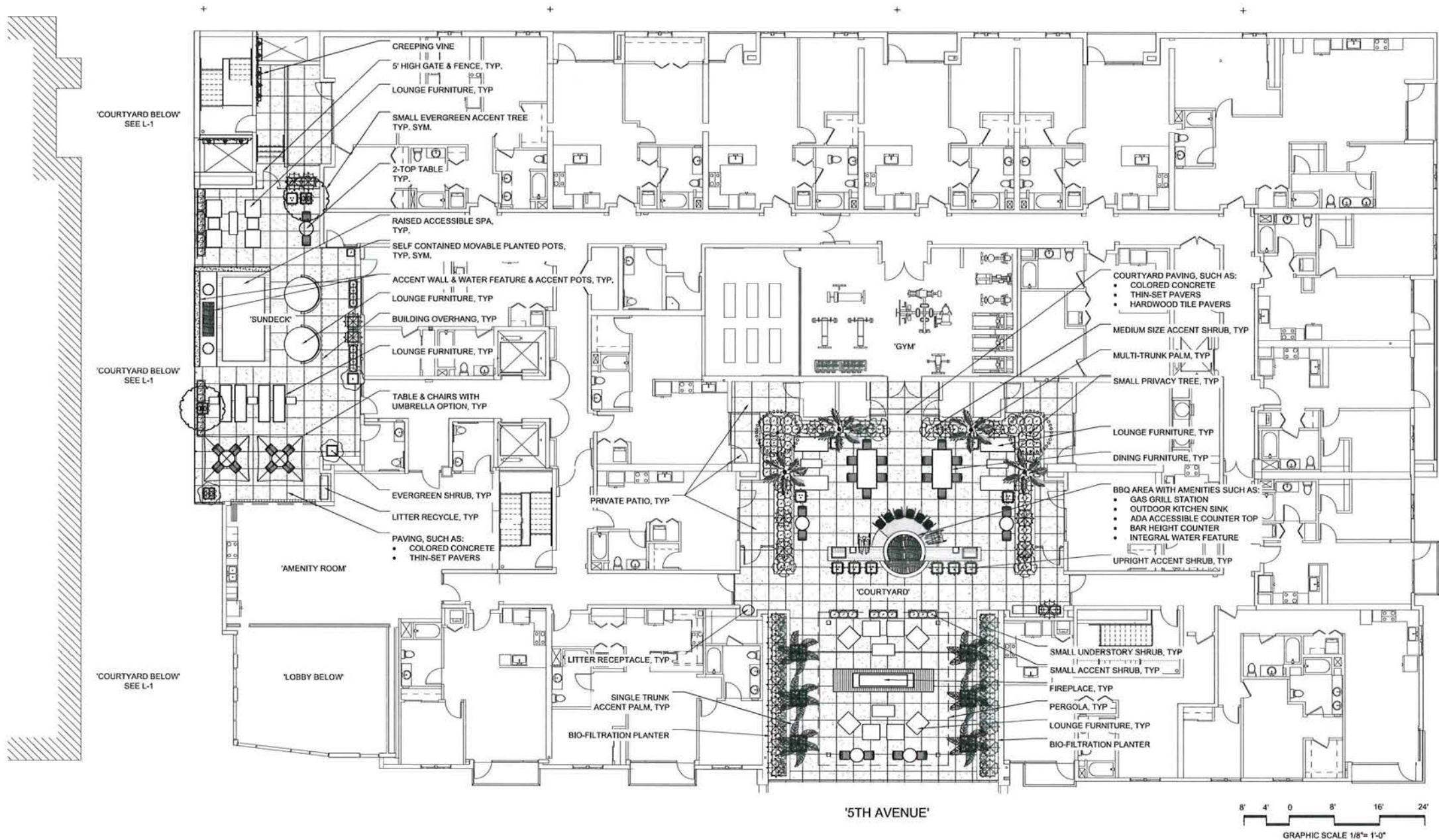
TITLE:

LANDSCAPE  
DEVELOPMENT  
PLAN & NOTES  
STREET LEVEL

DRAWING NO:

L-1  
10 OF 37





PODIUM LEVEL COMMON AREA LANDSCAPE DIAGRAM

SCALE: 1/32" = 1'-0"  
SEE SHEET L-1 FOR COMPLETE LANDSCAPE CALCULATIONS

PODIUM COMMON SPACE SCHEMATIC PLANT LEGEND

GRAPHIC SYMBOL	DESCRIPTION	SIZE	QTY	GRAPHIC SYMBOL	DESCRIPTION	SIZE	QTY
	SINGLE TRUNK PALM SUCH AS: • ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM • HOWEA FORSTERIANA - KENTIA PALM	5' BTH	6		MEDIUM SIZE ACCENT SHRUB SUCH AS: • SCHEFFLERA ARBORICOLA 'VARIEGATA' - DWARF VARIEGATED SCHEFFLERA • SCHEFFLERA ARBORICOLA - HAWAIIAN ELF SCHEFFLERA	5 GAL	4
	MULTI-TRUNK PALM SUCH AS: • HOWEA FORSTERIANA - KENTIA PALM • ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	5' BTH	4		UPRIGHT ACCENT SHRUB SUCH AS: • CORDYLINE 'ELECTRIC PINK' - ELECTRIC PINK GRASS TREE • DIANELLA TASMANICA 'VARIEGATA' - VARIEGATED FLAX LILY *	5 GAL	10
	COMPACT PRIVACY TREE SUCH AS: • MAGNOLIA GRANDIFLORA 'LITTLE GEM' - DWARF SOUTHERN MAGNOLIA • LAURUS NOBILIS - SWEET BAY	15 GAL	2		SMALL ACCENT SHRUB SUCH AS: • DIANELLA CAERULEA 'CASSA BLUE' - BLUE FLAX LILY * • DIANELLA TASMANICA 'VARIEGATA' - VARIEGATED FLAX LILY * • LOMANDRA LONGIFOLIA 'LM300' - BREEZE DWARF MAT RUSH *	1 GAL	160
	SMALL EVERGREEN ACCENT TREE: • OLEA EUROPAEA 'MAJESTIC BEAUTY' - FRUITLESS OLIVE TREE • LAURUS NOBILIS - SWEET BAY	15 GAL	2		SMALL UNDERSTORY SHRUB SUCH AS: • DIANELLA REVOLUTA 'BABY BLISS' - BABY BLISS FLAX LILY * • DIANELLA REVOLUTA 'LITTLE REV' - LITTLE REV FLAX LILY * • LOMANDRA LONGIFOLIA 'LM300' - BREEZE DWARF MAT RUSH * • CAREX DIVULSA - EURASIAN GREY SEDGE *	1 GAL	52
	SCREENING / UPRIGHT SHRUB SUCH AS: • PITTOSPORUM TENUIFOLIUM 'MAJORIE CHANNON' - VARIEGATED KOHUIHU * • PITTOSPORUM TOBIRA 'VARIEGATA' - VARIEGATED JAPANESE MOOK ORANGE * • PRUNUS CAROLINIANA 'MONUS' - BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL	31		CREeping VINE SUCH AS: • CALLIANDRA HAEMATOCEPHALA - RED POWDER PUFF • TRACHELOSPERMUM GASTRINOIDES - STAR JASMINE • FICUS PUMILA - CREEPING FIG	5 GAL	8
	EVERGREEN DENSE SHRUB SUCH AS: • LAURUS NOBILIS - SWEET BAY • PHILODENDRON XANADU - XANADU	5 GAL	13				

NOTE: \* ACCEPTABLE BIO-RETENTION PLANT MATERIAL

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ISSUES:



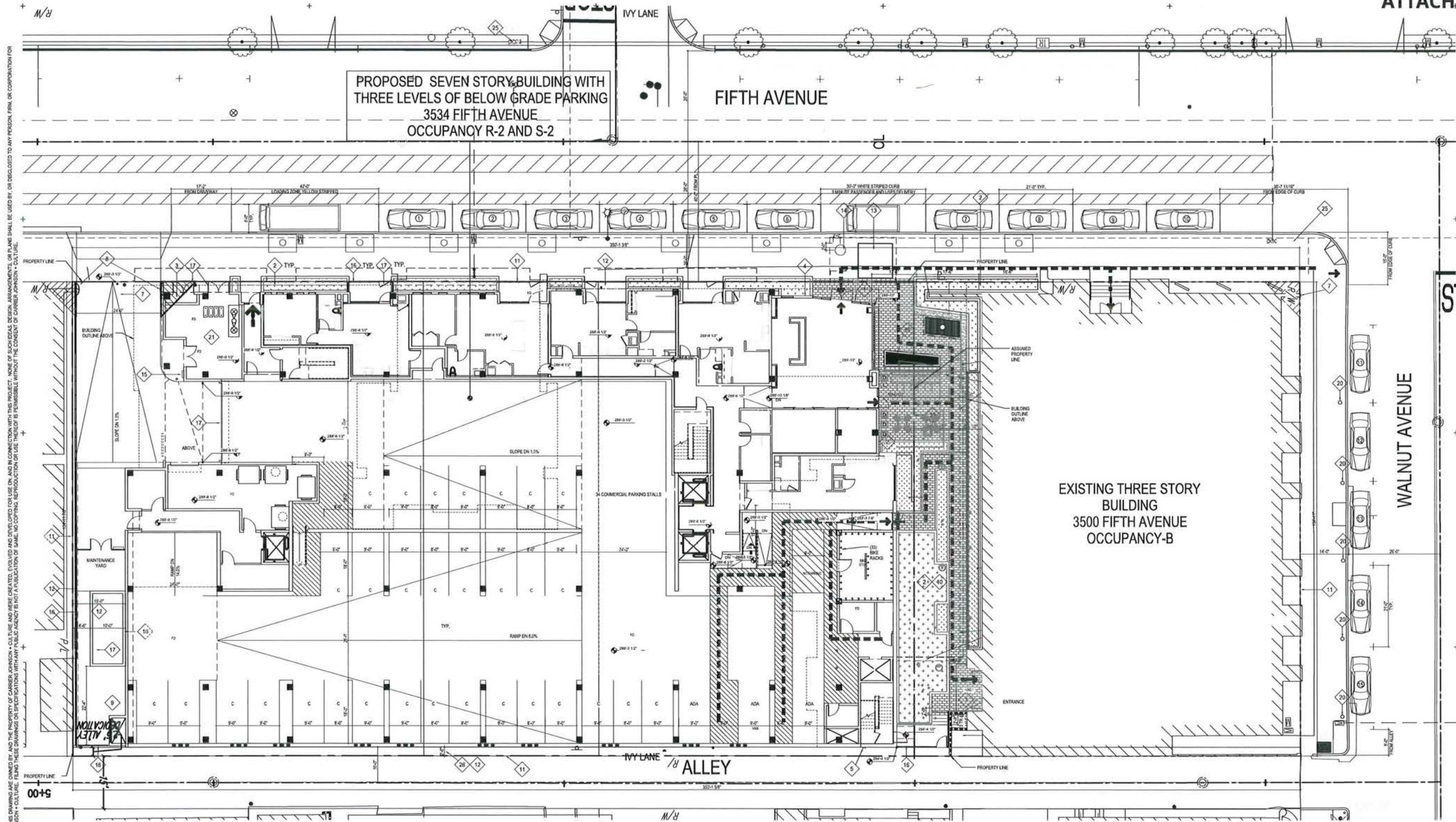
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FILE NAME:

DRAWN BY:  
MC, RR  
CHECKED BY:  
BH, JJ  
PLOT DATE: 6/17/2016

TITLE:  
LANDSCAPE  
DEVELOPMENT  
PLAN  
PODIUM LEVEL

DRAWING NO:





1 ACCESSIBILITY SITE PLAN  
SCALE: 3/32" = 1'-0"

ACCESSIBILITY LEGEND

- ACCESSIBLE PATH OF TRAVEL PER CBC 11B  
PATH OF TRAVEL (POV) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" REVEALED AT 12 MAXIMUM SLOPE. EXCEPT THAT VERTICAL CHANGES DO NOT EXCEED 1/4" VERTICAL AND BE AT LEAST 48" WIDE. SURFACES IS SLIP RESISTANT. MEDIAN BROOM FINISH WITH AMPLITUDE OF 1/16" TO 1/32", STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS NO MORE THAN 5% UNLESS OTHERWISE INDICATED. POT SHALL BE MAINTAINED FREE OF OBSTRUCTING OBSTRUCTIONS TO 18" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM A WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR TO VERIFY THAT THERE ARE NO BARRIERS IN THE POT, AND THE POT COMPLES WITH CBC 11B-403. 405.
- ACCESSIBLE PARKING SPACE PER CBC 11B-402
- ACCESSIBLE CURB RAMP W/ 12" GROOVED BORDER AND DETECTABLE WARNING SURFACE PER CBC 11B-406
- ACCESSIBLE BUILDING ENTRANCE - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ENTRANCE SIGN (V4) DECAL MOUNTED BETWEEN 4'-0" TO 5'-4" A.F.F., CENTERED ON SINGLE DOORS, CENTERED ON RIGHT PANEL OF DOUBLE DOORS) PER CBC 11B-404

NOTES

- SEE SHEET T0.6 FOR OCCUPANCY AND EXITING SUMMARY FOR LEVEL 1.
- EXISTING WEBSTER BUILDING, 3500 FIFTH AVENUE, TO REMAIN ON SITE. PARKING FOR BUILDING WILL BE PROVIDED IN PROPOSED BUILDING.
- FOR GRADING, PUBLIC IMPROVEMENT, POST CONSTRUCTION BMP AND CONSTRUCTION BMP APPROVALS, SEE DRAWING NO. 38764-D, SWMDCMA Approval 1525640 AND SWPPP Filed Under PTS 423050.
- GRADE PLANE CALCULATION:  
 $289'-1" + 291'-0" + 294'-5" + 289'-2" = 290'-9 \frac{1}{2}"$
- SUBTERRANEAN GARAGES ENCROACHMENTS SHALL EXTEND 8 FEET BELOW THE TOP OF THE SIDEWALK AND SHALL NOT BE LOCATED WITHIN 6 FEET FROM THE CURB FACE, EXCEPT TO ACCOMMODATE ACCESS HATCHES TO UNDERGROUND VAULTS. SUCH HATCHES SHALL BE LOCATED TO NOT INTERFERE WITH STREET TREE PLANTING.
- NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT OF WAY.
- FIVE (5) EXISTING METERED SPACES ON WALNUT AVENUE.  
TEN (10) NON-METERED SPACES ON FIFTH AVENUE.  
ONE (1) 42' LONG LOADING ZONE-STRIPPED YELLOW.  
ONE (1) 35' LONG USPS AND PASSENGER DROP OFF, STRIPPED WHITE.  
THE PROJECT IS A DEVIATION FOR THE ON STREET LOADING ZONE.

LEGAL DESCRIPTION

LOTS 11-17 OF LOMA GRANDE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 692 FILED AT THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 23, 1891.

SITE PLAN KEYNOTES

- |  |  |  |
|--|--|--|
| 1 INTERNATIONAL SIGN OF ACCESSIBILITY SEE DETAIL ISA/A8.71                   | 12 REQUIRED SETBACK                            | 23 ASSUMED PROPERTY LINE                         |
| 2 PLANTER- PER LANDSCAPE DRAWINGS  | 13 SDGE VAULT COVER                            | 24 CMU WALL                                      |
| 3 GAS METERS   | 14 SDGE MANHOLE, SEE 2/A1.21                   | 25 FIRE HYDRANT                                  |
| 4 KNOX BOX AT 7'-0" ABOVE ADJACENT GRADE                                     | 15 ADA ENTRY SIGN, SEE 2E/A1.40                | 26 DEDICATED TO CITY FOR ALLEY INCREASE IN WIDTH |
| 5 FIRE SPRINKLER RISER LOCATION  | 16 PLANK FENCING -5'-0" TALL                   |  |
| 6 LINE OF BELOW GRADE GARAGE   | 17 GATE  |  |
| 7 10' X 10' VISIBILITY TRIANGLE  | 18 EXISTING TRASH ENCLOSURE AREA               |  |
| 8 INSTALL 30" CONVEX TRAFFIC MIRROR-POST MOUNTED FOR VISIBILITY TO THE SOUTH | 19 PLANTER WALL OR BENCH PER LANDSCAPE DWGS    |  |
| 9 BOILER AND EQUIPMENT YARD  | 20 EXISTING METER                              |  |
| 10 STORM WATER FILTER PER CIVIL DRAWINGS                                     | 21 SEE MEP DRAWINGS FOR EQUIPMENT              |  |
| 11 PROPERTY LINE OR RIGHT OF WAY   | 22 CONCRETE SITE STAIR & HAND RAIL-SEE 1/A1.21 |  |

10.20.2016 SITE DEVELOPMENT  
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STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103

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architecture + environments + brand strategy + graphics

1301 third avenue san diego ca 92101  
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PROJECT NO.  
55460  
PROJECT NAME  
STRAUSS FIFTH AVENUE  
DRAWN BY  
OCEANO BY  
DATE  
10/20/2016  
REVISIONS  
10/20/2016  
REVISIONS  
10/20/2016  
REVISIONS

A1.12  
SHEET 14 OF 32





10/20/2016 SITE DEVELOPMENT  
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ISSUES:

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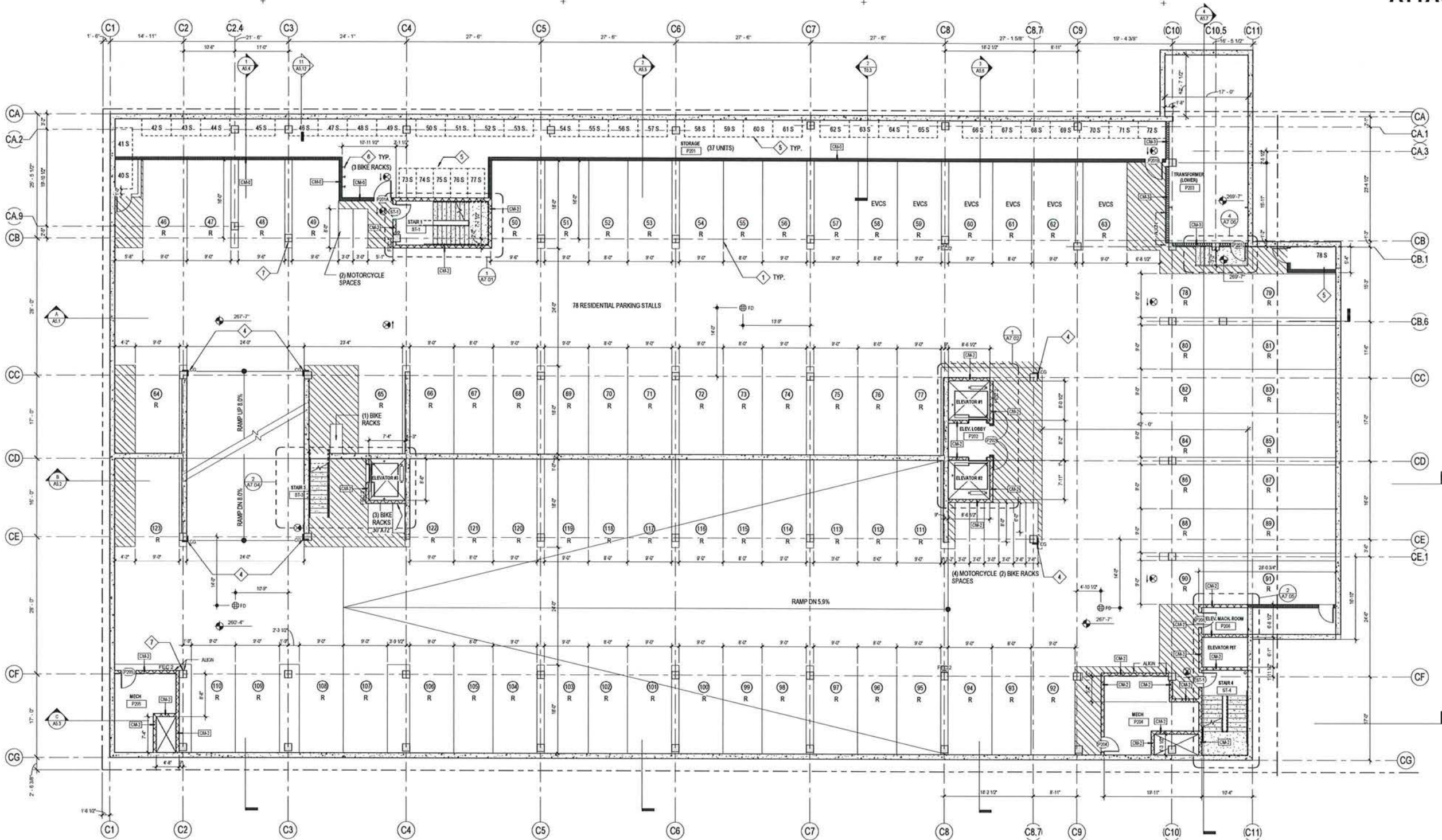
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A2.P3  
15 OF 37





1 LEVEL P2  
SCALE: 1/8" = 1'-0"

PARKING LEVEL GENERAL NOTES

5.2 OCCUPANCY  
PARKING GARAGES: OPEN OR ENCLOSED PARKING GARAGES SHALL NOT ALLOW REPAIR OR MOTOR FUEL-DEPENDENT USES.  
CLEAR HEIGHT  
THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL NOT BE LESS THAN 7 FEET (8'2" WHERE REQUIRED FOR ACCESSIBILITY) ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE OR SIMILAR OBSTRUCTION, EXCEPT FOR WALL-MOUNTED SHOWER, STORAGE SURFACES, RACKS, OR CABINETS AT HEAD OF VEHICLE.  
VEHICLE BARRIERS  
PARKING AREAS SHALL BE PROVIDED WITH EXTERIOR OR INTERIOR WALL OR VEHICLE BARRIERS. VEHICLE BARRIERS NOT LESS THAN 2' HIGH SHALL BE PLACED AT THE END OF DRIVE LINES, AND AT THE END OF PARKING SPACES WHERE THE DIFFERENCE IN ADJACENT FLOOR ELEVATION IS GREATER THAN 1'. VEHICLE BARRIERS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 4,000 LBS. APPLIED INDIVIDUALLY IN ANY DIRECTION CENTERED AT 18 INCHES ABOVE THE FLOOR OR RAMP SURFACE.  
RAMPS  
VEHICLE RAMPS THAT ARE UTILIZED FOR VERTICAL CIRCULATION AS WELL AS FOR PARKING SHALL NOT EXCEED A SLOPE OF 1:15 (6.67%).  
FLOOR SURFACE  
PARKING SURFACES SHALL BE OF CONCRETE OR SIMILAR NON-COMBUSTIBLE AND NON-ABSORBENT MATERIALS. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.  
IMPACT PROTECTION  
WHERE THE FIRE PROTECTIVE COVERING OF A STRUCTURAL MEMBER IS SUBJECT TO IMPACT DAMAGE FROM MOVING VEHICLES, THE FIRE PROTECTIVE COVERING SHALL BE PROTECTED BY CORNER GUARDS UP TO A HEIGHT OF NOT LESS THAN 5 FT.

PARKING LEVEL KEYNOTES

	DETAIL	SPEC SECTION
1 TYPICAL STALL STRIPING: 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-	09 91 00
2 PRECAST CONCRETE WHEELSTOP	4/A1.40	03 30 00
3 PIPE BOLLARD: 6" DIA. x 4'-0" HIGH, CONCRETE FILLED	10/A1.40	05 50 00
4 CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/A1.40	05 50 00
5 STORAGE LOCKER w/ FULL HEIGHT CHAINLINK FENCE AND GATES	20/A1.40	05 50 00
6 BIKE STORAGE RACKS	23/A1.40	12 93 00
7 TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/A1.40	11 12 00
8 CHAIN LINK FENCE AND GATE		
9 SUMP PUMP AND TRAFFIC WEIGHT FRAME AND COVER PER PLUMBING		

PARKING LEVEL LEGEND

ROOM NUMBER	FLOOR DRAIN
DOOR NUMBER SEE A8.0	EVCS
WALL TYPE SEE A8.12	
SPOT ELEVATION	
DIRECTIONAL ARROW	PER DETAIL 5/A1.40
DIAGONAL STRIPING: 2 COATS, 4" WIDE TRAFFIC PAINT STRIPING AT 3'-0" o.c.	
PIPE BOLLARD: 6" DIA. x 4'-0" HIGH, CONCRETE FILLED	
CORNER GUARD: TYPICAL AT ALL CORNERS SUBJECT TO VEHICLE TRAFFIC	
FIRE EXTINGUISHERS: FEC #1 = 2A:10B.C. SEMI-RECESSED FEC #2 = 2A:10B.C. SEMI-RECESSED, PRE-INSTALLED FEC #3 = 6A:20B.C. BRACKET MOUNTED OUTSIDE MECH, ELEC., AND BOLDER ROOMS	

WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
	NON-RATED STUD WALL	
	1 HOUR FIRE-RATED INTERIOR WALL	
	1 HOUR FIRE-RATED WALL	
	2 HOUR FIRE-RATED WALL	
	3 HOUR FIRE-RATED WALL	
	2 HOUR CMU WALL (CM-2)	CM/A8.12
	1 HOUR CMU WALL (CM-1)	CM/A8.12
	NON RATED CMU WALL (CM-0)	CM/A8.12
	CONCRETE WALL PER STRUCTURAL	





















PARKING SUMMARY

	LEVEL				TOTAL
STALL TYPE	P3	P2	P1	1	
STANDARD (9'-0" x 18'-0")	-	-	25	31	53
ACCESSIBLE (9'-0" x 18'-0" w/ 5'-0" AISLE)	-	-	-	2	2
VAN ACCESSIBLE (12'-0" x 18'-0" w/ 5'-0" AISLE)	-	-	-	1	2
SUB TOTAL	-	-	25	34	59
RESIDENTIAL					
STANDARD	79	78	41	-	198
ACCESSIBLE	-	-	3	-	3
VAN ACCESSIBLE	-	-	1	-	1
SUB TOTAL	79	78	45	-	202
MOTORCYCLE	3	6	5	-	14
BICYCLE	5	9	14	33	61



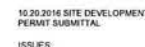
3534 FIFTH AVENUE  
SAN DIEGO CA 92103



PARKING LEVEL GENERAL NOTES		PARKING LEVEL KEYNOTES		DETAIL	SPEC SECTION	PARKING LEVEL LEGEND		WALL LEGEND		PARKING SUMMARY									
<p><b>SUCCESSOR:</b> PARKING GARAGES OPEN OR ENCLOSED PARKING GARAGES SHALL NOT ALLOW REPAIR OR MOTOR FUEL DISPENSING LINES.</p> <p><b>CLEAR HEIGHT:</b> THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL NOT BE LESS THAN 7 FEET (8'-0") WHERE REQUIRED FOR ACCESSIBILITY ABOVE THE FIRST FLOOR TO ANY CORNER, BEAM PIPE OR SIMILAR OBSTRUCTION, EXCEPT FOR WALL-MOUNTED SHELVES, STORAGE SURFACES, RACKS OR CABINETS AT HOOD OF VEHICLE.</p> <p><b>VEHICLE BARRIERS:</b> PARKING AREAS SHALL BE PROVIDED WITH EXTERIOR OR INTERIOR WALL OR VEHICLE BARRIERS. VEHICLE BARRIERS NOT LESS THAN 2' HIGH SHALL BE PLACED AT THE END OF FINE LINE AND AT THE END OF PARALLEL PERPENDICULARS IF THE DIFFERENCE IN ADJACENT FLOOR ELEVATION IS GREATER THAN 1". VEHICLE BARRIERS SHALL BE DESIGNED TO RESIST A SINGLE LOAD OF 6,000 LBS. APPLIED HORIZONTALLY IN ANY DIRECTION CENTERED AT 18 INCHES ABOVE THE FLOOR OR RAMP SURFACE.</p> <p><b>DANGER:</b> VEHICLE RAMPS THAT ARE UTILIZED FOR VERTICAL CIRCULATION AS WELL AS FOR PARKING SHALL NOT EXCEED A SLOPE OF 1:15 (6.7%).</p> <p><b>FLOOR SURFACE:</b> PARKING SURFACES SHALL BE OF CONCRETE OR SIMILAR NON-COMBUSTIBLE AND NON-ABSORBENT MATERIALS. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF VEHICLES TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY COURSEWAY.</p> <p><b>IMPACT PROTECTION:</b> WHERE THE FIRE PROTECTIVE COVERING OF A STRUCTURAL MEMBER IS SUBJECT TO IMPACT DAMAGE FROM MOVING VEHICLES, THE FIRE PROTECTIVE COVERING SHALL BE PROTECTED BY CORNER GUARDS UP TO A HEIGHT OF NO LESS THAN 7 FT.</p>			TYPICAL STALL STRIPING: 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-	09 91 00	 ROOM NUMBER	 FLOOR DRAIN	<p><b>SYMBOL</b></p>  NON-RATED STUD WALL	<p><b>DESCRIPTION</b></p> <p>1 HOUR FIRE-RATED INTERIOR WALL</p> <p>1 HOUR FIRE-RATED WALL</p> <p>2 HOUR FIRE-RATED WALL</p> <p>3 HOUR FIRE-RATED WALL</p> <p>2 HOUR CMU WALL (CM-2)</p> <p>1 HOUR CMU WALL (CM-1)</p> <p>NON RATED CMU WALL (CM-0)</p> <p>CONCRETE WALL PER STRUCTURAL</p>	<p><b>DETAIL</b></p> <p>REFER TO WALL TAGS &amp; SHEETS A8.10, A8.11 &amp; A8.12</p> <p>CMIA8.12</p> <p>CMIA8.12</p> <p>CMIA8.12</p>					TOTAL				
		LEVEL																	
			PRECAST CONCRETE WHEELSTOP	4/ A1.40	03 30 00	 DOOR NUMBER SEE A8.0	EVCS				PROVIDE INFRASTRUCTURE FOR FUTURE ELECTRIC VEHICLE CHARGING STATION								
			PIPE BOLLARD: 6" DIA. x 4'-0" HIGH, CONCRETE FILLED	10/ A1.40	05 50 00	 WALL TYPE SEE A8.12													
			CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/ A1.40	05 50 00	 SPOT ELEVATION													
			STORAGE LOCKER w/ FULL HEIGHT CHAINLINK FENCE AND GATES	20/ A1.40	05 50 00	 DIRECTIONAL ARROW PER DETAIL S/A1.40													
			BIKE STORAGE RACKS	23/ A1.40	12 93 00	 DIAGONAL STRIPING: 2 COATS, 4" WIDE TRAFFIC PAINT STRIPING AT 3'-0" o.c.													
			TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/ A1.40	11 12 00	 PIPE BOLLARD: 6" DIA. x 4'-0" HIGH, CONCRETE FILLED													
			CHAIN LINK FENCE AND GATE			 CORNER GUARD: TYPICAL AT ALL CORNERS SUBJECT TO VEHICLE TRAFFIC													
			SUMP PUMP AND TRAFFIC WEIGHT FRAME AND COVER PER PLUMBING			 FIRE EXTINGUISHERS: SEC #1 = 2A:10 BC REM-RECESSED; SEC #2 = 2A:10 BC SEM-RECESSED, IRRADIATED; SEC #3 = 4A:10 BC BRACKET MOUNTED OUTSIDE MECH., ELEC., AND BOILER ROOMS													
NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS																			



3534 FIFTH AVENUE  
SAN DIEGO CA 92103



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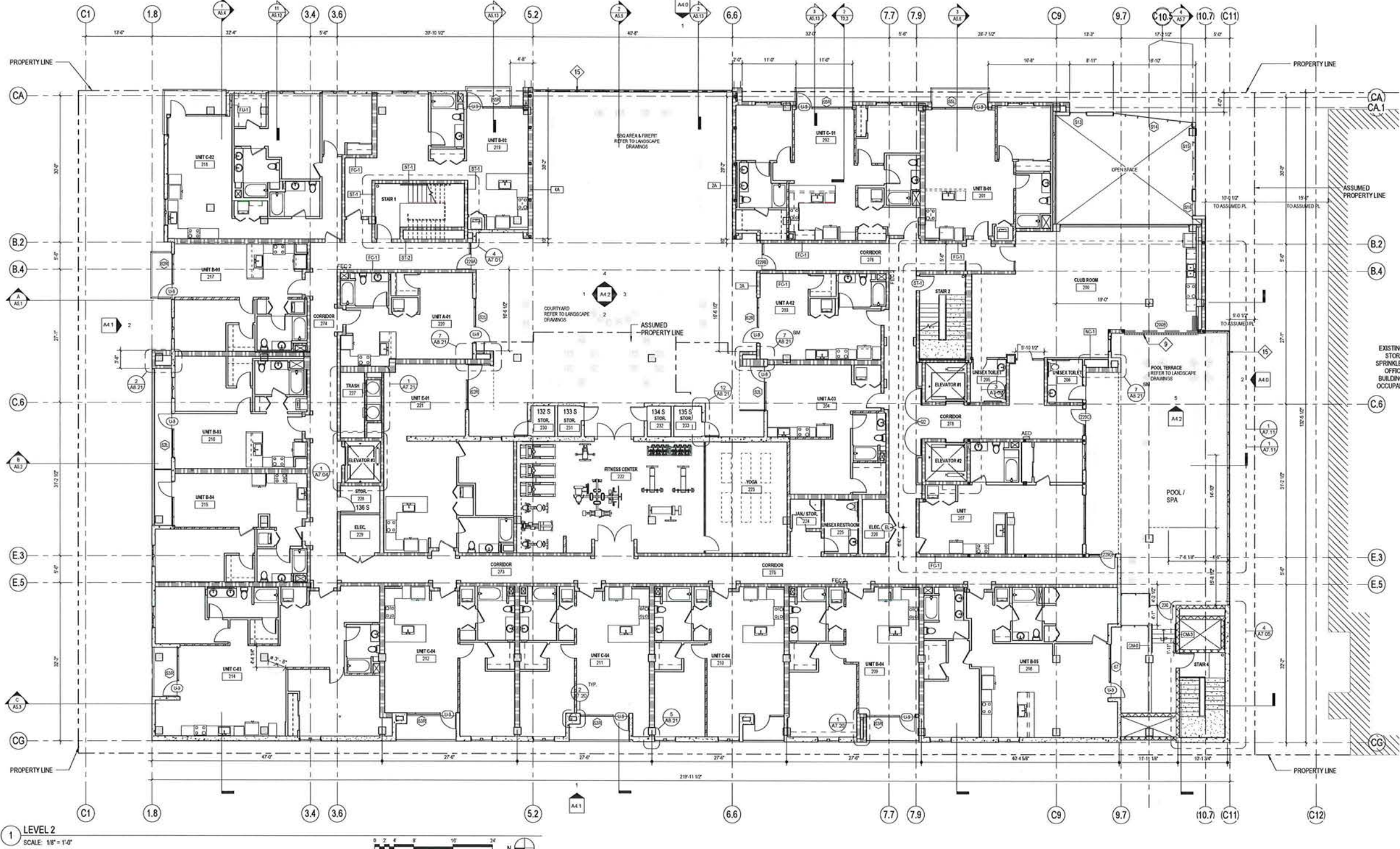


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STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103



10.20.2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES:

FLOOR PLAN GENERAL NOTES				FLOOR PLAN KEYNOTES				FLOOR PLAN LEGEND				WALL LEGEND			
1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS UNLESS NOTED OTHERWISE. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO FINISH FACE. ALL "X" OR "Y" DIMENSIONS MUST BE MAINTAINED.				1. TYPICAL STALL STRIPING, 2 COATS, 4" WIDE WHITE TRAFFIC PAINT				100. ROOM NUMBER				SYMBOL DESCRIPTION DETAIL			
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL, U.O.N.				2. SEMI-RECESSED FIRE EXTINGUISHER CABINET				101. DOOR NUMBER				NON-RATED STUD WALL			
3. ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALUMI, TAPE, AND SPACKLE WITH NEW PARTITION.				3. PRECAST CONCRETE WHEELSTOP				102. WINDOW NUMBER				1 HOUR FIRE-RATED INTERIOR WALL			
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING, AND ROOF-CEILING SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 363 AND SHALL HAVE AN F RATING AND A P RATING AT FLOORS ONLY OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustical WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.				4. CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC				103. FIRE EXTINGUISHERS: SEE PLUMBING DWGS.				1 HOUR FIRE-RATED WALL			
5. WALL BACKING: BACKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 1" MIN. 1/2" GA. BACKING FOR CABINETRY, SHELVING, WORKER BENCHES, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, TEXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDING, ROUGH BLOCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.				5. GARAGE CLEARANCE WARNING BAR				104. FLOOR DRAIN SEE PLUMBING DWGS.				2 HOUR FIRE-RATED WALL			
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH MEP PRIOR TO INSTALLATION.				6. BIKE STORAGE RACKS				105. FIRE SPRINKLER RISER LOCATION SEE PLUMBING DWGS.				2 HOUR CMU WALL (CM-2) CMA8.12			
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTHS AT ACOUSTICAL WALL LOCATIONS AND FIRE-SMOKE DAMPERS AT ALL FIRE-RATED WALLS.				7. TRAFFIC MIRROR, MOUNTED AT 8'-0" A.F.F.				106. DRINKING FOUNTAIN SEE PLUMBING DWGS.				1 HOUR CMU WALL (CM-1) CMA8.12			
				8. CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING				107. SEMI-RECESSED AED CABINET				NON RATED CMU WALL (CM-0) CMA8.12			
				9. CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD				108. MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS. AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1				CONCRETE WALL PER STRUCTURAL			

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FILE NAME: 5548 CD - 10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL  
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PLOT DATE: 10/20/2016 10:45:28 AM  
TITLE:

FLOOR PLAN  
LEVEL 2

DRAWING NO:

A2.2  
19 OF 37



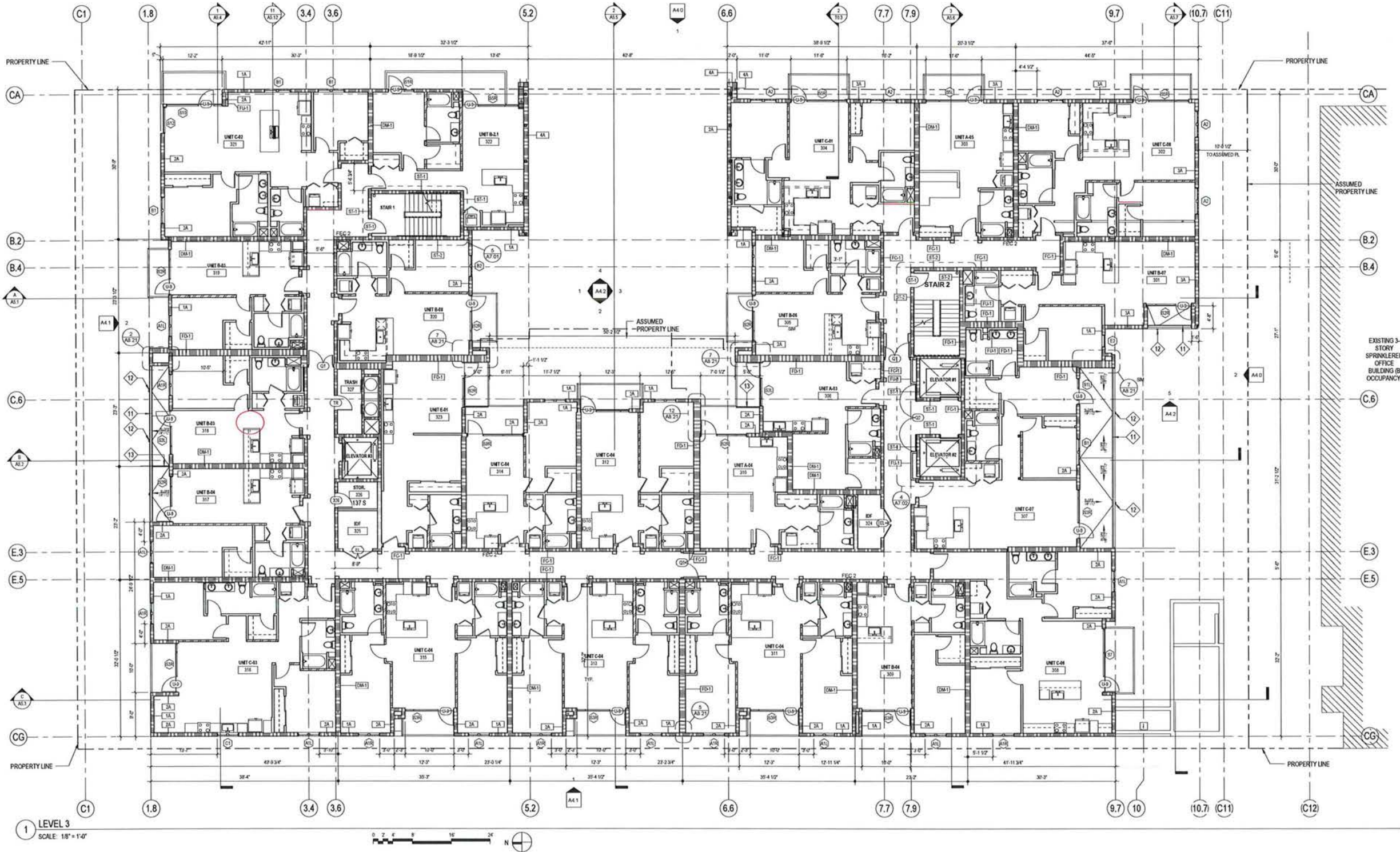
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SAN DIEGO CA 92103

10/20/2016 SITE DEVELOPMENT  
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ISSUES

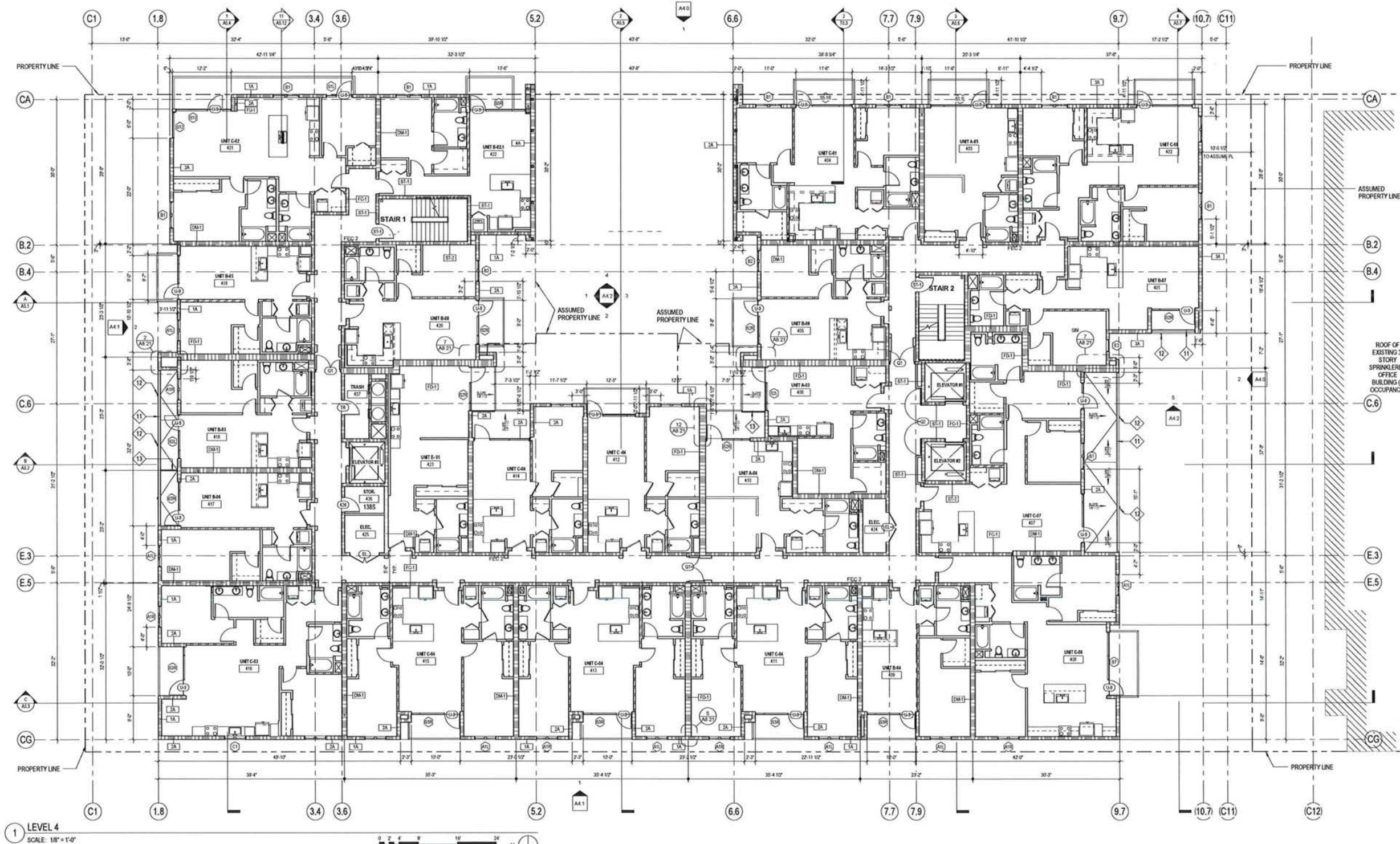


FLOOR PLAN GENERAL NOTES				FLOOR PLAN KEYNOTES				FLOOR PLAN LEGEND				WALL LEGEND			
1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (MINIMUM). U.S. IN. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO RUGH OPENING. ALL "X" OR "Y" OR "Z" DIMENSIONS MUST BE MAINTAINED.				1. TYPICAL STALL STRIPING, 2 COATS, 4" WIDE WHITE TRAFFIC PAINT				100 ROOM NUMBER				SYMBOL DESCRIPTION DETAIL			
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.S. IN.				2. SEMI-RECESSED FIRE EXTINGUISHER CABINET				200 DOOR NUMBER				NON-RATED STUD WALL			
3. ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER READING, ALIGN, TAPE, AND SPRAY WITH NEW PARTITION.				3. PRECAST CONCRETE WHEELSTOP				300 WINDOW NUMBER				1 HOUR FIRE-RATED INTERIOR WALL			
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING, AND ROOF-CEILING SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR U.L. 20 AND SHALL HAVE AN F RATING AND A T RATING AT FLOORS ONLY OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustical WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.				4. CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC				FEC 4 FIRE EXTINGUISHERS				1 HOUR FIRE-RATED WALL			
5. WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE IF NECESSARY BACKING FOR CABINETS, SHELVING, WORKER BENCHES, CHAIR BENCHES, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDING, ROUGH BLOCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.				5. GARAGE CLEARANCE WARNING BAR				FEC 4 + 3A 108 C SEMI-RECESSED FEC 40 + 3A 108 C COMBINATION FIRE-RATED FEC 40 + 4A 108 C SEMI-RECESSED, OUTSIDE MESH, ELEC. BOLLER RAS				2 HOUR FIRE-RATED WALL			
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH C/P PRIOR TO INSTALLATION.				6. BIKE STORAGE RACKS				FD FLOOR DRAIN				3 HOUR FIRE-RATED WALL			
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACOUSTICAL WALL LOCATIONS AND FREEMORE DAMPERS AT ALL FIRE-RATED WALLS.				7. TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.				FEC 40 FIRE SPRINKLER RISER LOCATION				2 HOUR CMU WALL (CM-2)			
				8. CMU PLANTERS WITH THIN SET CERAMIC TILE CLADDING				DF DRINKING FOUNTAIN				1 HOUR CMU WALL (CM-1)			
				9. CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD				AED SEMI-RECESSED AED CABINET				NON-RATED CMU WALL (CM-0)			
								MAINTAIN 8'-2" MIN. HEADROOM AT CROSS-HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1				CONCRETE WALL PER STRUCTURAL			

FLOOR PLAN  
LEVEL 3

A2.3  
20 OF 37



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## FLOOR PLAN GENERAL NOTES

1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOT WALL, U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING, ALL "XOL" OR "XLR" DIMENSIONS MUST BE MAINTAINED).
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
3. ADJACENT: WHERE NEW PARTITIONS ARE TO ADJOIN EXISTING PARTITIONS, REMOVE EXISTING CORNER BRACKETS, ALUM, TANK, AND SPRINKLER WITH NEW PARTITION.
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR/CEILING, AND ROOF/CEILING SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 AND SHALL HAVE AN RATING AND A TYPING AT FLOORS ONLY OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustical WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACoustical SEALANT.
5. WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 4" HX 16 GA. BACKING FOR CABINETRY, SHELVE, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUND, ROUGH BLOCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH C/P PRIOR TO INSTALLATION.
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOT/AT ACoustical WALL LOCATIONS AND FIRE-RATED DAMPERS AT ALL FIRE-RATED WALLS.

## FLOOR PLAN KEYNOTES

1. TYPICAL STALL STRIPING, 2 COATS, 4" WIDE WHITE TRAFFIC PAINT
2. SEMI-RECESSED FIRE EXTINGUISHER CABINET
3. PRECAST CONCRETE WHEELSTOP
4. CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC
5. GARAGE CLEARANCE WARNING BAR
6. BIKE STORAGE RACKS
7. TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.
8. CMU PLANTERS WITH SET CERAMIC TILE CLADDING
9. CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD

DETAIL	SPEC SECTION
10	OVERHEAD COILING SECURITY GRILLE
11	PREFINISHED STEEL GUARDRAIL CAP
12	SCUPPER AT BALCONY WALL BASE
13	PRIVACY SCREEN
14	PIPE BOLLARD
15	GLASS GUARDRAIL

## FLOOR PLAN LEGEND

ROOM	ROOM NUMBER
DOOR	DOOR NUMBER
WINDOW	WINDOW NUMBER
FIRE EXTINGUISHERS	SEE PLUMBING DVGS.
FLOOR DRAIN	SEE PLUMBING DVGS.
FIRE SPRINKLER RISER LOCATION	SEE PLUMBING DVGS.
DRINKING FOUNTAIN	SEE PLUMBING DVGS.
SEMI RECESSED AED CABINET	SEE PLUMBING DVGS.
MANTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1	

## WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
NON-RATED STUD WALL	NON-RATED STUD WALL	REFER TO WALL TAGS & SHEETS A8.10, A8.11 & A8.12
1 HOUR FIRE-RATED INTERIOR WALL	1 HOUR FIRE-RATED INTERIOR WALL	
1 HOUR FIRE-RATED WALL	1 HOUR FIRE-RATED WALL	
2 HOUR FIRE-RATED WALL	2 HOUR FIRE-RATED WALL	
3 HOUR FIRE-RATED WALL	3 HOUR FIRE-RATED WALL	
2 HOUR CMU WALL (CM-2)	2 HOUR CMU WALL (CM-2)	CMU8.12
1 HOUR CMU WALL (CM-1)	1 HOUR CMU WALL (CM-1)	CMU8.12
NON RATED CMU WALL (CM-0)	NON RATED CMU WALL (CM-0)	CMU8.12
CONCRETE WALL PER STRUCTURAL	CONCRETE WALL PER STRUCTURAL	

NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

FLOOR PLAN  
LEVEL 4

DRAWING NO.

A2.4

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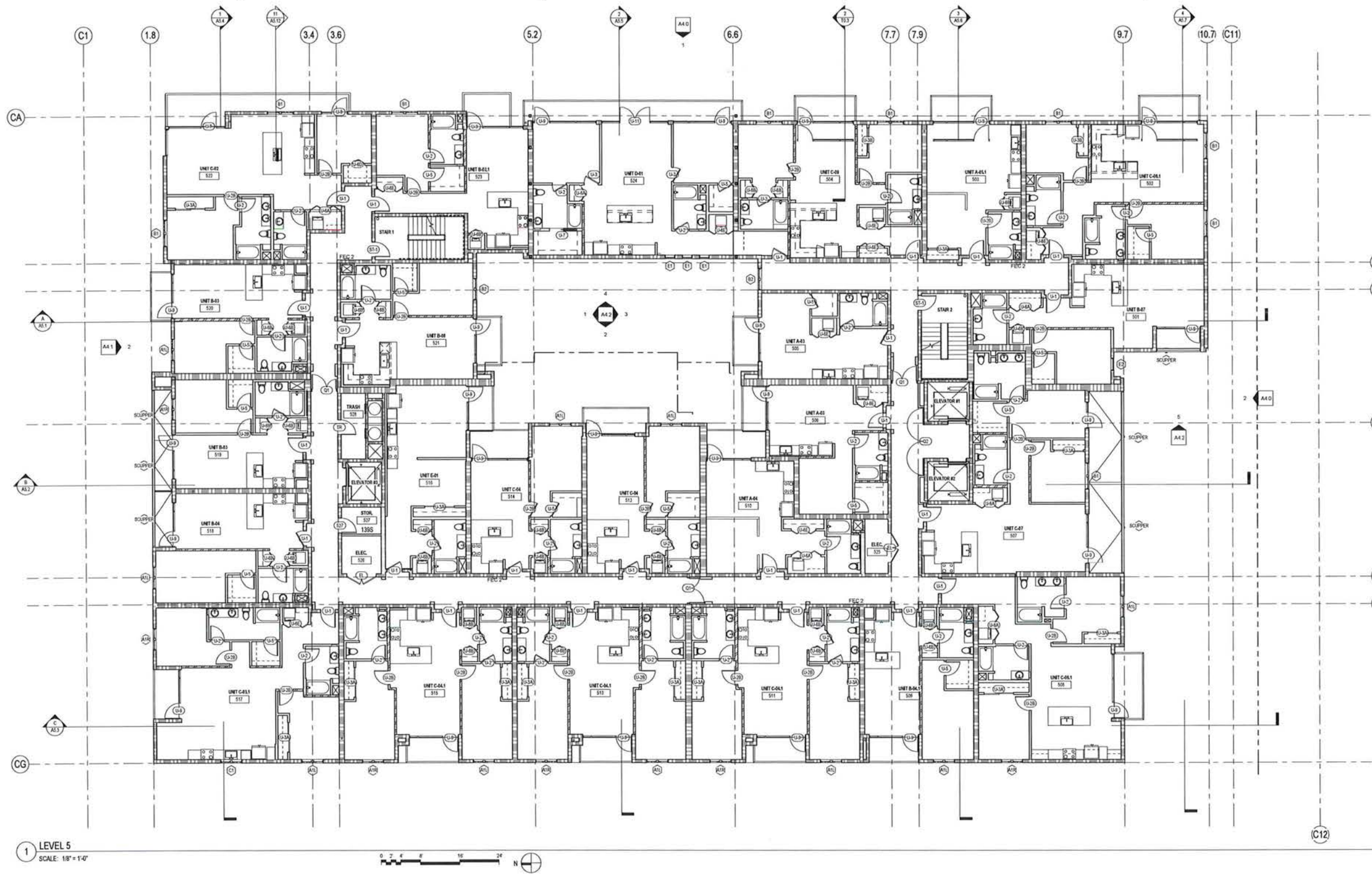


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10.20.2018 SITE DEVELOPMENT  
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ISSUES:



1 LEVEL 5  
SCALE: 1/8" = 1'-0"



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FLOOR PLAN GENERAL NOTES		FLOOR PLAN KEYNOTES		DETAIL	SPEC SECTION	FLOOR PLAN LEGEND		WALL LEGEND	
1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINE, OR FACE OF CONCRETE AND CMU WALLS (NORMAL U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "X" OR "Y" DIMENSIONS MUST BE MAINTAINED).		1	TYPICAL STALL STRIPING, 2 COATS, 4" WIDE WHITE TRAFFIC PAINT	-	-	10	OVERHEAD COILING SECURITY GRILLE		
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL U.O.N.		2	SEMI-RECESSED FIRE EXTINGUISHER CABINET	-	10 44 16	11	PREFINISHED STEEL GUARDRAIL CAP	17/A8.14 16/A8.14	
3. ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALKID TAPE, AND SPRACKLE WITH NEW PARTITION.		3	PRECAST CONCRETE WHEELSTOP	4/A1.40	-	12	SCUPPER AT BALCONY WALL BASE	18/A8.14	
4. PENETRATIONS: PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING, AND ROOF-CEILING SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 203 AND SHALL HAVE AN F-RATING AND A T-RATING AT FLOORS ONLY, OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustical WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.		4	CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC	3/A1.40	05 50 00	13	PRIVACY SCREEN	21/A8.14 23/A8.14	
5. BELL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 1" HIGH 1/4" GA. BACKING FOR CABINETRY, SHELVING, MARKER BOARDS, CHAIR RAILS, GRAB BARS, SHOWER SEATS, HANDRAILS, FIXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDING, ROUGH BLOCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE-RESISTANT TREATED IN ACCORDANCE WITH FIRE CODES.		5	GARAGE CLEARANCE WARNING BAR	8/A1.40	-	14	PIPE BOLLARD	10/A1.40	
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL AT CERAMIC TILE LOCATIONS. COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH C24 PRIOR TO INSTALLATION.		6	BIKE STORAGE RACKS	-	12 93 00	15	GLASS GUARDRAIL	20/A8.14	
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACOUSTICAL WALL LOCATIONS AND FREQUENTLY DAMPERS AT ALL FIRE-RATED WALLS.		7	TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.	9/A1.40	11 12 00				
		8	CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING						
		9	CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD	13/A8.81					

FLOOR PLAN  
LEVEL 5

A2.5  
22 OF 37





PROJECT NO:  
5548 00

FILE NAME  
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TITLE  
  
**FLOOR PLAN  
LEVEL 6**

DRAWING NO  
  
**A2.6**



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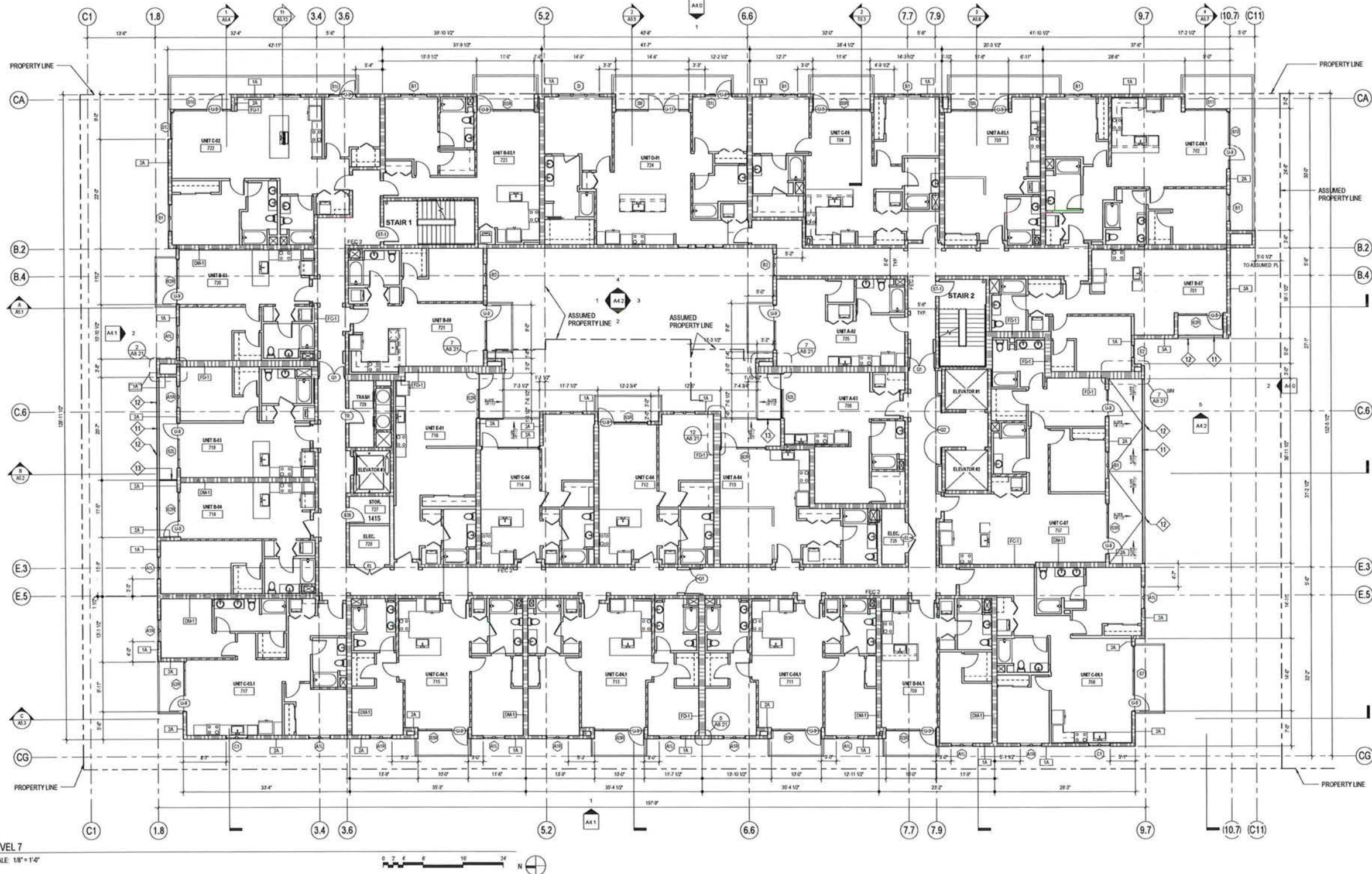
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PERMIT SUBMITTAL  
ISSUES

FLOOR PLAN  
LEVEL 7

DRAWING NO.

A2.7

24 OF 37



1 LEVEL 7  
SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, CENTER OF WALL, COLUMN GRID LINE, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL). U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "X" OR "Y" DIMENSIONS MUST BE MAINTAINED.
2. DOOR LOCATION: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
3. ALIGNMENT: WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEADS, ALIGN, TAPE, AND SPACKLE WITH NEW PARTITION.
4. PENETRATIONS: PENETRATIONS OF FIRE-RATED WALLS, FLOOR-CEILING, AND ROOF-CEILING SHALL BE PROTECTED BY AN APPROVED PENETRATION SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 AND SHALL HAVE AN F RATING AND A T RATING AT FLOORS ONLY OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED. PENETRATIONS OF ACoustical WALLS FOR PIPES, DUCTS, AND OUTLETS SHALL BE SEALED WITH AN ACOUSTICAL SEALANT.
5. WALL BACKING: BLOCKING OR BACKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED FOR WALL ATTACHED ITEMS. PROVIDE 4" HIPS IN GA BACKING FOR CABINETS: SHELVEING, BARNER BOARD, CHAIR RAILS, CORN RAILS, BROWER SEATS, HANDRAILS, TEXTURES, EQUIPMENT, FURNISHINGS AND OTHER ITEMS AS REQUIRED. ALL WOOD BLOCKING, GROUNDING, ROUGH BLOCKS AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH FIRE CODES.
6. WALL ACCESS PANELS: PROVIDE ACCESS PANELS AS REQUIRED PER APPLICABLE CODES FOR MAINTENANCE ACCESS TO INSTALLED MEP EQUIPMENT. PROVIDE STAINLESS STEEL, AT CERAMIC TILE LOCATIONS, COORDINATE TYPES AND LOCATIONS OF WALL ACCESS PANELS WITH CL PRIOR TO INSTALLATION.
7. RETURN AIR WALL OPENINGS: PROVIDE RETURN AIR WALL OPENINGS ABOVE CEILING AS PER MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR SOUND BOOTS AT ACOUSTICAL WALL LOCATIONS AND PRESSURE DRAPELERS AT ALL FIRE-RATED WALLS.

FLOOR PLAN KEYNOTES

- |   | DETAIL    | SPEC SECTION |
|---|-----------|--------------|
| 1 TYPICAL STALL STRIPING, 2 COATS, 4" WIDE WHITE TRAFFIC PAINT  | -         | -            |
| 2 SEMI-RECESSED FIRE EXTINGUISHER CABINET                       | -         | 10 A4 16     |
| 3 PRECAST CONCRETE WHEELSTOP                                    | 4/ A1.40  | -            |
| 4 CORNER GUARD TYPICAL AT ALL COLUMN CORNERS EXPOSED TO TRAFFIC | 3/ A1.40  | 05 50 00     |
| 5 GARAGE CLEARANCE WARNING BAR                                  | 8/ A1.40  | -            |
| 6 BIKE STORAGE RACKS  | -         | 12 93 00     |
| 7 TRAFFIC MIRROR, MOUNTED AT 9'-0" A.F.F.                       | 9/ A1.40  | 11 12 00     |
| 8 CMU PLANTERS W/ THIN SET CERAMIC TILE CLADDING                | -         | -            |
| 9 CONTINUOUS LINEAR TRENCH DRAIN AT THRESHOLD                   | 13/ A8.81 | -            |

DETAIL

SPEC SECTION

- |                                     | DETAIL                 | SPEC SECTION |
|-------------------------------------|------------------------|--------------|
| 10 OVERHEAD COILING SECURITY GRILLE | -                      | -            |
| 11 PREFINISHED STEEL GUARDRAIL CAP  | 17/ A8.14<br>16/ A8.14 | -            |
| 12 SCUPPER AT BALCONY WALL BASE     | 18/ A8.14              | -            |
| 13 PRIVACY SCREEN                   | 21/ A8.14<br>23/ A8.14 | -            |
| 14 PIPE BOLLARD                     | 10/ A1.40              | -            |
| 15 GLASS GUARDRAIL                  | 20/ A8.14              | -            |

FLOOR PLAN LEGEND

- | ROOM NUMBER   | ROOM NUMBER   |
|---|---------------|
| DOOR NUMBER   | DOOR NUMBER   |
| WINDOW NUMBER   | WINDOW NUMBER |
| FIRE EXTINGUISHERS  | FEC #         |
| FLOOR DRAIN   | FID           |
| FIRE SPRINKLER RISER LOCATION   | FIR           |
| DRINKING FOUNTAIN   | DF            |
| SEMI RECESSED AED CABINET   | AED           |
| MAINTAIN 8'-2" MIN. HEADROOM AT CROSS HATCHED AREAS- AT ALL OTHER PARKING LOCATIONS MAINTAIN 7'-0" MIN. HEADROOM. ALSO SEE SHEET A1.1 |               |

WALL LEGEND

- | SYMBOL   | DESCRIPTION                     | DETAIL  |
|----------|---------------------------------|---------|
| [Symbol] | NON-RATED STUD WALL             |         |
| [Symbol] | 1 HOUR FIRE-RATED INTERIOR WALL |         |
| [Symbol] | 1 HOUR FIRE-RATED WALL          |         |
| [Symbol] | 2 HOUR FIRE-RATED WALL          |         |
| [Symbol] | 3 HOUR FIRE-RATED WALL          |         |
| [Symbol] | 2 HOUR CMU WALL (CM-2)          | CM-8.12 |
| [Symbol] | 1 HOUR CMU WALL (CM-1)          | CM-8.12 |
| [Symbol] | NON RATED CMU WALL (CM-0)       | CM-8.12 |
| [Symbol] | CONCRETE WALL PER STRUCTURAL    |         |

NOTE: REFER TO WALL TAGS FOR SPECIFIC WALL TYPE. SEE SHEETS A8.10, A8.11 AND A8.12 WALL TYPE DETAILS

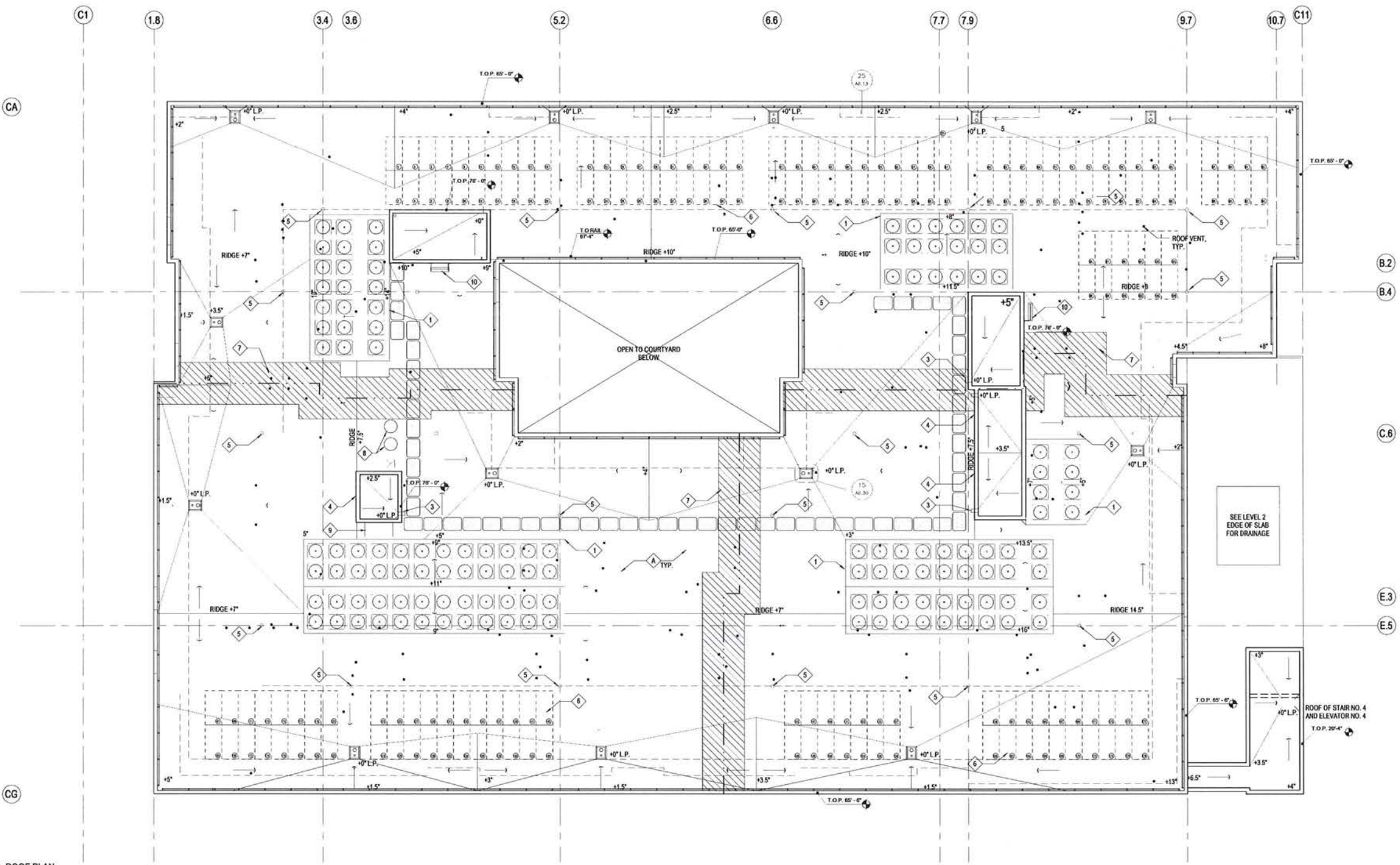


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1 ROOF PLAN  
SCALE: 1/8" = 1'-0"



10.20.2016 SITE DEVELOPMENT PERMIT SUBMITTAL

ISSUES:

ROOF PLAN GENERAL NOTES		DETAIL	SPEC SECTION	ROOF PLAN KEYNOTES		DETAIL	SPEC SECTION	ROOF PLAN LEGEND		DETAIL	SPEC SECTION	DETAIL	SPEC SECTION
<p><b>FIRE CLASSIFICATION:</b> CLASS A LIMITED AND IDENTIFIED BY AN APPROVED TESTING AGENCY (CIC 1555)</p> <p><b>ROOF INSULATION:</b> R-38 BATT INSULATION BELOW ROOF PLYWOOD SHEATHING. SEE 13A.8.02 FOR ROOF ASSEMBLY</p> <p><b>ROOF SLOPE:</b> TYPICAL ROOF SLOPE IS 1/4"=1' MINIMUM, 1/8"=1' AT CROCKETS</p> <p><b>TOP OF PARAPET:</b> TYPICAL TOP OF PARAPET HEIGHT IS 45'-0" U.O.N.</p> <p><b>FLASHING LOCATIONS:</b> AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, PARAPETS, ROOF EDGES, ROOF PENETRATIONS, ETC., FLASHING AND COUNTERFLASHING SHALL BE PROVIDED FOR THE ROOF MANUFACTURER'S RECOMMENDATIONS AND, WHEN OF METAL, SHALL NOT BE LESS THAN NO. 30 GALVANIZED SHEET GAGE CORROSION-RESISTANT METAL. (CIC 1553) ALL ROOF FLASHINGS SHALL CONFORM TO SMOMA AND MCA STANDARDS. FLASHING AND COUNTERFLASHING SHALL BE PAINTED U.O.N.</p> <p><b>OVERFLOW DRAINS AND SCUPPERS:</b> WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE WATER INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS AND HAVING A MINIMUM OPENING HEIGHT OF 4 INCHES MAY BE INSTALLED IN THE ADJACENT PARAPET WALLS WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ADJACENT ROOF. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES</p> <p><b>OVER PUBLIC PROPERTY:</b> ROOF DRAINAGE WATER FROM A BUILDING SHALL NOT BE PERMITTED TO FLOW OVER PUBLIC PROPERTY</p> <p><b>MAINTENANCE ACCESS:</b> ACCESS SHALL BE PROVIDED TO ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF AS REQUIRED BY THE MECHANICAL CODE</p> <p><b>COORDINATION:</b> CONTRACTOR SHALL VERIFY LOCATIONS AND COORDINATE SIZES FOR ALL ROOF OPENINGS, CURBS, CONCRETE PADS, AND ATTACHMENT REQUIREMENTS RE MANUFACTURER FOR ACTUAL MECHANICAL EQUIPMENT SUBMITTED</p>		12/A8.02	DIV 07	<b>SOLAR READY AREA CALCULATION</b>									
UNOCCUPIED ROOF AREA: 26,535 SF MINIMUM SOLAR ZONE: 15% OF ROOF AREA: 3,980 SF APPROXIMATE PANEL SIZE: 20.7 SF MINIMUM PANELS REQUIRED 178				1	CURB-MOUNTED MECHANICAL UNIT	24/A8.30	DIV 23		ROOF DRAIN / OVERFLOW DRAIN	15/A8.30	DIV 22		CLASS 1 STANDPIPE HOSE CONNECTION
				2	MAINTENANCE GUARDRAIL	24/A8.13 25/A8.13	05 50 00		TRAFFIC WALK PAD	12/A8.30	07 54 19		HIGH POINT ELEVATION
				3	SCUPPER	5/A8.30 21/A8.30	07 62 00		TAPERED RIGID INSULATION (FOR SLOPE ONLY)	-	07 54 19		LOW POINT ELEVATION
				4	ELEVATOR HOISTWAY VENT	23/A8.30	08 90 00		EXHAUST FAN	12/A8.30 25/A8.30	DIV 23		TOP OF PARAPET ELEVATION
				5	ROOF MOUNTED TIE-BACK ANCHOR	25/A8.30	11 24 00		PLUMBING VENT THROUGH ROOF (VTR)	9/A8.30 14/A8.30	DIV 22		
				6	FUTURE PV ARRAY- DESIGN & INSTALLATION BY PV SUBCONTRACTOR. NO THROUGH-ROOF PLUMBING VENTS IN THESE LOCATIONS.				HVAC DUCT THROUGH ROOF	18/A8.30	DIV 23		
				7	3-HR FIRE WALL TERMINATION AREA AT UNDERSIDE OF NONCOMBUSTIBLE ROOF SHEATHING. NO PENETRATIONS ALLOWED WITHIN 4' OF FIRE WALL (HATCHED REGION).	8/A8.21			WINDOW WASHING FIXED DAVIT BASE W/ PEDESTAL	-A8.30	11 24 00		
				8	TRASH CHUTE VENT				WINDOW WASHING FLUSH DAVIT BASE W/ PEDESTAL	-A8.30	11 24 00		
				9	FUTURE WALL MOUNTED SOLAR INVERTOR	22/A8.30			FUTURE SOLAR PV PANEL 20.7 SF				
				10	ROOF LADDER	25/A8.50							

PROJECT NO:  
5548 00

FILE NAME:  
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3/25/2016 6:25:10 PM  
TITLE:

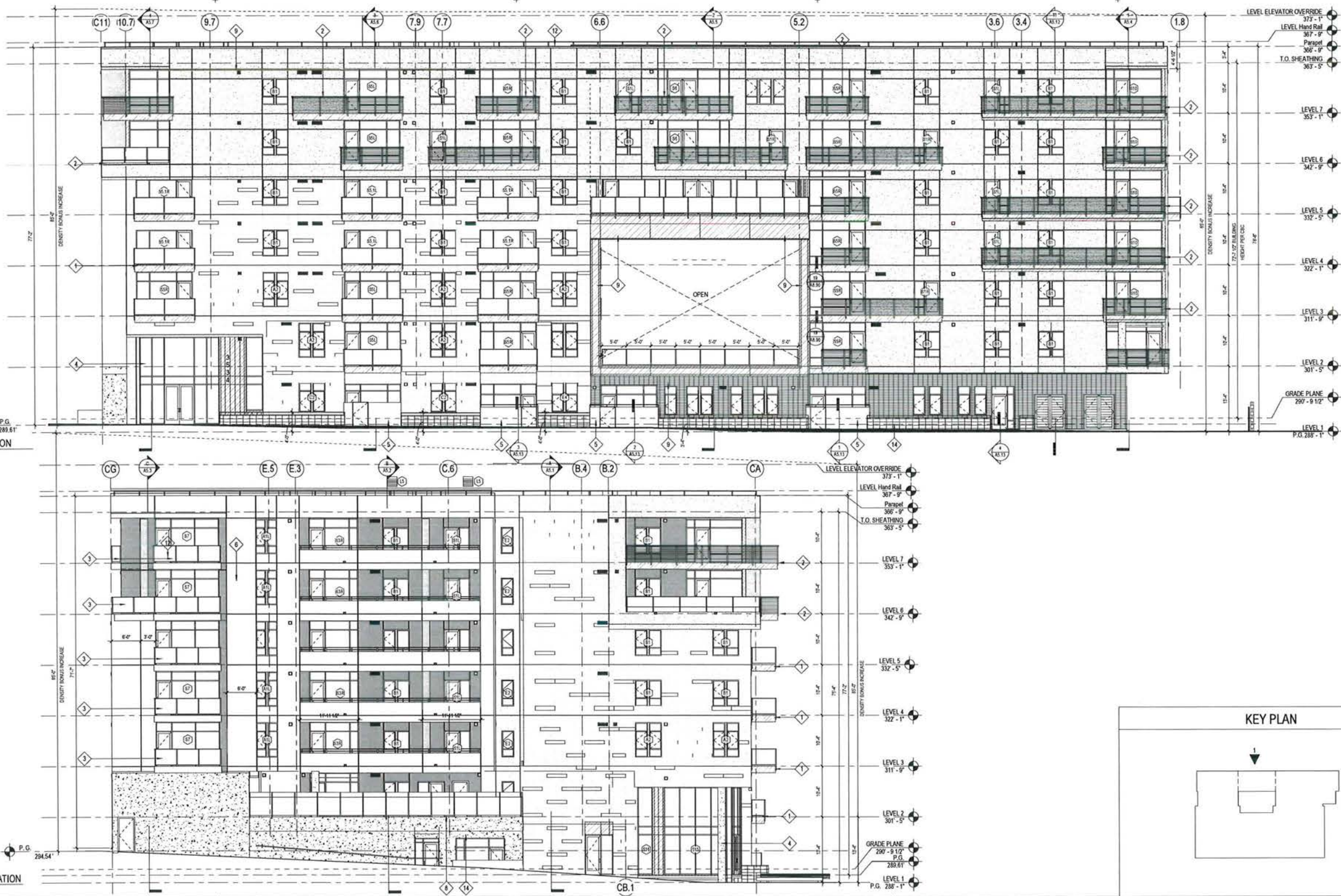
ROOF PLAN

DRAWING NO.



STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103

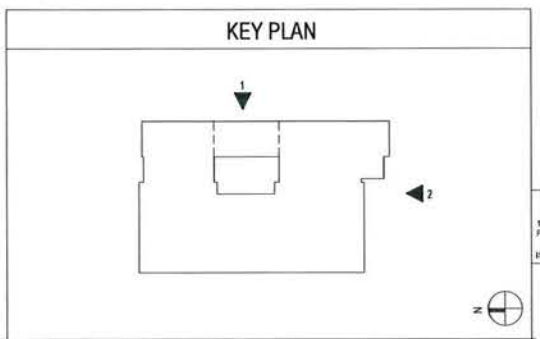


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ELEVATION / SECTION GENERAL NOTES	
REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.	
METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.	
INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE: U.O.N., ROOF & BULK WALLS: R-15 FLOOR OVERHANGS: R-10.	
WEATHER STRIPPING: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.	
PROMINENT IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH, U.O.N.	
TILE PATTERN: SEE 6/A4.2 FOR TYPICAL TILE PATTERN	

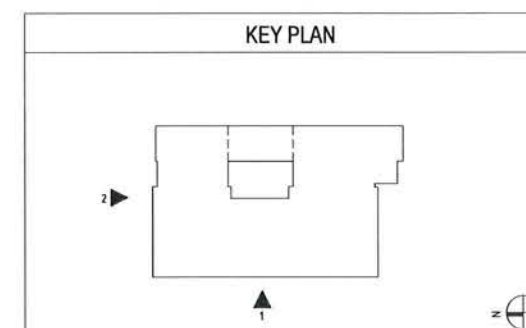
ELEVATION / SECTION KEYNOTES	
KEYNOTE	DESCRIPTION
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ W/D BALCONY
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ W/D BALCONY
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC. SLAB
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ W/D BALCONY
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. SLAB
4	PREFINISHED 2" x 6" OFFSET GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS
6	CONTROL JOINT
7	GLASS POOL FENCE
8	METAL RAINSCREEN SIDING
9	OVERHEAD COILING GARAGE SECURITY GRILLE
10	FOLDING ALUMINUM OPERABLE GLASS WALL
11	GUARDRAIL AT PARAPET
12	LINEAR STRIP LIGHT RECESSED IN MTL PANEL
13	6" REVEAL
14	CONTINUE REVEAL AT RETURN WALL
15	PLANTERS PER LANDSCAPE

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
[Pattern]	PLASTER - SAND FINISH, PAINT TBD
[Pattern]	PLASTER - SAND FINISH, PAINT TBD
[Pattern]	PLASTER - SAND FINISH, PAINT TBD
[Pattern]	PLASTER - SAND FINISH, PAINT TBD
[Pattern]	PLASTER - SAND FINISH, PAINT TBD
[Pattern]	CERAMIC TILE - 12" x 24"
[Pattern]	CERAMIC TILE -
[Pattern]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:
[Pattern]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT.
LEGEND	
[Symbol]	3 HOUR OCCUPANCY SEPARATION
[Symbol]	BALCONY TYPE



10/20/2018 SITE DEVELOPMENT PERMIT SUBMITTAL	
ISSUES:	
PROJECT NO:	5548.00
FILE # NAME:	10/20/2018 SITE DEVELOPMENT PERMIT SUBMITTAL
DRAWN BY:	CHECKED BY:
PLOT DATE:	5/26/2018 10:10:55 AM
TITLE:	EXTERIOR ELEVATIONS
DRAWING NO.:	A4.0
26 OF 37	





ELEVATION / SECTION GENERAL NOTES		ELEVATION / SECTION KEYNOTES						EXTERIOR MATERIAL LEGEND						
<p><b>REFERENCE POINTS:</b> VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.</p> <p><b>METAL FINISHES:</b> ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.</p> <p><b>INSULATION:</b> PROVIDE THE FOLLOWING R VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS R-30, WALLS R-19, FLOOR OVERHANGS R-15.</p> <p><b>WEATHER TIGHTNESS:</b> ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CALCULATED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.</p> <p><b>FINISHES IDENTIFICATION:</b> ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMBERS WITH 1/16" WIDE STROKE WIDTH U.O.N.</p> <p><b>TILE PATTERN:</b> SEE: <b>6 A4.2</b> FOR TYPICAL TILE PATTERN.</p>		KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE		16	PLANTERS PER LANDSCAPE	SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
		1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VMD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13		PLASTER - SAND FINISH, PAINT TBD		METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.			
		1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE			PLASTER - SAND FINISH, PAINT TBD		METAL PANEL -			
		2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VMD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING			PLASTER - SAND FINISH, PAINT TBD					
		2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE			PLASTER - SAND FINISH, PAINT TBD					
		3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ VMD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL			PLASTER - SAND FINISH, PAINT TBD					
		3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13		CERAMIC TILE - 12" x 24"					
		3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13		CERAMIC TILE -					
		4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13		CAST IN PLACE CONCRETE - SACK FINISH, PAINT:					
		5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL			CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT:					
										<b>LEGEND</b>				
										3 HOUR OCCUPANCY SEPARATION				
										BALCONY TYPE				

PROJECT NO	5548.00
FILE NAME	WRITE CENTRAL FILE PATH HERE E.G. P:\0000\000000000000\000000000000
DRAWN BY:	CHECKED BY:
PLOT DATE:	5/26/2016 10:19:36 AM
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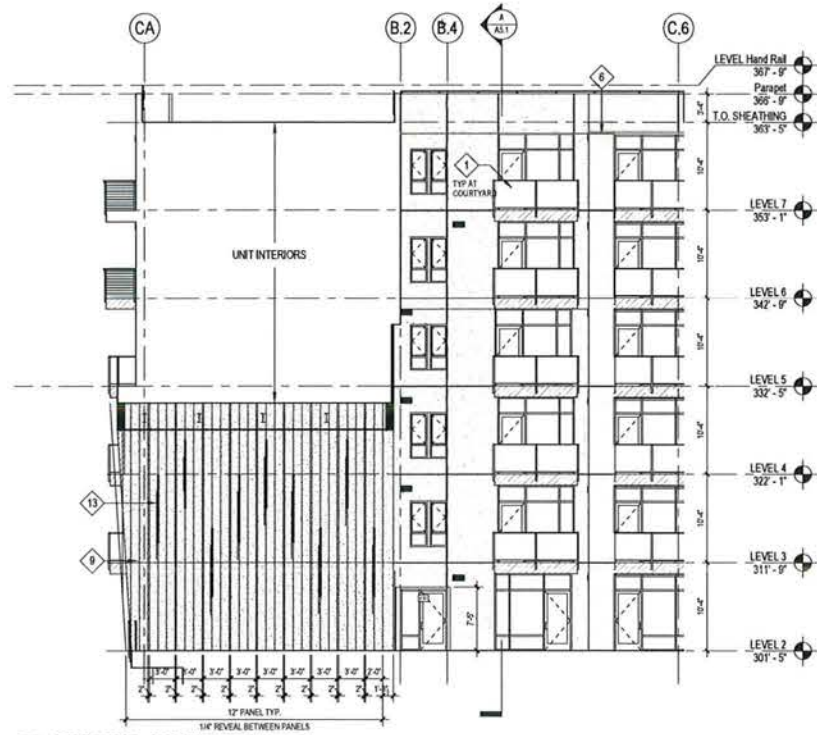
EXTERIOR  
ELEVATIONS

	DRAWING NO.
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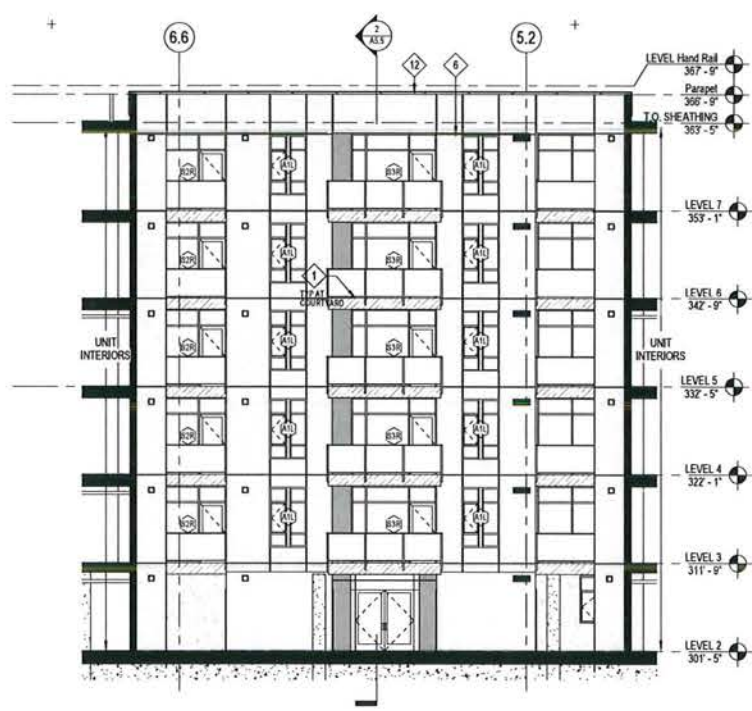
A4.1

27 OF 3

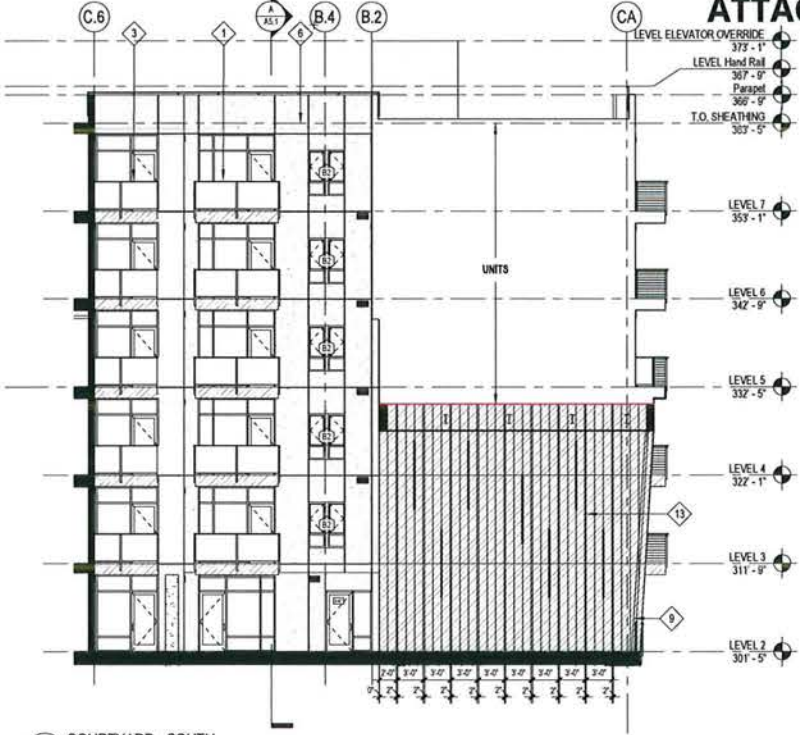




3 COURTYARD - NORTH  
SCALE: 1/8" = 1'-0"



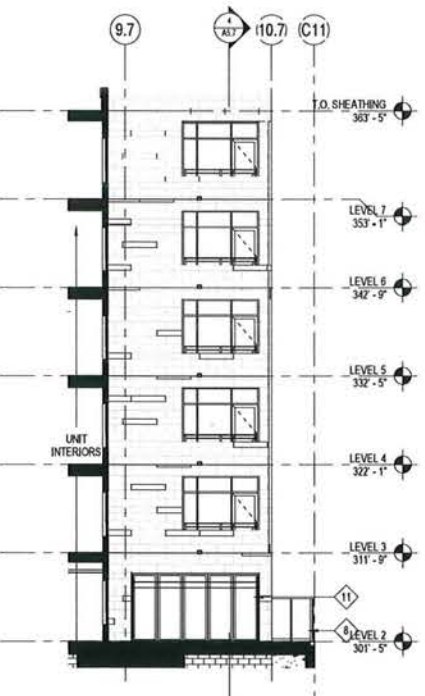
2 COURTYARD - EAST  
SCALE: 1/8" = 1'-0"



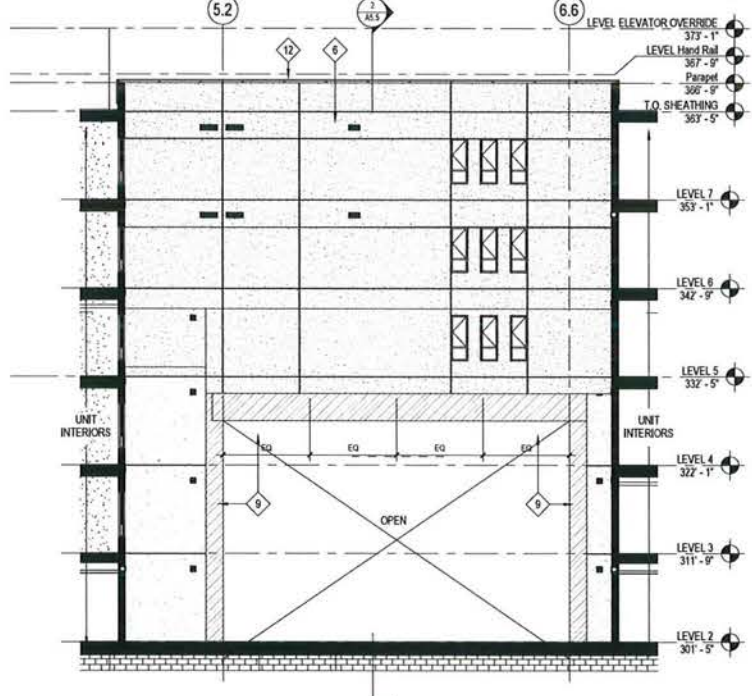
1 COURTYARD - SOUTH  
SCALE: 1/8" = 1'-0"



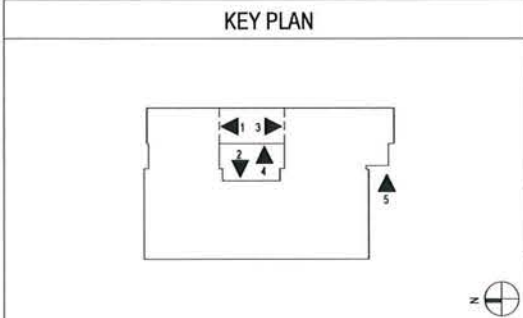
6 TYP. TILE COURSING  
SCALE: 3/8" = 1'-0"



5 POOL EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4 COURTYARD - WEST  
SCALE: 1/8" = 1'-0"



ELEVATION / SECTION GENERAL NOTES				ELEVATION / SECTION KEYNOTES						EXTERIOR MATERIAL LEGEND						
REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.				KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE		16 PLANTERS PER LANDSCAPE		SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.				1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VID BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13			PLASTER - SAND FINISH, PAINT TBD			METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-35; WALLS: R-15; FLOOR OVERHANGS: R-15.				1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE				PLASTER - SAND FINISH, PAINT TBD			METAL PANEL -	
WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.				2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VID BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING				PLASTER - SAND FINISH, PAINT TBD				
PREFINISHED IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH U.O.N.				2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE				PLASTER - SAND FINISH, PAINT TBD				
TILE PATTERNS: SEE 6/A4.2 FOR TYPICAL TILE PATTERN				3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ VID BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL				PLASTER - SAND FINISH, PAINT TBD				
				3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13			CERAMIC TILE - 12" x 24"				
				3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13			CERAMIC TILE -				
				4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13			CAST IN PLACE CONCRETE - SACK FINISH, PAINT.			3 HOUR OCCUPANCY SEPARATION	
				5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL				CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT.			BALCONY TYPE	

PROJECT NO:  
SS44-00

FILE NAME:  
SS44-00-CONTROL PANEL ELEVATION  
SS44-00-CONTROL PANEL ELEVATION  
DRAWN BY:      CHECKED BY:

PLOT DATE:  
6/26/2018 10:37:28 AM

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ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF CARRIER JOHNSON + CULTURE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CARRIER JOHNSON + CULTURE. FILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT A PUBLICATION OF SAME. NO COPYING, REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CARRIER JOHNSON + CULTURE.



1 AXONOMETRIC 1



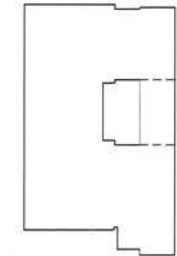
2 AXONOMETRIC 2

STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103

10.20.2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES

KEY PLAN



PROJECT NO. 5545-00  
DATE 10.20.2016  
DRAWN BY: J. JOHNSON  
CHECKED BY: J. JOHNSON  
DATE 10.20.2016  
TITLE EXTERIOR ISOMETRICS (FOR REFERENCE ONLY)  
DATE 10.20.2016



carrierson + culture  
architecture + environments + brand strategy + graphics  
1301 third avenue san diego ca 92101  
phone 619.239.6227

STRAUSS FIFTH AVENUE  
3534 FIFTH AVENUE  
SAN DIEGO CA 92103

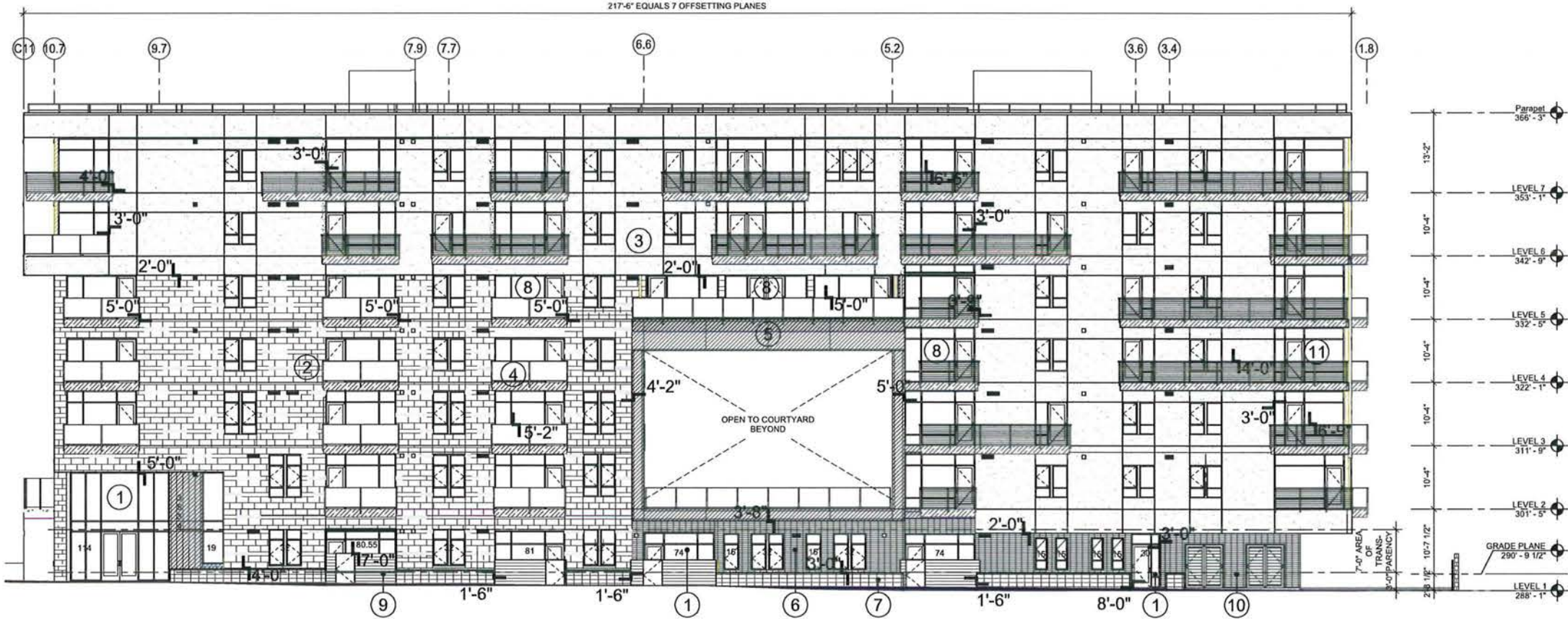
MATERIAL LEGEND

1	GLASS STOREFRONT
2	CERAMIC TILE-RUNNING BOND PATTERN
3	STUCCO COLOR NO. 1
4	GLASS GUARDRAIL WITH ALUMINUM RAILS
5	METAL PANEL
6	CERAMIC TILE-MOSAIC OR STACKED BOND
7	CMU PLANTER
8	APARTMENT UNIT GLAZING SYSTEM
9	IPE WOOD SLAT FENCING
10	HORIZONTAL METAL GUARDRAIL

15'-2" DISTANCE BETWEEN FRONT PLANE AND BACK PLANE

TRANSPARENCY AREA CALCULATION

AREA BETWEEN 3-10 FEET ABOVE SIDEWALK	1,428 SF
TRANSPARENCY REQUIRED	714 SF
TRANSPARENCY PROVIDED	723 SF



1 EAST ELEVATION-OFFSETTING PLANE DIAGRAM AND TRANSPARENCY DIAGRAM  
SCALE: 1/8" = 1'-0"



2 PERSPECTIVE VIEW FROM FIFTH AVENUE  
SCALE: 1/8" = 1'-0"

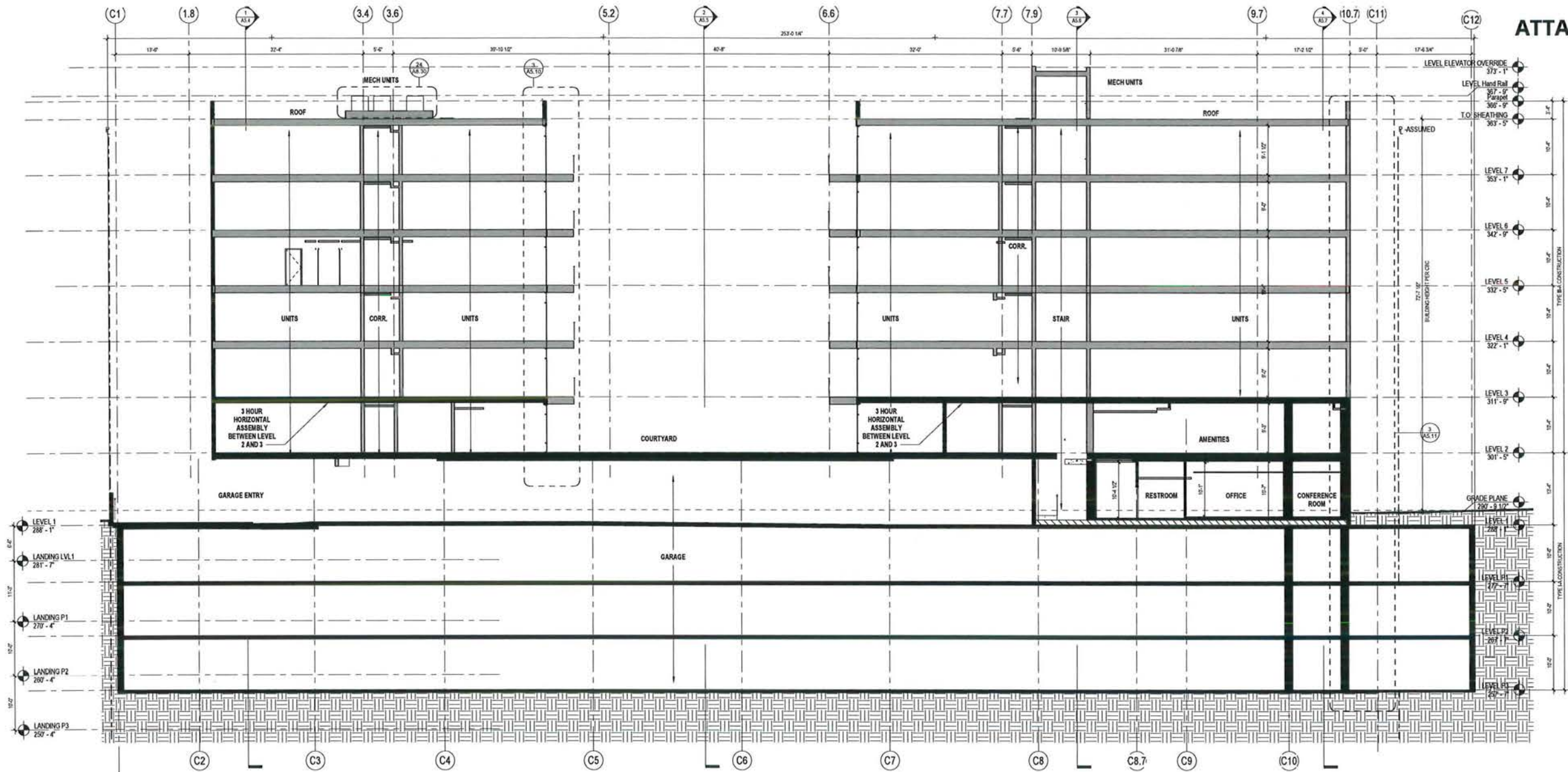
10-20-2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES:

PROJECT NO:  
5548.00  
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DRAWN BY: VJP  
CHECKED BY: VJP  
PLOT DATE:  
3/22/2016 1:24:49 PM  
TITLE:

OFFSETTING  
PLANE  
DIAGRAM

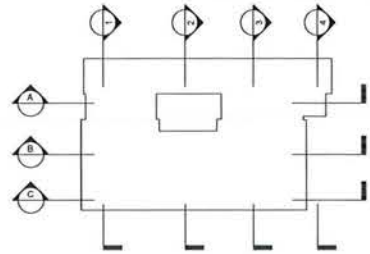
DRAWING NO:





A BUILDING SECTION A  
SCALE: 1/8" = 1'-0"

KEY PLAN



10-20-2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES:

ELEVATION / SECTION GENERAL NOTES

**REFERENCE POINTS**  
VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.

**METAL FINISHES**  
ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.

**INSULATION**  
PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOF: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.

**WEATHER-TOUGHENING**  
ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRAPPED, OR OTHERWISE SEALED.

**PREMISES IDENTIFICATION**  
ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH U.O.N.

**TILE PATTERN**  
SEE 6/A42 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ VD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 8/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
	PLASTER - SAND FINISH, PAINT TBD			METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
	PLASTER - SAND FINISH, PAINT TBD			METAL PANEL -	
	PLASTER - SAND FINISH, PAINT TBD				
	PLASTER - SAND FINISH, PAINT TBD				
	CERAMIC TILE - 12" x 24"				
	CERAMIC TILE -				
	CAST IN PLACE CONCRETE - SACK FINISH, PAINT				
	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT				

LEGEND

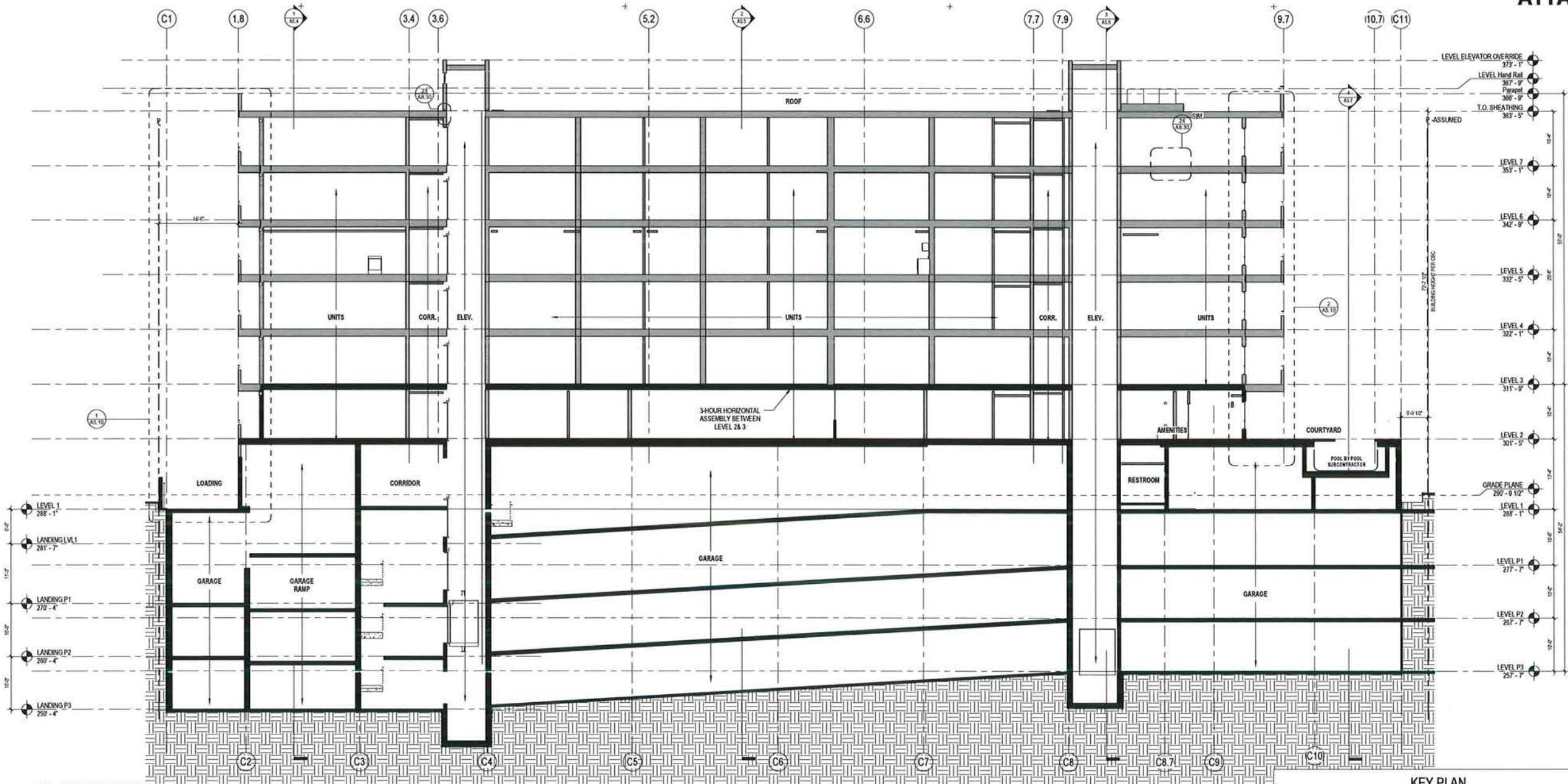
3 HOUR OCCUPANCY SEPARATION  
BALCONY TYPE

BUILDING SECTION

A5.1  
31 OF 37

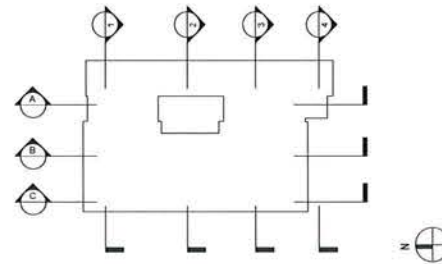


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B BUILDING SECTION B  
SCALE: 1/8" = 1'-0"

KEY PLAN



10.20.2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES

PROJECT NO:  
5548.00  
FILE NAME:  
A5.2 - BUILDING SECTION B  
DRAWN BY: [blank] CHECKED BY: [blank]  
PLOT DATE:  
5/29/2016 11:38:22 AM  
TITLE:

BUILDING  
SECTION

DRAWING NO:

A5.2

32 OF 37

ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:  
VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.  
METAL FINISHES:  
ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.  
INSULATION:  
PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N.: ROOFS: R-30; WALLS: R-13; FLOOR OVERHANGS: R-13.  
WEATHER-TIGHTNESS:  
ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, AND/OR OVERSTRIPPED, OR OTHERWISE SEALED.  
FIRE-RATED IDENTIFICATION:  
ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/16" VIBE STROKE WIDTH VARIO.  
TILE PATTERN:  
SEE 6/A1.2 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	8/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

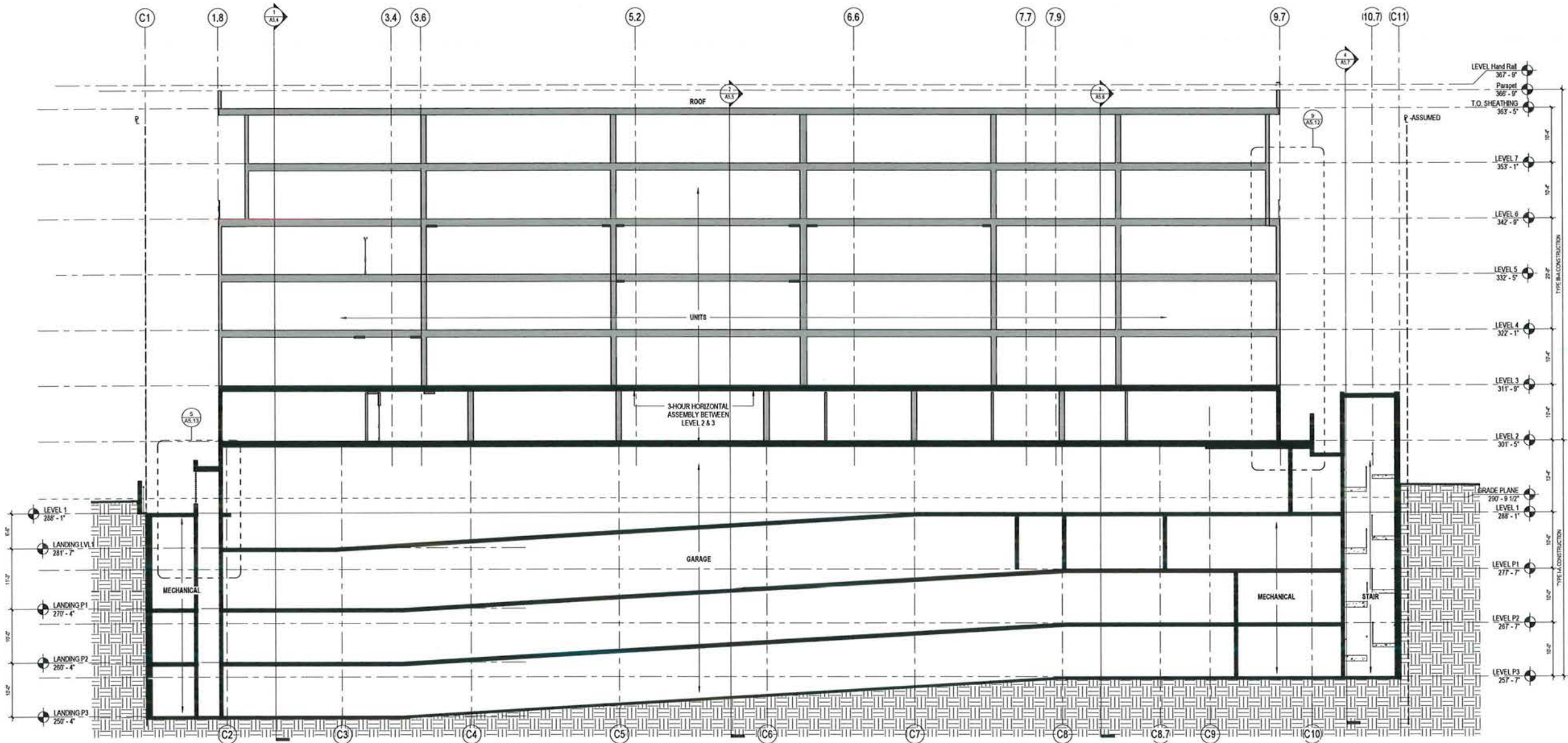
16 PLANTERS PER LANDSCAPE

EXTERIOR MATERIAL LEGEND

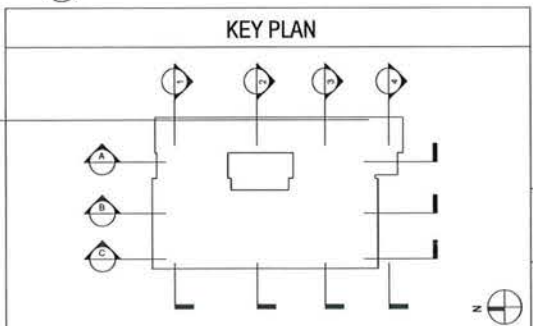
SYMBOL	DESCRIPTION	DETAIL
[Pattern]	PLASTER - SAND FINISH, PAINT TBD	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD	
[Pattern]	PLASTER - SAND FINISH, PAINT TBD	
[Pattern]	CERAMIC TILE - 12" x 24"	
[Pattern]	CERAMIC TILE -	
[Pattern]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT	
[Pattern]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT	

DETAIL	SYMBOL	DESCRIPTION	DETAIL
	[Pattern]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
	[Pattern]	METAL PANEL -	
LEGEND			
3 HOUR OCCUPANCY SEPARATION			
BALCONY TYPE			





**C BUILDING SECTION C**  
SCALE: 1/8" = 1'-0"



19-20 2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES

**BUILDING SECTION**

DRAWING NO.

**A5.3**  
33 OF 37

ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:  
VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.M.  
METAL FINISHES:  
ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.M.  
INSULATION:  
PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.M. ROOF: R-30, WALLS: R-15, FLOOR OVERHANG: R-10.  
WEATHER TIGHTNESS:  
ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.  
PREMISES IDENTIFICATION:  
ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH, U.O.M.  
TILE PATTERN:  
SEE 6/A42 FOR TYPICAL TILE PATTERNS

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ V.D. BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC. SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ V.D. BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

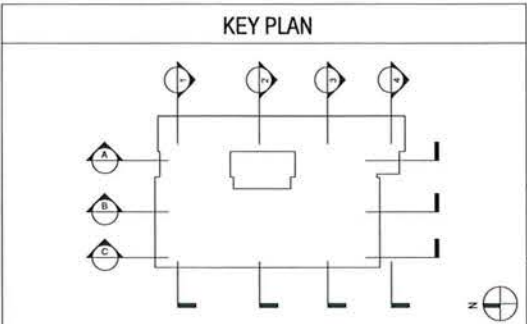
SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD		[Symbol]	METAL PANEL -	
[Symbol]	PLASTER - SAND FINISH, PAINT TBD				
[Symbol]	PLASTER - SAND FINISH, PAINT TBD				
[Symbol]	CERAMIC TILE - 12" x 24"				
[Symbol]	CERAMIC TILE -				
[Symbol]	CAST IN PLACE CONCRETE - SACK FINISH, PAINT.				
[Symbol]	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT.				

LEGEND

--- 3 HOUR OCCUPANCY SEPARATION  
⑩ BALCONY TYPE



3534 FIFTH AVENUE  
SAN DIEGO CA 92103



ELEVATION / SECTION GENERAL NOTES			ELEVATION / SECTION KEYNOTES							EXTERIOR MATERIAL LEGEND						
<p>REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.</p> <p>METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.</p> <p>INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N.: ROOFS: R-30; WALLS: R-10; FLOOR OVERHANG: R-10.</p> <p>WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STOPPED, OR OTHERWISE SEALED.</p> <p>FINISHED IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH UNIFORM.</p> <p>TILE PATTERN: SEE 6/A1.2 FOR TYPICAL TILE PATTERN</p>			KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE		10	PLANTERS PER LANDSCAPE		SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
	1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VD BALCONY	2/ A8.14	8	CONTROL JOINT	21/ A8.13						PLASTER - SAND FINISH, PAINT TBD			METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
	1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE							PLASTER - SAND FINISH, PAINT TBD			METAL PANEL -	
	2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ VD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING							PLASTER - SAND FINISH, PAINT TBD				
	2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE							PLASTER - SAND FINISH, PAINT TBD				
	3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ VD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL							PLASTER - SAND FINISH, PAINT TBD				
	3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13						CERAMIC TILE - 12" x 24"				
	3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13						CERAMIC TILE -		LEGEND		
	4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13						CAST IN PLACE CONCRETE - SACK FINISH, PAINT:		3 HOUR OCCUPANCY SEPARATION		
	5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL							CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT:		(10) BALCONY TYPE		



3534 FIFTH AVENUE  
SAN DIEGO CA 92103



A5.5

35 OF 37

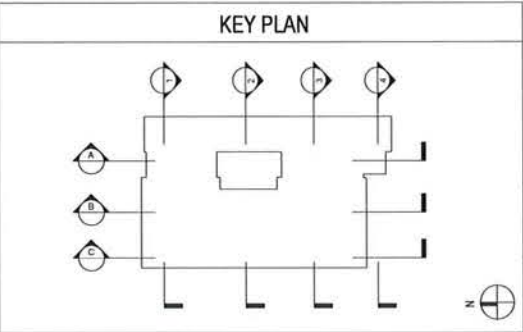
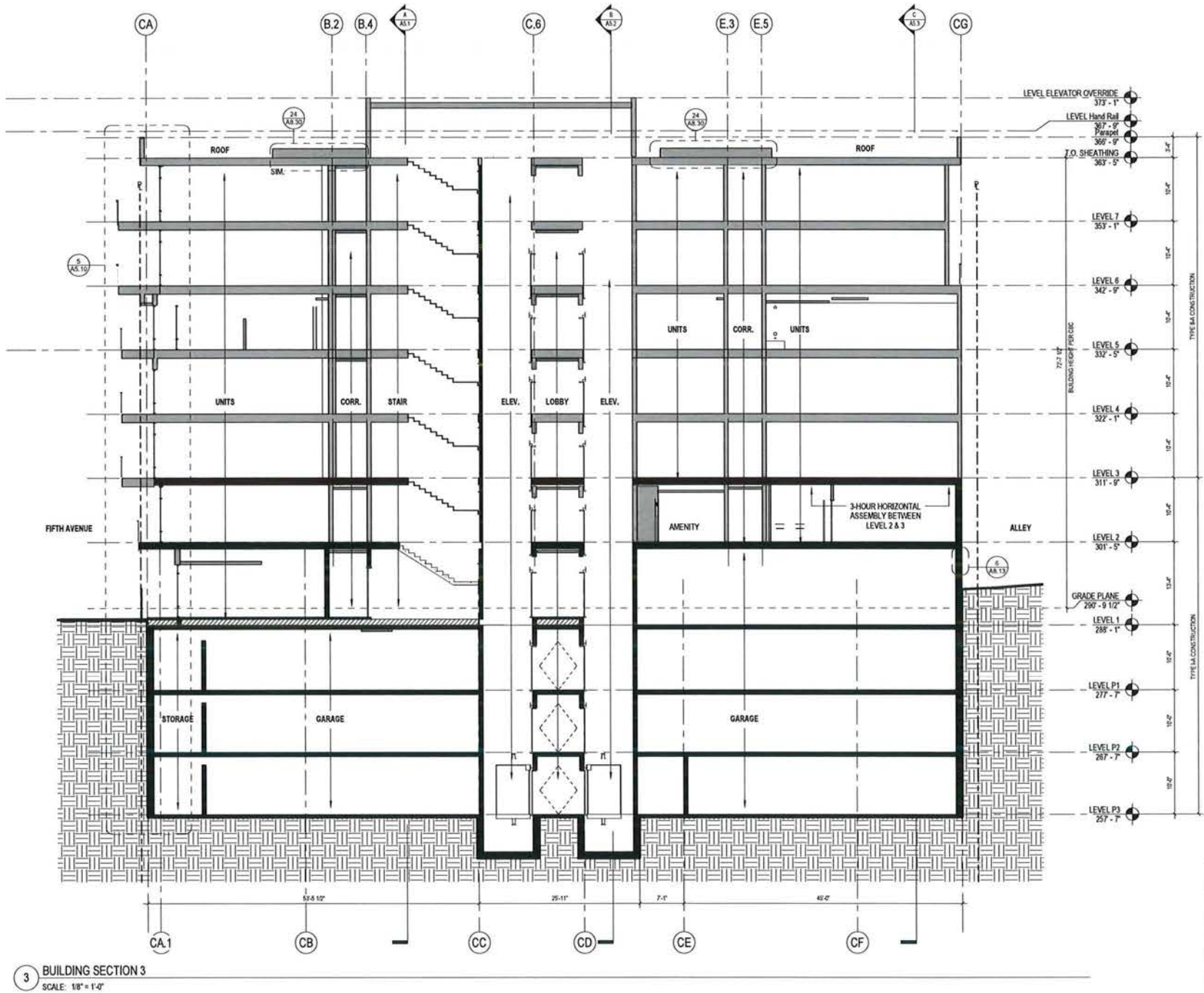


carrierjohnson + cultura  
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1301 third avenue san diego ca 92101  
phone 619.239.2353 | fax 619.239.0227

STRAUSS FIFTH AVENUE

3534 FIFTH AVENUE  
SAN DIEGO CA 92103



15.20.2016 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES:

PROJECT NO:  
5548.00  
FILE NAME:  
5548.00 - STRAUSS FIFTH AVENUE  
DRAWN BY: CHECKED BY:  
PLOT DATE:  
5/29/2019 2:55:08 PM  
TITLE:

BUILDING  
SECTION

DRAWING NO:  
**A5.6**  
36 OF 37

ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:  
VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.  
METAL FINISHES:  
ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.  
INSULATION:  
PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOF'S: R-30, WALLS: R-15, FLOOR OVERHANGS: R-15.  
WEATHER-TIGHTNESS:  
ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.  
PREMISES IDENTIFICATION:  
ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 12" HIGH NUMERALS WITH 1/12" WIDE STROKE (NOTH) U.O.N.  
TILE PATTERN:  
SEE 0/A12 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ Y/D BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ Y/D BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ Y/D BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL. PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	18/ A8.13 6/ A8.13
5	HORIZONTAL WOOD SLAT FENCE W/ STEEL POSTS		15	CONTINUE REVEAL AT RETURN WALL	

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
	PLASTER - SAND FINISH, PAINT TBD
	PLASTER - SAND FINISH, PAINT TBD
	PLASTER - SAND FINISH, PAINT TBD
	PLASTER - SAND FINISH, PAINT TBD
	PLASTER - SAND FINISH, PAINT TBD
	CERAMIC TILE - 12" x 24"
	CERAMIC TILE -
	CAST IN PLACE CONCRETE - SACK FINISH, PAINT
	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT

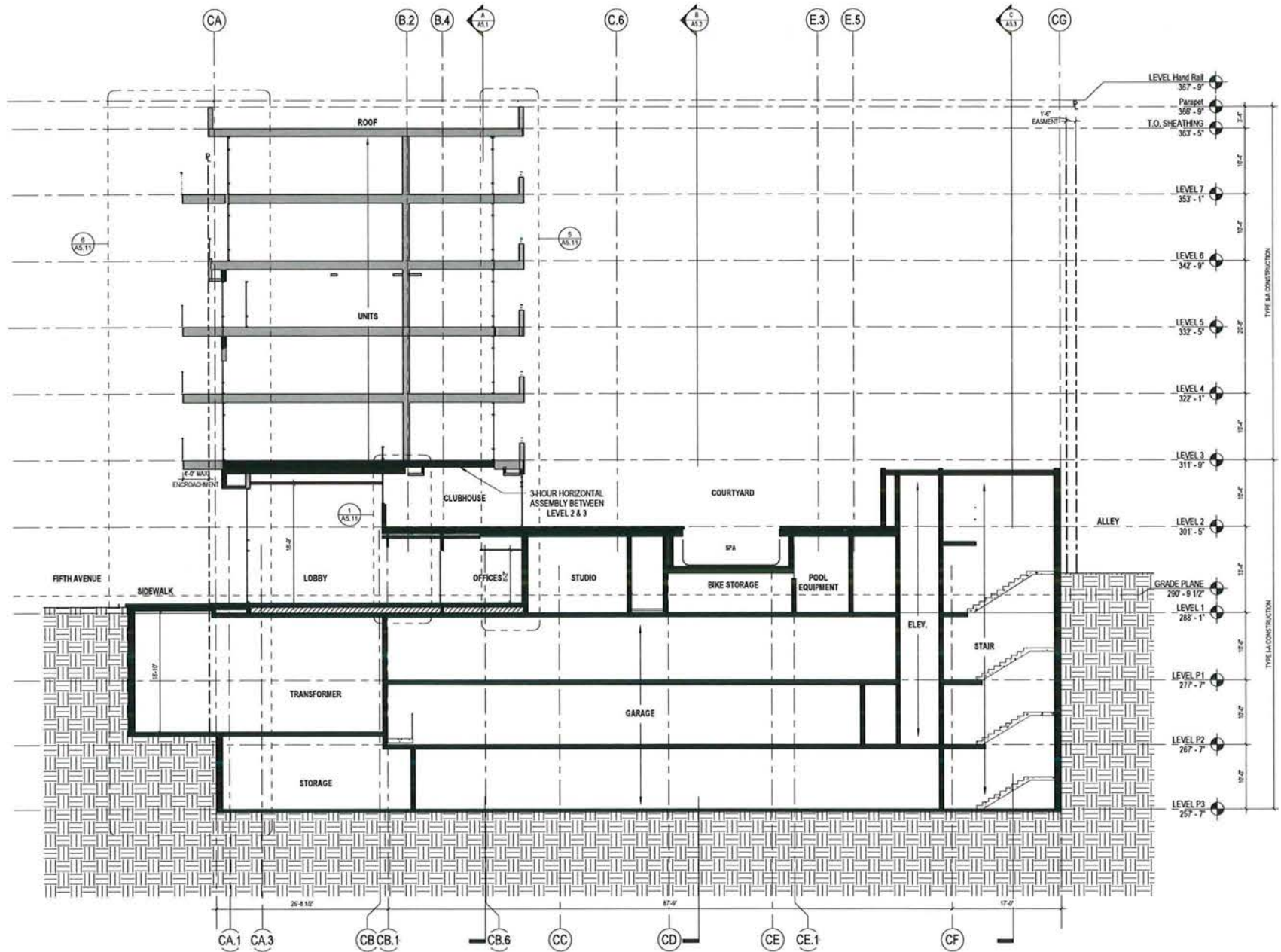
LEGEND

- 3 HOUR OCCUPANCY SEPARATION
- BALCONY TYPE

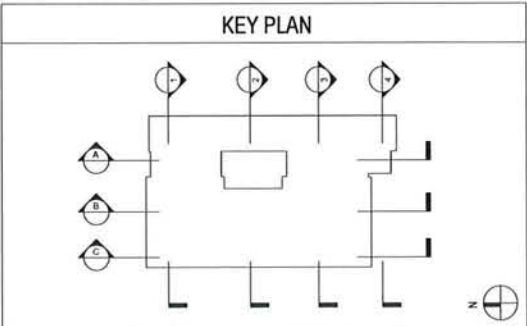


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1301 third avenue san diego ca 92101  
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STRAUSS FIFTH AVENUE  
3534 FIFTH AVENUE  
SAN DIEGO CA 92103



4 BUILDING SECTION 4  
SCALE 1/8" = 1'-0"



10.20.2018 SITE DEVELOPMENT  
PERMIT SUBMITTAL  
ISSUES:

PROJECT NO:  
5548.00  
FILE NAME:  
BMPR\_CENTRAL\_A5\_14\_2018.DWG  
DRAWN BY: CHECKED BY:  
PLOT DATE:  
5/26/2018 3:17:39 PM  
TITLE:

BUILDING  
SECTION

DRAWING NO.

A5.7  
37 OF 37

ELEVATION / SECTION GENERAL NOTES

REFERENCE POINTS:  
VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS U.O.N.  
METAL FINISHES:  
ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.  
INSULATION:  
PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N.: ROOFS: R-30; WALLS: R-19; FLOOR OVERHANG: R-19.  
WEATHER-TIGHTNESS:  
ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.  
FIRE-RATED IDENTIFICATION:  
ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WITH U.N.O.  
TILE PATTERN:  
SEE 6/A4.2 FOR TYPICAL TILE PATTERN

ELEVATION / SECTION KEYNOTES

KEYNOTE	DESCRIPTION	DETAIL	KEYNOTE	DESCRIPTION	DETAIL
1A	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	2/ A8.14	6	CONTROL JOINT	21/ A8.13
1B	GUARDRAIL TYPE 1: GLASS GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ CONC. TOPPING	4/ A8.14	8	GLASS POOL FENCE	
2A	GUARDRAIL TYPE 2: STEEL GUARDRAIL W/ METAL FASCIA & STUCCO SOFFIT @ WD BALCONY	14/ A8.14	9	METAL RAINSCREEN SIDING	
2B	GUARDRAIL TYPE 2: STEEL GUARDRAIL @ CONC SLAB	14/ A8.14 10/ A8.14	10	OVERHEAD COILING GARAGE SECURITY GRILLE	
3A	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ WD BALCONY	7/ A8.14	11	FOLDING ALUMINUM OPERABLE GLASS WALL	
3B	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC. TOPPING	12/ A8.14	12	GUARDRAIL AT PARAPET	24/ A8.13
3C	GUARDRAIL TYPE 3: GLASS GUARDRAIL W/ STUCCO FASCIA & SOFFIT @ CONC SLAB	9/ A8.14	13	LINEAR STRIP LIGHT RECESSED IN MTL PANEL	17/ A8.13
4	PREFINISHED 2" x 6" OFFSET-GLAZED ALUM STOREFRONT SYSTEM PER WINDOW SCHEDULE		14	6" REVEAL	19/ A8.13 6/ A8.13
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EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
	PLASTER - SAND FINISH, PAINT TBD
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	PLASTER - SAND FINISH, PAINT TBD
	CERAMIC TILE - 12" x 24"
	CERAMIC TILE -
	CAST IN PLACE CONCRETE - SACK FINISH, PAINT:
	CONCRETE BLOCK - PLASTER FINISH AT PLANTERS, STEEL TROWEL PLASTER AND PAINT:

DETAIL	SYMBOL	DESCRIPTION	DETAIL
		METAL PANEL - MATCH MULLIONS BY WINDOW MANUF.	
		METAL PANEL -	
LEGEND			
		3 HOUR OCCUPANCY SEPARATION	
		BALCONY TYPE	





STRAUSS FIFTH AVENUE LOOKING NORTHWEST





STRAUSS FIFTH AVENUE- VIEW LOOKING WEST

carrierjohnson + culture  
architecture + environments + brand strategy + graphics





STRAUSS FIFTH AVENUE - VIEW LOOKING SOUTHWEST





## UPTOWN PLANNERS

### MEMORANDUM OF MOTION

MOTION APPROVED ON MAY 2, 2016  
BY THE BOARD OF UPTOWN PLANNERS

Motion Approved By Uptown Planners on May 2, 2016:

The board of Uptown Planners passed the following motion regarding the 3534 Fifth Avenue project ("Strauss Fifth Avenue Apartments") at its May 2, 2016; the item was noticed on the agenda as indicated below:

- I. 3534 FIFTH AVENUE ("STRAUSS FIFTH AVENUE APARTMENTS"):** -- **Process Three - Hillcrest** -- Presentation by Gordon Carrier, Carrier Johnson Architects: Site Development Permit for the construction of a 233,162-square-foot, six-story; 113-unit apartment building with amenities over three levels of subterranean parking at 3534 Fifth Avenue. The 1.08-acre site is in the CV-1 Zone of the Mid-City Communities Planned District.

The project's architect presented the project, and indicated the project would be revised to increase the height and the number of units. The applicant's presented the revised project in a PowerPoint presentation. The applicant also stated at the meeting that the second assessment letter/cycle issues would be issued by planning staff later in May.

After public comment and board discussion, the board of Uptown Planners voted 7-6-1 to recommend approval of the project as presented, subject to two conditions: (1.) that there should be commercial use added to the project along Fifth Avenue; (2.) that set-backs be provided along the north side of the project above 65 feet; along the border of the Casitas bungalow court property.

Voting YES 7      Voting NO 6      Abstain 1 (non-voting chair)

A substitute motion to delay review of the project until the second assessment letter/cycle issues is reviewed by the board failed by a vote of 4-9-2.

Two board members voted against the approved motion because they opposed condition two because it might not allow for affordable housing units in the project; one board member indicated opposition based on the project being out of scale with the neighborhood, and resulting in a net loss of parking; a third member indicated he wished to review the 2<sup>nd</sup> cycle issues before voting.

Leo Wilson,  
Chair, Uptown Planners





City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

## Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

Project Title

Strauss Fifth Avenue

Project No. For City Use Only

451832

Project Address:

3534 Fifth Avenue, San Diego, CA 92103

### Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:



<b>Project Title:</b> Strauss Fifth Avenue	<b>Project No. (For City Use Only)</b>
---	--

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☐ Corporation    ☐ Limited Liability -or-    ☐ General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☒ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☒ Yes ☐ No

Corporate/Partnership Name (type or print): Strauss Fifth Avenue, L.P. <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 2055 Third Ave., Suite 200 City/State/Zip: San Diego, CA 92101 Phone No: _____ Fax No: _____ ( 619 ) 696-9075 Name of Corporate Officer/Partner (type or print): Diana Casey Title (type or print): Vice President of General Partner Signature : _____ Date: _____ Diana Casey    10-20-15	Corporate/Partnership Name (type or print): SEE ATTACHED <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____ _____
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____ _____	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____ _____
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____ _____	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____ _____



ATTACHMENT TO OWNERSHIP DISCLOSURE STATEMENT

ALL LIMITED PARTNERS in STRAUSS FIFTH AVENUE, L.P.

Danube Enterprises, LLC  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Vice President: Diana Casey



Paul U. Strauss  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Anita Strauss  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Brian Strauss  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Kathleen Strauss  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Diana Strauss Casey  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Randall Strauss  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075

Donald R. Clauson  
2055 Third Ave., Suite 200  
San Diego, CA 92101  
619.696.9075





Front of project site, west side of Fifth Avenue. Existing structure and parking lots on either side to be demolished for project construction.



Looking north on Fifth Avenue. Existing onsite office building (left side) at 3500 Fifth Avenue, to remain with project implementation.





Looking from Fifth Avenue at the south side of existing structure and parking lot to be demolished.



Looking from Fifth Avenue at the north side of the existing structure and parking lot to be demolished.





Looking north on Fifth Avenue, northern end of project site on the left.



Looking south on Fifth Avenue, southern end of project site with existing office building to remain on the right.





Looking south on Fifth Avenue with existing commercial development on opposite side of street. Project site on right side.



Looking north on Fifth Avenue, existing development immediately north of project site.