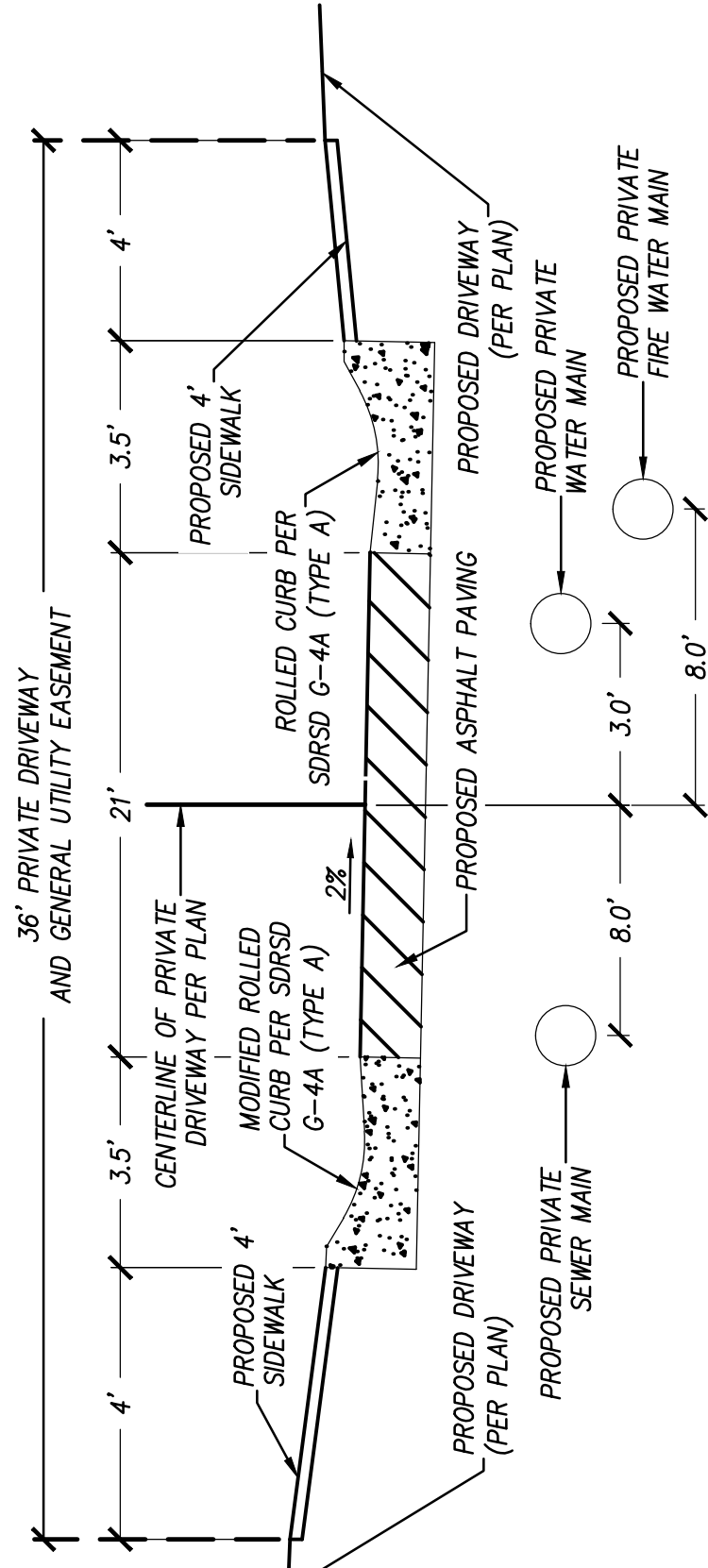
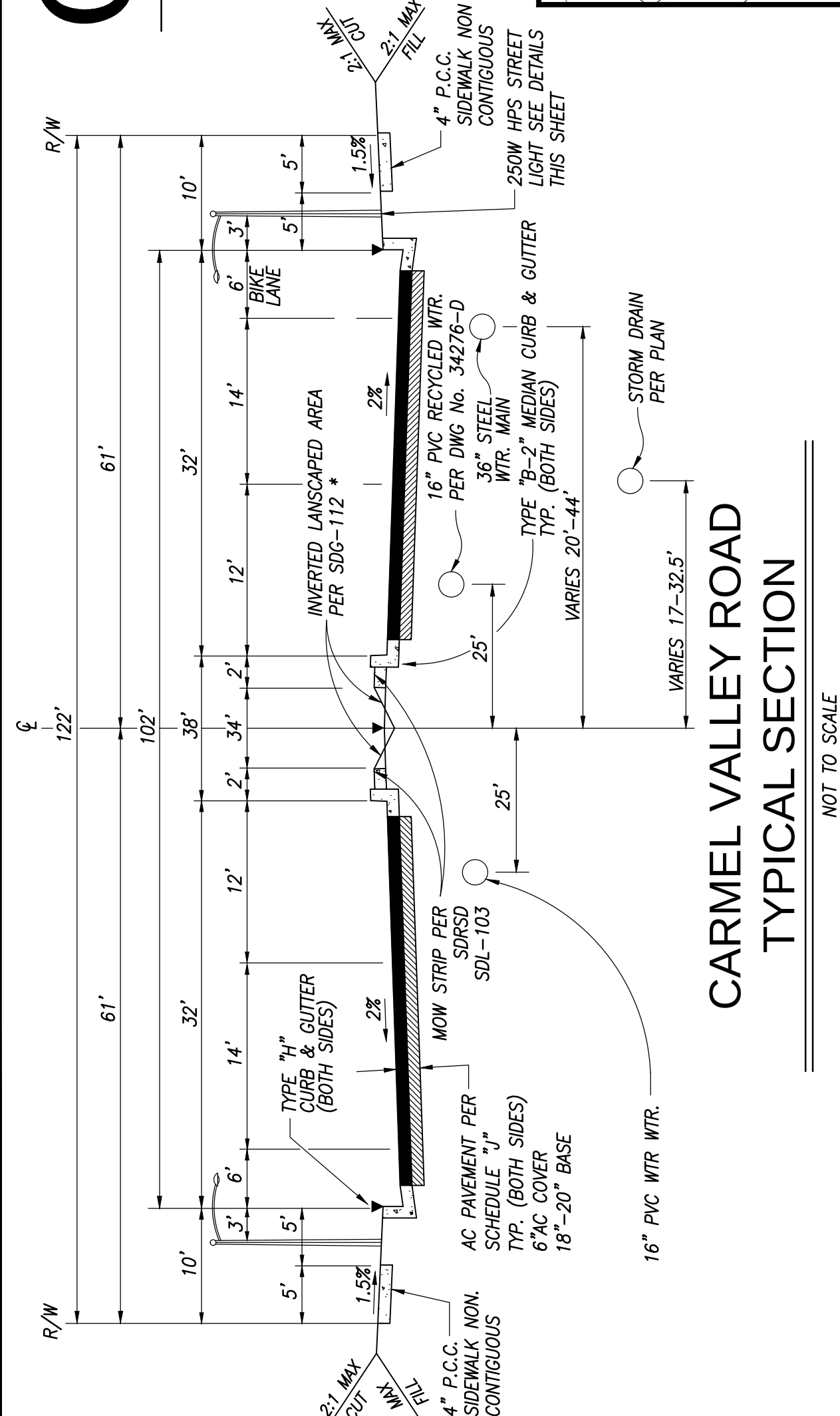


CARMEL VALLEY ROAD - UNITAS

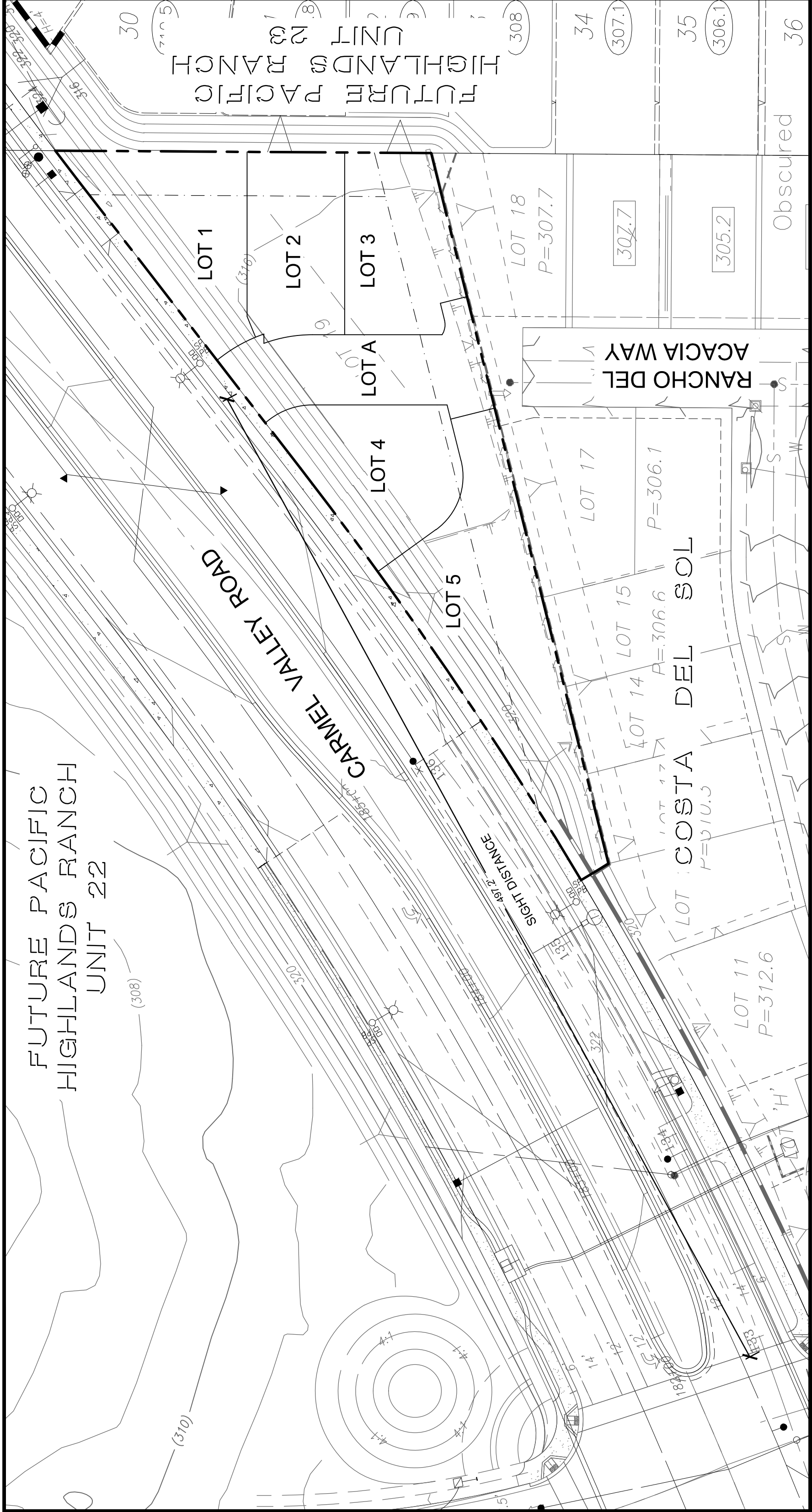
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VESTING TENTATIVE MAP NO. 1424164
WATER EASEMENT VACATION



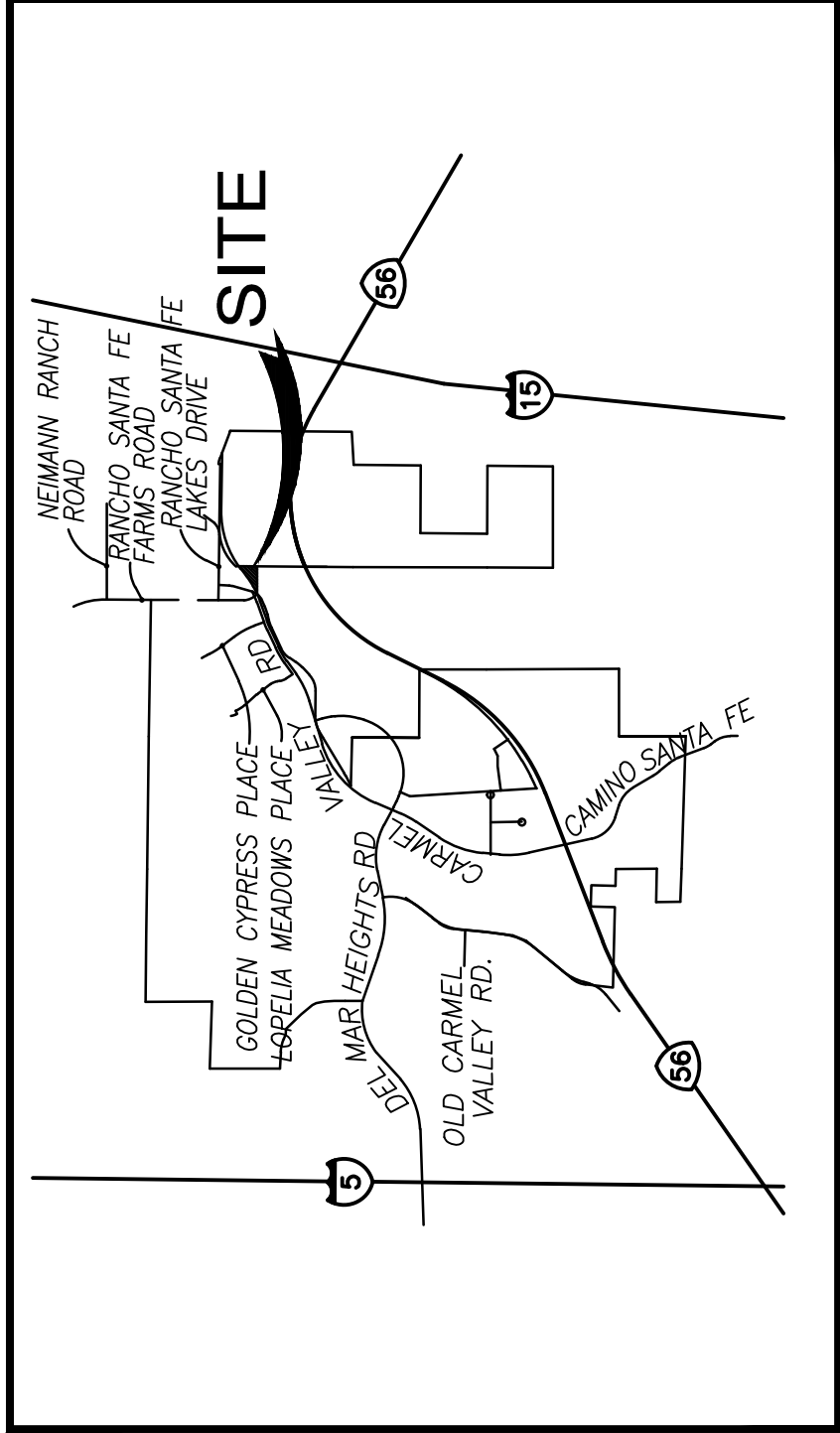
TYP. STREET SECTION
(PRIVATE ROAD)
NOT TO SCALE

RX-1-2 REGULATION TABLE

REGULATION	REGULATION REQUIREMENT	DEVIATION REQUEST/PROPOSED REGULATION	LOTS REQUESTING DEVIATION
MIN LOT AREA (SF) [131.0441]	3,000 SF	COMPLIES	---
LOT WIDTH (FT) (TABLE 131-042)	35 FT	20 FT	1, 5
STREET FRONTAGE (FT) [131.0442(B)]	35 FT	COMPLIES	---
LOT WIDTH (CORNER) (FT) (131-043)	35 FT	COMPLIES	---
LOT DEPTH (FT) (131-043)	50 FT	COMPLIES	---
MIN FRONT SETBACK (FT) (131-044)	OVERALL: 15 FT VARIABLE: 15 FT FOR AT LEAST 28%, 20 FT FOR AT LEAST 28%, NO MORE THAN 40% IN ANY ONE CATEGORY	OVERALL: 11 FT	4
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	MINIMUM SIDE AND STREET SIDE SETBACKS ARE AT LEAST 3 FEET OR 10 PERCENT OF LOT WIDTH, WHICHEVER IS GREATER. IF IT IS NOT REQUIRED TO BE MORE THAN 5 FEET	VARIABLE SETBACKS TO NOT APPLY	1-5
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	NO SIDE SETBACK IS REQUIRED FOR ONE SIDE ONLY PROVIDED THE SIDE WITH NO SETBACK IS ADJACENT TO OTHER PROPERTY WITHIN AN R-X ZONE	4 FT	2, 3
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	COMPLIES	COMPLIES	---
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	A SEPARATION OF AT LEAST 10 FEET BETWEEN BUILDINGS MUST BE OBSERVED ON AT LEAST ONE SIDE OF EACH BUILDING	COMPLIES	2
MIN STREET SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	MINIMUM SIDE AND STREET SIDE SETBACKS ARE AT LEAST 3 FEET OR 10 PERCENT OF LOT WIDTH, WHICHEVER IS GREATER. IF IT IS NOT REQUIRED TO BE MORE THAN 5 FEET	COMPLIES	---
MIN STREET SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	NO SIDE SETBACK IS REQUIRED FOR ONE SIDE ONLY PROVIDED THE SIDE WITH NO SETBACK IS ADJACENT TO OTHER PROPERTY WITHIN AN R-X ZONE	COMPLIES	---
MIN STREET SIDE SETBACK (FT) [131.0443(B)(2)(A)(V)]	A SEPARATION OF AT LEAST 10 FEET BETWEEN BUILDINGS MUST BE OBSERVED ON AT LEAST ONE SIDE OF EACH BUILDING	COMPLIES	---
MIN REAR SETBACK (FT) [131.0443(B)(3)]	10 FT	4 FT	1, 4
MAX STRUCTURE HEIGHT (FT) [131.0444(C)]	COMPLIES (MAX STRUCTURE HEIGHT IS 28'-8")	COMPLIES (MAX STRUCTURE HEIGHT IS 28'-8")	---
MAX FLOOR AREA RATIO [131.0446(C)]	0.80	COMPLIES (FAR = 0.50, SEE LOT SUMMARY TABLE)	---
ACCESSORY USES AND STRUCTURES [131.0448 AND 141.0206]	APPLIES	N/A (NO ACCESSORY STRUCTURES)	---
GARAGE REGULATIONS [131.0449(A)]	APPLIES	N/A (GARAGE NOT IN EXISTING EMBANKMENT)	---
BUILDING SPACING [131.0450]	DETACHED DWELLINGS SHALL MAINTAIN A MINIMUM DISTANCE OF 6 FEET BETWEEN DWELLINGS AND 3 FEET BETWEEN ANY NON-HABITABLE ACCESSORY BUILDING LOCATED ON THE SAME PREMISES	COMPLIES	---
ARCHITECTURAL PROJECTIONS & ENCROACHMENTS [131.041(A)]	APPLIES	COMPLIES (131.041(A)(4)(A) FIREAPACE NOT CLOSER THAN 2'-6"	---
ROOF DESIGN VARIATION [131.0463]	IN THE R-X ZONES, FOR DEVELOPMENTS EXCEEDING 8 DWELLING UNITS, AT LEAST 30 PERCENT OF THE UNITS SHALL HAVE ROOF DESIGNS THAT DIFFER FROM THE REMAINDER OF THE DWELLING UNITS	N/A (LESS THAN 8 UNITS)	---
SUPPLEMENTAL REGULATIONS [131.0443(B)(1)]	FOR LOTS WITH ALL ACCESSORY A MINIMUM 20' BUFFER OF THE REMAINDER OF THE BUILDING FACADE ON THE GROUND FLOOR MUST BE UTILIZED FOR HABITABLE SPACE	COMPLIES (38.8% OF FACADE IS HABITABLE SPACE)	---
REFUSE AND RECYCLABLE MATERIAL STORAGE [142.0803]	APPLIES	COMPLIES (1/2 OF REFUSE STORAGE AREA AND 1/4 PROVIDED IN GARAGE)*	---
MINIMUM USABLE OPEN SPACE (TABLE 143-04B)	500 SQ FT PER DWELLING UNIT	COMPLIES (2,500 SF REQUIRED; 10,904 SF PROVIDED)	---
MINIMUM TOTAL OPEN SPACE (TABLE 143-04B)	1,000 SQ FT PER DWELLING UNIT	COMPLIES (5,000 SF REQUIRED; 11,493 SF PROVIDED)	---
ADDITIONAL REGULATIONS			
PLANNED DEVELOPMENT PERMIT: BUILDING COVERAGE [143.042(C)]	BUILDING COVERAGE SHALL NOT EXCEED 60 PERCENT OF THE SITE AREA	COMPLIES (25.4% PROPOSED BUILDING COVERAGE)	---
RETAINING WALL IN FRONT YARD [142.0340]	TWO RETAINING WALLS WITH A MAXIMUM HEIGHT OF 3 FEET EACH ARE PERMITTED IN THE REQUIRED FRONT AND STREET SIDE YARDS...	ALLOW 6' HIGH RETAINING WALL IN REQUIRED FRONT YARD	2, 3, 4, 5



KEY MAP
SCALE: 1"=40'



VICINITY MAP
NOT TO SCALE

GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 0.66 ACRES
- PERCENT OF TOTAL SITE GRADED: 100%
- AMOUNT OF EXISTING SITE WITH 25% SLOPES OR GREATER: N/A*
- PERCENT OF THE EXISTING SLOPES STEEPER THAN 25% TO BE GRADED: N/A*
- AMOUNT OF PROPOSED SITE WITH 25% SLOPES OR GREATER: N/A*
- PERCENT OF THE PROPOSED SITE WITH 25% SLOPES OR STEEPER: N/A*
- AMOUNT OF CUT: 300 CUBIC YARDS
- AMOUNT OF FILL: 5,800 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 2' FEET 2:1 SLOPE RATIO.
- MAXIMUM HEIGHT OF CUT SLOPE(S): 6' FEET 2:1 SLOPE RATIO.
- AMOUNT OF IMPORT SOIL: 5,500 CUBIC YARDS IMPORT
- RETAINING WALL MAX. HEIGHT: 6'

*ENTIRE SITE HAS BEEN PREVIOUSLY GRADED. SITE CONTAINS NO NATURAL STEEP SLOPES.

LOT ACREAGE SUMMARY

LOT	LOT AREA (SF)	LOT AREA (ACRES)	LOT AREA (SQ. FT.)	LOT DESCRIPTION	GFA (SF)	FAR (131.0446(C))	BUILDING FOOTPRINT (SF)	BUILDING COVERAGE
1	4,765	4.765	0.11	34,190	RESIDENTIAL	2,793	0.59	30.9%
2	3,717	3.717	0.09	44,950	RESIDENTIAL	2,793	0.79	39.6%
3	4,348	3.907	0.09	46,690	RESIDENTIAL	2,793	0.71	37.7%
4	8,165	7.622	0.19	25,190	RESIDENTIAL	2,793	0.64	33.8%
5	3,993	3.993	0.09	---	HOA	0	0	0.0%
TOTAL	28,915	28.182	0.66	---	---	13,965	0.50	25.4%
(1) LOT WIDTH CALCULATED PER SMC SECTION 113.0243(B).								
(2) LOT WIDTH CALCULATED PER SMC SECTION 113.0243(C)(1).								

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:
 - VESTING TENTATIVE SUBDIVISION MAP AND A PLANNED DEVELOPMENT PERMIT FOR 5 MARKET RATE SINGLE FAMILY RESIDENTIAL UNITS.
- STREET ADDRESS: SOUTHEAST CORNER OF CARMEL VALLEY ROAD AND RANCHO SANTA FE FARMS
- SITE AREA:
 - TOTAL SITE AREA (ROSS): 0.66 ACRES, 28,915 SF
 - NET SITE AREA: 0.66 ACRES, 28,915 SF
- ZONING: RX-1-2
- DENSITY:
 - NUMBER OF UNITS TO REMAIN ON SITE: NONE
 - NUMBER OF PROPOSED DWELLING UNITS ON SITE: 5
- OPEN SPACE:
 - MINIMUM USABLE OPEN SPACE REQUIRED: 500 SF
 - PROPOSED: 2,726 SF (10,904 SF)
 - MINIMUM TOTAL OPEN SPACE REQUIRED: 1,000 SF
 - PROPOSED: 2,873 SF (11,493 SF)
- BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT
- TYPE OF CONSTRUCTION: TYPE 5, NON-RATED WITH NFPA 130 FIRE SPRINKLERS
- OCCUPANCY CLASSIFICATION: R3
- NUMBER OF STORIES OF EACH RESIDENCE: 2 STORIES
- EXISTING USE: VACANT
- PROPOSED USE: RESIDENTIAL
- GEOLOGIC HAZARD CATEGORY: 53 - LEVEL OR SLOWLY SLOPING TERRAIN, UNFAVORABLE GEOLOGIC STRUCTURE, LOW TO MODERATE RISK
- PARKING REQUIRED: 10 SPACES (2 PER UNIT)
- PARKING PROVIDED: 10 SPACES (2 PER UNIT)
- DEVIATIONS: SEE RX-1-2 REGULATION TABLE

BENCHMARK

- LOCATION: CARMEL VALLEY ROAD / CLARKVIEW LANE
- REFERENCE: * 3/4" FROM PIER ON NW CORNER
- ELEVATION: CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK / OCTOBER 4, 2011
- * ELEVATION UPDATED PER U.S.C.G.S. ADJUSTMENT OF 1970. MAY DIFFER FROM PREVIOUS ELEVATION 301.01673 DATUM: MSL

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS THE WESTERLY BOUNDARY LINE OF MAP 15897 IE 140722203'E

REFERENCE DWGS.

- CARMEL VALLEY ROAD PHASE 2 GRADING & IMPROVEMENT PLANS
- CARMEL VALLEY ROAD GRADING & IMPROVEMENT PLANS
- COSTA DEL SOL UNIT 1 & 2 GRADING
- COSTA DEL SOL UNIT 1 IMPROVEMENT PLANS
- PACIFIC HIGHLANDS RANCH UNIT 21 & 22
- PACIFIC HIGHLANDS RANCH UNIT 23 IMPROVEMENT

ASSESSOR'S PARCEL NUMBER

305-120-63-00

LEGAL DESCRIPTION

LOT 19 OF COSTA DEL SOL UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 14956, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON FEBRUARY 3, 2005.

LAMBERT COORDINATES

292-1715

GENERAL NOTES

- TOTAL PROJECT OWNERSHIP: 0.664 ACRES
- GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC
- TELEPHONE: AT&T
- CABLE TELEVISION: TIME WARNER CABLE TELEVISION.
- SEWER AND WATER: CITY OF SAN DIEGO
- DRAINAGE SYSTEM: AS REQUIRED BY CITY ENGINEER
- FIRE: CITY OF SAN DIEGO
- SCHOOL DISTRICT: SAN DIEGO UNION HIGH SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND.
- EXISTING LOT, 6 PROPOSED LOTS
- CONTOUR INTERVAL: 2 FEET
- ALL PROPOSED SLOPES ARE 2:1 UNLESS NOTED OTHERWISE.
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION IN FINAL DESIGN.
- NO EXISTING BUILDINGS AND STRUCTURES ARE ON SITE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE DATED MAY 30, 2003 INTO THE CONSTRUCTION PLANS ON SPECIFICATIONS.
- ALL PUBLIC WATER FACILITIES AND ASSOCIATED EASEMENTS WILL BE GRANTED, DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES.
- THERE ARE NO EXISTING OR PROPOSED BUS STOPS ALONG THE PROPERTY FRONTAGE.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- PROVIDE FIRE ACCESS ROADWAYS, SIGNS, AND/OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-60-1.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND/OR SEWER FACILITIES.
- THE SUBDIVIDER SHALL PROCESS EASEMENT VACATIONS FOR WATER EASEMENTS.
- PROVIDE BUILDINGS ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-60-6.

PROJECT TEAM

OWNER

COLLIER INTERNATIONAL
4660 LA JOLLA VILLAGE DR #100
SAN DIEGO, CA 92122

ARCHITECT

MCANINCE ASSOCIATES, INC
1918 1ST AVE #200
SAN DIEGO, CA 92101

PLANNING

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10000 LA JOLLA VILLAGE DR #100
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LANDSCAPE

GMP LANDSCAPING ARCHITECTURE AND PLANNING
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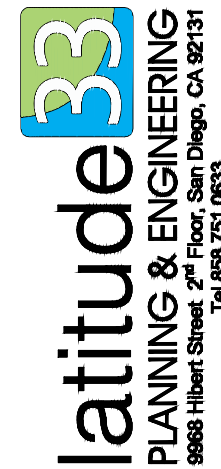
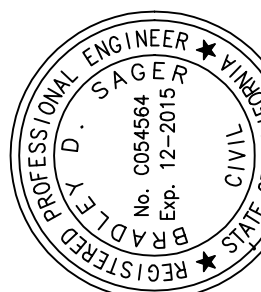
CIVIL ENGINEER

LATITUDE 33 PLANNING AND ENGINEERING
9988 HIBERT STREET 2ND FLOOR
SAN DIEGO, CA 92131
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SHEET SUMMARY

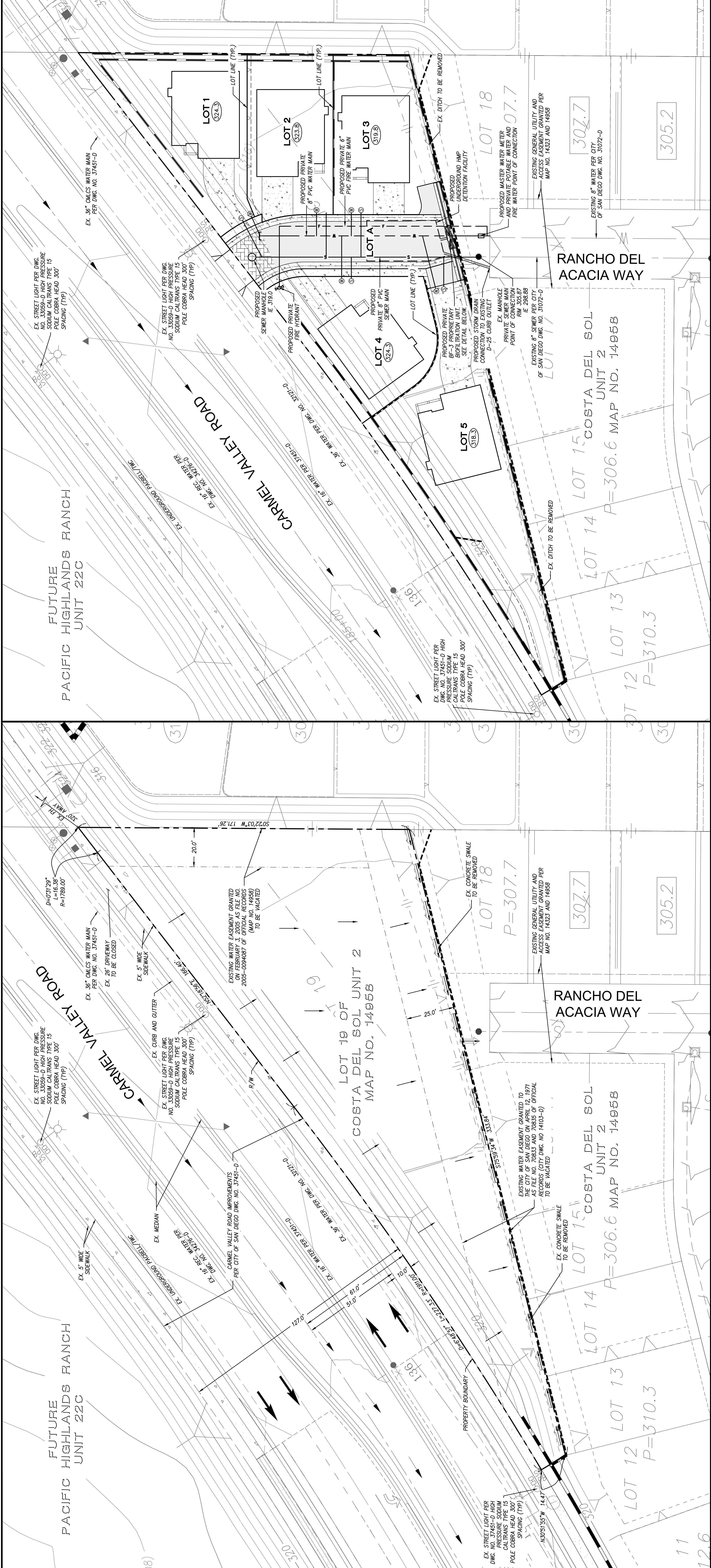
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- SHEET 2 EXISTING CONDITIONS & CONCEPTUAL UTILITIES
- SHEET 3 CONCEPTUAL GRADING & SITE PLAN
- SHEET 4-5 ARCHITECTURAL PLAN
- SHEET 6-9

Prepared By:	LATITUDE 33	Revision 14:	
Name:	PLANNING AND ENGINEERING	Revision 13:	
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Project Address:		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
Project Name:	CARMEL VALLEY ROAD	Original Date:	10/28/2014
UNITAS		Sheet	1 of 9
Vesting Title:	VESTING TENTATIVE MAP - 1424164		
TITLE SHEET		DEP #	XXXX



CARMEL VALLEY ROAD - UNITAS

PLANNED DEVELOPMENT PERMIT NO. 1328845
VESTING TENTATIVE MAP NO. 1424164
WATER EASEMENT VACATION



EXISTING CONDITIONS & TOPOGRAPHIC MAP

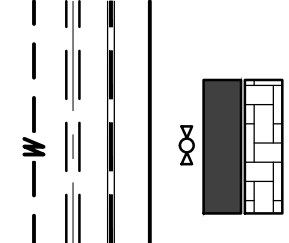
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TOPOGRAPHY SOURCE

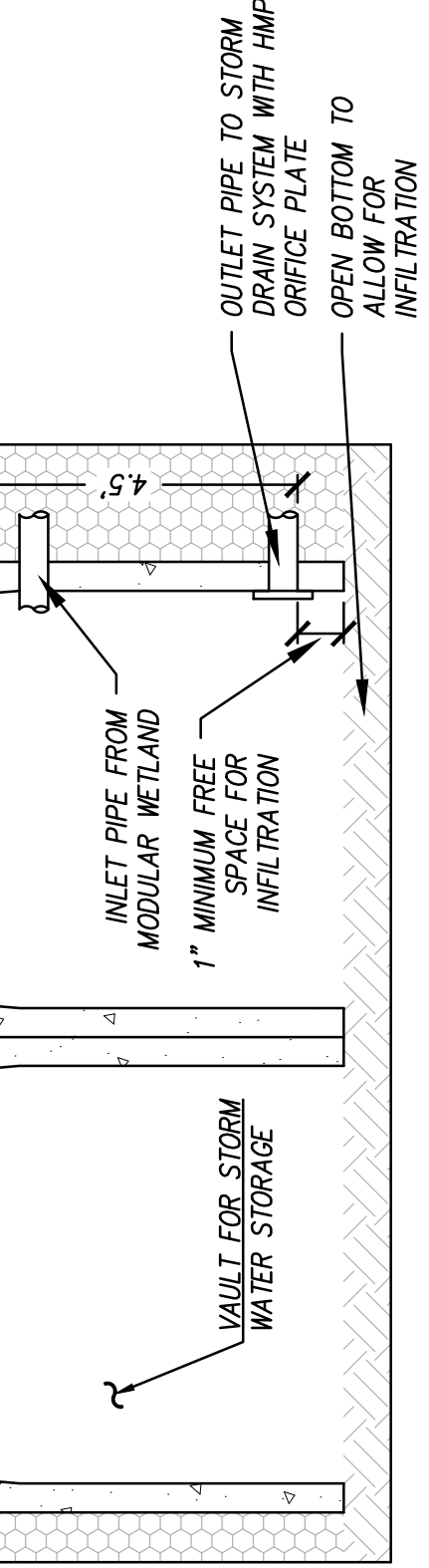
AERIAL TOPOGRAPHY BY SAN-LO AERIAL SURVEYS DATED JANUARY 1989
AND SUPPLEMENTAL FIELD TOPOGRAPHY PROVIDED BY ALVISON CONSULTING
DATED SEPTEMBER 2013.

LEGEND

- EXISTING CONTOUR
- EXISTING WATER MAIN
- EXISTING STORM DRAIN
- EXISTING WATER MAIN
- EXISTING STORM DRAIN
- EXISTING STREET LIGHT
- EXISTING SLOPE
- PROPERTY BOUNDARY
- PROPOSED FLOW DIRECTION
- PROPOSED TOP/IDE OF SLOPE
- PROPOSED SEWER MAIN



PLAN VIEW

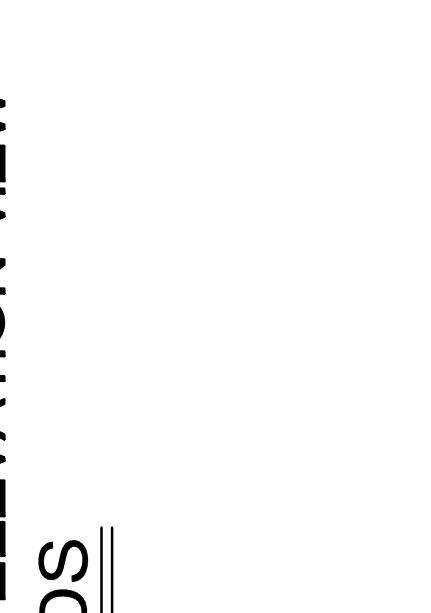


HMP DETENTION VAULT

MODULAR WETLANDS

MODEL# MWS-L-4-8

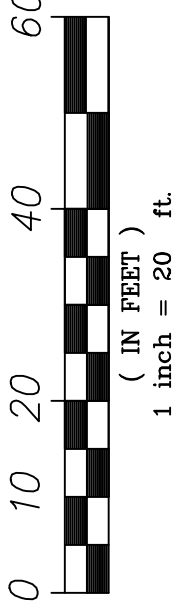
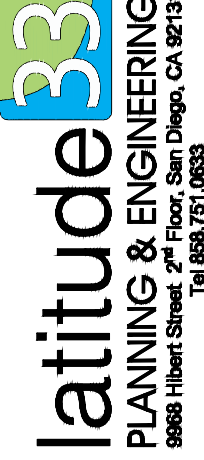
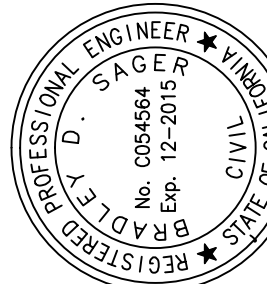
ELEVATION VIEW



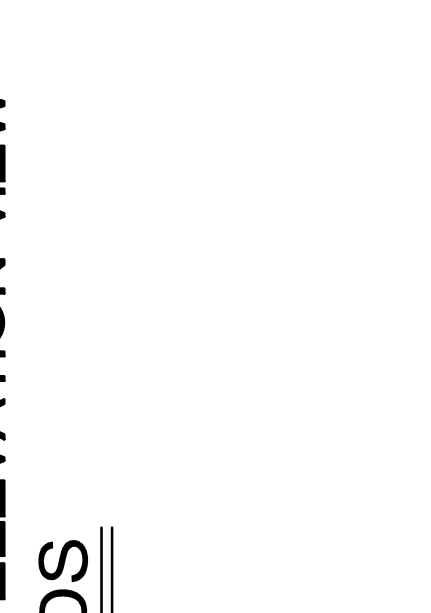
CONCEPTUAL UTILITIES

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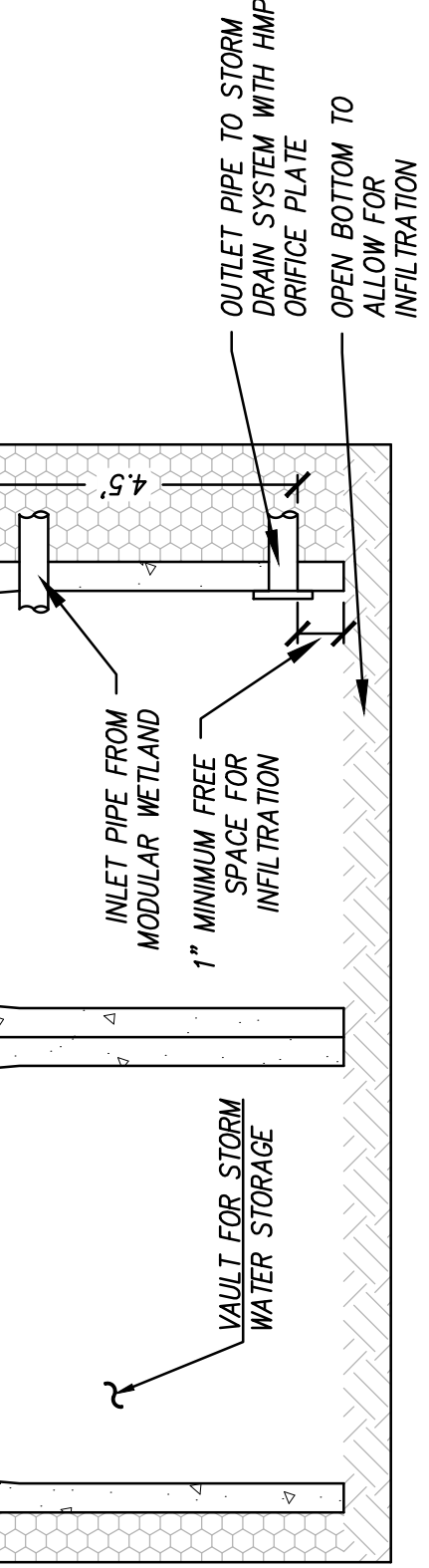
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Name:	PLANNING AND ENGINEERING	Revision 13:	
Address:	9868 HERBERT STREET 2ND FLOOR	Revision 12:	
	SAN DIEGO, CA 92131	Revision 11:	
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		Revision 8:	
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		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
Project Address:		Original Date:	10/28/2014
	SOUTH OF CARMEL VALLEY ROAD, EAST OF		
	RANCHO SANTA FE FARMS ROAD, NORTH OF		
	CHASE WAY		
Project Name:			
	CARMEL VALLEY ROAD		
UNITAS			
Sheet Title:		Sheet	2 of 9
	VESTING TENTATIVE MAP - 1424164		
	EXISTING CONDITIONS & CONCEPTUAL UTILITIES	DEP #	XXXX



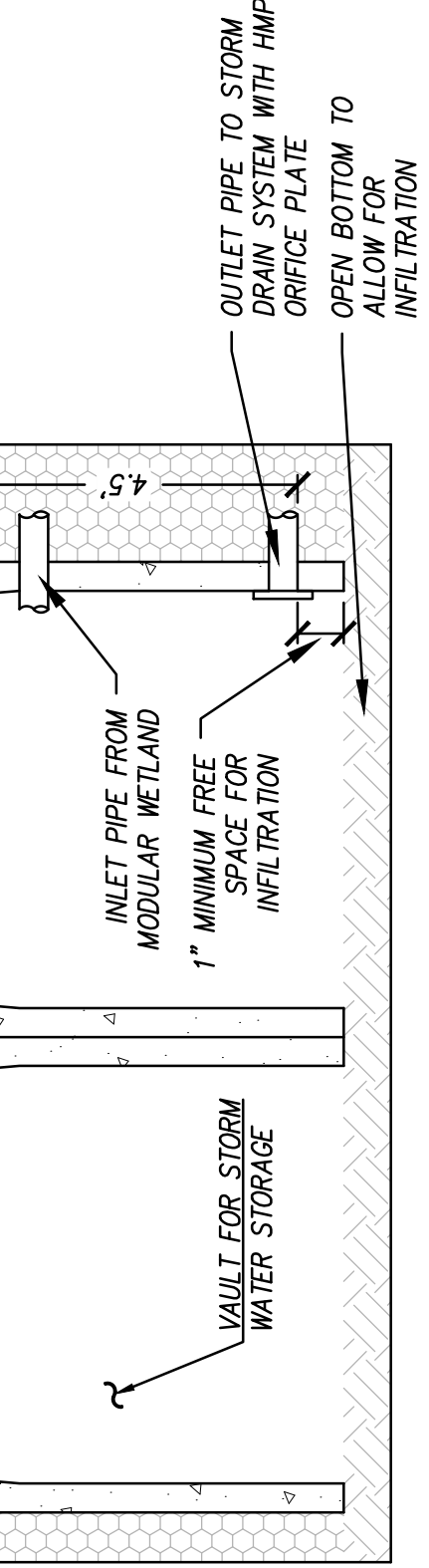
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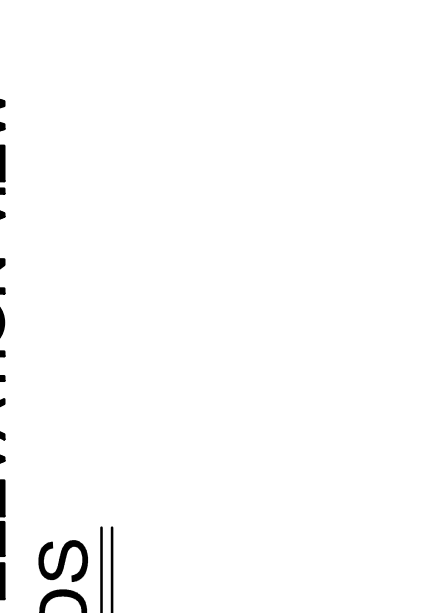
HMP DETENTION VAULT



PLAN VIEW



ELEVATION VIEW



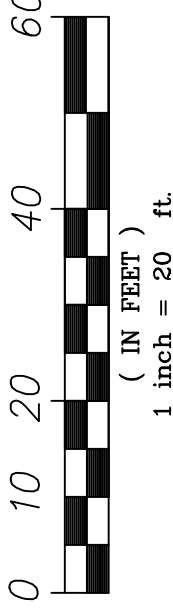
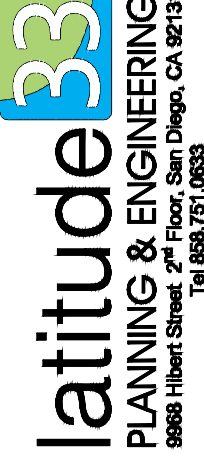
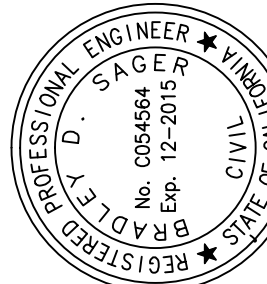
MODULAR WETLANDS

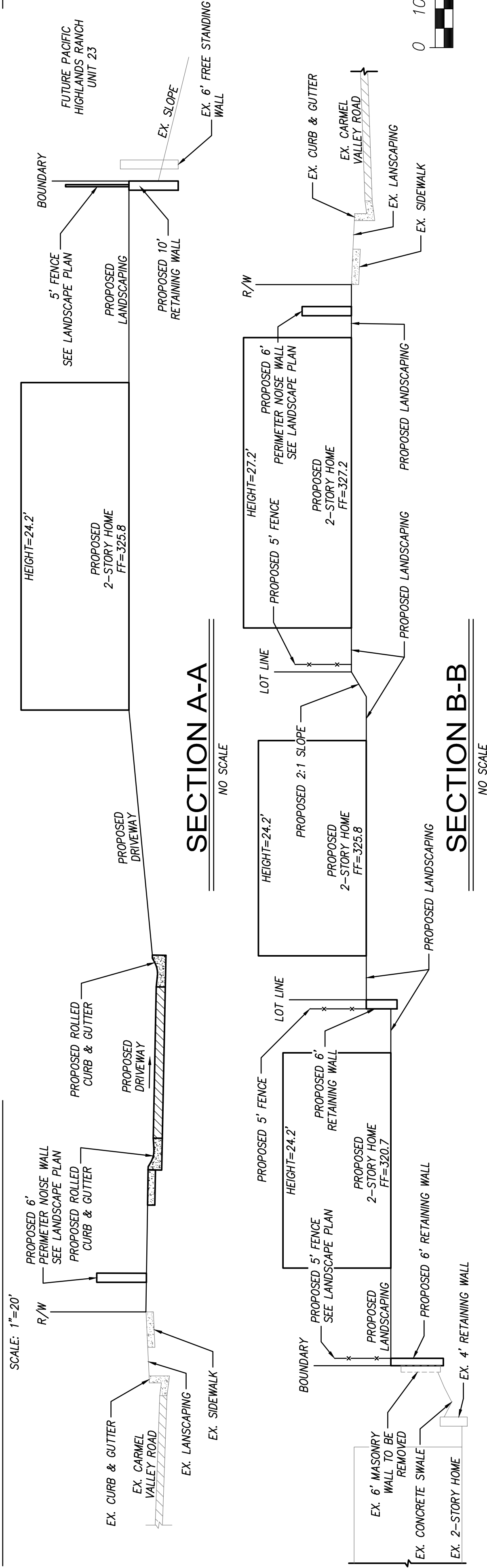
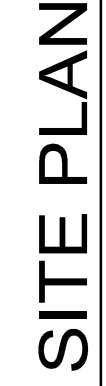
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CONCEPTUAL UTILITIES

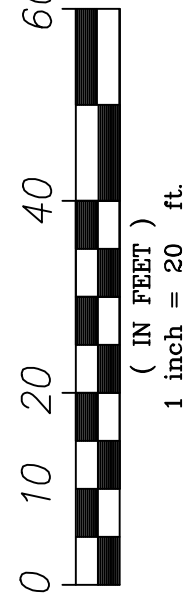
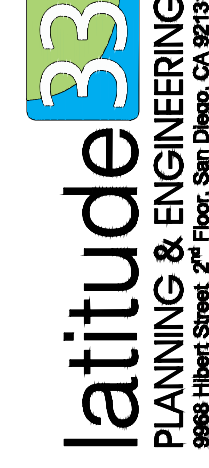
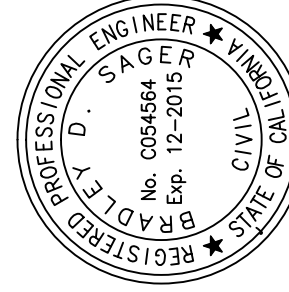
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Prepared By:	LATITUDE 33	Revision 14:	
Name:	PLANNING AND ENGINEERING	Revision 13:	
Address:	9868 HERBERT STREET 2ND FLOOR	Revision 12:	
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	SOUTH OF CARMEL VALLEY ROAD, EAST OF		
	RANCHO SANTA FE FARMS ROAD, NORTH OF		
	CHASE WAY		
Project Name:			
	CARMEL VALLEY ROAD		
UNITAS			
Sheet Title:		Sheet	2 of 9
	VESTING TENTATIVE MAP - 1424164		
	EXISTING CONDITIONS & CONCEPTUAL UTILITIES	DEP #	XXXX





Prepared By:	<u>LATITUDE 33</u>
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Project Address:	<u>SOUTH OF CARMEL VALLEY ROAD, EAST OF</u>
	<u>BANCHO SANTA FE FARMS ROAD, NORTH OF</u>
	<u>CHASE WAY</u>
Project Name:	<u>CARMEL VALLEY ROAD</u>
	<u>UNITAS</u>
Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
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Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	_____
Original Date:	<u>10/28/2014</u>
Sheet _____ of _____	<u>3</u> of <u>9</u>
<u>TITLE: TENTATIVE MAP - 1424164</u>	
CONCEPTUAL GRADING AND SITE PLAN	<u>XXXX</u> <u>XXXX</u> <u>XXXX</u>



PLANTING NOTES

NOTE: NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SENIOR ACCESS EXISTENT.

MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES. EXCLUDING SLOPES REQUIRING SLOPE STABILIZATION, ALL AREAS PLANTED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES SHALL ALSO BE MULCHED TO THE MINIMUM DEPTH.

NOTE: TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CREEKS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT INHIBIT AROUND THE ROOT BALL.

IRRIGATION - AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY DISEASE-RESISTANT CONDITION. THE DESIGN OF THE IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR/AUTOPIR DEVICE. THE INTENDED IRRIGATION SYSTEM WILL BE A DRIP SYSTEM.

MAINTENANCE - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION OR HOMEOWNER AS SET UP BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REMOVED PER THE CONDITIONS OF THE PERMIT.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE LANDSCAPE REGULATIONS; THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS; THE CORE SUB-AREA DESIGN MANUAL; AND ALL OTHER CITY AND REGIONAL

GRADED PAD AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) OR PERMANENT PAVING DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.

DESIGN INTENT STATEMENT

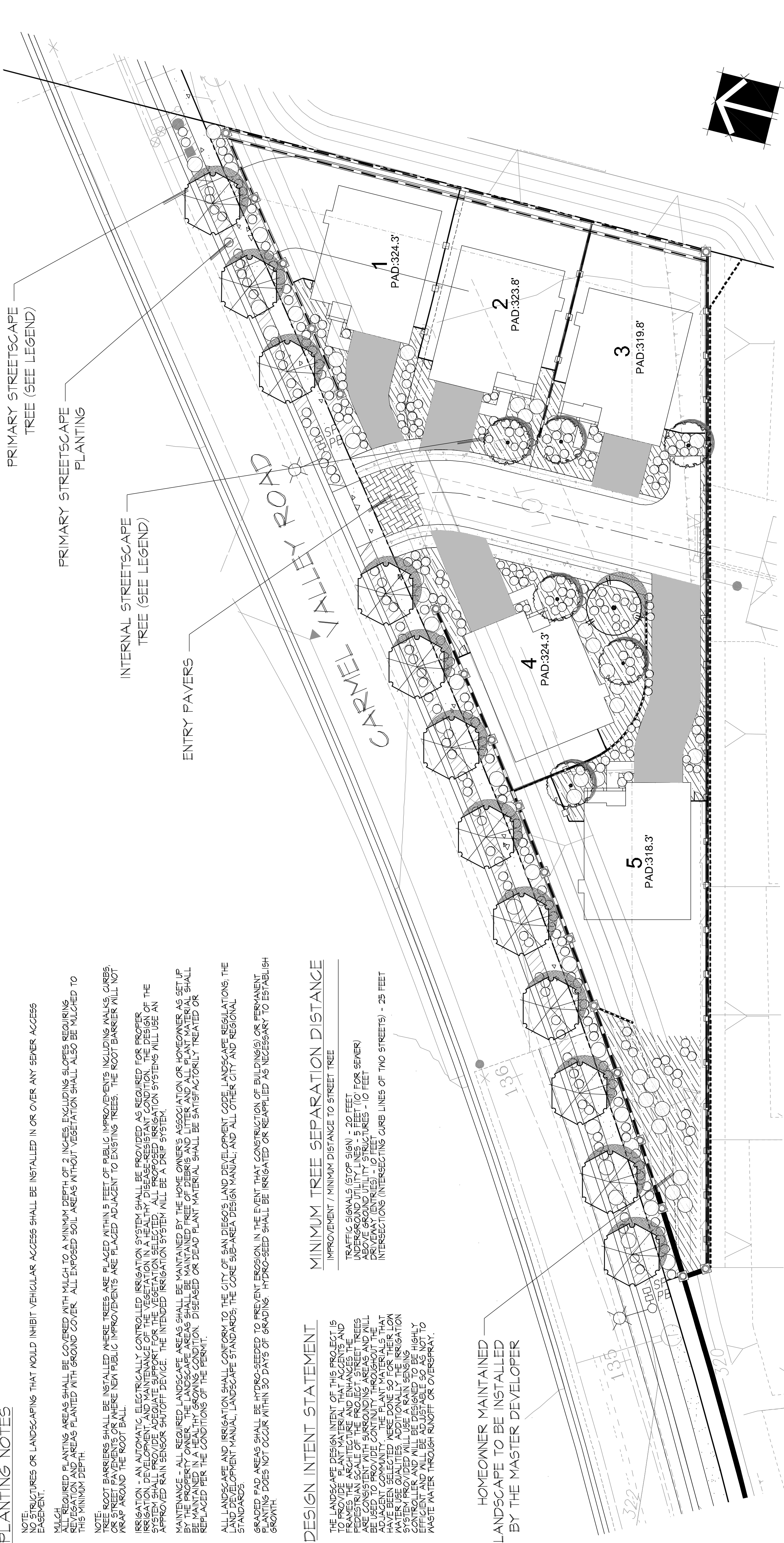
THE LANDSCAPE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE PLANT MATERIAL THAT AGENTS AND FRAMES THE ARCHITECTURE AND ENHANCES THE PEDESTRIAN SCALE OF THE PROJECT. STREET TREES ARE CONSISTENT WITH SURROUNDING AREAS AND WILL BE USED TO PROVIDE CONTINUITY THROUGHOUT THE PROJECT. TREES HAVE BEEN SELECTED BASED ON THE FOLLOWING CRITERIA: WATER USE, QUALITY, ADDITIONAL IRRIGATION SYSTEM PROVIDED WILL BE A RAIN SENSING CONTROLLER AND WILL BE DESIGNED TO BE HIGHLY EFFICIENT AND WILL BE ADJUSTABLE SO AS NOT TO WASTE WATER THROUGH RUNOFF OR OVERSPRAY.

MINIMUM TREE SEPARATION DISTANCE

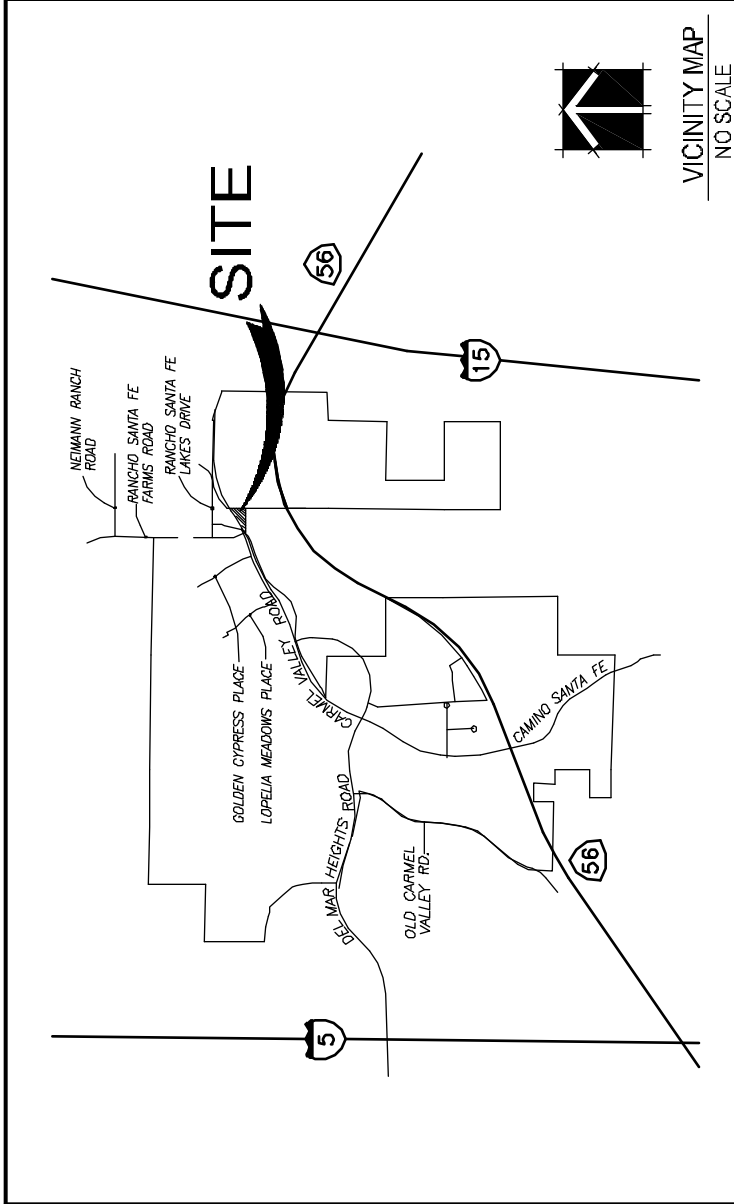
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE

INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

HOMEOWNER MAINTAINED
LANDSCAPE TO BE INSTALLED
BY THE MASTER DEVELOPER



NOTE: NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.



Valley Blvd.
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MAWA = $(ET_o)(0.62)(\sum LA) + (0.3 \times SLA)$

Where:

- MAWA = Maximum Applied Water Allowance (gallons per year)
- ETo = Reference Evapotranspiration Appendix A (inches per year)
- 0.7 = ET Adjustment Factor
- LA = Landscaped Area including Special Landscape Area (square feet)
- SLA = Portion of the landscaped area identified as Special Landscape Area (square feet)
- 0.62 = Conversion factor (10 gallons per square foot)
- 0.3 = Additional ET adjustment factor for Special Landscape Area $(1.0 - 0.7 = 0.3)$

Show values:

$$ET_o = \frac{46.5}{7.604} \text{ in./yr.} \quad (\text{Total from Column F of Hydrozone Information Table})$$

$$LA = \frac{7,604}{0} \text{ sq. ft.}$$

Show calculation:

$$(46.5)(0.62)(0.7 \times 7,604) + (0.3 \times 0)]$$

$$(28.53)(5,322.8 + 0)]$$

Maximum Applied Water Allowance = 153,456 gallons per year

ETWU = $(ET_o)(0.62)(\text{Total of Column J from the Hydrozone Information Table})$

Where:

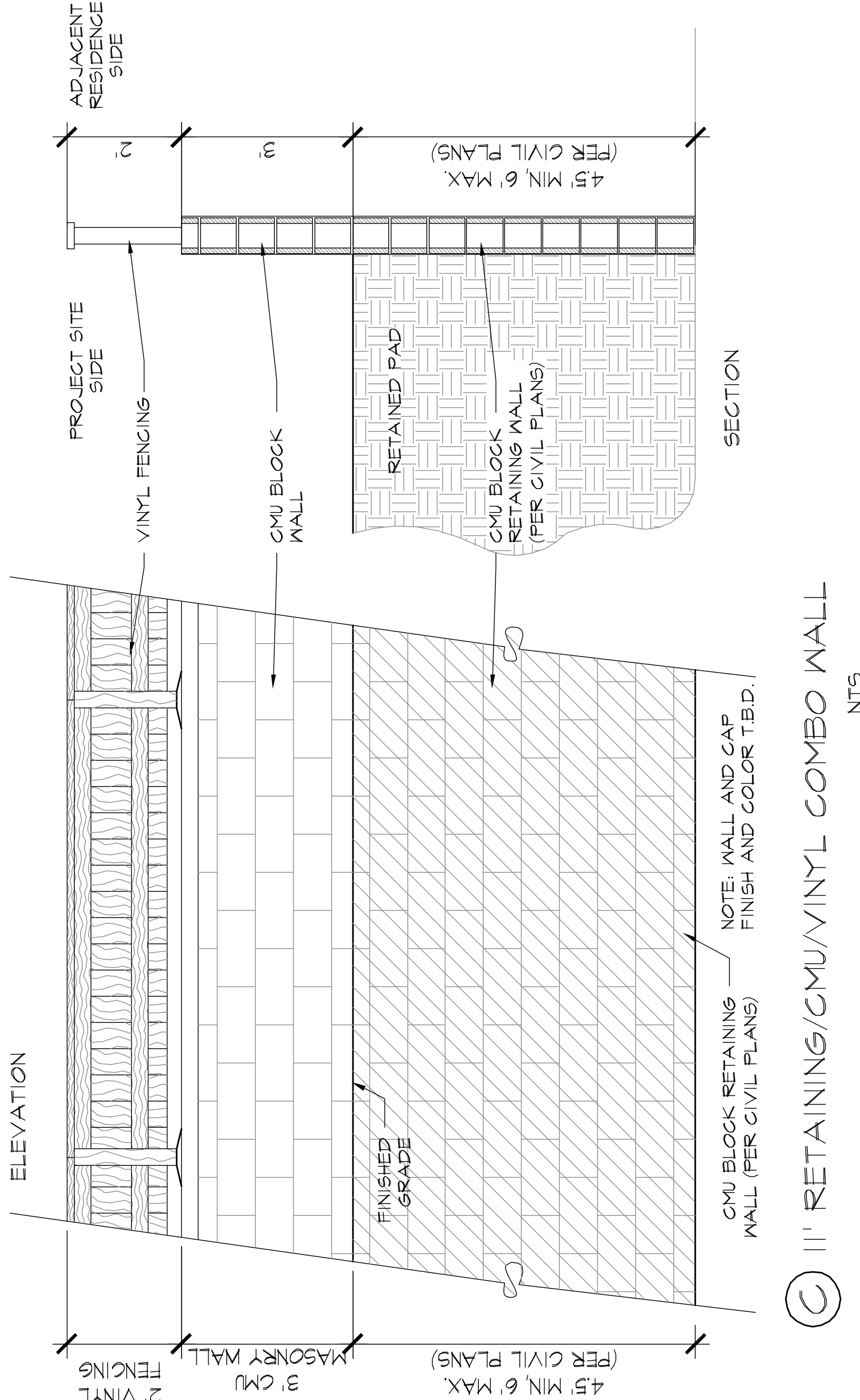
- ETWU = Estimated total water use per year (gallons)
- ETo = Reference Evapotranspiration (inches)

Show value: $ET_o = 46.5$ in./yr.

Show calculation:

$$(46.5)(0.62)(4,753)$$

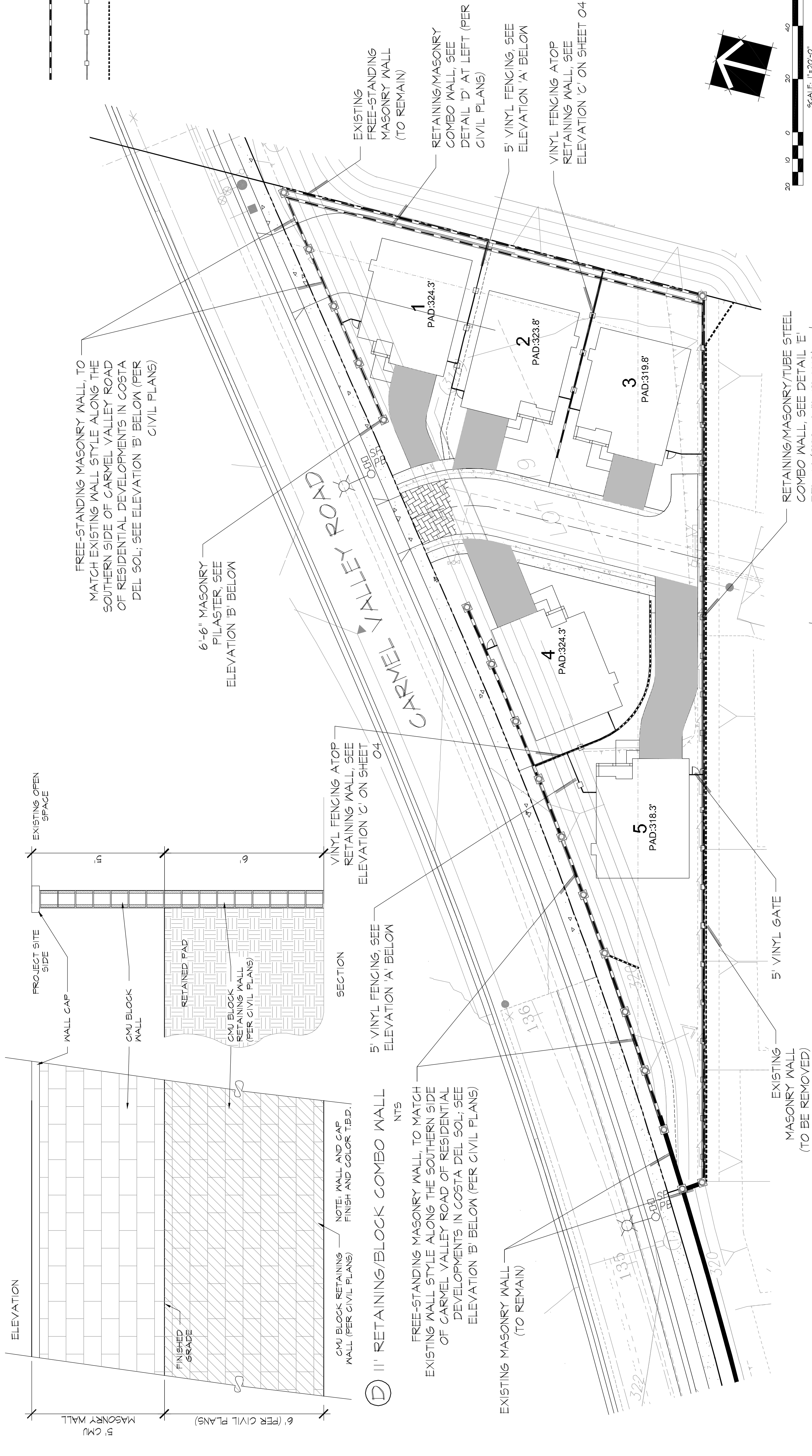
Estimated Total Water Use = 137,029 gallons per year.

[illegible]

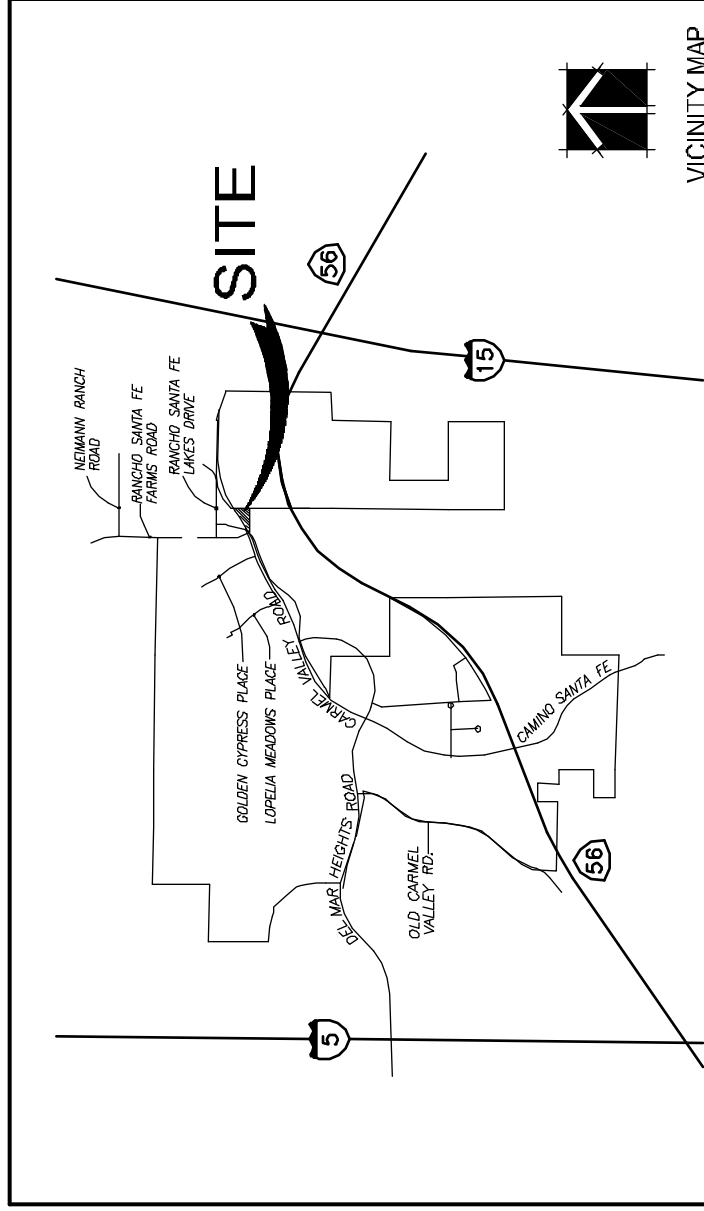
© 11" RETAINING/CMU/VINYL COMBO WALL
NTS

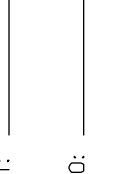
FENCE/WALL LEGEND

RETAINING/SOUND ATTENUATION
WALL PER CIVIL ENGINEER'S PLAN
VINYL FENCING
EXISTING MASONRY
WALL TO BE REMOVED
5' GATE
6'-6" MASONRY PILASTER



NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.





LANDSCAPE
ARCHITECTURE
& PLANNING

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Address: SUITE 200

Phone #: SAN DIEGO, CA 92121

(858) 558-8977

Project Address: CARMEL VALLEY RD., SAN DIEGO, CA 92115

SOUTH OF CARMEL VALLEY RD, EAST OF RANCHO

SANTA FE FARMS RD, NORTH OF CHASE WAY

Project Name: CARMEL VALLEY ROAD

UNITAS

Sheet Title: CONCEPTUAL FENCE & WALL PLAN

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

Revision 2: _____

05-07-15

11-04-14

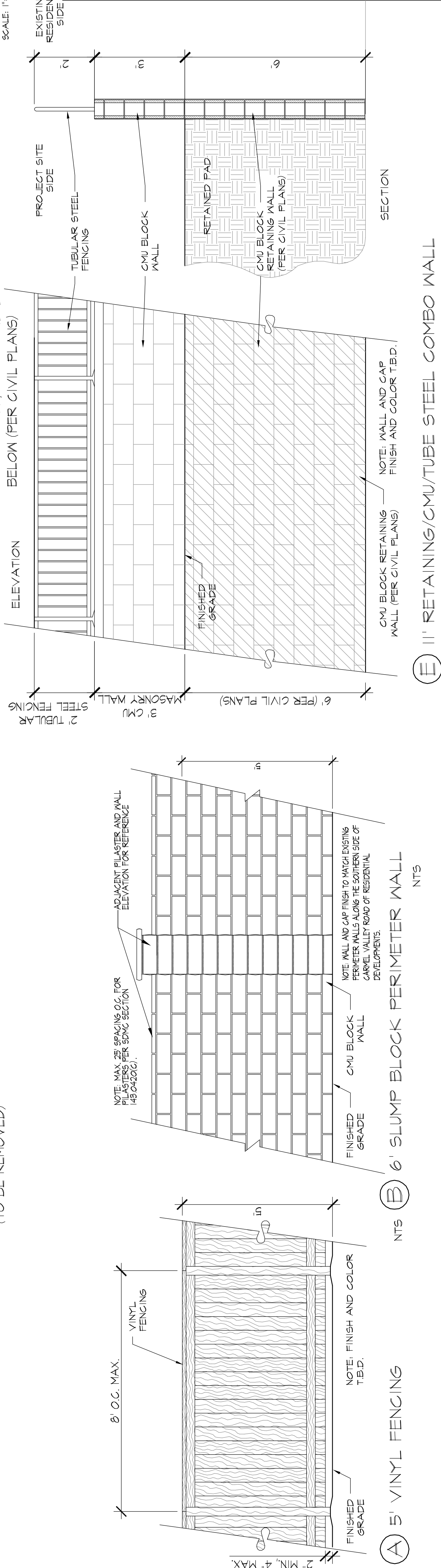
06-10-14

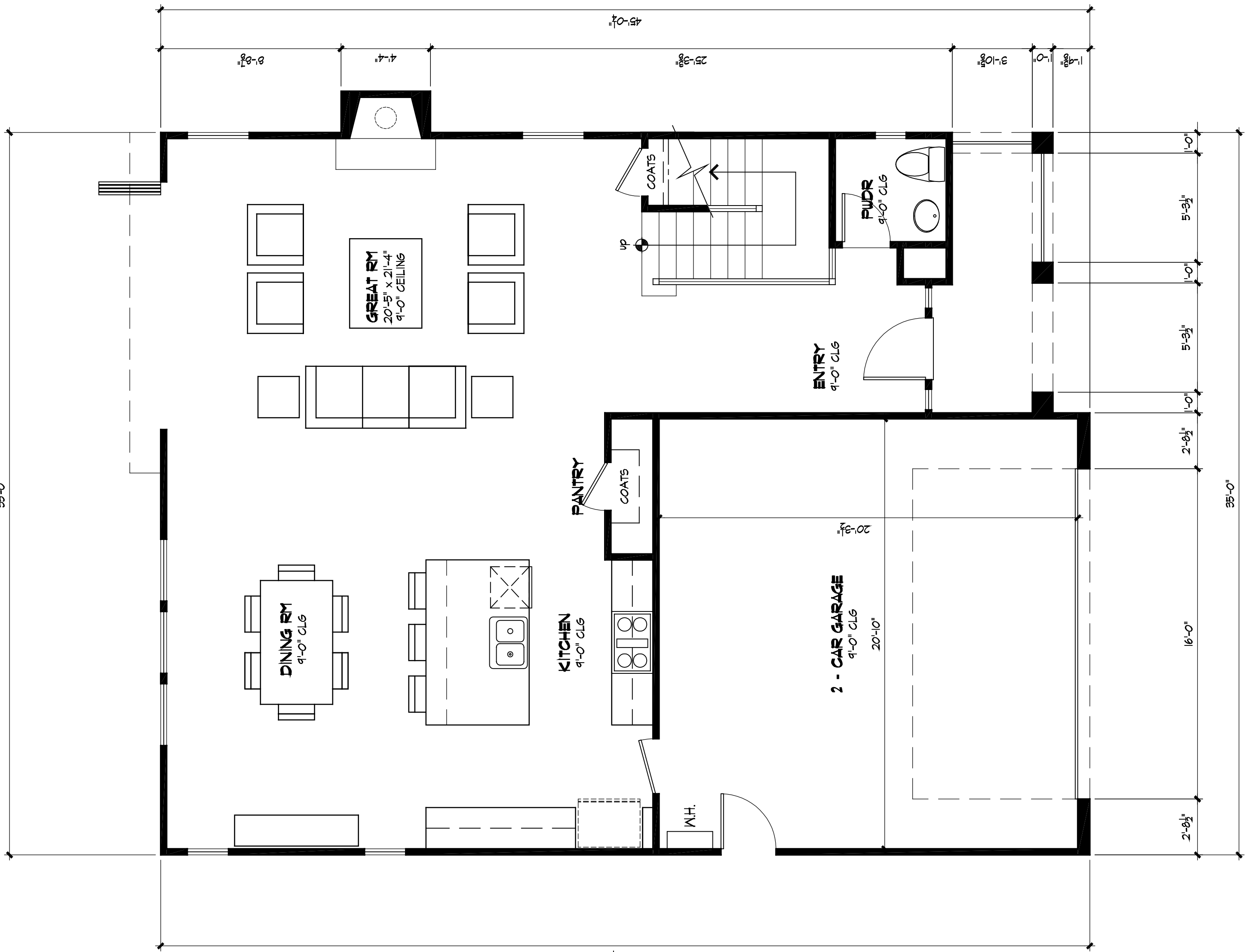
Original Date: _____

Sheet: _____

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DEP# _____

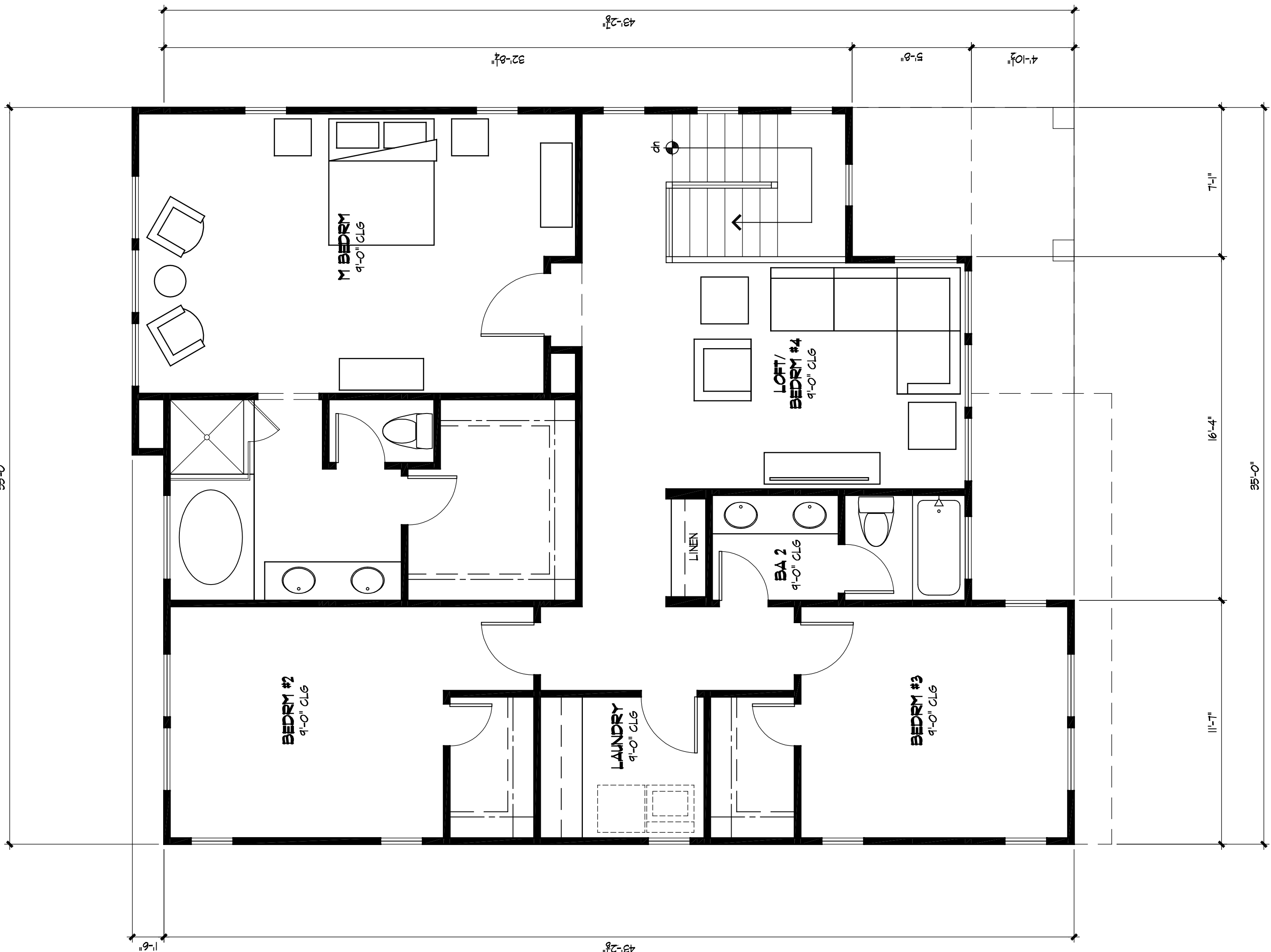




FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

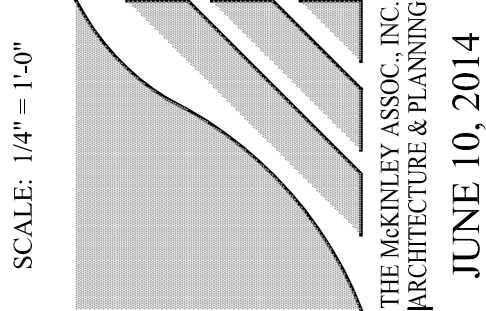
FIRST FLOOR: 1,036 SQ. FT.
SECOND FLOOR: 1,322 SQ. FT.
TOTAL: 2,358 SQ. FT.
GARAGE: 435 SQ. FT.



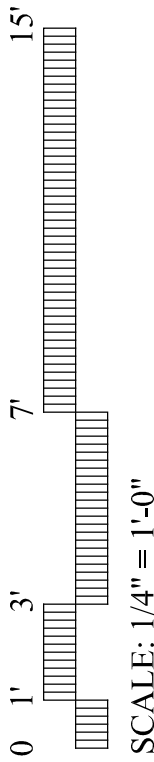
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN 1A
UNITAS
KLEEGER ENTERPRISES



Prepared By:	McKinley Associates, Inc.	Revision 14:	
Name:	1818 Camino del Rio South	Revision 13:	
Address:	San Diego, California 92101	Revision 12:	
Phone #:	(619) 238-1134	Revision 11:	
Project Address:		Revision 10:	
Project Name:	UNITAS	Revision 9:	
Sheet Title:	Plan 1A 1/4" Floor Plans & Roof Plan	Revision 8:	
Original Date:	June 10, 2014	Revision 7:	
Sheet	6	Revision 6:	
DEP #:	9	Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	



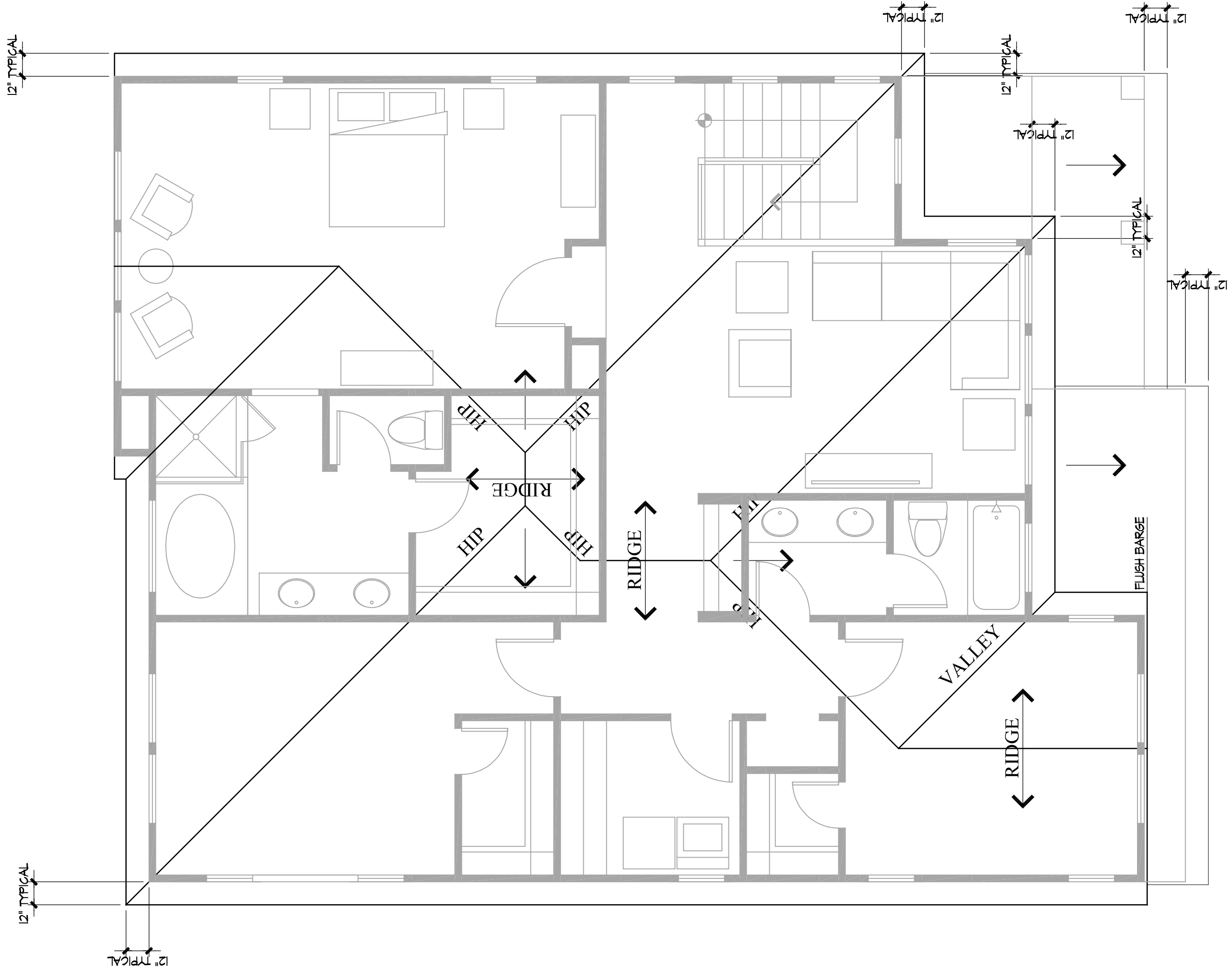
TABULATIONS

PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	324.5'	325.0'	335.3'	351.5'
LOT 2	324.0'	324.5'	334.8'	348.0'
LOT 3	320.0'	320.5'	330.8'	347.0'
LOT 4	324.5'	325.0'	335.3'	351.5'
LOT 5	318.5'	319.0'	329.3'	345.5'

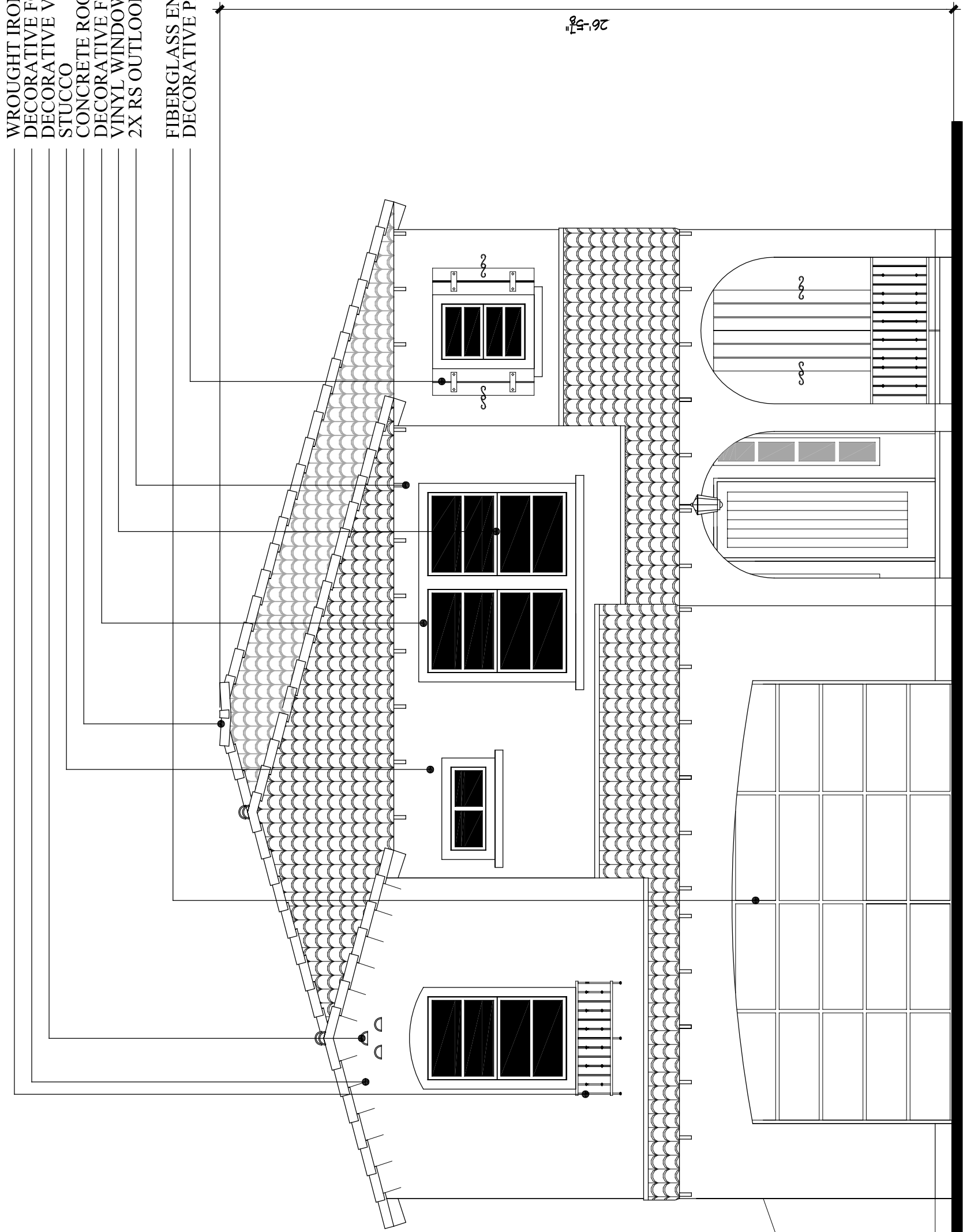
ROOF PLAN

SCALE: 1/4" = 1'-0"

ALL ROOF PITCHES 4:12



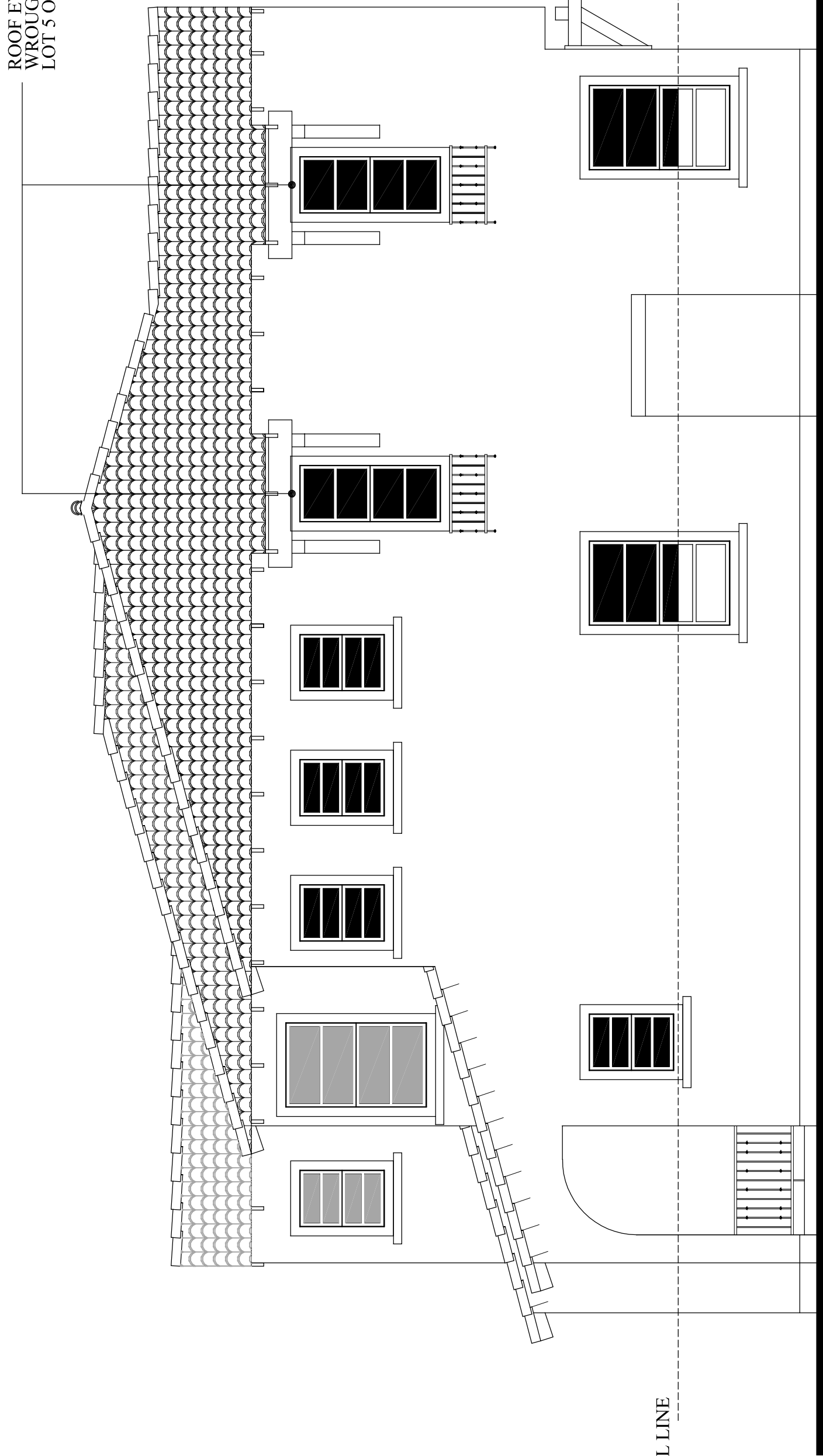
- WROUGHT IRON RAILING
- DECORATIVE FOAM SOFFIT COVE
- DECORATIVE VENT
- CONCRETE ROOF TILE
- DECORATIVE FOAM TRIM
- VINYL WINDOW (ALMOND)
- 2X RS OUTLOOKERS
- FIBERGLASS ENHANCED DECORATIVE ROLL UP GARAGE DOORS
- DECORATIVE PAINTED FOAM SHUTTER



FRONT ELEVATION - ELEVATION 'A'

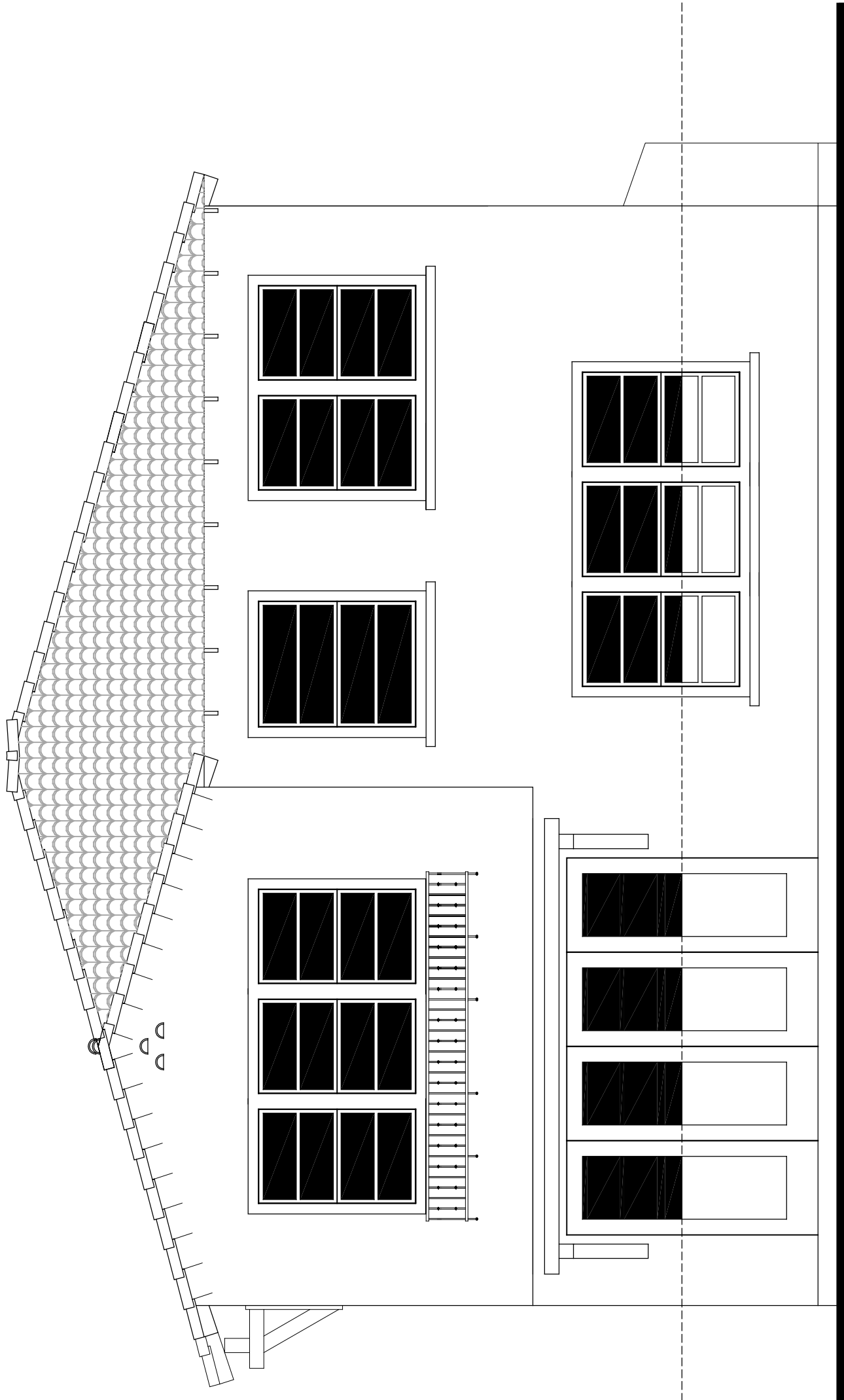
SCALE: 1/4" = 1'-0"

ROOF EVELYBROW &
WROUGHT IRON RAIL AT
LOT 5 ONLY



LEFT SIDE ELEVATION - ELEVATION 'A'

SCALE: 1/4" = 1'-0"



REAR ELEVATION - ELEVATION 'A'

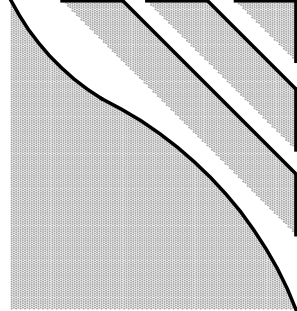
SCALE: 1/4" = 1'-0"

TABULATIONS

	PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	1B	324.5'	325.0'	335.3'	351.5'
LOT 2	1A	324.0'	324.5'	334.8'	348.0'
LOT 3	1A	320.0'	320.5'	330.8'	347.0'
LOT 4	1B	324.5'	325.0'	335.3'	351.5'
LOT 5	1A	318.5'	319.0'	329.3'	345.5'

PLAN 1A
UNITAS
KLEEGE ENTERPRISES

SCALE: 1/4" = 1'-0"

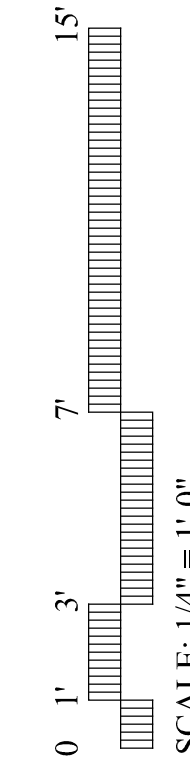


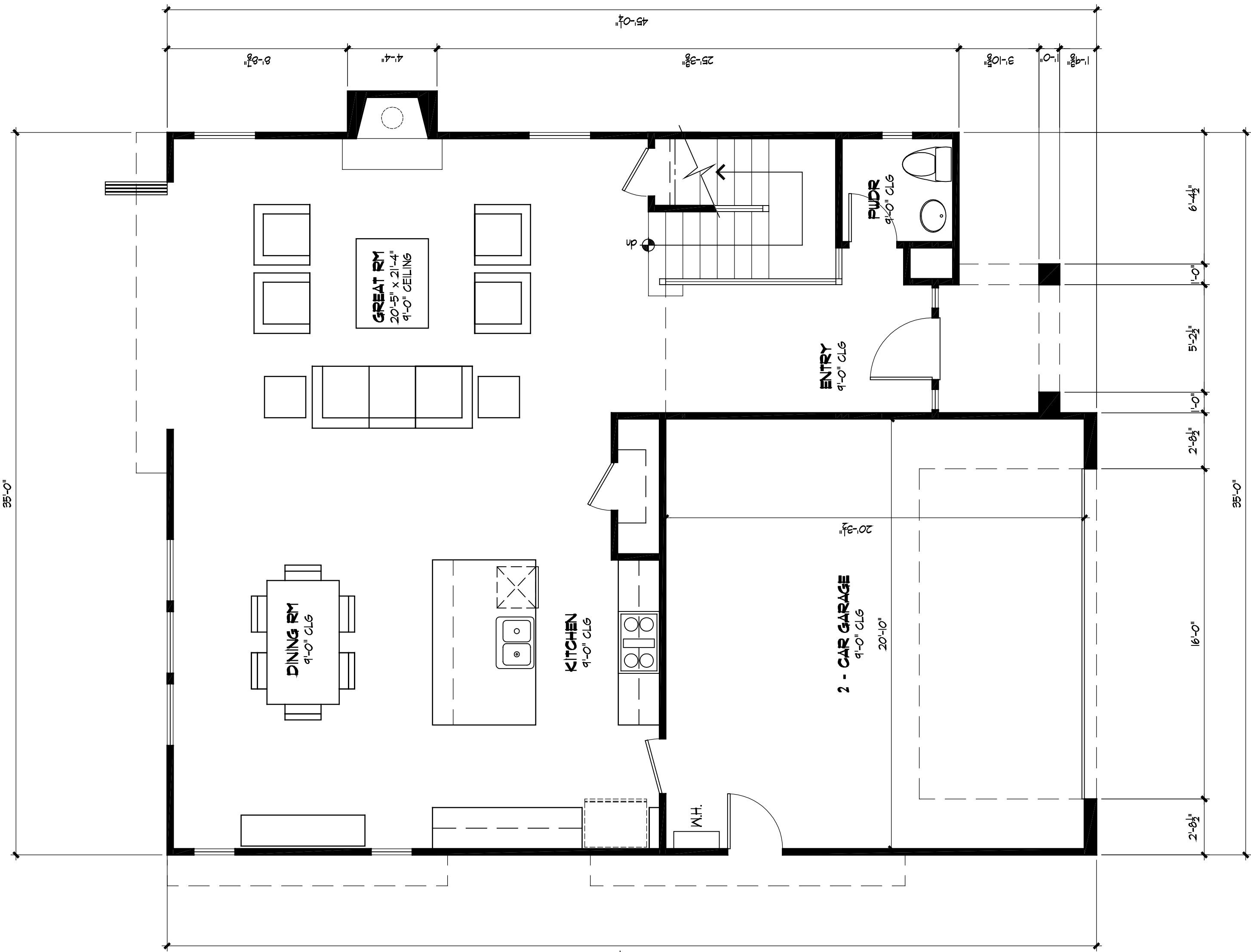
THE MCKINLEY ASSOC., INC.
ARCHITECTURE & PLANNING
JUNE 10, 2014

Prepared By: The McKinley Associates, Inc.
Name: The McKinley Associates, Inc.
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Phone #: (619) 238-1134
Project Address: 1818 Folsom Ave., San Diego, California 92101
Project Name: UNITAS

Sheet Title: Plan 1A 1/4" Elevations
Original Date: June 10, 2014
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Revision 1:	



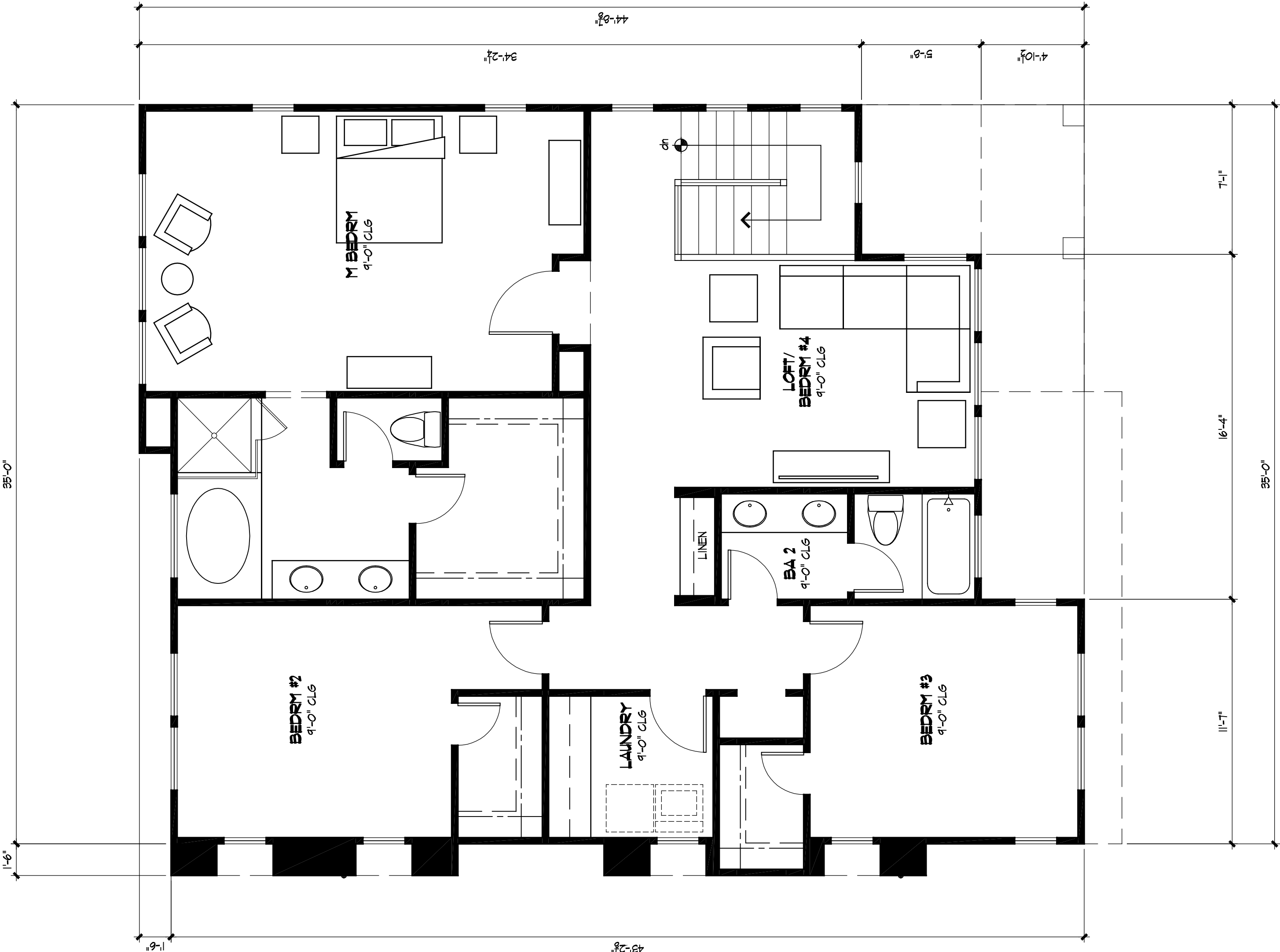


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR: 1,036 SQ. FT.
SECOND FLOOR: 1,322 SQ. FT.

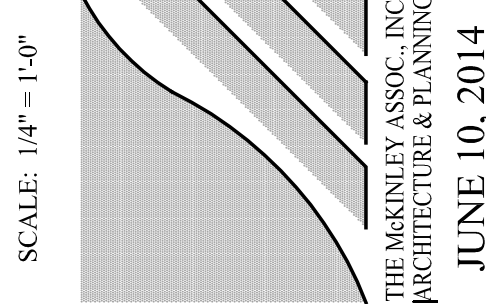
TOTAL: 2,358 SQ. FT.
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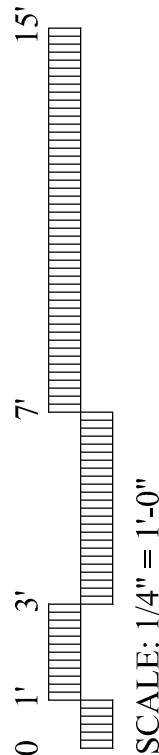
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN 1B
UNITAS
KLEEGER ENTERPRISES



Prepared By:	McKinley Associates, Inc.	Revision 14:	
Name:	1818 E. Street	Revision 13:	
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Phone #:	(619) 238-1134	Revision 11:	
Project Address:		Revision 10:	
Project Name:	UNITAS	Revision 9:	
Project Address:	State of California Valley Road	Revision 8:	
Project Name:	State of California Valley Road	Revision 7:	
Project Address:	State of California Valley Road	Revision 6:	
Project Name:	State of California Valley Road	Revision 5:	
Project Address:	State of California Valley Road	Revision 4:	
Project Name:	State of California Valley Road	Revision 3:	
Project Address:	State of California Valley Road	Revision 2:	
Project Name:	State of California Valley Road	Revision 1:	
Original Date:	June 10, 2014	Revision 14:	
Sheet Title:	Plan 1B 1/4" Floor Plans & Roof Plan	Revision 13:	
Sheet	8	Revision 12:	
DEP #:	9	Revision 11:	



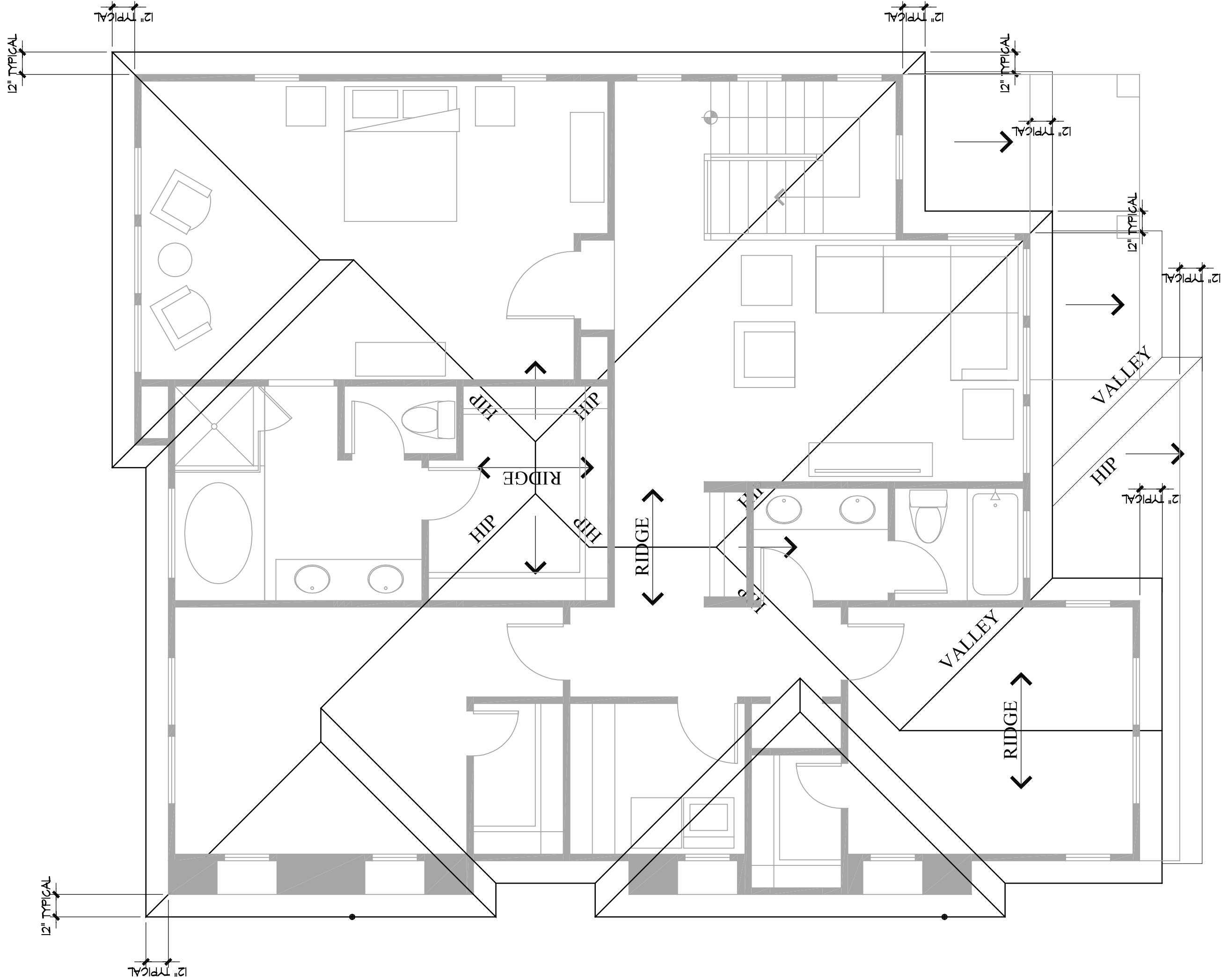
TABULATIONS

PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	324.5'	325.0'	335.3'	351.5'
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LOT 4	324.5'	325.0'	335.3'	351.5'
LOT 5	318.5'	319.0'	329.3'	345.5'

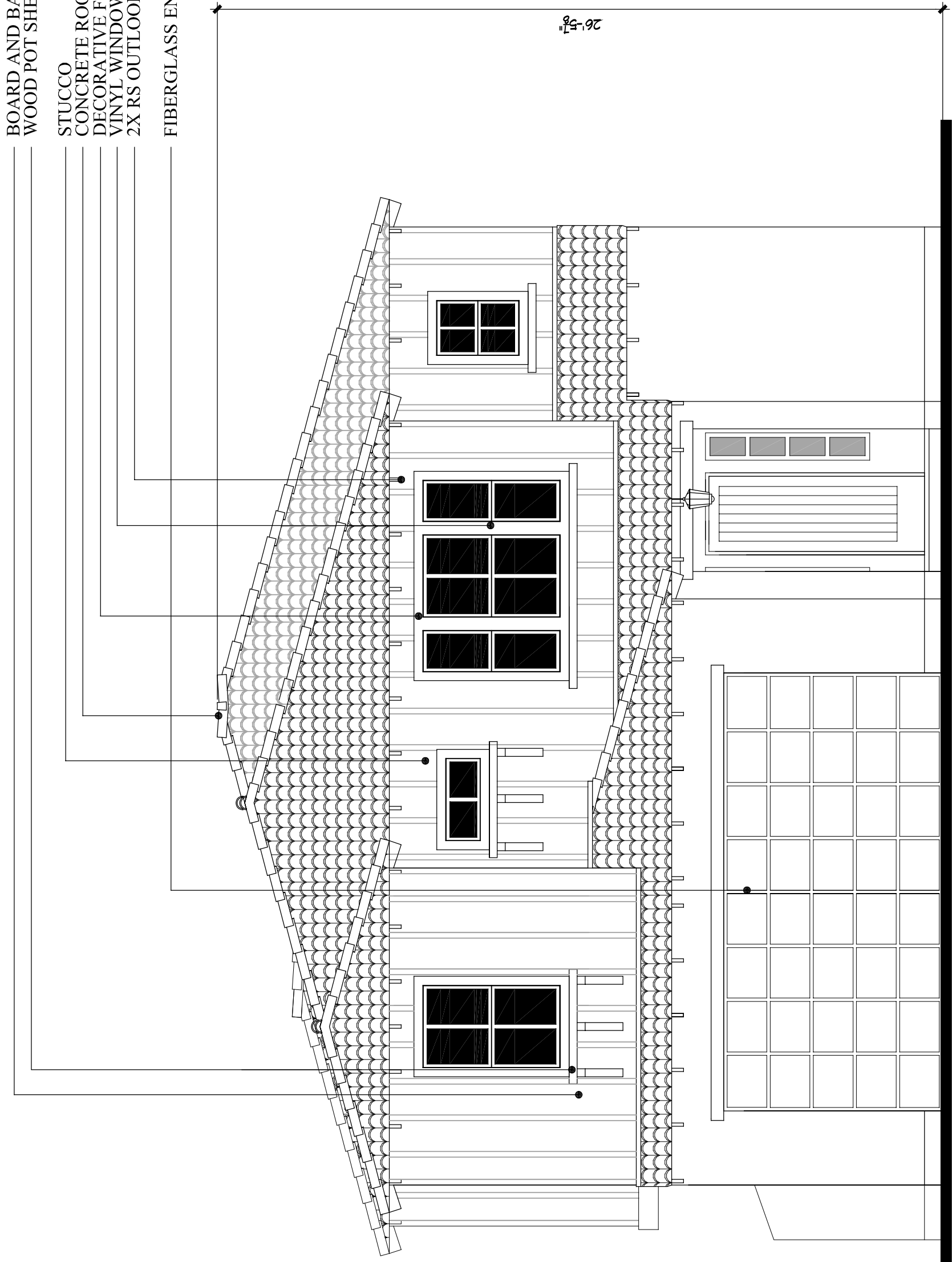
ROOF PLAN

SCALE: 1/4" = 1'-0"

ALL ROOF PITCHES 4:12

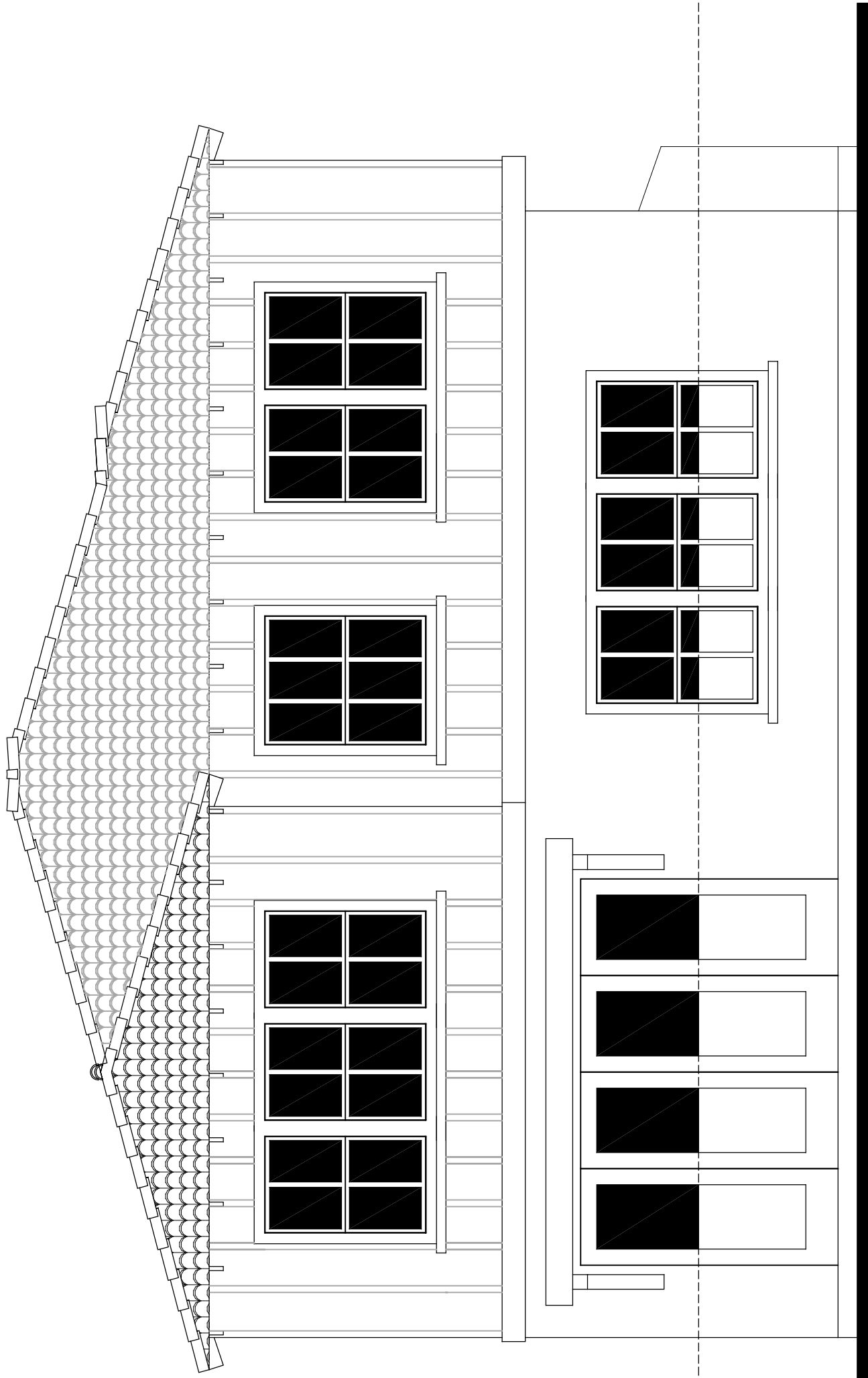


- BOARD AND BATT COMPOSITE SIDING
- WOOD POT SHELF
- STUCCO
- CONCRETE ROOF TILE
- DECORATIVE FOAM TRIM
- VINYL WINDOW (ALMOND)
- 2X RS OUTLOOKERS
- FIBERGLASS ENHANCED DECORATIVE ROLL UP GARAGE DOORS



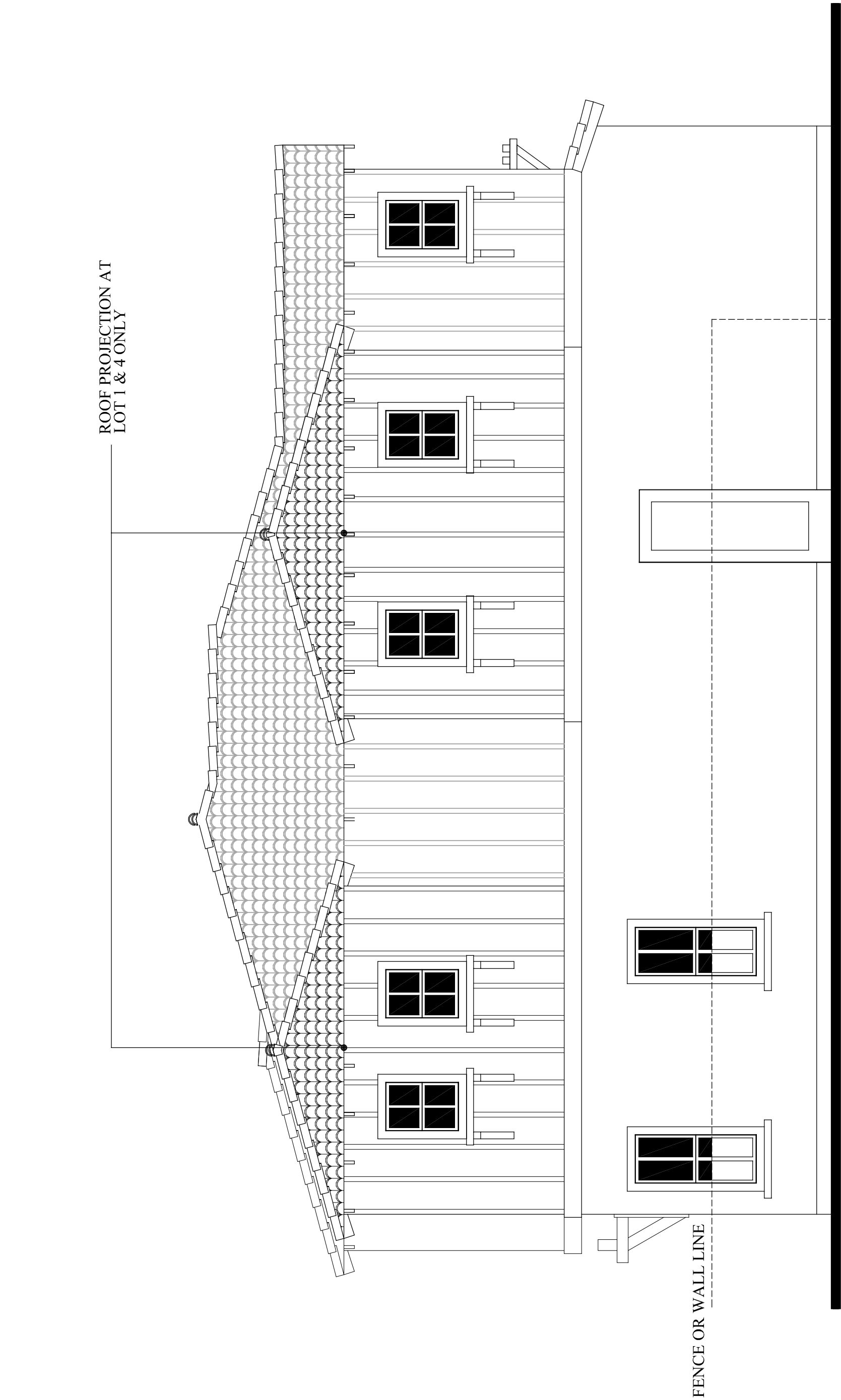
FRONT ELEVATION - ELEVATION 'B'

SCALE: 1/4" = 1'-0"



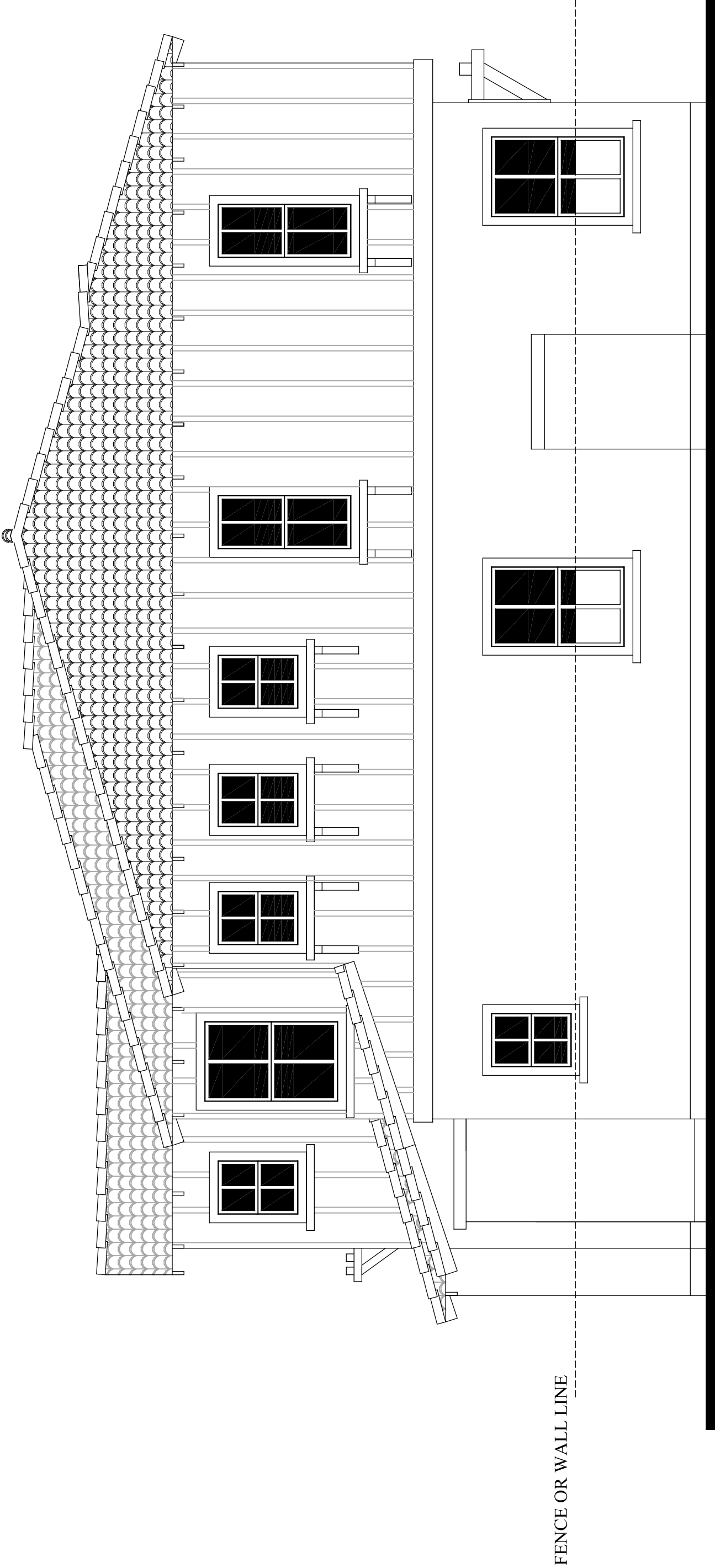
REAR ELEVATION - ELEVATION 'B'

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION - ELEVATION 'B'

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - ELEVATION 'B'

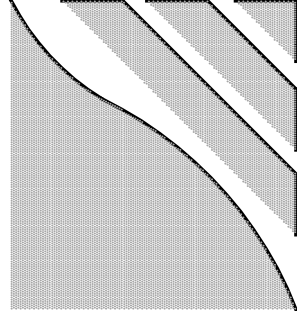
SCALE: 1/4" = 1'-0"

TABULATIONS

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PLAN 1B
UNITAS
KLEEGE ENTERPRISES

SCALE: 1/4" = 1'-0"



JUNE 10, 2014

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Project Address: 1818 Tenthon Avenue
Project Name: East of Camino Santa Fe Trm
UNITAS
Sheet Title: Plan 1B 1/4" Elevations
Original Date: June 10, 2014
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Revision 2:
Revision 1:
July 21, 2015
May 7, 2015
April 16, 2015
December 3, 2014
September 3, 2014
July 17, 2014

