



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: April 20, 2017 REPORT NO. PC-17-039

HEARING DATE: April 27, 2017

SUBJECT: Unitas. Process Five Decision.

PROJECT NUMBER: [375001](#)

OWNER/APPLICANT: Crouch Street, LLC/Latitude 33

### SUMMARY

Issue: Should the Planning Commission recommend the City Council approve a six-lot subdivision with five single dwelling units with deviations, and vacate water easements located on a 0.66-acre vacant parcel south of Carmel Valley Road and east of Rancho Santa Fe Farms Road within the Pacific Highlands Ranch Community Plan area?

Staff Recommendation: Recommend to the City Council:

1. Adopt Findings that the information contained within the Findings to the Pacific Highlands Ranch Subarea III Plan Master Environmental Impact Report (MEIR) for the Unitas Project No. 375001 has been completed in compliance with the California Environmental Quality Act, and the Unitas Findings to the Pacific Highlands Ranch Subarea III Plan Master EIR (LDR No. 96-7918 / SCH No. 97111077) reflect the independent judgment of the City of San Diego as Lead Agency; stating for the record that said Findings to the Pacific Highlands Ranch Subarea III Plan MEIR have been reviewed and considered prior to approving the project; and
2. Approve Vesting Tentative Map No. 1424164, Planned Development Permit No. 1328845, and Easement Vacation No. 1328846.

Community Planning Group Recommendation: On September 24, 2015, the Carmel Valley Community Planning Board voted 8-0-2 to recommend approval of the project (Attachment 12).

Environmental Review: The City of San Diego as Lead Agency under CEQA has prepared and completed Master Environmental Impact Report (MEIR) Findings for Project No. 375001 (Findings to MEIR No. 96-7918/SCH No. 97111077), dated January 23, 2017. Based on the initial study, the City of San Diego has determined the Unitas project would not cause any significant effect on the environment not examined in the previously certified MEIR.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The site is designated as Peripheral Residential in the Pacific Highlands Ranch Subarea Plan which allows densities between 5-9 dwelling units per acre (du/ac). Density is based upon net site area exclusive of major road dedications (e.g. Carmel Valley Road). With the proposed five market-rate dwelling units, the proposed project is consistent with the density of 7.6 du/ac. The North City Future Urbanizing Area (NCFUA) Framework Plan and the Pacific Highlands Ranch Subarea Plan requires new development to provide housing, or payment of an inclusionary affordable housing fee, to accommodate the needs of low income households, as certified by the Housing Commission. The applicant will pay the inclusionary affordable housing fee to the Housing Commission's NCFUA Affordable Housing Trust Account to meet the project's affordable housing requirement.

## BACKGROUND

In October of 1992, the City Council adopted the North City Future Urbanizing Area Framework Plan (NCFUA). The NCFUA established five subareas comprising 12,000 acres stretching easterly from Interstate 5 and Carmel Valley to the Rancho Penasquitos and Rancho Bernardo communities. On July 20, 1998, the City Council adopted the Pacific Highlands Ranch Subarea Plan. The California Coastal Commission modified and certified the Subarea Plan on March 10, 1999. The San Diego City Council accepted and approved the Coastal Commission action on July 20, 1999 by Resolution Number R-291920.

The Pacific Highlands Ranch Subarea Plan is located in the northwest portion of the NCFUA and is bounded on the north by Black Mountain Ranch Subarea I, Del Mar Mesa Subarea V to the south, Torrey Highlands Subarea IV lies to the east, and the Carmel Valley community to the west. Pacific Highlands Ranch encompasses approximately 2,652 acres in the central portion of the NCFUA. The Pacific Highlands Ranch Subarea Plan includes approximately 1,300 acres (or 48 percent) of Multi-Habitat Planning Area open space, up to 5,470 new residential units, three elementary schools, one junior high school, one senior high school, a community park, two neighborhood parks, a branch library, fire station, employment center, transit center, a private high school/church facility, and a mixed-use core. Extensive multiple use, equestrian, hiking, biking and walking trails are proposed throughout the Pacific Highlands Ranch Subarea Plan to connect the neighborhoods to schools, the town center, and other regional trail systems.

The 0.66-acre site is located east of Rancho Santa Fe Farms Road on the south side of Carmel Valley Road. The Pacific Highlands Ranch Subarea Plan designates the Unitas project site for Peripheral Residential uses (Attachments 1-2). The site is zoned RX-1-2, which provides for single dwelling unit development on smaller lots than RS Zones (3000 vs 5000 minimum). The existing elevations on-site range from approximately 326 feet above mean sea level (MSL) on the northern end of the site to approximately 314 feet above MSL on the southerly portion of the site. To the north is Carmel Valley Road and undeveloped property beyond, to the east is an entitled but undeveloped property, to the south and west is a single dwelling unit development separated by a retaining wall. Portions of the project site were graded in accordance with improvements to Carmel Valley Road. The project site is presently an undeveloped partially graded property (Attachment 3).

## DISCUSSION

### Project Description:

The Unitas project proposes to subdivide and develop five lots with five two-story single dwelling unit structures with deviations from the regulations of the RX-1-2 zone and one lettered Homeowner Association lot for the private driveway. The single dwelling units will be 2,793 square feet in gross floor area with attached 2-car garages. In addition, the project will construct various site improvements, including associated hardscape, retaining walls, and a perimeter noise attenuation wall. The Homeowner Association lot will include a private drive, with sidewalks and landscaping. Water utilities along the project site's eastern and southern property lines are no longer needed and existing easements would be vacated as part of the application.

### Required Actions:

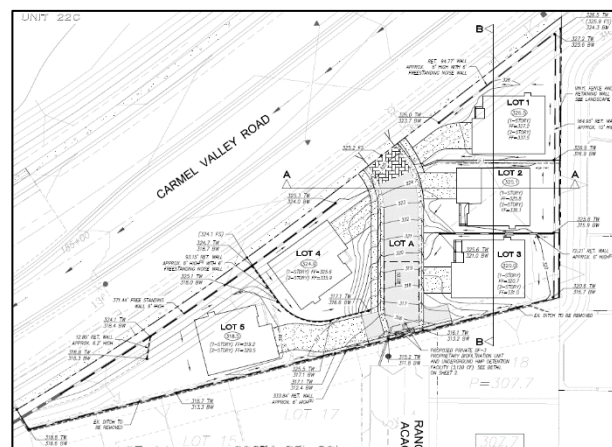
The Unitas project requires the approval of an Amended Vesting Tentative Map to subdivide the property. A Planned Development Permit is required to allow deviations from the development regulations. An Easement Vacation is required to vacate the unused easements.

### Deviations:

The Unitas project has been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for coverage, open space, grading, landscaping and all other development criteria for the RX-1-2 zone and Peripheral Residential land use designation, with deviations as allowed through the Planned Development Permit process. Implementation of the project would require eight deviations. These deviations are necessary to allow the site to be developed with a single dwelling unit residential product consistent with the intent of the Pacific Highlands Ranch Subarea Plan. The overall site layout, private drive and development pattern will comply with the intent of the residentially zoned parcel. The project proposes to deviate from requirements of the SDMC for lot width, five setbacks, retaining walls encroaching into the front yard, and driveway length.

The Unitas project site is unique.

The parcel is a remainder parcel from the Costa del Sol Subdivision to the south and west. Due to its irregular shape, and that it is surrounded by existing single family residential development, the project requires the following proposed eight deviations to create a functional project.



*Unitas Site Plan*

Deviations Table				
No.	Regulation	Requirement	Proposed	Lots
1	131.0443(b)(1); Front Setbacks in RX Zones	Variable Front Setbacks*	Setbacks as proposed	1 – 5
2	Table 131-04E; Standard Front Setback	15'	11.9 feet	4
3	Table 131-04E; Minimum Lot Width	35'	20 feet	1 and 5
4	131.0443(b)(2)(a)(i); Minimum Side Setback	4.5' Lot 2 4.7' Lot 3	4 feet	2 and 3
5	131.0443(b)(2)(a)(iii) Minimum Setback, Building Separation	10'	8-foot building separation	Between lots 1-2 and lots 2-3
6	Table 131-04E; Minimum Rear Yard Setback	10'	Allow 4 foot rear yard setback.	1 and 4
7	142-05B, Footnote 1 Driveway Length	20'	Allow 18 feet	3
8	142.0340; Front and Side Yard Retaining Wall Height	Two walls – 3' max each	One wall, 6 feet high	2 - 5

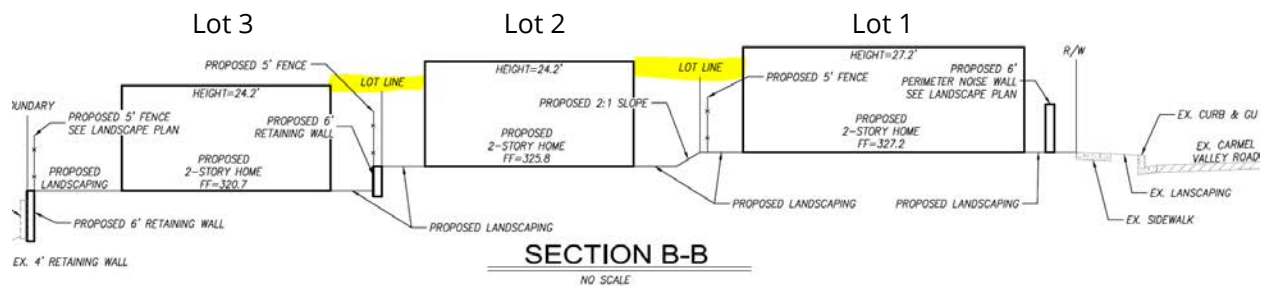
\* Variable: 10' for at least 25% of units, 15' for at least 25% of units, 20' for at least 25% of units, Max 40% in any one category. Due to unit count and site constraints, satisfying this regulation is not feasible.

The Unitas project requests a deviation (No. 1) from the SDMC Section [131.0443\(b\)\(1\)](#) to remove the specific requirements for variable front setbacks. Variable setbacks are required for development in the RX zone exceeding four dwelling units. However, with only five units in a constricted, irregularly-shaped remainder parcel, it is not feasible to satisfy this regulation. The proposed buildings are sited relative to site constraints and in harmony to the adjacent neighborhood and street pattern, as guided by the community plan. This results in a site-sensitive, varying setback among all lots of the project that takes into account the best use of the land to minimize grading. Each home provides a setback that is different from the next, as a response to the sloping-nature and constraints of the parcel. This provides visual interest and façade articulation, and a reduction in perceived bulk and scale. Therefore, the applicant is requesting to deviate from the variable front setback regulation as the project meets the intent of the regulation.

If the variable setback deviation is granted, the applicant would request a deviation (No. 2) to the standard minimum 15-foot setback requirement. Lot 4 encroaches into the front yard setback by approximately three feet due to the angled nature of the house to the private drive frontage and the arrangement of all lots on the remainder parcel. Lot 4 would observe an 11.9-foot front yard setback.

The minimum lot width requirement for the RX-1-2 zone is 35 feet. The applicant is requesting a lot width deviation (No. 3) to propose lots that are flag shaped or pinched as a response to the irregular shape of the parcel, while providing a single dwelling unit residential product consistent with the intent of the Pacific Highlands Ranch Subarea Plan. Using lot width measurements unique to these irregularly shaped lots (per [113.0243\(c\)\(1\)](#)), Lots 1 and 5 result in a lot width of 20 feet. If granted, these deviations would also help create a varied streetscape along Carmel Valley Road.

The Unitas project is requesting deviations (Nos. 4 and 5) from SDMC Section [131.0443\(b\)\(2\)\(a\)\(i\)](#) and [\(iii\)](#) to reduce the side yard setbacks and building separation distances. Minimum side- and street-side setbacks are at least three feet or 10 percent of the lot width, whichever is greater, but are not required to be more than five feet. Because the proposed lots are irregularly shaped, the setback requirement is inflated, therefore, the applicants are requesting a deviation (No. 4) for a four-foot setback between lots to allow the dwellings to be sited on the constricted parcel shape. Adhering to these proposed four-foot setbacks requires an additional deviation to building separation setback requirements. The applicant is requesting a deviation (No. 5) for an 8-foot building separation between Lots 1 and 2, and Lots 2 and 3 to distribute useable side-yards among the project. Section B-B below illustrates the lot separation deviation request in relation to the project site constraints and useable side-yard spaces.



The proposed project requires a deviation (No. 6) from SDMC Section [131.0443\(b\)\(3\)](#) to reduce the minimum rear yard setback. Due to the remainder parcel irregular shape, and siting of buildings, a reduction to the rear yard setback to four feet is requested on Lots 1 and 4. These deviations, in conjunction with the retaining wall deviations, provide useable side- or rear- yard spaces for each dwelling.

The applicant is requesting a deviation (No. 7) from SDMC Section [142.0560](#), Table 142-05K, to reduce the required driveway length of Lot 3. Due to the necessary siting of the building in relation to the irregular parcel shape, Lot 3 proposes an 18-foot long driveway. The driveway length of 18-feet would meet the required length for standard off-street parking space (8' x 18'), thus meeting the intent of the regulation. Additionally, the proposed driveway length contributes to the varying setback of the project.

As a result of the sloping, irregularly shaped lot, the applicant is requesting a deviation (No. 8) to the maximum height of retaining walls in SDMC Section [142.0340](#). Two retaining walls with a maximum height of three feet are permitted in the required front and street side yards. The applicant is requesting a deviation to allow one six-foot-high wall between Lots 2 and 3, to maintain useable yards and transition the elevation drop along the private drive. A similar situation between Lot 4 and 5 would occur, resulting in a transition of the private drive and the driveway into Lot 5, while retaining a useable side yard for Lot 4. These retaining walls would result in generally flat, usable side yard spaces between dwellings on this southerly-sloping irregularly shaped remainder parcel and takes into account the best use of the land while minimizing grading.

The requested deviations noted above would provide a similar product type to the adjacent neighborhood to the south and creates continuity with the community, a development pattern goal of the Pacific Highlands Ranch Subarea Plan. If the project were designed in strict conformance to the development regulations, the project would be under-density and dissimilar in bulk, scale, and pattern to the prevailing neighborhood, resulting in an incongruous project within the community

that does not align with the City's Strategic Plan Goals. Through the requested deviations, a more desirable project is created than would be achieved if designed in strict conformance with the development regulations.

#### Community Plan Analysis:

The Unitas project site is located within the Pacific Highlands Ranch Subarea Planning Area, which contains the more detailed area specific land use recommendations required by the citywide General Plan.

The Pacific Highlands Ranch community is based on neo-traditional planning concepts that emphasize bicycle, equestrian and pedestrian paths and focus community activities around a hub-and-spoke development pattern. Commercial, civic and residential uses would be integrated in the town center and the community's circulation system would accommodate pedestrian, bicycle, transit, and equestrian movement.

The residential neighborhood element of Pacific Highlands Ranch is organized in a hierarchical fashion. Homes would be grouped into neighborhoods and neighborhoods would be grouped together to form residential districts. The housing products of each district represent the clustering of like residences and the layering of densities throughout the community. Each district would be connected with other neighborhood districts by a system of trails, bikeways and streets.

The Unitas project site is located within that portion of the community designated as Peripheral Residential by the Pacific Highlands Ranch Subarea Plan. These residential areas would include diverse housing products such as small-lot single dwelling unit homes or duplexes. The designation serves as a bridge between higher density residential and the lowest density residential, with the expectation of single dwelling unit development on small lots. The project provides five single dwelling residential units on an irregularly shaped remainder parcel, designed in harmony with the existing topography, immediate adjacent neighborhood density, and street pattern. If the project were designed in strict conformance to the development regulations, the project would be under-density and dissimilar in bulk, scale, and pattern to the prevailing neighborhood, resulting in a project inconsistent with the recommendations of the community plan. Through the use of the deviations a more desirable project is created that is consistent with the Pacific Highlands Ranch Subarea Plan.

#### General Plan Analysis:

The Urban Design Element of the General Plan is based on the guiding principles of building upon our existing communities. The core values related to urban form include a compact, efficient, and environmentally sensitive pattern of development; and the physical, social, and cultural diversity of our City and its neighborhoods. The proposed project would build upon the existing community, and provide a compact, efficient and environmentally suitable pattern of development for this neighborhood.

The project would also implement the specific General Plan policy for Residential Street Frontages (UD-B.4) which recommends creating "street frontages with architectural and landscape interest for both pedestrian and neighborhood residents." The project would provide a level of architectural articulation necessary to create a visually coherent design and provide landscaping that would

include a variety of trees, shrubs and groundcovers in both the private front yards and the public streets.

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the Project (Attachments 5, 6, and 7) and draft conditions of approval (Attachments 8 and 9).

ALTERNATIVES

1. Approve Vesting Tentative Map No. 1424164, Planned Development Permit No. 1328845, and Easement Vacation No. 1328846, with modifications.
2. Deny Vesting Tentative Map No. 1424164, Planned Development Permit No. 1328845, and Easement Vacation No. 1328846, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe  
Deputy Director  
Development Services Department



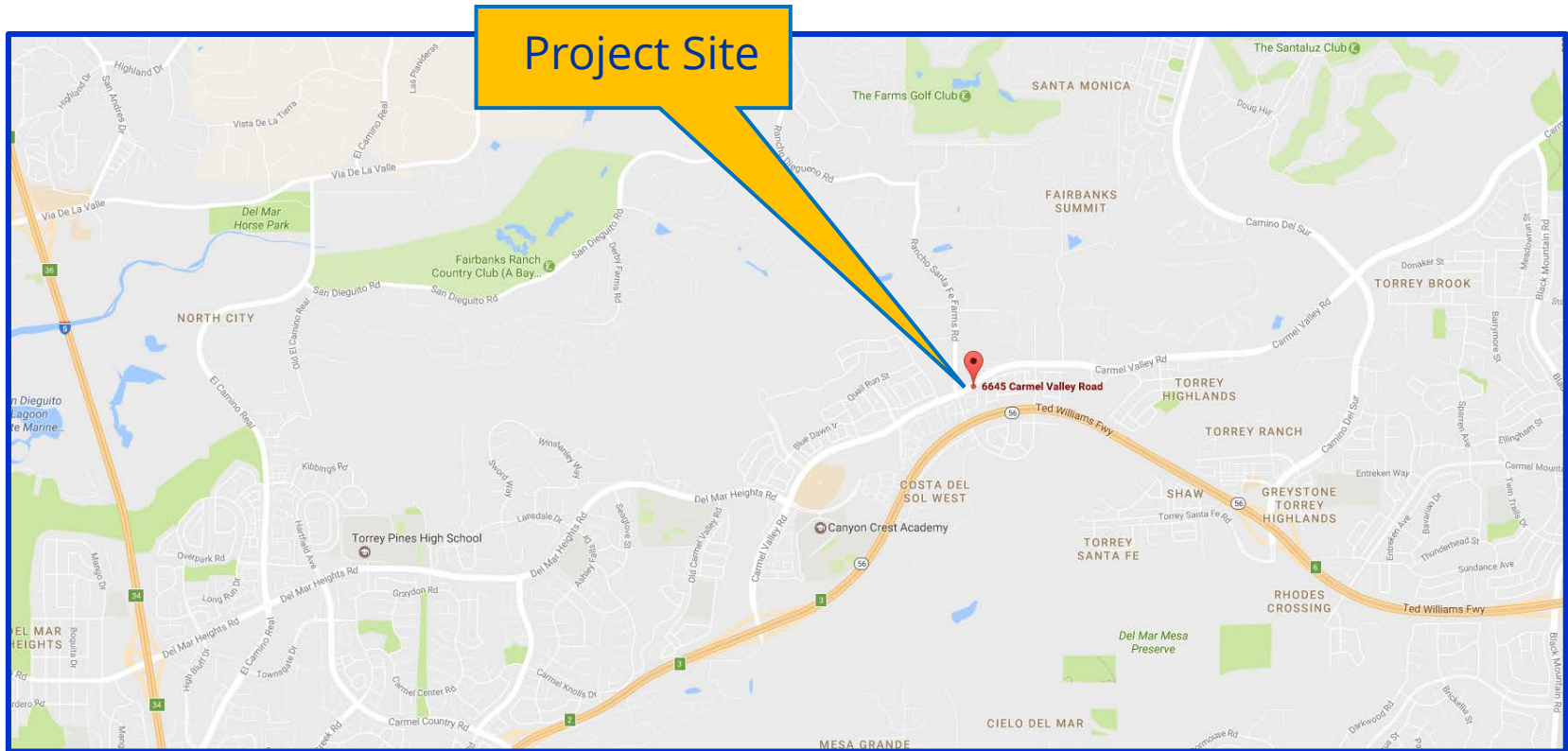
Francisco Mendoza  
Development Project Manager  
Development Services Department

EWL/FM

Attachments:

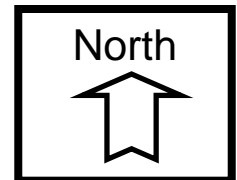
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Map Resolution with Findings
7. Draft Environmental Resolution (MEIR)
8. Draft Permit with Conditions
9. Draft Map Conditions
10. Project Plans
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement





## Project Location Map

Unitas / 6645 Carmel Valley Road  
PROJECT NO. 375001





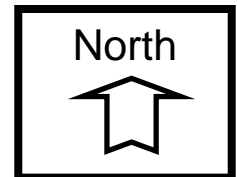






## Aerial Photograph

Unitas / 6645 Carmel Valley Road  
PROJECT NO. 375001



PROJECT DATA SHEET		
PROJECT NAME:	Unitas	
PROJECT DESCRIPTION:	6-Lot Subdivision with 5 Residences and 1 Homeowner Association Lot	
COMMUNITY PLAN AREA:	Pacific Highlands Ranch	
DISCRETIONARY ACTIONS:	Vesting Tentative Map, Planned Development Permit, Easement Vacation	
COMMUNITY PLAN LAND USE DESIGNATION:	Peripheral Residential	
<p style="text-align: center;"><b>ZONING INFORMATION:</b></p> <p> <b>ZONE:</b> RX-1-2  <b>HEIGHT LIMIT:</b> 30 feet  <b>LOT SIZE:</b> 3000 square feet  <b>FLOOR AREA RATIO:</b> 0.80  <b>FRONT SETBACK:</b> Variable (10'/15'/20') for 4 or more dwellings / otherwise 15'  <b>SIDE SETBACK:</b> 3 feet or 10% lot width  <b>STREETSIDE SETBACK:</b> 3 feet  <b>REAR SETBACK:</b> 10 feet  <b>PARKING:</b> 2 vehicles per dwelling         </p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential	Carmel Valley Rd / Vacant
SOUTH:	Peripheral Residential	Single Dwelling Residential
EAST:	Peripheral Residential	Single Dwelling Residential
WEST:	Peripheral Residential	Single Dwelling Residential
DEVIATION REQUESTED:	See Deviations below	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 24, 2015, the Carmel Valley Community Planning Board voted 8-0-2 to recommend approval without conditions.	

Deviations Table				
No.	Regulation	Requirement	Proposed	Lots
1	131.0443(b)(1); Front Setbacks in RX Zones	Variable Front Setbacks*	Setbacks as proposed	1 – 5
2	Table 131-04E; Standard Front Setback	15'	11.9 feet	4
3	Table 131-04E; Minimum Lot Width	35'	20 feet	1 and 5
4	131.0443(b)(2)(a)(i); Minimum Side Setback	4.5' Lot 2 4.7' Lot 3	4 feet	2 and 3
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8	142.0340; Front and Side Yard Retaining Wall Height	Two walls – 3' max each	One wall, 6 feet high	2 - 5

CITY COUNCIL RESOLUTION NO. R - \_\_\_\_\_  
PLANNED DEVELOPMENT PERMIT NO. 1328845  
**UNITAS - PROJECT NO. 375001**

WHEREAS, CROUCH STREET, LLC, a California limited liability company, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit to create a six lot subdivision (five residential lots and one homeowner association lot (private driveway), and construct five single dwelling units with deviations, known as the Unitas project (Project), located at 6645 Carmel Valley Road in the RX-1-2 zone within the Pacific Highlands Ranch Community Plan area; and

WHEREAS, the Project site is legally described as Lot 19 of Costa del Sol Unit No. 2, according to Map thereof No. 14958, recorded in the Office of the County Recorder of San Diego County on February 3, 2005; and

WHEREAS, on April 27, 2017, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1328845, and pursuant to Resolution No. \_\_\_\_\_-PC voted to recommend City Council approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 1328845:

**Planned Development Permit Findings SDMC 126.0604**

**1. The proposed development will not adversely affect the applicable land use plan;**

The 0.66-acre site is designated for residential uses by the Pacific Highlands Ranch Subarea Plan. The proposed six-lot subdivision includes five detached single family homes. The proposed residential development is consistent with the residential designation (Peripheral Residential) and density range of 5-9 dwelling units per acres (du/ac = 7.6) of the Plan. The Project fulfills a community need by providing needed housing in the City of San Diego. The Peripheral Residential portion of the Subarea Plan calls for residential areas that can include diverse housing products such as small-lot single family homes. General Plan Policy LU-C.1b of the Land Use and Community Planning Element relies on community plans for site-specific land use density regulations and recommendations. The Project does not propose a change in the land use or zoning of the site. In conformance with the Subarea Plan, the project concentrates residential development as part of a series of compact and diverse neighborhoods. The Project, therefore, is consistent with General Plan Policy LU-C.1b. The proposed project has been designed in harmony with the adjacent neighborhood pattern as well as the Pacific Highlands Ranch Subarea Plan, and the project will implement the goals and policies of the Subarea Plan. Therefore, the subdivision will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

The proposed development as currently designed will not be detrimental to the public health, safety, and welfare. The proposed development has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the public's health, safety and welfare. The proposed development will construct necessary sewer and water facilities to serve the occupants. All structures constructed will be reviewed by City staff for compliance with all relevant and applicable building, electrical, mechanical, and fire codes to assure the structures will meet or exceed the current City regulations. The proposed development has been reviewed by City staff and is consistent with the City's policies and requirements. Additionally, the permit controlling the development contains conditions addressing the project compliance with the City's regulations and policies, and other regional, state, and federal regulations to prevent detrimental impacts to the public health, safety, and welfare. Compliance with these regulations and project conditions would result in a development that will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The proposed development will comply with the regulations of the Land Development Code with proposed deviations. The deviations requested for the Unitas Project are needed in order to create a balanced site plan consistent with neighboring properties in the Pacific Highlands Ranch Community.

The Unitas project site is unique. The parcel is a remainder lot from the Costa del Sol Subdivision, and due to its irregular shape and being surrounded by existing single family residential development, requires the following proposed deviations in order to create a functional project.

<b>Deviations Table</b>				
<b>No.</b>	<b>Regulation</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Lots</b>
1	131.0443(b)(1); Front Setbacks in RX Zones	Variable Front Setbacks	Setbacks as proposed	1 – 5
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6	Table 131-04E; Minimum Rear Yard Setback	10'	Allow 4 foot rear yard setback.	1 and 4
7	142-05B, Footnote 1 Driveway Length	20'	Allow 18 feet	3
8	142.0340; Front and Side Yard Retaining Wall Height	Two walls – 3' max each	One wall, 6 feet high	2 - 5

The Unitas project requires a deviation (No. 1) from San Diego Municipal Code (SDMC) Section 131.0443(b)(1) to remove the requirement for variable front setbacks. Variable setbacks are required for developments in the RX zone exceeding four dwelling units: 15-foot setbacks are required for at least 25 percent of the total dwelling units, 10-foot setbacks are required for at least 25 percent of the total dwelling units, and 20-foot setbacks are required for at least 25 percent of the total dwelling units. No more than 40 percent of the total number of dwelling units are permitted to have front setbacks in any one category (10 feet, 15 feet, 20 feet). However, with only five units in a



constricted, irregularly-shaped remainder parcel, it is not feasible to satisfy this regulation. The proposed buildings are sited relative to site constraints and in harmony to the adjacent neighborhood and street pattern, as guided by the community plan. This results in a site-sensitive, varying setback among all lots of the project that takes into account the best use of the land to minimize grading. Each home provides a setback that is different from the next, as a response to the sloping-nature and constraints of the parcel. This provides visual interest and façade articulation, and a reduction in perceived bulk and scale. Therefore, the applicant is requesting to deviate from the variable front setback regulation as the project meets the intent of the regulation.

If the variable setback deviation is granted, the applicant would request a deviation (No. 2) to the standard minimum 15-foot setback requirement. Lot 4 encroaches into the front yard setback by approximately three feet due to the angled nature of the house to the private drive frontage and the arrangement of all lots on the remainder parcel. Lot 4 would observe an 11.9-foot front yard setback.

There are two lots with minimum lot width deviations. The minimum lot width requirement for RX-1-2 is 35 feet. Using lot width measurements unique to irregularly shaped lots (per 113.0243(c)(1)), Lots 1 and 5 require a deviation (No. 3). These lots are flag shaped or pinched in order to fit into the irregular shape of the remainder parcel. The average width of the first 50 feet of lot depth is less than the required 35 feet. The extended driveway and flag lot shape require a deviation for Lot 5. The pinched lot shape requires a deviation for Lot 1. Granting the deviations on Lots 1 and 5 would also help create a varied streetscape along Carmel Valley Road and the proposed private drive.

The Unitas project is requesting deviations (Nos. 4 and 5) from SDMC Section 131.0443(b)(2)(a)(i) and (iii) to reduce the side yard setbacks and building separation distances. Minimum side- and street-side setbacks are at least three feet or 10 percent of the lot width, whichever is greater, but are not required to be more than five feet. Because the proposed lots are irregularly shaped, the setback requirement is 4.5- and 4.7-foot setbacks for Lots 2 and 3, respectively. Therefore, the applicants are requesting a deviation (No. 4) for a four-foot setback between lots to allow the dwellings to be sited on the constricted parcel shape. Adhering to these proposed four-foot setbacks requires an additional deviation to building separation setback requirements. The applicant is requesting a deviation (No. 5) for an 8-foot building separation between Lots 1 and 2, and Lots 2 and 3 to distribute useable side-yards among the project.

The proposed project requires a deviation from SDMC Section 131.0443(b)(3) to reduce the minimum rear yard setback. Due to the remainder parcel irregular shape, and siting of buildings, a reduction to the rear yard setback to four feet is requested on Lots 1 and 4. These deviations, in conjunction with the retaining wall deviation below, provide useable side yard spaces for each homeowner.

The proposed project requires a deviation (No. 6) from SDMC Section 131.0443(b)(3) to reduce the minimum rear yard setback. Due to the remainder parcel irregular shape, and siting of buildings, a reduction to the rear yard setback to four feet is requested on Lots 1 and 4. These deviations, in conjunction with the retaining wall deviations, provide useable side- or rear- yard spaces for each dwelling.

Lot 3 requires a deviation (No. 7) from SDMC Section 142.0560, Table 142-05K, to reduce the required driveway length. Single family dwelling units that do not provide a driveway of at least 20 feet in length require two additional parking spaces (Table 142-05B, Footnote 1). Due to the necessary siting of the building in relation to the irregular parcel shape, Lot 3 proposes an 18-foot long driveway. The driveway length of 18-feet would meet the required length for standard off-street parking space (8' x 18'), thus meeting the intent of the regulation. Additionally, the proposed driveway length contributes to the varying setback of the project.

As a result of the sloping, irregularly shaped lot, the applicant is requesting a deviation (No. 8) to the maximum height of retaining walls in SDMC Section 142.0340. Two retaining walls with a maximum height of three feet are permitted in the required front and street side yards. The applicant is requesting a deviation to allow one six-foot-high wall between Lots 2 and 3, to maintain useable yards and transition the elevation drop along the private drive. A similar situation between Lot 4 and 5 would occur, resulting in a transition of the private drive and the driveway into Lot 5, while retaining a useable side yard for Lot 4. These retaining walls would result in generally flat, usable side yard spaces between dwellings on this southerly-sloping irregularly shaped remainder parcel and takes into account the best use of the land while minimizing grading.

The requested deviations noted above would provide a similar product type to the adjacent neighborhood to the south and creates continuity with the community, a development pattern goal of the community plan. If the project were designed in strict conformance to the development regulations, the project would be under-density and dissimilar in bulk, scale, and pattern to the prevailing neighborhood, resulting in an incongruous project within the community that does not align with the City's Strategic Plan Goals.. Through the requested deviations, a more desirable project is created than would be achieved if designed in strict conformance with the development regulations of the RX-1-2 zone. Therefore, the proposed development will comply with the regulations of the Land Development Code including the proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Planned Development Permit No. 1328845 is granted to CROUCH STREET, LLC, Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

APPROVED: MARA W. ELLIOTT, City Attorney

By

\_\_\_\_\_  
[Attorney]

Deputy City Attorney

[Initials]:[Initials]

[Month]/[Day]/[Year]

Or.Dept:[Dept]

Document No:

CITY COUNCIL RESOLUTION NUMBER R-\_\_\_\_\_

VESTING TENTATIVE MAP NO.1328845, UNITAS - PROJECT NO. 375001

WHEREAS, CROUCH STREET, LLC, a California limited liability company, Subdivider, and Bradley D. Sager, Engineer, submitted an application to the City of San Diego for a vesting tentative map (Vesting Tentative Map No. 1424164) and public water easement vacation (Easement Vacation No. 1328846) for the Unitas Project, a six-lot subdivision (five-lot residential and one-lot homeowner association (private drive)). The project site is located south of Carmel Valley Road and east of Rancho Santa Fe Road, 6645 Carmel Valley Road, in the RX-1-2 Zone of the Pacific Highlands Ranch Community Planning area. The property is legally described as Lot 19 of Costa del Sol Unit No. 2, according to Map thereof No. 14958, recorded in the Office of the County Recorder of San Diego County on February 3, 2005; and

WHEREAS, the Map proposes the Subdivision of a 0.66-acre site into six (6) lots for residential development (5 residential lots and 1 homeowner association lot); and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is five; and

WHEREAS, on April 27, 2017, the Planning Commission of the City of San Diego considered Vesting Tentative Map No. 1424164 and Public Easement Vacation No. 1328846, and pursuant to

Resolution No. \_\_\_\_\_ the Planning Commission voted to recommend City Council approval of the map; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on \_\_\_\_\_, the City Council of the City of San Diego considered Vesting Tentative Map No. 1424164, and Public Easement Vacation No. 1328846, pursuant to San Diego Municipal Code section(s) 125.0440, 125.1040, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 1424164 and Easement Vacation No. 1328846:

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The 0.66-acre site is designated for residential uses by the Pacific Highlands Ranch Subarea Plan. The proposed five-lot subdivision includes five detached single family homes. The proposed residential development is consistent with the residential designation (Peripheral Residential) and density range of 5-9 dwelling units per acres (du/ac = 7.6) of the Plan. The Project fulfills a community need by providing needed housing in the City of San Diego. The Peripheral Residential portion of the Subarea Plan calls for residential areas that can include diverse housing products such as small-lot single family homes. General Plan Policy LU-C.1b of the Land Use and Community Planning Element relies on community plans for site-specific land use density regulations and recommendations. The Project does not propose a change in the land use or zoning of the site. In conformance with the Subarea Plan, the project concentrates residential development as part of a series of compact and diverse neighborhoods. The Project, therefore, is consistent with General Plan Policy LU-C.1b. The proposed project has been designed in harmony with the adjacent neighborhood pattern as well as the Pacific Highlands Ranch Subarea Plan, and the project will

implement the goals and policies of the Subarea Plan. Therefore, the subdivision will not adversely affect the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The proposed subdivision will comply with the regulations of the Land Development Code with proposed deviations. The deviations requested for the subdivision are needed in order to create a balanced site plan consistent with neighboring properties to the south and west in the Pacific Highlands Ranch Community.

The project site is unique. The parcel is a remainder lot from the Costa del Sol Subdivision, and due to its irregular shape and being surrounded by existing development, requires the following proposed deviations in order to create a functional project.

<b>Deviations Table</b>				
<b>No.</b>	<b>Regulation</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Lots</b>
1	131.0443(b)(1); Front Setbacks in RX Zones	Variable Front Setbacks	Setbacks as proposed	1 – 5
2	Table 131-04E; Standard Front Setback	15'	11.9 feet	4
3	Table 131-04E; Minimum Lot Width	35'	20 feet	1 and 5
4	131.0443(b)(2)(a)(i); Minimum Side Setback	4.5' Lot 2 4.7' Lot 3	4 feet	2 and 3
5	131.0443(b)(2)(a)(iii) Minimum Setback, Building Separation	10'	8-foot building separation	Between lots 1-2 and lots 2-3
6	Table 131-04E; Minimum Rear Yard Setback	10'	Allow 4 foot rear yard setback.	1 and 4
7	142-05B, Footnote 1 Driveway Length	20'	Allow 18 feet	3
8	142.0340; Front and Side Yard Retaining Wall Height	Two walls – 3' max each	One wall, 6 feet high	2 - 5

The subdivision requires a deviation from San Diego Municipal Code (SDMC) Section 131.0443(b)(1) to remove the requirement for variable front setbacks. Variable setbacks are required for developments in the RX zone exceeding four dwelling units: 15-foot setbacks are required for at least 25 percent of the total dwelling units, 10-foot setbacks are required for at least 25 percent of the total dwelling units, and 20-foot setbacks are required for at least 25 percent of the total dwelling units. No more than 40 percent of the total number of dwelling units are permitted to have front setbacks in any one category (10 feet, 15 feet, 20 feet). However, with only five units in a

constricted, irregularly-shaped remainder parcel, it is not feasible to satisfy this regulation. The proposed buildings are sited relative to site constraints and in harmony to the adjacent neighborhood and street pattern, as guided by the community plan. This results in a site-sensitive, varying setback among all lots of the project that takes into account the best use of the land to minimize grading. Each home provides a setback that is different from the next, as a response to the sloping-nature and constraints of the parcel. This provides visual interest and façade articulation, and a reduction in perceived bulk and scale. Therefore, the applicant is requesting to deviate from the variable front setback regulation as the project meets the intent of the regulation.

If the variable setback deviation is granted, the applicant would request a deviation (No. 2) to the standard minimum 15-foot setback requirement. Lot 4 encroaches into the front yard setback by approximately three feet due to the angled nature of the house to the private drive frontage and the arrangement of all lots on the remainder parcel. Lot 4 would observe an 11.9-foot front yard setback.

There are two lots with minimum lot width deviations. The minimum lot width requirement for RX-1-2 is 35 feet. Using lot width measurements unique to irregularly shaped lots (per 113.0243(c)(1)), Lots 1 and 5 require a deviation (No. 3). These lots are flag shaped or pinched in order to fit into the irregular shape of the remainder parcel. The average width of the first 50 feet of lot depth is less than the required 35 feet. The extended driveway and flag lot shape require a deviation for Lot 5. The pinched lot shape requires a deviation for Lot 1. Granting the deviations on Lots 1 and 5 would also help create a varied streetscape along Carmel Valley Road and the proposed private drive.

The subdivision is requesting deviations (Nos. 4 and 5) from SDMC Section 131.0443(b)(2)(a)(i) and (iii) to reduce the side yard setbacks and building separation distances. Minimum side- and street-side setbacks are at least three feet or 10 percent of the lot width, whichever is greater, but are not required to be more than five feet. Because the proposed lots are irregularly shaped, the setback requirement is 4.5- and 4.7-foot setbacks for Lots 2 and 3, respectively. Therefore, the applicants are requesting a deviation (No. 4) for a four-foot setback between lots to allow the dwellings to be sited on the constricted parcel shape. Adhering to these proposed four-foot setbacks requires an additional deviation to building separation setback requirements. The applicant is requesting a deviation (No. 5) for an 8-foot building separation between Lots 1 and 2, and Lots 2 and 3 to distribute useable side-yards among the project.

The proposed subdivision requires a deviation from SDMC Section 131.0443(b)(3) to reduce the minimum rear yard setback. Due to the remainder parcel irregular shape, and siting of buildings, a reduction to the rear yard setback to four feet is requested on Lots 1 and 4. These deviations, in conjunction with the retaining wall deviation below, provide useable side yard spaces for each homeowner.

The proposed subdivision requires a deviation (No. 6) from SDMC Section 131.0443(b)(3) to reduce the minimum rear yard setback. Due to the remainder parcel irregular shape, and siting of buildings, a reduction to the rear yard setback to four feet is requested on Lots 1 and 4. These deviations, in conjunction with the retaining wall deviations, provide useable side- or rear- yard spaces for each dwelling.



Lot 3 requires a deviation (No. 7) from SDMC Section 142.0560, Table 142-05K, to reduce the required driveway length. Single family dwelling units that do not provide a driveway of at least 20 feet in length require two additional parking spaces (Table 142-05B, Footnote 1). Due to the necessary siting of the building in relation to the irregular parcel shape, Lot 3 proposes an 18-foot long driveway. The driveway length of 18-feet would meet the required length for standard off-street parking space (8' x 18'), thus meeting the intent of the regulation. Additionally, the proposed driveway length contributes to the varying setback of the project.

As a result of the sloping, irregularly shaped lot, the applicant is requesting a deviation (No. 8) to the maximum height of retaining walls in SDMC Section 142.0340. Two retaining walls with a maximum height of three feet are permitted in the required front and street side yards. The applicant is requesting a deviation to allow one six-foot-high wall between Lots 2 and 3, to maintain useable yards and transition the elevation drop along the private drive. A similar situation between Lot 4 and 5 would occur, resulting in a transition of the private drive and the driveway into Lot 5, while retaining a useable side yard for Lot 4. These retaining walls would result in generally flat, usable side yard spaces between dwellings on this southerly-sloping irregularly shaped remainder parcel and takes into account the best use of the land while minimizing grading.

The requested deviations noted above would provide a similar product type to the adjacent neighborhood to the south and creates continuity with the community, a development pattern goal of the community plan. If the project were designed in strict conformance to the development regulations, the project would be under-density and dissimilar in bulk, scale, and pattern to the prevailing neighborhood, resulting in an incongruous project within the community that does not align with the City's Strategic Plan Goals.. Through the requested deviations, a more desirable project is created than would be achieved if designed in strict conformance with the development regulations of the RX-1-2 zone. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

### **3. The site is physically suitable for the type and density of development.**

The project proposes five single family detached dwelling units on a remainder parcel. The density is within the 5-9 dwelling units/acre envisioned within the Peripheral Residential land use area of the Pacific Highlands Ranch Subarea Plan. The site is surrounded by existing residential development to the south and southwest, and single family residential development to the east. Carmel Valley Road is improved to the north and existing facilities that will serve this site are located within that right-of-way. Therefore, the site is physically suitable for the type and intensity of development.

### **4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site area was previously analyzed in the Master Environmental Impact Report for the Pacific Highlands Ranch Subarea Plan. There are no sensitive habitats, species or water courses on-site. Therefore, the design of the subdivision would not likely cause substantial environmental damage or substantially and avoidably injure fish or wildlife in their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The proposed development as designed will not be detrimental to the public health, safety, and welfare. The proposed development has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the public's health, safety and welfare. The proposed development will construct necessary sewer and water facilities to serve the occupants. All structures constructed will be reviewed by City staff for compliance with all relevant and applicable building, electrical, mechanical, and fire codes to assure the structures will meet or exceed the current City regulations. The proposed development has been reviewed by City staff and is consistent with the City's policies and requirements. Additionally, the permit controlling the development contains conditions addressing the project compliance with the City's regulations and policies, and other regional, state, and federal regulations to prevent detrimental impacts to the public health, safety, and welfare. Compliance with these regulations and project conditions would result in a development that will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The design of the subdivision and the type of improvements are such that they do not conflict with any easements, acquired by the public at large, for access through or use of the property within the proposed subdivision as demonstrated by the City Engineer. However, water easements along the southerly and easterly boundaries of the site will be vacated with this project, as they have been removed per the Pacific Highlands Ranch Unit 23 and Unit 25 approvals and made redundant by the new Del Mar Heights Pipeline as part of the Carmel Valley Road East-Phase 2 realignment project. See Easement Vacation Findings below.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The design and proposed improvements for the subdivision are consistent with California Government Code Section 66473.1 and San Diego Municipal Code Section 125.0440(g) regarding the design of the subdivision for future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading. Each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The proposed project is the subdivision of a 0.66-acre parcel into five lots for residential development. The North City Future Urbanizing Area (NCFUA) Framework Plan and the Pacific Highlands Ranch Community Plan require new development to provide housing to accommodate the needs of low income households, as certified by the San Diego Housing Commission. The applicant has chosen the option of paying an in-lieu fee to the City's NCFUA Affordable Housing

Trust Account to meet their affordable housing requirement rather than provide the dwelling units. The Pacific Highlands Ranch Plan allows an in-lieu fee option in the amount determined by the San Diego Housing Commission. Balanced needs for public facilities were taken into consideration with the development of the Pacific Highlands Community Plan and the projected build-out with the applied zone designations. The subdivision of this parcel into five residential lots is consistent with what was anticipated in the community plan. The project design has taken into account the best use of the land to minimize grading. The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of five residential lots for private development is consistent with the housing needs anticipated for the area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that existing water easements, located within the project boundaries as shown in Vesting Tentative Map No. 1424164, shall be vacated, contingent upon the recordation of the approved Final Map for the project, and that the following findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference:

**9. There is no present or prospective use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.**

The two City of San Diego water mains within the easements to be vacated are no longer in use. The 36-inch water main was abandoned in place as per City Drawings No. 37497-9-D, and the 30-inch water main was cut and slurried (terminated). The 30-inch water main was abandoned by omission of the Pacific Highlands Ranch plans for Units 23 (Map Nos. 15987 and 16004). The portion remaining on the subject project site is no longer needed and redundant with the new water main located within the widened Carmel Valley Road (per Map No. 37497). As the water mains have been removed, there is no longer a present or prospective use for the water easements as originally acquired or for any other public use of a like nature that can be anticipated.

**10. The public will benefit from the vacation through improved utilization of the land made available by the vacation.**

The vacation of the water easements will allow the development of the subdivision in a manner consistent with the Pacific Highlands Ranch Subarea Plan. The project is proposing five dwelling units on a remainder parcel, and the building of more dwelling units helps meet the region's need for housing. Therefore, the public will benefit through the improved utilization of the land made available by the vacation.

**11. The vacation is consistent with any applicable land use plan.**

The project is located within the Pacific Highlands Ranch Subarea Plan which designates the site as Peripheral Residential. The community plan does not provide guidance for the vacation of easements, however, the vacation of the water easement allows greater utilization of the land in the Peripheral Residential use. The vacation will allow additional housing to be built, consistent with the land use plan.

**12. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.**

The water mains are no longer in use. Their function as the Del Mar Height Pipeline has been relocated to Carmel Valley Road as per Grading and Improvement Plans for Carmel Valley Road City Drawing No. 37497-D. The easements in place served water mains that are no longer in use, making them redundant to the Carmel Valley Road Water Main. Therefore, the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Vesting Tentative Map No. 1424164, and Easement Vacation No. 1328846 is approved, hereby granted to CROUCH STREET, LLC, Subdivider, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: Mara W. Elliott, City Attorney

By \_\_\_\_\_  
[Attorney]  
Deputy City Attorney

[Initials]:[Initials]  
[Month]/[Day]/[Year]  
Or.Dept:[Dept]  
R-R-[Reso Code]

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24004790

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, on December 11, 2014, Crouch Street, LLC, a California limited liability company, submitted an application to the Development Services Department for an Easement Vacation, Vesting Tentative Map and Planned Development Permit for the Unitas Project - Project No. 375001 (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on \_\_\_\_\_, 2017; and

WHEREAS, the City Council had previously certified Master Environmental Impact Report (MEIR) No. 96-7918 on July 28, 1998 for the Pacific Highlands Ranch (Subarea III) Subarea Plan; and

WHEREAS, the Unitas project site is within the Pacific Highlands Ranch (Subarea III) Subarea Plan; and

WHEREAS, in connection with the consideration of the Unitas project, the City Council considered MEIR No. 96-7918, Findings to EIR No. 96-7918, and the Initial Study prepared for the Unitas project; NOW THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that it makes the following findings with respect to the Unitas project in compliance with the California Environmental Quality Act of 1970 (CEQA) (California Public Resources Code section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, section 15000 et seq.), that the findings reflect the independent judgment of the City of San Diego as Lead Agency, and that the information contained in MEIR No. 96-7918, the Findings to EIR No. 96-7918, the Initial

Study prepared for the Unitas project, and any comments received during the public review process, has been reviewed and considered by the Council:

- a) The proposed project will have no additional significant effect on the environment that was not identified in MEIR No. 96-7918, no new or additional mitigation measures or alternatives may be required, and the project is within the scope of MEIR No. 96-7918; and
- b) No substantial changes have occurred with respect to the circumstances under which MEIR No. 96-7918 was certified and no new information, which was not known and could not have been known at the time that the MEIR was certified, has become available.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: MARA W. ELLIOT, City Attorney

By: \_\_\_\_\_  
\_\_\_\_\_, Deputy City Attorney

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**  
**MAIL STATION 2A**

INTERNAL ORDER NUMBER: 24004790

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 1328845  
**UNITAS PROJECT NO. 375001**  
CITY COUNCIL

This Planned Development Permit No. 1328845 is granted by the City Council of the City of San Diego to CROUCH STREET, LLC, a California limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0604. The 0.66-acre site is located south of Carmel Valley Road, east of Rancho Santa Fe Farms Road in the RX-1-2 zone of the Pacific Highlands Ranch Subarea Plan. The project site is legally described as Lot 19 of Costa Del Sol Unit No. 2, according to Map thereof No. 14958, recorded in the Office of the County Recorder of San Diego County on February 3, 2005.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to subdivide a 0.66-acre site to create a six lot subdivision (five residential lots and one homeowner association lot (private driveway), and develop five single dwelling units with deviations to lot width, setbacks, and wall height described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated \_\_\_\_\_, on file in the Development Services Department.

The project shall include:

- a. Subdivide a 0.66-acre site to create a six-lot subdivision with a private driveway, and develop five single dwelling units with deviations;
- b. Deviations to lot width, front-, side- and rear-yard setbacks, and front yard wall height;
- c. A free-standing, perimeter noise wall;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.



**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by \_\_\_\_\_ [3 years from date of final approval, City Clerk to Stamp].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**AFFORDABLE HOUSING REQUIREMENTS:**

11. Prior to issuance of the first building permit, the Owner/Permittee shall pay an in-lieu fee to the San Diego Housing Commission in conformance with the NCFUA Framework Plan requirements for affordable housing based on the current fee amount at that time.

**ENGINEERING REQUIREMENTS:**

12. This Planned Development Permit shall comply with conditions of Vesting Tentative Map No. 1424164.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with City Storm Water Standards.

14. Prior to issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a City standard 20-foot driveway, on Carmel Valley Road, satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the private storm drain system located within the City public easements in Rancho Del Acacia Way, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
19. The drainage system for this project shall be private and will be subject to approval by the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

### **LANDSCAPE REQUIREMENTS:**

21. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards, to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A."
22. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a forty-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
23. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall show, label, and dimension a forty-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

24. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards. The Owner/Permittee may transfer responsibility to a Home Owners' Association, Landscape Maintenance District, or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

26. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**PLANNING/DESIGN REQUIREMENTS:**

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction inspection, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

30. The Owner/Permittee shall maintain all street trees along Carmel Valley Road in accordance with the site distance restrictions in the Landscape Design Manual and shall insure that the canopy shall be not lower than eight (8) feet above the street curb level, satisfactory to the City Engineer.

31. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

32. Prior to the issuance of any building permits, the Owner/Permittee shall apply and obtain plumbing permit(s) for the installation of appropriate above ground private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs are typically located on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

33. Prior to issuance of any engineering permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, landscaping, enriched paving, and electrical conduits to be installed within the public- right-of-way or public easement.

34. The Owner/Permittee shall design and install all necessary irrigation appurtenances to utilize recycled water. If recycled water is unavailable, then the irrigation system shall initially be supplied from the potable water system until recycled water is available. The system shall be designed to allow the conversion from potable to recycled water service and avoid any cross connections between the two systems satisfactory to the Public Utilities Director and the City Engineer. This will necessitate a separate irrigation service.

35. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

36. All proposed public water and sewer facilities must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto.

37. All on-site water and sewer facilities shall be private.

38. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

39. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

## ATTACHMENT 8

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to payment of School Impact Fees at the time of issuance of building permits, as provided by Education Code Section 17620, in accordance with procedures established by the Director of Building Inspection.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on \_\_\_\_\_ and \_\_\_\_\_.

## ATTACHMENT 8

Permit Type/PTS Approval No.: PDP No. 1328845

Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Francisco Mendoza  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Crouch Street, LLC**  
a California limited liability company  
Owner/Permittee

By \_\_\_\_\_  
R. Bruce Kleege,  
Manager

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



CITY COUNCIL  
CONDITIONS FOR VESTING TENTATIVE MAP NO. 1424164, UNITAS - PROJECT NO. 375001

ADOPTED BY RESOLUTION NO. R-\_\_\_\_\_ ON \_\_\_\_\_

**GENERAL**

1. This Vesting Tentative Map will expire [3 years from date of final approval][City Clerk to stamp date] \_\_\_\_\_.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. This Tentative Map shall comply with the conditions of the Planned Development Permit No. 1328845.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

**ENGINEERING**

6. The Subdivider shall ensure that all existing and proposed onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.

7. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
8. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

**MAPPING**

9. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
10. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
11. The Final Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

**PUBLIC UTILITIES**

12. Prior to recordation of the Final Map, the Subdivider shall sign and provide to the City a letter acknowledging their obligation and intent to create, via CC&Rs on each Unit's title, provisions for the continuous future operation and maintenance of the development's private sewer main in a manner satisfactory to the Public Utilities Director and the City Engineer.

**TRANSPORTATION**

13. Prior to the recordation of the Final Map, the Subdivider shall provide recorded reciprocal access easements in favor of all parcels within the project site, to the satisfaction of the City Engineer.

**INFORMATION:**

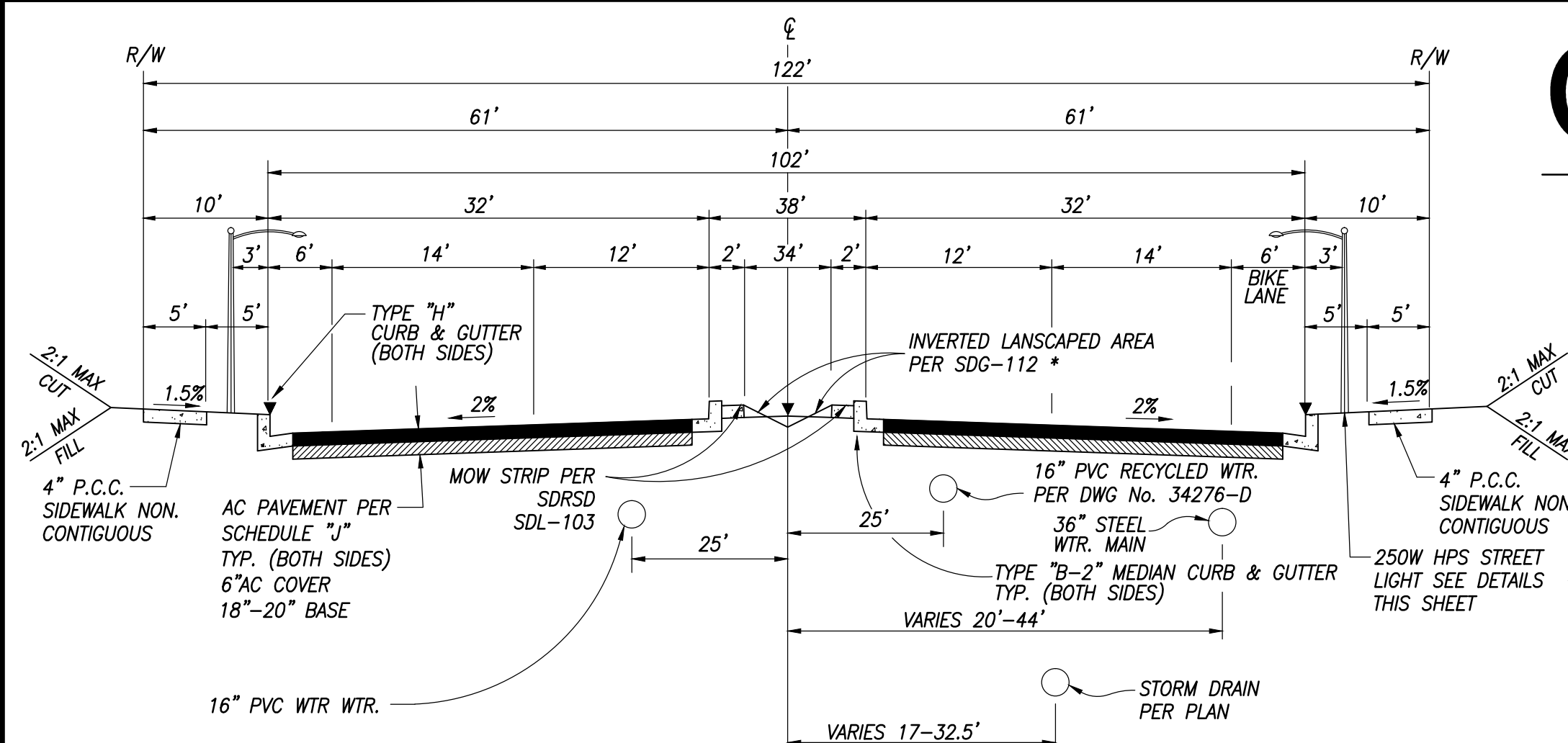
- The approval of this Vesting Tentative Map by the City Council of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24004790



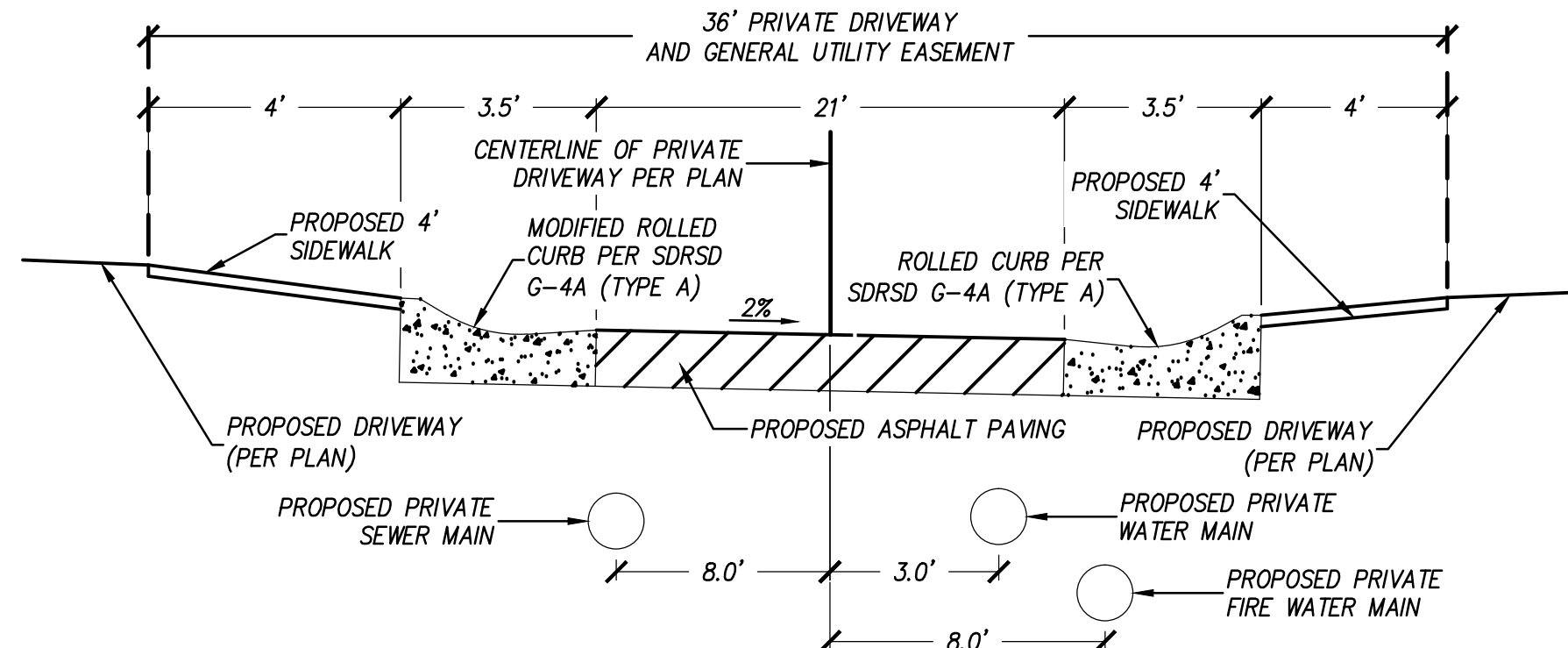
# CARMEL VALLEY ROAD - UNITAS

## PLANNED DEVELOPMENT PERMIT NO. 1328845 VESTING TENTATIVE MAP NO. 1424164 WATER EASEMENT VACATION



**CARMEL VALLEY ROAD  
TYPICAL SECTION**

NOT TO SCALE



**TYP. STREET SECTION**

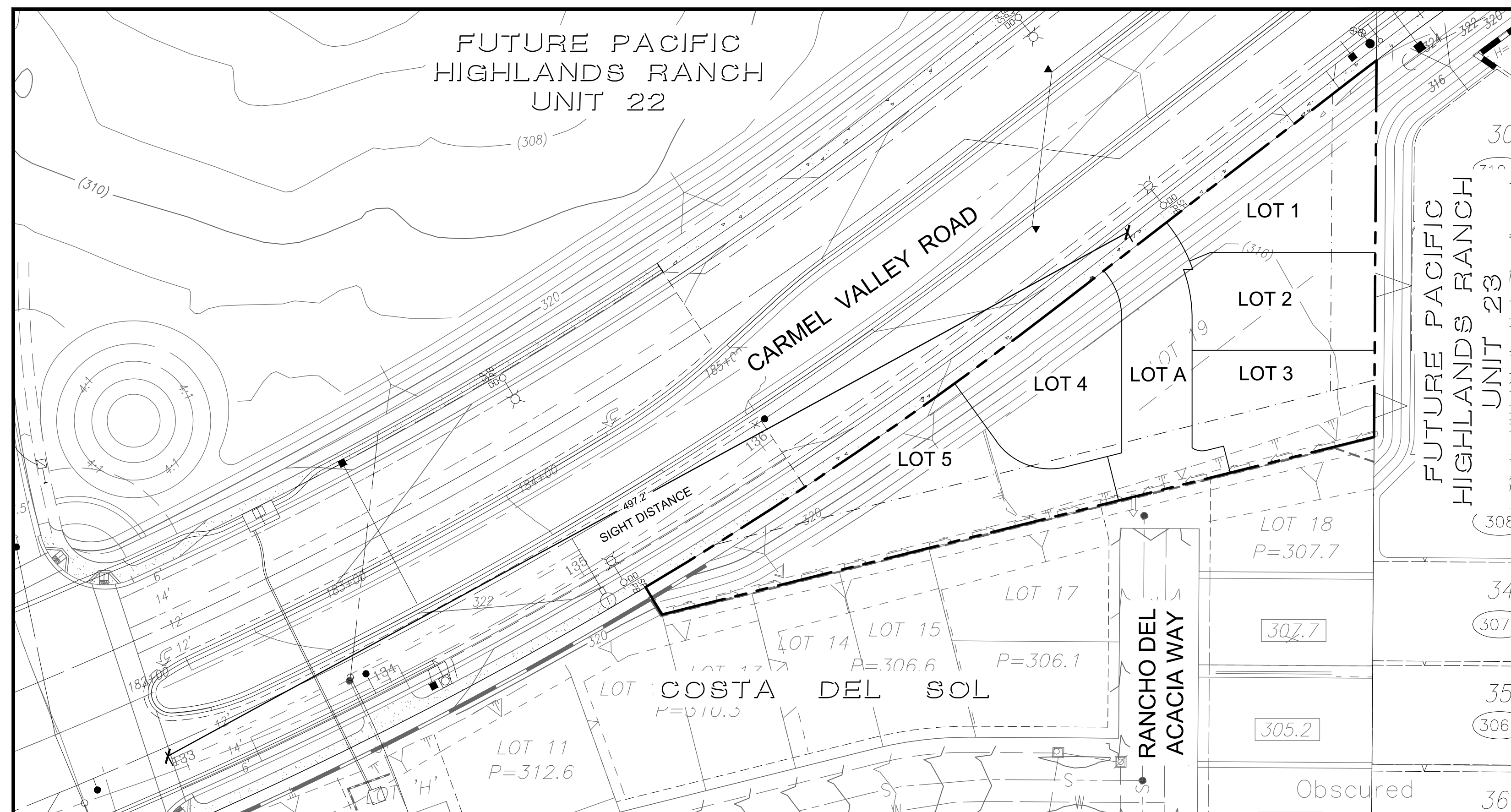
(PRIVATE ROAD)  
NOT TO SCALE

### RX-1-2 REGULATION TABLE

REGULATION	REGULATION REQUIREMENT	DEVIATION REQUEST/PROPOSED REGULATION	LOTS REQUESTING DEVIATION
MIN LOT AREA (SF) [131.0441]	3,000 SF	COMPLIES	--
LOT WIDTH (FT) (TABLE 131-04E)	35 FT	20 FT	1, 5
STREET FRONTAGE (FT) [131.0442(B)]	35 FT	COMPLIES	--
LOT WIDTH (CORNER) (FT) (131-04E)	35 FT	COMPLIES	--
LOT DEPTH (FT) (131-04E)	50 FT	COMPLIES	--
MIN FRONT SETBACK (FT) (131-04E)	OVERALL: 15 FT	OVERALL: 11 FT	4
MIN FRONT SETBACK (FT) [131.0443(B)(1)]	VARIABLE: 15 FT FOR AT LEAST 25% 10 FT FOR AT LEAST 25% 20 FT FOR AT LEAST 25% NO MORE THAN 40% IN ANY ONE CATEGORY	VARIABLE SETBACKS TO NOT APPLY	1-5
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(i)]	MINIMUM SIDE AND STREET SIDE SETBACKS ARE AT LEAST 3 FEET OR 10 PERCENT OF THE LOT WIDTH, WHICHEVER IS GREATER, BUT IS NOT REQUIRED TO BE MORE THAN 5 FEET	4 FT	2, 3
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(ii)]	NO SIDE SETBACK IS REQUIRED FOR ONE SIDE ONLY PROVIDED THE SIDE WITH NO SETBACK IS ADJACENT TO OTHER PROPERTY WITHIN AN RX ZONE	COMPLIES	--
MIN SIDE SETBACK (FT) [131.0443(B)(2)(A)(iii)]	A SEPARATION OF AT LEAST 10 FEET BETWEEN BUILDINGS MUST BE OBSERVED ON AT LEAST ONE SIDE OF EACH BUILDING	A SEPARATION OF AT LEAST 8 FEET BETWEEN BUILDINGS MUST BE OBSERVED ON AT LEAST ONE SIDE OF EACH BUILDING	2
MIN STREET SIDE SETBACK (FT) [131.0443(B)(2)(A)(iv)]	MINIMUM SIDE AND STREET SIDE SETBACKS ARE AT LEAST 3 FEET OR 10 PERCENT OF THE LOT WIDTH, WHICHEVER IS GREATER, BUT IS NOT REQUIRED TO BE MORE THAN 5 FEET	COMPLIES	--
MIN STREET SIDE SETBACK (FT) [131.0443(B)(2)(A)(v)]	NO SIDE SETBACK IS REQUIRED FOR ONE SIDE ONLY PROVIDED THE SIDE WITH NO SETBACK IS ADJACENT TO OTHER PROPERTY WITHIN AN RX ZONE	COMPLIES	--
MIN STREET SIDE SETBACK (FT) [131.0443(B)(2)(A)(vi)]	A SEPARATION OF AT LEAST 10 FEET BETWEEN BUILDINGS MUST BE OBSERVED ON AT LEAST ONE SIDE OF EACH BUILDING	COMPLIES	--
MIN REAR SETBACK (FT) [131.0443(B)(3)]	10 FT	4 FT	1, 4
MAX STRUCTURE HEIGHT (FT) [131.0444(C)]	30 FT	COMPLIES (MAX STRUCTURE HEIGHT IS 26'-8")	--
MAX FLOOR AREA RATIO [131.0446(C)]	0.80	COMPLIES (FAR = 0.50, SEE LOT SUMMARY TABLE)	--
ACCESSORY USES AND STRUCTURES [131.0448 AND 141.0306]	APPLIES	N/A (NO ACCESSORY STRUCTURES)	--
GARAGE REGULATIONS [131.0449(A)]	APPLIES	N/A (GARAGE NOT IN EXISTING EMBANKMENT)	--
BUILDING SPACING [131.0450]	DETACHED DWELLINGS SHALL MAINTAIN A MINIMUM DISTANCE OF 6 FEET BETWEEN DWELLINGS AND 3 FEET BETWEEN ANY DWELLING AND ANY DETACHED, NON-HABITABLE ACCESSORY BUILDING LOCATED ON THE SAME PREMISES	COMPLIES	--
ARCHITECTURAL PROJECTIONS & ENCROACHMENTS [131.0461(A)]	APPLIES	COMPLIES (131.0461(A)(4)(A) FIREPLACE NOT CLOSER THAN 2'-6")	--
ROOF DESIGN VARIATION [131.0463]	IN THE RX ZONES, FOR DEVELOPMENTS EXCEEDING 8 DWELLING UNITS, AT LEAST 30 PERCENT OF THE UNITS SHALL HAVE ROOF DESIGNS THAT VARY FROM THE REMAINDER OF THE DWELLING UNITS	N/A (LESS THAN 8 UNITS)	--
SUPPLEMENTAL REGULATIONS [131.0464(B)(1)]	FOR LOTS WITHOUT ALLEY ACCESS, A MINIMUM OF 25 PERCENT OF THE LENGTH OF THE BUILDING FACADE ON THE GROUND FLOOR MUST BE UTILIZED FOR HABITABLE SPACE	COMPLIES (38.8% OF FACADE IS HABITABLE SPACE)	--
REFUSE AND RECYCLABLE MATERIAL STORAGE [142.0805]	APPLIES	COMPLIES (12 SF REFUSE STORAGE AREA AND 12 SF RECYCLABLE STORAGE AREA PROVIDED IN GARAGE)	--
MINIMUM USABLE OPEN SPACE (TABLE 143-04B)	500 SQ FT PER DWELLING UNIT	COMPLIES (2,500 SF REQUIRED; 10,904 SF PROPOSED)	--
MINIMUM TOTAL OPEN SPACE (TABLE 143-04B)	1,000 SQ FT PER DWELLING UNIT	COMPLIES (5,000 SF REQUIRED; 11,493 SF PROPOSED)	--

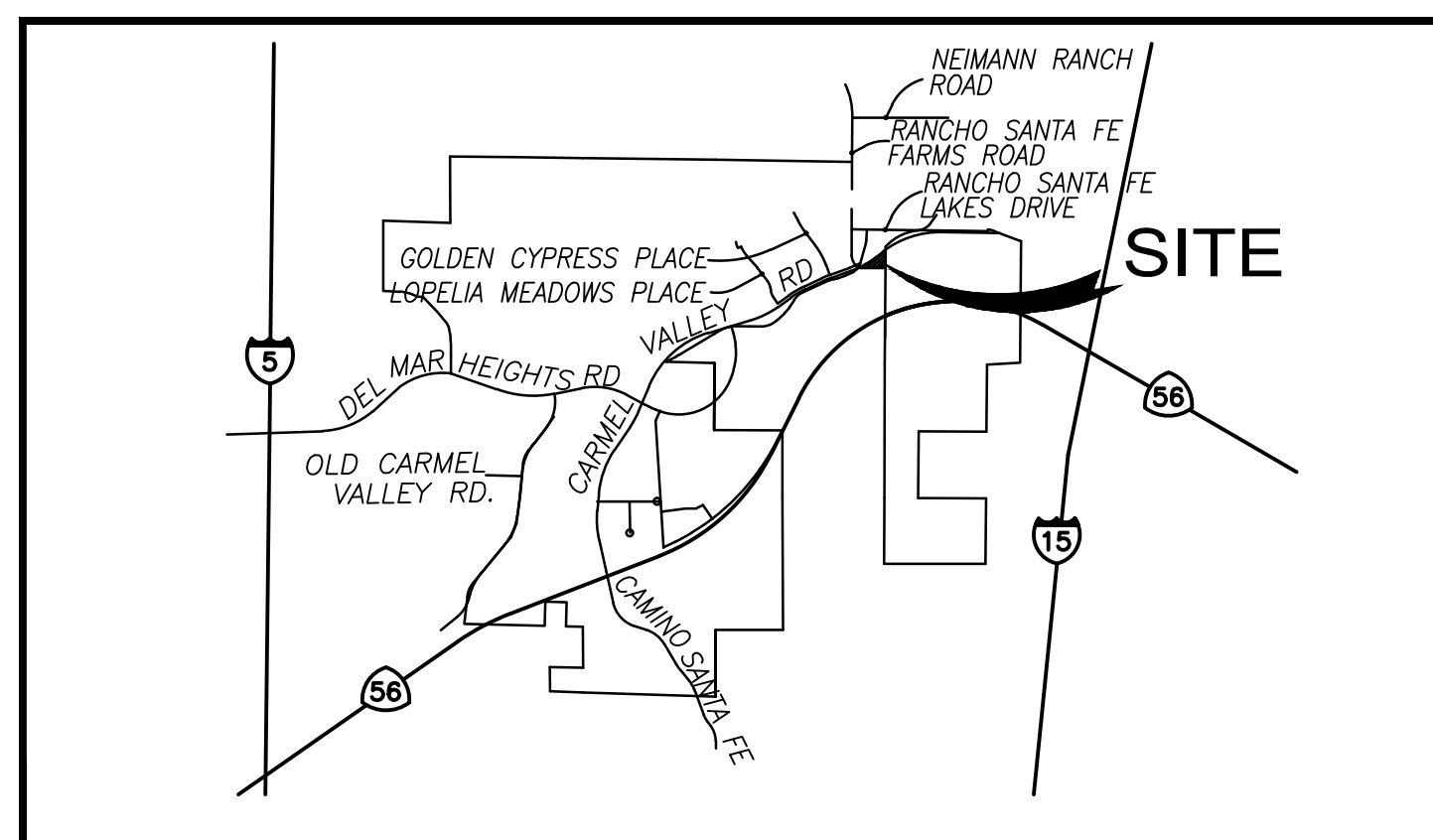
#### ADDITIONAL REGULATIONS

PLANNED DEVELOPMENT PERMIT: BUILDING COVERAGE [143.0422(B)]	BUILDING COVERAGE SHALL NOT EXCEED 60 PERCENT OF THE SITE AREA	COMPLIES (25.4% PROPOSED BUILDING COVERAGE)	--
RETAINING WALL IN FRONT YARD [142.0340]	TWO RETAINING WALLS WITH A MAXIMUM HEIGHT OF 3 FEET EACH ARE PERMITTED IN THE REQUIRED FRONT AND STREET SIDE YARD...	ALLOW 6' HIGH RETAINING WALL IN REQUIRED FRONT YARD	2, 3, 4, 5



**KEY MAP**

SCALE: 1"=40'



**VICINITY MAP**

NOT TO SCALE

### GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 0.66 ACRES
- PERCENT OF TOTAL SITE GRADED: 100%
- AMOUNT OF EXISTING SITE WITH 25% SLOPES OR GREATER: N/A\*
- PERCENT OF THE EXISTING SLOPES STEEPER THAN 25% TO BE GRADED: N/A\*
- AMOUNT OF PROPOSED SITE WITH 25% SLOPES OR GREATER: N/A\*
- PERCENT OF THE PROPOSED SITE WITH 25% SLOPES OR STEEPER: N/A\*
- AMOUNT OF CUT: 300 CUBIC YARDS.
- AMOUNT OF FILL: 5,800 CUBIC YARDS.
- MAXIMUM HEIGHT OF FILL SLOPE(S): 2' FEET 2:1 SLOPE RATIO.
- MAXIMUM HEIGHT OF CUT SLOPE(S): 6' FEET 2:1 SLOPE RATIO.
- AMOUNT OF IMPORT SOIL: 5,500 CUBIC YARDS IMPORT
- RETAINING WALL MAX. HEIGHT: 6'

\*ENTIRE SITE HAS BEEN PREVIOUSLY GRADED. SITE CONTAINS NO NATURAL STEEP SLOPES.

### LOT ACREAGE SUMMARY

LOT	LOT AREA (SF)	LOT AREA (SF) LESS THAN 10% GRADIENT	LOT AREA (ACRES)	LOT WIDTH (FT)	LOT DESCRIPTION	GFA (SF)	FAR (131.0446(C))	BUILDING FOOTPRINT (SF)	BUILDING COVERAGE
1	4,765	4,765	0.11	34.1 <sup>(2)</sup>	RESIDENTIAL	2,793	0.59	1,471	30.9%
2	3,717	3,547	0.09	44.9 <sup>(1)</sup>	RESIDENTIAL	2,793	0.79	1,471	39.6%
3	3,907	3,907	0.09	49.6 <sup>(1)</sup>	RESIDENTIAL	2,793	0.71	1,471	37.7%
4	4,348	4,348	0.10	61.1 <sup>(2)</sup>	RESIDENTIAL	2,793	0.64	1,471	33.8%
5	8,185	7,622	0.19	25.1 <sup>(2)</sup>	RESIDENTIAL	2,793	0.37	1,471	18.0%
'A'	3,993	3,993	0.09	--	HOA - PRIVATE DWY.	0	0	0	0.0%
TOTAL	28,915	28,182	0.66	--	--	13,965	0.50	7,355	25.4%

(1) LOT WIDTH CALCULATED PER SDMC SECTION 113.0243(B).

(2) LOT WIDTH CALCULATED PER SDMC SECTION 113.0243(C)(1).

### DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST: A VESTING TENTATIVE SUBDIVISION MAP AND A PLANNED DEVELOPMENT PERMIT FOR 5 MARKET RATE SINGLE FAMILY RESIDENTIAL UNITS.
- STREET ADDRESS: SOUTHEAST CORNER OF CARMEL VALLEY ROAD AND RANCHO SANTA FE FARMS
- SITE AREA:  
TOTAL SITE AREA (GROSS): 0.66 ACRES, 28,915 SF  
NET SITE AREA: 0.66 ACRES, 28,915 SF
- ZONING: RX-1-2
- DENSITY:  
NUMBER OF UNITS TO REMAIN ON SITE: NONE  
NUMBER OF PROPOSED DWELLING UNITS ON SITE: 5
- OPEN SPACE:  
MINIMUM USABLE OPEN SPACE REQUIRED: 500 SF PROPOSED: 2,726 SF (10,904 SF)  
MINIMUM TOTAL OPEN SPACE REQUIRED: 1,000 SF PROPOSED: 2,873 SF (11,493 SF)
- BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT
- TYPE OF CONSTRUCTION: TYPE 5, NON-RATED WITH NFPA 13D FIRE SPRINKLERS
- OCCUPANCY CLASSIFICATION: R3
- NUMBER OF STORIES OF EACH RESIDENCE: 2 STORIES
- EXISTING USE: VACANT  
PROPOSED USE: RESIDENTIAL
- GEOLOGIC HAZARD CATEGORY: 53 - LEVEL OR SLOPING TERRAIN, UNFAVORABLE GEOLOGIC STRUCTURE, LOW TO MODERATE RISK
- PARKING REQUIRED: 10 SPACES (2 PER UNIT)  
PARKING PROPOSED: 10 SPACES (2 PER UNIT)

DEVIATIONS: SEE RX-1-2 REGULATION TABLE

### BENCHMARK

LOCATION: CARMEL VALLEY ROAD / CLARKVIEW LANE  
\* 3/4" IRON PIPE ON NW CORNER  
REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK / OCTOBER 4, 2011  
NORTHING 2937 EASTING 17174  
ELEVATION: 301.01673 DATUM: MSL

\* ELEVATION UPDATED PER U.S.C.G.S. ADJUSTMENT OF 1970, MAY DIFFER FROM PREVIOUS ELEVATION

### BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS THE WESTERLY BOUNDARY LINE OF MAP 15987 IE N0022'03"E

### REFERENCE DWGS.

CARMEL VALLEY ROAD PHASE 2 GRADING & IMPROVEMENT PLANS	37452-D
CARMEL VALLEY ROAD GRADING & IMPROVEMENT PLANS	29212-D
CARMEL VALLEY ROAD 36" WATER MAIN RELOCATION GRADING & IMPROVEMENT PLANS	37491-D
COSTA DEL SOL UNIT 1 & 2 GRADING	31021-D
COSTA DEL SOL UNIT 1 IMPROVEMENT PLANS	31072-D
PACIFIC HIGHLANDS RANCH UNIT 21 & 22	34109-D
PACIFIC HIGHLANDS RANCH UNIT 23 GRADING	37631-D
PACIFIC HIGHLANDS RANCH UNIT 23 IMPROVEMENT	37632-D

### ASSESSOR'S PARCEL NUMBER

305-120-63-00

### LEGAL DESCRIPTION

LOT 19 OF COSTA DEL SOL UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 14958, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON FEBRUARY 3, 2005.

### LAMBERT COORDINATES

292-1715

### GENERAL NOTES

- TOTAL PROJECT OWNERSHIP: 0.664 ACRES
- GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC
- TELEPHONE: AT&T
- CABLE TELEVISION: TIME WARNER CABLE TELEVISION.
- SEWER AND WATER: CITY OF SAN DIEGO
- DRAINAGE SYSTEM: AS REQUIRED BY CITY ENGINEER
- FIRE: CITY OF SAN DIEGO
- SCHOOL DISTRICT: SAN DIEGO UNION HIGH SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND.
- 1 EXISTING LOT, 6 PROPOSED LOTS
- CONTOUR INTERVAL: 2 FEET
- ALL PROPOSED SLOPES ARE 2:1 UNLESS NOTED OTHERWISE.
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION IN FINAL DESIGN.
- NO EXISTING BUILDINGS AND STRUCTURES ARE ON SITE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, DATED MAY 30, 2003 INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- ALL PUBLIC WATER FACILITIES AND ASSOCIATED EASEMENTS WILL BE GRANTED, DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES.
- THERE ARE NO EXISTING OR PROPOSED BUS STOPS ALONG THE PROPERTY FRONTAGE.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- PROVIDE FIRE ACCESS ROADWAYS, SIGNS, AND/OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-08-1.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND/OR SEWER FACILITIES.
- THE SUBDIVIDER SHALL PROCESS EASEMENT VACATIONS FOR WATER EASEMENTS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.

### PROJECT TEAM

#### OWNER

COLLIER INTERNATIONAL  
4660 LA JOLLA VILLAGE DR #100  
SAN DIEGO, CA 92122

#### ARCHITECT

McKINLEY ASSOCIATES, INC  
1818 1ST AVE #200  
SAN DIEGO, CA 92101

#### PLANNING

LATITUDE 33 PLANNING AND ENGINEERING  
9968 HIBERT STREET 2ND FLOOR  
SAN DIEGO, CA 92131  
PHONE: (858) 751-0633 FAX: (858) 751-0634

#### LANDSCAPE

GMP LANDSCAPING ARCHITECTURE AND PLANNING  
4010 SORRENTO VALLEY BLVD., SUITE 200  
SAN DIEGO, CA 92121  
PHONE: (858) 558-8977 FAX: (858) 558-9188

#### CIVIL ENGINEER

LATITUDE 33 PLANNING AND ENGINEERING  
9968 HIBERT STREET 2ND FLOOR  
SAN DIEGO, CA 92131  
PHONE: (858) 751-0633 FAX: (858) 751-0634

### SHEET SUMMARY

SHEET 1	TITLE SHEET
SHEET 2	EXISTING CONDITIONS & CONCEPTUAL UTILITIES
SHEET 3	CONCEPTUAL GRADING & SITE PLAN
SHEETS 4-5	LANDSCAPE PLAN
SHEETS 6-9	ARCHITECTURAL PLAN

Prepared By:

Name: LATITUDE 33

Address: 9968 HIBERT STREET 2ND FLOOR

SAN DIEGO, CA 92131

Phone #: (858) 751-0633

Fax #: (858) 751-0634

Project Address:

SOUTH OF CARMEL VALLEY ROAD, EAST OF

RANCHO SANTA FE FARMS ROAD, NORTH OF

CHASE WAY

Project Name:

CARMEL VALLEY ROAD

UNITAS

Sheet Title:

VESTING TENTATIVE MAP - 1424164

TITLE SHEET

Revision 14: \_\_\_\_\_

Revision 13: \_\_\_\_\_

Revision 12: \_\_\_\_\_

Revision 11: \_\_\_\_\_

Revision 10: \_\_\_\_\_

Revision 9: \_\_\_\_\_

Revision 8: \_\_\_\_\_

Revision 7: \_\_\_\_\_

Revision 6: \_\_\_\_\_

Revision 5: \_\_\_\_\_

Revision 4: \_\_\_\_\_

Revision 3: \_\_\_\_\_

Revision 2: \_\_\_\_\_

Revision 1: \_\_\_\_\_

Original Date: 10/28/2014

Sheet 1 of 9

DEP# XXXX



**latitude 33**  
PLANNING & ENGINEERING  
9968 Hibert Street, 2nd Floor, San Diego, CA 92131  
Tel 858.751.0633

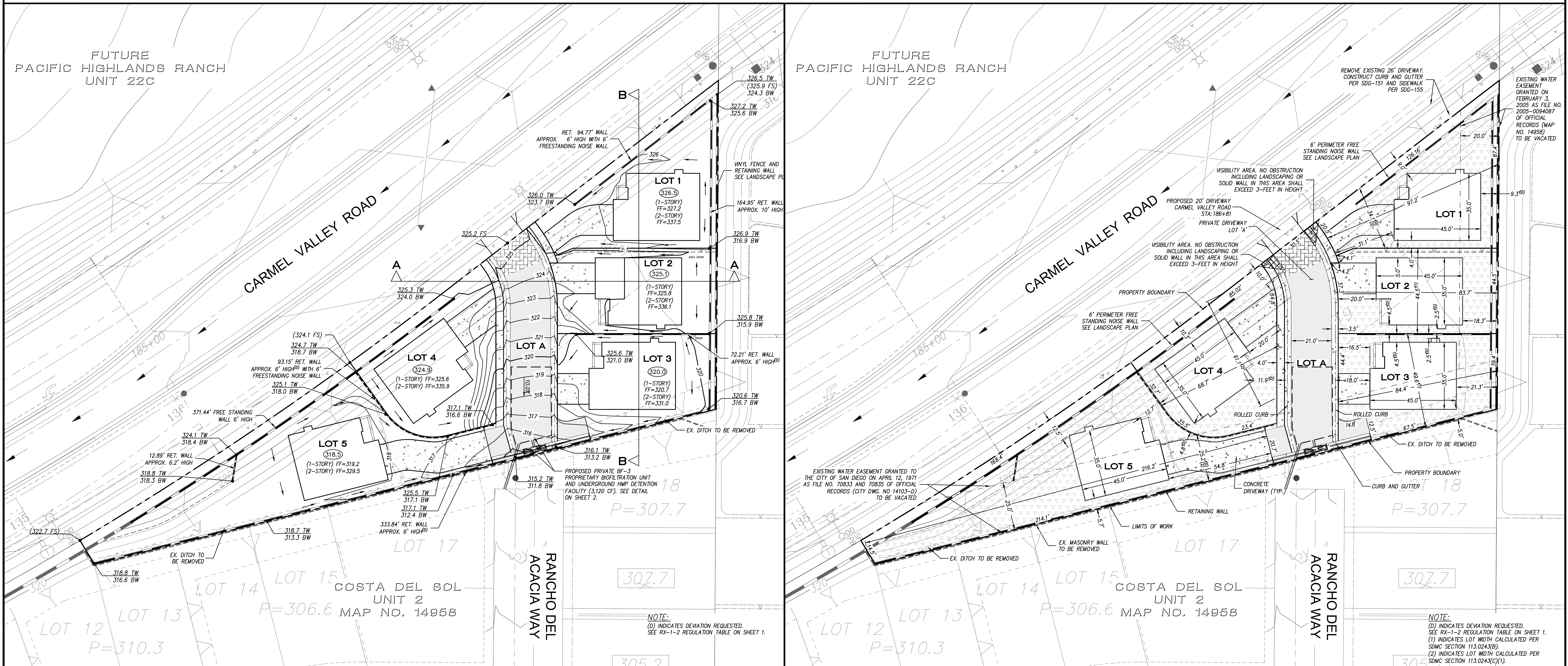






# CARMEL VALLEY ROAD - UNITAS

PLANNED DEVELOPMENT PERMIT NO. 1328845  
VESTING TENTATIVE MAP NO. 1424164  
WATER EASEMENT VACATION \_\_\_\_\_

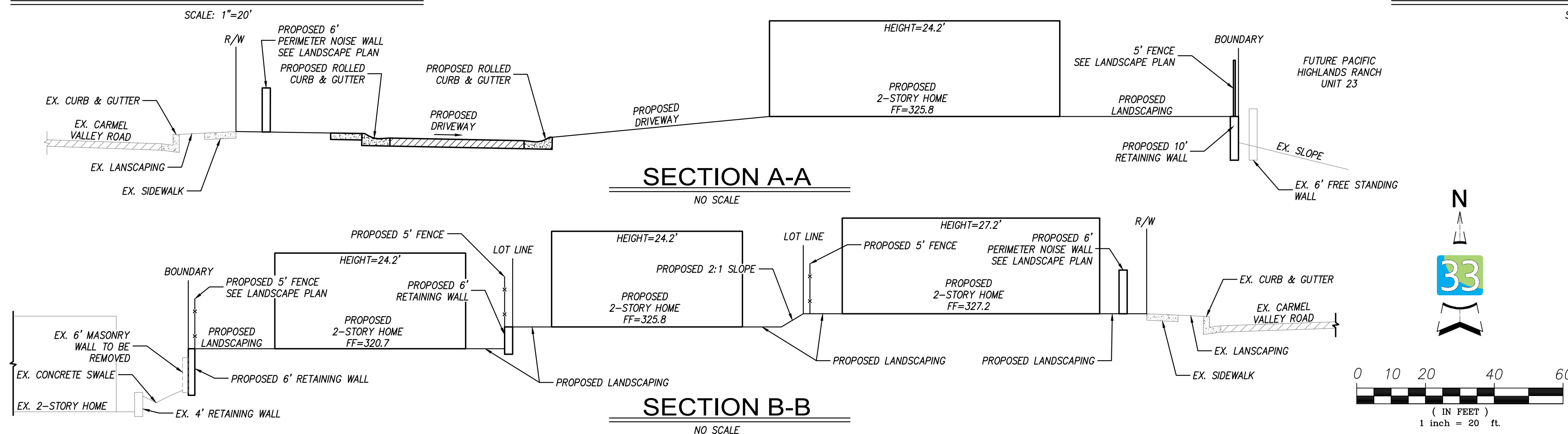
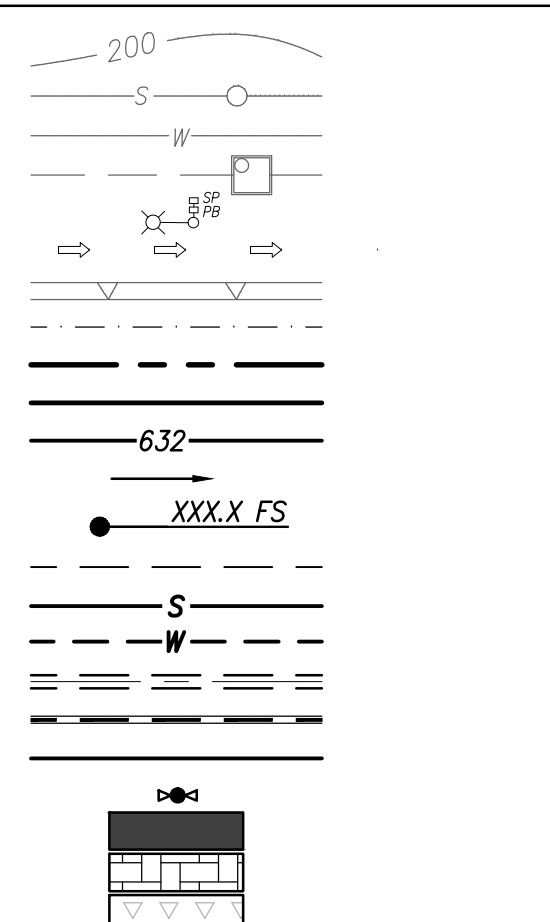


## CONCEPTUAL GRADING

SCALE: 1"=20'

### LEGEND

EXISTING CONTOUR  
EXISTING SEWER AND MANHOLE  
EXISTING WATER MAIN  
EXISTING STORM DRAIN AND STRUCTURE  
EXISTING STREET LIGHT  
EXISTING SWALE  
EXISTING SLOPE  
EXISTING EASEMENT  
PROPERTY BOUNDARY  
PROPOSED LOT LINE  
PROPOSED CONTOUR  
PROPOSED FLOW DIRECTION  
PROPOSED FINISHED SURFACE ELEVATION  
PROPOSED TOP/TOE OF SLOPE  
PROPOSED SEWER MAIN  
PROPOSED WATER MAIN  
PROPOSED STORM DRAIN  
PROPOSED WALL  
PROPOSED ROLLED CURB  
PROPOSED FIRE HYDRANT  
PROPOSED ASPHALT PAVEMENT  
PROPOSED ENTRY PAVERS  
PROPOSED USABLE OPEN SPACE



## SITE PLAN

SCALE: 1"=20'

Prepared By: \_\_\_\_\_  
 Name: LATITUDE 33  
PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address:  
SOUTH OF CARMEL VALLEY ROAD, EAST OF  
RANCHO SANTA FE FARMS ROAD, NORTH OF  
CHASE WAY

Project Name:  
CARMEL VALLEY ROAD  
UNITAS

Sheet Title: Sheet No:  
VESTING TENTATIVE MAP - 1424164

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 2: \_\_\_\_\_  
Revision 1: \_\_\_\_\_

Printed Date: 10/28/2014

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Sheet 6 of 6

✓✓✓✓

DEF# XXXXXX

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PLANTING NOTES

NOTE:  
NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SEWER ACCESS EASEMENT.

MULCH  
ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

NOTE:  
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IRRIGATION - AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE INTENDED IRRIGATION SYSTEM WILL BE A DRIP SYSTEM.

MAINTENANCE - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION OR HOMEOWNER AS SET UP BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE CORE SUB-AREA DESIGN MANUAL, AND ALL OTHER CITY AND REGIONAL STANDARDS.

GRADED PAD AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) OR PERMANENT PLANTING DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.

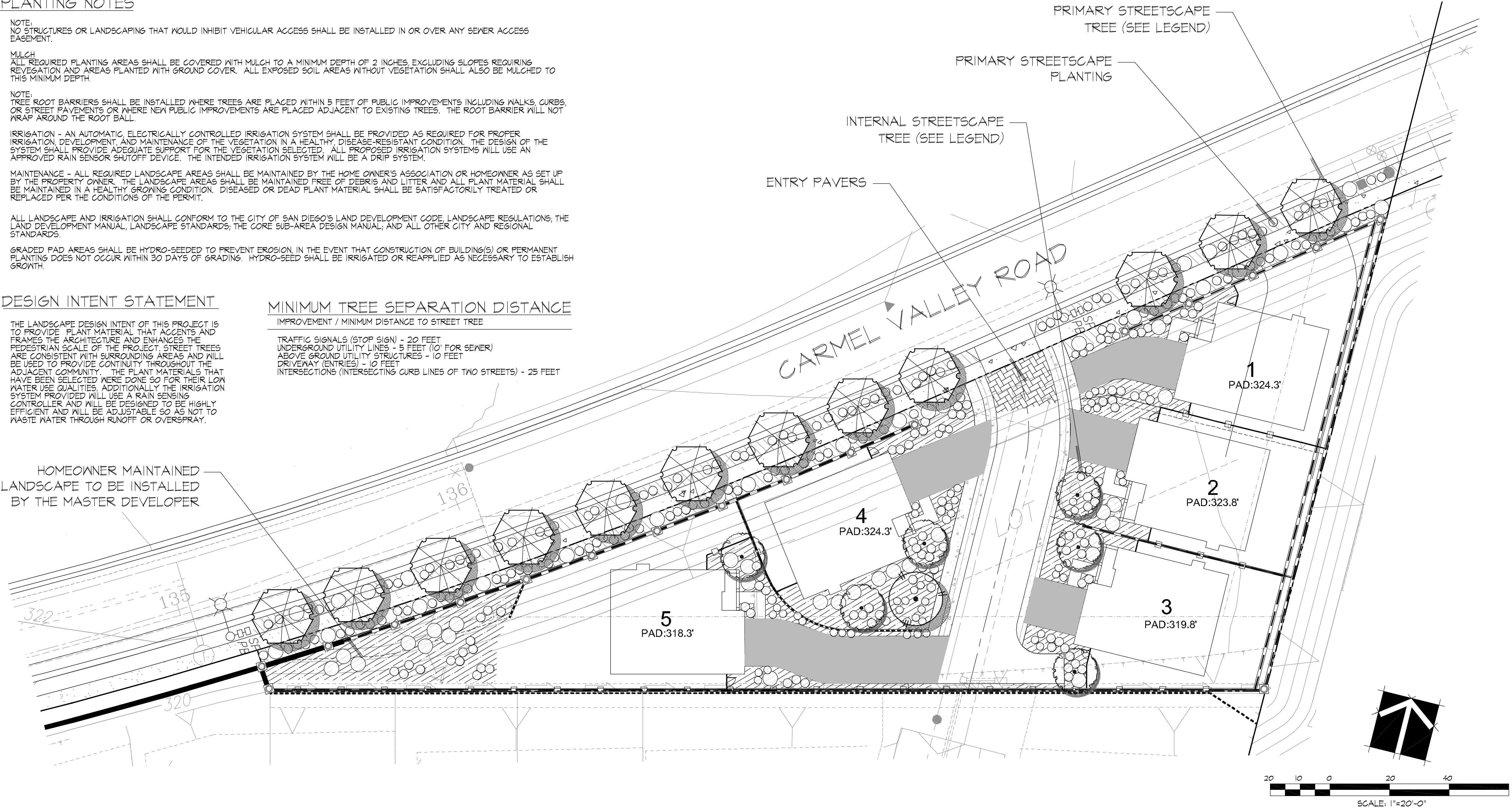
DESIGN INTENT STATEMENT

THE LANDSCAPE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE PLANT MATERIAL THAT ACCENTS AND FRAMES THE ARCHITECTURE AND ENHANCES THE PEDESTRIAN SCALE OF THE PROJECT. STREET TREES ARE CONSISTENT WITH SURROUNDING AREAS AND WILL BE USED TO PROVIDE CONTINUITY THROUGHOUT THE ADJACENT COMMUNITY. THE PLANT MATERIALS THAT HAVE BEEN SELECTED WERE DONE SO FOR THEIR LOW WATER USE QUALITIES. ADDITIONALLY, THE IRRIGATION SYSTEM PROVIDED WILL USE A RAIN SENSING CONTROLLER AND WILL BE DESIGNED TO BE HIGHLY EFFICIENT AND WILL BE ADJUSTABLE SO AS NOT TO WASTE WATER THROUGH RUNOFF OR OVERSPRAY.

HOMEOWNER MAINTAINED LANDSCAPE TO BE INSTALLED BY THE MASTER DEVELOPER

MINIMUM TREE SEPARATION DISTANCE

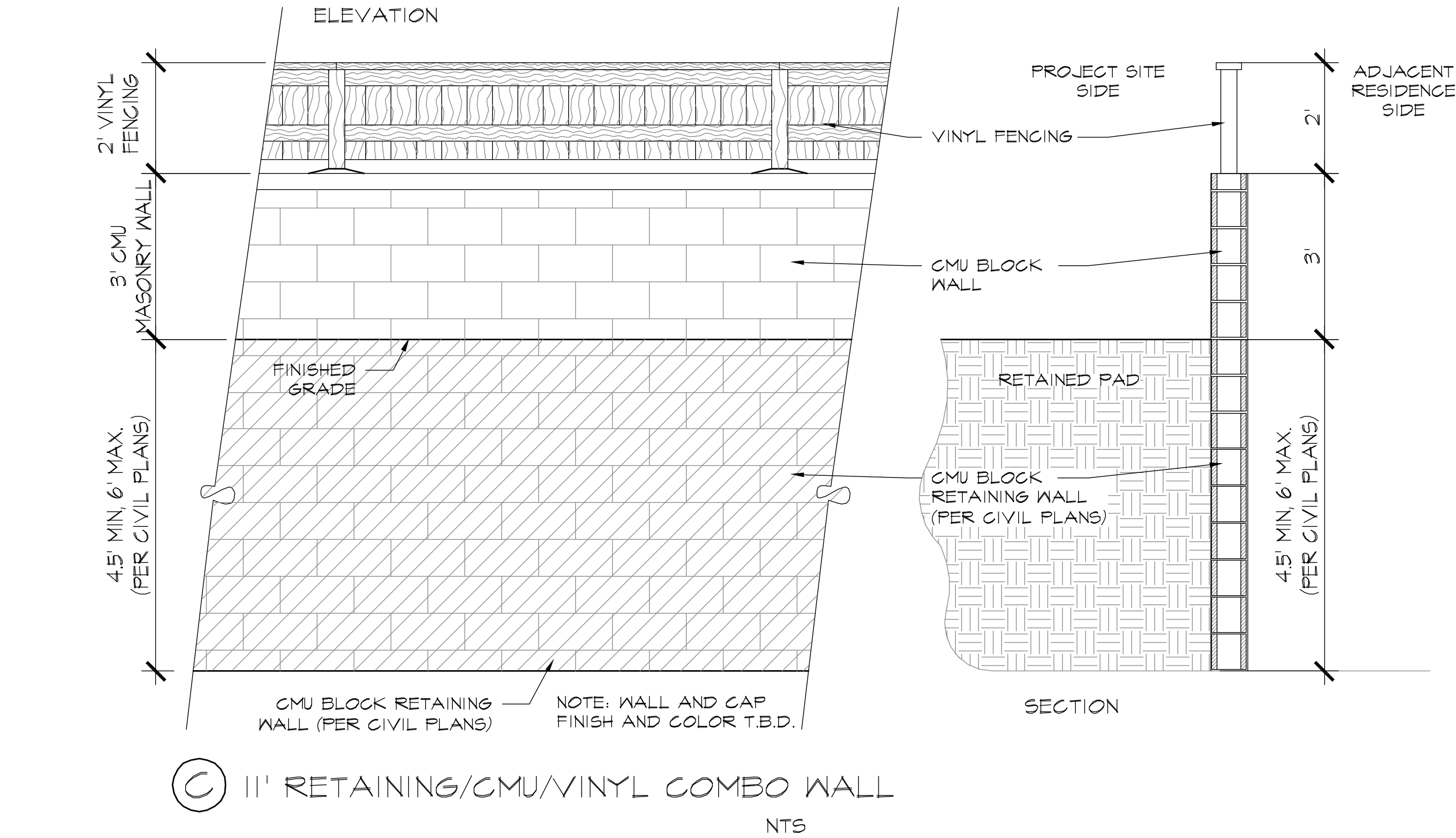
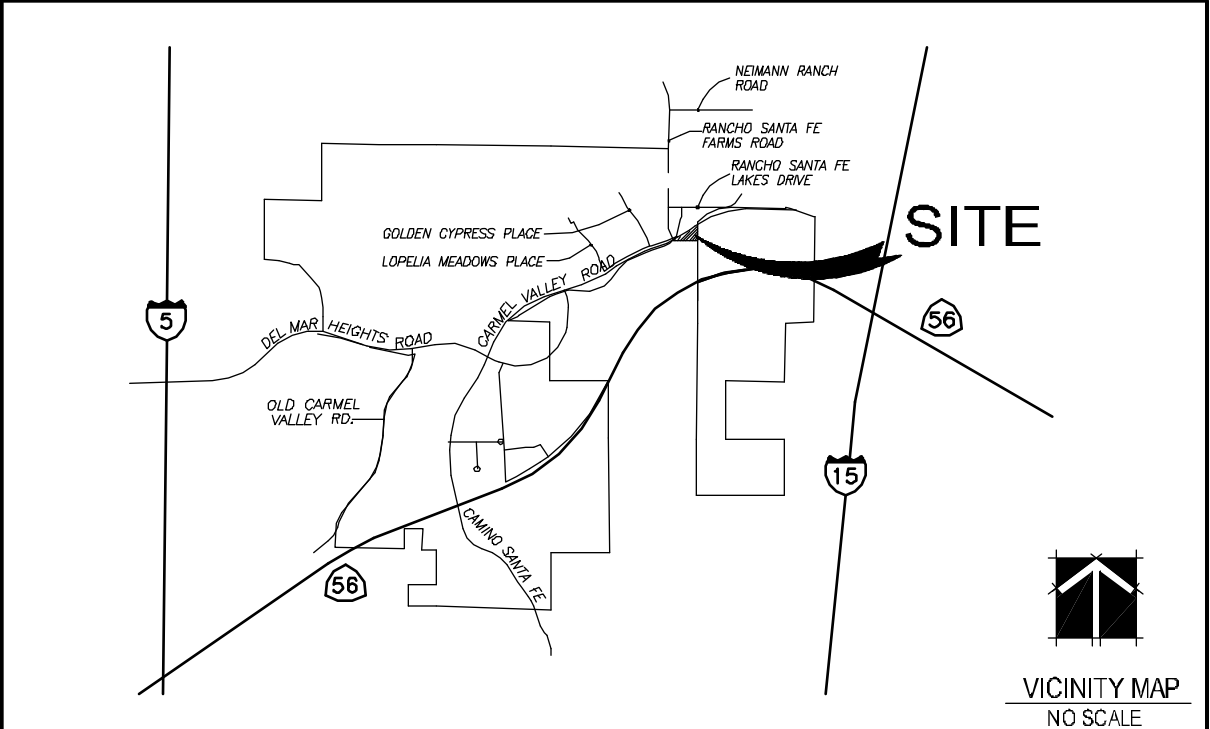
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



PLANTING CONCEPT LEGEND

TREES (PRIMARY STREETSCAPE)			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	30% - 36" BOX 50% - 24" BOX 20% - 15 GAL.
TREES (INTERNAL STREETSCAPE)			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	30% - 36" BOX
	METROSIDEROS EXCELSA	NEW ZEALAND XMAS TREE	50% - 24" BOX
	RHUS LANCEA	AFRICAN SUMAC	20% - 15 GAL.
SHRUBS (PRIMARY STREETSCAPE)			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	AGAVE ATTENUATA	ASAVE	10% - 5 GAL.
	AGAVE GEMINIFLORA	TWIN-FLOWERED ASAVE	30% - 1 GAL.
	AGAVE GUIENGOLA	ASAVE	
	ALOE SP.	ALOE	
	ANIGOSANTHOS SP.	KANGAROO PAM	
	BOUGAINVILLEA 'TEMPLEFIRE'	BOUGAINVILLEA	
	CAREX SP.	SEDGE	
	DIETES BIGOLOR	FORTNIGHT LILY	
	FESTUCA GLAUCA	BLUE FESCUE	
	LIGUSTRUM JAPONICA TEXANUM	KAX-LEAF PRIVET	
	PHORMIUM SP.	NEW ZEALAND FLAX	
	PITTIOSPORUM TOBIRA	JAPANESE PITTIOSPORUM	
	ROSMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	
SHRUBS (PRIVATE AREA)			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	AGAVE ATTENUATA	ASAVE	10% - 5 GAL.
	ALOE SP.	ALOE	30% - 1 GAL.
	ANIGOSANTHOS SP.	KANGAROO PAM	
	BOUGAINVILLEA 'TEMPLEFIRE'	BOUGAINVILLEA	
	CAREX SP.	SEDGE	
	DIETES BIGOLOR	FORTNIGHT LILY	
	FESTUCA GLAUCA	BLUE FESCUE	
	HETEROMELES ARBUTIFOLIA	TOYON	
	LEPTOSPERMUM SP.	TEA TREE	
	LIGUSTRUM JAPONICA TEXANUM	KAX-LEAF PRIVET	
	PHORMIUM SP.	NEW ZEALAND FLAX	
	PHOTINIA FRASERI	FRASER PHOTINIA	
	PITTIOSPORUM TOBIRA	JAPANESE PITTIOSPORUM	
	ROSMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	
	VERBENA SP.	VERBENA	
GROUNDCOVERS			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	BOUGAINVILLEA SP.	BOUGAINVILLEA	PLUGS @ 18" O.C. MIN
	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	
	LANTANA MONTEVIDENSIS	TRAILING LANTANA	
	FESTUCA GLAUCA	BLUE FESCUE	
	BACCHARIS PILULARIS 'TAIN PEAKS'	DWARF GOYOTE BRUSH	
	BOUGAINVILLEA SP.	BOUGAINVILLEA	
	ROSMARINUS O. 'PROSTRATUS'	TRAILING ROSEMARY	

NOTE: NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.



County of San Diego, Department of Planning and Land Use  
WATER EFFICIENT LANDSCAPE WORKSHEET  
COUNTY LANDSCAPE ARCHITECT

SECTION A. HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each irrigation point of connection. Use as many tables as necessary to provide information on the total landscaped area. Controller #, Hydrozone #, and Valve Circuit # should correspond to the landscape and irrigation system plans.

Irrigation Point of Connection (P.O.C.) # _____									
A	B	C	D	E	F	G	H	I	J
Controller #	Hydro zone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydro zone Area (HA) (sq ft)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	1	N/A	D	0.5	7,604	100%	3,802	0.8	4,753
					SLA				1.0
TOTAL					7,604	100%			4,753

SLA = Special Landscaped Area

Hydrozone Category is based on the feature or plant within the hydrozone with the highest plant factor.

Hydrozone Category	PF - Plant Factor (average)
High Water Use	0.8
Moderate Water Use	0.5
Low Water Use	0.2
Special Landscaped Area	1.0

Irrigation Method Code	IE - Irrigation Efficiency *
S = Spray	0.55
R = Rotar	0.70
D = Drip	0.80

\* Turf and Landscape Irrigation Best Management Practices, April 2005, Water Management Committee of the Irrigation Association

Artificial turf is considered Low Water Use.

5201 RUFFIN ROAD, SUITE B, SAN DIEGO, CA. 92123 • (858) 965-0981 • 1-888-267-8770  
www.sdcocounty.ca.gov/dplu/

DPLU-4105 (02/15) Page 2 of 4

MAWA = (ETo)(0.62)((0.7 x LA) + (0.3 x SLA))

Where:  
MAWA = Maximum Applied Water Allowance (gallons per year)  
ETo = Reference Evapotranspiration Appendix A (inches per year)  
0.7 = ET Adjustment Factor  
LA = Landscaped Area including Special Landscape Area (square feet)  
0.62 = Conversion factor (to gallons per square foot)  
SLA = Portion of the landscaped area identified as Special Landscape Area (square feet)  
0.3 = Additional ET adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

Show values:  
ETo = 46.5 in./yr.  
LA = 7,604 sq. ft. (Total from Column F of Hydrozone Information Table)  
SLA = 0 sq. ft.

Show calculation:  
(46.5)(0.62)((0.7 x 7,604) + (0.3 x 0))  
(28.83)(5,322.8 + 0))

Maximum Applied Water Allowance = 153,456 gallons per year

ETWU = (ETo)(0.62)(Total of Column J from the Hydrozone Information Table)

Where:  
ETWU = Estimated total water use per year (gallons)  
ETo = Reference Evapotranspiration (inches)

Show value: ETo = 46.5 in./yr.

Show calculation:  
(46.5)(0.62)(4,753)

Estimated Total Water Use = 137,029 gallons per year.

4010 Sorrento Valley Blvd.  
Suite 200  
San Diego, CA 92121  
gmpandarch.com  
T 858 558 8977

LANDSCAPE ARCHITECTURE & PLANNING

gmp

L-01

Prepared By: GILLESPIE MOODY PATTERSON

Name: 4010 SORRENTO VALLEY BLVD.

Address: SUITE 200

Phone #: (858) 558-8977

Project Address: CARMEL VALLEY RD., SAN DIEGO, CA 92115

SOUTH OF CARMEL VALLEY RD, EAST OF RANCHO SANTA FE FARMS RD, NORTH OF CHASE WAY

Project Name: CARMEL VALLEY ROAD UNITS

Sheet Title: LANDSCAPE CONCEPT PLAN

Revision 11: \_\_\_\_\_

Revision 10: \_\_\_\_\_

Revision 9: \_\_\_\_\_

Revision 8: \_\_\_\_\_

Revision 7: \_\_\_\_\_

Revision 6: \_\_\_\_\_

Revision 5: \_\_\_\_\_

Revision 4: \_\_\_\_\_

Revision 3: \_\_\_\_\_

Revision 2: 05-07-15

Revision 1: 11-04-14

Original Date: 06-10-14

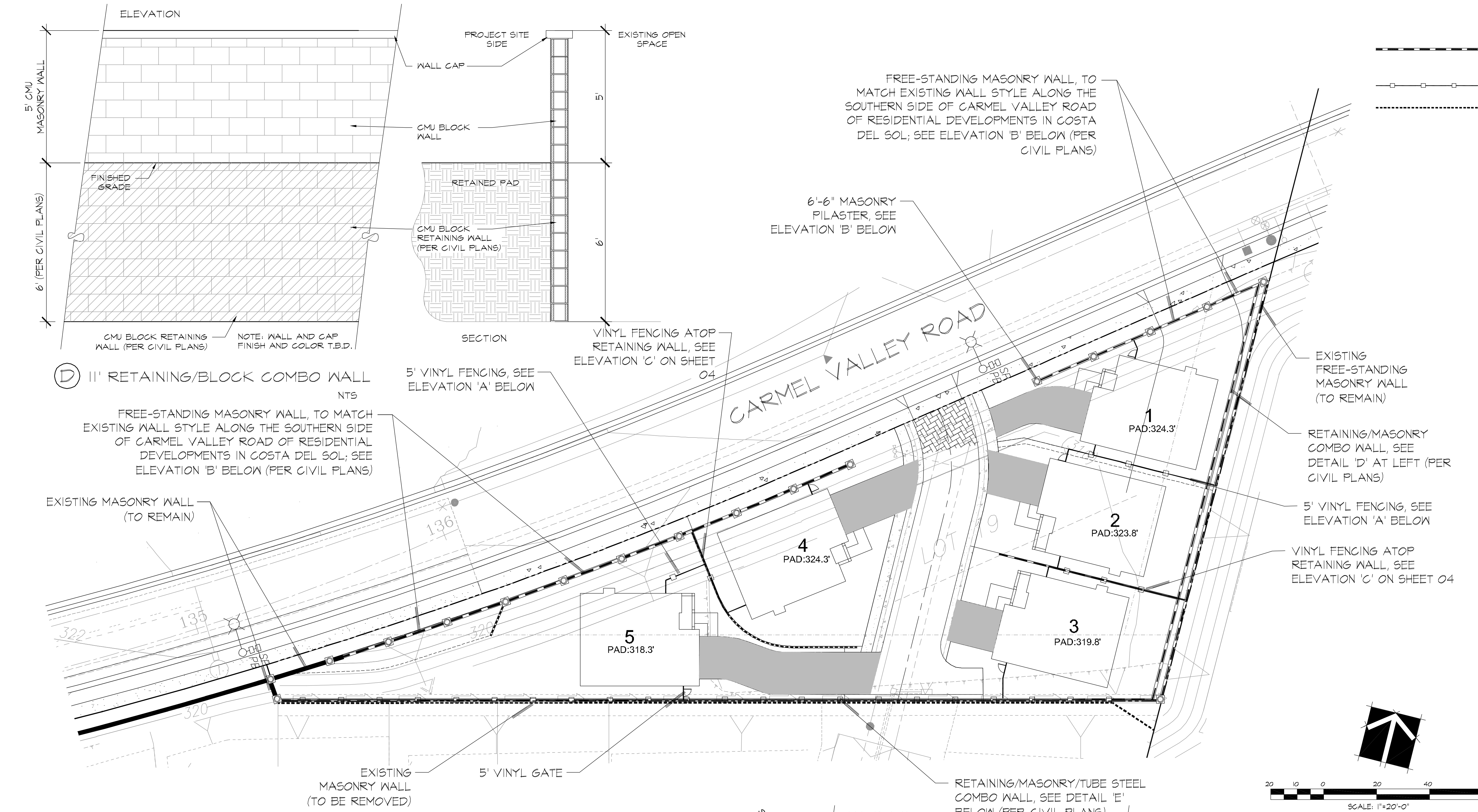
Sheet 04 OF 9

DEP# \_\_\_\_\_

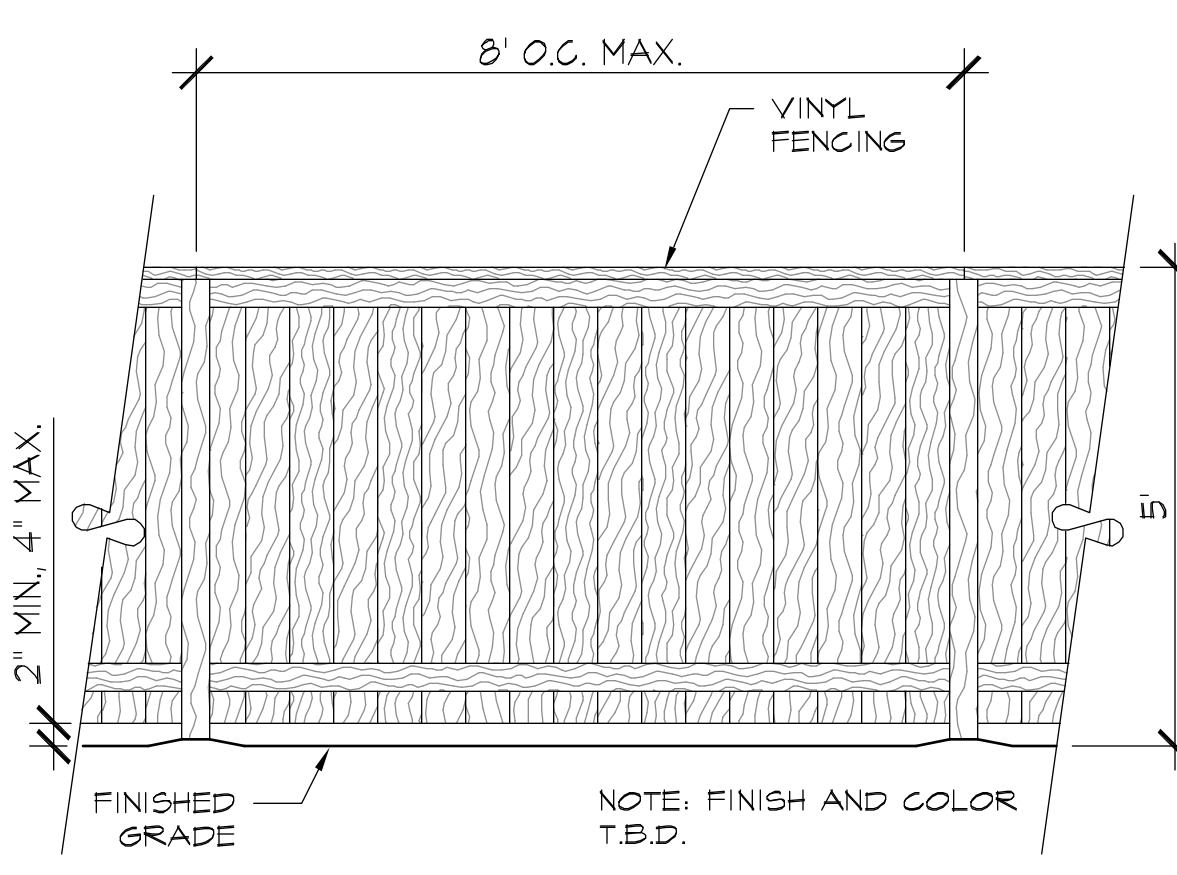
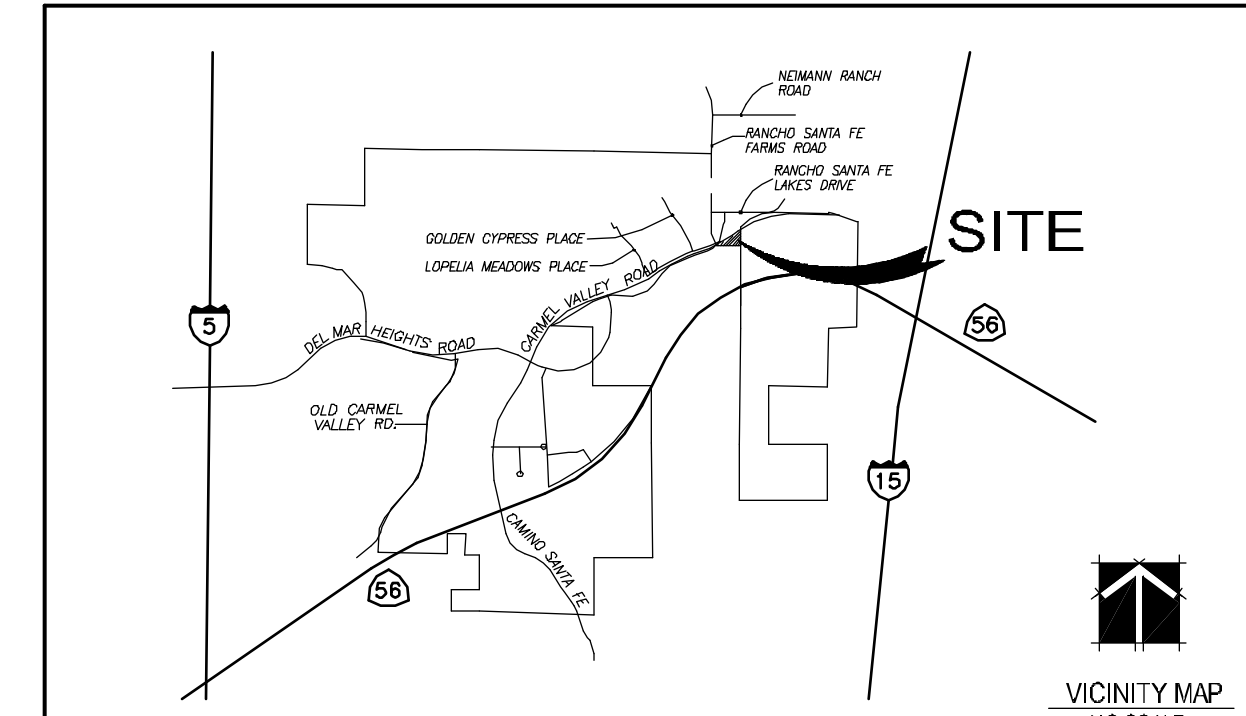


FENCE/WALL LEGEND

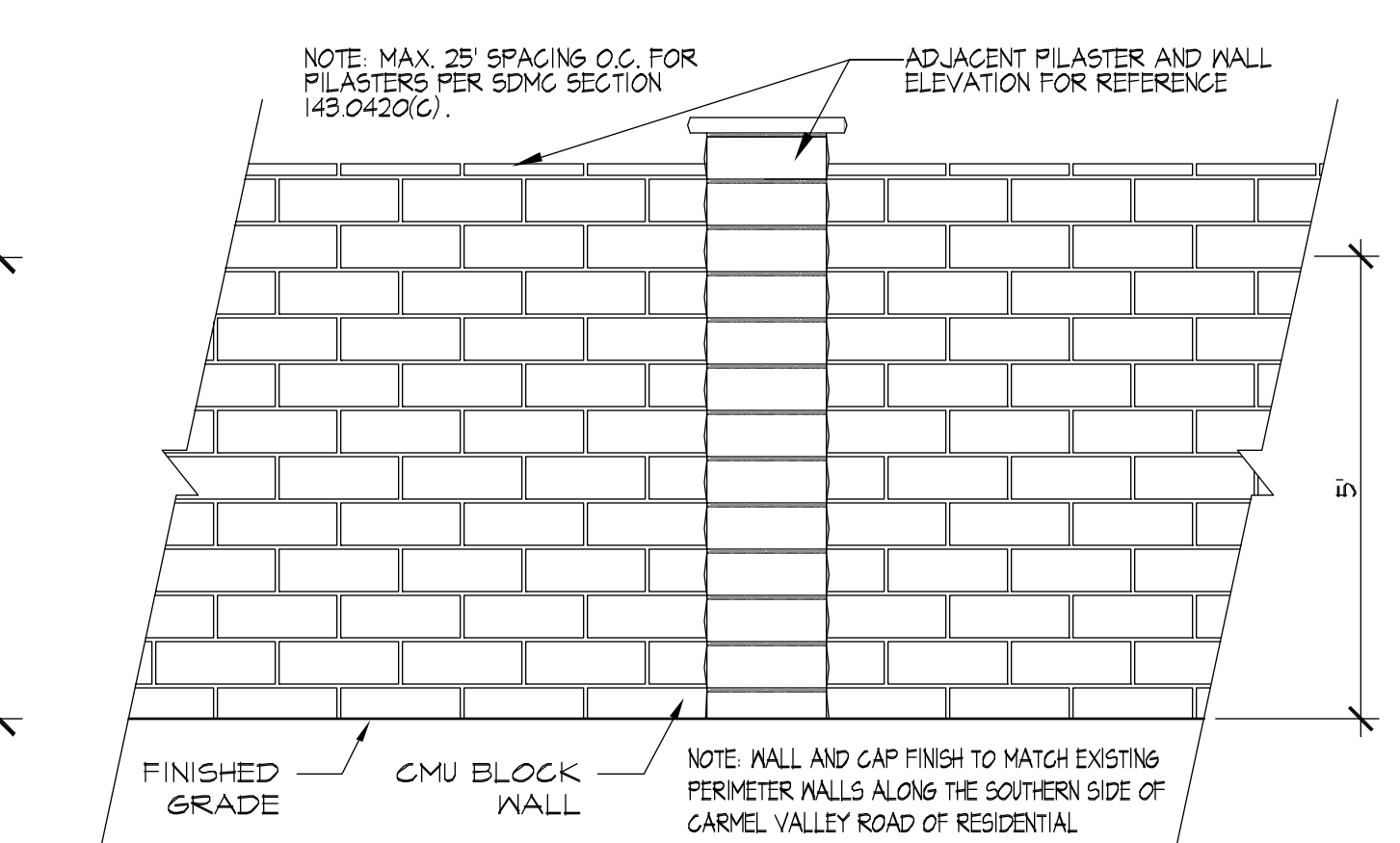
- RETAINING/SOUND ATTENUATION WALL PER CIVIL ENGINEER'S PLAN
- VINYL FENCING
- EXISTING MASONRY WALL TO BE REMOVED
- 5' GATE
- 6'-6" MASONRY PILASTER



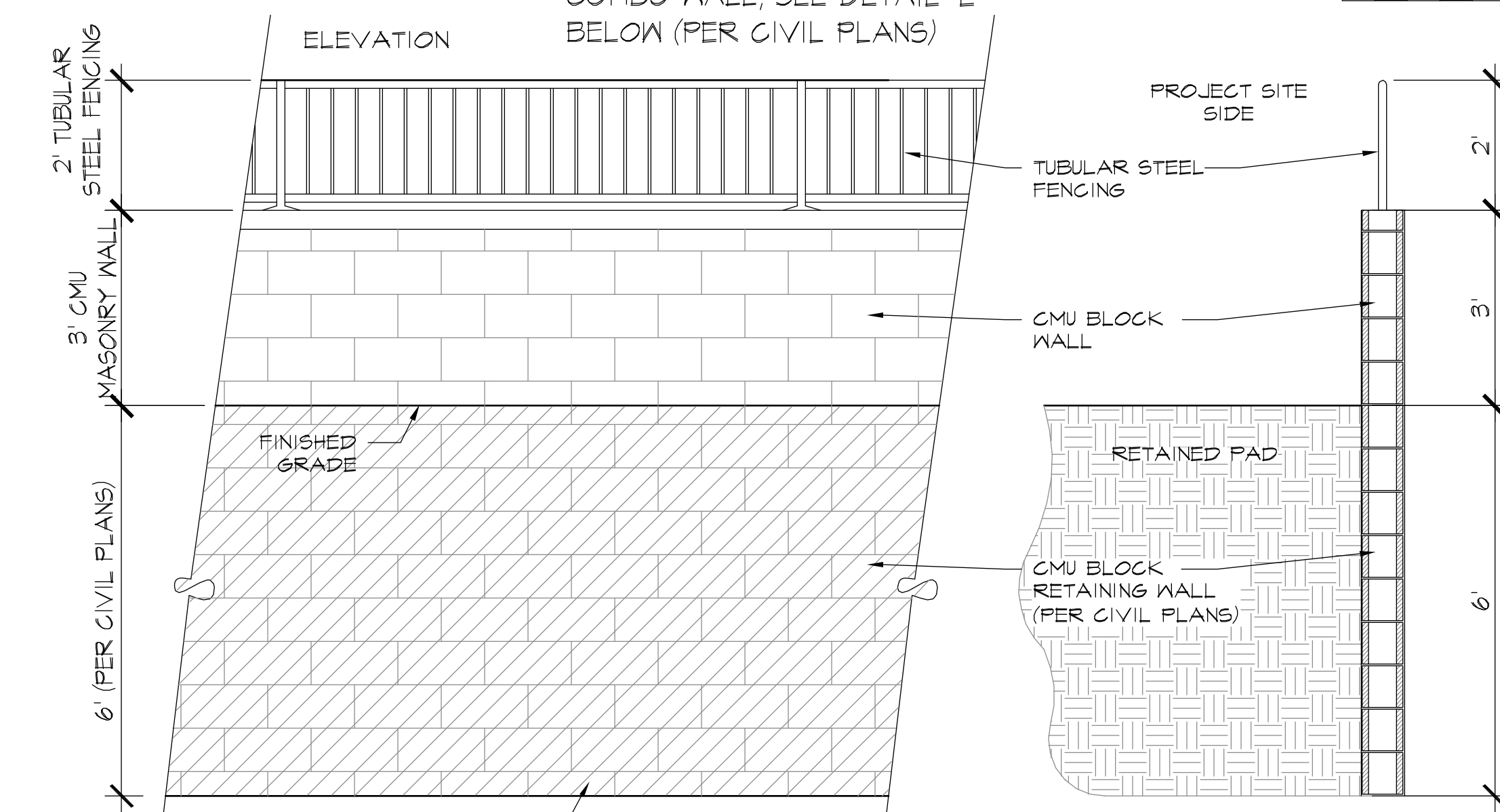
NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.



(A) 5' VINYL FENCING



(B) 6' SLUMP BLOCK PERIMETER WALL



(E) 11' RETAINING/CMU/TUBE STEEL COMBO WALL

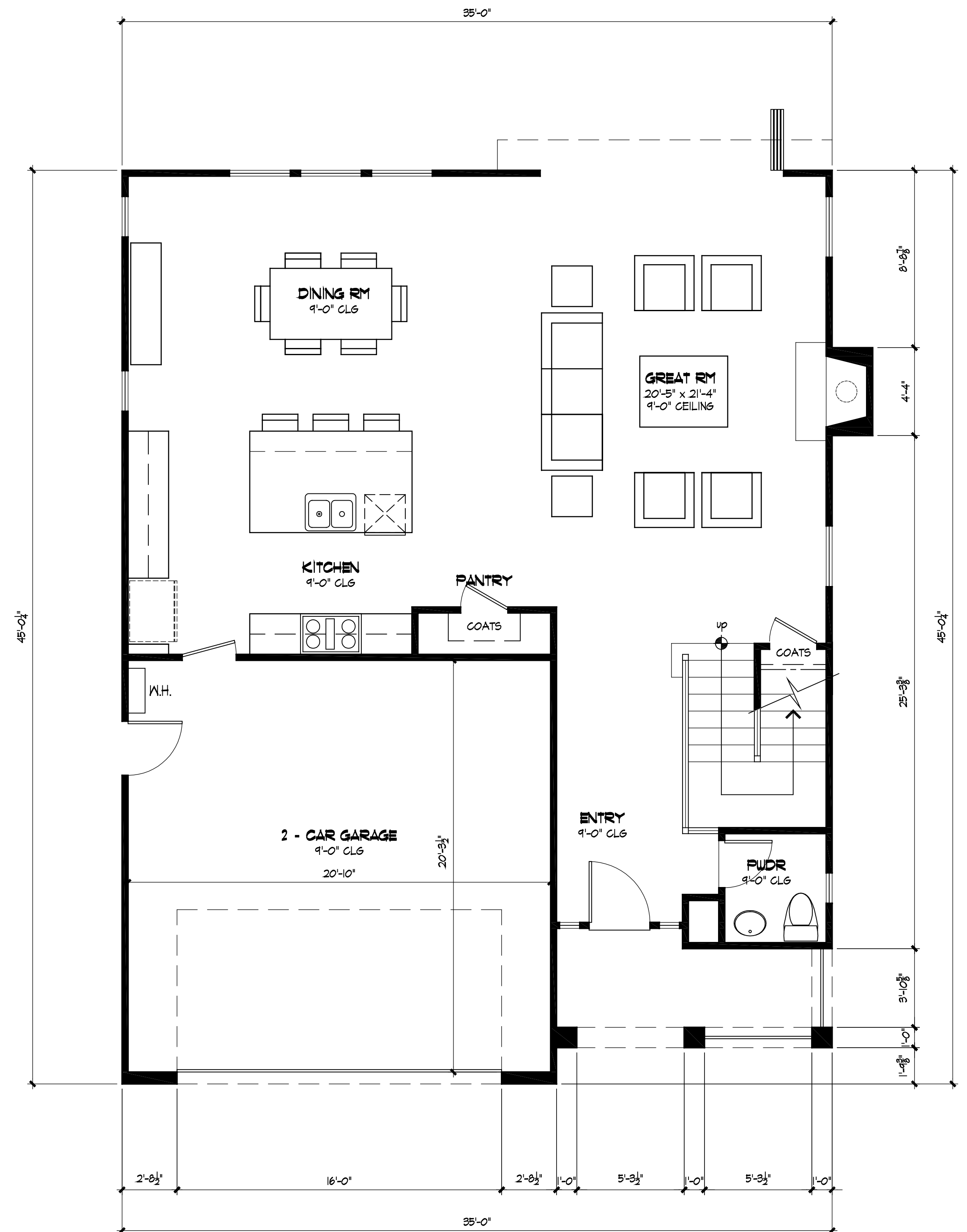
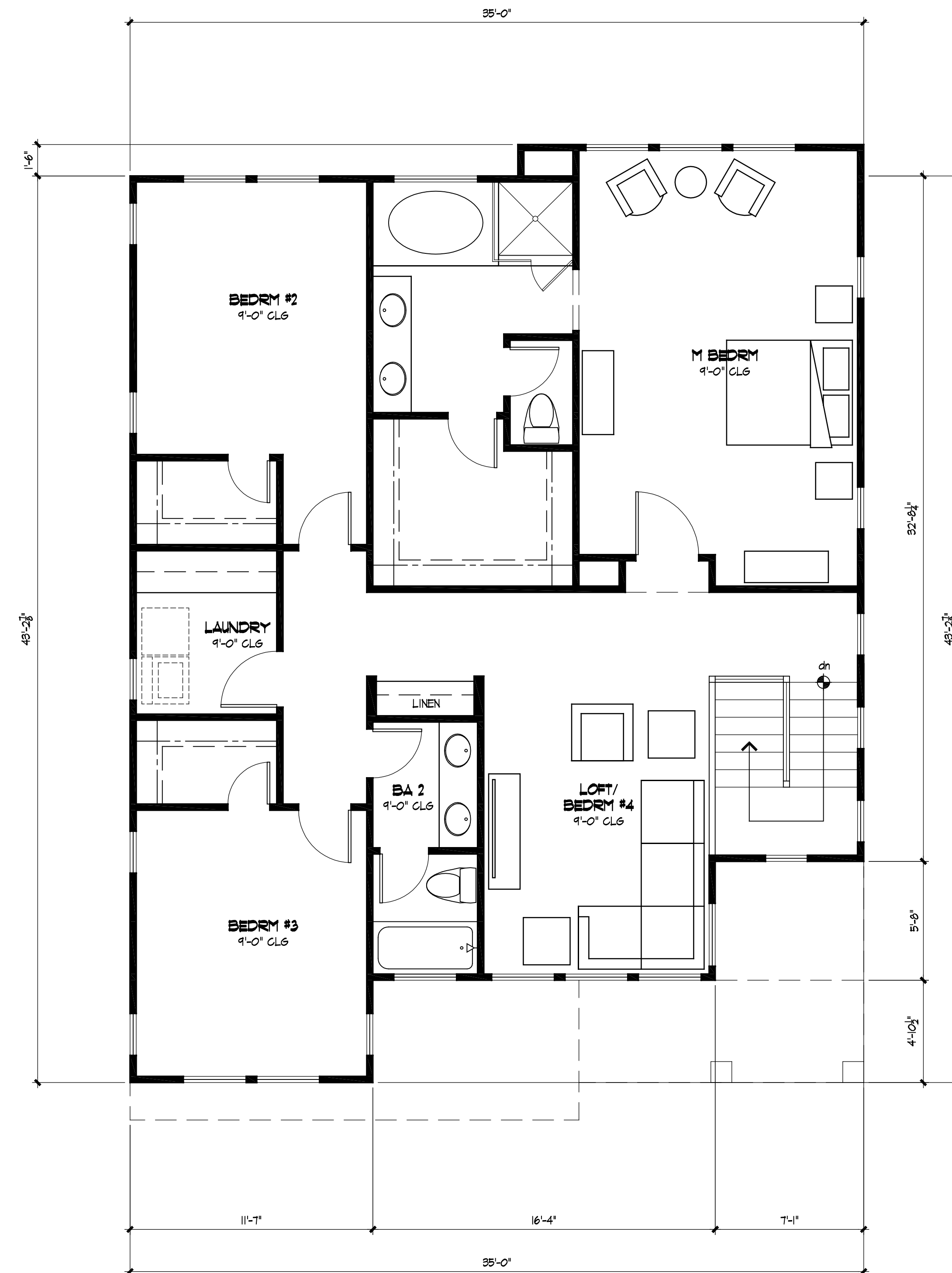
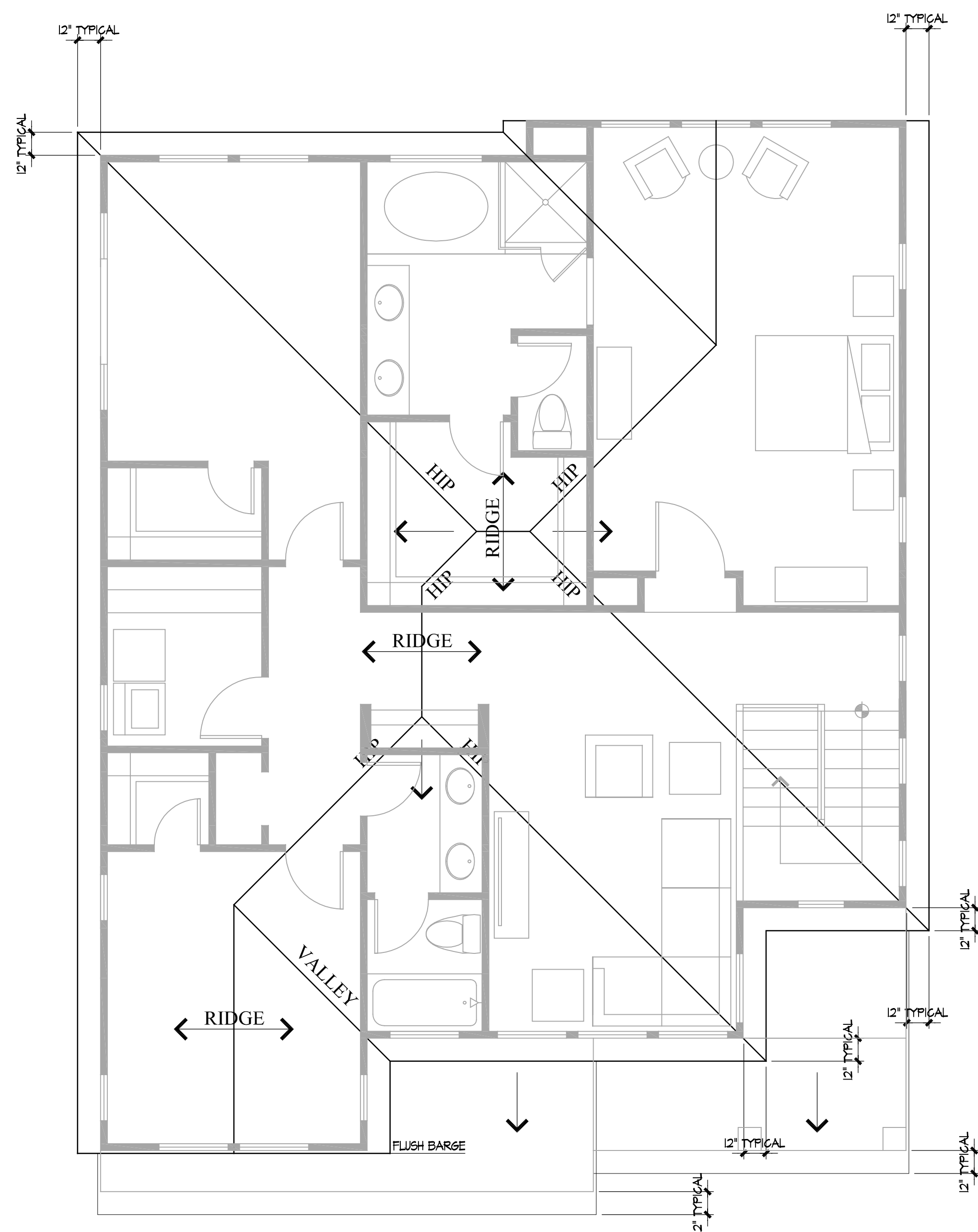
4010 Sorrento Valley Blvd.  
Suite 200  
San Diego, CA 92121  
gmparch.com  
T 858 558 8977

**LANDSCAPE ARCHITECTURE & PLANNING**

**gmp**

Prepared By:	GILLESPIE MOODY PATTERSON	Revision 11:	
Name:	4010 SORRENTO VALLEY BLVD.	Revision 10:	
Address:	SUITE 200	Revision 9:	
	SAN DIEGO, CA 92121	Revision 8:	
Phone #:	(858) 558-8977	Revision 7:	
Project Address:	CARMEL VALLEY RD., SAN DIEGO, CA 92115	Revision 6:	
	SOUTH OF CARMEL VALLEY RD, EAST OF RANCHO	Revision 5:	
	SANTA FE FARMS RD, NORTH OF CHASE WAY	Revision 4:	
Project Name:	CARMEL VALLEY ROAD	Revision 3:	
	UNITAS	Revision 2:	05-07-15
Sheet Title:	CONCEPTUAL FENCE & WALL PLAN	Revision 1:	11-04-14
		Original Date:	06-10-14
Sheet	05 OF 9	DEP#	





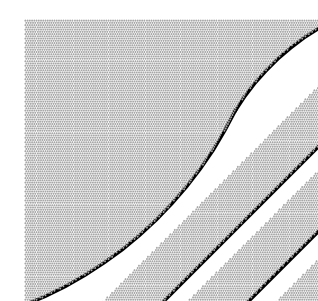
FIRST FLOOR:	1,036 SQ. FT.
SECOND FLOOR:	1,322 SQ. FT.
TOTAL:	2,358 SQ. FT.
GARAGE:	435 SQ. FT.

## TABULATIONS

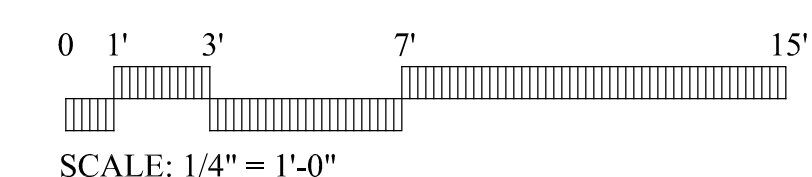
	PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	1B	324.5'	325.0'	335.3'	351.5'
LOT 2	1A	324.0'	324.5'	334.8'	348.0'
LOT 3	1A	320.0'	320.5'	330.8'	347.0'
LOT 4	1B	324.5'	325.0'	335.3'	351.5'
LOT 5	1A	318.5'	319.0'	329.3'	345.5'

PLAN 1A  
UNITAS  
KLEEGER ENTERPRISES

SCALE: 1/4" = 1'-0"



JUNE 10, 2014



Prepared By:  
Name: The McKinley Associates, Inc.  
Address: 1818 First Avenue  
San Diego, California 92101  
Phone #: (619) 238-1134

Project Address:  
South of Carmel Valley Road,  
East of Rancho Santa Fe  
Road, North of Chase Way, San  
Diego California.

Project Name:  
UNITAS

Sheet Title:  
Plan 1A 1/4" Floor Plans  
    & Roof Plan

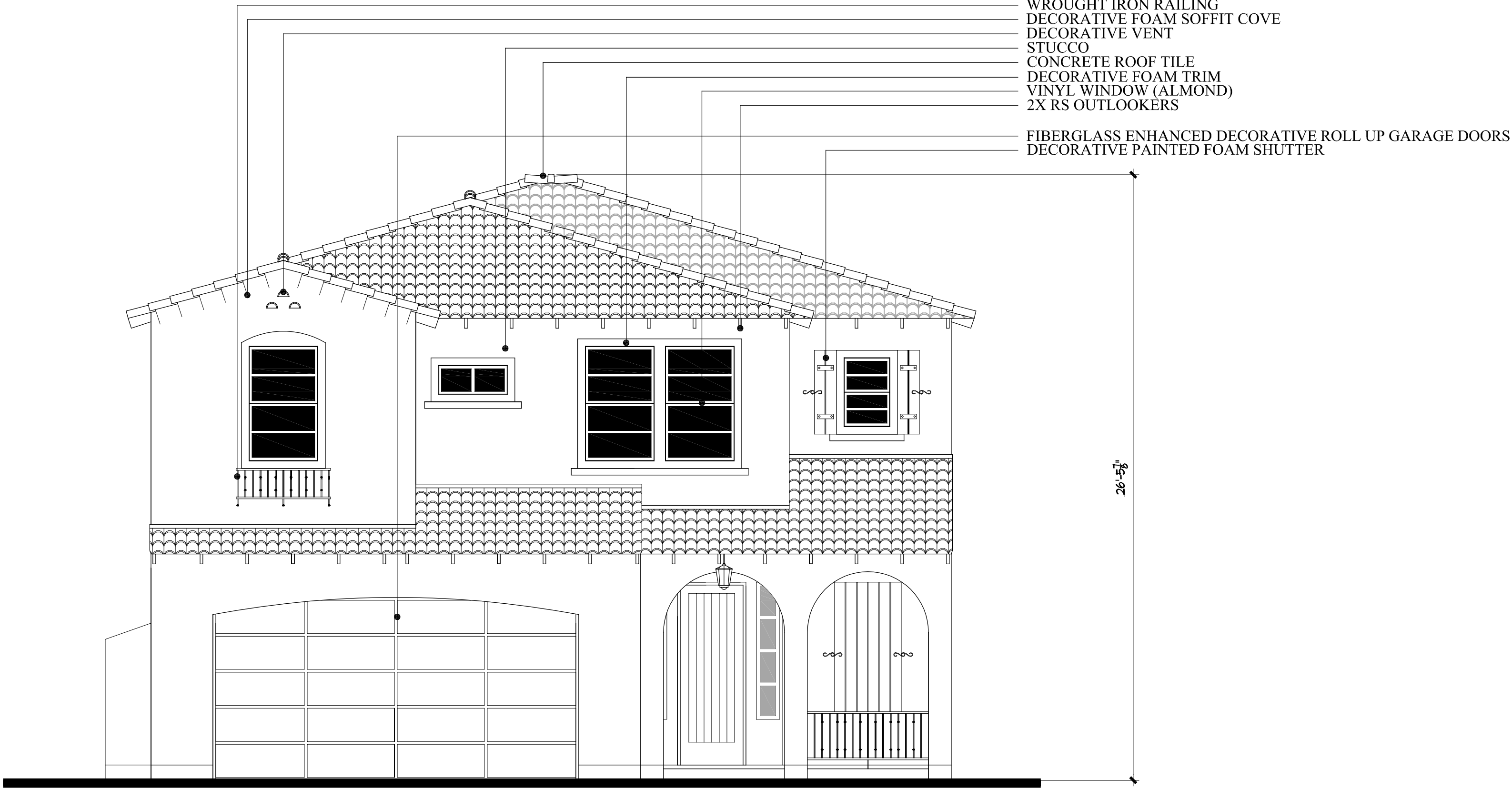
Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	July 21, 2015
Revision 5:	May 7, 2015
Revision 4:	April 16, 2015
Revision 3:	December 4, 2014
Revision 2:	September 3, 2014
Revision 1:	July 17, 2014

Original Date: June 10, 2014  
Sheet 6 of 9  
DEP#: \_\_\_\_\_



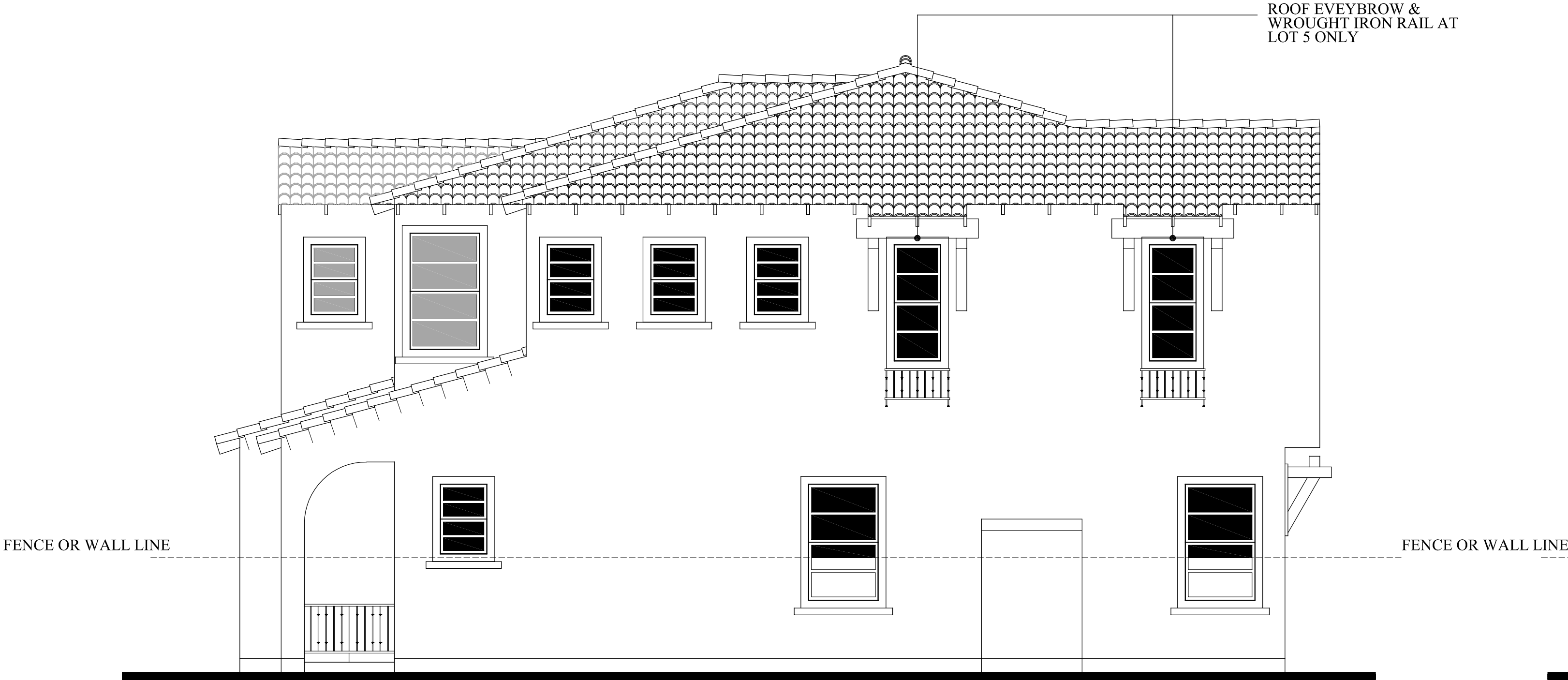
LEFT SIDE ELEVATION - ELEVATION 'A'

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - ELEVATION 'A'

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - ELEVATION 'A'

SCALE: 1/4" = 1'-0"



REAR ELEVATION - ELEVATION 'A'

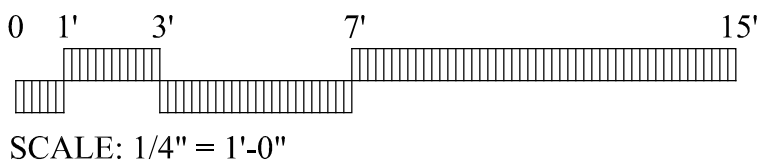
SCALE: 1/4" = 1'-0"

TABULATIONS

	PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	1B	324.5'	325.0'	335.3'	351.5'
LOT 2	1A	324.0'	324.5'	334.8'	348.0'
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LOT 4	1B	324.5'	325.0'	335.3'	351.5'
LOT 5	1A	318.5'	319.0'	329.3'	345.5'

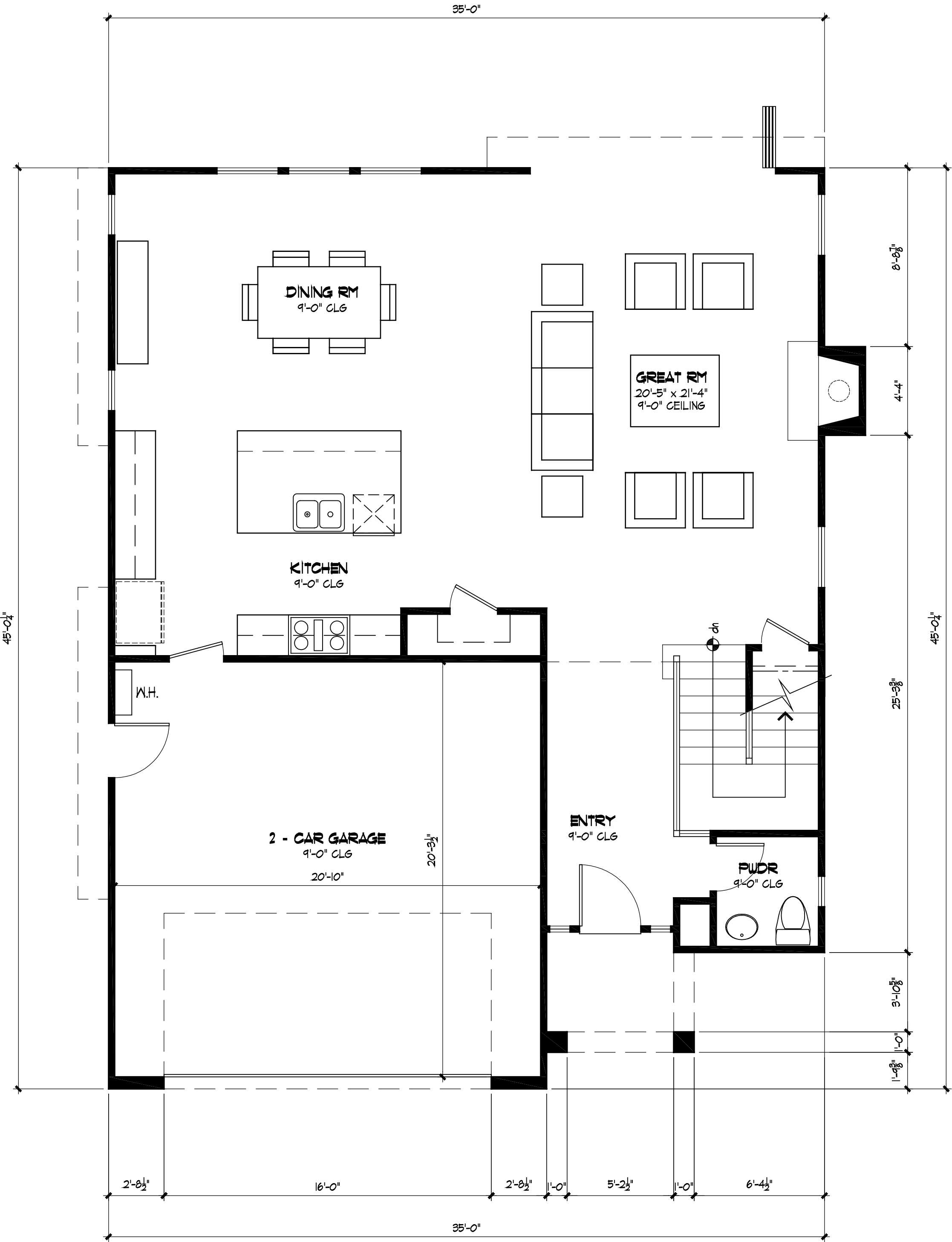
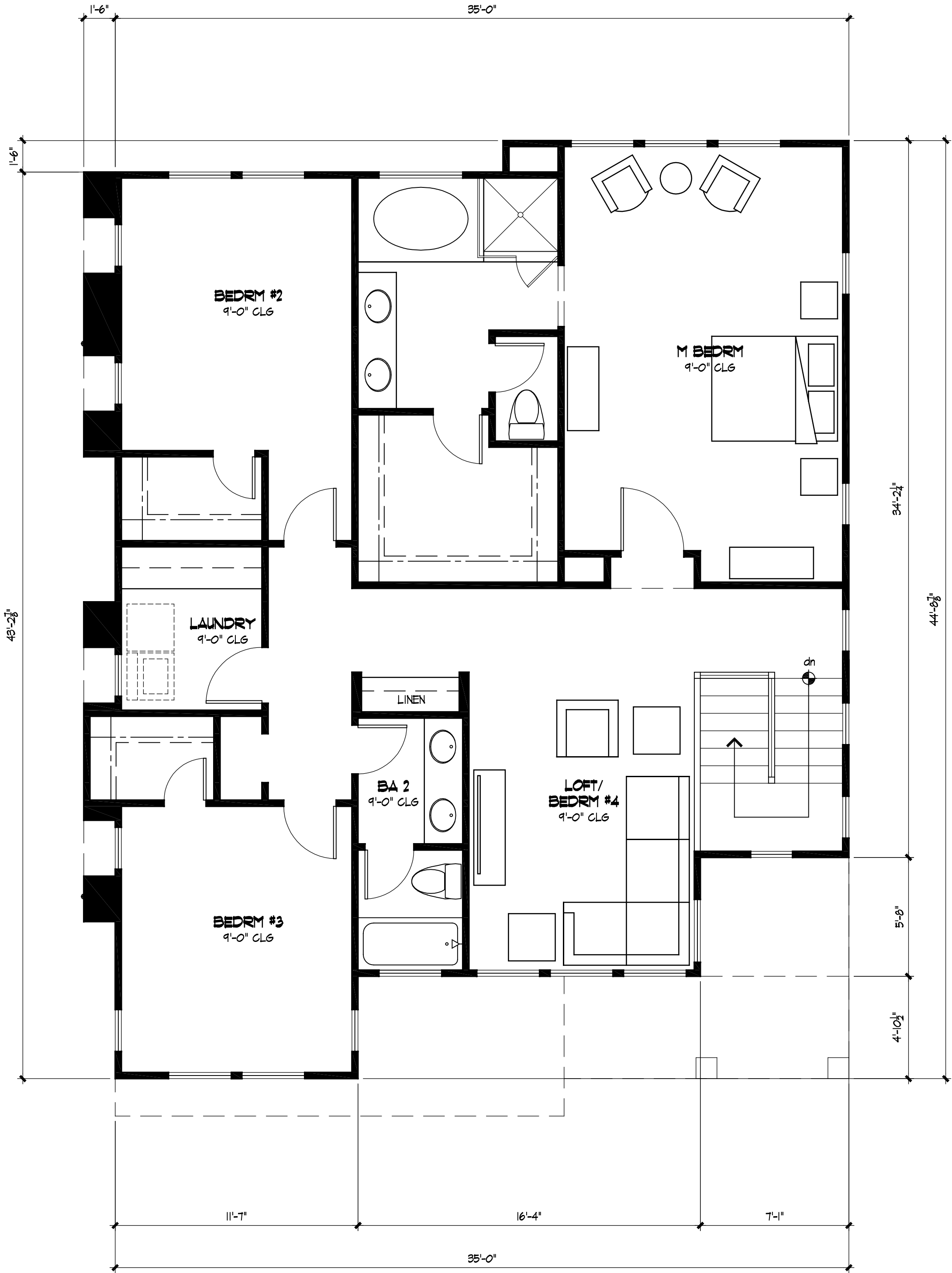
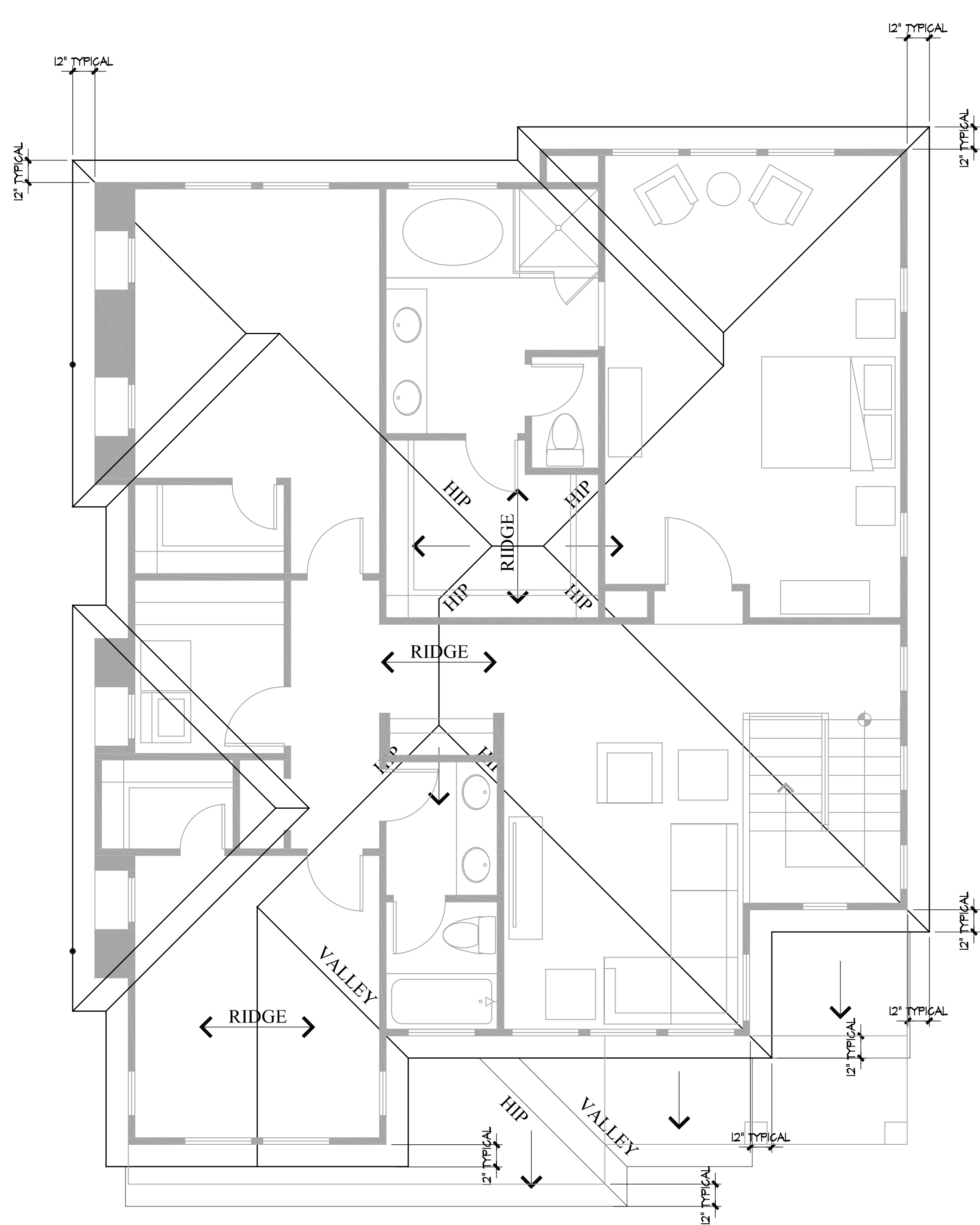
PLAN 1A  
UNITAS  
KLEEGER ENTERPRISES

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

Prepared By:	Revision 14:
Name: The McKinley Associates, Inc.	Revision 13:
Address: 1818 First Avenue	Revision 12:
San Diego, California 92101	Revision 11:
Phone #: (619) 238-1134	Revision 10:
Project Address:	Revision 9:
South of Carmel Valley Road,	Revision 8:
East of Rancho Santa Fe Farms	Revision 7:
Road, North of Chase Hwy, San	Revision 6: July 21, 2015
Diego, California.	Revision 5: May 7, 2015
Project Name:	Revision 4: April 16, 2015
UNITAS	Revision 3: December 4, 2014
Revision 2: September 3, 2014	Revision 2:
Revision 1: July 17, 2014	Revision 1:
Sheet Title:	Original Date: June 10, 2014
Plan 1A 1/4" Elevations	Sheet 7 of 9
DEP#:	DEP#:



ROOF PLAN

SCALE: 1/4" = 1'-0" ALL ROOF PITCHES 4:12

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

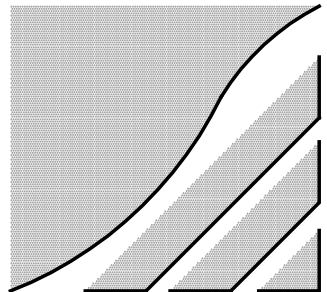
FIRST FLOOR: 1,036 SQ. FT.  
SECOND FLOOR: 1,322 SQ. FT.  
TOTAL: 2,358 SQ. FT.  
GARAGE: 435 SQ. FT.

TABULATIONS

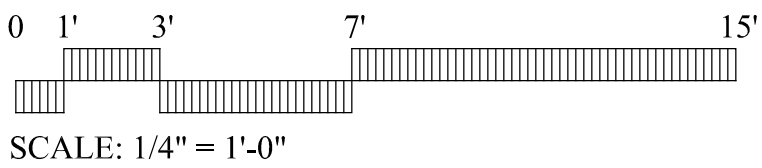
	PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	1B	324.5'	325.0'	335.3'	351.5'
LOT 2	1A	324.0'	324.5'	334.8'	348.0'
LOT 3	1A	320.0'	320.5'	330.8'	347.0'
LOT 4	1B	324.5'	325.0'	335.3'	351.5'
LOT 5	1A	318.5'	319.0'	329.3'	345.5'

PLAN 1B  
UNITAS  
KLEEGER ENTERPRISES

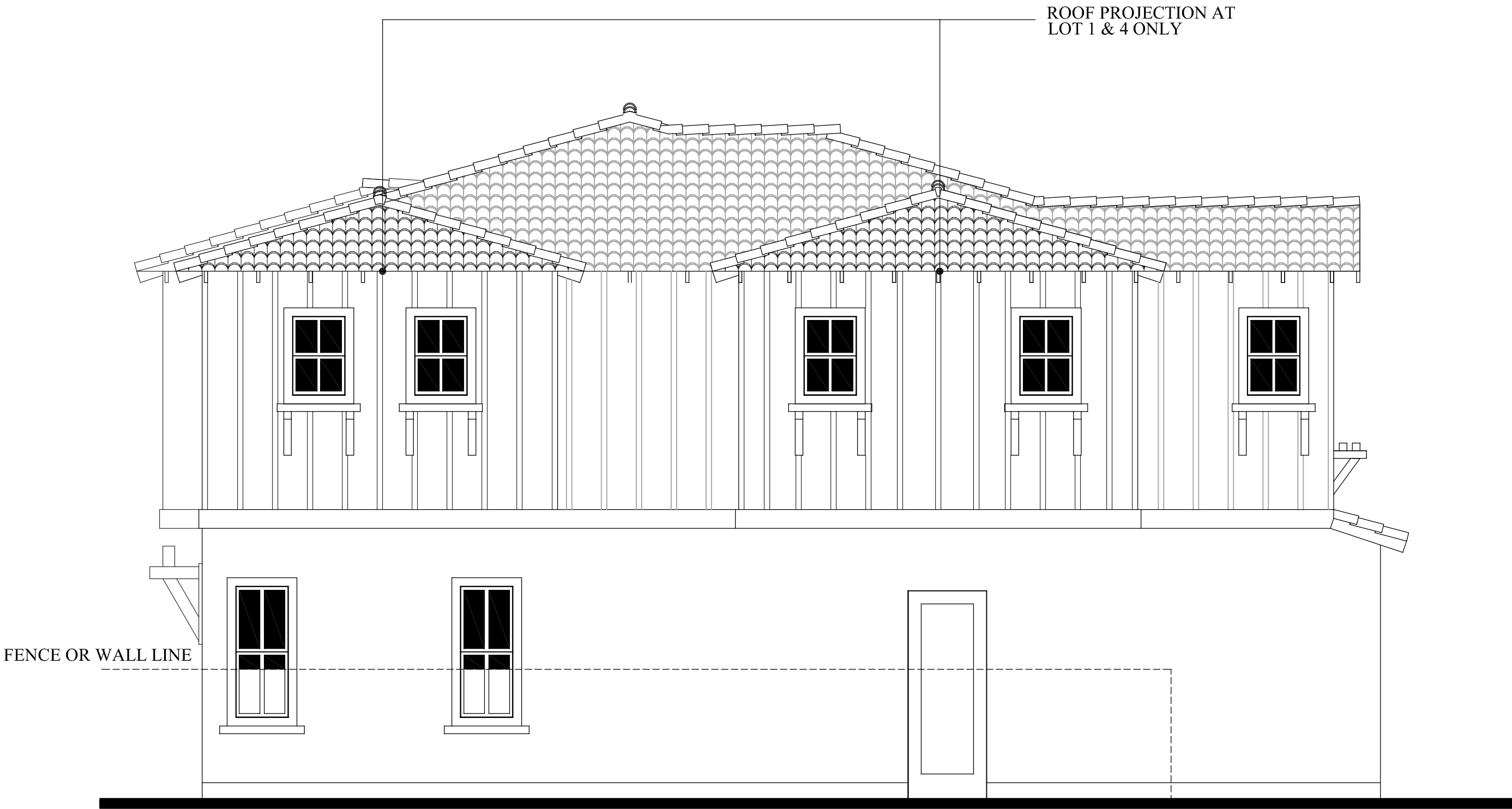
SCALE: 1/4" = 1'-0"



THE MCKINLEY ASSOC., INC.  
ARCHITECTURE & PLANNING  
JUNE 10, 2014



Prepared By:	The McKinley Associates, Inc.	Revision 14:	
Name:	1818 First Avenue	Revision 13:	
Address:	San Diego, California 92101	Revision 12:	
Phone #:	(619) 238-1134	Revision 11:	
Project Address:	South of Carmel Valley Road,	Revision 10:	
	East of Rancho Santa Fe Farms	Revision 9:	
	Road, North of Chase Play San	Revision 8:	
	Diego California.	Revision 7:	
Project Name:	UNITAS	Revision 6:	July 21, 2015
		Revision 5:	May 7, 2015
		Revision 4:	April 16, 2015
		Revision 3:	December 4, 2014
		Revision 2:	September 3, 2014
		Revision 1:	July 17, 2014
Sheet Title:	Plan 1B 1/4" Floor Plans & Roof Plan	Original Date:	June 10, 2014
		Sheet	8 of 9
		DEP#:	



LEFT SIDE ELEVATION - ELEVATION 'B'

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - ELEVATION 'B'

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - ELEVATION 'B'

SCALE: 1/4" = 1'-0"



REAR ELEVATION - ELEVATION 'B'

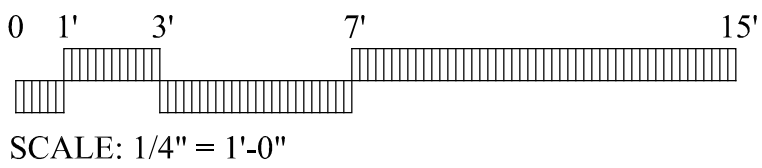
SCALE: 1/4" = 1'-0"

TABULATIONS

	PLAN TYPE	PAD FIN. EL.	1ST FLR. FIN. FLR. EL.	2ND FLR. FIN. FLR. EL.	HIGHEST POINT OF THE ROOF
LOT 1	1B	324.5'	325.0'	335.3'	351.5'
LOT 2	1A	324.0'	324.5'	334.8'	348.0'
LOT 3	1A	320.0'	320.5'	330.8'	347.0'
LOT 4	1B	324.5'	325.0'	335.3'	351.5'
LOT 5	1A	318.5'	319.0'	329.3'	345.5'

PLAN 1B  
UNITAS  
KLEEGER ENTERPRISES

SCALE: 1/4" = 1'-0"



Prepared By:	Revision 14:
Name: The McKinley Associates, Inc.	Revision 13:
Address: 1818 First Avenue	Revision 12:
San Diego, California 92101	Revision 11:
Phone #: (619) 238-1134	Revision 10:
Project Address:	Revision 9:
South of Carmel Valley Road,	Revision 8:
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Road, North of Chase Hwy San	Revision 6: July 21, 2015
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Project Name:	Revision 4: April 16, 2015
UNITAS	Revision 3: December 4, 2014
	Revision 2: September 3, 2014
	Revision 1: July 17, 2014
Sheet Title:	Original Date: June 10, 2014
Plan 1B 1/4" Elevations	Sheet 9 of 9
DEP#:	

**CARMEL VALLEY COMMUNITY PLANNING BOARD**

**Attn: Allen Kashani, CVCPB Secretary**  
**13400 Sabre Springs Pkwy, Ste. 200**  
**San Diego CA 92128**  
**858-794-2571 / Fax: 858-794-2599**

September 25, 2015

Melissa Krause, Senior Project Manager

**Latitude 33**

9968 Hilbert St., 2<sup>nd</sup> Floor  
San Diego, CA 92131

Re: Unitas

Dear Melissa:

The Carmel Valley Community Planning Board (CVCPB) reviewed the illustrative drawings that showed the numerous changes that you provided to address the board's prior concerns regarding such issues as four-sided architectural design to enhance and articulate the residences. Thank you for making the changes to address our concerns.

The CVCPB considered the abovementioned project on September 24, 2015 and approved the project by a vote of 8-0.

It is important to note that due to two (2) board members needing to leave the meeting early the required 9 votes in the affirmative was not met. Nevertheless, the vote of 8-0 shows that the community is in support of Unitas, a 5-lot subdivision adjacent to Carmel Valley Road in Pacific Highlands Ranch. I am confident that you would have received the minimum 9 affirmative votes had the board members not needed to leave early.

Sincerely,  
Carmel Valley Community Planning Board



Frisco White, AIA  
Chair



THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

## Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☒ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title**

Unitas

**Project No. For City Use Only**

375001

**Project Address:**

Carmel Valley Rd.

### Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached** ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:



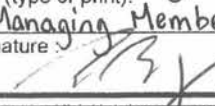
<b>Project Title:</b> Unitas	<b>Project No. (For City Use Only)</b> 37500/
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**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☐ Corporation   
 ☒ Limited Liability -or-   
 ☐ General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print): Crouch Street LLC <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 12625 High Bluff Dr. #310 City/State/Zip: San Diego, CA 92130 Phone No: 858.481.3081    Fax No: Name of Corporate Officer/Partner (type or print): R. Bruce Kleege Title (type or print): Managing Member Signature:  Date: 06/02/2014	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:
Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:
Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date: