



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 18, 2017 REPORT NO. PC-17-040

HEARING DATE: May 25, 2017

SUBJECT: CAMPUS POINT MASTER PLAN. Process Five Decision

PROJECT NUMBER: [336364](#)

REFERENCE: [Planning Commission Report No. PC-13-026](#), Initiation of an Amendment to the University Community Plan to allow an increase in development intensity of the Scientific Research site.

OWNER/APPLICANT: ARE-SD REGION 28, LLC, a Delaware Limited Liability Company

SUMMARY:

Issues: Should the Planning Commission recommend approval to the City Council of an application for development of an existing scientific research and development property with additional buildings and accessory uses on a 58.19-acre site located at 10290 to 10300 Campus Point Drive in the University Community Plan area?

Staff Recommendations:

1. Recommend the City Council CERTIFY Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, ADOPT the Findings and Statement of Overriding Considerations, and ADOPT the Mitigation, Monitoring, and Reporting Program;
2. Recommend the City Council ADOPT the Amendment to the University Community Plan No. 1450819;
3. Recommend the City Council APPROVE Site Development Permit No. 1176281; and
4. Recommend the City Council APPROVE Neighborhood Development Permit No. 1388122.

Community Planning Group Recommendation: On April 11, 2017, the University Community Planning Group voted 11-2-2 to recommend approval of the project with conditions (Attachment 17).

Environmental Review: A [Supplemental Environmental Impact Report \(SEIR\) No. 336364 /SCH No. 2014091073](#), a SEIR to Environmental Impact Report (EIR) No. 91-0360/SCH No. 92121002, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which would reduce some of the potential impacts to below a level of significance. The applicant has provided Draft Candidate Findings and a Statement of Overriding Considerations to allow the decision-maker to adopt the project with significant and unmitigated direct impacts related to Transportation/Traffic.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The project proposes expanding the existing 731,725-square-foot scientific research and development facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park, characterized by a campus-like environment with comprehensive site design and substantial landscaping. The project would add two new buildings and an associated parking structure on previously disturbed land that is currently occupied by surface parking. A Housing Trust Fund (HTF) impact fee as a non-residential development is required for this project and is due at the time of building permit issuance. In addition, a Development Impact Fee (DIF) is required at building permit issuance based on increased square footage over what currently exists on the site.

BACKGROUND

The project site is located at 10290 to 10300 Campus Point Drive, at the northern terminus of Campus Point Drive, north of Genesee Avenue, east of Interstate 5, and west of Roselle Street. The site is within the Central Subarea of the University Community Plan (UCP), the Community Plan Implementation Zone (CPIOZ) Type A and B, and is within the IP-1-1 (Industrial Park), RS-1-7 (Residential Single-Family), and RS-1-14 (Residential Single-Family) zones, and is identified as Prime Industrial Lands in the [Economic Prosperity Element \(Figure EP-1\)](#) of the General Plan (Attachments 1 through 5). In addition, the property is located within the City's Parking Impact Overlay Zone (Coastal and Campus Impact Areas), the Multiple Habitat Planning Area (MHPA), and is within the Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1), the Federal Aviation Administration Part 77 Noticing area, and the Accident Potential Zone-II for Marine Corps Air Station (MCAS) Miramar. The IP-1-1 zoning allows for research and development uses with some limited manufacturing. The UCP designates the site as Industrial and the Industrial Element of the plan more specifically identifies the site for Scientific Research.

The existing Campus Point (formerly IVAC) buildings were constructed on the site in 1979, by ministerial action (Attachment 6). In 1981, the project site was subdivided into two parcels pursuant to Parcel Map No. 10898. Parcel 1 is approximately 41.67-acres and contains an existing 463,791-square-foot building (CP1). Parcel 2 is approximately 16.52-acres and contains an existing 267,934-square-foot building (CP2). The project site contains Environmentally Sensitive Lands (ESL) in the form of sensitive biological resources and steep hillsides; however, they are outside of the previously disturbed and developed portion of the site 7(Attachment 7-Surrounding Site Photos). On March 23, 1993, the Planning Commission certified EIR No. 91-0360/SCH No. 92121002 and approved Planned Industrial Development (PID) No. 91-0360 for the development of the site, which

included the construction of seven new buildings and an addition to one of the existing buildings for a maximum floor area of 1,209,000 square feet. At the request of the property owner (Qualcomm, Inc.), the PID was subsequently canceled by the Director of Development Services on May 31, 1996, pursuant to Development Services Director Resolution No. D-405.

DISCUSSION

Project Description:

The project proposes expanding the existing 731,725-square-foot scientific research and development facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park, characterized by a campus-like environment with comprehensive site design and substantial landscaping. The project would add two new buildings and an associated parking structure on previously disturbed land that is currently occupied by surface parking. The project would entail the construction of a 12- and six-story split-level building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (including three subterranean levels) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. As shown in the Project Development Summary Table below, the total floor area of the site would not exceed 1,060,108 square feet (including the existing 731,725 square footage for buildings CP1 and CP2).

Project Development Summary	
Type	Amount
Buildings	
Existing Building CP1	463,791 sf
Existing Building CP2	267,934 sf
Existing Central Plant CP1-1	9,044 sf
Existing Central Plant CP2-1	7,310 sf
Proposed Building CP3	318,383 sf above-grade 44,000 sf below-grade
Proposed Building CP4	10,000 sf
Total Proposed SF	328,383¹
Total Existing + Proposed SF	1,060,108¹
Parking	
Existing Surface Stalls	2,574 stalls
Existing Surface Stalls to Remain	1,462 stalls (1,126 surface stalls to be eliminated)
Proposed Surface Stalls	7 stalls
Proposed Six-Story Parking Structure with three subterranean	1,440 stalls (471 subterranean, 969 above grade)
Total Proposed	1,447 stalls
Total Existing + Proposed	2,909 stalls
Landscaping	
10290 Campus Point Drive	275,079 sf
10300 Campus Point Drive	902,930 sf

TOTAL EXISTING + PROPOSED	1,178,009 sf (46% of gross)
¹ Total includes square footage considered in development intensity calculation. Excludes the unoccupied utility/central plant structures and the 44,000 sf of below grade square footage included with building CP3. sf = square feet	

A majority of the proposed structures and improvements would be constructed in the southwest quadrant of the project site in the location of existing surface parking. The proposed CP3 research and development building would be located at the southwestern end of the property. The 2-story CP4 amenity structure would be located just east of the proposed building CP3 in the southwestern portion of the site. The parking garage would be located at the southern end of the project site, just south and east of proposed building CP4. The buildings have been designed to achieve Leadership in Energy and Environmental Design (LEED) Silver, which requires several energy- and insulation-efficiency measures to be included in the design of the structures.

The main 12- and six-story split-level building (CP3) would contain 318,383 square feet of scientific research and development space, including a 44,000-square-foot below-grade basement level and a top floor penthouse, and would be 195 feet tall (including the mechanical screening). Exterior treatments include a combination of aluminum and glass precast concrete and terracotta. The two-story building (CP4) would be 10,000 square feet and would be 31 feet 10 inches tall and would contain amenities for employees. The structure would include a micro-brewery, with accessory dining space and shared tenant amenity spaces. A loading dock/utility and trash/recycle area would be located just south of building CP3 at the southwest corner of the project site. Improvements to the trash/recycle enclosure area located north of building CP1 would also be completed.

As noted in the above Project Development Summary table, there are currently 2,574 surface parking spaces onsite. A total of 2,909 parking spaces are proposed based upon a parking ratio of 2.74 spaces per 1,000 square feet. This includes 1,448 existing stalls that would remain, seven new surface stalls and 1,440 stalls that would be provided in the parking structure (six levels above ground, three below ground). The height of the parking structure would be 51 feet 11 inches above grade. Surface parking areas located in the southeastern portion of the site and north of building CP3 would be reconfigured to accommodate proposed internal improvements to the vehicular and pedestrian/accessibility circulation patterns.

The main access road to the project site would be Campus Point Drive from Genesee Avenue. Access to the southern portion of the site from the southernmost entrance off Campus Point Drive would be improved to provide access to the proposed parking structure, which was reconfigured in the southeastern portion of the site to allow for improved access. The central access point to the project site from Campus Point Drive would be reconfigured from a "T" type intersection to a curved roadway configuration that allows more direct flow to and from the project site without stop signs. Roadways and fire lanes have been designed to meet the City Fire Marshal Standards and the main fire and emergency access road would be from Campus Point Drive.

The main entrance would lead to a promenade entry boulevard off Campus Point Drive. The road would be a circulation element that connects entries of new and existing buildings and two roundabouts would be installed on site to provide access to parking areas to the north and south. Additionally, the promenade would serve as a major pedestrian linkage, which will include trees and understory planting would screen pedestrians from vehicular uses. Another major element of

pedestrian circulation is the completion of a pedestrian loop trail. This informal trail would provide both functional linkages as well as exercise and recreation opportunities. Trees, landscaping, and gardens would be planted to provide shade and visual interest and the sidewalks would meet Americans with Disabilities Act requirements.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no permanent encroachment into, or impacts on, any steep slopes or other ESL located on the site. There will be a minor temporary encroachment into steep slopes of approximately 450 square feet for erosion control purposes and the temporary encroachment area will be restored to its current condition after the work is completed.

The project would be completed in two phases. The first phase focuses on the southeastern portion of the property to include the construction of CP4 and some landscaping/parking improvements. The second phase would construct the remainder of the project to include CP3 and the nine-level parking structure.

Required Approvals:

The project utilizes renewable technologies and qualifies as a Sustainable Building, and the applicant has opted to process the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. No deviations from the development regulations are necessary for this project. Due to process consolidation, all actions are processed concurrently as a Process Five. Development of the proposed project requires:

- Process Five Land Use Plan Amendment (LUPA) for modifications to the UCP;
- Process Four Site Development Permit (SDP) for development in the UCP CPIOZ Type A and B, and for development that contains ESL in the form of sensitive biological resources and steep hillsides; and
- Process Two Neighborhood Development Permit (NDP) for alternative calculation for the maximum intensity allowed within the Accident Potential Zone-II for MCAS Miramar.

Project-Related Issues:

MHPA Boundary Line Correction- Approximately 10.08-acres of the current project site overlaps the existing MHPA. A 0.33-acre boundary line correction would be processed to remove an existing portion of a City cul-de-sac at the southern border mapped as MHPA. Overall, the project results in a net MHPA gain of 0.77-acres and removes approximately 1.06-acres of the site that was previously graded in 1979-1982 and subsequently developed pursuant to Building Permit No. A10329. Post boundary line correction, the on-site MHPA consists of a total of 10.85-acres (Attachment 8).

Airport Land Use Compatibility- On January 15, 2015, the San Diego County Regional Airport Authority, serving as the Airport Land Use Commission (ALUC), voted 7-0-2 that the project is conditionally consistent with the MCAS Miramar Airport Land Use Compatibility Plan (ALUCP), pursuant to Resolution No. 2015-0005 (Attachment 9).

The site is located within Accident Potential Zone II (APZ II). In accordance with San Diego Municipal Code ([SDMC Table 132-15F](#)), the research and development use is a "limited use" within APZ II and is conditionally compatible if development is limited to a floor area ratio (FAR) of 0.34. The intent of

this regulation is to limit the density of people in the APZ II to 50 people per acre in accordance with the MCAS Miramar ALUCP, and the SDMC acknowledges that the FAR may not accurately predict the density of people for certain land uses. To accommodate this, the SDMC allows for alternative methods to demonstrate compliance with the maximum intensity (people per acre) through a NDP. The NDP includes conditions of approval that set building occupancy limits and maximum parking spaces that are intended to limit the number of people on-site to 50 people per acre (Attachment 11).

Amendment to the Community Plan Analysis:

On March 14, 2013, the Planning Commission granted the initiation of an amendment to the UCP to allow an increase in development intensity of the Scientific Research site. The property is located in subarea 10 (Campus Point) of the Development Intensity Element of the UCP and is referred to as the "IVAC" site in [Table 3 of the Development Intensity Element](#). Table 3 allocates a development intensity of 30, 000 square feet per acre of Scientific Research use. However, footnote 3 of Table 3, requires that development in this area mitigate its peak hour vehicle trip generation rate to a level equal to or less than that generated by a project of 18,000 square feet per acre of Scientific Research use. This mitigation is to be achieved through a Transportation System Management (TSM) Program ([UCP Page 151](#)). TSM programs are implemented in the University community by ordinance and/or through the planned development permit process to aid in the reduction of peak-hour trips, and are currently referred to as Transportation Demand Management (TDM) plans.

Planning Commission directed staff to evaluate the ability to allow increased development intensity for all of subarea 10, including all properties subject to the requirement to mitigate peak hour traffic generation down to a project equal to or below 18,000 square feet per acre of Scientific Research use. At the time of the initiation of the amendment, the project only involved the property located at 10300 Campus Point Drive. Subsequent to the initial review of the project by staff, the owner acquired the adjacent property to the south, located at 10290 Campus Point Drive. This property was also subject to the traffic generation mitigation requirement from 30,000 square feet to 18,000 square feet. Due to numerous ownerships of the balance of parcels within subarea 10, an evaluation of increased intensity for all of subarea 10 would be unduly onerous for the project applicant. Staff determined that an evaluation of increased intensity for all of subarea 10 would be more appropriate an undertaking during the comprehensive update process for the UCP.

The proposed amendment to the UCP would revise footnote 3 from Table 3 (Attachment 13), of the Development Intensity Element, allowing development of 30,000 square feet per acre with the need to mitigate peak hour vehicle trip generation to a rate equal to or less than that generated by a project of 20,000 square feet per acre of Scientific Research use. The additional land use issues identified in Planning Commission Resolution No. 4881-PC (Attachment 14) were evaluated during the project review and sustainable design elements have been incorporated in the project.

Community Plan Analysis:

The project site is located within the Central Subarea of the UCP. The UCP designates the site as Industrial, and the Industrial Element of the plan more specifically identifies the site for scientific research. The developable portion of the project site is subject to CPIOZ-B. On the east side of Campus Point Drive, a portion of the site is within CPIOZ-A; however, this portion of the site is outside the development footprint and is within the MHPA. CPIOZ B within the UCP is applied to

sites where zoning is consistent with the land use designation in the community plan, but where special design considerations apply. Discretionary review of sites within CPIOZ B address architectural design, grading, site design, height and bulk of buildings, land use and development intensity, lot coverage, pedestrian circulation, parking, noise and compliance with the Airport Land Use Compatibility Plan for Marine Corp Air Station at Miramar.

The uses contemplated by the UCP within areas designated for Scientific Research are research laboratories, supporting facilities, headquarters or administrative offices and personnel accommodations, and related manufacturing activities.

The UCP's goals for industrial development are to:

1. Ensure that industrial land needs as required for a balanced economy and balanced land use are met consistent with environmental considerations.
2. Protect a reserve of manufacturing land from encroachment by non-manufacturing uses.
3. Develop and maintain procedures to allow employment growth in the manufacturing sector.
4. Encourage the development of industrial land uses that are compatible with adjacent non-industrial uses and match the skills of the local labor force.
5. Emphasize the citywide importance of and encourage the location of scientific research uses in the North University area because of its proximity to the University of California at San Diego (UCSD).

The site is included in the [General Plan's Economic Prosperity Element](#) as Prime Industrial land on Figure EP-1 which identifies areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, research and development uses. These areas are part of even larger areas that provide a significant benefit to the regional economy and meet General Plan goals and objectives to encourage a strong economic base. The General Plan provides several policies which are intended to protect base sector industrial uses and those areas identified as prime industrial lands.

The proposed amendment would increase the allowable development intensity of Scientific Research use on-site and would not result in inconsistencies with the existing land use designation. The Industrial Element of the UCP emphasizes the city-wide importance of and encourages the retention and growth of Scientific Research use in the community because of its proximity to UCSD. Increased intensity would be consistent with this emphasis and the community plan policies regarding retention and growth of Scientific Research in areas designated for industrial development.

The General Plan's Economic Prosperity Element also encourages the growth and retention of base sector industrial uses such as Scientific Research in areas that are identified as Prime Industrial Lands. Policies EP-A.1 through EP-A.5 and EP-A.12 aim to protect base sector uses that provide quality job opportunities, encourage expansion of existing industrial uses to facilitate retention in the area in which they are located, mitigate any environmental impacts to adjacent land and be adequately served by existing and planned infrastructure.

Adding additional square footage in the UCP for Scientific Research use would allow for companies to locate or expand their business activities at a location close to the UCSD campus and related research facilities that contribute significantly to the City's overall economy as export-oriented

business activities. In addition, the increase of square footage would make better use of the site's designation as Prime Industrial Land and increase the number of quality employment opportunities in the City.

The proposed project implements the design recommendations found in the Central Subarea section of the UCP Urban Design Element which seek to improve the central community's urban form and cohesiveness. These include articulation of buildings, utilizing building elements, colors and materials that are not disturbing to the eye, concealing rooftop equipment and providing eating and seating areas for employees. The height and bulk of building CP3 would be compatible with existing and planned structures visible from the Interstate 5 corridor as one travels through the University Community, both on the west and east side of the corridor. The proposed amenity building CP4 would provide services and accommodations for tenants in the industrial park which would help reduce offsite trips during the day. Onsite amenities would also provide opportunities for employees to stagger start/stop work times to avoid heavy traffic congestion while taking advantage of onsite recreation and/or dining services.

Community Group Recommendation:

On April 11, 2017, the University Community Planning Group (UCPG) voted 11-2-2 to recommend approval of the project (Attachment 17) with the following conditions:

1. That the City of San Diego commit to preserve and dedicate as permanent Open Space the 42-acres of City-owned lands located at the north end of Campus Point Drive (comprised of APNs 340-030-40; 340-080-55; 340-080-62) and adjacent to the Campus Point project site, and that ARE commit to support and advocate for this objective with the City through its final achievement.
2. That, as a community benefit, ARE deposit \$3.5 million in an escrow account controlled by the UCPG or the City of San Diego for the following purposes: acquisitions, restoration and/or dedication of Open Space parkland in the UC Planning area. Up to \$500 thousand may be used for improvement of population-based/developed park is in the UC Planning area.
3. That ARE maintain permanent public access to the adjacent 42-acre city-owned open space parcels and include not less than 12 free public parking spaces (and bicycle parking area) adjacent to these parcels.
4. That ARE register a permanent no building restriction or easement covering that full portion of the Campus Point Drive property north of CP1 and adjacent to the neighboring 42-acre open space parcel.
5. That ARE reduce height of the proposed new building CP3 to a 10- story/five-story height configuration.
6. That ARE monitor their Transportation Demand Management (TDM) for 10 years.

Staff's Response: The City has no current plans at this time for the adjacent City-owned land; however it is being evaluated for possible future use. Therefore, Conditions 1-4 are not acceptable to the City. The proposed CP3 building is designed to the development regulations, including the height requirements of the zone; therefore, based on the location of the building and surround existing and proposed development, staff does not support the reduction. Typically, the TDM is monitored for only five years; however, if the applicant accepts the condition, staff has no objection.

In addition, as part of the UCPG motion, the group provided the following recommendations (not conditions as written from their motion):

1. That parking be reduced from the proposed 2.74/1,000 square feet to 2.5/1,000 square feet or lower. Given the project's requirement to significantly reduce traffic trips via TDM program, parking should not be needed, and therefore be reduced.
2. TDM Program:
 - That monitoring of the TDM program's effectiveness, including traffic counts, be permanent rather than ending after five years of occupancy.
 - That the monitoring of reports be made public.
 - That additional measures be added annually until the goal is met.
 - That the TDM program, including permanent monitoring, be a condition for future owners of the project site or any portion of the site.
3. That the plant palette be revised to
 - Substitute native plant species for as many of the proposed non-native plant species as feasible.
 - Delete Liquidamber, Pittosporum, Acacia, and Mexican Feather Grass, and any other species deemed of concern for invasion of native habitats by the California Exotic Pest Plant Council, California Native Plant Society, City of San Diego, County of San Diego, or knowledgeable biologist.
4. We encourage Alexandria's to seek additional ways to incorporate into all their Campus Point buildings strategies outlined in the Bird-Friendly Design Guide by the American Bird Conservancy.
5. Alexandria update the final SEIR to include underline and strikeout changes reflecting the permit conditions agreed to in the comments section of SEIR. These should include commitments to strengthening the TDM plan, rideshare options, and paying full cost of the re-striping and removal of parking on the east side of Campus Point Drive, including an additional northbound lane and the preservation of bicycle lanes the whole length of Campus Point Drive.
6. That the final configuration of Campus Point Drive after re-striping and the addition of a new northbound lane must include dedicated bicycle lanes running the length of Campus Point Drive.

Staff's Response: Staff has reviewed the recommendations and the applicant has agreed to work with staff on minor revisions to the landscape design to address the UCPG concerns. As addressed in the SEIR, windows and building materials shall not use glazing with an outdoor visible light reflectivity greater than 55 percent in order to reduce the potential for bird strike, and a maximum of 50 percent of the buildings shall be comprised of material with a light reflectivity factor greater than 30 percent, in accordance within the City of San Diego Municipal Code. In addition, Condition No. 51 with the Permit addresses the required Class II bike lanes. The remaining recommendations are revisions to the design, TDM, and the final SEIR, which have not been submitted to the City or agreed upon by the applicant.

Environmental Analysis:

[Supplemental Environmental Impact Report \(SEIR\) No. 336364 /SCH No. 2014091073](#), a SEIR to Environmental Impact Report (EIR) No. 91-0360/SCH No. 92121002, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A

Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which would reduce some of the potential impacts to below a level of significance. The applicant has provided Draft Candidate Findings and a Statement of Overriding Considerations to allow the decision-maker to adopt the project with significant and unmitigated direct impacts related to Transportation/Traffic.

Relative to the transportation/traffic impacts, the project-specific Traffic Impact Analysis (TIA) concluded that all of the segments and intersections that the previous environmental analysis found to be significant and not mitigated would be less than significant or mitigable at this time with the proposed project. However, the proposed project would have three new impacts that were not previously identified. These include the two impacts at Genesee Avenue (TR-1) and the Genesee Avenue/I-5 southbound ramps intersection (TR-3) (refer to SEIR Section 4.2). Both of these impacts would be temporarily significant and unmitigated because the mitigation measure (widening of the Genesee Avenue bridge) is out of the control of the applicant. The California Department of Transportation (Caltrans) has planned and fully funded I-5/ Genesee Avenue interchange improvements that would mitigate these impacts and the improvements are under construction and anticipated to be completed in fall 2017. The third impact would be Impact TR-4 which consists of both the direct and cumulative impacts occurring at the Genesee Avenue/La Jolla Village Drive intersection. The proposed mitigation at this intersection would be to widen the northbound approach to provide a dedicated right-turn lane. This dedicated right-turn lane is already scheduled to be constructed along with other improvements on Genesee Avenue; the project is fully funded and is currently under construction (started in February 2017). However, the project's impact to the Genesee Avenue/La Jolla Village Drive intersection will remain significant and unmitigated in the short term until construction of the Genesee Avenue project is completed.

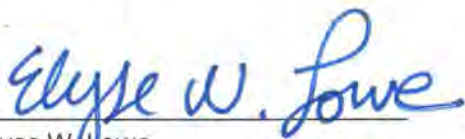
Conclusion:

With the adoption of the UCP amendment, the project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the UCP, SDMC, and the General Plan, thus, staff recommends approval of the project.

ALTERNATIVES

1. Recommend the City Council CERTIFY Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, ADOPT the Findings and Statement of Overriding Considerations, ADOPT the Mitigation, Monitoring, and Reporting Program, ADOPT the Amendment to the University Community Plan No. 1450819, and APPROVE Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122, with modifications.
2. Recommend the City Council NOT CERTIFY Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, NOT ADOPT the Findings and Statement of Overriding Considerations, DO NOT ADOPT the Mitigation, Monitoring, and Reporting Program, NOT ADOPT the Amendment to the University Community Plan No. 1450819, and DENY Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Elyse W. Lowe
Deputy Director
Development Services Department



Jeffrey A. Peterson
Development Project Manager
Development Services Department



Brian Schoenfisch
Program Manager, Long Range Planning
Planning Department

LOWE /JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Economic Prosperity Element (Figure EP-1) of the General Plan
6. Photographic Survey (Site and Existing Buildings)
7. Project Data Sheet
8. MHPA Boundary and Vegetation Map
9. ALUC Resolution No. 2015-0005
10. Draft SDP/NDP Resolution with Findings
11. Draft SDP/NDP Permit with Conditions
12. Draft UCP Amendment Resolution
13. UCP Table 3 Revision-Strikeout and Underlines
14. Planning Commission Resolution No. 4881-PC
15. Draft SEIR Environmental Resolution with the Candidate Finding's and Statement of Overriding Considerations and MMRP
16. Draft Planning Commission Resolution
17. Community Planning Group Recommendation
18. Ownership Disclosure Statement
19. Project Plans

Internal Order Number: 24004025



Location Map

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive





Aerial Photograph

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive





Aerial Photograph (Bird's Eye View)

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive





Aerial Photograph (Bird's Eye View)

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive

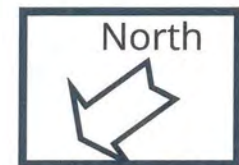


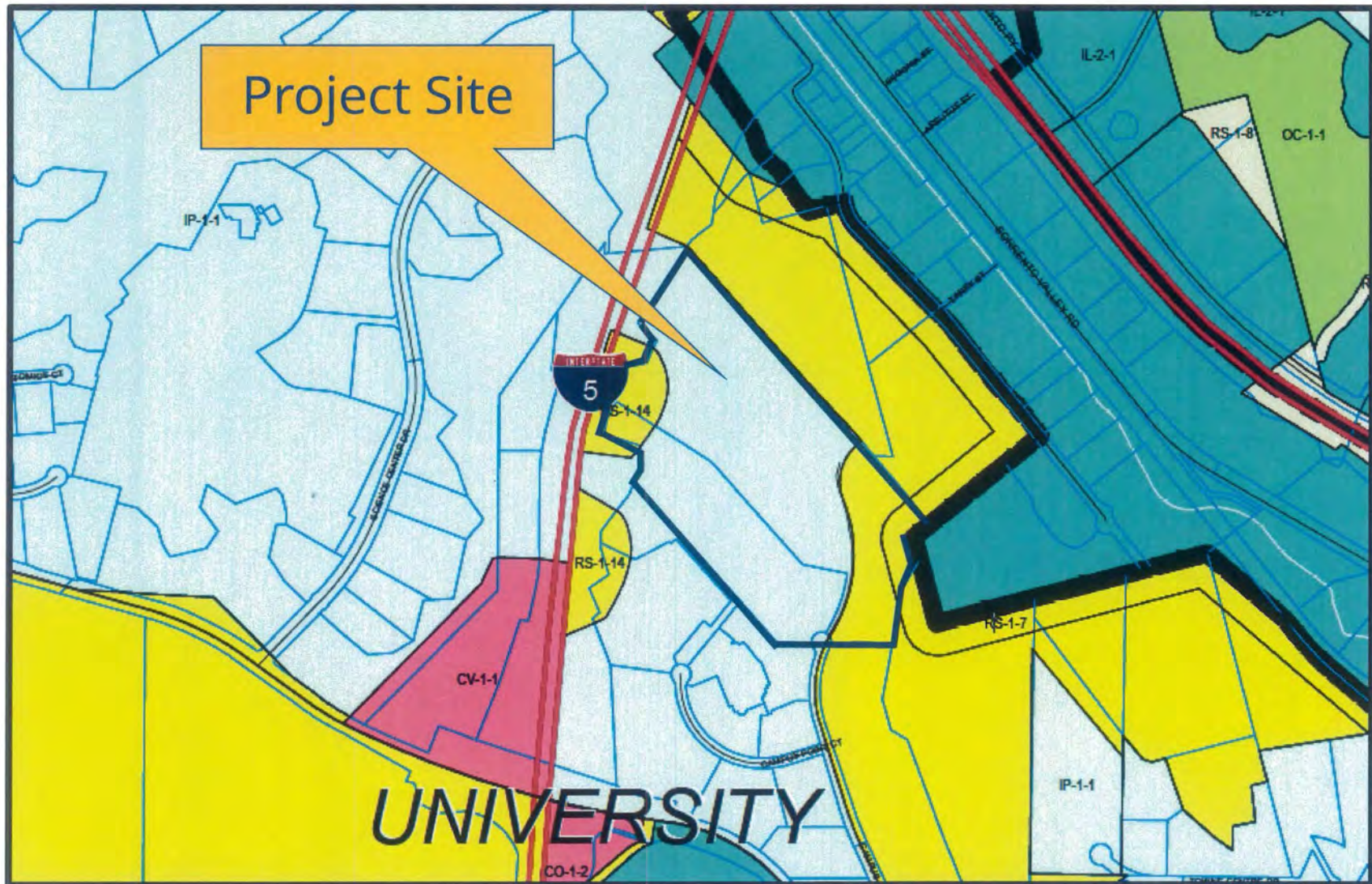


Aerial Photograph (Bird's Eye View)

Campus Point Master Plan-Project No. 336364

10290 to 10300 Campus Point Drive





Zoning Map (Official Zoning Map)

Campus Point Master Plan-Project No. 336364

10290 to 10300 Campus Point Drive





Zoning Map (IP-1-1 Light Blue Area)

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive





Zoning Map (RS-1-14 Light Blue Area)

Campus Point Master Plan-Project No. 336364

10290 to 10300 Campus Point Drive

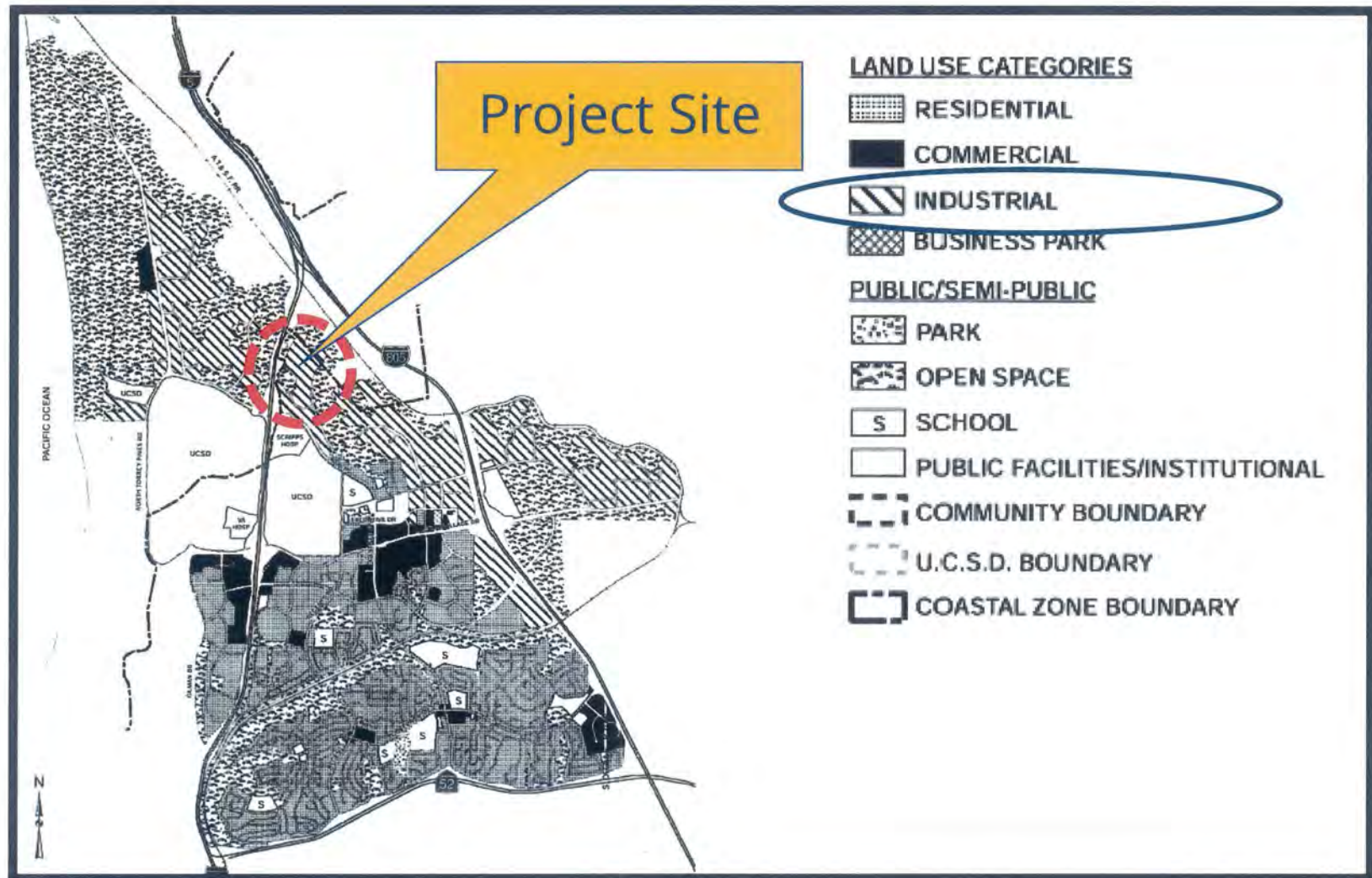




Zoning Map (RS-1-7 Light Blue Area)

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive

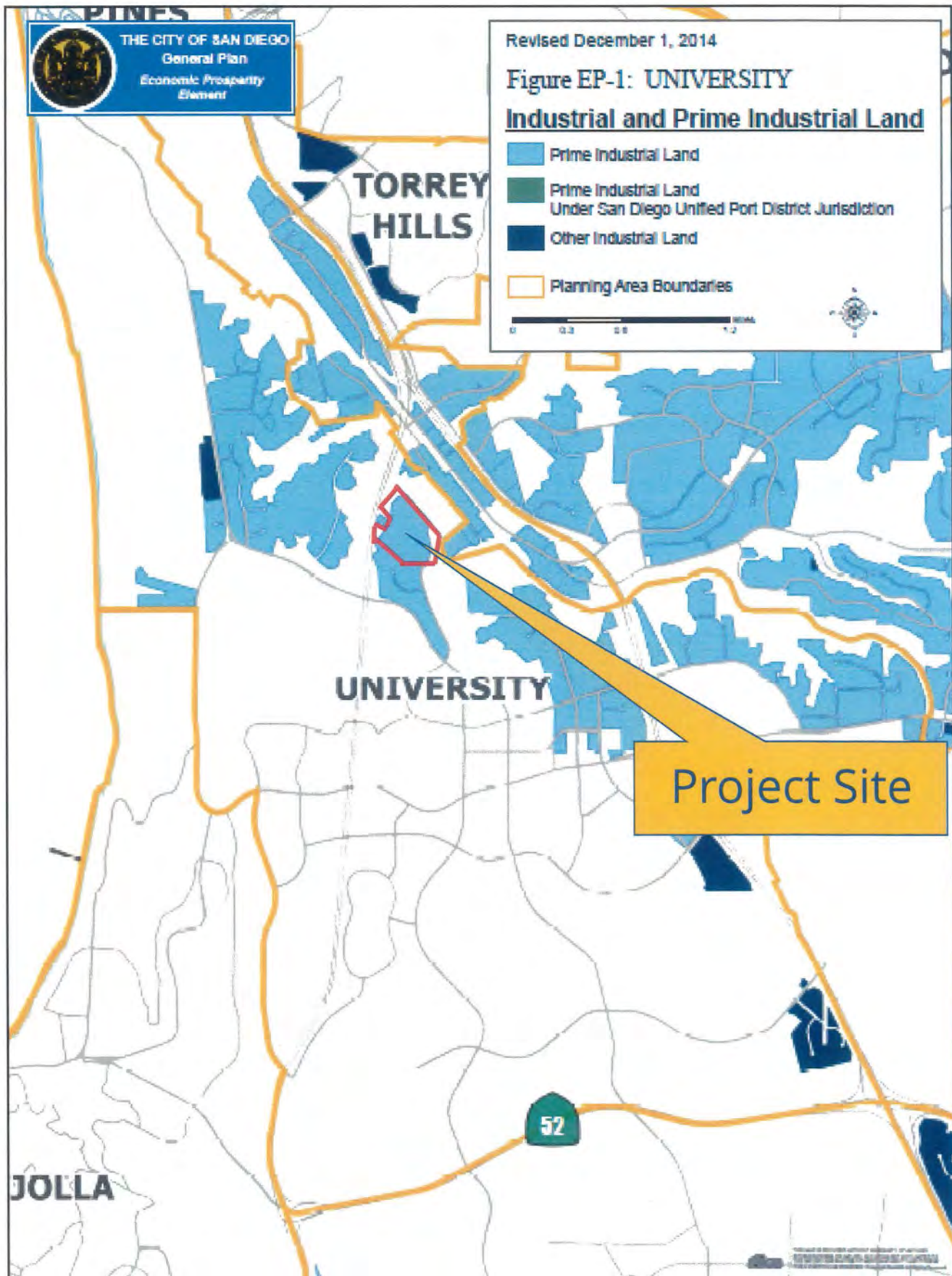




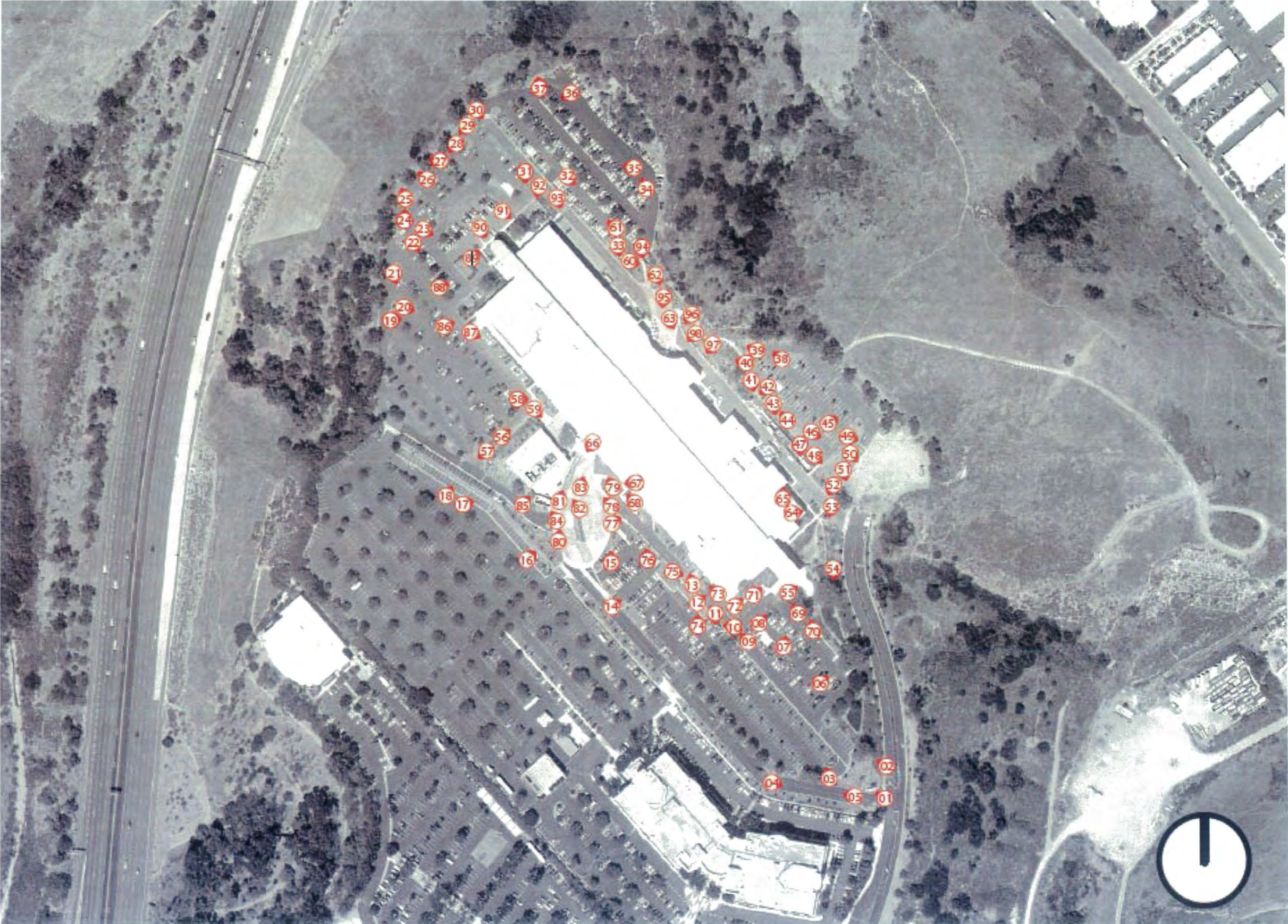
University Community Land Use Map

Campus Point Master Plan-Project No. 336364
10290 to 10300 Campus Point Drive





Photographic Survey- Map





1 Site entrance monument sign



2 Site landscaping, typical



3 View from southeast corner of site



4 Main entry drive looking east



5 Main entry drive looking west



6 East parking lot, specimen Torrey Pines

site

CAMPUS POINTE

photographic survey
DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



7 Parking lot, building east end, specimen Torrey Pines



8 Building east end



9 Building, southeast corner



10 Typical site service enclosure (Covance emergency generator)



11 Covance emergency power generator



12 Pavement markings

site

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE



13 Fuel efficient parking, south side of building



14 South building elevation, eastern one-third section



15 South building elevation, middle one-third section



16 South building elevation, middle one-third section



17 Central Plant, south elevation



18 South building elevation, western one-third section

site

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



19 Southwest building corner



20 Parking area, southwest quadrant



21 Parking area, southwest quadrant



22 Parking area, west of building



23 Parking area, west of building



24 Fire lane/drive, extreme west end of site, looking north

site



25 View to I-5 from west end of site



26 View to west from west end of site



27 View to west from west end of site



28 View to southwest from west end of site



29 Fire lane/drive, extreme west end of site, looking south



30 Fire lane/drive, northwest quadrant

site

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



31 Parking area, northwest quadrant



32 Parking area, northwest quadrant



33 Site landscape/hardscape improvements, north side of building



34 Parking area, northwest quadrant



35 Parking area, northwest quadrant



36 Parking area, northwest quadrant

site

CAMPUS POINTE	photographic survey			
	DUE DILIGENCE REPORT	4999.50	11/08/2010	carrierjohnson + CULTURE3



37 View to north from north edge of site



38 View west from north parking lot



39 Site landscape/hardscape improvements, north side of building



40



41 Fire lane, north building elevation



42 Sitework at north parking lot

site

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



43 Fire lane/service drive, north side of building



44 West edge of north parking lot



45 North parking lot, view to northeast



46 North parking lot, view to east



47 Fire lane, north building elevation



48 Eli Lilly's exterior mechanical enclosure

site

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



49 Herb garden under construction



50 Herb garden under construction



51 Herb garden under construction



52 Driveway from fire lane to north parking lot



53 Garden walk, northeast building corner



54 Garden walk, site east end, specimen Torrey Pines

site

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



55 Courtyard, east end of building



56 Failing pavement, fire lane, west of Central Plant



57 Failing pavement, fire lane, west of Central Plant



58 Failing pavement, fire lane, west of Central Plant



59 Courtyard between south building elevation & Central Plant



60 Typical trash enclosure, site north

site



61 Parking area, north of building



62 Site improvements, north of building



63 Site improvements, north of building



64 Herb garden under construction (taken from roof)



65 Eli Lilly's exterior mechanical enclosure



66 Ellipse vehicular drop-off, south of main building entry (taken from roof)

site

CAMPUS POINTE

photographic survey
DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



67 Central Plant screen wall (main building entry at right; taken from roof)



68 Main building entry & landscaping (taken from roof)



69 Building east end, secondary entrance



70 Building east end, secondary entrance



71 Disabled access parking, east end of building



72 Raised planter, east end of building



73 South building elevation



74 South building elevation

building exterior

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



75 South building elevation



76 South building elevation



77 Vertical circulation element



78 Central Plant screen wall



79 Main building entry, specimen
Torrey Pine



80 Xeriscape element, center of Ellipse

building exterior



81 Main building entry, from ellipse



82 Central plant screen wall



83 Main building entry



84 Central Plant, southeast corner



85 Central Plant service yard, south gate



86 Southwest building corner

building exterior



87 South building elevation



88 Building west end (feature stair tower)



89 Disabled access parking, west end



90 Building west end (feature stair tower)



91 Northwest building corner, specimen
Torrey Pine



92 Northwest building corner

building exterior

CAMPUS POINTE

photographic survey
DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3



93 Northwest building corner, north building elevation



94 Secondary main lobby entrance, building north side



95 Secondary main lobby entrance, building north side



96



97



98 Secondary main lobby entrance, building north side

building exterior

CAMPUS POINTE

photographic survey

DUE DILIGENCE REPORT

4999.50

11/08/2010

carrierjohnson + CULTURE3

PROJECT DATA SHEET		
PROJECT NAME:	Campus Point Master Plan; Project No. 336364	
PROJECT DESCRIPTION:	Development of an existing scientific research and development property with additional buildings and accessory uses on a 58.19-acre site located at 10290 to 10300 Campus Point Drive	
COMMUNITY PLAN AREA:	University	
DISCRETIONARY ACTIONS:	Amendment to the University Community Plan, Site Development Permit, and Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p>ZONE: IP-1-1</p> <p>HEIGHT LIMIT: 30-feet (Coastal Height Limitation Overlay Zone)</p> <p>LOT SIZE: 40,000 square feet</p> <p>FLOOR AREA RATIO: 2.0</p> <p>LOT COVERAGE: NA</p> <p>FRONT SETBACK: 20-foot (min.) and 25-foot (std.)</p> <p>SIDE SETBACK: 15-feet</p> <p>STREETSIDE SETBACK: NA</p> <p>REAR SETBACK: 25-feet</p> <p>PARKING: 625 spaces proposed with a Transportation Demand Management Plan</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Open Space; RS-1-14	Open Space
SOUTH:	Industrial; IP-1-1	Research and Development
EAST:	Industrial and Open Space; IL-2-1 and RS-1-7	Open Space and Research and Development
WEST:	Open Space; IP-1-1 and RS-1-14	Open Space and Interstate 5
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 11, 2017, the University Community Planning Group voted 11-2-2 to recommend approval of the project with conditions.	

Image Source: USDA FSA (flown June 2014)



Project Site
Off-site Improvement Area

MHPA Boundary
(Established March 1997)
Boundary Line Correction
(Approved November 17, 2014)

MHPA Addition
Off-site Boundary Line
Correction

Vegetation Communities
Diegan Coastal Sage Scrub
Eucalyptus Woodland
Non-Native Grassland
Urban\Developed

RECON

M:\JOBS\5230\common_gis\fig7_btr.mxd 6/28/2016 ccn

FIGURE 7
MHPA Boundary Line Correction

RESOLUTION NO. 2015-0005 ALUC

A RESOLUTION OF THE AIRPORT LAND USE COMMISSION FOR SAN DIEGO COUNTY MAKING A DETERMINATION THAT THE PROPOSED PROJECT: COMMUNITY PLAN AMENDMENT TO CONSTRUCT THREE RESEARCH & DEVELOPMENT BUILDINGS AND THREE PARKING STRUCTURES AT 10300 CAMPUS POINTE DRIVE, CITY OF SAN DIEGO, IS CONDITIONALLY CONSISTENT WITH THE MARINE CORPS AIR STATION MIRAMAR AIRPORT LAND USE COMPATIBILITY PLAN.

WHEREAS, the Board of the San Diego County Regional Airport Authority, acting in its capacity as the Airport Land Use Commission (ALUC) for San Diego County, pursuant to §21670.3 of the California Public Utilities Code, was requested by the City of San Diego to determine the consistency of a proposed project: Community Plan Amendment to Construct Three Research & Development Buildings and Three Parking Structures at 10300 Campus Pointe Drive, City of San Diego, which is located within the Airport Influence Area (AIA) for the Marine Corps Air Station (MCAS) Miramar Airport Land Use Compatibility Plan (ALUCP), originally adopted in 2008 and amended in 2010 and 2011; and

WHEREAS, the plans submitted to the ALUC for the proposed project indicate that it would involve a community plan amendment to construct three research & development buildings and three parking structures on a property with an existing research & development building; and

WHEREAS, the proposed project would be located outside the 60 decibel (dB) Community Noise Equivalent Level (CNEL) noise contour, and the ALUCP identifies all uses located outside the 60 dB CNEL noise contour as compatible with airport uses, provided that the residences/buildings are sound attenuated to 45/50 dB CNEL interior noise level and that an aviation easement is recorded with the County Recorder; and

WHEREAS, the proposed project is in compliance with the ALUCP airspace protection surfaces because the project sponsor has certified that notice of construction is not required to the Federal Aviation Administration (FAA); and

WHEREAS, the proposed project is located within Accident Potential Zone (APZ) 2, and the ALUCP identifies research & development uses located within APZ 2 as conditionally compatible with airport uses, provided that the project complies with an intensity of 50 people per acre and that an occupancy deed restriction is recorded with the County Recorder if the floor area ratio (FAR) exceeds 0.34; and

Resolution No. 2015-0005 ALUC
Page 2 of 3

WHEREAS, the proposed project is located within the overflight notification area, but the ALUCP requires recordation of an overflight notification with the County Recorder only for new residential land uses; and

WHEREAS, the ALUC has considered the information provided by staff, including information in the staff report and other relevant material regarding the project; and

WHEREAS, the ALUC has provided an opportunity for the City of San Diego, the U.S. Marine Corps, and interested members of the public to present information regarding this matter;

NOW, THEREFORE, BE IT RESOLVED that the ALUC hereby determines that the proposed project: Community Plan Amendment to Construct Three Research & Development Buildings and Three Parking Structures at 10300 Campus Pointe Drive, City of San Diego, is conditionally consistent with the MCAS Miramar ALUCP, which was originally adopted in 2008 and amended in 2010 and 2011, based upon the following facts and findings:

- (1) The proposed project involves a community plan amendment to construct three research & development buildings and three parking structures on a property with an existing research & development building.
- (2) The proposed project is located outside the 60 dB CNEL noise contour. The ALUCP identifies all uses located outside the 60 dB CNEL noise contour as compatible with airport uses.
- (3) The maximum height of the proposed project is approximately 87 feet above ground level. The proposed project is in compliance with the ALUCP airspace protection surfaces because the project sponsor has certified that notice of construction is not required to the FAA because the project is located within an urbanized area, is substantially shielded by existing structures or natural terrain, and cannot reasonably have an adverse effect on air navigation.
- (4) The proposed project is located within APZ 2. The ALUCP identifies research & development uses located within APZ 2 as conditionally compatible with airport uses, provided that the project complies with an intensity of 50 people per acre and that an occupancy deed restriction is recorded with the County Recorder if the FAR exceeds 0.34. The project proposes an FAR of 0.41 and thus requires an occupancy deed restriction to 50 people per acre per the ALUCP, which would be 2,083 people for the 41.67 acre property. Therefore, as a condition of project approval, an occupancy deed restriction of 2,083 people must be recorded with the County Recorder.

Resolution No. 2015-0005 ALUC
Page 3 of 3

(5) The proposed project is located within the overflight notification area. The ALUCP requires recordation of an overflight notification with the County Recorder only for new residential land uses, and the proposed project does not contain any residential land uses.

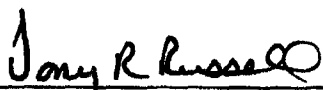
(6) Therefore, if the proposed project contains the above-required conditions, the proposed project would be consistent with the MCAS Miramar ALUCP.

BE IT FURTHER RESOLVED that the ALUC finds this determination is not a "project" as defined by the California Environmental Quality Act (CEQA), Cal. Pub. Res. Code §21065, and is not a "development" as defined by the California Coastal Act, Cal. Pub. Res. Code §30106.

PASSED, ADOPTED AND APPROVED by the ALUC for San Diego County at a regular meeting this 15th day of January, 2015, by the following vote:

AYES:	Commissioners:	Alvarez, Boling, Cox, Gleason, Hubbs, Sessom, Smisek
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Desmond
ABSTENTION:	Commissioners:	Robinson

ATTEST:



TONY R. RUSSELL
DIRECTOR, CORPORATE &
INFORMATION GOVERNANCE /
AUTHORITY CLERK

APPROVED AS TO FORM:



BRETON K. LOBNER
GENERAL COUNSEL

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION GRANTING SITE DEVELOPMENT PERMIT NO. 1176281 AND
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1388122; CAMPUS POINT MASTER
PLAN - PROJECT NO. 336364[MMRP]

WHEREAS, ARE-SD REGION 28, LLC, a Delaware Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a Site Development Permit and Neighborhood Development Permit, for the redevelopment of an existing scientific research and development property with additional buildings and accessory uses, and a Multiple Habitat Planning Area boundary line correction, on a 58.19-acre parcel of land known as the Campus Point Master Plan project (Project); and

WHEREAS, the project site is located at 10290 to 10300 Campus Point Drive, at the northern terminus of Campus Point Drive north of Genesee Avenue, east of Interstate 5, and west of Roselle Street. The site is within the Central Subarea of the University Community Plan, the Community Plan Implementation Zone (CPIOZ) Type A and B, and is within the IP-1-1, RS-1-7, and RS-1-14 zones and is identified as Prime Industrial Lands in the Economic Prosperity Element (Figure EP-1) of the General Plan. In addition, the property is located within the City's Parking Impact Overlay Zone (Coastal and Campus Impact Areas), the Multiple Habitat Planning Area (MHPA), and is within the Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1), the Federal Aviation Administration Part 77 Noticing area, and the Accident Potential Zone-II for Marine Corps Air Station (MCAS) Miramar; and

WHEREAS, the property is legally described as Parcel 1 and 2 of Parcel Map No. 10898, in the City of San Diego, County of San Diego, State of California, filed in the Office of

the County Recorder of San Diego County, January 16, 1981 as File No. 81-015313 of Official Records; and

WHEREAS, on May 25, 2017, the Planning Commission of the City of San Diego considered Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122, and pursuant to Resolution No. PC-_____ voted to recommend approval; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122:

A. Site Development Permit - Section 126.0504

1. Findings for all Site Development Permits - Section 126.0504(a)

a. The proposed development will not adversely affect the applicable land use plan.

The project site is located at 10290 to 10300 Campus Point Drive, at the northern terminus of Campus Point Drive north of Genesee Avenue, west of Interstate 5, and east of Roselle Street. The site is within the Central Subarea of the University Community Plan (UCP), the Community Plan

Implementation Zone (CPIOZ) Type A and B, and is within the IP-1-1 (Industrial Park), RS-1-7 (Residential Single-Family), and RS-1-14 (Residential Single-Family) zones. The project entails the redevelopment of an existing 731,725-square-foot scientific research and development (R&D) facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. The project includes a Land Use Plan Amendment (LUPA) to revise the current requirement to mitigate peak hour vehicle trips to the equivalent of what would be generated by a development intensity of 18,000 square feet per net acre to 20,000 square feet per acre through implementation of a Transportation Demand Management (TDM) program to aid in the reduction of peak-hour trips, which a comprehensive TDM program is included in the project.

The project site is identified in the General Plan's Economic Prosperity Element as Prime Industrial Land on Figure EP-I. Prime industrial lands are areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, research and development uses. These areas are part of even larger areas that provide a significant benefit to the regional economy and meet General Plan goals and objectives to encourage a strong economic base. The proposed project is located within the Central Subarea of the UCP and is designated for Scientific Research use. The development would help provide additional quality job opportunities including middle-income jobs and provide secondary employment and supporting uses. Retention and growth of scientific research use in this area would also provide greater opportunities for collaboration with other scientific research uses in the immediate vicinity, in the Torrey Pines Mesa area of the community as well as with UCSD. The project will also provide amenity space to serve the tenants of the R&D campus, thereby implementing the goals and policies of the UCP to provide amenities and support services to the primary Scientific Research and other industrial uses in industrial areas. Therefore, with the adoption of the LUPA, the proposed development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project entails the redevelopment of an existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant

building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. The project includes a LUPA to revise the current requirement to mitigate peak hour vehicle trips to the equivalent of what would be generated by a development intensity of 18,000 square feet per net acre to 20,000 square feet per acre through implementation of a TDM program to aid in the reduction of peak-hour trips, which a comprehensive TDM program is included in the project. The buildings have been designed to achieve Leadership in Energy and Environmental Design (LEED) Silver, which requires several energy- and insulation-efficiency measures to be included in the design of the structures.

Supplemental Environmental Impact Report (SEIR) No. 336364 /SCH No. 2014091073 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Land Use, Transportation/Circulation, Biological Resources, Historical Resources, and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) will be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions are necessary to avoid adverse impacts to the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Site Development Permit (SDP) No. 1176281 and Neighborhood Development Permit (NDP) No. 1388122, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project entails the redevelopment of an existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant

building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. The project includes a LUPA to revise the current requirement to mitigate peak hour vehicle trips to the equivalent of what would be generated by a development intensity of 18,000 square feet per net acre to 20,000 square feet per acre through implementation of a TDM program to aid in the reduction of peak-hour trips, which a comprehensive TDM program is included in the project. The buildings have been designed to achieve LEED Silver, which requires several energy- and insulation-efficiency measures to be included in the design of the structures.

The proposed development would be located on private property and has been designed to address height, bulk and scale, materials, colors, sustainable features, and signs as required through application of CPIOZ-B. Other than the LUPA, the project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development is in conformance with the applicable regulations of the Land Development Code (LDC).

2. Supplemental Site Development Permits Findings-Environmentally Sensitive Lands- Section 126.0504(b).

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The existing scientific R&D buildings were constructed on the site in 1979, by ministerial action. In 1981, the project site was subdivided into two parcels pursuant to Parcel Map No. 10898. Parcel 1 is approximately 41.67-acres and contains an existing 463,791-square-foot building (CP1). Parcel 2 is approximately 16.52-acres and contains an existing 267,934-square-foot building (CP2). The project site contains Environmentally Sensitive Lands (ESL) in the form of sensitive biological resources and steep hillsides; however, they are outside of the previously disturbed and developed portion of the site.

The project proposes intensifying the existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park, characterized by a campus-like environment with comprehensive site design and substantial landscaping. The project would add two new buildings and an associated parking structure within previously disturbed land that is currently occupied by surface parking. The project would entail the construction of a 12- and six-story split-level multi-tenant

building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no permanent encroachment into, or impacts on, any steep slopes or other ESL located on the site. There will be a very minor temporary encroachment into steep slopes of approximately 450 square feet for erosion control purposes and the temporary encroachment area will be restored to its current condition after the work is completed.

SEIR No. 336364 /SCH No. 2014091073 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Land Use, Transportation/Circulation, Biological Resources, Historical Resources, and Paleontological Resources. A MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to ESL.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project proposes intensifying the existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park, characterized by a campus-like environment with comprehensive site design and substantial landscaping. All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no permanent encroachment into, or impacts on, any steep slopes or other ESL located on the site. There will be a very minor temporary encroachment into steep slopes of approximately 450 square feet for erosion control purposes and the temporary encroachment area will be restored to its current condition after the work is completed, which the excavation would not alter any natural landforms. There are no geologic or flood hazards on the property. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and drought-tolerant plants throughout the site.

SEIR No. 336364 /SCH No. 2014091073 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Land Use, Transportation/Circulation, Biological Resources, Historical Resources, and Paleontological Resources. A MMRP will be implemented with this project, which will reduce the potential impacts to below a level of

significance. Therefore, the proposed development has been designed to minimize the alteration of natural land forms and would not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project proposes intensifying the existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park, characterized by a campus-like environment with comprehensive site design and substantial landscaping. All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no permanent encroachment into, or impacts on, any steep slopes or other ESL located on the site. There will be a very minor temporary encroachment into steep slopes of approximately 450 square feet for erosion control purposes and the temporary encroachment area will be restored to its current condition after the work is completed.

The project has a potential for indirect impacts to the MHPA along the northern and eastern boundaries. The City's Multiple Species Conservation Program (MSCP) Subarea Plan provides Land Use Adjacency Guidelines to avoid or reduce significant indirect impacts to MHPAs from adjacent land uses. The Land Use Adjacency Guidelines include drainage, lighting, noise, barriers, and slope grading recommendations for adjacent development, as well as recommendations for avoiding or redirecting toxic chemicals (e.g., from landscape or agricultural fertilization) and prohibition of the planting of invasive species. Due to the site's location in relation to the MHPA, the project would be required to comply with the Land Use Adjacency Guidelines as discussed in SEIR No. 336364 /SCH No. 2014091073 Section 4.1.4 and is included within the MMRP. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent ESL.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The project proposes intensifying the existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park, characterized by a campus-like environment with comprehensive site design and substantial landscaping. All of the proposed development will occur within the previously disturbed and developed portion of the site and there will be no permanent encroachment into, or impacts on, any steep slopes or other ESL located on the site.

Approximately 10.08-acres of the current project site overlaps the existing MHPA. A 0.33-acre boundary line correction would be processed to remove an existing portion of a City cul-de-sac at the southern border mapped as

MHPA. Overall, the project results in a net MHPA gain of 0.77-acres and removes approximately 1.06-acres of the site that was previously graded in 1979-1982 and subsequently developed pursuant to Building Permit No. A10329. Post boundary line correction, the on-site MHPA consists of a total of 10.85-acres.

The project has a potential for indirect impacts to the MHPA along the northern and eastern boundaries. The City's MSCP Subarea Plan provides Land Use Adjacency Guidelines to avoid or reduce significant indirect impacts to MHPAs from adjacent land uses. The Land Use Adjacency Guidelines include drainage, lighting, noise, barriers, and slope grading recommendations for adjacent development, as well as recommendations for avoiding or redirecting toxic chemicals (e.g., from landscape or agricultural fertilization) and prohibition of the planting of invasive species. Due to the site's location in relation to the MHPA, the project would be required to comply with the Land Use Adjacency Guidelines as discussed in SEIR No. 336364 /SCH No. 2014091073 Section 4.1.4 and is included within the MMRP.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project site is located at 10290 to 10300 Campus Point Drive, at the northern terminus of Campus Point Drive north of Genesee Avenue, west of Interstate 5, and east of Roselle Street. The site is approximately 1.76 miles from the Pacific Ocean. The project site is a previously developed site and all of the proposed development will occur within the previously disturbed and developed portion of the site and the project has been designed to limit drainage and irrigation so as to avoid impacts to sensitive areas. Therefore, the project would not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

SEIR No. 336364 /SCH No. 2014091073 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Land Use, Transportation/Circulation, Biological Resources, Historical Resources, and Paleontological Resources. A MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance. A Housing Trust Fund (HTF) impact fee as a non-residential development is required for this project and is due at the time of building permit issuance. In addition, a Development Impact Fee (DIF) is required at building permit issuance based on increased square footage over what currently exists on the site.

B. Neighborhood Development Permit - Section 126.0404**1. Findings for all Neighborhood Development Permits- Section 126.0404(a)****a. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 10290 to 10300 Campus Point Drive, at the northern terminus of Campus Point Drive north of Genesee Avenue, west of Interstate 5, and east of Roselle Street. The site is within the Central Subarea of the UCP, the CPIOZ Type A and B, and is within the IP-1-1, RS-1-7, and RS-1-14 zones. The project entails the redevelopment of an existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. The project includes a LUPA to revise the current requirement to mitigate peak hour vehicle trips to the equivalent of what would be generated by a development intensity of 18,000 square feet per net acre to 20,000 square feet per acre through implementation of a TDM program to aid in the reduction of peak-hour trips, which a comprehensive TDM program is included in the project.

The project site is identified in the General Plan's Economic Prosperity Element as Prime Industrial Land on Figure EP-I. Prime industrial lands are areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, research and development uses. These areas are part of even larger areas that provide a significant benefit to the regional economy and meet General Plan goals and objectives to encourage a strong economic base. The proposed project is located within the Central Subarea of the UCP and is designated for Scientific Research use. The development would help provide additional quality job opportunities including middle-income jobs and provide secondary employment and supporting uses. Retention and growth of scientific research use in this area would also provide greater opportunities for collaboration with other scientific research uses in the immediate vicinity, in the Torrey Pines Mesa area of the community as well as with UCSD. The project will also provide amenity space to serve the tenants of the R&D campus, thereby implementing the goals and policies of the UCP to provide amenities and support services to the primary Scientific Research and other industrial uses in industrial areas. Therefore, with the adoption of the LUPA, the proposed development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project entails the redevelopment of an existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. The project includes a LUPA to revise the current requirement to mitigate peak hour vehicle trips to the equivalent of what would be generated by a development intensity of 18,000 square feet per net acre to 20,000 square feet per acre through implementation of a TDM program to aid in the reduction of peak-hour trips, which a comprehensive TDM program is included in the project. The buildings have been designed to achieve LEED Silver, which requires several energy- and insulation-efficiency measures to be included in the design of the structures.

SEIR No. 336364 /SCH No. 2014091073 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Land Use, Transportation/Circulation, Biological Resources, Historical Resources, and Paleontological Resources. A MMRP will be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions are necessary to avoid adverse impacts to the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in SDP No. 1176281 and NDP No. 1388122, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project entails the redevelopment of an existing 731,725-square-foot scientific R&D facility by 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant building (CP3), a two-story building housing a micro-brewery with accessory dining space and shared tenant amenity spaces (CP4), and a nine-level (six levels above ground, three below ground) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site. The project includes a LUPA to revise the current requirement to mitigate peak hour vehicle trips to the equivalent of what would be generated by a development intensity of 18,000 square feet per net acre to 20,000 square feet per acre through implementation of a TDM program to aid in the reduction of peak-hour trips, which a comprehensive TDM program is included in the project. The buildings have been designed to achieve LEED Silver, which requires several energy- and insulation-efficiency measures to be included in the design of the structures.

The proposed development would be located on private property and has been designed to address height, bulk and scale, materials, colors, sustainable features and signs as required through application of CPIOZ-B. Other than the LUPA, the project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development is in conformance with the applicable regulations of the LDC.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122 are granted to ARE-SD REGION 28, LLC, a Delaware Limited Liability Company, Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF SAN DIEGO OF THE CITY OF
SAN DIEGO, CALIFORNIA, ON _____.

APPROVED: MARA W. ELLIOTT, CITY ATTORNEY

By _____

NAME

Deputy City Attorney

ATTY/SEC. INITIALS

DATE

R- INSERT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24004025

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1176281
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1388122
CAMPUS POINT MASTER PLAN - PROJECT NO. 336364 [MMRP]
CITY COUNCIL

This Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122 are granted by the City Council of the City of San Diego to ARE-SD REGION 28, LLC, a Delaware Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0404 and 126.0504. The 58.19-acre site is located at 10290 to 10300 Campus Point Drive, at the northern terminus of Campus Point Drive north of Genesee Avenue, east of Interstate 5, and west of Roselle Street. The site is within the Central Subarea of the University Community Plan, the Community Plan Implementation Zone (CPIOZ) Type A and B, and is within the IP-1-1, RS-1-7, and RS-1-14 zones and is identified as Prime Industrial Lands in the Economic Prosperity Element (Figure EP-1) of the General Plan. In addition, the property is located within the City's Parking Impact Overlay Zone (Coastal and Campus Impact Areas), the Multiple Habitat Planning Area (MHPA), and is within the Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1), the Federal Aviation Administration Part 77 Noticing area, and the Accident Potential Zone-II for Marine Corps Air Station (MCAS) Miramar. The project site is legally described as Parcel 1 and 2 of Parcel Map No. 10898, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, January 16, 1981 as File No. 81-015313 of Official Records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the redevelopment of an existing scientific research and development property with additional buildings and accessory uses, and a Multiple Habitat Planning Area boundary line correction; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated _____, on file in the Development Services Department.

The project shall include:

- a. Redevelopment of an existing 731,725-square-foot scientific research and development facility by the addition of 328,383 square feet; thereby creating a 1,060,108-square-foot science and business park. The existing 463,791-square-foot building (CP1) and 267,934-square-foot building (CP2) shall remain. The project includes the construction of a 12- and six-story split-level multi-tenant building (CP3), a two-story building housing a micro-

brewery with accessory dining space and shared tenant amenity spaces(CP4), and a nine-level (including three subterranean levels) parking structure to accommodate 1,440 parking stalls within the 58.19-acre project site;

- b. Multiple Habitat Planning Area Boundary Line Correction;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A Leadership in Energy and Environmental Design (LEED) Silver certification, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the USFWS pursuant to Sec. 10(a) of the ESA and by the CDFG pursuant to Fish & Game Code sec. 2835 as part of the Multiple Species Conservation Program (MSCP), the City of San Diego through the issuance of this Permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement (IA), executed on July 17, 1997 and on File in the Office of the City Clerk as Document No. 00-18394. Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS or CDFG, except in the limited circumstances described in Section 9.6 and 9.7 of the IA. For lands identified as mitigation but not yet dedicated, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the

discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

14. The mitigation measures specified in the MMRP and outlined in Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the MMRP as specified in Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Land Use
- Transportation/Circulation
- Biological Resources
- Historical Resources
- Paleontological Resources

AIRPORT REQUIREMENTS:

16. Prior to the issuance of any building permits, the Owner/Permittee shall record an occupancy deed restriction to 50 people per acre pursuant to the Marine Corps Air Station (MCAS) Miramar Airport Land Use Compatibility Plan (ALUCP).

GEOLOGY REQUIREMENTS:

17. Pursuant to San Diego Municipal Code 145.1803(a)(3), the Owner/ Permittee must submit a "Notice of Geologic and Geotechnical Conditions" prior to the issuance of any construction permits for grading or building, addressing the potentially active fault transecting the site. [The Owner/ Permittee shall contact the Geology Section for a draft of the Notice.]

ENGINEERING REQUIREMENTS:

18. The project proposes to export 10,700 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

19. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

23. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

24. Prior to issuance any construction permit, including for grading, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. If ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be

submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009DWQ and a copy shall be submitted to the City.

25. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

27. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).

28. If the Owner/Permittee requests a foundation only permit, it shall not be granted until a site plan or staking layout plan is submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans consistent with the Landscape Standards unless the Owner/Permittee demonstrates that long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other entity approved by the Development Services Department.

30. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or issuance of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

32. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" Brush Management Plan on file in the Office of the Development Services Department.
33. The Brush Management Program shall be based on a standard Zone One of 35 feet in width with Zone Two of 65 feet in width, extending out from the structure towards the native/naturalized vegetation, consistent with the Brush Management Regulations of the SDMC Section 142.0412 exercising zone reduction provisions under 142.0412(f) and (i). Where the full defensible space cannot be provided, alternative compliance measures shall be applied to harden the structure beyond CBC 7A requirements to include upgraded openings with dual-glazed, dual-tempered panes.
34. Prior to issuance of any construction permit for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."
35. Prior to issuance of any building permits, a complete set of Brush Management Plans shall be submitted for approval to the Development Services Department. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Landscape Standards and Brush Management Regulations as set forth under SDMC Section 142.0412.
36. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted; while accessory structures of non-combustible, one-hour fire-rated, and/or heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
37. The following note shall be provided on the Brush Management Construction Documents: 'It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program.'
38. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

MULTIPLE SPECIES CONSERVATION PROGRAM:

39. Prior to the recordation of the first final map and/or issuance of any construction permit for grading, the Owner/Permittee shall convey the on-site MHPA to the City's MSCP preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Conveyance of any land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. To facilitate MHPA conveyance, any non-fee areas shall have covenants of easement for MHPA lands placed over them if located in the MHPA, and be maintained in perpetuity by the owner/Permittee/Applicant unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

PLANNING/DESIGN REQUIREMENTS:

40. Prior to issuance of any building permits, the construction documents shall note all criteria included in the design and construction of the commercial project to meet a Leadership in Energy and Environmental Design (LEED) Silver Certification.
41. A topographical survey conforming to the provisions of the SDMC may be required if it is determined by the Development Services Department, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
42. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement that ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources and Steep Hillides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."
43. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or shall comply with the City-wide sign regulations.
44. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

LONG RANGE PLANNING/DESIGN REQUIREMENTS:

45. Accessory commercial uses up to 10-percent of the gross floor area are allowed per the University Community Plan (UCP). Of the 1,060,108 square feet proposed, 106,011 square feet may be accessory uses which are clearly accessory to the primary use(s) on the project site. Accessory commercial uses provide services that building users would normally drive to which include: restaurant/deli, conference rooms, express mail/copy center, and/or athletic club.
46. Accessory uses shall only be located within the principal building(s) of the project and/or within building CP4 as shown on Exhibit "A." Signs shall be minimal and directed toward users on the premises. Any street-oriented signs shall be for directional purposes only. Advertising for the support commercial services shall be limited to the industrial tenants only.

TRANSPORTATION REQUIREMENTS

47. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
48. The Owner/Permittee shall monitor the Transportation Demand Management (TDM) Plan annually for a period of five years to verify the TDM Plan achieves target trip reductions to 1,031 AM

peak hour trips and 902 PM peak hour trips, to be submitted to the City to the satisfaction of the City Engineer.

49. Prior to issuance of the building permit for the proposed CP3 building, the Owner/Permittee shall assure by permit and bond the construction of a traffic signal and associated improvements at the intersection of Campus Point Drive at Campus Point Court, satisfactory to the City Engineer. This traffic signal shall be completed and accepted by the City Engineer prior to the issuance of occupancy for the CP3 building.

50. Prior to issuance of occupancy for the proposed CP3 building, the Owner/Permittee shall widen and restripe Campus Point Drive from Genesee Avenue to Campus Point Court to a four-lane Collector with Class II bike lanes to the satisfaction of the City Engineer.

51. Prior to issuance of occupancy for the proposed CP3 building, the Owner/Permittee shall implement the Transportation Demand Management (TDM) Plan as outlined in the Transportation Impact Analysis, dated September 21, 2016, to the satisfaction of the City Engineer.

52. Prior to issuance of any building permits, the Owner/Permittee shall remove the marked crosswalk within the public right-of-way at the terminus of the Campus Point Drive cul-de-sac, remove associated signage to the crosswalk, and restore the pavement to the satisfaction of the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

53. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a plumbing permit for the installation of appropriate private back flow prevention device(s)[BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

54. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

55. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

56. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

57. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

58. All sewer facilities are to be in accordance with the approved Sewer Study.

59. Prior to issuance of any building permits, the Owner/Permittee shall obtain an Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, medians, enriched paving, curb, gutter and sidewalk, and electrical conduits to be installed within the public water easement.

60. The existing 12-inch water mains within the public water easement shall be protected with enriched paving in all areas where raised medians are proposed.

61. At the time of building permit review, the Owner/Permittee shall provide the numbers of the water meter abandoned in the water easement that will be relocated in order to receive capacity credit.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on _____ and Resolution No. _____.

Permit & Approval No.: SDP No. 1176281/ NDP No. 1388122

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
Section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**ARE-SD Region No. 28, LLC,
a Delaware limited liability company**

**By: Alexandria Real Estate Equities, L.P.,
a Delaware limited partnership,
Managing Member**

**By: ARE-QRS CORP., a Maryland corporation,
General Partner**

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
Section 1189 et seq.**

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

**A RESOLUTION APPROVING AN AMENDMENT TO THE UNIVERSITY
COMMUNITY PLAN AND TO AMEND THE GENERAL PLAN.**

WHEREAS, on _____, the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the General Plan and the University Community Plan (Community Plan) adopted on July 7, 1987, Resolution No. R-268789, and including its subsequent amendments, to allow an increase in development intensity of Scientific Research on a 58.19-acre site located at 10290 and 10300 Campus Point Drive. The site is legally described as Parcel 1 and 2 of Parcel Map No. 10898, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, January 16, 1981 as File No. 81-015313 of Official Records; and

WHEREAS, the 2008 General Plan will be amended due to the Community Plan being part of the Land Use Element of the adopted General Plan; and

WHEREAS, the Planning Commission found, based on its hearing record, that this amendment retains internal consistency with the Community Plan and the 2008 General Plan and that the proposed amendment helps achieve long-term community and citywide goals; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the City Council has considered the Planning Commission record and recommendation as well as all maps, exhibits, and written documents contained in the file for this amendment on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the amendment of the General Plan and the Community Plan, with a copy of said amendment being on file in the office of the City Clerk as Document No. RR-_____.

APPROVED: MARA W. ELLIOTT, CITY ATTORNEY

By _____

Deputy City Attorney

MJL:pev

INSERT Date

Or.Dept:DSD

R-2016- INSERT

Form=r-t.frm(61203wct)

TABLE 3
LAND USE AND DEVELOPMENT INTENSITY

Any changes to this table for properties in the Coastal Zone
shall require an amendment to the Local Coastal Program

Subarea/Name	Gross Acres	Land Use and Development Intensity
1. Salk Institute	26.88	500,000 SF - Scientific Research
2. UCSD	915.00	UCSD Long Range Development Plan (110,000 ADT)
3. VA Hospital	29.95	725 Beds
4. Scripps Memorial Hospital Medical Offices	41.38	682 Beds 31,500 SF - Scientific Research 793,580 SF - Medical Office
5. Scripps Clinic	25.17	320 Beds 567,000 SF - Scientific Research 404,000 SF - Medical Office 52,000 SF - Aerobics Center
6. Torrey Pines Golf Course/ City Park/State Reserve	728.05 ⁽¹⁾	
7. Sheraton Hotel Lodge at Torrey Pines	11.38 6.00 ⁽¹⁾	400 Rooms - Hotel 175 Rooms - Hotel
8. Torrey Pines State Reserve	233.92	
9. Chevron	303.60	20,000 SF/AC - Scientific Research ⁽²⁾
Scallop Nuclear (Gentry)	56.41	Existing or approved development,
Torrey Pines Science Park	145.74	Exceptions: Spin Physics - 550,000 SF
Signal/Hutton	25.79	Lot 10B (2.7 AC) - 15,500 SF/AC
Torrey Pines Business and Research Park	15.89	23,000 SF/AC ⁽²⁾ Scientific Research
La Jolla Cancer Research	4.87	Open Space
State Park	14.25	
10. Campus Point	158.78	Existing or approved development, Exceptions: IVAC Alexandria (10290-10300 <u>Campus Point Drive</u> and SAIC – 30,000 SF/AC ⁽³⁾ and Lot 7 (3.6 AC) -18,000 SF/AC - Scientific Research 25.00 Open Space
11. Private Ownership	55.93	18,000 SF/AC - Scientific Research ⁽⁴⁾
City Ownership	47.48	(Development intensity transferred from Subarea 37 for all of Subarea 11)
12. Eastgate Technology Park (PID) ^(4a)	218.50	2,356,990 SF - Scientific Research

(1) A minimum of 187 public parking spaces is to be retained on public land for golf course uses; in addition, at the adjacent Lodge at Torrey Pines, there are 40 parking spaces reserved daily for golfers and 94 parking spaces reserved during tournaments.

(2) Chevron, Scallop Nuclear, and La Jolla Cancer Research Foundation shall be required to mitigate their peak-hour trip generation rate to a level equal to or less than that which would be generated by a project of 18,000 SF/AC. Mitigation shall be achieved through a Transportation System Management (TSM) program to be approved by the City Council and the California Coastal Commission as a Local Coastal Program amendment. The proposed TSM program must specify the maximum development intensity of the project site and include supported findings. This Plan encourages the development of these parcels through a master plan.

(3) SAIC and ~~IVAC~~ shall be required to mitigate ~~its~~their peak-hour trip generation rate to a level equal to or less than that which would be generated by a project of 18,000 SF/AC. Alexandria shall be required to mitigate its peak-hour trip generation rate to a level equal to or less than that which would be generated by a project of 20,000 SF/AC. Mitigation shall be achieved through a Transportation System management (TSM) program to be approved by the City Council.

(4) This Plan encourages the development of this subarea through a master plan

(4a) ADT's from Irvine Company owned parcels 343-122-40-43, 45-52, & 60-64 Subarea 12 (PID) 90-0892) have been shifted to La Jolla Centre III Subarea 29 APN 345-012-10.

PLANNING COMMISSION RESOLUTION NO. 4881-PC

INITIATING AN AMENDMENT TO THE
UNIVERSITY COMMUNITY PLAN

WHEREAS, on March 14, 2013 the Planning Commission of the City of San Diego held a public hearing for the purpose of considering a request to initiate an amendment to the University Community Plan; and

WHEREAS, the proposed amendment would increase the allowable development intensity of Scientific Research land use on a 41.67 acre site located at 10300 Campus Point Drive; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, and written documents presented for this project; NOW, THEREFORE:

BE IT RESOLVED by the Planning Commission of the City of San Diego, that the initiation of a plan amendment in no way confers adoption of a plan amendment, that neither staff nor the Planning Commission is committed to recommend in favor or denial of the proposed amendment, and the City Council is not committed to adopt or deny the proposed amendment; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Diego determines that the proposed plan amendment meets the three criteria for initiation as described in section LU-D.10 of the Land Use Element of the General Plan:

- a) **The amendment request appears to be consistent with the goals and policies of the General Plan and community plan and any community plan specific amendment criteria**
- b) **The proposed amendment provides additional public benefit to the community as compared to the existing land use designation, density/intensity range, plan policy or site design**
- c) **Public facilities appear to be available to serve the proposed increase in density/intensity, or their provision will be addressed as a component of the amendment process**

The following land use issues have been identified with the initiation request. These plan amendment issues, as well as others that have been and/or may be identified, will be analyzed and evaluated through the community plan amendment review process:

- Evaluate consistency with the Miramar Airport Land Use Compatibility Plan
- Evaluate traffic generation and circulation including the feasibility for an additional outlet to accommodate the increased intensity

- Evaluate the accessibility of transit and ability to partner with SANDAG for the creation of an employee shuttle for industrial users in the area or improvements to transit facilities
- Evaluate the potential to utilize unused development intensity from other locations within the community
- Evaluate the ability to allow increased intensity for Scientific Research use for the entire subarea, including all properties subject to the requirement to mitigate peak hour traffic generation down to a project equal to or below 18,000 square feet per acre of Scientific Research use
- Ensure parking ratios are commensurate with Scientific Research use
- Implementation of a TSM Program
- Evaluate the ability of the project to incorporate of sustainable design features



Dan Monroe
Senior Planner
Planning Division - Development Services Department

Approved on March 14, 2013
Vote: 5-0-1

PTS No. 309944

cc. Legislative Recorder, Development Services Department

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION CERTIFYING SUPPLEMENTAL ENVIRONMENTAL IMPACT
REPORT NO. 336364/SCH NO. 2014091073 TO ENVIRONMENTAL IMPACT
REPORT NO. 91-0360/SCH NO. 92121002, ADOPTING THE FINDINGS,
STATEMENT OF OVERRIDING CONSIDERATIONS, AND ADOPTING THE
MITIGATION, MONITORING, AND REPORTING PROGRAM; CAMPUS POINT
MASTER PLAN - PROJECT NO. 336364

WHEREAS, on September 17, 2013, ARE-SD REGION 28, LLC, a Delaware Limited Liability
Company, submitted an application to Development Services Department for Amendment to the
University Community Plan, Site Development Permit, and Neighborhood Development Permit, for
the Campus Point Master Plan (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Council of the City
of San Diego; and

WHEREAS, the issue was heard by the City Council on _____ and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor
because this matter requires the City Council to act as a quasi-judicial body, a public hearing is
required by law implicating due process rights of individuals affected by the decision, and the City
Council is required by law to consider evidence at the hearing and to make legal findings based on
the evidence presented; and

WHEREAS, the City Council considered the issues discussed in Supplemental Environmental
Impact Report No. 336364 /SCH No. 2014091073 (Report) to Environmental Impact Report No. 91-
0360/SCH No. 92121002, prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council that it is certified that the Report has been completed in
compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code
Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of

Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the City Council in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081 and State CEQA Guidelines Section 15091, the City Council hereby adopts the Findings made with respect to the Project, and that pursuant to State CEQA Guidelines Section 15093, the City Council hereby adopts the Statement of Overriding Considerations with respect to the Project, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit B.

BE IT FURTHER RESOLVED, that the Report and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: MARA W. ELLIOTT, CITY ATTORNEY

By: _____
DEPUTY CITY ATTORNEY

ATTACHMENT(S): Exhibit A, Findings/Statement of Overriding Considerations
 Exhibit B, Mitigation Monitoring and Reporting Program

EXHIBIT A

FINDINGS/STATEMENT OF OVERRIDING CONSIDERATIONS

[To be provided to the Planning Commission at distribution.]

EXHIBIT B**MITIGATION MONITORING AND REPORTING PROGRAM**

SITE DEVELOPMENT PERMIT NO. 1176281
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1388122
 CAMPUS POINT MASTER PLAN - PROJECT NO. 336364

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073 shall be made conditions of Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122 as may be further described below.

General Requirements

The following general requirements would be a part of the proposed project MMRP:

A. GENERAL REQUIREMENTS – PART I**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Service Department (DSD) Director's Environmental Designee shall review and approve all construction drawings (CDs) (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the Environmental Designee shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary,

overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT:** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MMC. Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: archaeologist, paleontologist, and biologist

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) #336364, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.
- Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**
3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency.

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17-inch reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Land Use	Land Use Adjacency Issues	Land Use Adjacency Issue Site Observations
Traffic	Verification of Traffic Mitigation	Prior to Issuance of Grading or Building Permits for Each Phase
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Biology Monitoring Reports	Biology/Habitat Inspection
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Paleontology	Paleontology Reports	Paleontology Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

Specific MMRP Issue Area Conditions/Requirements

LAND USE

LU-1: Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify the Applicant has accurately represented the project's design in or on the Construction Documents (CDs/CDs consist of Construction Plan Sets for Private Projects and Contract Specifications for Public Projects) are in conformance with the associated discretionary permit conditions and Exhibit "A", and also the City's Multiple-Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines. The applicant shall provide an implementing plan and include references on/in CDs of the following:

- A. **Grading/Land Development/MHPA Boundaries** - MHPA boundaries on-site and adjacent properties shall be delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the development footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.

- B. **Drainage** - All new and proposed parking lots and developed areas in and adjacent to the MHPA shall be designed so they do not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
- C. **Toxics/Project Staging Areas/Equipment Storage** - Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactful to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Where applicable, this requirement shall be incorporated into leases on publicly-owned property when applications for renewal occur. Provide a note in/on the CDs that states: *"All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."*
- D. **Lighting** - Lighting within or adjacent to the MHPA shall be directed away/shielded from the MHPA and be subject to City Outdoor Lighting Regulations per LDC Section 142.0740.
- E. **Barriers** - New development within or adjacent to the MHPA shall be required to provide barriers (e.g., non-invasive vegetation; rocks/boulders; 6-foot *high*, vinyl-coated chain link or equivalent fences/walls; and/or signage) along the MHPA boundaries to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- F. **Invasives** - No invasive non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- G. **Brush Management** - New development adjacent to the MHPA shall be set back from the MHPA to provide required Brush Management Zone 1 area on the building pad outside of the MHPA. Zone 2 may be located within the MHPA provided the Zone 2 management will be the responsibility of an HOA or other private entity except where narrow wildlife corridors require it to be located outside of the MHPA. Brush management zones will not be greater in size than currently required by the City's regulations, the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done and vegetation clearing shall be prohibited within native coastal sage scrub and chaparral habitats from March 1-August 15 except where the City ADD/MMC has documented the thinning would be consistent with the City's MSCP Subarea Plan. Existing and approved projects are subject to current requirements of Municipal Code Section 142.0412.
- H. **Noise** - Due to the site's location adjacent to or within the MHPA where the Qualified Biologist has identified potential nesting habitat for listed avian species, construction noise that exceeds the maximum levels allowed shall be avoided during the breeding seasons for the following: California Gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the

species, U.S. Fish and Wildlife Service protocol surveys shall be required in order to determine species presence/absence. If protocol surveys are not conducted in suitable habitat during the breeding season for the aforementioned listed species, presence shall be assumed with implementation of noise attenuation and biological monitoring.

When applicable (i.e., habitat is occupied or if presence of the covered species is assumed), adequate noise reduction measures shall be incorporated as follows:

COASTAL CALIFORNIA GNATCATCHER (Federally Threatened)

Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the MHPA boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between March 1 and August 15, the breeding season of the coastal California gnatcatcher, until the following requirements have been met to the satisfaction of the City Manager:

- A. A qualified biologist (possessing a valid Endangered Species Act Section 10(a)(1)(a) Recovery Permit) shall survey those habitat areas within the MHPA that would be subject to construction noise levels exceeding 60 decibels [dB(A)] hourly average for the presence of the coastal California gnatcatcher. Surveys for the coastal California gnatcatcher shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the breeding season prior to the commencement of any construction. If gnatcatchers are present, then the following conditions must be met:
 - i. Between March 1 and August 15, no clearing, grubbing, or grading of occupied gnatcatcher habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - ii. Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied gnatcatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the City Manager at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or
 - iii. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the coastal California gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the

associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (August 16).

*Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

- B. If coastal California gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the City Manager and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1 and August 15 as follows:
 - i. If this evidence indicates the potential is high for coastal California gnatcatcher to be present based on historical records or site conditions, then condition A.iii shall be adhered to as specified above.
 - ii. If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

TRANSPORTATION/CIRCULATION

TR-2: The applicant shall provide a 19.41 percent fair-share towards the removal of parking on the east side of Campus Point Drive and restriping to include an additional northbound lane.

TR-5: Prior to the issuance of the first building permit for the applicant shall assure by permit and bond the signalization of the Campus Point Drive/Campus Point Court intersection, to the satisfaction of the City Engineer. Installation of the signal and associated improvements shall be completed and accepted by the City Engineer prior to issuance of the first occupancy permit.

BIOLOGICAL RESOURCES

Nesting Birds/Raptors

BIO-1: Due to the moderate to high potential of Cooper's hawk occurrences, in the event construction occurs in or near the MHPA within the breeding season (February 1 to September 15), an avoidance area of 300 feet from any Cooper's hawk nest that occurs within the MHPA shall be required. Additionally, BIO-2 shall be implemented.

Biological Resource Protection During Construction

BIO-2:

I. Prior to Construction

- A. **Biologist Verification** -The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to

implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.

- B. Preconstruction Meeting** - The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. Biological Documents** - The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. BCME** - The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. Avian Protection Requirements** - To avoid any direct impacts to raptors and/or candidate, sensitive, or special status species in the MSCP, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.
- F. Resource Delineation** - Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.

- G. Education** - Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. Monitoring** - All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. Subsequent Resource Identification** - The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc.). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A.** In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

HISTORICAL RESOURCES (ARCHAEOLOGY)

HIST-1:

I. Prior to Permit Issuance

- A. Entitlements Plan Check**
1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.
- B. Letters of Qualification have been submitted to ADD**
1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed

the 40-hour HAZWOPER training with certification documentation.

2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
 1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.

- b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
 - 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
 - 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
 - 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
 - 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
 - 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
 - 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 - 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 - 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 - 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 - 5. Disposition of Native American Human Remains will be determined between the

MLD and the PI, and, if:

- a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
- 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the

procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
 - 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 - 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 - 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification

1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL RESOURCES

PALEO-1

I. Prior to Permit Issuance

- A. Entitlements Plan Check
1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter

from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.

2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.

3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
 1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVR and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.

2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

PLANNING COMMISSION RESOLUTION NO. _____-PC

A RESOLUTION RECOMMENDING THAT THE THE CITY COUNCIL CERTIFY
 SUPPLEMENTAL ENVIRONMENTAL IMPACT REPORT NO. 336364 /SCH NO. 2014091073,
 ADOPT THE FINDINGS AND STATEMENT OF OVERRIDING CONSIDERATIONS, ADOPT
 THE MITIGATION, MONITORING, AND REPORTING PROGRAM, AND ADOPT THE
 AMENDMENT TO THE UNIVERSITY COMMUNITY PLAN NO. 1450819, AND APPROVE
 SITE DEVELOPMENT PERMIT NO. 1176281 AND NEIGHBORHOOD DEVELOPMENT
 PERMIT NO. 1388122; CAMPUS POINT MASTER PLAN - PROJECT NO. 336364 [MMRP]

WHEREAS, ARE-SD REGION 28, LLC, a Delaware Limited Liability Company, Owner/Permittee, filed an application for the redevelopment of the existing scientific research and development property with additional buildings and accessory uses on a 58.19-acre site located at 10290 to 10300 Campus Point Drive in the University Community Plan area; and

WHEREAS, on _____, 2017, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of the City of San Diego certification of Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, adoption of the Findings and Statement of Overriding Considerations, adoption the Mitigation, Monitoring, and Reporting Program, adoption of the Amendment to the University Community Plan No. 1450819, and approval of Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122; and

WHEREAS, the Planning Commission of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby recommends that the Council of the City of San Diego CERTIFY Supplemental Environmental Impact Report No. 336364 /SCH No. 2014091073, ADOPT the Findings and Statement of Overriding Considerations, ADOPT the Mitigation, Monitoring, and Reporting Program, ADOPT the Amendment to the University Community Plan No. 1450819, and APPROVE Site Development Permit No. 1176281 and Neighborhood Development Permit No. 1388122.

 Jeffrey A. Peterson
 Development Project Manager
 Development Services Department

Dated: _____, 2017

By a vote of: ____:____:____

Internal Order Number: 24004025

Peterson, Jeff

From: Kris Kopensky
Sent: Thursday, April 13, 2017 5:49 PM
To: Monroe, Daniel
Cc: Janay Kruger; Peterson, Jeff
Subject: Re: Campus Pointe subcommittee list of conditions and recommendations

Here is the motion and vote:

Motion: To approve the Campus Pointe project , including the proposed Community Plan Amendment with the following conditions:

1. That the City of San Diego commit to preserve and dedicate as permanent Open Space the 42 acres of city-owned lands located at the north end of Campus Ponte Drive (comprised of APNs 340-030-40; 340-080-55; 340-080-62) and adjacent to the Campus Pointe project site, and that ARE commit to support and advocate for this objective with the City through its final achievement
2. That, as a community benefit, ARE deposit \$3.5M in an escrow account controlled by the UCPG or the City of San Diego for the following purposes: acquisitions, restoration, and/or dedication of Open Space parkland in the UC Planning area. Up to \$500K may be used for improvement of population-based/developed parkis in the UC Planning area
3. That ARE maintain permanent public access to the adjacent 42 acre city-owned open space parcels and include not less than 12 free public parking spaces (and bicycle parking area) adjacent to these parcels
4. That ARE register a permanent no building restriction or easement covering that full portion of the Campus Pointe Drive property north of CP1 and adjacent to the neighboring 42 acre open space parcel
5. That ARE reduce height of the proposed new building CP3 to a 10 story/5 story height configuration
6. That ARE monitor their TDM for 10 years

In addition to this motion a strong recommendation of the following

1. That parking be reduced from the proposed 2.74/1,000 sqft to 2.5/1,000 sqft or lower. Given the project's requirement to significantly reduce traffic trips via TDM program, parking should not be needed, and therefore be reduced
2. TDM Program:
 - That monitoring of the TDM program's effectiveness, including traffic counts, be permanent rather than ending after five years of occupancy
 - That the monitoring of reports be made public
 - That additional measures be added annually until the goal is met
 - That the TDM program, including permanent monitoring, be a condition for future owners of the project site or any portion of the site
3. That the plant palette be revised to
 - Substitute native plant species for as many of the proposed non-native plant species as feasible
 - Delete Liquidamber, Pittosporum, Acacia, and Mexican Feather Grass, and any other species deemed of concern for invasion of native habitats by the California Exotic Pest Plant Council, California Native Plant Society, City of San Diego, County of San Diego, or knowledgeable biologist
4. We encourage Alexandria's to seek additional ways to incorporate into all their Campus Point buildings strategies outlined in the Bird-Friendly Design Guide by the American Bird Conservancy
5. Alexandria update the final SEIR to include underline and strikeout changes reflecting the permit conditions agreed to in the comments section of SEIR. These should include commitments to strengthening the TDM plan, rideshare options, and paying full cost of the re-striping and removal of

ATTACHMENT 17

parking on the east side of Campus Pointe Drive, including an additional northbound lane and the preservation of bicycle lanes the whole length of Campus Pointe Drive

6. That the final configuration of Campus Pointe Drive after re-striping and the addition of a new northbound lane must include dedicated bicycle lanes running the length of Campus Pointe Drive
Motion to approve subcommittee motion by IK and seconded by AB

Vote: (after additional conversation below) 11 for and 2 against and 2 abstentions, 1 recusal

Kristopher Kopensky, CPM



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☒ Land Use Plan Amendment • ☐ Other _____

Project Title

Campus Point Master Plan

Project No. For City Use Only

336364

Project Address:

10300 Campus Point Drive, San Diego, CA 92122

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title:

Project No. (For City Use Only)

336364

Part II - To be completed when property is held by a corporation or partnership**Legal Status (please check):**

☐ Corporation ☒ Limited Liability -or- ☐ General) What State? DE Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☒ No

Corporate/Partnership Name (type or print):
 Alexandria Real Estate Equities, Inc.

☒ Owner ☐ Tenant/Lessee

Street Address:
 4660 La Jolla Village Drive, Suite 725
 City/State/Zip:
 San Diego, CA, 92122

Phone No: (858) 530-8190 Fax No: (858) 430-5831

Name of Corporate Officer/Partner (type or print):
 Rodney Hunt

Title (type or print):
 Vice President, Project Management

Signature : _____ Date: 01/12/10

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

SUPPLEMENT TO OWNERSHIP DISCLOSURE FORM FOR PROJECT NO. 336364

ARE-SD REGION 28, LLC, a Delaware Limited Liability Company

Managing (and Sole) Member: Alexandria Real Estate Equities, L.P., a Delaware limited partnership

Alexandria Real Estate Equities, LP, a Delaware limited partnership

General Partner: ARE-QRS CORP., a Maryland corporation

ARE-QRS CORP. a Maryland corporation

Joel S. Marcus, CEO and Founder
Dean A. Shigenaga, Executive V P, CFO and Treasurer
Jennifer J. Banks, General Counsel and Corporate Secretary
Gary Dean, Senior VP
Daniel J. Ryan, Executive VP, Regional Marketing Director
Bret E. Gossett, Senior VP
Vincent R. Ciruzzi, Senior VP
Stephen Pomerence, VP

These individuals are a subset of ARE-QRS Corp officers and oversee and are responsible for the San Diego region

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10995 Toneyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10995 Toneyana Road Suite 250
San Diego, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Project Team

OWNER
ALEXANDRIA Real Estate Equities, Inc.
4600 La Jolla Village Drive, Suite 725
San Diego, CA 92122
Tel: (619) 555-4158
Fax: (619) 555-5531
Contact:
Cait
Email:

ARCHITECT
GENSLER
225 Broadway Suite 1600
San Diego, CA 92101
Tel: (619) 557-2500
Fax: (619) 557-2520
Contact: Steven Schrader
Email: Steven_Schrader@gensler.com

CIVIL ENGINEER
Michael Baker International
9755 Clearmont Mesa Boulevard, Suite 100
San Diego, CA 92124
Tel: (619) 810-1445
Fax: (619) 557-2520
Contact:
Email:

LANDSCAPE ARCHITECT
Lauras de Gertler Landscape Architects
2736 Shelter Island Drive
San Diego, CA 92106
Tel: (619) 822-2100
Contact: Rocio Lauras de Gertler
Email: rgartler@ldg-land.com

SOILS ENGINEER
GEOCON Incorporated
6960 Flanders Drive
San Diego, CA 92121
Tel: (619) 555-4920
Fax: (619) 555-6159
Contact: Rodney Mikasell
Email: rmikasell@gcoconinc.com

TRAFFIC ENGINEER
URBAN SYSTEMS ASSOCIATES
4540 Kearney Villa Road, Suite 108
San Diego, CA 92123
Tel: (619) 560-4911
Fax: (619) 560-4734
Contact: Sam Kab
Email: sam@urbansystems.net

OWNER'S ATTORNEY
Hecht Solberg Robinson Goldberg and Bagley
LLP 2099
600 West Broadway, 9th Floor
San Diego, CA 92101
Tel: (619) 238-5444
Fax: (619) 232-9828
Contact: Neil Hyfinen
Cait: (619) 685-4130
Email: nhyfinen@hechtsolberg.com

ENVIRONMENTAL CONSULTANT
RECON
1927 9th Avenue
San Diego, CA 92101
Tel: (619) 308-9533
Fax: (619) 308-9334
Contact: Bobbi Hardes
Email: bhardes@reconenvironmental.com
Contact: Lense Unverzagt
Email: lenseu@reconenvironmental.com

Vicinity Map



SHEET LIST

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
A1.00	TITLE PAGE	A2.05A	PARKING STRUCTURE FLOOR PLANS
A1.01A	PROPOSED SITE PLAN	A2.05B	PARKING STRUCTURE ELEVATIONS
A1.01B	EXISTING SITE PLAN	A2.05C	PARKING STRUCTURE SECTIONS
A1.01C	SITE ACCESSIBILITY PLAN	A4.01	SITE SECTIONS
A1.01F	SITE FIRE ACCESS PLAN	A4.02	DESIGN GUIDELINES
A1.01G	PARKING COUNT (SITE)		SOCCER FIELD LIGHTING AND DATA
A2.01A	BUILDING CP1 FLOOR PLANS		
A2.01B	BUILDING CP1 ELEVATIONS		
A2.02A	BUILDING CP2 FLOOR PLANS		
A2.02B	BUILDING CP2 ELEVATIONS		
A2.02C	BUILDING CP2 SECTIONS		
A2.03A	BUILDING CP3 FLOOR PLANS		
A2.03B	BUILDING CP3 ELEVATIONS		
A2.03C	BUILDING CP3 SECTIONS		
A2.04A	BUILDING CP4 FLOOR PLANS & ELEVATIONS		
A2.04B	BUILDING CP4 SECTIONS		

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
C1.0	EXISTING CONDITIONS PLAN	C2.0	OVERALL GRADING PLAN
C2.1	GRADING PLAN	C2.2	GRADING PLAN
C2.3	GRADING PLAN	C2.4	GRADING PLAN
C2.5	GRADING PLAN	C2.6	GRADING PLAN
C2.7	GRADING PLAN	C3.0	OVERALL UTILITY PLAN
C3.1	UTILITY PLAN	C3.2	UTILITY PLAN
C3.3	UTILITY PLAN	C3.4	UTILITY PLAN
C3.5	UTILITY PLAN	C3.6	UTILITY PLAN
C3.7	UTILITY PLAN		

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
L1.1A	KEY MAP	L1.1B	HARDSCAPE PLAN
L1.1C	HARDSCAPE PLAN	L1.1D	HARDSCAPE PLAN
L1.2A	PLANTING PLAN	L1.2B	PLANTING PLAN
L1.2C	PLANTING PLAN	L1.2D	BRUSH MANAGEMENT PLAN
L1.3	PLANTING LEGEND & NOTES IRRIGATION & WATER BUDGET	L1.4	LANDSCAPE CALCULATIONS
L1.5	CHARACTER IMAGERY	L1.6	EXISTING VEGETATION IMAGERY
L1.7	EXISTING VEGETATION IMAGERY		

SUSTAINABILITY

THE NEW DEVELOPMENT IS COMMITTED TO ACHIEVING LEED SILVER STANDARD AND USES SUSTAINABLE PRACTICES FOLLOWING THE OUTLINES OF THE GENERAL PLAN AND THE PORTION APPLICABLE TO RESIDENTIAL AND COMMERCIAL PROPERTIES OF THE CURRENT COUNCIL POLICY 500-14.

NOTES:

REFUSE/RECYCLE STORAGE:
REFUSE AND RECYCLE STORAGE AREAS ARE TO BE PROVIDED ON-SITE IN COMPLIANCE WITH TABLE 142-08C OF THE SAN DIEGO MUNICIPAL CODE.

SIGNAGE:
PROJECT SIGNAGE SHALL COMPLY WITH THE SIGN REGULATIONS IN THE SAN DIEGO MUNICIPAL CODE CHAPTER 14, ARTICLE 02, DIVISION 12 OR BE PERMITTED WITH A NEIGHBORHOOD USE PERMIT (NUP) FOR COMPREHENSIVE SIGN PLAN IN ACCORDANCE WITH CHAPTER 14, ARTICLE 01, DIVISION 11 OF THE SDMC.

PROJECT DESCRIPTION

THE 58.183-ACRE PROJECT SITE IS BOUND BY CAMPUS POINT DRIVE TO THE EAST, OPEN SPACE TO THE NORTHEAST, NORTH, AND TO THE WEST, AND RESEARCH FACILITIES TO THE SOUTH. THE PROJECT SITE IS LOCATED WITHIN THE UNIVERSITY COMMUNITY PLANNING AREA OF SAN DIEGO.

THE CURRENT DEVELOPMENT INTENSITY OF THE COMBINED SITES IS 731,725 GSF, CONSISTING OF ONE (1) 463,791 GSF, 2-STORY, MULTI-TENANT BUILDING (CP1); AND ONE (1) 267,934 GSF, 4-STORY, SINGLE-TENANT BUILDING (CP2). BOTH FACILITIES HOUSE PRIMARILY SCIENTIFIC RESEARCH & DEVELOPMENT USES. THE 4-STORY BUILDING (CP2) IS CURRENTLY UNDERGOING RENOVATIONS TO ITS EXTERIOR CURTAINWALL/WEATHER ENVELOPE CLADDING & INTERIOR CORE IMPROVEMENTS. SUCH WORK IS BEING PERFORMED PURSUANT TO EXISTING APPROVALS GRANTED BY THE CITY OF SAN DIEGO UNDER PROJECT NUMBER 437205 & BUILDING PERMIT NUMBER 15-28540, SECURED OCTOBER 13, 2015.

BOTH EXISTING BUILDINGS HAVE REGULARLY NON-OCCUPIED UTILITY/CENTRAL PLANT STRUCTURES ASSOCIATED WITH THEM. 3,944 GSF (CP1-1) AND 7,310 GSF (CP2-1) RESPECTIVELY. THE UTILITY STRUCTURES ARE ROOFED AND ARE NOT NORMALLY OCCUPIED EXCEPT FOR OCCASIONAL MAINTENANCE PERSONNEL. THUS, THE SQUARE FOOTAGES OF SUCH FACILITIES ARE NOT INCLUDED IN THE DEVELOPMENT INTENSITY CALCULATION.

APPLICANT PROPOSES INCREASING THE DEVELOPMENT INTENSITY OF THE COMBINED SITES BY ADDING ONE (1) 318,380 GSF, COMBINED 6 & 12 STORY, MULTI-TENANT BUILDING (CP3) AT THE WEST END OF THE CAMPUS. ONE (1) 10,000 GSF, 2-STORY BUILDING HOUSING A MICRO-BREWERY W/ ACCESSORY DINING SPACES & SHARED TENANT AMENITY SPACES (CP4); AND ONE (1) 564,471 GSF, 6-LEVEL ABOVE GRADE PARKING STRUCTURE, ACCOMMODATING 1,440 PASSENGER VEHICLES, SITUATED ALONG THE SOUTHERN EDGE OF THE SITE.

OTHER PROPOSED SITE IMPROVEMENTS INCLUDE A SOCCER FIELD AND A RECONFIGURATION OF THE MAIN 'BOULEVARD' (PRIVATE ROAD), PROVIDING CIRCULATION THROUGH THE SOUTHERN PORTION OF THE PROJECT SITE. AT FULL BUILD-OUT, THE TOTAL PROPOSED OCCUPABLE BUILDING SQUARE FOOTAGE SHALL BE 1,060,106 GSF. THE TOTAL NUMBER OF PASSENGER VEHICLE PARKING SPACES PROPOSED NEW + EXISTING = 2,800, YIELDING A COMBINED PARKING RATIO OF 2.74 PER 1,000 GROSS SQUARE FEET.

APPLICANT SEEKS CITY OF SAN DIEGO DISCRETIONARY REVIEW & APPROVAL OF THE NEW, PROPOSED FACILITIES & ASSOCIATED SITE IMPROVEMENTS CONVEYED HEREIN.

PROJECT DEVELOPMENT SUMMARY

BUILDING HEIGHTS	T.O. PARAPET	ABOVE GRADE	SITE AREAS
CP1	MSL 345.5'	43'-5"	GROSS AREA - 10290 CAMPUS POINT DRIVE
CP2	MSL 376.33'	7'-4"	GROSS AREA - 10300 CAMPUS POINT DRIVE
CP3	MSL 486.0'	159'-0"	TOTAL GROSS SITE AREA
CP4	MSL 333.33'	31'-10"	NET (DEVELOPED) - 10290 CAMPUS POINT DRIVE
PARKING STRUCTURE	MSL 355.75'	55'-9"	NET (DEVELOPED) - 10300 CAMPUS POINT DRIVE
			TOTAL NET (DEVELOPED) SITE AREA (89% OF GROSS)
			LANDSCAPED AREA - 10290 CAMPUS POINT DRIVE
			LANDSCAPED AREA - 10300 CAMPUS POINT DRIVE
			TOTAL LANDSCAPED SITE AREA (48% OF GROSS)
			BUILDINGS
			EXISTING: BUILDING 1 (CP1)
			BUILDING 2 (CP2)
			TOTAL EXISTING BUILDING GSF
			(COUNTED TOWARD DEVELOPMENT INTENSITY CALCULATION)
			CENTRAL PLANT (CP1-1)
			CENTRAL PLANT (CP2-1)
			(NOT COUNTED TOWARD DEVELOPMENT INTENSITY CALCULATION)
			PROPOSED: BUILDING 3 (CP3, ABOVE-GRADE)
			BUILDING 3 (CP3, BELOW-GRADE)
			(BELOW-GRADE NOT COUNTED TOWARD DEVELOPMENT INTENSITY NOR FAR CALCULATION)
			BUILDING 4 (CP4)
			TOTAL PROPOSED BUILDING GSF
			(COUNTED TOWARD DEVELOPMENT INTENSITY CALCULATION)
			TOTAL EXISTING + PROPOSED GSF AT FULL ENTITLEMENT
			PARKING STRUCTURE
			SUBTERRANEAN (3 LEVELS)
			(BELOW-GRADE NOT COUNTED TOWARD DEVELOPMENT INTENSITY NOR FAR CALCULATION)
			AT & ABOVE-GRADE (6 LEVELS)
			(NOT COUNTED TOWARD DEVELOPMENT INTENSITY NOR FAR CALCULATION)
			STRUCTURE COMPLIES WITH SDMC RULES & CALCULATIONS SEC. 11.02(2)(3)(b)
			TOTAL PROPOSED PARKING STRUCTURE GSF

DEVELOPMENT INTENSITY ANALYSIS

MUNICIPAL CODE 2.0 x 2,534,886 GSF =	5,069,772 GSF
UNIVERSITY COMMUNITY PLAN 30,000 GSF/AC x 40.28 NET AC =	1,208,400 GSF
MCAS MIRAMAR ALUPC BASE ON 50 PERSONS/AC 0.34 x 2,534,886 GSF =	861,861 GSF
OR MAXIMUM INTENSITY ALLOWED BY ALUPC WITHIN APZ @ 50 PERSONS/AC THEREFORE: 50 PEOPLE/AC x 58,1973AC = 2,909,865 PEOPLE THE FAR OF THE ALUPC BASED UPON 50 PP/AC AND A LOAD FACTOR OF 300 SF PER PERSON FOR R&D IS: 300 SF/PERSON x 2,909 PEOPLE / 2,534,886 GSF = 300 SF/PERSON x 2,909 PEOPLE =	0.34 FAR 872,700 GSF
ALTERNATIVE CALCULATION (METHOD USED) SAN DIEGO MUNICIPAL CODE SECTION 132.1515 (4) ALLOWS WITH A NDP ALTERNATIVE METHOD OF CALCULATION BASED UPON THE PROPOSED NUMBER OF PARKING SPACES ASSOCIATED WITH THE DEVELOPMENT OR AN ESTIMATE BASED ON A SURVEY OF SIMILAR USES. PARKING COMPARISON: SF @ 2.5/1000 = 400 SF / PERSON (MINIMUM REQUIREMENT) 400 SF / PERSON x 2,909 = PER ALUPC APPENDIX D: 400 SF / PERSON (1.1) PERSON = 364 SF / PERSON EQUIVALENT LOAD FACTOR: 364 SF / PERSON x 2,909 =	1,163,900 GSF 1,058,876 GSF

PROJECT INFORMATION

LEGAL DESCRIPTION	PARCELS NO. 1 & 2 OF PARCEL MAP NO. 10898
APN NUMBER	ASSESSOR PARCEL NO. 343-230-13 & 343-230-14
OCCUPANCIES	OCCUPANCY CLASSIFICATIONS A,B,S-1, F-1 (VARIES BY BUILDING)
ZONING DESIGNATIONS	ZONING DESIGNATION: 1P-1-1 ZONE OVERLAY ZONE: MCAS MIRAMAR ALUPC ZONING DESIGNATION: RS-1-14 ZONING DESIGNATION: RS-1-7
EXISTING USES	SCIENTIFIC RESEARCH
PROPOSED USES	SCIENTIFIC RESEARCH, INDUSTRIAL (BREWERY), FOOD SERVICES
YEAR CONSTRUCTED	EXISTING CP1 & CP1-1 BUILT IN 1979 EXISTING CP2 & CP2-1 BUILT IN 1997
GEOLOGICAL HAZARD	GEOLOGICAL HAZARD CATEGORY 21,25 & 52

Seal/Signature



Project Name

CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number

55,7538,000

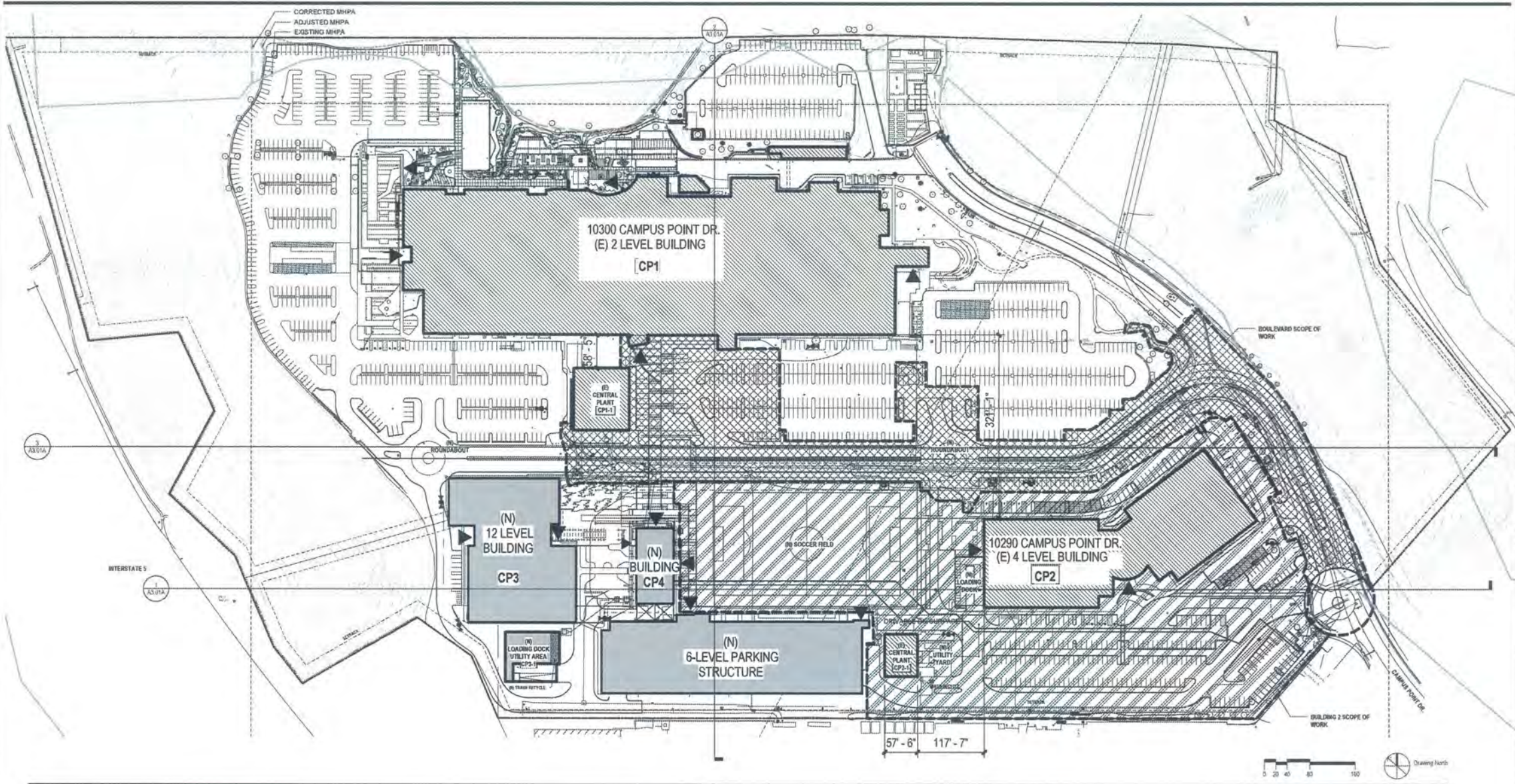
Description

TITLE PAGE

Scale

A1.00

© 2025 Gensler



1 SITE PLAN
SCALE: 1" = 60'-0"

NOTES

1. BUILDING ADDRESS LOCATION. PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET ROAD FROM THE STREET ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
2. BUS STOPS: NONE (NEAREST BUS STOP @ GENESEE AVE & CAMPUS POINT DR.).
3. RETAINING WALLS SHALL COMPLY WITH MUNICIPAL CODE SECTION 142.0540.
4. PROVIDE TRASH AND RECYCLE AREA PER MUNICIPAL CODE 142.0910-142.0930. (SEE BLDG PLANS).
5. RUNOFF RESULTING FROM PROPOSED DEVELOPMENT SHALL BE DIRECTED AWAY FROM ENVIRONMENTALLY SENSITIVE LANDS. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
6. AN ILLUMINATED DIRECTORY IN ACCORDANCE WITH FHPS POLICY 1-00-6 SHALL BE PROVIDED.
7. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION PER CFC CHAPTER 14. IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICES ON SITE, ABOVE GRADE, WITHIN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.
8. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF STATE WATER RESOURCES BOARD (SDRWCB) ORDER NO. 2008-009 DWD AND THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) ORDER NO. R2009-001. WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY.
9. TOTAL STEEP HILLSIDES ESL LANDS CONTAINED WITHIN ENTIRE SITE PREMISE IS 16.70 ACRES. DEVELOPMENT DOES NOT PROPOSE TO PERMANENTLY ENCROACH INTO STEEP HILLSIDES ESL LANDS. PROPOSED ENCROACHMENTS INTO STEEP SLOPES ESL LAND ARE TEMPORARY. TOTAL PROPOSED ENCROACHMENT IS 0.65 AC.
10. AS NOTED ON PLANS AND IN LEGEND, APPROXIMATE LOCATION OF PREVIOUSLY DISTURBED SOILS ARE SHOWN ON PLAN PER GEOLOGICAL ENGINEER.
11. ALL TEMPORARY ENCROACHMENTS INTO STEEP HILLSIDES ESL ARE FOR THE PURPOSES OF EROSION CONTROL RELATED TO CONSTRUCTION. SEE LETTER FROM CIVIL ENGINEER.
12. 770,369 SF (17.8 ACRES) OF AREA OBTAINED WITHIN THE PROPOSED COVENANT OF EASEMENT, AS INDICATED WITH THE HATCH PATTERN LISTED IN DRAWING LEGEND ARE SUBJECT TO SECTION 142.0152 OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

SITE LEGEND

SCALE: 1/2" = 1'-0"

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- TRASH/REFUSE AREA
- SETBACKS
- PROPERTY LINE
- CP1 CAMPUS POINT BUILDING 1
- CP2 CAMPUS POINT BUILDING 2
- CP3 CAMPUS POINT BUILDING 3
- CP4 CAMPUS POINT BUILDING 4
- FIRE HYDRANT
- (E) EXISTING
- (N) NEW
- BUILDING ENTRANCE
- IMPROVEMENTS IN THIS AREA ARE NOT PART OF SDP PROJECT. BUILDING PERMIT APPROVAL NO. 15 295408, 15 29541 M, 15 29544 E, 15 29545 P. PTS NO. 437295, 451250, 454782, 468307, 468407
- IMPROVEMENTS IN THIS AREA ARE NOT PART OF SDP PROJECT. BUILDING PERMIT APPROVAL NO. 17 350 ELECTRICAL. PTS 469373 E
- GRADING & LANDSCAPE PERMIT PTS 496031

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10595 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10290 ALFORD CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel. 619.557.2500
Fax. 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JMKD	SS
06/24/2016	CYCLE 35	JMKD	SS
08/24/2016	CYCLE 36	KD	SS
09/23/2016	CYCLE 41	KD	SS
12/16/2016			

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

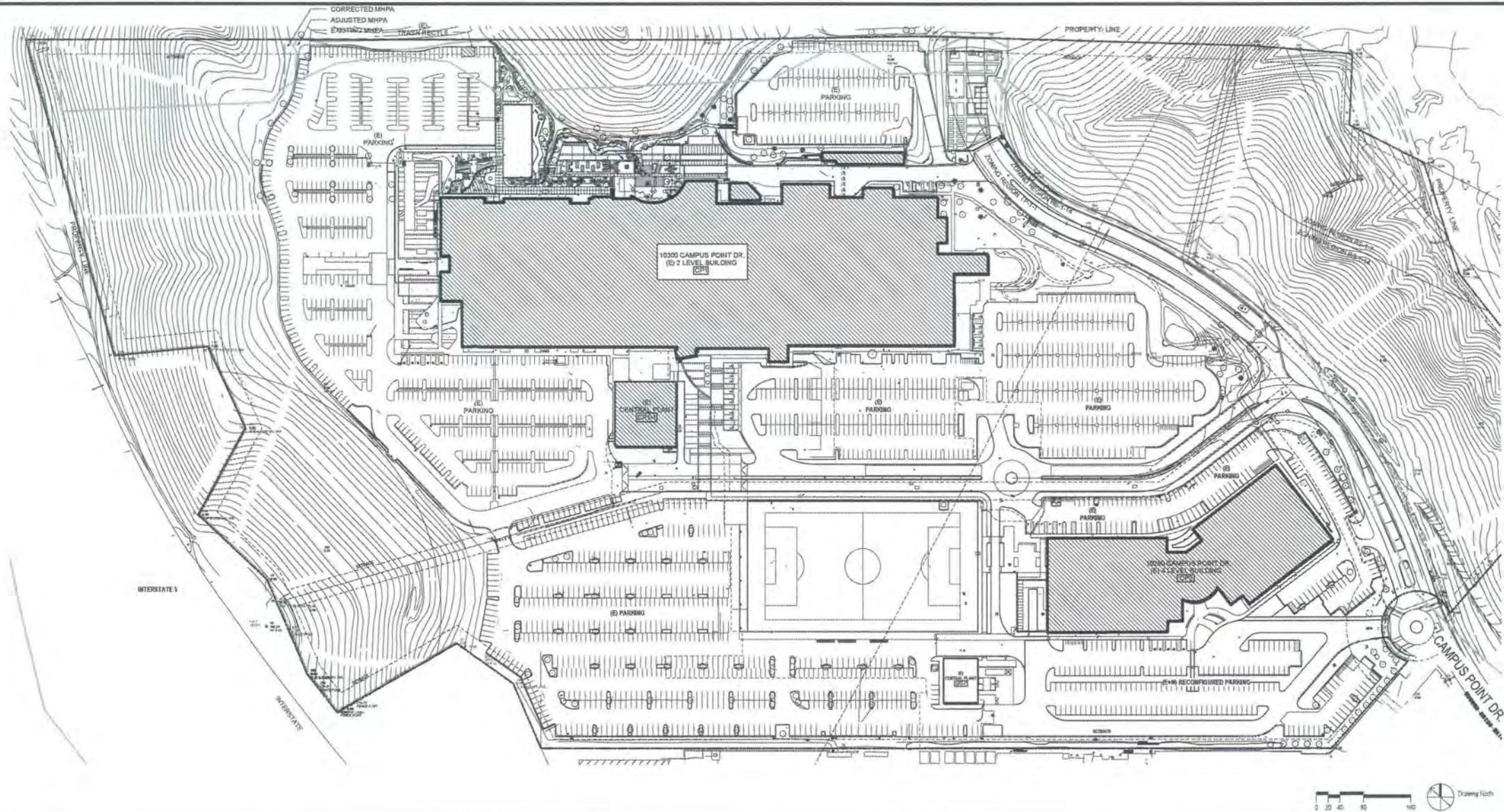
Project Number
55.7538.000

Description
PROPOSED SITE PLAN

Scale
As Indicated

A1.01A

© 2015 Gensler



1 EXISTING SITE PLAN PRE 2015
SCALE: 1" = 80'-0"

SITE LEGEND_EXISTING
SCALE: 1/2" = 1'-0"

- EXISTING BUILDINGS
- TRASH/REFUSE AREA
- SETBACKS
- PROPERTY LINE
- CP1 CAMPUS POINT BUILDING 1
- CP2 CAMPUS POINT BUILDING 2
- FIRE HYDRANT
- (E) EXISTING
- (N) NEW
- BUILDING ENTRANCE
- IMPROVEMENTS IN THIS AREA ARE NOT PART OF SDP PROJECT. SOCCER FIELD, APPROVED ACCESSORY USE PER PRIOR PERMIT

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

Gensler
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS
12/16/2016			

Seal/Signature

Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

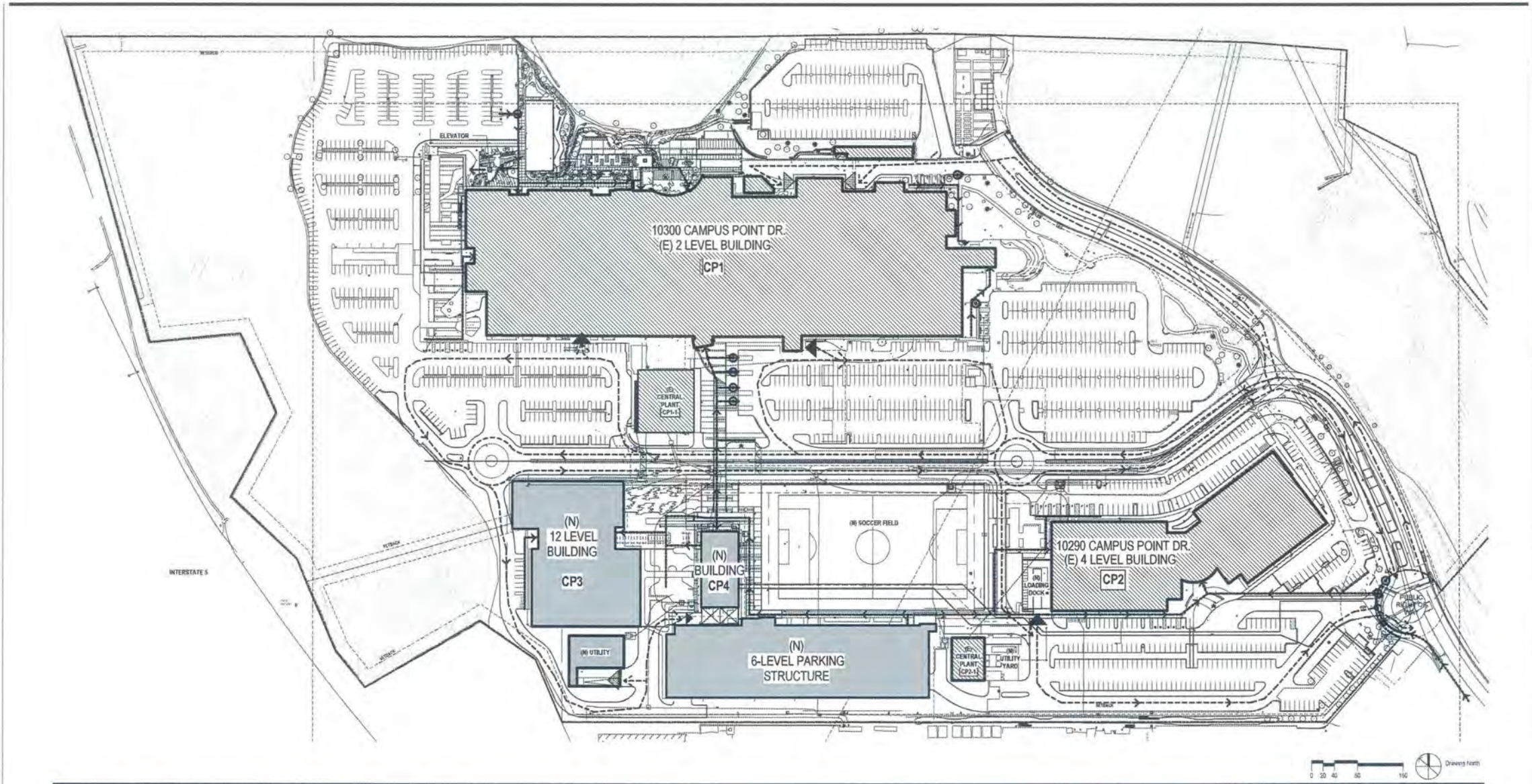
Project Number
55,7538,000

Description
EXISTING SITE PLAN

Scale
As indicated

A1.01B

© 2015 Gensler



1 ACCESSIBILITY SITE PLAN
SCALE: 1" = 80'-0"
ENLARGED VEHICULAR TURNS

ACCESSIBILITY LEGEND
SCALE: 1/2" = 1'-0"

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- ACCESSIBLE ROUTE PER 2013 CBC 11B. PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" DEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT VERTICAL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT (MEDIUM BROOM FINISH WITH AMPLITUDE OF 132"). STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (POT) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 8' MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM HALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR TO VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL COMPLIES WITH CBC 2013 CBC 11B.
- PROPERTY LINE
- ACCESSIBLE PARKING SPACE PER CBC 11250B
- ACCESSIBLE CURB RAMP W/12" WIDE GROOVED BORDER AND DETECTABLE WARNING SURFACE PER CBC 1127B, AS INDICATED WITH SYMBOL.
- ON-SITE TRUCK CIRCULATION
- LOADING DOCK
- SHUTTLE STOP

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10956 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10290 A10100 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HR/SH	SS
04/01/2016	CYCLE 32	JB/KD	SS
06/24/2016	CYCLE 35	JB/KD	SS
08/24/2016	CYCLE 38	KD	SS
09/28/2016	CYCLE 41	KD	SS
12/16/2016			

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
SITE ACCESSIBILITY PLAN

Scale
As Indicated

A1.01C

© 2015 Gensler

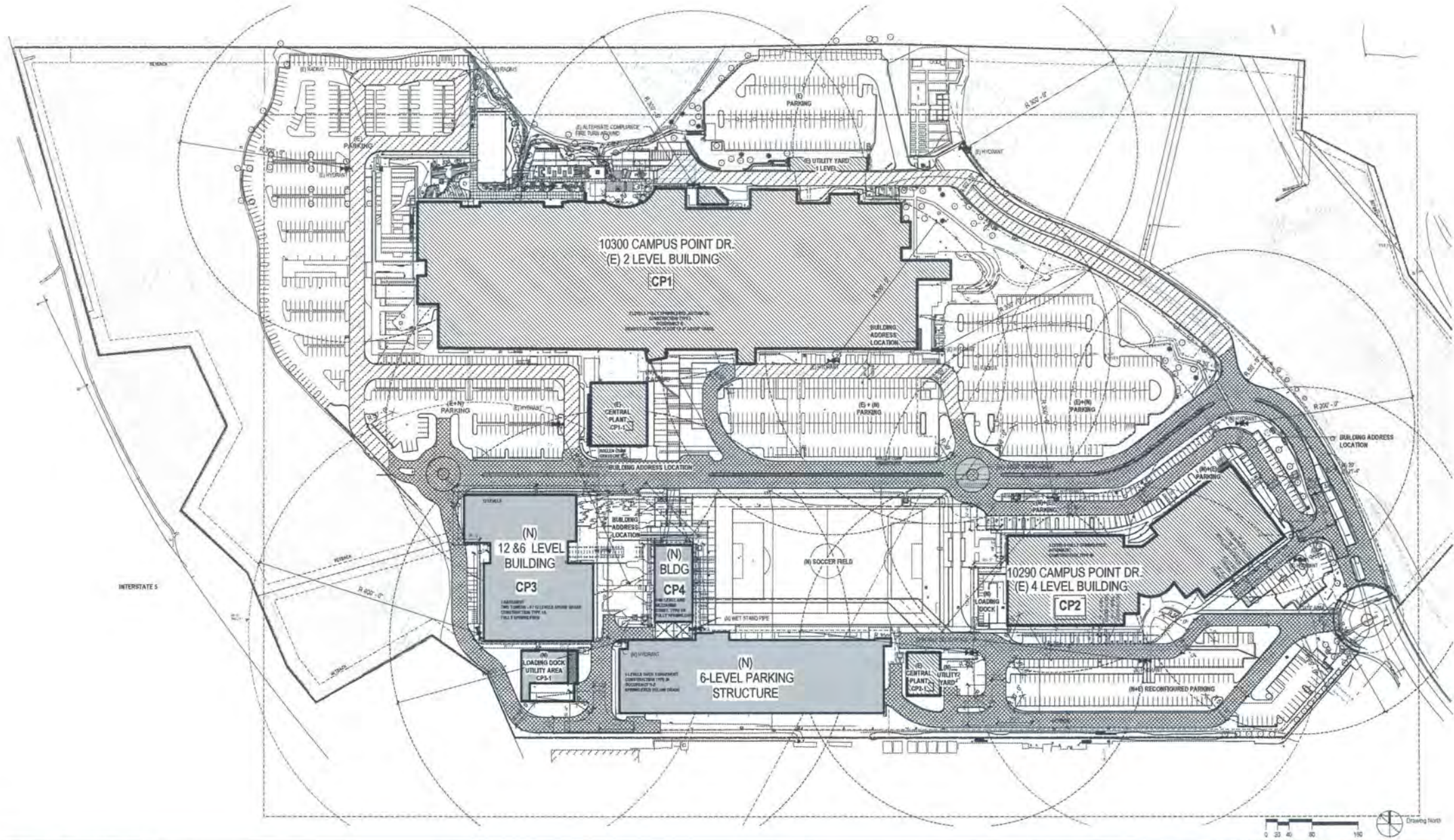
ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10006 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10290 ALPHEA CAMPUS POINT DRIVE
SAN DIEGO, CA 92131

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2501

Gensler

Date	Issue/Revision	By	To
11/02/2015	CYCLE 27	HR/SH	SS
04/01/2016	CYCLE 32	JB/KD	SS
06/24/2016	CYCLE 35	JB/KD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS
12/16/2016			



1 FIRE ACCESS SITE PLAN
SCALE: 1" = 30'-0"

FIRE FLOW

FIRE FLOW CALCULATIONS PER 2013 CALIFORNIA FIRE CODE
(B104, B106, C105.1)

CP1= EXISTING NO CHANGE
CP2= CONSTRUCTION TYPE IB = 70,000 GSF = 5,000 GMP FIRE FLOW = 5 HYDRANTS
CP3= CONSTRUCTION TYPE IB = 95,200 GSF = 3,250 GMP FIRE FLOW = 3 HYDRANTS, SPACING 400 FEET
CP4= CONSTRUCTION TYPE VA = 10,000 GSF = 1,750 GMP FIRE FLOW = 1 HYDRANT SPACING 300 FEET

FIRE CODE APPENDIX D

FIRE DEPARTMENT ACCESS NOTES

1. FIRE ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
2. PROVIDE BUILDING ADDRESS NUMBERS, WHIRL AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-26-6
3. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH PHPS POLICY P-49-1

FIRE ACCESS LEGEND

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- EXISTING FIRE LANE
- NEW FIRE LANE
- SETBACKS
- PROPERTY LINE
- HOSE PULL
- FIRE HYDRANT
- HYDRANT RADIUS (300'-0")
- BUILDING ADDRESS LOCATION
- ROLLED CURB GRASS/CONCRETE

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
95.7538.000

Description
SITE FIRE ACCESS PLAN

Scale
As Indicated

A1.01F

© 2015 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10995 Torreyana Road Suite 250
San Diego, CA 92121

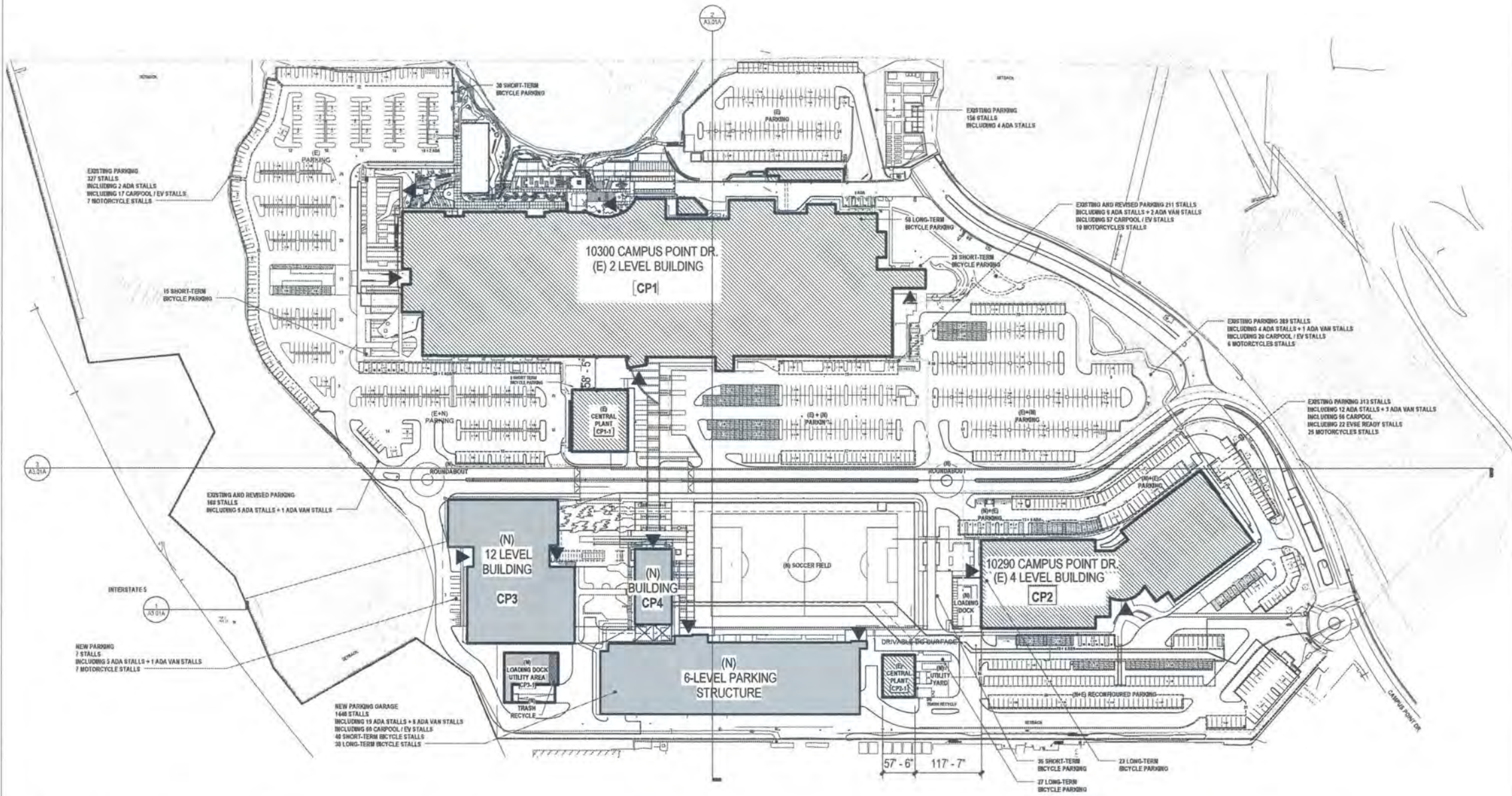
CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 ALBANY CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/09/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBWD	SS
06/24/2016	CYCLE 35	JBWD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS
12/16/2016			



PARKING REQUIREMENTS PER SDMC CHAPTER 14

2.5 / 1000 SF RESEARCH IN IP-14, TABLE 142-05G
2.5 / 1000 SF LIGHT MANUFACTURING
CARPOOL AND ZERO EMISSION 8% TO BE CONVENIENTLY LOCATED
TO ENTRANCES
SHORT TERM BICYCLE 0.1/1000SF or 5% OF REQUIRED PARKING
WITHIN 200 FEET OF ENTRANCE
LONG TERM BICYCLE 5% OF REQUIRED CAR PARKING, NEED SHOWER
FACILITIES
MOTORCYCLE PARKING 2% OF REQUIRED PARKING
WEEK OR BULLETIN BOARD WITH RIDE SHARE INFORMATION
REQUIRED (See table below)
ADA STALLS 20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF, OVER
1000 VAN EVERY 80 OR FRACTION THEREOF
EVSE READY PARKING 3% OF REQUIRED PARKING (2015 supplement
to CalGreen)

CALCULATIONS

	REQUIRED	PROVIDED
10300 463,791 GSF	CP1 parking stalls required 1160 Carpool/low emissions 93 Motorcycle 23 Bicycle short term 58 Bicycle long term 58 ADA Standard 16 ADA Van 4 EVSE READY 4	1151 (all surface) 94 23 73 58 58 21 4 not required for existing condition
10290 596,317 GSF	CP2+CP3+CP4 parking stalls required 1481 Carpool/low emissions 141 Motorcycle 35 Bicycle short term 75 Bicycle long term 75 ADA Standard 23 ADA Van 5 EVSE READY 45	1759 (218 surface + 1440 parking) 141 (CP2 56 + CP3 85) 35 (40 surface + 40 parking garage) 76 (CP2 36 + CP3 40) 126 (CP2 50 + Garage 76) 36 (CP2 12 + Garage 19 + CP3 5) 10 (CP2 3 + Garage 6 + CP3 1) 46 (CP2 22 + Garage 24)
OVERALL 1,060,108 GSF	CP1 + CP2+CP3+CP4 parking stalls 2641 Carpool/low emissions 212 Motorcycle 58 Bicycle short term 133 Bicycle long term 133 ADA Standard 41 ADA Van 9	2920 (maximal allowable) 235 96 157 133 54 15

PARKING NOTE

A MINIMUM OF 2.5/1 OFF-STREET AUTOMOBILE PARKING
SPACES ARE REQUIRED (2,500 AUTOMOBILE PARKING
SPACES PROVIDED, INCLUDING 54 STANDARD DISABLED
ACCESSIBLE SPACES AND 15 VAN-SIZED DISABLED
ACCESSIBLE SPACES, 236 CARPOOL/LOW EMISSIONS
VEHICLE PARKING SPACES, 95 MOTORCYCLE SPACES AND
157 SHORT-TERM BICYCLE PARKING SPACES, 185 LONG-TERM
BICYCLE PARKING SPACES) AND SHALL BE PERMANENTLY
MAINTAINED WITHIN THE APPROXIMATE LOCATIONS SHOWN
ON THE PROJECT'S EXHIBIT "A". ALL ON-SITE PARKING
SPACES AND ASILE WIDTHS SHALL COMPLY AT ALL TIMES
WITH THE SDMC AND SHALL NOT BE CONVERTED AND/OR
UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE
AUTHORIZED BY THE APPROPRIATE CITY DECION MAKER IN
ACCORDANCE WITH SDMC.

1440 PARKING SPACES WILL BE PROVIDED IN THE PARKING
GARAGE, 7 PARKING SPACES WILL BE ADDED AT CP3 AND
1462 EXISTING SPACES WILL BE RETAINED.

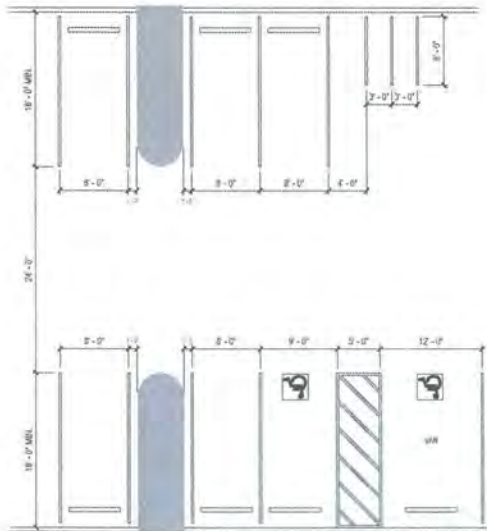


Table 142-05K
Minimum Off-Street Parking Space Dimensions

Type of Space	Required Single Space Dimensions	Required Tandem Space Dimensions
Parking space unobstructed Retail sales uses and eating and drinking establishments	8'-3" wide x 18' long	All uses 8" wide x 16' long
All other uses	8' wide x 18' long	
Parking space abuts a wall, column, or other immovable obstacle	One side abutting obstacle 9' wide x 18' long	One side abutting obstacle 9' wide x 16' long
	Two sides abutting obstacle 9'-7" wide x 18' long	Two sides abutting obstacle 9'-7" wide x 16' long
Parking Space parallel to aisle (interior space)	8' wide x 21' long	N/A

KEY PLAN

CARPOOL / EV PARKING
PARKING

PARKING MINIMUMS, AS SHOWN IN THE PROJECT
DEVELOPMENT SUMMARY, SHALL BE PERMANENTLY
MAINTAINED AND NOT BE CONVERTED AND/OR UTILIZED FOR
ANY OTHER PURPOSE OR USE UNLESS AUTHORIZED IN
WRITING FROM THE DEVELOPMENT SERVICE DIRECTOR, ON-
SITE PARKING SPACES AND ASILE WIDTHS SHALL COMPLY AT
ALL TIMES WITH THE CITY OF SAN DIEGO MUNICIPAL CODE
(SDMC) UNLESS OTHERWISE AUTHORIZED BY THE
APPROPRIATE CITY DECISION MAKER IN ACCORDANCE WITH
THE SDMC.

- ALL PARKING AISLES ARE MINIMUM 24' WIDE PER SDMC
142.05D, TABLE 142-05L.
- ALL NEW TYPICAL PARKING STALLS ARE 8'x18' PER SDMC
142.05D, TABLE 142-05K.
- EXISTING PARKING STALLS WILL MEET SDMC 142.05D IN.
DRIVEWAYS DO NOT EXCEED 5% GRADIENT. RAMPS IN THE
GARAGE 6.25% GRADIENT AND MEET SDMC 142-05C (9).
- SEE A2.5A FOR TYPICAL PARKING GARAGE STALL LAYOUTS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55,7538.000

Description
PARKING COUNT (SITE)

Scale
As indicated

A1.01G

© 2015 Gensler



ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES

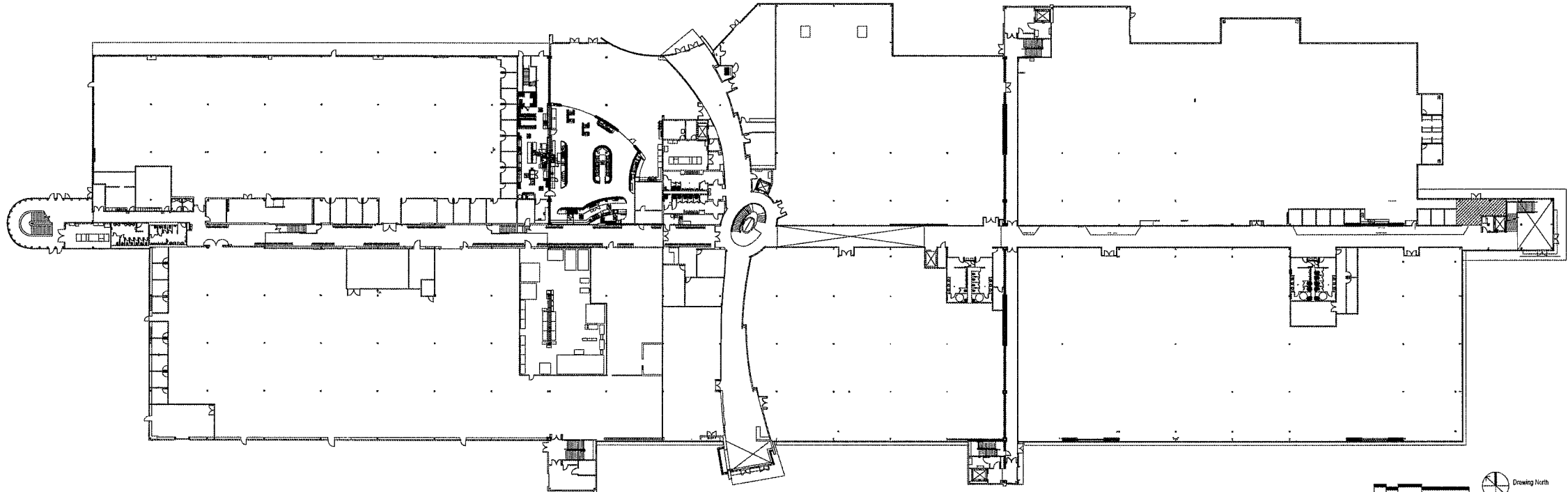
10906 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 AUSTIN CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

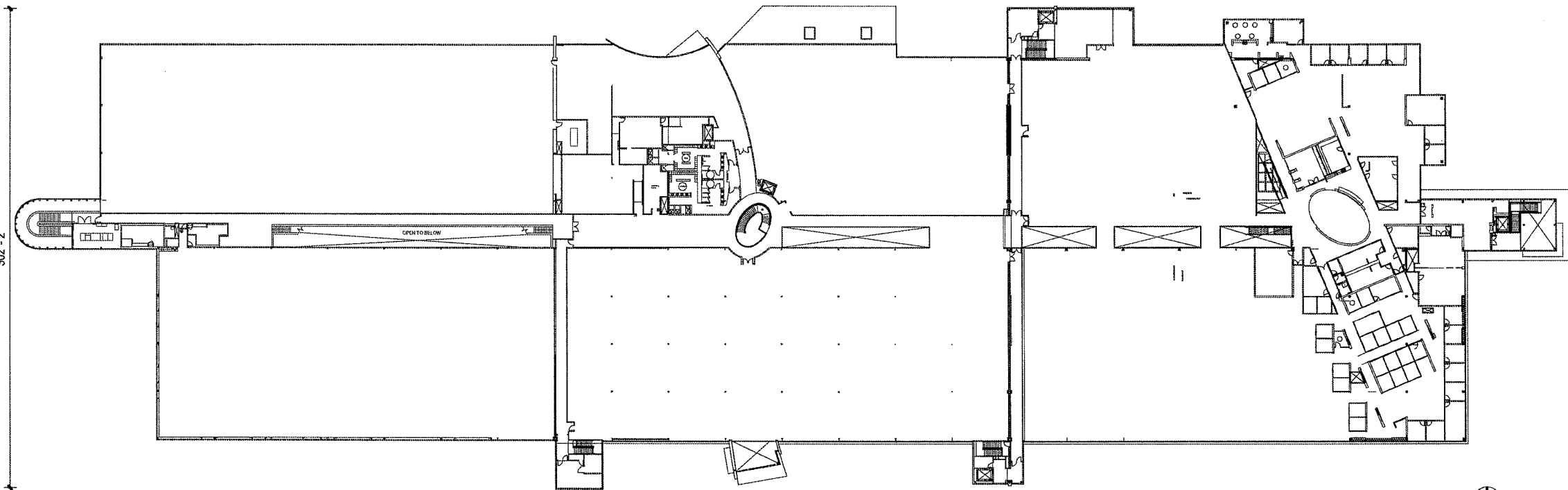
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler



1 BUILDING CP1 - LEVEL 01 FLOOR PLAN

974' - 0"

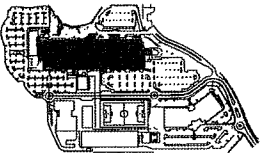


2 BUILDING CP1 - LEVEL 02 FLOOR PLAN

NOTES

1. BUILDING CP1 IS EXISTING AS SHOWN HEREON.
NO RENOVATIONS TO STRUCTURE ARE
CONTEMPLATED AS PART OF THIS SITE
DEVELOPMENT PERMIT APPLICATION.

KEY PLAN



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55,7538,000

Description
BUILDING CP1 FLOOR PLANS

Scale
1" = 30'-0"

A2.01A

© 2015 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10701 ALEXANDRIA CAMPUS POINT DRIVE
SAN DIEGO, CA 92131

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

△	Date	Issue/Revision	By	To
	11/03/2015	CYCLE 27	HRBH	SS
	04/01/2016	CYCLE 32	JBD	SS
	06/24/2016	CYCLE 35	JBD	SS
	08/24/2016	CYCLE 38	KD	SS
	09/29/2016	CYCLE 41	KD	SS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

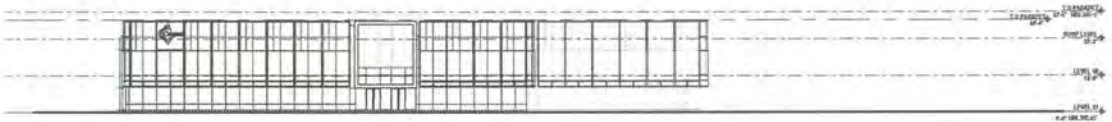
Project Number
55.7538.000

Description
BUILDING CP1 ELEVATIONS

Scale
1" = 32'-0"

A2.01B

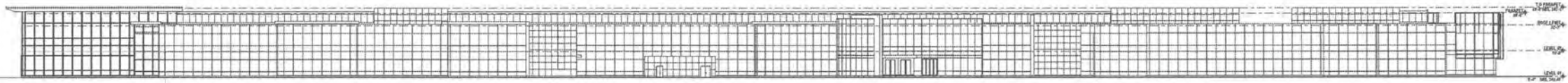
© 2015 Gensler



1 BUILDING CP1 - EAST ELEVATION



2 BUILDING CP1 - WEST ELEVATION



3 BUILDING CP1 - NORTH ELEVATION



4 BUILDING CP1 - SOUTH ELEVATION



NOTES

1. BUILDING CP1 IS EXISTING AS SHOWN HEREON.
NO RENOVATIONS TO STRUCTURE ARE
CONTEMPLATED AS PART OF THIS SITE
DEVELOPMENT PERMIT APPLICATION.

KEY PLAN



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10596 Toneyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10/20/2015 CAMPUS POINT DRIVE
SAN DIEGO, CA 92101

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

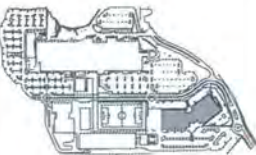
Gensler

Date	Issue/Revision	By	To
11/03/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

NOTES

1. BUILDING CP2 IS EXISTING AND IS UNDER RECONFIGURE RENOVATIONS TO ITS EXTERIOR CURTAINWALL, WEATHER ENVELOPE CLADDING AND INTERIOR CORE IMPROVEMENTS. SUCH WORK IS BEING PERFORMED UNDER CITY PROJECT NUMBER 437205 AND BUILDING PERMIT NUMBER 15-29540-B SECURED OCTOBER 13, 2015.

KEY PLAN



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

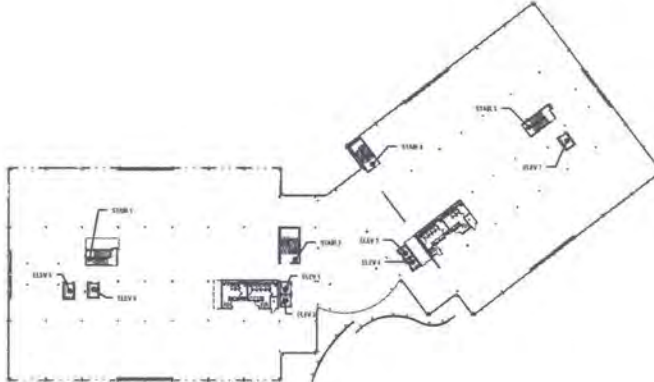
Project Number
55,7538,000

Description
BUILDING CP2 FLOOR PLANS

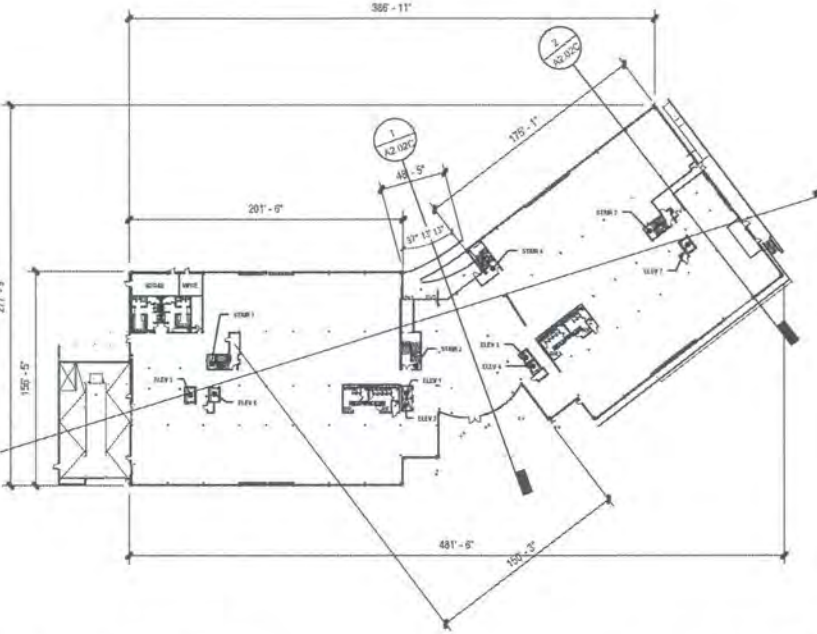
Scale
1"=50'-0"

A2.02A

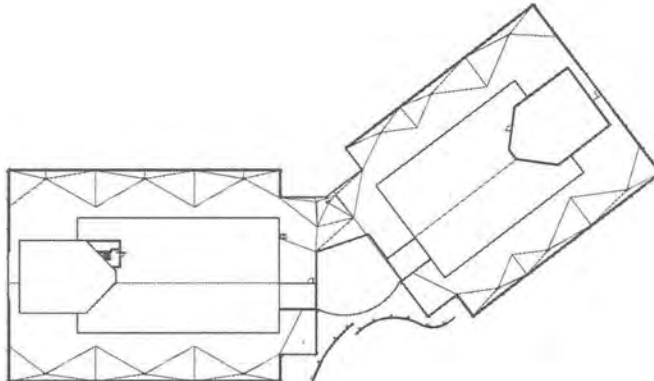
© 2015 Gensler



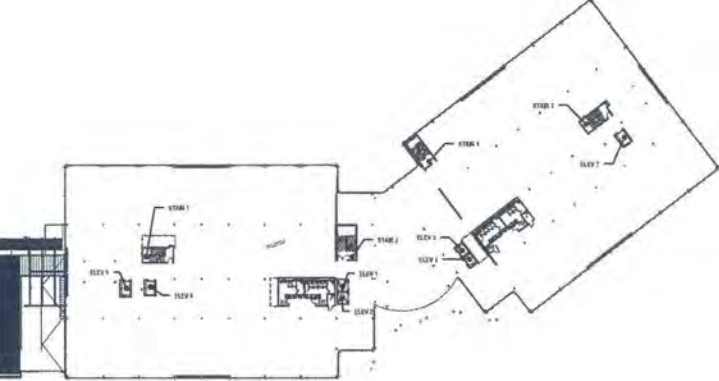
BUILDING CP2 - LEVEL 04 FLOOR PLAN



BUILDING CP2 - LEVEL 01 FLOOR PLAN



BUILDING CP2 - ROOF PLAN



BUILDING CP2 - LEVEL 02 FLOOR PLAN



BUILDING CP2 - LEVEL 03 FLOOR PLAN

10506 Torreyana Road Suite 250
San Diego, CA 92121

10290 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

Gensler

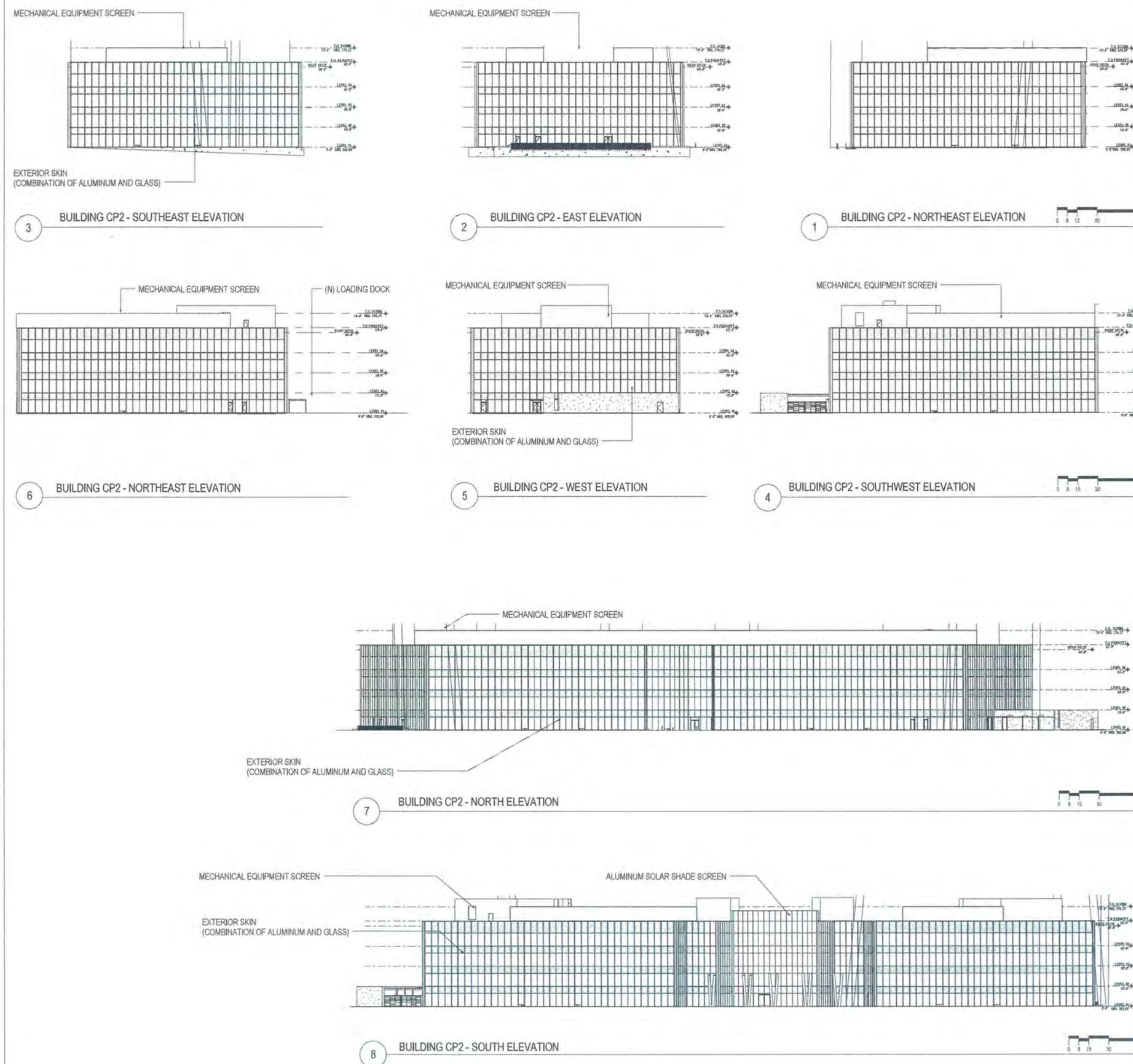
Δ	Date	Issue/Revision	By	T
	11/30/2015	CYCLE 27	HRBH	S
	04/01/2016	CYCLE 32	JBKD	S
	06/24/2016	CYCLE 35	JBKD	S
	08/24/2016	CYCLE 38	KD	S
	09/29/2016	CYCLE 41	KD	S

1. BUILDING CP2 IS EXISTING AND IS UNDER RECONFIGURE RENOVATIONS TO ITS EXTERIOR CURTAINWALL BUILDING ENVELOPE AND INTERIOR CORE IMPROVEMENTS. SUCH WORK IS BEING PERFORMED UNDER CITY PROJECT NUMBER 437205 AND BUILDING PERMIT NUMBER 15-29540-B SECURED OCTOBER 13, 2015



A2.02B

© 2015 Bursak





ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10290 A16850 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HR/BH	SS
04/01/2016	CYCLE 32	JBD	SS
06/24/2016	CYCLE 35	JBD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

NOTES

1. BUILDING CP2 IS EXISTING AND IS UNDER RECONFIGURE RENOVATIONS TO ITS EXTERIOR CURTAINWALL, WEATHER ENVELOPE, CLADDING AND INTERIOR CORE IMPROVEMENTS. SUCH WORK IS BEING PERFORMED UNDER CITY PROJECT NUMBER 437205 AND BUILDING PERMIT NUMBER 15-29540-8 SECURED OCTOBER 13, 2015.

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

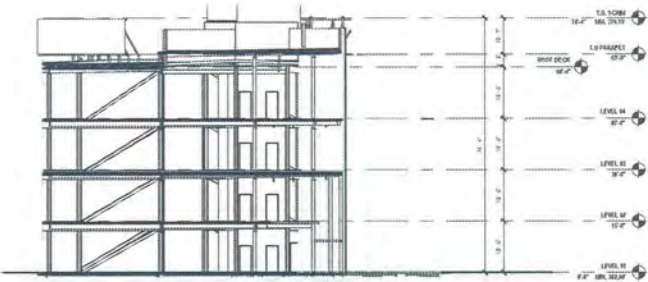
Project Number
55.7538.000

Description
BUILDING CP2 SECTIONS

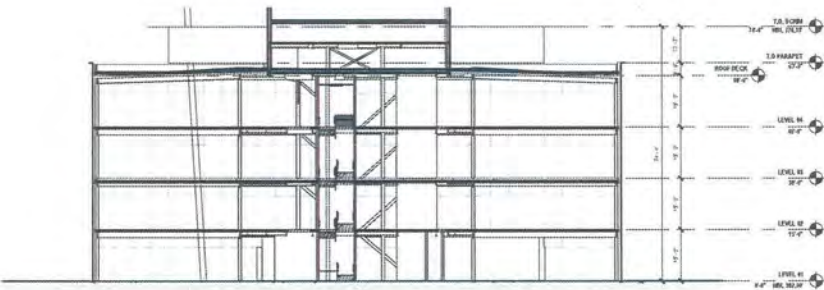
Scale
1" = 20'-0"

A2.02C

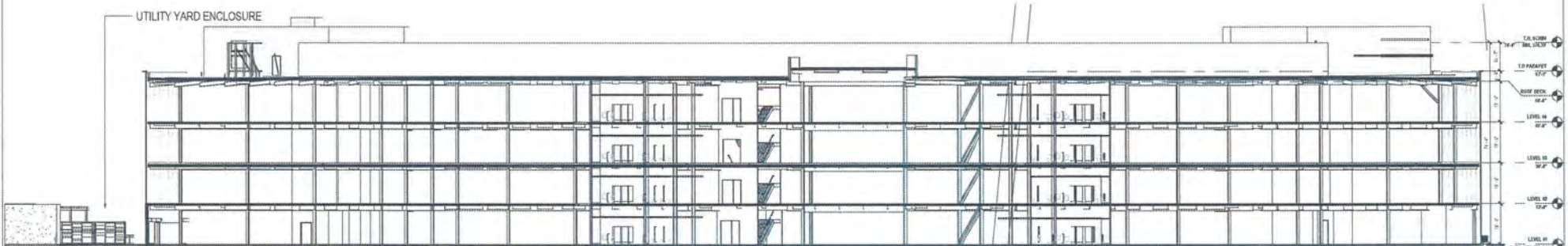
© 2015 Gensler



BUILDING CP2 NORTH SOUTH - SECTION 2

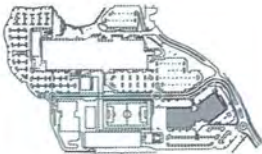


BUILDING CP2 NORTH SOUTH - SECTION 1



BUILDING CP2 EAST-WEST - SECTION 1

KEY PLAN





ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 A10500 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

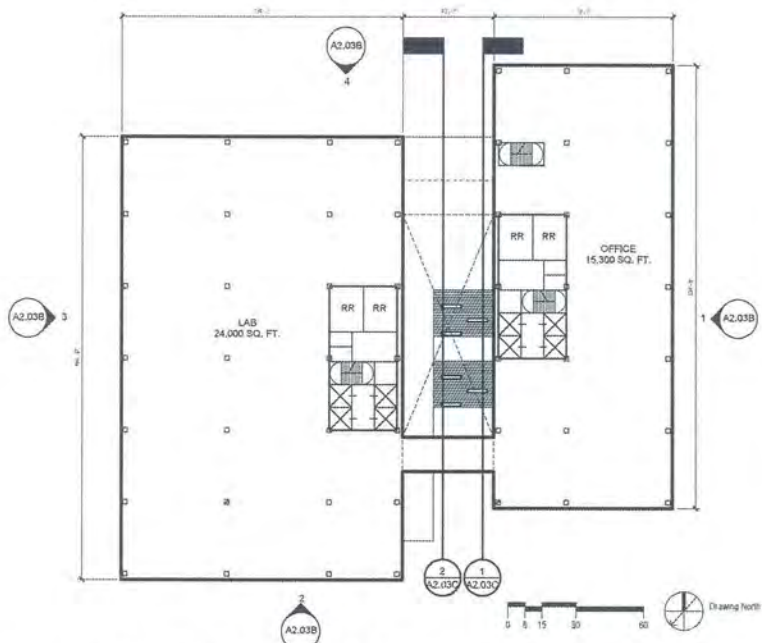
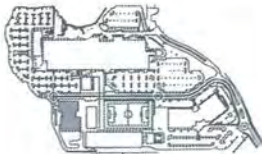
Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HR/BH	SS
04/01/2016	CYCLE 32	JBD	SS
06/24/2016	CYCLE 35	JBD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

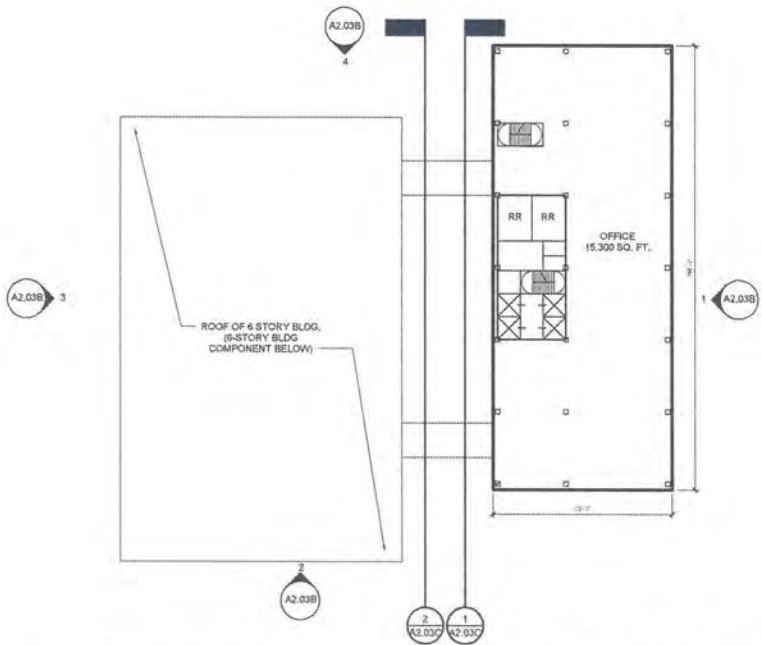
NOTES

1. BUILDING CP3 IS A PROPOSED NEW STRUCTURE

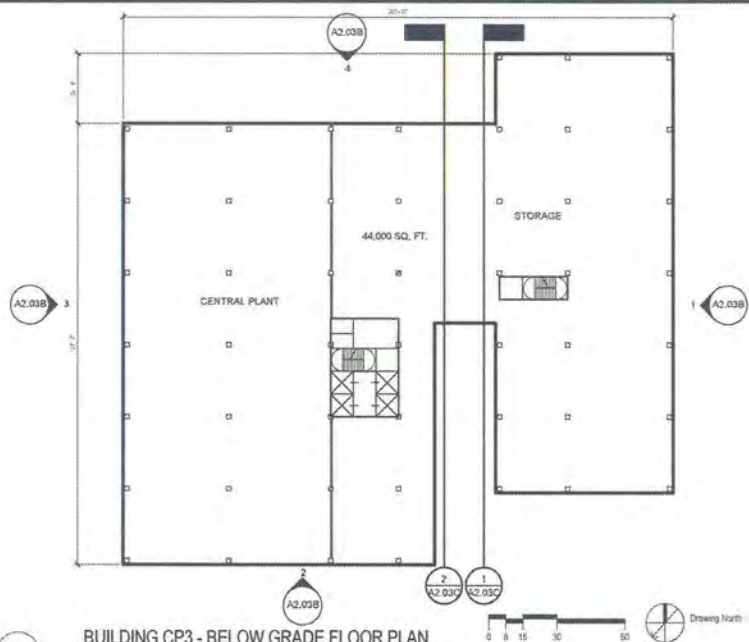
KEY PLAN



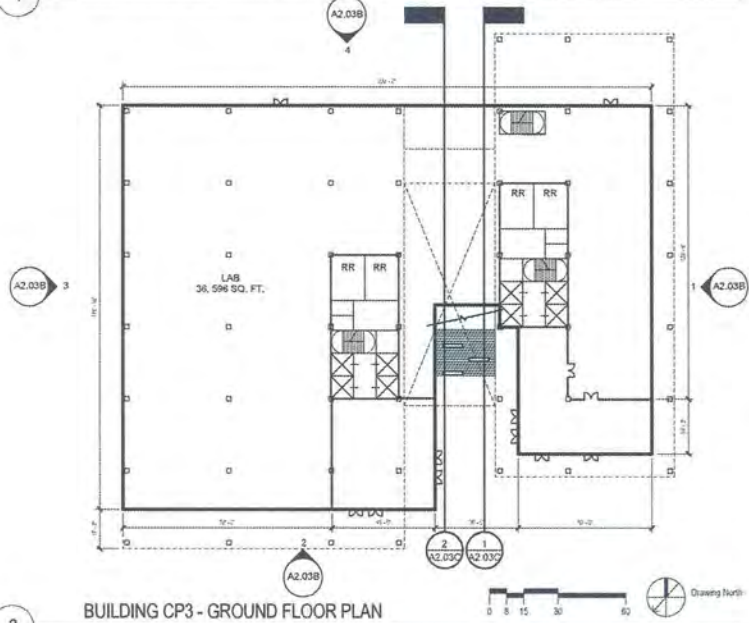
BUILDING CP3 - TYPICAL FLOOR PLAN (3-6)



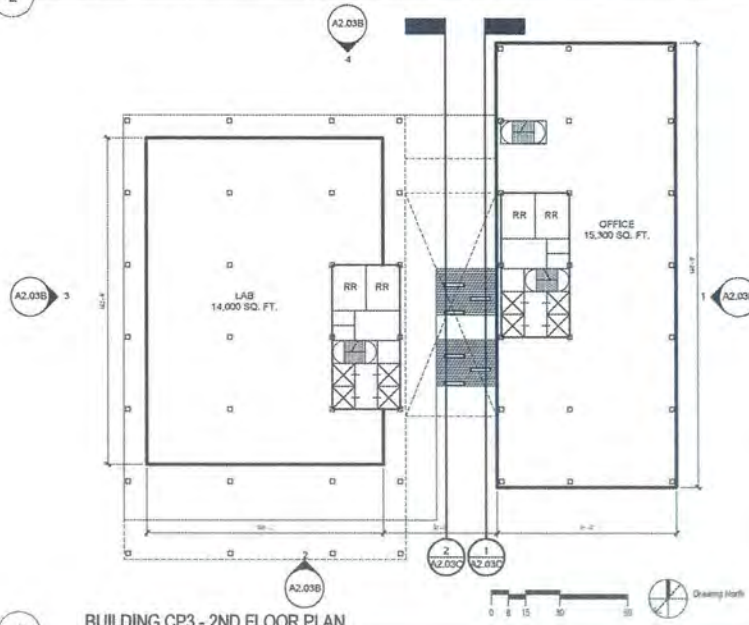
BUILDING CP3 - TYPICAL FLOOR PLAN (7-12)



BUILDING CP3 - BELOW GRADE FLOOR PLAN



BUILDING CP3 - GROUND FLOOR PLAN



BUILDING CP3 - 2ND FLOOR PLAN



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10000 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10000 ALEXANDRIA CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

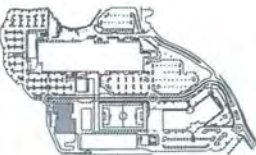
Gensler

Date	Issue/Revision	By	To
11/03/2015	CYCLE 27	HR/SH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

NOTES

1. BUILDING CP3 IS A PROPOSED NEW STRUCTURE

KEY PLAN



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

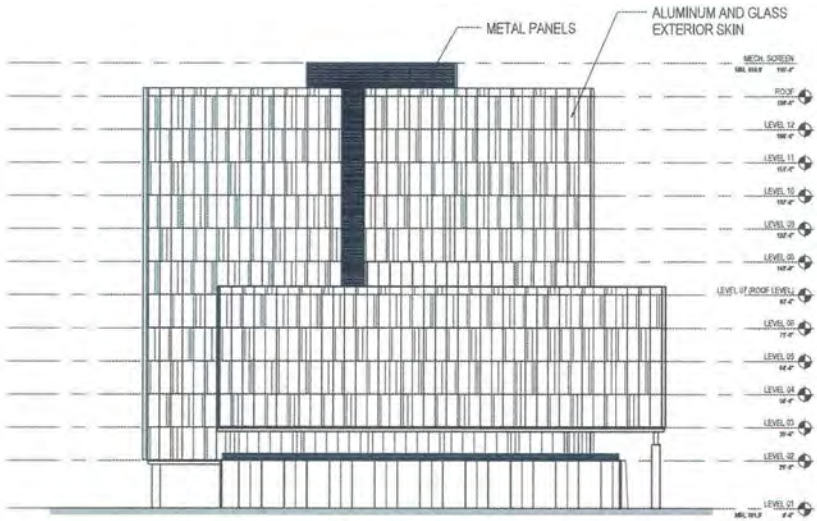
Project Number
55,7538,000

Description
BUILDING CP3 ELEVATIONS

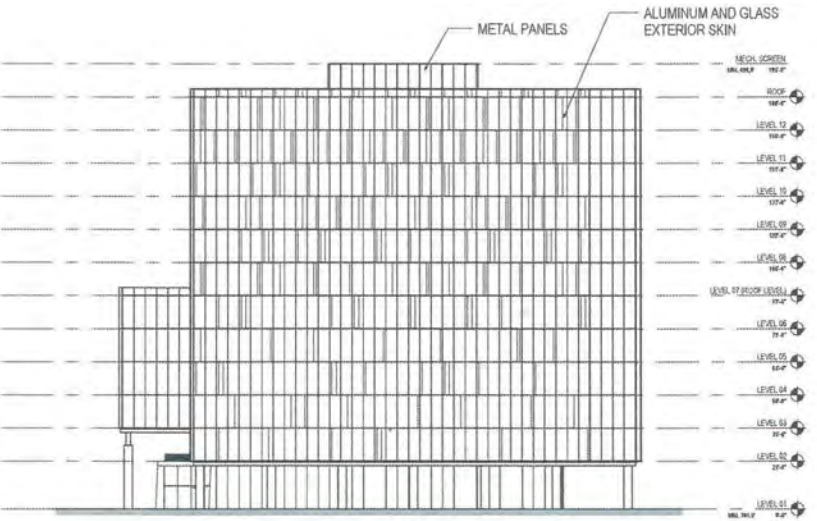
Scale
1" = 30'-0"

A2.03B

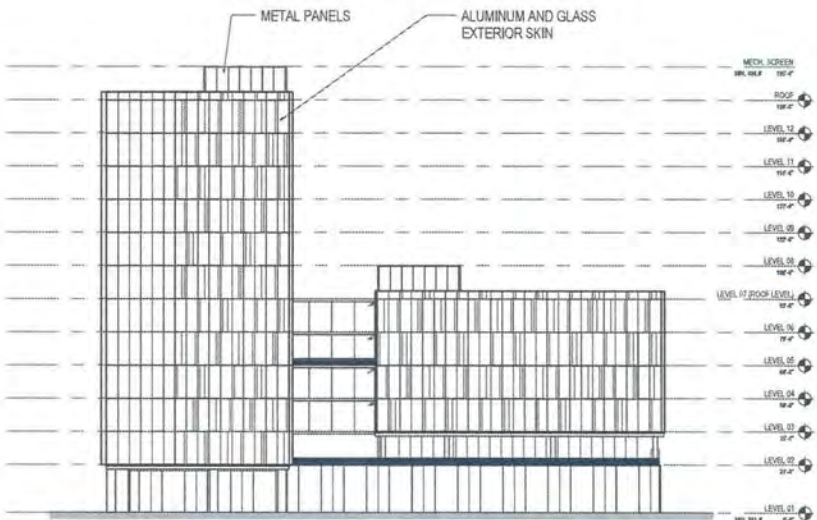
© 2015 Gensler



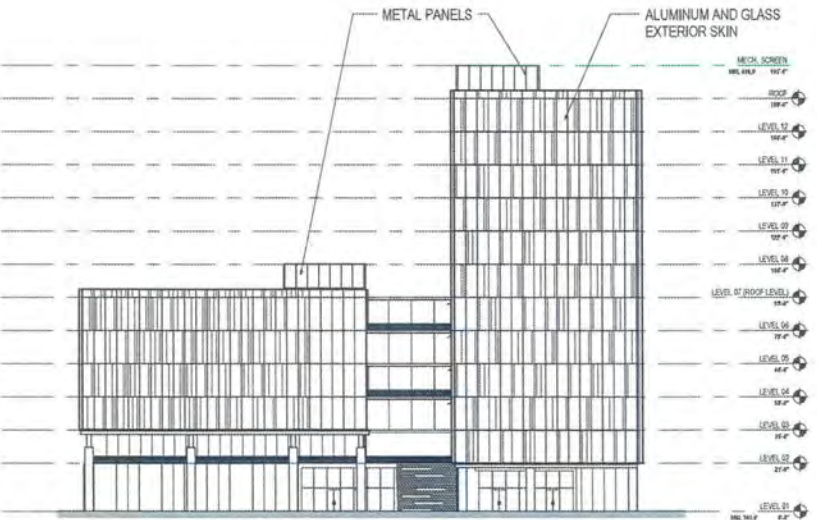
3 BUILDING CP3 - SOUTH ELEVATION



1 BUILDING CP3 - NORTH ELEVATION



4 BUILDING CP3 - WEST ELEVATION



2 BUILDING CP3 - EAST ELEVATION



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

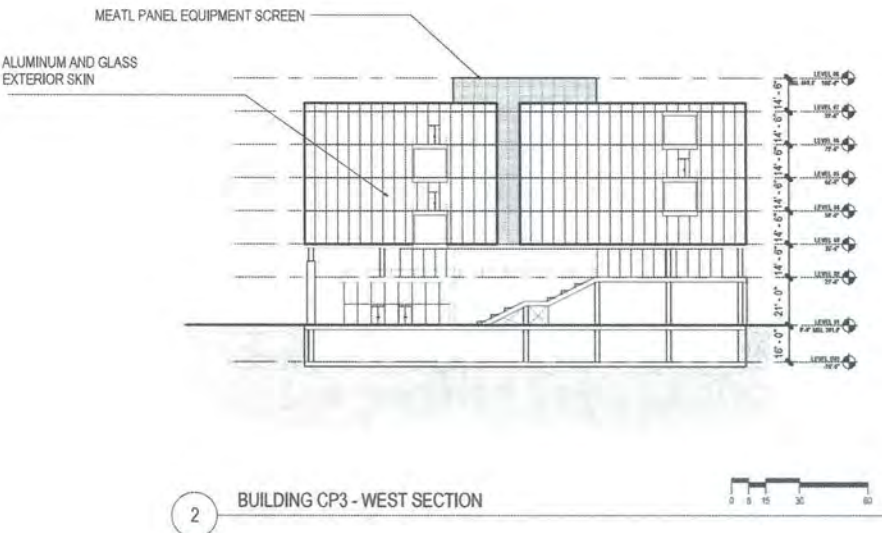
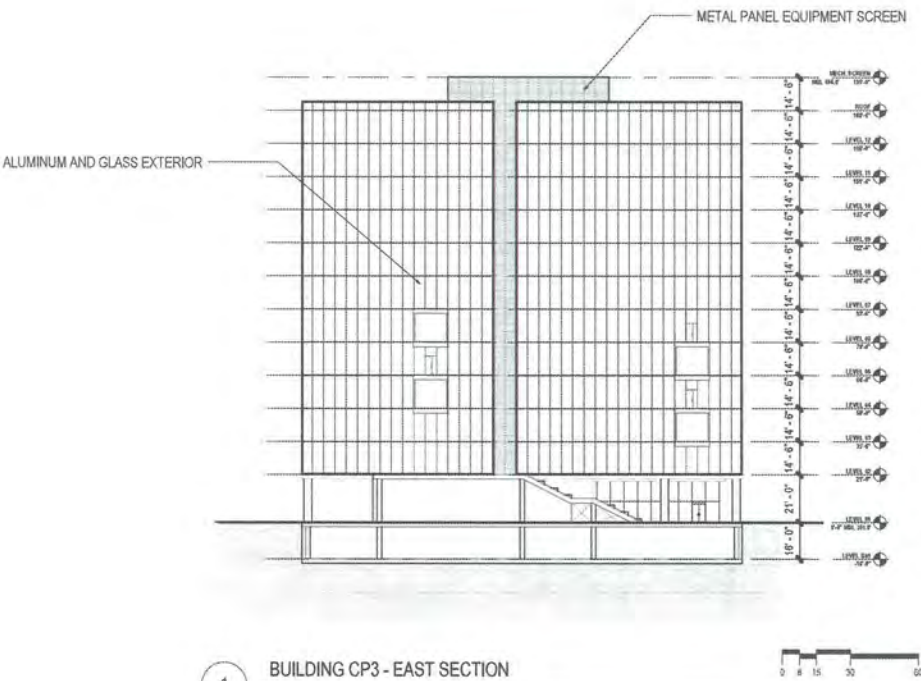
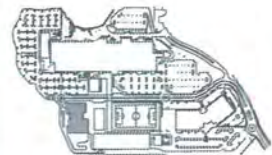
Gensler

△	Date	Issue/Revision	By	To
	11/30/2015	CYCLE 27	HR/SH	SS
	04/01/2016	CYCLE 32	JMD	SS
	06/24/2016	CYCLE 35	JMD	SS
	08/24/2016	CYCLE 38	KD	SS
	09/23/2016	CYCLE 41	KD	SS

NOTES

1. BUILDING CP3 IS A PROPOSED NEW STRUCTURE

KEY PLAN



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55,7538,000

Description
BUILDING CP3 SECTIONS

Scale
1" = 30'-0"

A2.03C

© 2015 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10506 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 A310000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

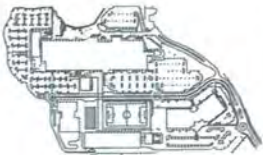
Gensler

Date	Issue/Revision	By	To
11/03/2015	CYCLE 27	HR/EM	SS
04/01/2016	CYCLE 32	JB/KD	SS
06/24/2016	CYCLE 35	JB/KD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

NOTES

1. BUILDING CP4 IS A PROPOSED NEW STRUCTURE

KEY PLAN



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

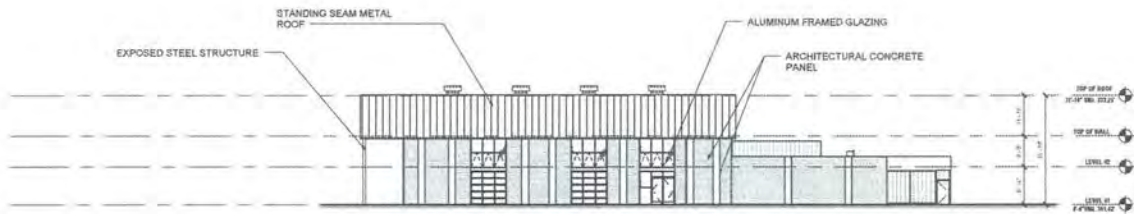
Project Number
55,7538,000

Description
BUILDING CP4 FLOOR PLANS &
ELEVATIONS

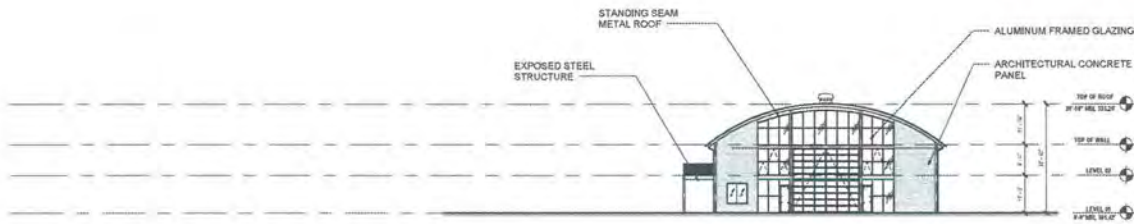
Scale
1" = 20'-0"

A2.04A

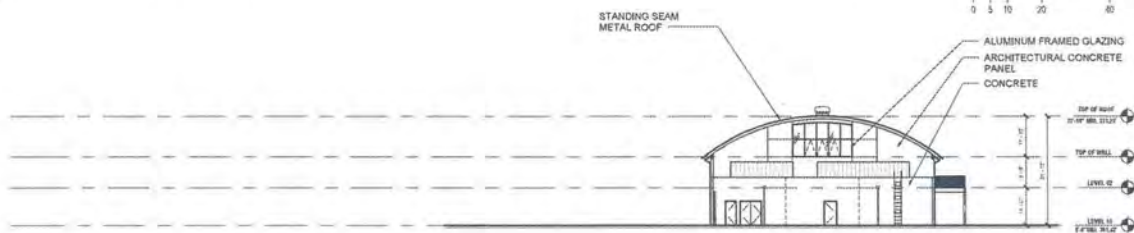
© 2015 Gensler



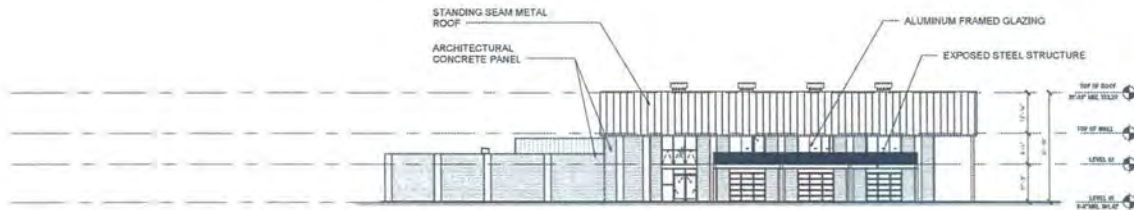
3 BUILDING CP4 - WEST ELEVATION



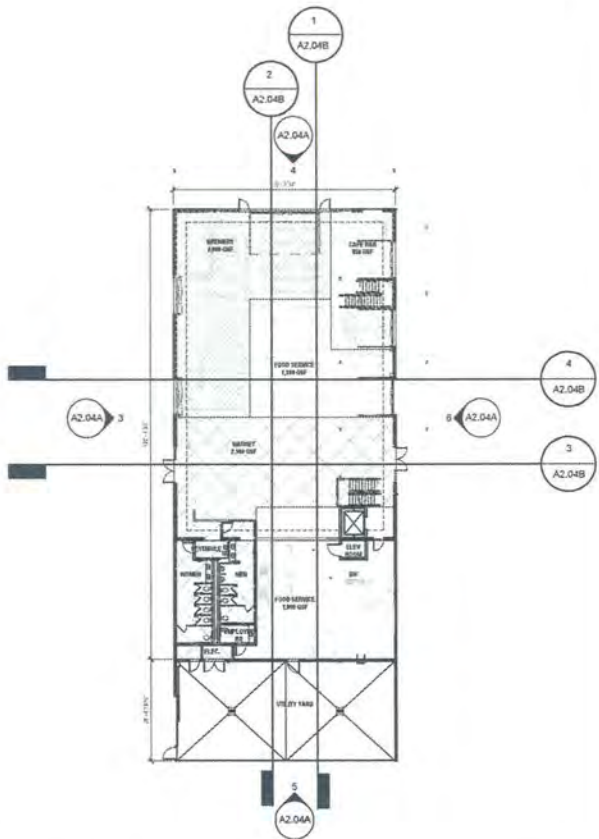
4 BUILDING CP4 - NORTH ELEVATION



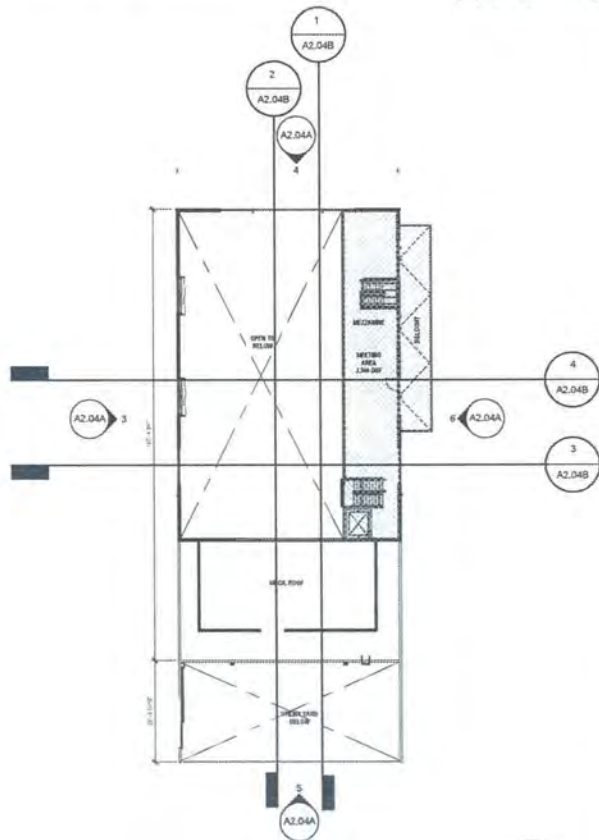
5 BUILDING CP4 - SOUTH ELEVATION



6 BUILDING CP4 - EAST ELEVATION



1 BUILDING CP4 - LEVEL 01 FLOOR PLAN



2 BUILDING CP4 - LEVEL 02 FLOOR PLAN



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10595 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10790 & 10790 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

△	Date	Issue/Revision	By	To
	11/30/2015	CYCLE 27	HR/SH	SS
	04/01/2016	CYCLE 32	JB/KD	SS
	06/24/2016	CYCLE 35	JB/KD	SS
	08/24/2016	CYCLE 38	KD	SS
	09/29/2016	CYCLE 41	KD	SS

NOTES

1. BUILDING CP4 IS A PROPOSED NEW STRUCTURE

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55,7538,000

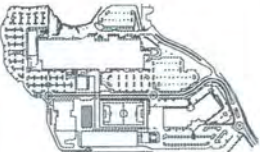
Description
BUILDING CP4 SECTIONS

Scale
1" = 20'-0"

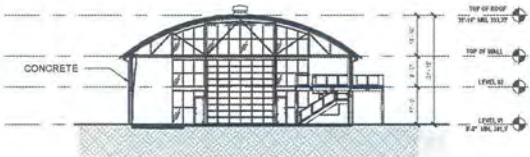
A2.04B

© 2015 Gensler

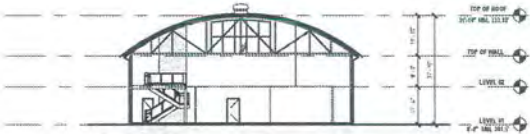
KEY PLAN



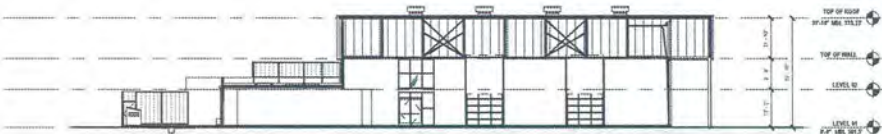
4 BUILDING CP4 EAST WEST - SECTION 4



3 BUILDING CP4 EAST WEST - SECTION 3



2 BUILDING CP4 NORTH SOUTH - SECTION 2



1 BUILDING CP4 NORTH SOUTH - SECTION 1



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10505 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10/10/10 10/10/10 10/10/10 10/10/10
SANTO DOMINGO CA 92112

225 Broadway
Suite 600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Δ	Date	Issue/Revision	By	Ts
	11/30/2015	CYCLE 27	HR/SH	SS
	04/01/2016	CYCLE 32	JMKD	SS
	06/24/2016	CYCLE 35	JMKD	SS
	08/24/2016	CYCLE 38	KD	SS
	09/29/2016	CYCLE 41	KD	SS

NOTES

1. PARKING STRUCTURE IS A PROPOSED NEW FACILITY.

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

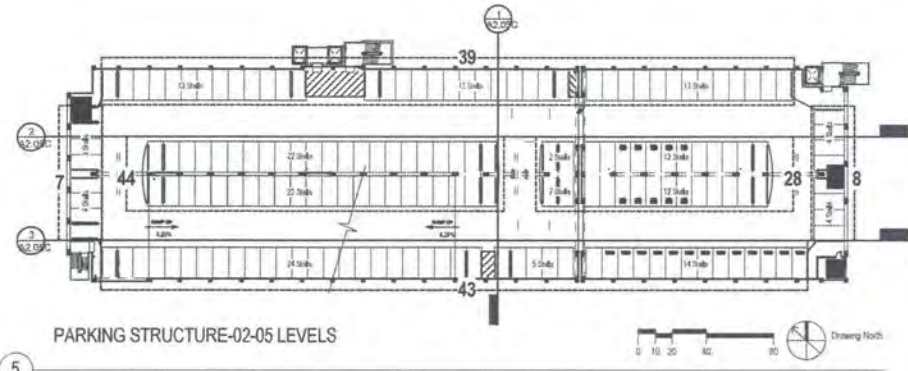
Description
PARKING STRUCTURE FLOOR PLANS

Scale
As Indicated

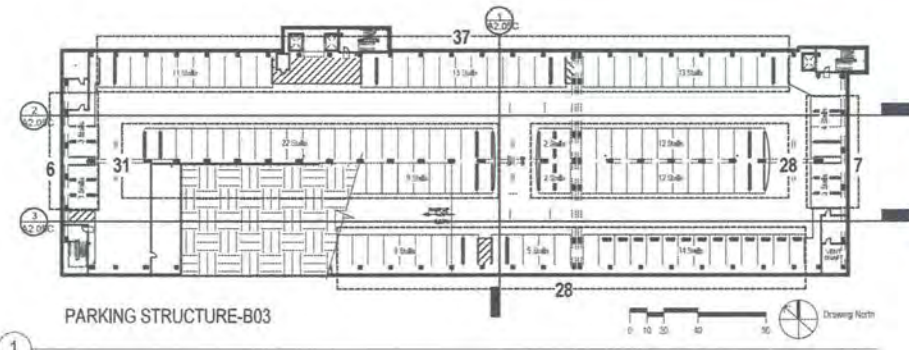
A2.05A

© 2015 Gensler

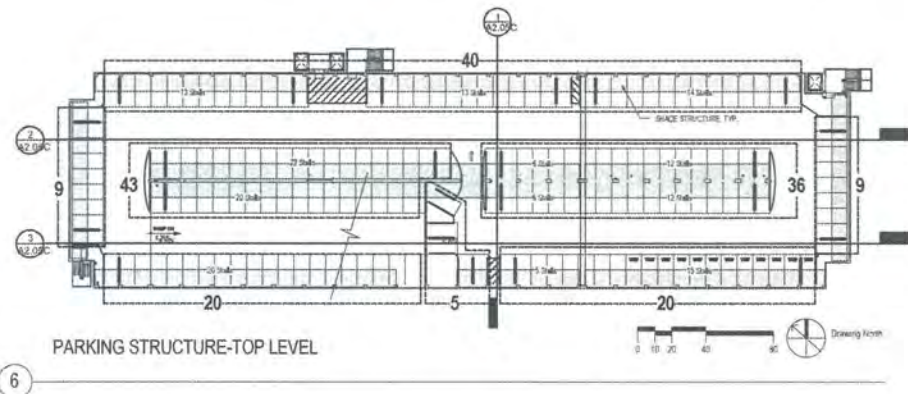
KEY PLAN



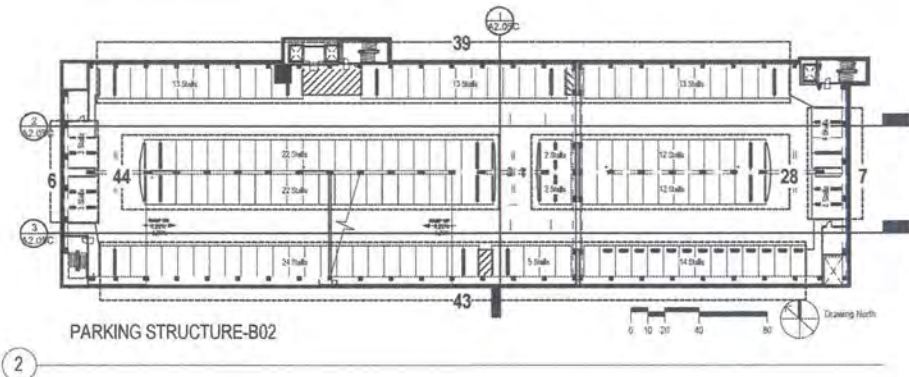
5



1

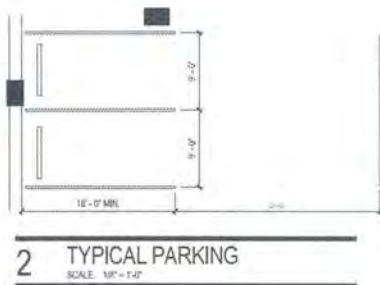


6



2

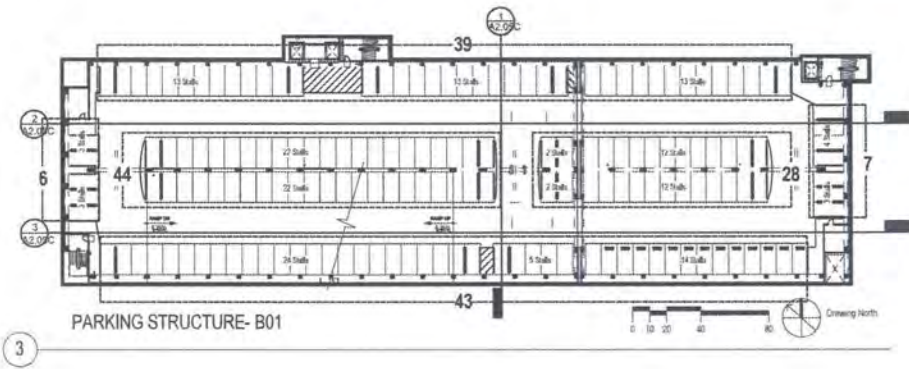
Table 142-05N Minimum Off-Street Parking Space Dimensions			TOTAL GARAGE: 1,440 STALLS
Type of Space	Required Single Space Dimensions	Required Tandem Space Dimensions	
Parking space unobstructed Retail sales uses and eating and drinking establishments	8' 0" wide x 18' long	All uses 9' wide x 30' long	
All other uses	8' wide x 18' long		
Parking space abuts a wall, column, or other immovable obstacle	One side abutting obstacle 9' wide x 18' long	One side abutting obstacle 9' wide x 30' long	
	Two sides abutting obstacle 8' 6" wide x 18' long	Two sides abutting obstacle 9' wide x 30' long	
	Parking Space parallel to aisle (interior space)	8' wide x 21' long	



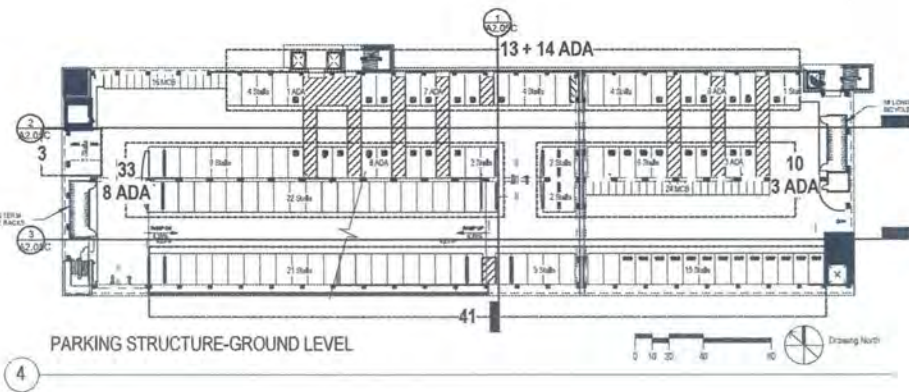
2 TYPICAL PARKING
SCALE: 1/8" = 1'-0"



4 TYPICAL ACCESSIBLE VAN PARKING
SCALE: 1/8" = 1'-0"



3



4

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10296 ALEJANDRO CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

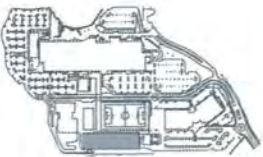
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

NOTES
1. PARKING STRUCTURE IS A PROPOSED NEW FACILITY

KEY PLAN



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

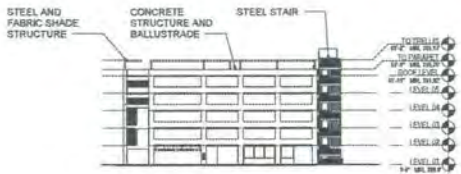
Description
PARKING STRUCTURE ELEVATIONS

Scale
1" = 40'-0"

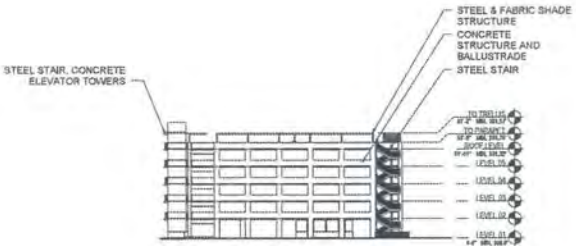
A2.05B

© 2015 Gensler

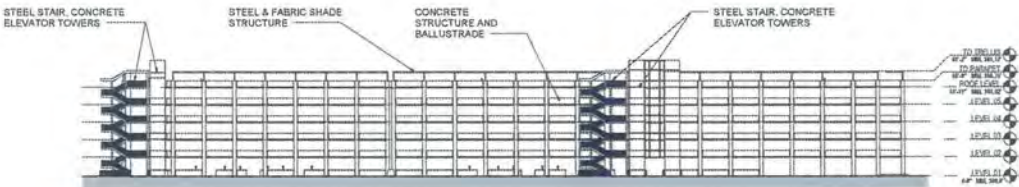
(1) PARKING STRUCTURE - EAST ELEVATION



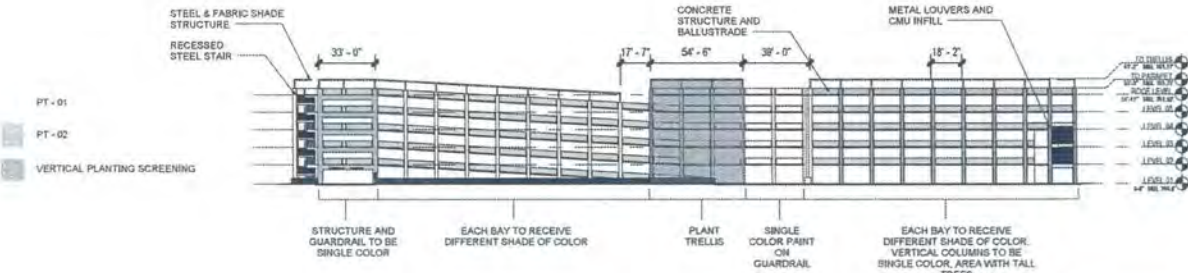
(2) PARKING STRUCTURE - WEST ELEVATION



(3) PARKING STRUCTURE - NORTH ELEVATION



(4) PARKING STRUCTURE - SOUTH ELEVATION



NOTE:
VISUAL BREAKS AND ARCHITECTURAL ARTICULATION OF THE PARKING STRUCTURE ARE REQUIRED TO SCREEN PARKED VEHICLES. ACCEPTABLE EXAMPLES OF ARCHITECTURAL ARTICULATION INCLUDE, BUT ARE NOT LIMITED TO: VEGETATIVE, PERFORATED METAL PANEL, LIGHTWEIGHT METAL STRUCTURE, WOOD, GLASS AND CONCRETE. ACCEPTABLE EXAMPLES OF VISUAL BREAKS INCLUDE, BUT ARE NOT LIMITED TO, SETBACKS, VARIATIONS, SCULPTED FACADE TREATMENTS, CHANGES IN COLOR, MATERIAL, TEXTURE AND LANDSCAPING ELEMENTS. SINGLE TREATMENT OF ANY PARKING STRUCTURE FACADE SHALL NOT EXCEED 50 LINEAR FEET.



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 A14000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

NOTES

1. PARKING STRUCTURE IS A PROPOSED NEW FACILITY

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

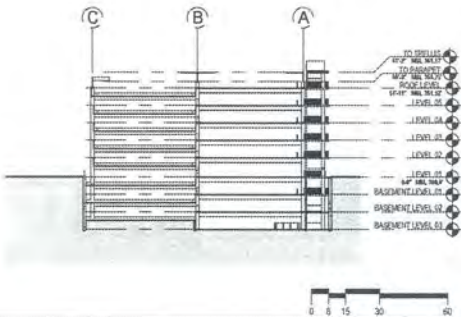
Project Number
55.7538.000

Description
PARKING STRUCTURE SECTIONS

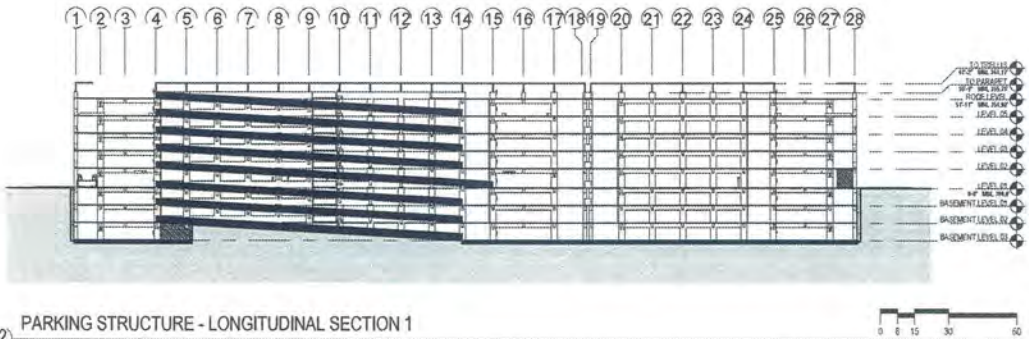
Scale
1" = 40'-0"

A2.05C

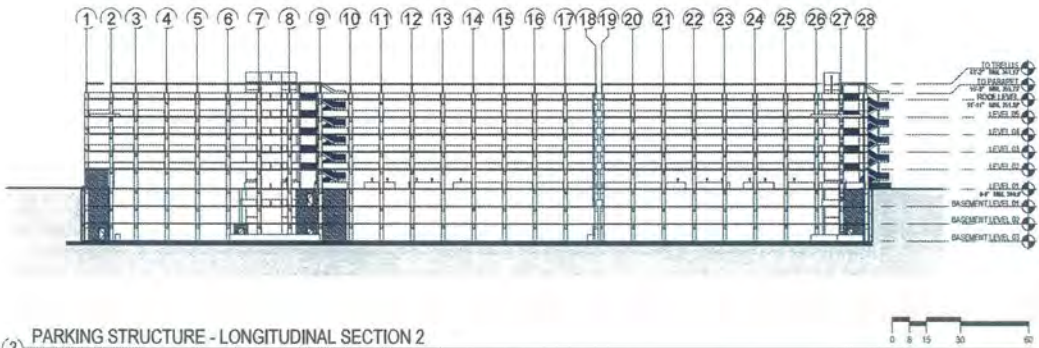
© 2015 Gensler



(1) PARKING STRUCTURE - CROSS SECTION 1

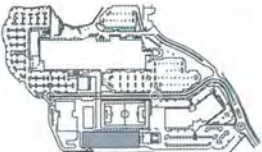


(2) PARKING STRUCTURE - LONGITUDINAL SECTION 1



(3) PARKING STRUCTURE - LONGITUDINAL SECTION 2

KEY PLAN





ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10999 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 Alhambra Campus Point Drive
San Diego, CA 92112

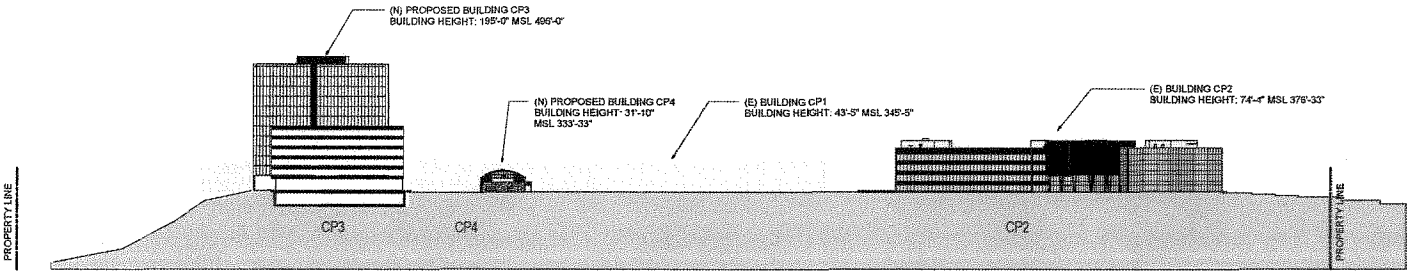
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	HR/BH	SS
04/01/2016	CYCLE 32	JBRD	SS
06/24/2016	CYCLE 35	JBRD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

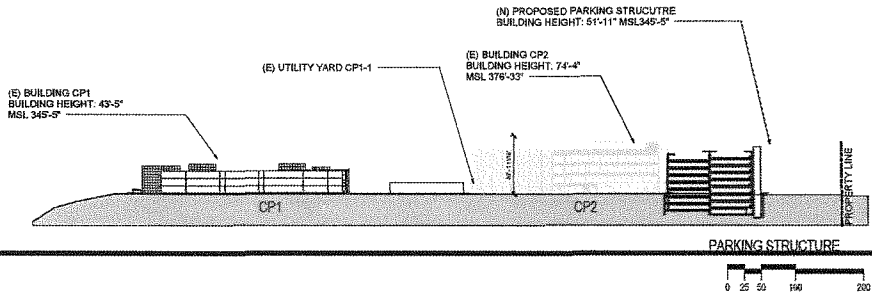
1 SITE SECTION 1 (LOOKING NORTH)

SCALE: 1" = 100'-0"



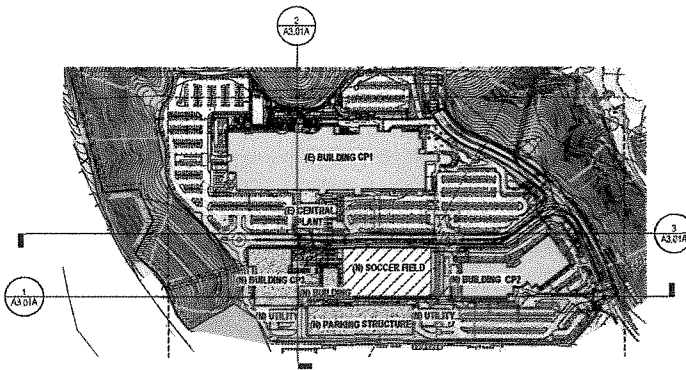
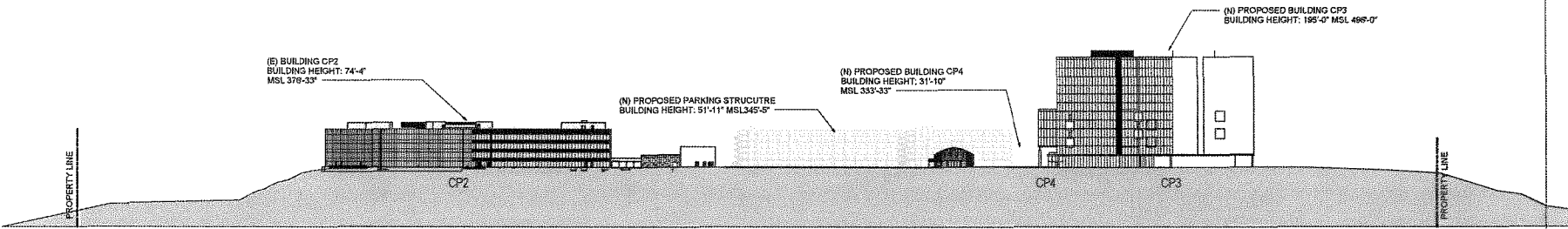
2 SITE SECTIONS 2 (LOOKING EAST)

SCALE: 1" = 100'-0"



3 SITE SECTIONS 3 (LOOKING SOUTH)

SCALE: 1" = 100'-0"



KP SITE SECTION KEY PLAN

SCALE: 1" = 200'-0"

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
SITE SECTIONS

Scale
As Indicated

A3.01A

© 2016 Gensler



Figure 1



Figure 2



Figure 3



Figure 4



Figure 5



Figure 8



Figure 11



Figure 13



Figure 6



Figure 9



Figure 12



Figure 14



Figure 7



Figure 10

Design Guidelines

Introduction

Architectural style, building placement, and building/landscape design for Campus Point should be visually comparable and complimentary with the existing development on the site. Buildings should portray the look of a sustainable, high-tech, scientific research complex fitting with the advanced scientific research work developing inside the buildings and the surrounding Torrey Pines area. The overall intent is to establish a "prestigious corporate image" for Campus Point and be of the highest standard of "green architecture." Figures 1 through 14 demonstrate the basic architectural intent by using examples of the existing buildings. Campus Point illustrates world-class, contemporary architecture expected of a facility in this region.

Site Design

The following general guidelines have been incorporated into the site design. They are listed here to guide the refinement of the Campus Point site planning. All reference (Figure 1).

- Building(s) should be sited and designed to maximize solar access and view corridors. Plazas should be located with the thought of sun access and sun shading.
- Pedestrian walkways should be designed to clearly demarcate main building entrances.
- Site elements such as gathering places and points of visual interest are encouraged for the enjoyment of employees and distinction of important area such as plazas and spaces shall comply with the City of San Diego's Landscape Regulations and Standards.
- Parking should be in unobtrusive and convenient locations whenever possible. Surface parking landscaping must conform to the City's Landscape Regulations and Standards.

Building Placement, Massing & General Design

Buildings should generally be located along the boulevard and near parking structures or surface parking areas (Figure 1). Special consideration should be given to building massing and site planning that would maximize open space and views between buildings and surrounding views. Sensitive treatment of landscape, setbacks, building massing, building systems and fenestrations will promote the "prestigious corporate image" intended for Campus Point. Combinations of structural systems and building massing will allow for sufficient flexibility in designing the building to be able to achieve an individual identity within the design concept and architectural objectives established for the project as a whole. All building elevations shall be designed with equal care. Rear and side elevations shall be as refined as the principal elevation with regard to architectural style and detail. Each building may have unique features though be cohesive with the overall development. Building mass may be articulated with offsets, change of planes, and parapet height (Figures 5, 6, & 7). The base of buildings should relate to the pedestrian scale, color, architectural detailing and visual interest.

Entries

In order to clearly articulate building entrances and enhance the aesthetic quality of entrances, each building should have a unique and distinct entry using elements such as frames (Figure 5), metal awnings, projecting roof elements (Figure 13), and/or special glazing. All aspects of the entry design should give a sense of arrival and be welcoming at the pedestrian level.

Building Finishes

Building materials should be selected that relate and compliment the materials used in the existing complex, such as concrete, metal, and a variety of glass (Figures 2 thru 13). Use of contrasting materials may be appropriate accents (Figure 4). Special attention should be paid to the selection of sustainable and recycled materials that advance the LEED goals and resource conservation.

Brush Management

Where the full defensible space cannot be provided for buildings within the Brush Management Zone, alternative compliance measures shall be incorporated under authority of the fire chief to achieve a comparable level of protection. Building CP3 will be subject to all CBC 7A requirements. In addition, the structure will need to be further "hardened" by upgrading openings to dual-glazed, dual-tempered panes where dual-glazed, per the CBC 7A.

Glazing / Fenestration

Fenestration treatments should be simple and straight forward to convey a sleek and contemporary image Figures 2, 5, 8, 9, & 11). Building design shall minimize light and glare reflectivity to adjacent roads and buildings through necessary building articulation and selection of exterior building materials. Glazing with an outdoor visible light reflectivity greater than 55% should not be used. A maximum of 50% of the exterior of buildings may be comprised of material with light reflectivity greater than of 30% of Municipal Code. Glazing in colors and level of transparency that harmonize with the overall existing color palette should be utilized. Mullions may be expressed in a variety of ways where details might be highly expressed, minimized, and/or directional on a horizontal or vertical plane.

Parapet / Roof

Parapet articulation should fit the contemporary architectural style of the existing buildings (Figures 6 & 7). Facade glazing may extend above the roof line as an extension of the facade and be of the correct opacity to obscure all structural and mechanical elements. Lighting and signage may be used on the upper portion of the buildings(s) in ways not to overpower the overall building design and reflect the quality of materials. Roofs are appropriate for sustainable features such as water reclamation, photovoltaic panels, and solar reflectance to minimize the "heat island affect". The addition of roof mounted solar arrays should be treated as an integral design element that compliments the overall building design. All other roof top equipment shall be screened and integrated into the building design (Figure 12).

Screening

Exterior screens are vital to the articulation of facades, roofs and overall design. Screens shall be of superior quality and may be used in a variety of methods for visual interest (Figures 11 & 13). Metal screens may be used to protect the buildings from solar heat gain and aesthetically contribute to the overall design.

Outdoor Activities

The landscape site design endeavors to enhance the social, environmental and aesthetic qualities of the Campus. The master plan provides employees with ample outdoor amenities at a variety of scales. Each building has an associated outdoor gathering area suitable for small to medium size meetings and events. Additionally, intimate garden and tree-shaded spaces are provided adjacent to each building for breaks or outdoor dining uses.

Parking Structure

The parking structure shall be designed to complement the surrounding buildings. Structures will be made of concrete and shall utilize architectural articulation to screen parked vehicles on all sides. Examples include, but are not limited to, vegetative, perforated metal panel, light-weight metal structure, wood, glass and concrete. Top levels of parking structures that are open to the sky shall meet surface landscape requirements for shade over parking. (Figure 14). Structures shall be designed to be efficient and cohesive with the overall design of Campus Point. Use of parking ramps is encouraged in lieu of speed ramps for a more efficient structure and small building footprint.

Loading and Utilities

Loading areas when located on-grade shall be designed to be unobtrusive or screened from view. Mechanical equipment shall be placed within structures or screened from view.

Lighting

The style of light fixture and its quality of light will have a dramatic influence on the appearance of the campus. Particular attention should be paid to the compatibility of light fixtures and lamp types both throughout the site as well as on the buildings. To ensure design unity within the project a consistent lighting theme is recommended.

Landscape

See Landscape sheets for landscape design and Brush Management.

Signage

Signage shall comply with City of San Diego Standards.

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
16290 RUIRON CAMPUS POINT DRIVE
SAN DIEGO, CA 92132

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.537.2500
Fax: 619.537.2520

Gensler

Date	Issue/Revision	By	To
11/20/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
06/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55,7538,000

Description
DESIGN GUIDELINES

Scale

A4.01

© 2015 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10996 TORREYANA ROAD SUITE 250
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Steven Schrader

From: Steven Schrader
Sent: Friday, October 23, 2015 3:27 PM
To: jian.hao@usmc.mil, kristin.lamper@usmc.mil
Cc: Michael Barbera, Neil Hyattman, Sanjeev Krishnam, Scott Strom, Dan Mayrman, donny@improvements.com, Vito Ruggel, Kevin Davies
Subject: Alexandria Real Estate (ARE) / Proposed Soccer Field at Campus Point
Attachments: 15_1023 ARE Campus Point Site Plan.pdf; 15_1023 ARE Campus Point Google Earth Snapshot.pdf; 15_0730 ARE Campus Point Soccer Field 50 poles, 50ft.pdf; 15_0730 Light Pole Cut Sheet - Ballast Lamp Technical.pdf

Importance: High

Good Afternoon, Mr. Lam & Ms. Camper:

My name is Steve Schrader, and I am the Senior Project Manager at Lamper's San Diego office working with our Client, Alexandria Real Estate, on the design of a planned recreational soccer field.

The location of the proposed soccer field is immediately west of the building located at 10290 Campus Point Drive, and immediately south of the building located at 10300 Campus Point Drive.

Please see attached overall master plan (in-process), indicating the two existing buildings/addresses, as well as a current Google Earth image showing the proposed soccer field location (yellow-highlighted rectangle).

In addition to the site images noted above, I have attached copies of a field lighting photometric plan, illustrating the locations of six (6) 50-foot high poles. Each pole will be outfitted with eight (8) 1500-watt metal halide luminaires, directed downward onto the field plane, each including the optional cut-off visor shown in the attached Light Pole Cutsheet - Ballast Lamp Technical document.

On behalf of our Client, we are submitting this information and requesting a courtesy review by your office. We would like your office to confirm whether or not the proposed installation of six (6) 50-foot high poles & fixtures pose any problems related to MCAS operations (i.e. fixtures heights, lighting levels/glare at night, etc.). Any feedback you can offer at this time will be greatly appreciated.

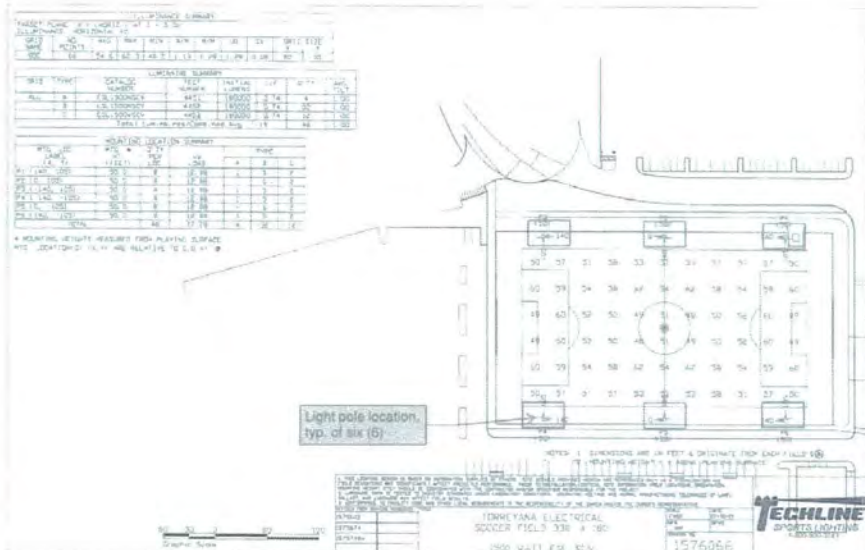
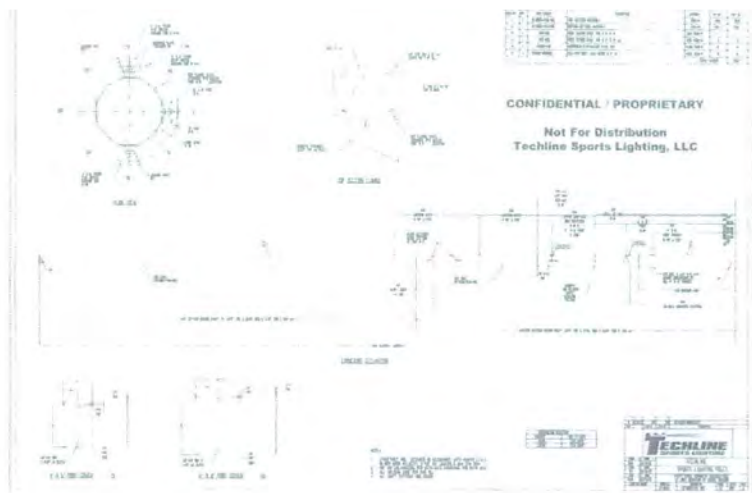
Should you have any questions, or require additional information, please do not hesitate to call or write.

Sincerely,

Steve

Steven T. Schrader, AIA
+1 619 557 2500 Direct
+1 619 557 2500 Main
+1 619 905 4590 Mobile

Gensler
225 Broadway
Suite 1600
San Diego, California 92101
USA



TECHLINE SPORTS LIGHTING

TECHNICAL BULLETIN
METAL HALIDE

EYE Multi-Metal™
M1500BSX/HOR

ANSI CODE: M48E Product Code: 84526

FEATURES:

- High Output, Horizontal Metal Halide
- Nickel plated base with ceramic insulator
- High initial and maintained lumens
- Superior lamp to lamp color consistency

PERFORMANCE DATA

Initial lumens at rated watts after 100 hours operation at horizontal position*	180000	(lm)
Mean lumens at 5h on/2h off cycle at horizontal position* <td>166000</td> <th>(lm)</th>	166000	(lm)
Rated average life at 5h on/2h off cycle, 75% annual <td>3000</td> <th>(hr)</th>	3000	(hr)
Warm-up time <td><10</td> <th>(min)</th>	<10	(min)
Compared color temperature <td>4200</td> <th>(K)</th>	4200	(K)
CRI Chromaticity <td>0.380, 0.382</td> <th>(x, y)</th>	0.380, 0.382	(x, y)
Color rendering index (CRI) <td>85</td> <th>(%)</th>	85	(%)
Operating position <td>Horizontal only</td> <th>(deg)</th>	Horizontal only	(deg)
Hot surface temp <td><150</td> <th>(°F)</th>	<150	(°F)

ELECTRICAL CHARACTERISTICS

Parameter	Value	Unit
Nominal lamp wattage	1500	W
Nominal lamp voltage	258	V _{max}
Nominal lamp current	6.2	A _{max}
Ballast requirements	Use with ballast rated for ANSI M48 lamp	

PHYSICAL DESCRIPTION

Parameter	Value	Unit
Effective arc length	88 (3.46)	mm (in)
Maximum overall length	385 (15.16)	mm (in)
Light center length	241 (9.48)	mm (in)
Sub diameter	178 (7.01)	mm (in)
Maximum base temperature	270 (410)	°C (°F)
Maximum bulb temperature	400 (752)	°C (°F)
Sub designation	B756	
Sub material	Borosilicate (hard glass)	
Arc tube material	Quartz	
Sub finish	Clear	
Base designation	E39 Mogul	

FIXTURE REQUIREMENT

E Rated - Enclosed Fixture

ENVIRONMENTAL

Parameter	Value	Unit
Mercury (Hgl) Content (max.)	174	mg
Program per Lumen Hour	402	pp/Lmh

*Please contact EYE Lighting for information about performance of this product at a variety of angles and ages.

OSHA 18001 2007 Certified ISO 17025 2005 Accredited ISO 9001 2008 Certified ISO 14001 2004 Certified
Address: 9150 Hammonds Rd. Mentor, OH 44060
Phone: 888-46 LAMP5 Fax: 440-811-7365 E-Mail: sales@eyelighting.com
Phone: (440) 350-7000 Fax: (440) 350-7001 www.eyelighting.com

TECHLINE SPORTS LIGHTING

Integral Ballasted Luminaire
Horizontal Optics

TSL

HOMER COMMUNITY SCHOOL FOOTBALL FIELD LIGHTING PROJECT Type FB

Dimensions

Specifications

Housing
Die cast aluminum housing. Isolated die cast aluminum socket housing. Isolated ballast compartment. Isolated capacitor compartment. Isolated wiring chamber (maximum 90° input cable). Vertical armoring/grounding memory. Horizontal armoring indicator. Polyester powder paint finish (grey).

Optics
Horizontal mounted lamp. Uses extended MT-56 lamps. Four point lighting. Stainless steel lamp ring. Stainless steel door hinge. Silicone gasketing. Temperature rise in glass lens. Filtered optics. Round lamp support standards.

Installation
One captive mounting bolt (1/4" dia.) included in fixture. Arming sight included. Shipped assembled from factory. Single ballast cover (not for any other).

Special Features
Up to 100,000 cycle vibration tested. Wind tunnel tested to 120 mph. Gasket hardware. UL 1598 listed and CSA cULtL certified to 40°C ambient operation. Mogul socket. Hot surface rated 800° rated 100% factory electrical safety.

Ordering Information

Series	Watt	Optic Type	Package	Lamp	Options	Options
TSL	1500	5	L	V		

TSL SERIES ACCESSORY

Series	Watt	Optic Type	Package	Lamp	Options	Options
TSL	1500	5	L	V		

Comments - PER FINAL PHOTOMETRIC DESIGN

TECHLINE Distributed by: JIM THOMAS
Techline Sports Lighting 15101 So. Hwy 51, Austin, TX 78744 • 1-877-878-6667 • 512-977-8882

TOP VIEW

FRONT VIEW

Mounting Plate - 1/4" x 4" x 10"

Base Plate - 12" x 12" x 3/4"

**** Hot Dipped galvanized after fabrication to ASTM A123 specifications**

**** NOT TO SCALE**

TECHLINE SPORTS LIGHTING

10303 STORM DR. AUSTIN, TX 78734
PHONE: (512) 977-8880
FAX: (512) 977-8882

DATE: 4-24-13 REV: CHECKED BY: B FIXTURE CROSSARM ASSEMBLY
DRAWING NUMBER: TDA B FIX DRAWN BY: WRW

Date	Issue/Revision	By	To
11/03/2015	CYCLE 27	HRBH	SS
04/01/2016	CYCLE 32	JBKD	SS
06/24/2016	CYCLE 35	JBKD	SS
08/24/2016	CYCLE 38	KD	SS
09/29/2016	CYCLE 41	KD	SS

Seal/Signature

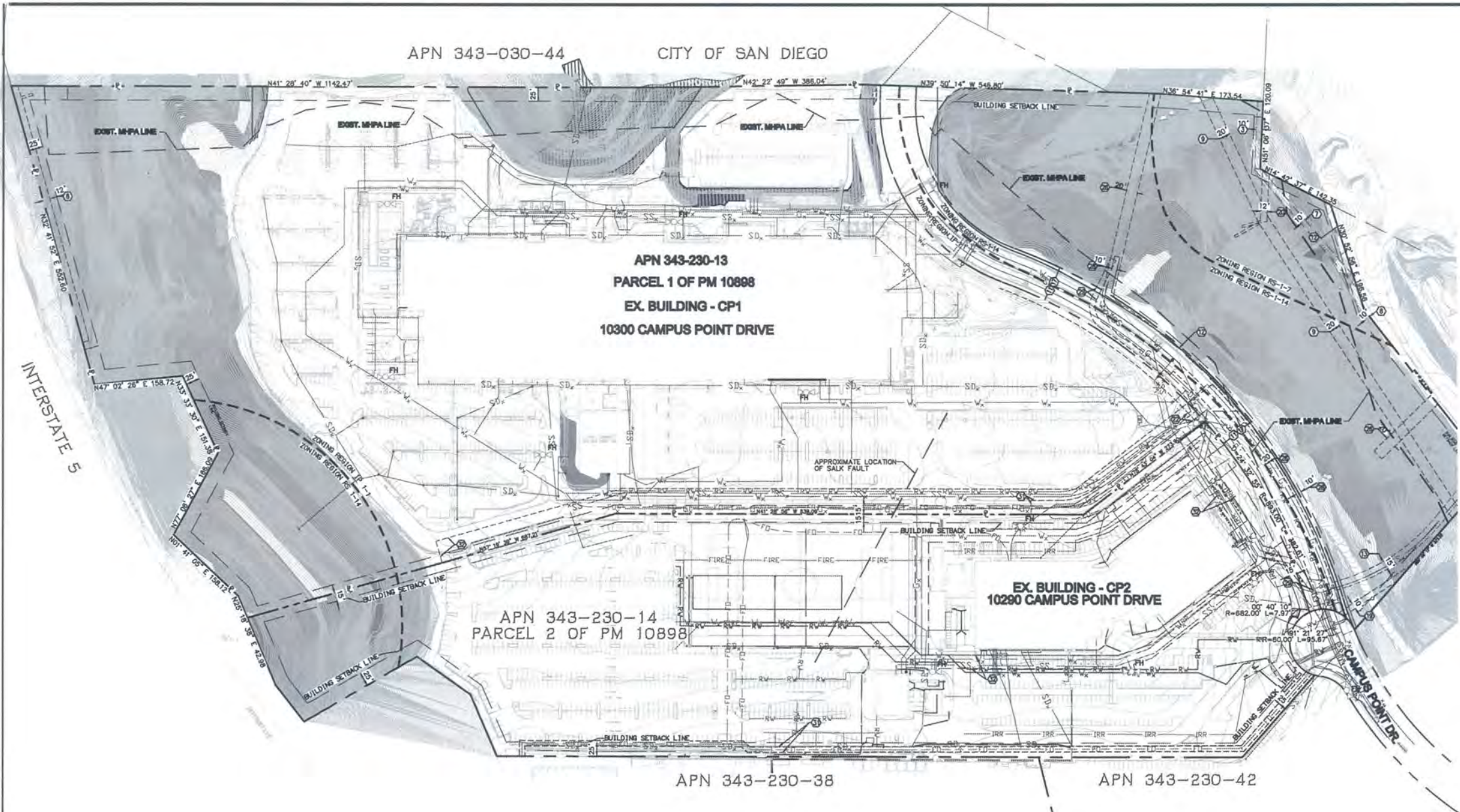
Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
SOCCER FIELD LIGHTING AND DATA

Scale

A4.02



LEGEND

- EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING WATER
EXISTING FIRE HYDRANT
EXISTING STORM DRAIN
EXISTING SEWER
EXISTING TREES
PROPERTY LINE
EXISTING EASEMENT
BUILDING SETBACK
SLOPE 25% OR GREATER
SLOPE 25% OR GREATER (PREVIOUSLY GRADED)
EXIST. MHPA LINE/
ZONING LINE

LEGAL DESCRIPTION

PARCELS 1 AND 2 OF PARCEL MAP NO. 10898, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 18, 1981 AS FILE NO. 81-015313 OF OFFICIAL RECORDS.

APN 343-230-13, 14

BENCHMARK

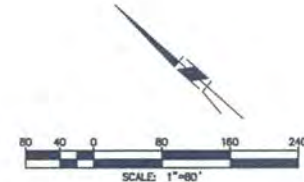
BRASS PLUG AT NW CORNER OF CAMPUS POINT DRIVE AND GENESEE AVENUE.
EL+352.838 DATUM=MEAN SEA LEVEL

TOPOGRAPHY SOURCE

AERIAL SURVEY AS PART OF AN ALTA SURVEY DATED 08-19-07 BY RBF CONSULTING, FIELD SURVEY DATED 5-2-11 BY RBF CONSULTING AND FIELD SURVEY DATED 11-20-15 BY MICHAEL BAKER INTERNATIONAL, INC., AND DWG. NO. 36635-0

EASEMENTS LEGEND

- ① EASEMENT AFFECTING SAID LAND IN FAVOR OF THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED NOVEMBER 7, 1982 AS INSTRUMENT NO. 191156 OF OFFICIAL RECORDS.
② EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 13, 1965 AS INSTRUMENT NO. 8236 OF OFFICIAL RECORDS.
③ EASEMENT IN FAVOR OF THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED AUGUST 10, 1965 AS INSTRUMENT NO. 143323 OF OFFICIAL RECORDS.
④ EASEMENT IN FAVOR OF THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED JUNE 8, 1971 AS INSTRUMENT NO. 120181 OF OFFICIAL RECORDS.
⑤ EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED MARCH 10, 1972 AS INSTRUMENT NO. 58808 OF OFFICIAL RECORDS.
⑥ OFFER OF DEDICATION TO PUBLIC USE OF A PORTION OF SAID LAND, DESIGNATED ON MAP NO. 8303 AS "RESERVED FOR FUTURE STREET"; SAID OFFER WAS REJECTED ON SAID MAP, BUT IS SUBJECT TO FUTURE ACCEPTANCE UNDER THE PROFESSIONS CODE OF THE STATE OF CALIFORNIA.
⑦ EASEMENT FOR OPEN SPACE AND INCIDENTAL PURPOSES, SHOWN OR DEDICATED ON MAP NO. 8303.
⑧ EASEMENT FOR A 15 FOOT SEWER AND INCIDENTAL PURPOSES, SHOWN OR DEDICATED ON MAP NO. 8303.
⑨ EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR WATER MAIN INCLUDING ANY OR ALL APPURTENANCES THERETO AND INCIDENTAL PURPOSES RECORDED MARCH 20, 1980 AS INSTRUMENT NO. 80-088082 OF OFFICIAL RECORDS.
⑩ EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED NOVEMBER 13, 1981 AS INSTRUMENT NO. 81-359917 OF OFFICIAL RECORDS.
⑪ EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED DECEMBER 29, 1981 AS INSTRUMENT NO. 81-404637 OF OFFICIAL RECORDS.
⑫ EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR WATER MAIN INCLUDING ANY OR ALL APPURTENANCES THERETO AND INCIDENTAL PURPOSES RECORDED DECEMBER 17, 1982 AS INSTRUMENT NO. 82-386774 OF OFFICIAL RECORDS.
⑬ EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ACCESS AND UTILITIES AND INCIDENTAL PURPOSES RECORDED AUGUST 3, 1990 AS INSTRUMENT NO. 90-427022 OF OFFICIAL RECORDS.
⑭ AGREEMENT BETWEEN IVAC CORPORATION AND TIME WARNER ENTERTAINMENT TO WHICH REFERENCE IS HEREBY MADE FOR FULL PARTICULARS DATED JULY 14, 1995 REGARDING AN EASEMENT, RIGHT-OF-WAY AND LICENSE FOR THE RIGHT TO INSTALL, OPERATE AND MAINTAIN CABLE AND CABLE-RELATED IMPROVEMENTS AND CERTAIN OTHER PURPOSES RECORDED AUGUST 23, 1995 AS INSTRUMENT NO. 1995-0371849 OF OFFICIAL RECORDS.
⑮ EASEMENT IN FAVOR OF QUALCOMM INCORPORATED FOR FIBER OPTIC AND INCIDENTAL PURPOSES RECORDED JULY 5, 2007 AS INSTRUMENT NO. 2007-0449873, OF OFFICIAL RECORDS.
⑯ EASEMENT IN FAVOR OF QUALCOMM INCORPORATED FOR ACCESS AND INCIDENTAL PURPOSES RECORDED JULY 5, 2007 AS INSTRUMENT NO. 2007-0449873, OF OFFICIAL RECORDS.
⑰ EASEMENT IN FAVOR OF QUALCOMM INCORPORATED FOR FIBER OPTIC AND INCIDENTAL PURPOSES RECORDED JULY 1, 2015 AS INSTRUMENT NO. 2015-0344922, OF OFFICIAL RECORDS.
⑱ EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR PUBLIC WATER MAIN AND ACCESS RECORDED AUGUST 13, 1997 AS INSTRUMENT NO. 1997-0388667, OF OFFICIAL RECORDS.



ENGINEER OF WORK:

Brian D. Oliver, P.E. No. 45045
EXP. 3/31/18



ALEXANDRIA

ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10300 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
EXISTING CONDITIONS PLAN

Scale
As indicated

C1.0

©2018 Gensler

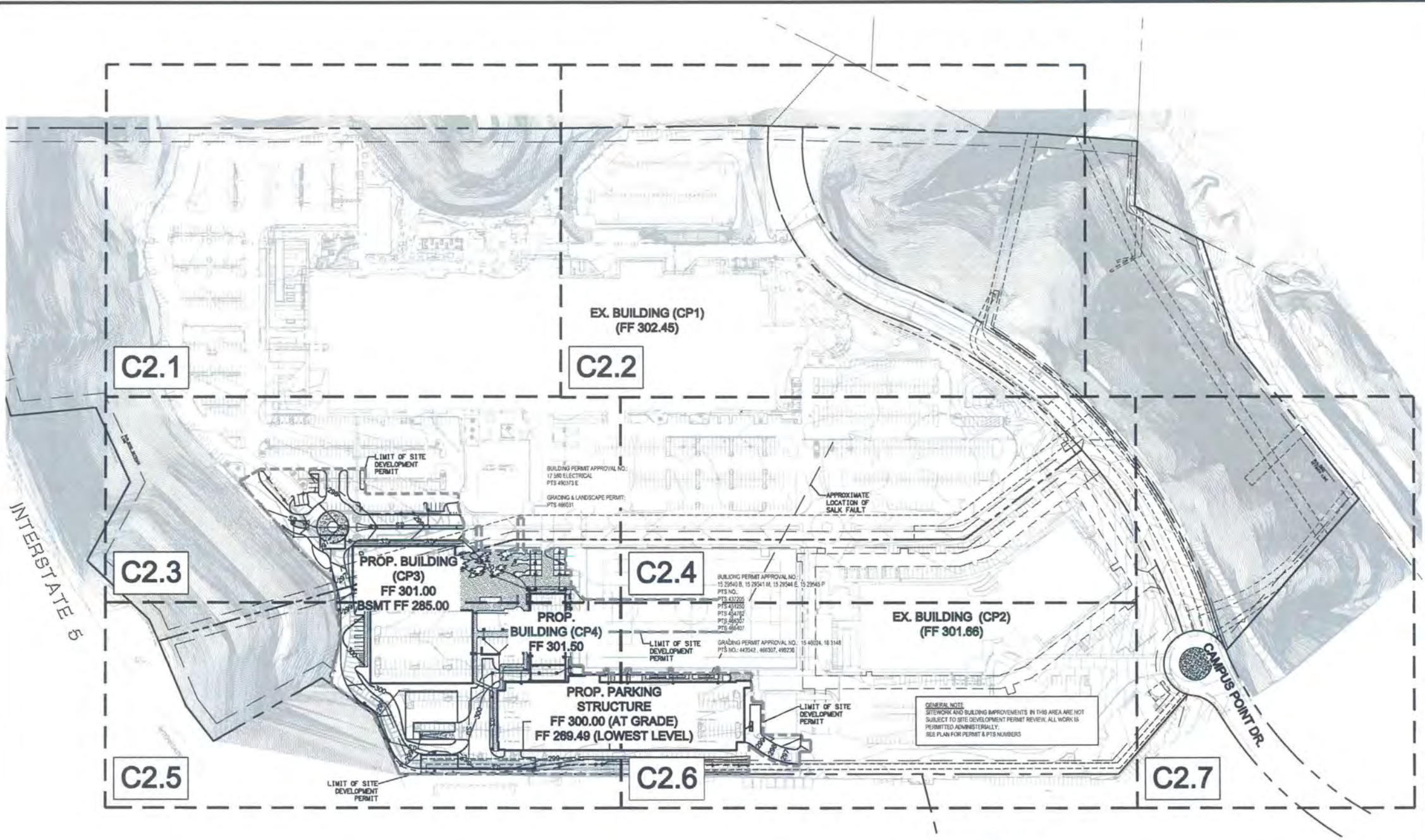
ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES
10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10,200 & 10,000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92122

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2530

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 40		
10/27/2016	CYCLE 42	KD	SS



NOTES

RUNOFF RESULTING FROM PROPOSED DEVELOPMENT SHALL BE DIRECTED AWAY FROM ENVIRONMENTALLY SENSITIVE LANDS.

ENVIRONMENTALLY SENSITIVE LANDS TO BE LEFT UNDISTURBED, SHALL BE PLACED INTO A COVENANT OF EASEMENT, AND SUBJECT TO LDC, SECTION 143.0152.

THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.

AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.

MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.

UNMITIGATED POST-PROJECT OUTFLOWS TO EACH OUTLET LOCATION ARE LESS AS COMPARED TO THE PRE-PROJECT CONDITION FOR ALL DISCHARGE LOCATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

A COPY OF THE ACKNOWLEDGMENT FROM THE SDRCB THAT AN NOI HAS BEEN RECEIVED FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF SAN DIEGO WHEN RECEIVED; FURTHER, A COPY OF THE COMPLETED NOI FROM THE SDRCB SHOWING THE PERMIT NUMBER FOR THIS PROJECT SHALL BE FILED WITH THE CITY OF SAN DIEGO WHEN RECEIVED.

IN ADDITION, THE OWNER(S) AND SUBSEQUENT OWNER(S) OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT AND BY SDRCB ORDER NO. 2009-0009-DWG, AND ANY SUBSEQUENT AMENDMENTS THERETO, SHALL COMPLY WITH SPECIAL PROVISIONS AS SET FORTH IN ORDER NO. 2009-0009-DWG.

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SUBDIVIDER SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) ON THE FINAL CONSTRUCTION DRAWINGS, CONSISTENT WITH THE APPROVED WATER QUALITY TECHNICAL REPORT.

GRADING QUANTITIES

TOTAL AMOUNT OF SITE TO BE GRADED: 6.62 ACRES
PERCENT OF TOTAL SITE GRADED: 11.7%
AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 16.90 ACRES
PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 29.40%
AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0%
PERCENT OF TOTAL SITE WITHIN HILLSIDE REVIEW: 0%
AMOUNT OF CUT: 15,400 CY**
AMOUNT OF FILL: 4,700 CY**
MAXIMUM HEIGHT OF FILL SLOPE 6'** FEET 2:1 SLOPE RATIO
MAXIMUM HEIGHT OF CUT SLOPE 4'** FEET 2:1 SLOPE RATIO
AMOUNT OF EXPORT SOIL: 10,700 CY**
RETAINING WALLS: HOW MANY: 1
MAXIMUM LENGTH: 180'
MAXIMUM HEIGHT: 3.5'

** NUMBERS DO NOT INCLUDE A TOTAL EXCAVATION OF 95,800 CY FOR BASEMENT OF CP3 (MAX OUT=16'), 3 UNDERGROUND STORIES FOR PARKING GARAGE (MAX OUT=31'), AND EXCAVATION REQUIRED FOR THE FOUNDATION OF CP4 **

ALL EXCAVATED MATERIALS TO BE EXPORTED SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION "GREEN BOOK", 2009 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.

GRADING LEGEND

- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- GRADING LIMITS/SANICUT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EASEMENT
- PROP. MHFA LINE
- PROPOSED ASPHALT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED VEHICULAR CONC
- PROPOSED ROOF DRAIN
- PROPOSED FIRE HYDRANT
- RETAINING WALL
- MODULAR WETLAND
- GREASE INTERCEPTOR

- FLOW DIRECTION
- STORM DRAIN LINE
- CATCH BASIN
- "A-4" CLEANOUT
- CURB INLET
- SEWER/STORM DRAIN TYPE CLEANOUT
- WATER METER
- TYPE "T" CATCH BASIN
- GATE VALVE
- PROPOSED BIO-FILTRATION
- PROPOSED STORM WATER DETENTION VAULT
- REMOVE EXISTING IMPROVEMENT
- PERFORATED UNDER-DRAIN SYSTEM
- BACKFLOW PREVENTOR
- LIMIT OF SITE DEVELOPMENT PERMIT

ENGINEER OF WORK:
BRIAN K. OLIVER, R.C.E. 45045
EXP. 3/31/18

SCALE: 1"=80'

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55,7538.000

Description
OVERALL
GRADING PLAN
Scale
As Indicated

C2.0

© 2016 Gensler


ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyans Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10240 & 10100 CAMPUS POINT DRIVE
SAN DIEGO, CA 92122

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
05/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

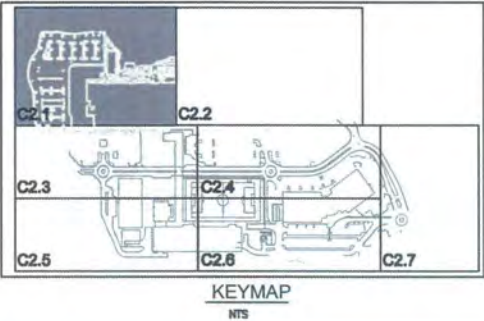
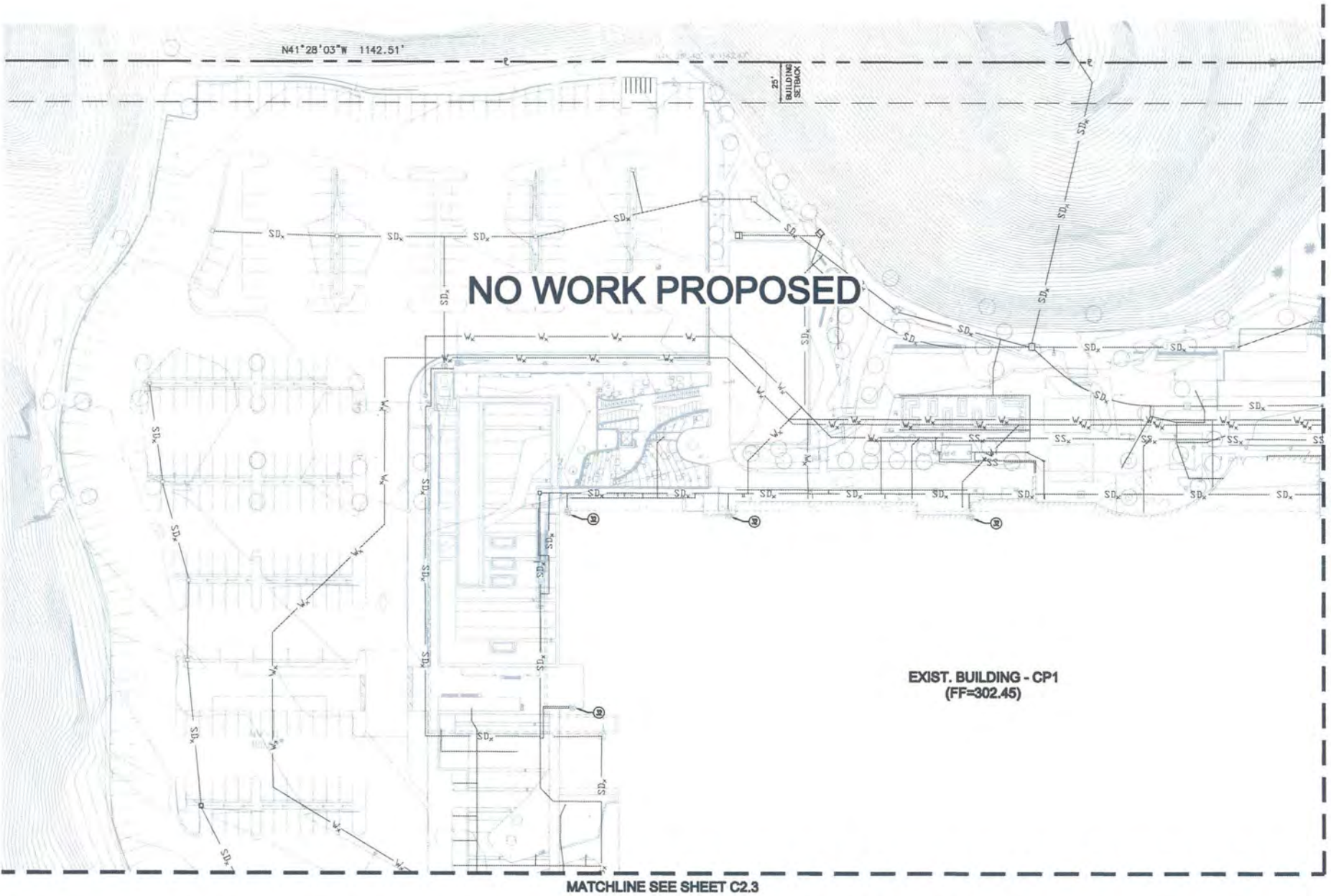
Project Number
55.7538.000

Description
GRADING PLAN

Scale
As indicated

C2.1

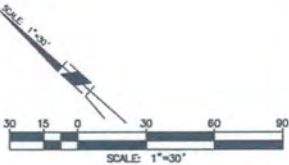
©2018 Gensler



CONSTRUCTION NOTES
EXISTING ROOF DRAIN

NOTE:
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

ENGINEER OF WORK:
Brian Oliver
BRIAN K. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18





ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10200 A HUNTER CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/03/2015	CYCLE 27		
04/01/2016	CYCLE 32		
08/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
08/25/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

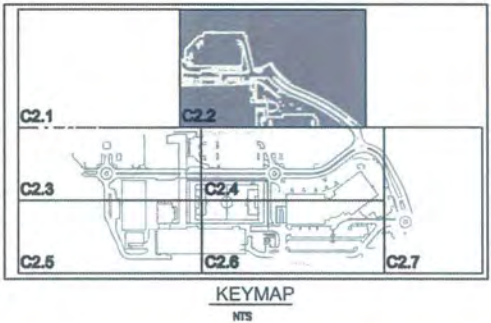
Project Number
55.7538.000

Description
GRADING PLAN

Scale
As indicated

C2.2

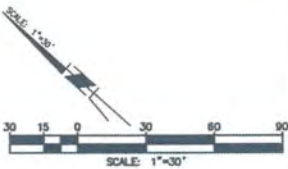
©2015 Gensler



CONSTRUCTION NOTES
Ⓢ EXISTING ROOF DRAIN

NOTE:
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

ENGINEER OF WORK:
BRIAN R. OLIVER, R.C.E. 45045
EXP. 3/31/18
DATE: 2-14-2014





ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES

10956 Torreyana Road Suite 250
San Diego, CA 92121

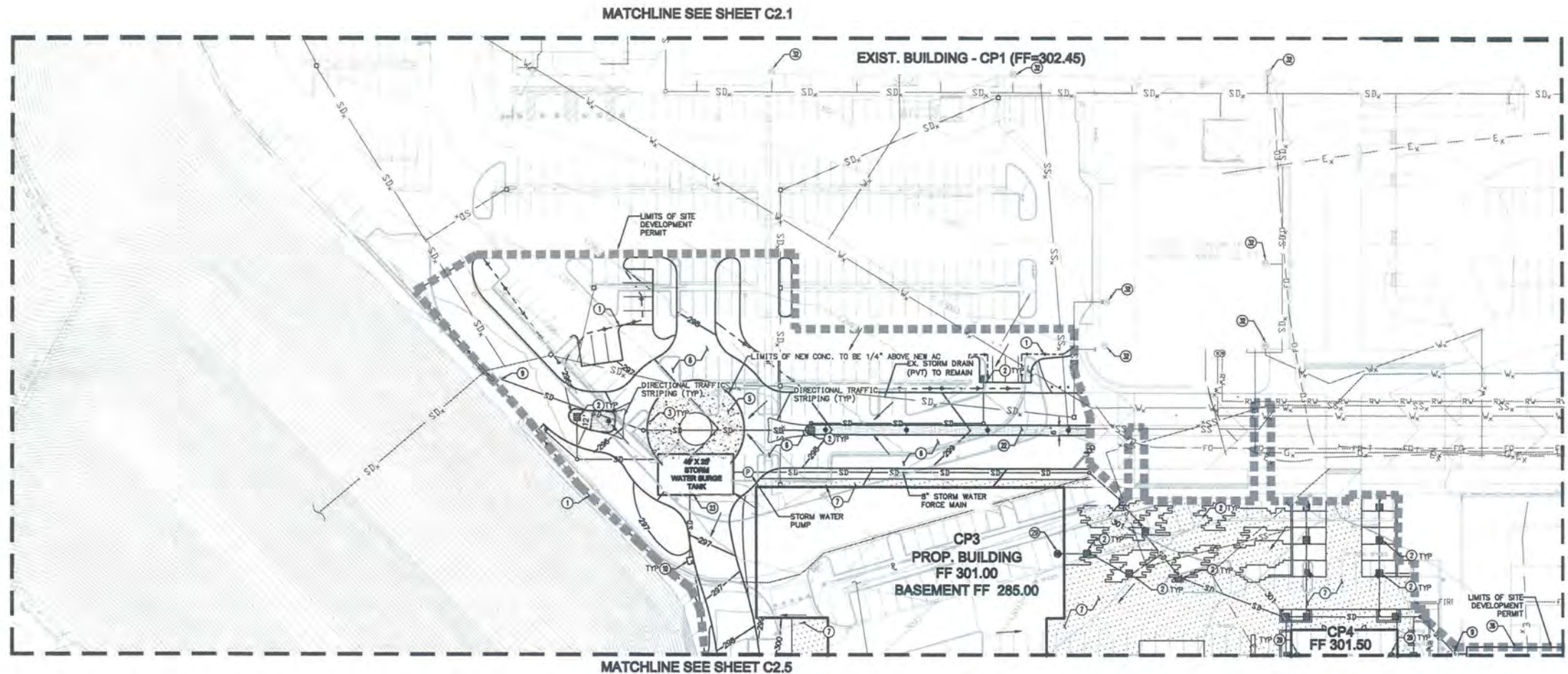
CAMPUS POINT SITE
DEVELOPMENT PERMIT

10250 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

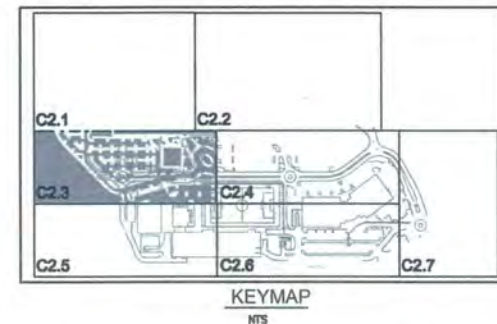
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

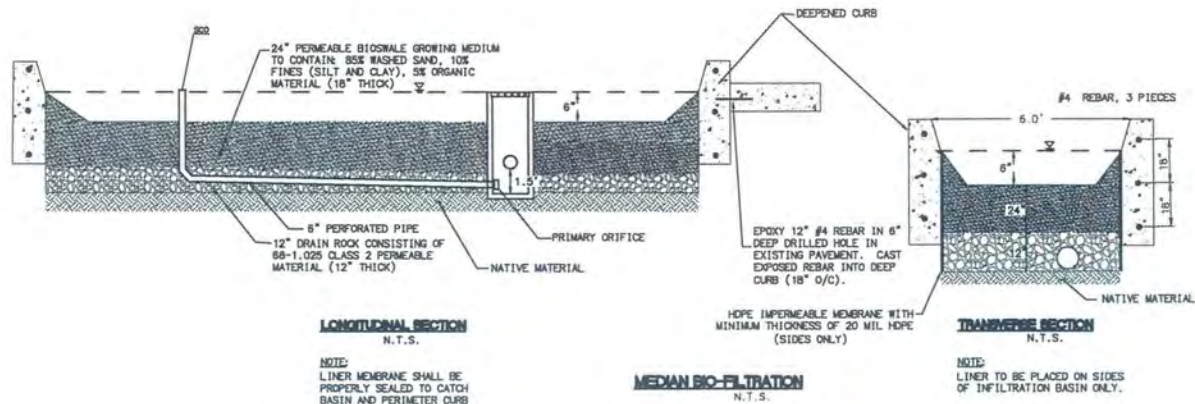
Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/28/2016	CYCLE 40		
10/27/2016	CYCLE 42	KD	SS



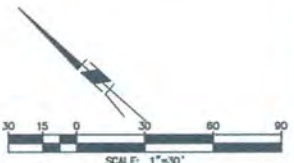
NOTE:
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

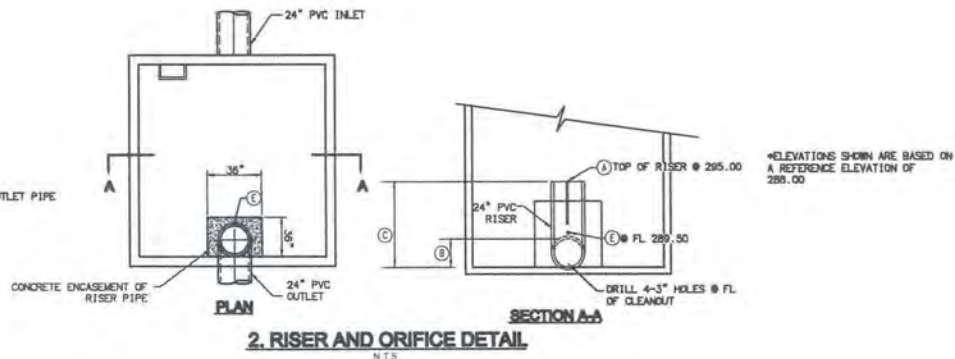
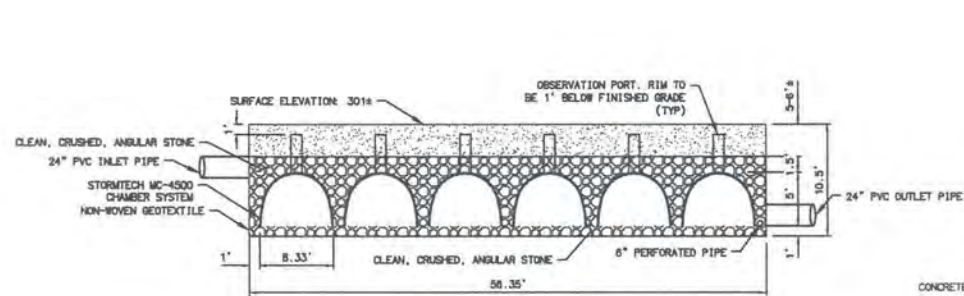
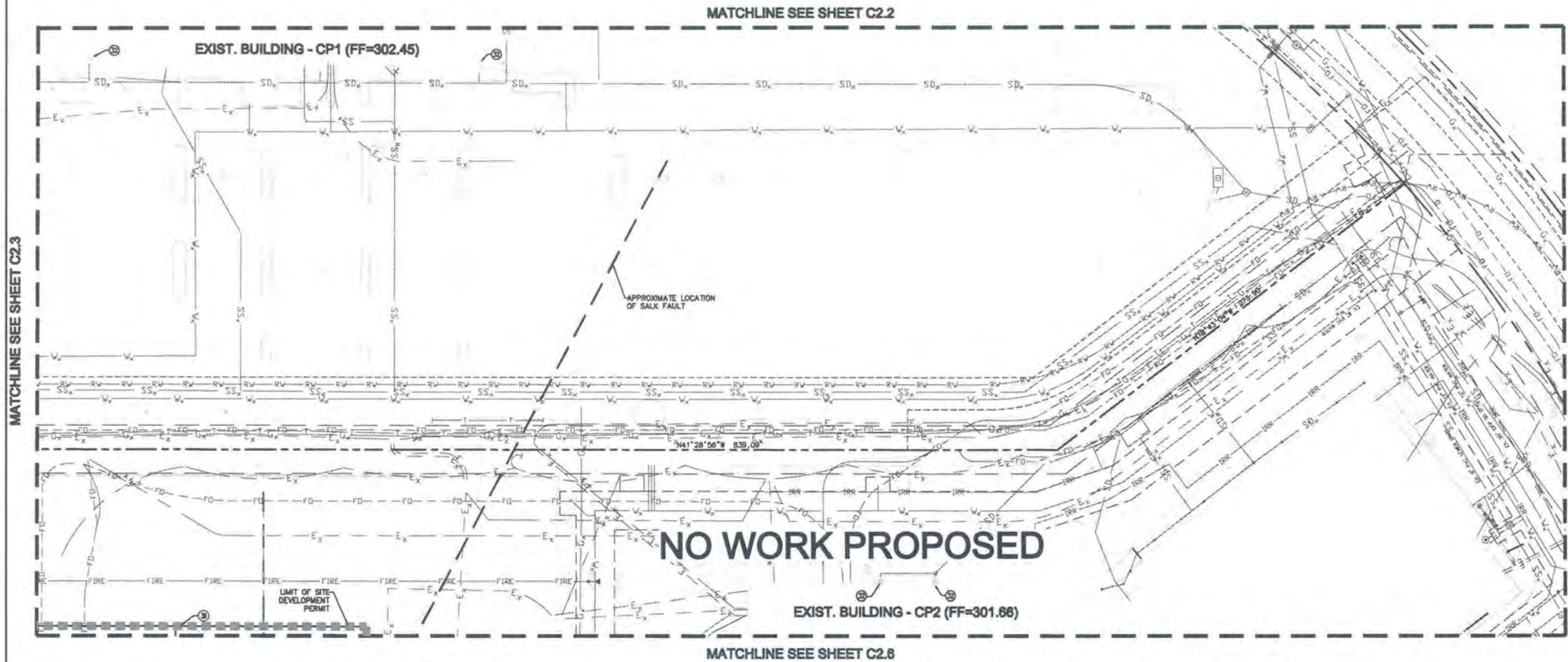


- CONSTRUCTION NOTES
1. LIMIT OF GRADING/ LIMIT OF WORK/ SLOUT LINE
 2. CATCH BASIN
 3. SEWER-TYPE STORM DRAIN CLEANOUT (SDCO)
 4. VEHICULAR CONCRETE PAVEMENT
 5. AC PAVEMENT
 6. CONCRETE SIDEWALK
 7. CONNECT TO EX STORM DRAIN
 8. CURB INLET
 9. MEDIAN BIO-FILTRATION PER DETAIL SHEET C2.3
 10. STORM WATER SURGE TANK
 11. ROOF DRAIN
 12. EXISTING ROOF DRAIN
 13. INFILTRATION BASIN PER DETAILS ON SHEET C2.4

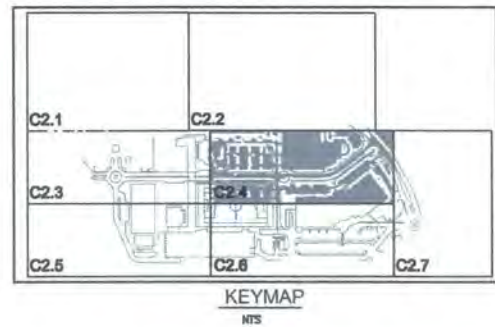


ENGINEER OF WORK:
BRIAN K. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18



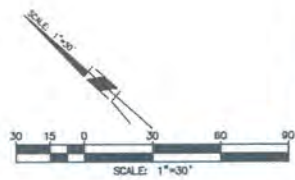


NOTE:
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.



CONSTRUCTION NOTES
⊙ EXISTING ROOF DRAIN
⊙ INFILTRATION BASIN PER DETAILS ON SHEET C2.4

ENGINEER OF WORK:
Brian Oliver
BRIAN K. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18



ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10241-11000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Δ	Date	Issue/Revision	By	To
	11/03/2015	CYCLE 27		
	04/01/2016	CYCLE 32		
	06/24/2016	CYCLE 35		
	08/24/2016	CYCLE 36		
	09/28/2016	CYCLE 40		
	10/27/2016	CYCLE 42	KD	SS

Seal/Signature

PROJECT PROFESSIONAL SEAL
BRIAN K. OLIVER
No. 45045
Exp. 3-31-18
STATE OF CALIFORNIA

Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7535.000

Description
GRADING PLAN

Scale
As indicated

C2.4

• 8016 Gensler



ALEXANDRIA,
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10260 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600 CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
05/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 40		
10/27/2016	CYCLE 42	KD	SS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

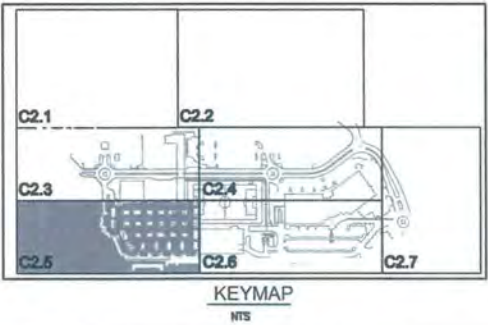
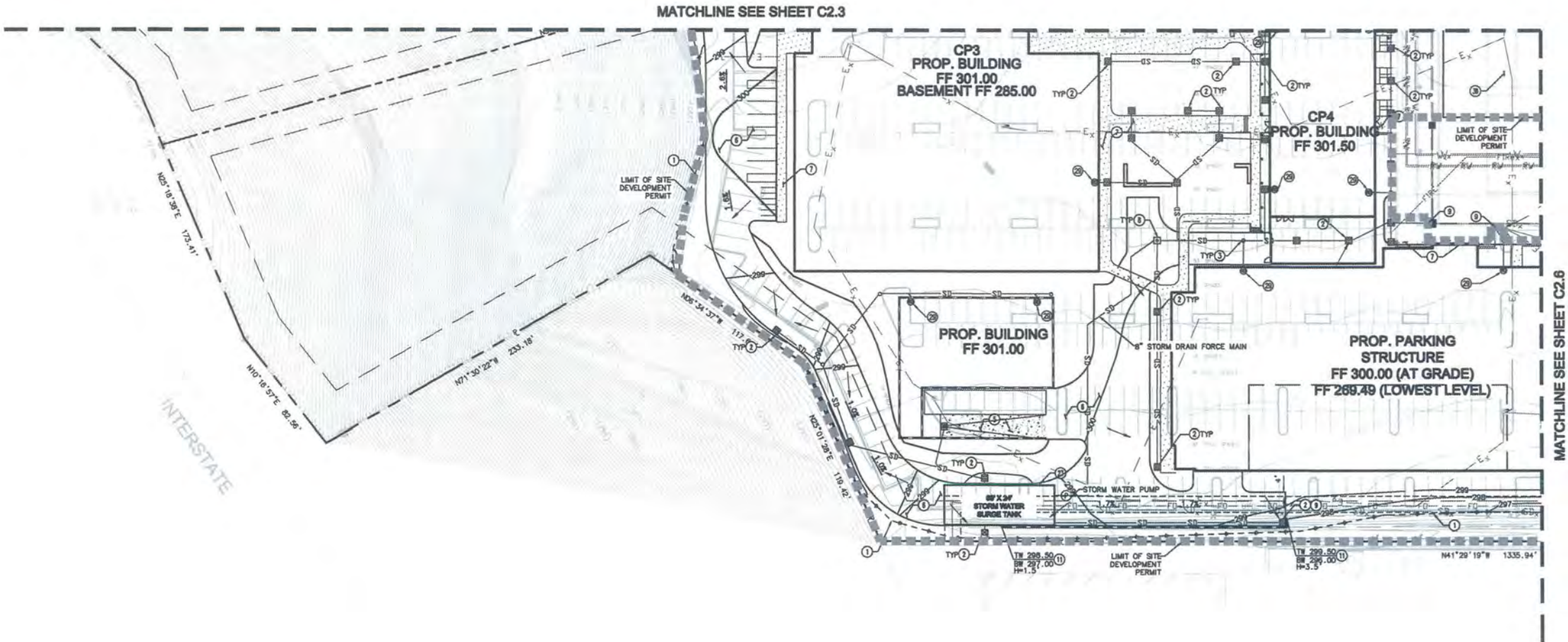
Project Number
55.7538.000

Description
GRADING PLAN

Scale
As indicated

C2.5

© 2015 Gensler



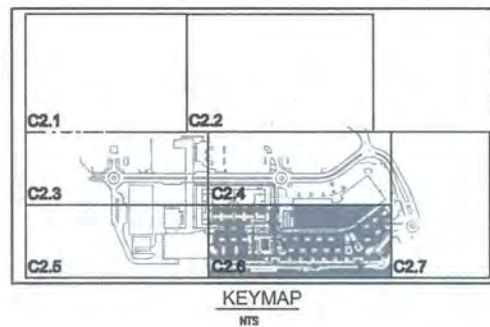
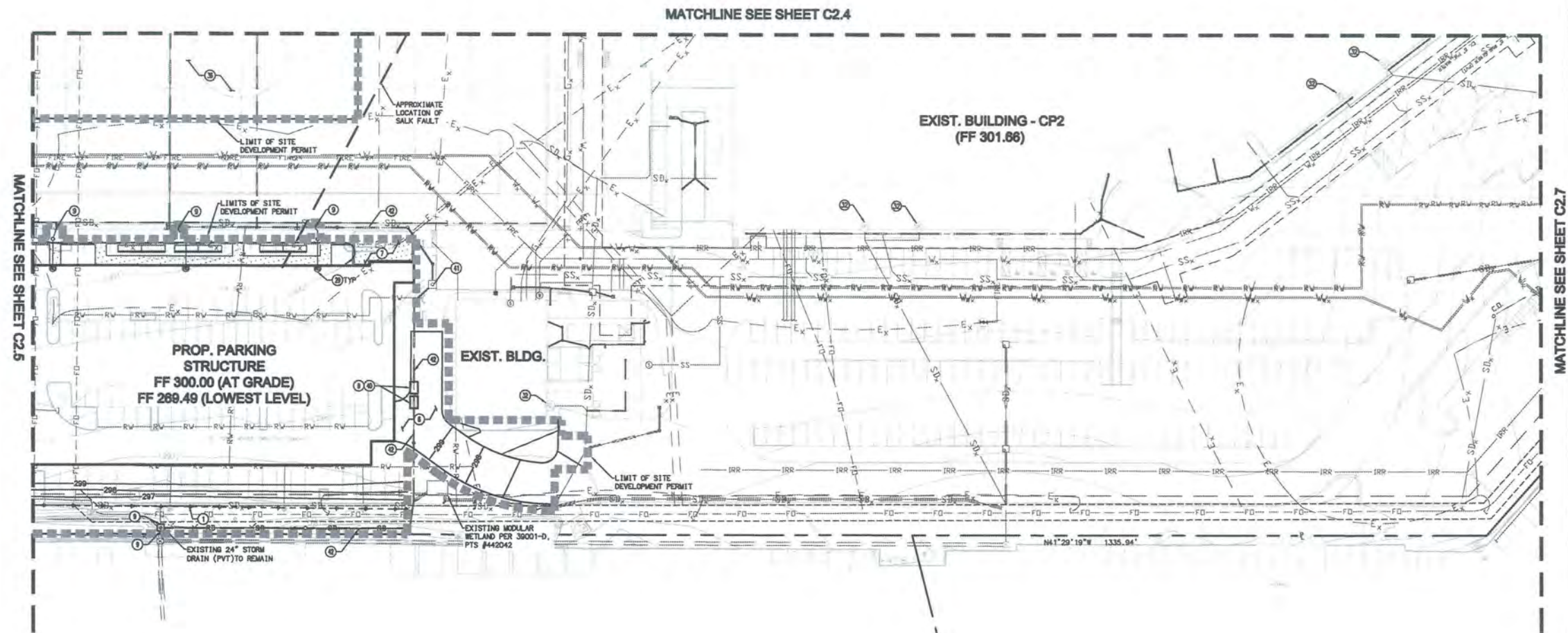
CONSTRUCTION NOTES

- 1) LIMIT OF GRADING/ LIMIT OF WORK/ SANGUT LINE
- 2) DATCH BASIN
- 3) SEWER-TYPE STORM DRAIN CLEAOUT (SDCO)
- 4) VEHICULAR CONCRETE PAVEMENT
- 5) AC PAVEMENT
- 6) CONCRETE SIDEWALK
- 7) TYPE "A-4" STORM DRAIN CLEAOUT
- 8) CONNECT TO EX STORM DRAIN
- 9) RETAINING WALL
- 10) STORM WATER SURGE TANK
- 11) ROOF DRAIN
- 12) INFILTRATION BASIN PER DETAILS ON SHEET C2.4

NOTE:
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL
SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW
AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS
IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

ENGINEER OF WORK:
BRIAN K. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18



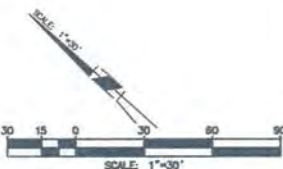


- CONSTRUCTION NOTES**
- ① LIMIT OF GRADING/ LIMIT OF WORK/ SLOUT LINE
 - ② AC PAVEMENT
 - ③ CONCRETE SIDEWALK
 - ④ CONNECT TO EX STORM DRAIN
 - ⑤ ROOF DRAIN
 - ⑥ EXISTING ROOF DRAIN
 - ⑦ INFILTRATION BASIN PER DETAILS ON SHEET C2.4
 - ⑧ 2-MODULAR WETLAND SYSTEMS
 - ⑨ CLEANOUT WITH RISER AND ORIFICE PER DETAIL 2 ON SHEET C2.4
 - ⑩ STORM DRAIN PER DRAWING NO. 39001-ED, CONSTRUCTION CHANGE "B", PTS NO. 499236

NOTE:

1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

ENGINEER OF WORK:
Brian Oliver
BRIAN K. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

**CAMPUS POINT SITE
DEVELOPMENT PERMIT**
18300 ALEXANDRIA CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

Gensler
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 40		
10/27/2016	CYCLE 42	KD	SS

Best/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

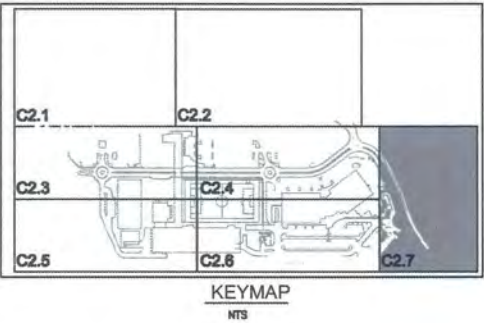
Project Number
55.7530.000

Description
GRADING PLAN

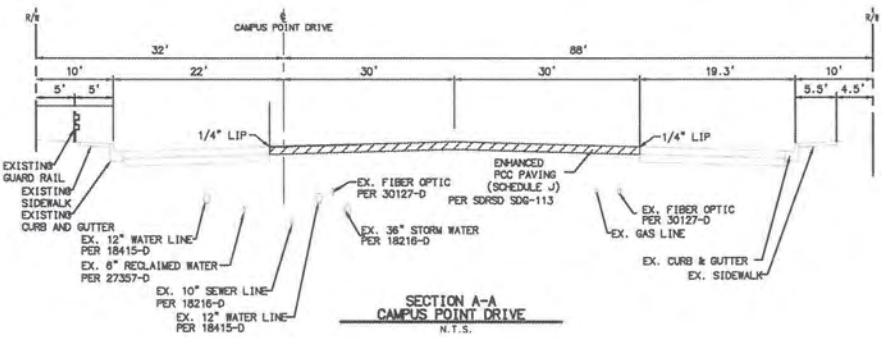
Scale
As Indicated

C2.6

• SDIS Gensler

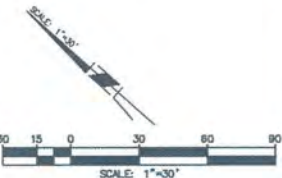


CONSTRUCTION NOTES
ENHANCED PCC CONCRETE PAVEMENT



NOTE:
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

ENGINEER OF WORK:
BRIAN K. OLIVER, R.C.E. 45045
EXP. 3/31/18



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10209 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92117

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
GRADING PLAN

Scale
As indicated

C2.7

©2016 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10896 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10200 & 10200 CAMPUS POINT DRIVE
SAN DIEGO, CA 92131

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Δ	Date	Issue/Revision	By	To
	11/03/2015	CYCLE 27		
	04/01/2016	CYCLE 32		
	08/24/2016	CYCLE 35		
	08/24/2016	CYCLE 38		
	08/25/2016	CYCLE 40		
	10/27/2016	CYCLE 42	KD	SS

Seal/Signature



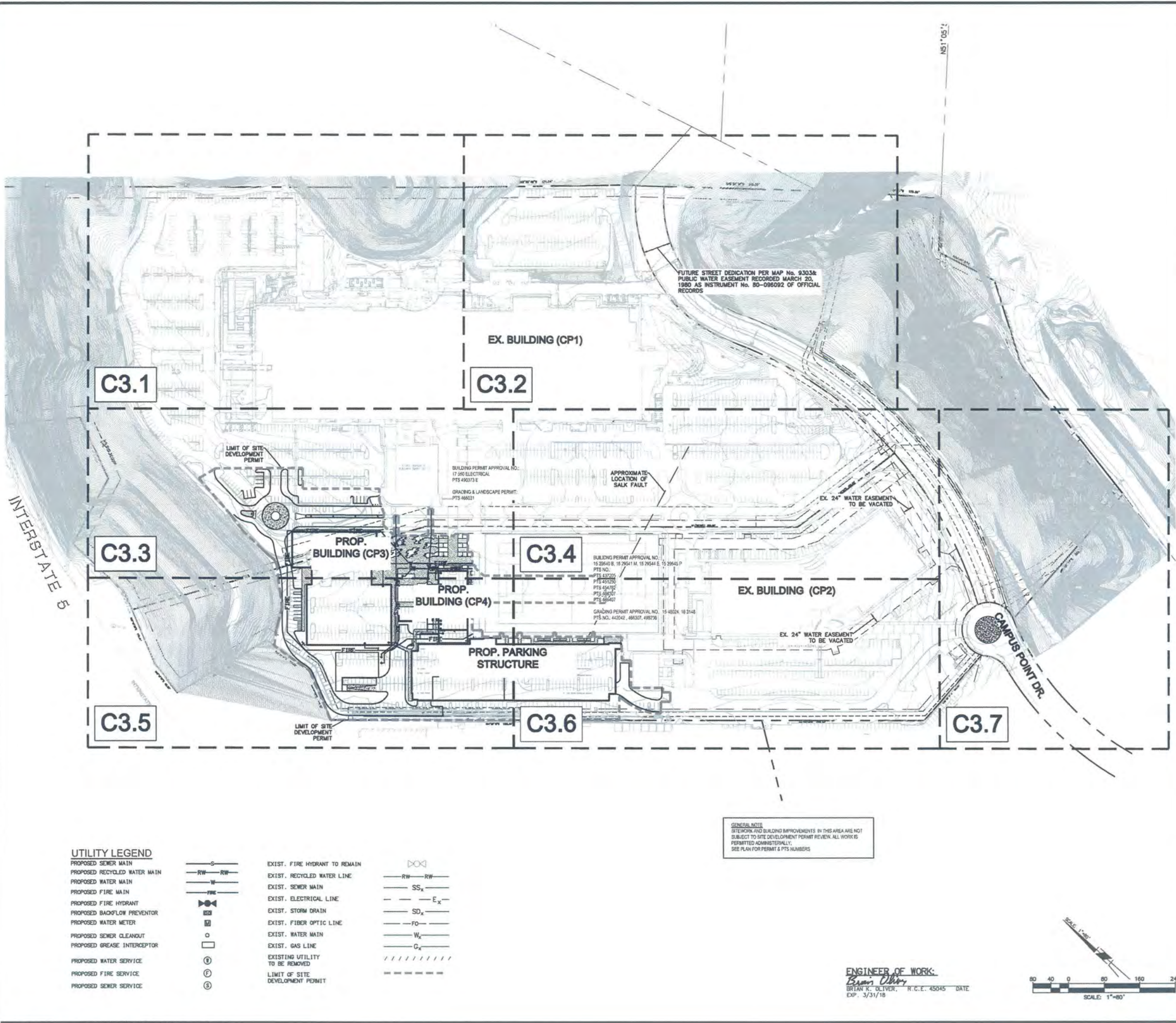
Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
OVERALL
UTILITY PLAN
Scale
As indicated

C3.0

- 2016 Gensler





ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 AUSTIN CAMPUS POINT DRIVE
SAN DIEGO, CA 92122

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

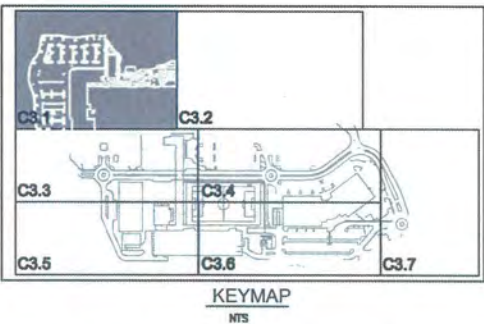
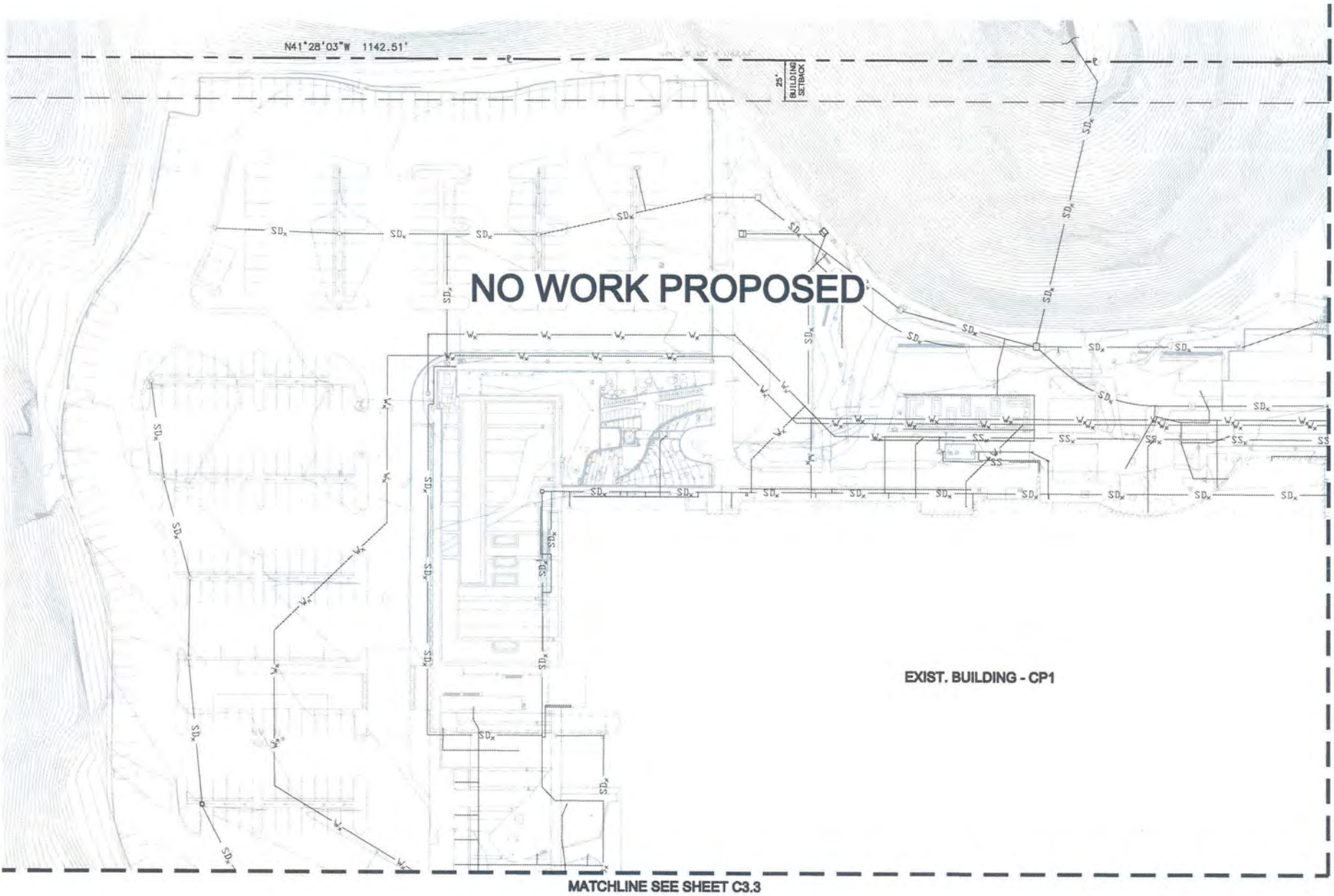
Project Number
55.7538.000

Description
UTILITY PLAN

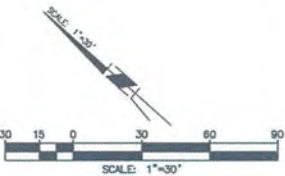
Scale
As indicated

C3.1

©2018 Gensler



ENGINEER OF WORK:
Brian Oliver
BRIAN K. OLIVER, R.C.E. 45045 DATE 2-14-2018
EXP. 3/31/18





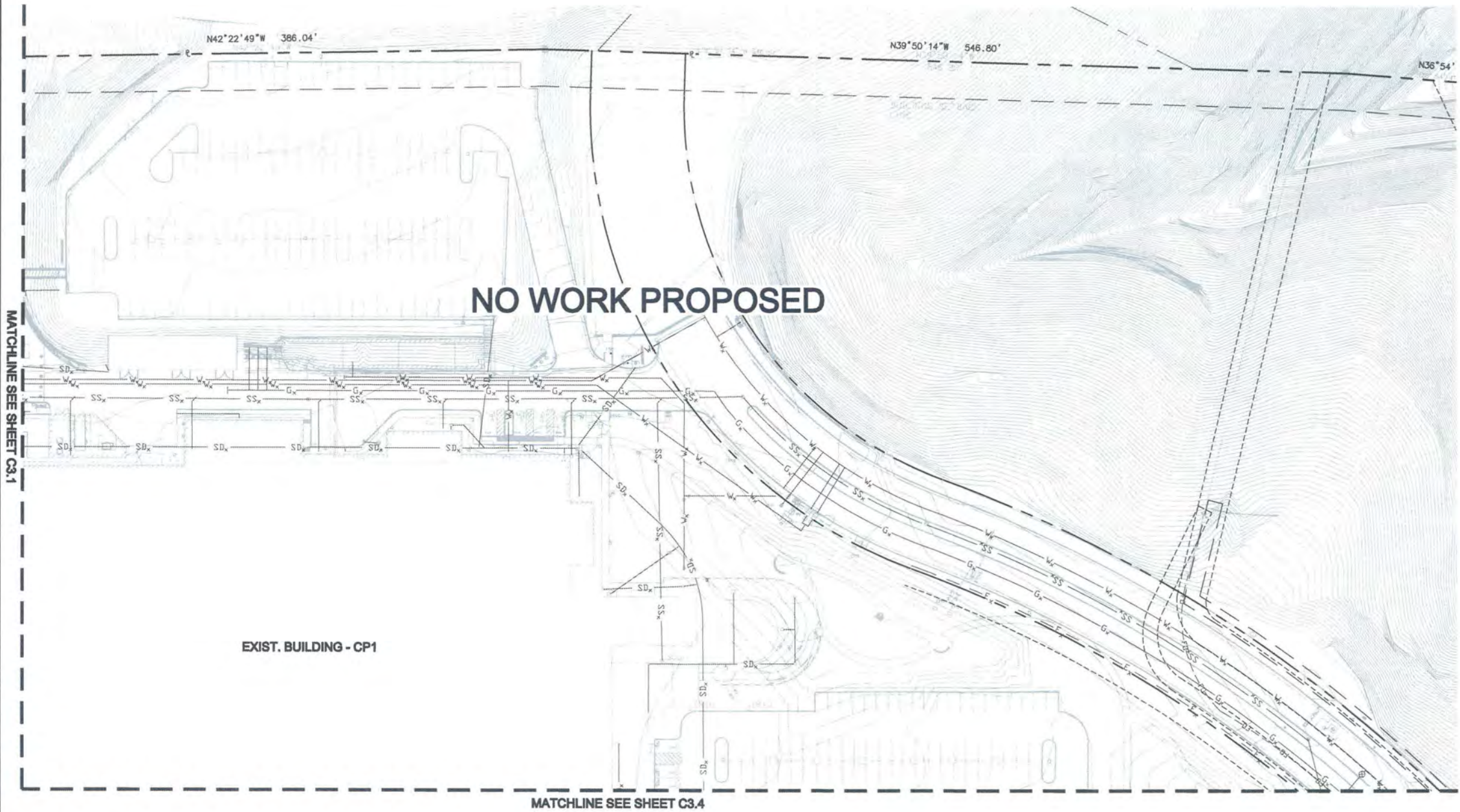
ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES

10906 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10200 A 110th CAMPUS POINT DRIVE
SAN DIEGO, CA 92122

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

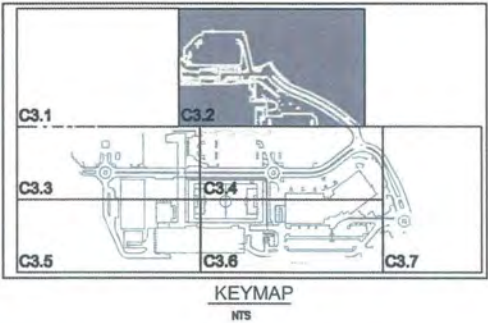
Gensler



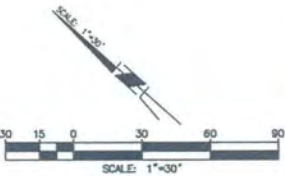
MATCHLINE SEE SHEET C3.1

MATCHLINE SEE SHEET C3.4

EXIST. BUILDING - CP1



ENGINEER OF WORK:
Brian Oliver
BRIAN R. OLIVER, R.C.E. 45045 DATE: 2-14-2014
EXP. 3/31/16



Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
06/24/2016	CYCLE 38		
09/29/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
UTILITY PLAN

Scale
As indicated

C3.2

©2016 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

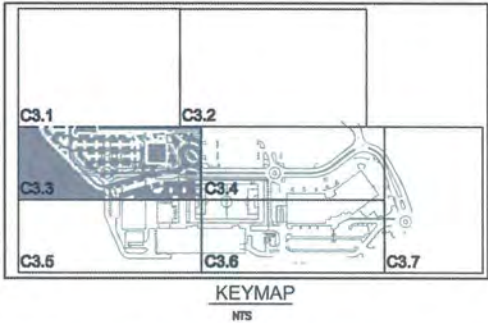
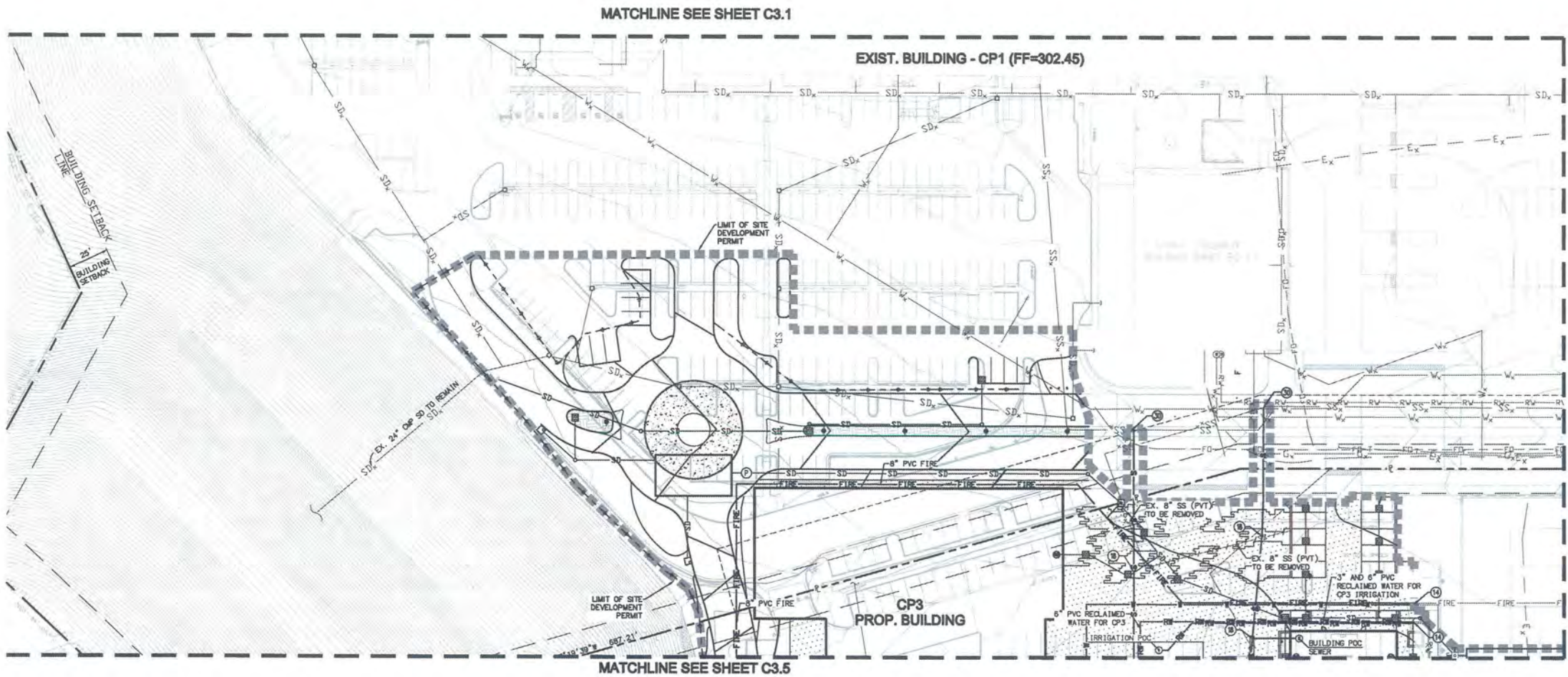
CAMPUS POINT SITE
DEVELOPMENT PERMIT

10200 R JUNG CAMPUS POINT DRIVE
SAN DIEGO, CA 92131

325 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 40		
10/27/2016	CYCLE 42	KD	SS



CONSTRUCTION NOTES

- (1) CONNECT TO EX WATER/FIRE LINE/RECLAIMED WATER LINE
- (2) SEWER-TYPE CLEANSUIT
- (3) CONNECT TO EX SEWER

NOTE:
NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT
MATURETY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER
FACILITIES AND 5' OF ANY WATER FACILITIES.

ENGINEER OF WORK:
Brian Oliver
BRIAN R. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18



Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
UTILITY PLAN

Scale
As Indicated

C3.3

- 5015 Gensler



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

15240 A JORDO CAMPUS POINT DRIVE
SAN DIEGO, CA 92132

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 40		
10/27/2016	CYCLE 42	KD	SS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

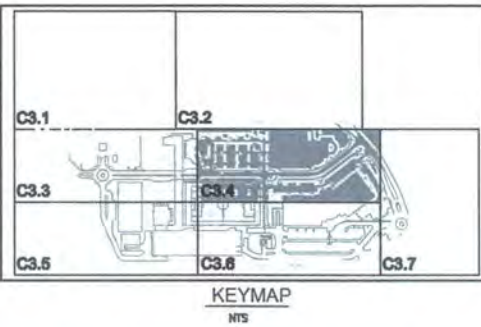
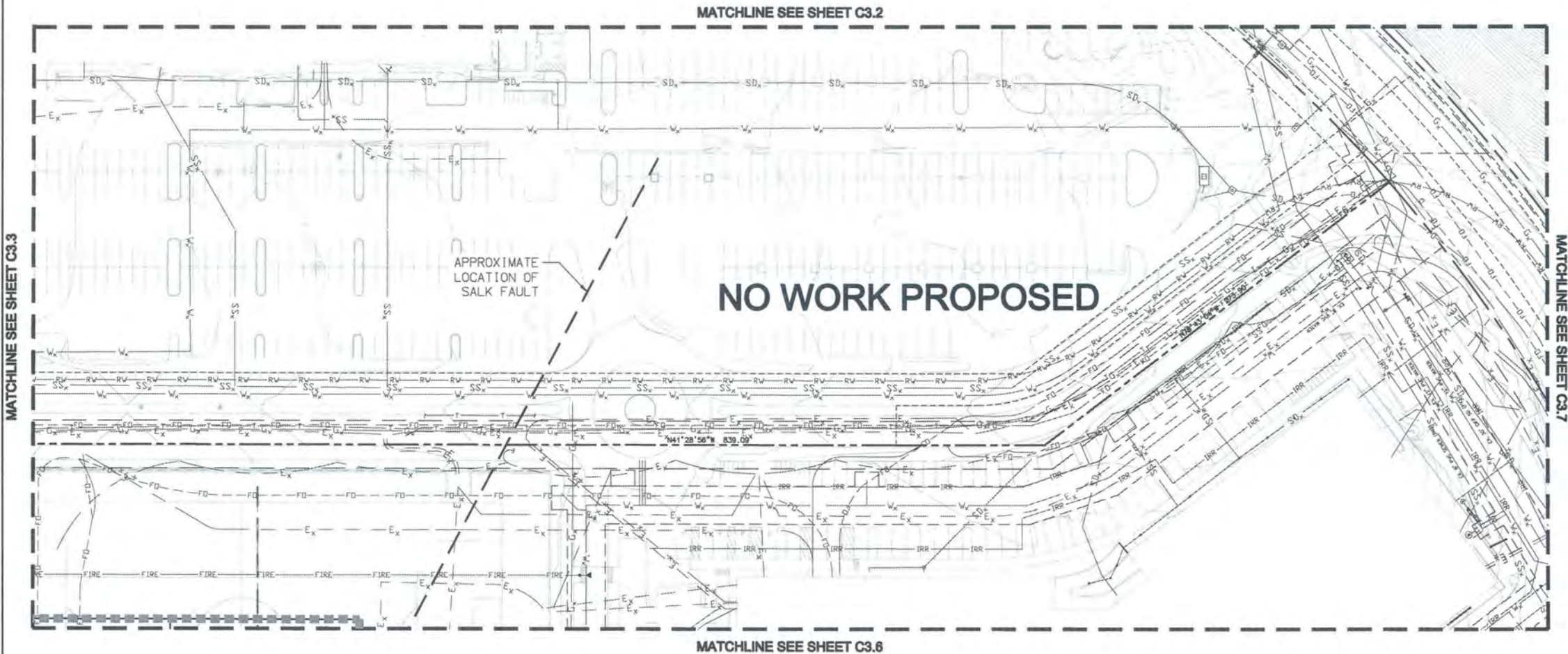
Project Number
55.7538.000

Description
UTILITY PLAN

Scale 1"=30'
As Indicated

C3.4

SD18 Gensler



NOTE:
NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT
MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER
FACILITIES AND 5' OF ANY WATER FACILITIES.

ENGINEER OF WORK:
Brian K. Oliver
BRIAN K. OLIVER, P.E., No. 45045
EXP. 3/31/18





ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10299 & 10309 CAMPUS POINT DRIVE
SAN DIEGO, CA 92122

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Δ	Date	Issue/Revision	By	To
	11/30/2015	CYCLE 27		
	04/01/2016	CYCLE 32		
	06/24/2016	CYCLE 35		
	08/24/2016	CYCLE 36		
	09/29/2016	CYCLE 40		
	10/27/2016	CYCLE 42	KD	SS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

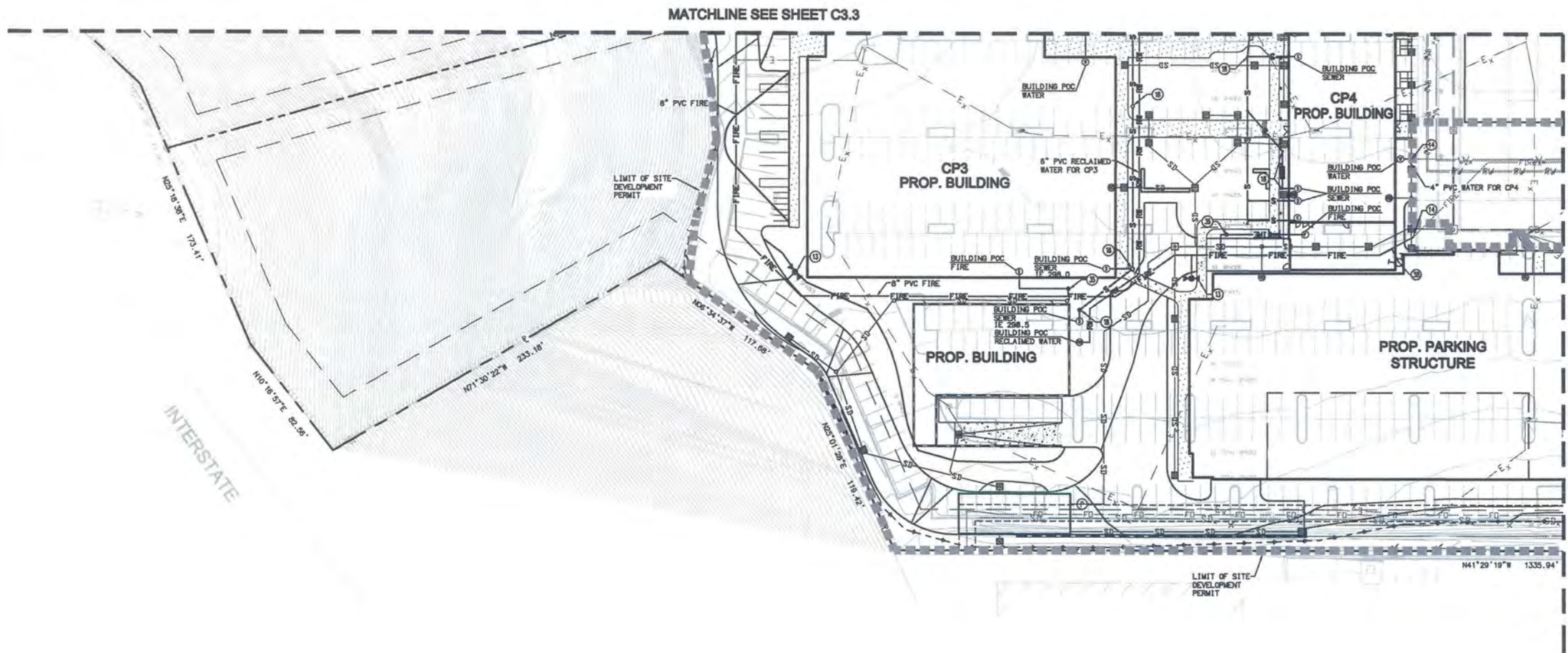
Project Number
55.7538.000

Description
UTILITY PLAN

Scale
As indicated

C3.5

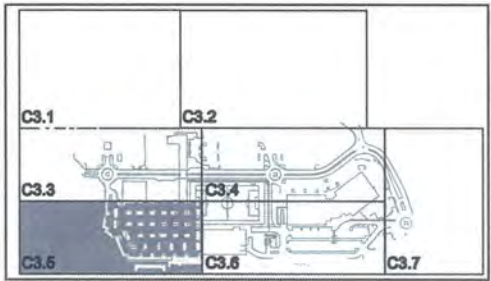
- 8015 Gensler



CONSTRUCTION NOTES

- ⑬ FIRE HYDRANT
- ⑭ CONNECT TO EX WATER/FIRE LINE/RECLAIMED WATER LINE
- ⑮ SEWER-TYPE CLEANDOUT
- ⑯ POST INDICATOR VALVE/FIRE DEPARTMENT CONNECTION
- ⑰ STAND PIPE

NOTE:
NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.



KEYMAP
NTS

ENGINEER OF WORK:
Brian R. Oliver
BRIAN R. OLIVER, R.C.E. 45045 DATE
EXP. 3/31/18





ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES

10995 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10290 & 13300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92131

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Δ	Date	Issue/Revision	By	To
	11/30/2015	CYCLE 27		
	04/01/2016	CYCLE 32		
	06/24/2016	CYCLE 35		
	08/24/2016	CYCLE 38		
	09/28/2016	CYCLE 40		
	10/27/2016	CYCLE 42	KD	SS

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

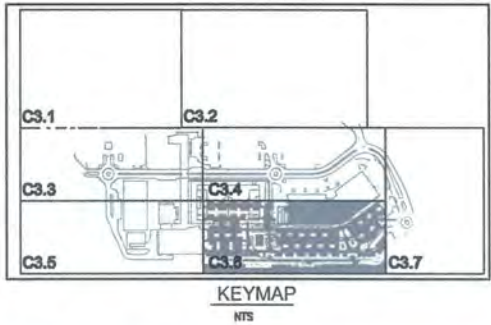
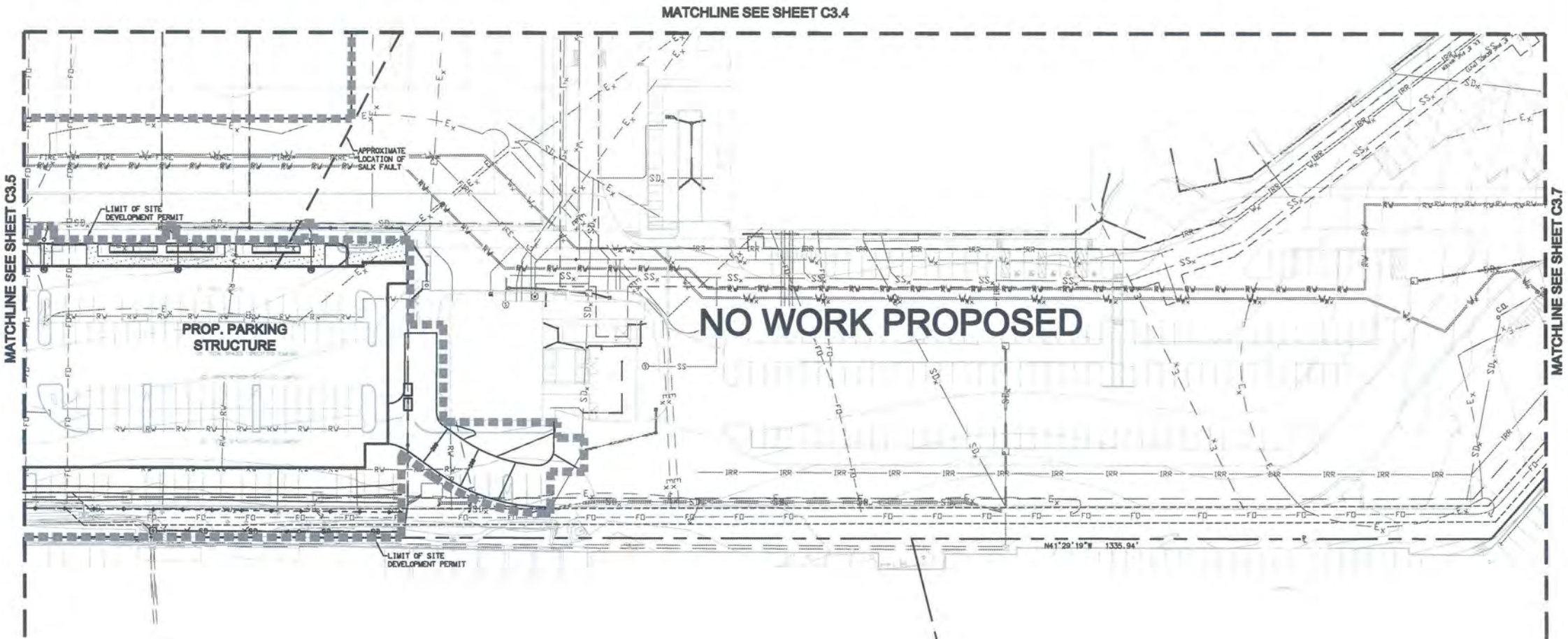
Project Number
55.7538.000

Description
UTILITY PLAN

Scale
As Indicated

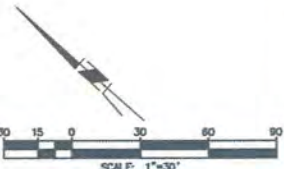
C3.6

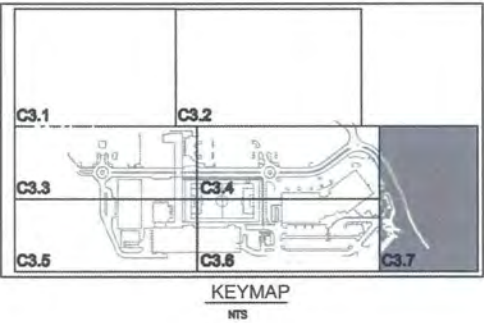
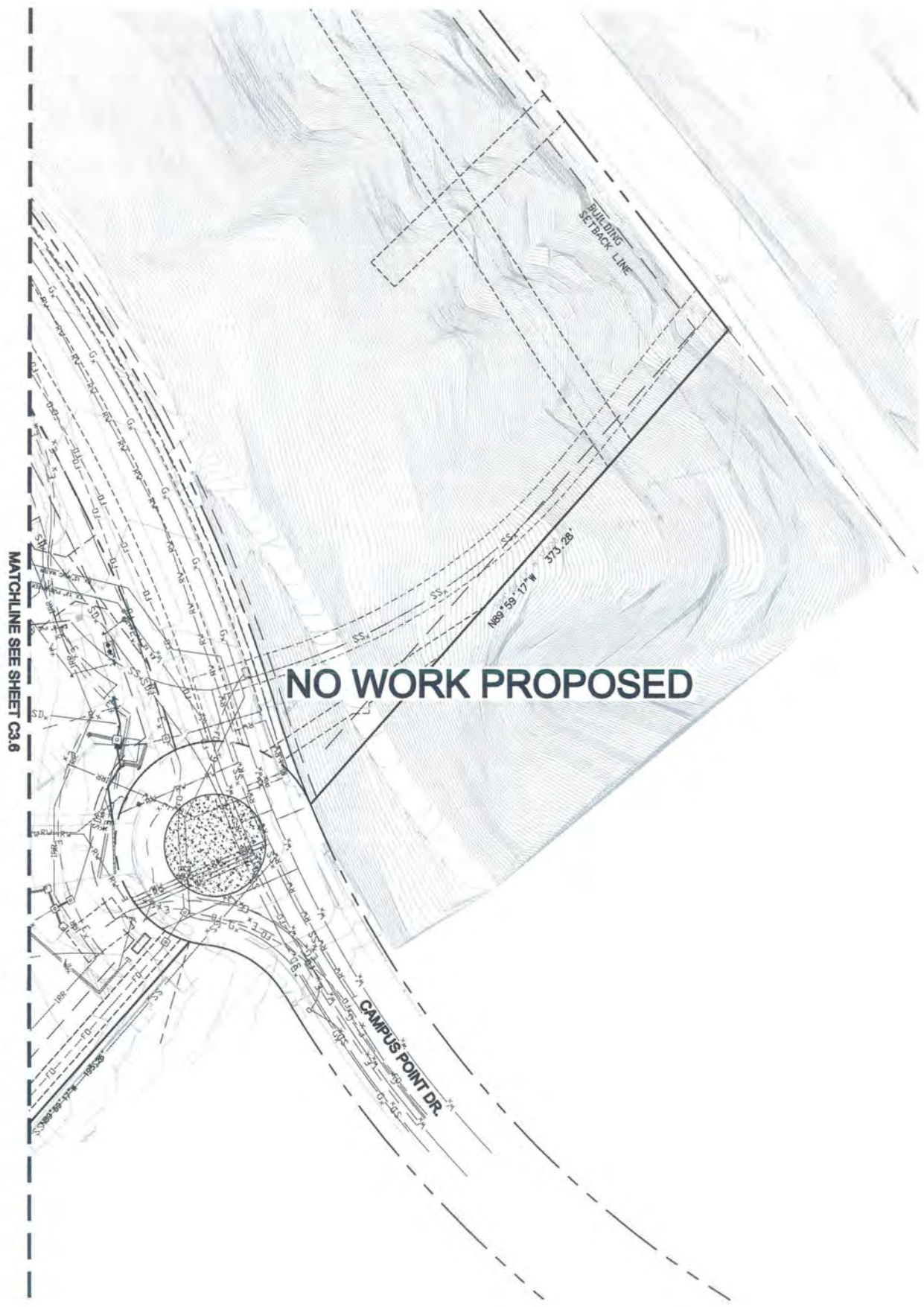
© 2016 Gensler



NOTE:
NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.

ENGINEER OF WORK:
Brian R. Oliver
BRIAN R. OLIVER, P.E. 45045 DATE
EXP. 3/31/18






ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10200 A VISTA CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

Gensler
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27		
04/01/2016	CYCLE 32		
06/24/2016	CYCLE 35		
08/24/2016	CYCLE 38		
09/29/2016	CYCLE 41		

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
UTILITY PLAN

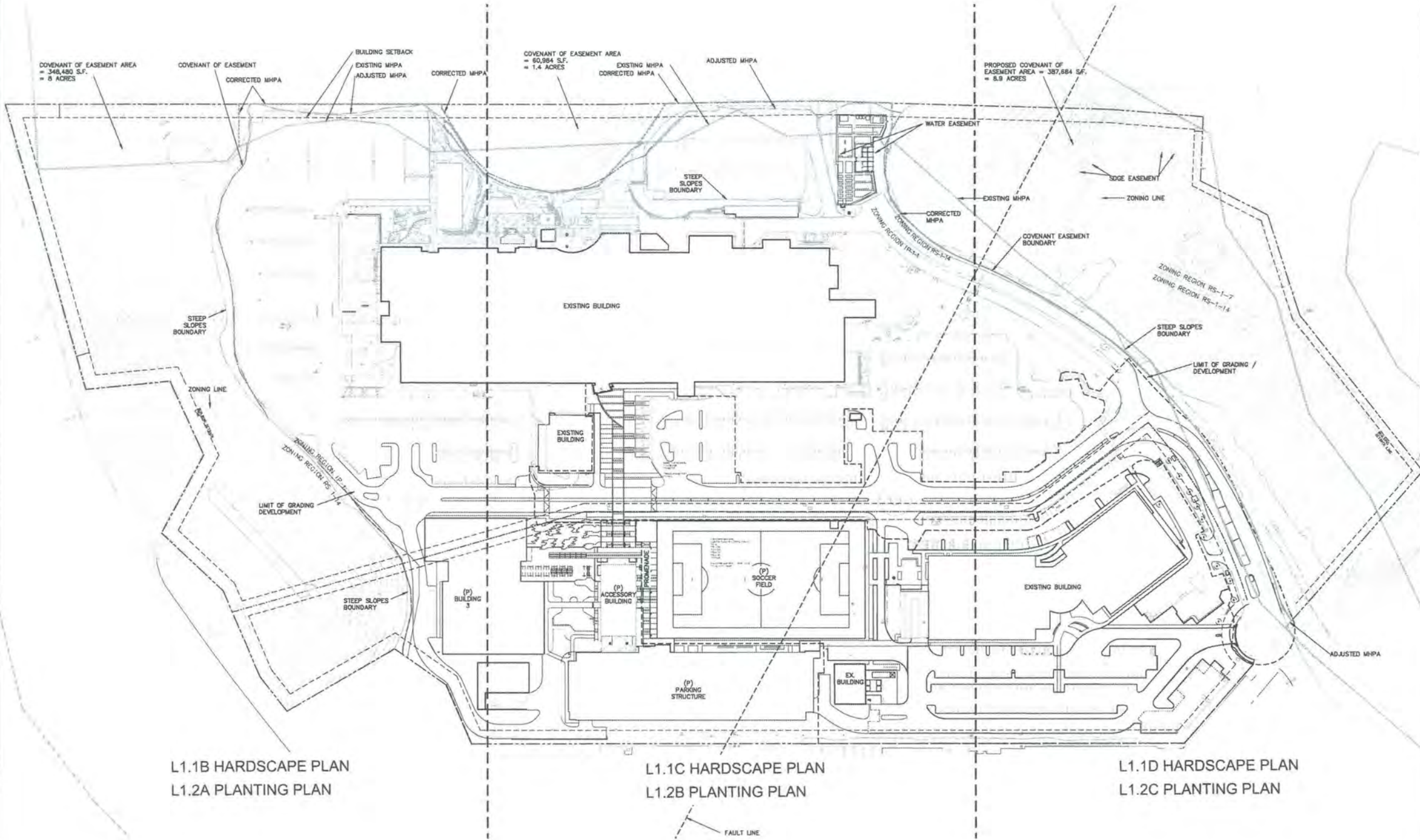
Scale
AS SHOWN

C3.7

©2016 Gensler

ENGINEER OF WORK:
Brian Oliver
BRIAN K. OLIVER, P.E., No. 45045 DATE
EXP. 3/31/18



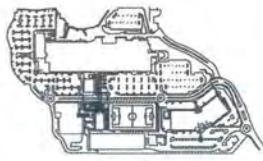


- LEGEND**
- PROPERTY LINE
 - BUILDING SETBACK
 - ZONING LINES
 - EXISTING MHPA BOUNDARY
 - CORRECTED MHPA BOUNDARY
 - ADJUSTED MHPA BOUNDARY
 - STEEP SLOPES
 - COVENANT OF EASEMENT BOUNDARY
 - COVENANT OF EASEMENT AREA
 - LIMIT OF GRADING DEVELOPMENT

ENVIRONMENTALLY SENSITIVE LANDS LEFT UNDISTURBED
INCLUDING ALL AREAS OF STEEP HILLSIDES AND SENSITIVE BIOLOGY
PROPOSED COVENANT OF EASEMENT AREA = 79,140 SQUARE FEET OR 1.8 ACRES
COVENANT OF EASEMENT AREAS, AS SHOWN WITH THE HATCHED PATTERN LISTED IN DRAWING LEGEND,
ARE SUBJECT TO SECTION 142.02 OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE



KEY PLAN



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

**CAMPUS POINT SITE
DEVELOPMENT PERMIT**
(1630) & (1630) CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2501
Fax: 619.557.2520

2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.822.2100

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SK/MB	RG
06/24/2016	CYCLE 35	SK/MB	RG
08/24/2016	CYCLE 38	SK	RG
09/29/2016	CYCLE 41	SK	RG
12/16/2016			

Seal/Signature

Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

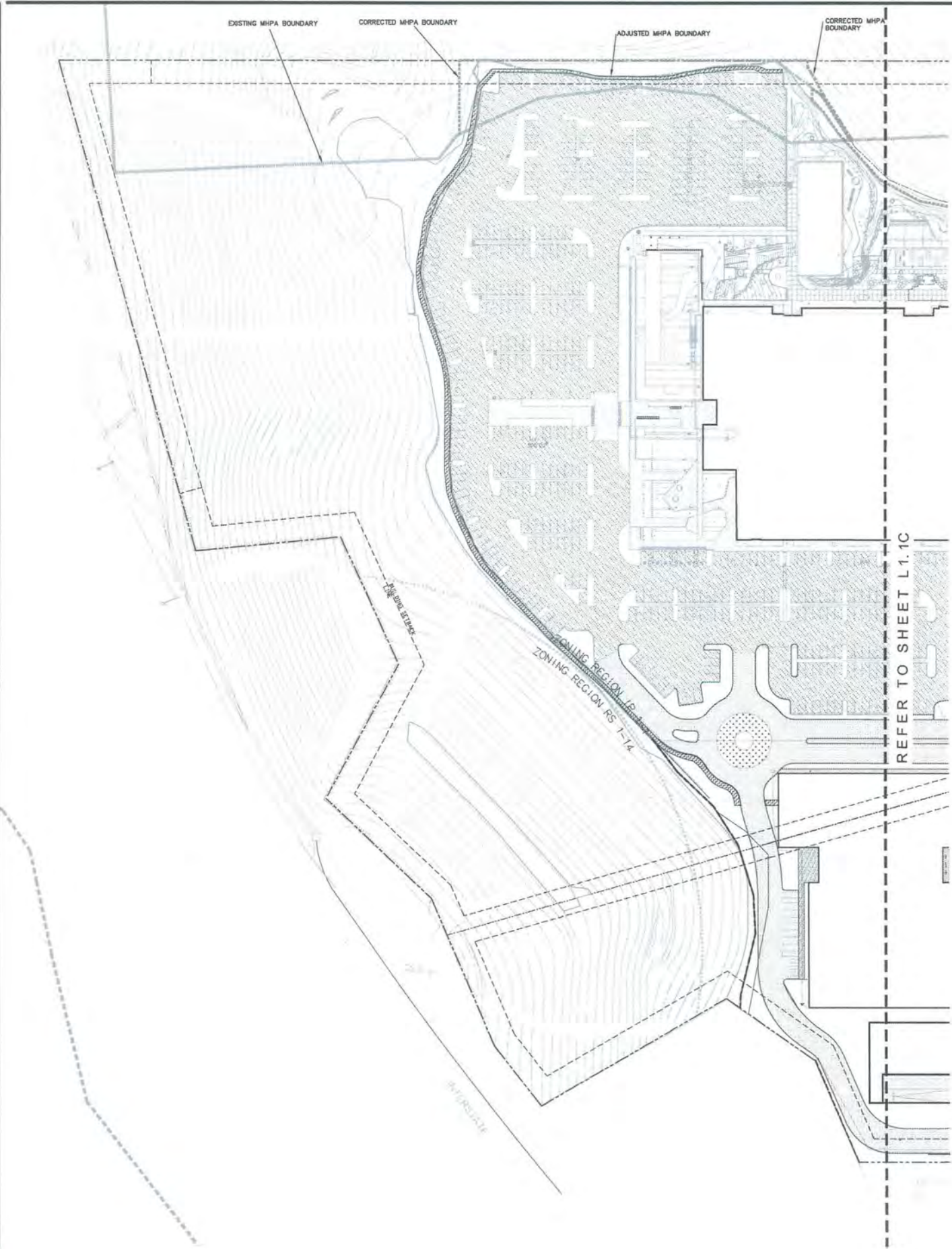
Project Number
55.7538.000

Description

Key Map

Scale
1" = 50'

L1.1A
© 2016 Gensler

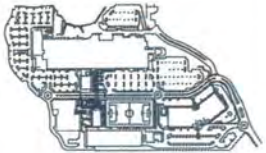


HARDSCAPE LEGEND

HARDSCAPE	DESCRIPTION
PAVING/CURB/HEADER/EDGING	
ENHANCED PAVING, TYPE 1	C.I.P., INTEGRAL COLOR CONCRETE W/ EXPOSED AGGREGATE OR TOPSEEDED AGGREGATE FINISH
ENHANCED PAVING, TYPE 2	C.I.P., INTEGRAL COLOR CONCRETE W/ SEEDED, QUARRY STONE OR EXPOSED AGGREGATE FINISH
ENHANCED PAVING, TYPE 3	C.I.P., INTEGRAL COLOR CONCRETE W/ SEEDED, QUARRY STONE OR EXPOSED AGGREGATE FINISH
PAVING, TYPE 4	C.I.P., STANDARD GRAY CONCRETE W/ BROOK OR QUARRYSTONE FINISH
PRECAST CONCRETE PAVER	PRECAST CONCRETE PAVER, PEDESTRIAN BMP, VEH BMP
STABILIZED DG PAVING	STABILIZED DECOMPOSED GRANITE PAVING
ASPHALT PAVING	PER CIVIL
EXISTING ASPHALT	PER CIVIL
EXISTING P.I.P. POROUS PAVING WITH TURF FOR FIRE TRUCK ACCESS	GRASSCRETE PAVING TO MEET FIRE DEPARTMENT STANDARDS
P.I.P. POROUS PAVING WITH DG FOR FIRE TRUCK ACCESS	GRASSCRETE PAVING TO MEET FIRE DEPARTMENT STANDARDS
EXISTING PAVING TO REMAIN	
PROPERTY LINE	
BUILDING SETBACK	
EXISTING MHPA BOUNDARY	
CORRECTED MHPA BOUNDARY	
ADJUSTED MHPA BOUNDARY	



KEY PLAN



ALEXANDRIA

ALEXANDRIA REAL ESTATE
EQUITIES

10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10,350 & 110,000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.622.2100

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SKMB	RG
06/24/2016	CYCLE 35	SKMB	RG
09/24/2016	CYCLE 38	SK	RG
09/29/2016	CYCLE 41	SK	RG

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

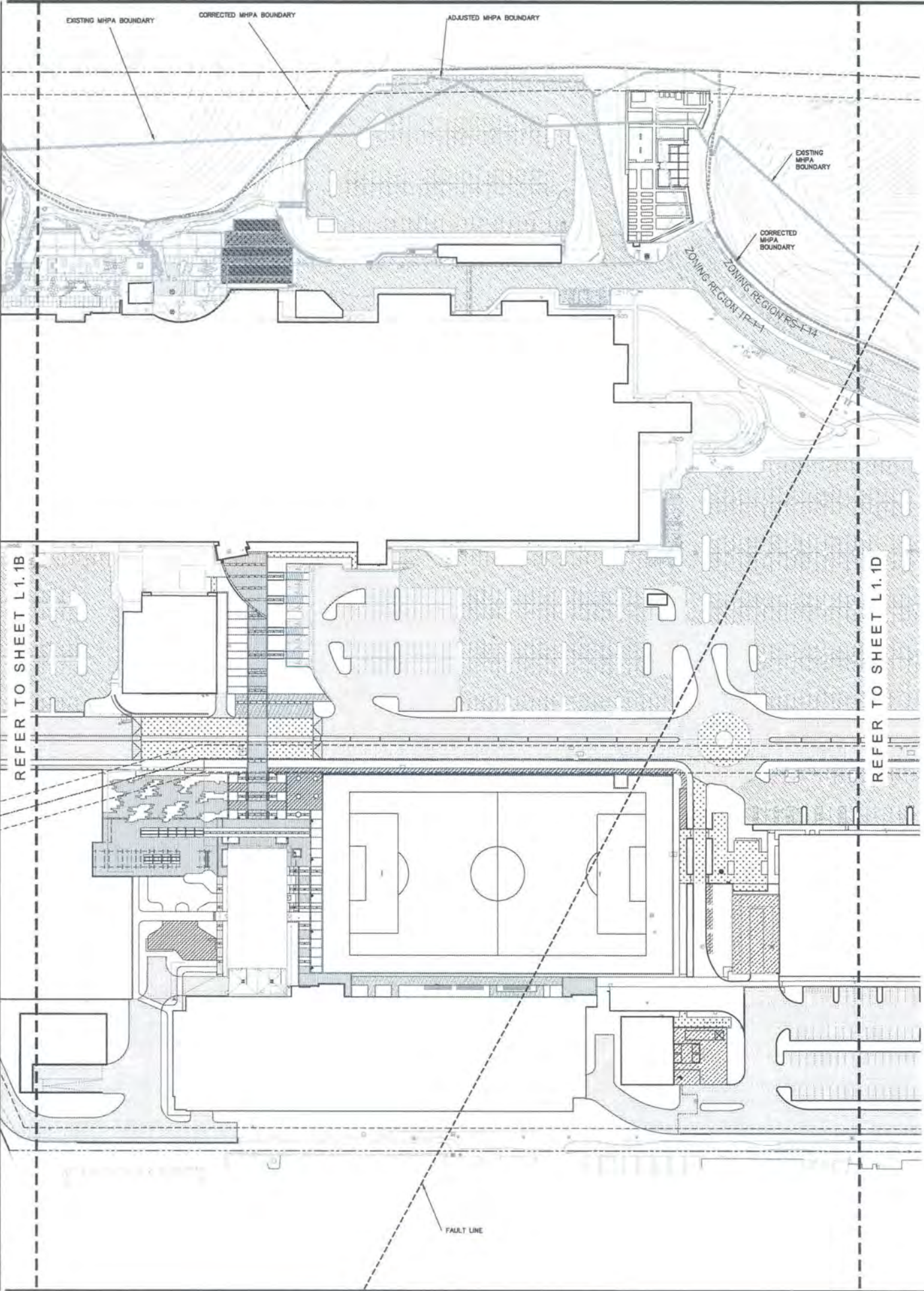
Project Number
55.7536.000

Description
Hardscape Plan

Scale
1" = 50'

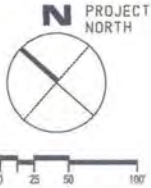
L1.1B

©2015 Gensler

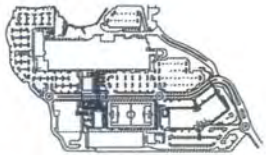


HARDSCAPE LEGEND

HARDSCAPE	DESCRIPTION
PAVING/CURB/HEADER/EDGING	
ENHANCED PAVING, TYPE 1	C.I.P., INTEGRAL COLOR CONCRETE W/ EXPOSED AGGREGATE OR TOP SEEDED AGGREGATE FINISH
ENHANCED PAVING, TYPE 2	C.I.P., INTEGRAL COLOR CONCRETE W/ SEEDER, QUARRY STONE OR EXPOSED AGGREGATE FINISH
ENHANCED PAVING, TYPE 3	C.I.P., INTEGRAL COLOR CONCRETE W/ SEEDER, QUARRY STONE OR EXPOSED AGGREGATE FINISH
PAVING, TYPE 4	C.I.P., STANDARD GRAY CONCRETE W/ BROOM OR QUARRYSTONE FINISH
PRECAST CONCRETE PAVES	PRECAST CONCRETE PAVES, PEDESTRIAN 80MM, VEH 100MM
STABILIZED DG PAVING	STABILIZED DECOMPOSED GRANITE PAVING
ASPHALT PAVING	PER CIVIL
EXISTING ASPHALT	PER CIVIL
EXISTING P.J.P. POROUS PAVING WITH TURF FOR FIRE TRUCK ACCESS	GRASSCRETE PAVING TO MEET FIRE DEPARTMENT STANDARDS
P.J.P. POROUS PAVING WITH DG FOR FIRE TRUCK ACCESS	GRASSCRETE PAVING TO MEET FIRE DEPARTMENT STANDARDS
EXISTING PAVING TO REMAIN	
PROPERTY LINE	
BUILDING SETBACK	
EXISTING MHPA BOUNDARY	
CORRECTED MHPA BOUNDARY	
ADJUSTED MHPA BOUNDARY	



KEY PLAN



ALEXANDRIA.
ALEXANDRIA REAL ESTATE
EQUITIES
10998 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
10,500 & 11,000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.322.2100

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SKMS	RG
06/24/2016	CYCLE 35	SKMS	RG
08/24/2016	CYCLE 38	SK	RG
09/28/2016	CYCLE 41	SK	RG
12/16/2016			

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

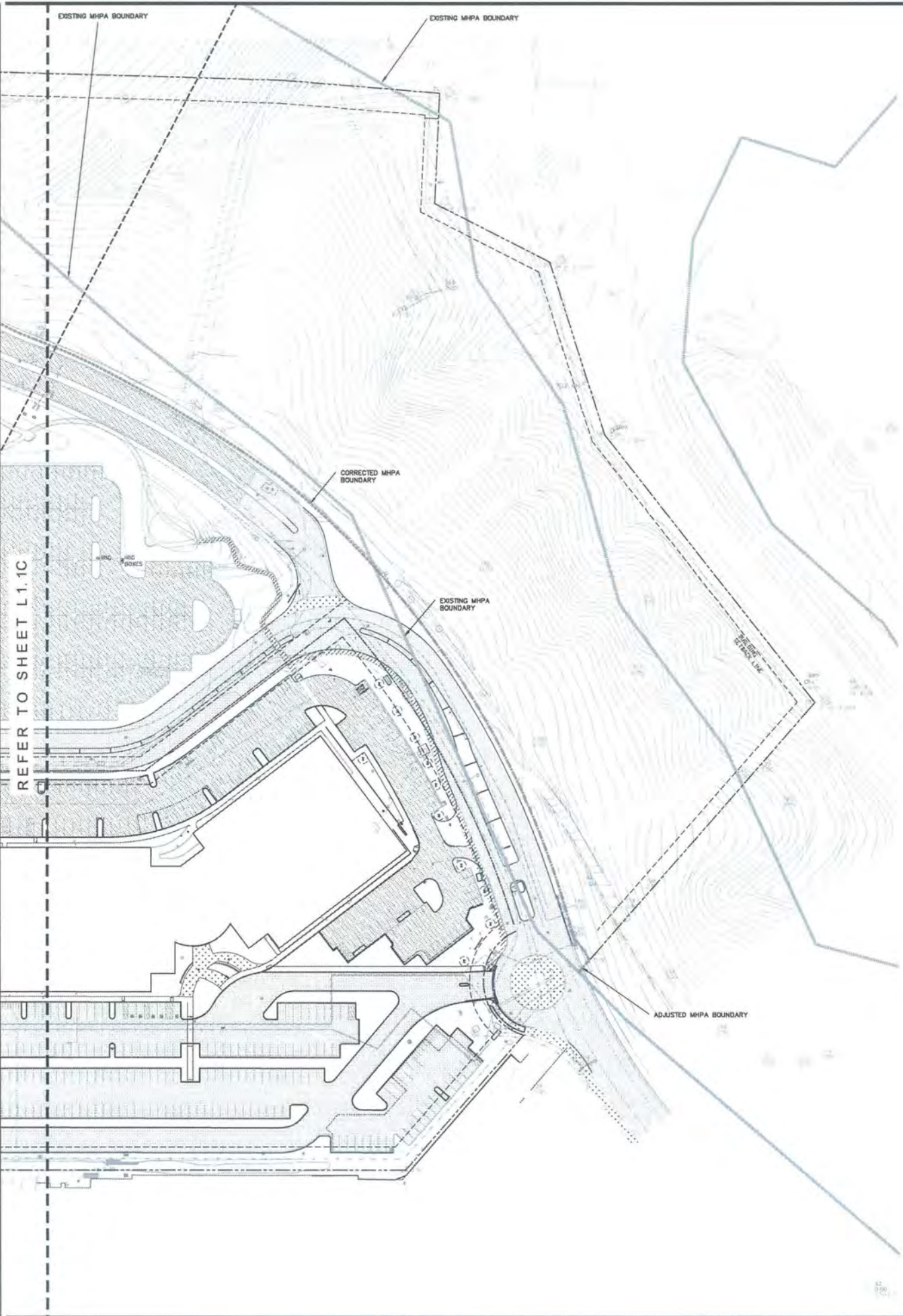
Project Number
55.7538.000

Description
Hardscape Plan

Scale
1" = 50'

L1.1C

© 2015 Gensler

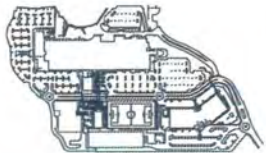


HARDSCAPE LEGEND

HARDSCAPE	DESCRIPTION
PAVING/CURB/HEADER/EDGING	
ENHANCED PAVING, TYPE 1	C.I.P. INTEGRAL COLOR CONCRETE W/ EXPOSED AGGREGATE OR TOPSEEDED AGGREGATE FINISH
ENHANCED PAVING, TYPE 2	C.I.P. INTEGRAL COLOR CONCRETE W/ SEEDED, QUARRY STONE OR EXPOSED AGGREGATE FINISH
ENHANCED PAVING, TYPE 3	C.I.P. INTEGRAL COLOR CONCRETE W/ SEEDED, QUARRY STONE OR EXPOSED AGGREGATE FINISH
PAVING, TYPE 4	C.I.P. STANDARD GRAY CONCRETE W/ BROOM OR QUARRYSTONE FINISH
PRECAST CONCRETE PAVER	PRECAST CONCRETE PAVER, PEDESTRIAN RHM, VEH RHM
STABILIZED DG PAVING	STABILIZED DECOMPOSED GRANITE PAVING
ASPHALT PAVING	PER CIVIL
EXISTING ASPHALT	PER CIVIL
EXISTING P.I.P. POROUS PAVING WITH TURF FOR FIRE TRUCK ACCESS	GRASSCRETE PAVING TO MEET FIRE DEPARTMENT STANDARDS
P.I.P. POROUS PAVING WITH DG FOR FIRE TRUCK ACCESS	GRASSCRETE PAVING TO MEET FIRE DEPARTMENT STANDARDS
EXISTING PAVING TO REMAIN	
PROPERTY LINE	
BUILDING SETBACK	
EXISTING MHPA BOUNDARY	
CORRECTED MHPA BOUNDARY	
ADJUSTED MHPA BOUNDARY	



KEY PLAN



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10956 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10,550 & 11,000 CAMPUS POINT DRIVE
SAN DIEGO, CA 92102

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.822.2100

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SKMB	RG
06/24/2016	CYCLE 35	SKMB	RG
08/24/2016	CYCLE 38	SK	RG
09/28/2016	CYCLE 41	SK	RG

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
Hardscape Plan

Scale
1" = 50'

L1.1D

©2016 Gensler





ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

10999 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10200 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92121

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

2756 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.822.3100

Gensler

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SK/MB	RG
09/24/2016	CYCLE 35	SK/MB	RG
08/24/2016	CYCLE 38	SK	RG
09/29/2016	CYCLE 41	SK	RG
12/16/2016			

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

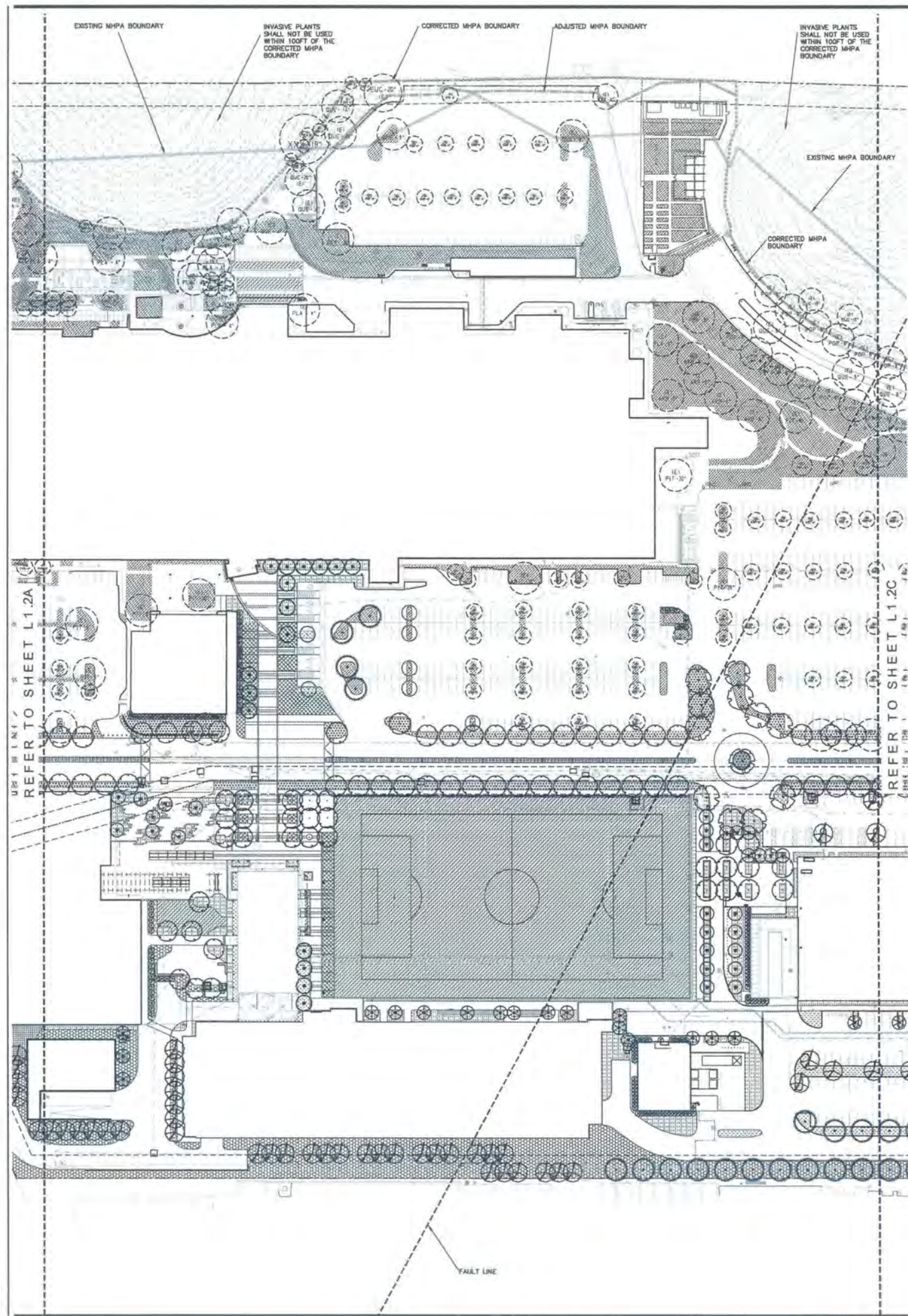
Project Number
55.7538.000

Description
Planting Plan

Scale
1" = 50'

L1.2B

©2015 Gensler

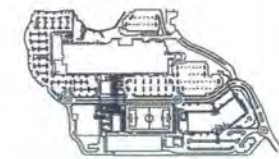


PLANTING LEGEND

SYMBOL	EXISTING TREES TO REMAIN	TREE SPECIES ABBREVIATION
	INDICATES TREE CALIPER	
	INDICATES TREE SPECIES	
SYMBOL	PROPOSED TREES	COMMON NAME
	STREET TREES SUCH AS: TYPHANA TIPU	TIPIU TREE
	ENVIRONMENTAL TREES SUCH AS: SELERIA PARVIFLORA LARGENTRICHIA INDICA 'PILUPURPA' LIGULARIA STRACHANII 'FESTIVAL' PITTOSPORUM TENUICOLLUM SPATHOLIS CAMPIDOLATA	AUSTRALIAN WILLOW PINK PINK PINK PINK PINK PINK PINK PINK PINK PINK PINK PINK PINK PINK PINK
	SCREENING TREES SUCH AS: LUPINOSTERIS CONFERTUS	BRISBANE BOX
	PARKING LOT TREES SUCH AS: LUPINOSTERIS CONFERTUS TINUS TORREYANA ACELAURETIA BIPINNATA	BRISBANE BOX CANEY PINE CHINESE PLANE TREE
SYMBOL	WIDE ENTRY PLANTING SUCH AS:	COMMON NAME
	AGAVE 'JOLLY GREEN'	JOLLY GREEN AGAVE
	AGAVE AMER. VAR. MEDIO-PICTA 'ALBA'	WHT.-STRIPE CENTURY PLANT
	ALOE 'ALWAYS RED'	ALWAYS RED HYBRID ALOE
	ANTIOXANTHOS FLAVIDUS 'DUSK DAWN'	YELLOW KANGAROO PAW
	BULBINE FRUTESCENS	SHARK FLOWER
	LEUCOSPHEUM 'YELLOW BIRD'	NOODING PINKCUSHION
	LEUCOSPHEUM 'FLAME GARDEN'	GIANT ORANGE NOODING PINKCUSHION
	NASSELLA TENUICOLLA	MEXICAN FEATHER GRASS
	SENECIO HANDBALLS	KLEMA
SYMBOL	WIDE ENTRY PLANTING SUCH AS:	COMMON NAME
	BESCHNERIA T. 'FLAMINGO GLOW'	VANEGATED AGAVE
	BULBINE FRUTESCENS 'YELLOW'	YELLOW STALKED BULBINE
	CHOROPETALUM TECTORIUM	SHARK FLOWER
	HEPERALOE PARVIFLORA 'YELLOW'	RED YUCCA
	HEPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA
	LEUCOSPHEUM DISCOLOR 'PINK PINK'	PINK PINK PLANT
	LEYNIS CONDENSATUS CANYON PRINCE	CANYON PRINCE WILD RYE
	NASSELLA TENUICOLLA	MEXICAN FEATHER GRASS
	SENECIO HANDBALLS	KLEMA
SYMBOL	PROPOSED PLANTING SUCH AS:	COMMON NAME
	ALOE 'ALWAYS RED'	ALWAYS RED HYBRID ALOE
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE
	BESCHNERIA T. 'FLAMINGO GLOW'	FLAMINGO GLOW MEXICAN LILY
	BULBINE FRUTESCENS 'YELLOW'	YELLOW STALKED BULBINE
	CRASSULA CORYMBOSA 'SHARK TOOTH'	SHARK'S TOOTH CRASSULA
	PLECTRANTHUS HEDICHLIS 'LOBSTER'	LOBSTER FUZZY WUZZY FLOWER
	NASSELLA TENUICOLLA	MEXICAN FEATHER GRASS
	SENECIO HANDBALLS	KLEMA
SYMBOL	BUILDING ENTRY PLANTING SUCH AS:	COMMON NAME
	AGAVE 'JOLLY GREEN'	JOLLY GREEN AGAVE
	AGAVE AMER. VAR. MEDIO-PICTA 'ALBA'	WHT.-STRIPE CENTURY PLANT
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE
	AGAVE BRACKETEIA 'CALANCA'	CALANCA AGAVE
	ANTIOXANTHOS FLAVIDUS 'DUSK DAWN'	YELLOW KANGAROO PAW
	BULBINE FRUTESCENS 'YELLOW'	YELLOW STALKED BULBINE
	CHOROPETALUM TECTORIUM	SHARK FLOWER
	DRACAENA MARGINATA	RED-EDGED DRACAENA
	DRAPTOPETALUM PARAGUAYENSE	SHIRT PLANT
	LEUCOSPHEUM 'YELLOW BIRD'	NOODING PINKCUSHION
	NASSELLA TENUICOLLA	MEXICAN FEATHER GRASS
	SENECIO HANDBALLS	KLEMA
SYMBOL	ALWAYS PLANTING SUCH AS:	COMMON NAME
	ANTIOXANTHOS FLAVIDUS 'DUSK DAWN'	YELLOW KANGAROO PAW
	AGAVE AMER. VAR. MEDIO-PICTA 'ALBA'	WHT.-STRIPE CENTURY PLANT
	BESCHNERIA T. 'FLAMINGO GLOW'	FLAMINGO GLOW MEXICAN LILY
	BRUGIA VILLOSA 'RASP RASPBERRY'	RASP RASPBERRY BOOZAVILLEA
	DRACAENA MARGINATA	RED-EDGED DRACAENA
	GREVILLEA 'BONFIRE'	WCH
	HARDENBERGIA VIOLEACEA 'MEYER'	MEYER VINE LILAC
	HEPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA
	PLECTRANTHUS HEDICHLIS 'LOBSTER'	LOBSTER FUZZY WUZZY FLOWER
	NASSELLA TENUICOLLA	MEXICAN FEATHER GRASS
	SENECIO HANDBALLS	KLEMA



KEY PLAN



10996 Torreyana Road Suite 250
San Diego, CA 92121

10250 & 10300 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

2736 Shelter Island Drive
San Diego CA 92106
Telephone: 619.822.2100

Date	Issue/Revision	By	T
11/30/2015	CYCLE 27	SK	R
04/01/2016	CYCLE 32	SK/MB	R
06/24/2016	CYCLE 35	SK/MB	R
08/24/2016	CYCLE 38	SK	R
09/29/2016	CYCLE 41	SK	R

©2015 Gensler

ATTACHMENT 19



ATYPICAL	EXISTING TREES EXISTING TREES TO REMAIN	TREE SPECIES ABBREVIATION
		ACA ACADIA LONGIFOLIA
		ABU ARBUTUS "VARNIA"
		CER CERUS CANNABIS
		EUC EUCALYPTUS CALARGAL TRE
		EUC EUCALYPTUS CINCHENAL
		FIC FICUS MACROPHYLLA
		OLE OLEA EUROPAE
		PTC PINUS CANNABINUS
		PTC PINUS ROSEA
		PTI PINUS TORREYANA
		PLA PLATANUS RADICATA
		POD PODOCARPUS GRACILIS
		POP POPULUS DIF.
		QUE QUERCUS AGRIIFOLIA
		SCW SCOTCH PINE

SYMBOL	PROPOSED TREES	EXIST. BUILDING POLLS CROSSING
	STREET TREES SUCH AS: TIPUANA TREE	TIPU TREE
	SCREENING TREES SUCH AS: LIGUSTRUM STYRACIFLUA PARVIFLOR LOT TREES SUCH AS: LIGUSTRUM STYRACIFLUA PITTOSPORUM TENUIFOLIUM SCAEVOLA CAPPANELLA	AUSTRALIAN WAX MYRTLE PINKIE CRAW MYRTLE PINKIE TREE/TOP BILLY SHEAR OLEANDER AFRICAN TULIP TREE
	PARKING LOT TREES SUCH AS: LIGUSTRUM STYRACIFLUA PINUS TORREYANA SCAEVOLA CAPPANELLA	BRESSANIE BOX TORREY PINE CHINESE FLAME TREE

SYMBOL	SITE ENTRY PLANTING SUCH AS:	COMMON NAME
	AEQUUM "JOLLY GREEN"	JOLLY GREEN AEQUUM
	ALIVE AMER. VAR. MEDIO-PICTA "ALBA"	WHT.-STRIPED COUNTRY PLANT
	ALOE R "ALWAYS RED"	ALWAYS RED HYBRID ALOE
	AMODONTARION PLAYSIDUS "BUSH DAWN"	YELLOW KANGAROO PAW
	BULBINE FRUTESCENS	SNAIL FLOWER
	LEUCOSPERRMUM "YELLOW BIRD"	WODEGEE PICHUSKID
	LEUCOSPERRMUM "FLAME SIAKI"	SIAMT ORANGE WODEGEE PICHUSKI
	NASSELLA TENUSISMA	MEXICAN FEATHER GRASS
	SENECIO MANHATTANICAE	ELKIA

BIO-EYEARD PLANTING GUIDE	
	<p>BESCHMIEDERIA Y. "FLAMING GLOW" VARIETATED AMOLE</p> <p>BULBINE FRUTESCENS "YELLOW" YELLOW STALKED BULBINE</p> <p>CHONDROPETALUM TECTORIUM SMALL CAPE RUSH</p> <p>HESPERALOE PARVIFLORA RED YUCCA</p> <p>HESPERALOE PARVIFLORA "YELLOW" YELLOW YUCCA</p> <p>LEUCOSPHEMUM DISCOLOR "POH POH" POH POH FLAME TIPS</p> <p>LEYTHUS CONDENSATUS CANYON PRINCE CANYON PRINCE WILD RYE</p> <p>NASSELLA TENUISPIS Mexican FEATHER GRASS</p> <p>SEMPERB. HUMILIS PRINCE</p>

PROPOSED PLANTING BLOCK A1		
ALOE X 'ALWAYS RED'	ALWAYS RED HYBRID ALOE	
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	
BESCHORNERIA Y. 'FLAMINGO GLOW'	FLAMINGO GLOW MEXICAN LILY	
BULBINE FRUTESCENS 'YELLOW'	SHARK'S TAIL BULBINE	
CRASSULA COEYMBULOSA 'SHARK TOTH'	SHARK'S TOTH CRASSULA	
PLECTRANTHUS NEOCALLOS 'LOBSTER'	ROSES PUZZY WUZZY FLOWER	
NOBELIA TENUISISSIMA	MEXICAN FEATHER GRASS	
SANSEVIERIA MANDARIN TOPIC	DIY KILIA	

BUILDING ENTRY PLANTS SUCH AS:	
	<p>AEDONUM 'JOLLY GREEN' JOLLY GREEN AEDONUM</p> <p>AGAVE AMER. VAR. NEQUO-PICTA 'ALBA' WHT.-STRIPED CENTURY PLANT</p> <p>AGAVE 'BLUE GLOW' BLUE GLOW AGAVE</p> <p>AGAVE BRACCTOSA 'CALAMAR' CALAMAR AGAVE</p> <p>ARGENTOSTEMMA FLAVIDUM 'BUSH DAWN' YELLOW KANGAROO PAW</p> <p>BULBINE FRUTESCENS 'YELLOW' YELLOW STALKED BULBINE</p> <p>CHONDROPOETALUM TECTORUM CAPE HUSH</p>

DRACENA MARGINATA	RED-EDGED DRACENA
DRACOPTETALUM PARAGUAYENSE	GHOST PLANT
LEUCOSPERMUM "YELLOW BIRD"	HOODING PUCONSHION
NASELLA TENUESOLINA	MEXICAN FEATHER GRASS
SENEDIO MANDALISCACE	KLEINIA
BE EXHAUSTIVE PLANTING SUCH AS:	
 ANODONTANTHUS FLAVIDUS "BUSH DAWN" AGAVE AMEL. VAR. MEDIO-PICTA "ALBA" TRECHMANTHUS L. (L. AGAVE) CALAMUS	YELLOW CANGAROO PAW WHT. -STRIPED CENTURY PLANT TRECHMANTHUS L. (L. AGAVE) CALAMUS

BOUGHOMETIA 7 "FLAMING GLOW"	FLAMING GLOW PEACH LILY
BOUGAINVILLEA "KASPA RASPBERRY"	KASPA RASPBERRY BOUGAINVILLEA
ORACMEA MARGINATA	RED-EDGED ORACMEA
ORCIVILLEA "BOONFIRE"	WCM
HARDENBERGIA VIOLEACEA "PINKA"	PINKMA VIOLE LILAC
HEPESALOE PARVIFLORA "YELLOW"	YELLOW YUCCA
PLEISTRANTHUS MEXICOLIS "LOBSTER"	NIKES FUZZY WUZZY FLOWER
MEXICANIA TEXICISSIMA	MEXICAN FEATHER GRASS
HEPESALOE MEXICOLIS "RED"	RED YUCCA

SCREENING PLANTING SUGGEST:		
	AKACIA CURTIFORMIS	KNIF-LEAF WATTLE BH/SC
	CALLISTHO CALIFORNICA	RED BAY GUSTER XF/AC
	GREVILLEA "BONFIRE"	NON
	HETEROMELES ARBUTIFOLIA	TOYON S/S/SC
	PITTOSPORUM TREE, "SILVER SHEEN"	SILVER SHEEN TAWHITI BH/ SC, AC
ROCKER FIELD PLANTING SUGG AS:		
	SOD LAWN	

2020 LAWN		
	NATURALIZED PLANTING (NOV. 4 th)	
	BACCHARIS PILULARIS "WIM PEARS"	DWARF COYOTE BRUSH BH/SC
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY S/AC
	HEULEMBERGIA RIGENS	DEER GRASS U/AC
	YUCCA LACINATA	LOW DROOP SLOWFLOWER DL/F
	YUCCA WHORLIFE	OUR LORD'S CANDLE U/AC
	PARKING AREA PLANTING (NOV. 4 th)	
	ROSE HIPS "PROTEUS" "YELLOW"	YELLOW SHARK FLOWER DL, S, F/AC
	HARDENBERGIA VIOLEACEA "HELIX"	PERENNIAL VINE LILAC AC/S/AF
	HELIOPSIS SCUTELLARIUM "SUPERVIEWS"	BLUE GUT GRASS U/AC

SCOTT'S	SCOTT'S MANDALACINAE	KLDEX	S/AC
	SUBSECTION PLANTINUS (UCH)		
	CAREX SPISSA	SAN DIEGO SEDGE	S, E/AC
	CHONDROPSALIS TECTORUM	CAPE RUSH	S/AC
	JUNCUS PATENS "ELK BLUE"	ELK BLUE CALIFORNIA GRAY RUSH	U/L, E/AC
	LYTHRUS CONDENSATUS	WIDE RITE	U/L, E/AC
	SECTUS MANDALACINAE (UCH) AS (SEE NOTES)		
	CHONDROPSALIS TECTORUM	CAPE RUSH	S/AC
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	S/AC
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	U/L, E/AC
	SALVIA SPATRACHE	HOPPOGROSS LEAF	U/L, E/AC
	VIOLAEUS LACINATA	SAN DIEGO SUMPLINGER	U/L, E/AC

	YUCCA WHIPPLEI	OUR LORD'S CANDLE	U/AC
WREATH MANAGEMENT ZONE 2 SUCH AS TREE TRUNKS:			
	EUCHOISIDA CALIFORNICA	CALIFORNIA POPPY	S/AC
	LUPINUS WICLIDE	PURSE-LEAVED LUPINE	U/AC
	MONARDIA PURPUREA	RED MONKEY FLOWER	U/CL, F
	ESTROPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	U/CL, F
	PLANTAIN	PLANTAIN	S/AC
 EXISTING ORNAMENTAL PLANTING WITHIN THE PROPERTY BOUNDARY TO REMAIN:			
 EXISTING SLOPE PLANTING WITHIN THE PROPERTY BOUNDARY TO REMAIN:			
 EXISTING PLANT COMMUNITIES: REFER TO THE BIOLOGICAL RESOURCES REPORT			

☐ DIEGAN COASTAL SAGE SCRUB

☐ NON-NATIVE ANNUAL GRASSLAND

☐ EUCALYPTUS WOODLAND

OTHER

☒ PROPERTY LINE

☐ BUILDING SETBACK

☒ EXISTING PMPA BOUNDARY

☐ CORRECTED PMPA BOUNDARY

ADJUSTED WPA BOUNDARY

ABBREVIATIONS


FUNCTION	D = DECIDUOUS	SH = SHADE
FR = BROAD LEAF	E = EVERGREEN	SC = SCREEN
PT = PYRAMIDAL	P = PALM	AC = ACCENT
S = UPRIGHT	F = FLOWERING	SP = SPECIMEN

INVASIVE SPECIES REMOVAL NOTE

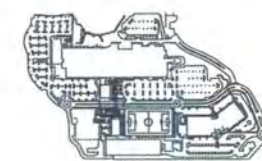
INVASIVE SPECIES WILL BE REMOVED FROM THE PREMISES TO THE MAXIMUM EXTENT PRACTICABLE. THESE SPECIES INCLUDE BUT ARE NOT LIMITED TO: PARASOL GUMS, COMMON POISON HEMLOCK, RUSSIAN THISTLE, COTONWOOD, WHITE GUM, WESTERN CISTACEA, WHITE ITALIAN THISTLE, TOPE TOBACCO, SACKED POPPER, ENGLISH PLANTAIN, AUSTRALIAN SLAUGHTER, PERUVIAN PEPPER, AND TIGER LIL. OCCURENCE WITHIN THE WPA OR WITHIN 50 FEET OF IT

KEY PLAN

N PROJECT NORTH



KEY PLAN



TREES



CERCIS CANADENSIS



PINUS TORREYANA



KOELERUTERIA PANICULA



QUERCUS GARRIANA



PLATANUS RACEMOSA



TIPUANA TIPU



GEIJERA PARVIFLORA



PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'



SPATHODEA CAMPANULATA



LAGERSTROEMIA INDICA 'PURPUREA'



LIQUIDAMBAR STYRACIFLUA 'FESTIVAL'



LOPHOSTEMON CONFERTUS

AMENITY AREA CHARACTER



GARDEN CORE



LINEAR PROMENADE



GARDEN CORE - INTIMATE SPACE



LINEAR PROMENADE



GARDEN CORE - INTIMATE SPACE



LINEAR PROMENADE

HARDSCAPE



ENHANCED CONCRETE - EXPOSED AGGREGATE FINISH



ENHANCED CONCRETE - TOPSEEDED AGGREGATE FINISH



STABILIZED DIRT PAVING



PRE-CAST CONCRETE PAVERS



STONE PAVING

ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
19,350 & 10,500 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

Gensler
225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520
2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.822.2100

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SKMB	RG
06/24/2016	CYCLE 35	SKMB	RG
08/24/2016	CYCLE 38	SK	RG
08/29/2016	CYCLE 41	SK	RG

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

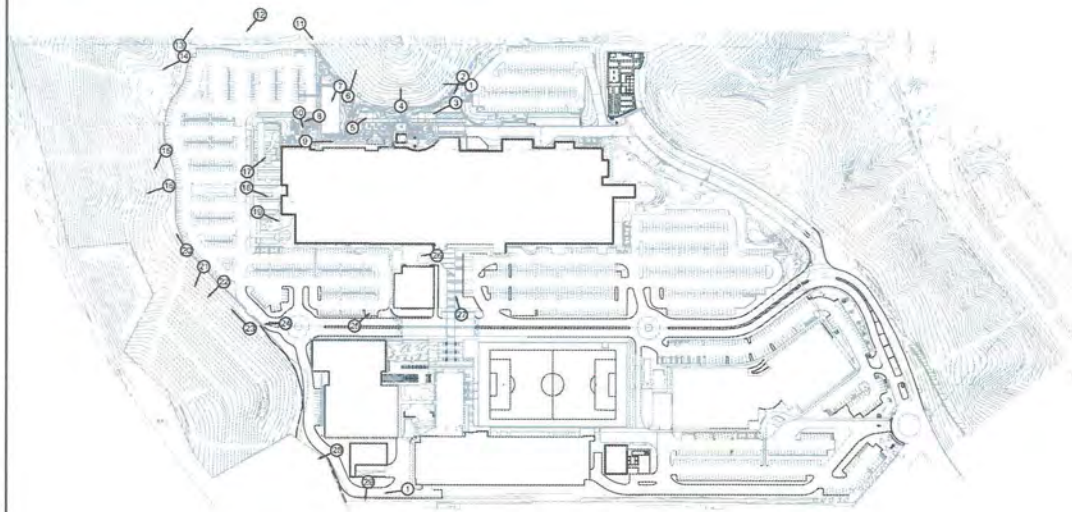
Project Number
55.7538.000

Description
Character Imagery

Scale
NTS

L1.5

©2015 Gensler



LOCATION 1. EXISTING PINES AND EUCALYPTUS AT NORTH



LOCATION 2. SEATING AREA PLANTING



LOCATION 3. SEATING AREA PLANTING



LOCATION 4. PINE TREES AND CHAPARRAL PLANTS AT NORTH SIDE OF SITE



LOCATION 5. OLIVE TREES AT NORTH END OF BUILDING 1



LOCATION 6. BRUSH RAVINE AT NORTH SIDE OF SITE



LOCATION 7. MULTI-USE LAWN ON NORTH SIDE OF BUILDING 1



LOCATION 8. ARBUTUS TREES NORTH OF BUILDING 1



LOCATION 9. NORTH WEST CORNER PLANTING AND WALKWAY



LOCATION 10. STAIRWAY PLANTING ON NORTH END OF BUILDING 1



LOCATION 11. DISTANT VIEW OF RAVINE AT NORTH SIDE OF SITE



LOCATION 12. TORREY PINE AT THE NORTHWEST CORNER OF THE SITE



LOCATION 13. EXISTING EUCALYPTUS AND CHAPARRAL AT NORTHWEST CORNER OF SITE



LOCATION 14. EXISTING EUCALYPTUS AND GRASS AT NORTHEAST CORNER OF SITE



LOCATION 15. EXISTING EUCALYPTUS AND CHAPARRAL AT WEST SIDE OF SITE



LOCATION 16. EXISTING RHUS AND CHAPARRAL AT WEST SIDE OF SITE



LOCATION 17. AGAVE AND SUCCULENTS AT BUILDING ENTRY



LOCATION 18. AGAVE AND SUCCULENTS AT BUILDING ENTRY



LOCATION 19. AGAVE AND SUCCULENTS AT BUILDING ENTRY



LOCATION 20. EXISTING EUCALYPTUS ALONG EDGE OF EXISTING PARKING



LOCATION 21. EXISTING ACACIA AND EUCALYPTUS BELOW EXISTING PARKING LOT



LOCATION 22. EUCALYPTUS GROVE BELOW EDGE OF EXISTING PARKING



LOCATION 23. EXISTING EUCALYPTUS AT SOUTHWEST CORNER OF SITE



LOCATION 24. EXISTING EUCALYPTUS ON WEST SIDE OF SITE



LOCATION 25. EXISTING PLANTING ON SOUTH END OF BUILDING 1



LOCATION 26. TORREY PINE COURTYARD



LOCATION 27. ENTRYWAY PLANTING FOR BUILDING 1



LOCATION 28. ACACIA SHRUB AT PARKING LOT



LOCATION 29. EUCALYPTUS TREES ON SOUTH END OF EXISTING PARKING LOT



ALEXANDRIA REAL ESTATE
EQUITIES
10996 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT
19.50 & 19.500 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.822.2100

Date	Issue/Revision	By	To
11/30/2015	CYCLE 27	SK	RG
04/01/2016	CYCLE 32	SKMB	RG
06/24/2016	CYCLE 35	SKMB	RG
08/24/2016	CYCLE 38	SK	RG
09/29/2016	CYCLE 41	SK	RG
12/16/2016			

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

Project Number
55.7538.000

Description
Existing Vegetation Imagery

Scale
NTS

L1.6

©2015 Gensler

INVASIVE PLANT REMOVAL NOTE:
INVASIVE SPECIES WILL BE REMOVED FROM THE PREMISES TO THE MAXIMUM
EXTENT PRACTICABLE. THESE SPECIES INCLUDE (BUT ARE NOT LIMITED TO):
PAMPAS GRASS, COMMON POISON HEAL, RUSSIAN THISTLE,
COOTJANDRA WATTLE, WESTERN COASTAL WATTLE, ITALIAN THISTLE,
TREE TOBACCO, SCAFFOLD PRUNELLA, ENGLISH PLANTAIN, AUSTRALIAN
SALTBUCH, PERUVIAN PEPPER, AND TOCALOTE OCCURRING WITHIN THE MPA
OR WITHIN 100 FEET OF IT



ALEXANDRIA
ALEXANDRIA REAL ESTATE
EQUITIES

19906 Torreyana Road Suite 250
San Diego, CA 92121

CAMPUS POINT SITE
DEVELOPMENT PERMIT

10,560 & 10,700 CAMPUS POINT DRIVE
SAN DIEGO, CA 92112

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

2736 Shelter Island Drive
San Diego, CA 92106
Telephone: 619.822.2100

Gensler

Δ	Date	Issue/Revision	By	To
	11/30/2015	CYCLE 27	SK	RG
	04/01/2016	CYCLE 32	SK	RG
	06/24/2016	CYCLE 35	SK	RG
	08/24/2016	CYCLE 38	SK	RG
	09/29/2016	CYCLE 41	SK	RG
	12/16/2016			

Seal/Signature



Project Name
CAMPUS POINT SITE DEVELOPMENT PERMIT

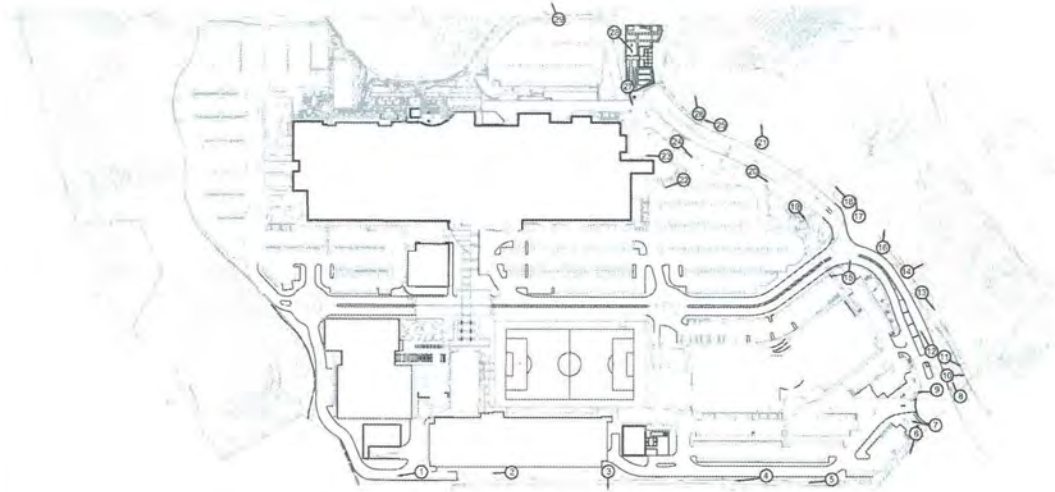
Project Number
55.7538.000

Description
Existing Vegetation Imagery

Scale
NTS

L1.7

© 2015 Gensler



LOCATION 1: EXISTING ACACIA SHRUB AND PINE TREE SCREENING AT SOUTH WEST SIDE OF SITE



LOCATION 2: EXISTING CORAL TREE AT SOUTHWEST SIDE OF SITE



LOCATION 3: EXISTING ACACIA SHRUBS AND PINE TREE SCREEN AT SOUTHWEST SIDE OF SITE



LOCATION 4: EXISTING NATAL PLUM SHRUB AT SOUTHEAST PARKING LOT



LOCATION 5: EXISTING NATAL PLUM SHRUB AT SOUTHEAST PARKING LOT



LOCATION 6: EXISTING VINCA VINE ON SLOPE AT SOUTH PARKING LOT



LOCATION 7: EXISTING CALIFORNIA SYCAMORE AT PROPERTY ENTRY



LOCATION 8: EXISTING ACACIA AND EUCALYPTUS AT PROPERTY ENTRY



LOCATION 9: EXISTING CALIFORNIA SYCAMORE AT PROPERTY ENTRY



LOCATION 10: EXISTING ACACIA SHRUBS



LOCATION 11: EXISTING EUCALYPTUS AT PROPERTY ENTRY



LOCATION 12: EXISTING DIANELLA AND AGAVE AT ENTRY BOULEVARD



LOCATION 13: EXISTING EUCALYPTUS AT PROPERTY ENTRY



LOCATION 14: EXISTING DIEGAN COASTAL SAGE SCRUB



LOCATION 15: EXISTING SYCAMORE AND DIETS IN PARKING ISLAND



LOCATION 16: EXISTING HETEROMELES ARBUTIFOLIA TREES



LOCATION 17: EXISTING EUCALYPTUS AT ENTRY BOULEVARD



LOCATION 18: EXISTING POPULUS TREES



LOCATION 19: EXISTING TORREY PINE AT PERIMETER PATHWAY



LOCATION 20: EXISTING POPULUS TREE AT PERIMETER PATHWAY



LOCATION 21: EXISTING DIEGAN COASTAL SAGE SCRUB



LOCATION 22: EXISTING JUNOS AND TORREY PINE AT EXISTING BUILDING



LOCATION 23: EXISTING TORREY PINE AND LOW GRASSES AT EXISTING BUILDING



LOCATION 24: EXISTING PLAZA WITH GRASSES AT THE EDGES



LOCATION 25: EXISTING ACACIA SHRUBS



LOCATION 26: EXISTING ACACIA SHRUBS



LOCATION 27: EXISTING POPULUS AND SYCAMORE AT DRIVEWAY



LOCATION 28: EXISTING ORGANIC GARDEN



LOCATION 29: EXISTING EUCALYPTUS AT NORTH END OF BUILDINGS

INVASIVE PLANT REMOVAL NOTE
INVASIVE SPECIES WILL BE REMOVED FROM THE PREMISES TO THE MAXIMUM EXTENT PRACTICABLE. THESE SPECIES INCLUDE (BUT ARE NOT LIMITED TO): PAMPAS GRASS, COMMON POISON HEALOOK, RUSSIAN THISTLE, COOTAMUNDRA WATTLE, WESTERN COASTAL WATTLE, ITALIAN THISTLE, TREE TOBACCO, SCARLET PIMPINEL, ENGLISH PLANTAIN, AUSTRALIAN SALTBUSH, PERUVIAN PEPPER, AND TOCALUTE OCCURRING WITHIN THE MHA OR WITHIN 100 FEET OF IT