



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: August 24, 2017 REPORT NO. PC-17-067  
HEARING DATE: August 31, 2017  
SUBJECT: THE BOULEVARD. Process Four Decision  
PROJECT NUMBER: [523426](#)  
OWNER/APPLICANT: PB Ocean Condos, LLC/ Tim Golba

### SUMMARY

Issue: Should the Planning Commission approve a mixed-use residential/commercial development located at 4253 Mission Boulevard within the Pacific Beach Community Planning area?

Staff Recommendation: APPROVE Coastal Development Permit No. 1961242; APPROVE Planned Development Permit No. 1986849, and APPROVE Site Development Permit No. 1961246.

Community Planning Group Recommendation - On March 22, 2017 the Pacific Beach Planning Group voted 7-5-0 to recommend approval of the project with the condition the alley next to the project be illuminated at night (Attachment 10).

Environmental Review: This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 7, 2017, and the opportunity to appeal that determination ended July 21, 2017.

Fiscal Impact Statement: None associated with this action. All costs associated with the processing for this project are paid by the applicant.

Housing Impact Statement: The [Pacific Beach Community Plan /local Coastal Program Area designates](#) the site for Visitor Commercial. The project will provide 16 market rate apartments, replacing an existing vacant commercial building to be demolished as part of this proposal. This project is subject to the requirements of the City's Inclusionary Affordable Housing Regulations (Chapter 14, Article 2, Division 13 of the San Diego Municipal Code), and the payment of Affordable Housing fees are due at the time of building permit issuance.

### BACKGROUND

The 0.52-acre project site is located at 4253 Mission Boulevard within the Commercial Visitor (CV-1-2) zone and is designated Visitor Commercial in the Pacific Beach Community Plan. The site is governed by the regulations included in the CV-1-2 zone, Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable), the Parking Impact Overlay Zone (Beach Impact Area), and the

Residential Tandem Parking Overlay Zone. The zoning allows for 15 units to be built on the site and is more restrictive than the land use plan which allows 43 units per acre, or 22 units for this site.

A vacant, single story Burger King restaurant constructed in 1979 exists on site. Its operations ceased in November 2016. The project site is completely contained within private property and does not contain, nor is it adjacent to, environmentally sensitive lands. The nearest public access to the Pacific Ocean is located at the end of Reed Avenue approximately one block to the west. The project site is located in an urbanized area of Pacific Beach and is bordered by Mission Boulevard to the west, Reed Avenue to the south, commercial development to the north, and a public alley to the east abutting multi-family residential uses.

## DISCUSSION

### Project Description:

The project proposes the demolition of an existing commercial building and the construction of a mixed use development. It will include 4,553 square feet of retail space and 14,590 square feet of enclosed parking on the first floor with 16 residential units located on the second and third floors. The commercial retail space will front both Reed Avenue (902 square feet) and Mission Boulevard (3,642 square feet) with on-site parking accessed from a new driveway along Reed Avenue. The residential units located directly above the commercial space will consist of five, four-bedroom units and 12, three-bedroom units. The four bedroom units will range in size from 1,615 to 1,992 square feet while the three bedroom unit will range from 1,501 to 1,811 square feet. Each unit will have a deck on the second and third floor. Located on the second floor and in the middle of the development and uncovered, is an approximate 1,500 square-foot common area to include a seating area, raised planters, and a water feature.

Parking to the development will be separated between commercial and the residential uses. Parking to the commercial component will be accessed from a driveway off Reed Avenue and located adjacent to the first floor commercial spaces toward Mission Boulevard. Parking for the residential component will be accessed from an alley approximately 135 feet to the east of the commercial driveway.

Approvals needed for the project include a Coastal Development Permit, pursuant to San Diego Municipal Code (SDMC) section [126.0707](#); Planned Development Permit ([SDMC 143.0402](#)) for a multiple dwelling unit residential development with increased density per the adopted land use plan; and a Site Development Permit (SDMC [143.0920](#)) for deviations to minimum ground floor height for structures with commercial uses and the addition of a curb cut when a site contains an alley (See deviations discussion below).

### Community Plan Analysis:

The Pacific Beach Community Plan/Local Coastal Program Area designates the site for Visitor Commercial. The Visitor Commercial land use designation allows for residential development in a mixed use setting with a density up to 43 dwelling units per acre, allowing up to 22 dwelling units for the site. The proposal for 16 new residential units is consistent with the Pacific Beach Community Plan/Local Coastal Program Area.

The Pacific Beach Community Plan recommends a variety of housing types and styles to help create safe and pleasant linkages between residential and commercial use areas. Additionally, the Plan recommends developing mixed-use residential, office, and commercial developments within transit corridors along Garnet Avenue and Mission Boulevard and in the commercial core area of Garnet

Avenue/Ingraham Street. New commercial developments are encouraged to incorporate landscaping treatments as identified in the streetscape recommendations of this plan.

The proposed project would help implement the Transit Oriented Development (TOD) standards of the Community Plan by providing appropriate smaller scale commercial uses on the ground floor facing both street frontages (Mission Boulevard and Reed Avenue) and sustainable infill multi-family housing along a commercial corridor. The project brings buildings close to the sidewalk and locates parking to the rear of the lot consistent with the Community Plan’s TOD standards. Additionally, the project incorporates articulated building facades to provide variety and interest to the streetscape consistent with Community Plan and General Plan Urban Design Element goals and policies. The proposed project is located along a transit corridor with a bus stop on Mission Boulevard, and would help implement TOD standards through the inclusion of bicycle racks in an area that is easily accessible from an identified bicycle route.

The proposed project is consistent with the General Plan Urban Design Element and meets the recommendations of the Community Plan by observing the density designated for the site, proposes a mixed-use development adjacent to a major transit corridor, and implements the streetscape recommendations of the Community Plan.

Project-Related Issues:

Three deviations are being requested as part of the project design: 1) a reduction in the required minimum ground floor height requirement for structures with commercial uses on the ground floor; 2) an allowance for the commercial parking to be accessed from a single curb cut off Reed Avenue where access is required to be taken from the adjacent alley; and 3) an increase to the density allowed per the CV-1-2 zone but within the Land Use Plan density requirement. The following tables outlines the deviations:

<b>Commercial Ground Floor Height</b> <b>San Diego Municipal Code (SDMC) section <a href="#">131.0548</a></b>	
<b>Proposed</b>	<b>Required</b>
Nine feet	15 feet

<b>Commercial Curb Cut</b> <b>SDMC Section <a href="#">142.0560(j)(7)</a></b>	
<b>Proposed</b>	<b>Required</b>
24-foot Curb Cut	Required Parking to be accessed from alley.

<b>Density</b> <b>SDMC Section <a href="#">131.0531</a></b> <b>Table <a href="#">131-05D</a></b>	
<b>Proposed</b>	<b>Allowed Per Zone</b>
16 dwelling units	15 dwelling units

Commercial Ground Floor Height: SDMC Section [131.0548](#) requires a 15-foot minimum ground floor height for structures with commercial uses on the ground floor. The deviation is being requested to allow a reduction in the required minimum ground floor height requirement for structures with commercial uses on the ground floor. The project is located within the Coastal Overlay Zone and is subject to the Coastal Height Limitation Overlay Zone height limit of 30'-0" (SDMC section [131.0548](#)). Strict compliance with this height would limit the proposed mixed-use portion of the project to be

two stories and effectively require residential development to only one story based on the zoning restrictions and the location of the ground floor residential uses. The requested deviation will allow for a three-story building and allow two full floors of residential units. Further, the deviation would allow the project to conform to the existing built environment which includes three story mixed-use projects along Mission Boulevard, Grand Avenue and Garnet Avenue consisting of primarily ground floor commercial with two stories of residential above.

Commercial Curb Cut: SDMC section [142.0560\(j\)\(7\)](#) states that any new development or any redevelopment that increases the gross floor area by 50 percent or more on a premises abutting an improved alley, within the beach impact area of the Parking Impact Overlay Zone, requires off-street parking spaces be accessible from the alley. The proposed project abuts an existing alley which is proposing to be utilized for access to the residential parking area. The site contains an existing curb cut along Reed Avenue which is proposed to be closed. A new curb cut is proposed 135 feet to the west of the alley separating the commercial parking from the residential tenants. This will allow for visitors to the commercial area to conveniently access and utilize the designated commercial parking area and prevent confusion between commercial and residential parking. The street parking analysis concluded that reducing the width of the current 30-foot wide curb cut to 20-feet and relocating it, will actually increase on street parking from the current six spaces to seven spaces.

Density Deviation: The project proposes 16 multi-family dwelling units, one more allowed per the density in the CV-1-2 base zone. An increase in density may be allowed in accordance with SDMC Section 143.0402, Table 143-04A through the processing of a Planned Development Permit for multiple dwelling unit residential developments with increased density per the adopted land use plan. The Pacific Beach Community Plan allows a maximum of 43 dwelling units per acre for a Transit-Orientated Development (TOD). According to the Pacific Beach Community Plan a TOD is a compact, pedestrian-oriented pattern of land uses with housing, jobs, services, plazas and public uses located on the transit system.

The Pacific Beach Community Plan TOD contains recommended design standards which a new TOD should be constructed to. The proposed project adheres to the TOD standards by minimizing the building setbacks, bringing buildings closer to sidewalks, and locating the parking to the rear of lot and off of the alley. Additionally, the project will be articulating the building facades to provide variety and interest, orienting primary commercial building entrances to the pedestrian-oriented street bays, providing bicycle racks in areas that are visible and easily accessible, utilizing parking structures instead of surface parking, and locating retail uses on the street level of parking garages to preserve the life and activity at the street.

Staff analyzed the requested deviations to determine consistency with the goals and recommendations of the General Plan, Pacific Beach Community Plan, and the purpose and intent of the CV-1-2 zone. The proposed deviations will not adversely affect the aforementioned plans, and are appropriate for the site. The deviation are allowed by a Planned Development Permit and Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section [143.0915](#).

Pacific Beach Community Planning Vote: On March 22, 2107 the Pacific Beach Planning Group voted 7-5-0 to recommend approval of the project with the condition of adding an alley street light. The votes against recommending approval of the project included the following reasons: 1) insufficient number of affordable units; 2) insufficient amount of commercial space in the design; and 3) too many bedrooms included in the design of the units. Regarding the group's recommended condition, the applicant has indicated the project would include security lights to be placed all along the alley frontage. The requirement to provide alley lighting has been included in the permit.

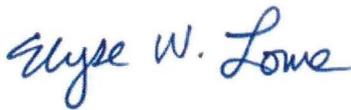
Conclusion:

With the exception of the deviations, the project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use plan, design guidelines, and development standards in effect for this site per the SDMC, the Pacific Beach Community Plan and the General Plan, thus, staff recommends approval of the project.

ALTERNATIVES:

1. Approve Site Development Permit 1961245, Planned Development Permit No. 1986849, and Coastal Development Permit No. 1961242, with modifications.
2. Deny Site Development Permit 1961245, Planned Development Permit No. 1986849 and Coastal Development Permit No. 1961242, if the finding required to approve the project cannot be affirmed.

Respectfully submitted,



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Elyse W. Lowe  
Deputy Director  
Development Services Department



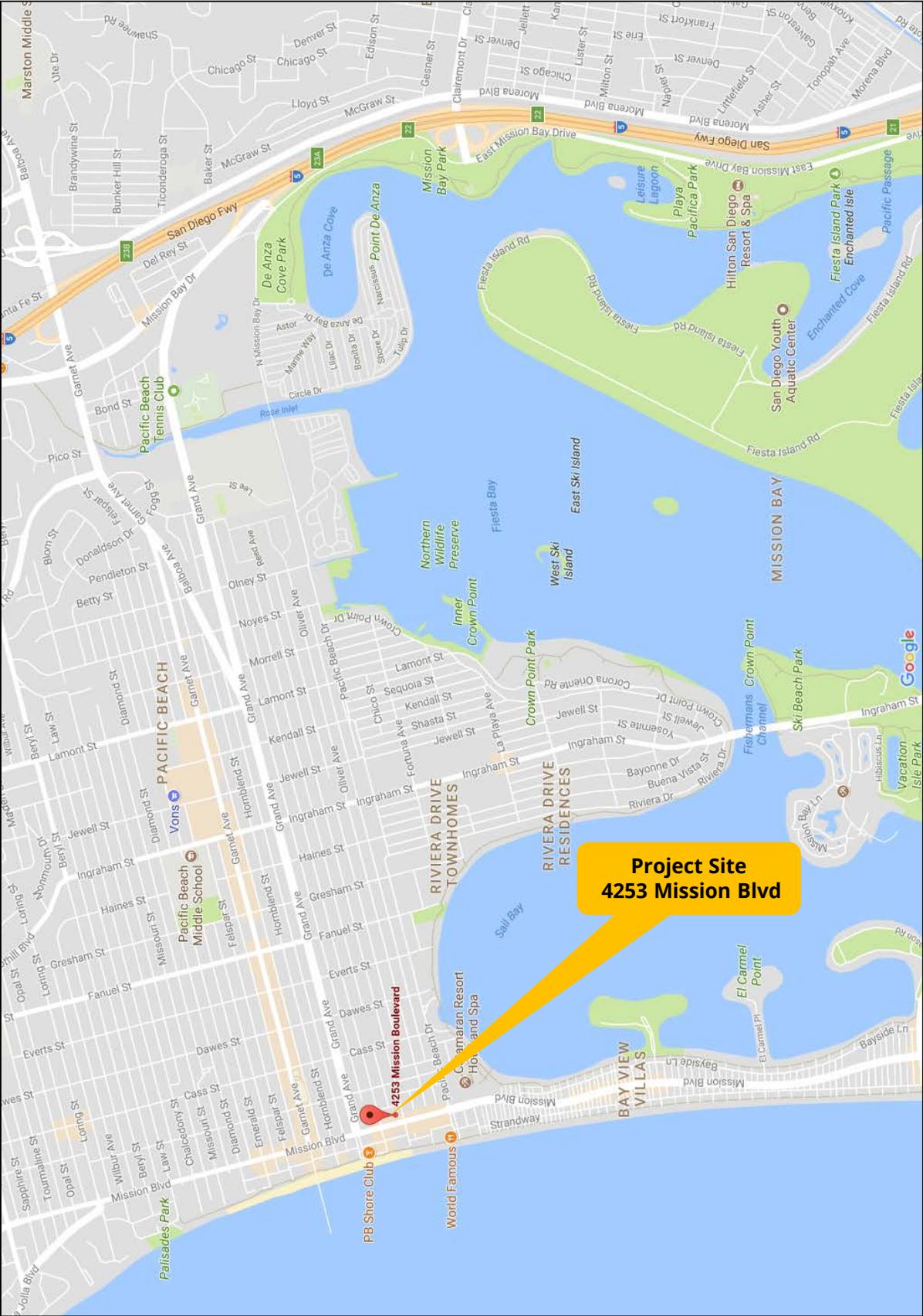
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William Zounes,  
Project Manager  
Development Services Department

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Draft Permit Resolution with Findings
7. Draft Permit with Conditions
8. Ownership Disclosure Statement
9. Community Planning Group Recommendation
10. Project Renderings
11. Project Plans

# Attachment 1 Project Location Map



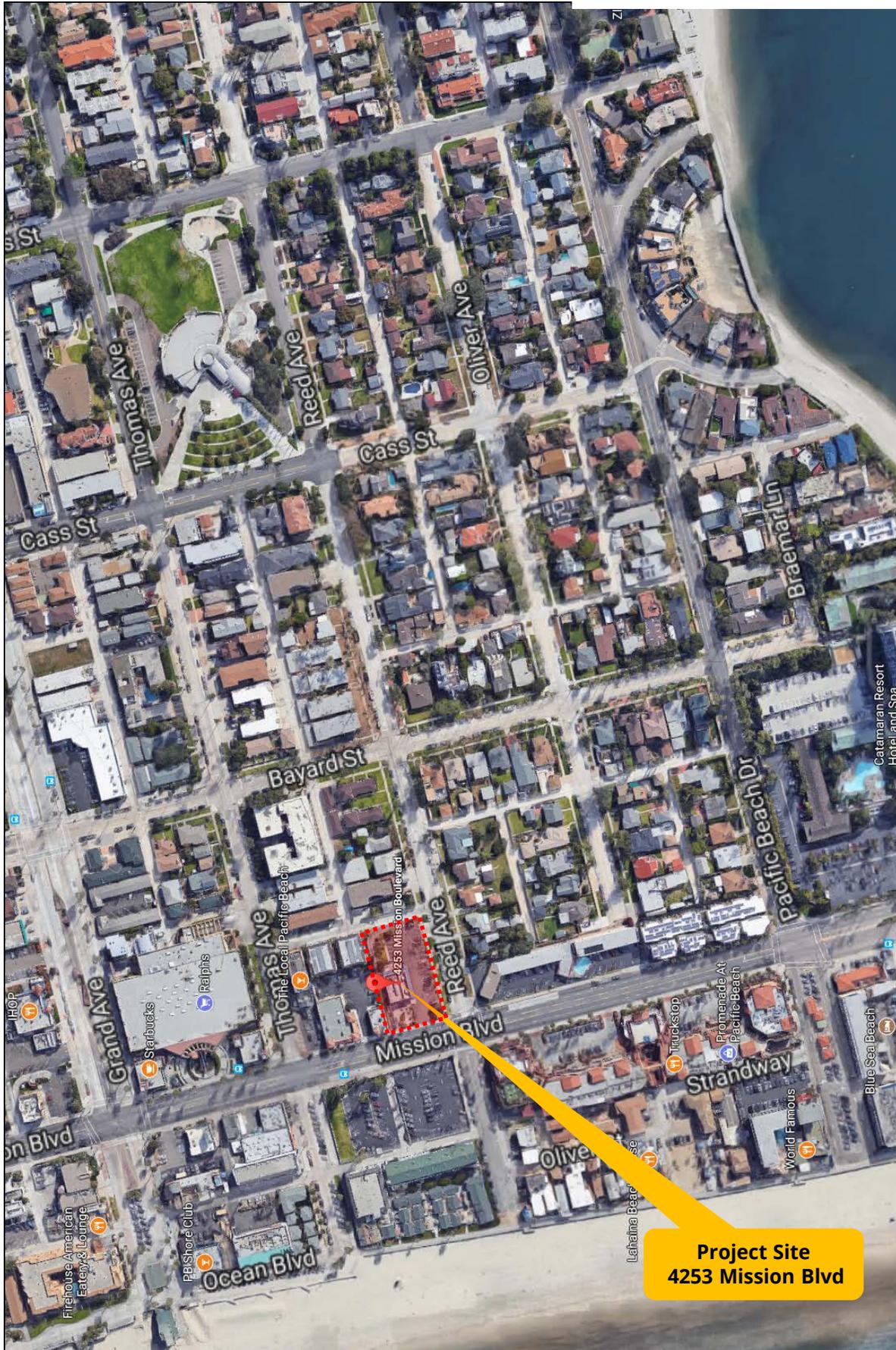
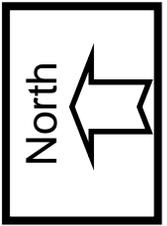
## Project Location Map

The Boulevard Project No. 523426

4253 Mission Boulevard



# Attachment 2 Aerial Photograph of Site



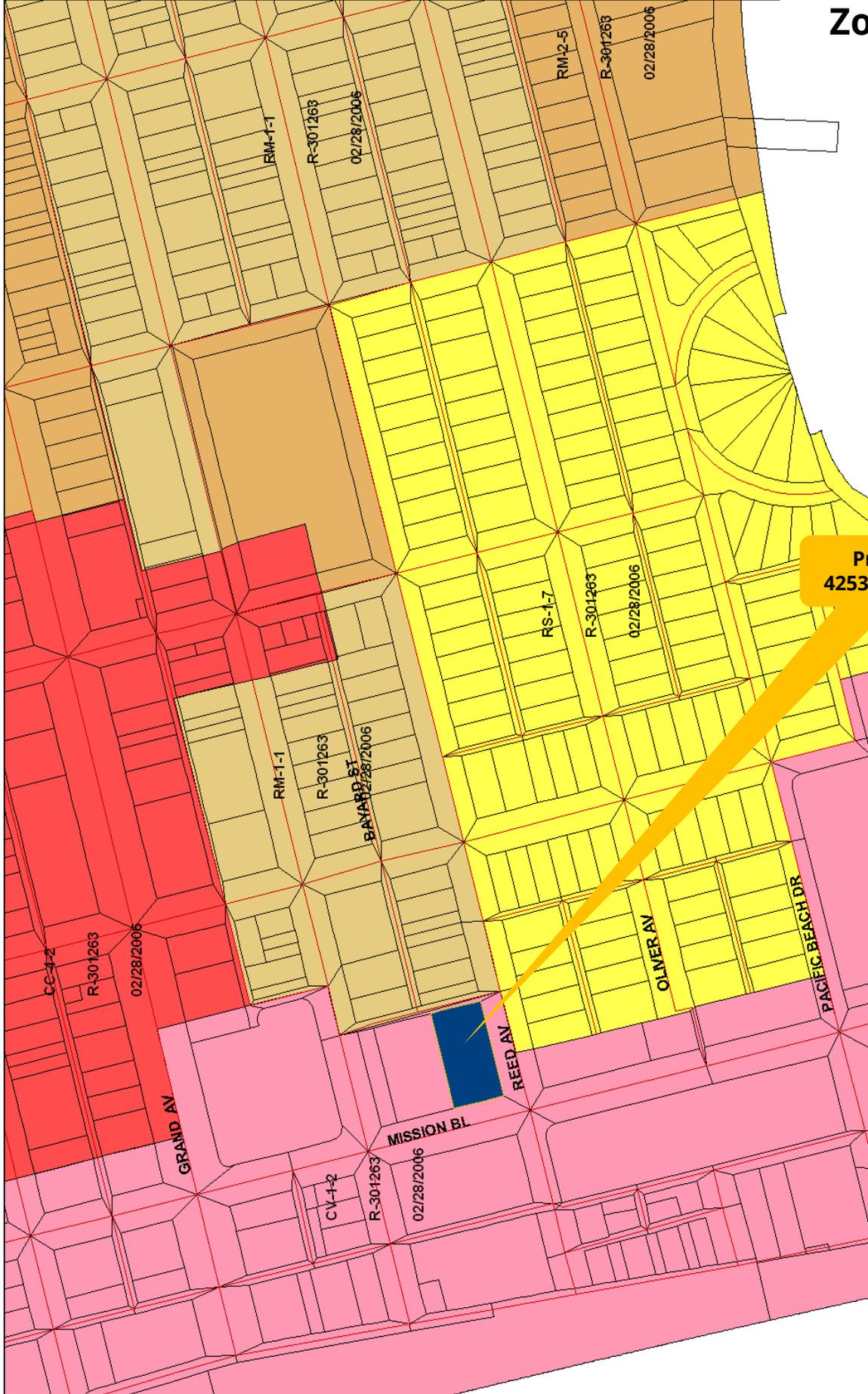
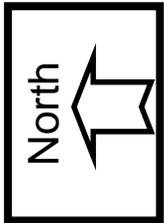
**Project Site**  
**4253 Mission Blvd**

## Aerial Photograph (Birds Eye)

**The Boulevard Project No. 523426**  
**4253 Mission Boulevard**



# Attachment 3 Zoning Map



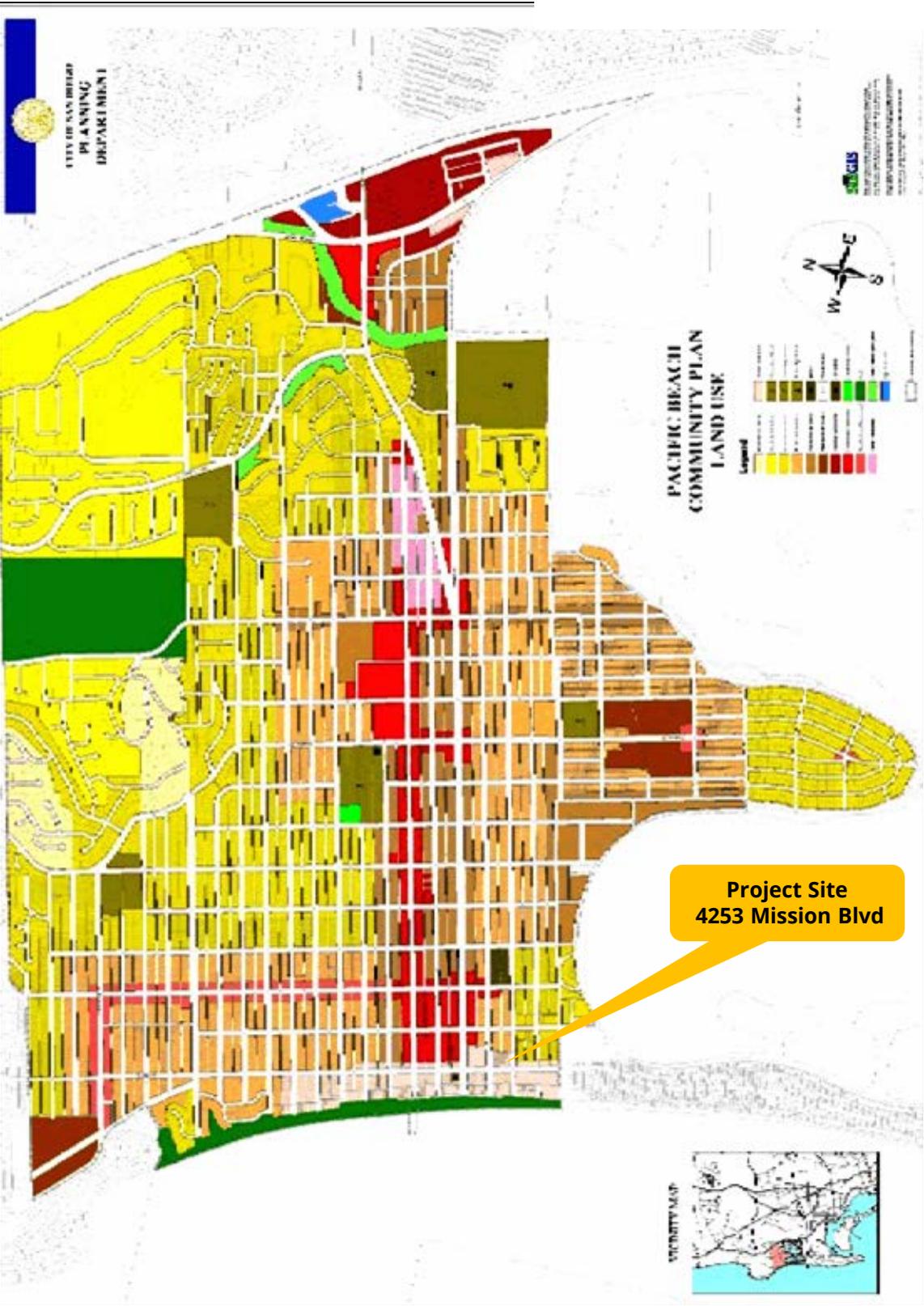
**Project Site**  
4253 Mission Blvd

## Zoning Map

The Boulevard Project No. 523426  
4253 Mission Boulevard



# Attachment 4 Pacific Beach Land Use plan



## Land Use Plan (Pacific Beach)

The Boulevard Project No. 523426  
4253 Mission Boulevard



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	The Boulevard	
<b>PROJECT DESCRIPTION:</b>	The demolition of an existing commercial building and the construction of a mixed use development consisting of commercial uses on the ground floor and 16 dwelling units on the second and third floor.	
<b>COMMUNITY PLAN AREA:</b>	Pacific Beach	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit/Site Development Permit/Planning Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Visitor Commercial	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> CV-1-2		
<b>HEIGHT LIMIT:</b> 45 feet per zone and 30 feet from Coastal Height limitation Overlay Zone		
<b>LOT SIZE:</b> 0.52 acres		
<b>FLOOR AREA RATIO:</b> 2.0		
<b>FRONT SETBACK:</b> 10 feet		
<b>SIDE SETBACK:</b> 10 feet		
<b>STREETSIDE SETBACK:</b> 10 feet		
<b>REAR SETBACK:</b> 10 feet		
<b>PARKING:</b> 46 required, 49 provided		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Visitor Commercial/ CV-1-2	Commercial retail developments
<b>SOUTH:</b>	Visitor Commercial; Multi-Family Residential/ CV-1-2; RS-1-7	Motel and multi-family dwelling unit developments
<b>EAST:</b>	Multi-Family Residential/ RM-1-1	Multi and Single Family Developments
<b>WEST:</b>	Visitor Commercial/ CV-1-2	Vacation lodging development
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviations to Commercial Ground Floor Height; Commercial Curb Cut; and Density.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On March 22, 2017 the Pacific Beach Planning Group voted 7-5-0 to recommend approval of the project with the condition the alley next to the project be illuminated at night.	

**ATTACHMENT6**  
**Draft Permit Resolution with Findings**

PLANNING COMMISSION  
RESOLUTION NO. \_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 1961246  
PLANNED DEVELOPMENT PERMIT NO. 1986849  
COASTAL DEVELOPMENT PERMIT NO. 1961242  
**BRIGHTON AVENUE RESIDENCE - PROJECT NO. 523426**

WHEREAS, PB OCEAN CONDOS, LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing restaurant and construct a three-story mixed-use building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1961246, 1986849 and 1961242), on portions of a 0.52-acre site;

WHEREAS, the project site is located at 4253 Mission Boulevard in the CV-1-2 zone of the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as lots 7 through 10 inclusive in block 262 of Pacific Beach in the City of San Diego, County of San Diego, State of California according to Map thereof No. 697 and 854 filed in the Office of the County Recorder of San Diego County January 8, 1892, and September 28, 1898 respectively, together with that portion of the railroad right of way lying within Lot 1793 of Pueblo lands of San Diego, according to Miscellaneous Map thereof No. 36, which adjoins said lots on the west. Except that portion lying westerly of the easterly line of Mission Boulevard as shown on said Map No. 854;

WHEREAS, on August 31, 2017, the Planning Commission of the City of San Diego considered Site Development Permit No. 1961246, Planned Development Permit No. 1986849, and Coastal Development Permit No. 1961242 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on July 7, 2017 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated August 31, 2017.

FINDINGS:

**A. Site Development Permit - Section 126.0504**

**1. Findings for all Site Development Permits**

**ATTACHMENT6**  
**Draft Permit Resolution with Findings**

**a. The proposed development will not adversely affect the applicable land use plan.**

The project proposes the demolition of an existing restaurant and the construction of a mixed use development to include 4,553 square feet of retail space and 14,590 square feet of enclosed parking on the first floor and 16 residential units located on the second and third floors. The Pacific Beach Community Plan/Local Coastal Program Area designates the site for Visitor Commercial. The Visitor Commercial land use designation allows for residential development in a mixed use setting with a density up to 43 dwelling units per acre, allowing up to 22 dwelling units for the site. The proposal for 16 new residential units is consistent with the Pacific Beach Community Plan/Local Coastal Program Area.

The Pacific Beach Community Plan recommends a variety of housing types and styles to help create safe and pleasant linkages between residential and commercial use areas. Additionally, the Plan recommends developing mixed-use residential, office, and commercial developments within transit corridors along Garnet Avenue and Mission Boulevard and in the commercial core area of Garnet Avenue/Ingraham Street. New commercial developments are encouraged to incorporate landscaping treatments as identified in the streetscape recommendations of this plan.

The proposed project would help implement the Transit Oriented Development (TOD) standards of the Community Plan by providing appropriate smaller scale commercial uses on the ground floor facing both street frontages (Mission Boulevard and Reed Avenue) and sustainable infill multi-family housing along a commercial corridor. The project brings buildings close to the sidewalk and locates parking to the rear of the lot consistent with the Community Plan's TOD standards. Additionally, the project incorporates articulated building facades to provide variety and interest to the streetscape consistent with Community Plan and General Plan Urban Design Element goals and policies. The proposed project is located along a transit corridor with a bus stop on Mission Boulevard, and would help implement TOD standards through the inclusion of bicycle racks in an area that is easily accessible from an identified bicycle route.

The street tree selection is consistent with the Community Corridor Street Tree Plan for Mission Boulevard and Community Tree Districts Street Tree Plan for District 9 in Pacific Beach as the project embraces the street frontage and pedestrian traffic. The proposed project is consistent with the General Plan Urban Design Element and meets the recommendations of the Community Plan by observing the density designated for the site, proposes a mixed-use development adjacent to a major transit corridor, and implements the streetscape recommendations of the Community Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

**ATTACHMENT6**  
**Draft Permit Resolution with Findings**

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The permit controlling the development contains specific conditions addressing project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area.

Conditions of approval require compliance with several operational constraints and development controls. The safety checks and balances of the proposed project include the review of construction plans by professional staff to determine compliance with all regulations; inspection of construction to assure construction permits are implemented in accordance with the approved plans; and that final construction complies with the approved plans all of which will assure the continued health, safety and general welfare of persons residing or working in the area. The project features include the replacement of sidewalks, curbs, and gutters, landscaping, and additional pedestrian level lighting. Therefore the proposed project will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed project is located within the CV-1-2 zone and is adjacent to a multi-family development to the east and proposes a commercial and residential mixed use development. The proposed project complies with the applicable regulations of the Land Development Code, such as but not limited to setbacks, vertical height limits, Floor Area Ratio (FAR) restrictions, open space requirements, storage requirements, and parking and access requirements. However, the San Diego Municipal Code allows one (1) dwelling unit per 1,500 square feet of lot area or 29 dwelling units per acre for the CV-1-2 Zone. The design proposes to utilize the density bonus allowed in the Pacific Beach Community Plan. This provision allows for a density bonus of 43 dwelling units per acre for a Transit Oriented Development (TOD) resulting in 16 dwelling units for the proposed project. The proposed development has been designed to conform to TOD Standards outlined in the Pacific Beach Community Plan.

Three deviations are being requested as part of the project design: 1) a reduction in the required minimum ground floor height requirement for structures with commercial uses on the ground floor; 2) an allowance for the commercial parking to be accessed from a single curb cut off Reed Avenue where access is required to be taken from the adjacent alley; and 3) an increase to the density allowed per the CV-1-2 zone but within the Land Use Plan density requirement. The following tables outlines the deviations:

**ATTACHMENT6**  
**Draft Permit Resolution with Findings**

<b>Commercial Ground Floor Height</b> <b>San Diego Municipal Code (SDMC) section <a href="#">131.0548</a></b>	
<b>Proposed</b>	<b>Required</b>
Nine feet	15 feet

<b>Commercial Curb Cut</b> <b>SDMC Section <a href="#">142.0560(j)(7)</a></b>	
<b>Proposed</b>	<b>Required</b>
24-foot Curb Cut	Required Parking to be accessed from alley.

<b>Density</b> <b>SDMC Section <a href="#">131.0531</a></b> <b>Table <a href="#">131-05D</a></b>	
<b>Proposed</b>	<b>Allowed in Zone</b>
16 dwelling units	15 dwelling units

Commercial Ground Floor Height: SDMC Section [131.0548](#) requires a 15-foot minimum ground floor height for structures with commercial uses on the ground floor. The deviation is being requested to allow a reduction in the required minimum ground floor height requirement for structures with commercial uses on the ground floor. The project is located within the Coastal Overlay Zone and is subject to the Coastal Height Limitation Overlay Zone height limit of 30'-0" (SDMC section [131.0548](#)). Strict compliance with this height would limit the proposed mixed-use portion of the project to be two stories and effectively require residential development to only one story based on the zoning restrictions and the location of the ground floor residential uses. The requested deviation will allow for a three-story building and allow two full floors of residential units. Further, the deviation would allow the project to conform to the existing built environment which includes three story mixed-use projects along Mission Boulevard, Grand Avenue and Garnet Avenue consisting of primarily ground floor commercial with two stories of residential above.

Commercial Curb Cut: SDMC section [142.0560\(j\)\(7\)](#) states that any new development or any redevelopment that increases the gross floor area by 50 percent or more on a premises abutting an improved alley, within the beach impact area of the Parking Impact Overlay Zone, requires off-street parking spaces, be accessible from the alley. The proposed project abuts an existing alley which is proposing to be utilized for access to the residential parking area. The site contains an existing curb cut along Reed Avenue which is proposed to be closed. A new curb cut is proposed 135 feet to the west separating the commercial parking from the residential tenants. This will allow for visitors to the commercial area to conveniently access and utilize the designated commercial parking area and prevent confusion between commercial and residential parking. The street parking analysis concluded that reducing the width of the current 30-foot wide curb cut to 20-feet and relocating it, will actually increase on street parking from the current six spaces to seven spaces.

## ATTACHMENT6

### Draft Permit Resolution with Findings

Density Deviation: The project proposes 16 multi-family dwelling units, one more allowed per the density in the CV-1-2 base zone. An increase in density may be allowed in accordance with SDMC Section 143.0402, Table 143-04A through the processing of a Planned Development Permit for multiple dwelling unit residential developments with increased density per the adopted land use plan. The Pacific Beach Community Plan allows a maximum of 43 dwelling units per acre for a Transit-Orientated Development (TOD). According to the Pacific Beach Community Plan a TOD is a compact, pedestrian-oriented pattern of land uses with housing, jobs, services, plazas and public uses located on the transit system. The Pacific Beach Community Plan TOD contains recommended design standards which a new TOD should be constructed to. The proposed project adheres to the TOD standards by minimizing the building setbacks, bringing buildings closer to sidewalks, and locating the parking to the rear of lot and off of the alley. Additionally, the project will be articulating the building facades to provide variety and interest, orienting primary commercial building entrances to the pedestrian-oriented street bays, providing bicycle racks in areas that are visible and easily accessible, utilizing parking structures instead of surface parking, and locating retail uses on the street level of parking garages to preserve the life and activity at the street.

Staff analyzed the requested deviations to determine consistency with the goals and recommendations of the General Plan, Pacific Beach Community Plan, and the purpose and intent of the CV-1-2 zone. The proposed deviations will not adversely affect the aforementioned plans, and are appropriate for the site. The deviation are allowed by a Planned Development Permit and Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section [143.0915](#). Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

2. **Supplemental Findings - Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings:**
  - a. **The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, selfgeneration and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.**

The proposed project qualifies for the Affordable Housing/Infill and Sustainable Expedite Program by generating at least 50 percent of its power from a solar photovoltaic system and providing energy efficiency through additional project features. The project will also exceed the minimum sustainable criteria by targeting a Leadership in Energy and Environmental Design (LEED) Platinum rating by creating a sensitive design that utilizes energy efficient means and methods of construction as well as a design that utilizes the local climate through passive solar design features

**Draft Permit Resolution with Findings**

and design elements. The design is based on the use of the local climate and cooling breezes from the nearby ocean to use both passive cooling and heating seasonally to limit the use of mechanical HVAC as much as possible.

The site is located within blocks of five major transit stops in Pacific Beach and is designed on a site listed with a walk rating score in excess of 90 points. The project provides all applicable parking required under the SDMC and closes two existing curb cuts along Mission Boulevard. Additionally, the landscape design will incorporate native and pest resistant plants, rain sensor shut-off devices, and a high efficiency irrigation system with state of the art low precipitation rate sprinkler equipment. An electrical outlet on a separate circuit will provide electric car charging stations within each parking use area. Although the project is not providing affordable housing on-site, it is required to pay the inclusionary affordable house fee pursuant to the Inclusionary Housing Ordinance. Therefore, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

**b. The development will not be inconsistent with the purpose of the underlying zone.**

The project is located within the CV-1-2 zone. The purpose of the CV zone is to provide areas for establishments catering to the lodging, dining, and recreational needs of both tourists and the local population and accommodate a mix of visitor-serving uses and residential uses with a pedestrian orientation. It is also intended that the CV zone reflect desired development patterns in existing neighborhoods while accommodating the need for future growth. San Diego Municipal Code allows one (1) dwelling unit per 1,500 square feet of lot area or 29 dwelling units per acre for the CV-1-2 Zone. The design proposes to utilize the density bonus allowed in the Pacific Beach Community Plan. This provision allows for a density bonus of 43 dwelling units per acre for a Transit Oriented Development (TOD) resulting in 16 dwelling units for the proposed project. The proposed development has been designed to conform to TOD Standards outlined in the Pacific Beach Community Plan. The project conforms to the existing built environment which includes three story mixed use projects along Mission Boulevard, Grand Avenue and Garnet Avenue consisting primarily of ground floor commercial with two stories of residential above, which is typical of the area and the CV zone. The proposed project complies with the applicable regulations of the San Diego Municipal Code, such as but not limited to setbacks, vertical height limits, floor area ratio restrictions, open space requirements, storage requirements, parking, and access requirements. Therefore, the development will not be inconsistent with the purpose of the underlying zone.

**ATTACHMENT6**  
**Draft Permit Resolution with Findings**

- c. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

Please see Site Development Permit Finding “c” above for facts supporting this finding. For the reasons described in that finding, which are hereby incorporated into this finding by reference, the proposed development will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

**B. Planned Development Permit – Section 126.0604**

**1. Findings for all Planned Development Permits**

- a. The proposed development will not adversely affect the applicable land use plan.**

Please see Site Development Permit Finding “a” above for facts supporting this finding. For the reasons described in that finding, which are hereby incorporated into this finding by reference, the proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

Please see Site Development Permit Finding “b” above for facts supporting this finding. For the reasons described in that finding, which are hereby incorporated into this finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

Please see Site Development Permit Finding “c” above for fact supporting this finding. For the reasons described in that finding, which are hereby incorporated into this finding by reference, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

**C. Coastal Development Permit - Section 126.0708**

**1. Findings for all Coastal Development Permits**

- a. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed development is contained within the existing legal lot area, on private property, and thereby will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in the Local Coastal Program Land Use Plan. There are no public access ways proposed for the project. The proposed development conforms to the height and setback regulations of the San Diego Municipal Code and the Pacific Beach Community Plan. The development does not impact any public views to or along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The site has been previously developed and is neither located on or near any sensitive biologic resources or environmentally sensitive lands, thus it does not contribute to any alteration or disturbance of these natural lands forms. The proposed development will incorporate the use of sustainable design features and landscaping.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

Please see Site Development Permit Finding "a" above for facts supporting this finding. For the reasons described in that finding, which are hereby incorporated into this finding by reference, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

**ATTACHMENT6**  
**Draft Permit Resolution with Findings**

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the first public road and sea or the shoreline. It is directly east of the first public road (Mission Boulevard). Therefore, the proposed development is not subject to compliance with the public access and recreation policies of the Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1961246, Planned Development Permit No. 1986849, and Coastal Development Permit No. 1961242 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1961246, 1986849, and 1961242, a copy of which is attached hereto and made a part hereof.

---

William Zounes  
Development Project Manager  
Development Services

Adopted on: August 31, 2017

IO#: 24007086

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

---

INTERNAL ORDER NUMBER: 24007086 SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1961246  
PLANNED DEVELOPMENT PERMIT NO. 1986849  
COASTAL DEVELOPMENT PERMIT NO. 1961242  
**THE BOULEVARD PROJECT NO. 523426**  
Planning Commission

This Coastal Development Permit No. 1961442, Planned Development Permit No. 1986849, and Site Development Permit No. 1961246 is granted by the Planning Commission of the City of San Diego to PB OCEAN CONDOS, LLC, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708, 143.0402, and 143.0920. The 0.52-acre site is located at 4253 Mission Boulevard in the CV-1-2 zone of the Pacific Beach Community Plan. The project site is legally described as: Lots 7 through 10 inclusive in block 262 of Pacific Beach in the City of San Diego, County of San Diego, State of California according to Map thereof No. 697 and 854 filed in the Office of the County Recorder of San Diego County January 8, 1892, and September 28, 1898 respectively, together with that portion of the railroad right of way lying within Lot 1793 of Pueblo lands of San Diego, according to Miscellaneous Map thereof No. 36, which adjoins said lots on the west. Except that portion lying westerly of the easterly line of Mission Boulevard as shown on said Map No. 854.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing restaurant and construct a three-story mixed-use building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 31, 2017 on file in the Development Services Department. The project shall include:

- a. The demolition of an existing restaurant and the construction of a mixed-use development to include 4,544 square feet of retail space on the first floor, 14,590 square feet of enclosed parking for commercial and residential uses on the ground floor, and 16 residential units located on the second and third floors;
- b. Deviations
  - i. Commercial ground floor height deviation of nine feet of ceiling height where 15 feet is required;

**ATTACHMENT 7**  
**Draft Permit with Conditions**

- ii. Proposed commercial parking to be accessed via the relocation from a single curb cut off Reed Avenue where access is required to be taken from only the adjacent alley;
- iii. Proposing 16 dwelling units when 15 dwelling units are permitted.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.
- g. Alley security lights.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by \_\_\_\_\_.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

**ATTACHMENT 7**  
**Draft Permit with Conditions**

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee

## **ATTACHMENT 7**

### **Draft Permit with Conditions**

shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **CLIMATE ACTION PLAN REQUIREMENTS:**

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

#### **AFFORDABLE HOUSING REQUIREMENTS:**

13. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

#### **ENGINEERING REQUIREMENTS:**

14. The project proposes to export 1,145 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Reed Avenue Right-of-Way.

17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standards 20-foot wide concrete driveway, adjacent to the site on Reed Avenue, satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard curb, gutter and sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Mission Boulevard, satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing sidewalk with current City Standard sidewalk, maintaining the

## **ATTACHMENT 7**

### **Draft Permit with Conditions**

existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Reed Avenue, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall reconstruct the existing curb ramp at the northeast corner of Mission Boulevard and Reed Avenue, with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall reconstruct the existing curb ramp at the alley entrance, adjacent to the site, with current City Standard Drawing SDG-136 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.

22. Prior to the issuance of any building permits, the Owner/Permittee shall close the non-utilized driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on Mission Boulevard and Reed Avenue, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

25. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

26. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

#### **LANDSCAPE REQUIREMENTS:**

27. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

28. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by

**ATTACHMENT 7**  
**Draft Permit with Conditions**

utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

30. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

31. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

33. Owner/Permittee shall maintain a minimum of 10 commercial and 36 residential off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

**ATTACHMENT 7**  
**Draft Permit with Conditions**

36. Rooftop signs, free-standing pole signs, off-premise signs and billboards shall not be permitted.

37. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

**TRANSPORTATION REQUIREMENTS**

38. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

39. No restaurant uses shall be allowed on site unless the proposed commercial uses provide parking at a rate of 5 spaces per 1,000 square feet of gross floor area.

40. The Owner/Permittee shall provide and maintain a 10-foot by 10-foot visibility triangle area along the property line at the northwest corner of Reed Avenue and the Alley. No obstruction higher than 36 inches shall be located within the visibility triangle area.

41. The Owner/Permittee shall provide and maintain a 15-foot by 15-foot visibility triangle area along the property line at the northeast corner of Reed Avenue and Mission Boulevard. No obstruction higher than 36 inches shall be located within the visibility triangle area.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

43. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

44. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

45. Prior to Final Inspection, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

**ATTACHMENT 7**  
**Draft Permit with Conditions**

46. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**GEOLOGY REQUIREMENTS:**

47. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

48. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 31, 2017.

**ATTACHMENT 7  
Draft Permit with Conditions**

Permit Type/PTS Approval SDP No.: 1961246, PDP No. 1986849, and CDP No. 1961242  
Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
William Zounes  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

PB OCEAN CONDOS, LLC  
Owner/Permittee

By \_\_\_\_\_  
Robert Megdal  
Manager

PB OCEAN CONDOS, LLC  
Owner/Permittee

By \_\_\_\_\_  
Sherry Megdal  
Partner

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title: The Boulevard  
 Project No. For City Use Only: 523 126

Project Address:  
 4253 Mission Blvd., San Diego, CA 92109

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:



# Pacific Beach Planning Group

[www.pbplanning.org](http://www.pbplanning.org)

**Pacific Beach Taylor Library**

**4275 Cass Street, San Diego, CA 92109**

**Wednesday, March 22, 2017: 6:30-8:30 pm**

**Minutes**

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## **PBPG Election: 4:30-6:30 pm**

Item 1 - 6:30 **Call to Order, Quorum:** Karl Rand, Marcia Nordstrom, Henish Pulickal, Brian Curry, Mike Beltran, Joe Wilding, Tony Franco, Peter Lee, Mike Miller, Paula Ferraco, Debbie Conca. Eve Anderson, Jason Legros, Ben Ryan, Baylor Triplett

## **Item 2 Consent Agenda Items**

Approve Mission Bay Dredging Project – Approved unanimously.

Item 3 **Current Agenda - Modifications and Approval** -Change order of projects: Shasta, Mission, Beryl, Wilbur. Henish 1<sup>st</sup> motion, 2<sup>nd</sup> Debbie. 11-0-0

## **Item 4 February 22, 2017 Minutes - Modifications and Approval**

1<sup>st</sup>: Joe wilding, 2<sup>nd</sup>: Ben Ryan. 10-0-1 (Paula abstained)

4253 Mission Boulevard. CDP 543426.

Demo existing building and construct 34,192 sf, 3-story mixed-use consisting of (16) 3-bed apartments over ground floor retail with on-grade parking.

Subcommittee recommends motion to approve.

Tony Franco: Why isn't there more commercial?

Tim Golba – Too much baggage. Need too much parking.

Baylor- Commercial parking used by residential at night.

Chris Olsen – Street art off alley. Prefers 1-2 bed. Not 3-4 bed. Wants affordable housing.

Motion to approve with alley street lights. 1st. Jason, 2nd Baylor. Approved. 7-5-0. Tony

Franco – wants more offices upstairs, Paula – no affordable, Eve -, Joe – didn't like it, Jim – too many bedrooms

Jim – Motion to extend meeting until 8:45pm. Ben recused. Tony Franco, Marcia Nordstrom and Debbie all left.





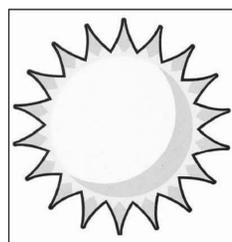


# the BOULEVARD

4253 MISSION BLVD.  
SAN DIEGO, CA 92109



SUBMITTED FOR  
COASTAL DEVELOPMENT PERMIT  
SITE DEVELOPMENT PERMIT  
PLANNED DEVELOPMENT PERMIT  
A SUSTAINABLE PROJECT



**Prepared By:**  
Golba Architecture  
1940 Garnet Ave., Suite 100  
San Diego, CA 92109  
phone: (619) 231-9905  
fax: (858) 750-3471  
contact: Matt Gomes

Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
Revision 3: 05-31-17  
Revision 2: 05-09-17  
Revision 1: 05-09-17

**Project Addresses:**  
4253 Mission Blvd.  
San Diego, CA 92109

Original Date:  
11-14-16

**Project Name:**  
the BOULEVARD  
**Sheet Title:**

Sheet | Of 24

**COVER SHEET**

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave. #100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

the BOULEVARD  
4253 MISSION BLVD.  
SAN DIEGO, CA 92109

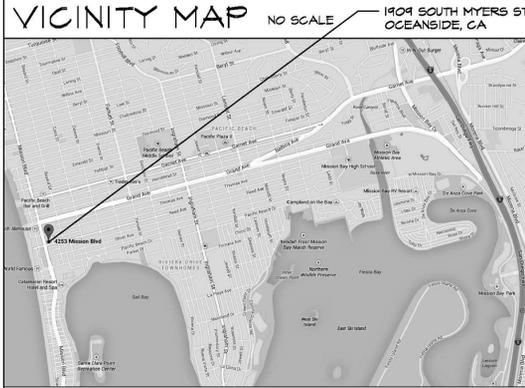
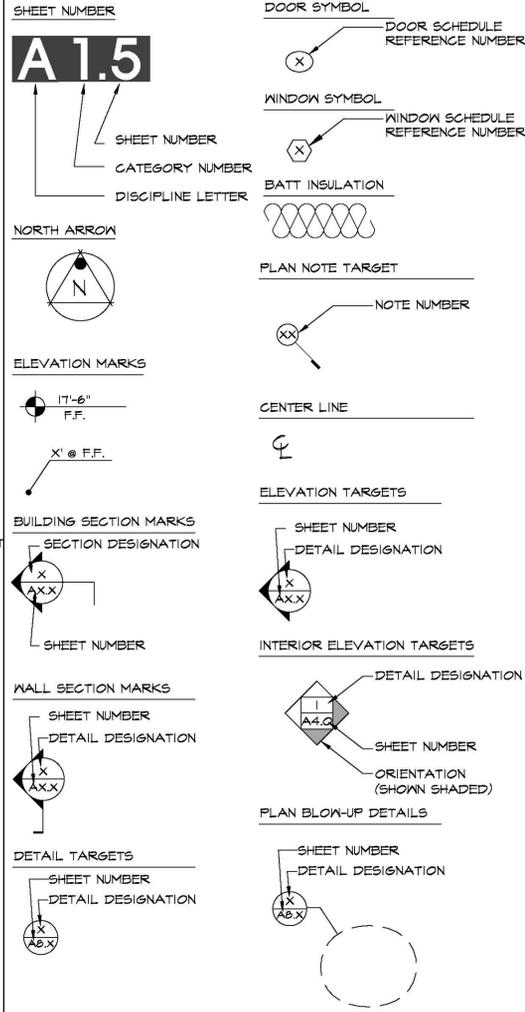


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### ABBREVIATIONS

ACOUS.	ACOUSTICAL	MATL.	MATERIAL	ACOUS.	ACOUSTICAL	MATL.	MATERIAL
A.C.T.	ACOUSTICAL CEILING TILE	MAX.	MAXIMUM	ADJ.	ADJUSTABLE	MECH.	MECHANICAL
A.F.F.	AT FINISHED FLOOR	MEMB.	MEMBRANE	AGS.	AGGREGATE	MFR.	MANUFACTURER
ALUM.	ALUMINUM	MIN.	MINIMUM	ALT.	ALTERNATE	MISC.	MISCELLANEOUS
A.P.	APPROXIMATE	M.O.	MASONRY OPENING	APP.	APPROXIMATE	MOV.	MOVABLE
ARCH.	ARCHITECTURAL	MTD.	MOUNTED	ASST.	ASSISTANT	MTL.	METAL
AUTO.	AUTOMATIC	MUL.	MULLION			N.	NORTH
						N.I.C.	NOT IN CONTRACT
						NO.	NUMBER
						NOM.	NOMINAL
						N.T.S.	NOT TO SCALE
						OA.	OVERALL
						OC.	ON CENTER
						OD.	OUTSIDE DIAMETER
						O.F.D.	OVERFLOW DRAIN
						OFF.	OFFICE
						OH.	OVERHEAD
						OPNG.	OPENING
						OPP.	OPPOSITE
						PAV.	PAVING
						P.C.	PRE-CAST
						PL.	PLATE
						PLAM.	PLASTIC LAMINATE
						PLAS.	PLASTER
						PLUMB.	PLUMBING
						FLND.	FLYWOOD
						FAINT.	FAINT
						PANL.	PANEL
						POL.	POLISHED
						PROP.	PROPERTY
						P.S.F.	POUNDS PER SQUARE FOOT
						P.S.I.	POUNDS PER SQUARE INCH
						PAINT.	PAINTED
						PART.	PARTITION
						POINT.	POINT
						QTY.	QUANTITY
						R.	RUBBER
						RECEP.	RECEPTION
						REINF.	REINFORCING
						R.O.M.	RIGHT OF WAY
						RAD.	RADIUS
						R.B.	RUBBER BASE
						R.C.P.	REFLECTED CEILING PLAN
						R.D.	ROOF DRAIN
						REC.	RECESSED
						REF.	REFERENCE
						REFR.	REFRIGERATOR
						REIN.	REINFORCED
						REQD.	REQUIRED
						RESL.	RESULTANT
						REV.	REVISION
						RFG.	ROOFING
						ROOM.	ROOM
						R.O.	ROUGH OPENING
						S.	SOUTH
						SAN.	SANITARY
						SCHED.	SCHEDULE
						SECT.	SECTION
						SECUR.	SECURITY
						S.F.	SQUARE FOOT
						SHR.	SHOWER
						SHT.	SHEET
						SIM.	SIMILAR
						SLOPE.	SLOPE
						S.P.	STANDPIPE
						SPEC.	SPECIFICATION
						SPKR.	SPEAKER
						SQ.	SQUARE
						S.ST.	STAINLESS STEEL
						STATION.	STATION
						STD.	STANDARD
						STL.	STEEL
						STOR.	STORAGE
						STRUC.	STRUCTURAL
						SUSP.	SUSPENDED
						SYM.	SYMMETRICAL
						T.	TREAD
						T.O.P.	TOP OF
						T.#B.	TOP AND BOTTOM
						T.#G.	TONGUE AND GROOVE
						TEL.	TELEPHONE
						TEMP.	TEMPERED
						TER.	TERRAZZO
						THK.	THICK
						TLT.	TOILET
						TOPO.	TOPOGRAPHY
						TV.	TELEVISION
						TYP.	TYPICAL
						UNEXC.	UNEXCAVATED
						UNF.	UNFINISHED
						UNO.	UNLESS OTHERWISE NOTED
						UTL.	UTILITY
						VAC.	VACUUM
						V.C.T.	VINYL COMPOSITION TILE
						VENT.	VENTILATION
						VERT.	VERTICAL
						VEST.	VESTIBULE
						V.F.P.	VERIFY IN FIELD
						VOL.	VOLUME
						V.T.	VINYL TILE
						W.	WEST
						W.C.	WATER CLOSET
						WOOD.	WOOD
						W.F.	WIDE FLANGE
						W.H.	WATER HEATER
						WIN.	WINDOW
						WM.	WIRE MESH
						WTRP.	WATERPROOFING
						WTR.	WATER
						W.W.F.	WELDED WIRE MESH
						YD.	YARD

### SYMBOLS



### DESIGN CRITERIA

THE FOLLOWING NARRATIVE/OUTLINE ADDRESSES HOW THE PROPOSED DEVELOPMENT PROJECT "THE BOULEVARD" IS IN CONFORMANCE WITH THE CRITERIA FOR DEVELOPMENT DESIGN PER THE SAN DIEGO MUNICIPAL CODE SECTION 143.0410(I).

THE PROPOSED DEVELOPMENT IS COMPREHENSIVE AND CONSISTENT WITH THE DOMINANT PATTERNS OF THE SURROUNDING DEVELOPMENT. THE PROPOSED DEVELOPMENT IS LOCATED IN THE VISITOR COMMERCIAL DISTRICT WITHIN THE PACIFIC BEACH COMMUNITY PLAN. THE VISITOR COMMERCIAL DISTRICT IS COMPOSED MAINLY OF VISITOR ACCOMMODATIONS, LARGE AND SMALL COMMERCIAL USE STRUCTURES AND MIXED USE DEVELOPMENT. THE PROPOSED PROJECT INCORPORATES A MIXED USE DEVELOPMENT WITH MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL AND COMMERCIAL USES. THESE USES ADDRESS THE MAJOR USES OF THE VISITOR COMMERCIAL DISTRICT AND THE MEDIUM DENSITY RESIDENTIAL ZONE BORDERING THE DISTRICT TO THE EAST OF THE PROJECT SITE. THE PROPOSED PROJECT INCORPORATES FLAT ROOFS AS WELL AS PITCHED ROOFS, VARYING EXTERIOR MATERIAL TREATMENTS AND ARCHITECTURAL ARTICULATION TO REDUCE THE ACTUAL AND APPARENT BULK AND SCALE OF THE PROPOSED STRUCTURE. THE PROPOSED PROJECT ALSO MINIMIZES THE USE OF REPETITIVE DEVELOPMENT PATTERNS AND CREATES MULTIPLE GROUPINGS OF THE STRUCTURE TO ALLOW FOR BREAKS IN THE BULK AND SCALE OF THE STRUCTURE. THE PROPOSED LANDSCAPING, BOTH AT STREET LEVEL AND AT THE SECOND LEVEL PLATFORM, WILL SOFTEN THE BUILDING STRUCTURE AND ENHANCE THE VISUAL APPEARANCE OF THE PROPOSED DEVELOPMENT. THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED TO ADDRESS THE SPECIFIED DESIGN CRITERIA.

### PROJECT DATA

**PROJECT DESCRIPTION:**

TO OBTAIN A COASTAL DEVELOPMENT PERMIT TO DEMOLISH EXISTING ONE-STORY COMMERCIAL BUILDING (BURGER KING) & HARDSCAPE ON SITE AND TO CONSTRUCT A NEW 3-STORY MIXED-USE BUILDING. FIRST FLOOR TO CONTAIN COMMERCIAL RETAIL SPACES, LOBBY & ON-GRADE PARKING. 2ND & 3RD FLOORS TO CONTAIN A TOTAL OF SIXTEEN (16) FOR-RENT RESIDENTIAL UNITS.

TO OBTAIN A SITE DEVELOPMENT PERMIT DUE TO A DEVIATION FROM THE SAN DIEGO LAND DEVELOPMENT CODE SECTION 131.0548 REQUIRING A MINIMUM GROUND FLOOR HEIGHT OF 15'-0" FOR MIXED USE OR COMMERCIAL BUILDINGS. THE PROJECT IS PROPOSING AN 8'-6" GROUND FLOOR CEILING HEIGHT.

TO OBTAIN A PLANNED DEVELOPMENT PERMIT.

REQUESTING A DEVIATION FROM SAN DIEGO MUNICIPAL CODE SECTION 142.0560(J)(7) TO ALLOW FOR THE EXISTING CURB CUT ON REED AVENUE TO BE RESIZED AND RELOCATED TO ACCESS THE ON-SITE COMMERCIAL USE PARKING REQUIRED FOR THE PROPOSED PROJECT.

**SITE ADDRESS:** 4258 MISSION BLVD. SAN DIEGO, CA 92104

**ASSESSOR'S PARCEL NUMBER:** 423-122-20-00

**LEGAL DESCRIPTION:**

LOTS 7 THROUGH 10 INCLUSIVE IN BLOCK 262 OF PACIFIC BEACH IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 841 AND 854, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 8, 1942 AND SEPTEMBER 28, 1948 RESPECTIVELY, TOGETHER WITH THAT PORTION OF THE RAILROAD RIGHT OF WAY LYING WITHIN PUEBLO LOT 1743 OF PUEBLO LANDS OF SAN DIEGO, ACCORDING TO MISCELLANEOUS MAP THEREOF NO. 36, WHICH ADJOINS SAID LOTS ON THE WEST, EXCEPT THAT PORTION LYING WESTERLY OF THE EASTERLY LINE OF MISSION BOULEVARD AS SHOWN ON SAID MAP 854.

**BUILDING CODES:** 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA GREEN BUILDING CODE, 2016 CALIFORNIA FIRE CODE, SAN DIEGO MUNICIPAL CODE

**YEAR BUILT:** 1979

**EXISTING SOILS CONDITION:** PREVIOUSLY GRADED & DISTURBED

**GEOLOGIC HAZARD CATEGORY:** 52

**OCCUPANCY:** R-2, S-2 & B

**CONSTRUCTION TYPE:** VA (FULLY SPRINKLERED)

**LOT ZONING:** CV-1-2

**OVERLAY ZONES:** COASTAL HEIGHT LIMIT, COASTAL - CITY (APPEALABLE AREA), PARKING IMPACT - BEACH IMPACT, RESIDENTIAL TANDEM PARKING, TRANSIT AREA

**LOT SIZE:** 22,644 S.F. (52 AC)

**LOT USE:** EXISTING: COMMERCIAL (FAST FOOD RESTAURANT), PROPOSED: MIXED-USE (COMMERCIAL & RESIDENTIAL)

**ALLOWABLE F.A.R.:** 2.0 = 45,288 S.F. (INCLUDES COVERED OUTDOOR AREAS), PROPOSED F.A.R.: 1.5 = 33,947 S.F.

**DENSITY:** ALLOWABLE: 22 (PER THE PACIFIC BEACH COMMUNITY PLAN - SEE DENSITY CALCULATIONS), PROPOSED: 16 DWELLING UNITS

**NUMBER OF STORIES:** EXISTING: 1 - STORY, PROPOSED: 3 - STORIES

**BUILDING HEIGHT:** ALLOWABLE: 30'-0" PER PROP. 'D' (45'-0" PER CV-1-2), PROPOSED: VARIES, 21'-4" MAX. ABOVE HIGH POINT OF GRADE (SEE SHEET A0.1 FOR HEIGHT ANALYSIS)

### PROJECT DIRECTORY

**OWNER:** FB OCEAN CONDOS, LLC  
CONTACT: ROBERT MEGDAL  
10648 N. TATUM BLVD., #200-484  
PHOENIX, AZ 85028  
P: 480-503-8478

**ARCHITECT:** GOLBA ARCHITECTURE  
CONTACT: MATT GOMES  
1940 GARNET AVENUE, SUITE 100  
SAN DIEGO, CA 92104  
P: 619-231-9905  
F: 858-750-3471

**SURVEYOR & CIVIL ENGINEER:** CHRISTENSEN ENGINEERING & SURVEYING  
CONTACT: TONY CHRISTENSEN  
7888 SILVERTON AVENUE, SUITE 'J'  
SAN DIEGO, CA 92126  
P: 858-271-4901  
F: 858-271-8912

**LANDSCAPE ARCHITECT:** NERI LANDSCAPE ARCHITECTURE  
CONTACT: JIM NERI  
428 HORNBLAND STREET, SUITE 3  
SAN DIEGO, CA 92104  
P: 858-274-3222  
F: 858-274-3223

**STRUCTURAL:**

**TITLE 24:**

### GROSS FLOOR AREA

1ST FLOOR	5,688
2ND FLOOR*	14,187
3RD FLOOR	13,156
<b>TOTAL GROSS S.F.</b>	<b>33,031</b>
ENCLOSED PARKING GARAGE (NOT INCLUDED IN G.F.A. PER SDMC 113.02B4(d)(3)(B)(ii) + (iii))	15,257
DECKS & PATIOS & EXT. WALKWAYS	8,877

### FLOOR AREA ANALYSIS

1ST FLOOR	UNIT A	UNIT B	PARKING	TOTAL	TOTAL G.F.A.
COMMERCIAL	3,642	902	4,939	9,438	4,544
RESIDENTIAL	555	156	433	10,046	11,444
<b>TOTAL 1ST FLOOR AREA</b>				<b>20,673</b>	<b>5,510</b>

\*RESIDENTIAL PARKING AREA (10,046) IS LESS THAN 50% OF THE TOTAL 1ST FLOOR AREA (20,673); 10,046/20,673 = 49%

UNIT MATRIX	TYPE A	TYPE B	TYPE C1	TYPE C2	TYPE D	TYPE E	TYPE F
QUANTITY IN PROJECT	3	1	4	3	1	3	1
2ND FLOOR SQUARE FEET	894	859	784	784	910	1,004	900
3RD FLOOR SQUARE FEET	848	756	717	740	873	988	911
TOTAL UNIT SQUARE FEET	1,742	1,615	1,501	1,524	1,783	1,992	1,811
2ND FLOOR DECK AREA	73	78	169	169	68	72	70
3RD FLOOR DECK AREA	84	103	127	127	218	84	129
TOTAL DECK S.F.	162	181	296	296	286	161	199
2ND FL. STOR. INC. IN G.F.A.			48	48			
STORAGE UNIT - CUBIC FT.	263	263	330	330	263	263	278
BEDROOMS	3	3	3	3	4	4	3

### PARKING CALCULATIONS

	REQUIRED	PROVIDED
RESIDENTIAL (2.25 SPACES REQ'D FOR EACH 3 & 4 BDRM. UNIT, 16 UNITS TOTAL)	36	37
RETAIL (2.1 SPACES REQ'D FOR EACH 1,000 S.F., 4,553 S.F. TOTAL)	10	12
MOTORCYCLE SPACES (PER S.D.M.C. TABLE 142-05C & D)	2 - RES. 2 - COMM.	3 - RES. 3 - COMM.
BICYCLE SPACES (PER S.D.M.C. TABLE 142-05C & D)	10 - RES. 5 - COMM.	10 - RES. 5 - COMM.

**PARKING NOTES:**

1. NO RESTAURANT USE SHALL BE ALLOWED ON SITE UNLESS THE PROPOSED COMMERCIAL USES PROVIDE PARKING AT A RATE OF 3 SPACES/1000 S.F..

### DENSITY CALCULATIONS

NOTE: THE PROPOSED MIXED-USE PROJECT HAS REQUESTED A DEVIATION FOR RESIDENTIAL DENSITY. THE PROPOSED DENSITY COMPLIES WITH THE DENSITY ESTABLISHED BY THE APPLICABLE LAND USE PLAN, THE PACIFIC BEACH COMMUNITY PLAN. THE DENSITY ESTABLISHED BY THE LAND USE PLAN IS HIGHER THAN THE DENSITY ESTABLISHED BY THE CV-1-2 BASE ZONE. (SEE TABLE BELOW) (REFER TO SAN DIEGO MUNICIPAL CODE SECTION 143.0410(a)(3)(D).)

PACIFIC BEACH COMMUNITY PLAN (PER COMMERCIAL LAND USE, PAGE 41, POLICY #4)	DWELLING UNIT ALLOWED PER GIVEN LOT S.F.	TOTAL ALLOWABLE NUMBER OF DWELLING UNITS
	1,013 S.F.	22 UNITS
SAN DIEGO MUNICIPAL CODE ZONE CV-1-2 (PER TABLE 131-05D)	1,500 S.F.	15 UNITS

### SHEET INDEX

Attachment 11  
Project Plans  
Page 2 of 24

GENERAL	COVER SHEET
T1.0	PROJECT INFORMATION
T1.1	
CIVIL	TOPOGRAPHIC SURVEY
G1	PRELIMINARY GRADING PLAN
G2	PLAN DETAILS & NOTES
G3	
DEMOLITION	SITE DEMOLITION PLAN
D1	
ARCHITECTURAL	SITE PLAN
A0.0	HEIGHT DIAGRAM
A0.1	ACCESS & EGRESS DIAGRAMS
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A1.2	THIRD FLOOR PLAN
A1.3	ROOF PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A2.2	ELEVATIONS & SECTIONS
A2.3	ELEVATIONS & SECTIONS
A3.0	ENLARGED UNIT PLANS
A4.1	ENLARGED UNIT PLANS
A4.2	ENLARGED UNIT PLANS
A4.3	ENLARGED UNIT PLANS
LANDSCAPE	LANDSCAPE DEVELOPMENT PLAN - LEVEL 1
L-0.0	LANDSCAPE DEVELOPMENT PLAN - LEVEL 2
L-1.1	
EXHIBIT	SHADOW PLAN
X0.0	

### SELF-CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
- I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
- I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
- MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
- SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
- IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
- THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL NAME:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

### GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED PROJECT RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

IN AN EFFORT TO REACH THESE GOALS, THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTOVOLTAIC SYSTEM FOR GENERATING POWER ON SITE (UNDER SEPARATE PERMIT)
- HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE
- "ENERGY STAR" APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL NEW WINDOWS
- USE OF LOW V.O.C. PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS, AND OTHER FINISHES WHERE FEASIBLE
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING AND VENTILATION WITH OPERABLE WINDOWS
- MATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE
- USE OF PERMEABLE PAVING WHERE FEASIBLE
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT
- ELECTRICAL OUTLET ON SEPARATE CIRCUIT IN EACH GARAGE FOR ELECTRIC CAR USAGE

**Prepared By:** Golba Architecture  
1940 Garnet Ave., Suite 100  
San Diego, CA 92104  
phone: (619) 231-9905  
fax: (858) 750-3471  
contact: Matt Gomes

**Revision 7:** X  
**Revision 6:** X  
**Revision 5:** X  
**Revision 4:** X  
**Revision 3:** 05-31-17  
**Revision 2:** 05-09-17  
**Revision 1:** 03-09-17

**Project Addresses:** 4253 Mission Blvd.  
San Diego, CA 92104

**Project Name:** the BOULEVARD

**Sheet Title:** Sheet 2 Of 24

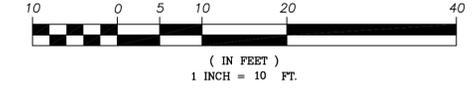
### LEGEND & GEN. NOTES

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave. #100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

**the BOULEVARD**  
4253 MISSION BLVD.  
SAN DIEGO, CA 92109

**REGISTERED ARCHITECT**  
MATT GOMES  
No. C-1738  
Exp. 7-31-18  
STATE OF CALIFORNIA

**DATE:** 05-



**LEGAL DESCRIPTION:**

LOTS 7 THROUGH 10 INCLUSIVE IN BLOCK 262 OF PACIFIC BEACH IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 697 AND 854, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 8, 1892 AND SEPTEMBER 28 1898 RESPECTIVELY, TOGETHER WITH THAT PORTION OF THE RAILROAD RIGHT OF WAY LYING WITHIN PUEBLO LOT 1793 OF PUEBLO LANDS OF SAN DIEGO, ACCORDING TO MISCELLANEOUS MAP THEREOF NO. 36, WHICH ADJOINS SAID LOTS ON THE WEST.

EXCEPT THAT PORTION LYING WESTERLY OF THE EASTERLY LINE OF MISSION BOULEVARD AS SHOWN ON SAID MAP 854.

**BASIS OF BEARINGS:**

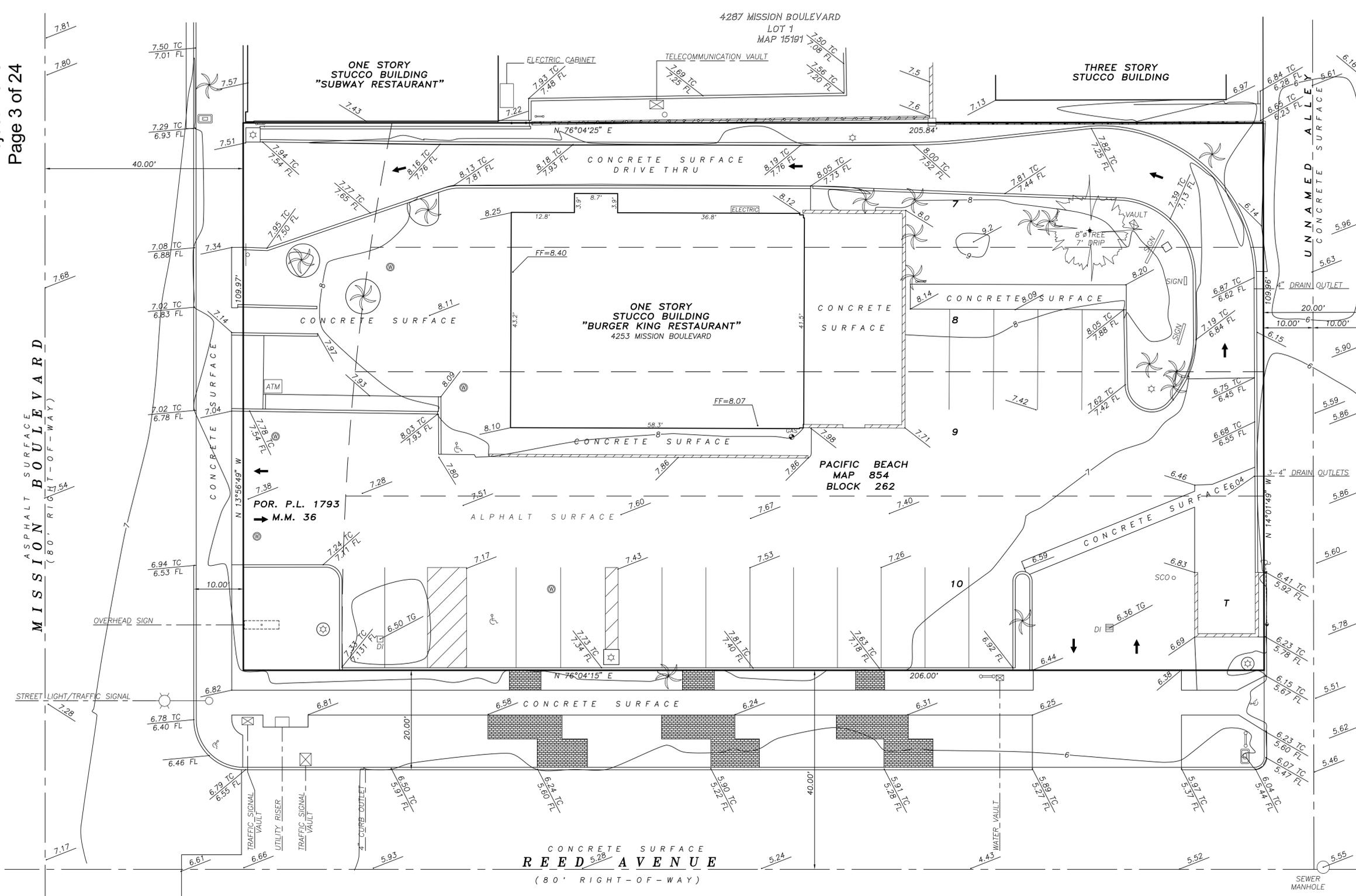
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF MISSION BOULEVARD PER MAP NO. 15191, I.E. N 13°56'49" W

**BENCH MARK:**

CITY OF SAN DIEGO BENCH MARK: SOUTHEAST BRASS PLUG AT THE INTERSECTION OF MISSION BOULEVARD AND REED AVENUE. ELEVATION = 6.755 M.S.L.

**LEGEND:**

- INDICATES WATER METER
- INDICATES UTILITY POLE
- INDICATES GUY SUPPORT
- INDICATES GAS VALVE/METER
- INDICATES WALL
- INDICATES PEDESTRIAN RAMP OR PARKING SPACE
- INDICATES BACK FLOW PREVENTION VALVE
- INDICATES GROUND WATER MONITOR WELL
- INDICATES STREET LIGHT VAULT
- INDICATES TRASH ENCLOSURE
- INDICATES SIGN
- INDICATES LIGHT POLE
- INDICATES TRAFFIC FLOW
- FF INDICATES FINISHED FLOOR
- TC INDICATES TOP OF CURB
- FL INDICATES FLOWLINE
- TG INDICATES TOP OF GRATE
- ATM INDICATES AUTOMATED TELLER MACHINE
- DI INDICATES DRAIN INLET
- SCO INDICATES SEWER CLEANOUT
- INDICATES BRICK SURFACE
- INDICATES WOOD FENCE
- INDICATES WROUGHT IRON FENCE
- INDICATES PROPERTY LINE



MISSION BOULEVARD  
(80' RIGHT-OF-WAY)

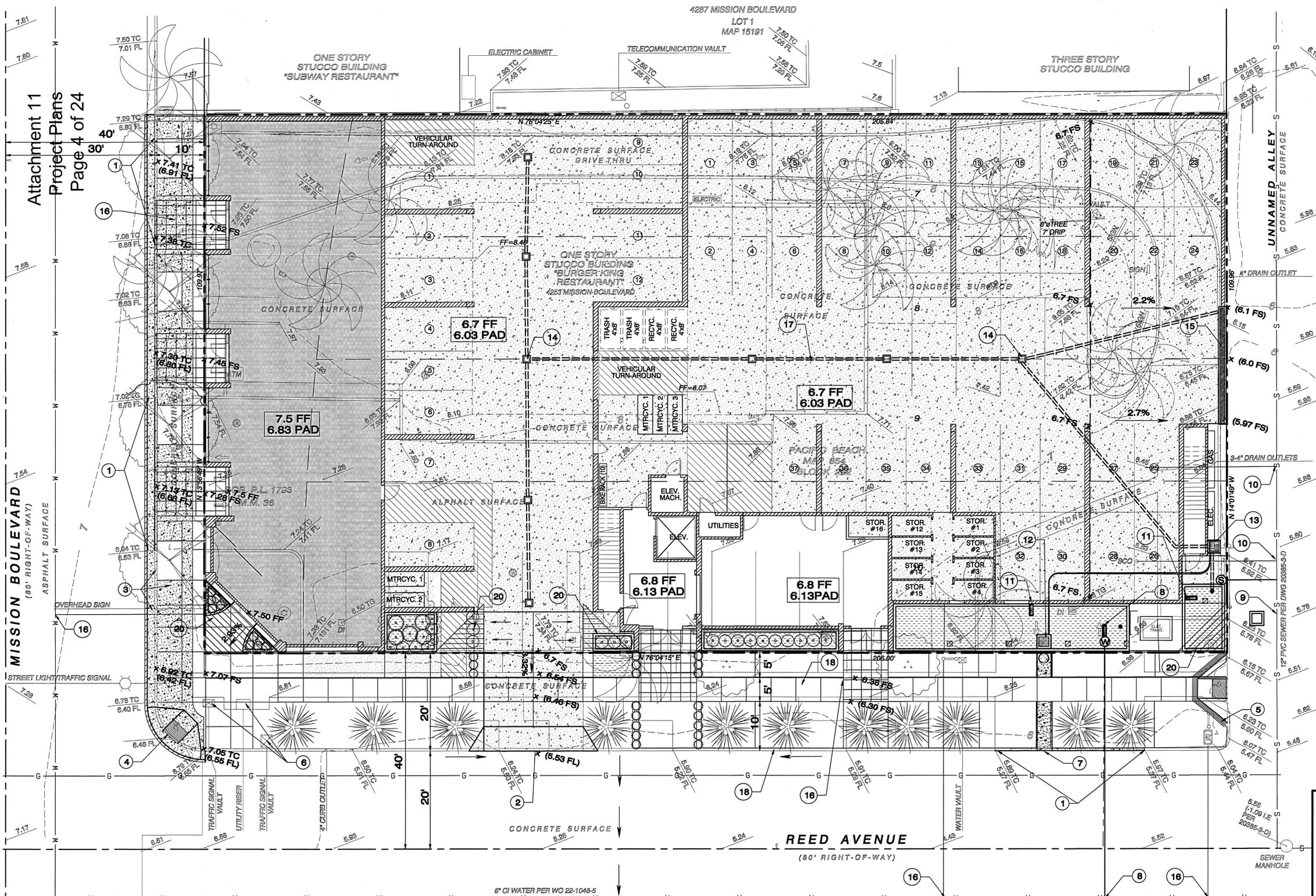
REED AVENUE  
(80' RIGHT-OF-WAY)

PACIFIC BEACH  
MAP 854  
BLOCK 262

POR. P.L. 1793  
M.M. 36



<b>TOPOGRAPHICAL SURVEY</b>		
For the exclusive use of: <b>GOLBA ARCHITECTURE INC.</b> 1940 Garnet Avenue, Suite 100 San Diego, California 92109		
<b>San Diego Land Surveying &amp; Engineering, Inc.</b>		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1354 Phone: (658) 565-8362 Fax: (658) 565-4354		
Date: 4-28-2014	Revised:	Revised:
Scale: 1"=10'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Mission Blvd 4253 Topo		A.P.N. 423-122-20



**LEGAL DESCRIPTION:**  
 LOTS 7 THROUGH 10 INCLUSIVE IN BLOCK 262 OF PACIFIC BEACH IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, CALIFORNIA ACCORDING TO MAP THEREOF NO. 837 AND 854, REELS IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JANUARY 8, 1899 AND SEPTEMBER 28, 1898 RESPECTIVELY, TOGETHER WITH PORTION OF THE RAILROAD RIGHT OF WAY LYING WITHIN PUEBLO LOT 1793 OF PUEBLO LANDS OF SAN DIEGO, ACCORDING TO MISCELLANEOUS MAP THEREOF NO. 36, WHICH ADJOINS SAID LOTS ON SAID MAP 854.

EXCEPT THAT PORTION LYING WESTERLY OF THE EASTERLY LINE OF MISSION BOULEVARD AS SHOWN ON SAID MAP 854.  
 APN: 423-122-20-00

**BENCHMARK**  
 CITY OF SAN DIEGO BENCHMARK BRASS PLUG LOCATED AT THE SOUTHEAST CORNER OF MISSION BOULEVARD AND REED STREET. ELEVATION = 6.755 MEAN SEA LEVEL (N.G.V.D. 1929).

- NOTES**
1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS PHOTOGRAMMETRIC SURVEY BY SAN DIEGO LAND SURVEYING AND ENGINEERING, INC. DATED APRIL 28, 2014.
  2. THE USE OF PROPOSED LOT IS FOR MIXED USE - RESIDENTIAL/COMMERCIAL.
  3. THE SUBJECT PROPERTY IS SERVED BY SANITARY SEWER LATERALS AND WATER SERVICES CONNECTED TO CITY OF SAN DIEGO MAINS.
  4. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
  5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  6. NO EASEMENTS EXIST ONSITE.
  7. AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE CURB OUTLET AND WALKWAYS WITHIN THE PUBLIC RIGHTS OF WAY.
  8. ALL SITE RUNOFF WILL BE DIRECTED TO MWS FILTRATION UNITS FOR TREATMENT BEFORE LEAVING SITE AT CURB OUTLET.
  9. FOR LANDSCAPE AND HARDSCAPE IN RIGHT OF WAY, SEE LANDSCAPE PLAN.

- STORM WATER NOTES**
1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BMPs NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
  4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

**GRADING DATA**  
 AREA OF SITE - 22,644 S.F. (0.520 AC)  
 AREA OF SITE TO BE GRADED - 22,644 SF  
 PERCENT OF SITE TO BE GRADED - 100%  
 AMOUNT OF SITE WITH 25% SLOPES OR GREATER: AREA - 0 SF, PERCENT OF TOTAL SITE - 0%  
 AMOUNT OF SITE WITH SLOPES THAT ARE SUBJECT TO ESL REGS. (LDC SEC. 143.0110): 0%  
 AMOUNT OF CUT - 1,170 C.Y. (INCLUDING 4" SLAB AND 4" SAND)  
 AMOUNT OF FILL - 25 C.Y.  
 AMOUNT OF EXPORT - 1,145 C.Y.  
 MAXIMUM HEIGHT OF FILL SLOPE - NONE  
 MAXIMUM HEIGHT OF CUT SLOPE - NONE  
 MAXIMUM HEIGHT OF VERTICAL CUT 3 FEET (TEMPORARY; FOR CONSTRUCTION)

RETAINING WALL: NO RETAINING WALLS, NOT A PART OF BUILDING

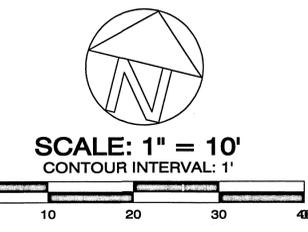
EXISTING IMPERVIOUS AREA = 0.459 AC (88.3%)  
 PROPOSED IMPERVIOUS AREA = 0.491 AC (94.4%)

ANTHONY K. CHRISTENSEN, RCE 54021  
 Date: MAY 16, 2017



**CONSTRUCTION NOTES**

- 1 EXISTING DRIVEWAY TO BE CLOSED
- 2 C/L PROPOSED 20' DRIVEWAY PER SDG-160
- 3 PROPOSED NEW CURB, GUTTER AND SIDEWALK MISSION BOULEVARD PER, SDG-151, SDG-155
- 4 PROPOSED PEDESTRIAN RAMP PER SDG-132
- 5 PROPOSED PEDESTRIAN RAMP PER SDG-136
- 6 EXISTING UTILITY FACILITIES, NOT TO BE DISTURBED
- 7 PROPOSED CURB OUTLET Q100 = 1.90 CFS, V100 = 3.4 fps
- 8 PROPOSED WATER SERVICE AND BACKFLOW DEVICE
- 9 PROPOSED 6" PVC SEWER LATERAL
- 10 EXISTING SEWER LATERAL TO BE ABANDONED AT P/L
- 11 STANDARD BIOFILTRATION BASINS (SEE DETAILS ON C-3) PER BF-1 FACT SHEET (INCLUDING SPLASH BLOCK) (IMP-1 (386 SF MIN) & IMP-2 (92 SF MIN)) (COLLECTS/TREATS ALL ROOF RUNOFF)
- 12 CATCH BASIN TO CONVEY RUNOFF FROM BIOFILTRATION BASIN TO CURB OUTLET
- 13 CATCH BASIN WITH PUMP TO CONVEY RUNOFF TO CATCH BASIN IN ITEM 12.
- 14 PROPOSED DECK DRAINS (TYPICAL)
- 15 PROPOSED TRENCH DRAIN (TYPICAL)
- 16 EXISTING WATER SERVICE TO BE KILLED AT MAIN
- 17 PROPOSED PVC DRAIN (TYPICAL)
- 18 EXISTING SIDEWALK ALONG REED AVENUE TO BE REMOVED AND REPLACED. EXISTING 6" CURB TO REMAIN
- 19 PRIVATE WALKWAY WITHIN R/W (TYPICAL)
- 20 VISIBILITY TRIANGLE (TYPICAL) NOTHING GREATER THAN 36" IN HEIGHT ALLOWED IN THIS AREA AND NO PLANT MATERIAL OVER 24" WILL BE ALLOWED



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Project Address:  
 4253 MISSION BOULEVARD  
 SAN DIEGO, CA 92109

Project Name:  
 BOULEVARD APARTMENTS

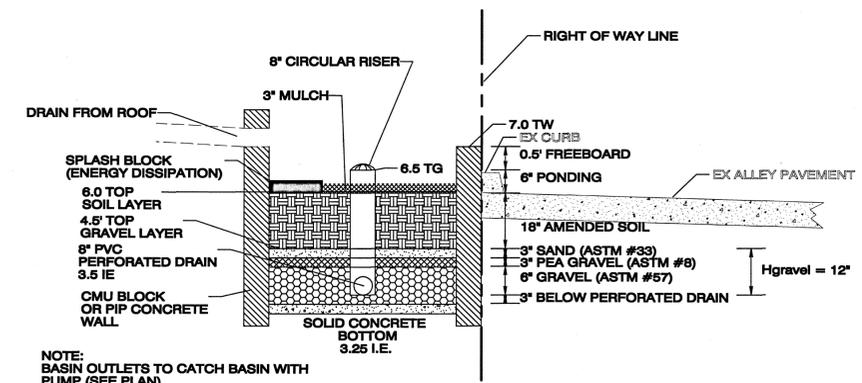
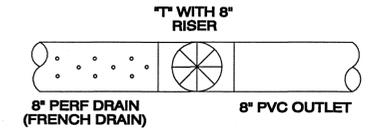
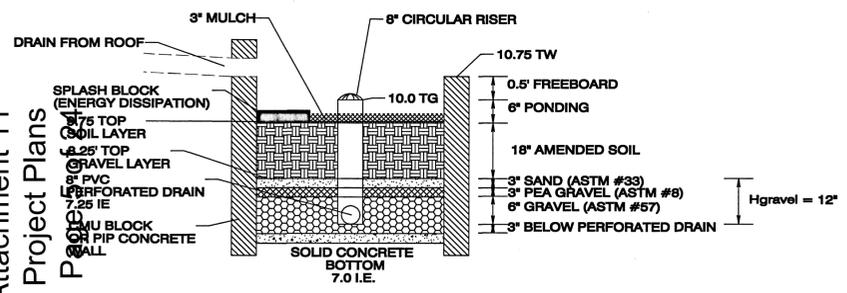
Sheet Title:  
 PRELIMINARY GRADING PLAN

Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2: 05-02-17 ADDRESS CITY COMMENTS  
 Revision 1: 06-15-16 REVISE BMP DESIGN

Original Date: JUNE 18, 2014

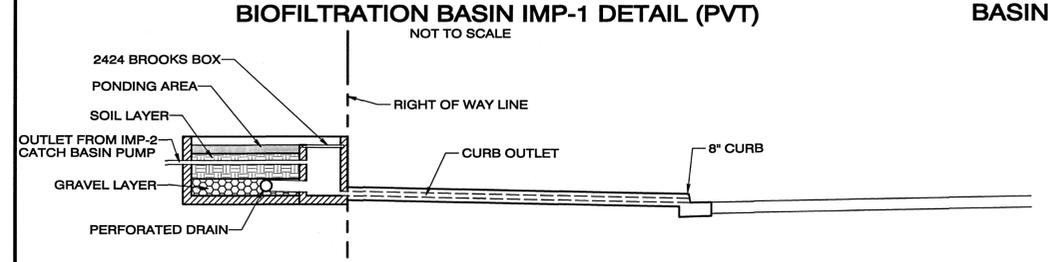
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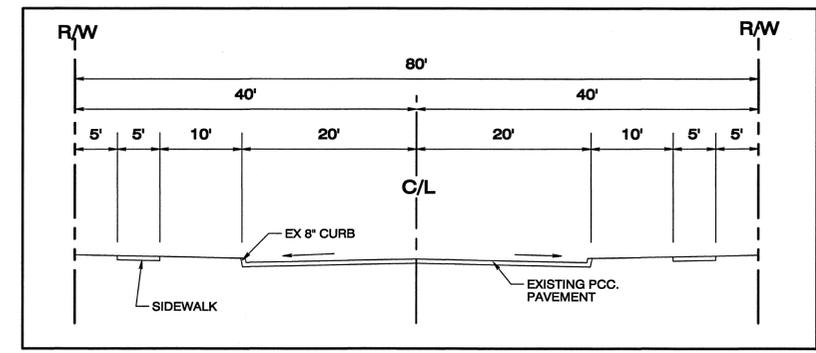


NOTE:  
BASIN OUTLETS TO CATCH BASIN WITH PUMP (SEE PLAN)  
TREATED RUNOFF IS DISCHARGED TO CATCH BASIN IN IMP-1 AND FLOWS TO CURB OUTLET (SEE AT LEFT)

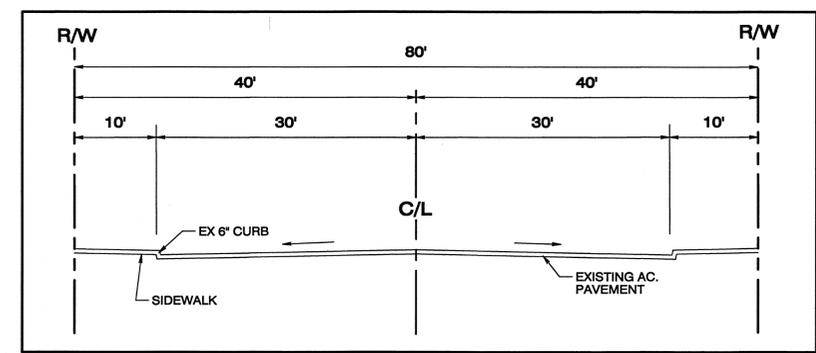
BIOFILTRATION BASIN IMP-2 DETAIL (PVT)  
NOT TO SCALE



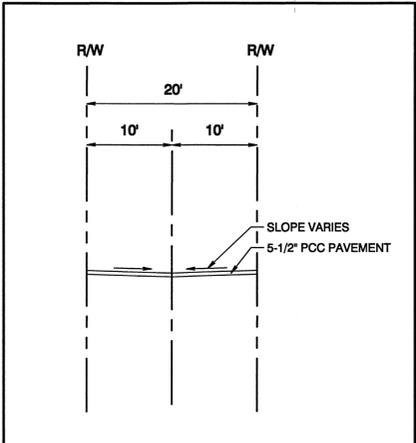
BIOFILTRATION BASIN / CURB OUTLET SECTION (PVT)  
NOT TO SCALE



TYPICAL SECTION REED AVENUE  
NOT TO SCALE



TYPICAL SECTION MISSION BOULEVARD  
NOT TO SCALE



TYPICAL SECTION ALLEY  
NOT TO SCALE

LEGEND Attachment 11

- Project Plans  
Page 5 of 24
- INDICATES UTILITY POLE
  - INDICATES SUPPORT
  - INDICATES GAS VALVE/METER
  - INDICATES WALL
  - INDICATES PEDESTRIAN RAMP OR PARKING SPACE
  - INDICATES BACK FLOW PREVENTION VALVE
  - INDICATES GROUND WATER MONITOR WELL
  - INDICATES STREET LIGHT VAULT
  - INDICATES TRASH ENCLOSURE
  - INDICATES SIGN
  - INDICATES LIGHT POLE
  - INDICATES TRAFFIC FLOW
  - INDICATES FINISHED FLOOR
  - INDICATES TOP OF CURB
  - INDICATES FLOWLINE
  - INDICATES TOP OF GRATE
  - INDICATES AUTOMATED TELLER MACHINE
  - INDICATES DRAIN INLET
  - INDICATES SEWER CLEANOUT
  - INDICATES BRICK SURFACE
  - INDICATES WOOD FENCE
  - INDICATES WROUGHT IRON FENCE
  - PROPERTY LINE
  - EXISTING CONTOUR
  - EXISTING ELECTRICAL LINE
  - EXISTING GAS LINE
  - EXISTING SEWER LINE
  - EXISTING TELEPHONE LINE
  - EXISTING WATER LINE
  - EXISTING CATV LINE
  - FIRE HYDRANT
  - MANHOLE
  - PROPOSED 6" PVC SEWER LATERAL
  - PROPOSED WATER SERVICE
  - PROPOSED 6" CURB GUTTER & SIDEWALK
  - PROPOSED 20' DRIVEWAY
  - PROPOSED CURB OUTLET
  - PROPOSED CURB RAMPS
  - PROPOSED BIOFILTRATION BASIN
  - PROPOSED CATCH BASIN/DECK DRAIN
  - PROPOSED PVC DRAIN
  - PROPOSED TRENCH DRAIN

*Anthony K. Christensen*  
ANTHONY K. CHRISTENSEN, RCE 54021  
Date: MAY 02, 2017

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Project Name:  
BOULEVARD APARTMENTS

Sheet Title:  
**PRELIMINARY GRADING PLAN  
DETAILS & NOTES**

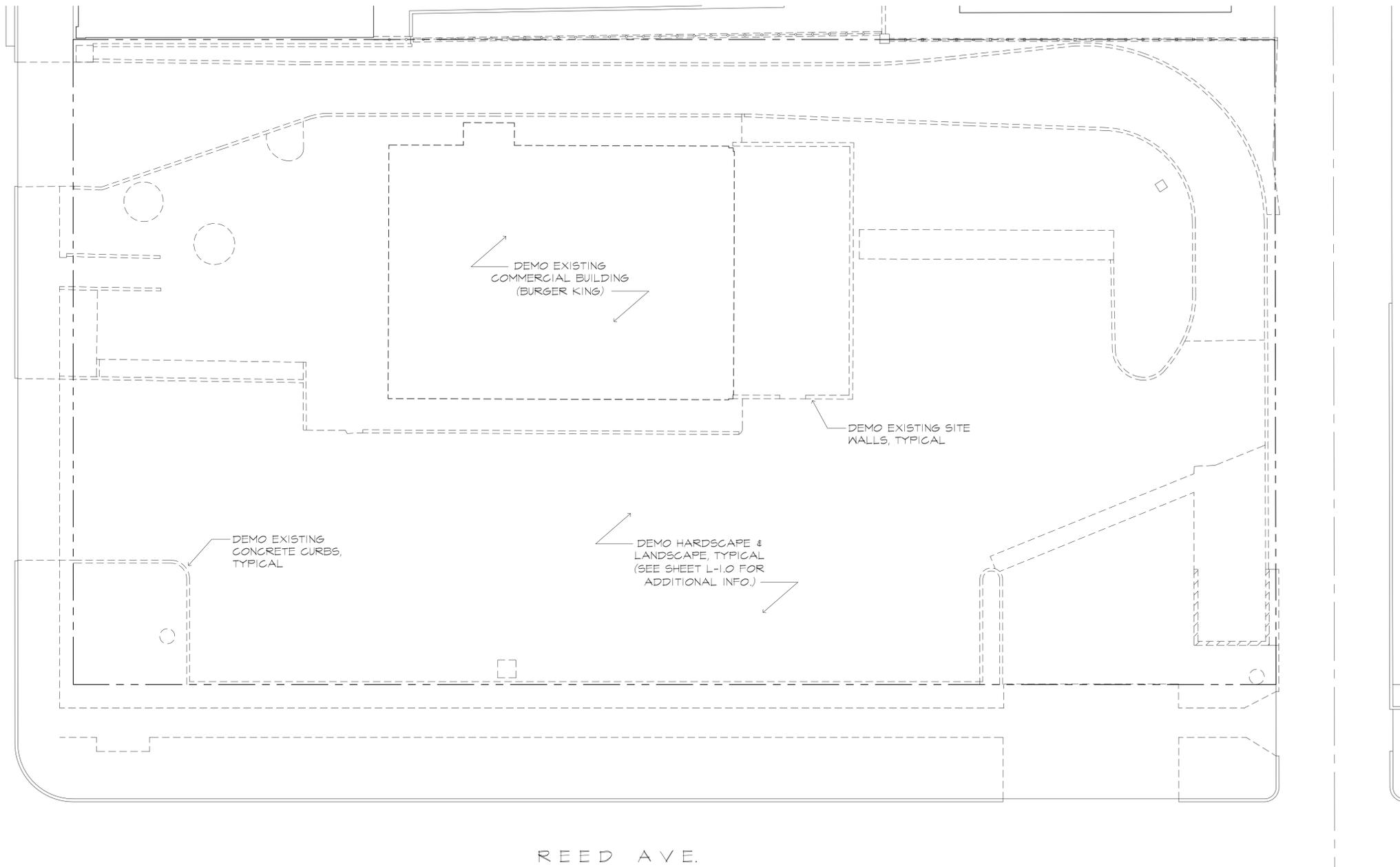
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DEP# \_\_\_\_\_

MISSION BLVD.



REED AVE.

DEMOLITION SITE PLAN  
SCALE: 1" = 10'-0"



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Revision 4: X  
Revision 3: 05-31-17  
Revision 2: 05-09-17  
Revision 1: 03-09-17

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the BOULEVARD  
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DEMOLITION  
SITE PLAN

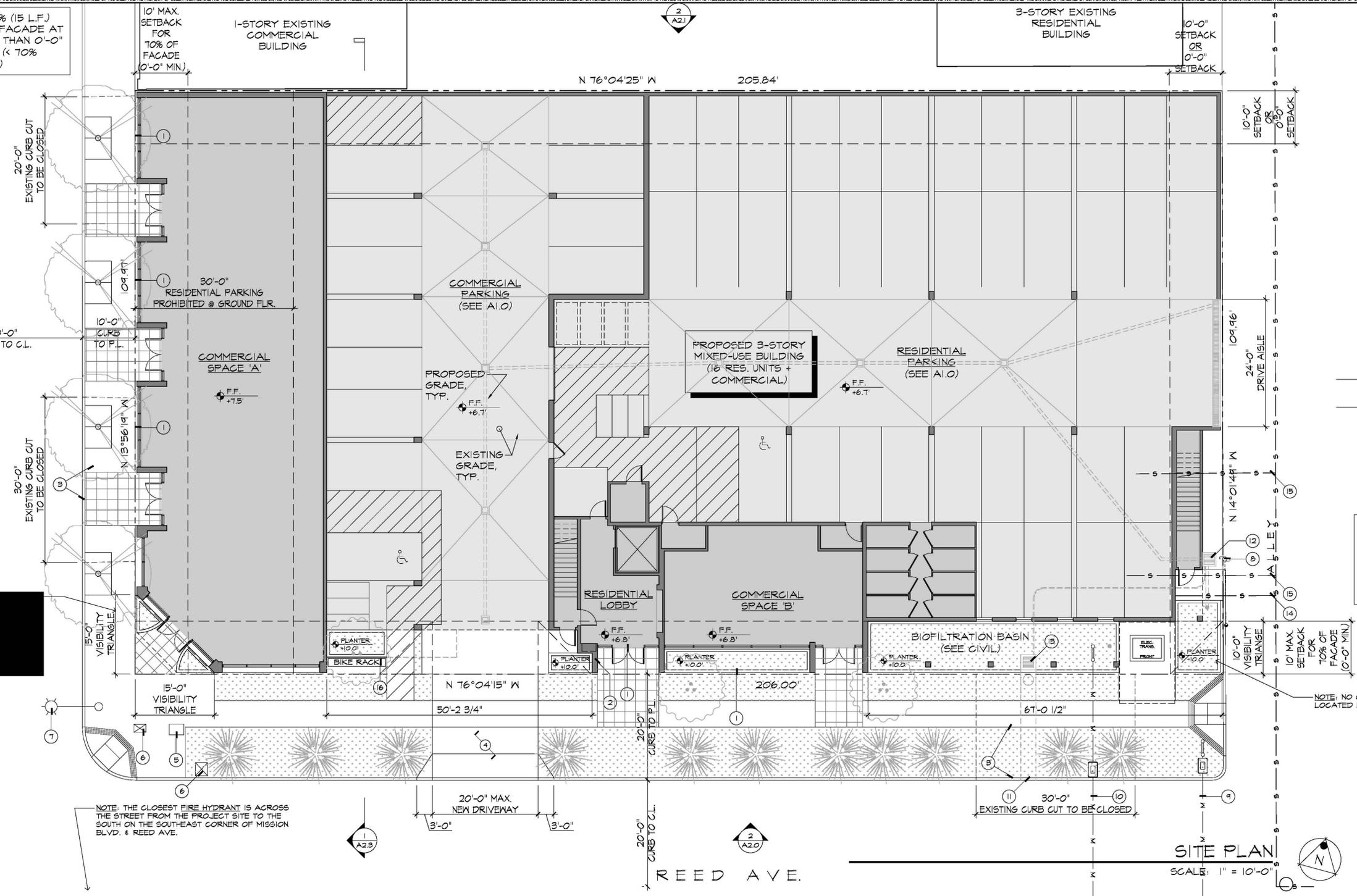


NOTE: 14% (15 L.F.) OF WEST FACADE AT GREATER THAN 0'-0" SETBACK (< 70% ALLOWED)

NOTE: 59% (122 L.F.) OF SOUTH FACADE AT GREATER THAN 0'-0" SETBACK (< 70% ALLOWED)

NOTE: THE CLOSEST FIRE HYDRANT IS ACROSS THE STREET FROM THE PROJECT SITE TO THE SOUTH ON THE SOUTHEAST CORNER OF MISSION BLVD. & REED AVE.

NOTE: NO OBSTRUCTION HIGHER 36" SHALL BE LOCATED WITHIN THE VISIBILITY TRIANGLE



**DISCRETIONARY PERMIT CONDITIONS**

- ROOFTOP SIGNS, FREE-STANDING POLE SIGNS, OFF-PREMISE SIGNS AND BILLBOARDS SHALL NOT BE PERMITTED.
- A MINIMUM OF 36 PARKING SPACES FOR RESIDENTIAL UNITS AND 10 PARKING SPACES FOR COMMERCIAL USES (NO RESTAURANT) SHALL BE PROVIDED.
- THE OWNER/PERMITTEE SHALL PROVIDE AND MAINTAIN A 15'X15' VISIBILITY TRIANGLE AREA ALONG THE PROPERTY LINE AT THE NORTHWEST CORNER OF REED AVENUE AND THE ALLEY. NO OBSTRUCTION HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA.
- THE OWNER/PERMITTEE SHALL PROVIDE AND MAINTAIN A 10'X10' VISIBILITY TRIANGLE AREA ALONG THE PROPERTY LINE AT THE NORTHWEST CORNER OF REED AVENUE AND THE ALLEY. NO OBSTRUCTION HIGHER THAN 36" SHALL BE LOCATED WITHIN THIS AREA.
- NO RESTAURANT USES SHALL BE ALLOWED ON THE PROJECT SITE UNLESS THE PROPOSED COMMERCIAL USES PROVIDE PARKING AT A RATE OF 5 SPACES PER 1,000 SF.
- ALL UNUTILIZED DRIVEWAYS ON MISSION BOULEVARD AND REED AVENUE SHALL BE CLOSED AND REPLACED WITH STANDARD HEIGHT CURB, GUTTER AND SIDEWALK.
- THE AUTOMOBILE, MOTORCYCLE AND BICYCLE PARKING SPACES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SDMG. ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LAND DEVELOPMENT CODE AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED BY THE APPROPRIATE CITY DECISION MAKER IN ACCORDANCE WITH THE SDMG.

**FIRE NOTES**

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0204.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.

**SITE PLAN KEYNOTES**

- DESTINATION SIGN, ALL SIGNS SHALL COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 12 OF THE SAN DIEGO MUNICIPAL CODE
- KNOX BOX PER FIRE DEPARTMENT POLICY K-15-2
- PROPOSED CURB, GUTTER & SIDEWALK (PER SDG-151 & SDG-155) ALONG MISSION BOULEVARD PROPERTY FRONTAGE
- PROPOSED DRIVEWAY PER SDG-160
- EXISTING UTILITY RISER, NOT TO BE DISTURBED
- EXISTING TRAFFIC SIGNAL VAULT, NOT TO BE DISTURBED
- EXISTING TRAFFIC SIGNAL
- EXISTING UTILITY POLE W/ GUY SUPPORT
- EXISTING WATER SERVICE TO BE KILLED AT MAIN, SEE CIVIL DRAWINGS
- PROPOSED WATER SERVICE W/ BACKFLOW PREVENTOR
- PROPOSED CURB OUTLET PER DWG, SEE CIVIL DRAWINGS
- PROPOSED CATCH BASIN W/ PUMP
- PROPOSED CATCH BASIN
- PROPOSED SEWER LATERAL
- EXISTING SEWER LATERAL TO BE ABANDONED AT P/L
- DISCOVER PB "SURFBOARD" BIKE RACK (TYPICAL OF 5 MIN)

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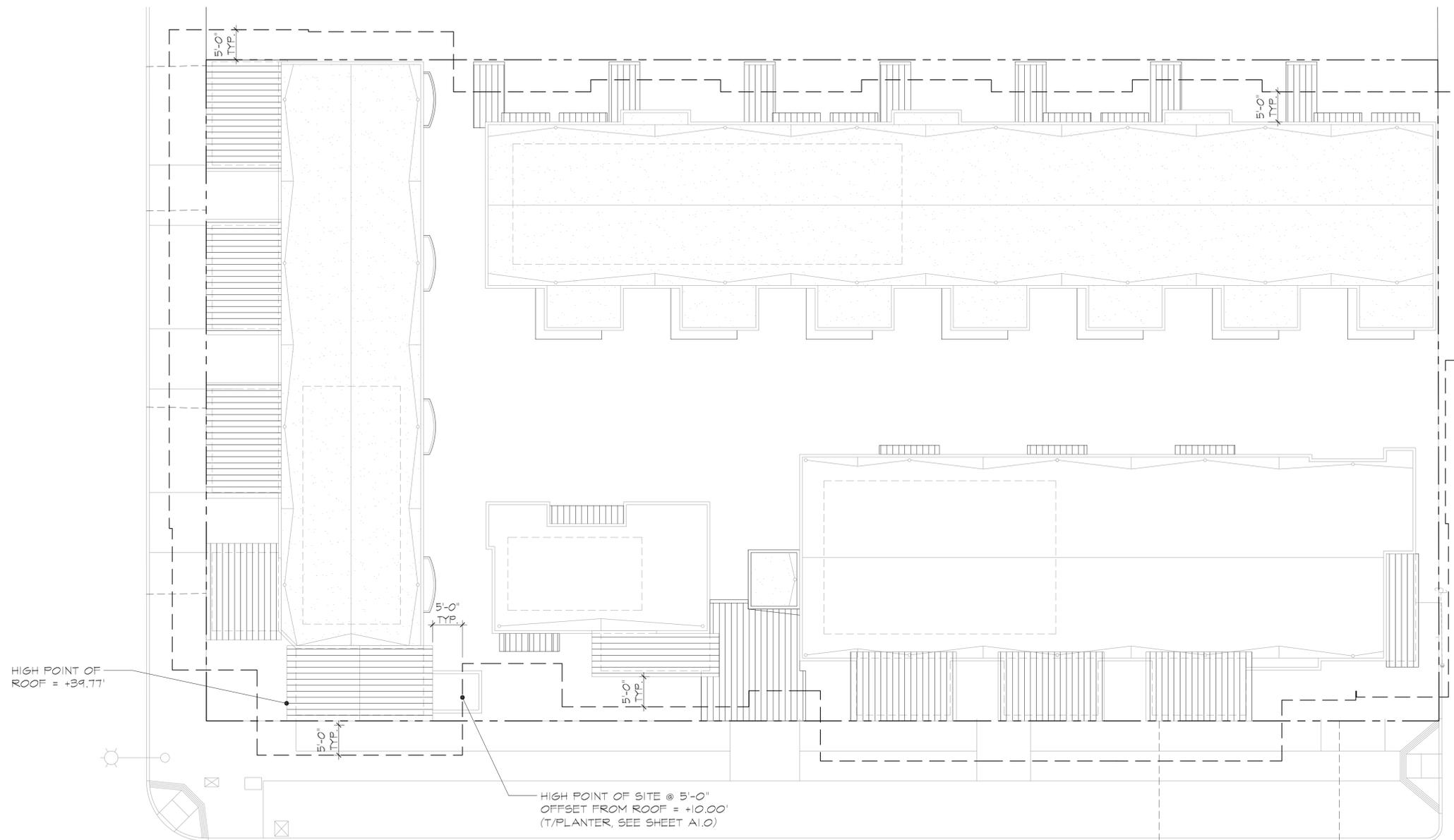
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11-14-16

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the BOULEVARD

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**Sheet Title:**  
SITE PLAN



HIGH POINT OF ROOF = +39.77'

HIGH POINT OF SITE @ 5'-0"  
OFFSET FROM ROOF = +10.00'  
(T/PLANTER, SEE SHEET A1.0)

NOTE:  
39.77' - 10.00' = 29.77'  
TOTAL BUILDING HEIGHT PER PROP. 'D'  
28.27' < 30.00' MAX. ALLOWED PER PROP. 'D'

HEIGHT DIAGRAM

SCALE: 1" = 10'-0"



PROP. D NOTES

- 1) THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- 2) A MANDATORY PRECONSTRUCTION MEETING WITH FIELD INSPECTION SERVICES / INSPECTOR IS REQUIRED PRIOR TO CONSTRUCTION FOR PROJECTS WITHIN 1' MAX. PROP. D HEIGHT. CALL (858) 492-5070 TO SCHEDULE THE PRECON. MEETING.

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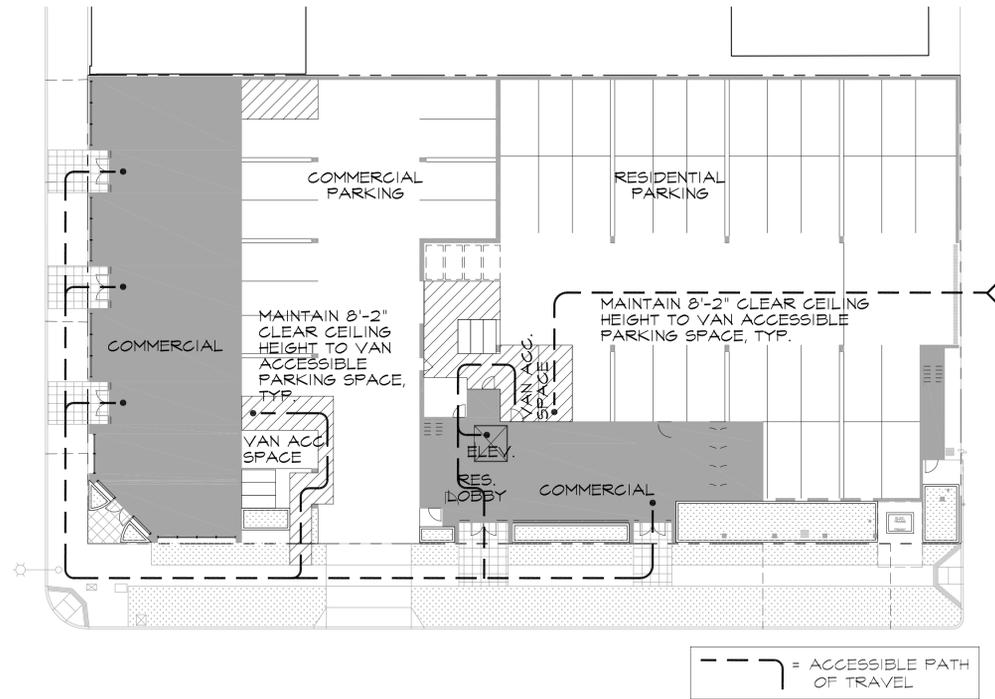
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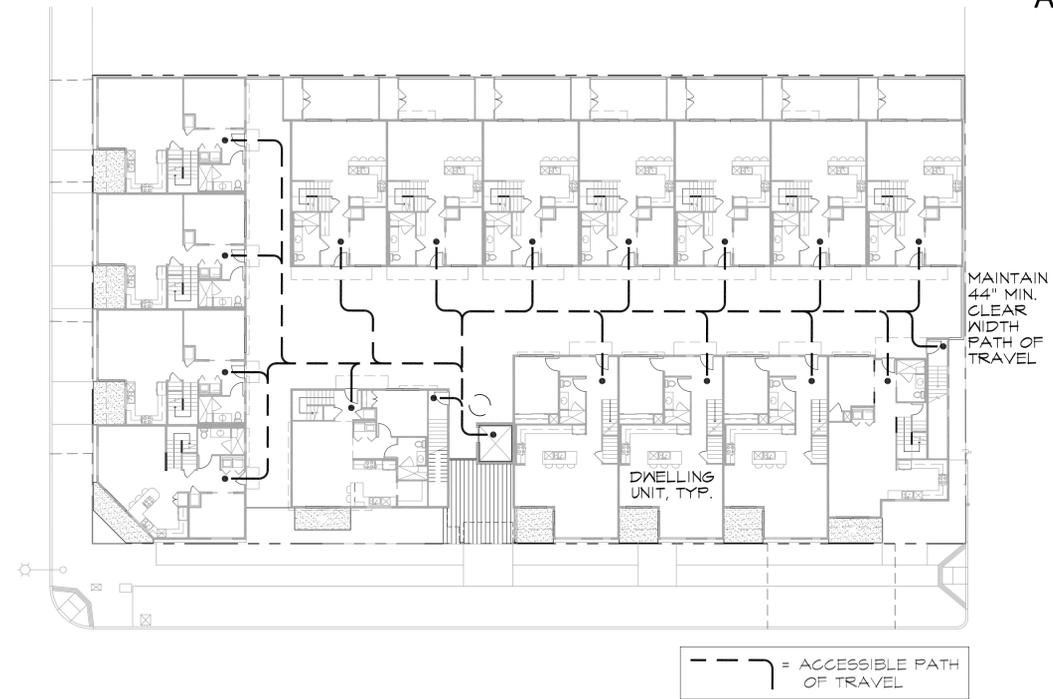
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HEIGHT  
DIAGRAM



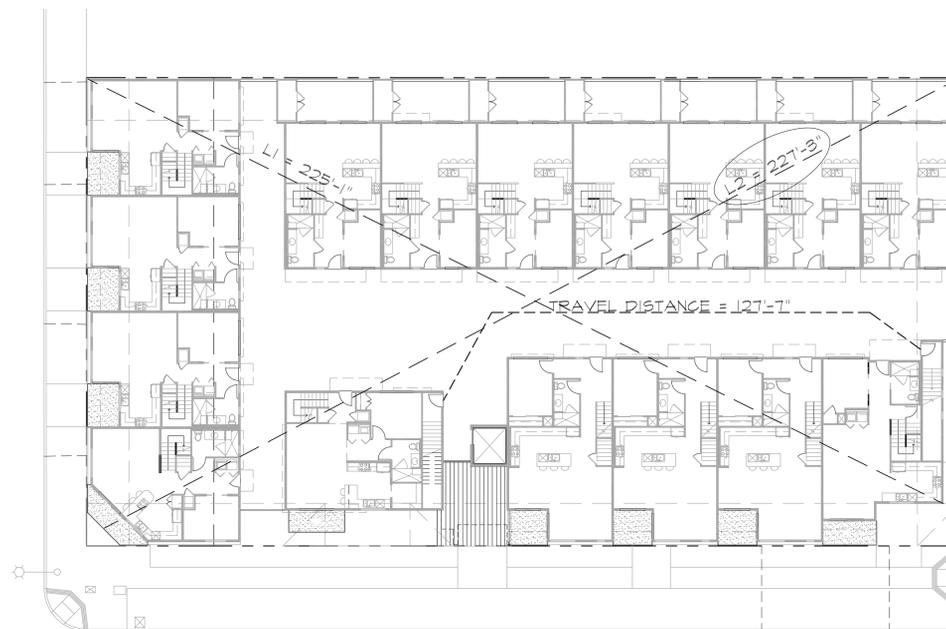
ACCESS DIAGRAM - 1ST FLOOR

SCALE: 1" = 20'-0"



ACCESS DIAGRAM - 2ND FLOOR

SCALE: 1" = 20'-0"



EGRESS STAIR DIAGRAM

SCALE: 1" = 20'-0"



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ACCESS &  
EGRESS DIAG.

A 02

DATE: 05-31-17

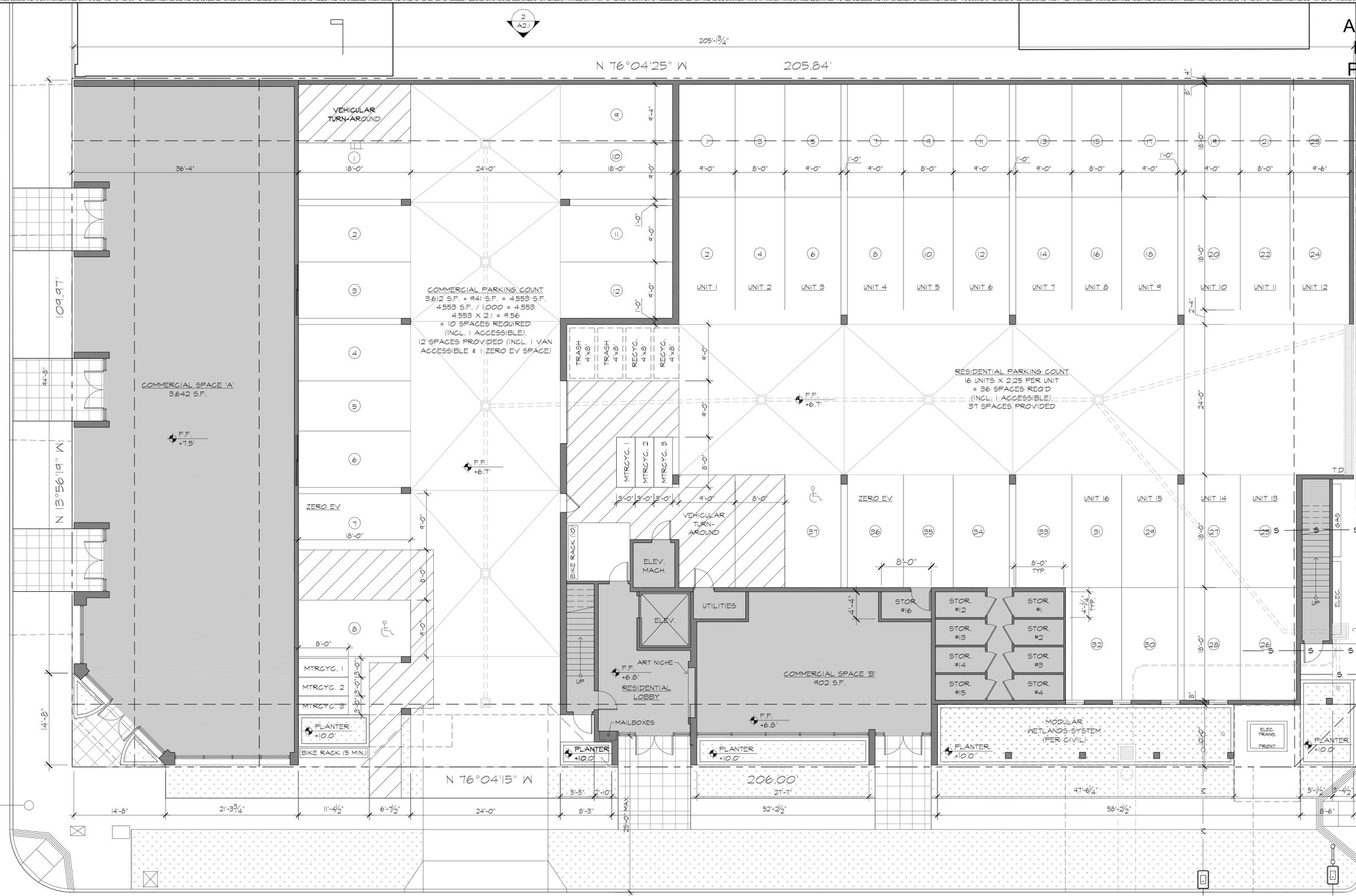
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**the BOULEVARD**  
4253 MISSION BLVD.  
SAN DIEGO, CA 92109



MISSION BLVD.



COMMERCIAL PARKING COUNT  
3,612 S.F. + 941 S.F. = 4,553 S.F.  
4,553 S.F. / 1,000 = 4.553  
4.553 x 2.1 = 9.56  
= 10 SPACES REQUIRED  
(INCL. 1 ACCESSIBLE)  
12 SPACES PROVIDED (INCL. 1 VAN  
ACCESSIBLE & 1 ZERO EV SPACE)

RESIDENTIAL PARKING COUNT  
16 UNITS X 2.25 PER UNIT  
= 36 SPACES REQ'D  
(INCL. 1 ACCESSIBLE)  
37 SPACES PROVIDED

COMMERCIAL SPACE 'B'  
902 S.F.

MODULAR  
WETLANDS SYSTEM  
(PER CIVIL)

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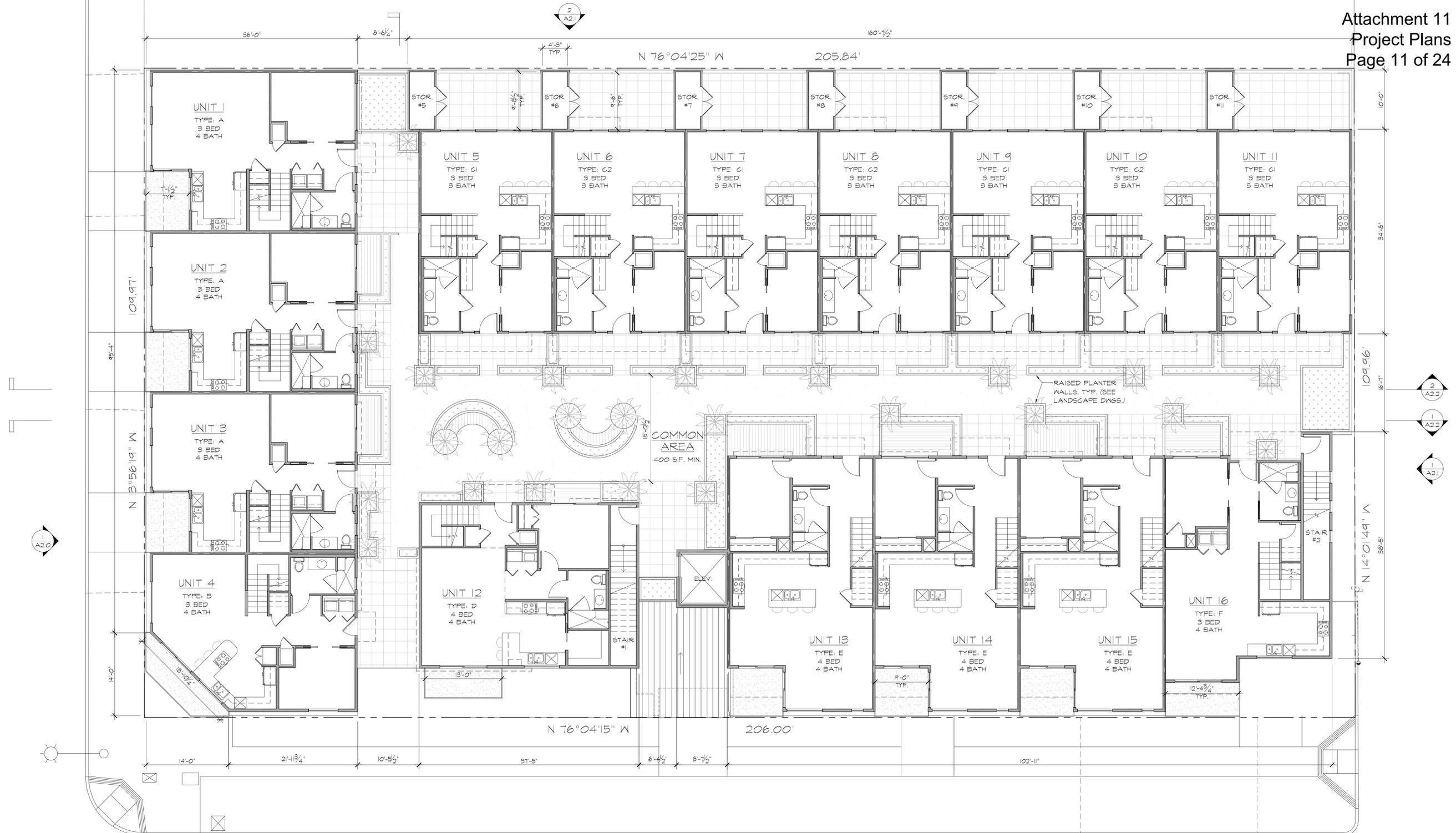
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FIRST FLOOR  
SCALE: 1/8"=1'-0"



1ST FLR.  
PLAN





REED AVE.

NOTE: SEE SHEETS A4.0 - A4.3  
FOR ENLARGED UNIT PLANS

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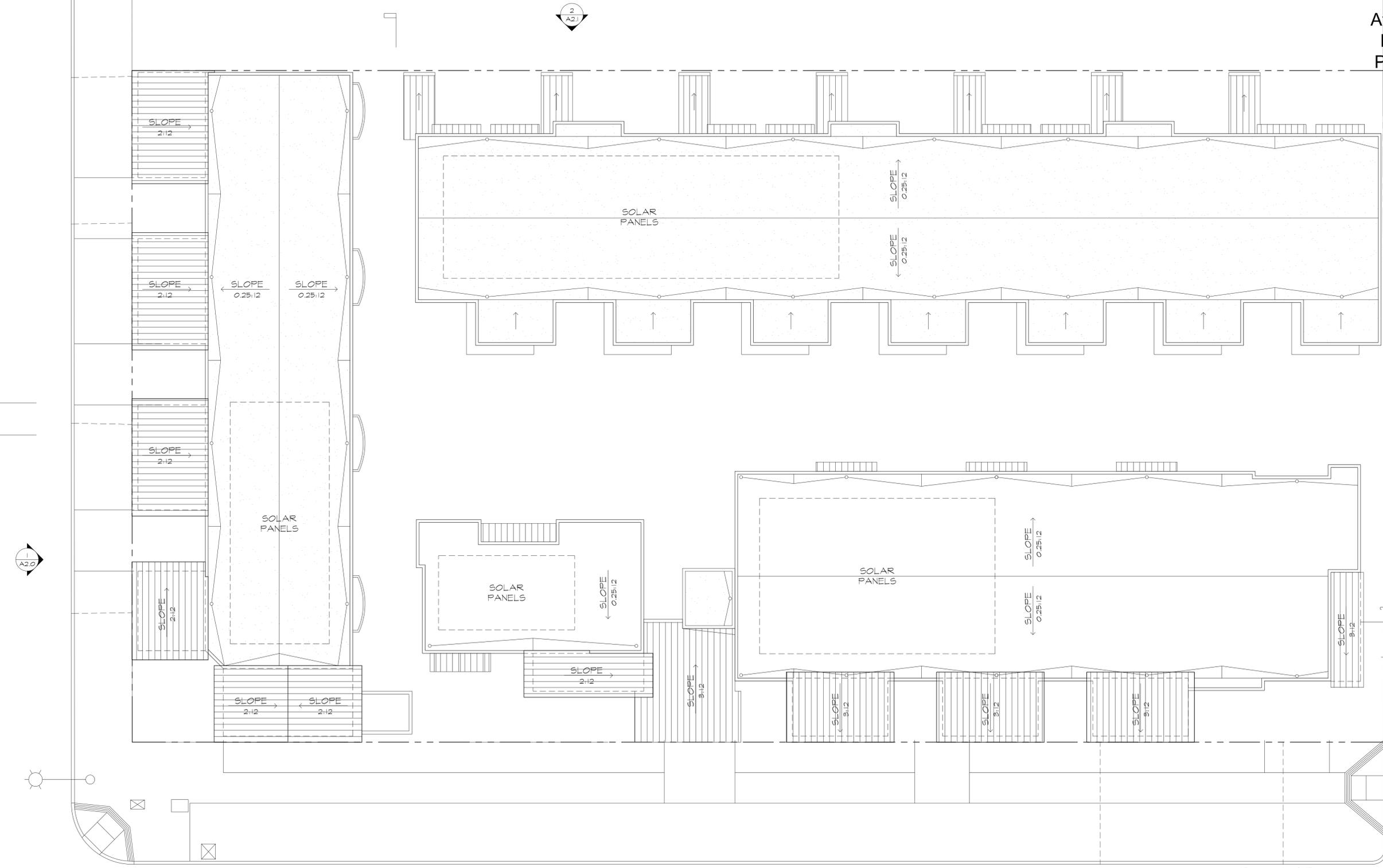
2ND FLOOR  
SCALE: 1/8"=1'-0"



2ND FLR.  
PLAN







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**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**

**GOLBA ARCHITECTURE**  
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**the BOULEVARD**  
4253 MISSION BLVD.  
SAN DIEGO, CA 92109





WEST (FRONT) ELEVATION (MISSION BLVD.)

SCALE: 1/8" = 1'-0"



SOUTH (SIDE) ELEVATION (REED AVE.)

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

	JAMES HARDIE "HARDIPLANK" LAP SIDING, 8" EXPOSURE, PTD. BLUE COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, WHITE COLOR PER ARCH.		CERAMIC TILE O/ BROWN COAT, GRAY COLOR PER ARCH.
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 4" EXPOSURE, PTD. TAN COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, TAN COLOR PER ARCH.		CERAMIC TILE O/ BROWN COAT, BROWN COLOR PER ARCH.
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 6" EXPOSURE, PTD. GREEN COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, GRAY COLOR PER ARCH.		CERAMIC TILE O/ BROWN COAT, TAN COLOR PER ARCH.
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 8" EXPOSURE, PTD. YELLOW COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, YELLOW COLOR PER ARCH.		MOSAIC TILE O/ BROWN COAT, GREEN COLOR PER ARCH.
	HORIZONTAL METAL LOUVERS, COPPER COLOR PER ARCH.		STANDING SEAM METAL ROOF, COPPER COLOR PER ARCH.		STAINED CONCRETE, COLOR PER ARCH.

PROP. "D" NOTES

- THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- A MANDATORY PRECONSTRUCTION MEETING WITH FIELD INSPECTION SERVICES / INSPECTOR IS REQUIRED PRIOR TO CONSTRUCTION FOR PROJECTS WITHIN 1' MAX. PROP. D HEIGHT. CALL (858) 442-5070 TO SCHEDULE THE PRECON. MEETING.

TRANSPARENCY CALCULATIONS

SDMG SECTION 13.0552, WHERE TRANSPARENCY IS REQUIRED, A MINIMUM OF 50% OF THE STREET WALL AREA BETWEEN 3'-0" AND 10'-0" ABOVE THE SIDEWALK SHALL BE TRANSPARENT, WITH CLEAR GLASS INTO A COMMERCIAL OR RESIDENTIAL USE.

AREA	AREA	TRANSPARENT AREA	PERCENT
AREA A:	663 S.F.	461 S.F.	70%
AREA B:	146 S.F.	84 S.F.	58%
AREA C:	149 S.F.	87 S.F.	58%
AREA D:	867 S.F.	299 S.F.	35%
TOTAL:	1,825 S.F.	931 S.F.	51%

THE TOTAL CUMULATIVE TRANSPARENT AREA IS 51%.

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contact: Matt Gomes

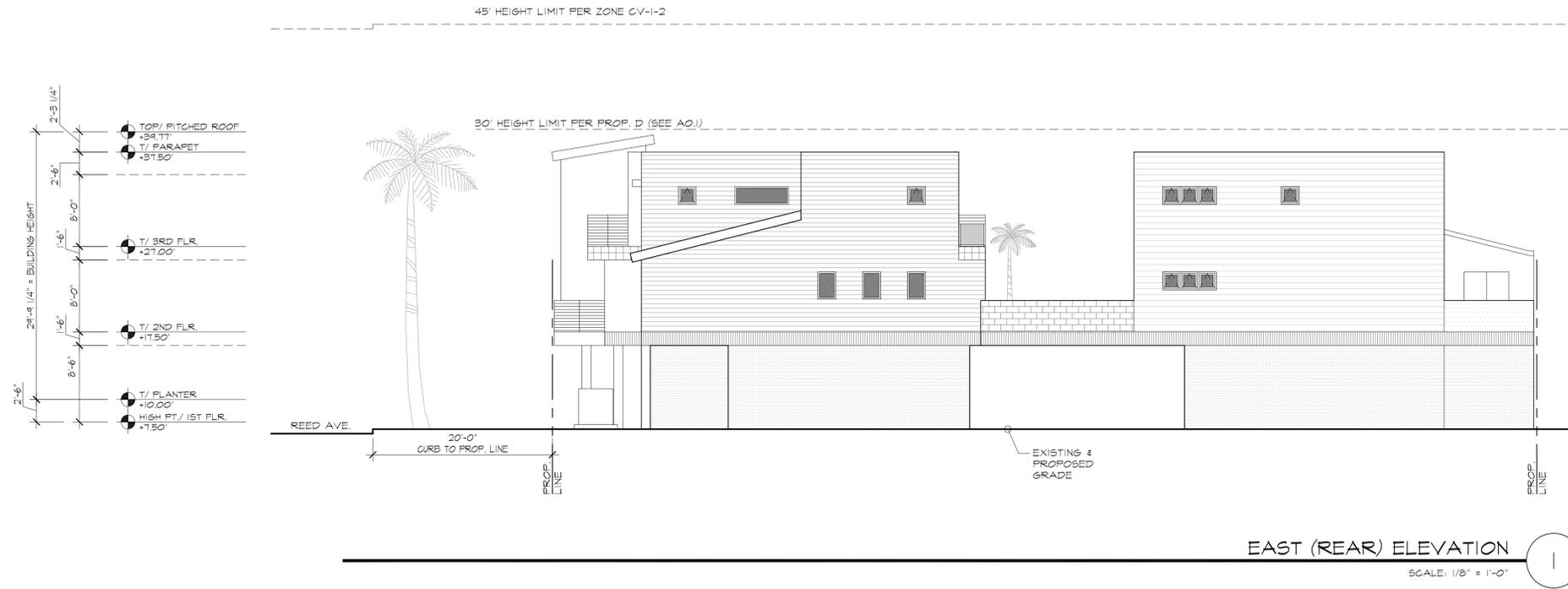
Project Addresses:  
4253 Mission Blvd.  
San Diego, CA 92109

Project Name:  
the BOULEVARD  
Sheet Title:  
ELEVATIONS

Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
Revision 3: 05-31-17  
Revision 2: 05-09-17  
Revision 1: 03-09-17

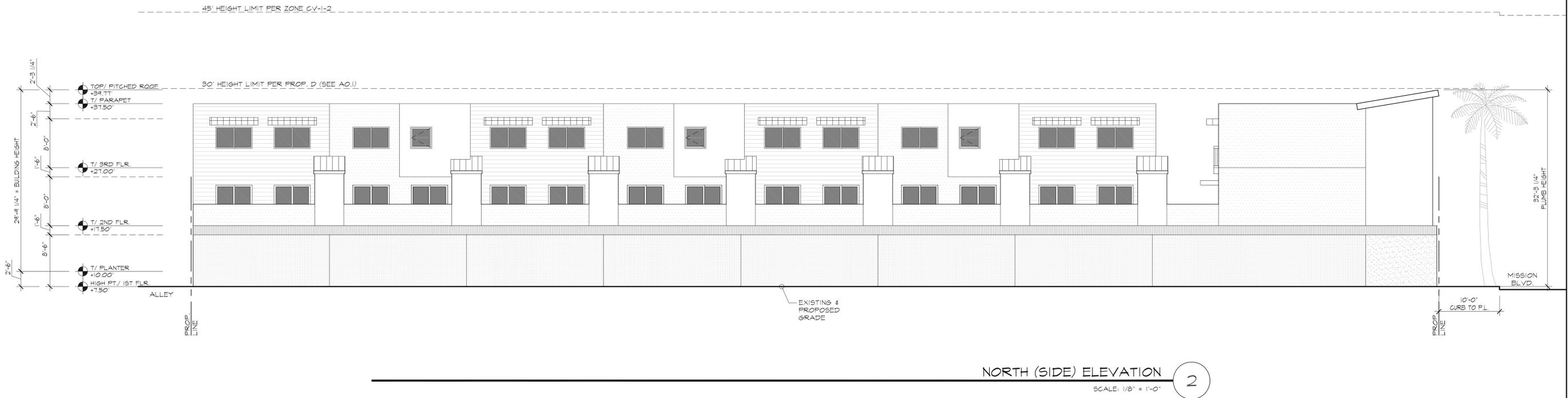
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EAST (REAR) ELEVATION

SCALE: 1/8" = 1'-0"



NORTH (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND			PROP. "D" NOTES	TRANSPARENCY CALCULATIONS		
	JAMES HARDIE "HARDPLANK" LAP SIDING, 8" EXPOSURE, PTD. BLUE COLOR PER ARCH.			STUCCO W/ "SYNERGY" COATING, WHITE COLOR PER ARCH.		CERAMIC TILE O/ BROWN COAT, GRAY COLOR PER ARCH.
	JAMES HARDIE "HARDPLANK" LAP SIDING, 4" EXPOSURE, PTD. TAN COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, TAN COLOR PER ARCH.		CERAMIC TILE O/ BROWN COAT, BROWN COLOR PER ARCH.	
	JAMES HARDIE "HARDPLANK" LAP SIDING, 6" EXPOSURE, PTD. GREEN COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, GRAY COLOR PER ARCH.		CERAMIC TILE O/ BROWN COAT, TAN COLOR PER ARCH.	
	JAMES HARDIE "HARDPLANK" LAP SIDING, 8" EXPOSURE, PTD. YELLOW COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, YELLOW COLOR PER ARCH.		MOSAIC TILE O/ BROWN COAT, GREEN COLOR PER ARCH.	
	HORIZONTAL METAL LOUVERS, COPPER COLOR PER ARCH.		STANDING SEAM METAL ROOF, COPPER COLOR PER ARCH.		STAINED CONCRETE, COLOR PER ARCH.	

AREA	AREA	TRANSPARENT AREA	PERCENT
AREA A:	663 S.F.	461 S.F.	70%
AREA B:	146 S.F.	84 S.F.	58%
AREA C:	149 S.F.	87 S.F.	58%
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TOTAL:	1,825 S.F.	931 S.F.	51%

THE TOTAL CUMULATIVE TRANSPARENT AREA IS 51%.

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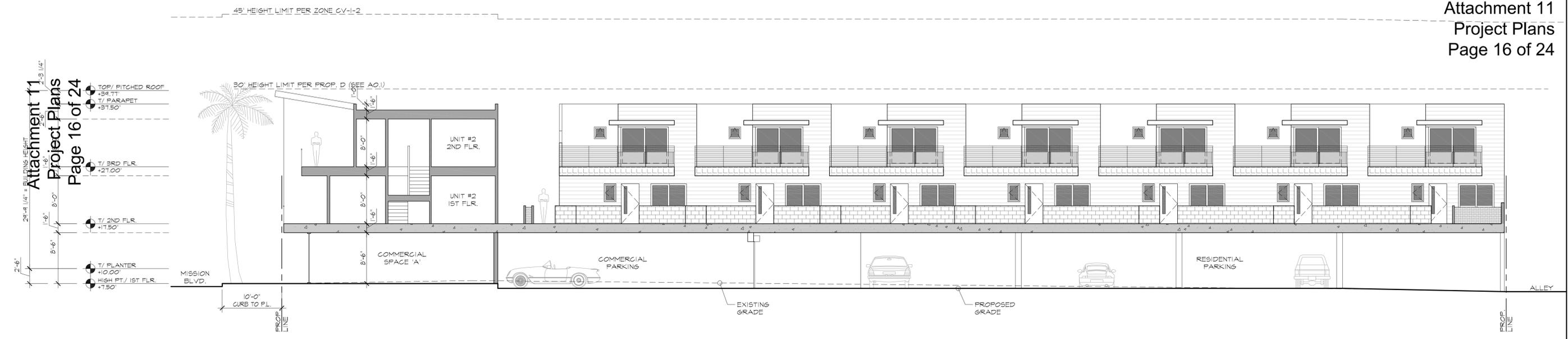
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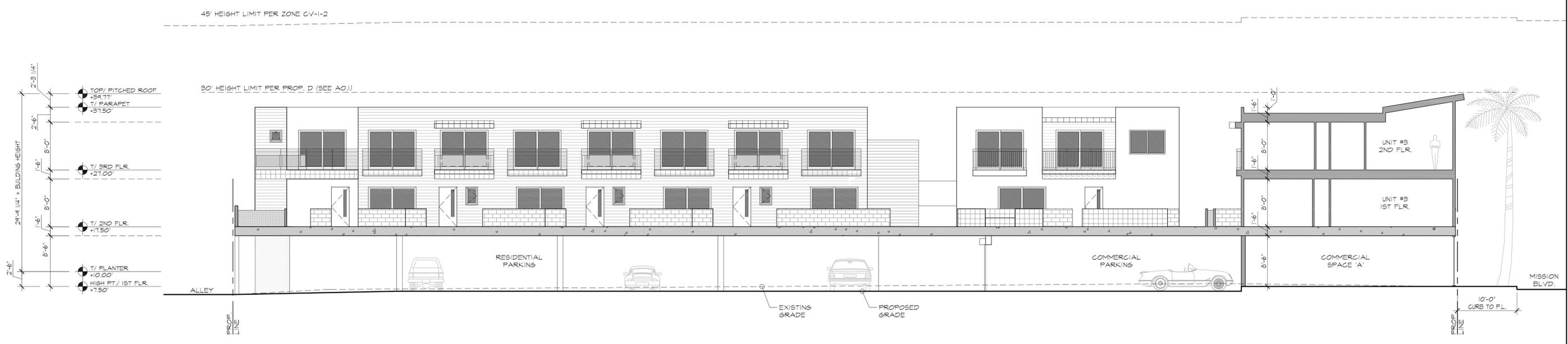
Project Name:  
the BOULEVARD  
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ELEVATIONS



NORTH COURTYARD ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH COURTYARD ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND		
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 8" EXPOSURE, PTD, BLUE COLOR PER ARCH.	
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 4" EXPOSURE, PTD, TAN COLOR PER ARCH.	
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 6" EXPOSURE, PTD, GREEN COLOR PER ARCH.	
	JAMES HARDIE "HARDIPLANK" LAP SIDING, 8" EXPOSURE, PTD, YELLOW COLOR PER ARCH.	
	HORIZONTAL METAL LOUVERS, COPPER COLOR PER ARCH.	
	CERAMIC TILE O/ BROWN COAT, GRAY COLOR PER ARCH.	
	CERAMIC TILE O/ BROWN COAT, TAN COLOR PER ARCH.	
	CERAMIC TILE O/ BROWN COAT, GREEN COLOR PER ARCH.	
	STAINED CONCRETE, COLOR PER ARCH.	

**PROP. "D" NOTES**

- THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- A MANDATORY PRECONSTRUCTION MEETING WITH FIELD INSPECTION SERVICES / INSPECTOR IS REQUIRED PRIOR TO CONSTRUCTION FOR PROJECTS WITHIN 1' MAX. PROP. D HEIGHT. CALL (858) 442-5070 TO SCHEDULE THE PRECON. MEETING.

**TRANSPARENCY CALCULATIONS**

	AREA	TRANSPARENT AREA	PERCENT
AREA A:	663 S.F.	461 S.F.	70%
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TOTAL:	1,825 S.F.	931 S.F.	51%

THE TOTAL CUMULATIVE TRANSPARENT AREA IS 51%.

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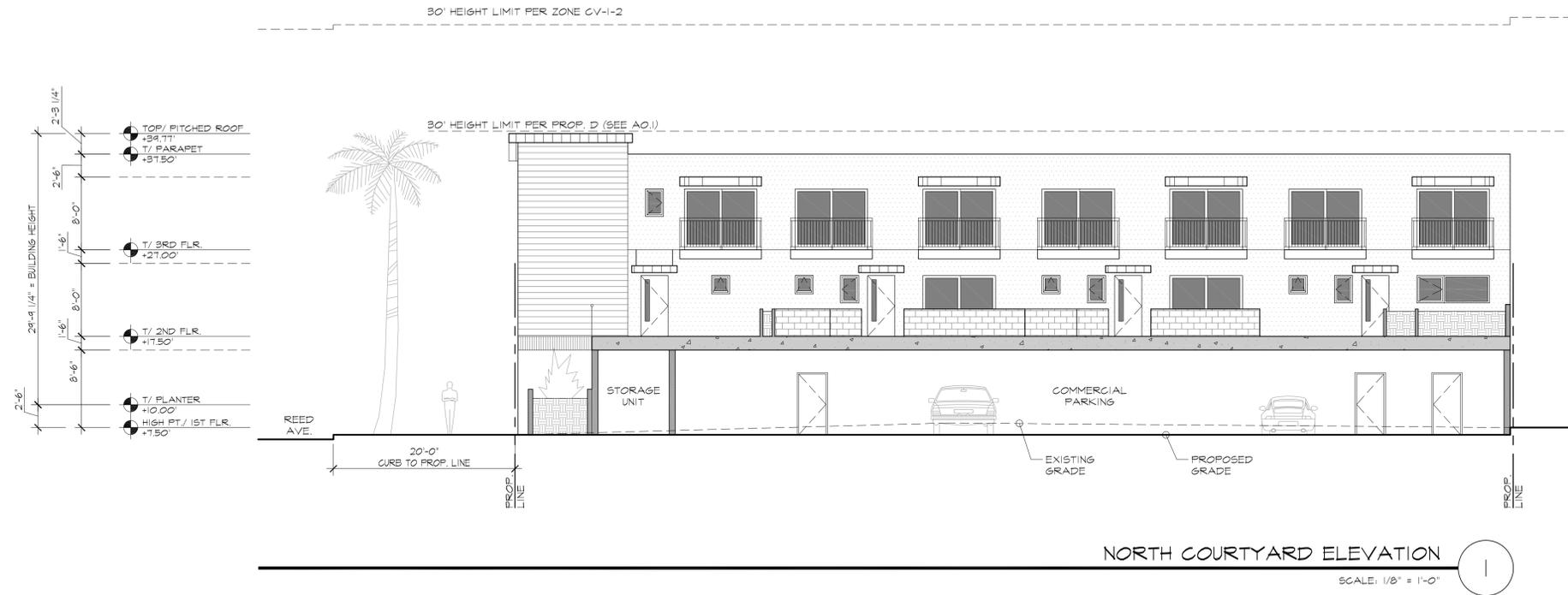
**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave. #100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

**the BOULEVARD**  
4253 MISSION BLVD.  
SAN DIEGO, CA 92109

REGISTERED ARCHITECT  
TWOOTH J. GOLBA  
No. C41736  
Exp. 7-31-18  
STATE OF CALIFORNIA

**A22**

DATE: 05-31-17



ESTABLISHMENT IDENTIFICATION SIGN, AT LEAST 1 SIGN PER ESTABLISHMENT; ALLOWABLE SIGN COPY AREA IS 1'-0" X ESTABLISHMENT STREET WALL LENGTH, MAXIMUM SIGN COPY AREA IS 100 S.F. & MINIMUM SIGN COPY AREA IS 20 S.F.; PER SDMC TABLE 142-12B & TABLE 142-12C

NOTE: ALL SIGNS SHALL COMPLY WITH THE MINIMUM SETBACKS ESTABLISHED BY THE BASE ZONES PLANNED DISTRICTS & CITY COUNCIL ORDINANCES

NOTE: ALL SIGNS SHALL COMPLY WITH CHAPTER 14 ARTICLE 2, DIVISION 12 OF THE SAN DIEGO MUNICIPAL CODE



ESTABLISHMENT ADDRESS LOCATED ABOVE THE PRIMARY ENTRY DOOR TO THE ESTABLISHMENT

TYPICAL STORE FRONT SIGNAGE ELEVATION

MATERIAL LEGEND

	JAMES HARDIE "HARDIPLANK" LAP SIDING, 8" EXPOSURE, PTD. BLUE COLOR PER ARCH.		STUCCO W/ "SYNERGY" COATING, WHITE COLOR PER ARCH.		CERAMIC TILE W/ BROWN COAT, GRAY COLOR PER ARCH.
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TRANSPARENCY CALCULATIONS

SDMC SECTION 131.0552, WHERE TRANSPARENCY IS REQUIRED, A MINIMUM OF 50% OF THE STREET WALL AREA BETWEEN 3'-0" AND 10'-0" ABOVE THE SIDEWALK SHALL BE TRANSPARENT, WITH CLEAR GLASS INTO A COMMERCIAL OR RESIDENTIAL USE.

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TOTAL:	1,825 S.F.	931 S.F.	51%

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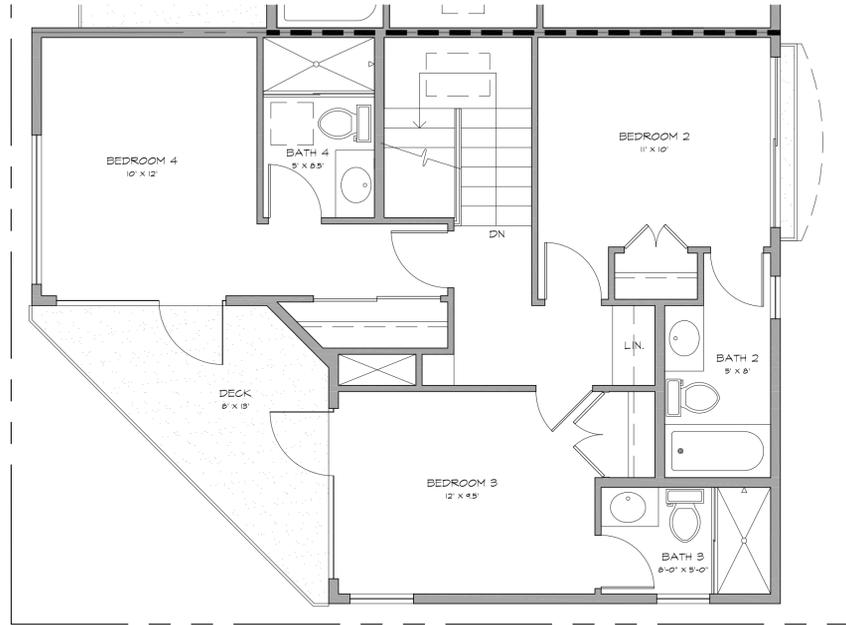
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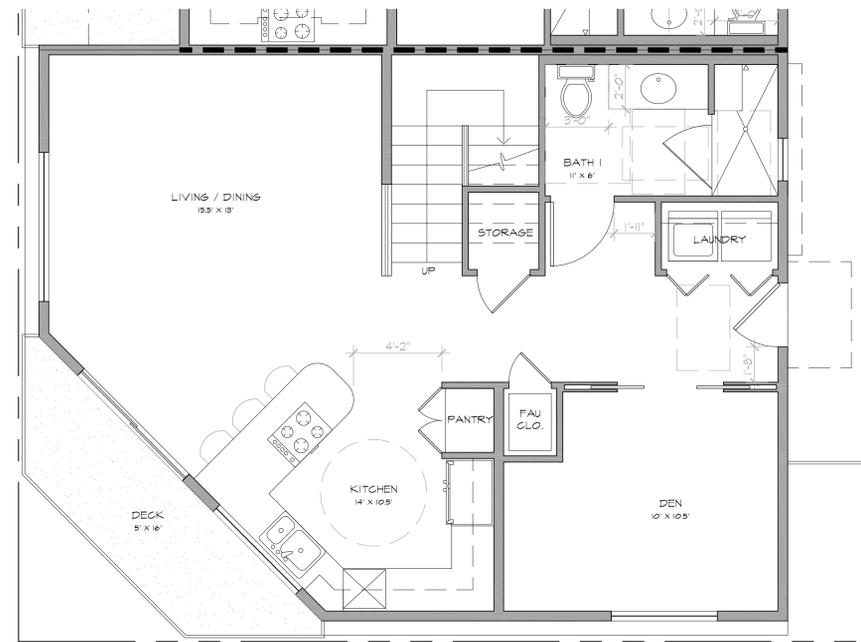
ELEVATIONS



UNIT TYPE B - 2ND FLOOR

4

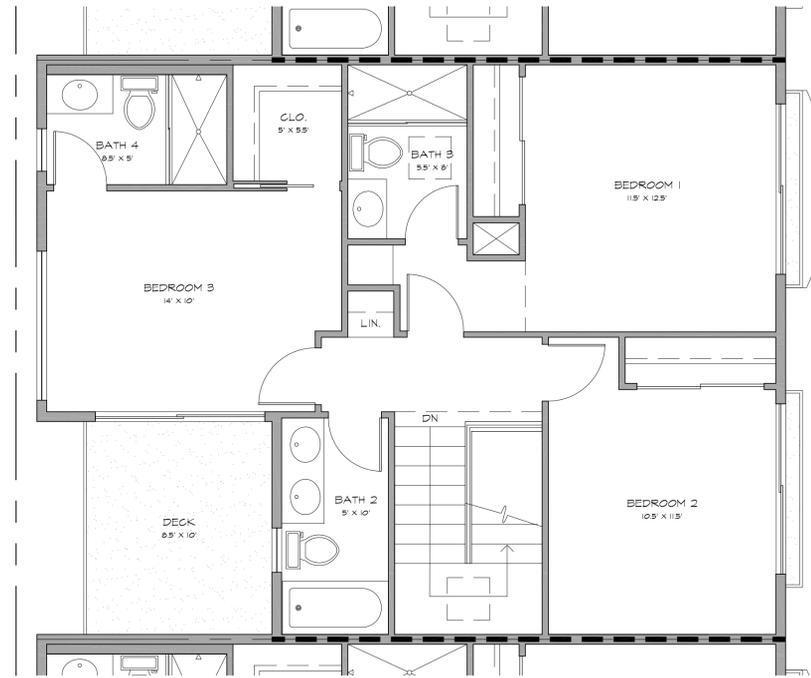
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UNIT TYPE B - 1ST FLOOR

3

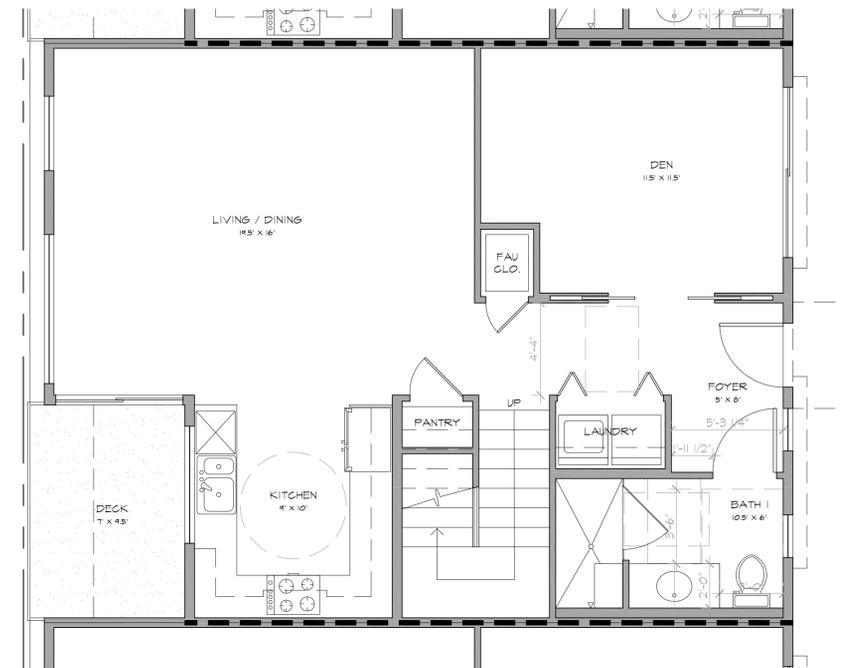
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UNIT TYPE A - 2ND FLOOR

2

SCALE: 1/4"=1'-0"



UNIT TYPE A - 1ST FLOOR

1

SCALE: 1/4"=1'-0"



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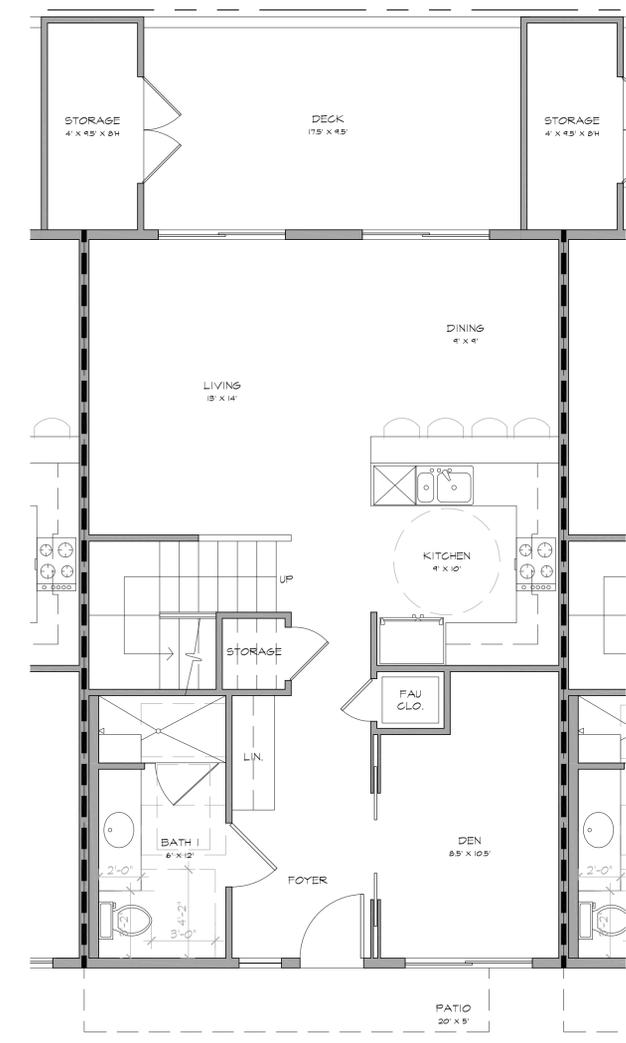
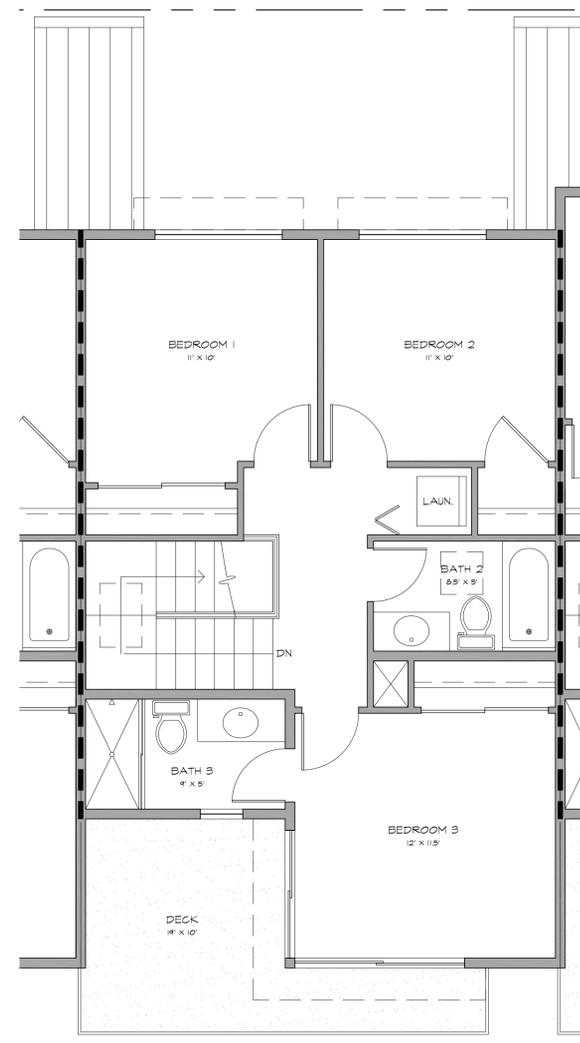
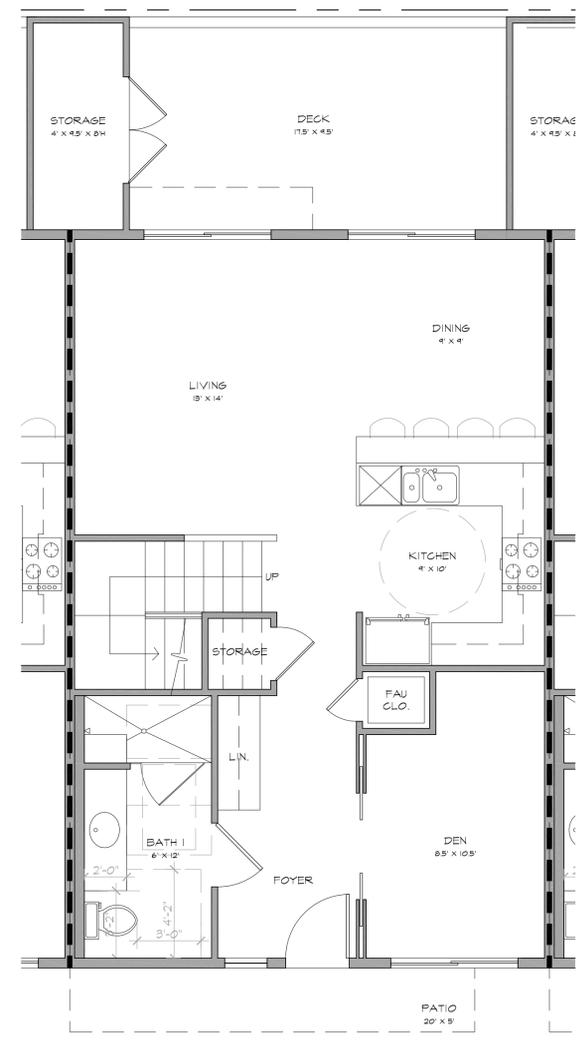
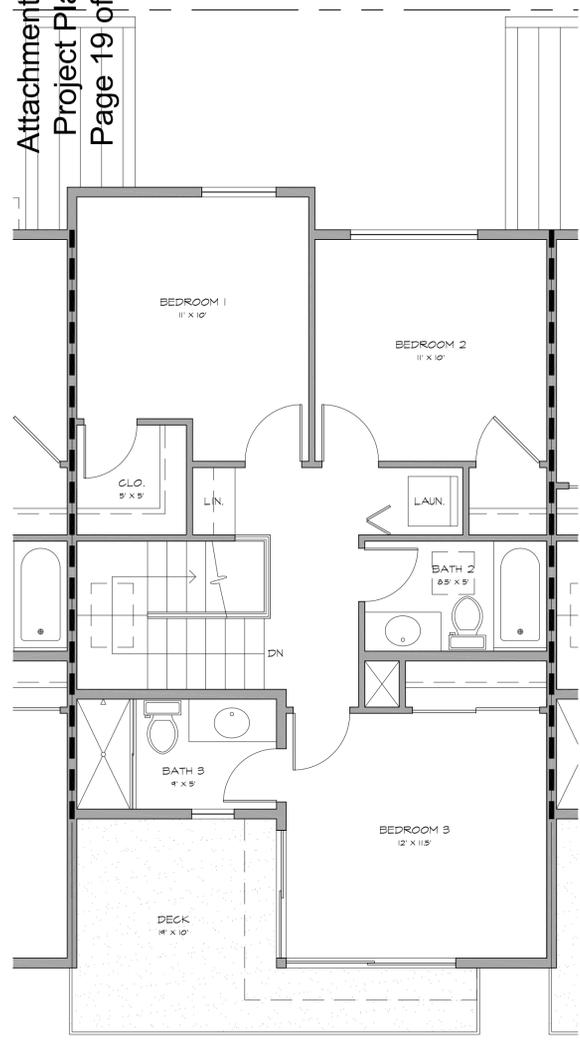
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the BOULEVARD  
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UNIT PLANS





UNIT TYPE C2 - 2ND FLR. 4  
SCALE: 1/4"=1'-0"

UNIT TYPE C2 - 1ST FLR. 3  
SCALE: 1/4"=1'-0"



UNIT TYPE C1 - 2ND FLR. 2  
SCALE: 1/4"=1'-0"

UNIT TYPE C1 - 1ST FLR. 1  
SCALE: 1/4"=1'-0"



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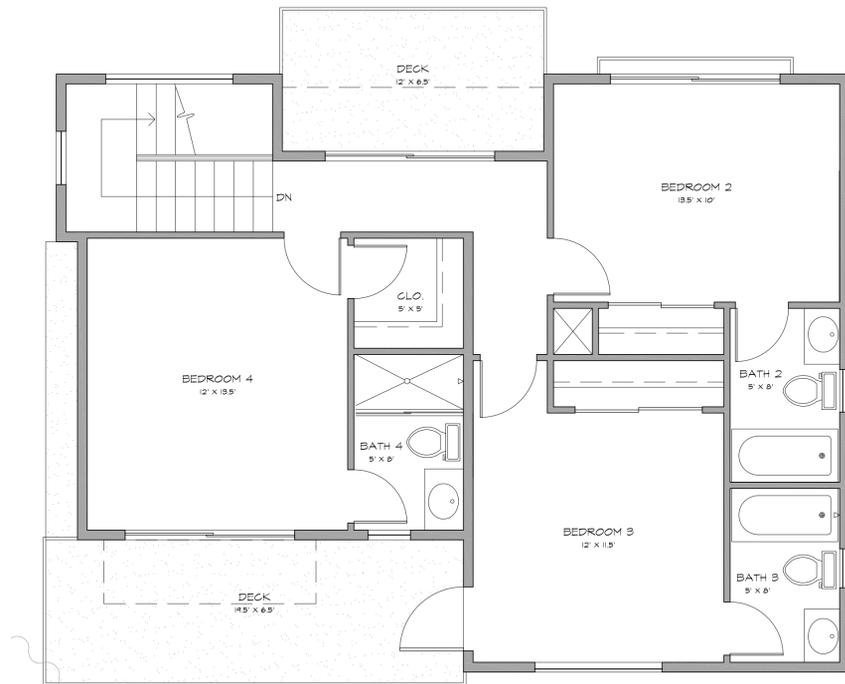
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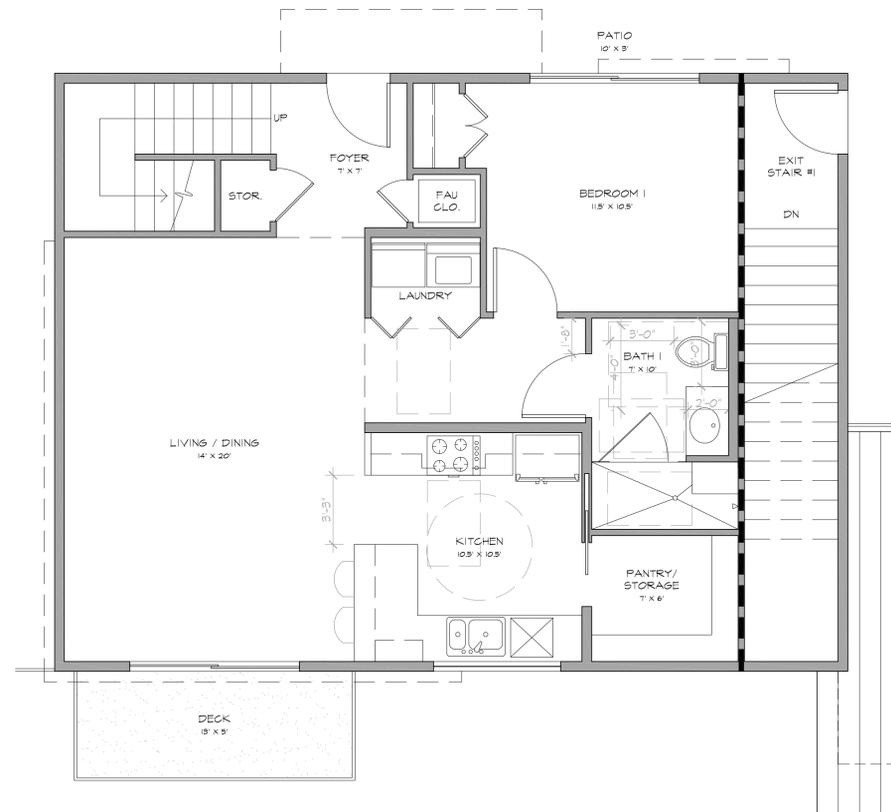
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UNIT PLANS

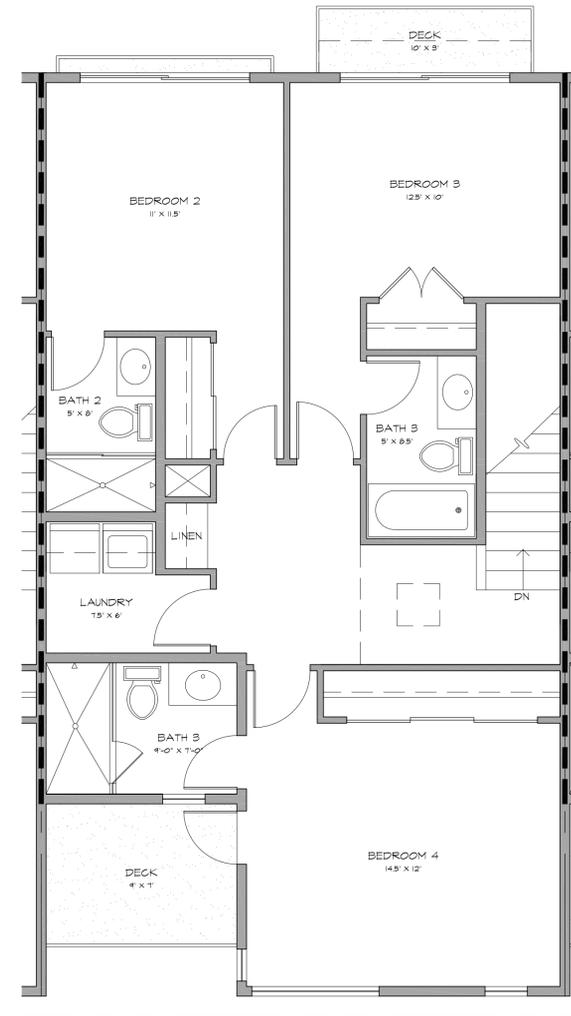




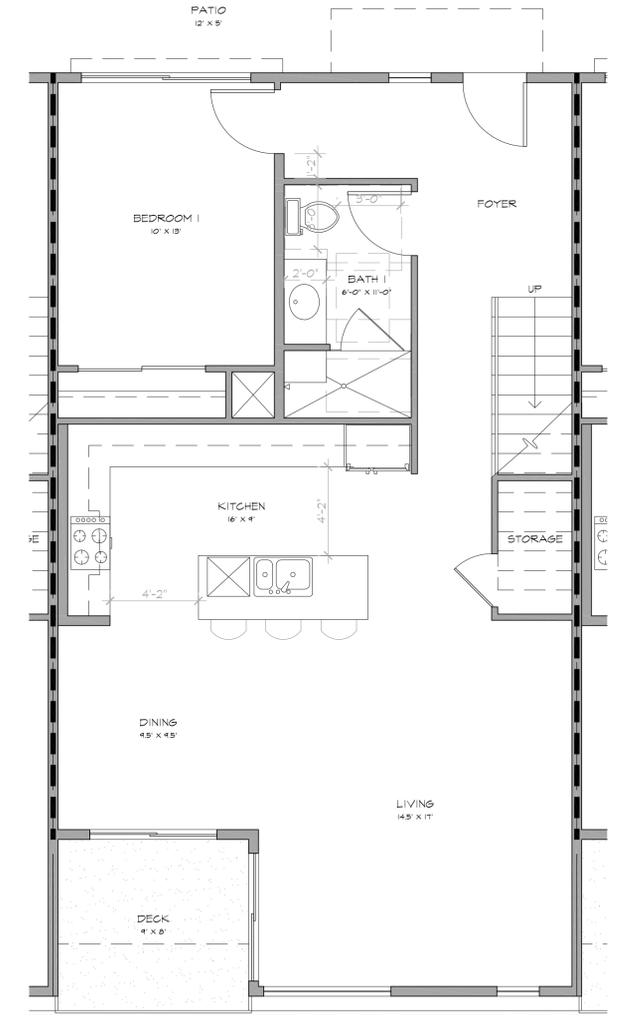
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SCALE: 1/4"=1'-0"



UNIT TYPE D - 1ST FLOOR (1)  
SCALE: 1/4"=1'-0"



UNIT TYPE E - 2ND FLOOR (2)  
SCALE: 1/4"=1'-0"



UNIT TYPE E - 1ST FLOOR (1)  
SCALE: 1/4"=1'-0"

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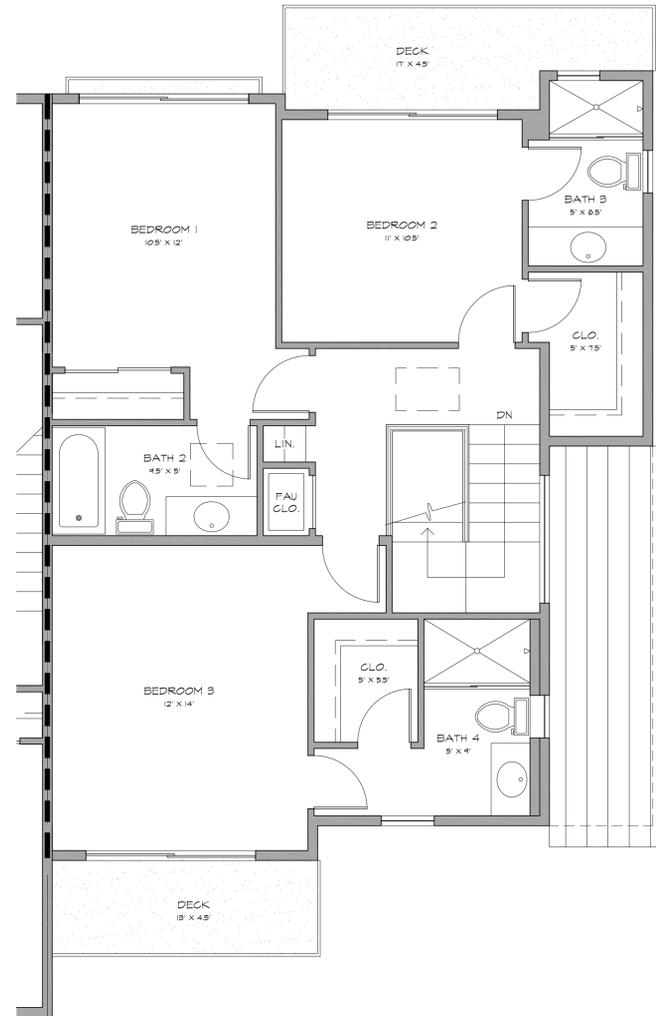
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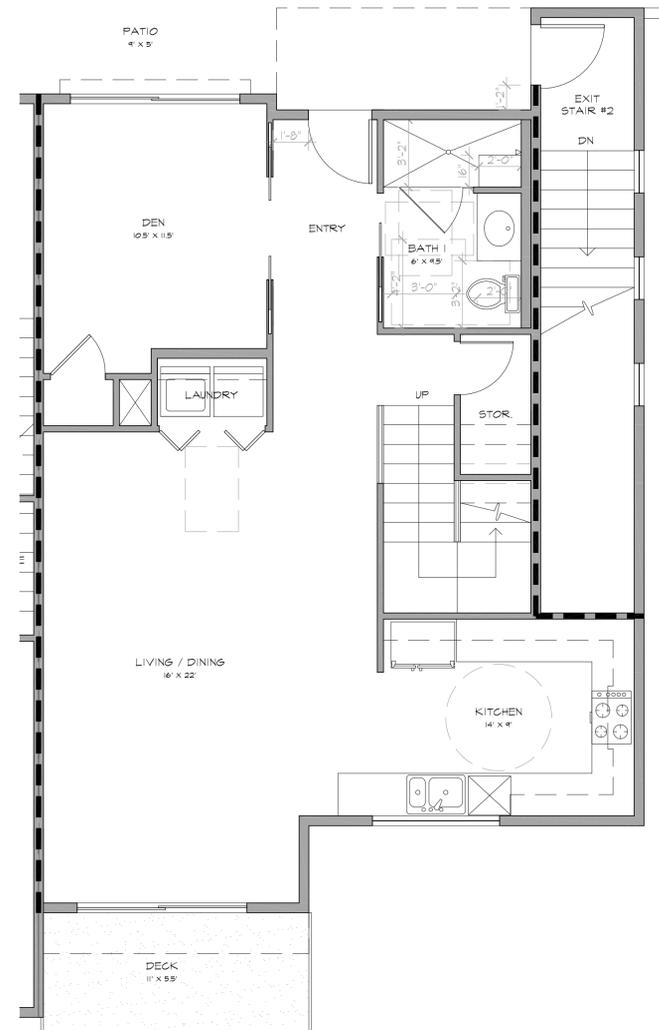
UNIT PLANS



UNIT TYPE F - 2ND FLOOR

SCALE: 1/4"=1'-0"

2



UNIT TYPE F - 1ST FLOOR

SCALE: 1/4"=1'-0"

1



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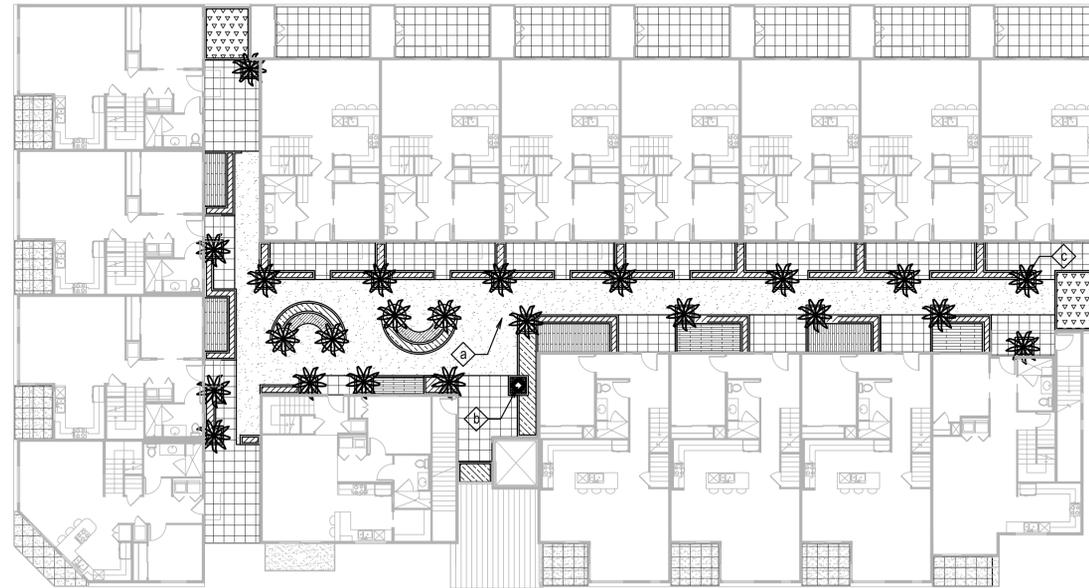
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UNIT PLANS



LEVEL TWO LANDSCAPE DEVELOPMENT PLAN



LANDSCAPE KEY NOTES:

- a COMMON AREA WITH INTIMATE SEATING
- b WATER FEATURE
- c 36" RAISED PLANTERS (TYPICAL)

HARDSCAPE LEGEND:

	HARDSCAPE PAVING 'A' 1,600 SF Such as: <i>Monolithic topping slab with stamped finish and color hardener</i> <i>Monolithic topping slab with wash finish and color hardener</i> <i>Monolithic topping slab with exposed aggregate</i>
	HARDSCAPE PAVING 'B' 3,520 SF Such as: <i>"Cut flagstone"</i> <i>"Pervious pavers"</i> <i>"Colored concrete with enhanced finish"</i>
	HARDSCAPE PAVING 'B' 397 SF Such as: <i>"Porcelain tile"</i> <i>"Composite decking"</i> <i>"Ipe decking"</i>

PLANTING LEGEND:

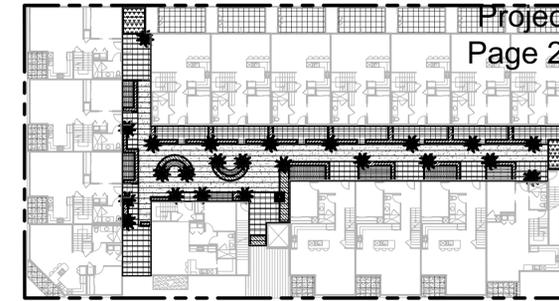
	SMALL EVERGREEN ACCENT TREE Informal evergreen tree - 15' tall x 15' wide, such as: <i>Chamaedora plumosa</i> <i>Cordylina australis</i> <i>Schefflera elegantissima</i>	1 / 100% / 15 gallon "Baby Queen Palm" "Grass Palm" "False Aralia"
	ORNAMENTAL GRASSES Evergreen grasses - 1'-2' tall, such as: <i>Carex tumulicola</i> <i>Dianella caerulea</i> <i>Lomandra longifolia</i> 'Breeze'	777 SF / 100% / 1 gallon "Foothill Sedge" "Blue Flax Lily" "Dwarf Mat Rush"
	TALL SCREENING Bamboos - such as: <i>Bambusa multiplex</i> 'Golden Goddess' <i>Bambusa ventricosa</i> 'Buddha's Belly' <i>Bambusa vulgaris</i> 'Vittata'	162 SF / 100% / 5 gallon "Golden Goddess Bamboo" "Buddha's Belly Bamboo" "Painted Bamboo"
	PERENNIALS Flowering, herbaceous perennials - 18" tall, such as: <i>Galvezia speciosa</i> <i>Lobelia laxiflora</i> <i>Pelargonium peltatum</i>	177 SF / 100% / 1 gallon "Island Snapdragon" "Mexican Cardinal Flower" "Ivy Geranium"

GENERAL NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITYWIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACE PER THE CONDITIONS OF THE PERMIT.
3. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
4. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
5. A MINIMUM 2" AIR GAP SHALL BE MAINTAINED BETWEEN BUILDING WALLS AND ALL LANDSCAPE WALLS, FOUNTAINS OR OTHER LANDSCAPE STRUCTURES.

IRRIGATION NOTE:

ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE UTILIZING HIGH-EFFICIENCY IRRIGATION TECHNOLOGY AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE CLASS 200 OR CLASS 315 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP.



LANDSCAPE AREA DIAGRAM - NTS

LANDSCAPE AREA CALCULATIONS:

REMAINING YARD - 3 OR MORE DWELLING UNITS

TOTAL COURTYARD AREA: 4,858 S.F.  
TOTAL COURTYARD PLANTING AREA: 757 S.F.

60 POINTS FOR EACH UNIT  
POINTS PROVIDED

60 x 4 UNITS  
1 x 209 (1-GALLON)  
5 x 8 (5-GALLON) = 240 POINTS.  
10X 23 (15 GALLON)

PERCENT OF POINTS ACHIEVED WITH TREES (50% MINIMUM) = 230 POINTS

= 455 POINTS  
= 51%

DRAINAGE NOTES:

1. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
2. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO BIORETENTION AREA. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORM WATER CONVEYANCE SYSTEM.

**MULCH NOTE:** 142.0413 WATER CONSERVATION (b) MULCH REQUIREMENTS. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITH OUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

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Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
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Revision 2:

Project Address:  
4253 Mission Blvd  
San Diego, California 92109

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4253 Mission Blvd

Original Date: 18 JULY 2014

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Sheet Title: LEVEL TWO LANDSCAPE DEVELOPMENT PLAN

L-1.1



**NERI**  
**LANDSCAPE**  
**ARCHITECTURE**  
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SAN DIEGO, CA 92109  
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**LANDSCAPE CONCEPT STATEMENT:**

THE LANDSCAPE ENVISIONED FOR THIS MIXED-USE RESIDENTIAL / COMMERCIAL BUILDING RESPONDS TO THE SALT-LADEN WINDS OF THE COASTAL STRAND ENVIRONMENT. CANOPY STREET TREES PROVIDE SHADE ON MISSION BOULEVARD. A LAWN UNDERSTORY ON REED AVENUE WILL BLEND WITH RESIDENTIAL PLANTINGS AND ALLOW FOR EASY ACCESS FROM THE ADJACENT ON STREET PARKING. THE REMAINING YARD IS DOMINATED BY AN INTERIOR COURTYARD WITH A RAISED PLANTER ON STRUCTURE, FEATURING FEATHER PALMS SUPPORTED BY MASSES OF SUBTROPICAL EVERGREEN FLOWERING SHRUBS AND GRASSY GROUNDCOVER. A GENEROUS COMMON AREA OF 965 SQUARE FEET FEATURES INTIMATE BUILT-IN SEATING AND A SELF-CIRCULATING WATER FEATURE.

**LANDSCAPE KEY NOTES:**

- Ⓐ VISIBILITY AREAS- NO OBSTRUCTION, INCLUDING WALLS, IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT. PLANTING SHALL NOT EXCEED 2' IN HEIGHT
- Ⓑ DIMENSIONS AT THE VISIBILITY TRIANGLE PER SDMC 113.0273(B)(4)
- Ⓒ BIORETENTION AREAS (SEE CIVIL DRAWINGS)
- Ⓓ ROOT BARRIER, MIN. 10' LONG (TYP. SYM.)

**PLANTING LEGEND:**

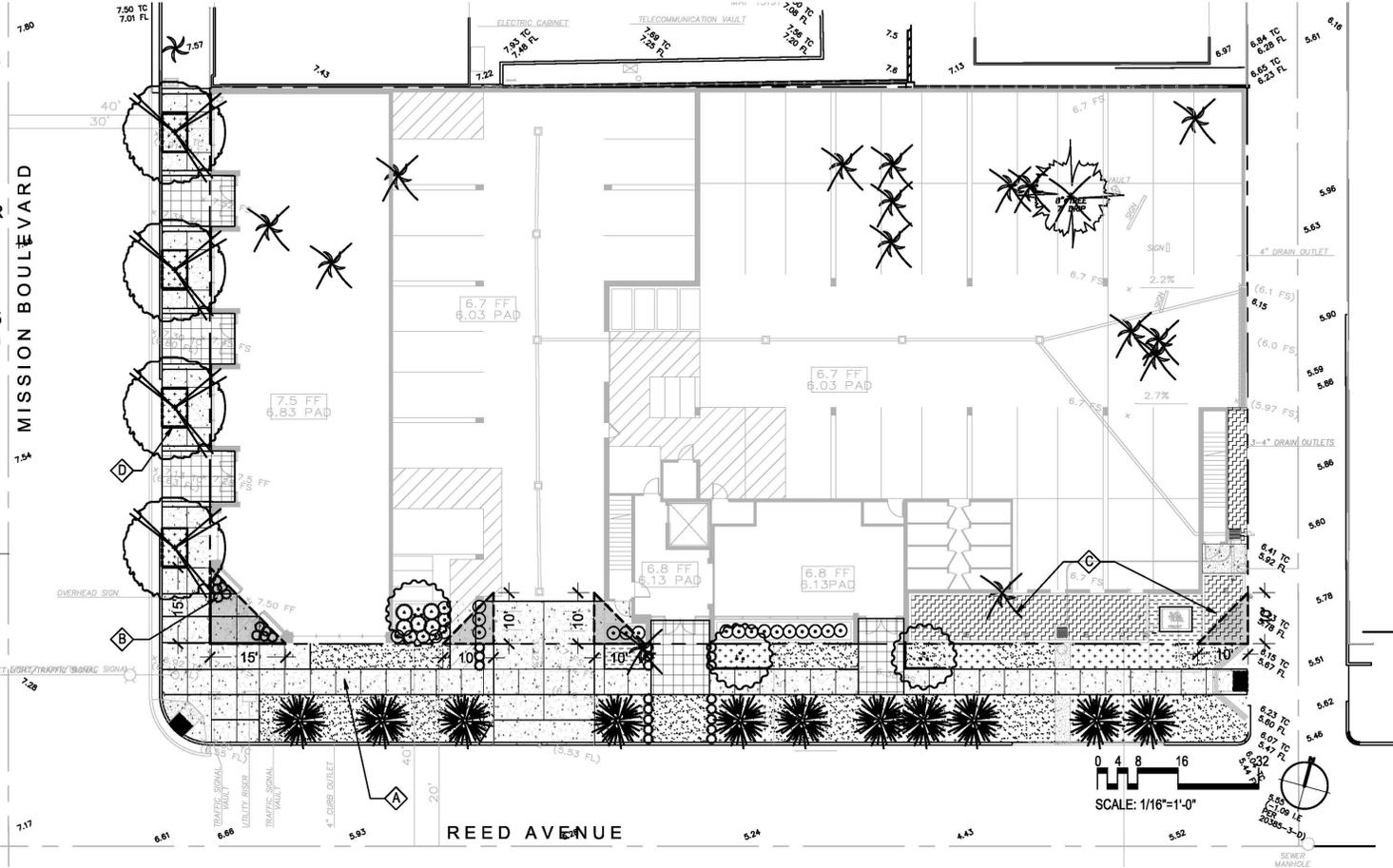
- EXISTING SITE TREES TO BE REMOVED: 16  
SYR ROM - SYAGRUS ROMANZOFFIANA "QUEEN PALM". 8"-11" DBH  
WAS ROB - WASHINGTONIA ROBUSTA "MEXICAN FAN PALM 8"-16" DBH
- MEDIUM EVERGREEN TREE  
Medium evergreen tree - 20' tall x 20' wide, such as: 3 / 100% / 24" BOX  
*Arbutus unedo* "Marina"  
*Dracena draco*  
*Metrosideros excelsa*  
"Strawberry Tree"  
"Dragon Tree"  
"Pohutakawa"
- REED AVENUE STREET TREES (210 L.F. FRONTAGE)  
Palm - 20' tall x 12' wide, such as: 11 / 100% / 10' B.T.H.  
*Archontophoenix cunninghamiana*  
"King Palm"
- MISSION BOULEVARD STREET TREES (110 L.F. FRONTAGE)  
Canopy Tree - 20' tall x 20' wide, such as: 4 / 100% / 24" BOX  
*Metrosideros excelsa*  
"Pohutakawa"
- BARRIER PLANT  
Informal evergreen tree - 4'-5' tall, such as: 5 / 100% / 5 gallon  
*Cyindropuntia bigelovii*  
*Opuntia ficus-indica*  
*Euphorbia millii*  
"Teddybear Cholla"  
"Prickly Pear"  
"Crown of Thoms"
- SMALL ACCENT SUCCULENT  
Spreading, evergreen groundcover - 2' tall, such as: 11 / 100% / 1 gallon  
*Aloe polyphylla*  
*Agave parryi* "Truncata"  
*Dudleya brittonii*  
"Spiral Aloe"  
"Parry's agave"  
"Giant Chalk Dudleya"
- SMALL ACCENT BORDER  
Low growing evergreen shrub - 2'-3' tall, such as: 52 / 100% / 1 gallon  
*Aeonium 'Zwartkop'*  
*Phormium tenax* "Dark Delight"  
*Salvia spathacea*  
"Black Rose Aeonium"  
"Dark Delight Flax"  
"Hummingbird Sage"

- GRASSY GROUNDCOVER  
herbaceous groundcovers - 1'-6" tall, such as: 983 SF / 100% / 1 gallon  
*Calamagrostis foliosa*  
*Elymus arenarius* "Blue Dune"  
*Muhlenbergia rigens*  
"Cape Mendocino Reed Grass"  
"Blue Dune Grass"  
"Deer Grass"
- LOW GROUNDCOVER  
Low-growing succulents - 18" high and spreading, such as: 135 SF / 100% / 4" pots  
*Dymondia margaretae*  
*Kalanchoe tomentosa*  
*Sedum spathulifolium* "Capo Blanco"  
"Silver Carpet"  
"Panda Plant"  
"Capo Blanco Stonecrop"
- BIORETENTION  
Ornamental grasses - 2' tall, such as: 655 SF / 100% / 1 gallon  
*Chondropetalum tectorum*  
*Juncus effusus*  
*Juncus patens*  
"Buffalo Grass"  
"Pale Rush"  
"Common Rush"
- TURF  
Low growing turf grass - 3" tall and spreading, such as: 1,550 S.F. / 100% / SOD  
*Carex pansa*  
*Cynodon dactylon* "Tifgreen"  
*Paspalum vaginatum* "Seaspray"  
"California Meadow Sedge"  
"Bermuda Grass"  
"Seaspray Paspalum"

**GENERAL NOTES:**

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITYWIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACE PER THE CONDITIONS OF THE PERMIT.
3. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
4. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
5. A MINIMUM 2" AIR GAP SHALL BE MAINTAINED BETWEEN BUILDING WALLS AND ALL LANDSCAPE WALLS, FOUNTAINS OR OTHER LANDSCAPE STRUCTURES.

**PACIFIC BEACH COMMUNITY PLAN:**  
~ "VISITOR COMMERCIAL" DESIGNATION  
~ MISSION BOULEVARD - 4 LANE MAJOR ROAD, BUS ROUTE 30.  
**SAN DIEGO MUNICIPAL CODE:**  
~ SECTIONS 142.0403 - 142.0407, 142.0409 & 142.0413



**DRAINAGE NOTES:**

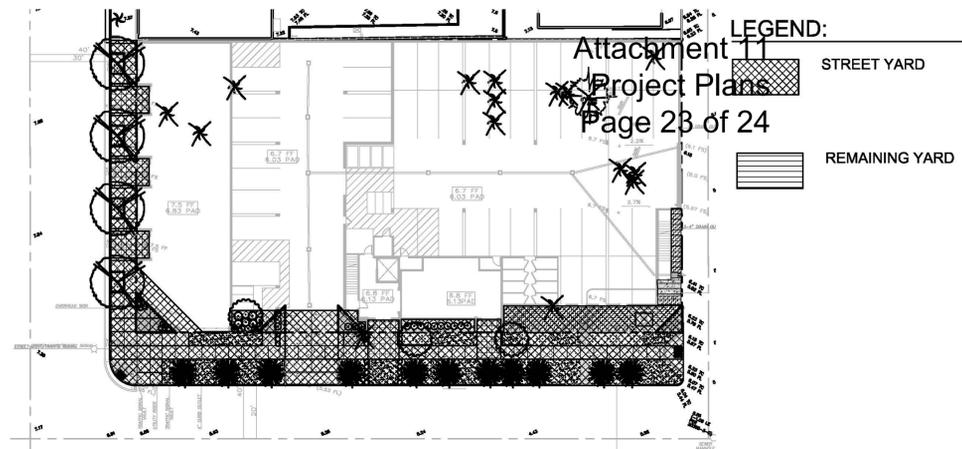
1. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.

2. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO BIORETENTION AREA. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORM WATER CONVEYANCE SYSTEM.

**MULCH NOTE: 142.0413 WATER CONSERVATION (b)**  
MULCH REQUIREMENTS. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITH OUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

**TREE ROOT BARRIERS:**  
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE CITY MANAGER MAY WAIVE THIS REQUIREMENT WHERE THE COMBINATION OF SOIL CONDITION, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE PUBLIC IMPROVEMENTS.

**IRRIGATION NOTE:**  
ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE UTILIZING HIGH-EFFICIENCY IRRIGATION TECHNOLOGY AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE CLASS 200 OR CLASS 315 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP.



**City of San Diego Development Services**  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
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**Landscape Calculations Worksheet**  
Industrial Development in RM and C Zones  
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculators determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

**STREET YARD**

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 7,207 sq. ft. x 25% = 1,802 sq. ft.	3,354 sq. ft.	1,552 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 7,207 sq. ft. x 0.05 = 360 points	470 points	110 points

**Auto Service Stations Only**

Planting Area Required [142.0405(c)(2)]	Planting Area Provided	Excess Area Provided
Total Area sq. ft. x 15% = sq. ft.	sq. ft.	sq. ft.

Plant Points Required [142.0405(c)(2)]	Plant Points Provided	Excess Points Provided
Total Area sq. ft. x 0.03 = points	points	points

Note: All required Street Yard planting areas located outside the Vehicular Use Area (VUA) except for auto service stations may consist of hardscape or unattached unit pavers, excluding the minimum area required for trees. [142.0405(C)(1)]

**REMAINING YARD**

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 190 sq. ft. x 30% = 57 sq. ft.	136 sq. ft.	79 sq. ft.

Plant Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 190 sq. ft. x 0.05 = 10 points	11 points	1 points

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DS-4 (03-09)

**MINIMUM STREET TREE/IMPROVEMENT SEPARATION:**

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNALS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET

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Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3:  
Revision 1:

Project Address:  
4253 Mission Blvd  
San Diego, California 92109

Project Name:  
4253 Mission Blvd

Original Date: 18 JULY 2014

Sheet 22 Of 23

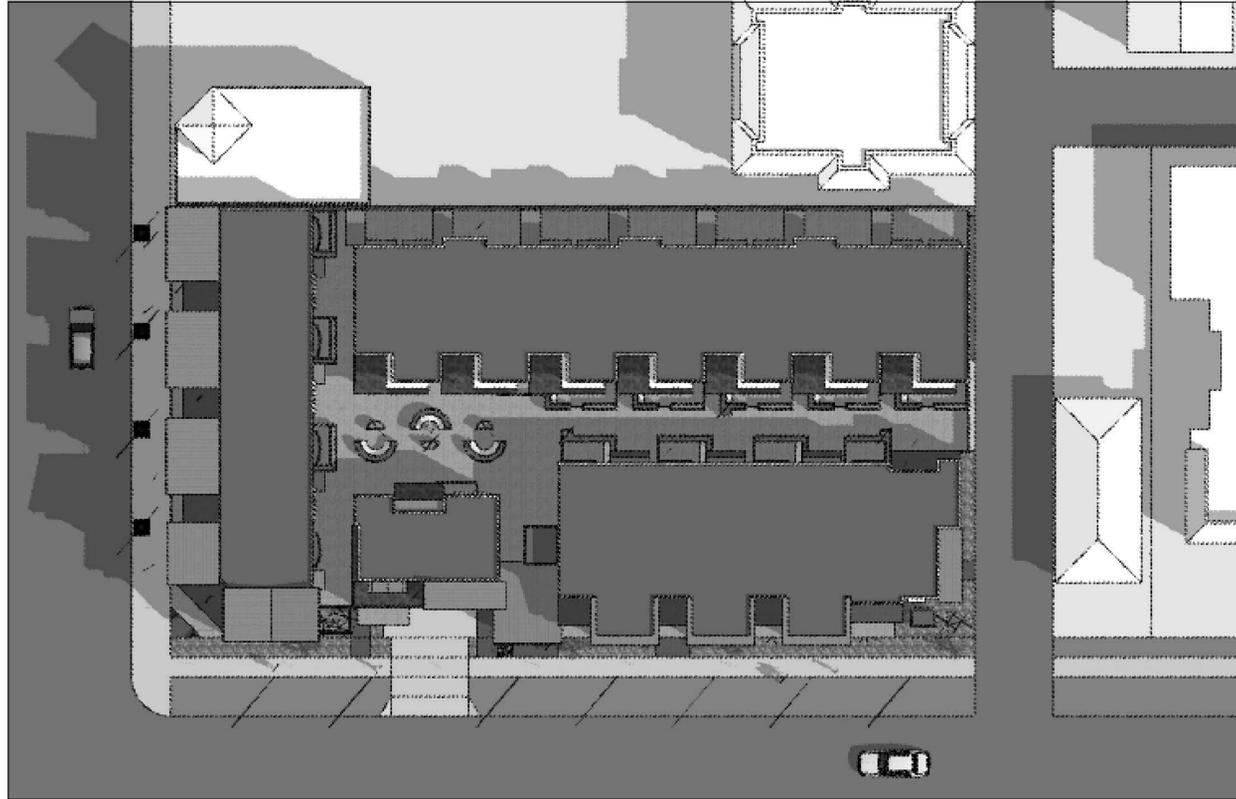
Sheet Title: LEVEL ONE LANDSCAPE DEVELOPMENT PLAN

**L-1.0**



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JUNE 21, 8:00 AM



JUNE 21, 5:00 PM



DECEMBER 21, 10:00 AM



DECEMBER 21, 3:00 PM

SHADOW PLAN

