

CLIMATE ACTION PLAN CONSISTENCY CHECKLIST ATTACHMENT A

This attachment provides performance standards for applicable Climate Action Plan (CAP) Consistency Checklist measures.

Table 1 Roof Design Values for Question 1: Cool/Green Roofs supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Land Use Type	Roof Slope	Minimum 3-Year Aged Solar Reflectance	Thermal Emittance	Solar Reflective Index
Low-Rise Residential	≤2:12	0.55	0.75	64
	>2:12	0.20	0.75	56
High-Rise Residential Buildings, Hotels and Motels	≤2:12	0.55	0.75	64
	>2:12	0.20	0.75	56
Non-Residential	≤2:12	0.55	0.75	64
	>2:12	0.20	0.75	56

Source: Adapted from the [California Green Building Standards Code \(CALGreen\)](#) Tier 1 residential and non-residential voluntary measures shown in Tables A4.106.5.1 and A5.106.1.1.2.2, respectively. Roof installation and verification shall occur in accordance with the CALGreen Code. CALGreen does not include recommended values for low-rise residential buildings with roof slopes of ≤2:12 for San Diego's climate zones (7 and 10). Therefore, the values for climate zone 9 that covers Imperial County are adopted here. Solar Reflectance Index (SRI) equal to or greater than the values specified in this table may be used as an alternative to compliance with the aged solar reflectance values and thermal emittance.

Table 2 Fixture Flow Rates for Non-Residential Buildings related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Fixture Type	Maximum Flow Rate
Showerheads	1.8 gpm @ 80 psi
Lavatory Faucets	0.35 gpm @60 psi
Kitchen Faucets	1.6 gpm @ 60 psi
Wash Fountains	1.6 (im fountain)/2.0 gpm @ 60 psi
Metering Faucets	0.18 gallons/cycle
Metering Faucets for Wash Fountains	0.18 (im spacers)/2.0 gpm @ 60 psi
Gravity Tank-type Water Closures	1.12 gallons/flush
Flushometer Tank Water Closures	1.12 gallons/flush
Flushometer Valve Water Closures	1.12 gallons/flush
Electromechanical Hydraulic Water Closures	1.12 gallons/flush
Urinals	0.5 gallons/flush

Source: Adapted from the [California Green Building Standards Code \(CALGreen\)](#) Tier 1 non-residential voluntary measures shown in Tables A6.303.2.3.1.1 and A6.106.1.1.2.2, respectively. See the [California Plumbing Code](#) for definitions of each fixture type. Where complying faucets are unavailable, aerators rated at 0.35 gpm or other means may be used to achieve reduction. Acronyms: gpm = gallons per minute; psi = pounds per square inch (unit of pressure); ft. = inch

Table 3 Standards for Appliances and Fixtures for Commercial Application related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Appliance/Fixture Type	Standard
Clothes Washers	Maximum Water Factor (WF) that will reduce the use of water by 10 percent below the California Energy Commission's WF standards for commercial clothes washers located in Title 20 of the California Code of Regulations.
Conveyor-type Dishwashers	0.70 maximum gallons per rack (2.6 L) (High-Temperature) OR 0.62 maximum gallons per rack (4.4 L) (Chemical)
Door-type Dishwashers	0.95 maximum gallons per rack (3.6 L) (High-Temperature) OR 1.16 maximum gallons per rack (2.6 L) (Chemical)
Undercounter-type Dishwashers	0.90 maximum gallons per rack (3.4 L) (High-Temperature) OR 0.96 maximum gallons per rack (3.7 L) (Chemical)
Combination Ovens	Consume no more than 10 gallons per hour (38 L/h) in the full operational mode. Function at equal to or less than 1.5 gallons per minute (0.01 L/s) at 60 psi (4.14 MPa) and be capable of clearing 60 plates in an average time of not more than 30 seconds per plate.
Commercial Pre-rinse Spray Valves (manufactured on or after January 1, 2006)	Be equipped with an integral automatic shutoff. Operate at static pressure of at least 30 psi (2.07 MPa) when designed for a flow rate of 1.3 gallons per minute (0.08 L/s) or less.

Source: Adapted from the [California Green Building Standards Code \(CALGreen\)](#) Tier 1 non-residential voluntary measures shown in Section A5.303.3. See the [California Plumbing Code](#) for definitions of each appliance/fixture type. Acronyms: L = liter; L/h = liters per hour; L/s = liters per second; psi = pounds per square inch (unit of pressure); MPa = Megapascal (unit of pressure)

Table 4 Size-based Trigger Levels for Electric Vehicle Charging Requirements for Non-Residential Buildings related to Question 10: Electric Vehicle Charging supporting Strategy 3: Cycling, Walking, Transit & Land Use of the Climate Action Plan

Land Use Type	Size-based Trigger Level
Hospital	500 or more beds OR Expansion of a 500+ bed hospital by 20%
College	3,000 or more students OR Expansion of a 3,000+ student college by 20%
Hotels/Motels	500 or more rooms OR 1,000 or more employees
Industrial, Manufacturing or Processing Plants or Industrial Parks	40 acres or more of land area OR 650,000 square feet or more of gross floor area
Office buildings or Office Parks	1,000 or more employees OR 250,000 square feet or more of gross floor area
Shopping centers or Trade Centers	1,000 or more employees OR 500,000 square feet or more of gross floor area
Sports, Entertainment or Recreation Facilities	Accommodate at least 4,000 persons per performance OR Contain 1,500 or more fixed seats
Transit Projects (including, but not limited to, transit stations and park and ride lots)	All

Source: Adapted from the Governor's Office of Planning and Research's [DPW's Model Building Code for Plug-In Electric Vehicle Charging](#)

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A																		
<p>7. Designated Parking Spaces</p> <p>If the project includes an employment use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?</p> <table border="1"> <thead> <tr> <th>Number of Required Parking Spaces</th> <th>Number of Designated Parking Spaces</th> </tr> </thead> <tbody> <tr> <td>0-9</td> <td>0</td> </tr> <tr> <td>10-25</td> <td>2</td> </tr> <tr> <td>26-50</td> <td>4</td> </tr> <tr> <td>51-75</td> <td>6</td> </tr> <tr> <td>76-100</td> <td>9</td> </tr> <tr> <td>101-150</td> <td>11</td> </tr> <tr> <td>151-200</td> <td>18</td> </tr> <tr> <td>201 and over</td> <td>At least 10% of total</td> </tr> </tbody> </table> <p>This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.</p> <p>Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces. The required designated parking spaces are to be provided within the overall minimum parking requirement, not in addition to it.</p> <p>Check "N/A" only if the project is a residential project, or if it does not include an employment use in a TPA.</p>	Number of Required Parking Spaces	Number of Designated Parking Spaces	0-9	0	10-25	2	26-50	4	51-75	6	76-100	9	101-150	11	151-200	18	201 and over	At least 10% of total	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Number of Required Parking Spaces	Number of Designated Parking Spaces																				
0-9	0																				
10-25	2																				
26-50	4																				
51-75	6																				
76-100	9																				
101-150	11																				
151-200	18																				
201 and over	At least 10% of total																				
<p>8. Transportation Demand Management Program</p> <p>If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes:</p> <p>At least one of the following components:</p> <ul style="list-style-type: none"> Parking cash out program Parking management plan that includes charging employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools Unbundled parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the life of the development <p>And at least three of the following benefits:</p> <ul style="list-style-type: none"> Commitment to maintaining an employer network in the SANDAG Commute program and promoting its RideMatcher service to tenants/employees On-site carsharing (vehicle) or bikesharing Flexible or alternative work hours Telework program Transit, carpool, and vanpool subsidies 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A
<ul style="list-style-type: none"> Pre-tax deduction for transit or vanpool fares and bicycle commute costs Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either onsite or within 1,320 feet (1/4 mile) of the structure/use? <p>Check "N/A" only if the project is a residential project, or if it would not accommodate over 50 tenant-occupants (employees).</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Step 3: Project CAP Conformance Evaluation (if applicable) No applicable.

The third step of the CAP consistency review only applies if Step 1 is answered in the affirmative under option 3. The purpose of this step is to determine whether a project that is located in a TPA but that includes a land use plan and/or zoning designation amendment that would result in an increase in GHG emissions when compared to the existing designations, is nevertheless consistent with the assumptions in the CAP because it would implement CAP Strategy 3 actions. The following questions must each be answered in the affirmative and fully explained.

- Would the proposed project implement the General Plan's City of Villages strategy in an identified Transit Priority Area (TPA) that will result in an increase in the capacity for transit-supportive residential and/or employment densities?**
 Considerations for this question:
 - Does the proposed land use and zoning designation associated with the project provide capacity for transit-supportive residential densities within the TPA?
 - Is the project site suitable to accommodate mixed-use village development, as defined in the General Plan, within the TPA?
 - Does the land use and zoning associated with the project increase the capacity for transit-supportive employment intensities within the TPA?
- Would the proposed project implement the General Plan's Mobility Element in Transit Priority Areas to increase the use of transit?**
 Considerations for this question:
 - Does the proposed project support/incorporate identified transit routes and stops/stations?
 - Does the project include transit priority measures?
- Would the proposed project implement pedestrian improvements in Transit Priority Areas to increase walking opportunities?**
 Considerations for this question:
 - Does the proposed project circulation system provide multiple and direct pedestrian connections and accessibility to local activity centers (such as transit stations, schools, shopping centers, and libraries)?
 - Does the proposed project urban design include features for walkability to promote a transit supportive environment?
- Would the proposed project implement the City of San Diego's Bicycle Master Plan to increase bicycling opportunities?**
 Considerations for this question:
 - Does the proposed project circulation system include bicycle improvements consistent with the Bicycle Master Plan?
 - Does the overall project circulation system provide a balanced, multimodal, "complete streets" approach to accommodate mobility needs of all users?
- Would the proposed project incorporate implementation mechanisms that support Transit Oriented Development?**
 Considerations for this question:
 - Does the proposed project include new or expanded urban public spaces such as plazas, pocket parks, or urban greens in the TPA?
 - Does the land use and zoning associated with the proposed project increase the potential for jobs within the TPA?
 - Do the zoning/implementing regulations associated with the proposed project support the efficient use of parking through mechanisms such as: shared parking, parking districts, unbundled parking, reduced parking, paid or time-limited parking, etc.?
- Would the proposed project implement the Urban Forest Management Plan to increase urban tree canopy coverage?**
 Considerations for this question:
 - Does the proposed project provide at least three different species for the primary, secondary and accent trees in order to accommodate varying parkway widths?
 - Does the proposed project include policies or strategies for preserving existing trees?
 - Does the proposed project incorporate tree planting that will contribute to the City's 20% urban canopy tree coverage goal?

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A
<p>Strategy 2: Clean & Renewable Energy</p> <p>3. Energy Performance Standard / Renewable Energy</p> <p>Is the project designed to have an energy budget that meets the following performance standards when compared to the Title 24, Part 6 Energy Budget for the Proposed Design Building as calculated by Compliance Software certified by the California Energy Commission (percent improvement over current code):</p> <ul style="list-style-type: none"> Low-rise residential – 15% improvement? Nonresidential with indoor lighting OR mechanical systems, but not both – 5% improvement? Nonresidential with both indoor lighting AND mechanical systems – 10% improvement? <p>The demand reduction may be provided through on-site renewable energy generation, such as solar, or by designing the project to have an energy budget that meets the above-mentioned performance standards, when compared to the Title 24, Part 6 Energy Budget for the Proposed Design Building (percent improvement over current code).</p> <p>Note: For Energy Budget calculations, high-rise residential and hotel/motel buildings are considered non-residential buildings.</p> <p>Check "N/A" only if the project does not contain any residential or non-residential buildings.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>Strategy 3: Cycling, Walking, Transit & Land Use</p> <p>4. Electric Vehicle Charging</p> <ul style="list-style-type: none"> Single-family projects: Would the required parking serving each new single-family residence and each unit of a duplex be constructed with a listed cabinet, box or enclosure connected to a raceway linking the required parking space to the electrical service, to allow for the future installation of electric vehicle supply equipment to provide an electric vehicle charging station for use by the resident? Multiple-family projects of 10 dwelling units or less: Would 3% of the total parking spaces required, or a minimum of one space, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents? Multiple-family projects of more than 10 dwelling units: Would 3% of the total parking spaces required, or a minimum of one space, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official? Of the total listed cabinets, boxes or enclosures provided, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents? 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

¹ CALGreen defines mechanical systems as equipment, appliances, fixtures, fittings and/or appurtenances, including ventilating, heating, cooling, air-conditioning and refrigeration systems, incinerators and other energy-related systems.

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A																		
<ul style="list-style-type: none"> Non-residential projects: If the project includes new commercial, industrial, or other uses with the building or land area, capacity, or numbers of employees listed in Attachment A, would 3% of the total parking spaces required, or a minimum of one space, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official? Of the total listed cabinets, boxes or enclosures provided, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use? <p>Check "N/A" only if the project is not include new commercial, industrial, or other uses with the building or land area, capacity, or numbers of employees listed in Attachment A.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
<p>Strategy 3: Cycling, Walking, Transit & Land Use (Complete this section if project includes non-residential or mixed uses)</p> <p>5. Bicycle Parking Spaces</p> <p>Would the project provide more short- and long-term bicycle parking spaces than 25 required in the City's Municipal Code (Chapter 14, Article 2, Division 3)?</p> <p>Check "N/A" only if the project is a residential project.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
<p>6. Shower facilities</p> <p>If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include changing/shower facilities in accordance with the voluntary measures under the California Green Building Standards Code as shown in the table below?</p> <table border="1"> <thead> <tr> <th>Number of Tenant Occupants (Employees)</th> <th>Shower/Changing Facilities Required</th> <th>Two-Tier (12' X 15' X 72") Personal Effects Lockers Required</th> </tr> </thead> <tbody> <tr> <td>0-10</td> <td>0</td> <td>0</td> </tr> <tr> <td>11-50</td> <td>1 shower stall</td> <td>2</td> </tr> <tr> <td>51-100</td> <td>1 shower stall</td> <td>3</td> </tr> <tr> <td>101-200</td> <td>1 shower stall</td> <td>4</td> </tr> <tr> <td>Over 200</td> <td>1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants</td> <td>1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants</td> </tr> </tbody> </table> <p>Check "N/A" only if the project is a residential project, or if it does not include non-residential development that would accommodate over 10 tenant occupants (employees).</p>	Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (12' X 15' X 72") Personal Effects Lockers Required	0-10	0	0	11-50	1 shower stall	2	51-100	1 shower stall	3	101-200	1 shower stall	4	Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (12' X 15' X 72") Personal Effects Lockers Required																			
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101-200	1 shower stall	4																			
Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants																			

⁴ Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the project's bicycle parking requirements.

CAP CONSISTENCY CHECKLIST QUESTIONS

Step 1: Land Use Consistency

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

Step 1: Land Use Consistency

Checklist Item (Check the appropriate box and provide explanation and supporting documentation for your answer)	Yes	No
<p>1. Is the proposed project consistent with the existing General Plan and Community Plan land use and zoning designations? ¹ Q8</p> <p>2. If the proposed project is not consistent with the existing land use plan and zoning designations, does the project include a land use plan and/or zoning designation amendment that would result in an equivalent or less GHG-intensive project when compared to the existing designations? ² Q8</p> <p>3. If the proposed project is not consistent with the existing land use plan and zoning designations, and includes a land use plan and/or zoning designation amendment that would result in an increase in GHG emissions when compared to the existing designations, would the project be located in a Transit Priority Area (TPA) and implement CAP Strategy 3 actions, as determined in Step 3 to the satisfaction of the Development Services Department?</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

If "Yes" proceed to Step 2 of the Checklist. For questions 2 and 3 above, provide estimated project emissions under both existing and proposed designation(s) for comparison. For question 3 above, complete Step 3.

If "No" in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts unless the decision maker finds that a measure is infeasible in accordance with CEQA Guidelines Section 15091. Proceed and complete Step 2 of the Checklist.

¹ This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.

Step 2: CAP Strategies Consistency

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures.⁴ All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the [Greenbook](#) for public projects.

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A
<p>Strategy 1: Energy & Water Efficient Buildings</p> <p>1. Cool/Green Roofs</p> <ul style="list-style-type: none"> Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)? ¹ Q8 Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code? ² Q8 Would the project include a combination of the above two options? <p>Check "N/A" only if the project does not include a roof component.</p> <p>2. Plumbing fixtures and fittings</p> <p>With respect to plumbing fixtures or fittings provided as part of the project, would those low-flow fixtures/appliances be consistent with each of the following:</p> <p>Residential buildings:</p> <ul style="list-style-type: none"> Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi; Standard dishwashers: 4.25 gallons per cycle; Compact dishwashers: 3.5 gallons per cycle; and Clothes washers: water factor of 6 gallons per cubic feet of drum capacity? <p>Nonresidential buildings:</p> <ul style="list-style-type: none"> Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in Table AS-303.2.3.1 (voluntary measures) of the California Green Building Standards Code (See Attachment A); and Appliances and fixtures for commercial applications that meet the provisions of Section AS-303.3 (voluntary measures) of the California Green Building Standards Code (See Attachment A)? <p>Check "N/A" only if the project does not include any plumbing fixtures or fittings.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

⁴ Actions that are not subject to Step 2 would include, for example: 1) discretionary map actions that do not propose specific development; 2) permits allowing wireless communication facilities; 3) special events permits; 4) use permits that do not result in the expansion or enlargement of a building; and 5) non-building infrastructure projects such as roads and pipelines. Because such actions would not result in new occupancy buildings from which GHG-emissions reductions could be achieved, the items contained in Step 2 would not be applicable.

DesignARC LA
2558 OVERLAND AVE
LOS ANGELES CA 90064

310 204 8950

Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108

Project Name:
ALEXAN FASHION VALLEY

Legal Description:
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972

Sheet Title:
PROJECT INFORMATION

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____ 29 AUGUST 2016
Revision 3: _____ 8 JULY 2016
Revision 2: _____
Revision 1: _____ 10 MAY 2016

Original Date: 12 FEBRUARY 2016

Sheet - _ of _ 35 sheets

PCD/RPO# _____

CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION

- The Checklist is required only for projects subject to CEQA review.²
- If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in [Chapter 11: Land Development Procedures](#) of the City's Municipal Code.
- The requirements in the Checklist will be included in the project's conditions of approval.
- The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application Information	
Contact Information	
Project No./Name:	474586 / Alexan Fashion Valley
Property Address:	123 Camino de la Reina
Applicant Name/Co.:	Alec Schiffer / Maple Multi-Family Land CA, L.P.
Contact Phone:	858.210.9737
Contact Email:	aschiffer@tcr.com
Was a consultant retained to complete this checklist?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, complete the following
Consultant Name:	Karen L. Ruggels
Contact Phone:	619.578.9505
Company Name:	KLR PLANNING
Contact Email:	karen@klrplanning.com
Project Information	
1. What is the size of the project (acres)?	4.92 acres
2. Identify all applicable proposed land uses:	
<input type="checkbox"/> Residential (indicate # of single-family units):	236 Apartment Units + 58 Residential Work Units for a total of 294 rental units
<input checked="" type="checkbox"/> Residential (indicate # of multi-family units):	11,755 square feet office, retail, and restaurant space
<input type="checkbox"/> Commercial (total square footage):	
<input type="checkbox"/> Industrial (total square footage):	
<input type="checkbox"/> Other (describe):	
3. Is the project located in a Transit Priority Area?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
4. Provide a brief description of the project proposed:	See Attachment A.

² Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

Alexan Fashion Valley is located in San Diego's Mission Valley, an important center of commerce, entertainment, and wildlife at the heart of the city. It's a major urban CONFLUENCE, weaving together the city's people and natural systems. The landscape of Alexan Fashion Valley seeks to build on this unique and rich environmental feature.

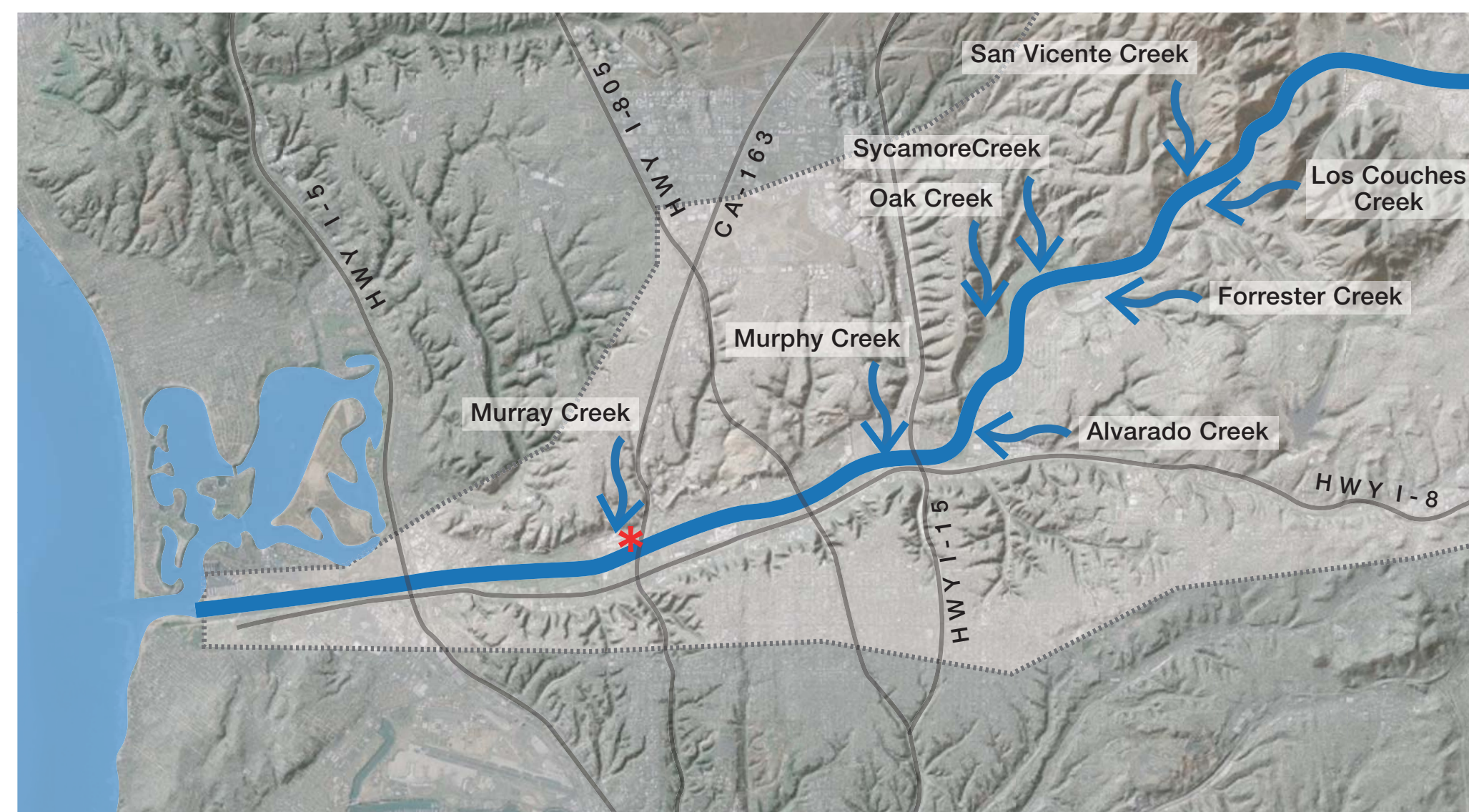
"Wonderful how completely everything in wild nature fits into us, as if truly part and parent of us. The sun shines not on us but in us. The rivers flow not past, but through us, thrilling, tingling, vibrating every fiber and cell of the substance of our bodies, making them glide and sing."

— John Muir

DesignARC LA 2558 OVERLAND AVE LOS ANGELES CA 90064	Revision 14: _____ Revision 13: _____ Revision 12: _____ Revision 11: _____ Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: _____
310 204 8950	Original Date: 12 FEBRUARY 2016
Project Address: 123 CAMINO DE LA REINA SAN DIEGO CA 92108	Sheet <u>24</u> of <u>37</u> sheets
Project Name: ALEXAN FASHION VALLEY	PCD/RPO# _____
Legal Description: LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972	Sheet Title: ANALYSIS AND CONCEPT NARRATIVE

CONFLUENCE OF WATER

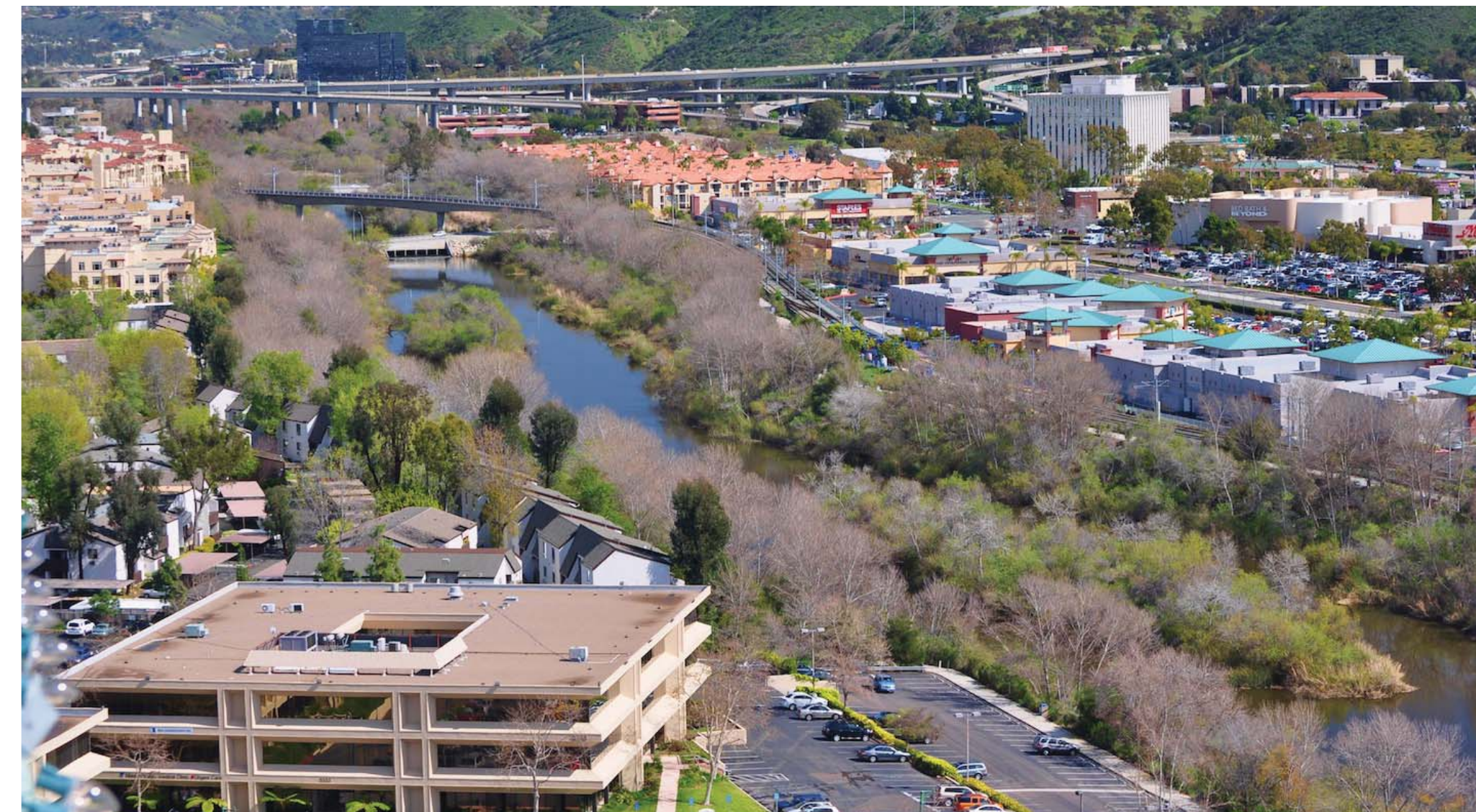
The San Diego River stretches 52 miles carving through canyons and valleys, emptying out into the Pacific Ocean. Over the millennia the river has been a source of fresh water for people and wildlife. Several reservoirs are located within the river's watershed and its numerous creeks and tributaries have contributed to the valley's varied topography. Dotted the river as it makes its way from east to west are a variety of parks and open spaces that provide recreational opportunities and connections to the river.



- Ocean
- River
- Highway
- Watershed Boundary
- Project Site

CONFLUENCE OF CULTURE

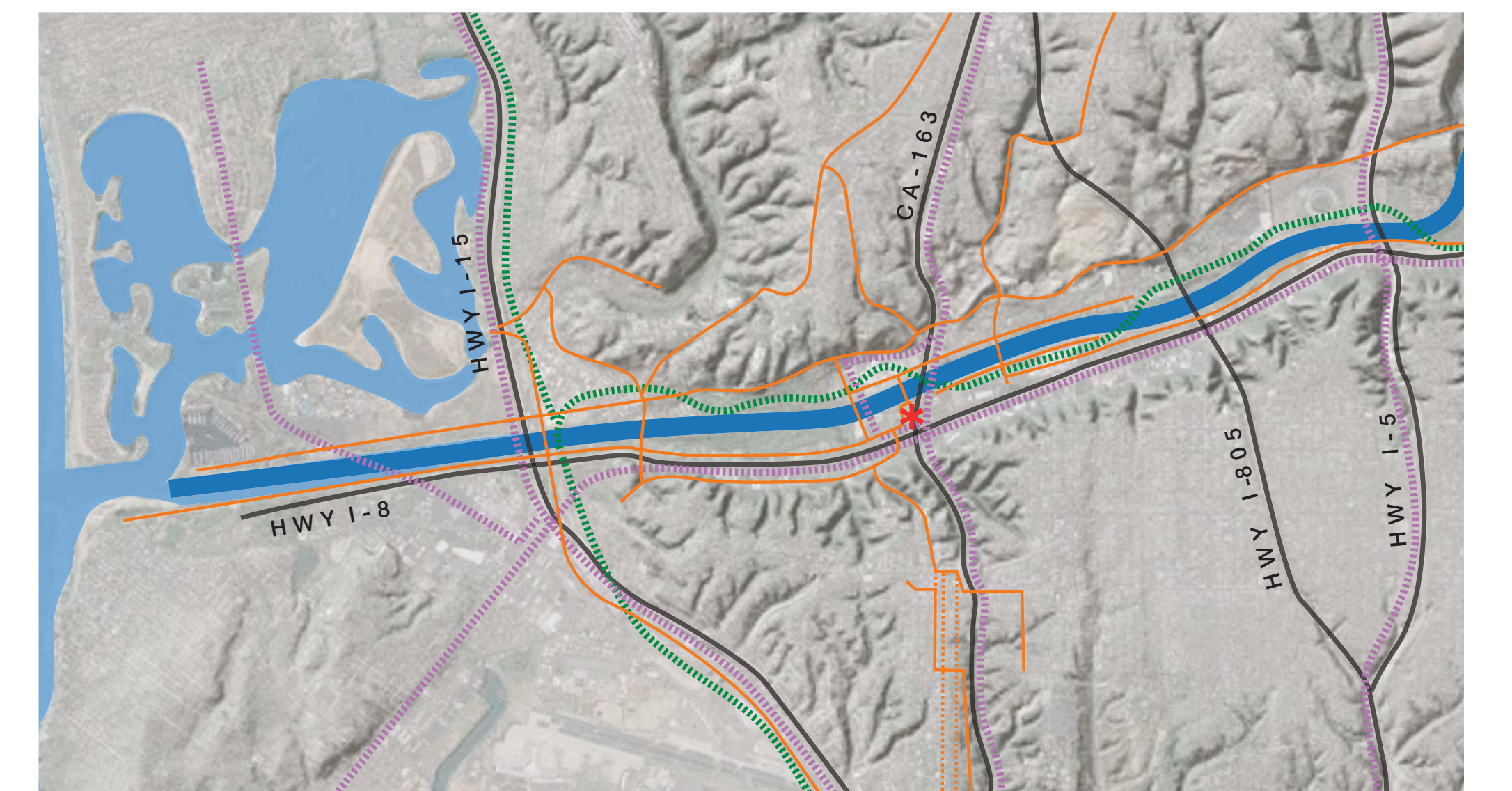
San Diego's cultural development, both historic and modern, has been significantly influenced by the river. The river has been a source of fresh water and contributed to the earliest settlement of Native Americans and later on colonized by the Spaniards in the late 1700's. Mexican establishments in the mid 1800's were found along the River's Lower Valley. Cattle ranchers and farmers eventually became the primary user of the land in until the 1960's when modern developments began to take shape



- ① Old Town San Diego State Historic Park
- ② Presidio Park
- ③ Historic Ferrari Dairy Farmland
- ④ Mission Basilica San Diego de Alcala
- ⑤ Qualcomm Stadium
- ⑥ Riverwalk Gold Club
- ⑦ University of San Diego
- ⑧ Fashion Valley Center
- ⑨ International SD Airport
- ⑩ Valley View Casino
- ⑪ Sea World
- Historic Settlement
- Modern Development

CONFLUENCE OF TRANSPORTATION

Fashion Valley finds itself at the epicenter of the transportation modes giving residences and office users a number of choices for commuting and travel around the city. A series of bike paths connects to surrounding residential communities and downtown neighborhoods. Several of the main bus lines converge at the project site giving users the ability to connect to several points of interest throughout the Mission Valley. The light rail transit hub is within a 5 minute walking distance. There is also easy access to Interstate 8 and Highway.



- Bike Path
- Bike Path - Proposed
- Bus Route
- Light Rail System
- Highway

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Project Address:
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 SAN DIEGO CA 92108
Project Name:
ALEXAN FASHION VALLEY
Legal Description:
 LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972
Sheet Title:
CONCEPT DIAGRAM

Revision 14: _____
 Revision 13: _____
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 Revision 2: 07/08/2016
 Revision 1: _____

Original Date: 12 FEBRUARY 2016
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LEGEND

THE MEADOW
 - Outdoor Dining Area
 - BBQ Grill
 - Firepit
 - Lounge Seating
 - Lawn Panel

THE POOL
 - Raised Deck
 - Pool
 - Spa
 - BBQ Grill

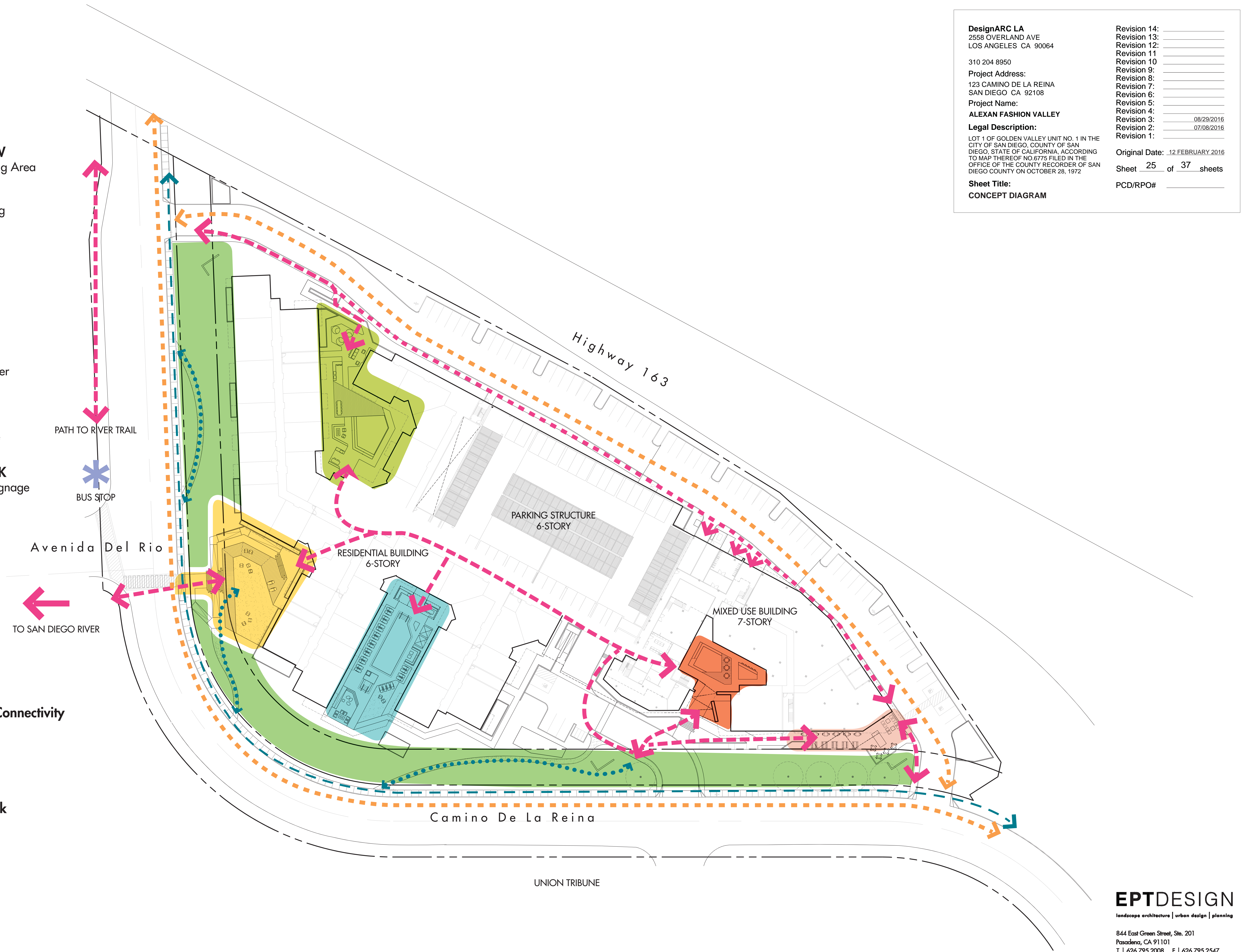
THE OASIS
 - Plaza
 - Seating
 - Bar Top Counter
 - Wood Deck

THE NEST
 - Dining Patio
 - Specimen Tree
 - Wall Fountain

NATURE WALK
 - Interpretive Signage
 - D.G. Path
 - Native Plants

THE PERCH
 - Open Lawn
 - Play Elements
 - Picnic Area

Pedestrian Connectivity
 Bike Path
 Sidewalk
 Nature Walk



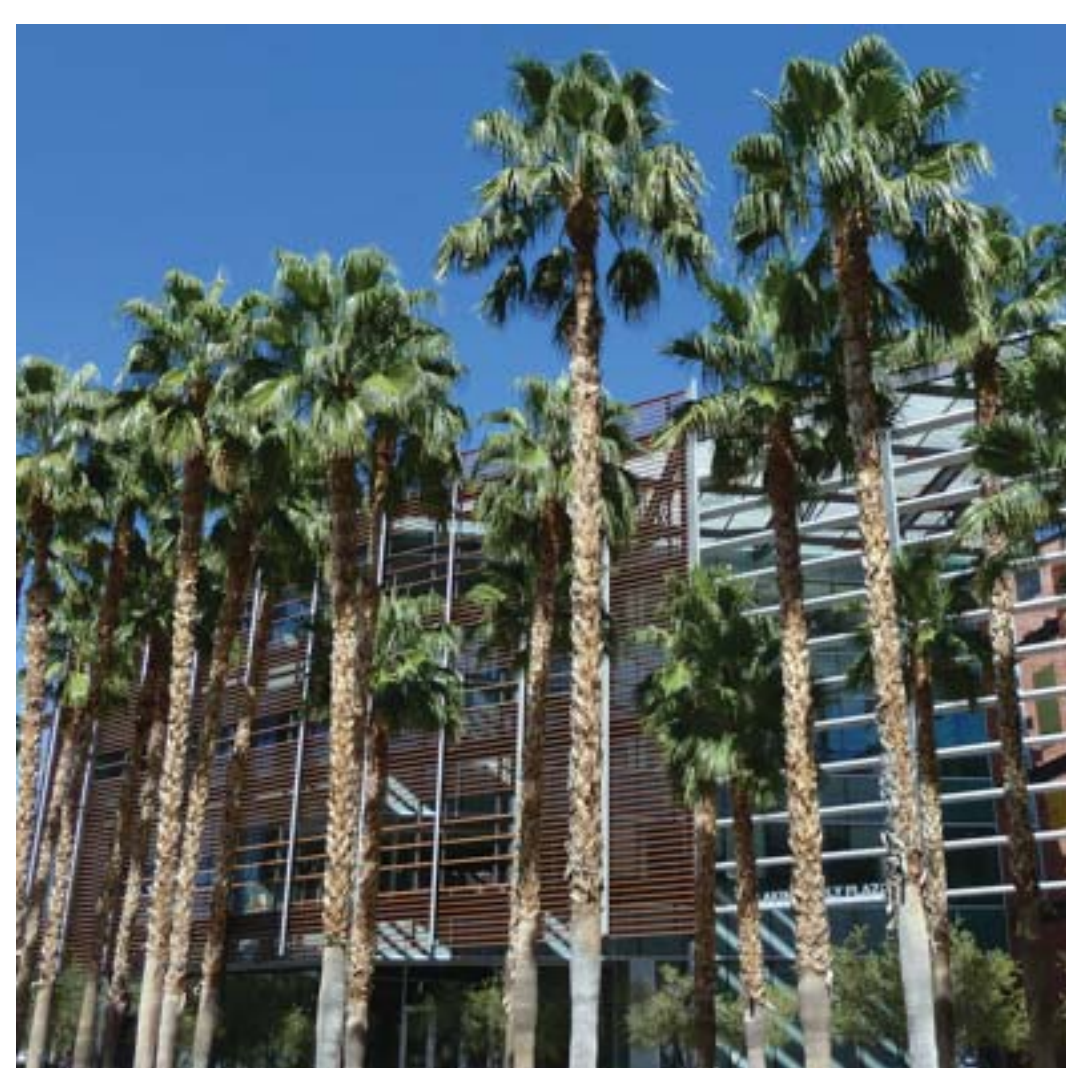
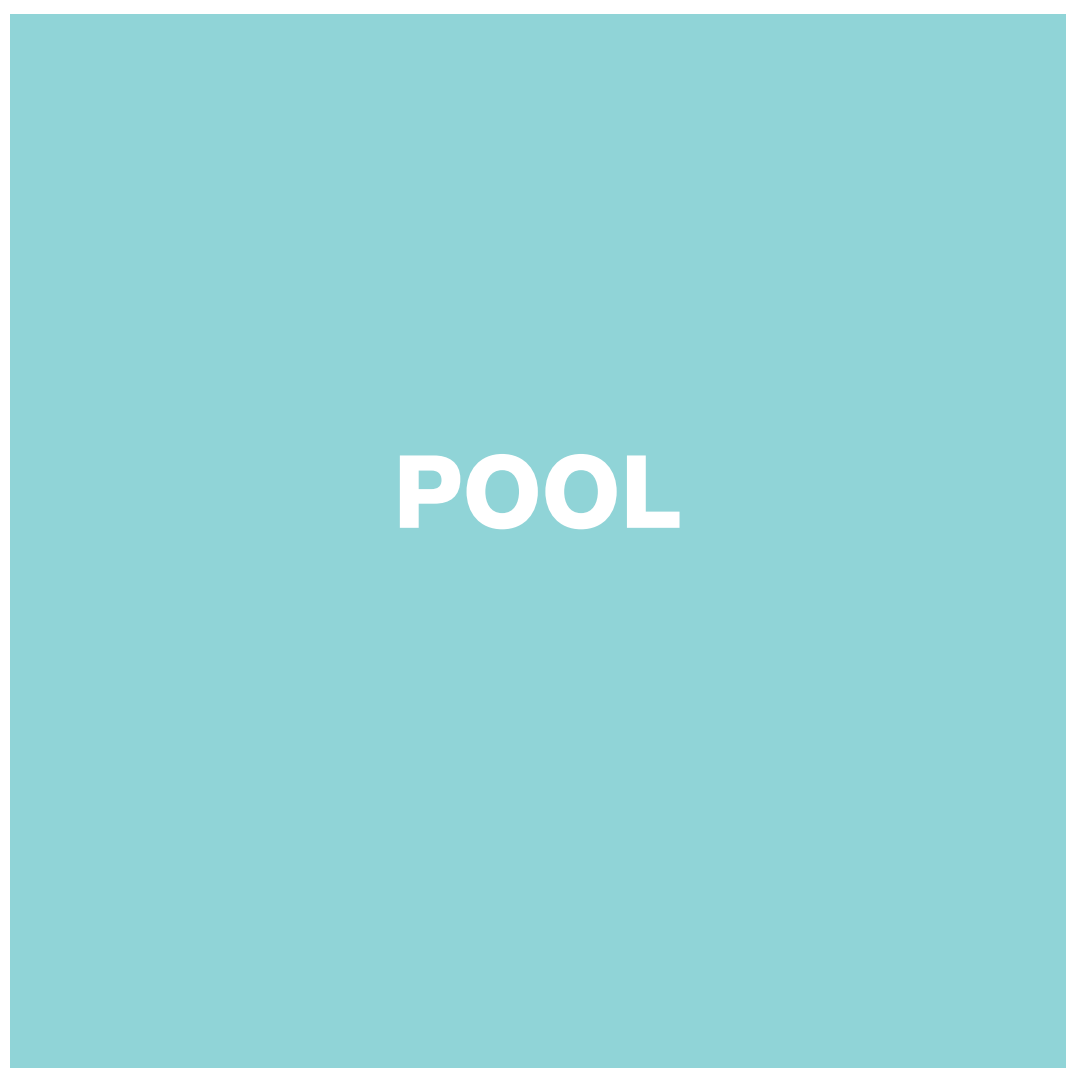
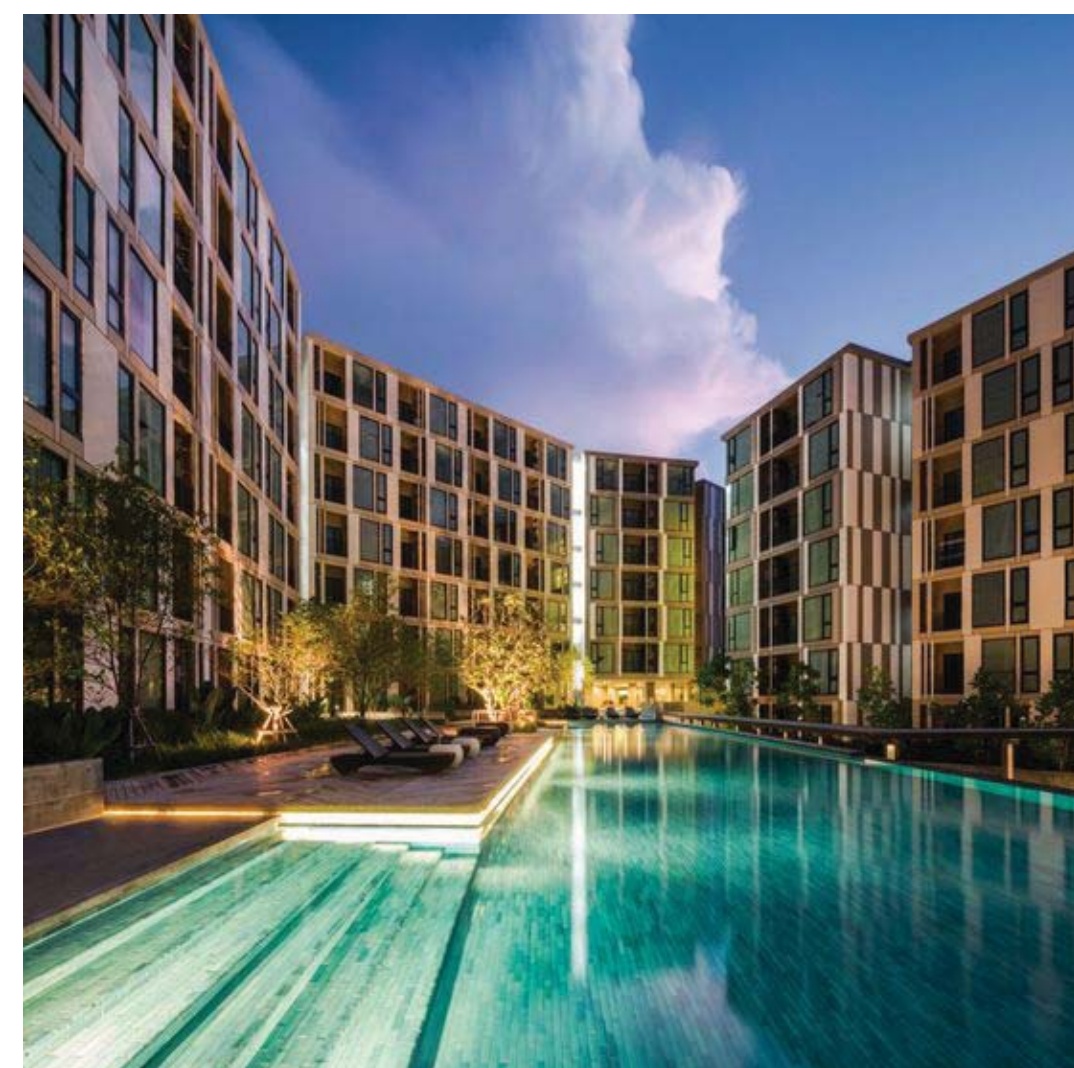
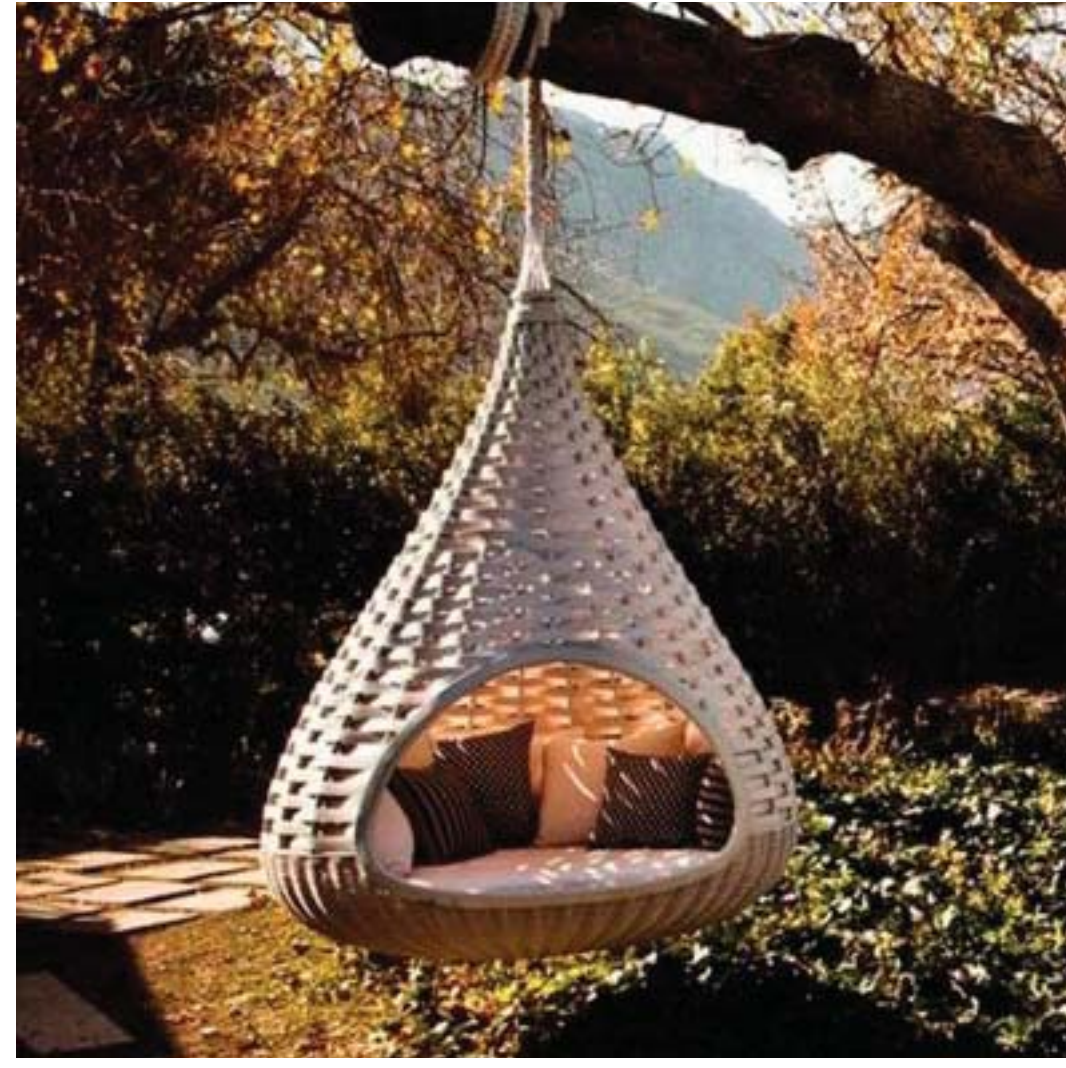
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L102
CONCEPT DIAGRAM
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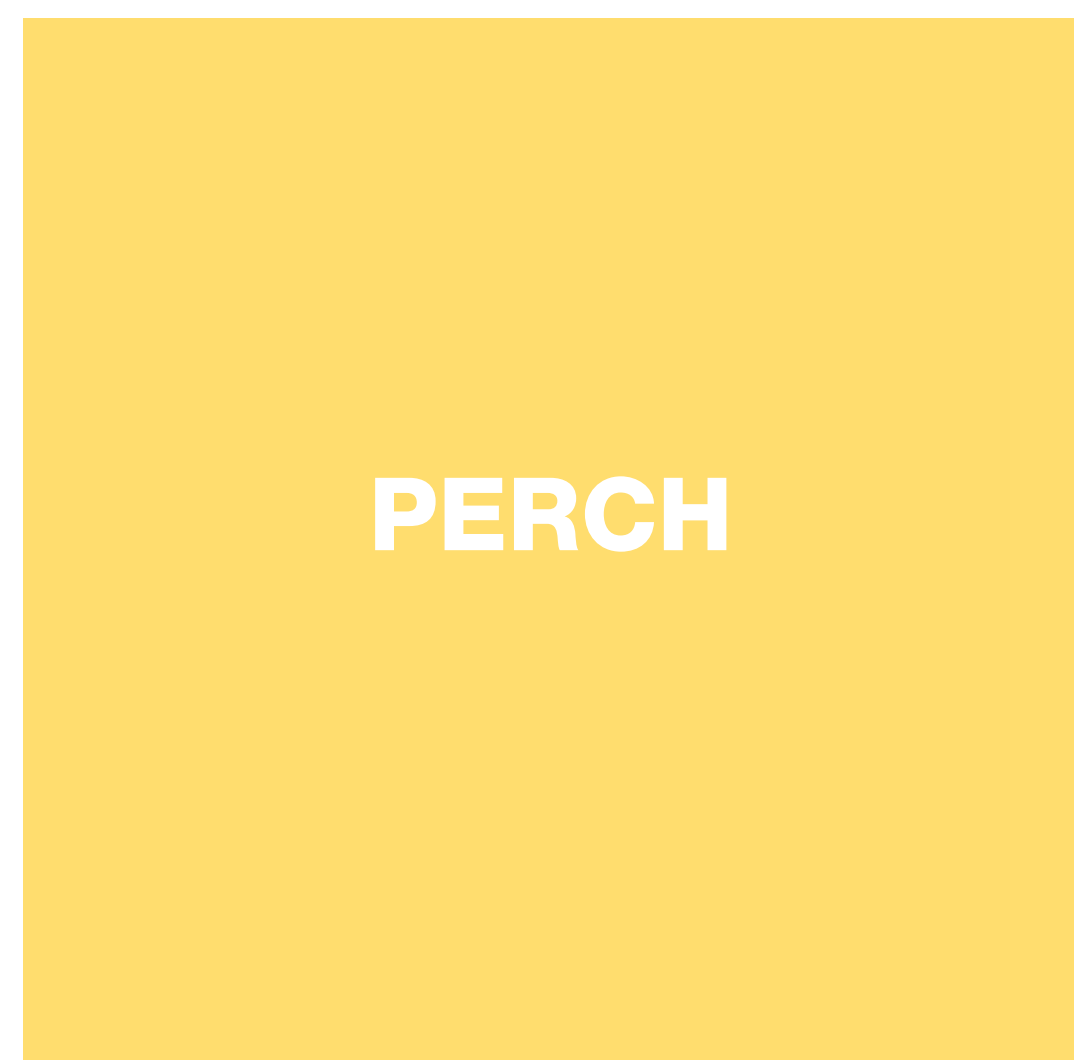
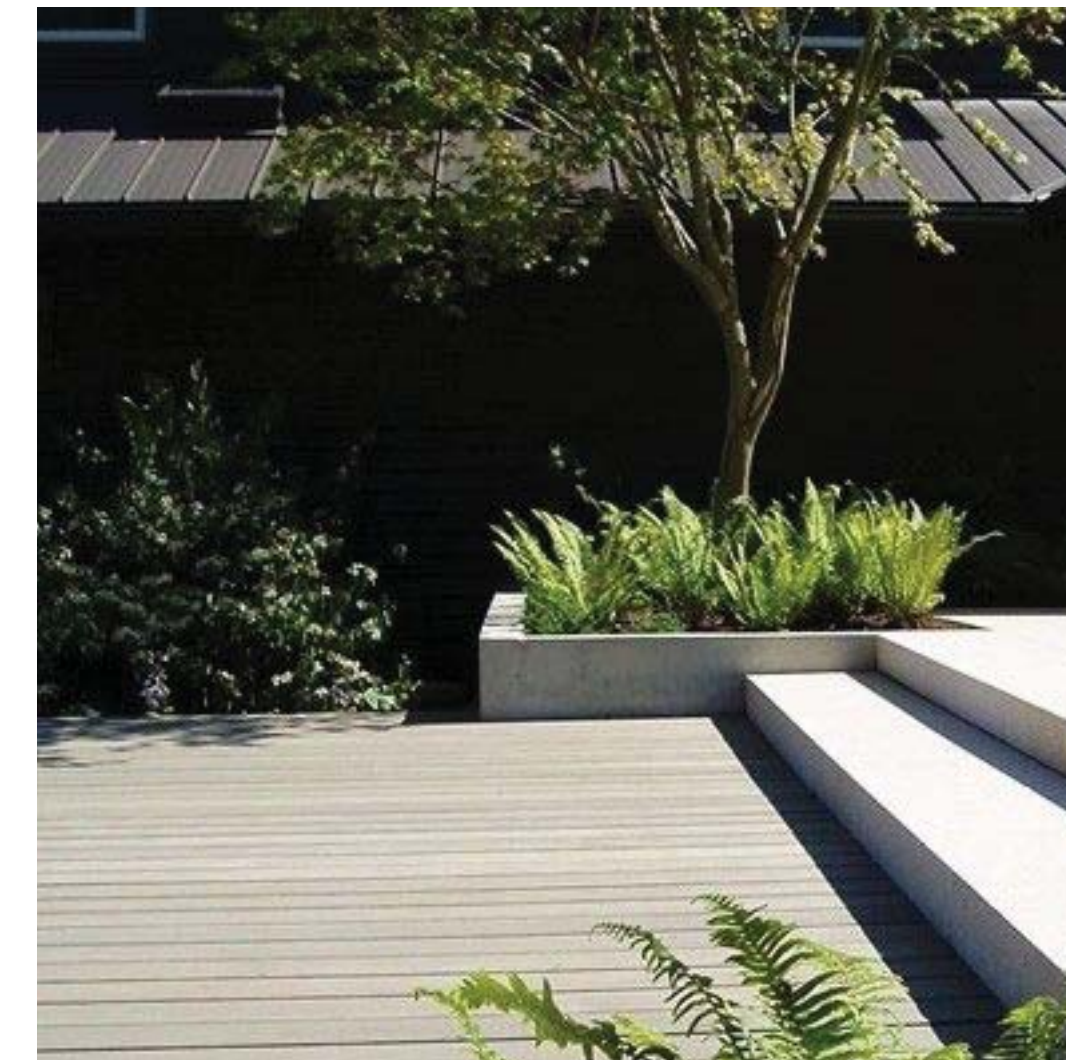
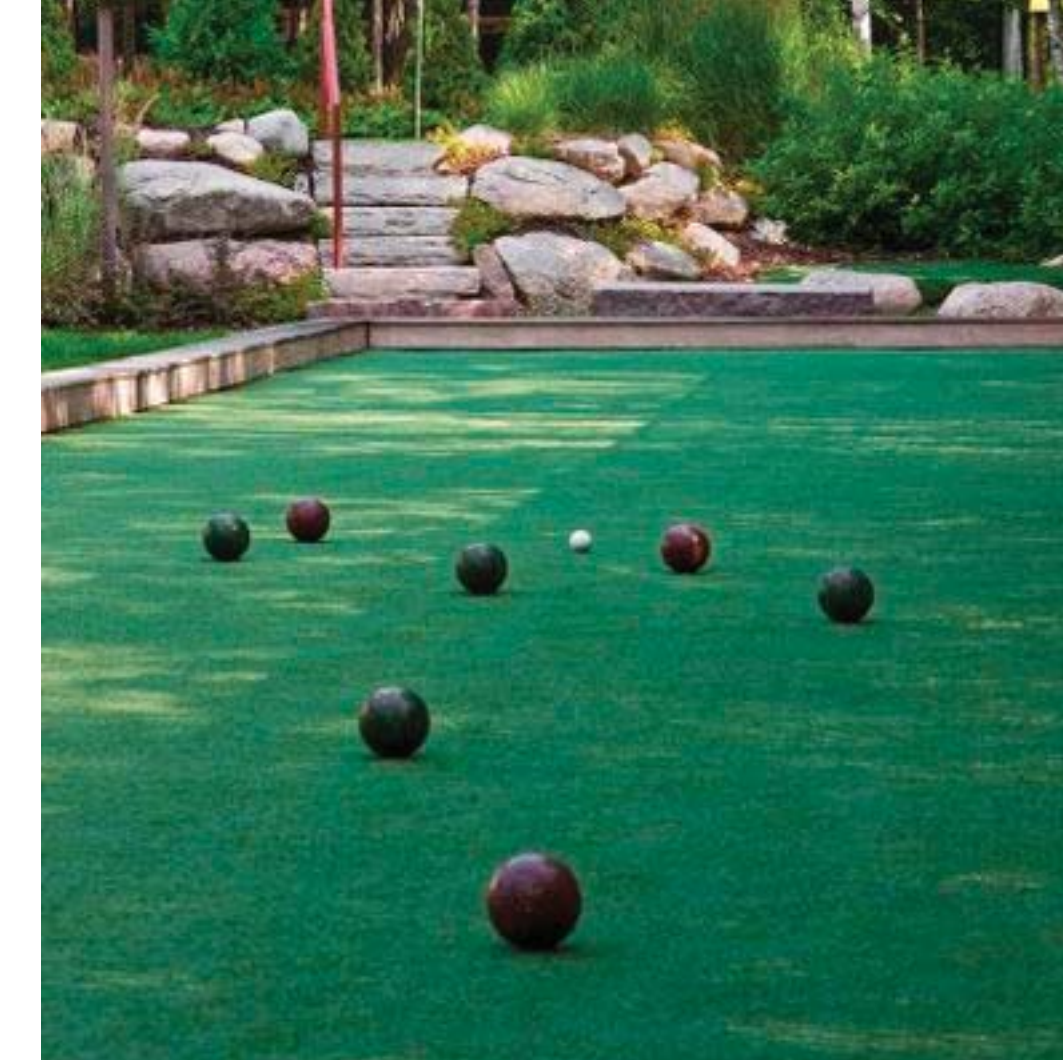
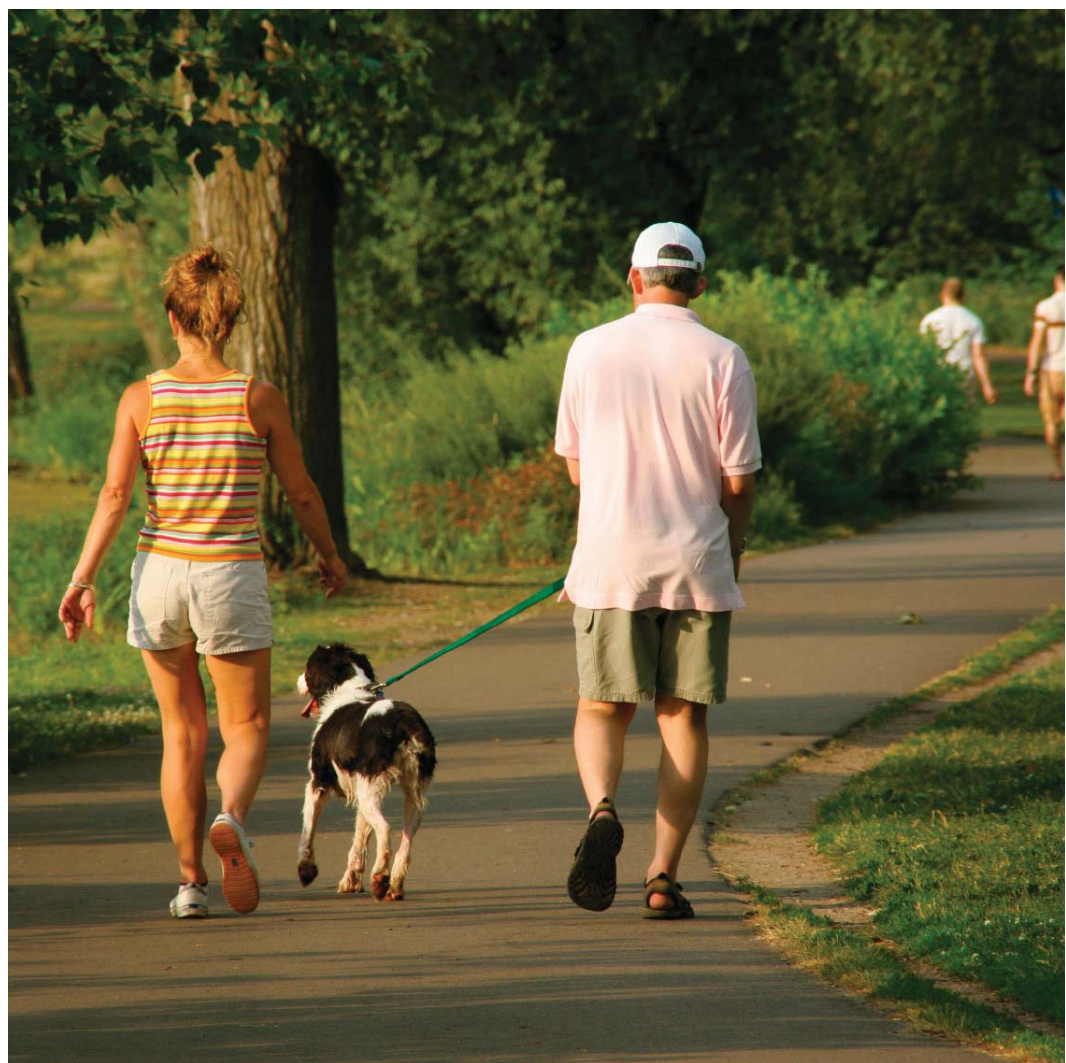
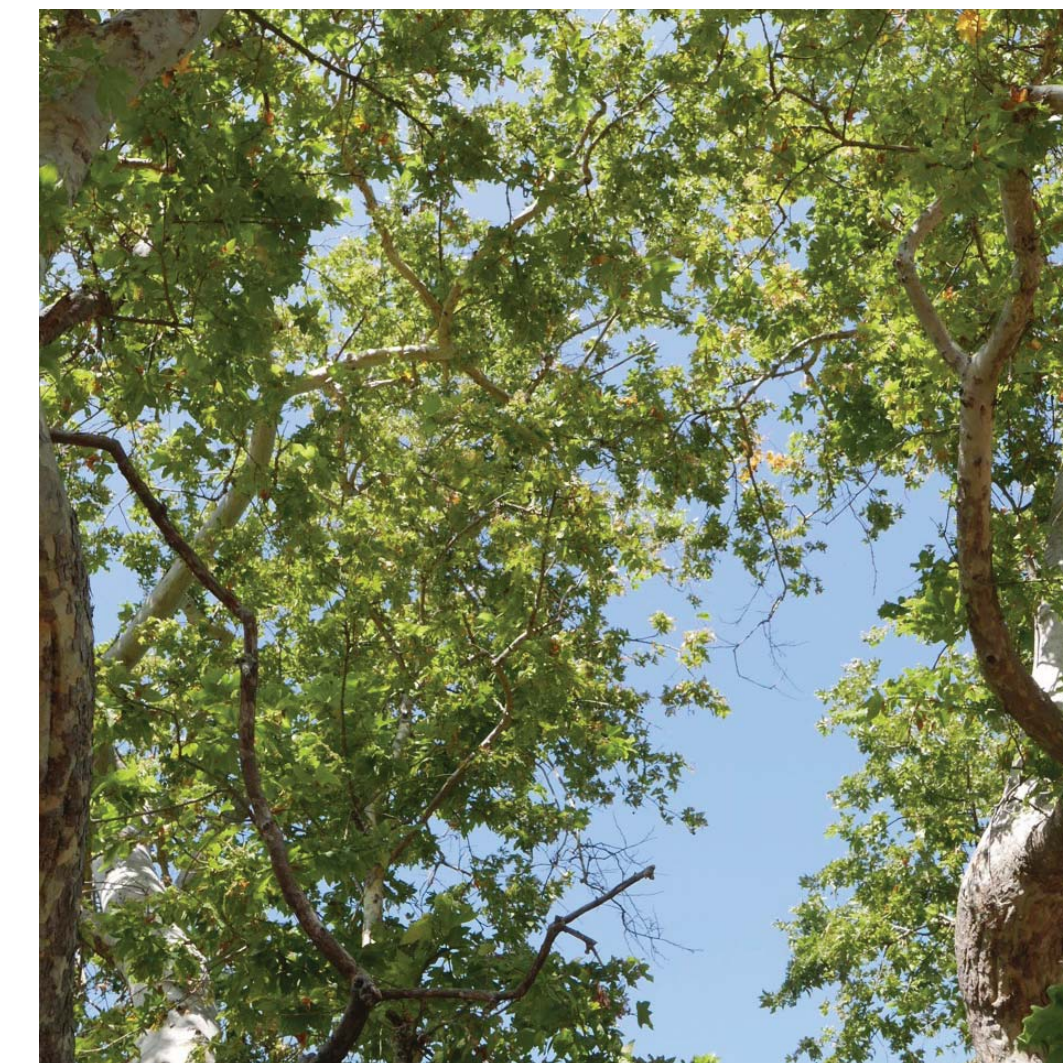
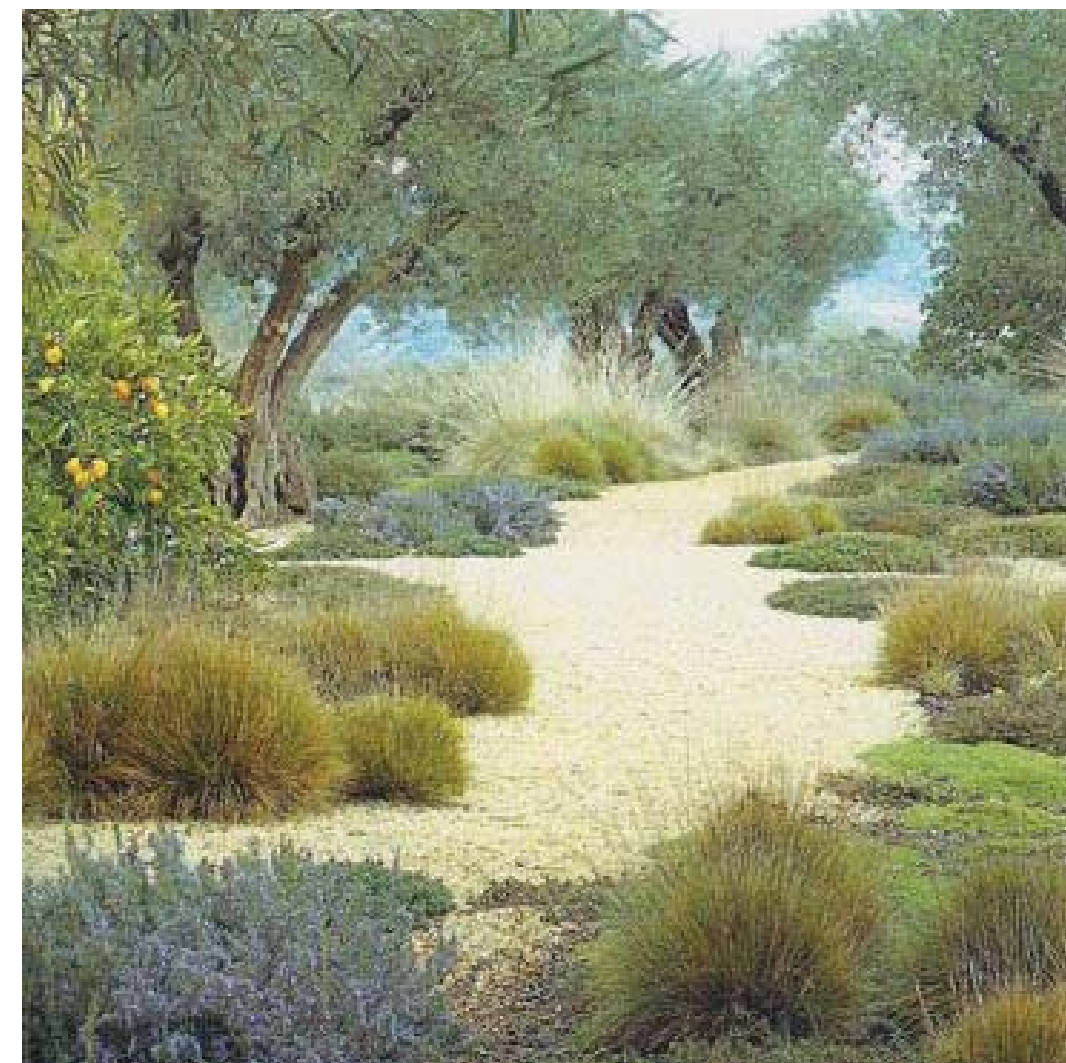
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 Sheet 28 of 37 sheets
 PCD/RPO# _____

LEGEND

- ① The Meadow
- ② The Pool
- ③ The Oasis
- ④ The Nest
- ⑤ Nature Walk
- ⑥ The Perch
- ⑦ Biofiltration Planter

TREE LEGEND


-  Existing Torrey Pine
-  Coast Live Oak
-  California Sycamore
-  White Alder
-  Torrey Pine
-  River Birch
-  Western Redbud
-  Date Palm
-  Mediterranean Fan Palm Cluster
-  Windmill Palm
-  Guadalupe Palm
-  Dragon Tree



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L105
OVERALL SITE PLAN

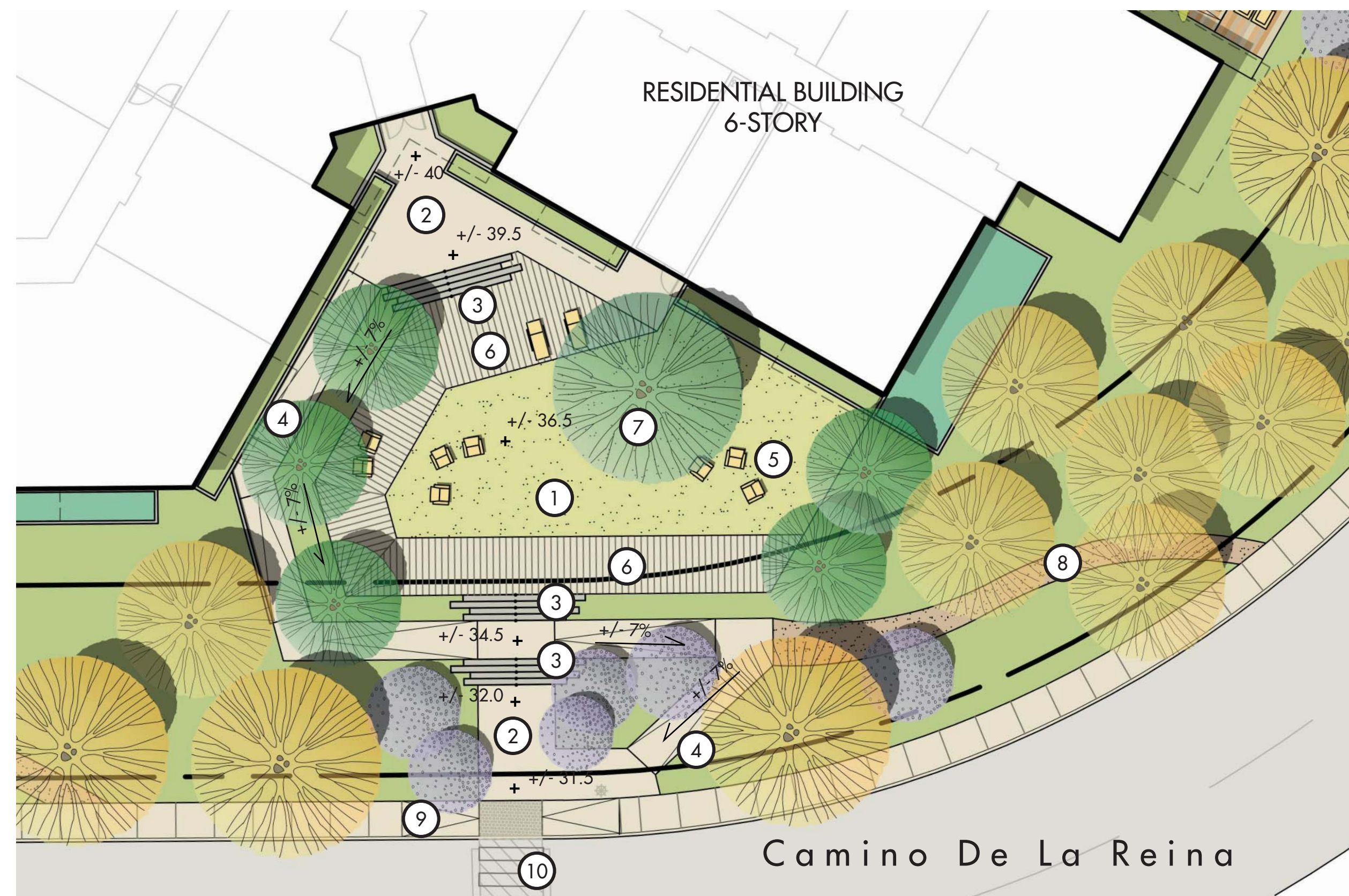







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- ① Lawn Panel
- ② Concrete Paving
- ③ Entry Steps
- ④ Accessible Ramp
- ⑤ Moveable Furniture
- ⑥ Enhanced Concrete Paving
- ⑦ Specimen Tree
- ⑧ D.G. Nature Trail
- ⑨ Public Sidewalk
- ⑩ Crosswalk

C. THE PERCH

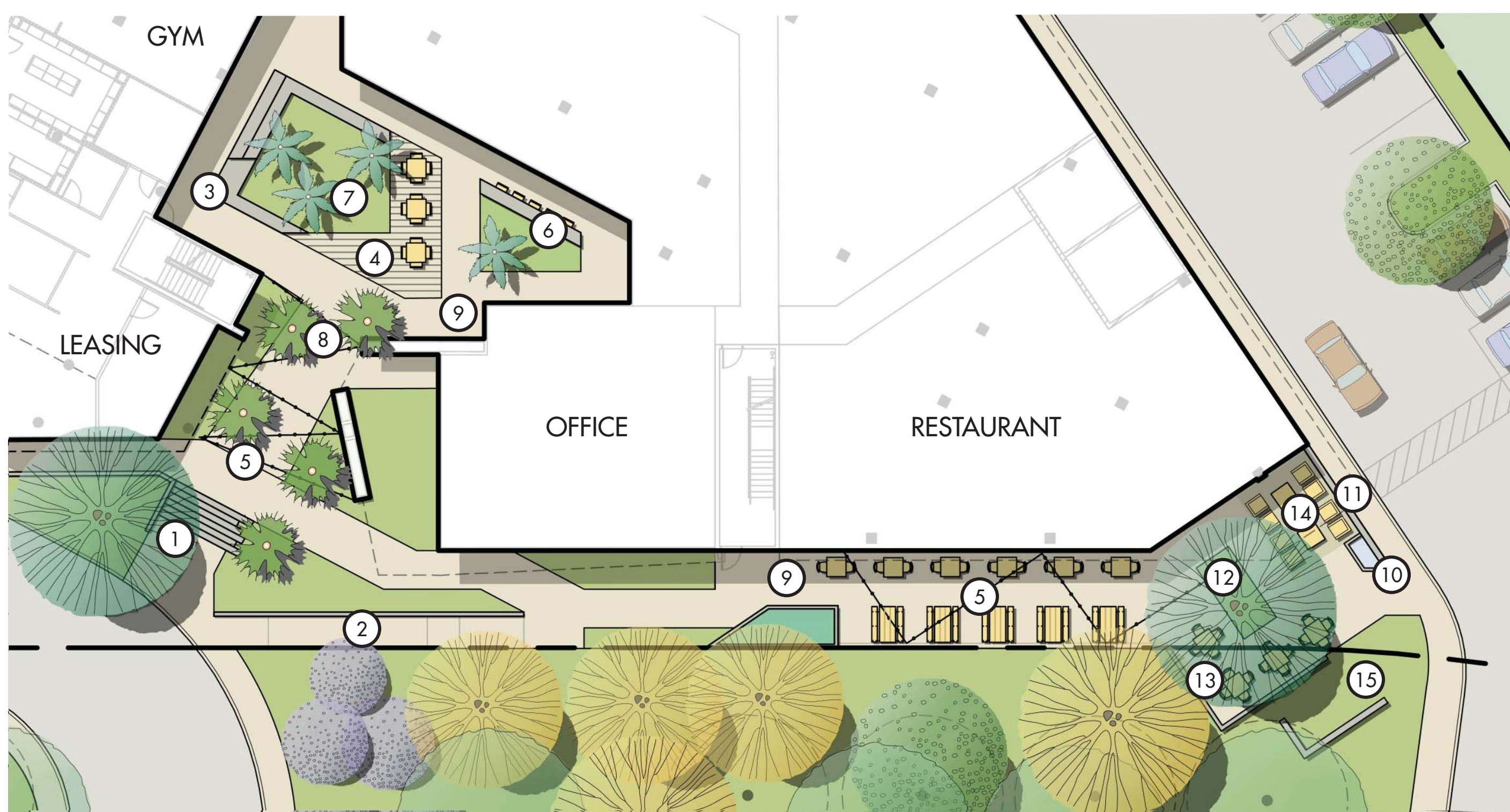
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- ① Sunken Lawn
- ② Concrete Steps
- ③ Enhanced Concrete Paving
- ④ BBQ Counter Top
- ⑤ Fire Pit & Lounge Seating
- ⑥ Built-in Banquette
- ⑦ Bar Height Countertop
- ⑧ Hanging Lounge Chairs
- ⑨ Viewing Screen
- ⑩ Tall Wall
- ⑪ Concrete Paving

A. THE MEADOW

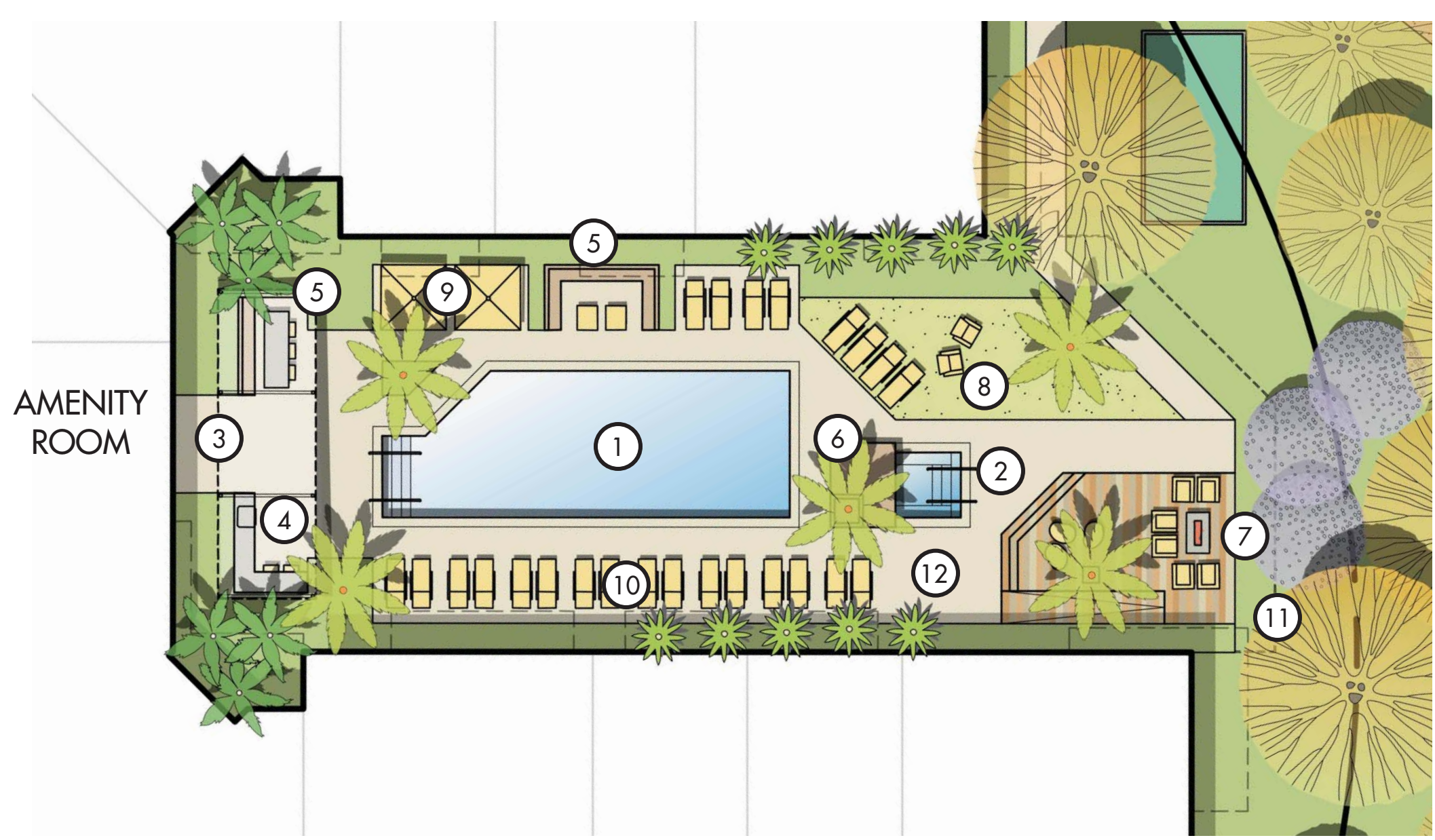
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- ① Entry Steps
- ② Accessible Ramp
- ③ Seat Wall
- ④ Enhanced Concrete Paving
- ⑤ Festoon Lighting
- ⑥ Bar Top Counter
- ⑦ Lawn Panel
- ⑧ Palm Groves in Tree Grates
- ⑨ Concrete Paving
- ⑩ Wall Fountain
- ⑪ Sound Wall
- ⑫ Specimen Tree
- ⑬ Dining Patio
- ⑭ Lounge Seating
- ⑮ Sign Wall

D. THE OASIS & NEST

Scale: 1/16"=1'0"



- ① Pool
- ② Spa
- ③ Overhead Structure 50% Open
- ④ BBQ Counter Top
- ⑤ Banquette Seating
- ⑥ Raised Wood Deck
- ⑦ Firepit and Lounge Seating
- ⑧ Lawn Panel
- ⑨ Cabana
- ⑩ Chaise Lounge
- ⑪ Pool Security Fence
- ⑫ Concrete Paving

B. THE POOL

Scale: 1/16"=1'0"



IRRIGATION NOTES

- All irrigated planting areas shall be zoned separately according to plant types, location, solar exposure, soil type, elevation, topography, and any other specific conditions that may exist on site.
- The irrigation system will include one point of connection located along Camino De La Reina. All irrigation systems will utilize dedicated irrigation water meters.
- All irrigation systems shall be piped underground. Irrigation mainline piping shall be PVC schedule 40 or class 315. All lateral lines shall be PVC schedule 40. Mainline piping shall be buried 18" deep and lateral piping shall be buried 12" deep.
- The irrigation system will be comprised of looped and/or single leg pressurized mainline located throughout the site. Flow management of pressurized mainlines shall be controlled by means of master valves and flow sensors which will be attributed to each specific zone in the site area.
- Irrigation systems will utilize computer-controlled, weather-based satellite controller/s, linked by digital, phone modem or hardwired method, so that each can be programmed and managed by a computer system operated by the owner's designated landscape maintenance company. A site rain gauge or rain sensor will be connected to the control system. All equipment shall be vandal-resistant.
- Irrigation of turf areas shall consist of pop-up sprinklers with built-in check valve and pressure regulation. Turf areas 30 feet in two directions or more shall be irrigated with medium to large radius, gear driven rotor sprinklers. Turf areas less than 30 feet in two directions shall be irrigated with medium to small radius (10-30 feet) multiple stream rotary sprinklers. Smaller variable sized turf areas not suitable for multiple stream rotary sprinklers shall be irrigated by spray type sprinklers. Exceptions to general irrigation methods are: turf areas adjacent to impermeable surfaces which do not drain into the turf areas shall be irrigated with subsurface, low-volume systems. Turf areas which are adjacent to permeable surfaces, or are adjacent to impermeable surfaces that drain into turf areas shall be irrigated with overhead rotary or spray type systems.
- Irrigation of all shrub and groundcover areas of the project shall consist of subsurface, low-volume systems such of drip line or drip emitters. Larger shrubs/small trees and vines may be irrigated with bubblers based on container size at installation.
- Irrigation of all trees shall be with supplemental water which may consist of bubblers or root water systems on dedicated zones separate from all other zones.
- Irrigation or other run-off will not drain directly into the MHPA.
- All irrigation and landscape shall be maintained by the property owner.

PLANTING LEGEND: Bio-Filtration

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
[Symbol]	Chondropetalum elephantinum Large Cape Rush	Grass-like 4'-6' spread 3'-5' height	Bio-filtration	Low	15 gal. @ 48" O.C.	10%
[Symbol]	Chondropetalum tectorium Small Cape Rush	Grass-like 3'-4' spread 2'-3' height	Bio-filtration	Low	5 gal. @ 24" O.C.	35%
[Symbol]	Dietes bicolor Fortnight Lily	Grass-like 2'-3' spread 2'-3' height	Bio-filtration Flowering	Low	5 gal. @ 30" O.C.	10%
[Symbol]	Festuca californica California Fescue	Clumping 3' spread 3' height	Bio-filtration	Low	1 gal. @ 24" O.C.	25%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Bio-filtration	Low	1 gal. @ 24" O.C.	20%

PLANTING LEGEND: Trees

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
[Symbol]	Alnus rhombifolia White Alder Tree	Upright Oval 30-40' spread Up to 80' height	Deciduous Shade Tree	High	36" Box	26
[Symbol]	Betula nigra River Birch	Upright Oval 30-40' spread Up to 80' height	Deciduous Shade Tree	High	36" Box	15
[Symbol]	Ceanothus 'Ray Hartman'	Round Oval 10'-18' spread 20' height	Evergreen Accent Tree Flowering	Low	15 gal.	15
[Symbol]	Chamaerops humilis Mediterranean Fan Palm	Upright 15' height	Architectural Accent	Med	60" box	2
[Symbol]	Guadalupe Palm Brahea edulis	Upright 10'-20' spread Up to 25' height	Architectural Accent	Med/Low	20" BTH	4
[Symbol]	Pinus Torreyana Torrey Pine	Round Oval 30-50' spread Up to 60' height	Evergreen Screening Tree	Low	48" box	6
[Symbol]	Dracaena draco Dragon Tree	Irregular 4' height	Architectural Accent	Very Low	24" box	13
[Symbol]	Platanus racemosa ** California Sycamore	Round Oval 40-60' spread Up to 80' height	Deciduous Tree	Med	60" Box	60
[Symbol]	Phoenix dactylopera Date Palm	Upright 12-20' spread Up to 70' height	Architectural Accent	Low	20" BTH	5
[Symbol]	Quercus agrifolia ** Coast Live Oak	Spreading 30-50' Up to 70' height	Large Evergreen Shade/Accent Tree	Very Low	60" Box	7
[Symbol]	Windmill Palm Trachycarpus fortune	Spreading 8-10' 25-10' ft.	Architectural Accent	Med	20" BTH	5
[Symbol]	Existing Torrey Pines	Size and location per plan. See sheet L303				5

PLANTING NOTES

- All landscaping and irrigation shall conform to the standards of the city-wide landscape regulations and the City of San Diego's land development manual landscape standards, landscape regulations and all other city and regional standards.
- The existing Torrey Pine trees along Camino De La Reina shall be protected in place whenever feasible.
- Street trees shall be placed at a ratio of one tree for every 30 linear feet of street frontage. All street trees shall be located outside all utility, gas and water easements, unless otherwise approved by a San Diego Utility Agency.
- Tree root barriers shall be installed where trees are placed within 8 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier shall not wrap around the root ball.
- All trees shall be staked in accordance with the City of San Diego Land Development code.
- All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown on table 142-04F in accordance with the standards in the Land Development Manual (142.0411(A)).
- All plant material selected will be selected based on their compatibility with the region's climate, soil condition and overall successfulness.
- Lawn or turf (excluding areas of active recreation) will not exceed 10% of the landscape area.
- All soils will be amended and tilled to conform to recommendations made by a soils testing laboratory to promote healthy and vigorous plant growth.
- All planting areas shall receive 3" depth of bark mulch after installation. All planting areas will be maintained in a weed free condition.
- All areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced within 30 days with material of equal size.
- Street Trees:
Improvements such as driveways, utilities, drains, and water and sewer laterals shall be designed as not to prohibit the placement of street trees, all to the satisfaction of the development services department.
MINIMUM TREE SEPARATION DISTANCE (SECTION 142-04E)
- Traffic signals (stop sign): 20 feet
- Underground utilities including water lines: 5 feet
- Sewer Lines: 10 feet
- Above ground utility structures: 10 feet
- Driveways: 10 feet
- Intersections: 25'
- In all shrub and groundcover areas apply 3" layer of forest floor bark mulch per Aquinaga Fertilizer Company, Inc. Contractor shall submit sample to landscape architect for approval.
- Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:
 - A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
 - Stork-piling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
 - A tree watering schedule will be maintained and documented during construction.
 - All damaged trees will be replaced with one of equal or greater size.

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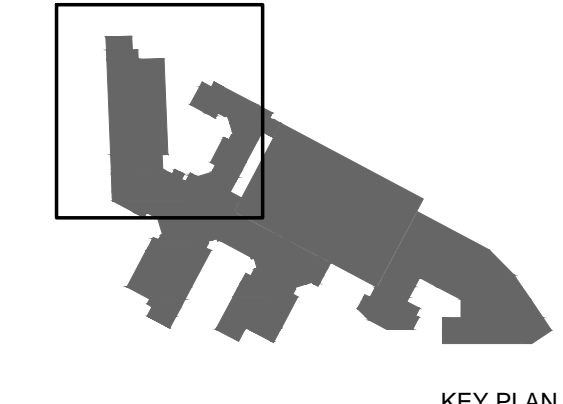
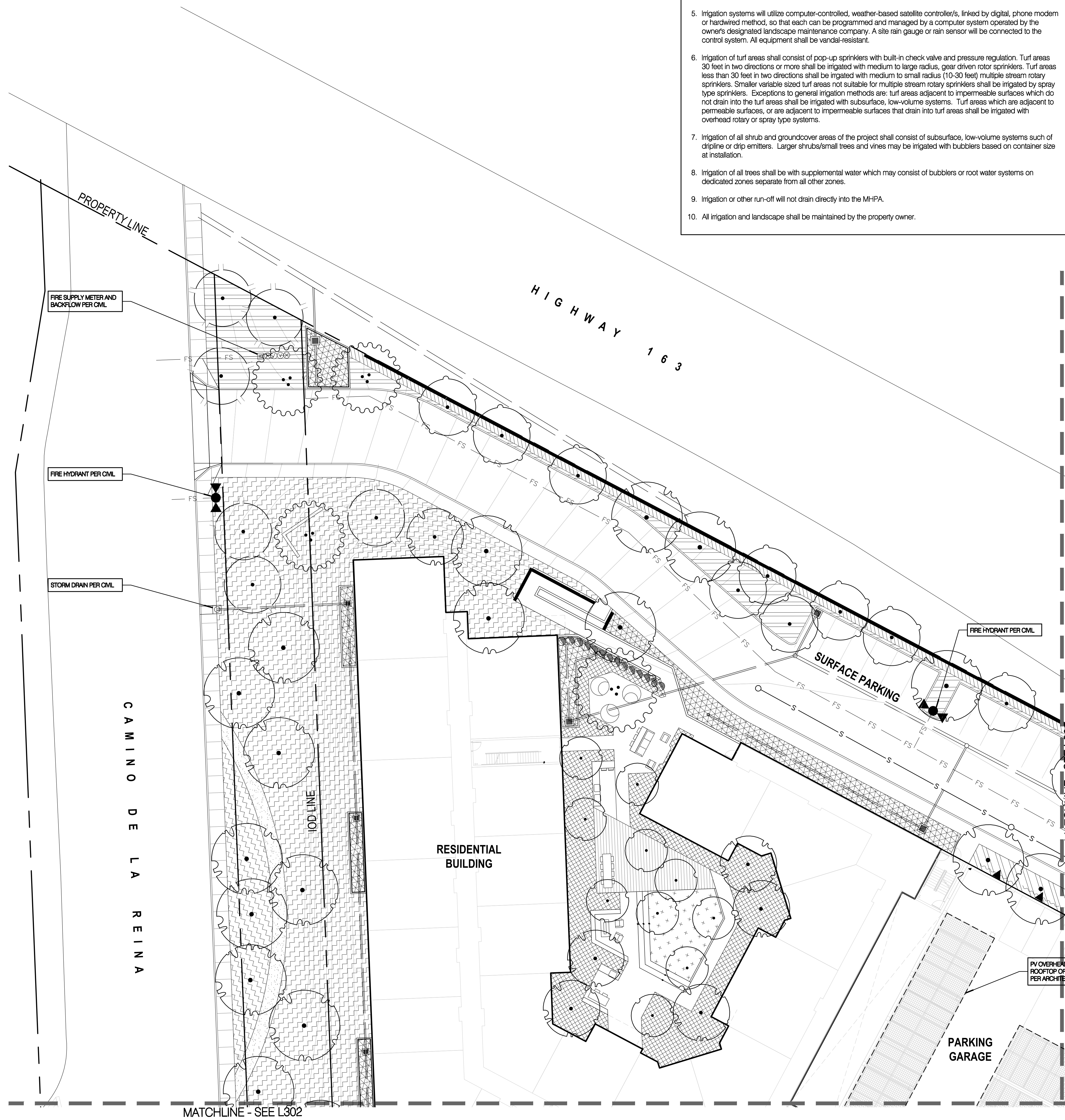
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PLANTING LEGEND: Shrubs and Vines

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
MEADOW						
[Symbol]	Agave attenuata Fox Tail Agave	Mounded 6'-8' spread 4'-8' height	Accent Shrub	Low	15 gal. @ 48" O.C.	3.188 sqft
[Symbol]	Carex divulsa Berkeley Sedge	Clumping Grass 1'-2' spread 1'-2' height	Groundcover	Low	1 gal. @ 12" O.C.	20%
[Symbol]	Cistanthe grandiflora 'Jazz Time' Rock Purslane	Mounded 8'-12' spread 8'-12' height	Flowering Shrub	Low	1 gal. @ 24" O.C.	10%
[Symbol]	Dietes bicolor 'Lemon Drop' Lemon Drop Fortnight Lily	Mounded Grass-like 2'-3' spread 2'-3' height	Flowering Shrub	Low	5 gal. @ 30" O.C.	15%
[Symbol]	Trachelospermum jasminoides Star Jasmine	Spreading Climbing 18-20' spread	Flowering	Med	5 gal. @ 36" O.C.	5%
[Symbol]	Juncus patens 'Elk Blue' Elk Blue California Gray Rush	Erect Grass-like 1'-2' spread 1'-2' height	Accent Shrub	Low	5 gal. @ 30" O.C.	15%
[Symbol]	Loropetalum chinensis Giant Lilyturf	Clumping Grass-like 2'-3' spread 2'-3' height	Massing	Med	5 gal. @ 30" O.C.	15%
[Symbol]	Nepenthes cordifolia Sword Plant	Horizontal 3'-6' spread 3'-6' height	Accent Shrub	Med	5 gal. @ 30" O.C.	5%
[Symbol]	Philodendron 'Xanadu' Xanadu Philodendron	Mounded 2'-3' spread 3'-4' height	Foundation Shrub	Med	5 gal. @ 36" O.C.	10%
POOL						
[Symbol]	Agrostis alata Cast Iron Plant	Erect Grass-like 2'-3' spread 3' height	Foundation Shrub	Med	5 gal. @ 36" O.C.	15%
[Symbol]	Agave attenuata Fox Tail Agave	Mounded 2'-3' spread 3'-4' height	Accent Shrub	Low	15 gal. @ 48" O.C.	10%
[Symbol]	Aeonium 'Mini Saucer' Green Aeonium	Irregular 4'-5' spread 6'-8' height	Accent Shrub	Low	1 gal. @ 36" O.C.	5%
[Symbol]	Carex macrospora 'Tomlinson' Tomlinson Nuts Plum	Mounded 3' spread 2'-3' height	Foundation Shrub	Low	5 gal. @ 36" O.C.	20%
[Symbol]	Echeveria 'Afterglow' Afterglow Hen and Chicks	Spreading 1'-2' spread 1'-2' height	Accent Shrub	Low	1 gal. @ 12" O.C.	5%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Missing, Foundation	Low	1 gal. @ 24" O.C.	20%
[Symbol]	Philodendron 'Xanadu' Winterbloom Philodendron	Irregular 2'-3' spread 3'-4' height	Foundation Shrub	Med	5 gal. @ 36" O.C.	15%
[Symbol]	Senecio mandraliscae Blue Chalk Fingers	Spreading 1'-3' spread 2'-3' height	Accent Shrub	Low	Flats @ 12" O.C.	10%
PERCH / NATURE TRAIL						
[Symbol]	Baccharis pilularis 'Twin Peak' ** Dwarf Coyote brush	Spreading Mounded 1'-3' spread 2'-3' height	Foundation Shrub	Low	5 gal. @ 42" O.C.	10%
[Symbol]	Ceanothus glaucosus 'Anchor Bay' ** Pt. Reyes Ceanothus	Horizontal 4'-6' spread 2'-3' height	Flowering Shrub	Low	5 gal. @ 42" O.C.	10%
[Symbol]	Festuca maritima Alsea Fescue	Erect, Grass 2'-3' spread 2'-3' height	Missing	Low	1 gal. @ 18" O.C.	15%
[Symbol]	Yucca havaiiana San Diego Marsh Elder	Spreading Mounded 2'-3' spread 1'-1.5' height	Flowering Shrub	Very Low	1 gal. @ 30" O.C.	10%
[Symbol]	Lantana camara 'Gold Mound' Gold Mound Lantana	Spreading Grass 1'-3' spread 3'-4' height	Flowering Shrub	Low	1 gal. @ 30" O.C.	10%
[Symbol]	Laymus condensatus 'Canyon Pinot' Canyon Pinot Lyme Grass	Erect, Grass 2'-3' spread 3'-5' height	Missing, Foundation	Low	1 gal. @ 24" O.C.	5%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Mounded Grass 2'-3' spread 2'-4' height	Missing Foundation	Low	1 gal. @ 30" O.C.	15%
[Symbol]	Muhlenbergia 'White Cloud' ** White Awn Muhly	Mounded 3'-4' spread 3'-4' height	Decorative Massing	Med	1 gal. @ 36" O.C.	5%
[Symbol]	Salvia greggii 'Abot' White Texas Sage	Mounded 2'-3' spread 2'-4' height	Missing	Low	1 gal. @ 36" O.C.	10%
[Symbol]	Salvia leucantha 'Midnight' * Purple Mexican Sage	Mounded 2'-3' spread 3'-4' height	Decorative Massing	Low	1 gal. @ 36" O.C.	10%
OASIS						
[Symbol]	Bougainvillea glabra * Paperflower	Spreading Climbing 10-12' spread 30' height	Flowering Shrub	Low	5 gal. @ 36" O.C.	15%
[Symbol]	Dianella revoluta 'Baby Biss' Baby Biss Flax Lily	Erect Grass-like 10-12' spread 30' height	Accent Shrub	Low	1 gal. @ 12" O.C.	15%
[Symbol]	Dietes bicolor Fortnight Lily	Mounded Grass-like 2'-3' spread 2'-3' height	Flowering Shrub	Low	5 gal. @ 30" O.C.	20%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Missing, Foundation	Low	1 gal. @ 30" O.C.	35%
[Symbol]	Strelitzia reginae Bird of Paradise	Mounded 2'-3' spread 2'-4' height	Flowering Shrub	Med	5 gal. @ 36" O.C.	15%
PARKING LOT						
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Missing, Foundation	Low	1 gal. @ 24" O.C.	25%
[Symbol]	Muhlenbergia rigens ** Deer Grass	Erect, Grass 4'-6' spread 4'-5' height	Missing, Foundation	Low	5 gal. @ 36" O.C.	40%
[Symbol]	Silpa gigantea Giant Feather Grass	Erect, Grass 2'-3' spread 1'-2' height	Missing, Foundation	Low	1 gal. @ 36" O.C.	35%
SCREENING AND TURF						
[Symbol]	Cissus antarctica Kangaroo Vine	Climbing 15-20' spread 15-20' height	Screening	Med	24" box @ 60" O.C.	8
[Symbol]	Prunus 'Hollis' Catalina Island Cherry	Upright Dense 4'-6' spread 4'-6' height	Screening Hedge	Med	15" box @ 72" O.C.	2.018 sqft
[Symbol]	Ligustrum japonicum Japanese Privet	Hedge 5-7' spread 8-10' height	Screening Hedge	Med	5 gal. @ 24" O.C.	14
[Symbol]	Shade Blend Delta Bluegrass	Sod 3'-5' Spreading	Lawn	High	Sod	3616 sqft

*PLANTS LISTED IN MISSION VALLEY COMMUNITY PLAN
**PLANTS LISTED IN SAN DIEGO RIVER PARK MASTER PLAN



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L301
Planting Plan

IRRIGATION NOTES

- All irrigated planting areas shall be zoned separately according to plant types, location, solar exposure, soil type, elevation, topography, and any other specific conditions that may exist on site.
- The irrigation system will include one point of connection located along Camino De La Reina. All irrigation systems will utilize dedicated irrigation water meters.
- All irrigation systems shall be piped underground. Irrigation mainline piping shall be PVC schedule 40 or class 315. All lateral lines shall be PVC schedule 40. Mainline piping shall be buried 18" deep and lateral piping shall be buried 12" deep.
- The irrigation system will be comprised of looped and/or single leg pressurized mainline located throughout the site. Flow management of pressurized mainlines shall be controlled by means of master valves and flow sensors which will be attributed to each specific zone in the site area.
- Irrigation systems will utilize computer-controlled, weather-based satellite controller/s, linked by digital, phone modem or hardwired method, so that each can be programmed and managed by a computer system operated by the owner's designated landscape maintenance company. A site rain gauge or rain sensor will be connected to the control system. All equipment shall be vandal-resistant.
- Irrigation of turf areas shall consist of pop-up sprinklers with built-in check valve and pressure regulation. Turf areas 30 feet in two directions or more shall be irrigated with medium to large radius, gear driven rotor sprinklers. Turf areas less than 30 feet in two directions shall be irrigated with medium to small radius (10-30 feet) multiple stream rotary sprinklers. Smaller variable sized turf areas not suitable for multiple stream rotary sprinklers shall be irrigated by spray type sprinklers. Exceptions to general irrigation methods are: turf areas adjacent to impermeable surfaces which do not drain into the turf areas shall be irrigated with subsurface, low-volume systems. Turf areas which are adjacent to permeable surfaces, or are adjacent to impermeable surfaces that drain into turf areas shall be irrigated with overhead rotary or spray type systems.
- Irrigation of all shrub and groundcover areas of the project shall consist of subsurface, low-volume systems such of dripline or drip emitters. Larger shrubs/small trees and vines may be irrigated with bubblers based on container size at installation.
- Irrigation of all trees shall be with supplemental water which may consist of bubblers or root water systems on dedicated zones separate from all other zones.
- Irrigation or other run-off will not drain directly into the MHPA.
- All irrigation and landscape shall be maintained by the property owner.

PLANTING LEGEND: Bio-Filtration 4,306 sqft

	Chondropetalum elephantinum Large Cape Rush	Grass-like	4'-6' spread 3'-5' height	Bio-filtration	Low	15 gal. @ 48" O.C.	10%
	Chondropetalum leucorum Small Cape Rush	Grass-like	3'-4' spread 2'-3' height	Bio-filtration	Low	5 gal. @ 24" O.C.	35%
	Dietes bicolor Fortnight Lily	Grass-like	2'-3' spread 2'-3' height	Bio-filtration Flowering	Low	5 gal. @ 30" O.C.	10%
	Festuca californica California Fescue	Clumping	3' spread 3' height	Bio-filtration	Low	1 gal. @ 24" O.C.	25%
	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass	2'-3' spread 2'-4' height	Bio-filtration	Low	1 gal. @ 24" O.C.	20%

PLANTING LEGEND: Trees

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
	Alnus rhombifolia White Alder Tree	Upright Oval 30-40' spread Up to 80' height	Deciduous Shade Tree	High	36" Box	26
	Betula nigra River Birch	Upright Oval 30-40' spread Up to 80' height	Deciduous Shade Tree	High	36" Box	15
	Ceanothus 'Ray Hamman'	Round Oval 10-18' spread 20' height	Evergreen Accent Tree Flowering	Low	15 gal.	15
	Chamaerops humilis Mediterranean Fan Palm	Upright 15' height	Architectural Accent	Med	60" box	2
	Guadalupe Palm Brahea adules	Upright 10-20' spread up to 25' height	Architectural Accent	Med/Low	20" BTH	4
	Pinus Torreyana Torrey Pine	Round Oval 30-50' spread Up to 60' height	Evergreen Screening Tree	Low	48" box	6
	Dracaena draco Dragon Tree	Irregular 4' height	Architectural Accent	Very Low	24" box	13
	Platanus racemosa ** California Sycamore	Round Oval 40-60' spread Up to 80' height	Deciduous Tree	Med	60" Box	60
	Phoenix dactylifera Date Palm	Upright 12-20' spread Up to 70' height	Architectural Accent	Low	20" BTH	5
	Quercus agrifolia ** Coast Live Oak	Spreading 30-50' Up to 70' height	Large Evergreen Shade/Accent Tree	Very Low	60" Box	7
	Windmill Palm Trachycarpus fortune	Spreading 8-10' 25-10' ft.	Architectural Accent	Med	20" BTH	5
	Existing Torrey Pines	Size and location per plan, See sheet L303				5

PLANTING NOTES

- All landscaping and irrigation shall conform to the standards of the city-wide landscape regulations and the City of San Diego's land development manual landscape standards, landscape regulations and all other city and regional standards.
- The existing Torrey Pine trees along Camino De La Reina shall be protected in place whenever feasible.
- Street trees shall be placed at a ratio of one tree for every 30 linear feet of street frontage. All street trees shall be located outside all utility, gas and water easements, unless otherwise approved by a San Diego Utility Agency.
- Tree root barriers shall be installed where trees are placed within 8 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier shall not wrap around the root ball.
- All trees shall be staked in accordance with the City of San Diego Land Development code.
- All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown on table 142-04F in accordance with the standards in the Land Development Manual (142.041(A)).
- All plant material selected will be selected based on their compatibility with the region's climate, soil condition and overall successfulness.
- Lawn or turf (excluding areas of active recreation) will not exceed 10% of the landscape area.
- All soils will be amended and tilled to conform to recommendations made by a soils testing laboratory to promote healthy and vigorous plant growth.
- All planting areas shall receive 3" depth of bark mulch after installation. All planting areas will be maintained in a weed free condition.
- All areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced within 30 days with material of equal size.
- Street Trees:
Improvements such as driveways, utilities, drains, and water and sewer laterals shall be designed as not to prohibit the placement of street trees, all to the satisfaction of the development services department.
MINIMUM TREE SEPARATION DISTANCE (SECTION 142-04E)
- Traffic signals (stop sign): 20 feet
- Underground utilities including water lines: 5 feet
- Sewer Lines: 10 feet
- Above ground utility structures: 10 feet
- Driveways: 10 feet
- Intersections: 25'
- In all shrub and groundcover areas apply 3" layer of forest floor bark mulch per Aquinaga Fertilizer Company, Inc. Contractor shall submit sample to landscape architect for approval.
- Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:
 - A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
 - Stork-piling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
 - A tree watering schedule will be maintained and documented during construction.
 - All damaged trees will be replaced with one of equal or greater size.

DesignARC LA
2558 OVERLAND AVE
LOS ANGELES CA 90064

310 204 8950

Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108

Project Name:
ALEXAN FASHION VALLEY

Legal Description:
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____

Original Date: 12 FEBRUARY 2016

Sheet 31 of 37 sheets

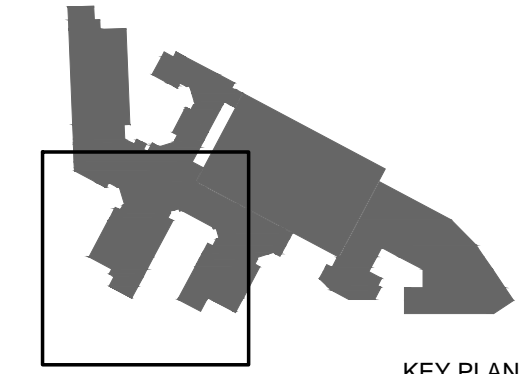
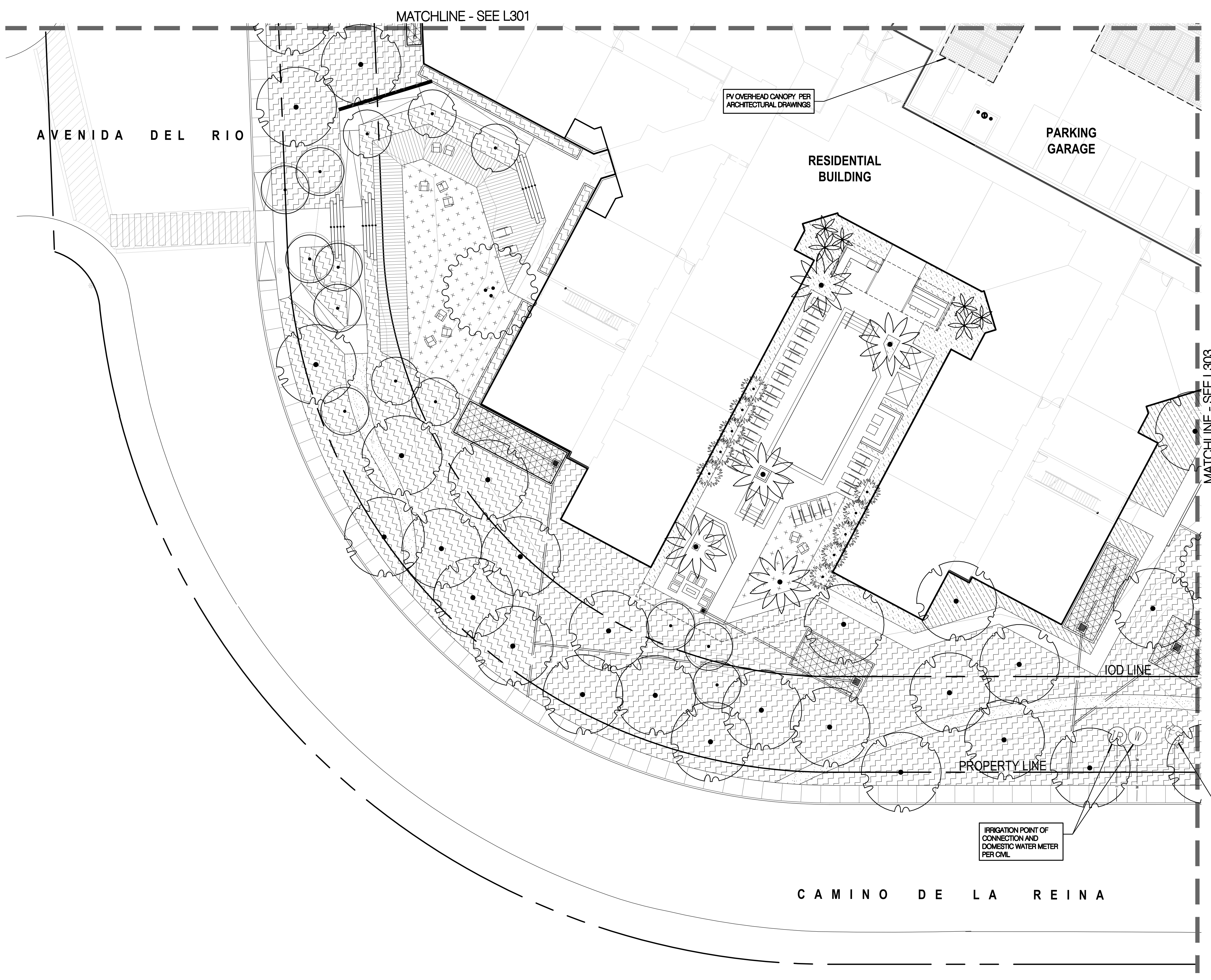
PCD/RPO# _____

Sheet Title:
PLANTING PLAN

PLANTING LEGEND: Shrubs and Vines 3,188 sqft

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
MEADOW						
	Agave attenuata Fox Tail Agave	Mounded 6'-8' spread 4'-8' height	Accent Shrub	Low	15 gal. @ 48" O.C.	5%
	Carex diivusa Berkley Sedge	Clumping Grass	Groundcover	Low	1 gal. @ 12" O.C.	20%
	Cistanthe grandiflora 'Jazz Time' Rock Purslane	Mounded 8'-12' spread 8'-12' height	Flowering Shrub	Low	1 gal. @ 24" O.C.	10%
	Dietes bicolor 'Lemon Drop' Lemon Drop Fortnight Lily	Mounded Grass-like	Flowering Shrub	Low	5 gal. @ 30" O.C.	15%
	Trachelospermum jasminoides Star Jasmine	Spreading Climbing	Flowering	Med	5 gal. @ 36" O.C.	5%
	Juncus patens 'Elk Blue' Elk Blue California Gray Rush	Erect Grass-like	Accent Shrub	Low	5 gal. @ 30" O.C.	15%
	Liriope gigantea Giant Lilyturf	Clumping Grass-like	Massing	Med	5 gal. @ 30" O.C.	15%
	Nephrolepis cordifolia Sword Fern	Horizontal	Accent Shrub	Med	5 gal. @ 30" O.C.	5%
	Philodendron 'Xanadu' Xanadu Philodendron	Mounded	Foundation Shrub	Med	5 gal. @ 36" O.C.	10%
POOL 1,810 sqft						
	Agrostis alata Crest Iron Plant	Erect Grass-like	Foundation Shrub	Med	5 gal. @ 36" O.C.	15%
	Agave attenuata Fox Tail Agave	Mounded	Accent Shrub	Low	15 gal. @ 48" O.C.	10%
	Aeonium 'Mint Saucer' Green Aeonium	Irregular	Accent Shrub	Low	1 gal. @ 36" O.C.	5%
	Cassia macrantha 'Tomlinson' Tomlinson Natal Plum	Mounded	Foundation Shrub	Low	5 gal. @ 36" O.C.	20%
	Echeveria 'Alterglow' Alterglow Hen and Chicks	Spreading	Accent Shrub	Low	1 gal. @ 12" O.C.	5%
	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass	Missing, Foundation	Low	1 gal. @ 24" O.C.	20%
	Philodendron 'Xanadu' Winterbloom Philodendron	Irregular	Foundation Shrub	Med	5 gal. @ 36" O.C.	15%
	Senecio mandraliscae Blue Chalk Fingers	Spreading	Accent Shrub	Low	Flats @ 12" O.C.	10%
PERCH / NATURE TRAIL 36,235 sqft						
	Baccharis pilularis 'Twin Peak' Dwarf Coyote brush	Mounded	Foundation Shrub	Low	5 gal. @ 42" O.C.	10%
	Ceanothus glaucosus 'Anchor Bay' Pt. Reyes Ceanothus	Horizontal	Flowering Shrub	Low	5 gal. @ 42" O.C.	10%
	Festuca mairei Alfa Fescue	Erect, Grass	Missing	Low	1 gal. @ 18" O.C.	15%
	va hayesiana San Diego Marsh Elder	Spreading Mounded	Flowering Shrub	Very Low	1 gal. @ 30" O.C.	10%
	Lantana camara 'Gold Mound' Gold Mound Lantana	Spreading Grass	Flowering Shrub	Low	1 gal. @ 30" O.C.	5%
	Laymus condensatus 'Canyon Pinel' Canyon Pinel Lime Grass	Erect, Grass	Missing, Foundation	Low	1 gal. @ 24" O.C.	10%
	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Mounded Grass	Missing Foundation	Low	1 gal. @ 30" O.C.	15%
	Muhlenbergia 'White Cloud' White Awn Murly	Mounded	Decorative Massing	Med	1 gal. @ 36" O.C.	5%
	Salvia greggii 'Abel' White Texas Sage	Mounded	Missing	Low	1 gal. @ 36" O.C.	10%
	Salvia leucantha 'Midnight' Purple Mexican Sage	Mounded	Decorative Massing	Low	1 gal. @ 36" O.C.	10%
OASIS 1,641 sqft						
	Bougainvillea glabra * Paperflower	Spreading Climbing	Flowering Shrub	Low	5 gal. @ 36" O.C.	15%
	Dianella revoluta 'Baby Bliss' Baby Bliss Flax Lily	Erect Grass-like	Accent Shrub	Low	1 gal. @ 12" O.C.	15%
	Dietes bicolor Fortnight Lily	Mounded Grass-like	Flowering Shrub	Low	5 gal. @ 30" O.C.	20%
	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass	Missing, Foundation	Low	1 gal. @ 30" O.C.	35%
	Strelitzia reginae Bird of Paradise	Mounded	Flowering Shrub	Med	5 gal. @ 36" O.C.	15%
PARKING LOT 4,946 sqft						
	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass	Missing, Foundation	Low	1 gal. @ 24" O.C.	25%
	Muhlenbergia rigens ** Deer Grass	Erect, Grass	Missing, Foundation	Low	5 gal. @ 36" O.C.	40%
	Silpho gigantea Giant Feather Grass	Erect, Grass	Missing, Foundation	Low	1 gal. @ 36" O.C.	35%
SCREENING AND TURF						
	Cissus antarctica Kangaroo Vine	Climbing	Screening	Med	24" box @ 60" O.C.	8
	Prunus islandica Island Cherry	Upright Dense	Screening Hedge	Med	15" box @ 72" O.C.	2,018 sqft
	Ligustrum japonicum Japanese Privet	Hedge	Screening Hedge	Med	5 gal. @ 24" O.C.	14
	Shade Blend Delta Bluegrass	Sod	Lawn	High	Sod	3616 sqft

*PLANTS LISTED IN MISSION VALLEY COMMUNITY PLAN
**PLANTS LISTED IN SAN DIEGO RIVER PARK MASTER PLAN

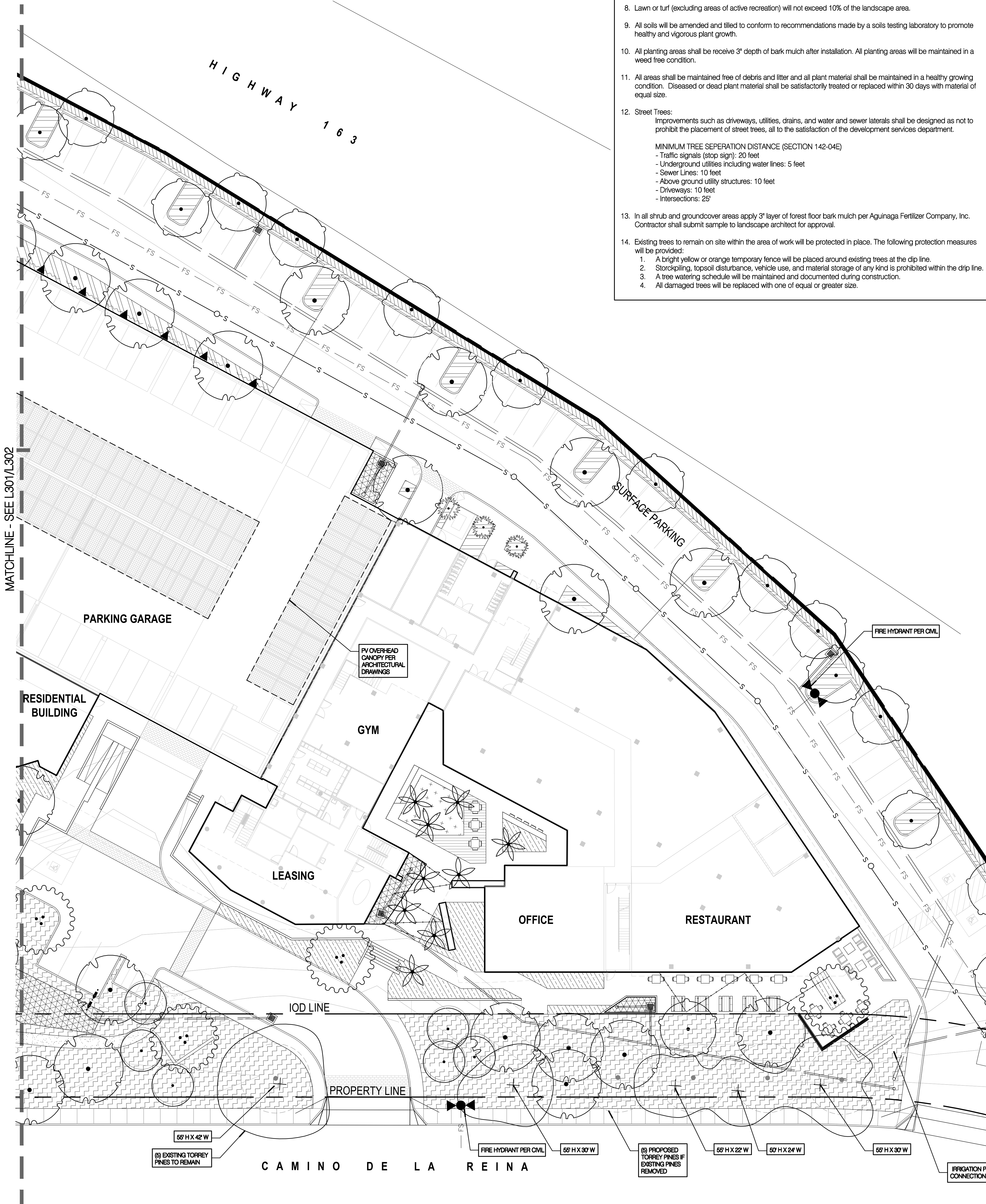


L302
Planting Plan

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PLANTING NOTES

- Lawn or turf (excluding areas of active recreation) will not exceed 10% of the landscape area.
- All soils will be amended and tilled to conform to recommendations made by a soils testing laboratory to promote healthy and vigorous plant growth.
- All planting areas shall be receive 3" depth of bark mulch after installation. All planting areas will be maintained in a weed free condition.
- All areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced within 30 days with material of equal size.
- Street Trees: Improvements such as driveways, utilities, drains, and water and sewer laterals shall be designed as not to prohibit the placement of street trees, all to the satisfaction of the development services department.
 MINIMUM TREE SEPERATION DISTANCE (SECTION 142-04E)
 - Traffic signals (stop sign): 20 feet
 - Underground utilities including water lines: 5 feet
 - Sewer Lines: 10 feet
 - Above ground utility structures: 10 feet
 - Driveways: 10 feet
 - Intersections: 25'
- In all shrub and groundcover areas apply 3" layer of forest floor bark mulch per Aquinaga Fertilizer Company, Inc. Contractor shall submit sample to landscape architect for approval.
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 - Storckpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
 - A tree watering schedule will be maintained and documented during construction.
 - All damaged trees will be replaced with one of equal or greater size.

PLANTING LEGEND: Bio-Filtration

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
[Symbol]	Chondropetalum elephanthinum Large Cape Rush	Grass-like 4'-6' spread 3'-5' height	Bio-filtration	Low	15 gal. @ 48" O.C.	10%
[Symbol]	Chondropetalum tectorum Small Cape Rush	Grass-like 3'-4' spread 2'-3' height	Bio-filtration	Low	5 gal. @ 24" O.C.	35%
[Symbol]	Dietes bicolor Fortright Lily	Grass-like 2'-3' spread 2'-3' height	Flowering	Low	5 gal. @ 30" O.C.	10%
[Symbol]	Festuca californica California Fescue	Clumping 3' spread 3' height	Flowering	Low	1 gal. @ 24" O.C.	25%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Bio-filtration	Low	1 gal. @ 24" O.C.	20%

PLANTING LEGEND: Trees

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
[Symbol]	Alnus rhombifolia White Alder Tree	Upright Oval 30-40' spread Up to 60' height	Deciduous Shade Tree	High	36" Box	26
[Symbol]	Betula nigra River Birch	Upright Oval 30-40' spread Up to 80' height	Deciduous Shade Tree	High	36" Box	15
[Symbol]	Ceanothus 'Ray Hartman'	Round Oval 10-18' spread 20' height	Evergreen Accent Tree Flowering	Low	15 gal.	15
[Symbol]	Chamaecyparis humilis Mediterranean Fan Palm	Upright 15' height	Architectural Accent	Med	60" box	2
[Symbol]	Guadalupe Palm Brahea edulis	Upright 10-20' spread Up to 25' height	Architectural Accent	Med/Low	20 BTH	4
[Symbol]	Pinus Torreyana Torrey Pine	Round Oval 30-60' spread Up to 60' height	Evergreen Screening Tree	Low	48" box	6
[Symbol]	Dracaena draco Dragon Tree	Irregular 4' height	Architectural Accent	Very Low	24" box	13
[Symbol]	Platanus racemosa ** California Sycamore	Round Oval 40-60' spread Up to 80' height	Deciduous Tree	Med	60" Box	60
[Symbol]	Phoenix dactylifera Date Palm	Upright 12-20' spread Up to 70' height	Architectural Accent	Low	20 BTH	5
[Symbol]	Quercus agrifolia ** Coast Live Oak	Spreading 30-50' Up to 70' Height	Large Evergreen Shade/Accent Tree	Very Low	60" Box	7
[Symbol]	Windmill Palm Trachycarpus fortune	Spreading 8-10' 25-10' TL	Architectural Accent	Med	20 BTH	5
[Symbol]	Existing Torrey Pines	Size and location per plan. See sheet L303				5

PLANTING NOTES

- All landscaping and irrigation shall conform to the standards of the city-wide landscape regulations and the City of San Diego's land development manual landscape standards, landscape regulations and all other city and regional standards.
- The existing Torrey Pine trees along Camino De La Reina shall be protected in place whenever feasible.
- Street trees shall be placed at a ratio of one tree for every 30 linear feet of street frontage. All street trees shall be located outside all utility, gas and water easements, unless otherwise approved by a San Diego Utility Agency.
- Tree root barriers shall be installed where trees are placed within 8 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier shall not wrap around the root ball.
- All trees shall be staked in accordance with the City of San Diego Land Development code.
- All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown on table 142-04F in accordance with the standards in the Land Development Manual (142.0411(A)).
- All plant material selected will be selected based on their compatibility with the region's climate, soil condition and overall successfulness.

DesignARC LA
2558 OVERLAND AVE
LOS ANGELES CA 90064

310 204 8950

Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108

Project Name:
ALEXAN FASHION VALLEY

Legal Description:
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972

Revision 14: _____
Revision 13: _____
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Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____

Original Date: 12 FEBRUARY 2016
Sheet 32 of 37 sheets
PCD/RPO# _____

PLANTING LEGEND: Shrubs and Vines

SYMBOL	NAME	FORM	FUNCTION	WATER REQUIREMENT	SIZE	QTY
[Symbol]	Agave attenuata Fox Tail Agave	Mounded 6'-8' spread 4'-8' height	Accent Shrub	Low	15 gal. @ 48" O.C.	3,183 sqt.
[Symbol]	Carex obovata Berkley Sedge	Clumping Grass 1'-2' spread 1'-2' height	Groundcover	Low	1 gal. @ 12" O.C.	20%
[Symbol]	Cistanthe grandiflora 'Jazz Time' Rock Purslane	Mounded 8'-12' spread 8'-12' height	Flowering Shrub	Low	1 gal. @ 24" O.C.	10%
[Symbol]	Dietes bicolor 'Lemon Drop' Lemon Drop Fortright Lily	Mounded Grass-like 2'-3' spread 2'-3' height	Flowering Shrub	Low	5 gal. @ 30" O.C.	15%
[Symbol]	Trachelospermum jasminoides Star Jasmine	Spreading Climbing 18-20' spread	Flowering	Med	5 gal. @ 36" O.C.	5%
[Symbol]	Juncus patens 'Elk Blue' Elk Blue California Gray Rush	Erect Grass-like 1'-2' spread 1'-2' height	Accent Shrub	Low	5 gal. @ 30" O.C.	15%
[Symbol]	Liriodendron giganteum Giant Lilytree	Clumping Grass-like 2'-3' spread 2'-3' height	Massing	Med	5 gal. @ 30" O.C.	15%
[Symbol]	Nephrolepis cordifolia Sword Fern	Horizontal 3'-6' spread 3'-6' height	Accent Shrub	Med	5 gal. @ 30" O.C.	5%
[Symbol]	Philodendron 'Xanadu' Xanadu Philodendron	Mounded 2'-3' spread 3'-4' height	Foundation Shrub	Med	5 gal. @ 36" O.C.	10%
[Symbol]	Agrostis alata Cast Iron Plant	Erect Grass-like 2'-3' spread 3' height	Foundation Shrub	Med	5 gal. @ 36" O.C.	15%
[Symbol]	Agave attenuata Fox Tail Agave	Mounded 2'-3' spread 3'-4' height	Accent Shrub	Low	15 gal. @ 48" O.C.	10%
[Symbol]	Aeonium 'Mini Saucer' Green Aeonium	Irregular 4'-5' spread 6'-8' height	Accent Shrub	Low	1 gal. @ 36" O.C.	5%
[Symbol]	Carex macropoda 'Tomlinson' Tomlinson Nuts Plum	Mounded 3' spread 2'-3' height	Foundation Shrub	Low	5 gal. @ 36" O.C.	20%
[Symbol]	Echeveria 'Afterglow' Afterglow Hen and Chicks	Spreading 1'-2' spread 1'-2' height	Accent Shrub	Low	1 gal. @ 12" O.C.	5%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Missing, Foundation	Low	1 gal. @ 24" O.C.	20%
[Symbol]	Philodendron 'Xanadu' Winterbloom Philodendron	Irregular 2'-3' spread 3'-4' height	Foundation Shrub	Med	5 gal. @ 36" O.C.	15%
[Symbol]	Senecio mandraliscae Blue Chalk Fingers	Spreading 1'-3' spread 2'-3' height	Accent Shrub	Low	Flats @ 12" O.C.	10%
[Symbol]	Baccharis pilularis 'Twin Peak' Dwarf Coyote brush	Spreading Mounded 1'-3' spread 2'-3' height	Foundation Shrub	Low	5 gal. @ 42" O.C.	10%
[Symbol]	Ceanothus glaucus 'Anchor Bay' Pt. Reyes Ceanothus	Horizontal 4'-6' spread 2'-3' height	Flowering Shrub	Low	5 gal. @ 42" O.C.	10%
[Symbol]	Festuca maritima Alsea Fescue	Erect, Grass 2'-3' spread 2'-3' height	Missing	Low	1 gal. @ 18" O.C.	15%
[Symbol]	Vitis hayesiana San Diego Marsh Elder	Spreading Mounded 1'-1.5' height	Flowering Shrub	Very Low	1 gal. @ 30" O.C.	10%
[Symbol]	Lantana camara 'Gold Mound' Gold Mound Lantana	Spreading Grass 1'-3' spread 3'-4' height	Flowering Shrub	Low	1 gal. @ 30" O.C.	5%
[Symbol]	Laymus condensatus 'Canyon Pinon' Canyon Pinon Lyme Grass	Erect, Grass 2'-3' spread 3'-5' height	Missing, Foundation	Low	1 gal. @ 24" O.C.	10%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Mounded Grass 2'-3' spread 2'-4' height	Missing Foundation	Low	1 gal. @ 30" O.C.	15%
[Symbol]	Muhlenbergia 'White Cloud' White Awn Murly	Mounded 3'-4' spread 3'-4' height	Decorative Massing	Med	1 gal. @ 36" O.C.	5%
[Symbol]	Salvia greggii 'Abot' White Sage	Mounded 2'-3' spread 2'-4' height	Missing	Low	1 gal. @ 36" O.C.	10%
[Symbol]	Salvia leucantha 'Midnight' Purple Mexican Sage	Mounded 2'-3' spread 3'-4' height	Decorative Massing	Low	1 gal. @ 36" O.C.	10%
[Symbol]	Bougainvillea glabra Paperflower	Spreading Climbing 10-12' spread 30' height	Flowering Shrub	Low	5 gal. @ 36" O.C.	15%
[Symbol]	Dianella revoluta 'Baby Biss' Baby Bliss Flax Lily	Erect Grass-like 10-12' spread 30' height	Accent Shrub	Low	1 gal. @ 12" O.C.	15%
[Symbol]	Dietes bicolor Fortright Lily	Mounded Grass-like 2'-3' spread 2'-3' height	Flowering Shrub	Low	5 gal. @ 30" O.C.	20%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Missing, Foundation	Low	1 gal. @ 30" O.C.	35%
[Symbol]	Streptocarpus Bird of Paradise	Mounded 2'-3' spread 2'-4' height	Flowering Shrub	Med	5 gal. @ 36" O.C.	15%
[Symbol]	Lomandra longifolia 'Breeze' Dwarf Mat Rush	Erect, Grass 2'-3' spread 2'-4' height	Missing, Foundation	Low	1 gal. @ 24" O.C.	25%
[Symbol]	Muhlenbergia rigens Deer Grass	Erect, Grass 4'-6' spread 4'-5' height	Missing, Foundation	Low	5 gal. @ 36" O.C.	40%
[Symbol]	Silphium laciniatum Giant Feather Grass	Erect, Grass 2'-3' spread 1'-2' height	Missing, Foundation	Low	1 gal. @ 36" O.C.	35%
[Symbol]	Cissus antarctica Kangaroo Vine	Climbing Dense 15-20' spread 15-20' height	Screening	Med	24" box @ 60" O.C.	8
[Symbol]	Prunus ilicifolia California Island Cherry	Upright Dense 4'-6' spread 4'-6' height	Screening Hedge	Med	15" box @ 72" O.C.	2,018 sqt.
[Symbol]	Ligustrum japonicum Japanese Privet	Hedge 5'-7' spread 8'-10' height	Screening Hedge	Med	5 gal. @ 24" O.C.	14
[Symbol]	Shade Blend Delta Bluegrass	Sod 3'-5' Spreading	Lawn	High	Sod	3616 sqt.

*PLANTS LISTED IN MISSION VALLEY COMMUNITY PLAN
**PLANTS LISTED IN SAN DIEGO RIVER PARK MASTER PLAN

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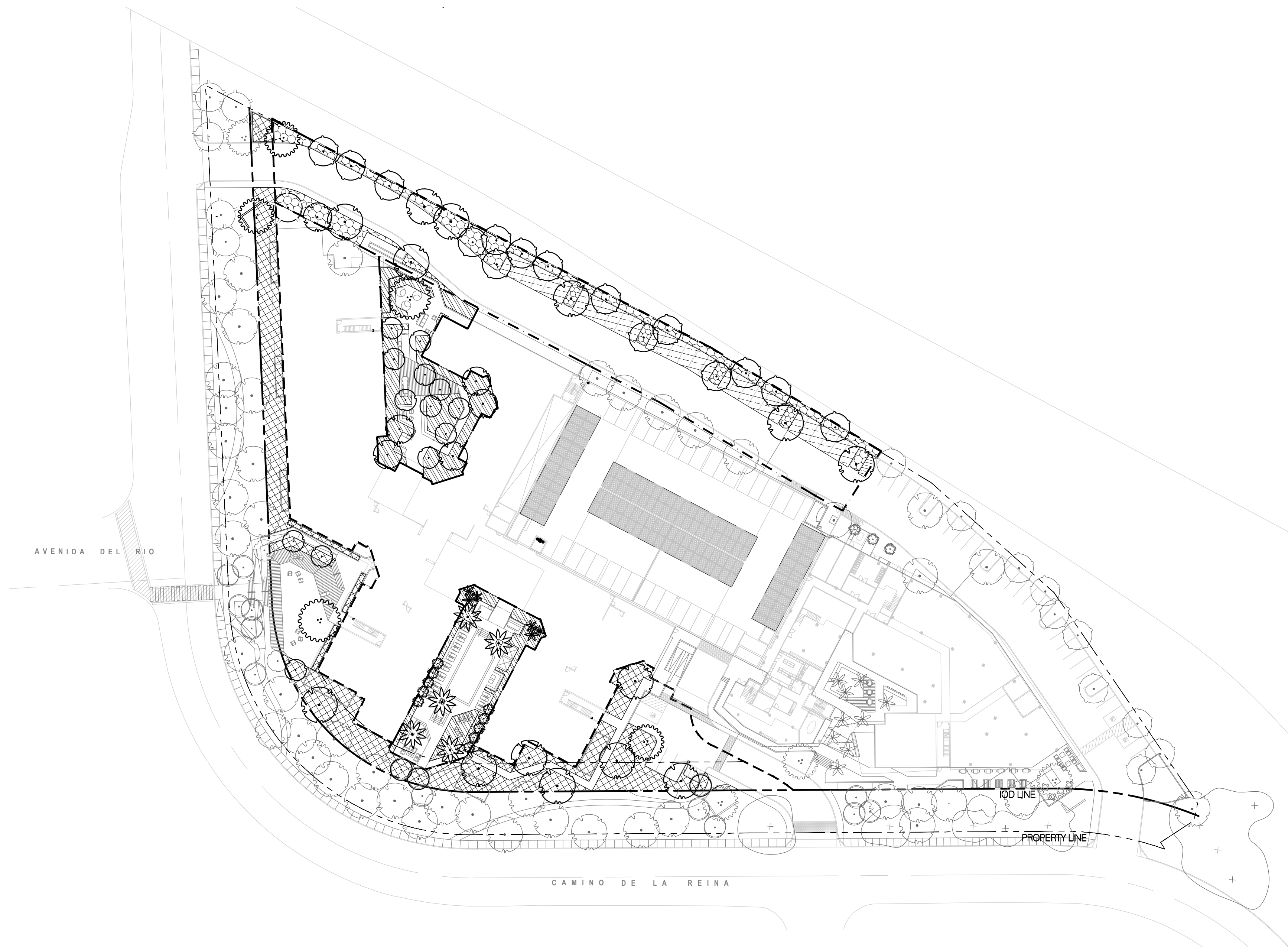
L303
Planting Plan

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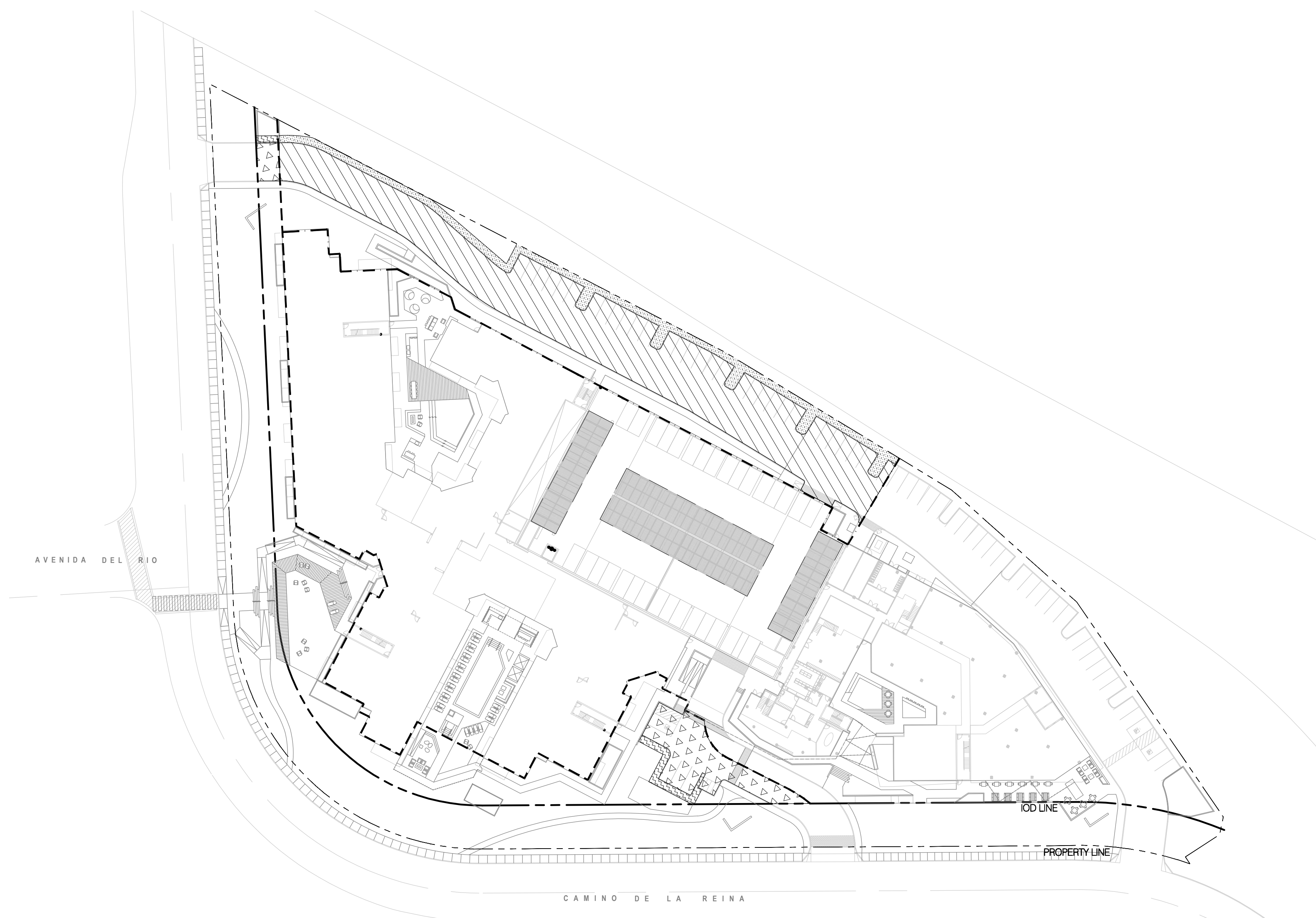
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SCALE: 1" = 1/16" 0 10 20 30 40 50 FT



- RESIDENTIAL PLANTING AREA**
- STREET YARD PLANTING - 11,671 sqft.
 - REMAINING YARD PLANTING - 4,854 sqft.
 - UNATTACHED UNIT PAVERS - 3,944 sqft.
 - STREET YARD BOUNDARY - 21,597 sqft.
 - REMAINING YARD BOUNDARY - 23,908 sqft.

- RESIDENTIAL COURTYARD PLANTING AREA**
- REMAINING YARD / COURTYARD PLANTING AREA - 6,467 sqft.
 - REMAINING YARD/COURTYARD BOUNDARY - 14,422 sqft.



- RESIDENTIAL VEHICULAR USE AREA**
- VUA INSIDE STREET YARD - 3,245 sqft.
 - VUA OUTSIDE OF STREET YARD - 14,904 sqft.
 - VUA PLANTING AREA PROVIDED INSIDE OF STREET YARD - 522 sqft.
 - VUA PLANTING AREA PROVIDED OUTSIDE OF STREET YARD - 3,080 sqft.
 - VUA INSIDE OF STREET YARD BOUNDARY
 - VUA OUTSIDE OF STREET YARD BOUNDARY

City of San Diego Development Services
1222 First Ave., MS-501
San Diego, CA 92101-4154
(619) 448-5000

Landscape Calculations Worksheet
Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
- At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	sq. ft. x 50% =	sq. ft.	sq. ft.	sq. ft.	sq. ft.
21,597	10,799	11,574	775		

Planting Points Required [142.0404]		Plant Points Provided		Excess Points Provided	
Total Area	sq. ft. x 0.05 =	points	points	points	points
21,597	1,080	4,535	3,455		

Points achieved with trees: 1,190 points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]		Provided	
Total Area	sq. ft. x 10% =	sq. ft.	sq. ft.

REMAINING YARD - 2 Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points in the remaining yard	points	Points

REMAINING YARD - 3 or more Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x 1 # of buildings	2,883 points	1,800 Points

VEHICULAR USE AREA (VUA) - See separate worksheet (DS-5)

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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DS-006 (03-09)

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Landscape Calculations Worksheet
Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
- At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	sq. ft. x 50% =	sq. ft.	sq. ft.	sq. ft.	sq. ft.

Planting Points Required [142.0404]		Plant Points Provided		Excess Points Provided	
Total Area	sq. ft. x 0.05 =	points	points	points	points

Points achieved with trees: points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]		Provided	
Total Area	sq. ft. x 10% =	sq. ft.	sq. ft.

REMAINING YARD - 2 Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points in the remaining yard	points	Points

REMAINING YARD - 3 or more Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x 1 # of buildings	6,136 points	2,950 Points

VEHICULAR USE AREA (VUA) - See separate worksheet (DS-5)

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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DS-006 (03-09)

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Landscape Calculations Worksheet
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<5,000 sf) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Planting Area Required		Planting Area Provided		Excess Area Provided	
Total VUA:	sq. ft. x 0.05 =	points	points	points	points

Points achieved through trees (at least half): points

VEHICULAR USE AREA (≥5,000 sf) [142.0406 - 142.0407]

Required Planting Area		Planting Area Provided		Excess Area Provided	
VUA inside Street Yard	3,148 sq. ft. x 0.05 = 157 sq. ft.	501 sq. ft.	344 sq. ft.		
VUA outside Street Yard	14,904 sq. ft. x 0.03 = 447 sq. ft.	3,060 sq. ft.	2,613 sq. ft.		

Required Plant Points		Plant Points Provided		Points Provided with Trees (at least half)	
VUA inside Street Yard	3,245 sq. ft. x 0.05 = 162 points	301 points	200 points		
VUA outside Street Yard	14,904 sq. ft. x 0.03 = 447 points	2,067 points	1,250 points		

TEMPORARY VEHICULAR USE AREA [142.0408]

Required Planting Area		Planting Area Provided	
Length of Public Right-of-Way adjacent to VUA:	ft. x 3 ft. = sq. ft.	sq. ft.	sq. ft.

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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DS-6 (03-06)

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LOS ANGELES CA 90064

310 204 8950

Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108

Project Name:
ALEXAN FASHION VALLEY

Legal Description:
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972

Sheet Title:
Residential
Landscape Calculations

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____ 08/29/2016
Revision 3: _____
Revision 2: _____ 07/08/2016
Revision 1: _____

Original Date: _____ 12 FEBRUARY 2016
Sheet 33 of 37 sheets
PCD/RPO# _____

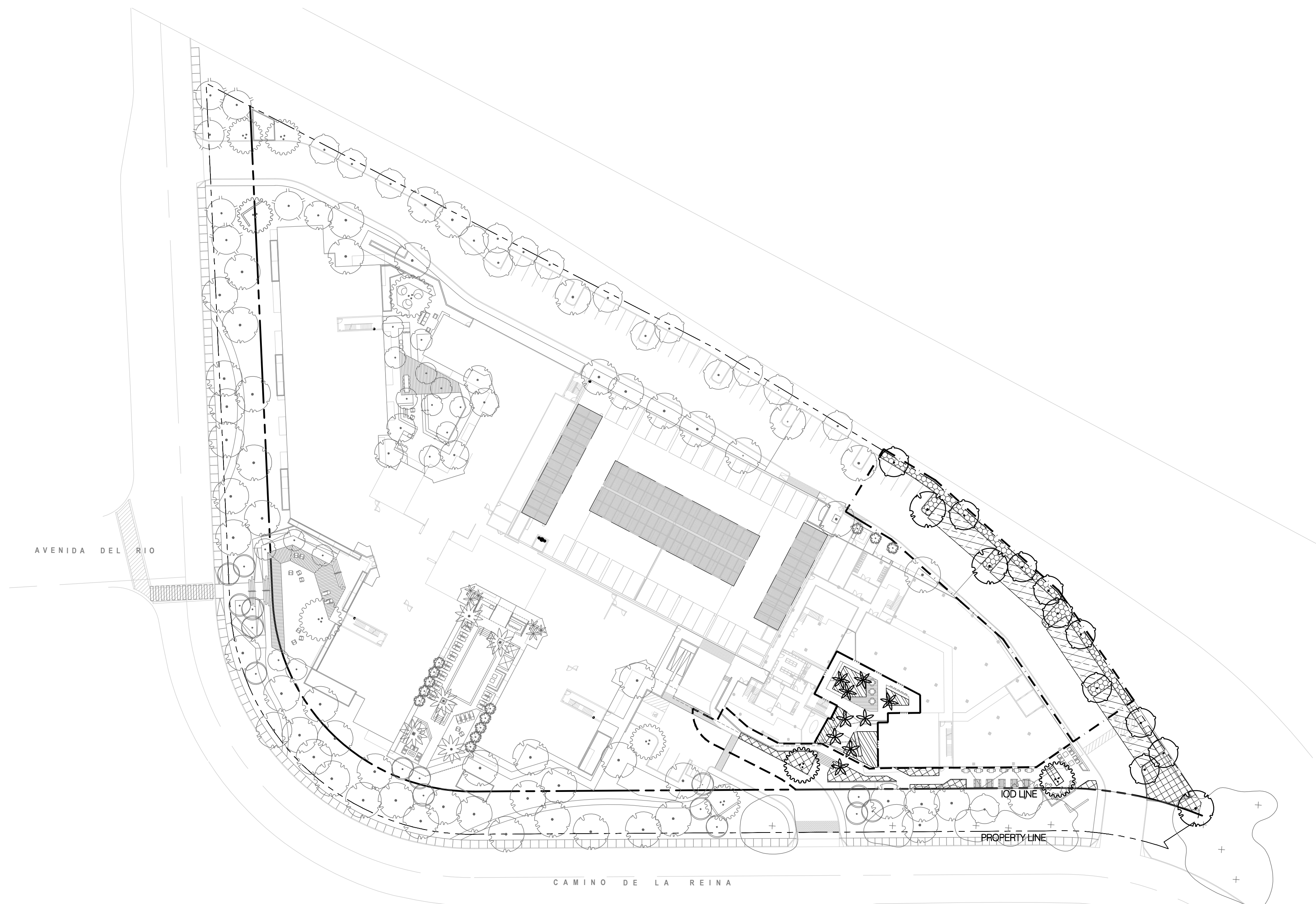
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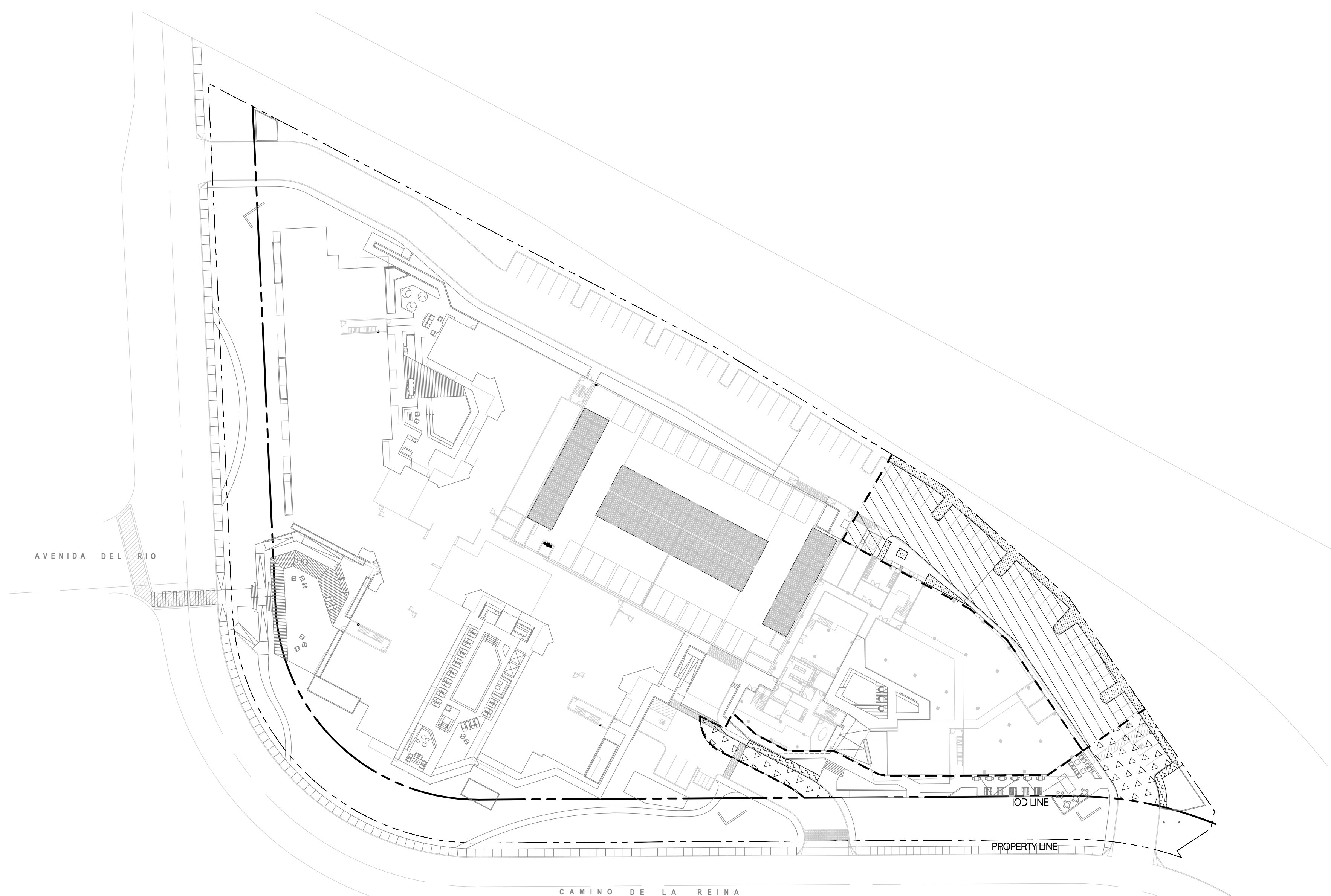
L304
Residential
Landscape Calculations

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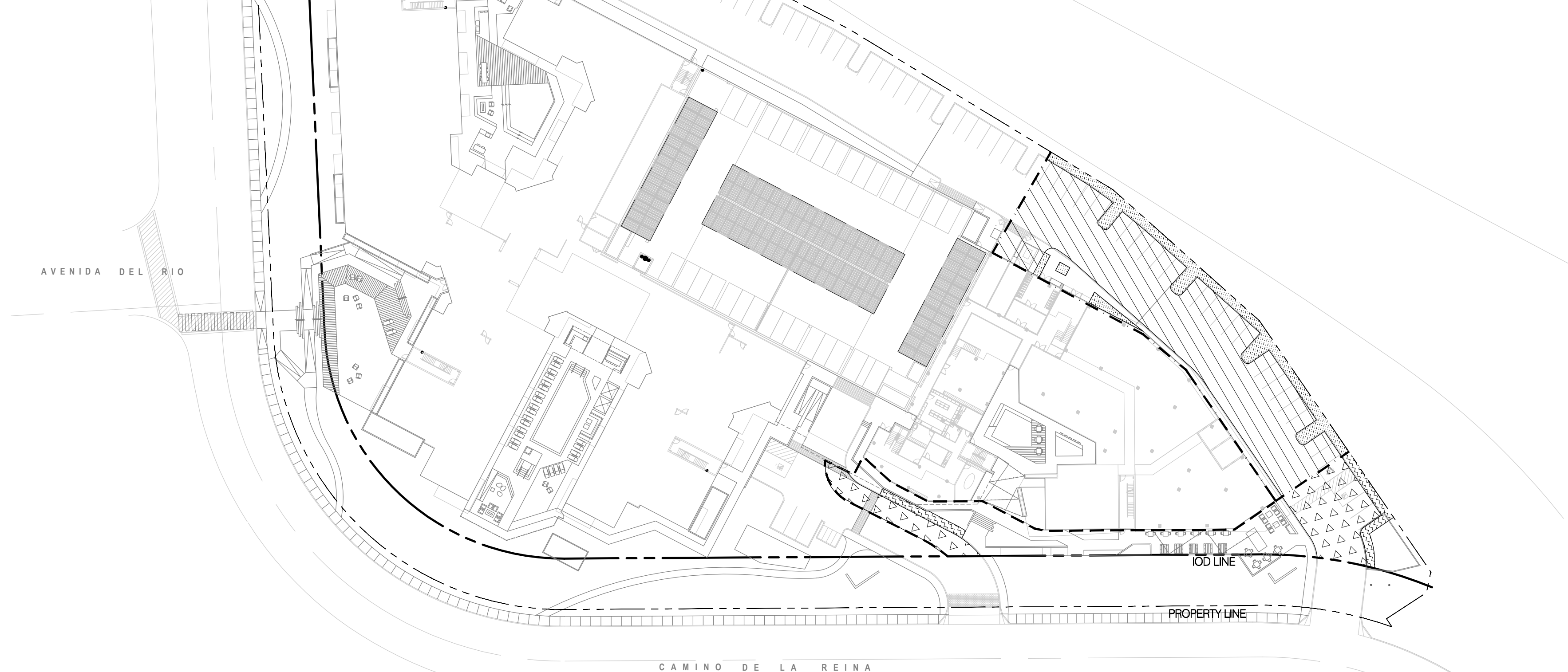
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- COMMERCIAL/PLANTING AREA**
- STREET YARD PLANTING - 2,349 sqft.
 - REMAINING YARD PLANTING - 4,478 sqft.
 - UNATTACHED UNIT PAVERS - 2,675 sqft.
 - STREET YARD BOUNDARY - 9,378 sqft.
 - REMAINING YARD BOUNDARY - 12,326 sqft.



- COMMERCIAL COURTYARD PLANTING AREA**
- REMAINING YARD / COURTYARD PLANTING AREA - 1,072 sqft.
 - REMAINING YARD/COURTYARD BOUNDARY - 3,185 sqft.



- COMMERCIAL/VEHICULAR USE AREA**
- VUA INSIDE STREET YARD - 3,359 sqft.
 - VUA OUTSIDE OF STREET YARD - 10,077 sqft.
 - VUA PLANTING AREA PROVIDED INSIDE OF STREET YARD - 666 sqft.
 - VUA PLANTING AREA PROVIDED - 2,022 sqft. OUTSIDE OF STREET YARD
 - VUA INSIDE OF STREET YARD BOUNDARY
 - VUA OUTSIDE OF STREET YARD BOUNDARY

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San Diego, CA 92101-4154
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Landscape Calculations Worksheet
Industrial Development in RM and C Zones
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	9,101 sq. ft. x 25% = 2,275 sq. ft.	2,349 sq. ft.	74 sq. ft.		

Planting Points Required [142.0404]		Plant Points Provided - To be achieved with trees only		Excess Points Provided	
Total Area	9,101 sq. ft. x 0.05 = 455 points	480 points	25 points		

Auto Service Stations Only

Planting Area Required [142.0405(c)(2)]		Planting Area Provided		Excess Area Provided	
Total Area	sq. ft. x 15% = sq. ft.	sq. ft.	sq. ft.		

Plant Points Required [142.0405(c)(2)]		Plant Points Provided		Excess Points Provided	
Total Area	sq. ft. x 0.03 = points	points	points		

REMAINING YARD

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	12,326 sq. ft. x 30% = 3,697 sq. ft.	4,478 sq. ft.	781 sq. ft.		

Plant Points Required [142.0404]		Plant Points Provided		Excess Points Provided	
Total Area	12,326 sq. ft. x 0.05 = 616 points	1,106 points	550 points		

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DS-4 (03-06)

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Landscape Calculations Worksheet
Industrial Development in RM and C Zones
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	sq. ft. x 25% = sq. ft.	sq. ft.	sq. ft.		

Planting Points Required [142.0404]		Plant Points Provided - To be achieved with trees only		Excess Points Provided	
Total Area	sq. ft. x 0.05 = points	points	points		

Auto Service Stations Only

Planting Area Required [142.0405(c)(2)]		Planting Area Provided		Excess Area Provided	
Total Area	sq. ft. x 15% = sq. ft.	sq. ft.	sq. ft.		

Plant Points Required [142.0405(c)(2)]		Plant Points Provided		Excess Points Provided	
Total Area	sq. ft. x 0.03 = points	points	points		

REMAINING YARD

Planting Area Required [142.0404]		Planting Area Provided		Excess Area Provided	
Total Area	3,182 sq. ft. x 30% = 955 sq. ft.	1,072 sq. ft.	117 sq. ft.		

Planting Points Required [142.0404]		Plant Points Provided		Excess Points Provided	
Total Area	3,182 sq. ft. x 0.05 = 159 points	661 points	502 points		

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DS-4 (03-06)

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Landscape Calculations Worksheet
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sqft) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required		Plant Points Provided		Excess Points Provided	
Total VUA:	sq. ft. x 0.05 = points	points	points		

Points achieved through trees (at least half): _____ points

VEHICULAR USE AREA (≥6,000 sqft) [142.0406 - 142.0407]

Required Planting Area		Planting Area Provided		Excess Area Provided	
VUA inside Street Yard	3,359 sq. ft. x 0.05 = 168 sq. ft.	666 sq. ft.	498 sq. ft.		
VUA outside Street Yard	10,077 sq. ft. x 0.03 = 302 sq. ft.	2,022 sq. ft.	1,720 sq. ft.		

Required Plant Points		Plant Points Provided		Points Provided with Trees (at least half)	
VUA inside Street Yard	3,359 sq. ft. x 0.05 = 168 points	526 points	250 points		
VUA outside Street Yard	10,077 sq. ft. x 0.03 = 302 points	1,192 points	550 points		

TEMPORARY VEHICULAR USE AREA [142.0408]

Required Planting Area		Planting Area Provided	
Length of Public Right-of-Way adjacent to VUA:	ft. x 3 ft. = sq. ft.	sq. ft.	sq. ft.

• Provide planting area between Public Right-of-Way and VUA.
• Plant with evergreen shrubs.
• Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

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LOS ANGELES CA 90064

310 204 8950

Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108

Project Name:
ALEXAN FASHION VALLEY

Legal Description:
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.6775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972

Sheet Title:
Commercial Landscape Calculations

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

Original Date: _____ 12 FEBRUARY 2016

Sheet 34 of 37 sheets

PCD/RPO# _____

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Commercial Landscape Calculations

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LOS ANGELES CA 90064

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Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108
Project Name:
ALEXAN FASHION VALLEY

Legal Description:

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Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	29 AUGUST 2016
Revision 3:	8 JULY 2016
Revision 2:	10 MAY 2016
Revision 1:	12 FEBRUARY 2016

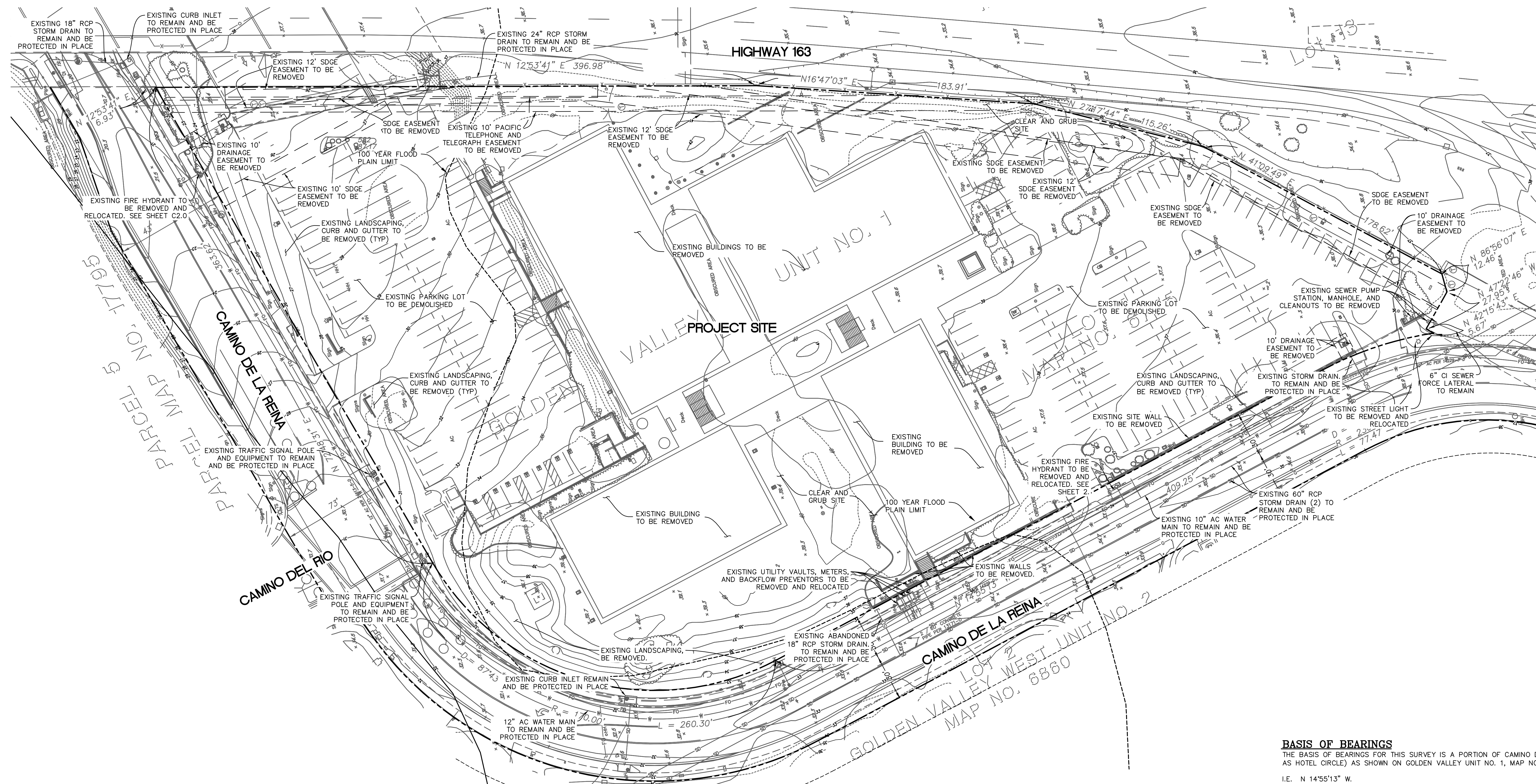
Original Date: 12 FEBRUARY 2016

Sheet 3 of 3 sheets

PCD/RPO# _____

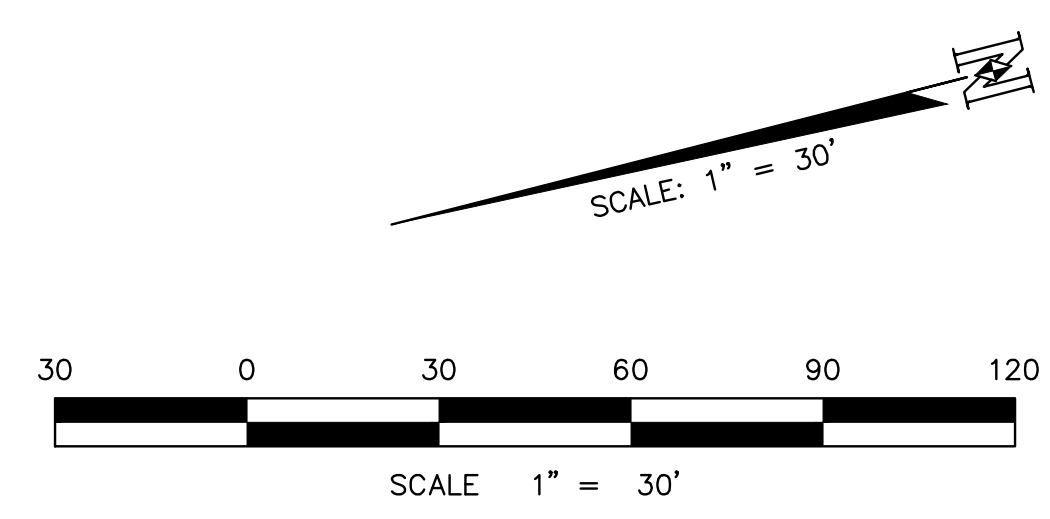
Sheet Title: **C10**

EXISTING CONDITIONS DEMOLITION PLAN



BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF CAMINO DE LA REINA (FORMERLY KNOWN AS HOTEL CIRCLE) AS SHOWN ON GOLDEN VALLEY UNIT NO. 1, MAP NO. 6775.
I.E. N 14°55'13" W.

BENCH MARK
THE BENCH MARK USED FOR THIS MAP IS THE NORTHWEST BRASS PLUG AT THE ENTRANCE TO SAN DIEGO UNION PUBLISHING. INDEX NO. 2187-17191
ELEV. = 33.742 M.S.L.



TCR
TRAMMELL CROW RESIDENTIAL

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Land Planning
T (858) 292-7770
4740 Ruffner Street
San Diego, CA 92111
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EXISTING CONDITIONS DEMOLITION PLAN

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DesignARC LA
 2558 OVERLAND AVE
 LOS ANGELES CA 90064

310 204 8950
Project Address:
 123 CAMINO DE LA REINA
 SAN DIEGO CA 92108

Project Name:
 ALEXAN FASHION VALLEY

Legal Description:

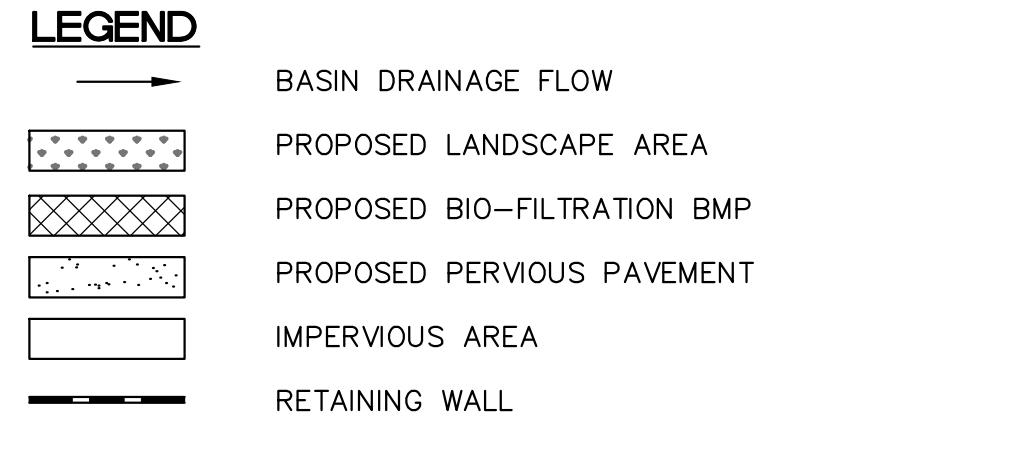
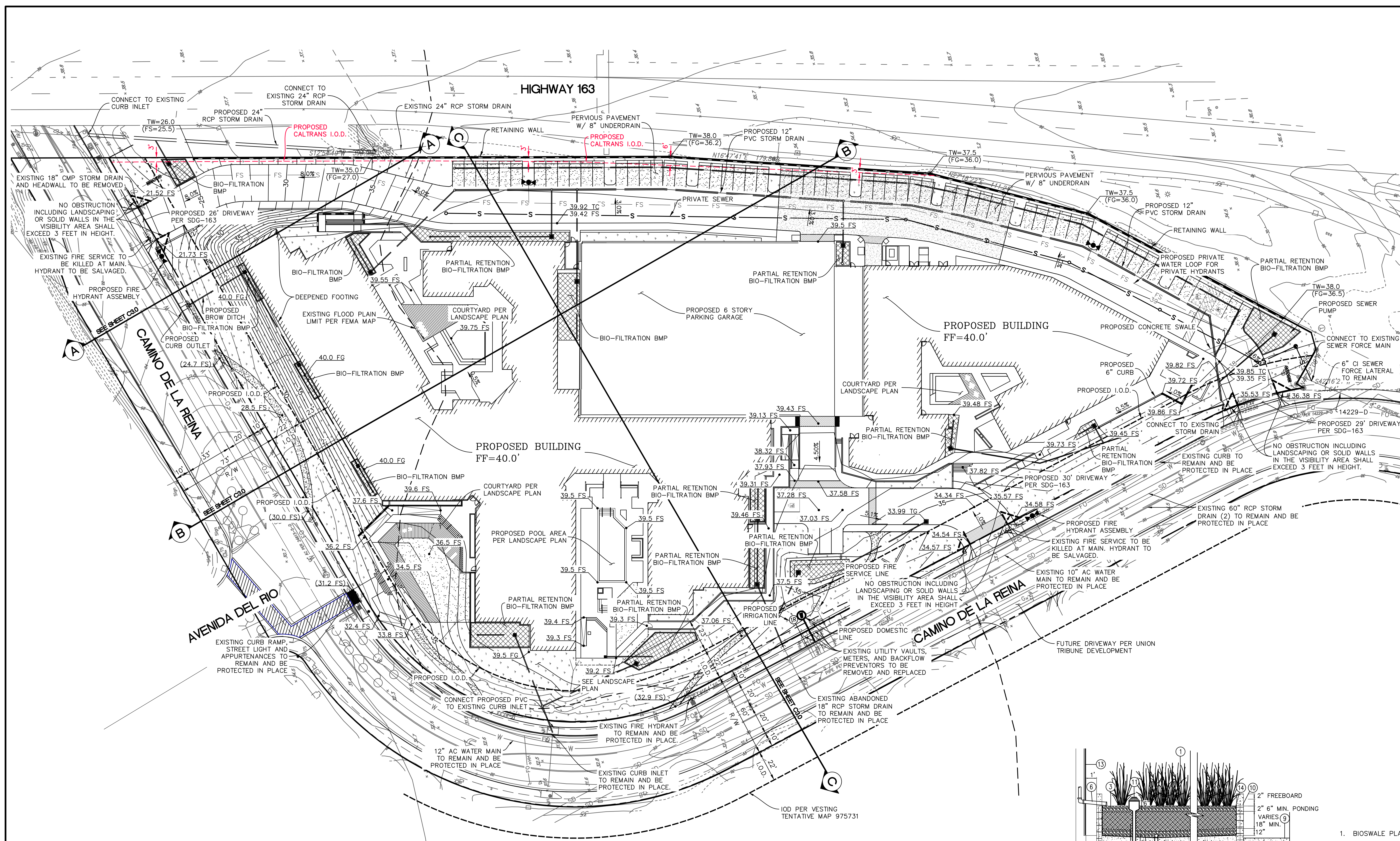
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8775 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON OCTOBER 28, 1972

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	13 SEPTEMBER 2017
Revision 5:	11 NOVEMBER 2016
Revision 4:	26 OCTOBER 2016
Revision 3:	31 AUGUST 2016
Revision 2:	8 JULY 2016
Revision 1:	10 MAY 2016

Original Date: 12 FEBRUARY 2016
 Sheet 34 of 35 sheets
 PCD/RPO#

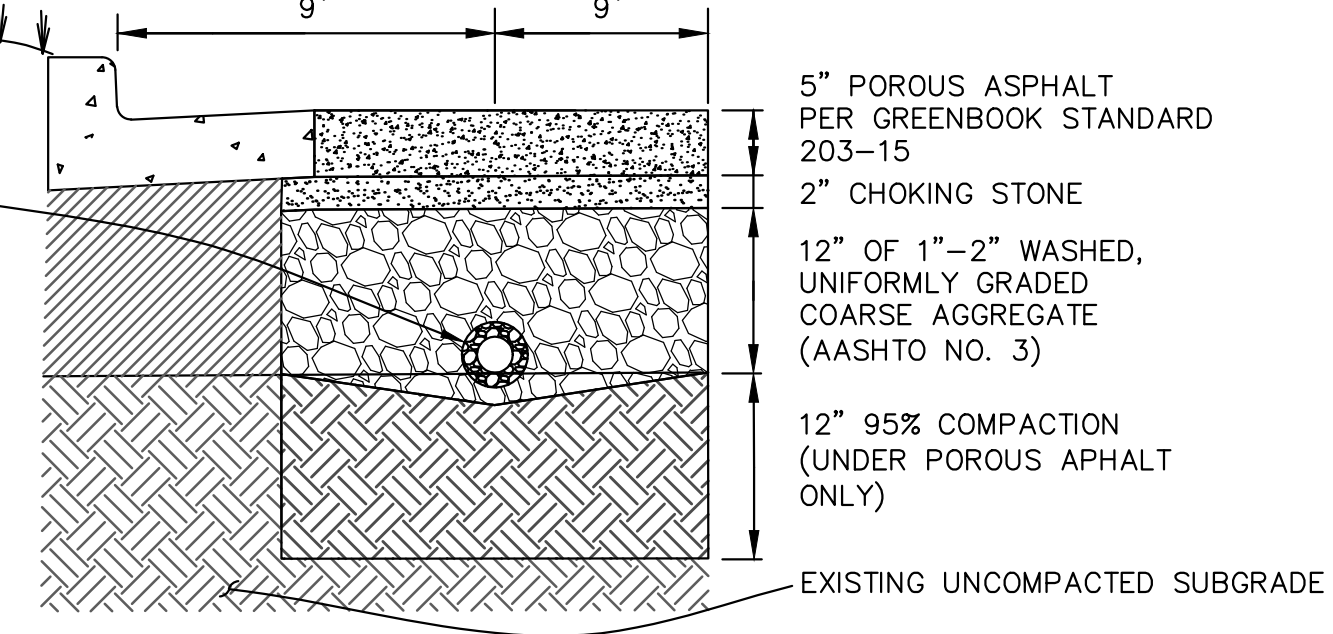
Sheet Title:
C2.0
PRELIMINARY GRADING/
IMPROVEMENT PLAN

NOTES:
 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.
 DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0009DQW, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. R9-2013-0001, OR SUBSEQUENT ORDER, IN ACCORDANCE WITH ORDER NO. 2009-0009DQW, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
 PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDID) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION 11.0 OF ORDER NO. 2009-0009-DQW AND A COPY SHALL BE SUBMITTED TO THE CITY.
 IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
 ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
 THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PRIVATE SEWER FACILITIES ENCROACHING INTO THE PUBLIC RIGHT-OF-WAY.



TOTAL AREA: 214,200 SQUARE FEET
 PERCENT OF SITE GRADED: 100%
 AMOUNT OF CUT: 2,100 CUBIC YARDS
 MAX DEPTH OF CUT: 6 FEET
 MAX HEIGHT CUT SLOPE: 3 FEET RATIO: 12:1
 AMOUNT OF FILL: 14,700 CUBIC YARDS
 MAX FILL DEPTH: 12.5 FEET
 MAX HEIGHT FILL SLOPE: 12 FEET RATIO: 2:1
 AMOUNT OF IMPORT: 12,600 CUBIC YARDS
 RETAINING WALL LENGTH: 740 FEET
 RETAINING WALL MAX HEIGHT: 6.5 FEET

8" DIAMETER PVC SDR-35 OR SCHEDULE 40 WITH THE PERFORATIONS LAID DOWN. PIPE SHALL BE LAID 3" FROM THE BOTTOM OF BASE SECTION. DRAIN HOLES SHALL BE AT THE 4 & 8 O'CLOCK POSITIONS. PIPE TO BE WRAPPED IN 4" OF DRAIN ROCK, OPEN GRADED GRAVEL (1/2") AND FILTER FABRIC.

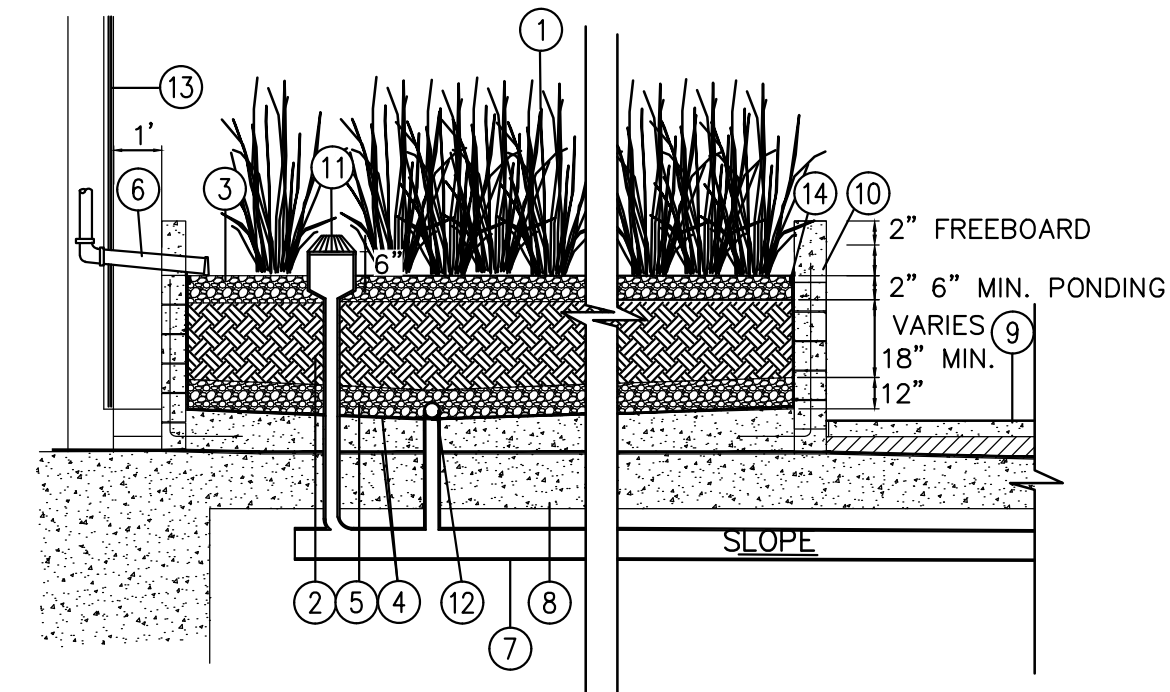


PERVIOUS PAVEMENT DETAIL
 NO SCALE

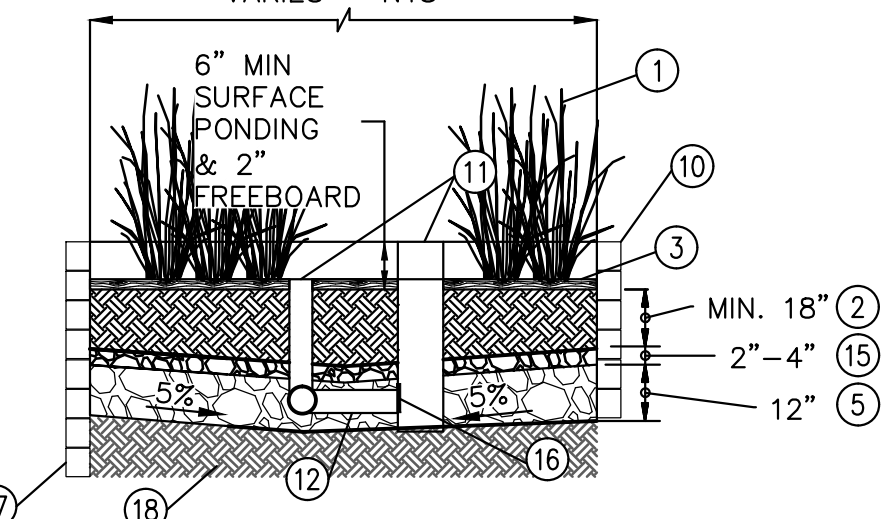
NOTES:
 1. THE UPPER 12 INCHES OF SUBGRADE SHOULD BE SCARIFIED, MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE AND COMPACTED TO AT LEAST 95% RELATIVE COMPACTION. ALL SOFT OR YIELDING AREAS SHOULD BE REMOVED AND REPLACED WITH COMPACTED FILL. AGGREGATE BASE MATERIAL SHOULD BE COMPACTED TO AT LEAST 95% RELATIVE COMPACTION. ALL MATERIALS AND METHODS OF CONSTRUCTION SHOULD CONFORM TO GOOD ENGINEERING PRACTICES AND THE MINIMUM STANDARDS OF THE CITY OF SAN DIEGO.

NOTE:
 ALL DRAINAGE STRUCTURES AND WATERPROOFING ARE DIAGRAMMATIC FOR COORDINATION PURPOSES - REFER TO ARCHITECTURAL AND PLUMBING FOR PRODUCTS AND DETAILS

PLANT TYPES
 CERVIS OCCIDENTALIS
 CHONRORETALUM TECTORUM
 FRAGARIA CHILOENSIS
 JUNCUS PATENS
 MUEHLENBERGIA RIGENS
 POLYSTICHUM MUNITUM
 SISYRINCHUM BELLUM



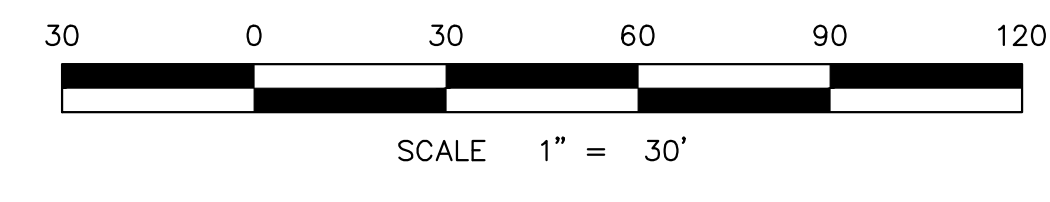
BIO-FILTRATION BASIN DETAIL



BIO-FILTRATION W/ PARTIAL RETENTION BASIN DETAIL

- BIOSWALE PLANTS, SEE PLANT TYPES THIS SHEET.
- ENGINEERED SOIL SPEC. SEE DETAILS BELOW.
- 2" LAYER MULCH
- WATERPROOFING MEMBRANE ASSEMBLY, REFER TO ARCH
- GRAVEL PERMEABLE DRAINAGE LAYER AASHTO #57 STONE
- ROOF OUTLET PER PLUMBING ENGINEER, SIZE, LOCATION VARIES
- BUILDING STORM DRAIN LINE, LOCATION VARIES
- STRUCTURAL ROOF SLAB, REFER TO ARCH AND STRUCTURAL DWGS.
- C.I.P. PLAZA PAVING
- CMU BLOCK PLANTER WALLS, WIDTH VARIES
- SURFACE/OVERFLOW ATRIUM DRAIN/CLEANOUT PER PLUMBING ENGINEER, LOCATION VARIES
- PERFORATED PIPE CONNECTED TO STORM DRAIN PER PLUMBING
- FACE OF BUILDING
- FLASHING, REFER TO ARCH
- FILTER COARSE LAYER WITH WASHED SAND OVER 2" CHINKING STONE.
- LOW FLOW ORIFICE: DRILL 1" DIA HOLE IN 8" PVC CAP (THREADED)
- WATERPROOF CUT OFF WALL IN LOCATIONS ADJACENT TO BUILDING.
- EXISTING UNCOMPACTED SOILS.

***NOTE:** FOR ADDITIONAL INFORMATION SEE LANDSCAPE PLANS.
18" ENGINEERED SOIL SPEC:
 THE ENGINEERED SOIL CONSISTS OF A MIXTURE OF SAND (85 - 88%), FINES (SILT AND CLAY) (8-12%) AND ORGANIC MATTER (3-5%) WITH A MINIMUM INFILTRATION RATE OF 5" HOUR AND ADEQUATE NUTRIENT CONTENT TO MEET PLANT GROWTH REQUIREMENT. CONTRACTOR TO PROVIDE SUBMITTAL OF MATERIAL FOR APPROVAL BEFORE INSTALLATION.



TCR
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DesignARC LA
2558 OVERLAND AVE
LOS ANGELES CA 90064

310 204 8950
Project Address:
123 CAMINO DE LA REINA
SAN DIEGO CA 92108
Project Name:
ALEXAN FASHION VALLEY

Legal Description:
LOT 1 OF GOLDEN VALLEY UNIT NO. 1 IN THE
CITY OF SAN DIEGO, COUNTY OF SAN
DIEGO, STATE OF CALIFORNIA, ACCORDING
TO MAP THEREOF NO. 5775 FILED IN THE
OFFICE OF THE COUNTY RECORDER OF SAN
DIEGO COUNTY ON OCTOBER 28, 1972

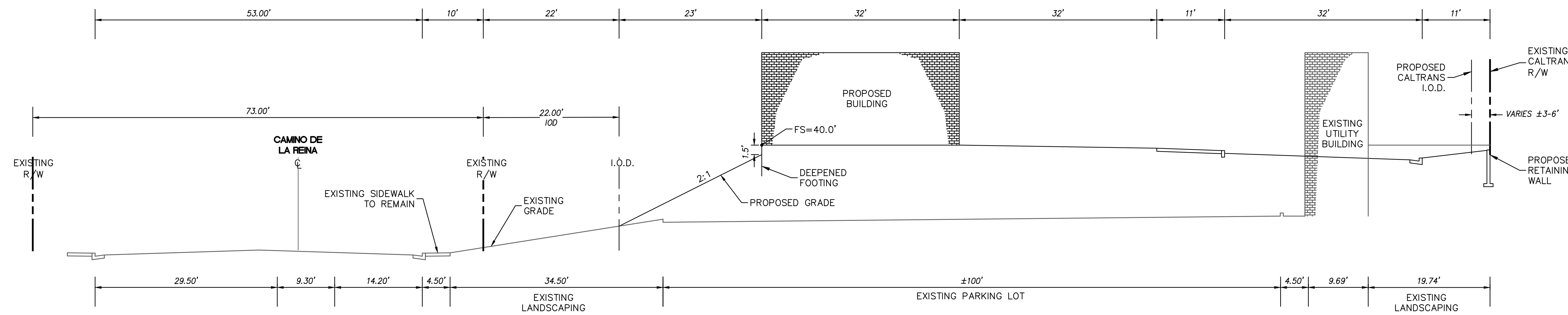
Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: 13 SEPTEMBER 2017
Revision 5: 11 NOVEMBER 2016
Revision 4: 26 OCTOBER 2016
Revision 3: 31 AUGUST 2016
Revision 2: 8 JULY 2016
Revision 1: 10 MAY 2016

Original Date: 12 FEBRUARY 2016

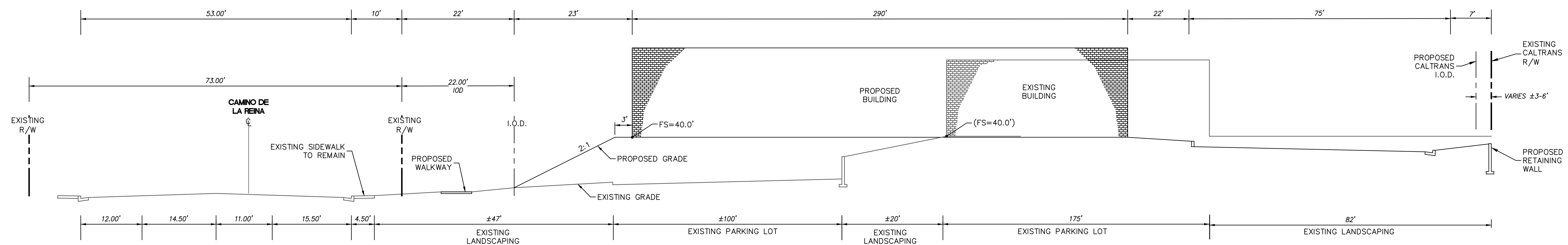
Sheet 35 of 35 sheets

PCD/RPO# _____

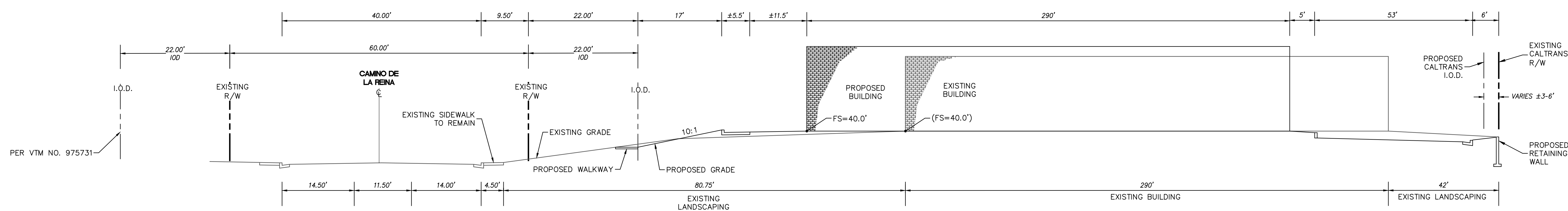
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CROSS SECTIONS



SECTION A-A:
NOT TO SCALE



SECTION B-B:
NOT TO SCALE



SECTION C-C:
NOT TO SCALE

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