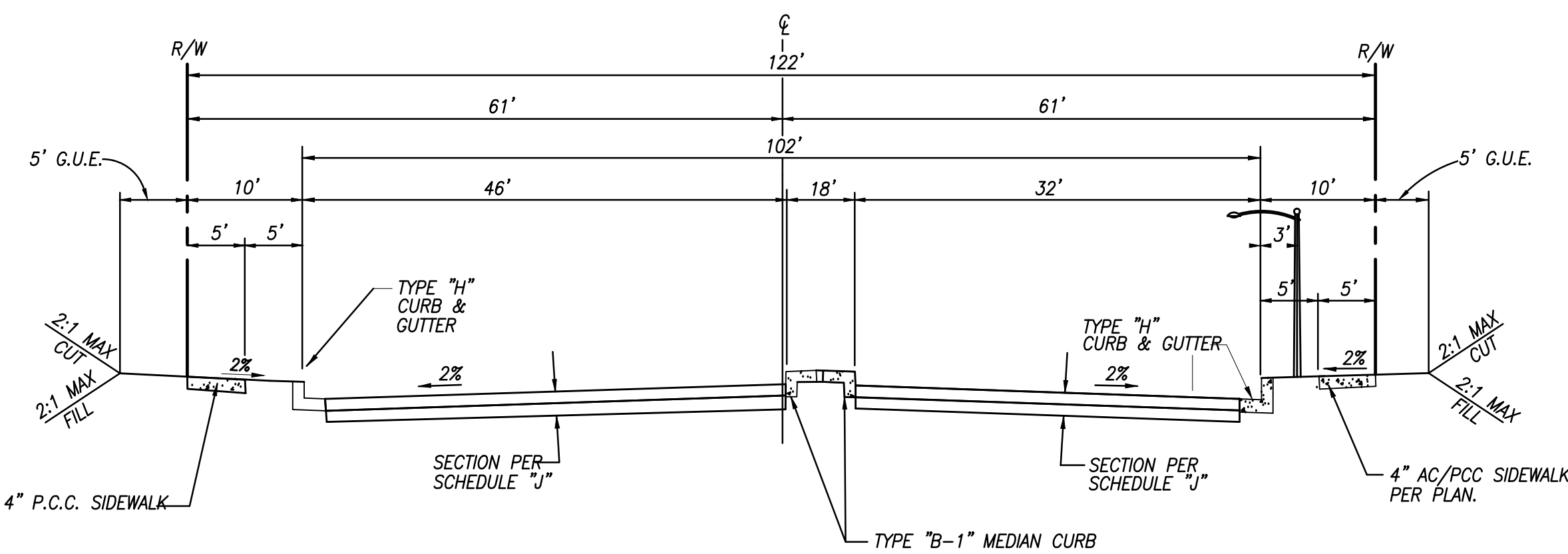
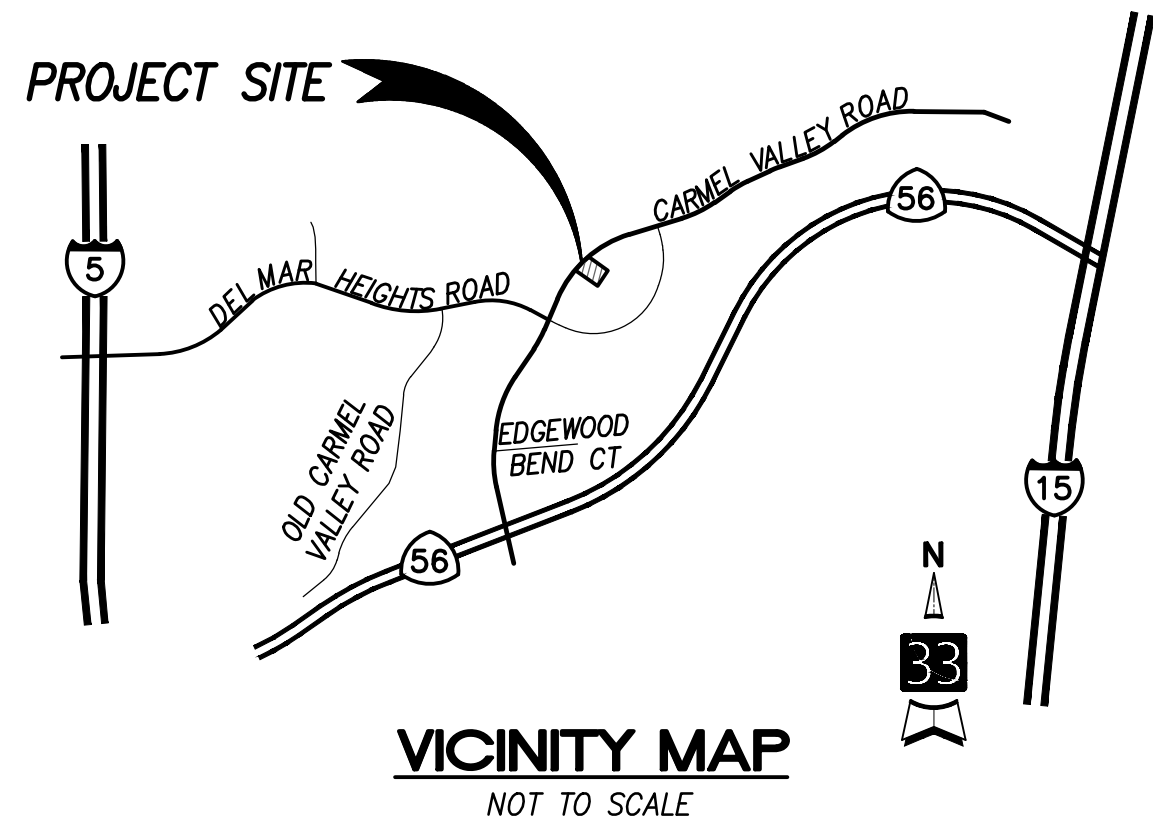
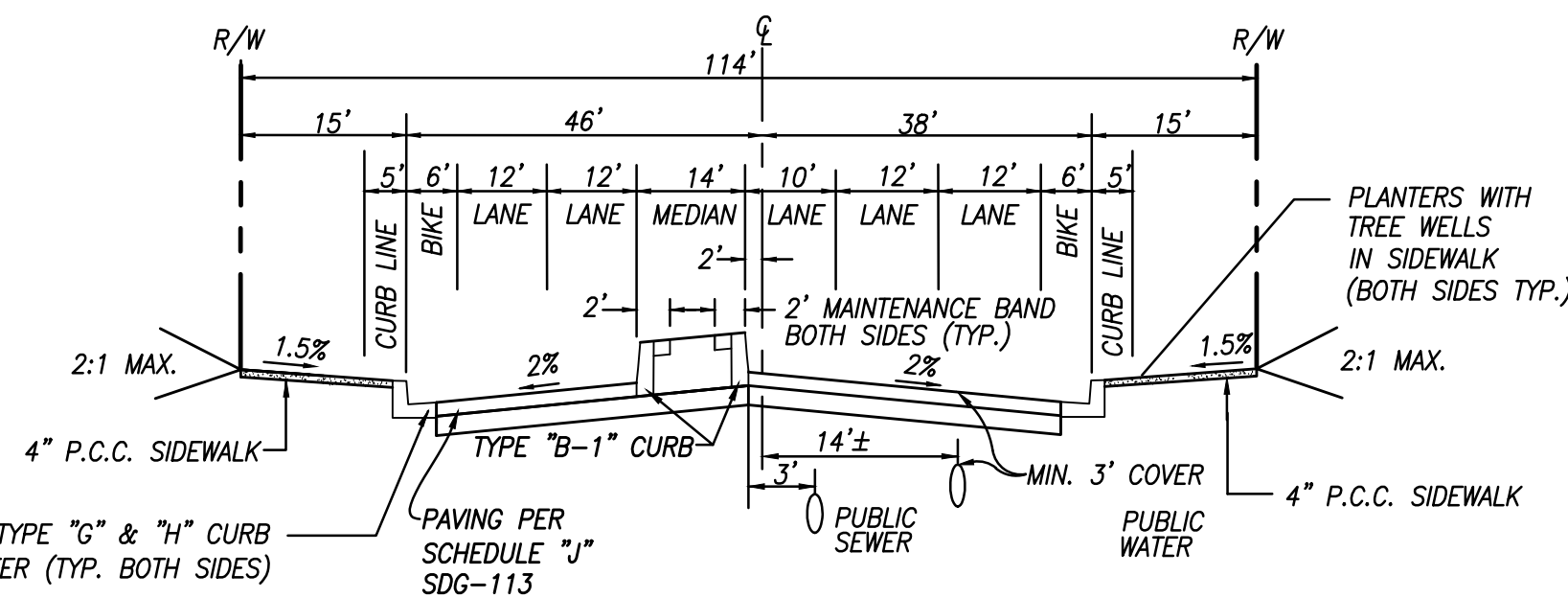


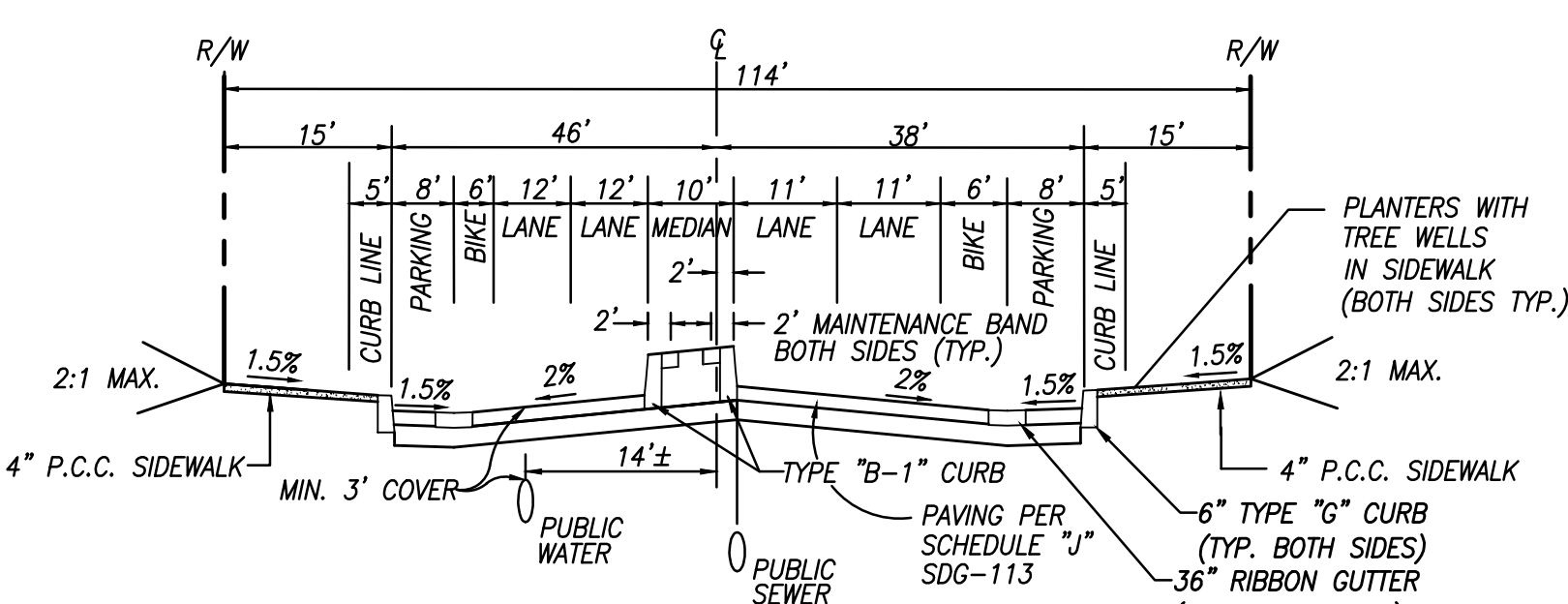
THE VILLAGE at PHR
COMMERCIAL PHASE II
VESTING TENTATIVE MAP NO. 1830253
PLANNED DEVELOPMENT PERMIT NO. 1830261
SITE DEVELOPMENT PERMIT NO. 1830262
CITY OF SAN DIEGO - PTS NO. 519369



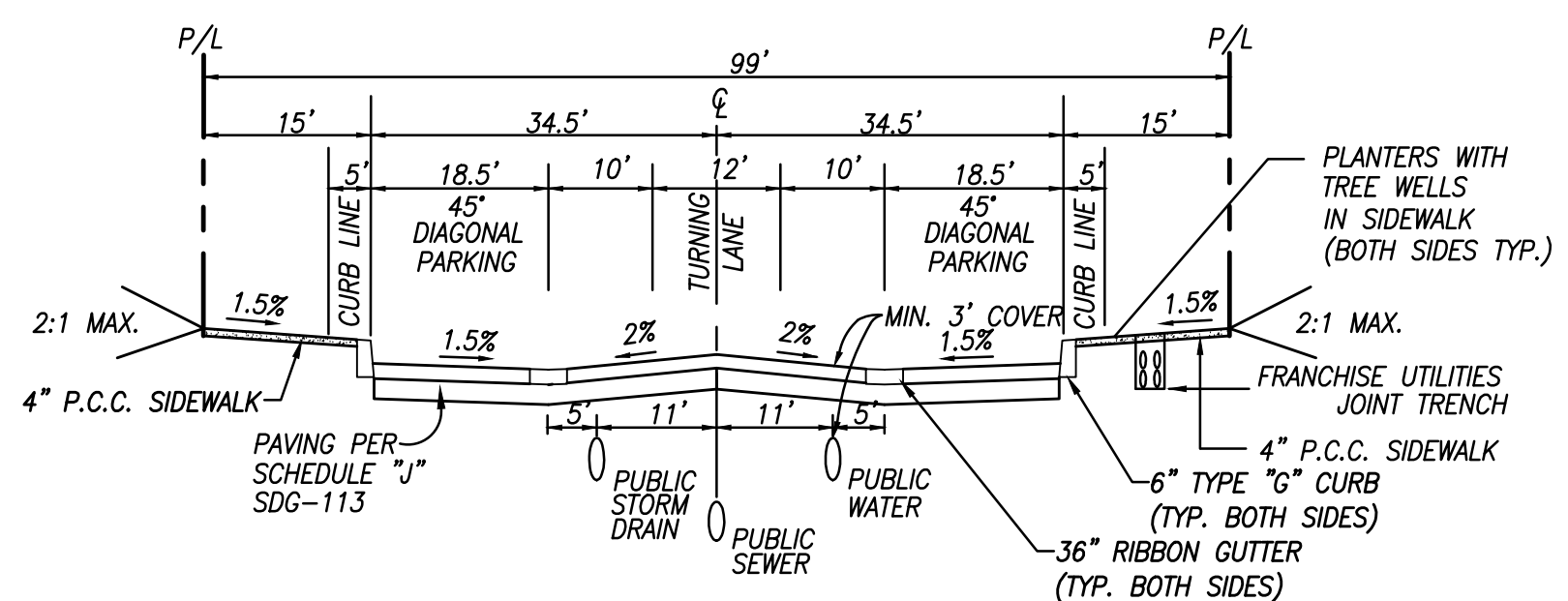
EXISTING CARMEL VALLEY ROAD (PUBLIC)
(PER CITY DWG. 30288-D)
FOUR - LANE COLLECTOR STREET
NOT TO SCALE



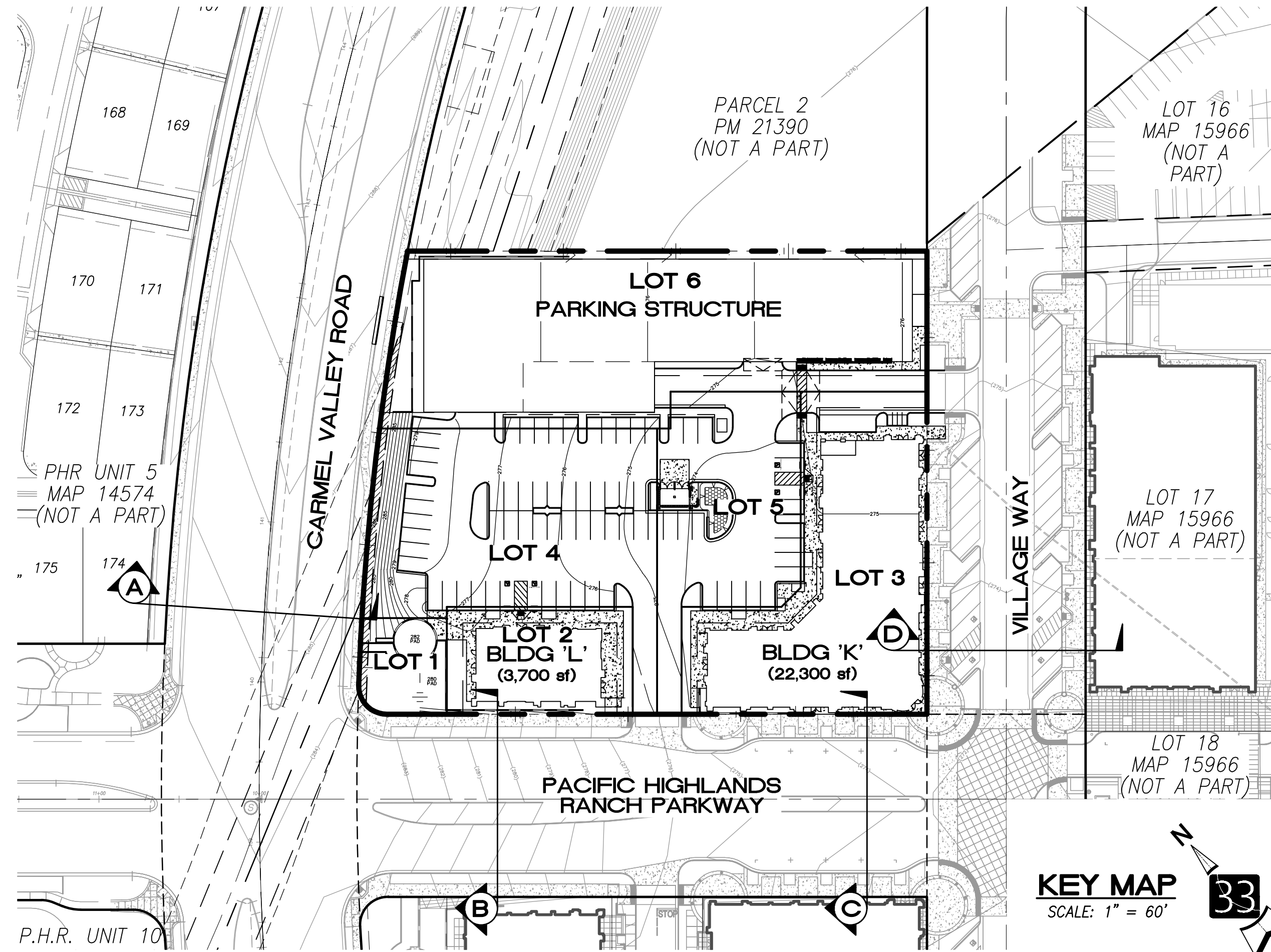
EXISTING PACIFIC HIGHLAND RANCH PARKWAY (PUBLIC)
(PER CITY DWG. 32477-D)
MODIFIED FOUR - LANE URBAN COLLECTOR STREET (NO PARALLEL PKG.)
NOT TO SCALE



EXISTING PACIFIC HIGHLAND RANCH PARKWAY (PUBLIC)
(PER CITY DWG. 37605-D)
MODIFIED FOUR - LANE URBAN COLLECTOR STREET (NO PARALLEL PKG.)
NOT TO SCALE



EXISTING VILLAGE WAY (PUBLIC)
(PER CITY DWG. 37689-D)
TWO LANE URBAN COLLECTOR STREET
NOT TO SCALE



ASSESSOR'S PARCEL NO.
305-010-42 & 44, 305-250-13 THRU 15, 17, & 39

COORDINATE INDEX
1930-6271 NAD 83
LC 290-1711

BENCH MARK

THE BENCHMARK FOR THIS PROJECT PER THE CITY OF SAN DIEGO VERTICAL CONTROL BOOK (OCTOBER 4, 2011) IS A 3/4" IRON PIPE ON THE NORTHERLY SIDE OF CARMEL VALLEY ROAD AT THE INTERSECTION OF CARMEL VALLEY ROAD AND DEL MAR HEIGHTS ROAD. BENCHMARK ELEVATION BASED ON MEAN SEA LEVEL DATUM IS: 504.49528. (SEE PAGE 146 OF 674 OF VERTICAL CONTROL BOOK)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTHERLY LINE OF MAP 15966 IE N88°27'32" W

LOT ACREAGE SUMMARY

LOT	PROPOSED LOT SIZE (ACRES)	PROPOSED LOT SIZE (ACRES)	LOT DESCRIPTION	G.F.A. (SQ FT)	PROPOSED F.A.R.
1	3193	0.07	ENTRY MONUMENTATION	-	-
2	7787	0.18	COMMERCIAL BLDG 'L'	3700	0.48
3	20939	0.48	COMMERCIAL BLDG 'K'	22300	1.06
4	21304	0.49	SURFACE PARKING	-	-
5	12765	0.29	SURFACE PARKING	-	-
6	33249	0.76	PARKING STRUCTURE	-	-
TOTAL	99237.00	2.28	-	26,000	0.26

*THE PROPOSED PARKING STRUCTURE COMPLIES WITH §113.0234 (b)(3)(B)(iii, iii) OF THE SAN DIEGO MUNICIPAL CODE.

DEVIATIONS TABLE

REGULATION	SDMC SECTION	LOT #	REQUIRED	PROPOSED
LOT AREA	131.0531(c), Table 131-05E	1	5,000 sf	3,197 sf
LOT WIDTH	131.0531(c), Table 131-05E	1	100' MIN	54'
		5	100' MIN	90'
SIDE SETBACK	131.0531(c), Table 131-05E, 131.0543(b)(1)	6	0' or 10' MIN	5' MIN
RETAINING WALL HEIGHT	142.03	3	9' MAX	10.5'

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:
A VESTING TENTATIVE MAP, SITE DEVELOPMENT PERMIT, AND A PLANNED DEVELOPMENT PERMIT FOR PROPOSED PARKING STRUCTURE AND 26,000 S.F. OF COMMERCIAL SPACE, REZONE, EASEMENT & RIGHT-OF-WAY VACATION.
- STREET ADDRESS: 6020 VILLAGE WAY SAN DIEGO, CA 92130
- SITE AREA:
TOTAL SITE AREA (GROSS): 2.28 ACRES, 99,237 S.F.
TOTAL SITE AREA (NET): 2.25 ACRES, 97,830 S.F.
*NET SITE AREA EXCLUDES PUBLIC EASEMENTS.
- ZONING: CC-1-3 AND URBAN VILLAGE OVERLAY ZONE.
- COVERAGE DATA:
ALLOWED F.A.R. = 0.75
TOTAL GROSS FLOOR AREA: 26,000 S.F.
PROPOSED F.A.R. = 0.26
- DENSITY:
NUMBER OF EXISTING DWELLING UNITS TO REMAIN ON SITE: NONE
NUMBER OF PROPOSED DWELLING UNITS ON SITE: NONE
- YARD/SETBACK:
FRONT YARD: REQUIRED: NONE PROPOSED: NONE
STREET SIDE YARD: REQUIRED: NONE PROPOSED: NONE
SIDE YARD: REQUIRED: 0'/10' PROPOSED: 5'
REAR YARD: REQUIRED: 0'/10' PROPOSED: 10' MIN
- PARKING:
TOTAL NUMBER OF PARKING SPACES REQUIRED: 130
TOTAL NUMBER OF PARKING SPACES PROVIDED: 200
(SEE ARCHITECTURAL PLANS FOR DETAILED PARKING CALCULATIONS.)
- BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT.
- DEVIATIONS: LOT AREA, LOT WIDTH, SIDE YARD SETBACK, AND RETAINING WALL HEIGHT. SEE DEVIATIONS TABLE BELOW FOR MORE INFORMATION.
- TYPE OF CONSTRUCTION: MODIFIED 1B
- OCCUPANCY CLASSIFICATION: R-2
- GEOLOGIC HAZARD CATEGORY: 53
- LANDSCAPE AREA SQUARE FOOTAGE: 13,913 SQUARE FEET.
- MAXIMUM STRUCTURE HEIGHT:
ALLOWED: 45' PROPOSED: 45'

SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS PROJECT PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISION OF SECTION 66473.1 OF THE STATE SUBDIVISION MAP ACT.

EXISTING LEGAL DESCRIPTION

LOTS 11, 12, 13, & 15 OF THE VILLAGE AT PACIFIC HIGHLANDS RANCH UNIT 2 & 3 FINAL MAP NO. 15966 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY FEBRUARY 21, 2014 AS FILE NO. 2014-0072584. TOGETHER WITH PARCELS 1 & 3 OF PARCEL MAP NO. 21390 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, SEPTEMBER 16, 2016 AS FILE NO. 2016-7000396.

PROPOSED LEGAL DESCRIPTION

BEING A SUBDIVISION OF LOTS 11, 12, 13, & 15 OF THE VILLAGE AT PACIFIC HIGHLANDS RANCH UNIT 2 & 3 FINAL MAP NO. 15966 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY FEBRUARY 21, 2014 AS FILE NO. 2014-0072584. TOGETHER WITH PARCELS 1 & 3 OF PARCEL MAP NO. 21390 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, SEPTEMBER 16, 2016 AS FILE NO. 2016-7000396.

STORM WATER NOTE

ADDENDUMS TO THE TECHNICAL STUDIES APPROVED UNDER PTS NO.'S 326289 & 335209 HAVE BEEN PROVIDED FOR REVIEW WHICH ADDRESS THE CHANGES PROPOSED BY THIS AMENDED VESTING TENTATIVE MAP.

MAPPING NOTE

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED. ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

SIDEWALK CAFES

PRIOR TO INSTALLATION OF ANY FURNITURE OR IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY AND PRIOR TO OPERATION OF A SIDEWALK CAFE, A SIDEWALK CAFE MAINTENANCE AND REMOVAL AGREEMENT SHALL BE RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AND THE OWNER/PERMITEE SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT OR BUILDING PERMIT AS APPLICABLE.

GENERAL NOTES

- SUMMARY OF REQUEST:
A VESTING TENTATIVE MAP, SITE DEVELOPMENT PERMIT, AND A PLANNED DEVELOPMENT PERMIT FOR PROPOSED PARKING STRUCTURE AND 26,000 S.F. OF COMMERCIAL SPACE, REZONE, EASEMENT & RIGHT-OF-WAY VACATION.
- STREET ADDRESS: 6020 VILLAGE WAY SAN DIEGO, CA 92130
- SITE AREA:
TOTAL SITE AREA (GROSS): 2.28 ACRES, 99,237 S.F.
TOTAL SITE AREA (NET): 2.25 ACRES, 97,830 S.F.
*NET SITE AREA EXCLUDES PUBLIC EASEMENTS.
- ZONING: CC-1-3 AND URBAN VILLAGE OVERLAY ZONE.
- COVERAGE DATA:
ALLOWED F.A.R. = 0.75
TOTAL GROSS FLOOR AREA: 26,000 S.F.
PROPOSED F.A.R. = 0.26
- DENSITY:
NUMBER OF EXISTING DWELLING UNITS TO REMAIN ON SITE: NONE
NUMBER OF PROPOSED DWELLING UNITS ON SITE: NONE
- YARD/SETBACK:
FRONT YARD: REQUIRED: NONE PROPOSED: NONE
STREET SIDE YARD: REQUIRED: NONE PROPOSED: NONE
SIDE YARD: REQUIRED: 0'/10' PROPOSED: 5'
REAR YARD: REQUIRED: 0'/10' PROPOSED: 10' MIN
- PARKING:
TOTAL NUMBER OF PARKING SPACES REQUIRED: 130
TOTAL NUMBER OF PARKING SPACES PROVIDED: 200
(SEE ARCHITECTURAL PLANS FOR DETAILED PARKING CALCULATIONS.)
- BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT.
- DEVIATIONS: LOT AREA, LOT WIDTH, SIDE YARD SETBACK, AND RETAINING WALL HEIGHT. SEE DEVIATIONS TABLE BELOW FOR MORE INFORMATION.
- TYPE OF CONSTRUCTION: MODIFIED 1B
- OCCUPANCY CLASSIFICATION: R-2
- GEOLOGIC HAZARD CATEGORY: 53
- LANDSCAPE AREA SQUARE FOOTAGE: 13,913 SQUARE FEET.
- MAXIMUM STRUCTURE HEIGHT:
ALLOWED: 45' PROPOSED: 45'

GRADING DATA

- TOTAL AMOUNT OF SITE TO BE GRADED: 2.25 AC.
- PERCENT OF TOTAL SITE GRADED: 98.7%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 0.12 AC.
- PERCENT OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 100%
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 5.3%
- AMOUNT OF CUT: 8,776 CUBIC YARDS
- AMOUNT OF FILL: 115 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPES: 0' FEET 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPES: 7' FEET 2:1 SLOPE RATIO
- AMOUNT OF EXPORT: 8,661 CUBIC YARDS

OWNER SIGNATURE

OWNER/APPLICANT: DANIEL J. CURRAN V.P.
PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9908 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634
ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506
LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TRENA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

latitude 33
PLANNING & ENGINEERING
9908 Hibert Street, 2nd Floor, San Diego, CA 92131
Tel: 858.751.0633

Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:

THE VILLAGE at PHR
COMMERCIAL PHASE II

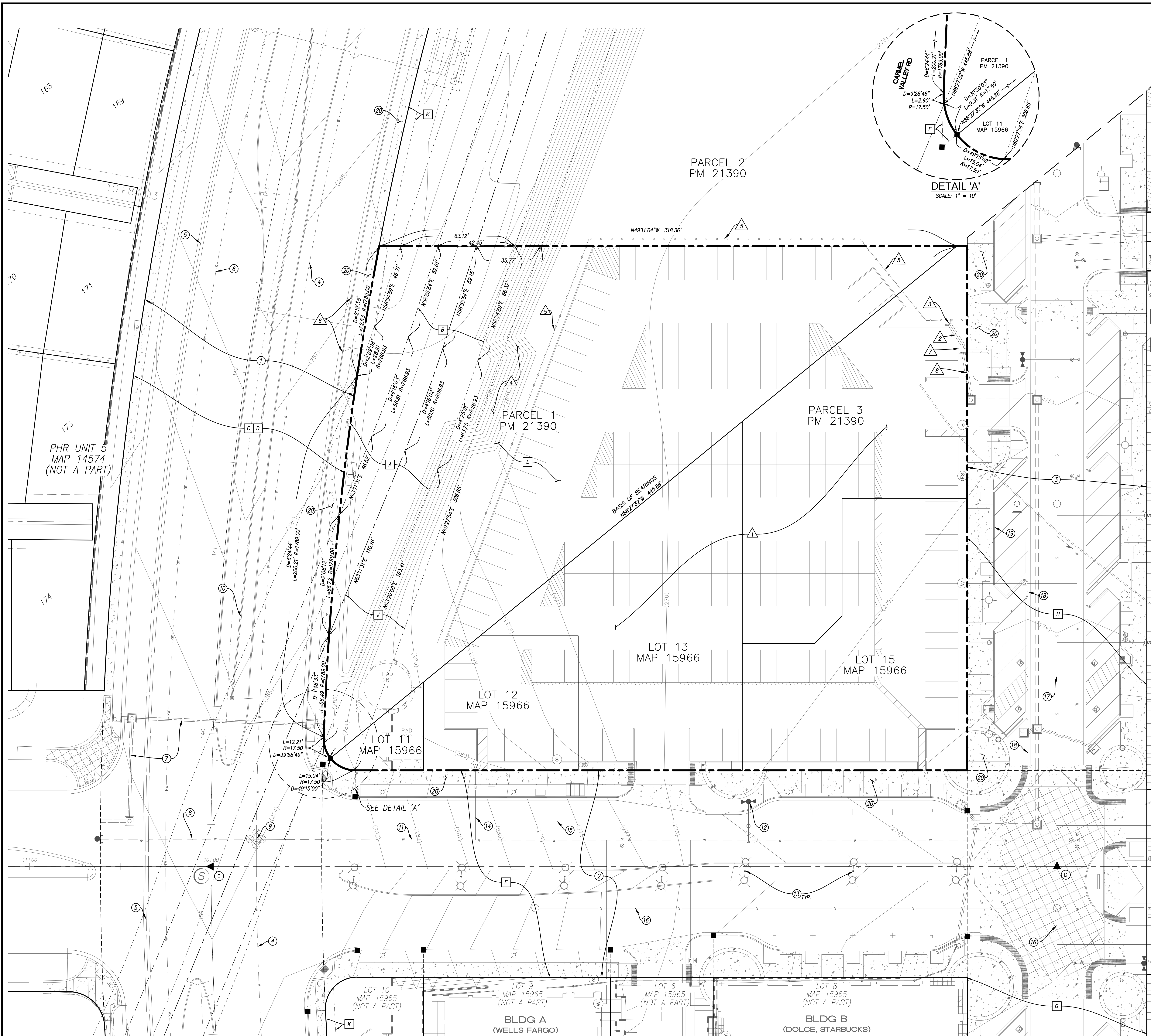
THE VILLAGE at PHR
COMMERCIAL PHASE II
Sheet Title:
COVER SHEET

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: 07/20/2017
Revision 3: 04/13/2017
Revision 2: 02/10/2017
Revision 1: 11/23/2016

Original Date: 10/24/2016

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PTS# 519369



EXISTING EASEMENTS

- A BLACK MOUNTAIN ROAD DEDICATED PER DOCUMENT RECORDED SEPTEMBER 01, 1982 AS FILE NO. 82-271463 O.R.
- B OLD SURVEY NO. 57 (KNOWN AS BLACK MOUNTAIN ROAD), DEDICATED PER BOARD OF SUPERVISORS MINUTES, FEB. 27, 1886, BOOK 7, PAGE 200
- C CARMEL VALLEY ROAD DEDICATED PER DOCUMENT RECORDED SEPTEMBER 19, 2003 AS FILE NO. 2003-1154955, O.R. (CITY DWG NO. 00031-C)
- D PUBLIC STREET EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED JANUARY 28, 2004 AS FILE NO. 2004-0066117, O.R.
- E PORTION OF PACIFIC HIGHLANDS RANCH PARKWAY DEDICATED PER MAP NO. 15965 RECORDED FEBRUARY 21, 2014 AS FILE NO. 2014-0072583, O.R.
- F PORTION OF PACIFIC HIGHLANDS RANCH PARKWAY DEDICATED PER PARCEL MAP NO. 21390.
- G PORTION OF VILLAGE WAY DEDICATED PER MAP NO. 15965 RECORDED FEBRUARY 21, 2014 AS FILE NO. 2014-0072583, O.R.
- H PORTION OF VILLAGE WAY DEDICATED PER MAP NO. 15966 RECORDED FEBRUARY 21, 2014 AS FILE NO. 2014-0072584, O.R.
- J WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED MARCH 12, 1971 AS INSTRUMENT NO. 47149, O.R.
- K 5' WIDE GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED SEPTEMBER 19, 2003 AS INSTRUMENT NO. 2003-1155028, O.R. (CITY DWG NO. 00031-C)
- L BUILDING RESTRICTED EASEMENT OVER ALL OF PARCEL 1 OF PM 21390 GRANTED TO THE CITY OF SAN DIEGO PER PARCEL MAP 21390 RECORDED SEPTEMBER 16, 2016 AS FILE NO. 2016-7000396

EASEMENT VACATION NOTES

ALL PORTIONS OF EASEMENTS 'A', 'B', 'J', 'K', & 'L' LISTED ABOVE WHICH FALL WITHIN THE PROJECT BOUNDARY WILL BE VACATED ON THE PROJECT FINAL MAP.

NON-PLOTTABLE EASEMENTS

AN EXISTING PARKING EASEMENT AGREEMENT BETWEEN THE OWNERS OF THE VILLAGE AT PHR UNITS 1-3 RECORDED FEBRUARY 28, 2014 AS DOCUMENT NO. 2014-0080610, O.R.

A DOCUMENT ENTITLED "PARKING EASEMENT AGREEMENT (RESIDENT PARCELS AND COMMERCIAL PARCELS)", DATED FEBRUARY 25, 2014, EXECUTED BY PHR VILLAGE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND PHR VILLAGE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED FEBRUARY 28, 2014 AS FILE NO. 2014-0080609 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANT AND RESERVATION OF EASEMENTS BETWEEN THE COMMERCIAL SITE AND THE RESIDENTIAL SITE AT THE VILLAGE AT PACIFIC HIGHLANDS RANCH" RECORDED SEPTEMBER 24, 2014 AS INSTRUMENT NO. 2014-0413926 OF OFFICIAL RECORDS.

MATTER CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: DECLARATION OF EASEMENTS (THE VILLAGE AT PACIFIC HIGHLANDS RANCH)
RECORDING DATE: MARCH 23, 2015
RECORDING NO. 2015-0133648 OF OFFICIAL RECORDS

EXISTING CONDITIONS NOTES

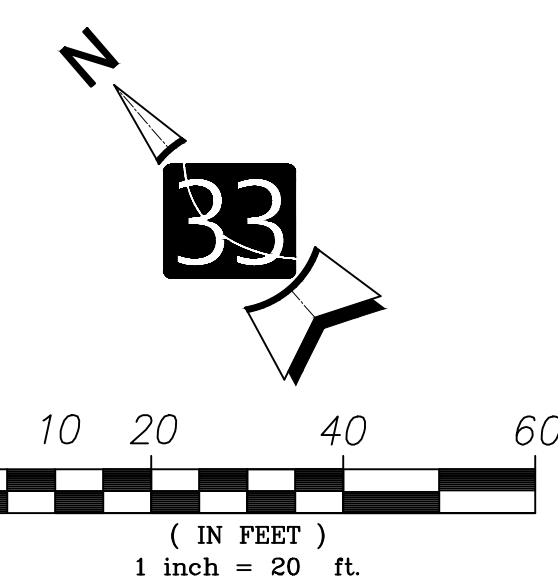
- 1 EXISTING IMPROVEMENTS PER DWG NO 30228-D
- 2 EXISTING IMPROVEMENTS PER DWG NO 37605-D
- 3 EXISTING IMPROVEMENTS PER DWG NO 37605-D
- 4 EXISTING 16" PVC PRESSURE RATING 235 WATER LINE PER DWG NO 30228-D
- 5 EXISTING 30" C.M.L.&C. STEEL WATER LINE PER DWG NO 30228-D
- 6 EXISTING 12" PVC RECLAIMED WATER LINE PER DWG NO 30228-D
- 7 EXISTING 18" RCP STORM DRAIN PER DWG NO 32010-D
- 8 EXISTING 12" PVC WATER LINE PER DWG NO 30228-D
- 9 EXISTING 16"x12" CROSS PER DWG NO 32010-D
- 10 EXISTING 10" PVC STORM DRAIN PER DWG NO 37605-D
- 11 EXISTING 12" PVC WATER LINE PER DWG NO 37605-D
- 12 EXISTING FIRE HYDRANT PER DWG NO 37605-D
- 13 EXISTING PACIFIC HIGHLANDS RANCH PARKWAY STREET LIGHTS PER DWG NO 37605-D
- 14 EXISTING WATER SERVICE LATERAL AND METER PER DWG NO 37605-D
- 15 EXISTING SEWER LATERAL PER DWG NO 37605-D
- 16 EXISTING 8" PVC SDR 35 SEWER LINE PER DWG NO 37605-D
- 17 EXISTING 8" PVC SEWER PER DWG NO 37689-D
- 18 EXISTING CURB & GUTTER TO REMAIN
- 19 EXISTING CURB TO REMAIN
- 20 EXISTING SIDEWALK TO REMAIN

DEMOLITION NOTES

- 1 EXISTING ASPHALT PARKING LOT TO BE REMOVED
- 2 EXISTING STORM DRAIN TO BE REMOVED
- 3 EXISTING CONCRETE HEADWALL TO BE REMOVED
- 4 EXISTING 2:1 SLOPE TO BE REMOVED
- 5 EXISTING SILT FENCE TO BE REMOVED
- 6 EXISTING DRIVEWAY CUT TO BE REMOVED AND IN-FILLED PER KEYNOTE 8, SHEET 4.
- 7 EXISTING CLEAN-OUT TO BE REMOVED OR BURIED IN PLACE
- 8 EXISTING STORM DRAIN PIPE TO BE PLUGGED AND ABANDONED IN PLACE

MONUMENTATION LEGEND

- INDICATES FOUND LEAD AND DISC MARKED "LS 5278" PER FINAL MAP NO. 15965
- INDICATES M10 STREET MONUMENT SET AND MARKED PER NOTES BELOW
- M10 STREET MONUMENT PER FINAL MAP NO. 15966 NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP.
- FOUND M10 STREET MONUMENT W/BRASS DISC MARKED "LS 5278" PER MAP NO. 14817.



Prepared By:

latitude 33
PLANNING & ENGINEERING
5565 Hilbert Street, 2nd Floor, San Diego, CA 92131
Tel: 619.791.0633

Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:

the Village
PACIFIC HIGHLANDS RANCH

THE VILLAGE at PHR
COMMERCIAL PHASE II

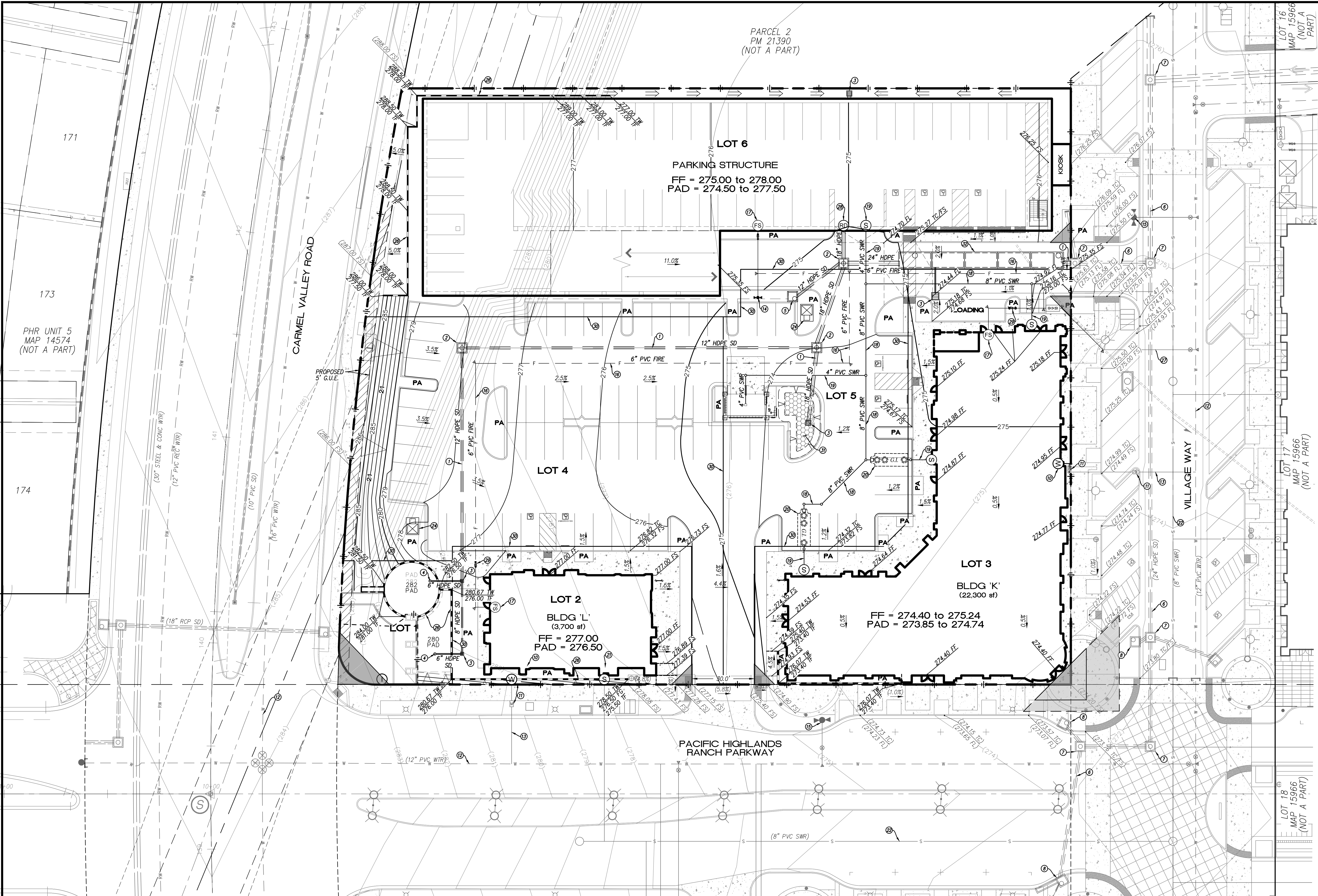
Sheet Title:
EXISTING CONDITIONS

Revision 14: _____
Revision 13: _____
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Revision 11: _____
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Revision 5: _____
Revision 4: 07/20/2017
Revision 3: 04/13/2017
Revision 2: 02/10/2017
Revision 1: 11/23/2016

Original Date: 10/24/2016

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PTS# 519369



LEGEND

PROPOSED PRIVATE STORM DRAIN
PROPOSED PRIVATE STORM DRAIN CLEAN OUT
PROPOSED PRIVATE STORM DRAIN INLET
PROPOSED PRIVATE RETAINING WALL
PROPOSED MAJOR CONTOUR (5' & 10')
PROPOSED MINOR CONTOUR (1' INCREMENTS)
PROPOSED PRIVATE WATER MAIN
PROPOSED PRIVATE WATER SERVICE
PROPOSED CONCRETE THRUST BLOCK
PROPOSED PRIVATE FIRE MAIN
PROPOSED PRIVATE FIRE SERVICE
PROPOSED PRIVATE SEWER MAIN
PROPOSED PRIVATE SEWER LATERAL
PROPOSED BIOFILTRATION BASIN PR-1
PROPOSED LOT LINE
PROPOSED 5' G.U.E.
PROPOSED VISIBILITY TRIANGLES

GRADING + UTILITY NOTES

- PROPOSED PRIVATE STORM DRAIN
- PROPOSED PRIVATE STORM DRAIN CLEAN OUT
- PROPOSED PRIVATE STORM DRAIN CATCH BASIN
- PROPOSED PRIVATE STORM DRAIN AREA DRAIN
- PROPOSED PRIVATE STORM DRAIN CURB INLET
- EXISTING PUBLIC STORM DRAIN
- EXISTING PUBLIC STORM DRAIN CLEAN OUT
- EXISTING PUBLIC STORM DRAIN CURB INLET
- EXISTING PRIVATE STORM DRAIN CURB INLET
- PROPOSED PRIVATE WATER SERVICE
- PROPOSED 2" WATER METER & PRIVATE BACKFLOW PREVENTOR
- EXISTING PUBLIC WATER MAIN
- EXISTING 2" WATER SERVICE
- PROPOSED PRIVATE FIRE HYDRANT
- EXISTING PUBLIC FIRE HYDRANT
- PROPOSED PRIVATE FIRE SERVICE MAIN
- PROPOSED PRIVATE FIRE SERVICE
- PROPOSED PRIVATE SEWER MAIN
- PROPOSED PRIVATE SEWER LATERAL
- PROPOSED PRIVATE SEWER GREASE INTERCEPTOR
- EXISTING SEWER LATERAL
- EXISTING PUBLIC SEWER MAIN
- PROPOSED PRIVATE ELECTRICAL TRANSFORMER
- PROPOSED RETAINING WALL
- EXISTING 6" PVC FIRE SERVICE
- PROPOSED PARKING STRUCTURE ROOF DRAIN POINT OF CONNECTION
- PROPOSED FIRE SERVICE P.I.V. & F.D.C.
- PROPOSED LOT LINE. (SEE SHEET 5 FOR BEARINGS AND DISTANCES)
- PROPOSED BIOFILTRATION BASIN PR-1
- PROPOSED STORAGE VAULTS FOR HMP REQUIREMENTS

STORM WATER NOTES

- ADDENDUMS TO THE TECHNICAL STUDIES (DRAINAGE AND WATER QUALITY) APPROVED UNDER PTS NO.'s 326289 & 335209 HAVE BEEN PROVIDED FOR REVIEW WHICH ADDRESS THE CHANGES PROPOSED BY THIS AMENDED VESTING TENTATIVE MAP.
- A CONSTRUCTION RUN-TO THE UNIT 2&3 GRADING PLAN (PTS 335209, PERMIT NO. 1172182) WILL BE PROCESSED TO MEET THE GRADES PROPOSED HEREIN.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- A STORM WATER MAINTENANCE DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO. 1329098 (DOC NO. 2014-0441086) WAS PREPARED WITH THE APPROVED UNIT 2&3 GRADING PLANS AND SHALL SERVE AS ASSURANCE OF PERMANENT BMP MAINTENANCE OR EXISTING PERMANENT BMPs. A NEW SIMULACRA SHALL BE PREPARED AND RECORDED AS PART OF THE CONSTRUCTION CHANGE FOR PROPOSED PERMANENT BMPs.
- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP - WDD NO. 9 37C368750) WAS PREPARED WITH THE APPROVED UNIT 2&3 GRADING PLANS. A CHANGE OF INFORMATION (COI) WILL BE PREPARED AS PART OF THE CONSTRUCTION CHANGE FOR A NEW SWPPP WILL BE PROVIDED.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTIONS BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE STORM WATER QUALITY REPORT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER.
- DEVELOPMENT OF THE GRANDFATHERED PORTION OF THIS PROJECT (PER WOTR ADDENDUM) SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT IN EFFECT AT THE TIME OF APPROVAL OF THE UNIT 2&3 GRADING PLANS (PTS 335209, PERMIT NO. 1172182), R9-2007-0001.
- DEVELOPMENT OF THE ANNEXED 0.25-ACRE PORTION OF THIS PROJECT (PER WOTR ADDENDUM) SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT IN EFFECT AT THE TIME OF APPROVAL THIS TENTATIVE MAP, R9-2013-0001, NPDES No. CAS0109266.

GRADING DATA

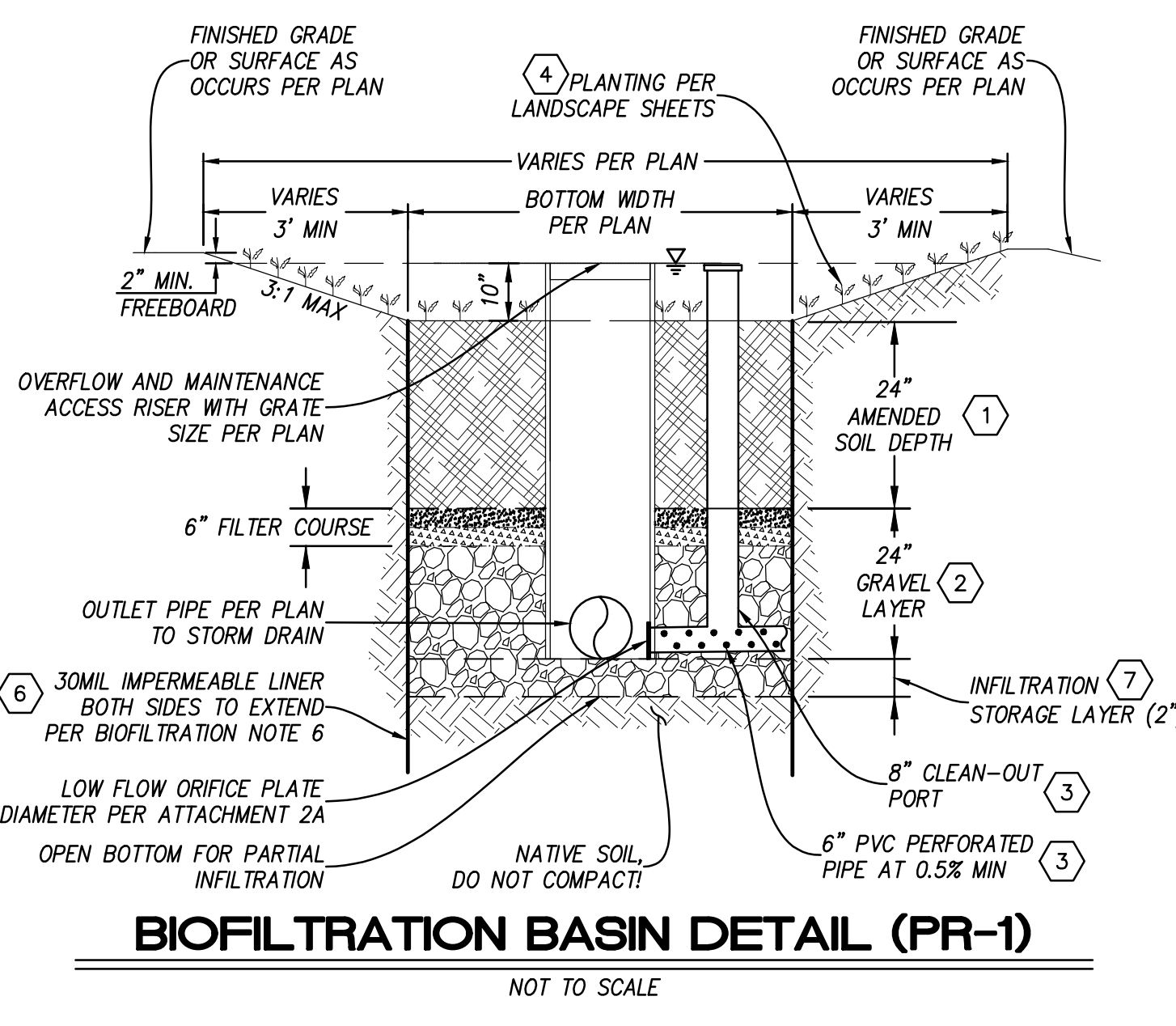
- TOTAL AMOUNT OF SITE TO BE GRADED: 2.25 AC.
- PERCENT OF TOTAL SITE GRADED: 100%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 0.12 AC.
- PERCENT OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 100%
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 5.3%
- AMOUNT OF CUT: 8,776 CUBIC YARDS
- AMOUNT OF FILL: 115 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 0' FEET 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 7' FEET 2:1 SLOPE RATIO
- AMOUNT OF EXPORT: 8,661 CUBIC YARDS

VISIBILITY AREAS
NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT.

UTILITY NOTES
1. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.

BIOFILTRATION BASIN NOTES

- AMENDED SOIL SHALL CONFORM TO THE STANDARD SPECIFICATION PER APPENDIX F.4 OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL AND SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 5 IN/HR OVER THE LIFETIME OF THE FACILITY.
- GRAVEL STORAGE LAYER SHALL CONFORM TO THE STANDARD SPECIFICATION PER APPENDIX F.5 OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL AND SHALL CONSIST OF A MINIMUM 6" FILTER COURSE OVER MINIMUM 12" OF CLEAN WASHED ASTM #57 OPEN GRADED STONE (VARIES PER HYDROMOD CALCS). FILTER COURSE SHALL CONSIST OF 3" LAYER OF CLEAN WASHED ASTM 33 FINE AGGREGATE SAND OVERLYING A 3" LAYER OF ASTM NO. 8 STONE.
- UNDERDRAINS SHALL BE MINIMUM 6" SLOTTED PVC PIPE CONFORMING TO ASTM D3034 OR CORRUGATED HDPE CONFORMING TO AASHTO 252M. CLEANOUT PORTS SHALL BE A MINIMUM 8" DIAMETER WITH LOOKABLE CAP AND PLACED EVERY 50' OF UNDERDRAIN LENGTH.
- BIOFILTRATION BASINS SHALL BE PLANTED WITH ADEQUATE GROUND COVER AS OUTLINED IN APPENDIX E OF THE SAN DIEGO LOW IMPACT DEVELOPMENT DESIGN MANUAL. SEE LANDSCAPE PLANS SHEETS 31, 33, 34, 36 AND 38 FOR PLANTING PLAN. "DEER GRASS" AND "YARROW" ARE THE PROPOSED GROUND COVER FOR THIS PROJECT.
- BF-1 BIOFILTRATION BASINS WHICH DO NOT INCORPORATE ANY INFILTRATION SHALL BE FULLY LINED WITH A 30MIL IMPERMEABLE LINER ON BOTH SIDES AND THE BOTTOM OF THE BASIN EXCAVATION.
- PARTIAL INFILTRATION BIOFILTRATION BASINS (PR-1) SHALL INCORPORATE 30MIL IMPERMEABLE SIDE LINERS. PER GEOTECHNICAL RECOMMENDATIONS, THE SIDE LINERS SHALL EXTEND AS FOLLOWS, WHICHEVER IS DEEPER:
 - 4" BELOW THE BOTTOM OF ADJACENT BUILDING FOOTINGS
 - 2' BELOW THE BOTTOM OF ADJACENT ROAD SECTIONS
 - 1' INTO THE NATIVE SCRIPPS FORMATION/TORREY SANDSTONE WHEN BASIN IS LOCATED WITHIN AREAS OF NEWLY INTRODUCED FILL.
- PARTIAL INFILTRATION BIOFILTRATION BASINS SHALL INCLUDE AN INFILTRATION STORAGE LAYER OF CLEAN WASHED ASTM #57 OPEN GRADED STONE BELOW THE 6" PVC PERFORATED PIPE. DEPTH OF THIS LAYER SHALL VARY PER BASIN BASED ON TESTED INFILTRATION RATE. SEE FORM I-6 AND ATTACHMENT 1e FOR MORE DETAIL.



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Project Name:
the Village
PACIFIC HIGHLANDS RANCH

THE VILLAGE at PHR
COMMERCIAL PHASE II

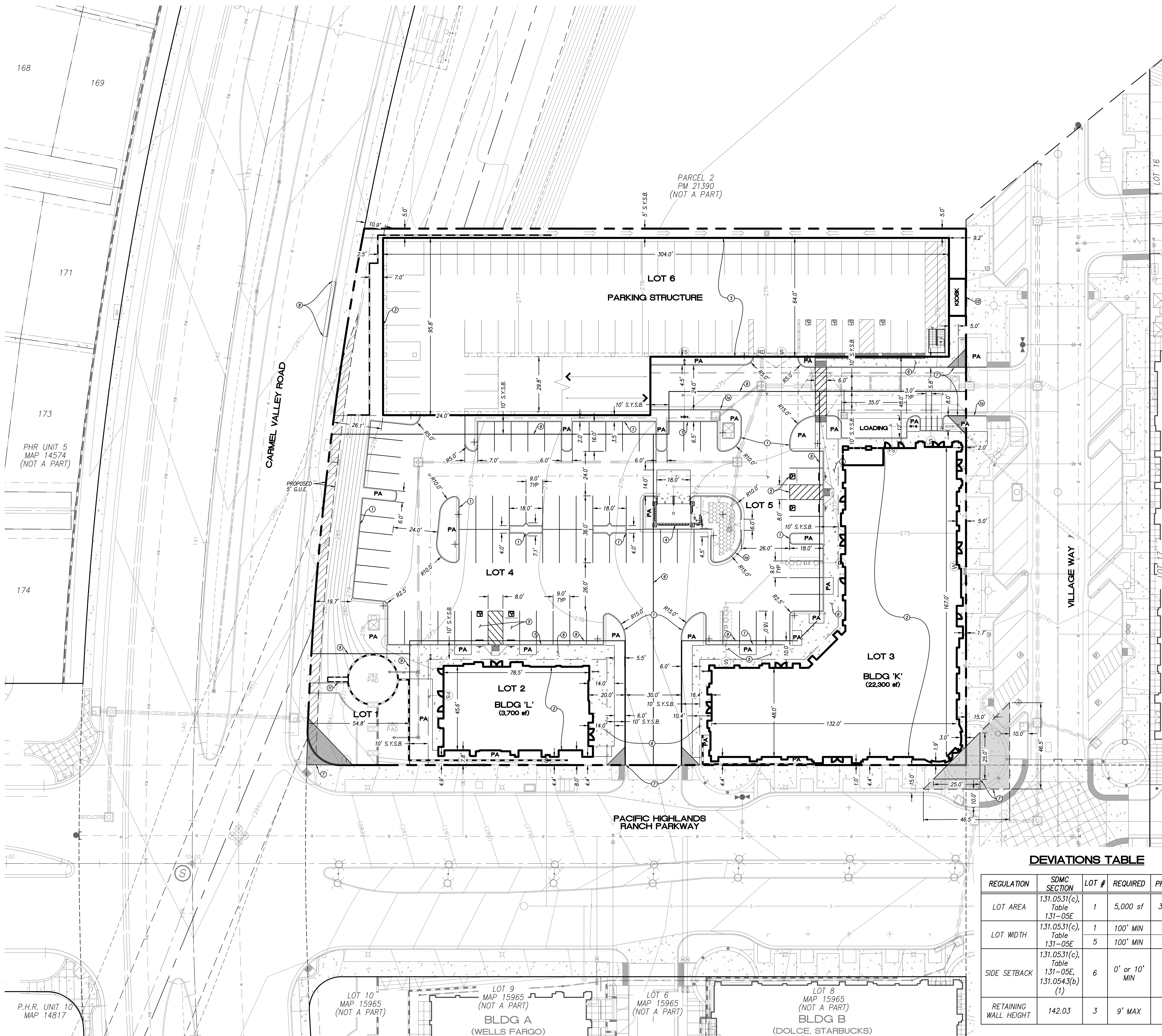
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SITE PLAN LEGEND

- TM BOUNDARY
- PUBLIC RIGHT OF WAY
- PROPOSED LOT LINE
- PROPOSED SETBACK
- PROPOSED 5' G.U.E.
- PROPOSED CURB
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED LANDSCAPED PLANTER AREA
- PROPOSED CURB RAMP
- EXISTING SIGNALIZED INTERSECTION
- PROPOSED VISIBILITY TRIANGLES

DEVELOPMENT SUMMARY

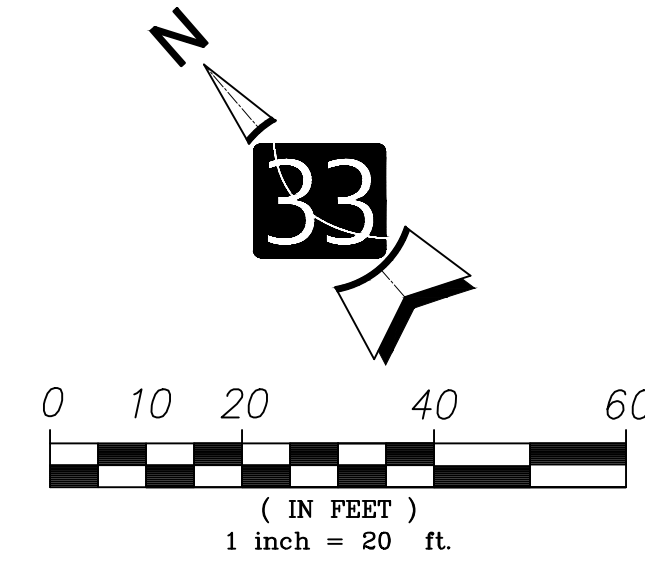
- SUMMARY OF REQUEST:
A VESTING TENTATIVE MAP, SITE DEVELOPMENT PERMIT, AND A PLANNED DEVELOPMENT PERMIT FOR PROPOSED PARKING STRUCTURE AND 26,000 S.F. OF COMMERCIAL SPACE, REZONE, EASEMENT & RIGHT-OF-WAY VACATION.
- STREET ADDRESS: 6020 VILLAGE WAY SAN DIEGO, CA 92130
- SITE AREA:
TOTAL SITE AREA (GROSS): 2.28 ACRES, 99,237 S.F.
TOTAL SITE AREA (NET): 2.25 ACRES, 97,830 S.F.
*NET SITE AREA EXCLUDES PUBLIC EASEMENTS.
- ZONING: CC-1-3 AND URBAN VILLAGE OVERLAY ZONE.
- COVERAGE DATA:
ALLOWED F.A.R. = 0.75
TOTAL GROSS FLOOR AREA: 26,000 S.F.
PROPOSED F.A.R. = 0.26
- DENSITY:
NUMBER OF EXISTING DWELLING UNITS TO REMAIN ON SITE: NONE
NUMBER OF PROPOSED DWELLING UNITS ON SITE: NONE
- YARD/SETBACK:
FRONT YARD: REQUIRED: NONE PROPOSED: NONE
STREET SIDE YARD: REQUIRED: NONE PROPOSED: NONE
SIDE YARD: REQUIRED: 0'/10' PROPOSED: 5'
REAR YARD: REQUIRED: 0'/10' PROPOSED: 10' MIN
- PARKING:
TOTAL NUMBER OF PARKING SPACES REQUIRED: 130
TOTAL NUMBER OF PARKING SPACES PROVIDED: 200
(SEE SHEET ARCHITECTURAL PLANS FOR DETAILED PARKING CALCULATIONS.)
- BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT.
- DEVIATIONS: LOT AREA, LOT WIDTH, SIDE YARD SETBACK, AND RETAINING WALL HEIGHT. SEE DEVIATIONS TABLE BELOW FOR MORE INFORMATION.
- TYPE OF CONSTRUCTION: MODIFIED 1B
- OCCUPANCY CLASSIFICATION: R-2
- GEOLOGIC HAZARD CATEGORY: 53
- LANDSCAPE AREA SQUARE FOOTAGE: 13,913 SQUARE FEET.
- MAXIMUM STRUCTURE HEIGHT:
ALLOWED: 45' PROPOSED: 45'

SITE PLAN NOTES

- PROPOSED 6" CURB PER SDG-151
- PROPOSED 6" CURB & GUTTER PER SDG-151
- PROPOSED COMMERCIAL RETAIL BUILDING LIMITS
- PROPOSED PARKING STRUCTURE LIMITS
- PROPOSED TRASH ENCLOSURE
- PROPOSED ADA ACCESSIBLE PARKING STALL
- PROPOSED SIDEWALK
- PROPOSED VISIBILITY TRIANGLE, NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT.
- PROPOSED IN-FILL OF DEMOLISHED DRIVEWAY WITH CURB & GUTTER TYPE 'H' PER SDG-151
- PROPOSED LOT LINE. (SEE SHEET 5 FOR BEARINGS AND DISTANCES)
- PROPOSED RESERVATION FOR KIOSK USE/TENANT (AREA TO BE FINISHED WITH UNATTACHED UNIT PAVERS PER LANDSCAPE ARCHITECT)
- LOCATION OF PROPOSED MONUMENT SIGN FORMALLY APPROVED PER PREVIOUS APPLICATION (NUP APPROVAL #1249459)

LOT SUMMARY

LAND USE	LOT NO.
ENTRY MONUMENTATION	1
COMMERCIAL	2 & 3
PARKING (SERVES COMMERCIAL)	4, 5, & 6



DEVIATIONS TABLE

REGULATION	SDMC SECTION	LOT #	REQUIRED	PROPOSED
LOT AREA	131.0531(c), Table 131-05E	1	5,000 sf	3,197 sf
LOT WIDTH	131.0531(c), Table 131-05E	1	100' MIN	54'
		5	100' MIN	90'
SIDE SETBACK	131.0531(c), Table 131-05E, 131.0543(b) (1)	6	0' or 10' MIN	5' MIN
RETAINING WALL HEIGHT	142.03	3	9' MAX	10.5'

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THE VILLAGE at PHR
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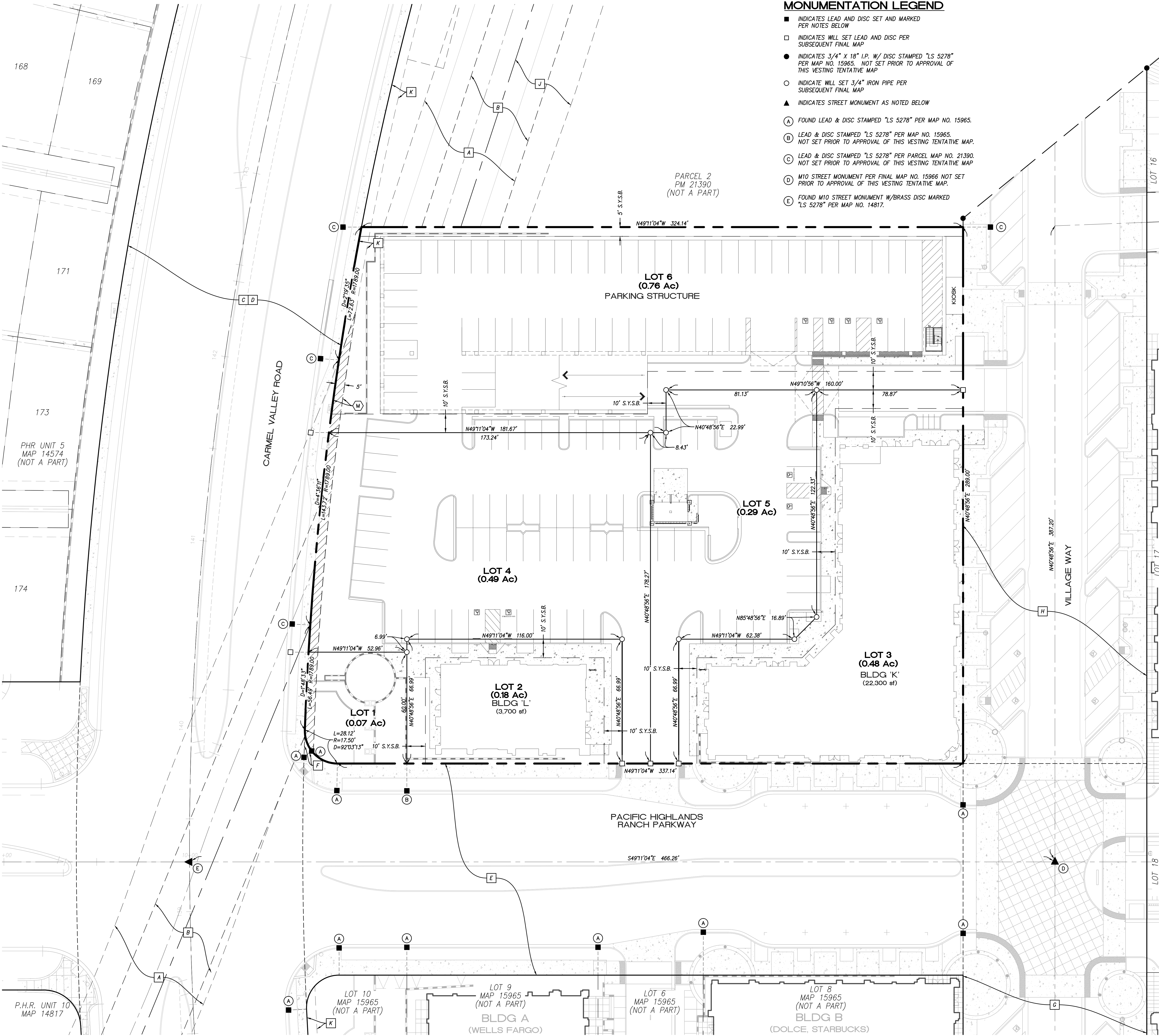
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MONUMENTATION LEGEND

- INDICATES LEAD AND DISC SET AND MARKED PER NOTES BELOW
- INDICATES WILL SET LEAD AND DISC PER SUBSEQUENT FINAL MAP
- INDICATES 3/4" X 18" I.P. W/ DISC STAMPED "LS 5278" PER MAP NO. 15965. NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP
- LEAD & DISC STAMPED "LS 5278" PER PARCEL MAP NO. 21390. NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP
- M10 STREET MONUMENT PER FINAL MAP NO. 15966 NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP
- FOUND M10 STREET MONUMENT W/BRASS DISC MARKED "LS 5278" PER MAP NO. 14817.
- FOUND LEAD & DISC STAMPED "LS 5278" PER MAP NO. 15965.
- LEAD & DISC STAMPED "LS 5278" PER MAP NO. 15965. NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP.
- LEAD & DISC STAMPED "LS 5278" PER PARCEL MAP NO. 21390. NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP
- M10 STREET MONUMENT PER FINAL MAP NO. 15966 NOT SET PRIOR TO APPROVAL OF THIS VESTING TENTATIVE MAP
- FOUND M10 STREET MONUMENT W/BRASS DISC MARKED "LS 5278" PER MAP NO. 14817.

LEGEND

- T.M. BOUNDARY
- RIGHT-OF-WAY
- LOTLINE
- EASEMENT
- ROAD CENTERLINE
- SETBACK LINE
- LOT NUMBER

EXISTING EASEMENTS

- BLACK MOUNTAIN ROAD DEDICATED PER DOCUMENT RECORDED SEPTEMBER 01, 1982 AS FILE NO. 82-271463 O.R.
- OLD SURVEY NO. 57 (KNOWN AS BLACK MOUNTAIN ROAD) DEDICATED PER BOARD OF SUPERVISORS MINUTES, FEB. 27, 1986, BOOK 7, PAGE 200
- CARMEL VALLEY ROAD DEDICATED PER DOCUMENT RECORDED SEPTEMBER 19, 2003 AS FILE NO. 2003-1154955, O.R. (CITY DWG NO. 00031-C)
- PUBLIC STREET EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED JANUARY 28, 2004 AS FILE NO. 2004-0066117, O.R.
- PORTION OF PACIFIC HIGHLANDS RANCH PARKWAY DEDICATED PER MAP NO. 15965 RECORDED FEBRUARY 21, 2014 AS FILE NO. 2014-0072583, O.R.
- PORTION OF PACIFIC HIGHLANDS RANCH PARKWAY DEDICATED PER PARCEL MAP NO. 21390.
- PORTION OF VILLAGE WAY DEDICATED PER MAP NO. 15965 RECORDED FEBRUARY 21, 2014 AS FILE NO. 2014-0072583, O.R.
- PORTION OF VILLAGE WAY DEDICATED PER MAP NO. 15966 RECORDED FEBRUARY 21, 2014 AS FILE NO. 2014-0072584, O.R.
- WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED MARCH 12, 1971 AS INSTRUMENT NO. 47149, O.R.
- 5' WIDE GENERAL UTILITY AND ACCESS EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED SEPTEMBER 19, 2003 AS INSTRUMENT NO. 2003-1155028, O.R. (CITY DWG NO. 00031-C)
- BUILDING RESTRICTED EASEMENT OVER ALL OF PARCEL 1 OF PM 21390 GRANTED TO THE CITY OF SAN DIEGO PER PARCEL MAP 21390 RECORDED SEPTEMBER 16, 2016 AS FILE NO. 2016-7000396

NON-PLOTTABLE EASEMENTS

AN EXISTING PARKING EASEMENT AGREEMENT BETWEEN THE OWNERS OF THE VILLAGE AT PHR UNITS 1-3 RECORDED FEBRUARY 28, 2014 AS DOCUMENT NO. 2014-0080610, O.R.

A DOCUMENT ENTITLED "PARKING EASEMENT AGREEMENT (RESIDENT PARCELS AND COMMERCIAL PARCELS)", DATED FEBRUARY 25, 2014, EXECUTED BY PHR VILLAGE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND PHR VILLAGE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED FEBRUARY 28, 2014 AS FILE NO. 2014-0080609 OF OFFICIAL RECORDS.

THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANT AND RESERVATION OF EASEMENTS BETWEEN THE COMMERCIAL SITE AND THE RESIDENTIAL SITE AT THE VILLAGE AT PACIFIC HIGHLANDS RANCH" RECORDED SEPTEMBER 24, 2014 AS INSTRUMENT NO. 2014-0413926 OFFICIAL RECORDS.

MATTER CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: DECLARATION OF EASEMENTS (THE VILLAGE AT PACIFIC HIGHLANDS RANCH) RECORDED DATE: MARCH 23, 2015 RECORDING NO. 2015-0133648 OF OFFICIAL RECORDS

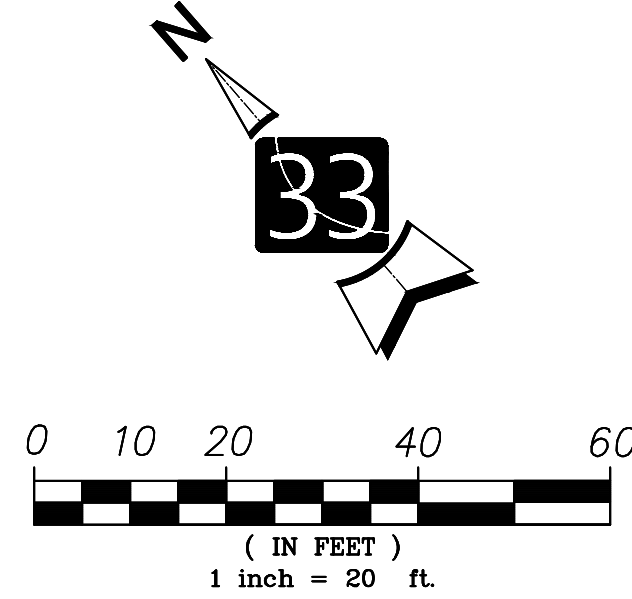
PROPOSED EASEMENTS

- 5' WIDE G.U.E. TO BE GRANTED TO THE CITY OF SAN DIEGO PER PROPOSED FINAL MAP.

LOT ACREAGE SUMMARY

LOT	PROPOSED LOT SIZE (ACRES)	PROPOSED LOT SIZE (ACRES)	LOT DESCRIPTION	G.F.A. (SQ FT)	PROPOSED F.A.R.
1	3194	0.07	ENTRY MONUMENTATION	-	-
2	7787	0.18	COMMERCIAL BLDG 'L'	3700	0.48
3	20939	0.48	COMMERCIAL BLDG 'K'	22300	1.06
4	21304	0.49	SURFACE PARKING	-	-
5	12765	0.29	SURFACE PARKING	-	-
6	33249	0.76	PARKING STRUCTURE	-	-
TOTAL	99238.00	2.28	-	26,000	0.26

*THE PROPOSED PARKING STRUCTURE COMPLIES WITH 8113.0234 (b)(3)(B)(iii, iv) OF THE SAN DIEGO MUNICIPAL CODE.



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THE VILLAGE at PHR
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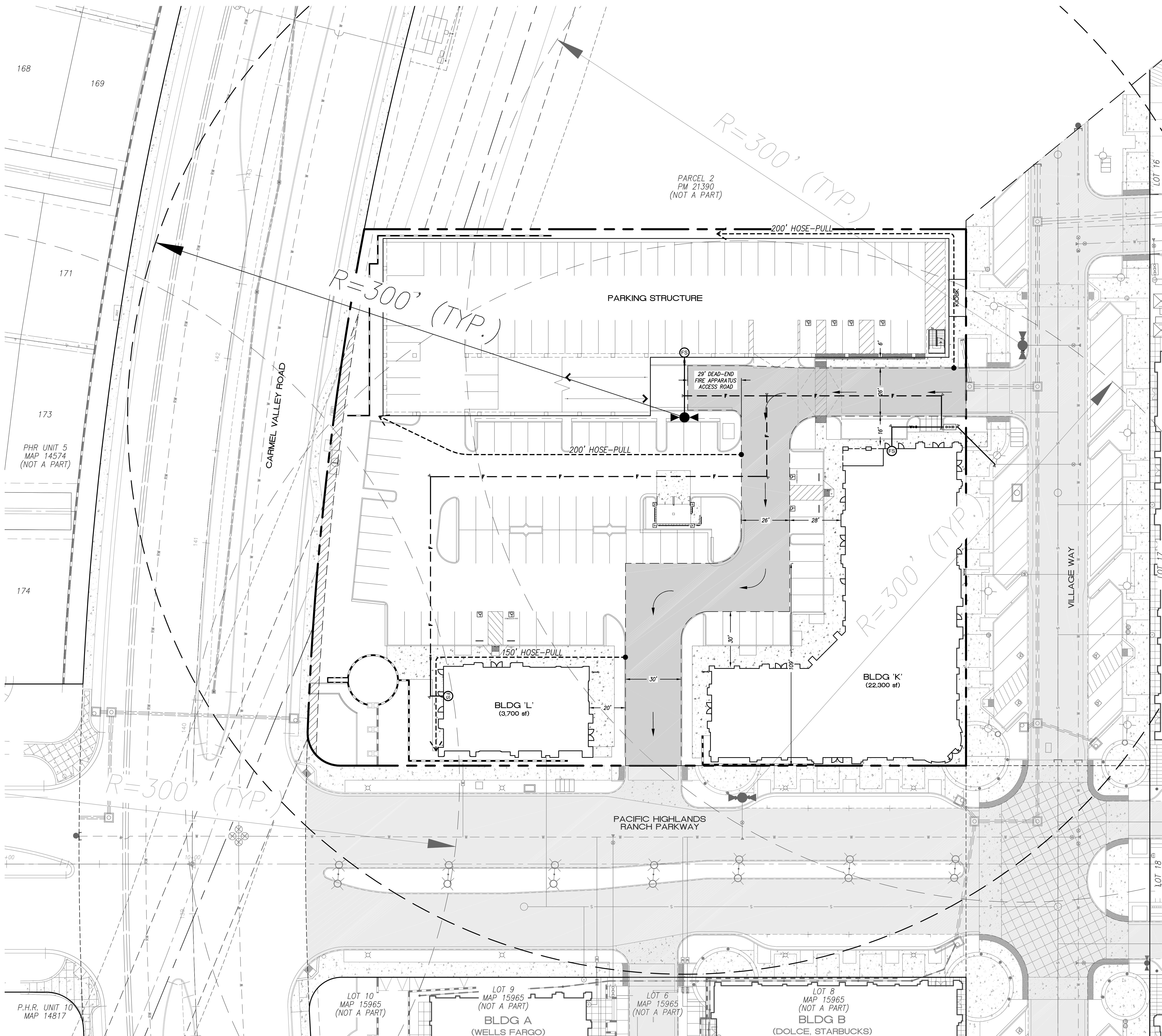
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MAPPING SHEET

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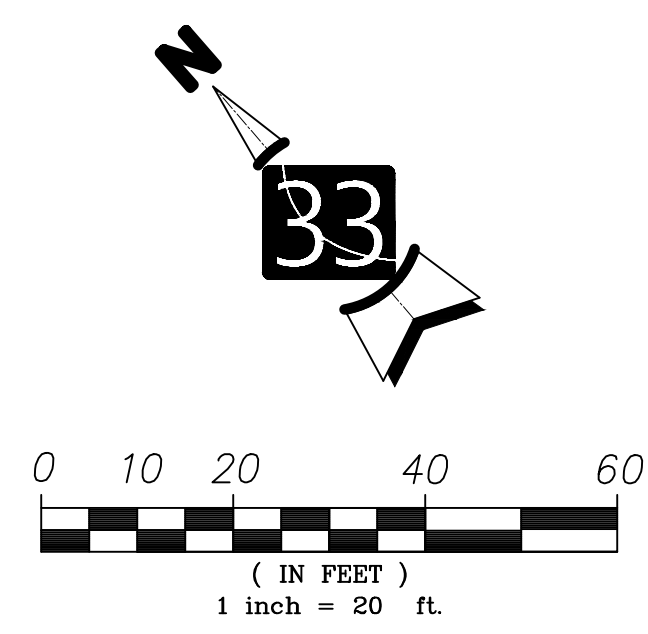
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FIRE ACCESS LEGEND	
TM BOUNDARY.....	---
PUBLIC RIGHT OF WAY.....	---
LOT LINE.....	---
LOT NUMBER.....	LOT 5
EXISTING SIGNALIZED INTERSECTION.....	
PROPOSED FIRE SERVICE AND BACKFLOW.....	
FIRE HYDRANT ASSEMBLY.....	
300' RADIUS AT EXISTING FIRE HYDRANT.....	
300' RADIUS AT PROPOSED FIRE HYDRANT.....	
HOSE PULL LENGTH.....	
FIRE TRUCK ACCESS.....	
BEGIN RED PAINTED CURB PER FPB POLICY.....	
A-08-1	
END RED PAINTED CURB PER FPB POLICY.....	
A-08-1	
EXISTING 26' WIDE EMERGENCY ACCESS ROUTE.....	
PROPOSED 26' WIDE EMERGENCY ACCESS ROUTE.....	

- FIRE DEPARTMENT NOTES**
1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION CFC 501.4.
 2. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 92.0209 (FHPS P-00-6).
 3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3.
 4. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-08-01.
 5. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING.
 6. CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
 7. CFC 507.5.6 - PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
 8. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5.
 9. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.
 10. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEYSWITCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHAL SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.
 11. STAIRWAYS EXITING DIRECTLY TO THE EXTERIOR OF A BUILDING FOUR OR MORE STORES IN HEIGHT SHALL BE PROVIDED WITH A MEANS FOR EMERGENCY ENTRY FOR FIRE DEPARTMENT ACCESS.
 12. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
 13. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
 14. CFC SEC. 3003 - COMPLETE PLANS AND SPECIFICATIONS FOR THE OPERATION OF ELEVATORS UNDER FIRE OR OTHER EMERGENCY CONDITIONS SHALL BE SUBMITTED TO LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 15. EMERGENCY SYSTEMS CONFORMING WITH CFC SECTION 604 AND THE CALIFORNIA ELECTRICAL CODE SHALL BE PROVIDED.
NOTE: FUEL TANKS REQUIRE PLAN CHECK AND A APPROVAL FROM THE TECHNICAL SERVICES SECTION OF THE FIRE-RESCUE DEPARTMENT. OBTAIN PERMIT/TA NUMBER AT 1010 2ND AVE. STE. 300 (619) 533-4477. BUILDING FINAL WILL NOT BE APPROVED UNTIL THE TANK PERMIT HAS BEEN APPROVED.
 16. CFC 1007.8 - A TWO-WAY COMMUNICATION SYSTEM BETWEEN THE CENTRAL CONTROL STATION AND ELEVATORS, ELEVATOR LOBBIES, EMERGENCY AND STANDBY POWER ROOMS, AND ENTRIES INTO ENCLOSED STAIRWAYS SHALL BE PROVIDED FOR FIRE DEPARTMENT USE.
 17. CFC SEC. 909 - AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR.
 18. CFC SEC. 804 - DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.



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**THE VILLAGE at PHR
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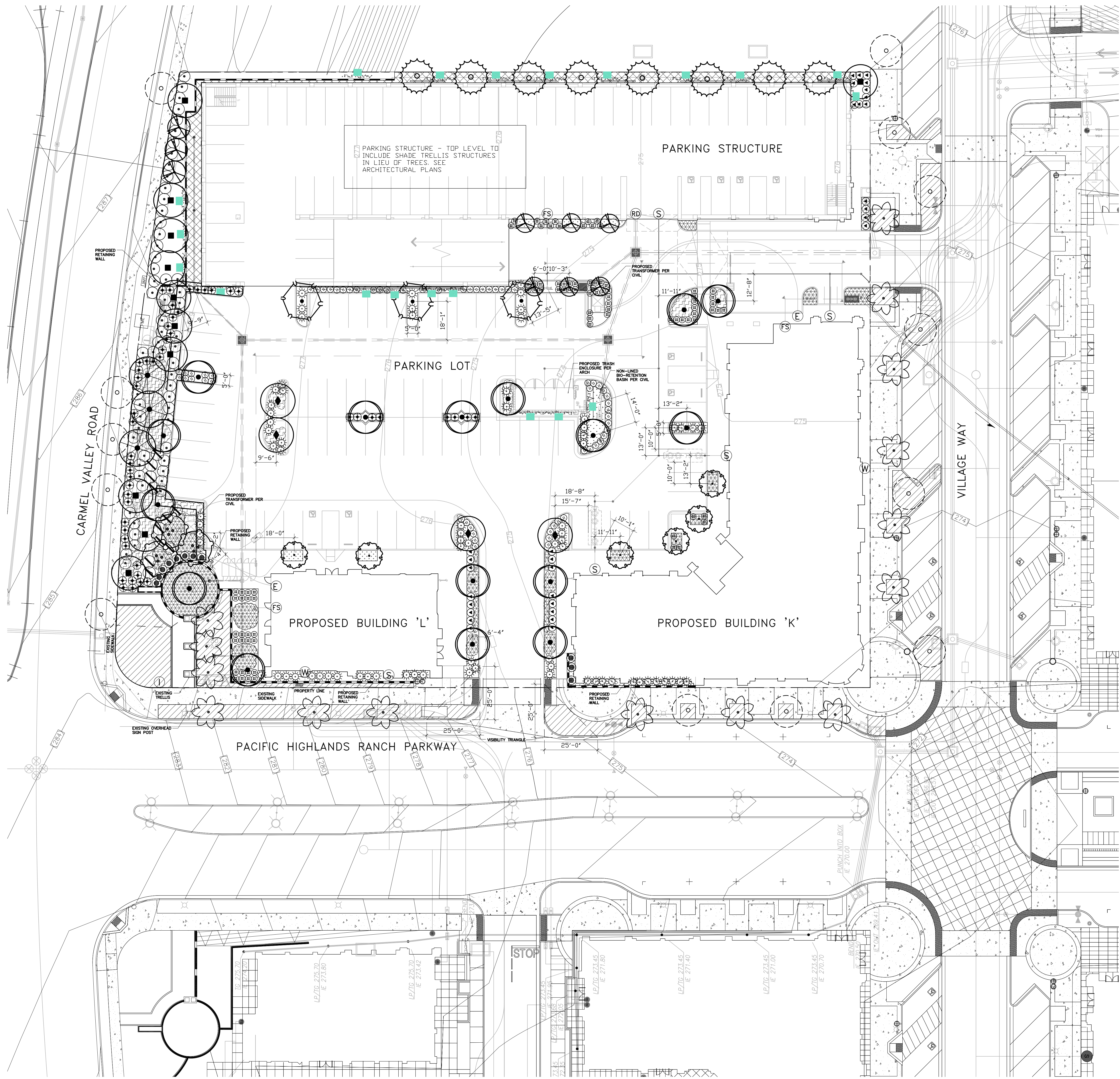
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PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	ACCENT TREES			
	BRACHYCHITON POPULNEUS	BOTTLE TREE	15 GAL	
	BRACHYCHITON POPULNEUS	BOTTLE TREE	36" BOX	-
	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	SOUTHERN MAGNOLIA	24" BOX	-
	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	SOUTHERN MAGNOLIA	36" BOX	-
	PYRUS CALLERYANA	BRADFORD PEAR	24" BOX	-
	TRISTANIA CONFERTA	BRISBANE BOX	24" BOX	-
	TIPUANA TIPU	TIPU TREE	24" BOX	-
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	
	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	24" BOX	
	EXISTING TREE TO REMAIN			
	EXISTING PALM TO REMAIN			
	SCREENING SHRUBS			
	ROSE HYBRID	FLOWER CARPET RED	5 GAL	
	BUXUS SEMPERVIRENS	BOXWOOD	5 GAL	
	RAPHIOLEPSIS INDICA	INDIAN HAWTHORN	5 GAL	
	SALVIA LEUCANTHA	MEXICAN SAGE	5 GAL	
	LANTANA 'NEW GOLD'	LANTANA	5 GAL	
	PHORMIUM 'MAORI QUEEN'	'MAORI QUEEN' FLAX	5 GAL	
	BOUGAINVILLEA ROSENKA	BOUGAINVILLEA ROSENKA	15 GAL	
	CISTUS PUPUREUS	ORCHID ROCK ROSE	5 GAL	
	CAUSTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	
	YINES			
	BIGNONIA CHERERE	BLOOD RED TRUMPET	15 GAL	
	BOUGAINVILLEA SAN DIEGO RED	RED BOUGAINVILLEA (VINE)	15 GAL	
	-	-	15 GAL	
	MACFADYENA-UNGUSCATI	CATS CLAW	15 GAL	
	EXISTING PLANTING			
	EXISTING PLANTING TO REMAIN			
	GROUND COVER			
	SENECIO MADRALISCAE	DWARF BLUE CHALKSTICK	6" POTS	12" O.C.
	CARISSA 'BOXWOOD BEAUTY'	DWARF NATAL PLUM	1 GAL	36" O.C.
	TRADESCANTIA 'PURPLE HEART'	PURPLE HEART	4" POTS	12" O.C.
	LANTANA	TRAILING LANTANA	1 GAL	36" O.C.
	VERBENA PERUVIANA	PERUVIAN VERBENA	1 GAL	12" O.C.
	STAR JASMINE	STAR JASMINE	1 GAL	12" O.C.
	CAREX PANSA	DUNE SEDGE	1 GAL	12" O.C.
	EXISTING PLANTING			

PLANTING NOTES
BARK MULCH:
'SUPREME WALK-ON' FIR BARK 1/2"-1 1/2" SIZE (NO DYE COLOR) MIN 3" DEPTH

DECOMPOSED GRANITE
DETACHED PAVERS

GENERAL LANDSCAPE NOTES

- ALL PLANTING, IRRIGATION, AND LANDSCAPE RELATED IMPROVEMENTS WITHIN THE PROJECT LIMIT OF WORK SHALL CONFORM WITH THE PACIFIC HIGHLANDS RANCH SUBAREA PLAN, THE SAN DIEGO MUNICIPAL CODE AND WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- ALL REQUIRED PLANT MATERIAL WITHIN THE PROJECT LIMIT OF WORK SHALL BE IRRIGATED WITH A PERMANENT BELOW GRADE IRRIGATION SYSTEM.
- ALL REQUIRED IRRIGATION SYSTEMS WITHIN THE PROJECT LIMIT OF WORK SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE RESISTANT CONDITION.

LANDSCAPE MAINTENANCE NOTES

RESPONSIBILITY FOR LONG TERM MAINTENANCE OF THE PROJECT SHALL BE AS FOLLOWS:

- RIGHT OF WAYS OF CARMEL VALLEY ROAD AND VILLAGE LOOP ROAD - CURRENTLY MAINTAINED AND CONTINUE TO BE MAINTAINED BY LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT (LMAO).
- INTERIOR RIGHT OF WAYS - OWNER (PHR VILLAGE LLC), (PACIFIC HIGHLANDS RANCH PARKWAY, VILLAGE WAY, PACIFIC PLACE)
- INTERIOR STREETSCAPE - COMMON AREA ASSOCIATION (PACIFIC PLACE)

LANDSCAPE DESIGN SUMMARY

LANDSCAPE DESIGN TO FOLLOW EXISTING DESIGN

OWNER/APPLICANT: PHR VILLAGE II, LLC
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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

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PLANTING PLAN

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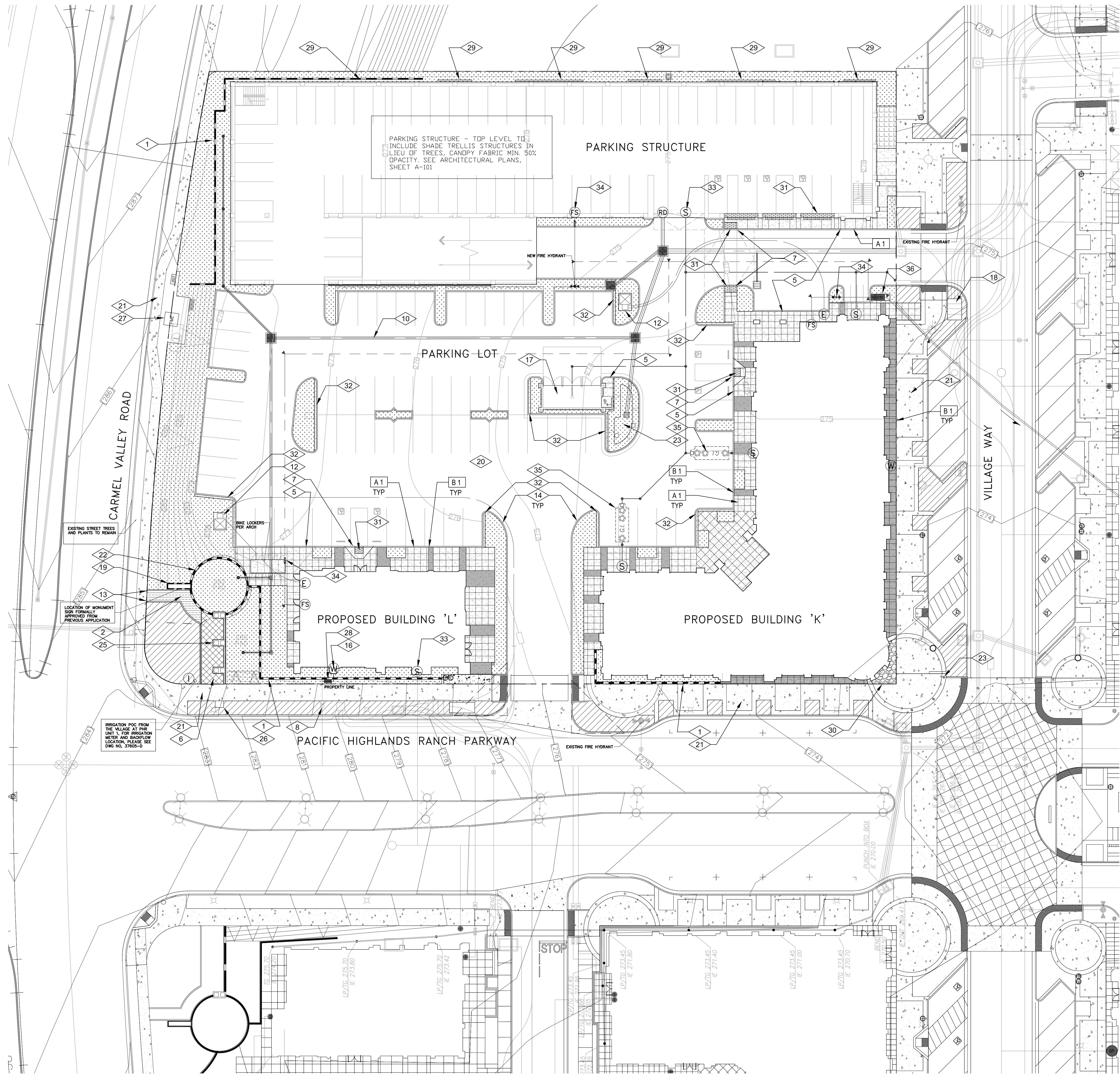
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2164

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CONSTRUCTION NOTES/LEGEND			CONSTRUCTION KEYNOTES	
KEYNOTE	DESCRIPTION	DETAIL		
B-1	PAVING TYPE PAVING FINISH OR PATTERN		1	CONCRETE RETAINING WALL PER CIVIL
CONCRETE			2	DECOMPOSED GRANITE WALK TO MATCH EXISTING
CONCRETE - GRAPHIC DEPICTIONS FOR CLARITY ONLY			3	EXPANSION JOINT
DECORATIVE COLORED CONCRETE A			4	SAW CUT JOINT
DECORATIVE COLORED CONCRETE B			5	CONCRETE WALK
CONCRETE RETAINING WALL STONE VENEER TO MATCH EXISTING			6	EXISTING DECOMPOSED GRAVEL WALK
CONCRETE TYPES - DEFINED BY VARIABLES (PSI, ADMIXTURES, ETC.)			7	ADA CURB RAMP PER CIVIL
A MATCH EXISTING, INTEGRAL COLOR			8	EXISTING OR NEW WATER METER PER CIVIL
B MATCH EXISTING, INTEGRAL COLOR			9	GAS METER PER PLUMBING
CONCRETE FINISHES			10	STORM DRAIN PER CIVIL
1 MATCH EXISTING			11	GAS LINE PER CIVIL
INTEGRAL COLORED CONCRETE, SAWCUT AND EXPANSION JOINT PATTERN AS SHOWN. CONCRETE SHALL BE PRE-MIXED WITH LIQUID COLOR PRIOR TO DELIVERY. COLOR AND AGGREGATE: SAMPLE # 3-026A BY T.B.			12	TRANSFORMER PER ELEC
PENICK SEALER: GLOSS PENETRATING SEALER			13	MOWCURB - A1 FINISH
INTEGRAL COLORED CONCRETE, SAWCUT AND EXPANSION JOINT PATTERN AS SHOWN. CONCRETE SHALL BE PRE-MIXED WITH LIQUID COLOR PRIOR TO DELIVERY. COLOR AND AGGREGATE: SAMPLE # 3-026A BY T.B.			14	CONCRETE CURB PER CIVIL
PENICK SEALER: MATTE SEALER			15	BUILDING WALL OR COLUMN PER ARCH
FLAGSTONE PAVING			16	WATER LINE PER CIVIL
FLAGSTONE RCP, COLOR - MOCHA			17	TRASH ENCLOSURE PER ARCH
DECOMPOSED GRANITE			18	EXISTING OR NEW UTILITY VAULT PER ELECTRICAL OR CIVIL
STABILIZED DECOMPOSED GRANITE, TO MATCH EXISTING COMPACTED TO ACHIEVE FIRM AND STABLE SURFACE TO MEET ACCESSIBILITY CODE REQUIREMENTS			19	MONUMENT SIGN WALL PER PREVIOUSLY APPROVED SIGNAGE AND GRAPHICS PROGRAM
EXISTING DECOMPOSED GRANITE TO REMAIN			20	PARKING LOT PAVING PER CIVIL
PLANTING AREA			21	EXISTING CONCRETE SIDEWALK TO REMAIN
NEW PLANTING			22	CIRCULAR PLANTER WALL TO MATCH PHASE 1
EXISTING PLANTING TO REMAIN			23	NON-LINED BIO-RETENTION BASIN PER CIVIL
MISCELLANEOUS			24	ROOT BARRIER
CONCRETE PAD FOR FUTURE KIOSK			25	EXISTING TRELLIS TO REMAIN
CONSTRUCTION CALLOUTS			26	EXISTING OVERHEAD SIGN TO REMAIN
CONSTRUCTION NOTES / SYMBOLS			27	EXISTING TRANSFORMER TO REMAIN
ALIGN			28	DOMESTIC BACKFLOW PREVENTER PER CIVIL
EXPANSION JOINT			29	GREEN SCREEN
CRACK CONTROL JOINT			30	FLAGSTONE PAVING TO MATCH PHASE 1
ROOT BARRIER			31	TRUNCATED DOME, PER CIVIL
NOTE 1: ALL CRACK CONTROL JOINTS TO BE SAWCUT JOINTS PER DETAIL 12/L102			32	12" CONCRETE MAINTENANCE STRIP
NOTE 2: SEE CIVIL PLANS, SHEETS C200-C302 FOR ALL HARDSCAPE FINISH GRADES AND DIMENSIONS EXCEPT AS NOTED OTHERWISE ON HARDSCAPE PLAN OR DETAILS			33	SEWER PER CIVIL
NOTE 3: -			34	FIRE SERVICE PER CIVIL
NOTE 4: -			35	GREASE INTERCEPTOR PER CIVIL
SITE SYMBOLS			36	FIRE BACKFLOW PER CIVIL
EXISTING OR NEW FIRE HYDRANT PER CIVIL C200-C302				
ADA SYMBOL, SHEET A907				
LIGHT PER ELECTRICAL SHEET E101				
ABBREVIATIONS				
PA PLANTED AREA				
B.W. BOTTOM OF WALL				
T.W. TOP OF WALL				
FG FINISH GRADE				
TYP TYPICAL				
OH OPPOSITE HAND				
O.C.E.W. ON CENTER EACH WAY				
T TOP				
B BOTTOM				
CONT CONTINUOUS				

HARDSCAPE SQUARE FOOTAGE

D.G. 161 SF
EXISTING D.G. 309 SF
PAVERS 182 SF
TOTAL CONCRETE HARDSCAPE 7614 SF
PARKING LOT PAVING PER CIVIL

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THE VILLAGE at PHR
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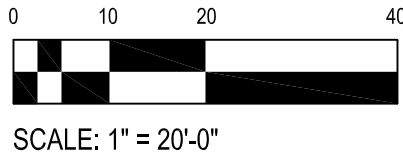
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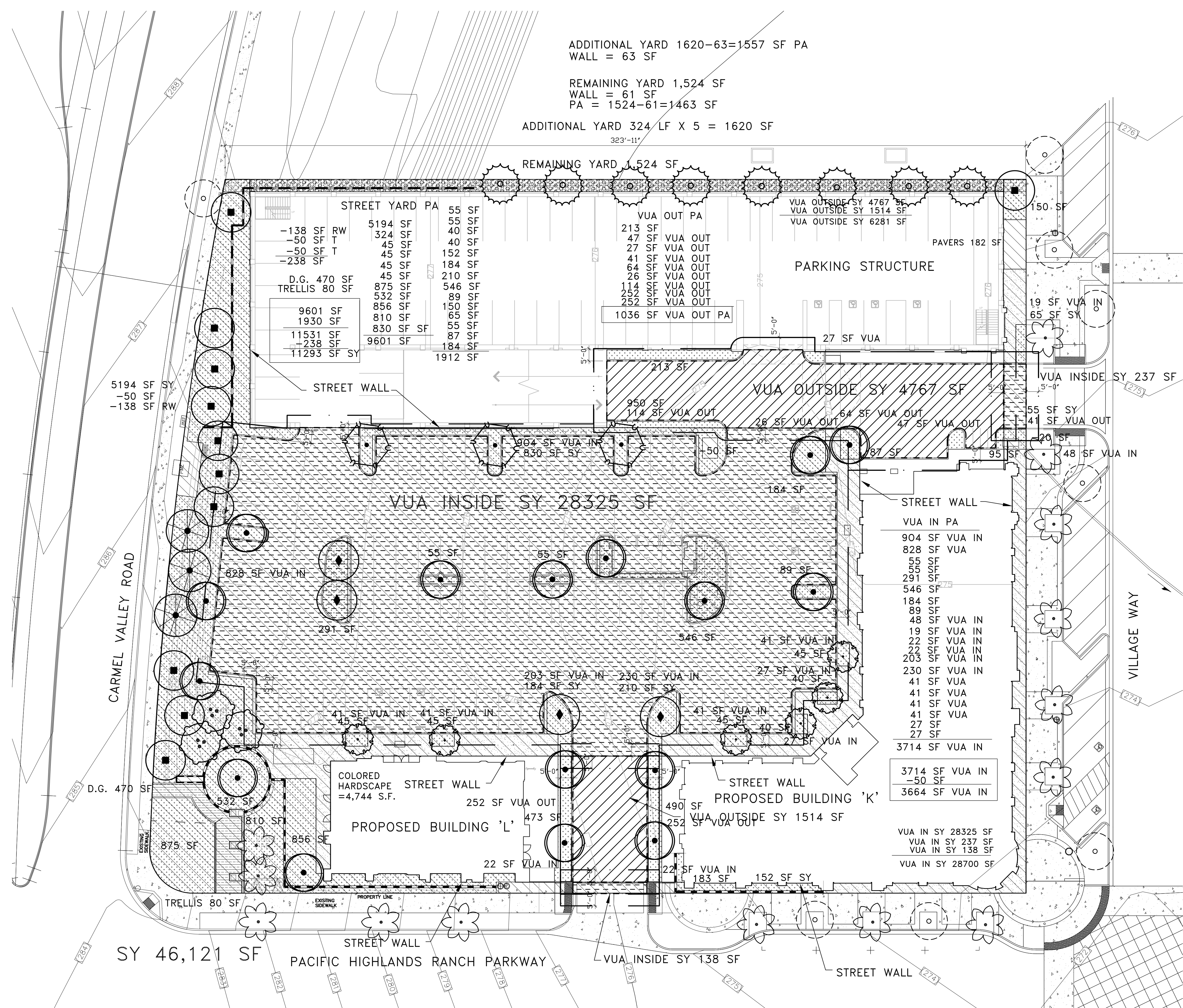
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LANDSCAPE CALCULATIONS LEGEND

- STREET YARD (SY) - 46,121 S.F.
- REMAINING YARD (RY) 1,524 S.F. (PL TO SETBACK)
- VEH USE AREA BOUNDARY
- VEH USE AREA (VUA) (INSIDE STREET YARD) - 28,700 S.F.
- VEH USE AREA (VUA) (OUTSIDE STREET YARD) - 6,281 S.F.
- ADDITIONAL YARD (AY) - (PLANT POINTS REQUIRED ARE IN ADDITION TO THOSE REQUIRED FOR REMAINING YARD) - 1620 SF
- PLANTED AREA PROPOSED
STREET YARD - 11,293 SF + 4,744 COLORED HARDSCAPE = 16,037 SF
REMAINING YARD - 1,463 SF
VEHICULAR USE AREA INSIDE STREET YARD - 3,664 SF
VEHICULAR USE AREA OUTSIDE STREET YARD - 1,036 SF
ADDITIONAL YARD - 1,557 SF
- COLORED HARDSCAPE (SY) - 4,744 S.F.

LANDSCAPE CALCULATIONS TABLE

DEVELOPED SITE AREA	PLANTING AREA REQUIRED (% OF TOTAL)	PLANTING AREA PROPOSED	PLANT MATERIAL POINTS REQUIRED	PLANT MATERIAL POINTS PROPOSED (SIZE X QUANTITY)		POINTS FROM TREES (% OF POINTS REQUIRED)
				SHRUBS ONLY	TREES ONLY	
STREET YARD	11535 S.F. 46121 S.F. X .25 = 11530 S.F.	16037 S.F. 11293 PA S.F. + COLORED HARDSCAPE OF 4,744 S.F.	2307 PTS 46121 S.F. X .05 = 2306 PTS	15 GAL X 23 = 350 PTS 5 GAL X 308 = 616 PTS 1 GAL X 1374 = 1374 PTS TOTAL = 2220 PTS	36" BOX X 7 = 350 PTS 24" BOX X 55 = 700 PTS 15 GAL X 6 = 60 PTS 5 GAL X 0 = 0 PTS 20" BTH X 3 = 300 PTS TOTAL = 1410 PTS	50% - 1154 PTS FROM TREES
REMAINING YARD	456 S.F. 1524 S.F. X .30 = 456 S.F.	1463 S.F.	76 PTS 1524 S.F. X .05 = 76 PTS	15 GAL X 8 = 80 PTS 5 GAL X 0 = 0 PTS 1 GAL X 0 = 0 PTS TOTAL = 80 PTS	36" BOX X 0 = 0 PTS 24" BOX X 0 = 0 PTS 15 GAL X 0 = 0 PTS 5 GAL X 0 = 0 PTS TOTAL = 80 PTS	50% - 80 PTS FROM TREES
VEHICULAR USE AREA INSIDE STREET YARD	1435 S.F. 28700 S.F. X .05 = 1435 S.F.	3664 S.F.	1435 PTS 28700 S.F. X .05 = 1435 PTS	15 GAL X 8 = 80 PTS 5 GAL X 207 = 414 PTS 1 GAL X 345 = 345 PTS TOTAL = 839 PTS	36" BOX X 7 = 350 PTS 24" BOX X 28 = 560 PTS 15 GAL X 3 = 30 PTS 5 GAL X 0 = 0 PTS TOTAL = 940 PTS	50% - 718 PTS FROM TREES
VEHICULAR USE AREA OUTSIDE STREET YARD	188 S.F. 6281 X .03 = 188 S.F.	1036 S.F.	188 PTS 6281 X .03 = 188 PTS	15 GAL X 3 = 30 PTS 5 GAL X 40 = 40 PTS 1 GAL X 0 = 0 PTS TOTAL = 70 PTS	24" BOX X 5 = 100 PTS 15 GAL X 6 = 60 PTS 5 GAL X 0 = 0 PTS TOTAL = 160 PTS	50% - 94 PTS FROM TREES
ADDITIONAL YARD	1620 S.F. 324 L.F. X 5 = 1620 S.F.	1557 SF	81 PTS 1620 S.F. X .05 = 81 PTS	15 GAL X 8 = 80 PTS	15 GAL X 8 = 80 PTS	50% - 40 PTS FROM TREES
TOTAL = 80 PTS				TOTAL = 80 PTS	TOTAL = 80 PTS	

PLANT POINT SCHEDULE PER CHAPTER 14 LANDSCAPE REGULATIONS		
PROPOSED PLANT MATERIAL		
PLANT TYPE	PLANT SIZE	PLANT POINTS
PROPOSED SHRUB	1 GALLON	1.0
	5 GALLON	2.0
	15 GALLON OR LARGER	10.0
PROPOSED TREE	5 GAL	5.0
	15 GAL	10.0
	24" BOX	20.0
	36" BOX	50.0
	48" BOX AND LARGER	100.0
PROPOSED DWARF PALM PALM	PER FOOT OF BROWN TRUNK HEIGHT	5.0
PROPOSED BROAD HEADED FEATHER PALM TREE	PER FOOT OF BROWN TRUNK HEIGHT	5.0
PROPOSED FEATHER PALM TREE	PER FOOT OF BROWN TRUNK HEIGHT UP TO 20' IN HEIGHT	5.0
	EACH FEATHER PALM TREE OVER 20' IN HEIGHT	60.0
PROPOSED FAN PALM TREE	PER FOOT OF BROWN TRUNK HEIGHT UP TO 20' IN HEIGHT	1.5
	EACH FAN PALM TREE OVER 20' IN HEIGHT	30.0

DUE TO PROPOSED SITE DESIGN (SLOPES) PROVIDING ADDITIONAL SCREENING OF VUA FROM PUBLIC RIGHT-OF-WAY, AN ADAPTED FORMULA HAS BEEN APPLIED TO COUNT PLANTINGS WITHIN 5FT OF VUA TOWARDS VUA PLANTING REQUIREMENTS WITH ONE 24-INCH BOX CANOPY TREE PROVIDED WITHIN 20FT OF EACH PARKING STALL.

- MINIMUM TREE SEPARATION DISTANCE PER CHAPTER 14 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE
 - TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
 - BACK OF TRAFFIC SIGNAL OR STOP SIGN - 10 FEET
 - UNDERGROUND UTILITY LINES, DRIVEWAY APRON FLARE - 5 FEET
 - SEWER LINES - 10 FEET
 - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - DRIVEWAY ENTRIES - 10 FEET
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 - STREET LIGHT - 15'
- ADDITIONAL PUBLIC RIGHT-OF-WAY REGULATIONS
- PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT.

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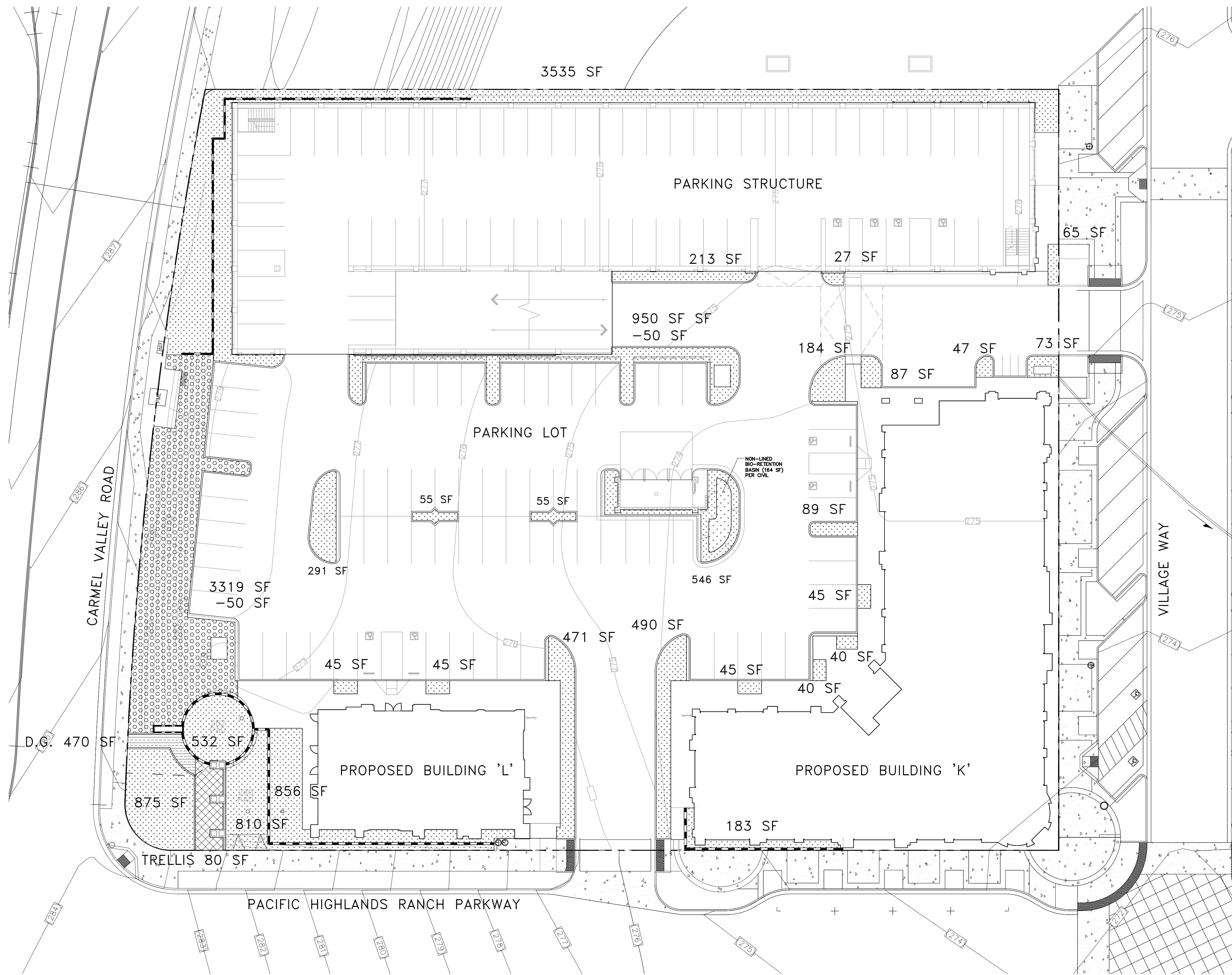
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MARUM PARTNERSHIP	Revision 13:
LANDSCAPE ARCHITECTURE - URBAN DESIGN - PLANNING	Revision 12:
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PHONE: 619-992-9533	Revision 9:
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SAN DIEGO, CA 92130	Revision 6:
Project Name:	Revision 5:
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PACIFIC HIGHLANDS RANCH	Revision 3: 04/13/2017
	Revision 2: 02/10/2017
	Revision 1: 11/23/2016



TOTAL SITE PLANTING AREA
13,913 SF

HYDROZONE LEGEND

- HYDROZONE #1 LOW/MODERATE WATER USE-- 10,644 S.F.
- HYDROZONE #2 SLOPES: LOW/MODERATE WATER USE 3,269 S.F.

ETWU = Estimated Total Water Usage (gallons per year)

ETWU = ((ETO)(.62)) ((PF X HA / IE) X SLA)

ETO = reference evapotranspiration (inches)

.62 = conversion factor to gallons

PF = plant factor from wucols

HA = hydrozone area (s.f.)

IE = irrigation efficiency

PER COMMENTS: USE .81 FOR DRIP AND .75 FOR SPRAY DEVICES. FOR MAWA, USE ETAF OF .45 (COMMERCIAL)

HYDROZONE #1

$$\left(\left(\frac{.47}{.62} \right) \left(\left(\frac{.3}{.81} \right) \left(\frac{10,644}{1} \right) \right) + \left(\frac{0}{.75} \right) \right) = 114,876 \text{ Gal./Yr. DRIP}$$

HYDROZONE #2

$$\left(\left(\frac{.47}{.62} \right) \left(\left(\frac{.3}{.75} \right) \left(\frac{3,269}{1} \right) \right) + \left(\frac{0}{.75} \right) \right) = 38,103 \text{ Gal./Yr. ROTORS}$$

Water Budget Calculations (gallons per year)

Water Budget = (ETO)(.62) ((.07)(LA) + (.03)(SLA))

Where: ETO = Evapotranspiration (inches per year)(see Table 6 or ETo Map)

.62 = Conversion factor (to gallons)

.07 = Evapotranspiration Adjustment Factor (ETAF)

LA = Landscape Area (square feet)

.03 = Additional Evapotranspiration Adjustment Factor for Special Landscape Areas SLA = Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

W.B.

$$\left(\frac{.47}{.62} \right) \left(\left(\frac{.45}{1} \right) \left(\frac{13,913}{1} \right) \right) + \left(\frac{0}{.75} \right) = 182,441 \text{ Gal./Yr.}$$

IRRIGATION METHOD AND EFFICIENCY				USE .81 FOR DRIP USE .75 FOR ROTOR	
BUBBLERS	.85	FIXED SPRAY	.55	ROTATOR SPRAY	.55
DRIP	.90	MICRO SPRAYS	.70	ROTORS	.70
DRIP IRRIGATION	.80	MP ROTATORS	.75	SPRAY HEADS	.75

PLANT WATER USE		PLANT FACTOR		ALSO INCLUDES	
LOW	<0.1-0.2	LOW	0.3-0.7	ARTIFICIAL TURF	
MODERATE	0.3-0.7	MODERATE	0.8 AND GREATER	WATER FEATURES	
HIGH	0.8 AND GREATER	HIGH	1.0		
SPECIAL LANDSCAPE AREA		SPECIAL LANDSCAPE AREA			

Water Budget Calculations									
A	B	C	D	E	F	G	H	I	J
Controller #	Hydrozone #	Valve Circuit	Irrigation Method	Plant Factor	Hydrozone Area	% of Total Landscape Area	PF X HA	IE	PF X HA / IE
A	low / moderate water		drip	.3	10,644	76	3,193.2	.81	3,942.2
A	slopes		spray	.3	3,269	24	980.7	.75	1,307.6

Summary

MAWA = Maximum Applied Water Allowance (gallons per year)

MAWA = 182,441 gal/yr

ETWU = Estimated Total Water Usage (gallons per year)

ETWU = 152,979 gal/yr

Estimated water use is 29,462 gallons per year less than the Maximum Applied Water Allowance

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THE VILLAGE at PHR
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IRRIGATION
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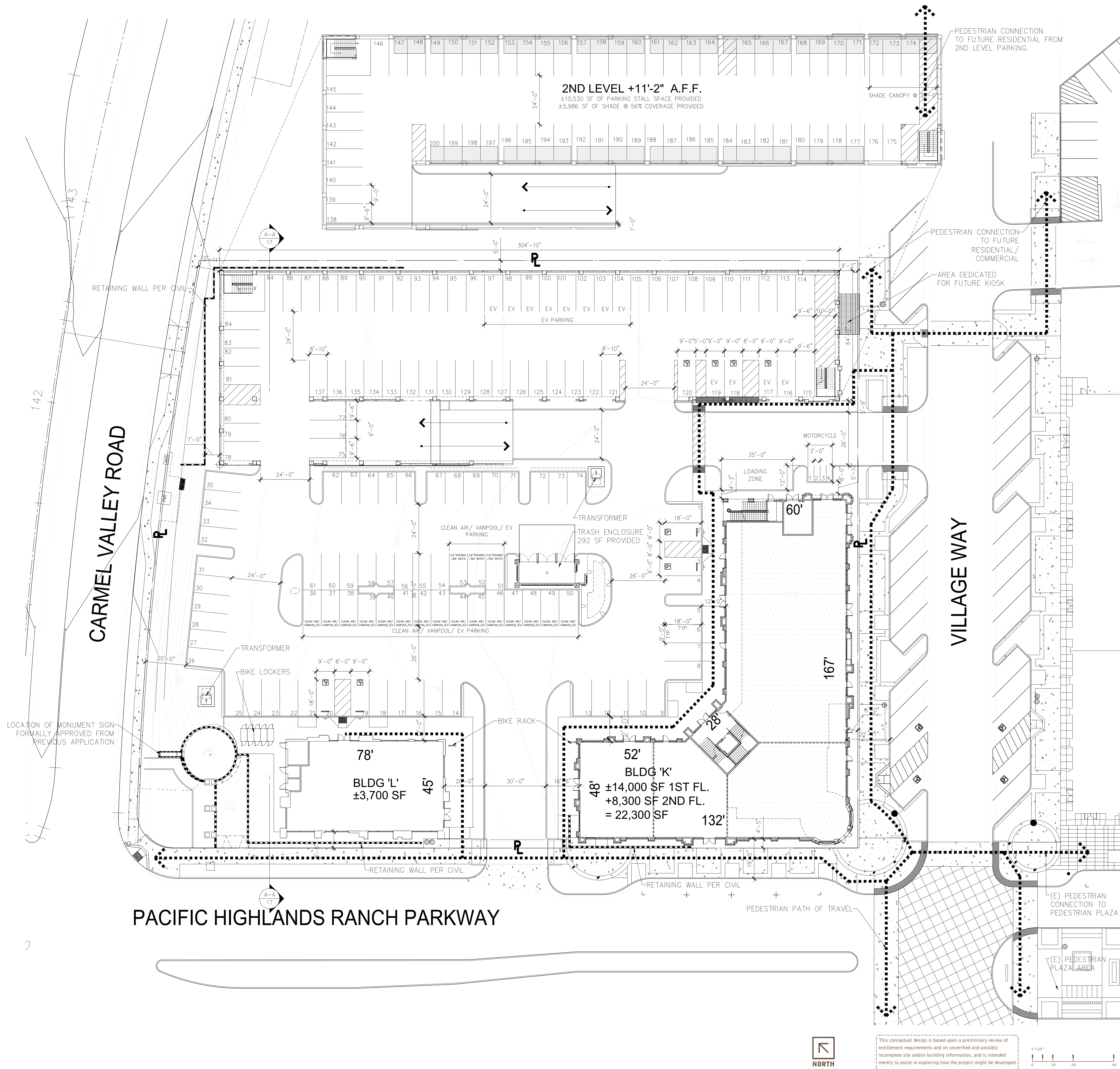
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EXPIRES 11/30/16



PROJECT DATA:	
APN:	305-010-11, 305-250-13 THRU 17
ZONING	
	CC-1-3 /UVOZ
SITE SUMMARY	
SITE AREA:	
GROSS:	2.28 AC. (±99,237 SF)
NET (EASEMENTS):	2.25 AC. (±97,830 SF)
BUILDING AREA:	
BUILDING 'L':	±3,700 SF
BUILDING 'K':	
1ST FLOOR:	±14,000 SF
2ND FLOOR:	±8,300 SF
TOTAL:	±22,300
TOTAL BUILDING AREA:	
	±26,000 SF
F.A.R.:	
LANDSCAPE AREA:	.26 (GROSS)
	±16,214 SF (16%) PROVIDED
PARKING SUMMARY	
PARKING REQUIRED @ 5/1000:	130 STALLS
PARKING PROVIDED	
STANDARD STALLS:	162 STALLS
ACCESSIBLE STALLS:	8 STALLS
CLEAN AIR / VANPOOL / EV:	18 STALLS
EV STALLS:	12 STALLS
TOTAL AUTO PARKING PROVIDED:	200 STALLS
MOTORCYCLE STALLS:	
	4 STALLS
70 STALLS DEDICATED FOR OFF-SITE USE	
SHORT TERM BICYCLE PARKING PROVIDED: 10 SPACES	
LONG TERM BICYCLE PARKING PROVIDED: 10 SPACES	

PEDESTRIAN PATH OF TRAVEL

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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

Sheet Title:

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
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Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	08/11/2017
Revision 3:	04/05/2017
Revision 2:	02/10/2017
Revision 1:	11/23/2016

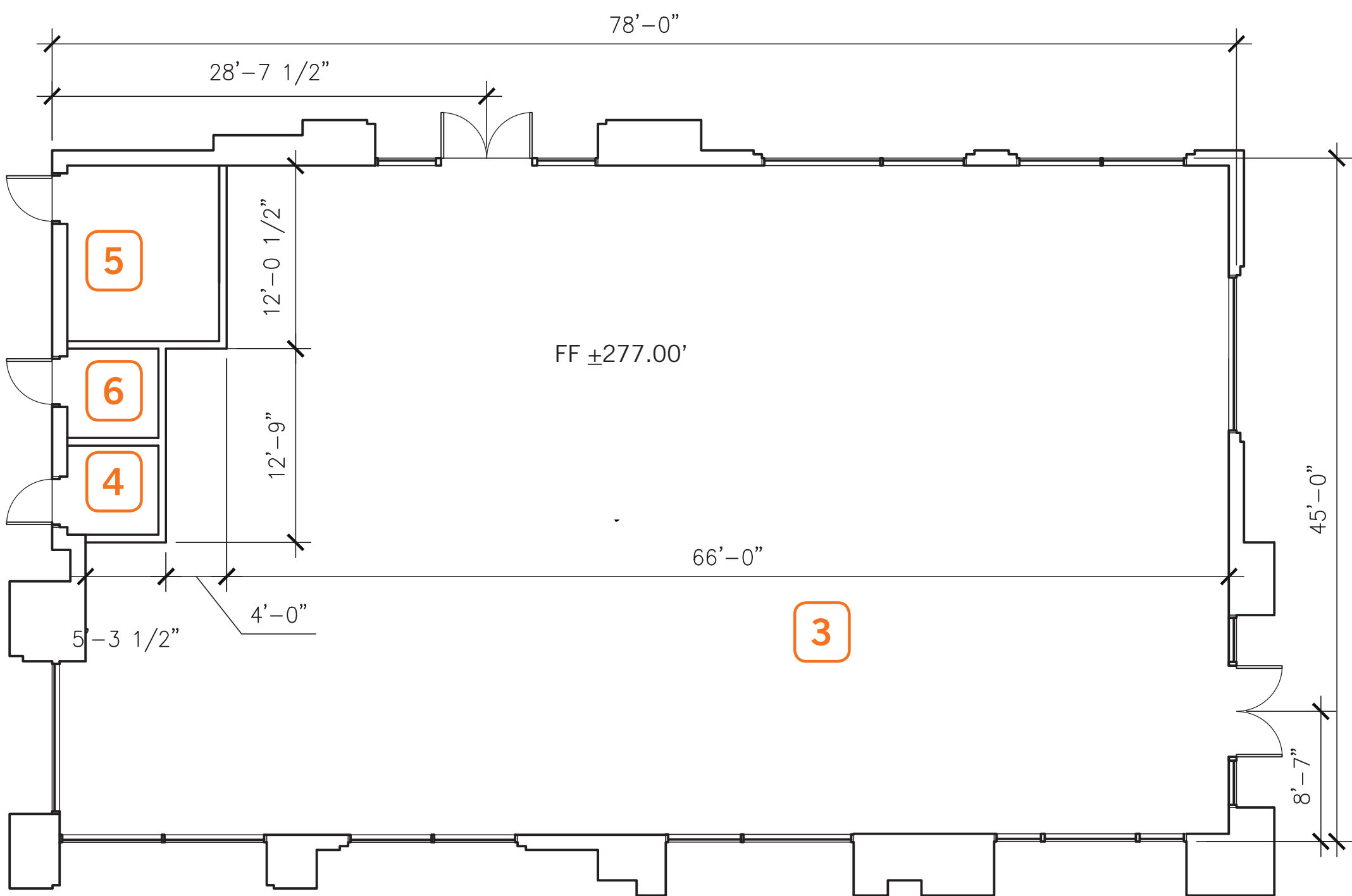
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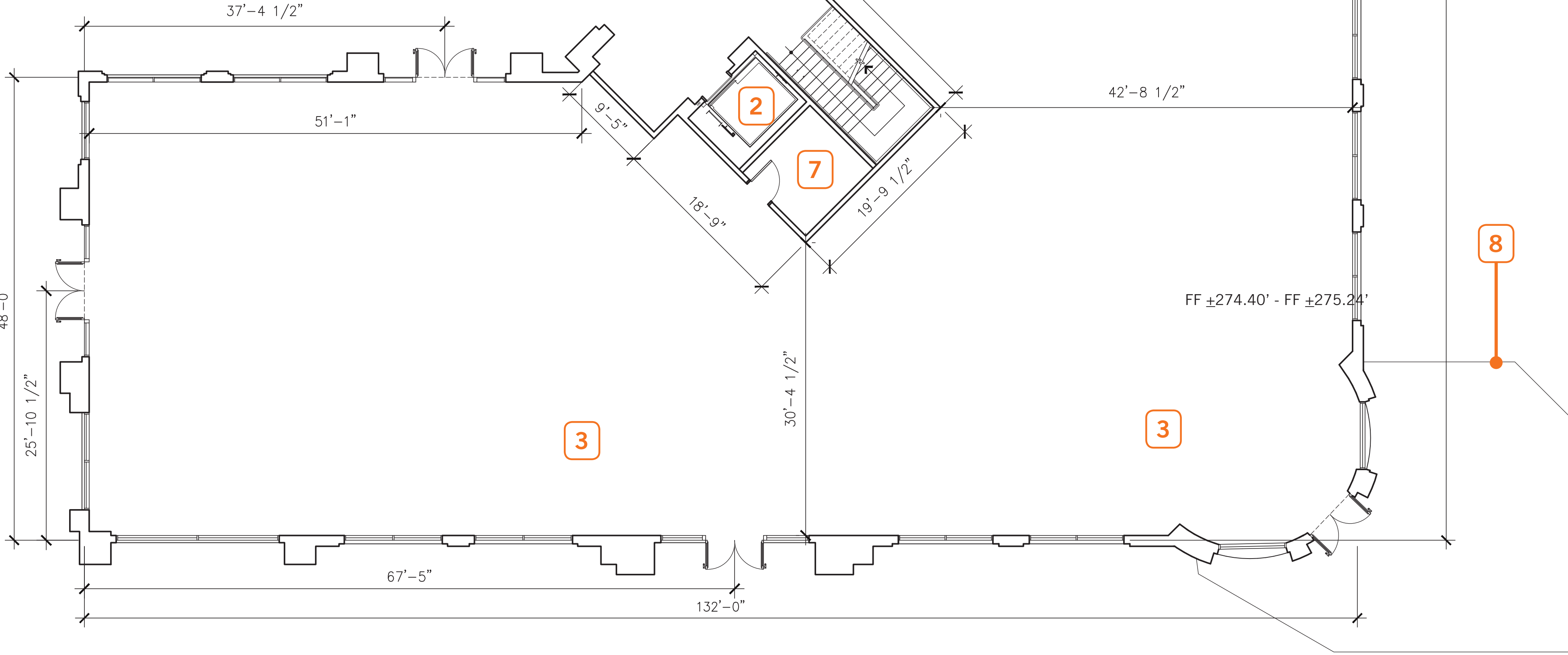
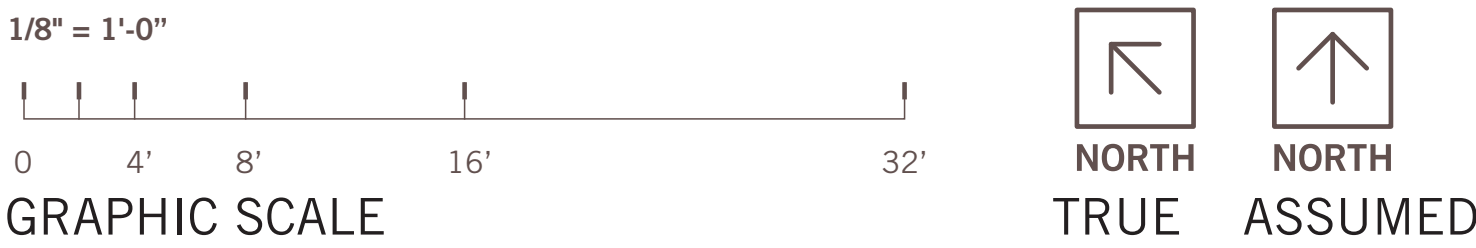
DEP#

KEY NOTES

- 1 EXIT STAIR
- 2 ELEVATOR AND ELEVATOR LOBBY WITH FEATURE STAIR
- 3 TENANT AREA
- 4 FIRE
- 5 ELECTRICAL
- 6 TELEPHONE
- 7 ELEVATOR MACHINE ROOM
- 8 PATIO EXTENTS



BUILDING "L" GROUND FLOOR PLAN
+/-3,700 S.F.



BUILDING "K" GROUND FLOOR PLAN
+/-14,000 S.F.

OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEANA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB
architecture | planning | interiors | branding | civil

Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

Sheet Title:
Ground Floor Plans

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
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Revision 4:	08/07/2017
Revision 3:	04/13/2017
Revision 2:	02/10/2017
Revision 1:	11/23/2016

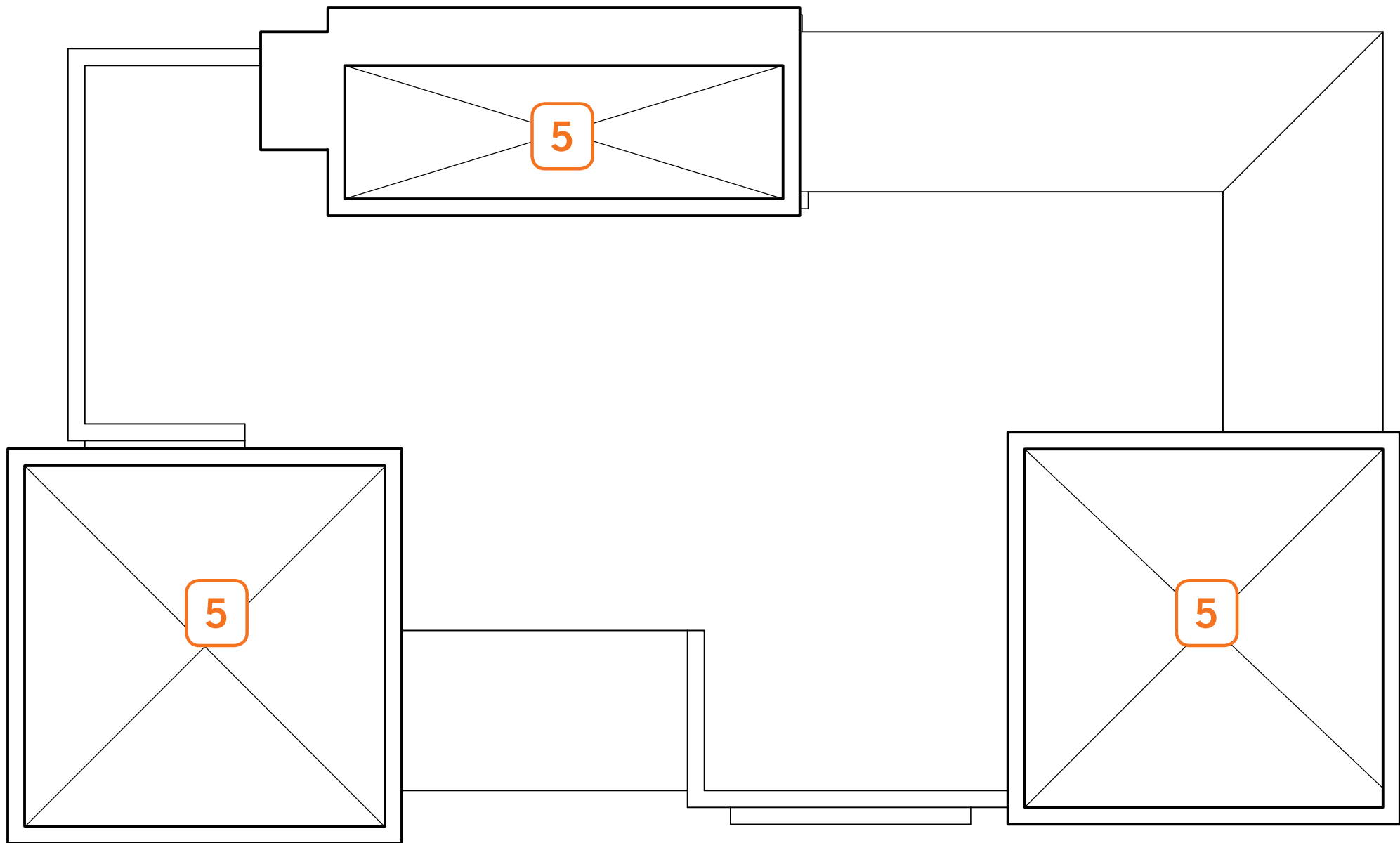
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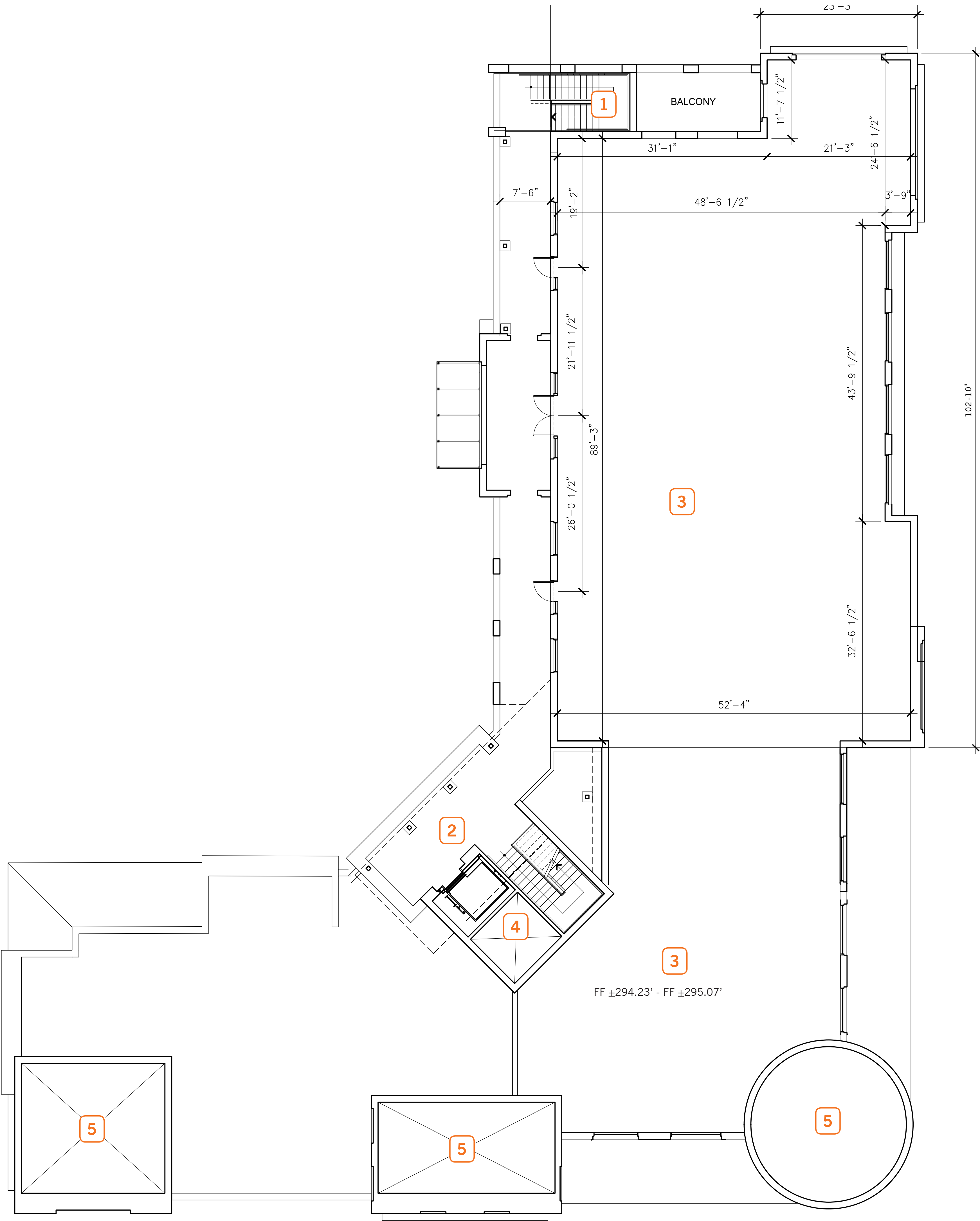
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KEY NOTES

- 1 EXIT STAIR
- 2 ELEVATOR AND ELEVATOR LOBBY WITH FEATURE STAIR
- 3 TENANT AREA
- 4 MECHANICAL SHAFT
- 5 OPEN TO BELOW



BUILDING “L” SECOND FLOOR PLAN
0 S.F.



BUILDING “K” SECOND FLOOR PLAN
+/-8,300 S.F.

OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB
architecture | planning | interiors | branding | civil

Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

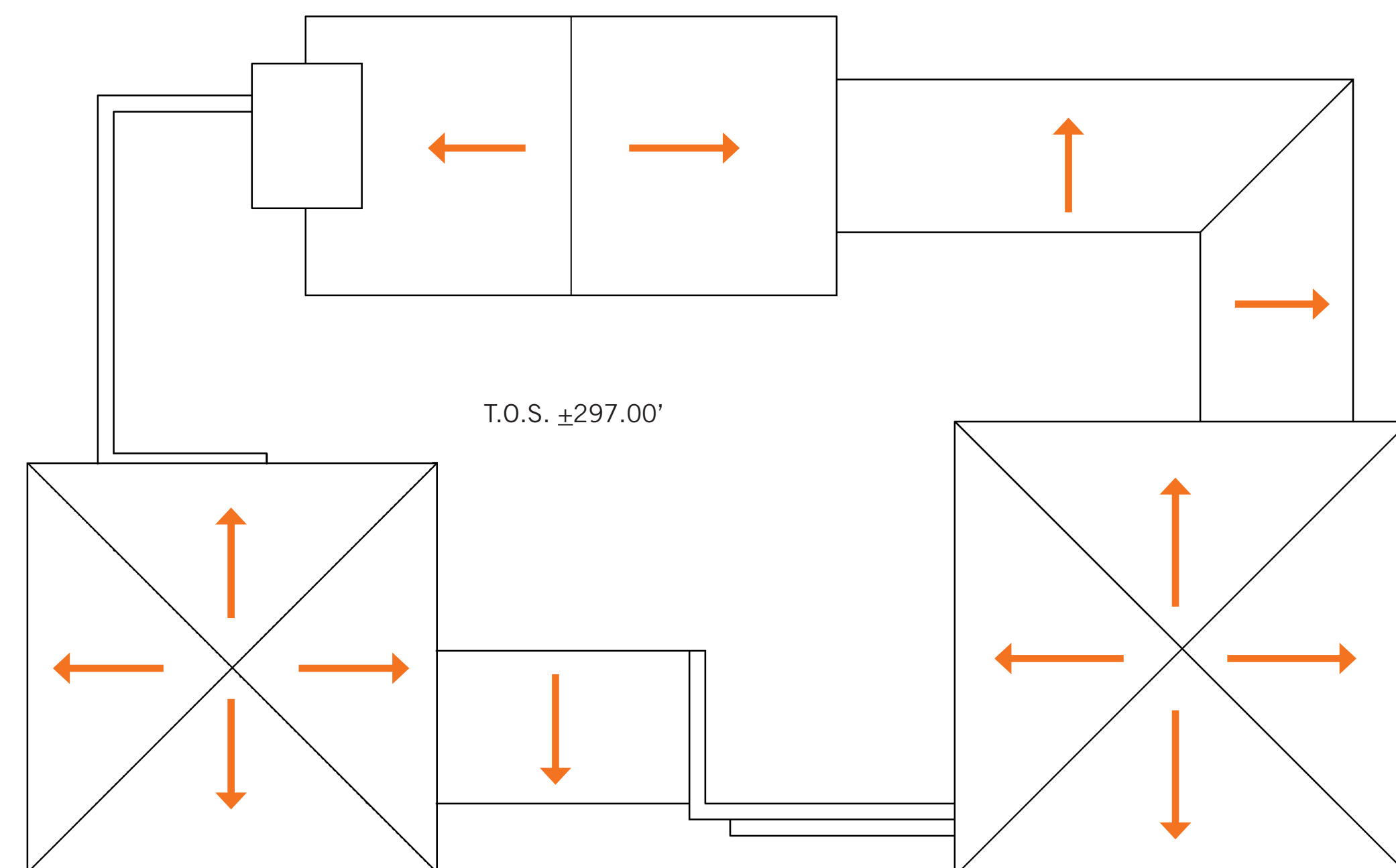
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Second Floor Plans

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Revision 6:	_____
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Revision 3:	04/13/2017
Revision 2:	02/10/2017
Revision 1:	11/23/2016

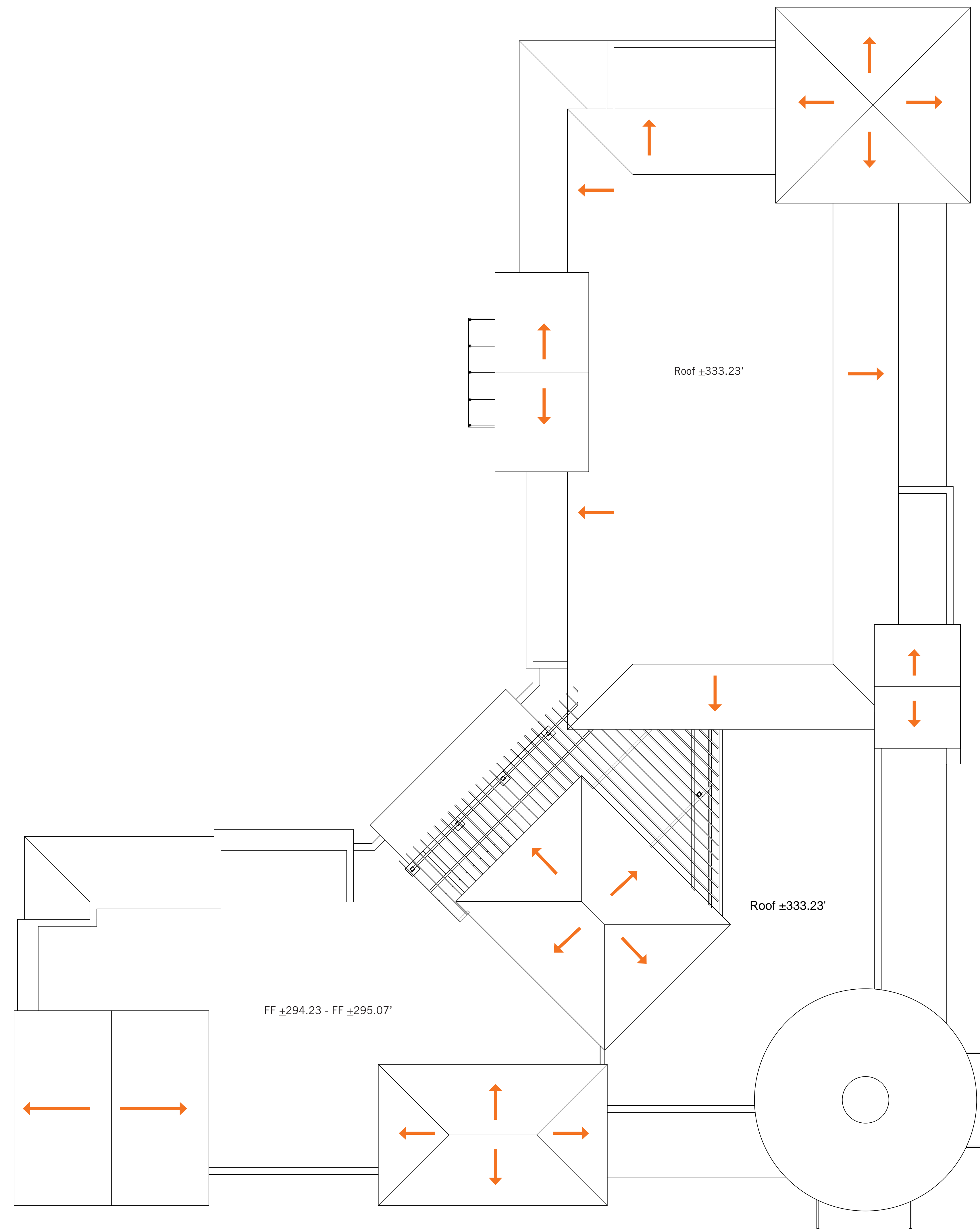
Original Date: 10/24/2016

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DEP# _____



BUILDING “L” ROOF PLAN



BUILDING “K” ROOF PLAN

OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
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SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
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(P) 858.751.0633 (F) 858.751.0634

ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506

LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHNA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB
architecture | planning | interiors | branding | civil

Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

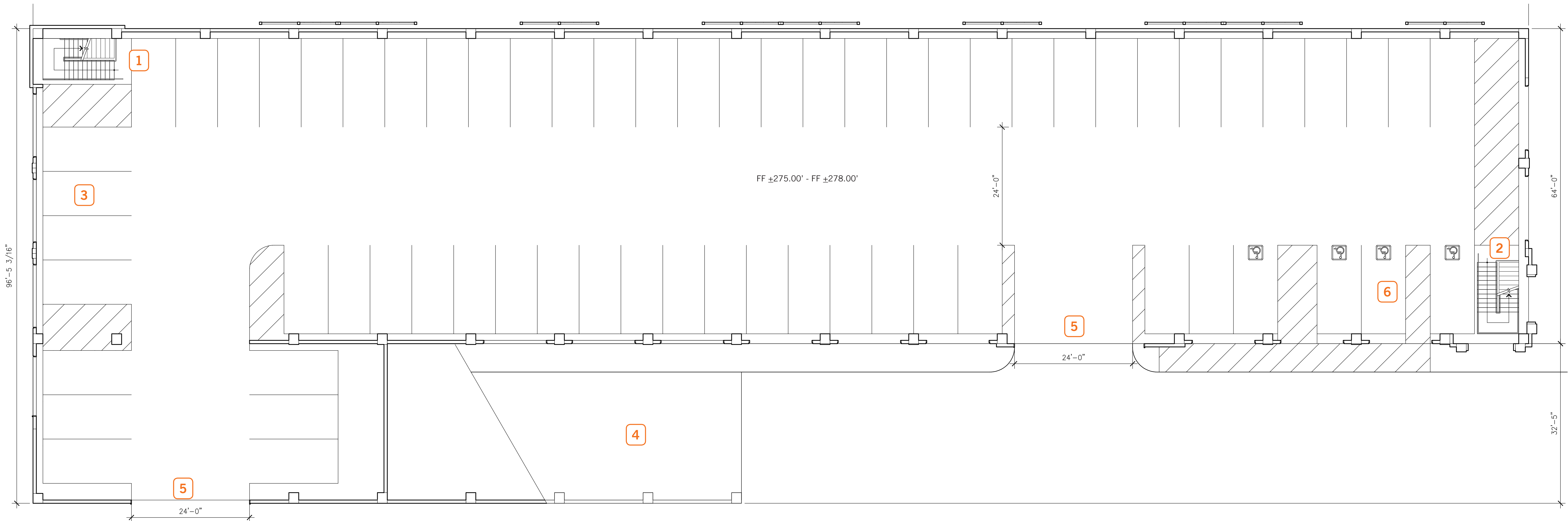
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Revision 13:	_____
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Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
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Revision 4:	08/07/2017
Revision 3:	04/13/2017
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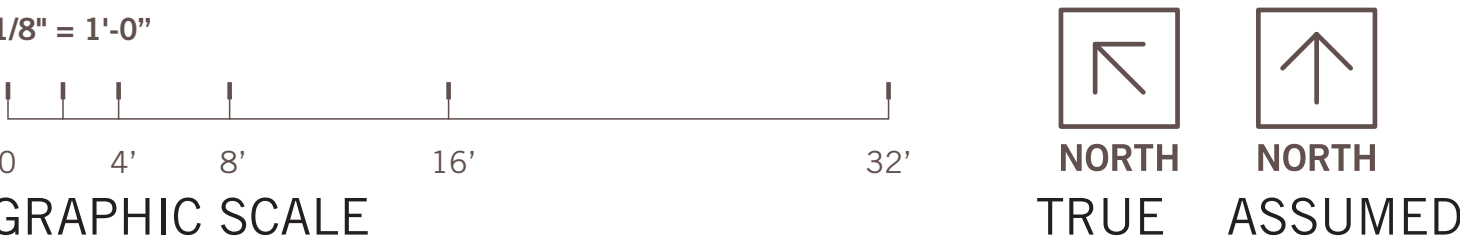
DEP# _____



KEY NOTES

- 1 NORTH STAIR TOWER
- 2 SOUTH STAIR TOWER
- 3 STANDARD PARKING STALLS TO COMPLY WITH MUNICIPAL CODE-61 SPACES
- 4 RAMP UP TO LEVEL 2
- 5 PARKING LEVEL 1 INGRESS/EGRESS
- 6 ACCESSIBLE PARKING SPACES TO COMPLY WITH ALL GOVERNING REGULATIONS-4 SPACES

PARKING STRUCTURE GROUND FLOOR PLAN-65 SPACES REFERENCE F.F. ELEVATION 00.00'



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SAN DIEGO, CA 92131
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ARCHITECT: WARE MALCOMB
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SAN DIEGO, CA 92122
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PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHIA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB

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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

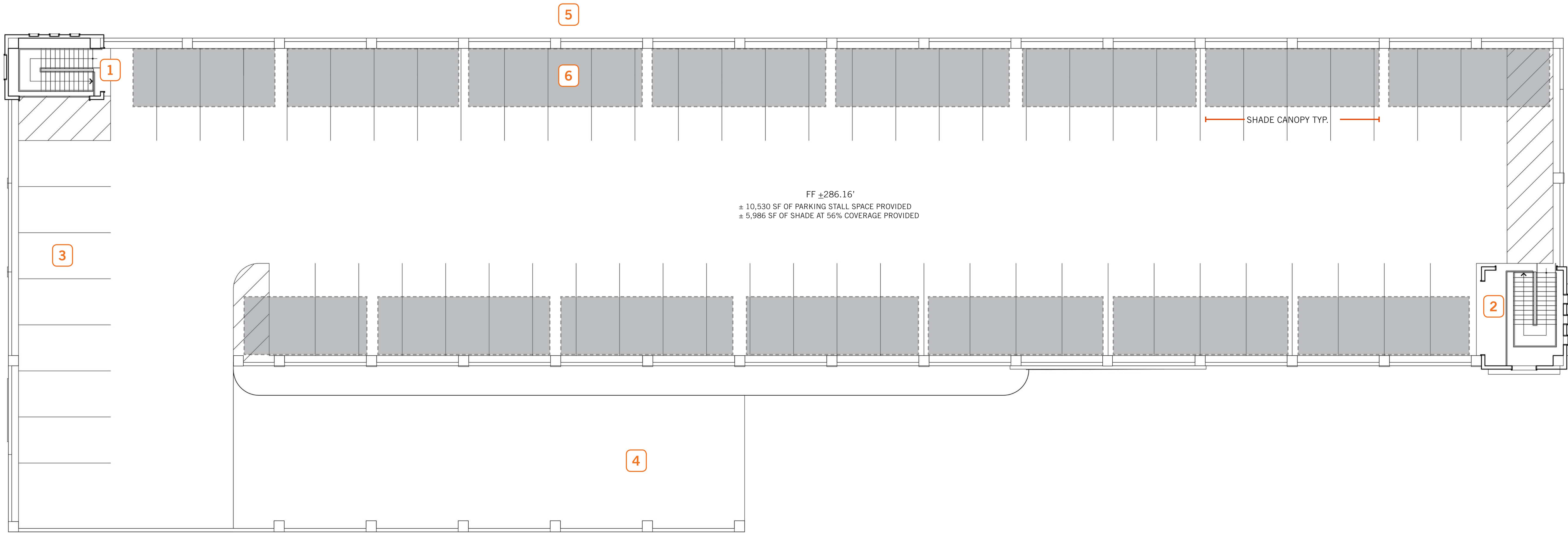
Sheet Title:
Parking Structure
Level One

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: 04/13/2017
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DEP# _____



KEY NOTES

- 1 NORTH STAIR TOWER
- 2 SOUTH STAIR TOWER
- 3 STANDARD PARKING STALLS TO COMPLY WITH MUNICIPAL CODE-61 SPACES
- 4 RAMP DOWN TO GROUND LEVEL PARKING
- 5 GREEN SCREEN TRELLIS
- 6 SHADE COVER TO BE PAINTED METAL STRUCTURE WIT A FABRIC CANOPY WITH A MINIMUM OPACITY OF 50%

PARKING STRUCTURE LEVEL TWO PLAN-66 SPACES
REFERENCE F.F. ELEVATION (+/-) 11.17'



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9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHNA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB
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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:

the Village
PACIFIC HIGHLANDS RANCH

THE VILLAGE at PHR
COMMERCIAL PHASE II

Sheet Title:
Parking Structure
Level Two

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
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A-A SITE SECTION WITH ADJACENT DEVELOPMENT



B-B SITE SECTION AT CARMEL VALLEY ROAD

OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

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9968 HIBERT STREET, 2ND FLOOR
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(P) 858.751.0633 (F) 858.751.0634

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LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHILL STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

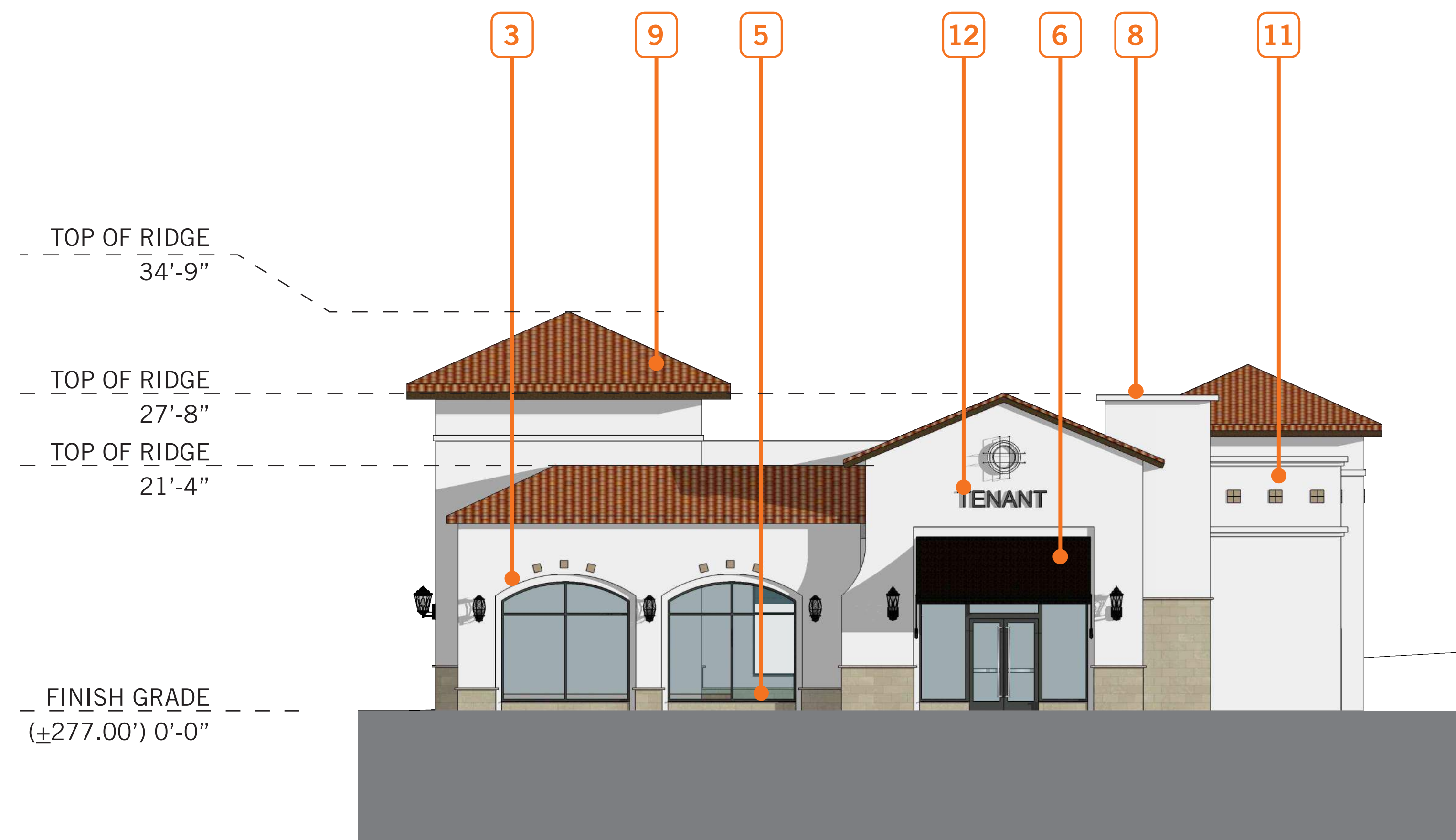
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Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
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Revision 4: _____
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Revision 2: 02/10/2017
Revision 1: 11/23/2016

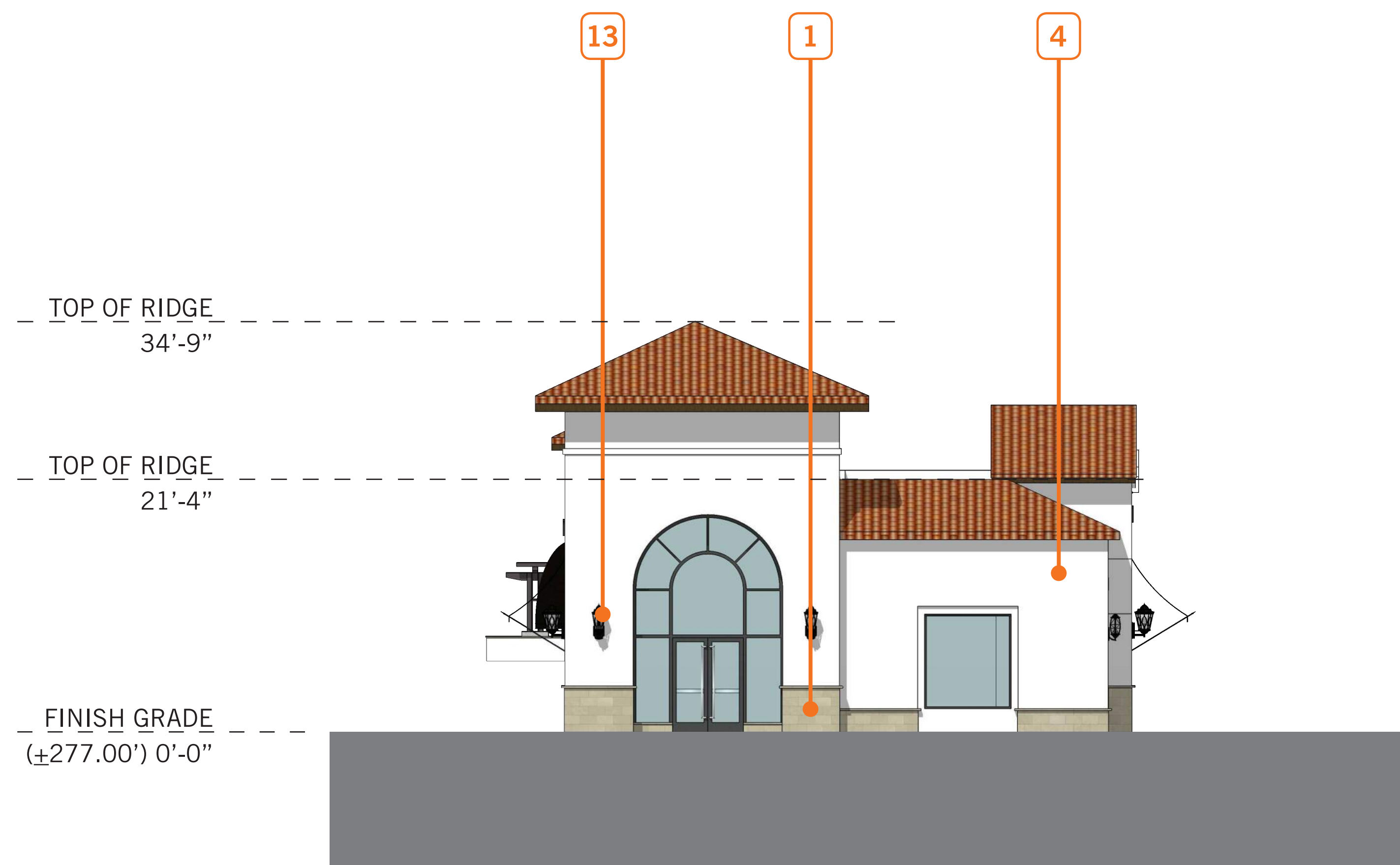
Original Date: 10/24/2016

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DEP# _____



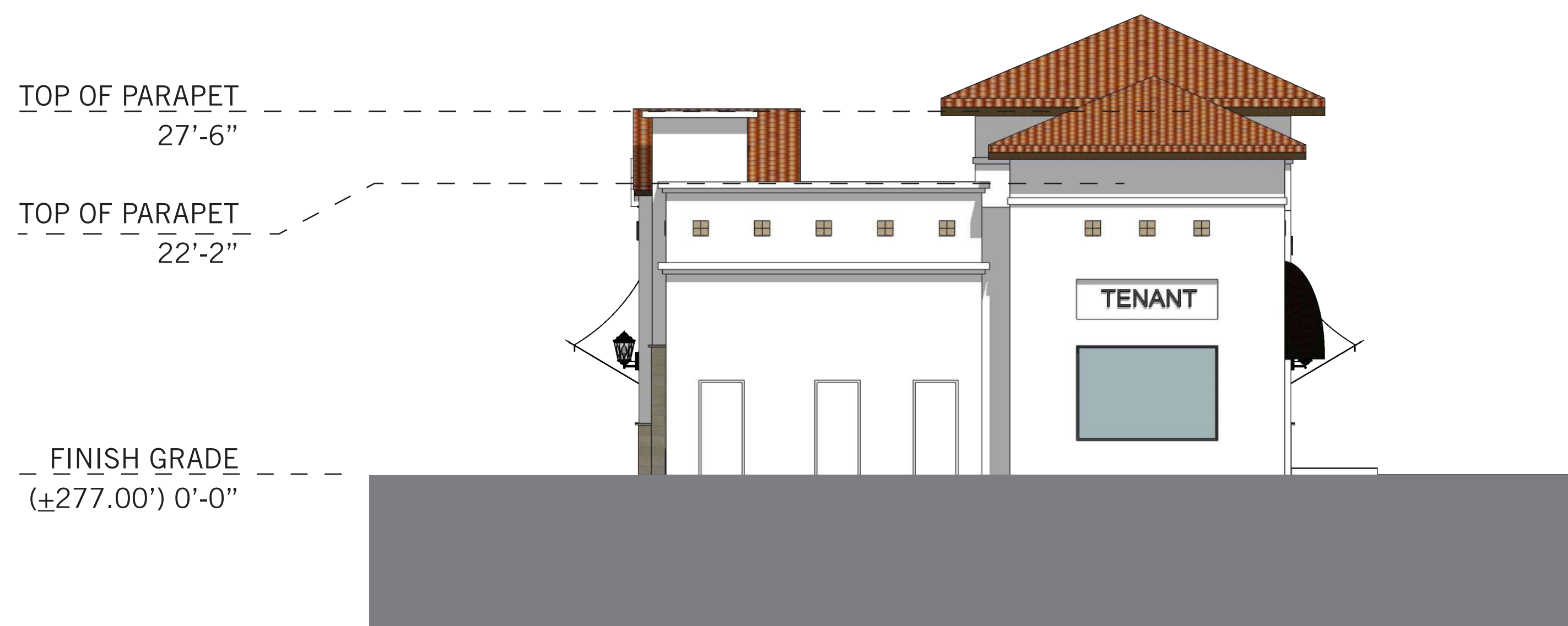
North Exterior Elevation



East Exterior Elevation



South Exterior Elevation | Street Facing Elevation



West Exterior Elevation

- KEY NOTES**
- 1 PRECAST CONCRETE BASE TO MACH EXISTING
 - 2 GFRG ARCH FORM WITH CEMENT PLASTER FINISH TO MATCH EXSTING
 - 3 GFRG FOAM TRIM WITH CEMENT PLASTER FINISH TO MATCH EXISTING
 - 4 INTEGRAL COLOR CEMENT PLASTER TO MATCH EXISTING
 - 5 STONE WALL BASE TO MATCH EXISTING
 - 6 STEEL FRAME WITH FABRIC AWNING TO MATCH EXISTING
 - 7 WOOD TAIL RAFTERS TO MATCH EXISTING
 - 8 CORNICE TO MATCH EXISTING
 - 9 CLAY ROOF TILE TO MATCH EXISTING
 - 10 STANDING SEAM METAL ROOF TO MATCH EXISTING
 - 11 CERAMIC TILE TO MATCH EXISTING
 - 12 TENANT SIGNAGE LOCATIONS
 - 13 LIGHT FIXTURE LOCATIONS

NOTE:
50% OF STREET WALL AREA BETWEEN 3'-10' ABOVE SIDEWALK SHALL BE TRANSPARENT.

OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506

PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634

LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB
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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

Sheet Title:
Building L
Exterior Elevations

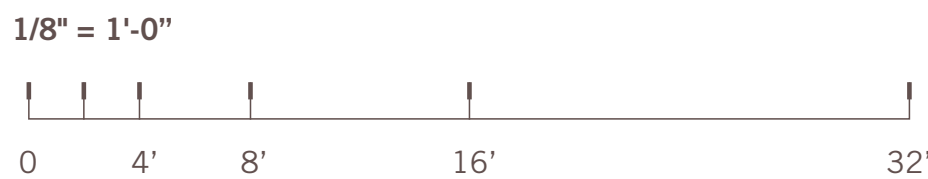
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Revision 3:	04/13/2017
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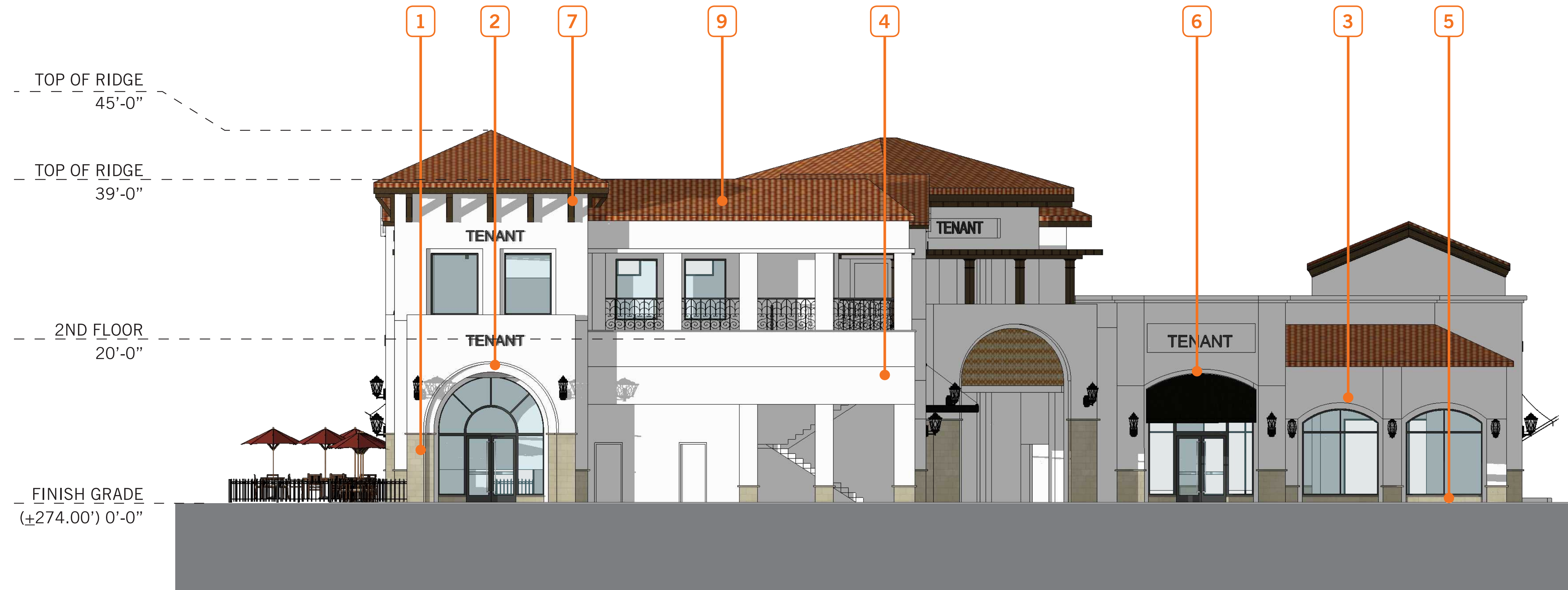
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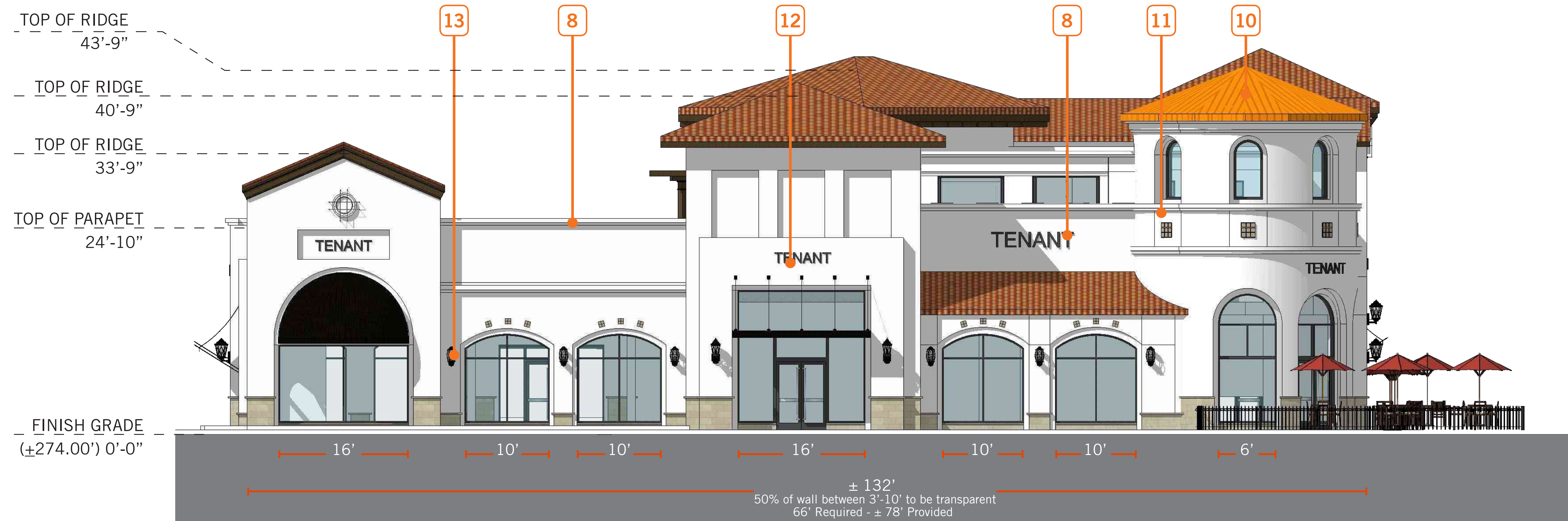
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BUILDING "L" EXTERIOR ELEVATIONS





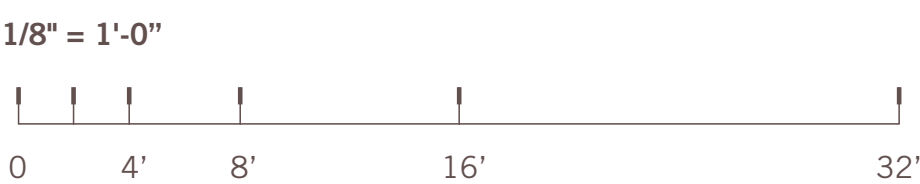
North Exterior Elevation



South Exterior Elevation I Street Facing Elevation

NOTE:
BUILDING ADDRESS NUMBERS
TO BE VISIBLE AND LEGIBLE FROM
VILLAGE WAY

BUILDING "K" EXTERIOR ELEVATIONS



KEY NOTES

- 1 PRECAST CONCRETE BASE TO MACH EXISTING
- 2 GFR ARCH FORM WITH CEMENT PLASTER FINISH TO MATCH EXSTING
- 3 GFR FOAM TRIM WITH CEMENT PLASTER FINISH TO MATCH EXISTING
- 4 INTEGRAL COLOR CEMENT PLASTER TO MATCH EXISTING
- 5 STONE WALL BASE TO MATCH EXISTING
- 6 STEEL FRAME WITH FABRIC AWNING TO MATCH EXISTING
- 7 WOOD TAIL RAFTERS TO MATCH EXISTING
- 8 CORNICE TO MATCH EXISTING
- 9 CLAY ROOF TILE TO MATCH EXISTING
- 10 STANDING SEAM COPPER ROOF TO MATCH EXISTING
- 11 CERAMIC TILE TO MATCH EXISTING
- 12 TENANT SIGNAGE LOCATIONS
- 13 LIGHT FIXTURE LOCATIONS
- 14 METAL RAILING TO MATCH EXISTING

NOTE:
50% OF STREET WALL AREA BETWEEN
3'-10' ABOVE SIDEWALK SHALL BE
TRANSPARENT.
"Sidewalk cafés shall conform to San Diego
Municipal Code 141.0621."

OWNER/APPLICANT: PHR VILLAGE II, LLC
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(P) 858.587.9192 (F) 858.587.0576

CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
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SAN DIEGO, CA 92122
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PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
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LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB

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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

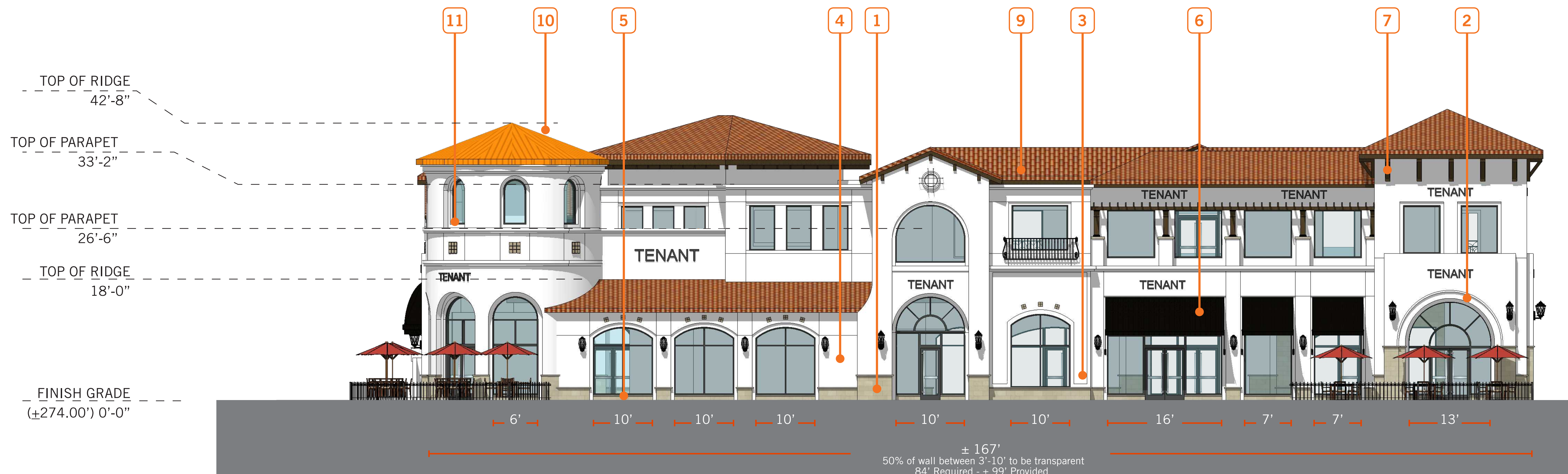
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Building K
Exterior Elevations

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Revision 12:	_____
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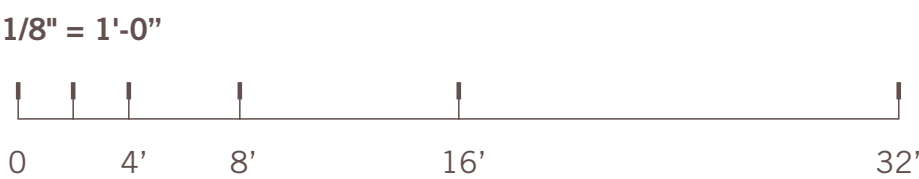
East Exterior Elevation I Street Facing Elevation

NOTE:
BUILDING ADDRESS NUMBERS
TO BE VISIBLE AND LEGIBLE FROM
VILLAGE WAY



West Exterior Elevation

BUILDING "K" EXTERIOR ELEVATIONS



KEY NOTES

- 1 PRECAST CONCRETE BASE TO MACH EXISTING
- 2 GFRG ARCH FORM WITH CEMENT PLASTER FINISH TO MATCH EXSTING
- 3 GFRG FOAM TRIM WITH CEMENT PLASTER FINISH TO MATCH EXISTING
- 4 INTEGRAL COLOR CEMENT PLASTER TO MATCH EXISTING
- 5 STONE WALL BASE TO MATCH EXISTING
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- 7 WOOD TAIL RAFTERS TO MATCH EXISTING
- 8 CORNICE TO MATCH EXISTING
- 9 CLAY ROOF TILE TO MATCH EXISTING

- 10 STANDING SEAM COPPER ROOF TO MATCH EXISTING
- 11 CERAMIC TILE TO MATCH EXISTING
- 12 TENANT SIGNAGE LOCATIONS
- 13 LIGHT FIXTURE LOCATIONS
- 14 METAL RAILING TO MATCH EXISTING

NOTE:
50% OF STREET WALL AREA BETWEEN
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"Sidewalk cafés shall conform to San Diego
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ARCHITECT: WARE MALCOMB
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SAN DIEGO, CA 92122
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PLANNING: LATITUDE 33 PLANNING & ENGINEERING
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SAN DIEGO, CA 92131
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LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

WARE MALCOMB

architecture | planning | interiors | branding | civil

Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

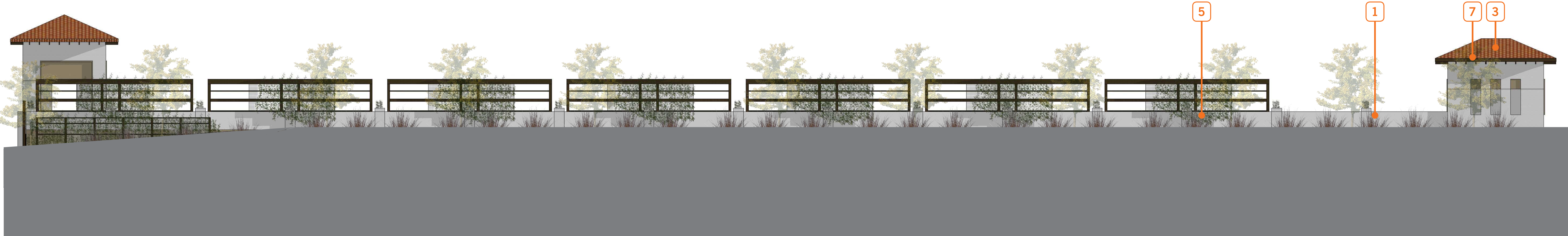
Sheet Title:
Building K
Exterior Elevations

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Revision 13:	_____
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Revision 3:	04/13/2017
Revision 2:	02/10/2017
Revision 1:	11/23/2016

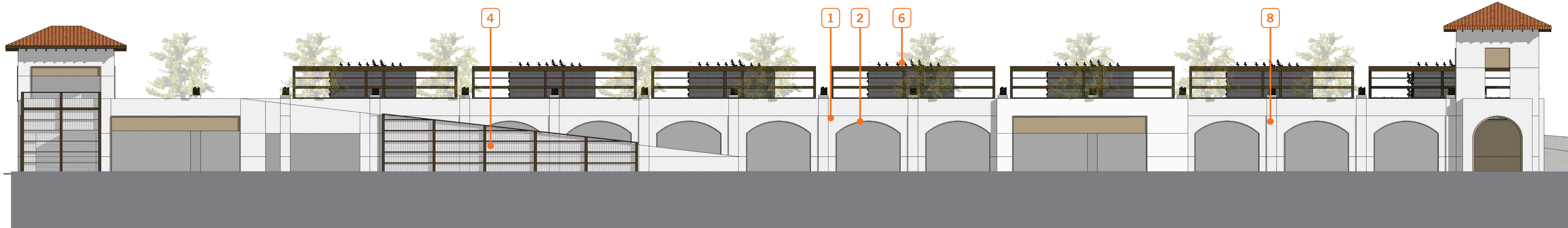
Original Date: 10/24/2016

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DEP# _____



North Exterior Elevation



South Exterior Elevation



East Exterior Elevation



West Exterior Elevation

OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

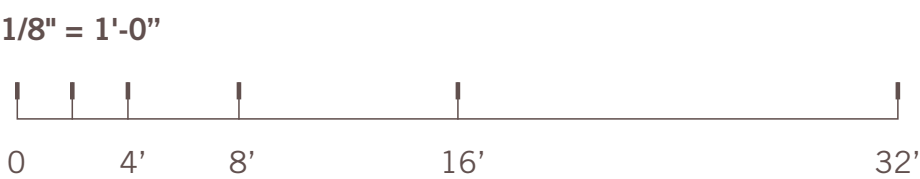
CIVIL ENGINEER: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634
ARCHITECT: WARE MALCOMB
6363 GREENWICH DRIVE
SAN DIEGO, CA 92122
(P) 858.638.7277 (F) 858.638.7506
PLANNING: LATITUDE 33 PLANNING & ENGINEERING
9968 HIBERT STREET, 2ND FLOOR
SAN DIEGO, CA 92131
(P) 858.751.0633 (F) 858.751.0634
LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHAWK STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

KEY NOTES

- 1 PAINTED CONCRETE PANELS WITH JOINTS AND REVEALS AS INDICATED
- 2 PRE-CAST CONCRET TRIM AT OPENINGS
- 3 ROOF TILE TO MATCH EXISTING
- 4 RAMP
- 5 PAINTED METAL GREEN SCREEN
- 6 SHADE COVER TO BE PAINTED METAL STRUCTURE WIT A FABRIC CANOPY WITH A MINIMUM OPACITY OF 50%
- 7 WOOD BEAM TAILS
- 8 CONCRETE COLUMN
- 9 SHADING DENOTES LINE OF GRADE AT CARMEL VALLEY ROAD
- 10 STREET TREE BUFFER IN FRONT OF PARKING STRUCTURE

PARKING STRUCTURE ELEVATIONS



WARE MALCOMB

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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

Sheet Title:

Parking Garage

Exterior Elevations

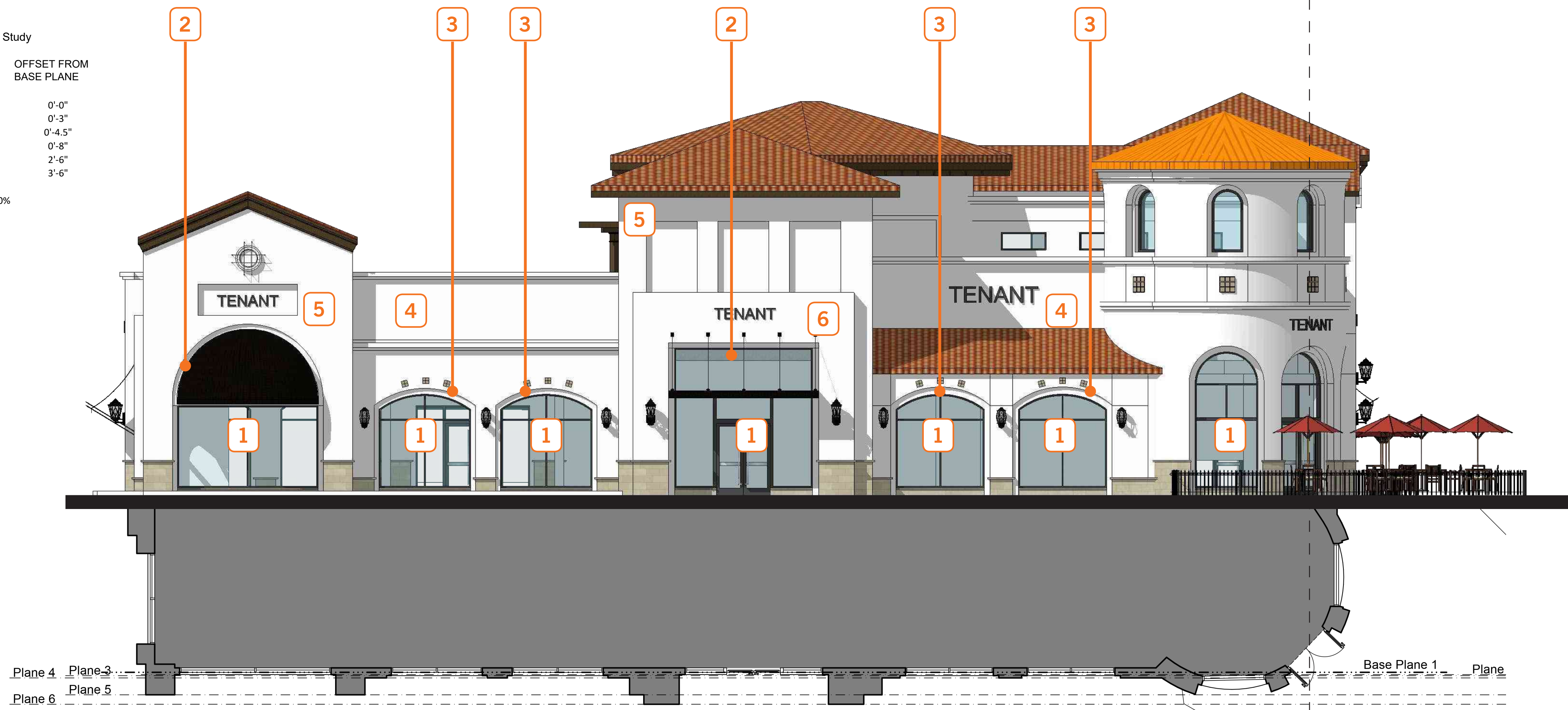
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Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	04/13/2017
Revision 2:	02/10/2017
Revision 1:	11/23/2016

Original Date: 10/24/2016

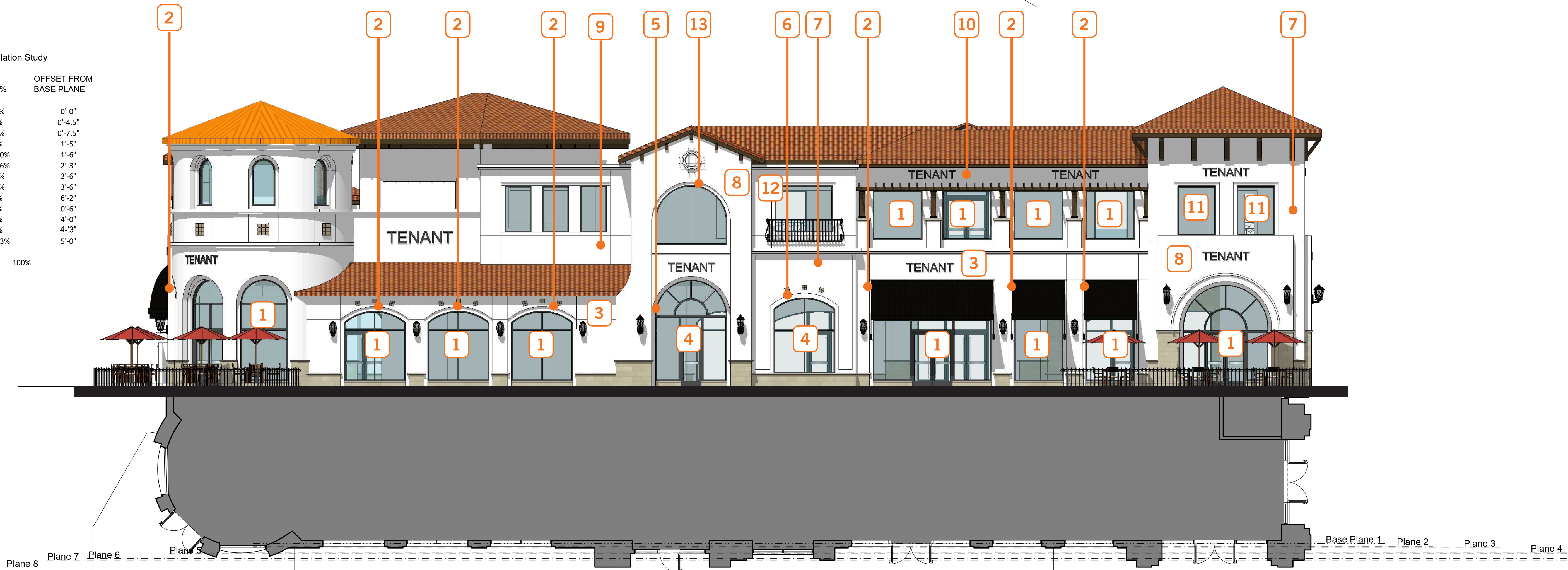
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Building Articulation Study				
WALL PANE	AREA	BLDG FAÇADE %	OFFSET FROM BASE PLANE	
1	883 SF	28%	0'-0"	
2	163 SF	5%	0'-3"	
3	78 SF	2%	0'-4.5"	
4	665 SF	21%	0'-8"	
5	1090 SF	35%	2'-6"	
6	271 SF	9%	3'-6"	
Grand Total	3150	100%		

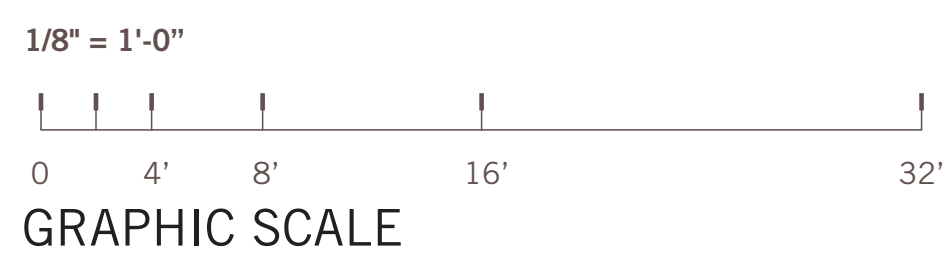


Building Articulation Study				
WALL PANE	AREA	BLDG FAÇADE %	OFFSET FROM BASE PLANE	
1	1144 SF	25%	0'-0"	
2	300 SF	6%	0'-4.5"	
3	601 SF	13%	0'-7.5"	
4	249 SF	5%	1'-5"	
5	21 SF	0.450%	1'-6"	
6	18 SF	0.386%	2'-3"	
7	715 SF	15%	2'-6"	
8	593 SF	13%	3'-6"	
9	339 SF	7%	6'-2"	
10	362 SF	8%	0'-6"	
11	107 SF	2%	4'-0"	
12	196 SF	4%	4'-3"	
13	23 SF	0.493%	5'-0"	
Grand Total	4668	100%		



GROUND FLOOR

SECOND FLOOR



OWNER/APPLICANT: PHR VILLAGE II, LLC
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PLANNING: LATITUDE 33 PLANNING & ENGINEERING
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LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHA STREET, SUITE 100
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Prepared By:

WARE MALCOMB
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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

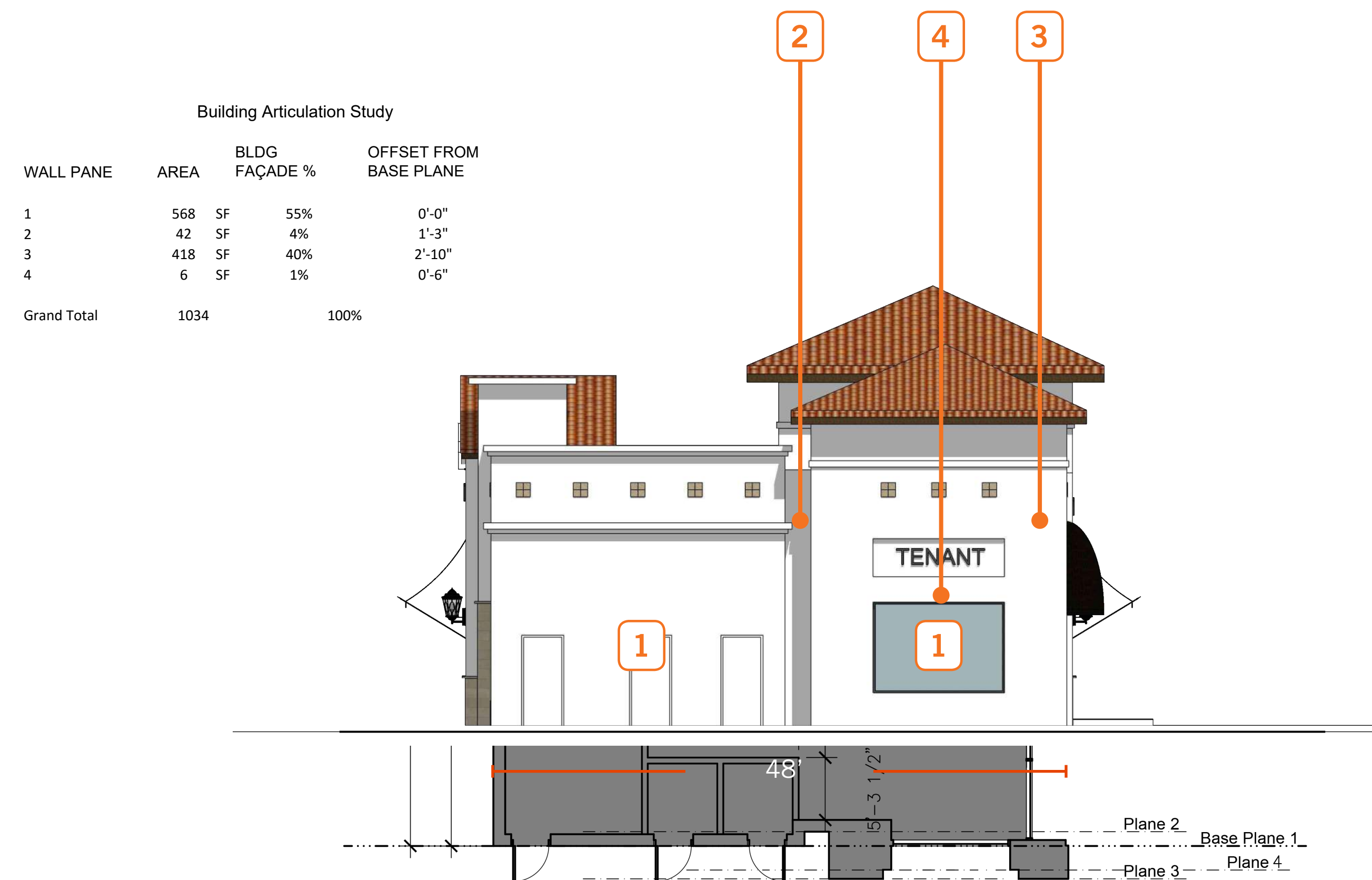
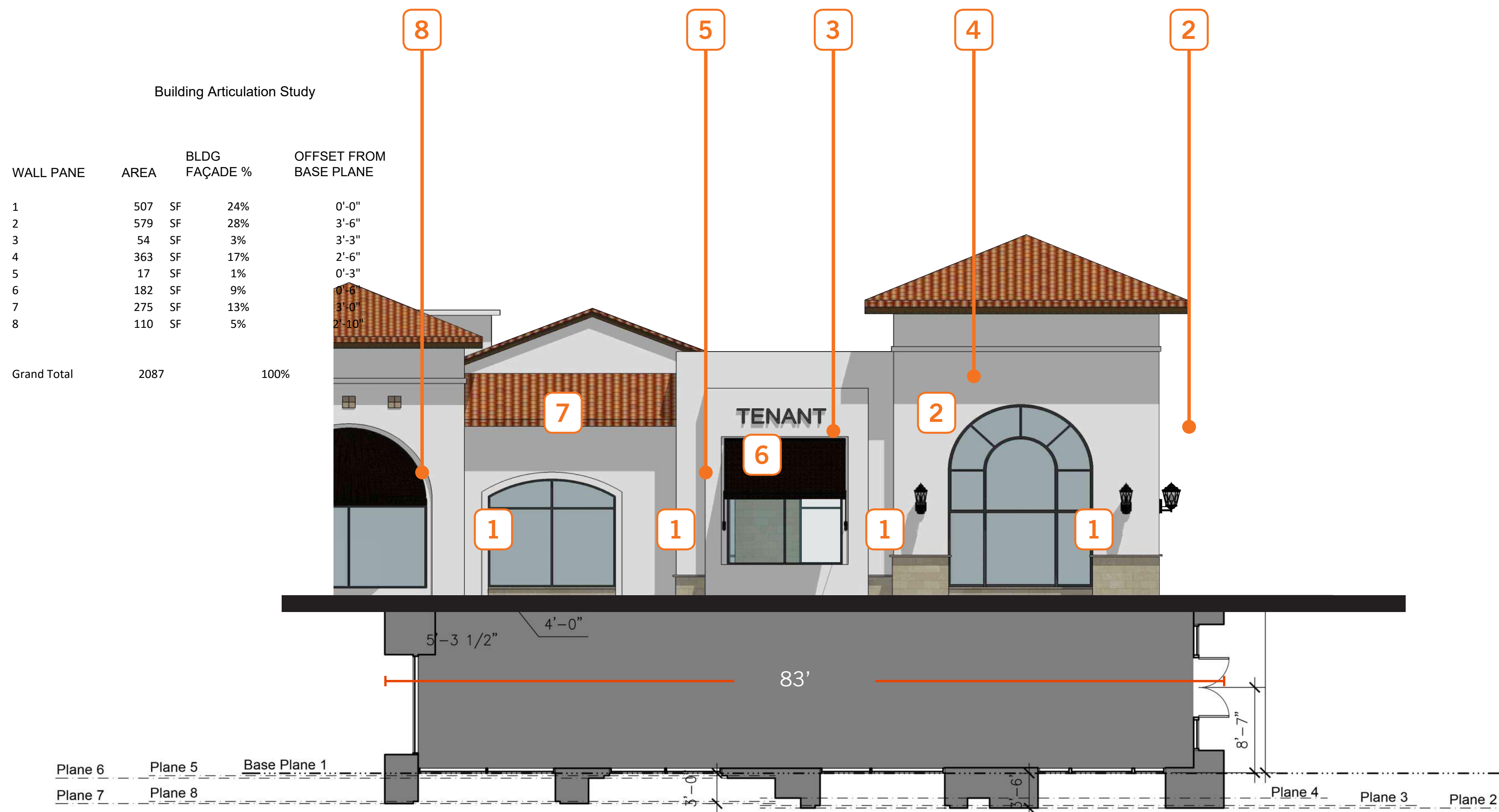
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Revision 14: _____
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Revision 1: 11/23/2016

Original Date: 10/24/2016

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OWNER/APPLICANT: PHR VILLAGE II, LLC
12230 EL CAMINO REAL, SUITE 140
SAN DIEGO, CA 92130
(P) 858.587.9192 (F) 858.587.0576

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LANDSCAPE ARCHITECT: MARUM PARTNERSHIP
10680 TREEHA STREET, SUITE 100
SAN DIEGO, CA 92131
(P) 619.992.9533

Prepared By:

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Project Address:
6020 VILLAGE WAY
SAN DIEGO, CA 92130

Project Name:



THE VILLAGE at PHR
COMMERCIAL PHASE II

Sheet Title:
Building Articulation
Study: Building L

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Revision 3: 04/13/2017
Revision 2: 02/10/2017
Revision 1: 11/23/2016

Original Date: 10/24/2016

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