



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: January 18, 2018 REPORT NO. PC-18-001
HEARING DATE: January 25, 2018
SUBJECT: VERIZON SCRIPPS RANCH GENERATOR. Process Four Decision
PROJECT NUMBER: [555115](#)
OWNER/APPLICANT: City of San Diego/Verizon Wireless

SUMMARY

Issue: Should the Planning Commission approve an amendment to allow an emergency generator addition to an existing Wireless Communication Facility (WCF) located at 12225 Spring Canyon Road in the Scripps Miramar Ranch Community Planning area?

Staff Recommendation: **Approve** Neighborhood Development Permit (NDP) No. 2071942, Conditional Use Permit (CUP) No. 1952908 and Planned Development Permit (PDP) No. 2072029.

Community Planning Group Recommendation: On October 5, 2017, the Scripps Ranch Planning Group voted 13-1-1 to recommend approval of the project with the condition that testing of the generator be allowed only during the hours of 8 am and 4 pm (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 6, 2017 and the opportunity to appeal that determination ended December 20, 2017 (Attachment 9).

Fiscal Impact Statement: None. A flat fee was paid for by the applicant for the processing of this project.

Code Enforcement Impact: None.

BACKGROUND

Verizon Scripps Ranch Water Generator Add, located at 12225 Spring Canyon Road is an amendment to a CUP/PDP for an existing Wireless Communication Facility (WCF) on a City water

tank property. The site is zoned RS-1-8 and is designated Open Space in the Scripps Miramar Ranch Community Plan. On July 12, 2012, the Planning Commission approved a CUP and PDP for a 48-foot tall faux eucalyptus tree supporting 12 panel antennas and a microwave dish with an associated 237-square-foot equipment enclosure. The approval included a 13-foot height deviation to the 35-foot height limit in the RS-1-8 zone (Attachment 7).

Wireless Communication Facilities (WCF) are permitted on non-residential uses within residential zones with a CUP, Process Three and pursuant to [LDC Section 126.0113](#), an application for an amendment shall be acted upon in accordance with the same process as the original development permit. Since the original permit included a PDP, the Planning Commission is the decision maker for the amendment. City Council Policy 600-43 (Wireless Communication Facilities) categorizes this project as a Preference 3 location and site justification for the WCF is included in the original project record.

Surrounding uses include single-unit residential uses to the west, south and east and multi-unit residential units and open space to the north (Attachment 1). The water tank is situated approximately 20 feet higher than the surrounding residential uses and the slopes are planted with numerous mature eucalyptus trees (Attachment 10).

DISCUSSION

Proposed Project:

This project proposes to amend the previous CUP/PDP to add an emergency standby generator within a self-contained sound attenuated enclosure and a sound wall. The expansion of the equipment area by 110 square feet will result in a 337-square foot equipment area, which exceeds the 250 square feet allowed pursuant to Land Development Code (LDC) [Section 141.0420\(g\)\(3\)](#), requiring an NDP.

The WCF is located to the east of the water tank and consists of a 237-square-foot equipment enclosure with a 48-foot tall faux eucalyptus tree 10 feet to the south of the enclosure. The generator is proposed between the enclosure and the tree and a 9-foot tall sound wall will be constructed on the east and south sides with a slight wrap around on the west side. Laurel Sumac and Toyon shrubs are proposed to be planted around the wall (Attachment 12).

The addition of an emergency generator does not trigger the need for a new site justification analysis, however a noise study was required to determine if the weekly testing of the generator and use during electrical grid failures would exceed noise levels for the homes located at the bottom of the slope to the east, which are the closest to the WCF, approximately 92 feet away. The Noise Assessment Report concluded that the generator would exceed the City's noise limit of 40dBA Leq from 10 pm to 7 am, however, the project features include a self-contained sound attenuated enclosure and a 9-foot tall sound wall, both of which will mitigate the noise levels to below the maximum permitted for nighttime.

Community/General Plan Analysis:

The [Scripps Miramar Ranch Community Plan](#) was adopted in 1978 and did not contemplate WCF. However, the City's General Plan addresses Wireless Facilities in the [Urban Design Element \(UD-A.15\)](#). The visual impact of WCFs should be minimized by concealing them in existing structures or by using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

The Verizon Scripps Ranch Generator project is an existing 48-foot tall eucalyptus tree with a 237-square-foot equipment enclosure. The original project included the installation of six 24-inch box eucalyptus trees to help integrate the faux eucalyptus from the residential homes below. The new project, which is the addition of an emergency generator, will be located behind a new sound wall which will be painted an earth tone color to blend in with the woody eucalyptus setting (Attachment 11). Therefore, the project meets the objectives of the General Plan.

Conclusion:

The project complies with the development regulations of the RS-1-8 zone and it complies with the WCF Regulations (SDMC 141.0420). Staff has prepared draft findings in the affirmative to approve the project and recommends approval of NDP No. 2071942, CUP No. 1952908 and PDP No. 2072029 (Attachment 5).

ALTERNATIVES:

1. Approve Neighborhood Development Permit No. 2071942, Conditional Use Permit No. 1952908 and Planned Development Permit No. 2072029 with modifications.
2. Deny Neighborhood Development Permit No. 2071942, Conditional Use Permit No. 1952908 and Planned Development Permit No. 2072029, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Patricia J. Fitzgerald
Assistant Deputy Director
Development Services Department



Karen Lynch
Development Project Manager
Development Services Department

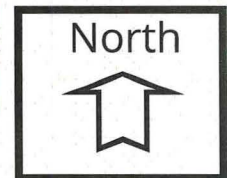
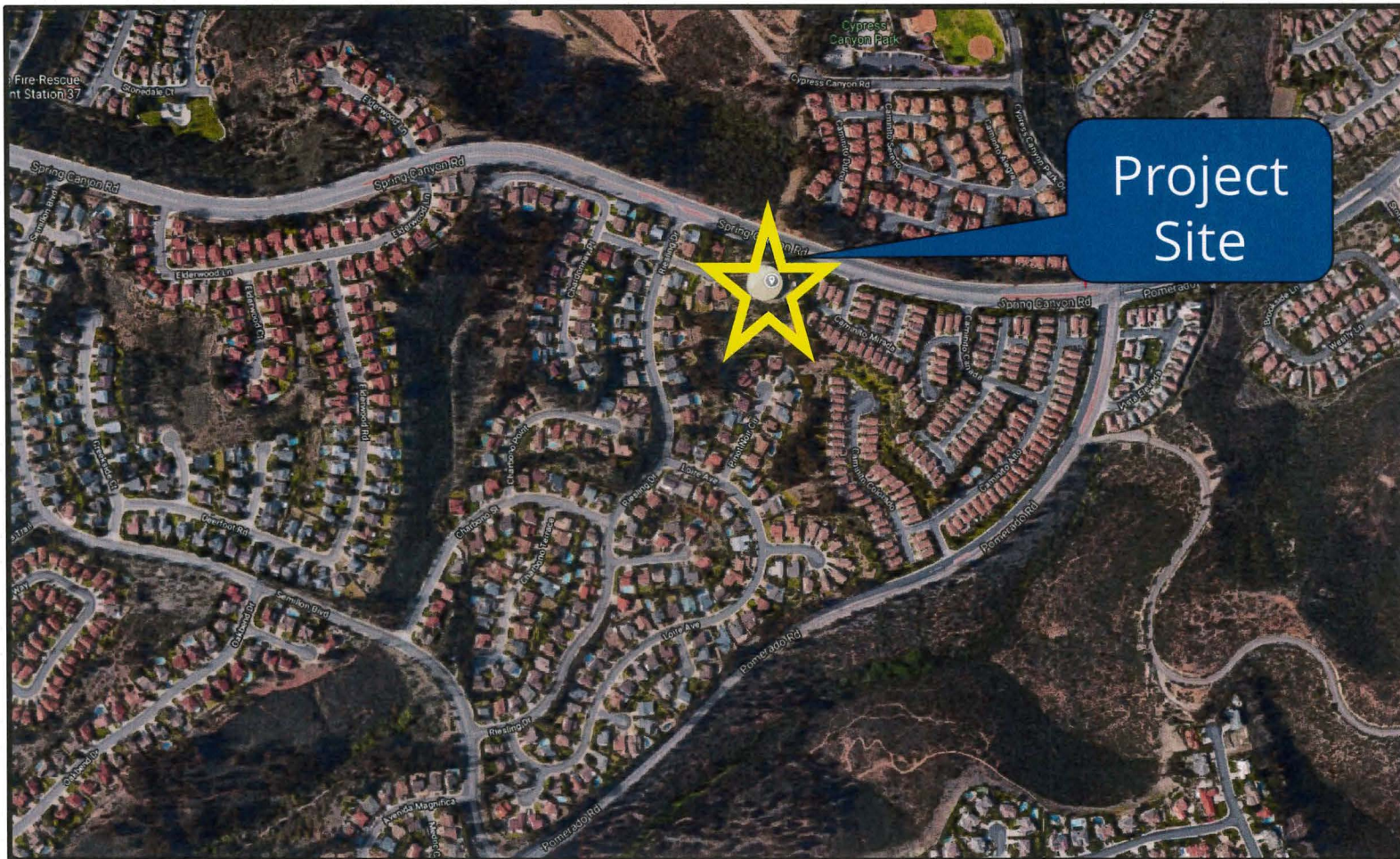
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Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Recorded Permit (Project No. 223834)
8. Community Planning Group Recommendation
9. Environmental Exemption
10. Photo Survey
11. Photo Simulations
12. Project Plans



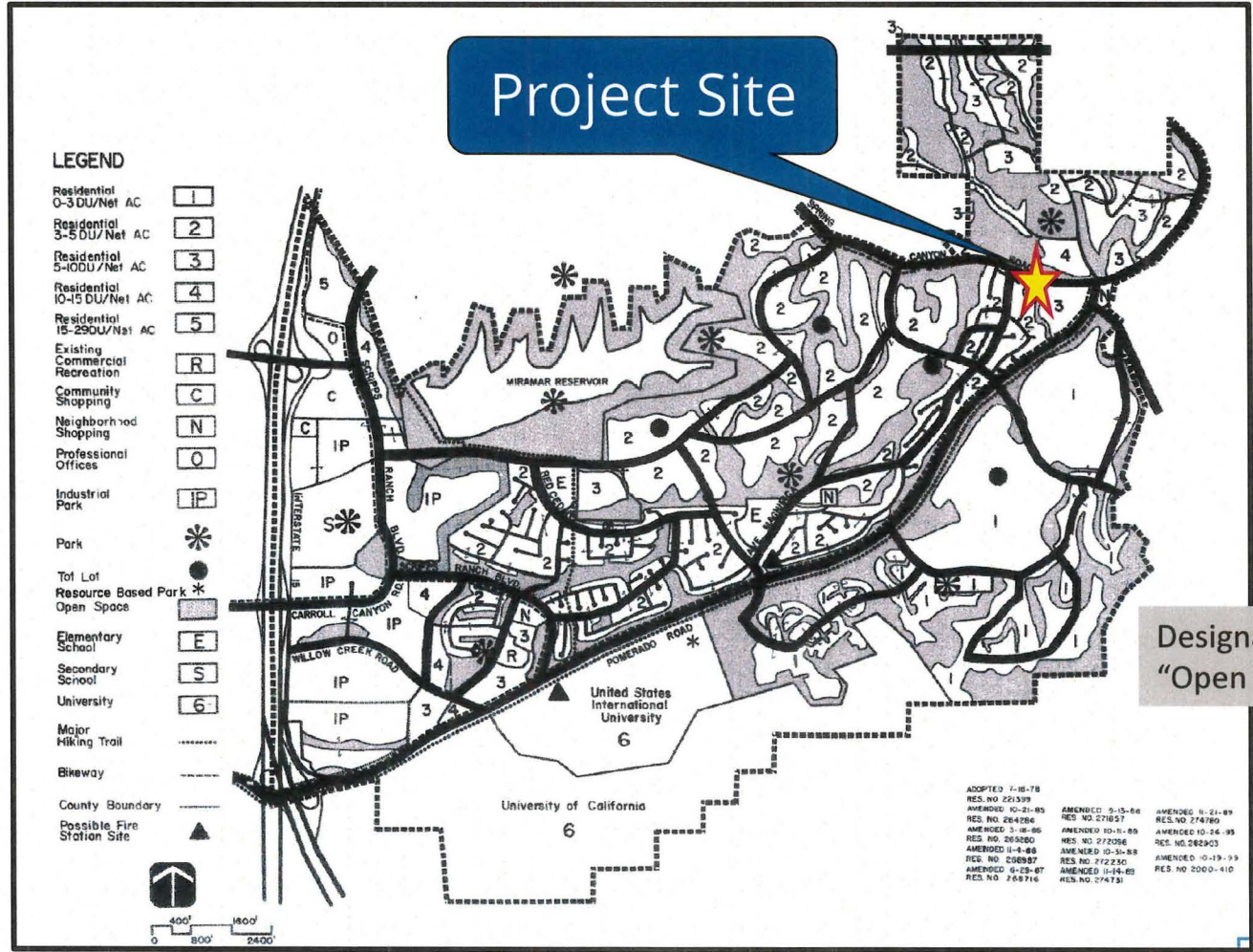
Aerial Photo



**Verizon Scripps Ranch Generator (Scripps Miramar Ranch Community)
12225 Spring Canyon Road**



Community Plan



Designated as "Open Space"

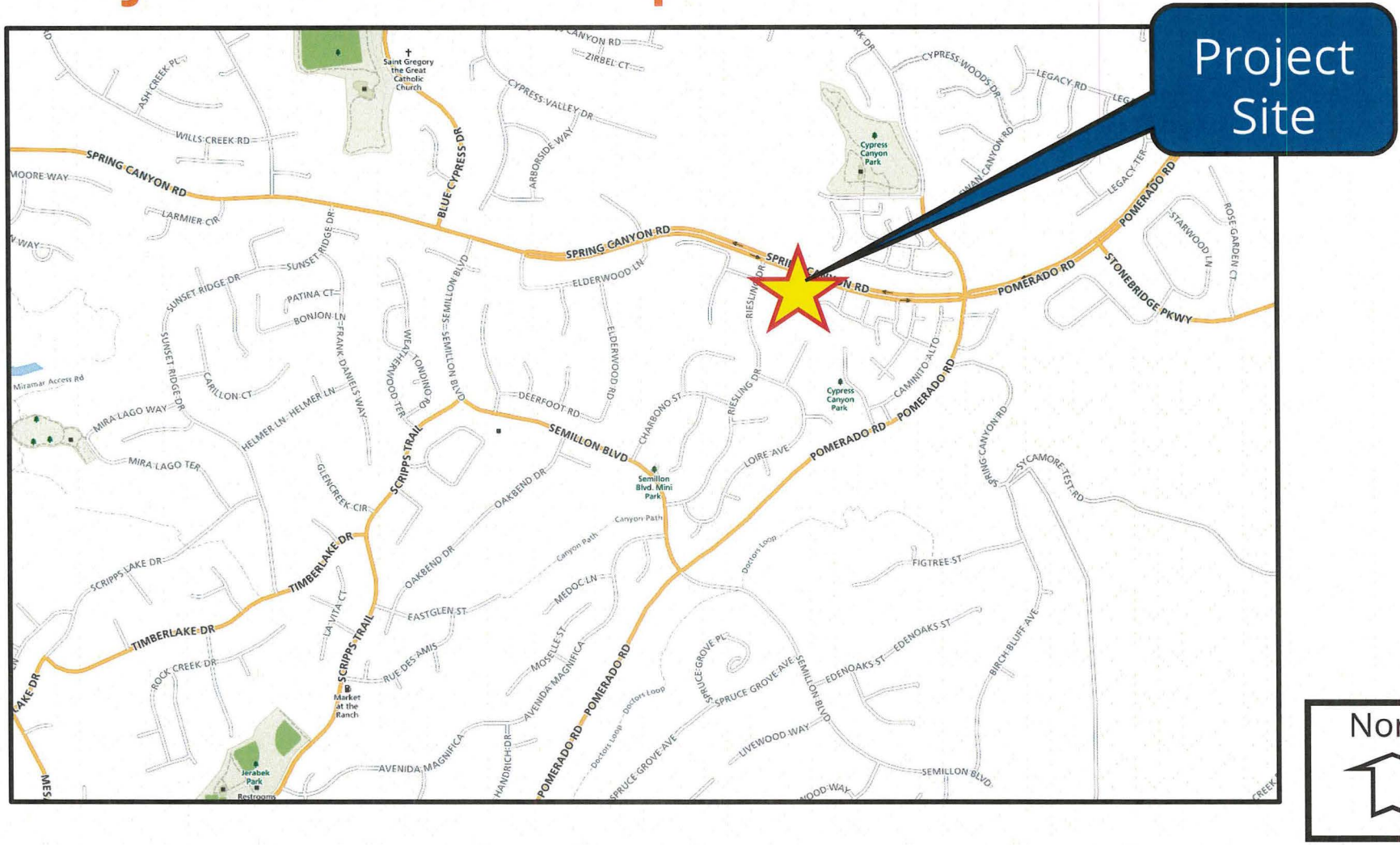


ATTACHMENT 2

Verizon Scripps Ranch Generator (Scripps Miramar Ranch Community)
12225 Spring Canyon Road



Project Location Map



Verizon Scripps Ranch Generator (Scripps Miramar Ranch Community)
12225 Spring Canyon Road

PROJECT DATA SHEET

PROJECT NAME:	Verizon Scripps Ranch Generator	
PROJECT DESCRIPTION:	An amendment to an existing Wireless Communication Facility (WCF) consisting of a 48' tall faux eucalyptus tree and a 237-square-foot equipment enclosure. This project proposes to add 110 square feet to the equipment area to install an emergency standby generator.	
COMMUNITY PLAN AREA:	Scripps Miramar Ranch Neighborhoods	
DISCRETIONARY ACTIONS:	Neighborhood Development Permit and an Amendment to Conditional Use Permit/Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Resource Based Park and Open Space	
ZONING INFORMATION:		
<u>Required</u>		
ZONE:	RS-1-8 (Residential Minimum 40,000 sq. ft. lots)	
HEIGHT LIMIT:	35 feet	
FRONT SETBACK:	25 feet	
SIDE SETBACK:	10 feet	
STREETSIDE SETBACK:	Not Applicable	
REAR SETBACK:	10 feet	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Open Space and Park; RS-1-8	Vacant Open Space
SOUTH:	Open Space and Park; RS-1-8	Vacant Open Space
EAST:	Residential - (5-10 du/ac); RM-1-1	Multi-Unit Residential
WEST:	Residential - (3-5 du/ac); RS-1-13	Single Unit Residential
DEVIATION REQUESTED:	The WCF regulations allow a maximum equipment area of 250 square feet. This project proposes a total of 337 square feet.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 5, 2017, the Scripps Ranch Planning Group voted 13-1-1 to recommend approval of the Verizon Scripps Ranch Generator project with the condition that testing be allowed only during the hours of 8 am and 4 pm.	

PLANNING COMMISSION
RESOLUTION NO. [REDACTED]
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2071942
CONDITIONAL USE PERMIT NO. 1952908
PLANNED DEVELOPMENT PERMIT NO. 2072029
VERIZON SCRIPPS RANCH GENERATOR PROJECT NO. 555115
AMENDMENT TO CONDITIONAL USE PERMIT NO. 797438/
PLANNED DEVELOPMENT PERMIT NO. 880135

WHEREAS, City of San Diego, Owner, and Verizon Wireless, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2071942, 1952908, 2072029), on portions of a 1.67-acre site;

WHEREAS, the project site is located at 12225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community Planning area;

WHEREAS, the project site is legally described as Lot 891 of Scripps Ranch Unit No. 11 according to Map thereof No. 8223 in the City of San Diego, County of San Diego, state of California;

WHEREAS, on December 8, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 25, 2018, the Planning Commission of the City of San Diego considered Neighborhood Development Permit No. 2071942 (amendment to Conditional Use Permit No. 1952908 and Planned Development Permit No. 2072029), pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 25, 2018.

A. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404]

1. Findings for all Neighborhood Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

The Scripps Miramar Ranch Community Plan (Community Plan), originally adopted in 1978 does not address Wireless Communication Facilities (WCF). However, the City's General Plan does address WCF's in the Urban Design Element (UD-A.15), which requires the visual impact of wireless facilities to be minimized by concealing

wireless facilities in existing structures or by using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view.

This project consists of an existing 48-foot tall faux eucalyptus tree supporting 12 panel antennas and a microwave dish with an associated 237-square-foot equipment enclosure. The project proposes to add an emergency standby generator, which will be within a self-contained sound attenuated enclosure with a 9-foot tall sound wall. The existing equipment area will expand an extra 110 square feet for a total area of 347 square feet, which requires a Neighborhood Development (NDP) to exceed the maximum equipment area of 250 square feet. The generator is proposed on the south side of the existing equipment enclosure and will include a combination of Laurel Sumac and Toyon shrubs planted on the outside of the proposed 9-foot tall sound wall. The WCF is elevated above the residential uses below and to the east by approximately 20 feet. Views of the WCF equipment area are intermittent due to the existing shrubs and trees on the slope and on the City's property.

The existing WCF was approved on July 12, 2012 by the Planning Commission with the permit set to expire on July 12, 2022. The project site is zoned RS-1-8, which permits WCFs with Conditional Use Permit (CUP), Process Four. The project required a Planned Development permit (PDP) because the faux tree exceeds the 35-foot height limit in the zone.

With the exception of the tree height, which was previously approved and the current request for the deviation to the maximum equipment area square footage, the project complies with the RS-1-8 development regulations and the Wireless Communication Facilities regulations. The proposed addition to the WCF will not adversely affect the applicable land use plan or the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project is located on a City Water Department property at 12225 Spring Canyon Road in the Scripps Miramar Ranch Community Plan area. It proposes to add an emergency standby generator within a self-contained sound attenuated enclosure with a 9-foot tall sound wall. The existing Wireless Communication Facility (WCF) consists of a 48-foot tall faux eucalyptus tree supporting 12 panel antennas and microwave dish with an associated 237-square-foot equipment enclosure. The WCF was approved in 2012 by the Planning Commission.

The project was determined to be exempt from CEQA pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans

associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The official project file includes an updated Radiofrequency Exposure FCC Compliance Assessment that was prepared by Verizon demonstrating that the project will be in compliance with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located within the RS-1-8 zone of the Scripps Miramar Ranch Community Planning area. The existing 48-foot tall faux tree was approved in 2012 by the Planning Commission to exceed the 35-foot height limit of the zone. All other project components comply with the RS-1-8 development regulations. This project proposes to add an emergency standby generator within a self-contained sound attenuated enclosure with a 9-foot tall sound wall. The existing Wireless Communication Facility (WCF) includes a 237-square-foot equipment enclosure and this project will add 110 square feet to the equipment area for a total of 347 square feet. A Neighborhood Development Permit (NDP) is required to exceed the maximum equipment area of 250 square feet. The generator is proposed on the south side of the equipment enclosure and Verizon is proposing to plant Laurel Sumac and Toyon shrubs around the base of the sound wall. The WCF is on City Water Department property where an existing 31-foot tall City water tank is located. The faux eucalyptus tree is located on the southeast side of the water tank and sits approximately 20 feet above the single-family homes to the east. The slope between the two uses is planted with trees and shrubs so views of the generator addition will be intermittent. The proposed project will comply with the applicable regulations of the Land Development Code including the existing deviation for the height and the new deviation for the size of the equipment area.

B. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

2. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

See NDP Finding A(1)(a) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by

reference, the proposed development will not adversely affect the applicable land use plan or the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

See NDP Finding A(1)(b) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

See NDP Finding A(1)(c) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project is located on a non-residential use in a residential zone and is considered a Preference 3 location as identified in Council Policy 600-43, Wireless Communication Facilities (WCF). The policy is meant to promote preferred locations in order to minimize land use and visual impacts to the community.

The water tank is elevated about the surrounding residential uses by more than 20 feet. The water tank is approximately 31 feet tall and is surrounded by mature eucalyptus trees. The Verizon faux eucalyptus tree is 48 feet tall and located on the east side of the tank. It is visible to the residential neighborhood to the east, but because it is a faux tree, it integrates into the backdrop and effectively assimilates into the setting. Locating within a strictly residential neighborhood is a challenge for WCF carriers but non-residential properties in neighborhoods provide opportunities that allow wireless coverage to be maintained in the community while reducing visual impacts. The faux eucalyptus tree is appropriate for this location.

C. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

See NDP Finding A(1)(a) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by

reference, the proposed development will not adversely affect the applicable land use plan or the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

See NDP Finding A(1)(b) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

See NDP Finding A(1)(c) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project that would be achieved if designed in strict conformance with the development regulations of the applicable zone and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Neighborhood Development Permit No. 2071942, Conditional Use Permit No. 1952908, and Planned Development Permit No. 2072029 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2071942, 1952908, 2072029, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: January 25, 2018

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2071942
CONDITIONAL USE PERMIT NO. 1952908
PLANNED DEVELOPMENT PERMIT NO. 2072029
VERIZON SCRIPPS RANCH GENERATOR PROJECT NO. 555115
AMENDMENT TO CONDITIONAL USE PERMIT NO. 797438/
PLANNED DEVELOPMENT PERMIT NO. 880135
PLANNING COMMISSION

This Conditional Use Permit No. 1952908, Planned Development Permit No. 2072029 and Neighborhood Development Permit No. 2071942 is granted by the Planning Commission of the City of San Diego to City of San Diego, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0303 and 126.0402. The 1.67-acre site is located at 1225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community Plan. The project site is legally described as: Lot 891 of Scripps Ranch Unit No. 11 according to map thereof No. 8223 in the City of San Diego, County of San Diego, state of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 25, 2018, on file in the Development Services Department.

The project shall include:

- a. An emergency standby generator within a self-contained sound attenuated enclosure and associated 9-foot tall sound wall;
- b. A deviation to expand the existing 237-square-foot equipment area beyond the 250-square-foot maximum with an additional 110 square feet for a total equipment area of 347 square feet;
- c. Existing 48-foot tall faux eucalyptus tree supporting 12 panel antennas and a 4-foot diameter microwave dish (approved by Conditional Use Permit No. 797438/Planned Development Permit No. 880135);
- d. Landscaping (planting, irrigation and landscape related improvements);

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment. (Delete if necessary)

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this Permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This Permit must be utilized by February 8, 2021.
2. This permit and corresponding use of this site shall **expire on February 8, 2028**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the

defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 2.6 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

16. Prior to the issuance of any construction permit, the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any building permit, the Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department.

18. The Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

20. If trees with a trunk width of 4 inches or more (measured by caliper, 4 feet above grade) are removed or significantly trimmed for the installation or operation of the wireless communication facility, then replacement trees of a similar size shall be planted to the satisfaction of the Development Services Department.

PLANNING/DESIGN REQUIREMENTS:

21. All conditions related to Conditional Use Permit No. 797438 and Planned Development Permit No. 880135 are applicable and remain in effect for the life of this permit.

22. Testing of the emergency generator may only be done during weekdays from 8 am to 4 pm.

23. The WCF shall conform to the approved construction plans.

24. Photo simulations shall be printed on the construction plans.

25. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Permittee shall be responsible for complying with all State and Federal regulations.

26. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

27. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

28. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

29. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

31. The Permittee shall be responsible for any damage caused to City of San Diego water and sewer facilities in the vicinity of the project site, due to the construction activities associated with this project, in accordance with Municipal Code section 142.0607. In the event that any such facility loses

integrity then, the Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) XXX-XXXX to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on January 25, 2018 by Resolution No. _____.

Permit Type/PTS Approval No.: NDP No. 2071942/CUP No. 1952908/PDP No. 2072029

Date of Approval: January 25, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CITY OF SAN DIEGO

Owner

By _____
Cybele L. Thompson
Director, Real Estate Assets

VERIZON WIRELESS

Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

THE ORIGINAL OF THIS DOCUMENT
WAS RECORDED ON OCT 26, 2012
DOCUMENT NUMBER 2012-0660943
Ernest J. Dronenburg, Jr., COUNTY RECORDER
SAN DIEGO COUNTY RECORDER'S OFFICE
TIME: 11:10 AM

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001269

CONDITIONAL USE PERMIT NO. 797438
PLANNED DEVELOPMENT PERMIT NO. 880135
VERIZON – SCRIPPS RANCH
PROJECT NO. 223834
PLANNING COMMISSION

This Conditional Use Permit No. 797438 and Planned Development Permit No. 880135 is granted by the Planning Commission of the City of San Diego to City of San Diego, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 14, Article 3, Division 4. The 1.67-acre site is located at 12225 Spring Canyon Road in the RS-1-8 zone of the Scripps Miramar Ranch Community Planning area. The project site is legally described as: Lot 891 of Scripps Ranch Unit No. 11 according to Map thereof No. 8223 in the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 12, 2012, on file in the Development Services Department.

The project shall include:

- a. Replacement of two monopoles with a 48-foot tall (where 35-feet is permitted) faux eucalyptus tree supporting 12 panel antennas and a 4-foot diameter microwave dish;
- b. A 237-square foot equipment shelter;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning

regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 11, 2015.
2. This Conditional Use Permit and corresponding use of this site shall **expire on July 12, 2022**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize Verizon to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

14. Prior to issuance of any construction permits for buildings complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
15. All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
16. Prior to final inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.
17. Prior to final inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.
18. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
19. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60-inch box size material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15 gallon shrub or 60-inch box tree.

PLANNING/DESIGN REQUIREMENTS:

20. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
21. Within 60 days of approval of this permit or prior to the issuance of any required construction permits, whichever is sooner, Verizon Wireless shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
22. Prior to issuance of construction permits, provide the tree manufacturer's specifications and photos for approval.

23. All proposed hand-holes shall be covered with bark material to match the monoecalyptus trunk to the satisfaction of the Development Services Department.
24. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
25. Branches shall extend a minimum of 24-inches beyond the proposed antennas to the satisfaction of the Development Services Department.
26. Starting branch height shall be no lower than 12-feet.
27. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
28. RF socks fully covering the front and back of the antennas (and any other components) shall be used.
29. The applicant shall provide color samples of the monoecalyptus branches and bark prior to Building Permit issuance. This is to ensure that the proposed components integrate with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact samples shall be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built monoecalyptus.
30. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
31. No overhead cabling is allowed for this project.
32. Exposed mounting apparatus shall be removed and shall not remain absent antennas.
33. The Permittee shall not cause or allow the antennas to be different sizes (length, width, or height) than as shown on the stamped approved plans.
34. All equipment, including transformers, emergency generators and air conditioners belonging to Verizon shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
35. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA to the satisfaction of the Development Services Department.
36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 12, 2012 by Resolution No. 4815-PC.

Permit Type/PTS Approval No.: CUP No.797438/PDP No. 880135

Date of Approval: July 12, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

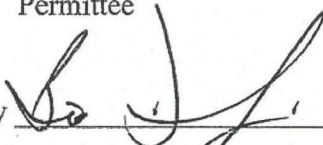


Karen Lynch-Ashcraft
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

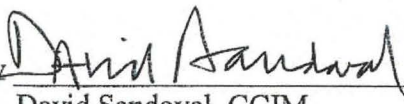
The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Verizon Wireless
Permittee

By 

Bill D'Agostino, Jr.
Executive Director
Verizon Wireless - Network

City Of San Diego
Permittee

By 

David Sandoval, CCIM
Deputy Director, Real Estate Assets

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

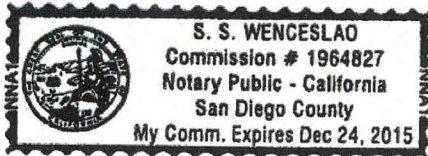
CIVIL CODE § 1189

State of California

County of San Diego

On October 23, 2012 before me, S. S. Wenceslao, Notary Public

personally appeared Karen Lynch-Ashcraft



who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Handwritten Signature] Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Verizon-Scripps Ranch Water Tank - PTS #223834

Document Date: Number of Pages:

Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name: Signer's Name:

Corporate Officer Title(s): Corporate Officer Title(s):

Individual Individual

Partner Limited General Partner Limited General

Attorney in Fact Attorney in Fact

Trustee Trustee

Guardian or Conservator Guardian or Conservator

Other: Other:

Signer Is Representing: Signer Is Representing:

ORIGINAL

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

State of California

County of San Diego

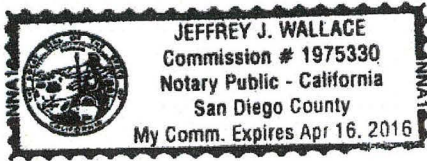
On 10/18/2012 before me, Jeffrey J Wallace, Notary Public

personally appeared David Sandoval, CCIM

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature: [Handwritten Signature] Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Conditional Use Permit No. 797438

Document Date: July 12, 2012 Number of Pages: 7

Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:

- Corporate Officer - Title(s):
Individual
Partner - Limited General
Attorney in Fact
Trustee
Guardian or Conservator
Other:

Signer Is Representing:



Signer's Name:

- Corporate Officer - Title(s):
Individual
Partner - Limited General
Attorney in Fact
Trustee
Guardian or Conservator
Other:

Signer Is Representing:



ORIGINAL

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California)
)
County of Orange)

On October 5, 2012 before me, Trishak K. Villalta, Notary Public,
personally appeared Bill D'Agostino, Jr., who proved to me on the basis of
satisfactory evidence to be the person whose name is subscribed to the within instrument
and acknowledged to me that he executed the same in his authorized capacity, and that by
his signature on the instrument the person, or the entity upon behalf of which the person
acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that
the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Trishak K. Villalta
Signature of Notary Public



Place Notary Seal Above

ORIGINAL

Scripps Ranch Planning Group

Scripps Ranch Community Library - Community Room
10301 Scripps Lake Drive, San Diego, CA 92131

Subcommittee AGENDA for Thursday, October 5, 2017, 5:30pm

I. Subcommittee on review of Pure Water Pipeline DEIR.

DRAFT Regular Meeting Minutes for Thursday, October 5, 2017, 7:00pm

I. Regular Meeting -- Call to Order.7:02pm

II. Roll Call: Gwen Bandt, Julie Ellis, Scott Hilberg, Wally Wulfeck, John Lyons, Sandy Wetzel-Smith, Ron Kelley, David Woodruff, Emma Lefkowitz, Jenny Marshall, Tamar Silverstein, Gordon Boerner, Marty Lorenzo, Stuart Gross, Don Ringel, Absent: Bob Petering, Bob Ilko, Jan Kane, Marvin Miles, Marc Sorensen

Approval of Minutes Unanimously Approved

Announcements

- A. MCAS Miramar Update (Kirstin Camper) Last week broke ground on new building on base for emergency power supply using 50% Energy Methane Extraction from Landfill, very small percentage of base power comes from Solar Energy. Distribution of energy will be about 75% to airbase and 25% to the City.
- B. San Diego City Councilmember Mark Kersey (TBA) Not present
- C. San Diego County Supervisor Kristin Gaspar (TBA) Not present
- D. California Assembly member Brian Maienschein – 77th District (Rob Knudsen)
- E. United States Congressman Scott Peters (Jennifer Sosa) Not present
- F. San Diego City Attorney (A. Council) Not present
- G. Miramar Ranch North Planning Committee Not present

III. Information and Action Items:

- A. Info: MAD Giant Grove Project Update (Eileen Rodrigues, City of San Diego) Scope of project to take 3-4 hours to take palms and lay them down in designated area, temporary control of traffic during the helicopter flying over roads. Project will occur on Saturday. Marshall Middle School Driveway, Chabad Driveway, Avenida Magnifica, Pomerado, to Fairbrook Roads to be impacted. Taking only invasive Palms, no other types of trees. Projected to occur on October 14th. The clean-up process may take 4-5 days, which will occur on weekdays, not Saturday.
- B. Action: Amendment to CUP for existing Verizon Scripps Ranch facility, Add Generator: (Stella Shih, Reliant Land Services, Inc.) Proposing a sound wall to ensure diesel generator is running quieting as a backup generator, testing 15 minutes maximum daily. Process 4 project that goes to Planning Commission. Motion/2nd: Lyons/Kelley: Recommend Approval of project with the agreement that testing of generator to run between 8am-4pm **Vote: 13-1-1 Pass**
- C. Action: Vesting Tentative Map for subdivision of Lot 4 at the Technology Park. (Bob Chase, Fuscoe Engineering) More flexibility in attracting tenants into the Business Park with three distinct businesses. Last month we waited for the city comments and we have received them. Motion/2nd: Ellis/Boerner **Vote:15-0-0 Pass**

IV. Reports:

- A. SR LMD-MAD (M. Sorensen) – Update Not present
- B. MCAS Miramar (J. Lyons) –Noise complaints data shared citywide from August 2016-2017.

- C. Ad Hoc Committee on Fire Safety (S. Wetzel-Smith) Meeting with Maienschein office to organize a high school and college level input session for evacuation ideas.
 - D. Ad Hoc Committee on Chabad Educational Complex (E. Lefkowitz) Will check with the Rabbi on building progress.
 - E. Ad Hoc Committee on Carroll Canyon Center (W. Wulfeck) Nothing new to report.
 - F. Ad Hoc Committee on Scripps Ranch Technology Park (D. Ringel) The City has placed the library design work on hold. Requesting city to give us an update on design funds from last year's budget. Wulfeck will follow up with the city on this request.
 - G. Chairperson's Report: The Glenn will have a ground breaking on November 10, 2017. Nothing new on Renzuli property. Subcommittee meeting this evening on the Pure Water Pipeline, comments from Murphy and from others collected. Comments due November 7th.
- V. Adjourn 8:00pm for Next Regular Meeting – November 2, 2017.

Agenda times are approximate. Items may be heard before, on, or after listed times. If you would like to receive agendas via email, send your request to sdplanninggroups@sandiego.gov and indicate your specific community planning group. This information is available in alternative formats. To request an alternative format (sign language, oral interpreter or an Assistive Listening Device) for the meeting call 619-533-3650 at least five (5) working days prior to the meeting. If you have questions concerning the SRPG please express them at the meeting or contact the CPG Chair, Wallace Wulfeck at whw@san.rr.com or City of San Diego Community Planner Tony Kempton at kempton@sandiego.gov

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Verizon Scripps Ranch Generator Addition

Project No.: 555115

Project Location-Specific: The project is located at 12227 Spring Canyon Road, San Diego, CA 92131.

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes an amendment to Conditional Use Permit (CUP) 797438 for an existing Wireless Communication Facility (WCF) located on the side of a City owned Water Tank. The project would install a 30KW emergency generator within a sound attenuated enclosure mounted on a concrete pad between the water tank and a faux mono eucalyptus and a 9-foot tall sound wall on three sides. The project site is zoned RS-1-8.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Stella Shih
RLS
1745 W. Orangewood Avenue, Suite 103
Orange, CA 92868
(714) 396-0459

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Section 15301 (Existing Facilities)

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a modification of an existing WCF, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.

ATTACHMENT 9

2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna L. Morrison /Senior Planner

December 21, 2017

Signature/Title

Date

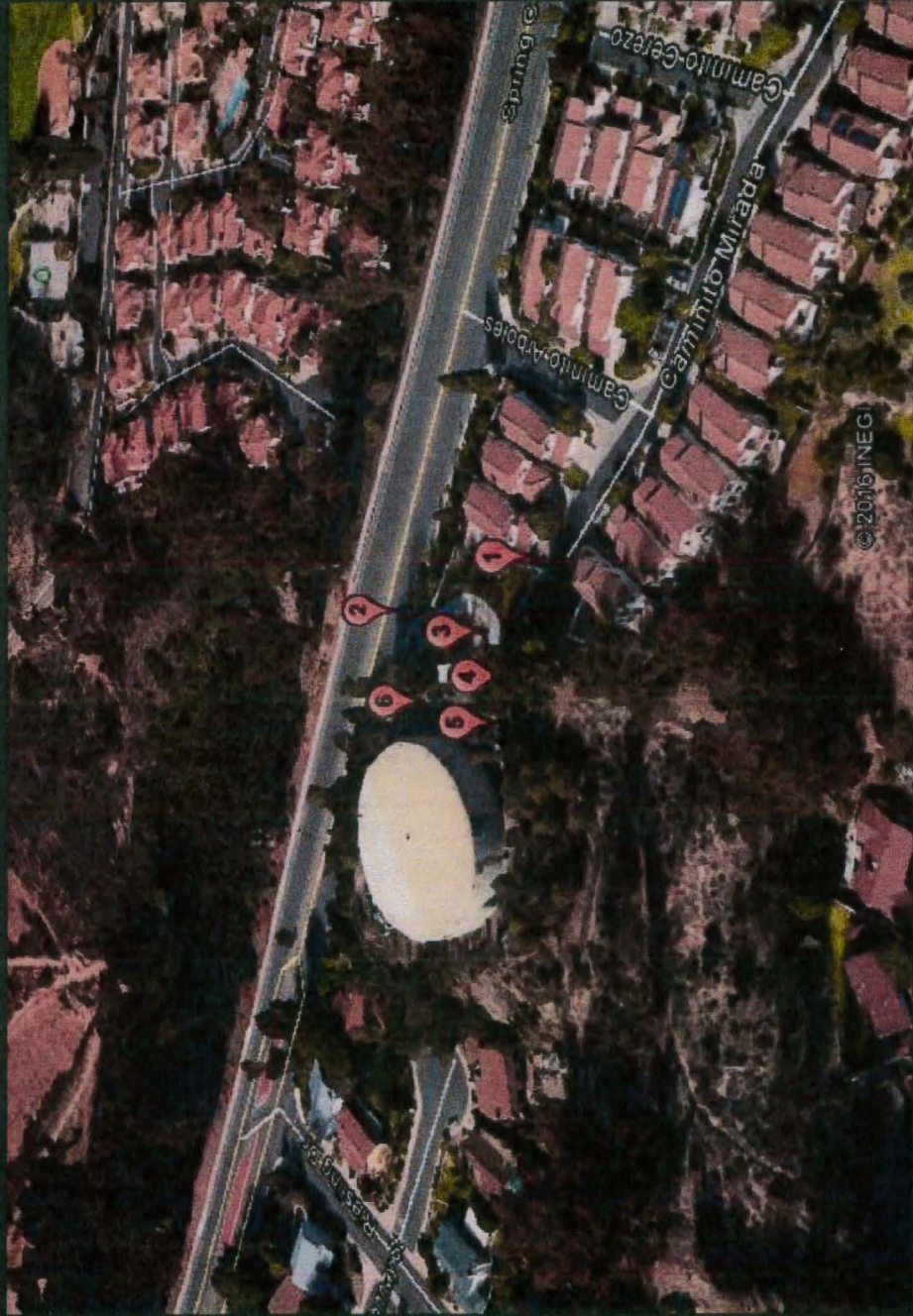
Check One:

(X) Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

() Signed by Applicant

KEY MAP



1: From Caminito Mirada



2: Access Gate



3: Monoecuc & shelter



4: Monoecuc & shelter



5: Monoeuc & shelter



6: Monoenc & Shelter





SCRIPPS RANCH

12227 SPRING CANYON ROAD,
SAN DIEGO, CA 92131

EXISTING



PROPOSED

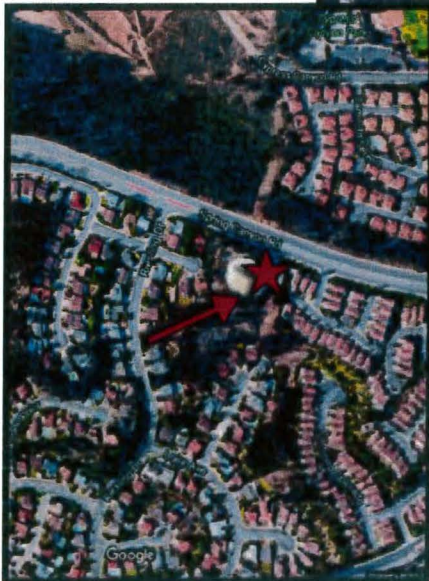
VIEW 1



(N) VERIZON
WIRELESS STAND-BY 30KW DIESEL
GENERATOR WITH SOUND ATTENUATED
ENCLOSURE MOUNTED ON (N) CONCRETE
PAD

(N) VERIZON
WIRELESS
ACUSTIBLOK ALL WEATHER SOUND
PANEL WALL

AERIAL MAP



Prepared By: **RLS**
1745 W. Orangewood Avenue, Suite 103
Orange, California 92868
(714) 685-0123
RELIANT LAND SERVICES

Accuracy of photo simulation based upon information provided by project applicant. The proposed installation shown is a substantially accurate artistic representation, but is not intended to be an exact reproduction. The final installation will have cables, cable ports, and various attachments, such as antennas, nuts, and bolts. Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



SCRIPPS RANCH

12227 SPRING CANYON ROAD,
SAN DIEGO, CA 92131

EXISTING



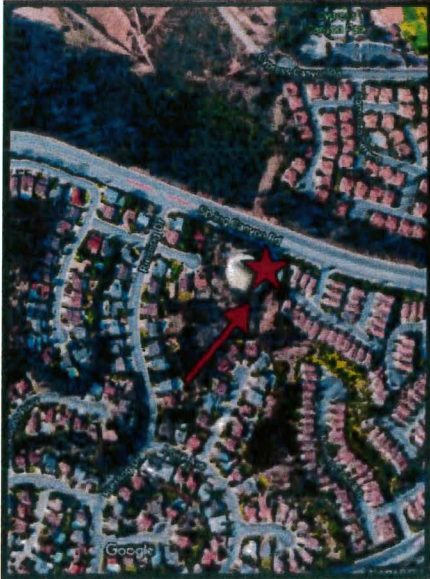
PROPOSED

VIEW 2



(N) VERIZON
WIRELESS
ACUSTIBLOK ALL WEATHER SOUND
PANEL WALL

AERIAL MAP



Prepared By:
1745 W. Orangewood Avenue, Suite 103
Orange, California 92868
(714) 685-0123



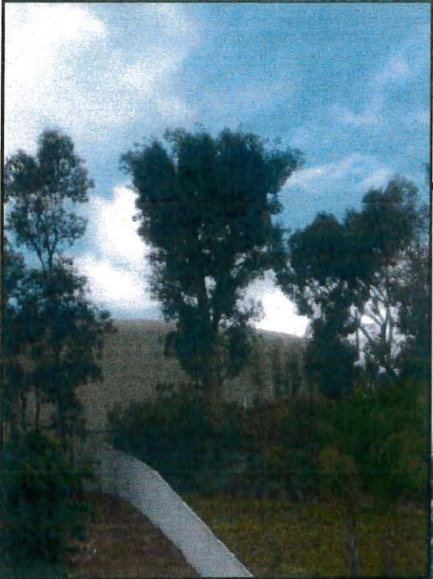
Accuracy of photo simulation based upon information provided by project applicant. The proposed installation shown is a substantially accurate artistic representation, but is not intended to be an exact reproduction. The final installation will have cables, cable ports, and various attachments, such as antennas, nuts, and bolts. Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



SCRIPPS RANCH

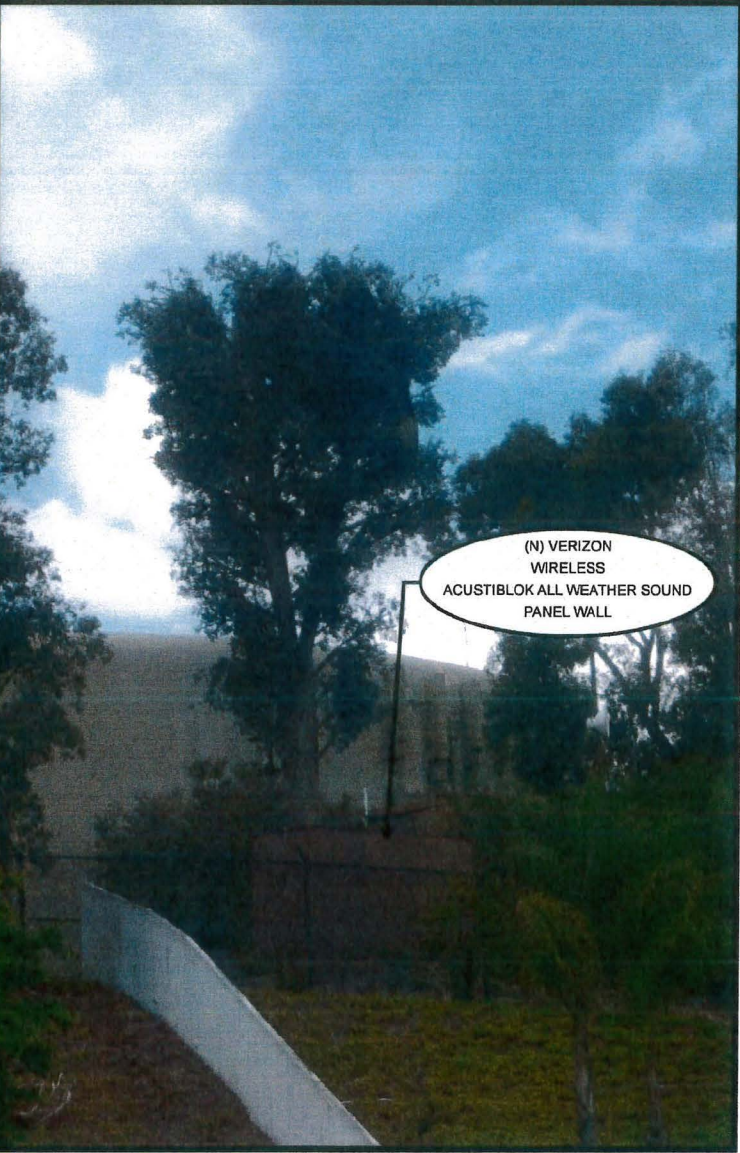
12227 SPRING CANYON ROAD,
SAN DIEGO, CA 92131

EXISTING



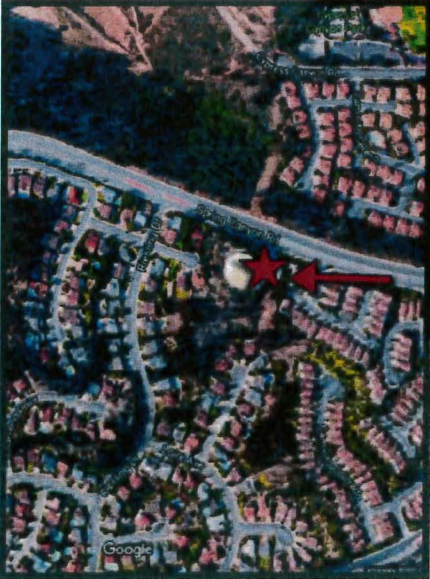
PROPOSED

VIEW 3



(N) VERIZON
WIRELESS
ACUSTIBLOK ALL WEATHER SOUND
PANEL WALL

AERIAL MAP



Prepared By:
1745 W. Orangewood Avenue, Suite 103
Orange, California 92868
(714) 685-0123



Accuracy of photo simulation based upon information provided by project applicant. The proposed installation shown is a substantially accurate artistic representation, but is not intended to be an exact reproduction. The final installation will have cables, cable ports, and various attachments, such as antennas, nuts, and bolts. Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



SCRIPPS RANCH

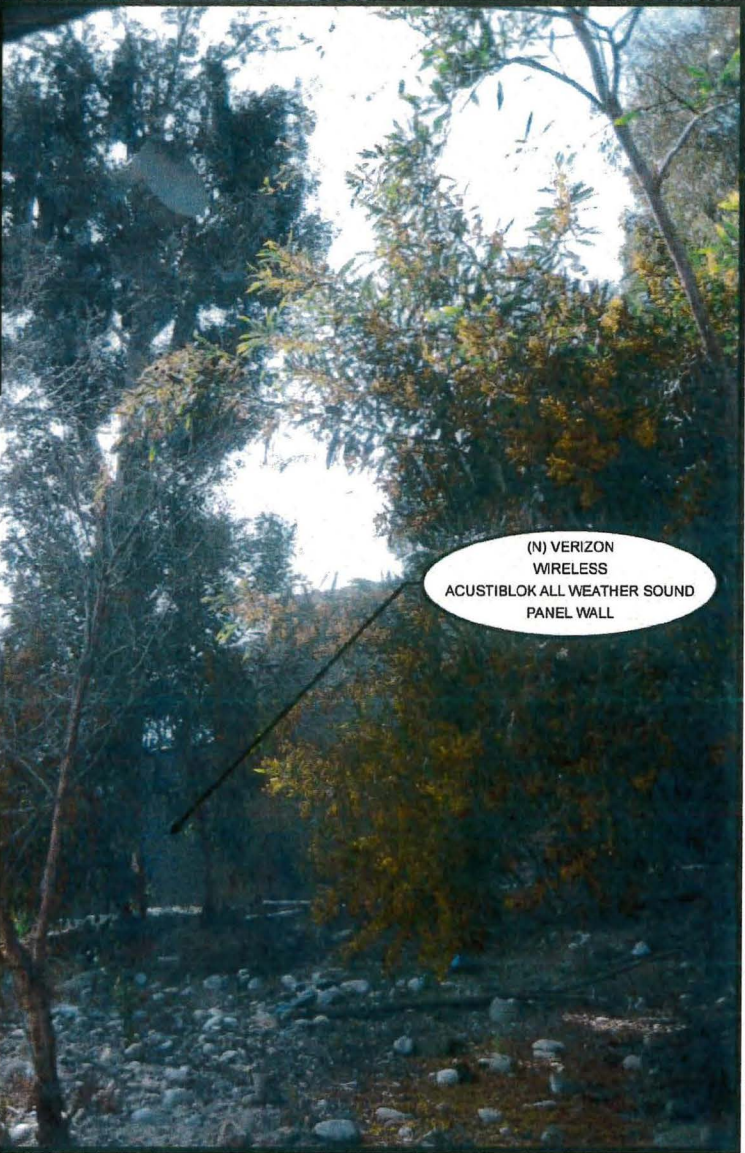
12227 SPRING CANYON ROAD,
SAN DIEGO, CA 92131

EXISTING



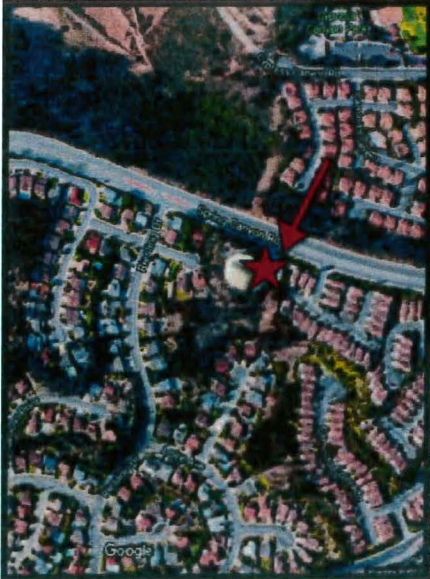
PROPOSED

VIEW 4



(N) VERIZON
WIRELESS
ACUSTIBLOK ALL WEATHER SOUND
PANEL WALL

AERIAL MAP



Prepared By: **RLS**
1745 W. Orangewood Avenue, Suite 103
Orange, California 92868
(714) 685-0123
RELIANT LAND SERVICES

Accuracy of photo simulation based upon information provided by project applicant. The proposed installation shown is a substantially accurate artistic representation, but is not intended to be an exact reproduction. The final installation will have cables, cable ports, and various attachments, such as antennas, nuts, and bolts. Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



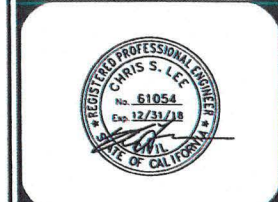
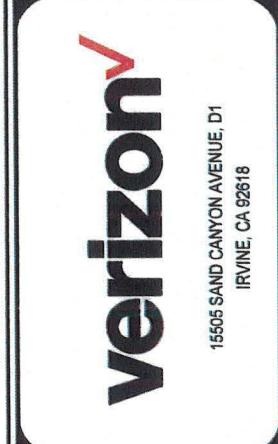
SCRIPPS RANCH

12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/21/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC



PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED



SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
TITLE SHEET

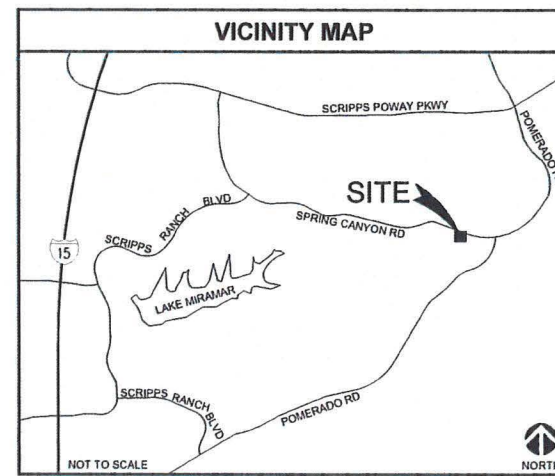
T-1

PROJECT TEAM	
SITE ACQUISITION RELIANT LAND SERVICES, INC. 1745 W. ORANGEWOOD AVE., SUITE 103 ORANGE, CA 92668 CONTACT: STELLA SHIH TELEPHONE: (714) 396-0459	PLANNING RELIANT LAND SERVICES, INC. 1745 W. ORANGEWOOD AVE., SUITE 103 ORANGE, CA 92668 CONTACT: STELLA SHIH TELEPHONE: (714) 396-0459
ARCHITECT: RELIANT LAND SERVICES, INC. 1745 W. ORANGEWOOD AVE., SUITE 103 ORANGE, CA 92668 CONTACT: GENARO CRUZ TELEPHONE: (714) 443-8407	PROFESSIONAL ENGINEER: RELIANT LAND SERVICES, INC. 1745 W. ORANGEWOOD AVE., SUITE 103 ORANGE, CA 92668 CONTACT: CHRIS LEE TELEPHONE: (949) 468-9702

PROJECT DESCRIPTION

THIS PROJECT IS A MODIFICATION TO AN EXISTING VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- INSTALLATION OF NEW VERIZON WIRELESS STAND BY DIESEL GENERATOR WITH SOUND ATTENUATED ENCLOSURE
- INSTALLATION OF A NEW 9'-0" SOUND WALL



PROJECT SUMMARY

APPLICANT/LESSEE	ASSESSOR'S PARCEL NUMBER
 15505 SAND CANYON AVENUE, D1 IRVINE, CA 92618 OFFICE: (949) 286-7000	APN: 319-211-35
APPLICANT'S REPRESENTATIVE	
RELIANT LAND SERVICES, INC. 1745 W. ORANGEWOOD AVE., SUITE 103 ORANGE, CA 92668 CONTACT: STELLA SHIH TELEPHONE: (714) 396-0459	
PROPERTY OWNER:	
CITY OF SAN DIEGO 1200 THIRD AVENUE, SUITE 1700 SAN DIEGO, CA 92101 CONTACT: ENZA CHARLES TELEPHONE: (619) 236-8052	
PROPERTY INFORMATION:	
SITE NAME: SCRIPPS RANCH SITE ADDRESS: 12227 SPRING CANYON ROAD SAN DIEGO, CA 92131 JURISDICTION: CITY OF SAN DIEGO	
CONSTRUCTION INFORMATION	
AREA OF CONSTRUCTION: 110 SQ. FT. (10' x 11') OCCUPANCY: B TYPE OF CONSTRUCTION: V-B CURRENT ZONING: RS 1-B ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. MACHINERY SPACES ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS PER THE CBC SECTION 11B-203.5	

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

CODE COMPLIANCE

- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- SHELTER IS STATE OF CALIFORNIA APPROVED AND INSPECTED, NOT FOR LOCAL INSPECTION.

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	2
T-2	GENERAL NOTES, SPECIFICATIONS, LEGEND & ABBREVIATIONS	2
LS-1	TOPOGRAPHIC SITE SURVEY	1
LS-2	TOPOGRAPHIC SITE SURVEY	1
A-1	ENLARGED SITE PLAN	2
A-2	EQUIPMENT PLAN, NEW & EXISTING ANTENNA LAYOUTS	2
A-3	ARCHITECTURAL ELEVATIONS	2
A-4	ARCHITECTURAL ELEVATIONS	2
A-5	ARCHITECTURAL DETAILS	2
S-1	GENERATOR FOUNDATION DETAIL	2
E-1	ELECTRICAL SINGLE LINE, GENERAL NOTES AND SYMBOLS	2
E-2	EQUIPMENT GROUNDING PLAN	2
E-3	DETAILS	2
L-1	IRRIGATION PLAN	1
L-2	IRRIGATION PLAN	1
L-3	PLANTING & IRRIGATION DETAILS	1
L-4	PLANTING & IRRIGATION SPECS AND NOTES	1

811
Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (SOUTH), CALL DIG ALERT
TOLL FREE: 1-800-227-2600 OR www.digalert.org
CALIFORNIA STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

VERIZON WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
RE VENDOR:		
A&E VENDOR:		
A&E COORDINATOR:		
UTILITY VENDOR:		
RF:		
RE:		
CE:		
EE:		
TRANSPORT:		

DRIVING DIRECTIONS

FROM VERIZON OFFICE TO 12227 SPRING CANYON RD. SAN DIEGO, CA 92131

- DEPART SAND CANYON AVENUE
- TAKE I-5 SOUTH
- TAKE EXIT 51B FOR VISTA WAY/CA-78 E
- TURN RIGHT ONTO CA-78 E
- TAKE EXIT 17A TO MERGE ONTO I-15 S
- TAKE EXIT 17 FOR MERCY RD TOWARD SCRIPPS POWAY PKWY
- TURN LEFT ONTO MERCY RD
- CONTINUE ONTO SCRIPPS POWAY PKWY
- TURN RIGHT ONTO SPRING CANYON RD
- ARRIVE AT 12227 SPRING CANYON RD ON THE RIGHT HAND SIDE

NOTE: THE ORIGINAL USE OF THIS DRAWING FOR 30' SCALE AND NOT FOR 15' SCALE. ANY DIMENSIONS SHOWN FOR 15' SCALE ARE APPROXIMATE. SEE THE ORIGINAL SET OF DRAWINGS FOR DIMENSIONS AND NOTES.

A.B.	ANCHOR BOLT	GRND.	GROUND
ABV.	ABOVE	HDR.	HEADER
ACCA	ANTENNA CABLE COVER ASSEMBLY	HGR.	HANGER
ADD'L	ADDITIONAL	HT.	HEIGHT
A.F.F.	ABOVE FINISHED FLOOR	ICGB.	ISOLATED COPPER GROUND BUS
A.F.G.	ABOVE FINISHED GRADE	IN.(')	INCH(ES)
ALUM.	ALUMINUM	INT.	INTERIOR
ALT.	ALTERNATE	LB.(#)	POUND(S)
ANT.	ANTENNA	L.B.	LAG BOLTS
APPRX.	APPROXIMATE(LY)	L.F.	LINEAR FEET (FOOT)
ARCH.	ARCHITECT(URAL)	L.	LONG(TUDINAL)
AWG.	AMERICAN WIRE GAUGE	MAS.	MASONRY
BLDG.	BUILDING	MAX.	MAXIMUM
BLK.	BLOCK	M.B.	MACHINE BOLT
BLKG.	BLOCKING	MECH.	MECHANICAL
BM.	BEAM	MFR.	MANUFACTURER
B.N.	BOUNDARY NAILING	MIN.	MINIMUM
BTCW.	BARE TINNED COPPER WIRE	MISC.	MISCELLANEOUS
B.O.F.	BOTTOM OF FOOTING	MTL.	METAL
BUJ	BACK-UP CABINET	(N)	NEW
CAB.	CABINET	NO.(#)	NUMBER
CANT.	CANTILEVER(ED)	N.T.S.	NOT TO SCALE
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
CLG.	CEILING	OPNG.	OPENING
CLR.	CLEAR	P/C	PRECAST CONCRETE
COL.	COLUMN	PCS	PERSONAL COMMUNICATION SERVICES
CONC.	CONCRETE	PLY.	PLYWOOD
CONN.	CONNECTION(OR)	PPC	POWER PROTECTION CABINET
CONSTR.	CONSTRUCTION	PRC	PRIMARY RADIO CABINET
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE FOOT
CP	POUNDS PER SQUARE INCH	P.S.I.	POUNDS PER SQUARE INCH
DBL.	DOUBLE	P.T.	PRESSURE TREATED
DEPT.	DEPARTMENT	PWR.	POWER (CABINET)
D.F.	DOUGLAS FIR	QTY.	QUANTITY
DIA.	DIAMETER	RAD.(R)	RADIUS
DIAG.	DIAGONAL	REF.	REFERENCE
DIM.	DIMENSION	REINF.	REINFORCEMENT(ING)
DWG.	DRAWING(S)	REQ'D.	REQUIRED
DWL.	DOWEL(S)	RGS.	RIGID GALVANIZED STEEL
EA.	EACH	SCH.	SCHEDULE
EL.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRICAL	SIM.	SIMILAR
ELEV.	ELEVATOR	SPEC.	SPECIFICATION(S)
EMT.	ELECTRICAL METALLIC TUBING	SQ.	SQUARE
E.N.	EDGE NAIL	S.S.	STAINLESS STEEL
ENG.	ENGINEER	STD.	STANDARD
EQ.	EQUAL	STL.	STEEL
EXP.	EXPANSION	STRUC.	STRUCTURAL
EXST.(E)	EXTERIOR	TEMP.	TEMPORARY
EXT.	EXTERIOR	THK.	THICK(NESS)
FAB.	FABRICATION(OR)	T.N.	TOE NAIL
F.F.	FINISH FLOOR	T.O.A.	TOP OF ANTENNA
F.G.	FINISH GRADE	T.O.C.	TOP OF CURB
FIN.	FINISH(ED)	T.O.F.	TOP OF FOUNDATION
FLR.	FLOOR	T.O.P.	TOP OF PLATE (PARAPET)
FDN.	FOUNDATION	T.O.S.	TOP OF STEEL
F.O.C.	FACE OF CONCRETE	T.O.W.	TOP OF WALL
F.O.M.	FACE OF MASONRY	TYP.	TYPICAL
F.O.S.	FACE OF STUD	U.G.	UNDER GROUND
F.O.W.	FACE OF WALL	U.L.	UNDERWRITERS LABORATORY
F.S.	FINISH SURFACE	U.N.O.	UNLESS NOTED OTHERWISE
FT.(')	FOOT(FEET)	V.I.F.	VERIFY IN FIELD
FTG.	FOOTING	W	WIDE(WIDTH)
G.	GROWTH (CABINET)	W	WITH
GA.	GAUGE	WD.	WOOD
GI.	GALVANIZE(D)	WP.	WEATHERPROOF
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	WT.	WEIGHT
GLB.(GLU-LAM)	GLUE LAMINATED BEAM	CL	CENTERLINE
GPS	GLOBAL POSITIONING SYSTEM	PL	PLATE

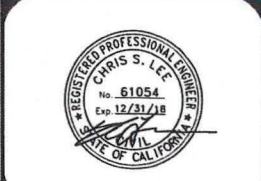
ABBREVIATIONS		2	
	NEW ANTENNA		GROUT OR PLASTER
	(E) ANTENNA		(E) BRICK
	GROUND ROD		(E) MASONRY
	GROUND BUS BAR		CONCRETE
	MECHANICAL GRND CONN		EARTH
	CADWELD		GRAVEL
	GROUND ACCESS WELL		PLYWOOD
	ELECTRIC BOX		SAND
	TELEPHONE BOX		WOOD CONTINUOUS
	LIGHT POLE		WOOD BLOCKING
	FND MONUMENT		STEEL
	SPOT ELEVATION		CENTERLINE
	SET POINT		PROPERTY/LEASE LINE
	REVISION		MATCH LINE
	GRID REFERENCE		WORK POINT
	DETAIL REFERENCE		GROUND CONDUCTOR
	ELEVATION REFERENCE		TELEPHONE CONDUIT
	SECTION REFERENCE		ELECTRICAL CONDUIT (POWER LINE)
			COAXIAL CABLE
			OVERHEAD SERVICE CONDUCTORS
			CHAIN LINK FENCING
			WROUGHT IRON FENCING

1. THE FACILITY IS AN UNOCCUPIED DIGITAL TELECOMMUNICATION FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE IMPLEMENTATION ENGINEER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
6. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
7. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
8. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
9. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE 2013 CBC REGARDING EARTHQUAKE PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
11. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
12. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, VEGETATION, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF VERIZON WIRELESS.
13. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.
14. PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED AND MADE WATERTIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAILING CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ENGINEER, IF NECESSARY, BEFORE PROCEEDING.
15. BEFORE ORDERING AND/OR BEFORE FABRICATING/CONSTRUCTING/INSTALLING ANY ITEMS, VERIFY THE TYPES AND QUANTITIES.
16. CONTRACTOR SHALL PROVIDE SITE FOREMAN WITH A CELLULAR PHONE AND PAGER, AND KEEP SAME ON SITE WHENEVER PERSONNEL ARE ON SITE.
17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.
18. CONTRACTOR TO PROVIDE COMPLETE SET OF AS-BUILT DRAWINGS WITHIN 10 WORKING DAYS OF PROJECT COMPLETION.
19. CONTRACTOR IS TO EXCAVATE 6" BELOW EXISTING GRADE AND SPRAY WITH WEED CONTROL. REPLACE WITH CLASS II AGGREGATE BASE AND CRUSHED WASHED ROCK AS SPECIFIED ON SITE PLAN.
20. CONTRACTOR SHALL PROVIDE TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
21. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR THE FABRICATION OF MATERIALS TO BE INSTALLED AT THE SITE, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INCLUDING AS-BUILT DIMENSIONS OF EXISTING STRUCTURES OR STRUCTURAL ELEMENTS HAVING A BEARING ON THE SCOPE OF THE WORK TO BE PERFORMED. IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE DIMENSIONS OR CONDITIONS FOUND TO BE EXISTING IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OBTAIN DESIGN RESOLUTION PRIOR TO PROCEEDING WITH THE PORTION(S) OF THE WORK AFFECTED. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO SO NOTIFY THE ENGINEER AND OBTAIN RESOLUTION BEFORE PROCEEDING.

ISSUE STATUS			
REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/31/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC



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SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
GENERAL NOTES,
LEGEND, ABBREVIATIONS
& APPROVAL LETTER

T-2

APPROVAL LETTER 4

LEGENDS 3

GENERAL NOTES 1

NOT THE ORIGINAL SIZE OF THIS DRAWING. SEE THE ORIGINAL SIZE OF THIS DRAWING FOR THE PROJECT OR FOR REVISIONS TO THIS DRAWING.

OWNER'S NAME: CITY OF SAN DIEGO
 ASSESSOR'S PARCEL NUMBER(S) 319-211-35-00

BASIS OF BEARINGS: (NAD 83; Epoch 2010)
 THE BEARINGS SHOWN HEREON ARE BASED ON NAD 1983 CALIFORNIA STATE PLANE COORDINATE SYSTEM - ZONE 6. AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.
 BASIS OF ELEVATIONS: NGVD 1929
 ELEVATIONS ARE BASED ON THE CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NWBP OF POMERADO ROAD AND SEMILLON BLVD. ELEVATION = 781.64'.

SITE DATA

FEMA FLOOD ZONE DESIGNATION:
 County: San Diego Effective Date: 5/16/2012
 Map/Panel: 06073C1362C
 The Flood Zone Designation for this site is: ZONE: X

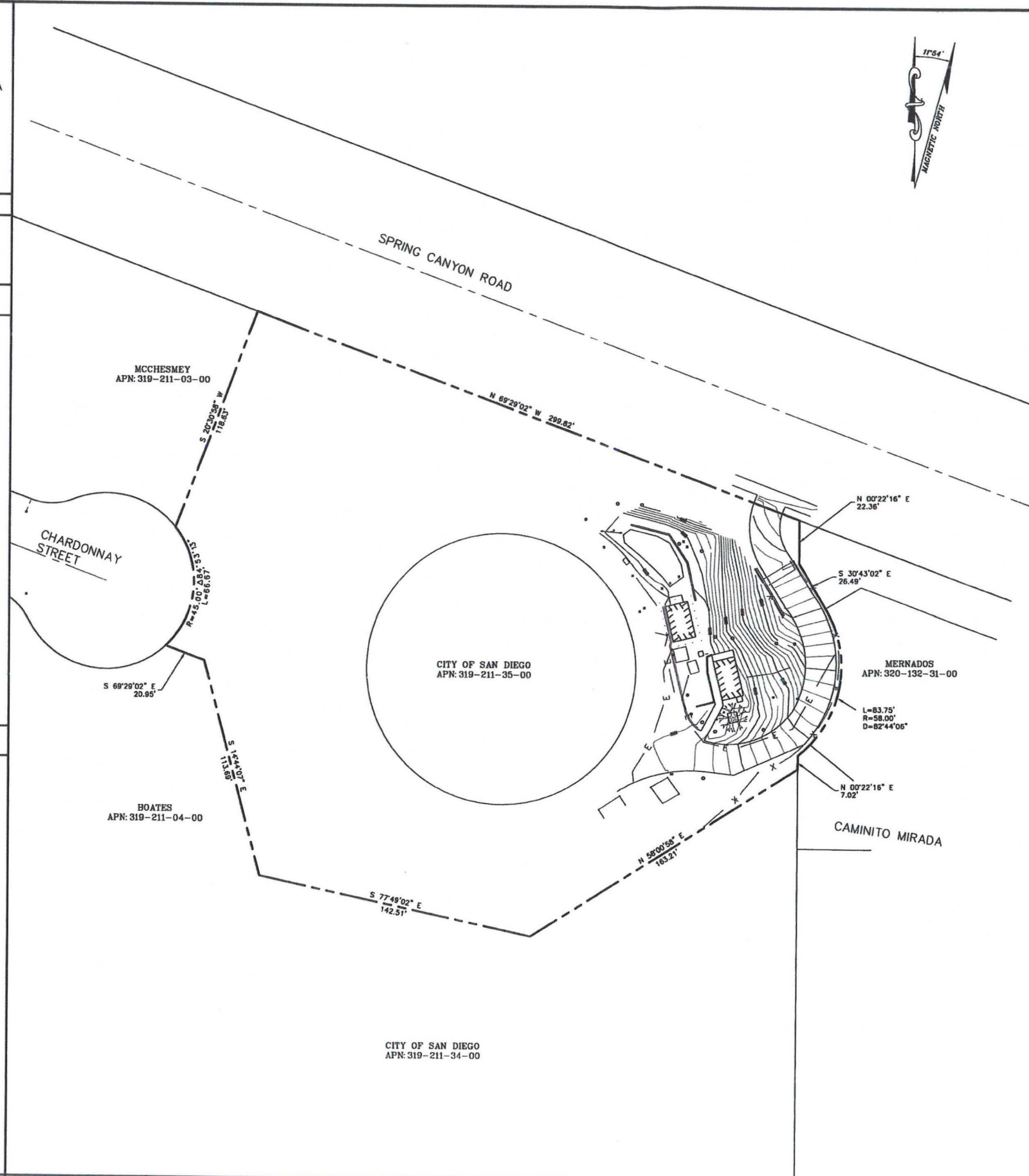
FEMA FLOOD ZONE INFORMATION

WAITING FOR TITLE

PROPERTY LEGAL DESCRIPTION

WAITING FOR TITLE

TITLE REPORT NOTES



VICINITY MAP

LEGEND

- These standard symbols will be found in the drawing.
- ⊕ BOLLARD
 - ⊞ ELECTRIC BOX
 - ⊛ LIGHT POLE
 - ⊙ MONUMENT FOUND
 - ⊞ TELEPHONE BOX
 - ⊙ TOP OF ANTENNA
 - ⊙ TREE DECIDUOUS
 - ⊙ WATER VALVE
 - ⊞ ROOF OVERHANG
 - ⊞ UNDERGROUND ELECTRICAL
 - BC BOTTOM OF CURB
 - CONC CONCRETE SURFACE
 - EC EDGE OF CONCRETE
 - ELCB ELECTRICAL CABINET
 - ELTR ELECTRICAL TRANSFORMER
 - FL FLOWLINE CURB & GUTTER
 - FNCP FENCE TOP
 - LP LIGHT POLE TOP
 - NG GROUND SPOT ELEVATION
 - RFOH ROOF OVERHANG
 - SDINL STORMDRAIN INLET
 - SW SIDEWALK
 - TC TOP OF CURB
 - TLRN TELCO CABLE RUN
 - TRTP TREE TOP DECIDUOUS
 - TW WALL TOP
 - WT WATER TANK
 - BOUNDARY LINE
 - CENTER LINE
 - MISC. PROPERTY LINE
 - MISC. TIE LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - X FENCE LINE
 - ||||| BUILDING EDGE
 - GP OVERHEAD WIRES

LEGEND

- 1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
- 2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
- 3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- 4) Field survey completed on JULY 5, 2017.

LEGEND

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	7/10/2017	SITE SURVEY	DF

FLOYD SURVEYING
 34005 GALLERON STREET
 TEMECULA, CA 92592
 OFFICE: (949) 200-0826
 EMAIL: fsf@floydsurveying.com

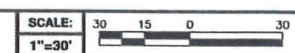
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 IRVINE, CA 92618

SCRIPPS RANCH
 12227 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

SHEET TITLE:
SITE SURVEY
GENERAL INFORMATION

LS1



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	7/10/2017	SITE SURVEY	DF

FLOYD SURVEYING
 34006 GALLERON STREET
 TEMECULA, CA 92592
 OFFICE: (949) 200-0826
 EMAIL: fs@floydsurveying.com

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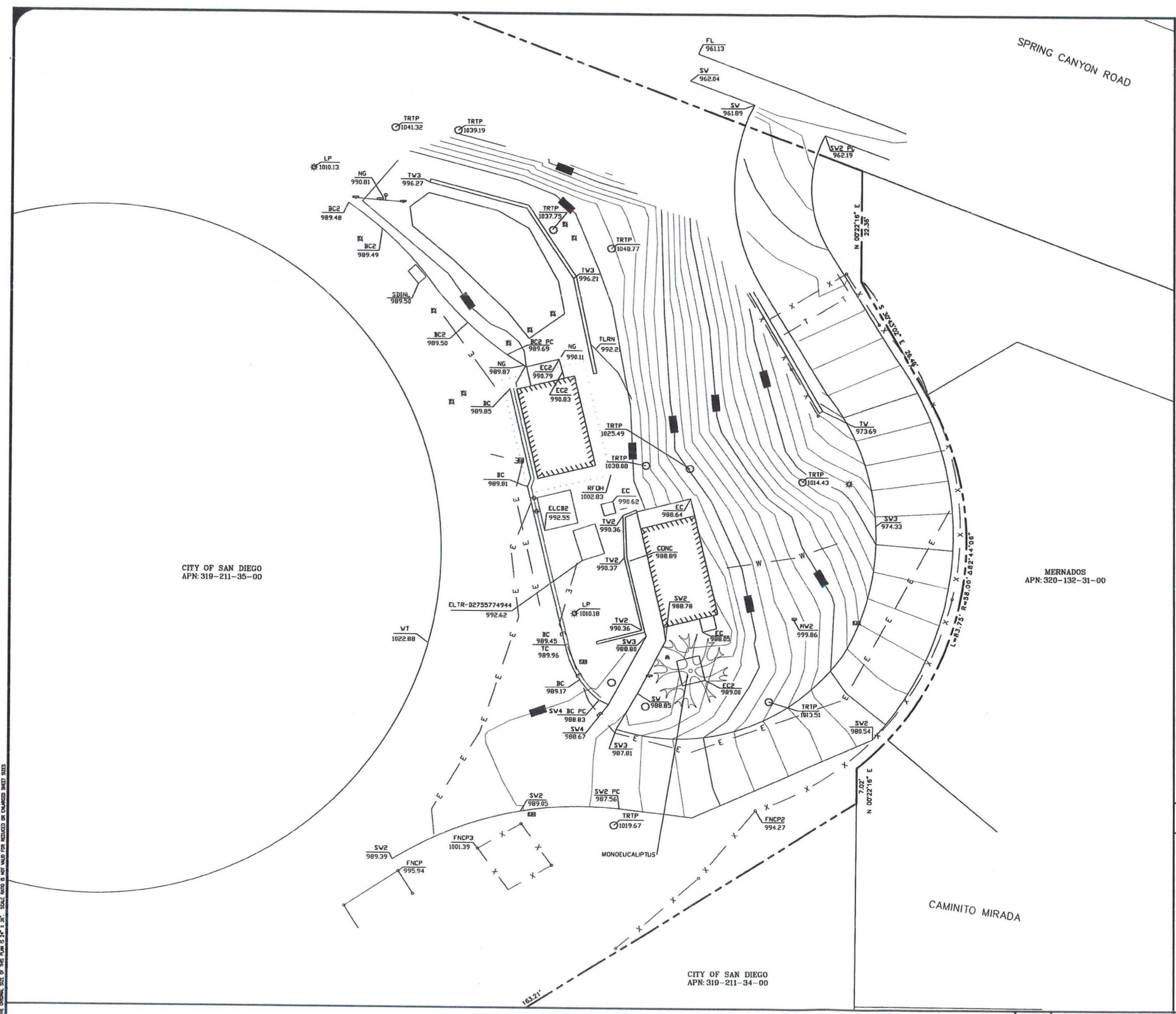
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SCRIPPS RANCH
 12227 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

SHEET TITLE:
SITE SURVEY
GENERAL INFORMATION

LS2



LEGEND

- These standard symbols will be found in the drawing.
- ⊕ BOLLARD
 - ⊞ ELECTRIC BOX
 - ⊛ LIGHT POLE
 - ⊙ MONUMENT FOUND
 - ⊞ TELEPHONE BOX
 - ⊙ TOP OF ANTENNA
 - ⊙ TREE DECIDUOUS
 - ⊙ WATER VALVE
 - ROOF OVERHANG
 - UNDERGROUND ELECTRICAL
 - E BOTTOM OF CURB
 - BC CONCRETE SURFACE
 - EC EDGE OF CONCRETE
 - ELCB ELECTRICAL CABINET
 - ELTR ELECTRICAL TRANSFORMER
 - FL FLOWLINE CURB & GUTTER
 - FNCP FENCE TOP
 - LP LIGHT POLE TOP
 - NG GROUND SPOT ELEVATION
 - RFOH ROOF OVERHANG
 - SDINL STORMDRAIN INLET
 - SW SIDEWALK
 - TC TOP OF CURB
 - TLRN TELCO CABLE RUN
 - TRTP TREE TOP DECIDUOUS
 - TW WALL TOP
 - WT WATER TANK
 - BOUNDARY LINE
 - CENTER LINE
 - MISC. PROPERTY LINE
 - MISC. TIE LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - X FENCE LINE
 - BUILDING EDGE
 - GP OVERHEAD WIRES

LEGEND

- 1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
- 2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
- 3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- 4) Field survey completed on JULY 5, 2017.

LEGEND

SCALE: 10 5 0 10
 1"=10'

NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36". SCALE SHOWN IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/21/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC



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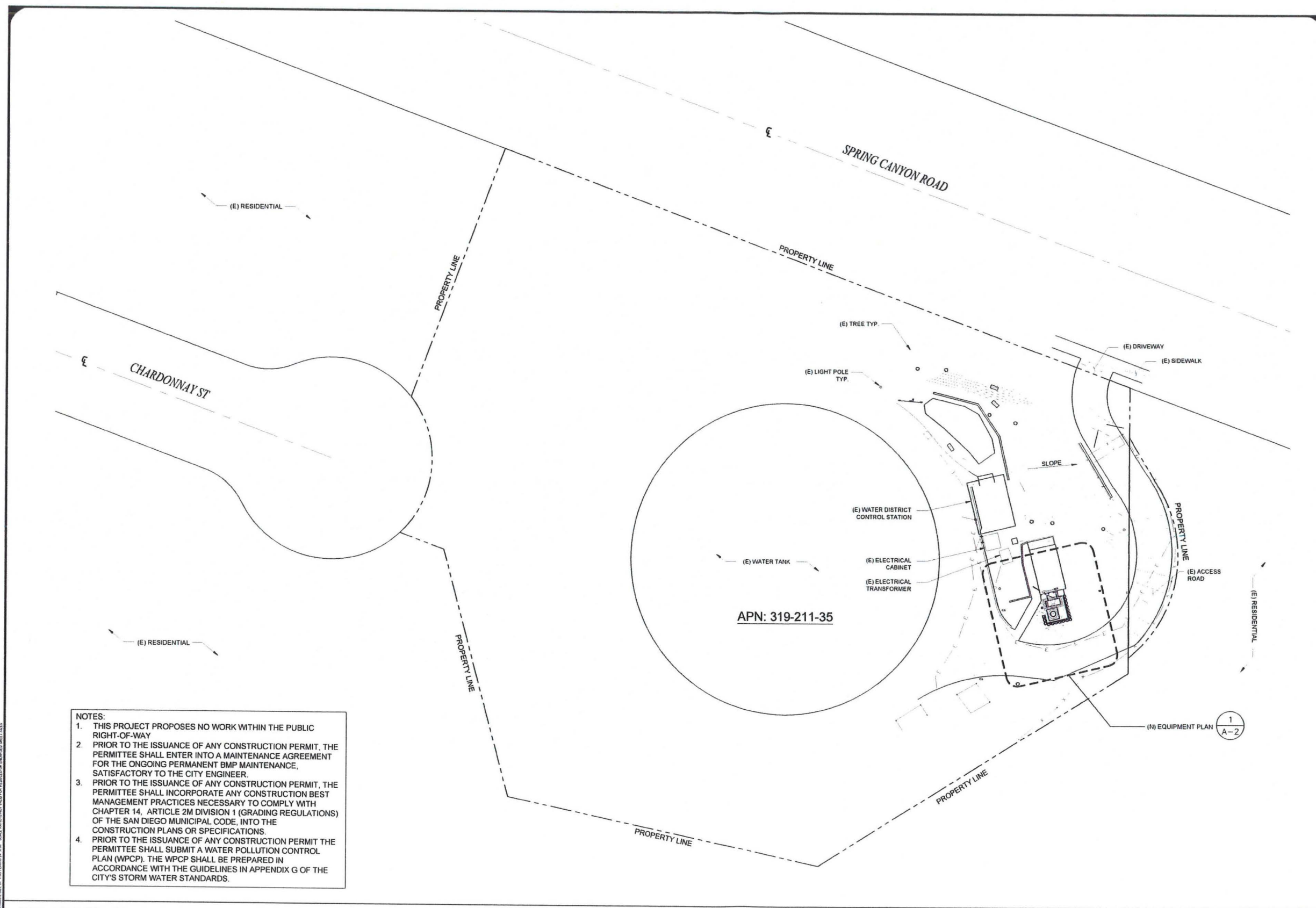
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IRVINE, CA 92618



SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
ENLARGED SITE PLAN

A-1



- NOTES:
1. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY
 2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2M DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

ENLARGED SITE PLAN

NORTH
SCALE
20' = 1"
0' 5' 10' 20' 40'

ISSUE STATUS

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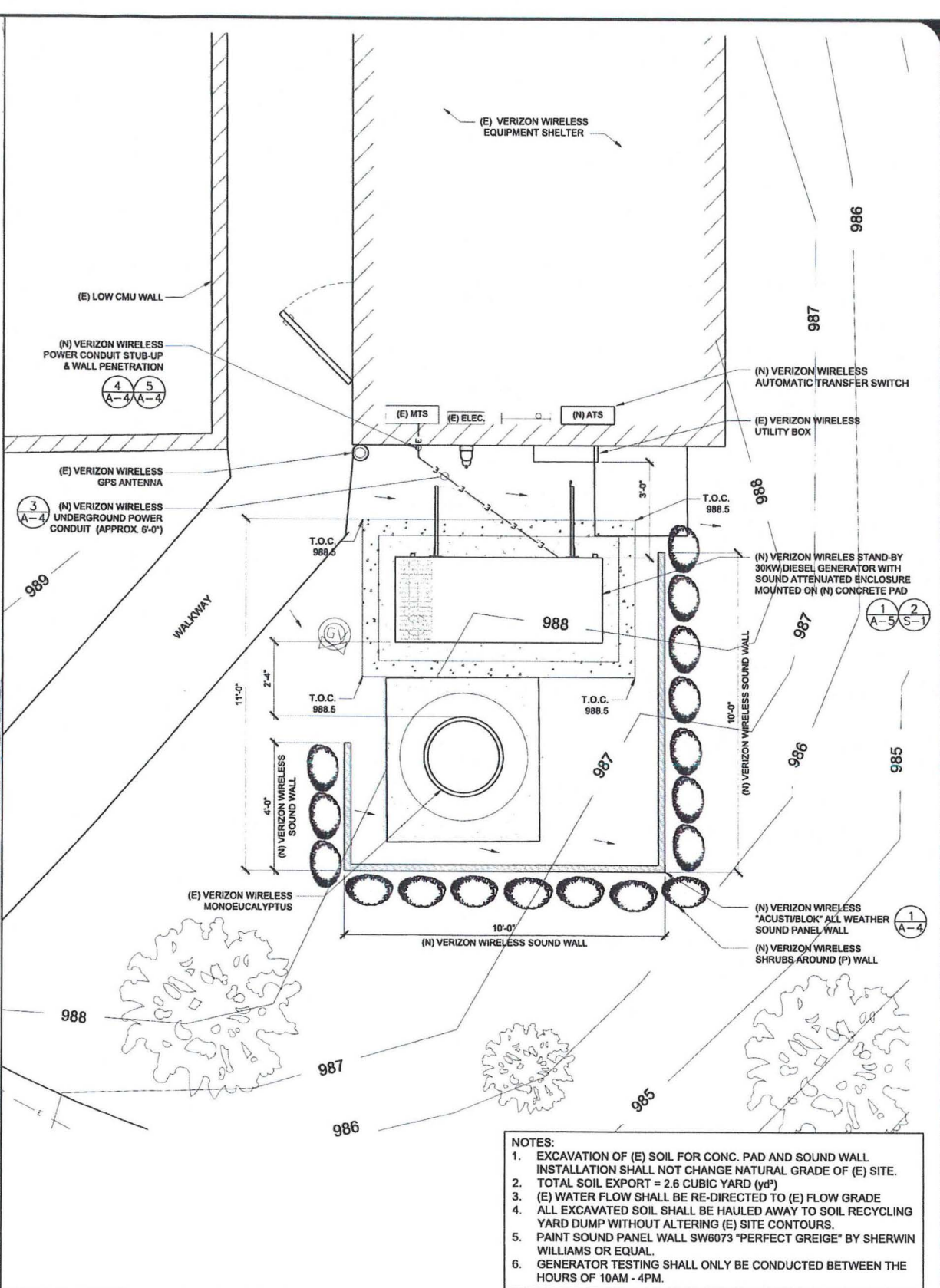
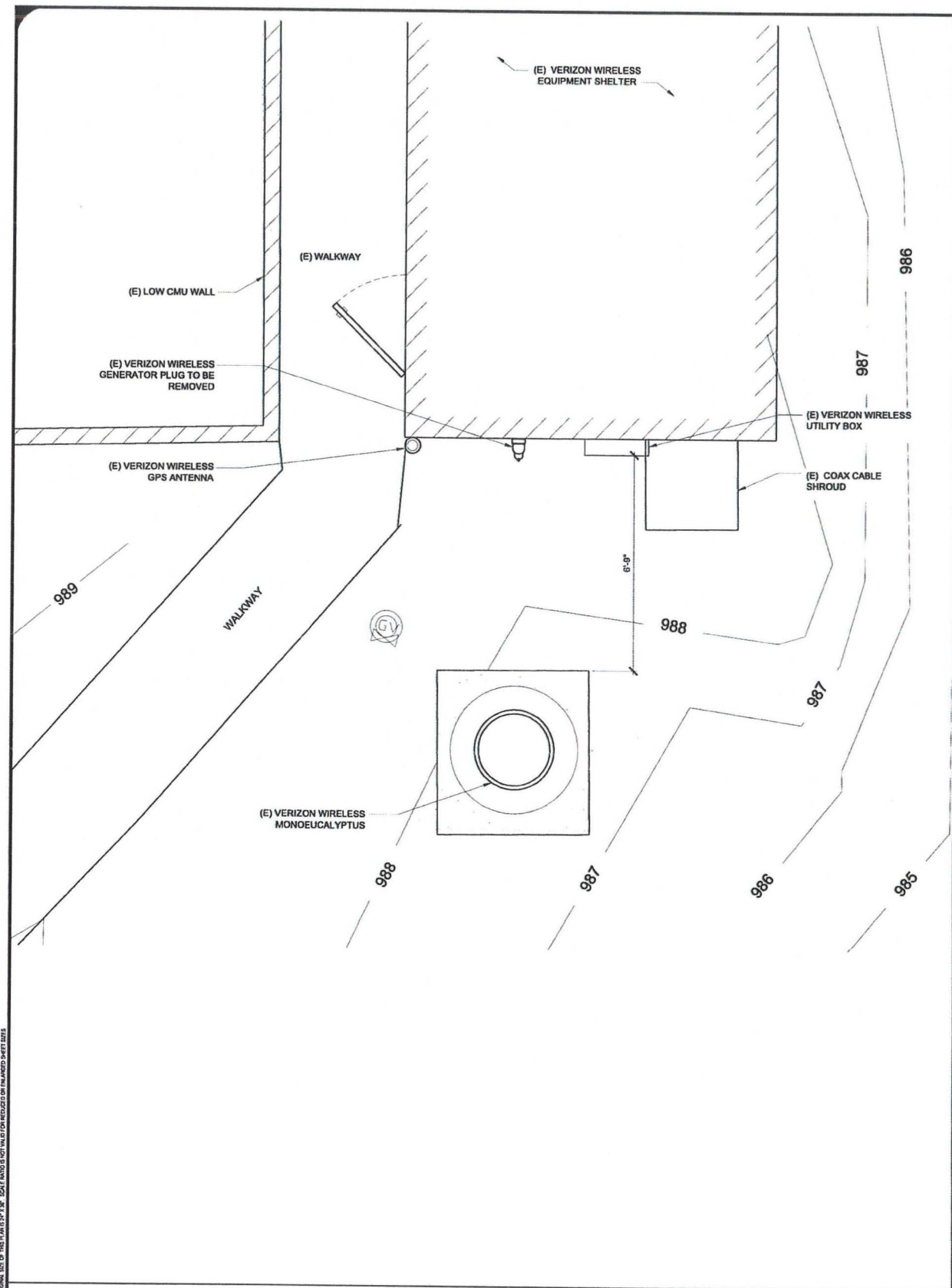
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SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

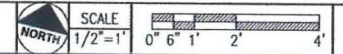
SHEET TITLE:
EQUIPMENT PLAN,
EXISTING AND NEW
ANTENNA LAYOUT

A-2



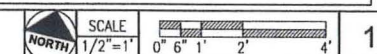
- NOTES:
- EXCAVATION OF (E) SOIL FOR CONC. PAD AND SOUND WALL INSTALLATION SHALL NOT CHANGE NATURAL GRADE OF (E) SITE.
 - TOTAL SOIL EXPORT = 2.6 CUBIC YARD (yd³)
 - (E) WATER FLOW SHALL BE RE-DIRECTED TO (E) FLOW GRADE
 - ALL EXCAVATED SOIL SHALL BE HAULED AWAY TO SOIL RECYCLING YARD DUMP WITHOUT ALTERING (E) SITE CONTOURS.
 - PAINT SOUND PANEL WALL SW6073 "PERFECT GREIGE" BY SHERWIN WILLIAMS OR EQUAL.
 - GENERATOR TESTING SHALL ONLY BE CONDUCTED BETWEEN THE HOURS OF 10AM - 4PM.

EXISTING EQUIPMENT PLAN



2

NEW EQUIPMENT PLAN



1

NOTE: THE ORIGINAL SET OF THIS PLAN IS BY P&P. SCALE AND IS NOT VALID FOR REDUCED OR ENLARGED SIZES.

ISSUE STATUS

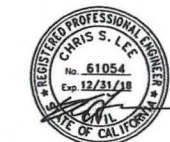
REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/31/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC

RLS
RELIANT LAND SERVICES

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verizon
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IRVINE, CA 92618

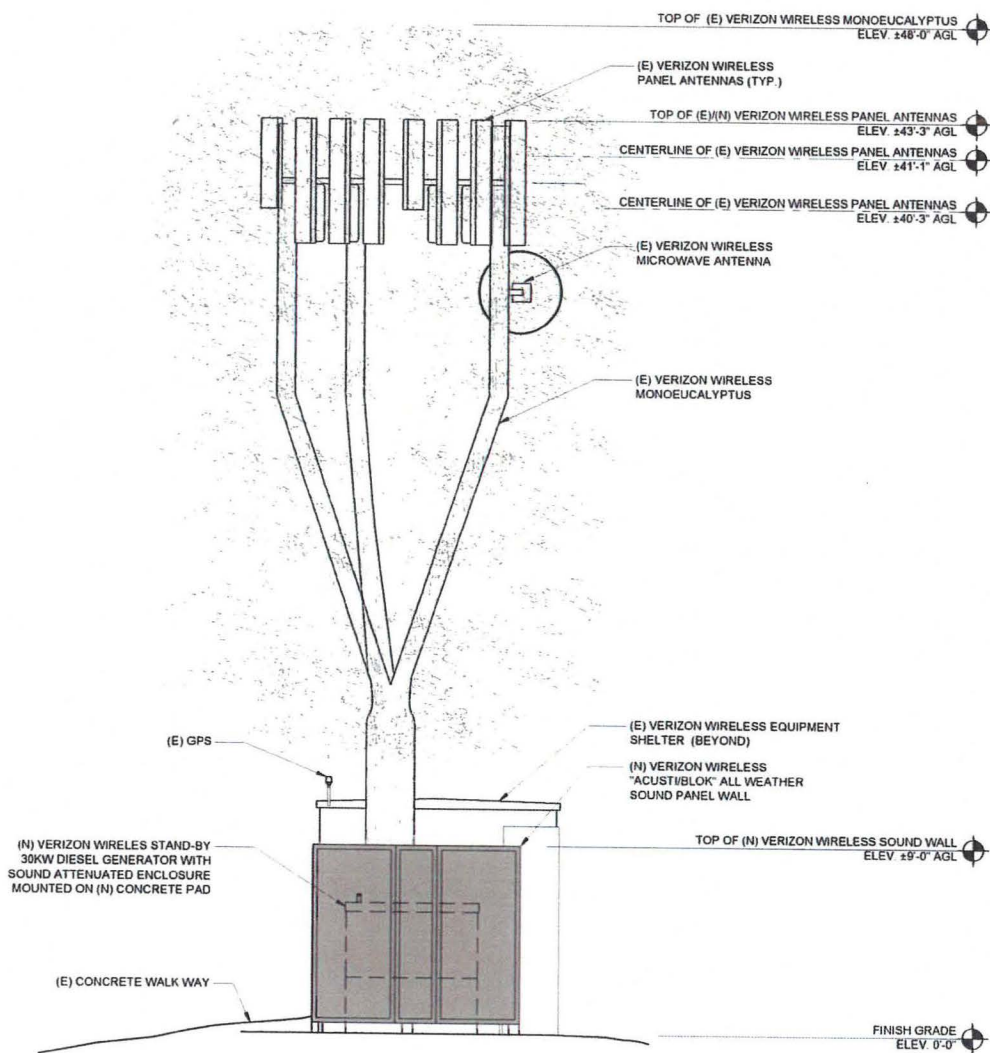


SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
ELEVATIONS

A-3

NOTES:
1. PAINT SOUND PANEL WALL SW6073 "PERFECT" GREIGE" BY SHERWIN WILLIAMS OR EQUAL.

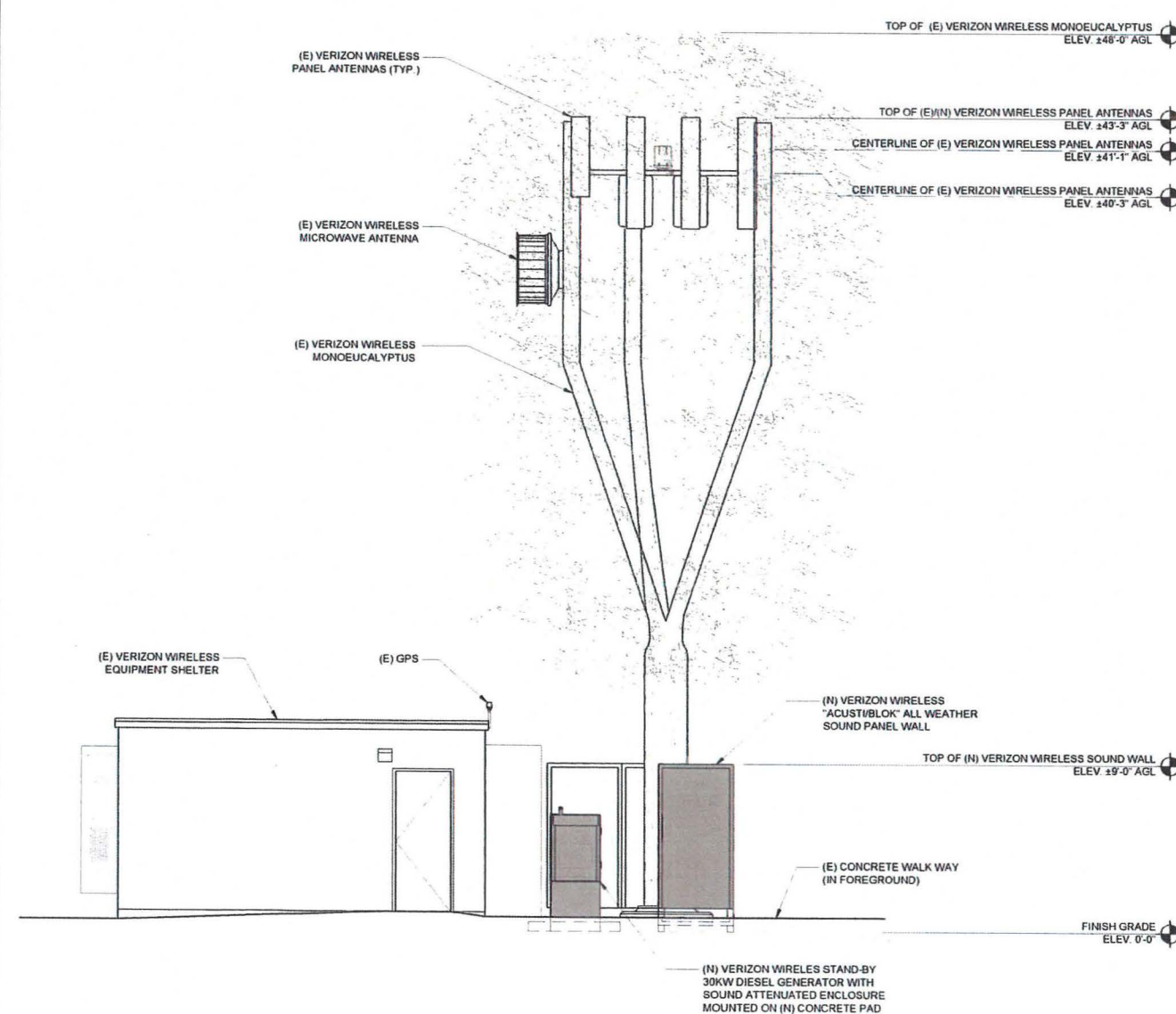


NEW SOUTH ELEVATION

SCALE 1/4"=1'
0' 1' 3' 7'

2

NOTES:
1. PAINT SOUND PANEL WALL SW6073 "PERFECT" GREIGE" BY SHERWIN WILLIAMS OR EQUAL.

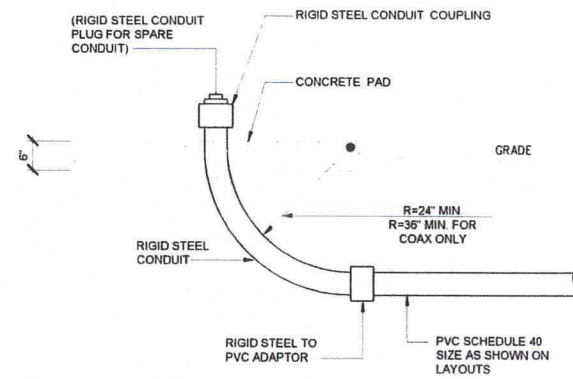


NEW WEST ELEVATION

SCALE 1/4"=1'
0' 1' 3' 7'

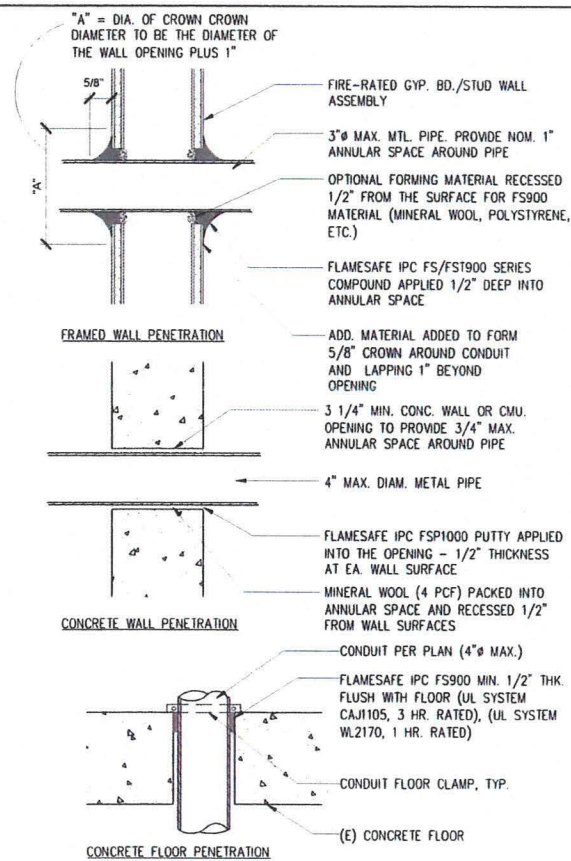
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NOTE: THE ORIGINAL SET OF THIS PLAN IS 24" X 36". SCALE AND DIMENSIONS ARE FOR REDUCED OR UNADJUSTED SHEET SIZES.



UTILITY CONDUIT STUB-UP

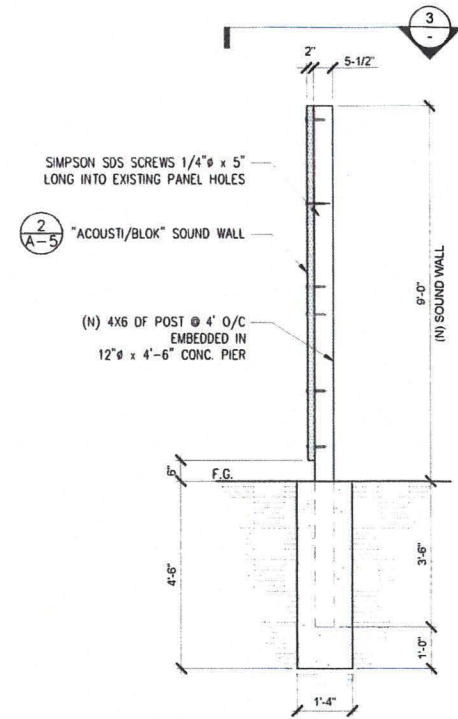
SCALE NTS 4



- NOTE:
- CONTRACTOR TO X-RAY PRIOR TO DRILLING OR CORING TO LOCATE (E) RE-BAR. DO NOT CUT RE-BAR.
 - ALL PENETRATIONS SHALL CONFORM TO TITLE 24, CALIF. BLDG. CODE, SECTION 714.
 - PENETRATIONS THRU RATED WALL ASSEMBLIES SHALL COMPLY WITH TITLE 24, CBC SECTION 709.6 AS FOLLOWS:
 F-RATING : PENETRATIONS 4" OR LESS
 T-RATING : PENETRATIONS LARGER THAN 4", PENETRATIONS AT CORRIDOR CEILINGS WHICH ARE NOT RATED, BELOW ANY CEILING
 - PENETRATIONS THRU FLOOR / CEILINGS ASSEMBLIES SHALL COMPLY WITH TITLE 24, CBC SECTION 710.3 AS FOLLOWS:
 F-RATING : PENETRATIONS 4" OR LESS
 T-RATING : PENETRATIONS LARGER THAN 4", PENETRATIONS NOT CONTAINED W/IN A WALL

CONDUIT PENETRATION

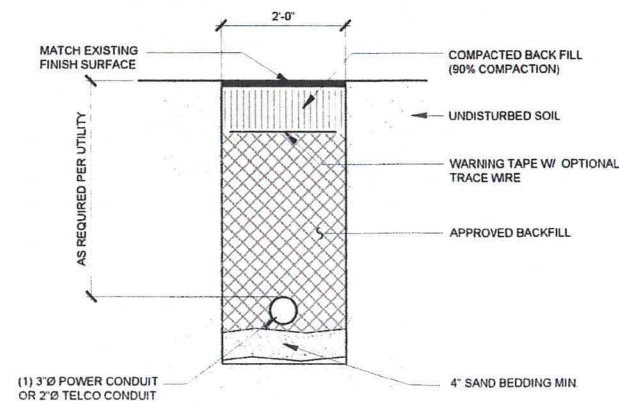
SCALE NTS 5



SECTION A-A

SOUND WALL DETAILS

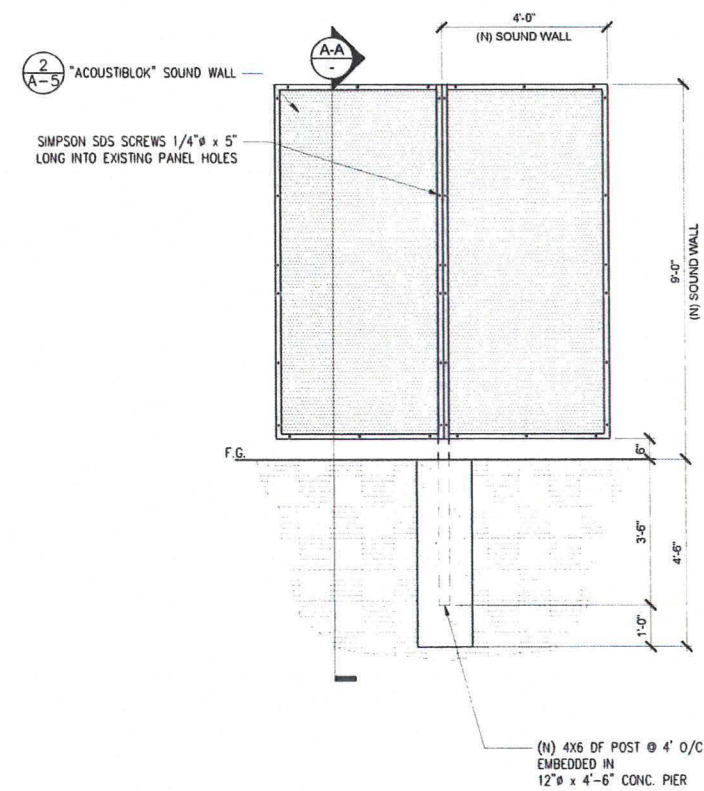
SCALE NTS 1



- NOTE:
- TRENCHING DETAIL PER N.E.C. ARTICLE 300-5

UTILITY TRENCH

SCALE NTS 3



SOUND WALL

SCALE NTS 2

REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/21/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC

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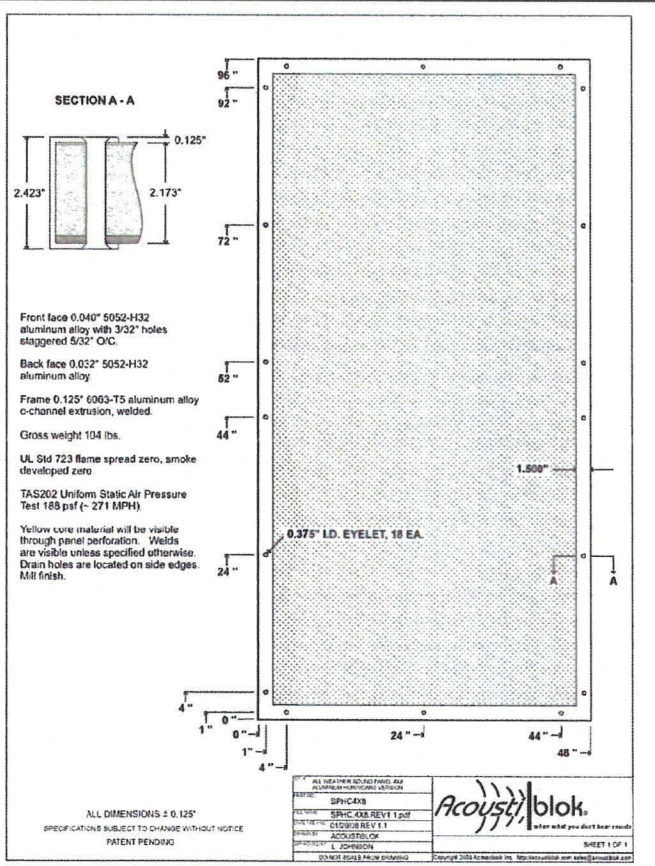
verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CA 92618

REGISTERED PROFESSIONAL ENGINEER
 CURIS S. LEE
 No. 51054
 Exp. 12/31/18
 STATE OF CALIFORNIA

SCRIPPS RANCH
 12227 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

SHEET TITLE:
DETAILS

A-4

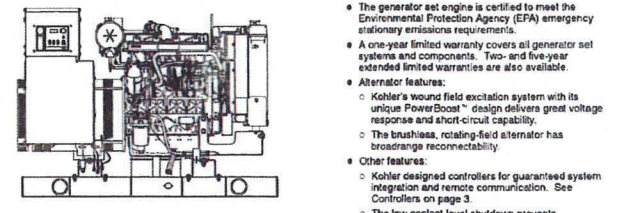


ACUSTI/BLOK SOUND WALL SPECS
SCALE NTS 2

KOHLER Power Systems Model: **30REOZK**
208-600 V Diesel

9001 Tier 4 EPA-Certified for Stationary Emergency Applications
Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The 60 Hz generator set offers a UL 2200 listing.
- The generator set accepts rated load in one step.
- The 60 Hz generator set meets NFPA 110, Level 1, when equipped with the necessary accessories and installed per NFPA standards.
- The generator set engine is certified to meet the Environmental Protection Agency (EPA) emergency stationary emissions requirements.
- A one-year limited warranty covers all generator set systems and components. Two- and five-year extended limited warranties are also available.
- Alternator features:
 - Kohler's wound field excitation system with its unique PowerBoost™ design delivers great voltage response and short-circuit capability.
 - The brushless, rotating-field alternator has load/unload re-connectability.
 - Other features:
 - Kohler designed controllers for guaranteed system integration and remote communication. See Controllers on page 3.
 - The low coolant level shutdown prevents overheating (standard on radiator models only).
 - Integral vibration isolation eliminates the need for under-unit vibration spring isolators.



Generator Set Ratings

Alternator	Voltage	Ph	100°C Rise Standby Rating		105°C Rise Prime Rating		
			kW/kVA	Amps	kW/kVA	Amps	
405.6	480 V	3	60	29/35	101	28/33	
		60	29/35	95	28/33	85	
		60	29/35	87	26/33	78	
	240 V	1	60	23/23	99	21/21	88
		3	60	29/35	87	28/33	78
		3	60	27/34	81	25/31	47
408.3	480 V	3	60	28/35	44	28/33	35
		3	60	29/35	35	28/33	31
		3	60	31/39	108	28/35	97
	240 V	1	60	31/39	102	28/35	92
		3	60	31/39	93	28/35	84
		3	60	29/29	121	28/26	108
4E5.6	480 V	3	60	31/39	93	28/35	84
		3	60	31/39	59	28/35	53
		3	60	31/39	47	28/35	42
	240 V	1	60	31/39	37	28/35	24
		3	60	29/29	121	28/26	108
		3	60	31/31	129	27/27	113

Alternator Specifications

Specifications	Alternator
Manufacturer	Kohler
Type	4-Pole, Rotating-Field Brushless Wound Field
Exciter type	12. Reconnectable 4, 110-120/230-240 Solid State, Volts-Hz NEMA MG1 Class H 150°C, Standby
Leads quantity type	1. Sealed Reversible Full
Voltage regulator	Controller Dependent
Temperature rise	100% of Rating
Bearing quantity type	100% of Rating
Coupling	100% of Rating
Antivibration windings	Standby Current
Voltage regulation: no-load to full-load	Control
One-step load acceptance	100% of Rating
Unloaded load capability	100% of Rating

Application Data

Engine	Engine Electrical
Manufacturer	Kohler Diesel
Engine model	KD2500TAM
Engine type	4-Cycle, Turbocharged
Cylinder arrangement	4 inline
Displacement, L (cu. in.)	2.5 (158)
Bore and stroke, mm (in.)	66 X 102 (2.60 X 4.02)
Compression ratio	18.1
Piston speed, m/min (ft./min.)	347 (1308)
Main bearings: quantity type	5, Slaves
Rated rpm	1800
Max. power at rated rpm, kW (BHP)	36.4 (48.8)
Cylinder head material	Cast Iron
Crankshaft material	Cast Iron
Valve material	Stainless Steel
Exhaust	Stainless Steel
Governor type: make/model	Standalone/Mechanical (or Electronic ?)
Frequency regulation, no-load to full-load	(at load/unload)
Frequency regulation, steady state	±0.5%
Frequency	Fixed
Air cleaner type, all models	Dry
*Requires available electronic governor option	
Exhaust System	
Exhaust manifold type	Dry
Exhaust flow at rated kW, m ³ /min (cfm)	7.8 (275)
Exhaust temperature at rated kW, dry exhaust, °C (°F)	543 (1009)
Maximum allowable back pressure, kPa (in. Hg)	9 (2.9)
Exhaust outlet size at engine hookup, mm (in.)	50.8 (2)
Fuel System	
Fuel supply line, min. ID, mm (in.)	6.0 (0.24)
Fuel return line, min. ID, mm (in.)	6.0 (0.24)
Max. lift, engine-driven fuel pump, m (ft.)	3.0 (10.0)
Max. fuel flow, Lph (gph)	48 (12.2)
Max. return line restriction, kPa (in. Hg)	20 (5.8)
Fuel filter	74 Microns
Protector	5 Microns @ 98% Efficiency
Recommended fuel	#2 Ultra Low Sulfur Diesel
Lubrication System	
Type	Full Pressure
Oil pan capacity, L (qt.)	10.7 (11.3)
Oil pan capacity with filter, L (qt.)	11 (11.6)
Oil filter, quantity, type	1, Cartridge
Oil cooler	

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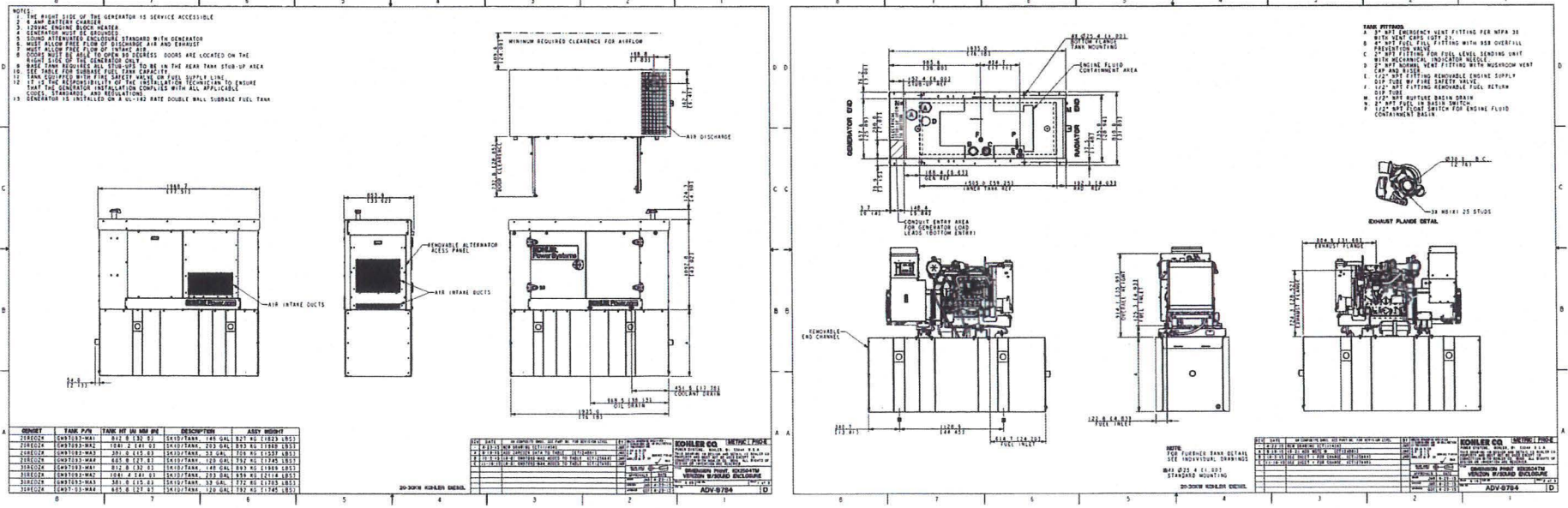
verizon
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IRVINE, CA 92618



SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
GENERATOR SPECS & DETAILS

A-5



GENERATOR SPECS

SCALE NTS 1

GENERAL

- CONTRACTOR SHALL VISIT THE BUILDING SITE AND SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY THE SUB-CONTRACTORS. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN.
- ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL ELEMENTS INCLUDING NEW CONSTRUCTION & SOIL. PROVIDE FULL STRUCTURAL STABILITY. BRACING OR SHORING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOAD.
- ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE 2007 C.B.C. AND ALL THE OTHER LATEST GOVERNING CODES.
IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
- REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MOULDS, ORNAMENTS, GROOVES, CLIPS, GROUNDS, DROPPED SLABS, CURBS, ETC. NOT SHOWN ON DRAWINGS.
- BACKFILL BEHIND RETAINING WALL SHALL NOT BE DONE PRIOR TO THE RETAINING WALL STEMS' GROUTING IS CURED.

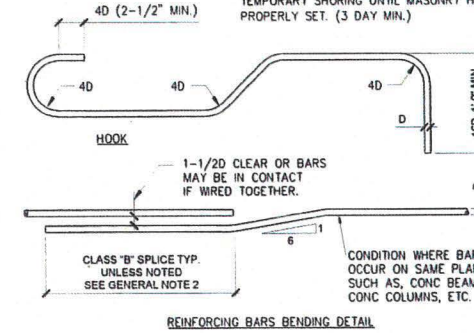
REINFORCING STEEL

ALL REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60. LAP REINFORCING STEEL AT SPLICES TO THE FOLLOWING MINIMUM LENGTHS UNLESS NOTED OTHERWISE:

#3 AND #4	2'-0"	#8	5'-3"
#5	2'-1"	#9	6'-8"
#6	3'-0"	#10	8'-6"
#7	4'-1"	#11	10'-5"

NOTES:

- PROVIDE 8" MIN. BEARING EACH END.
- CONTRACTOR TO PROVIDE TEMPORARY SHORING UNTIL MASONRY HAS PROPERLY SET. (3 DAY MIN.)



CONCRETE

- ALL POURED-IN-PLACE CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. CEMENT TO BE TYPE II FROM TESTED STOCK PER ASTM C-150.
- CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY THE AMERICAN CONCRETE INSTITUTE.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE POURING OF ANY CONCRETE.
- NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS.
- FORM EXPOSED CORNERS OF COLUMNS, BEAMS, WALLS, ETC. WITH 3/4 INCH CHAMFERS UNLESS DETAILED OTHERWISE.
- PROVIDE LIGHT BROOM FINISH ON ALL EXPOSED CONCRETE UNLESS NOTED OTHERWISE.

ISSUE STATUS

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1	07/31/17	100% CONSTRUCTION	GC
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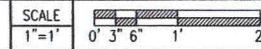


SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
GENERATOR FOUNDATION DETAIL

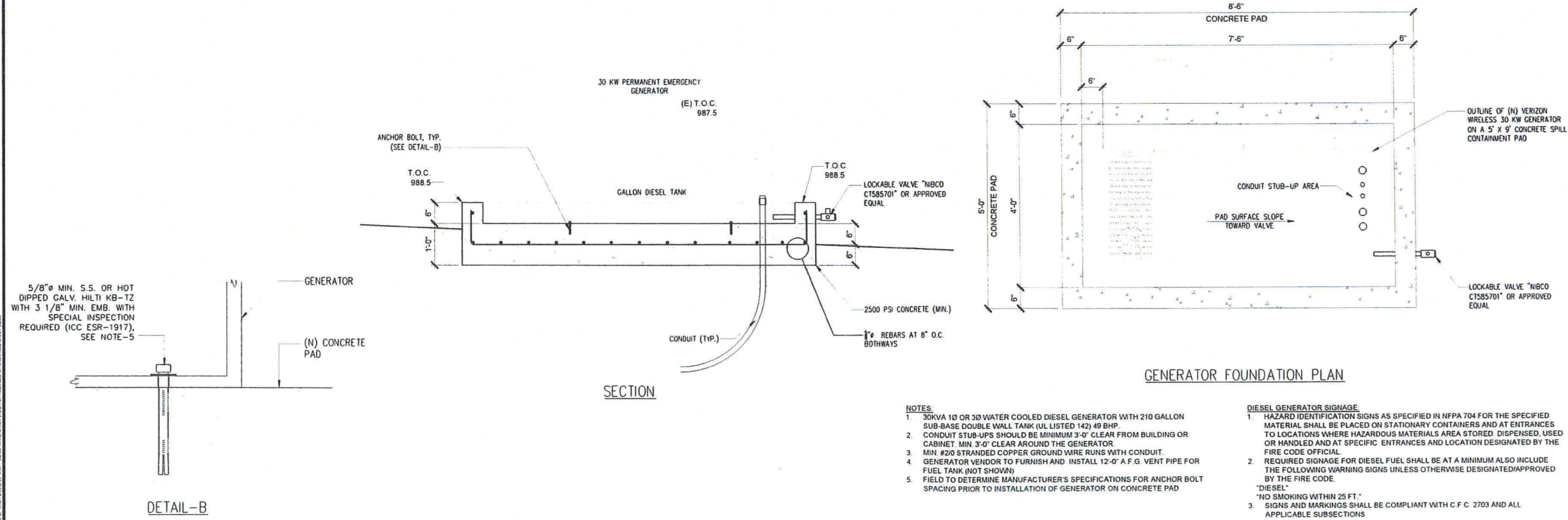
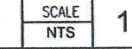
S-1

NOT USED



3

GENERAL, CONCRETE, REINFORCING STEEL, NOTES & DETAILS



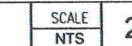
NOTES:

- 30KVA 1Ø OR 3Ø WATER COOLED DIESEL GENERATOR WITH 210 GALLON SUB-BASE DOUBLE WALL TANK (UL LISTED 142) 49 BHP.
- CONDUIT STUB-UPS SHOULD BE MINIMUM 3'-0" CLEAR FROM BUILDING OR CABINET, MIN 3'-0" CLEAR AROUND THE GENERATOR.
- MIN. #20 STRANDED COPPER GROUND WIRE RUNS WITH CONDUIT.
- GENERATOR SIGNAGE VENDOR TO FURNISH AND INSTALL 12'-0" A.F.G. VENT PIPE FOR FUEL TANK (NOT SHOWN).
- FIELD TO DETERMINE MANUFACTURER'S SPECIFICATIONS FOR ANCHOR BOLT SPACING PRIOR TO INSTALLATION OF GENERATOR ON CONCRETE PAD.

DIESEL GENERATOR SIGNAGE:

- HAZARD IDENTIFICATION SIGNS AS SPECIFIED IN NFPA 704 FOR THE SPECIFIED MATERIAL SHALL BE PLACED ON STATIONARY CONTAINERS AND AT ENTRANCES TO LOCATIONS WHERE HAZARDOUS MATERIALS AREA STORED, DISPENSED, USED OR HANDLED AND AT SPECIFIC ENTRANCES AND LOCATION DESIGNATED BY THE FIRE CODE OFFICIAL.
- REQUIRED SIGNAGE FOR DIESEL FUEL SHALL BE AT A MINIMUM ALSO INCLUDE THE FOLLOWING WARNING SIGNS UNLESS OTHERWISE DESIGNATED/ APPROVED BY THE FIRE CODE.
"DIESEL"
"NO SMOKING WITHIN 25 FT."
- SIGNS AND MARKINGS SHALL BE COMPLIANT WITH C.F.C. 2703 AND ALL APPLICABLE SUBSECTIONS.

EMERGENCY GENERATOR FOUNDATION DETAIL



2

NOTE: THE ORIGINAL SET OF THIS DRAWING IS 24\"/>

GENERAL ELECTRICAL NOTES:

- THE ENTIRE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION ACCEPTABLE BY THE JURISDICTION OF THE NATIONAL ELECTRICAL CODE, CALIFORNIA ELECTRICAL CODE, STATE FIRE MARSHAL REGULATIONS, AND ALL OTHER STATE AND LOCAL CODES, LAWS, AND ORDINANCES HAVING JURISDICTION ALBEIT NOT SHOWN ON DRAWINGS OR SHOWN OTHERWISE.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTION REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL VISIT JOB SITE AND VERIFY EXISTING CONDITIONS BEFORE BIDDING AND SHALL INCLUDE IN HIS BID THE NECESSARY COSTS TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH INTENT OF THE ELECTRICAL DRAWINGS, SPECIFICATIONS, SERVING UTILITY COMPANY'S REQUIREMENTS AND ALL APPLICABLE CODES. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT BEFORE SUBMITTING BID. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, POWER AND TELEPHONE SERVICE REQUIREMENTS WITH UTILITY SERVICE PLANNER AND THE EXACT SERVING UTILITY POINTS OF CONNECTION AND PROVIDE ALL SERVICE RELATED EQUIPMENT AND INSTALLATION IN BID. UTILITY SERVICE REQUIREMENTS SHOWN ON THE DRAWINGS ARE BASED ON PRELIMINARY SITE VISIT AND INFORMATION AVAILABLE AT THIS TIME OF VISIT AND ARE NOT GUARANTEED BY ENGINEER OR SERVING UTILITY COMPANY. REFER TO ARCHITECTURAL DRAWINGS AND VISIT SITE PRIOR TO BID TO REVIEW EXISTING TOPOGRAPHY MAPS, LANDSCAPING AND CONSTRUCTION TO BECOME FAMILIAR WITH SLOPE CONDITIONS AND EXISTING CONSTRUCTION AND LANDSCAPING. ADJUST CONDUIT ROUTING INDICATED TO AVOID DISTURBING EXISTING CONDITION WHERE POSSIBLE. SAWN EXISTING SURFACE WHERE REQUIRED FOR CONDUIT AND STRUCTURE INSTALLATION AND PATCH TO MATCH EXISTING. REPAIR OR REPLACE ALL SOO, LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS AND WIRING, PIPING ETC. ALTERED BY THE ELECTRICAL WORK TO MATCH EXISTING AND TO MAKE SYSTEMS OPERABLE.
- THE INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF NECA MANUAL OF GOOD WORKMANSHIP (STANDARD OF INSTALLATION).
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, INCLUDING BUT NOT LIMITED TO COMPLETE ELECTRICAL SYSTEMS, POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANELBOARDS, CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS ETC. FOR A COMPLETE AND PROPERLY OPERATING SYSTEM, ENERGIZED THROUGHOUT AND AS INDICATED ON THE DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORY AND SHALL BEAR THE INSPECTION LABEL UL WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH THE APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, AND NBFU.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING DIMENSIONS AND CONDITIONS. HE SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- ALL WIRING SHALL BE IN METALLIC CONDUIT. RIGID GALVANIZED CONDUIT SHALL BE USED IN OR UNDER CONCRETE SLABS ON GRADE FIVE FEET BEFORE STUBBING UP, WHERE EXPOSED TO WEATHER, AND WHERE SUBJECT TO MECHANICAL DAMAGE. PVC SCHEDULE 80 SHALL BE USED IN OR UNDER CONCRETE OR BURIED UNDERGROUND. EMT CONDUITS SHALL BE USED INSIDE STRUCTURE OR BUILDINGS. FLEXIBLE CONDUIT SHALL BE USED WHERE THE STRUCTURAL CONDITIONS MAKE THE USE OF RIGID CONDUIT IMPRACTICAL, AND FOR SHORT CONNECTIONS TO VIBRATING EQUIPMENT. USE NEOPRENE JACKETED FLEXIBLE CONDUIT AND FITTINGS WHERE EXPOSED TO WEATHER.
- ALL WIRING SHALL BE CONCEALED IN FINISHED AREAS. INSTALL EXPOSED RACEWAYS PARALLEL WITH OR PERPENDICULAR TO THE LINES OF BUILDINGS. PAINT RACEWAYS TO MATCH MOUNTING SURFACE. PENETRATIONS OF ALL WALLS OR CEILINGS SHALL BE SEALED AND FIRE RATING MAINTAINED IN ACCORDANCE WITH UL WL1001, UL WL5001 AND ALL LOCAL AND NATIONAL CODES. DO NOT PENETRATE OR RUN CONDUITS IN AND OUT OF RATED CORRIDOR OR STAIRWELL ENCLOSURE FOR CIRCUITS NOT INTENDED TO SERVE THE EQUIPMENT WITHIN THE ENCLOSURE. CONDUIT MUST BE RUN OUTSIDE OF RATED ENCLOSURE ENVELOPS.
- ALL CONDUCTORS SHALL BE COPPER AND RATED 600 VOLTS. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE 75°C RATED COPPER TYPE "DUAL RATED THHN/THWN" #12, & #10 SOLID, #8 AND LARGER STRANDED, CONTROL AND SIGNAL WIRING SHALL BE STRANDED. OUTLET BOXES SHALL BE CAST FERRULE METAL WITH WATER TIGHT GASKETED CAST FERROUS COVERS, THREADED HUBS, AND STAINLESS STEEL SCREWS. USE CROUSE-HINDS OR APPLETON TYPE FS OR FD BOXES OR APPROVED EQUAL BY ENGINEER.
- VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL OUTLETS WITH CONSTRUCTION MANAGER BEFORE ROUGH-IN.
- ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMMATIC. INSTALL THE ELECTRICAL SYSTEMS WITHOUT INTERFERING WITH STRUCTURES OR OTHER SYSTEMS.
- ALL SURFACE-MOUNTED ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROPERLY SECURED PROVIDE STRUCTURAL SUPPORT AS NECESSARY FOR MOUNTING EQUIPMENT.
- CONTRACTOR SHALL LABEL THE COVER PLATE OF EACH ELECTRICAL OUTLET AND JUNCTION BOX WITH INDELIBLE INK FELT PEN. THE LABEL SHOULD SHOW PANEL AND CIRCUIT NUMBER CONTAINED IN THE BOX.
- GROUP CONDUITS TOGETHER AND SUPPORT WITH UNISTRUT.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT EQUIPMENT LOCATIONS. ALL EQUIPMENT AND STUB-UP LOCATIONS SHALL BE VERIFIED WITH ENGINEER BEFORE ROUGH-IN.
- PROVIDE SEPARATE GROUND WIRE IN ALL FLEXIBLE AND PVC CONDUITS.
- THE ELECTRICAL CONTRACTOR SHALL MAINTAIN THE UNIFORMITY AND CONTINUITY OF THE GROUNDING SYSTEM.
- TEST THE ENTIRE SYSTEM TO DEMONSTRATE THAT THE ELECTRICAL COMPONENTS AND SPECIAL SYSTEMS ARE COMPLETE AND FUNCTION PROPERLY, INCLUDING BUT NOT LIMITED TO INSULATION AND GROUNDING TESTS. MAKE NECESSARY CORRECTIONS AND LEAVE SYSTEMS READY FOR OPERATION.
- COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER DATE JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL, OR EQUIPMENT FOUND TO BE DEFECTIVE DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.
- AT COMPLETION OF THE JOB, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH SPARE PARTS, ALL THE EQUIPMENT MANUALS, SPARE PARTS LIST AS RECOMMENDED BY THE MANUFACTURER, EQUIPMENT REPRESENTATIVE ADDRESS AND PHONE NUMBER. FURNISH ONE (1) COMPLETED SET OF "AS-BUILT" ELECTRICAL PLANS SHOWING LOCATIONS OF OUTLETS, CONDUIT RUNS, AND PANELBOARD CIRCUIT NUMBERS. ELECTRICAL CONTRACTOR SHALL PROVIDE ACCURATE DIRECTORIES IN PANELBOARD FRONTS AT COMPLETION OF BUILD-OUT. PANELBOARD DIRECTORIES SHALL INCLUDE THE EQUIPMENT SERVED AND WATTAGE.
- REFER TO VERIZON WIRELESS STANDARD SPECIFICATIONS AS PART OF THIS CONSTRUCTION DOCUMENT. ANY CONFLICT BETWEEN THESE DRAWINGS, VERIZON WIRELESS STANDARD SPECIFICATIONS, AND APPLICABLE CODES, THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
- ALL WORK TO BE EXECUTED IN WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO THE ELECTRICAL WORK, UNLESS NOTED OTHERWISE AND COORDINATED WITH THE GENERAL CONTRACTOR.
- ALL ELECTRICAL EQUIPMENT SHALL BE BRACED OR ANCHORED TO RESIST A HORIZONTAL FORCE ACTING IN ANY DIRECTION USING THE FOLLOWING CRITERIA: FIXED EQUIPMENT ON GRADE - 35% OF OPERATING WEIGHT; FIXED EQUIPMENT ON STRUCTURE - 30% OF OPERATING WEIGHT; EMERGENCY POWER & COMMUNICATION EQUIPMENT ON GRADE - 30% OF OPERATING WEIGHT; EMERGENCY POWER & COMMUNICATION EQUIPMENT ON STRUCTURE - 75% OF OPERATING WEIGHT FOR FLEXIBILITY OF MOUNTED EQUIPMENT USE 2X THE ABOVE VALUES SIMULTANEOUS VERTICAL FORCE 1/3X HORIZONTAL FORCE.
- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AT ALL TIMES. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

CONDUITS:

- 1-2" MINIMUM DIAMETER DUCT OF APPROVED MATERIAL.
 - WITHIN OR ON BUILDINGS RIGID GALVANIZED STEEL (WHEN REQUIRED), OR ELECTRO-METALLIC TUBING (EMT)
 - IN UNDERGROUND - PVC SCHEDULE 40 OR EQUIVALENT FOR STRAIGHT SECTIONS. BENDS SHALL BE PVC SCHEDULE 80
 - PULL ROPES IN ALL DUCTS (MIN 3/8" POLY PULL ROPE) AND A MEASURING TAPE MUST BE IN PLACE TO DETERMINE "AS-BUILT" CONDUIT LENGTH. BOTH MUST BE IN ONE CONTINUOUS PIECE
- WITHIN BUILDINGS
 - ELECTRICAL LB'S AND CONDUITS ARE NOT ACCEPTABLE AS PULL BOXES
 - NO 90 DEGREE TRANSITIONS AT OR IN PULL BOXES (UNLESS A 10' BENDING RADIUS CAN BE MAINTAINED)
 - IN-LINE PULL BOX MINIMUM DIMENSIONS = 24" L X 6" W X 6" D. 30" L X 6" W X 6" D PREFERRED
 - PULL BOXES MUST BE EASILY ACCESSIBLE (TELEPHONE COMPANY WILL NOT REMOVE CEILING TILES)
 - VERTICAL SECTIONS OF CONDUIT WILL REQUIRE A PULL BOX EVERY 100 FEET AND APPROVED RESTRAINTS.
 - MAXIMUM OF 300 FEET HORIZONTAL BETWEEN PULL-BOXES
 - MAXIMUM OF 2-90 DEGREE BENDS BETWEEN PULL-BOXES
 - MINIMUM CONDUIT BEND RADIUS OF 10 CABLE DIAMETERS (12')
 - FIRE STOPPING REQUIRED WHEN OPENINGS ARE MADE IN ANY FIRE RATED BARRIER
 - ALL EXTERNAL CONDUIT TERMINATIONS SHALL BE WEATHER TIGHT
- IN UNDERGROUND CONSTRUCTION
 - CONDUIT LENGTH MAXIMUM OF 300 FEET BETWEEN PULL BOXES
 - CONDUIT BENDS MUST HAVE A RADIUS 10 TIMES CONDUIT SIZE (20')

TRENCHING:

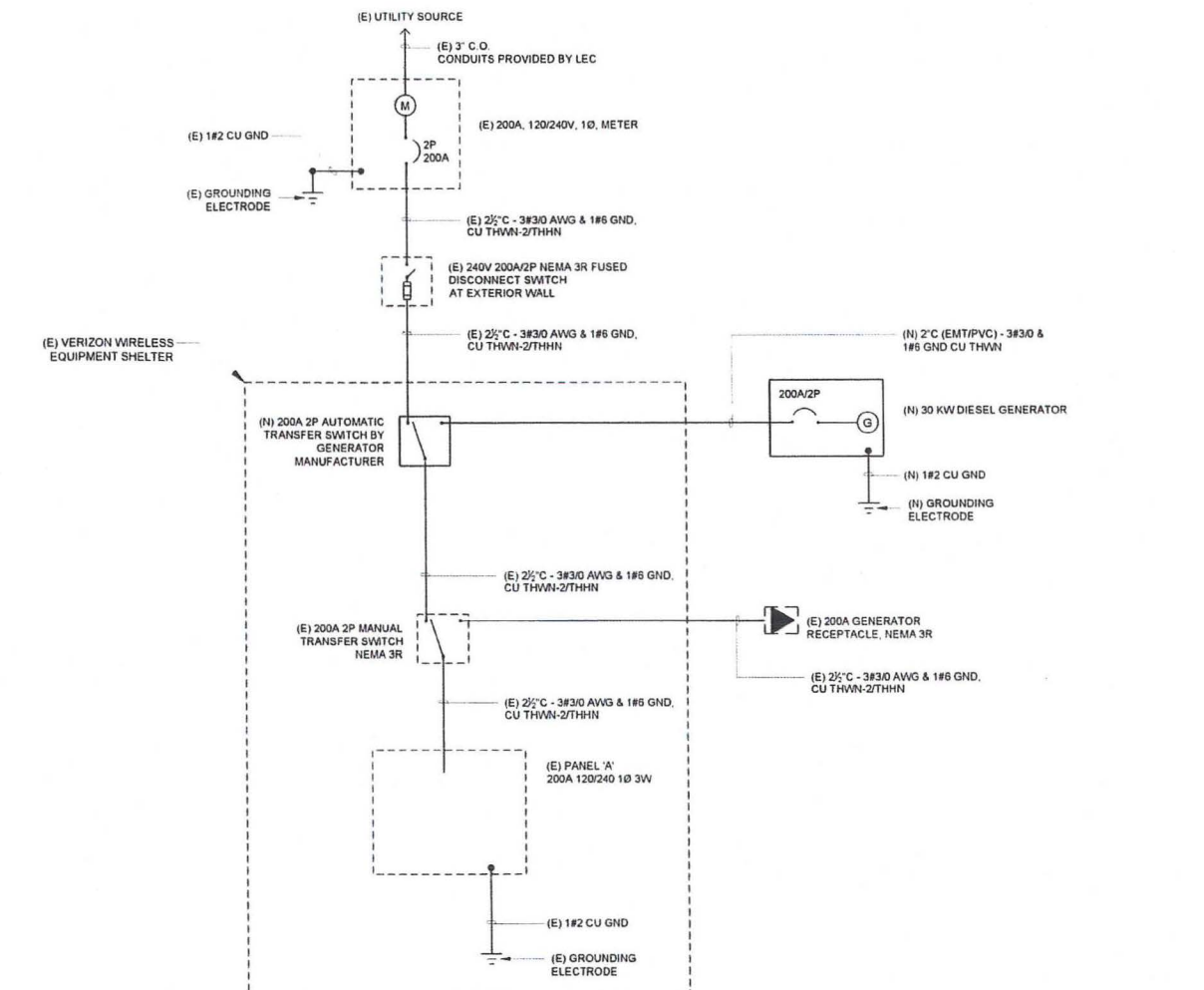
- MINIMUM COVERAGE OF DUCT ON PRIVATE PROPERTY - 18" UNDER CONCRETE SURFACE OR AS SPECIFIED BY PERMITTING OWNER/AGENT
- MINIMUM COVERAGE OF DUCT ON PRIVATE PROPERTY = 24" UNDER DIRT SURFACE OR AS SPECIFIED BY PERMITTING OWNER/AGENT
- MINIMUM COVERAGE OF DUCT IN PUBLIC RW = 30" BELOW GUTTER GRADE OR AS SPECIFIED BY PERMITTING AGENT
- MINIMUM 12" SEPARATION IN JOINT TRENCH BETWEEN POWER AND TELCO
- PULL BOXES - MINIMUM 17" W X 30"
- SPLICE BOXES WILL BE SIZED BY SERVING TELEPHONE COMPANY. DETAILS WILL BE PROVIDED BY TELEPHONE COMPANY OR INTERCONNECT ENGINEER.

BONDING & GROUNDING:

- #6 AWG SOLID COPPER INSULATED GROUND WIRE (24" COILED IN TELCO SERVICE BOX) WITH BONDING CLAMPS IN PLACE. THE TELEPHONE GROUND MUST BE BONDED TO THE POWER GROUND. THE TELEPHONE SERVICE CABINET MUST BE BONDED TO THE TELEPHONE GROUND WIRE. ANY QUESTIONS REGARDING TELEPHONE GROUNDS SHOULD BE REFERRED TO THE INTERCONNECT ENGINEER. SERVICE BOX:
 - MINIMUM DIMENSIONS - 30" W X 36" H X 9" D
 - 3/4" PLYWOOD BACKBOARD MOUNTED IN SERVICE BOX
 - 36" CLEARANCE FROM GROUND LEVEL TO BOTTOM OF SERVICE BOX PREFERRED
 - FULL ACCESS FROM FRONT OF BOX, MINIMUM 36" WORKING SPACE IN FRONT AND 36" IN WIDTH
 - BOX MUST BE WATER RESISTANCE, NEMA 4, GALVANIZED STEEL BOX PAINTED INSIDE AND OUT AND WITH HASP AND PADLOCK.

SYMBOLS	ABBREVIATIONS
	AGL ABOVE GRADE LEVEL
	AWG AMERICAN WIRE GAUGE
	BCW BARE COPPER WIRE
	BTCW BARE TINNED COPPER WIRE
	BTS BASE TRANSCIEVER STATION
	(E) EXISTING
	EG EQUIPMENT GROUND
	EGR EXTERNAL GROUND RING
	EMT ELECTRICAL METALLIC TUBING
	GEN GENERATOR
	IGR INTERNAL GROUND RING (PHAS)
	IMC INTERMEDIATE METAL CONDUIT
	LFMC LIQUID/TIGHT FLEXIBLE METAL CONDUIT
	MAX MAXIMUM
	MGB MASTER GROUND BAR
	MIN MINIMUM
	(N) NOT TO SCALE
	PVC POLYVINYL CHLORIDE
	REF REFERENCE
	REQ REQUIRED
	RF RADIO FREQUENCY
	RGS RIGID GALVANIZED STEEL
	RMC RIGID METAL CONDUIT
	RWV RACEWAY
	TBD TO BE DETERMINED
	TBR TO BE RESOLVED
	TYP TYPICAL

SINGLE LINE DIAGRAM



- NOTES:
- SERVICE POWER SHALL BE 120/240VAC, 1Ø, 3W
 - UTILITY RECEPTACLE IS A GFCI DUPLEX OUTLET
 - FOR COMPLETE INTERNAL WIRING AND ARRANGEMENTS REFER TO VENDOR DRAWINGS.
 - PROVIDE A MIN. 36" WORK CLEARANCE IN FRONT OF PANELS/SERVICE EQUIP.
 - THE MAIN CIRCUIT BREAKER IS RATED FOR 42KAIC & ALL BRANCH BREAKERS IN THE PANEL ARE RATED 10,000 RMS SYMMETRICAL AMPS, 240V MAX. 75°C
 - ALL WIRING SHALL BE COPPER AND RATED FOR 75°C
 - CONDUIT REQUIREMENTS (UNLESS NOTED OTHERWISE):
 - UNDERGROUND: PVC (SCH. 40 OR 80)
 - INTERIOR: EMT
 - ABOVE GROUND (EXTERIOR): RGS OR LIQUID TIGHT FLEX
 - ALL EQUIPMENT SHALL BE LABELLED BY A RECOGNIZED TESTING LAB LIKE U.L.
 - THE AVAILABLE FAULT CURRENT IS TO BE VERIFIED BY LOCAL ELECTRICAL COMPANY
 - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AVAILABLE NEW SERVICE AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY ENGINEERING PLANS AND SPECIFICATIONS ONLY.
 - CONTRACTOR SHALL FURNISH AND INSTALL CONDUIT, PULL WIRES, CABLE PULL BOXES, CONCRETE ENCASUREMENT OF CONDUIT (WHERE APPLICABLE), BARRIERS, TRENCHING, BACK FILL; PAY ALL UTILITY FEES AND INCLUDE REQUIREMENTS IN SCOPE
 - CONTRACTOR SHALL COORDINATE WITH 1-800 DIG-ALERT PRIOR TO EXCAVATION TO DETERMINE LOCATION OF EXISTING UNDERGROUND LINES
 - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE 17"x30" TRAFFIC RATED PULL BOXES AT UNDERGROUND POWER & TELCO CONDUIT RUNS IN EXCESS OF 250' AT EVERY 250' INTERVALS.

GENERAL ELECTRICAL NOTES, SYMBOLS & ABBREVIATIONS

UTILITY NOTES

ISSUE STATUS

REV	DATE	DESCRIPTION	BY
0	07/13/17	80% CONSTRUCTION	GC
1	07/21/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC



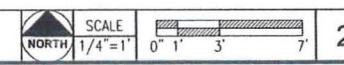
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ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED



SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
ELECTRICAL SINGLE LINE, GENERAL NOTES AND SYMBOLS

E-1



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/31/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC



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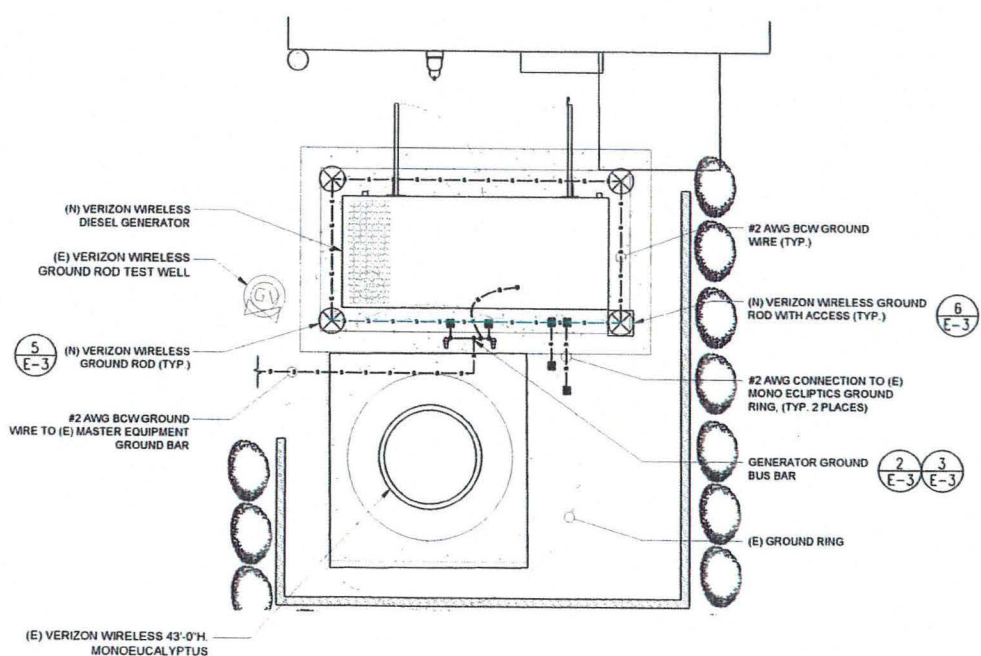
SCRIPPS RANCH
 12227 SPRING CANYON ROAD
 SAN DIEGO, CA 92131

SHEET TITLE:
EQUIPMENT GROUNDING PLAN

E-2

SYMBOLS

- SOLID GROUND BUS BAR
- SOLID NEUTRAL BUS BAR
- 2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
- SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
- GROUND ROD WITH ACCESS
- CHEMICAL GROUND ROD
- GROUND ROD
- DISCONNECT SWITCH
- METER
- CIRCUIT BREAKER
- CADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- HALO GROUND CONNECTION
- GROUNDING WIRE
- POWER RUN
- TELCO RUN
- POWER & TELCO RUN
- OVERHEAD POWER LINE
- OVERHEAD TELCO LINE
- OVERHEAD POWER/TELCO LINE
- REPRESENTS DETAIL NUMBER
- REFERENCE SHEET NUMBER



GROUNDING NOTES:
 INSTALL THEFT DETERRENT COMPOSITE GROUNDING CABLES FOR ELECTRICAL DISTRIBUTION GROUNDING LEAD WHERE COPPER THEFT MAY OCCUR BY ERICO OR APPROVED EQUAL (www.erico.com)

NOT USED

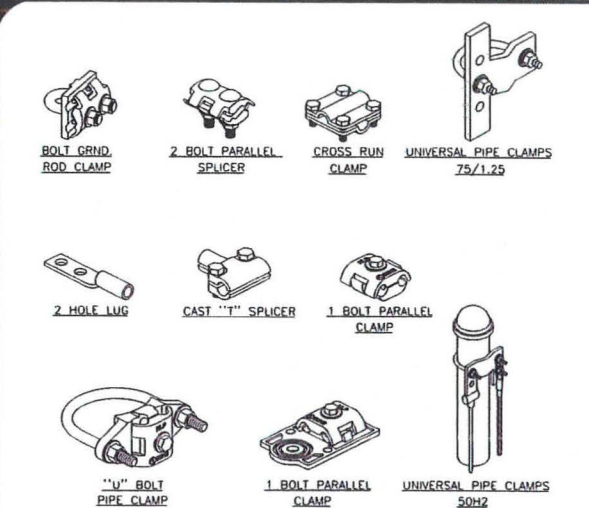
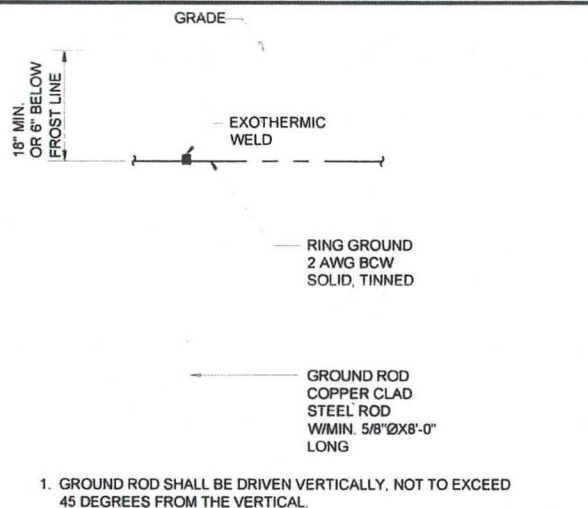
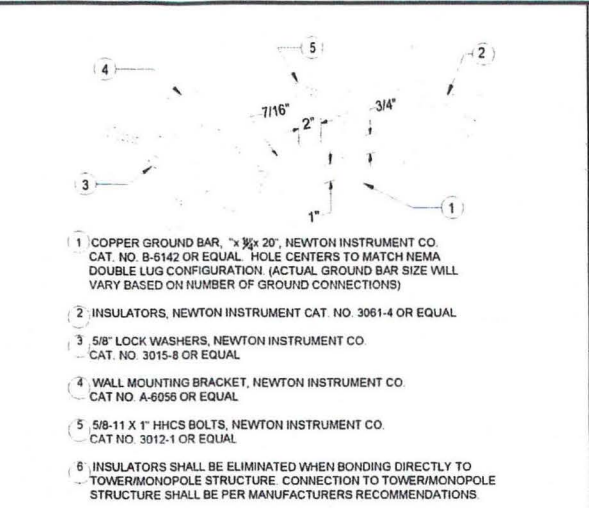
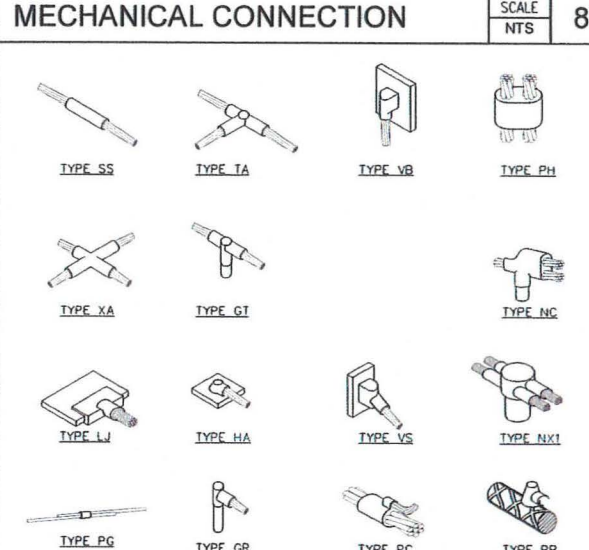
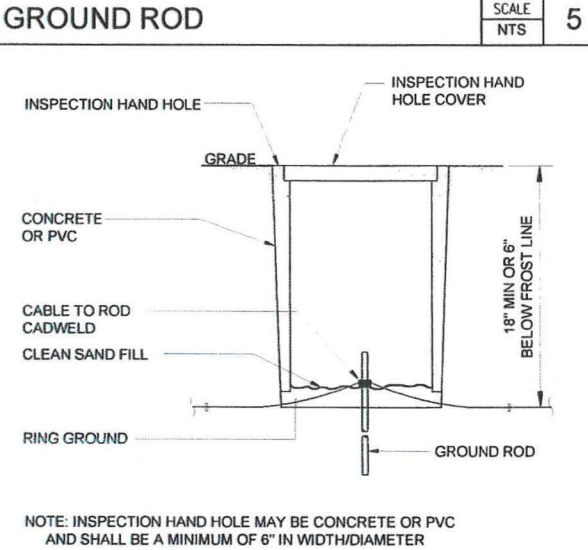
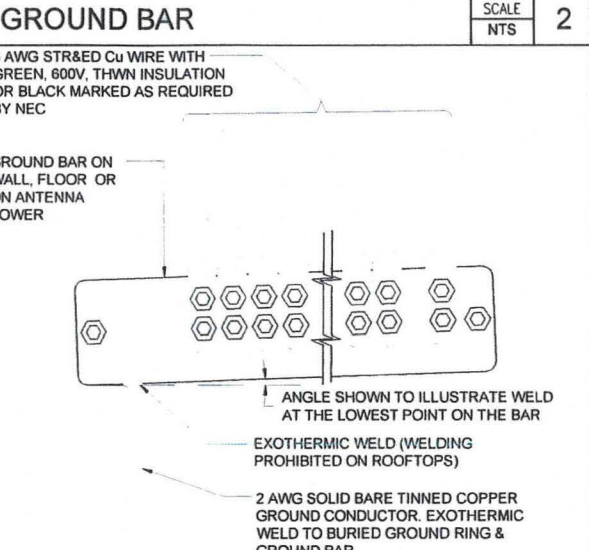
SCALE
 N.T.S. 2

EQUIPMENT GROUNDING PLAN

SCALE
 1/2" = 1'
 0" 6" 1' 2' 4'

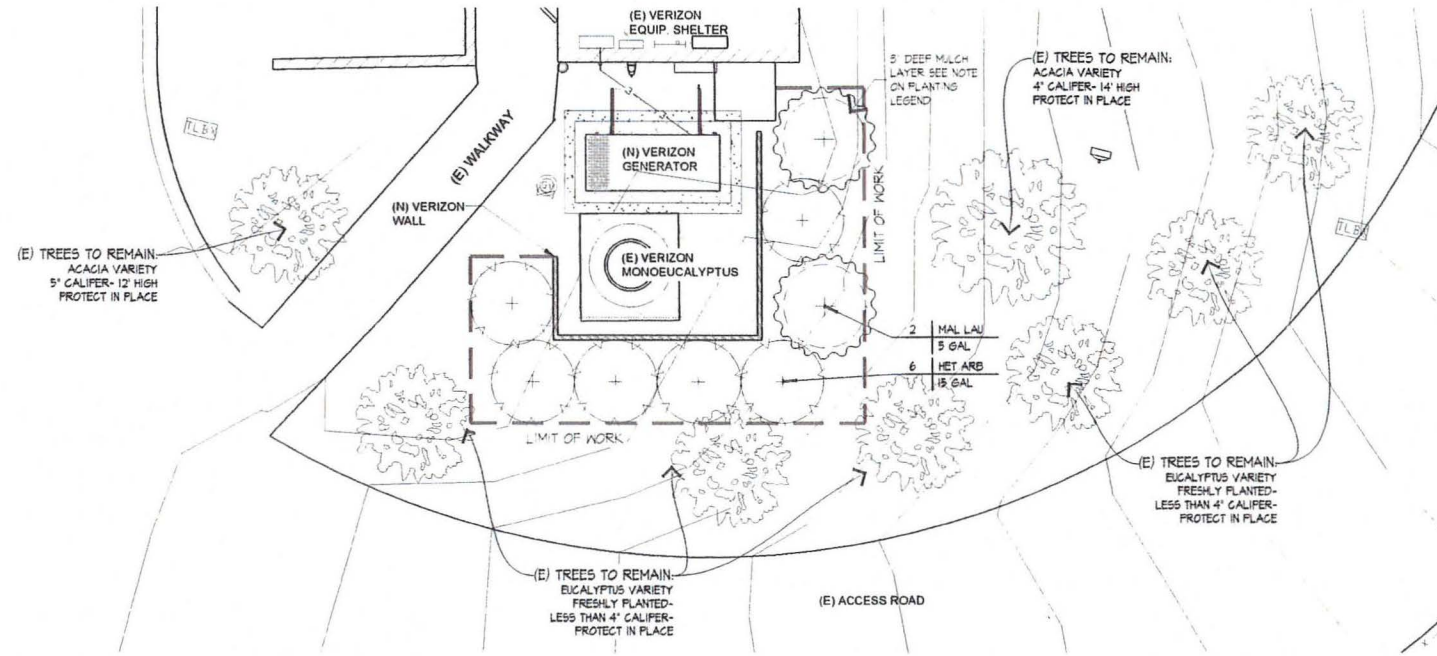
1

NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 36" X 48". SCALE AND PRINTING UNITS FOR REPLICATED OR ENLARGED SHEETS ARE AS SHOWN.

 <p>MECHANICAL CONNECTION SCALE NTS 8</p>	 <p>GROUND ROD SCALE NTS 5</p> <p>1. GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.</p>	 <p>GROUND BAR SCALE NTS 2</p> <p>1. COPPER GROUND BAR, 1/2" x 20", NEWTON INSTRUMENT CO. CAT. NO. B-6142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)</p> <p>2. INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR EQUAL</p> <p>3. 5/8" LOCK WASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8 OR EQUAL</p> <p>4. WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-6055 OR EQUAL</p> <p>5. 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL</p> <p>6. INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/MONOPOLE STRUCTURE. CONNECTION TO TOWER/MONOPOLE STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS.</p>	<p>GROUNDING NOTES:</p> <ol style="list-style-type: none"> ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND ALL APPLICABLE LOCAL CODES. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT. SERVICE TO EQUIPMENT CABINETS SHALL BE 120/240 VAC, 200A, 1-PHASE, 3 WIRE. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS. ALL EXOTHERMIC CONNECTIONS TO THE GROUND RODS SHALL START AT THE TOP & HAVE A VERTICAL SEPARATION OF 6" FOR EVERY ADDITIONAL CONNECTION. THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE (E) FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AHJ), THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELCORDIA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR (N) GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT. EACH INDOOR BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 AWG OR LARGER. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR. ALL OUTDOOR METAL SUPPORT POSTS FOR ICE BRIDGE AND TRAY SHALL BE BONDED TO THE (E) BURIED GROUND ELECTRODE SYSTEM WITH A SINGLE CONDUCTOR #2 AWG SOLID TINNED COPPER WIRE. SURFACES TO BE CONNECTED TO GROUND CONDUCTORS SHALL BE CLEANED TO A BRIGHT SURFACE AT ALL CONNECTIONS. EXPOSED GROUNDING CONNECTIONS SHALL BE MADE WITH COMPRESSION CONNECTORS WHICH ARE THEN BOLTED TO EQUIPMENT USING STAINLESS STEEL HARDWARE. INSTALLATION TORQUE SHALL BE PER MANUFACTURE'S REQUIREMENT. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC (CADWELD) CONNECTIONS. ALL EXTERIOR GROUND CONDUCTORS SHALL BE #2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED. GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8"Ø 10-FT. LONG, AND SHALL BE DRIVEN VERTICALLY WITH THEIR TOPS 18" BELOW FINAL GRADE OR 6" BELOW FROST LINE FOR MAXIMUM DEPTH. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED 5 OHMS. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH PROJECT SPECIFICATION FOR FACILITY GROUNDING, USING FALL OF POTENTIAL METHOD. BOND ALL METALLIC OBJECTS WITHIN 6FT OF MAIN GROUND WIRES WITH - #2 AWG TIN-PLATED COPPER GROUND CONDUCTOR. INSTALL THEFT DETERRENT COMPOSITE GROUNDING CABLES FOR ELCTRICAL DISTRIBUTION GROUNDING LEAD WHERE COPPER THEFT MAY OCCUR.
 <p>CADWELD CONNECTIONS SCALE NTS 9</p>	 <p>GROUND ROD WITH ACCESS SCALE NTS 6</p> <p>NOTE: INSPECTION HAND HOLE MAY BE CONCRETE OR PVC AND SHALL BE A MINIMUM OF 6" IN WIDTH/DIAMETER</p>	 <p>GROUND BAR INSTALLATION SCALE NTS 3</p> <p>6 AWG STR&ED Cu WIRE WITH GREEN, 600V, THWN INSULATION OR BLACK MARKED AS REQUIRED BY NEC</p> <p>GROUND BAR ON WALL, FLOOR OR ON ANTENNA TOWER</p> <p>ANGLE SHOWN TO ILLUSTRATE WELD AT THE LOWEST POINT ON THE BAR</p> <p>EXOTHERMIC WELD (WELDING PROHIBITED ON ROOFTOPS)</p> <p>2 AWG SOLID BARE TINNED COPPER GROUND CONDUCTOR. EXOTHERMIC WELD TO BURIED GROUND RING & GROUND BAR</p>	
<p>NOT USED SCALE NTS 10</p>	<p>NOT USED SCALE NTS 7</p>	<p>NOT USED SCALE NTS 4</p>	<p>GROUNDING NOTES SCALE NTS 1</p>

ISSUE STATUS			
REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC
1	07/31/17	100% CONSTRUCTION	GC
2	08/22/17	CITY COMMENTS	GC
 1745 W ORANGEWOOD AVE STE 103 ORANGE, CA 92665 WWW.RLSUSA.COM PH: (714) 655-0123 FAX: (714) 453-9692			
PROPRIETARY INFORMATION THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED			
 15505 SAND CANYON AVENUE, D1 IRVINE, CA 92618			
			
SCRIPPS RANCH 12227 SPRING CANYON ROAD SAN DIEGO, CA 92131			
SHEET TITLE: DETAILS			
E-3			

NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36". SCALE RATIO IS 1/8" = 1'-0". PROJECTION OF DIMENSIONS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.



CITY REQUIRED NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

IRRIGATION TYPE: THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED BUBBLER SYSTEM WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY: PERMITTEE or OWNER/PERMITTEE.

LANDSCAPE IRRIGATION AREAS IN THE PUBLIC R.O.W. SHALL BE MAINTAINED BY: PERMITTEE or OWNER/PERMITTEE.

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IF ANY LANDSCAPE MATERIAL OR IRRIGATION SYSTEMS ARE DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED AND REPAIRED IN-KIND.

EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES INCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

FOR NATIVE PLANTINGS:

USE ONLY FERTILIZERS AND AMENDMENTS RECOMMENDED BY THE NURSERY WHERE THE NATIVE PLANTS ARE OBTAINED. ADD MYCORRHIZAE TO THE BACKFILL IF RECOMMENDED. BACKFILL PLANTS WITH THE SAME SOIL REMOVED FROM THE HOLE. IT IS IMPORTANT TO MAINTAIN ANY BENEFICIAL ORGANISMS, MYCORRHIZAE AND HUMUS THAT ALREADY EXIST IN THE SOIL.

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION. ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

ARCHITECT OR DEVELOPER SHALL PERFORM AN AGRONOMIC SOILS TEST FOR FERTILITY AND TO DETERMINE DRAINAGE CAPABILITY FOLLOWING THE LAB SPECIFICATIONS DURING PLANTING. LAB SHALL BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. GENERAL AMENDMENTS SHALL BE USED. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.

PLANTING AND WATERING NATIVES

PLANTING OPERATIONS SHOULD BE SCHEDULED TO OCCUR DURING FALL AND/OR SPRING. SUMMER PLANTING IS POSSIBLE IN MILD COASTAL LOCATIONS OR IN THE SHADE OF EXISTING TREES. SUMMER PLANTING IN THE INLAND AREAS USUALLY RESULTS IN THE LOSS OF THE PLANTINGS.

PLANT CROWN SHOULD NOT BE BELOW GROUND LEVEL AFTER PLANTING. SET PLANT SO THE CROWN IS 1 TO 2" ABOVE THE FINISH GRADE. ADJUST THE LEVEL BY ADDING OR REMOVING SOIL AS NECESSARY. PLANTS THAT ARE SET TOO LOW WILL DROWN AND DIE.

CREATE A BASIN AROUND THE PLANT APPROXIMATELY 24"-30" IN DIAMETER.

APPLY 5-5 GALLONS OF WATER TO EACH PLANT IMMEDIATELY AFTER PLANTING. IF PLANTING A LARGE AREA, PLANT NO MORE THAN 20-30 PLANTS THEN WATER THEM IN BEFORE CONTINUING.

MULCH AROUND AND BETWEEN THE PLANTS IN A FOUR FOOT DIAMETER CIRCLE, 2"-3" DEEP. (SEE NOTES) DO NOT COVER THE PLANT MATERIAL WITH MULCH OR PLACE MULCH UP TO THE PLANT STEM. THIS WILL SUFFOCATE THE PLANT AND IT WILL DIE.

WATER THE NEW PLANTINGS AGAIN AFTER MULCHING. RE-APPLY 5-5 GALLONS OF WATER TO EACH PLANT OR RUN SPRINKLERS LONG ENOUGH TO SUPPLY THE WATER.

FOR THE FIRST YEAR- WATER WEEKLY BUT ALWAYS CHECK THE SOIL UNDER THE MULCH, ABOUT AN INCH OR TWO DEEP, ONCE A WEEK IN SUMMER AND EVERY OTHER WEEK DURING THE MONTHS OF NOVEMBER THROUGH APRIL. (CHECK WITH MOISTURE PROBE- TYP) IF SOIL WITHIN DRIFLINE IS DRY, WATER IT- IF IT IS MOIST DONT WATER.

FOR THE SECOND YEAR AND SUCCEEDING (THIRD) YEAR- WATER MONTHLY IF SOIL WITHIN THE DRIFLINE IS DRY ONE-TWO INCHES DEEP, OR AS INDICATED BY SOIL MOISTURE PROBE. DURING THE THIRD YEAR TRY TO ABSTAIN FROM WATERING DURING THE SUMMER, UNLESS IT IS AN ABNORMALLY DRY YEAR. EXCEPTIONS: DESERT NATIVES THAT ARE USED TO SUMMER RAIN SHOWERS AND COASTAL NATIVES USED TO THE FOG DRIF SHOULD BE WATERED DURING SUMMER WHEN THE SOIL WITHIN THE DRIFLINE IS DRY ONE-TWO INCHES DEEP!

FOR THE REMAINDER OF THE LIFE OF THE PLANTING CHECK SEASONALLY (4 TIMES A YEAR) ONLY WATER DURING EXTREMELY DRY PERIODS OR IF PLANTS SHOW ACUTE DROUGHT STRESS.

MAINTENANCE SHOULD FOLLOW A "HANDS-OFF" APPROACH. AFTER ESTABLISHED, WATER ONLY WHEN NECESSARY. LEAF LITTER SHOULD REMAIN UNDER THE PLANTS AND LIGHT PRUNING FOR STRUCTURE AND DEFECT MITIGATION SHOULD ONLY BE DONE ONCE A YEAR.

SHRUBS

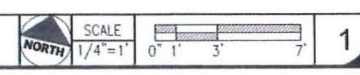
SYMBOL KEY	BOTANICAL COMMON NAME	REMARKS	SIZE	QTY	DETAIL	MATURE HUR	ROOTS (")	REG-RTS
(+)	HET ARB HETEROMELES ARBUTIFOLIA TOYON		5 GAL	6	6 L-3	10'x8'	3-VL	
(+)	MAL LAU MALOSMA LAURINA LAUREL SUMAC		5 GAL	2	6 L-3	8'x10'	3-VL	

All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDMC 142.0411.

QTY
CEA HOR - KEY
1 GAL - SIZE

DATE: 07/13/17 11:59 AM 1/4" = 1' SCALE: 1/4" = 1' 0" 1' 3' 7'

PLANTING PLAN



ISSUE STATUS

REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC

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IRVINE, CA 92618



SCRIPPS RANCH

12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
PLANTING PLAN

L-1

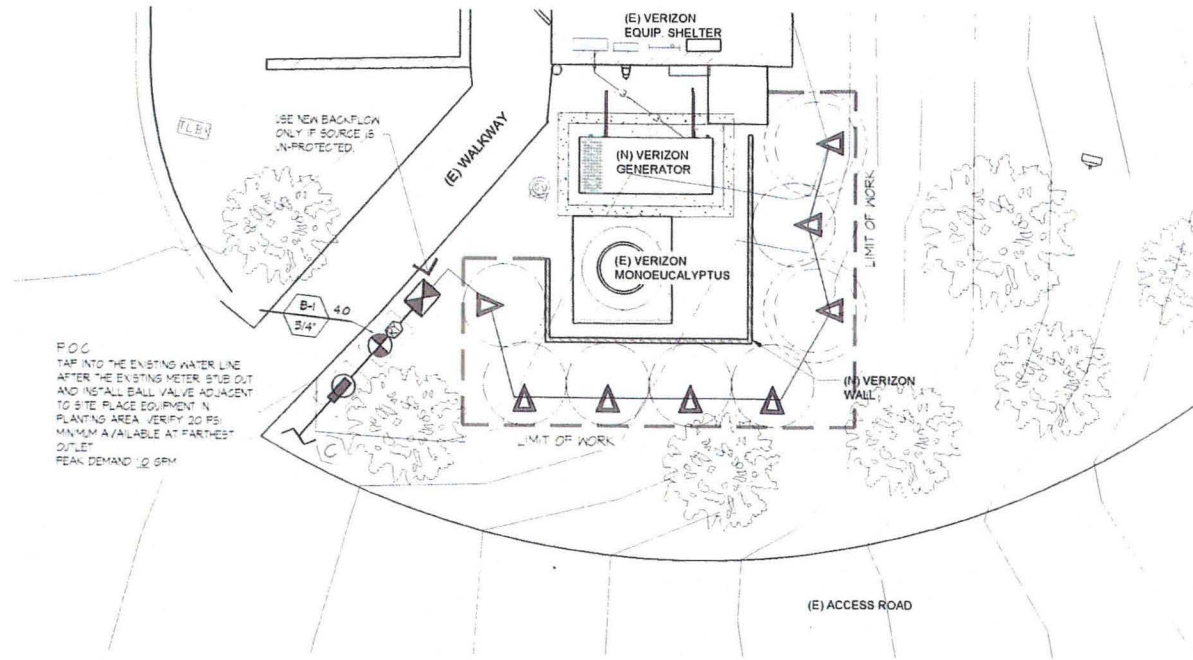
CONTRACTOR SHALL CAP, DIVERT AND OR ADJUST ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS. ENOUGH WATER MUST BE APPLIED TO THE EXISTING PLANTINGS DURING AND AFTER CONSTRUCTION OPERATIONS TO INSURE PLANT SURVIVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

GENERAL WATERING SCHEDULE AS FOLLOWS:
WARM WEATHER - FILL BASIN 2X WEEK.
COOL WEATHER - FILL BASIN 1X WEEK.

CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOTBALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGHOUT THE SOIL PROFILE. THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER. EVER ADJUST WATERING SCHEDULE BASED UPON RESULTS.

POC TAP INTO THE EXISTING WATER LINE AFTER THE EXISTING METER, SHUT OUT AND INSTALL BALL VALVE ADJACENT TO SITE. PLACE EQUIPMENT IN PLANTING AREA. VERIFY 20 PSI MINIMUM AVAILABLE AT FARTHEST OUTLET. PEAK DEMAND @ 6PM.



NOTES FOR MODIFYING EXISTING SYSTEMS

- THIS PROJECT IS A MODIFICATION OF AN EXISTING SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE BUT IS NOT LIMITED TO: THE EXISTING PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE OWNER, OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE FIELD VERIFICATION AND THE DRAWINGS.
- WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TYPING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY DISEASE RESISTANT CONDITION.
- THE CONTRACTOR SHALL CAP AND OR DIVERT IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION.
- THE CONTRACTOR SHALL ADD NEW HEADS TO MATCH THE EXISTING SYSTEM AND ADJUST/RELOCATE EXISTING SPRINKLER HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE EXISTING AND NEW PLANTINGS. NEW HEADS MAY BE ADDED IN ONE OF THE FOLLOWING WAYS:
 - (A) CONNECT TO AN EXISTING LATERAL LINE PROVIDING SIMILAR WATERING REQUIREMENTS AS THE PLANT MATERIAL PROPOSED AND ADD NEW HEADS TO MATCH THE EXISTING HEADS OR THE HEADS THAT HAVE BEEN REMOVED.
 - (B) CONNECT TO THE PRESSURE MAINLINE OF THE EXISTING IRRIGATION SYSTEM AFTER THE EXISTING BACKFLOW DEVICE AND RUN A CONTROL WIRE FROM THE EXISTING CONTROLLER TO THE NEW VALVE(S). ONLY POSSIBLE IF THERE ARE AVAILABLE STATIONS ON THE EXISTING CONTROLLER OR THE CONTROLLER'S AVAILABLE STATIONS CAN BE INCREASED (UPGRADED).
 - (C) CONNECT TO THE EXISTING IRRIGATION WATER SOURCE OR MAINLINE AND PROVIDE A NEW BACKFLOW DEVICE AND AUTOMATIC CONTROLLER TO CONTROL THE VALVES.
- DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE. FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND.
- THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.

IRRIGATION LEGEND

EQUIPMENT		REMARKS	DETAIL
[Symbol]	EXISTING WATER METER AND SERVICE LINE (VERIFY SIZES AND FUNCTION IN THE FIELD)		---
[Symbol]	FERRO MODEL T-10 BRASS ATMOSPHERIC BACKFLOW PREVENTER. INSTALL PER CODE ABOVE HIGHEST OUTLET. <u>USE NEW BACKFLOW ONLY IF EXISTING SYSTEM HAS NONE.</u>		C L-5
[Symbol]	NIBCO T804 BALL VALVE (LINE SIZE)		B L-5
[Symbol]	RAIN BIRD NG2-FRB SERIES CONTROL ZONE ASSEMBLY WITH T-805-1 BATTERY CONTROLLED LOW FLOW D/P VALVES AND PRESSURE REGULATING FILTER. INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX.		D L-5
[Symbol]	RANBIRD RSD-100E MOUNTED RAIN SHUT OFF RAIN SWITCH TO HAVE CLEAR VIEW OF SKY MOUNT ON POLE. LIGHT STANDARD OR EAVES. VERIFY WITH OWNER.		A L-5
[Symbol]	PVC WATER PIPE 2" (MAINLINE 2" AND LARGER)		---
[Symbol]	PVC WATER PIPE 1/2" (MAINLINE 1/2" AND SMALLER)		---
[Symbol]	PVC WATER PIPE 1/2" (LATERALS)		---
[Symbol]	PVC PIPE/SLIP END 1/2" MIN OR 2" DIA. OF PIPE OR WIRE BUNDLE. INSTALL WHERE SHOWN AND ALL STREET OR DRIVE CROSSINGS.		---
[Symbol]	BROOKS 2-1/2" CONCRETE IRRIGATION BOX WITH CAST IRON LOCKING LID. LABELLED PER OWNER'S AUTHORIZED REPRESENTATIVE (OAR).		---

SPRINKLER HEADS		DISCHARGE GPM	PSI	RADIUS	FREQ. RATE	DETAIL
[Symbol]	ROOT ZONE BUBBLER AND POP-UP BUBBLER AT EACH SHRUB	25	30	---	---	E L-5
[Symbol]	WATER ROOT ZONE WATERING SYSTEM	---	---	---	---	---
[Symbol]	WATER ROWS WITH PCB-25 FINED BUBBLER (DEPTH PER ROOTBALL)	25	30	---	---	E L-5
[Symbol]	POP-UP BUBBLERS	---	---	---	---	---
[Symbol]	WATER PROS-20-V WITH PCB-25 BUBBLER	25	30	---	---	F L-5

4" DRAIN CHECK VALVES (ADV) SHALL BE INSTALLED AT ANY WATER OUTLET SUFFERING LOW HEAD DRAINAGE. FOR SPRINKLERS USE RANBIRD SAMS HUNTER HO/50M-50F OR VALCON V5000 SERIES.

ISSUE STATUS

REV	DATE	DESCRIPTION	BY
0	07/13/17	90% CONSTRUCTION	GC

RLS
RELIANT LAND SERVICES
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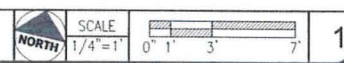


SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
IRRIGATION PLAN

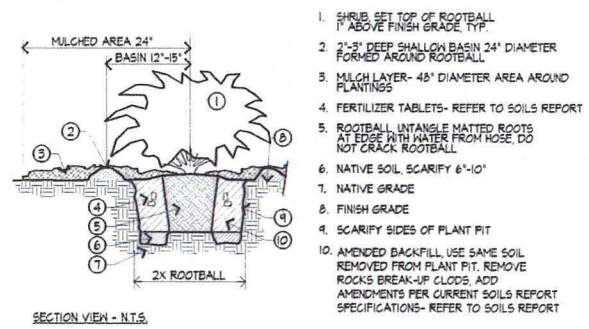
L-2

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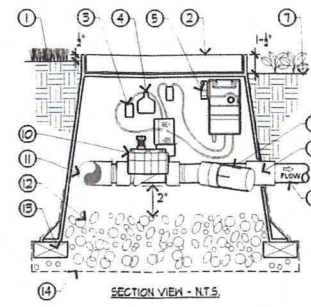
NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36". SCALE AND DIMENSIONS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

IRRIGATION PLAN



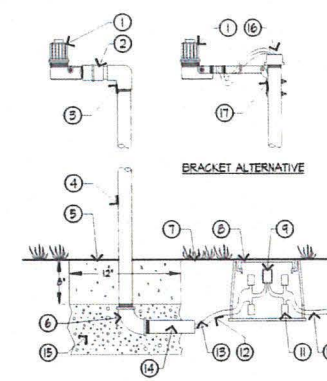
1. SHRUB SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE, TYP.
2. 2"-3" DEEP SHALLOW BASIN 24" DIAMETER FORMED AROUND ROOTBALL.
3. MULCH LAYER- 48" DIAMETER AREA AROUND PLANTINGS
4. FERTILIZER TABLETS- REFER TO SOILS REPORT
5. ROOTBALL UNTANGLE MATTED ROOTS AT EDGE WITH WATER FROM HOSE, DO NOT CRACK ROOTBALL
6. NATIVE SOIL SCARIFY 6"x10"
7. NATIVE GRADE
8. FINISH GRADE
9. SCARIFY SIDES OF PLANT FIT
10. AMENDED BACKFILL, USE SAME SOIL REMOVED FROM PLANT FIT, REMOVE ROCKS BREAK-UP CLODS, ADD AMENDMENTS PER CURRENT SOILS REPORT SPECIFICATIONS- REFER TO SOILS REPORT

G PLANTING PITS



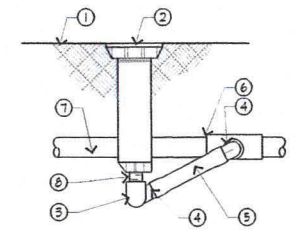
1. FINISH GRADE
2. STANDARD VALVE BOX W/ COVER
3. WATERPROOF CONNECTION
4. VALVE ID TAG
5. BATTERY CONTROLLER- 9V BATTERY - OPERATED BY FIELD TRANSMITTER (NOT SHOWN)
6. PRESSURE REGULATING FILTER
7. FINISHED GRADE IN SHRUB AREAS
8. PVC SCH 40 FEMALE ADAPTOR
9. LATERAL PIPE
10. REMOTE CONTROL VALVE
11. PVC SCH 40 TEE OR ELL TO MANIFOLD/ MAIN
12. 5-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
13. BRICK SUPPORTS 4 REQ. PER BOX
14. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES

D DRIP VALVE ASSY- BATTERY CONTROLLER



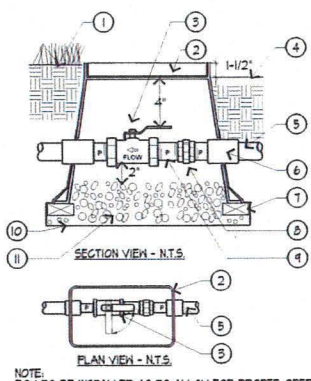
1. RAIN SENSOR
2. FEMALE ADAPTER SLIP/FIT
3. GALVANIZED 90° ELL
4. 1" OR 1-1/2" GALVANIZED PIPE 6 TO 10 FT. HIGH OR ON LIGHT STANDARD, EAVE OR FENCE POST- VERIFY W/ MFG.
5. 12"x 12" CONCRETE BASE 8" DEEP MIN.
6. 1" OR 1-1/2" PIPE ELBOW
7. FINISH GRADE
8. 6" ROUND VALVE BOX
9. ADAPTERS ONLY AS REQ'D. BY MFG., USE W/ EA. SENSOR PER MFG'S. RECOMMENDATIONS.
10. TO CONTROLLER OR VALVE
11. DRY SPLICE CONNECTORS
12. NORMALLY CLOSED WIRE FROM SENSOR
13. COMMON WIRE FROM SENSOR
14. 1" OR 1-1/2" NIPPLE
15. GRAVEL
16. PIPE CAP WITH HOLE FOR WIRES.
17. SENSOR BRACKET

A RAIN SWITCH POLE MOUNT



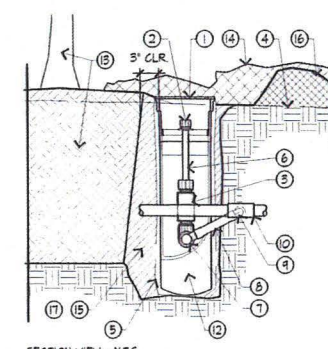
1. FINISH GRADE/TOP OF MULCH
2. POP-UP NOZZLE, SPRAY OR BUBBLER
3. PVC SCH 40 ELL
4. MARLEX STREET ELL
5. PRE-ASSEMBLED SWING JOINT WITH TWO POLY ELLS (THREAD X INSERT) AND 6" OF POLY TUBING, SIZE PER SPRINKLER INLET
6. PVC SCH 40 TEE OR ELL
7. PVC LATERAL PIPE
8. SCH 80 RISER LENGTH AS REQ. FOR SWING ASSEMBLY TO REMAIN NEAR HORIZONTAL SIZE PER SPRINKLER INLET

E POP-UP W/ SPRAY OR BUBBLER



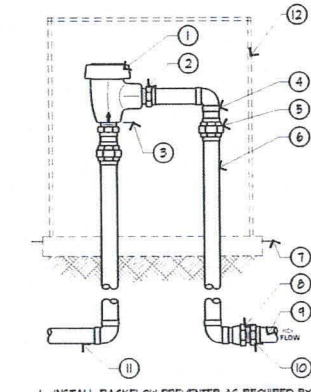
1. FINISHED GRADE IN TURF AREAS
2. PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS STEEL NUT AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BY" ONTO LID.
3. BALL VALVE, SEE LEGEND
4. FINISHED GRADE IN SHRUB AREAS
5. PRESSURE SUPPLY LINE DEPTH AS PER SPEC.
6. SCH 80 PVC COUPLING AND T/OE NIPPLES
7. BRICK SUPPORTS 4 REQ. PER BOX
8. SCH 80 PVC UNION
9. SCH 80 PVC NIPPLES
10. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
11. 3/4" ROCK, 3 CUBIC FT.

B BALL VALVE



1. 4-INCH GRATE/ REMOVABLE CAP FOR EXACT NOZZLE
2. DRIP EMITTER OR BUBBLER- SEE LEGEND
3. ANTI DRAIN VALVE
4. FINISH GRADE
5. SAND SOCK FOR SANDY SOILS
6. 1/2-INCH PVC SCH 80 NIPPLE OR POLY FLEX RISER
7. 1/2-INCH 90-DEGREE ELBOW
8. 1/2-INCH SWING ASSEMBLY
9. 1/2-INCH MALE NPT INLET
10. PVC SCH 40 TEE OR ELL
11. LATERAL PIPE
12. 4-INCH BASKET WEAVE CANISTER OR PERFORATED PIPE- DO NOT FILL W/ GRAVEL
13. PLANT TRUNK AND ROOTBALL
14. MULCH LAYER
15. BACKFILL
16. BERM FOR WATERING BASIN
17. NATIVE GRADE

F ROOT ZONE CANISTER



1. FERCO ATMOSPHERIC VACUUM BREAKER
2. COPPER MALE ADAPTER (1 OF 2)
3. MIN. OF 12-INCHES ABOVE HIGHEST POINT OF DISCHARGE
4. COPPER 90° ELL (1 OF 3)
5. COPPER UNION (1 OF 2)
6. COPPER PIPE (TYPICAL)
7. FINISH GRADE
8. COPPER FEMALE ADAPTER
9. IRRIGATION MAINLINE PIPE
10. PVC MALE ADAPTER
11. PIPE FROM REMOTE CONTROL VALVE
12. BACKFLOW DEVICE ENCLOSURE PER CITY/COUNTY STANDARDS V.I.T. - BRONZE BOX 3" BECC-30-CR POWDER COATED STEEL GREEN EXACT MODEL PER BACKFLOW

C ATMOSPHERIC VACUUM BREAKER

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0	07/13/17	90% CONSTRUCTION	GC

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LANDSCAPE ARCHITECT
JULY 3, 2017
11-24-17
STATE OF CALIFORNIA

SCRIPPS RANCH
12227 SPRING CANYON ROAD
SAN DIEGO, CA 92131

SHEET TITLE:
PLANTING & IRRIGATION DETAILS

L-3

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PLANTING SPECS.

I. GENERAL

THESE DRAWINGS ARE DIAGRAMMATIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT.

II. PLANT MATERIAL QUALITY ASSURANCE

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.

III. WEED ABATEMENT

WEED ABATEMENT SHALL BEGIN AFTER ROUGH GRADING, CONTRACTOR TO IRRIGATE PLANTING AREA FOR THREE (3) WEEKS OR UNTIL SUFFICIENT WEED SEEDS HAVE GERMINATED AFTER WHICH A CONTACT HERBICIDE IS SPRAYED BY A LICENSED PEST CONTROL OPERATOR FOR FORTY-EIGHT (48) HOURS.

IV. SOIL PREPARATION

NO SOIL PREPARATION SHALL BE DONE UNTIL ROUGH GRADING HAS BEEN APPROVED BY THE O.A.R. CROSS RIP ALL PLANTING AREAS TO DEPTH OF TWELVE (12) INCHES AND UNIFORMLY BLEND THE FOLLOWING AMENDMENTS INTO THE TOP SIX (6) INCHES AS PART OF THE FINISH GRADING WORK.

V. FINISHED GRADING

AFTER ROUGH GRADING, WEED ABATEMENT AND SOIL PREPARATION ALL PLANTING AREAS SHALL BE SMOOTHLY GRADED. THE GRADE SHALL BE UNIFORM AND SMOOTH WITH NO ABRUPT CHANGE OF SURFACE. GRADING SHALL PROVIDE FOR NATURAL RUNOFF WITHOUT LOW SPOTS. FLOW LINES SHALL BE ACCURATELY SET BY INSTRUMENT AT TWO (2) PERCENT MINIMUM SLOPE.

VI. INSTALLATION

THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER OR GROUND COVER MATERIAL INSTALLATION. EXCAVATION FOR PLANTING SHALL INCLUDE THE STOCK PILING OF TOPSOIL FROM WITHIN AREAS TO BE EXCAVATED FOR TRENCHES TREE HOLES, PLANT FITS AND BEDS. ALL EXCAVATED PLANTING HOLES SHALL HAVE VERTICAL SCARIFIED SIDES, TWICE (2X) THE SIZE OF THE DIAMETER AND SIX (6) INCHES MINIMUM DEEPER THAN THE ROOTBALL.

VII. GUARANTEE

CONTRACTOR SHALL PROVIDE A NINETY (90) DAY GUARANTEE FOR ALL PLANTS EXCLUDING TREES WHICH SHALL BE GUARANTEED FOR ONE (1) FULL YEAR DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL REPLACE IN A TIMELY MANNER ANY PLANTS THAT ARE UNHEALTHY, MISSING OR DEAD. THIS GUARANTEE SHALL NOT INCLUDE DAMAGE TO GROUND COVER FROM EXCESSIVE RAIN RUN-OFF AND EXTREME WINDS, SUCH "NATURAL" DAMAGE SHALL BE REPAIRED FOR TIME AND MATERIALS.

VIII. MAINTENANCE

CONTRACTOR SHALL INCLUDE IN THEIR BID FOR A 90 DAY MAINTENANCE PERIOD AFTER FINAL LANDSCAPE ACCEPTANCE BY THE OWNER. THIS MAINTENANCE SHALL INCLUDE BUT IS NOT LIMITED TO KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ANY OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS PLANT GROWTH AND APPEARANCE.

IRRIGATION SPECS.

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (PSI) AND AVAILABLE FLOW (GPM) PRIOR TO CONSTRUCTION NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.

III. MATERIALS/INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID ABOVEGROUND OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

IV. MATERIALS/INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID ABOVEGROUND OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

THE CONTRACTOR SHALL RUN THREE (3) SPARE WIRES AND ONE (1) COMMON WIRE FROM THE CONTROLLER TO EACH END OF THE MAINLINE FOR FUTURE USE. EXTEND THE WIRES AN EXTRA TEN (10) FEET, MAKE A COIL AND PLACE IN A RECTANGULAR RILL BOX LABEL THE LID SW.

ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES, MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE WIRE SLEEVES SO THAT WIRES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE TWENTY FOUR (24) INCHES FOR SLEEVED LATERAL LINES, THIRTY (30) INCHES FOR 120 VOLT WIRING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL WIRES.

SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE VALVE BOXES. VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER.

INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHERE NECESSARY.

AFTER RECEIVING NOTIFICATION BY THE O.A.R. THE CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE.

THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SCREENS (PCS). THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

A QUALIFIED SUPERVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM. CHART ALL CONTROLLER PROGRAMS RECORDING DATE, TIME, LOCATION OF WATERING FOR EACH STATION. RESET CONTROLLERS AT LEAST MONTHLY TO ACCOUNT FOR SEASONAL VARIATIONS.

CONTRACTOR SHALL PERFORM MAINTENANCE WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, WET AND DRY SPOTS, USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.

GENERAL NOTES

A. THE LANDSCAPE ARCHITECT WILL INTERPRET THE MEANING OF ANY PART OF THE PLANS AND SPECIFICATIONS ABOUT WHICH ANY MISUNDERSTANDING MAY ARISE AND HIS DECISION WILL BE FINAL.

B. THE CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWINGS BEFORE SUBMITTING A BID. C. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.

D. THE CONTRACTOR SHALL CARRY NECESSARY CALIFORNIA STATE CONTRACTORS LICENSE OR CERTIFICATE FOR TYPE OF WORK LISTED, SUCH AS C-27. E. THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE TO COVER HIS WORKMEN AND WORK TO FULLY PROTECT THE OWNER FROM ANY POSSIBLE SUIT OR LIEN.

F. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. G. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSURE THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.

H. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. AT NO EXPENSE TO THE OWNER, HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES AND PAVING, ETC.

I. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS OF BRANDS AND TYPES SHOWN AND DESCRIBED IN THESE DRAWINGS. J. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING ALL EQUIPMENT AND MATERIALS. ALL MATERIALS AND EQUIPMENT THAT IS DAMAGED WILL BE DISCARDED, EVEN IF INSTALLED, AND SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) AT NO EXPENSE TO THE OWNER.

K. THE CONTRACTOR SHALL PROTECT ALL PLANTING AREAS FROM EXCESSIVE COMPACTION WHEN TRUCKING MATERIALS AND EQUIPMENT TO AND WITHIN THE SITE. L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS ONCE DELIVERED TO JOB SITE. M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING CONDUIT SLEEVES ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.

N. ALL PROGRESS INSPECTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED UP BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE. CLEAN-UP SHALL BE DONE AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE BROOMED AND ANY DAMAGE OCCURRING TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITION.

O. REFER TO THE SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION. P. THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

R. UNLESS NOTED OTHERWISE ALL STRUCTURAL IMPROVEMENTS SHALL BE INSTALLED PRIOR TO IRRIGATION AND PLANTING OPERATIONS. S. IN THE CASE WHERE EXTRA WORK OR CHANGES WILL RESULT IN ANY INCREASED COSTS OVER THE CONTRACT FEE, THE CONTRACTOR SHALL FIRST RECEIVE THE OWNER'S EXPRESSED WRITTEN APPROVAL FOR SUCH ADDITIONAL FUNDS PRIOR TO PURCHASING MATERIALS OR DOING THE WORK/CHANGES.

MAINTENANCE

I. GENERAL

THE OWNER OR LESSEE WILL ENGAGE A MAINTENANCE CONTRACTOR FOR THE MAINTENANCE OF THE SITE LANDSCAPE FOR THE LIFE OF THE LEASE. MAINTENANCE CONTRACTOR SHALL FURNISH ALL SUPERVISION, LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE MAINTENANCE OF ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS SHALL BE WATERED AS NECESSARY FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS CONDITION. IRRIGATION AND DRAINAGE SYSTEMS KEPT IN GOOD WORKING ORDER AND THE GENERAL SITE KEPT CLEAN AND WEED FREE.

MAINTENANCE CONTRACTOR SHALL ROUTINELY CHECK FOR BLOCKED DRAIN INLETS AND KEEP SWALES FREE OF LEAVES AND OTHER DEBRIS. PLANT LITTER AND TRASH INCLUDING WEEDS, LEAVES, BOTTLES AND OTHER DEBRIS SHALL BE REMOVED FROM ALL AREAS OF THE SITE AND DISPOSED OF OFF-SITE.

MAINTENANCE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL. A QUALIFIED PERSON SHALL BE COMPLETELY RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, WITH THE DUTIES OF ADJUSTING CONTROLLERS, OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM AND MAKING MINOR ADJUSTMENTS TO THE SYSTEM.

THE IRRIGATION SYSTEM SHALL BE MAINTAINED FOR OPTIMUM PERFORMANCE. THIS INCLUDES CLEANING AND ADJUSTING ALL SPRINKLER HEADS AND VALVES FOR PROPER COVERAGE. A CHART SHALL BE MAINTAINED TO RECORD CURRENT IRRIGATION PROGRAMS, INCLUDING DAY, TIME AND LENGTH OF WATERING FOR EACH STATION AND PROGRAM FOR EACH CONTROLLER.

INSPECTIONS OF THE IRRIGATION SYSTEM IN OPERATION SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH, TO DETECT A MALFUNCTIONING OF THE SYSTEM. CHECK FOR LEAKS OR WET SPOTS. TURN ON EACH SYSTEM WITH THE CONTROLLER AND CHECK IT TO ENSURE THAT IT OPERATES CORRECTLY - OPENING AND CLOSING.

VISUALLY OBSERVE EACH SPRINKLER HEAD / NOZZLE FOR PROPER OPERATION, SPRAY PATTERN, PRESSURE AND WATER DISTRIBUTION. A SOIL SAMPLING PROBE AND/OR A TENSIOMETER SHALL BE USED REGULARLY TO EVALUATE ACTUAL SOIL MOISTURE LEVELS AND IRRIGATION SCHEDULE.

CHECK AT LEAST WEEKLY TO MAKE SURE AREAS ARE NOT BEING OVER OR UNDER WATERED. ADJUST THE SCHEDULE AS NEEDED TO CORRECT FOR EITHER OF THESE SITUATIONS. RESET THE SCHEDULE ON OUR CONTROLLER AT LEAST MONTHLY, AT THIS TIME, CHECK THE TIME ON THE CONTROLLER TO MAKE SURE THAT IT IS CORRECT. CHECK THE WATER BILL FOR EXCESSIVE CONSUMPTION. COMPARE MONTH TO MONTH AND YEAR TO YEAR. PAY SPECIAL ATTENTION TO LARGE TREE SWINGS.

LOOK AT THE GENERAL HEALTH AND "LOOK" OF THE PLANT MATERIAL. MAKE DESIGN ADJUSTMENTS (ADDING/ DELETING OR MOVING OF HEADS, CHANGING NOZZLE TYPES, TRIMMING OR MOVING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTEAD OF TEMPORARILY FINED. ALL MALFUNCTIONING EQUIPMENT MUST BE REPAIRED PRIOR TO THE NEXT SCHEDULED IRRIGATION.

ALL REPLACEMENT HEADS SHALL BE OF THE SAME MANUFACTURER TYPE AND APPLICATION RATES. PLANTINGS ALL AREAS MUST BE KEPT WEED FREE BY THE USE OF ORGANIC MULCHES. HAND REMOVAL CHEMICAL CONTROLS IN THAT ORDER. MULCHED AREAS MUST BE REPLENISHED AS MULCH DECOMPOSES.

ISSUE STATUS

Table with columns: REV, DATE, DESCRIPTION, BY. Row 1: 0, 07/13/17, 90% CONSTRUCTION, GC.



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SHEET TITLE: PLANTING & IRRIGATION SPEC'S. & NOTES

L-4



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SCALE 1 N.T.S.

DATE: THE ORIGINAL USE OF THIS PLAN IS BY THE STATE OF CALIFORNIA FOR THE VALLEY CENTER PROJECT ON INDIAN STREET

PLANTING AND IRRIGATION SPECIFICATIONS AND NOTES