



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: March 15, 2018 REPORT NO. PC-18-020

HEARING DATE: March 22, 2018

SUBJECT: Ramada Inn New Hotel - Process Four Decision

PROJECT NUMBER: [509434](#)

OWNER/APPLICANT: Royal Hospitality Inc.

### SUMMARY

Issue: Should the Planning Commission approve or deny an application for the subdivision of an existing parcel into two parcels and construction of a new hotel development at 5540-5550 Kearny Mesa Road within the Kearny Mesa Community Plan area?

#### Staff Recommendation:

- 1) Approve Planned Development Permit No. 178808; and
- 2) Approve Tentative Map No. 178809.

Community Planning Group Recommendation: On February 21, 2018, the Kearny Mesa Planning Group voted 8-0-0 to recommend approval with no additional conditions (Attachment 12).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 9, 2018 and the opportunity to appeal that determination ended February 26, 2018.

Fiscal Impact Statement: None. All staff costs associated with the processing of this project is paid from a deposit account maintained by the applicant.

Housing Impact Statement: This is no housing as part of this project. This is a hotel project.

## BACKGROUND

The 4.98-acre site is located at 5540-5550 Kearny Mesa Road in the CV-1-2 Zone, within the Kearny Mesa Community Planning area (Attachment 1). The site is located at the northwest corner of the Kearny Mesa Road and Clairemont Mesa Boulevard intersection. The site is bounded by Kearny Mesa Road and the State Route 163 Freeway to the south, and other commercial establishments to the north, east and west (Attachment 2). The purpose of the CV zone is to provide areas for establishments catering to the lodging, dining, and recreational needs of both tourists and the local population. In addition, the CV Zones are intended for areas located near employment centers and areas with recreational resources or other visitor attractions. The site is developed with an existing 140-room, Ramada Inn Hotel, along with a swimming pool, concrete walkways, landscaping and a surface parking lot. The site is near commercial businesses in an established, mixed-use, neighborhood that includes a wide variety of uses, such as office, commercial, retail and eating/drinking establishments. The site is also served by existing [Metropolitan Transit System Route 27](#) on Clairemont Mesa Boulevard, which provides service to the Kearny Mesa Transit Center on Clairemont Mesa Boulevard, just east of State Route 163. The Kearny Mesa Community Plan (Community Plan) designates this site for General Commercial Uses (Attachment 3). The project site is surrounded by various commercial developments and will maintain the existing hotel located on the site.

## DISCUSSION

### Project Description:

The Ramada Inn New Hotel project (Project) proposes a Tentative Map for the subdivision of the 4.98-acre (145,808-square-foot) site into two parcels (73,280-square-feet and 72,528-square-feet, respectively), to allow for the construction of a new 72,528-square-foot, 130-room, four-story hotel. The existing hotel will remain on one of the two parcels. The Project also requires approval of a Planned Development Permit, as the Community Plan allows for the processing of a Planned Development Permit to increase the FAR. The deviation would allow an increase from 0.50 to 1.0. The project has been conditioned to construct public improvements, as shown on Exhibit "A", including the construction of two City Standard 24-foot and 26-foot wide concrete driveways, new sidewalks, curbs and gutters adjacent to the site on Kearny Mesa Road. In addition, the project will maintain a total of 140 parking spaces. No demolition of the existing hotel is proposed.

The project includes the reduction of vehicular entrances, an accessible path from the buildings to the sidewalk, transit opportunities, bicycle commuting, off-street parking, service areas and landscaping between surface parking and the sidewalk. Storm water impacts from the proposed project would be avoided through Best Management Practices (BMPs), including site design and the installation of appropriate filtration devices. The proposed four-story hotel structure has integrated the interior floor plan with the exterior facade to create a consistent exterior pattern of openings and protrusions to create building design that is not a vertical rectangle extrusion.

The proposed hotel is adjacent to an existing five-story hotel to the west and an existing two-story hotel structure on the east. The Project's building height is consistent with the surrounding properties. The proposed hotel structure is located on the street side property frontage and



designed to not excessively stand out farther than the existing surrounding property structures and not overwhelm the street pattern. The Project design has the mass of the structure perpendicular to the street frontage to minimize the bulk from the street and to maintain the view corridors looking to the north. The façade has offset fenestration to break the scale of the exterior walls. The building's elevation was established based on the site drainage requirements and the existing storm water infrastructure.

The public access is designed to not cross or go through the major parking areas. The pedestrian access from the public right-of-way is designed near the open space created by the bio-retention basin. The project is in compliance with the San Diego Municipal Code (SDMC) and the Subdivision Map Act, and includes conditions and exhibits to ensure the provision of adequate parking and public improvements. The proposed pedestrian access is located closest to the public transportation.

The landscape design provides a landscape transition on the south side exterior wall facing the street to reduce the visual scale of the proposed four-story structure. The landscape design has provided trees along the street and incorporated into the parking area to break-up the long lines of parked cars. Along the street, there are additional lower landscape shrubs to screen the parked cars. The proposed project would implement the General Plan Urban Design Element's goal to utilize landscape as an important aesthetic and unifying element through the City by providing extensive landscaping adjacent to the proposed development on Kearny Mesa Road. Planters adjacent to the sidewalks and a landscaped street-level courtyard adjacent to the lobby would also be provided.

#### Community Plan Analysis:

The project is a hotel expansion located on a site designated for General Commercial Uses in the Community Plan. The allowed uses include general commercial, commercial visitor/recreation, or commercial office. Hotel development is allowed in this land use designation. The Community Plan references the existing hotel site on Kearny Mesa Road, a designated commercial corridor. The plan encourages underutilized commercial sites develop or redevelop with additional commercial land uses. The proposed project would also implement the General Plan Urban Design Element's strategy to direct growth into commercial areas where a high level of activity already exists. A hotel is a business that is compatible with commercial visitor and retail uses expected to be found in the Kearny Mesa community.

#### Project-Related Issues:

The project site is located in the CV-1-2 Zone which allows for an FAR of 2.0 in accordance with the SDMC. However, the Community Plan limits FAR to 0.50. The Community Plan allows for the processing of a Planned Development Permit to increase the FAR. The project is requesting a deviation to allow for the increase in FAR, from 0.50 to 1.0. If the project were to maintain the current 0.5 FAR, the project would only be allowed to construct a two story building for a total of 56 rooms. By increasing the FAR to 1.0, the project can construct an additional two stories of structure for a total of 130 rooms.

The Community Plan identifies that development proposals which exceed 0.50 FAR could be considered through a discretionary permit process that addresses traffic and environmental impacts. The project was required to prepare a traffic impact study that was reviewed by City Staff. Staff determined that the project did not have any traffic impacts, and therefore the FAR deviation is appropriate and consistent with the zone and the Community Plan. As noted above, the project was determined to be exempt from CEQA as there were no significant environmental impacts identified. The project meets all applicable development regulations, offsetting planes, upper floor step backs, parking and landscape standards.

Allowing an increase in the FAR will result in an expansion of a use that is consistent with both the community plan and the underlying zone. Without the PDP, the number of additional hotel rooms would be limited. The increase in FAR allows for a more desirable project that would maximize the entire site and allows for a more efficient development, by concentrating a use in an already developed area. Additional rooms means an increased transit occupancy tax (TOT) for the city.

Conclusion:

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the San Diego Municipal Code and the State Map Act. Staff has provided draft findings to support approval of the Project (Attachments 5 & 7) and draft conditions of approval (Attachments 6 & 8). Staff recommends the Planning Commission approve the project as proposed.

ALTERNATIVES

1. Approve Planning Development Permit No. 178808 and Tentative Map No. 178809, with modifications.
2. Deny Planned Development Permit No. 178808 and Tentative Map No. 178809 if the findings cannot be affirmed.

Respectfully submitted,



P.J. Fitzgerald  
Assistant Deputy Director  
Development Services Department

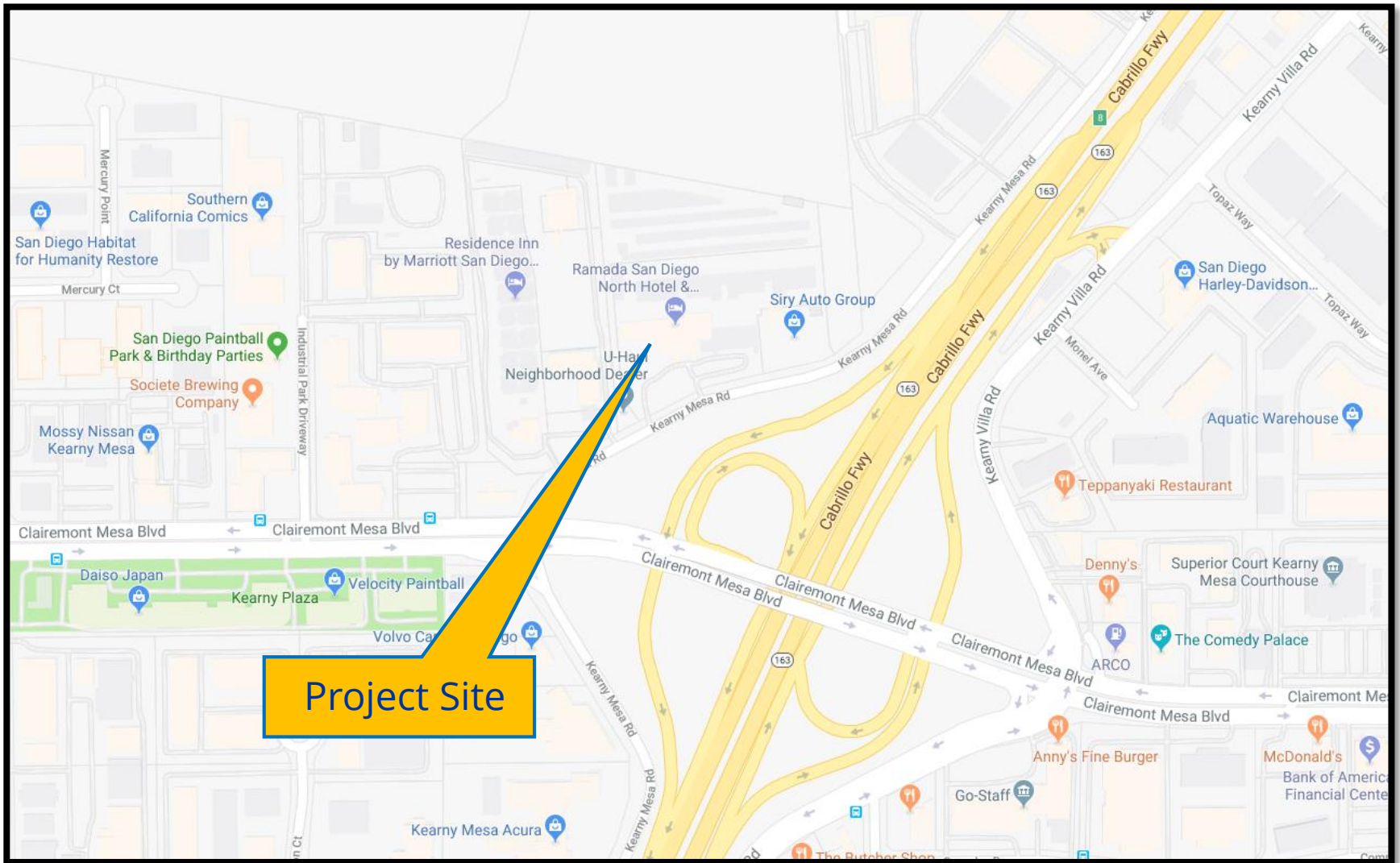


Derrick Johnson (D.J.)  
Development Project Manager  
Development Services Department

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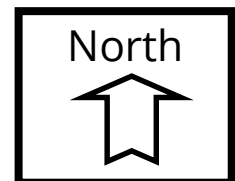
Attachments:

1. Aerial Photograph
2. Project Location Maps
3. Community Plan Land Use Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution with Findings
8. Draft Map Conditions
9. Environmental Exemption
10. Project Site Plan
11. Map Exhibit- Tentative Map
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement



## Project Location Map

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road  
PROJECT NO. 509434





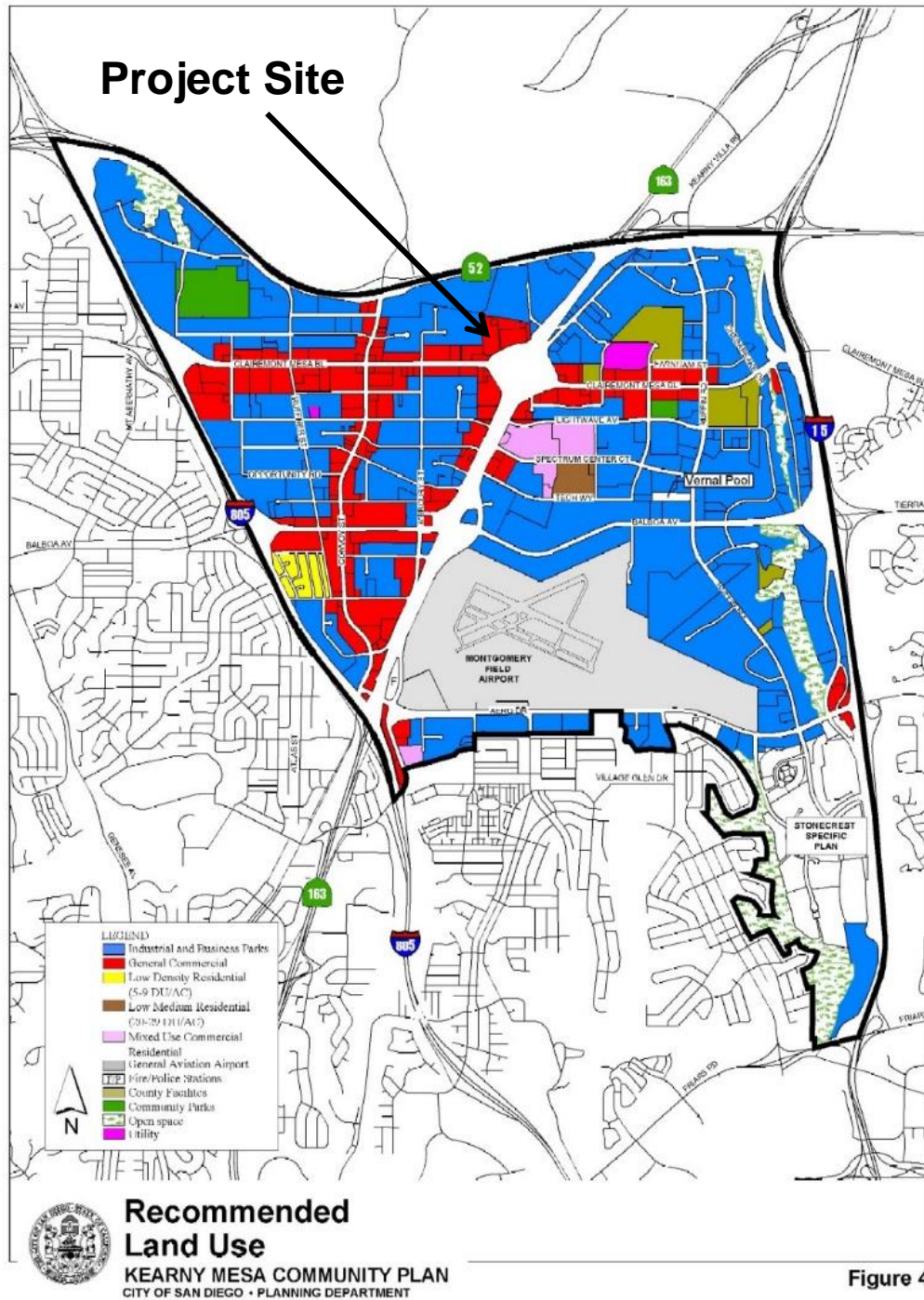
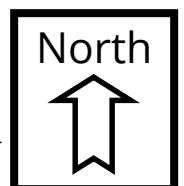


Figure 4



## Land Use Map

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road  
 PROJECT NO. 509434



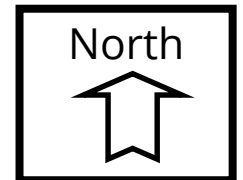




## Aerial Photo

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road

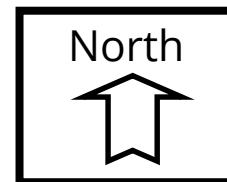
PROJECT NO. 509434







Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road  
PROJECT NO. 509434

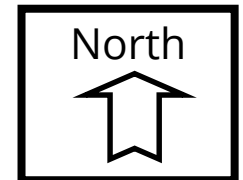






## East View

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road  
PROJECT NO. 509434



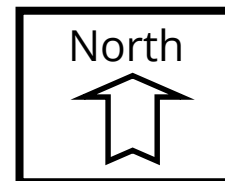




## South View

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road

PROJECT NO. 509434

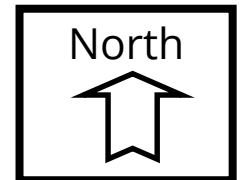




## North View

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road

PROJECT NO. 509434



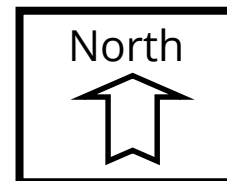




## West View

Ramada Inn New Hotel / 5540 – 5550 Kearny Mesa Road

PROJECT NO. 509434



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Ramada Inn New Hotel	
<b>PROJECT DESCRIPTION:</b>	Development of a new 4-story 72,528 square foot hotel and subdivision of one parcel into two parcels.	
<b>COMMUNITY PLAN AREA:</b>	Kearny Mesa	
<b>DISCRETIONARY ACTIONS:</b>	Tentative Map and Planned Development Permit Process 4	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Commercial	
<b><u>ZONING INFORMATION:</u></b> <b>ZONE:</b> CV-1-2: (Commercial Visitor) <b>HEIGHT LIMIT:</b> 45-Foot maximum height limit <b>LOT SIZE:</b> 5,000 square-foot minimum lot size <b>FLOOR AREA RATIO:</b> 2.0 maximum <b>FRONT SETBACK:</b> no minimum/10 foot standard <b>SIDE SETBACK:</b> no minimum/10 foot standard <b>STREETSIDE SETBACK:</b> no minimum/10 foot standard <b>REAR SETBACK:</b> 10 or 0 foot <b>PARKING:</b> 2.5 spaces per 1,000 square feet		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Industrial; IL-3-1	Commercial
<b>SOUTH:</b>	Industrial; IL-3-1	Commercial
<b>EAST:</b>	Industrial; IL-2-1	Commercial
<b>WEST:</b>	Industrial; IL-3-1	Commercial
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviation to Floor Area Ratio per Community Plan	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 21, 2018, the Kearny Mesa Planning Group voted 8-0-0 to recommend approval, without conditions.	

PLANNING COMMISSION RESOLUTION NO. \_\_\_\_\_  
PLANNED DEVELOPMENT PERMIT NO. 178808  
RAMADA INN NEW HOTEL - PROJECT NO. 509434

WHEREAS, ROYAL HOSPITALITY INC, a California Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to allow the subdivision of one existing parcel into two parcels, for the construction of a 72,528-square-foot, four-story hotel, with a deviation to the floor area ratio, (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 178808, on portions of a 4.98-acre site;

WHEREAS, the project site is located at 5540-5550 Kearny Mesa Road, in the CV-1-2 Zone of the Kearny Mesa Community Plan area;

WHEREAS, the project site is legally described as Parcels 2 and 3 of Map 6716, San Diego County, recorded on December 30, 1977;

WHEREAS, on February 9, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on March 22, 2018, the Planning Commission of the City of San Diego considered Planned Development Permit No. 178808, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated March 22, 2018.

**Planned Development Permit Findings – SDMC Section 126.0601**

**1. The proposed development will not adversely affect the applicable land use plan.**

The Kearny Mesa Community Plan designates the 4.98-acre site for Commercial Visitor (CV), a portion of the project site is developed with an existing hotel, swimming pool, landscaping, and paved surface parking lot. The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel, with a deviation to the Floor Area Ratio (FAR). The Kearny Mesa Community Plan allows for the processing of a Planned Development Permit to increase the FAR, The deviation would allow an increase from 0.50 to 1.0. The project includes the reduction of vehicular entrances, an accessible path from the buildings to the sidewalk, and landscaping between surface parking and the sidewalk.

The project is a hotel expansion located on a site designated for General Commercial Uses in the Kearny Mesa Community Plan. The allowed uses include general commercial, commercial visitor/recreation, or commercial office. Hotel development is allowed in this land use designation. The community plan references the existing hotel site on Kearny Mesa Road, a designated commercial corridor. The plan encourages underutilized commercial sites develop or redevelop with additional commercial land uses. The proposed project would also implement the General Plan Urban Design Element's strategy to direct growth into commercial areas where a high level of activity already exists. A hotel is a business that is compatible with commercial visitor and retail uses expected to be found in the Kearny Mesa community. Therefore, the proposed use meets the purposed and intent of the Kearny Mesa Community Plan, and will not adversely affect the Kearny Mesa Community Plan or the General Plan of the City of San Diego.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project site is developed with an existing hotel, swimming pool, landscaping, and paved surface parking lot. The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel, with a deviation to the Floor Area Ratio. Ministerial building permits will be required for construction of the hotel.

Ministerial construction permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements, and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. In addition, the Fire Access Plan for the proposed development demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access.

The project was determined to be exempt pursuant to CEQA Guidelines Section 15332 (In-Fill Development Projects), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section 112.0520. The permit for the project includes conditions of approval and exhibits to achieve project compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area.

Therefore, the proposed hotel development, because of conditions that have been applied to it, will not be detrimental to the public health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

**3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126,0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The project site is zoned CV-1-2 Zone. The purpose of the CV zones is to provide areas for establishments catering to the lodging, dining, and recreational needs of both tourists and the local population. The Community Plan identifies that development proposals which exceed 0.50 FAR could be considered through a discretionary permit process that addresses traffic and environmental impacts. The project was required to prepare a traffic impact study that was reviewed by City Staff. Staff determined that the project did not have any traffic impacts, and therefore the FAR deviation is appropriate and consistent with the zone and the Community Plan.

The project was also reviewed, as noted above under Finding 2, to determine if there were any environmental impacts that would result from the increase in FAR. Staff determined that the increase in FAR would not result in any environmental impacts, and exempted the project from CEQA.

Allowing an increase in the FAR will result in an expansion of a use that is consistent with both the community plan and the underlying zone. Without the PDP, the number of additional hotel rooms would be limited. The increase in FAR allows for a more desirable project that would maximize the entire site and allows for a more efficient development, by concentrating a use in an already developed area. If the project were to maintain the current 0.5 FAR, the project site would be limited to a two-story building for a total of 56 rooms. By increasing the FAR to 1.0, the project can construct an additional two stories for a total of 130 rooms. Additional rooms means an increased transit occupancy tax (TOT) for the city. Therefore, the deviation requested pursuant to Section 126.0602(b)(1) is appropriate for this location and will result in a more desirable project than would be achieved if limited to 0.5 FAR. The project meets all applicable development regulations, including offsetting planes, upper floor step back, parking, landscape standards and complies with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 178808 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 178808, a copy of which is attached hereto and made a part hereof.



Derrick Johnson (D.J.)  
Development Project Manager  
Development Services

Adopted on: March 22, 2018

IO#: 24006946



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006946

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT No. 178808  
**RAMADA INN NEW HOTEL - PROJECT No. 509434**  
PLANNING COMMISSION

This Planned Development Permit No. 178808 is granted by the Planning Commission of the City of San Diego to ROYAL HOSPITALITY INC, a California Corporation Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0601. The 4.98-acre site is located at 5540-5550 Kearny Mesa Road in the CV-1-2 Zone within the Kearny Mesa Community Plan area. The project site is legally described as Parcels 2 and 3 of Map 6716, San Diego County, recorded on December 30, 1977.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a 72,528-square-foot, four-story hotel with a deviation described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 22, 2018, on file in the Development Services Department.

The project shall include:

- a. Construction of a new 72,528-square-foot, four-story hotel, with 130 rooms;
- b. SDMC Section 143.0402, deviation to allow an increase in Floor Area Ratio, from 0.50 to 1.0;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1



of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 5, 2021.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this

Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

11. The Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

12. The Planned Development Permit shall comply with all conditions of Tentative Map No.1788809.

13. The project proposes to export 3,300 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the SDMC in a manner satisfactory to the City Engineer.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Kearny Mesa Road Right-of-Way.
17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of two current City Standard 24-foot and 26-foot wide concrete driveways, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the closure of the existing two driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on Kearny Mesa Road, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
22. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
23. Prior to issuance of a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

**LANDSCAPE REQUIREMENTS:**

24. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in

accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

25. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

26. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

28. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

31. Owner/Permittee shall maintain a minimum of 140 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
33. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.
34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

35. A minimum of 140 automobile spaces including 6 accessible spaces (1van accessible space), 11 carpool/zero emission spaces, 2 loading spaces, 3 motorcycle spaces, 7 short term bicycle spaces, and 7 long term bicycle spaces are required by the Land Development Code as shown on the project's Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
36. The Owner/Permittee shall provide 10 feet x 10 feet visibility triangle area on both sides of each driveway along the property line on Kearny Mesa Road. No obstruction higher than 36 inches shall be located within this area e.g. landscape, hardscape, walls, columns, signs etc..

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

37. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate above ground private Back Flow Prevention Device (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPD's are typically located on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.
38. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

39. Prior to the issuance of any construction permits, the Owner/Permittee shall construct all water and sewer facilities required by the Public Utilities Department necessary to serve this development and assure them by permit and bond.
40. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
41. All proposed public water and sewer facilities, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto.
42. All on-site water and sewer facilities shall be private.
43. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on March 22, 2018, and [Approved Resolution Number].

## ATTACHMENT 6

Planned Development Permit No. 178808  
March 22, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Derrick Johnson (D.J.)  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Royal Hospitality Inc.**  
Owner/Permittee

By \_\_\_\_\_  
Maurice Correia  
President

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NUMBER \_\_\_\_\_

TENTATIVE MAP NO. 178809, RAMADA INN NEW HOTEL - PROJECT  
NO. 509434.

WHEREAS, Royal Hospitality INC, a California Corporation, Subdivider, and K&S Engineering, Engineer, submitted an application to the City of San Diego for Tentative Map No. 178809 for the subdivision of one existing parcel into two parcels, Ramada Inn New Hotel. The project site is located at 5540-5550 Kearny Mesa Road, in the CV-1-2 Zone, of the Kearny Mesa Community Plan area;

WHEREAS, the project site is legally described as Parcels 2 and 3 of Map 6716, San Diego County, recorded on December 30, 1977; and

WHEREAS, the Map proposes the Subdivision of a 4-98 acre-site into two parcels; and

WHEREAS on February 9, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on March 22, 2018 the Planning Commission of the City of San Diego considered Tentative Map No. 178809, and pursuant to San Diego Municipal Code section 125.0440, and Subdivision Map Act section 66428, received for its consideration written and oral presentations,



evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 178809;

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel. The 4.89-acre site is located at 5550 Kearny Mesa Road in the CV-1-2 Zone, within the Kearny Mesa Community Plan Area. The proposed project is located in an area identified as Commercial Visitor in the Kearny Mesa Community Plan and is consistent with that land use. The project is surrounded by various commercial developments and will maintain the existing hotel located on the existing parcel. The project site has a community plan designation for commercial development.

The project is a hotel expansion located on a site designated for General Commercial Uses in the Kearny Mesa Community Plan. The allowed uses include general commercial, commercial visitor/recreation, or commercial office. Hotel development is allowed in this land use designation. The community plan references the existing hotel site on Kearny Mesa Road, a designated commercial corridor. The plan encourages underutilized commercial sites develop or redevelop with additional commercial land uses. The proposed project would also implement the General Plan Urban Design Element's strategy to direct growth into commercial areas where a high level of activity already exists. A hotel is a business that is compatible with commercial visitor and retail uses expected to be found in the Kearny Mesa community. Therefore, the proposed use meets the purposed and intent of the Kearny Mesa Community Plan, and will not adversely affect the Kearny Mesa Community Plan or the General Plan of the City of San Diego.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel, with a deviation to the Floor Area Ratio (FAR). The project is in compliance with the Municipal Code and the Subdivision Map Act and includes conditions and exhibits to ensure the provision of adequate parking and public improvements.

The project is requesting a deviation from the applicable regulations to allow for the increase in FAR, from 0.50 to 1.0. Despite the deviation, as proposed, the project would be consistent with the SDMC and overall policies for commercial development related to the Land Use, Urban Design, Mobility, and Noise Elements contained in the General Plan. The purpose of the CV Zone is to provide areas for establishments catering to the lodging, dining, and recreational needs of both tourists and the local population. In addition, the CV Zone are intended for areas located near employment centers and areas with recreational resources or other visitor attractions. Kearny Mesa is considered as a regional employment center.

The project meets all applicable development regulations, offsetting planes, upper floor step back, parking and landscape standards. Therefore, the proposed development complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

**3. The site is physically suitable for the type and density of development.**

The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel. The 4.89-acre site is located at 5550 Kearny Mesa Road in the CV-1-2 Zone, within the Kearny Mesa Community Plan Area. The proposed project is located in an area identified as Commercial Visitor in the Kearny Mesa Community Plan and is consistent with that land use. The project is surrounded by various commercial developments and the project site has a Multiple Use in the General Plan and is consistent with existing General Plan designations by providing a new hotel within an urbanized core of the City.

The site is relatively flat and the minimal grading proposed in connection with the development will not result in soil erosion, silting of lower slopes, slide damage, flooding, severe scarring, or any other geological instability which would affect public health, safety and welfare as approved by the City Engineer. Flooding or severe scarring will not occur as a result of grading operations. Conditions included within the permit require the timely planting of all slopes to prevent erosion and to provide additional slope stability. Storm water impacts from the proposed project would be avoided through Best Management Practices (BMPs), including site design and the installation of appropriate filtration devices.

The project site is located in the CV-1-2 Zone, this zone allows for an FAR of 2.0 in the San Diego Municipal Code. However, the Community Plan limits FAR to .50. The Community Plan allows for the processing of a Planned Development Permit to increase the FAR. The project is requesting a deviation to allow a FAR of 1.0. The City-wide CV-1-2 Zone allows a FAR of 2.0. The 1.0 FAR deviation being requested is still under the CV-1-2 Zone 2.0 FAR, allowed throughout the rest of the City. The deviation was analyzed by staff to determine consistency with the goals and recommendations of the community plan and the purpose and intent of the Planned Development Permit ordinance. Despite the deviation, as proposed, the project would be consistent with the San Diego Municipal Code (SDMC) and overall policies for commercial development related to the Land Use, Urban Design, Mobility, and Noise Elements contained in the General Plan.

In addition, the project has been conditioned to construct public improvements, as shown on Exhibit A, including the construction of two current City Standard 24-foot and 26-foot wide concrete driveways, new sidewalks and curbs and gutters adjacent to the site on Kearny Mesa Road. Therefore, the site is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site is located in an urban in-fill area and does not contain nor is it adjacent to any sensitive resources, Multiple Habitat Planning Area lands, Environmentally Sensitive Lands or existing fish or wildlife habitats. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel. The 4.89-acre site is located at 5550 Kearny Mesa Road in the CV-1-2 Zone, within the Kearny Mesa Community Plan Area. The development conforms to the development regulations of Municipal Code and Subdivision Map Act.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code and other regulations governing construction, continued operation and health/life/safety requirements apply to this project. The project is in compliance with the Municipal Code and the Subdivision Map Act and includes conditions and exhibits to ensure the provision of adequate parking, public improvements and compliance with the Land Development Code. The subdivision is categorically exempt from review under the California Environmental Quality Act. The Subdivider shall construct the required Public Improvements including new curbs, gutters, sidewalks and driveways. As such, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The project site is located on private property and is not within a public access corridor identified in the community plan and does not contain any easements for public access. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The project proposes the subdivision of one existing parcel into two parcels, to allow for the construction of a new 72,528-square-foot, four-story hotel. The 4.89-acre site is located at 5550 Kearny Mesa Road in the CV-1-2 Zone, within the Kearny Mesa Community Plan area.

The proposed subdivision will not impede or inhibit any future passive or natural heating and cooling opportunities. The hotel has been designed to be exposed on two sides (north and south) to ensure passive cooling through cross-ventilation of the interior spaces. With the independent design of the proposed subdivision the hotel will have the opportunity through building material, site orientation, architectural treatments, placement and selection of plant materials to prove to the extent feasible or future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project is surrounded by various commercial developments and is consistent with existing General Plan designations by providing a new hotel within an urbanized core of the City.

The subdivision of the existing lot and hotel development creation with 130 lodging units would assist with the temporary lodging and housing needs of the Kearny Mesa area community. The hotel development will not place a significant impact on public resources such as police, fire, parks and library resources. Existing public utility services to the subdivision shall continue to be provided and serve the development. The proposed subdivision has implemented drainage and storm water improvements due to the required implementation of current codes, and the fees and taxes from the subdivision will be used for future infrastructure. Therefore, the Planning Commission has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 178809, hereby granted to Royal Hospitality Inc. subject to the attached conditions which are made a part of this resolution by this reference.

By   
Derrick Johnson (D.J.)  
Development Project Manager  
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006946

PLANNING COMMISSION  
CONDITIONS FOR TENTATIVE MAP NO. 178809, RAMADA INN NEW HOTEL - PROJECT NO. 509434  
ADOPTED BY RESOLUTION NO. - \_\_\_\_\_ ON MARCH 22, 2018

**GENERAL**

1. This Tentative Map will expire on March 22, 2021.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office along with the associated \$34.00 compliance fee to avoid delaying the recordation of the Parcel Map.
4. The Tentative Map shall conform to the provisions of Planned Development Permit No. 178808.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

**ENGINEERING**

6. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
7. Per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Subdivider will be required to install 2 current City Standard street lights adjacent to the site on Kearny Mesa Road.

8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private Back Flow Prevention Device (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
9. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
10. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

### **MAPPING**

11. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the existing Parcel into two Parcels shall be recorded in the office of the County Recorder.
12. The Parcel Map shall be based on a field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.
13. All survey monuments shall be set prior to the recordation of the Parcel Map, unless setting monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
14. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
15. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
16. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
17. The Parcel Map shall:

a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.

b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid to ground distances shall be shown on the map.

**PUD WATER- SEWER**

18. Prior to the recording of the Parcel Map, the Subdivider shall provide CC&Rs for the operation and maintenance of all private water and sewer facilities, in a manner satisfactory to the Public Utilities Director and the City Engineer.
19. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the construction permit plan check.
20. All proposed public water and sewer facilities, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto.
21. All on-site water and sewer facilities shall be private.
22. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities.

**INFORMATION:**

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide

adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24006946



## NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

☐ Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

**Project Name:** RAMADA INN NEW HOTEL TM PDP

**Project No. / SCH No.:** 509434 / N.A.

**Project Location-Specific:** 5540-5550 Kearny Mesa Road, San Diego, CA 92111

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** TENTATIVE MAP (TM) and PLANNED DEVELOPMENT PERMIT (PDP) for the subdivision of a 4.98-acre (145,808-square-foot) site into 2 parcels (73,280 and 72,528 Square Feet) and construction of a 130 room, 66,160 square foot, 4-story hotel. The project site is currently developed with a 140 room, 62,464 square foot, 2-story hotel and will remain developed. The 4.98-acre site is located at 5540-5550 Kearny Mesa Road, in the Commercial Visitor (CV) zone of the Kearny Mesa Community Plan Area within Council District 6. The project is located on a site that is currently developed with all public utilities in place to serve the development.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Royal Hospitality  
 5550 Kearny Mesa Road  
 San Diego, CA, 92111  
 858-974-0040

**Exempt Status:** (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: 15332 In-Fill Development Projects
- ☐ Statutory Exemptions:

**Reasons why project is exempt:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15332 (In-Fill Development). The City of San Diego conducted an environmental review that determined the project would have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project's proposal for a hotel expansion is consistent with the existing land use designation of General Commercial Development, and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within City limits on a project site no more than five acres (4.98 acres) and is substantially surrounded by urban uses. The project site has not value as habitat for endangered, rare or threatened species. The project would not result in any significant effects related to air quality, noise, traffic or water quality. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environmental were identified;

the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Courtney Holowach

Telephone: 619-446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Courtney Holowach / Associate Planner

Signature/Title

2/26/18

Date

Check One:

- (X) Signed By Lead Agency  
( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:









# PROPOSED NEW HOTEL

5550 KEARNY MESA ROAD, SAN DIEGO, CA 92111

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◆ martorana - kinoshita associates, inc. ◆

7510 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

PROPOSED NEW HOTEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



STAMP 	
SUBMITTAL PHASE	
DRAWING TITLE TITLE SHEET PROJECT DATA	
PLANS DATE 9/25/17	
REVISIONS	
SHEET NUMBER T1	

		<div>PROJECT DIRECTORY</div> <div><div>OWNER:</div>ROYAL HOSPITALITY INC. 5550 KEARNY MESA ROAD SAN DIEGO, CA 92111</div> <div><div>CONSTRUCTION MANAGER:</div>GOLD COAST DESIGN, INC. 7987 VICKERS STREET SAN DIEGO, CA 92111 CONTACT: DAVE GASH PH 619 400 7616</div> <div><div>ARCHITECT:</div>MARTORANA - KINOSHITA ASSOCIATES, INC. 7510 CLAIREMONT MESA BLVD., SUITE 207 SAN DIEGO, CA 92111 PH 858 268 8176 FAX 858 724 1556 CONTACT: MICHAEL KINOSHITA EMAIL: michaelk@mkainc.net</div> <div><div>CIVIL ENGINEER:</div>K &amp; S ENGINEERING, INC. 7801 MISSION CENTER COURT, SUITE 100 SAN DIEGO, CA 92108 CONTACT: HOSSEIN ZOMMORODI PH 619 296 5565 EMAIL: h-zomorrodi@ks-engr.com</div> <div><div>LANDSCAPE ARCHITECT:</div>TESHIMA DESIGN GROUP 9903 BUSINESSPARK AVENUE, SUITE 100 SAN DIEGO, CA 92131 CONTACT: RON TESHIMA PH 858 693 8824 EMAIL: ron@teshimadesign.com</div> <div><div>SOILS ENGINEER:</div>CONSTRUCTION TESTING &amp; ENGINEERING, INC. 1441 MONTIEL ROAD, SUITE 115 ESCONDIDO, CA 92026 CONTACT: JAY LYNCH PH 760 746 4955 EMAIL: jay@cte-inc.net</div>
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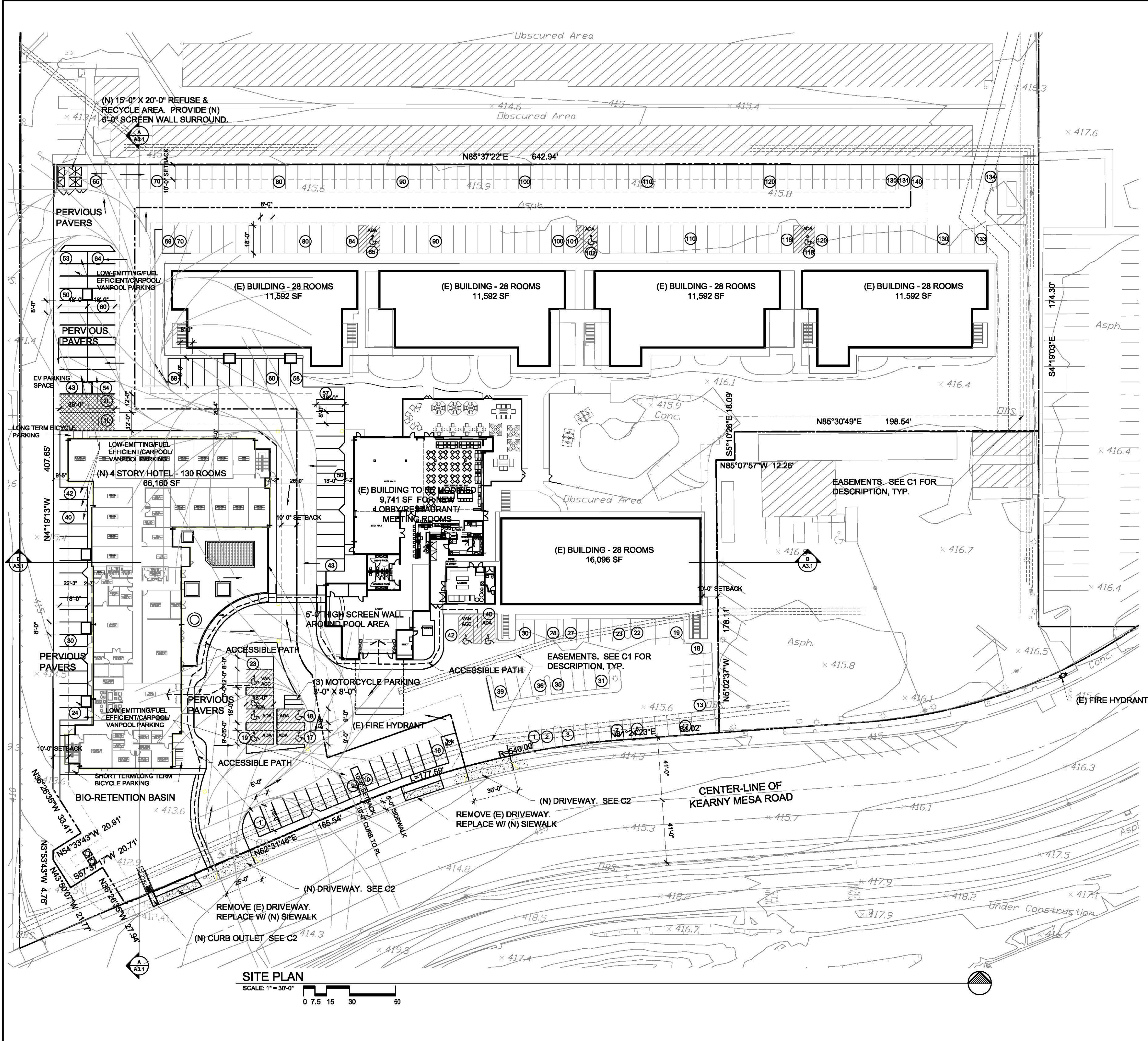
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PROPOSED NEW HOTEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



SUBMITTAL PHASE	
DRAWING TITLE	SITE PLAN
PLANS DATE	10-8-16
REVISIONS	12-7-17
SHEET NUMBER	

**A0.1**



- GENERAL NOTES:
1. NO TRANSIT STOPS AT SITE.
  2. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
  3. FOR ADDITIONAL DRAINAGE PATTERN INFO, SEE C2.

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PLANNED DEVELOPMENT PERMIT

**NEW HOTEL**  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	10/7/16
CYCLE 1 RESPONSE	9/30/17
CYCLE 2 RESPONSE	8/25/17
CLARIFICATION	12-7-17

**2**

OF 19



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PROPOSED NEW HOTEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



STAMP	
SUBMITTAL PHASE	
DRAWING TITLE	SITE DEMOLITION PLAN
PLANS DATE	9/20/17
REVISIONS	
SHEET NUMBER	A0.2

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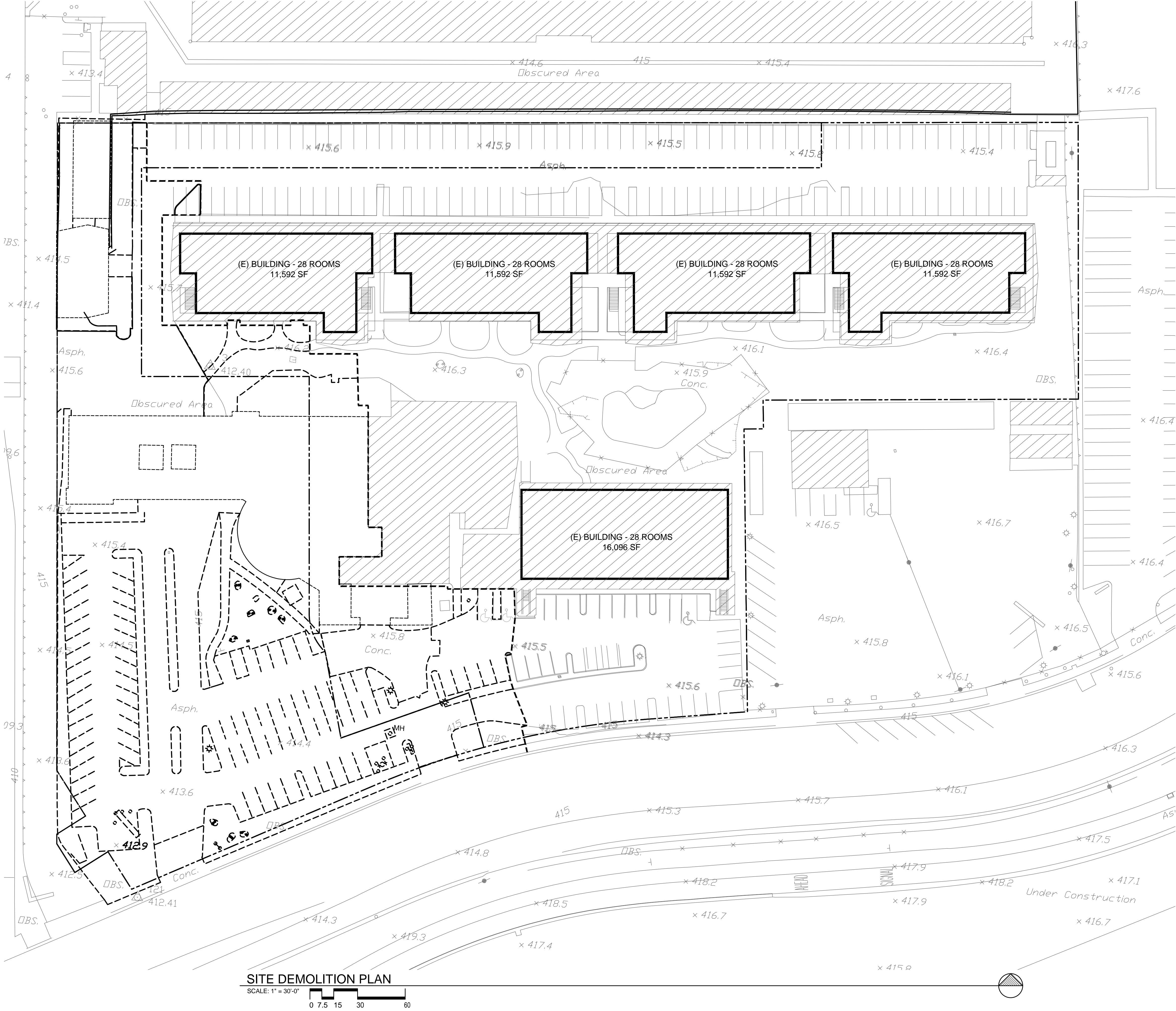
PLANNED DEVELOPMENT PERMIT

**NEW HOTEL**  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	10/7/16
CYCLE 1 RESPONSE	5/30/17
CYCLE 2 RESPONSE	9/25/17

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OF 19





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PROPOSED NEW HOTEL FOR:

5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



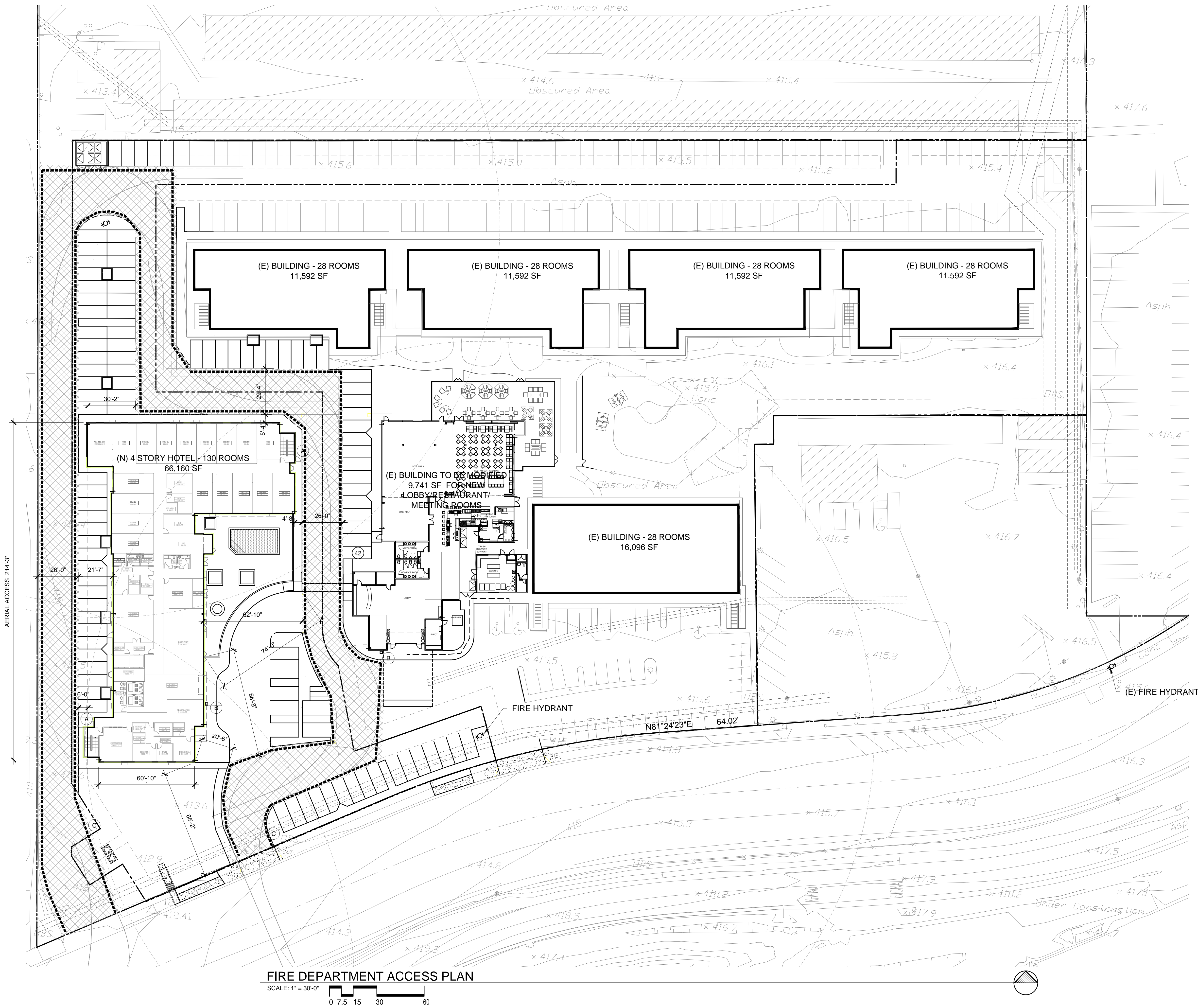
STAMP 
SUBMITTAL PHASE
DRAWING TITLE FIRE DEPT. ACCESS PLAN
PLANS DATE 5-30-17
REVISIONS
SHEET NUMBER A0.4

FIRE DEPT. NOTES:

1. POST INDICATOR VALVES, FIRE DEPT. CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
2. PER CBC SEC. 3002.4a, ALL BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE PROVISIONS OF SECTION 3002.4a.
3. FOR HYDRANTS, REFER TO APPENDIX B CFC.
4. PER CFC 507.5.5, A 3'-0" CLEAR SPACE AROUND HYDRANTS SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
5. PER SAN DIEGO MUNICIPAL CODE SECTION 55.0507, HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT.
6. PER CFC 507.5.6, HYDRANTS THAT ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
7. STAIRWAYS EXITING DIRECTLY TO THE EXTERIOR OF A BUILDING FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH MEANS OF EMERGENCY ENTRY FOR FIRE DEPARTMENT ACCESS.
8. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
9. MAXIMUM GRADE FOR FIRE DEPT. ACCESS ROADS SHALL NOT EXCEED 15% FOR CONCRETE AND 12% FOR ASPHALT.

- (A) FIRE ACCESS DOOR. 3'-0" X 7'-0" HM DOOR & FRAME.
- (B) KNOX BOX LOCATION
- (C) OWNER SHALL POST SIGN AT ENTRANCE TO THE REQUIRED ROADWAY WITH A APPROVED SIGN THAT STATES "NO PARKING FIRE LANE" IN 1" HIGH OR GREATER LETTERS. SIGN SHALL BE PLACED EVERY 100 FEET FACING THE TRFFIC AT A HEIGHT OF 7'-0".

PAINTED RED CURB. PROVIDE WHITE 4" HIGH LITTERS READING "NO PARKING - FIRE LANE" EVERY 30'-0". IF NO CURB IS PRESENT, AN 8" SIDE RED STRIPE SHALL BE PAINTED ON TEH PAVEMENT. THE STRIPE SHALL BE LABELED THE SAME AS A CURB.



FIRE DEPARTMENT ACCESS PLAN  
SCALE: 1" = 30'-0"

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PLANNED DEVELOPMENT PERMIT

**NEW HOTEL**  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	10/7/16
CYCLE 1 RESPONSE	5/30/17
CYCLE 2 RESPONSE	9/25/17

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OF 19



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PROPOSED NEW HOTEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



STAMP 
SUBMITTAL PHASE
DRAWING TITLE FIRST FLOOR PLAN 2ND-4TH FLOOR PLAN
PLANS DATE 9-20-2017
REVISIONS
SHEET NUMBER <b>A1.1</b>

GENERAL NOTES

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**NEW HOTEL**  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

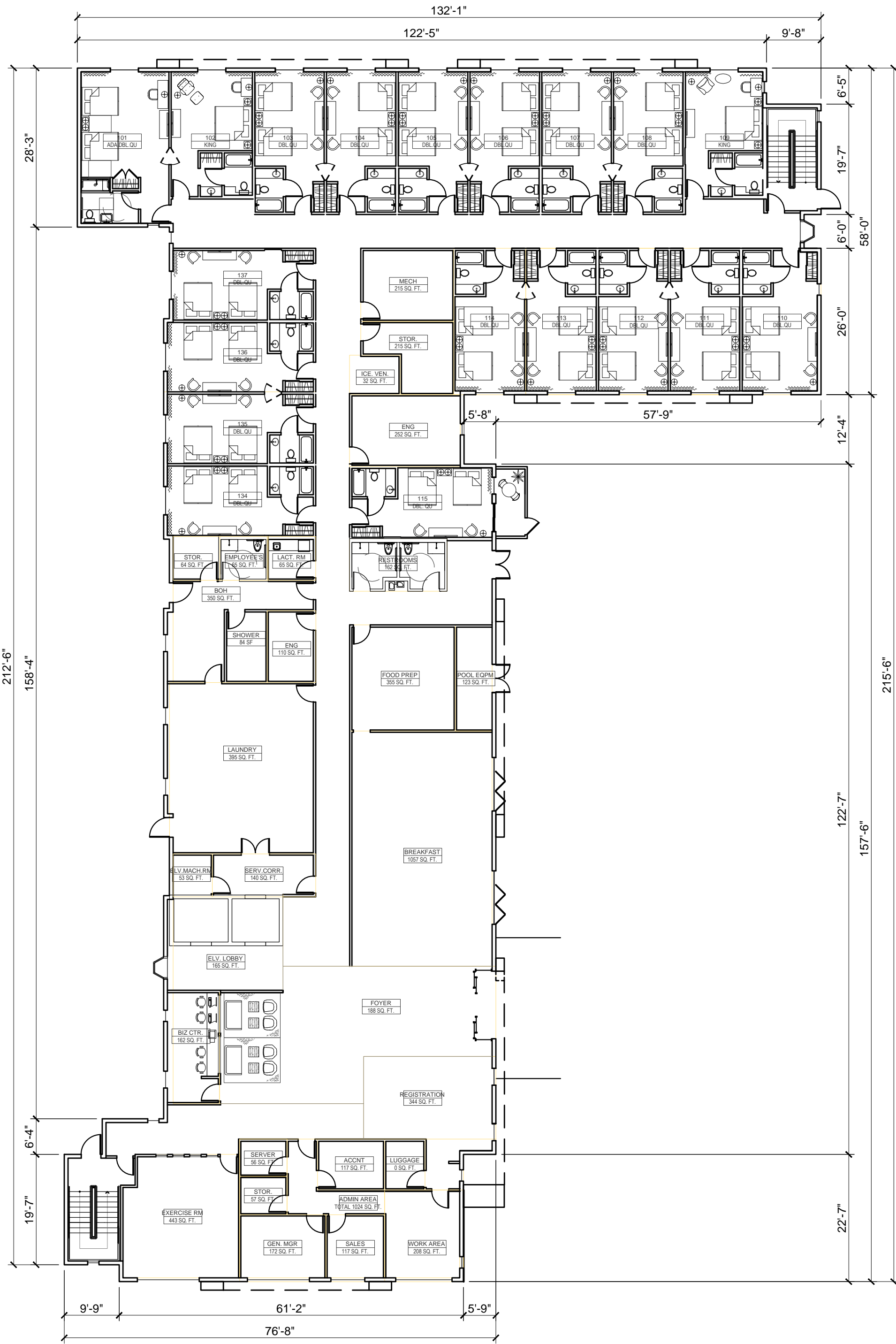
ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	10/7/16
CYCLE 1 RESPONSE	5/30/17
CYCLE 2 RESPONSE	9/25/17

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OF 19



2 2ND - 4TH FLOOR PLANS - 37 ROOMS PER FLOOR  
SCALE: 1/16" = 1'-0"



1 FIRST FLOOR PLAN - 19 ROOMS  
SCALE: 1/16" = 1'-0"

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PROPOSED NEW HOTEL FOR:  
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SAN DIEGO, CA 92111



STAMP	
SUBMITTAL PHASE	
DRAWING TITLE	EXTERIOR ELEVATIONS
PLANS DATE	9-20-2017
REVISIONS	
SHEET NUMBER	A2.1

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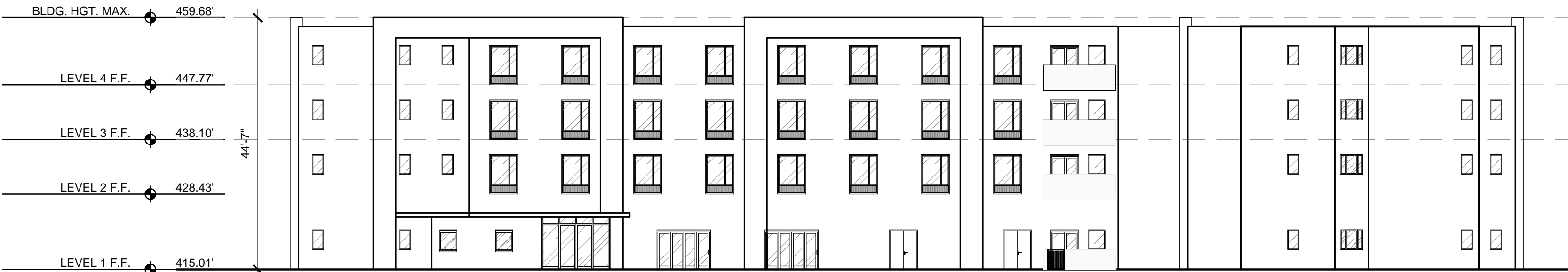
PLANNED DEVELOPMENT PERMIT

NEW HOTEL  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

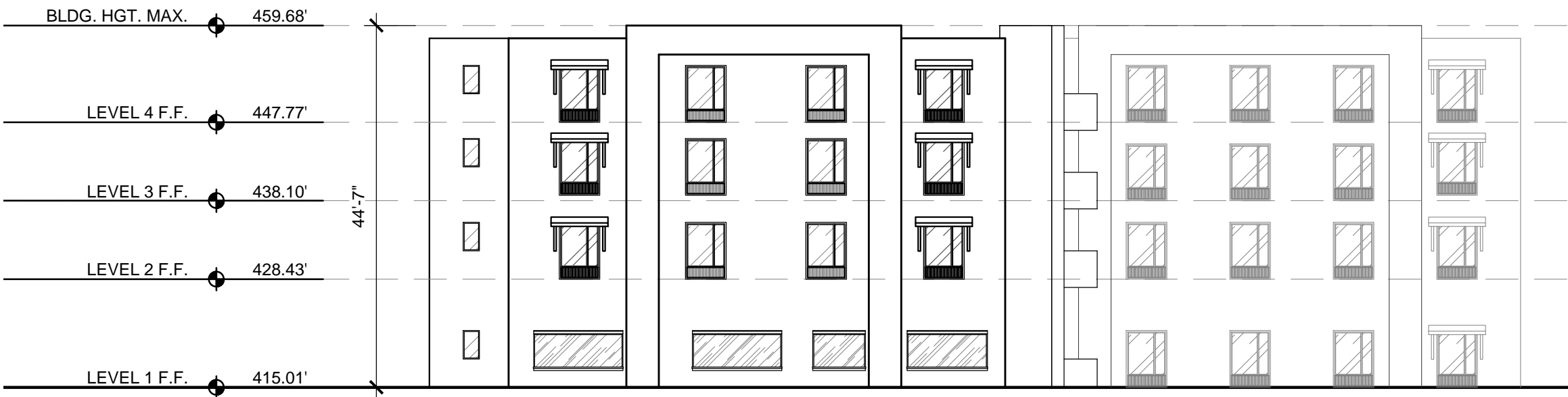
ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	10/7/16
CYCLE 1 RESPONSE	5/30/17
CYCLE 2 RESPONSE	9/25/17

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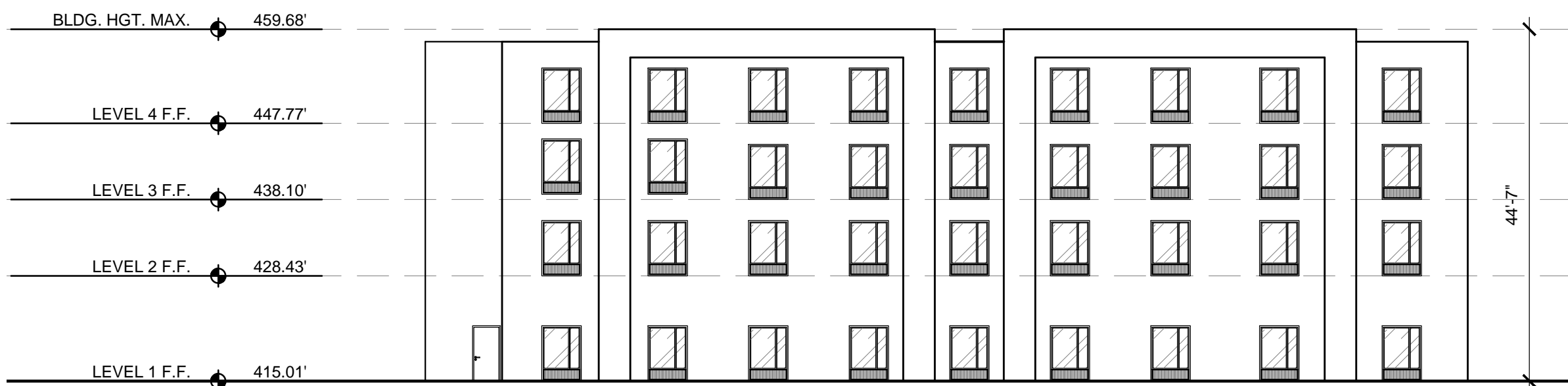
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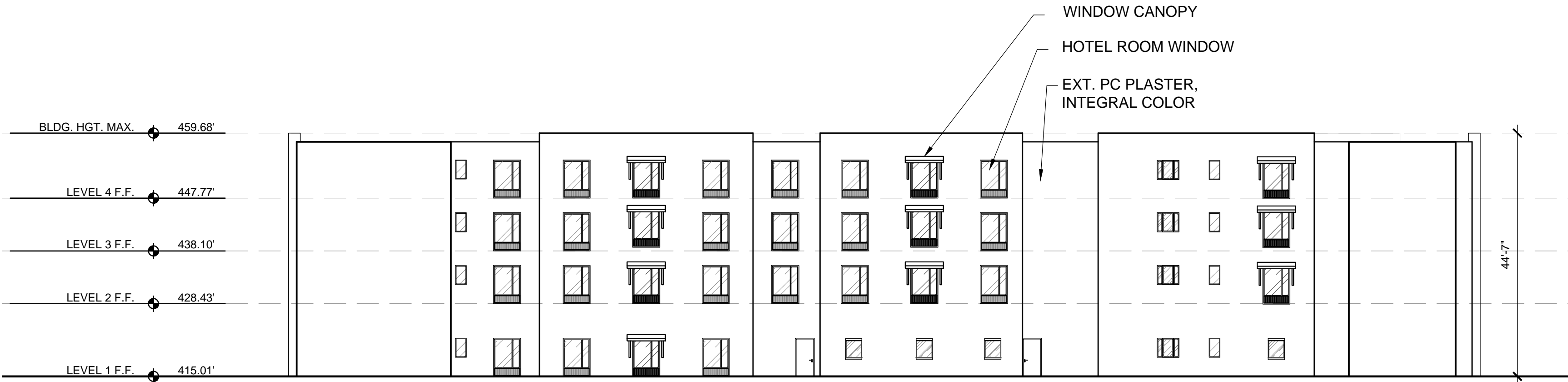
1 EAST ELEVATION  
SCALE:1/16" = 1'-0"



2 SOUTH ELEVATION  
SCALE:1/16" = 1'-0"



3 NORTH ELEVATION  
SCALE:1/16" = 1'-0"



4 WEST ELEVATION  
SCALE:1/16" = 1'-0"

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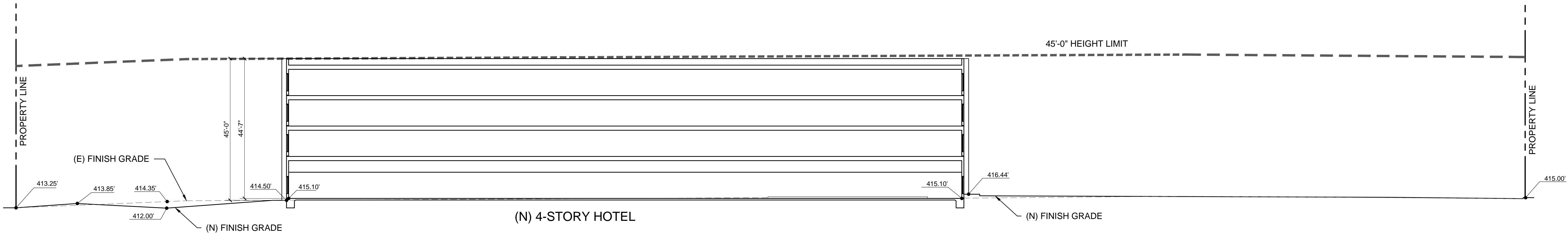
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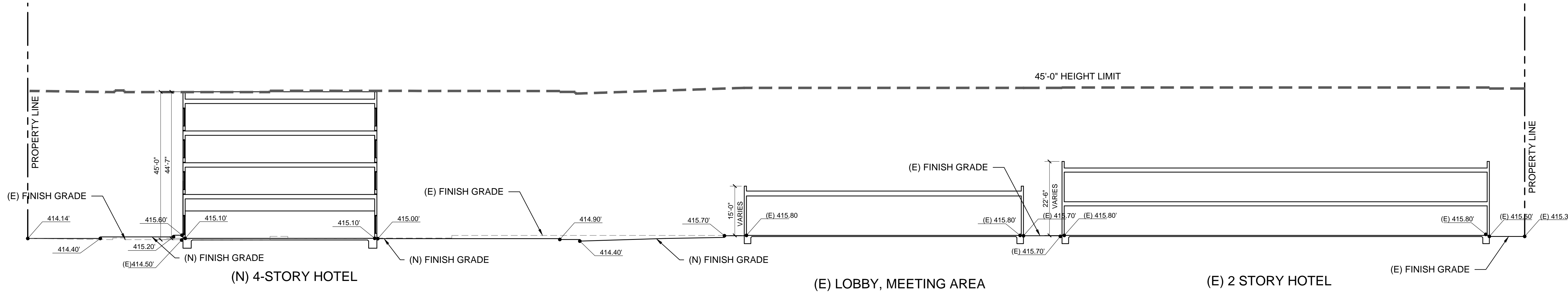
PROPOSED NEW HOTEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



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SUBMITTAL PHASE
DRAWING TITLE SITE SECTIONS
PLANS DATE 9-20-2017
REVISIONS
SHEET NUMBER <b>A3.1</b>



**A** SITE SECTION  
SCALE: 1/16" = 1'-0"



**B** SITE SECTION  
SCALE: 1/16" = 1'-0"

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**NEW HOTEL**  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	10/7/16
CYCLE 1 RESPONSE	5/30/17
CYCLE 2 RESPONSE	9/25/17

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OF 19



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5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

**GOLD COAST**  
DESIGN, INC.  
GETTING IT RIGHT

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DRAWING TITLE	
LANDSCAPE CONCEPT PLAN	
PLANS DATE	
REVISIONS	
SHEET NUMBER	

**WATER USE CALCULATIONS**

**MAXIMUM APPLIED WATER ALLOWANCE  
CALCULATION - MAWA**

$MAWA = (ETO)(0.62)[(0.7)(LA) + (0.45)(ASL)]$   
 $MAWA = (47)(0.62)[(0.7)(18,600) + (0.45)(12,058)] = 379,403 \text{ gal.}$

**ETWU ESTIMATED TOTAL WATER USE**

$ETWU = (ETO)(0.62)[(0.45)(LA) + (0.45)(ASL)]$   
 $ETWU = (47)(0.62)[(0.45)(18,600) + (0.45)(12,058)] = 162,601 \text{ gal.}$

savings of 42%

**Where:**

ETO = Annual Yearly Evapotranspiration  
0.62 = Conversion factor (to gallons)  
0.45 = Evapotranspiration Adjustment Factor  
LA = Landscape Area  
0.3 = Additional Evapotranspiration Adjustment Factor for Special Area  
SLA = Special Landscape Area (square feet)  
 $MAWA = (ETO)(0.62)[(0.45)(LA) + (0.45)(SLA)]$   
 $MAWA = (47)(0.62)[(0.45)(12,058) + (0.45)(0)]$

REMAINING YARD 6,083 s.f.

VUA Outside the street yard  
2,652 s.f.

VUA Inside the street yard  
1,175 s.f.

STREET YARD 30,121 s.f.

STREET YARD 30,121 s.f.  
REMAINING YARD 6,083 s.f.  
VUA 3,827 s.f.

**STREET YARD/REMAINING YARD DIAGRAM**

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PLANNED DEVELOPMENT PERMIT

**NEW HOTEL**

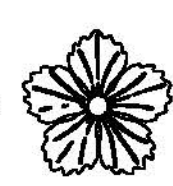
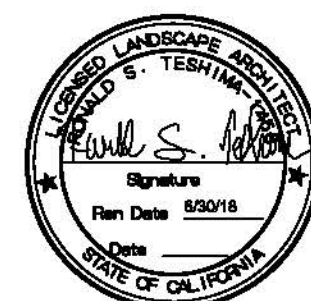
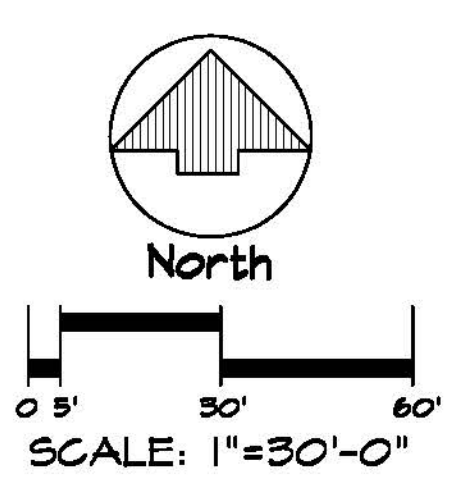
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE DATE  
COMPLETENESS REVIEW  
FULL SUBMITTAL

L-1

OF 2

SEE SHEET L-2 FOR PLANT LIST, NOTES AND CALCULATIONS

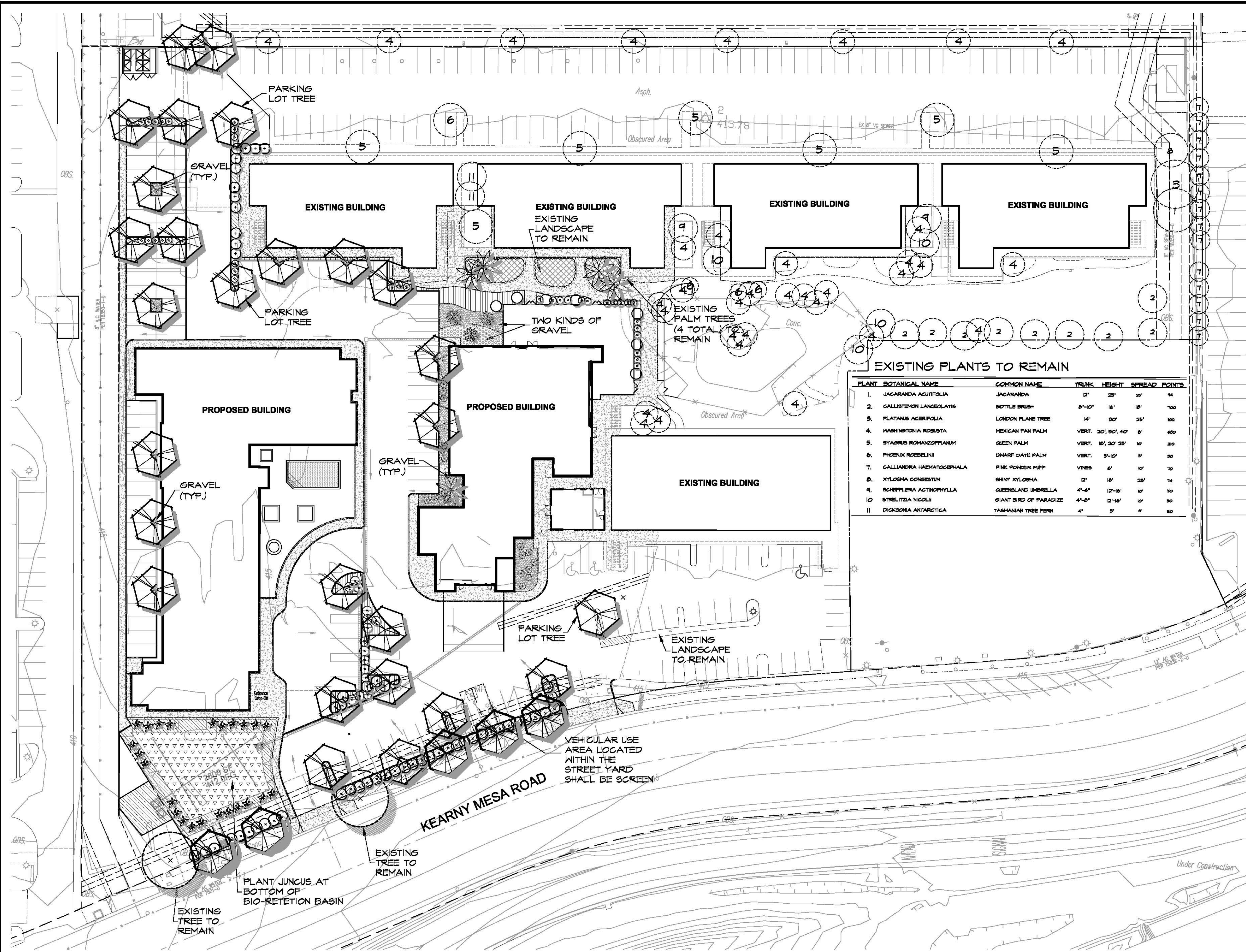


**TESHIMA DESIGN GROUP**  
LANDSCAPE ARCHITECTURE • LAND PLANNING  
9903 BUSINESSPARK AVE. SUITE 100 • SAN DIEGO, CA 92123  
TEL: 619 593-8024 FAX: 619 593-3822  
TDG JOB NO. 16-04 DATE: 8-15-16

**MINIMUM TREE SEPARATION DISTANCE**

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
Traffic signals (stop sign)	20 feet
Underground utility lines	5 feet
Above ground utility structures	10 feet
Driveway (entries)	10 feet
Intersection (intersecting curb lines of two streets)	25 feet
Sewer Lines	10 feet

**MAINTENANCE:** ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.



PLANT	BOTANICAL NAME	COMMON NAME	TRUNK	HEIGHT	SPREAD	POINTS
1.	JACARANDA AGUTIFOLIA	JACARANDA	12"	28'	28'	14
2.	CALLISTEMON LANCEOLATUS	BOTTLE BRUSH	8'-10"	16'	16'	100
3.	PLATANUS ACERIFOLIA	LONDON PLANE TREE	14"	30'	25'	102
4.	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	VERT.	20', 30', 40'	6'	680
5.	SYAGRUS ROMANOFFIANUM	QUEEN PALM	VERT.	18', 20', 25'	10'	30
6.	PHOENIX ROSEBELINII	DWARF DATE PALM	VERT.	8'-10'	8'	30
7.	CALLIANDRA HAMMANTOCERHALA	PINK POWDER PUFF	VINES	6'	10'	10
8.	XYLOSMA CONGESTUM	SHINY XYLOSMA	12"	16'	25'	14
9.	SCHETTLERIA ACTINOPHYLLA	QUEENSLAND UMBRELLA	4'-6"	12'-16'	12'	30
10.	STRELITZIA REGINAE	GIANT BIRD OF PARADISE	4'-6"	12'-16'	12'	30
11.	DICKSONIA ANTARCTICA	TASMANIAN TREE FERN	4"	5'	8'	30



PLANT LEGEND

EVERGREEN PARKING LOT TREES

BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	FORM	FUNCTION	NOTES
TIPUANA TIPU	TIPU TREE	36" BOX	50 X 40	OVAL	SHADE	STANDARD. DOUBLE STAKE.

ACCENT PALMS

BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	FORM	FUNCTION	NOTES
CHAMAEROPS HUMILIS	MEDITERRANEAN	15 GALLON	20 X 20	VERTICAL	ACCENT	

NOTE: ALL TREES AND PALMS LOCATED WITHIN 5 FEET OF ANY HARDSCAPE AND STREET TREES SHALL BE INSTALLED WITH ROOT BARRIER. ROOT BARRIER SHALL BE BIO-BARRIER.

SHRUBS

BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	FORM	FUNCTION	NOTES
MISCANTHUS SINESIS 'CONDENSATUS'	JAPANESE SILVER GRASS	5 GALLON	4 X 4	SWORD-LIKE	ACCENT	
AGAVE 'BLUE GLOW'	NCN	15 GALLON	2 X 2	SWORD-LIKE	ACCENT	
HIBISCUS ROSA SINENSIS 'BRILLANT'	HIBISCUS	5 GALLON	6 X 6	ROUND	FLOWER	
ANIGOZANTHOS 'PINK JOEY'	KANGAROO PAW	1 GALLON	3 X 3	SWORD-LIKE	FLOWER	
ANIGOZANTHOS 'HARMONY'	KANGAROO PAW	1 GALLON	3 X 3	SWORD-LIKE	FLOWER	
ANIGOZANTHOS 'BUSH SUNSET'	KANGAROO PAW	1 GALLON	3 X 3	SWORD-LIKE	FLOWER	
AGAVE AMERICANA MADIOPOCTA ALBA	CENTURY PLANT	15 GALLON	5 X 5	SWORD-LIKE	ACCENT	
PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	15 GALLON	4 X 4	SWORD-LIKE	ACCENT	

BIO-RETENTION PLANTING

BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	FORM	FUNCTION	NOTES
JUNCUS PATENS	CALIFRONIA GRAY RUSH	1 GALLON	2 X 2	STRAP LEAF	DRAINAGE PLANT AT 30" O.C.	

GROUNDCOVERS

BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	FORM	FUNCTION	NOTES
MYOPORUM PARVIFOLIUM 'PINK'	PINK MYOPORUM	FLATS	6" X 2	LOW GROWING	EROSION	PLANT AT 12" O.C.
LANTANA 'DWARF YELLOW'	LANTANA	1 GALLON	1 X 3	SPREADING	FLOWER	PLANT AT 24" O.C.
SENECIO MANDRALISCAE	KLEINIA	FLATS	6" X 1	SPREADING	ACCENT	PLANT AT 6" O.C.

EXISTING LANDSCAPE TO REMAIN

BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	FORM	FUNCTION	NOTES
EXISTING LANDSCAPE TO REMAIN						EXISTING TO REMAIN. PROTECT IN PLACE. SEE NOTES BELOW.

EXISTING LANDSCAPE NOTES:

ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED IN PLACE. ANY DAMAGED OR LOST EXISTING TREES DURING CONSTRUCTION SHALL BE REPLACED WITH A 24" BOX TREE OF THE SAME SPECIE AT THE CONTRACTOR'S OWN EXPENSE. CONTRACTOR SHALL AVOID CUTTING ANY EXISTING TREE ROOTS WHILE PLANTING NEW SHRUBS. ADJUST NEW SHRUB LOCATIONS TO AVOID ROOT CUTTING.

ALL EXISTING SHRUBS, GROUNDCOVER, LAWN AND IRRIGATION TO REMAIN SHALL BE PROTECTED IN PLACE. ADJUST ANY EXISTING SHRUBS, GROUNDCOVER AND IRRIGATION TO ACCOMMODATE NEW CONSTRUCTION IF NECESSARY. ANY EXISTING SHRUBS OR GROUNDCOVER DAMAGED OR LOST DURING CONSTRUCTION SHALL BE REPLACED WITH NEW SHRUBS (5 GALLON) AND NEW GROUNDCOVER (PLANTED FROM FLATS AT 12" O.C.) OF THE SAME SPECIE AT THE CONTRACTOR'S OWN EXPENSE.

FOR ALL TREES, PALMS AND OTHER VEGETATION TO REMAIN PLACE 6" HIGH VINYL FENCE, COLORED BRIGHT ORANGE OR YELLOW AROUND TREE AT DRIP ZONE. PROTECT TREE FROM STOCK-PILING, TOPSOIL, MATERIAL STORAGE. ALSO PROTECT TREE FROM DAMAGE DUE TO CHEMICALLY INJURIOUS MATERIALS IN SOLUTION CAUSED RUN-OFF AND SPILLAGE DURING MIXING AND PLACEMENT OF CONSTRUCTION MATERIALS, AND DRAINAGE FROM STORED MATERIALS. PROTECT ROOT SYSTEMS FROM FLOODING EROSION, EXCESSIVE WETTING AND DRYING RESULTING FROM DE-WATERING AND OTHER OPERATIONS. RESTRICT FOOT TRAFFIC THROUGH DRIP ZONE. MAINTAIN EXISTING GRADE WITHIN DRIP LINE UNLESS OTHERWISE INDICATED. CUT ROOTS APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION. SEAL CUT WITH WOOD PAINT AS MANUFACTURED BY FLINTKOTE OR APPROVED EQUAL. WATER THE COURSE OF THE WORK. MAINTAIN A WATER SCHEDULE AND DOCUMENT.

GRAVEL LEGEND

DESCRIPTION	
GRAVEL (3/4" IN SIZE) SHALL BE GRAY IN COLOR AS AVAILABLE FROM KRC ROCK. INSTALL WITH WEED BARRIER. PROVIDE METAL EDGING TO SEPARATE FROM LANDSCAPE PLANTER AREAS AND OTHER TYPES OF GRAVEL.	
GRAVEL (3/4" IN SIZE) SHALL BE TAN IN COLOR AS AVAILABLE FROM KRC ROCK. INSTALL WITH WEED BARRIER. PROVIDE METAL EDGING TO SEPARATE FROM LANDSCAPE PLANTER AREAS AND OTHER TYPES OF GRAVEL.	

DESIGN STATEMENT / OBJECTIVES

- ARCHITECTURAL ELEMENTS OF THE SITE WILL BE RELATED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
- COLOR FROM PLANT FOLIAGE, BARK OR FLOWERS WILL BE UTILIZED TO CREATE A FRIENDLY, WARM AND VISUALLY EXCITING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY. SEE FINAL PLANTING PLANS FOR INSTALLATION LAYOUT, DETAILS AND SPECIFICATIONS.
- ALL REFUSE AND UTILITY AREAS WILL BE VISUALLY SCREENED ON ALL SIDES (EXCEPT AT ACCESS POINTS). PLANTING WILL BE USED TO SOFTEN HARD MATERIALS WHERE SUCH ARE USED FOR SCREENING.
- VEHICULAR ENTRANCES WILL BE IDENTIFIED AND ACCENTED WITH SPECIAL GROUPINGS OR TREES, SHRUBS AND/OR GROUND COVERS, HOWEVER, THESE AREAS SHALL NOT DETRACT FROM THE BUILDING AS THE FOCUS OF THE SITE.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE - A MINIMUM OF TWO PERCENT (2%) AWAY FROM BUILDING IN PLANTING AREAS. SEE CIVIL ENGINEERING PLANS FOR FINAL GRADING.
- IRRIGATION SYSTEMS WILL BE PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION. AREAS ADJACENT TO STRUCTURES, ROADWAYS, ENTRIES AND ACTIVITY AREAS WILL BE IRRIGATED WITH PERMANENT BELOW GRADE AUTOMATED SYSTEMS.
- IRRIGATION SYSTEMS SHALL UTILIZE LOW PRECIPITATION FIXED AND POP-UP STREAM ROTOR, BUBBLER HEADS AND DRIP TUBING FOR TRANSITIONAL LANDSCAPE AREAS, ADJACENT OPEN SPACE, PARKWAYS, PARKING AREA LANDSCAPING AND BUILDING PERIMETER LANDSCAPE PLANTING. POP-UP SPRAY HEADS SHALL BE USED ADJACENT TO WALKS, DRIVES AND ACTIVITY AREAS.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PLANTING AREAS WILL BE PRIVATELY MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.

EXISTING IRRIGATION SYSTEM NOTES

- THE EXISTING IRRIGATION SYSTEM SHALL BE TESTED AND REPAIRED OR MODIFIED AS REQUIRED TO PROVIDE SATISFACTORY COVERAGE TO ALL EXISTING SHRUB AREAS AND EXISTING TURF AREAS. ADJUST, REPAIR, OR ADD NEW IRRIGATION IN ALL EXISTING AREAS AFFECTED BY NEW CONSTRUCTION. CONTRACTOR SHALL CAP LATERALS AS REQUIRED. CONTRACTOR SHALL ADJUST ALL HEADS AND NOZZLES TO PROVIDE 100% HEAD-TO-HEAD COVERAGE IN ALL PLANTER AREAS, WHILE KEEPING SPRAY OFF BUILDINGS, WALKWAYS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT IS NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREEN, REPLACEMENT OF PRESSURE COMPENSATING SCREEN, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS. CONTRACTOR SHALL ALSO RELOCATE OR ADD SPRAY HEADS TO MEET REQUIREMENTS LISTED ABOVE. ALL HEADS ON ANY ONE CIRCUIT SHALL ALL BE THE SAME TYPE AND BY THE SAME MANUFACTURER.
- CONTRACTOR SHALL TEST ALL EXISTING MAIN LINES AND LATERALS FOR LEAKS AND REPAIR IF NECESSARY.
- CONTRACTOR SHALL TEST AND REPLACE, IF NECESSARY, ALL EXISTING WIRE CONNECTING NEW CONTROLLER TO THE EXISTING VALVES.
- CONTRACTOR SHALL VERIFY THAT THERE IS ADEQUATE PRESSURE AVAILABLE AT THE SITE FOR THE IRRIGATION SYSTEM TO WORK PROPERLY. IDEALLY THERE SHOULD BE 30 POUNDS OF PRESSURE AT LAST HEAD ON EVERY CIRCUIT.
- CONTRACTOR SHALL ADJUST ALL PRESSURE REGULATORS AND/OR FLOW AT VALVES TO PROVIDE CORRECT OPERATING VOLUME AND PRESSURE TO HEADS ON EACH CIRCUIT.
- ANY EXISTING LANDSCAPE DAMAGED OR LOST DURING IRRIGATION SYSTEM INSTALLATION SHALL BE REPLACED AT CONTRACTORS OWN EXPENSE.

LANDSCAPE & IRRIGATION NOTES:

GENERAL NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE. LANDSCAPE REGULATIONS; THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

2. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

3. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. ALL PROPOSED IRRIGATION SYSTEM SHALL BE MP ROTATORS, BUBBLER AND DRIP TUBING.

4. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

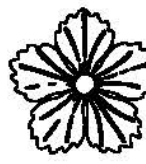
5. A 40 SQUARE FEET AIR AND WATER/PERMEABLE AREA SHALL BE PROVIDED WITH A MINIMUM WIDTH DIMENSION OF FIVE FEET FOR EACH TREE.

6. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS COVERED WITH GRAVEL. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH. MULCH SHALL BE A 3" MINIMUM LAYER OF WALK-ON BARK MULCH.

MAINTENANCE NOTES:

7. ALL LANDSCAPE AREAS AND PRIVATELY OWNED OPEN SPACE SHALL BE MAINTAINED BY A QUALIFIED LANDSCAPE COMPANY HIRED BY THE FUTURE OWNER. LANDSCAPED AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

8. THE PROPERTY DEVELOPER/FUTURE MANAGEMENT COMPANY SHALL ENSURE LANDSCAPE MAINTENANCE PROVIDERS USE INTEGRATED PEST MANAGEMENT PRACTICES TO PREVENT FERTILIZERS, PESTICIDES, YARD WASTE, AND OTHER POLLUTANTS FROM STORM DRAINAGE.



**TESHIMA DESIGN GROUP**  
LANDSCAPE ARCHITECTURE • LAND PLANNING  
9903 BUSINESSPARK AVE. SUITE 100 • SAN DIEGO, CA 92131  
TEL: 619 695-8241 FAX: 619 695-3182

TDG JOB NO. 16-04

DATE: 8-15-16

City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
(619) 448-5000

**Landscape Calculations Worksheet**  
Industrial Development in RM and C Zones  
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

**STREET YARD**

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area <b>30,121</b> sq. ft. x 25% =	<b>7,530</b> sq. ft.	<b>8910</b> sq. ft.
<b>1,004</b> sq. ft.		

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area <b>30,121</b> sq. ft. x 0.05 =	<b>1,506</b> points	<b>1,796</b> points
		<b>250</b> points

**Auto Service Stations Only N/A**

Planting Area Required [142.0405(c)(2)]	Planting Area Provided	Excess Area Provided
Total Area <b>N/A</b> sq. ft. x 15% =	<b>N/A</b> sq. ft.	<b>N/A</b> sq. ft.

Plant Points Required [142.0405(c)(2)]	Plant Points Provided	Excess Points Provided
Total Area <b>N/A</b> sq. ft. x 0.03 =	<b>N/A</b> points	<b>N/A</b> points

Note: All required Street Yard planting areas located outside the Vehicular Use Area (VUA) except for auto service stations may consist of hardscape or unattached unit pavers, excluding the minimum area required for trees. [142.0405(C)(1)]

**REMAINING YARD**

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area <b>3,083</b> sq. ft. x 30% =	<b>925</b> sq. ft.	<b>1,000</b> sq. ft.
		<b>75</b> sq. ft.

Plant Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area <b>3,083</b> sq. ft. x 0.05 =	<b>154</b> points	<b>168</b> points
		<b>14</b> points

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City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
(619) 448-5000

**Landscape Calculations Worksheet**  
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

**VEHICULAR USE AREA (<6,000 sq ft) [142.8406 - 142.8407] N/A**

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: <b>4,742</b> sq. ft. x 0.05 =	<b>237</b> points	<b>460</b> points
		<b>223</b> points

Points achieved through trees (at least half): \_\_\_\_\_ points

**VEHICULAR USE AREA (>6,000 sq ft) [142.8406 - 142.8407]**

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: <b>2,080</b> sq. ft. x 0.05 =	<b>104</b> sq. ft.	<b>160</b> sq. ft.
		<b>56</b> sq. ft.
VUA outside Street Yard: <b>2,652</b> sq. ft. x 0.03 =	<b>80</b> sq. ft.	<b>300</b> sq. ft.
		<b>220</b> sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: <b>2,080</b> sq. ft. x 0.05 =	<b>104</b> points	<b>160</b> points
		<b>160</b> points
VUA outside Street Yard: <b>2,652</b> sq. ft. x 0.03 =	<b>80</b> points	<b>300</b> points
		<b>300</b> points

**TEMPORARY VEHICULAR USE AREA [142.8408] N/A**

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: <b>N/A</b> ft. x 3 ft. =	<b>N/A</b> sq. ft.

• Provide planting area between Public Right-of-Way and VUA.  
• Plant with evergreen shrubs.  
• Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

**ADDITIONAL YARD PLANTING AREA, AND POINT REQUIREMENTS**

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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DS-5 (03-06)

**martorana - kinoshita associates, inc.**

7810 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

PLANNED DEVELOPMENT PERMIT

**NEW HOTEL**

5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE DATE

COMPLETENESS REVIEW  
FULL SUBMITTAL

**L-2**

OF 2

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**MKA**  
ARCHITECTURE  
&  
PLANNING

◆ **martorana - kinoshita associates, inc.** ◆

7510 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

PROPOSED NEW HOTEL FOR:

5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



STAMP

LANDSCAPE ARCHITECT  
MICHAEL J. KINOSHITA  
No. C14841  
R08 1997  
STATE OF CALIFORNIA

SUBMITTAL PHASE

DRAWING TITLE  
**LANDSCAPE  
LEGEND, NOTES AND  
CALCULATIONS**

PLANS DATE

REVISIONS

SHEET NUMBER



**LEGEND:****EXISTING IMPROVEMENTS**

ITEM	SYMBOL
PROJECT BOUNDARY	—
CENTERLINE	—C—
RIGHT OF WAY	—W—
WATER MAIN	—S—
SEWER MAIN	—S—
EX-WATER SERVICE TO BE REMOVED	—W—
6" CURB & GUTTER	—
SPOT ELEVATION	×

**PROPOSED IMPROVEMENTS**

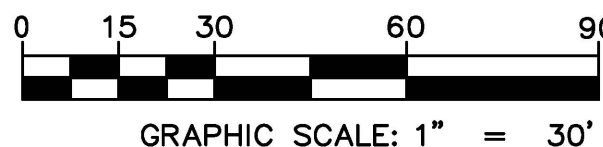
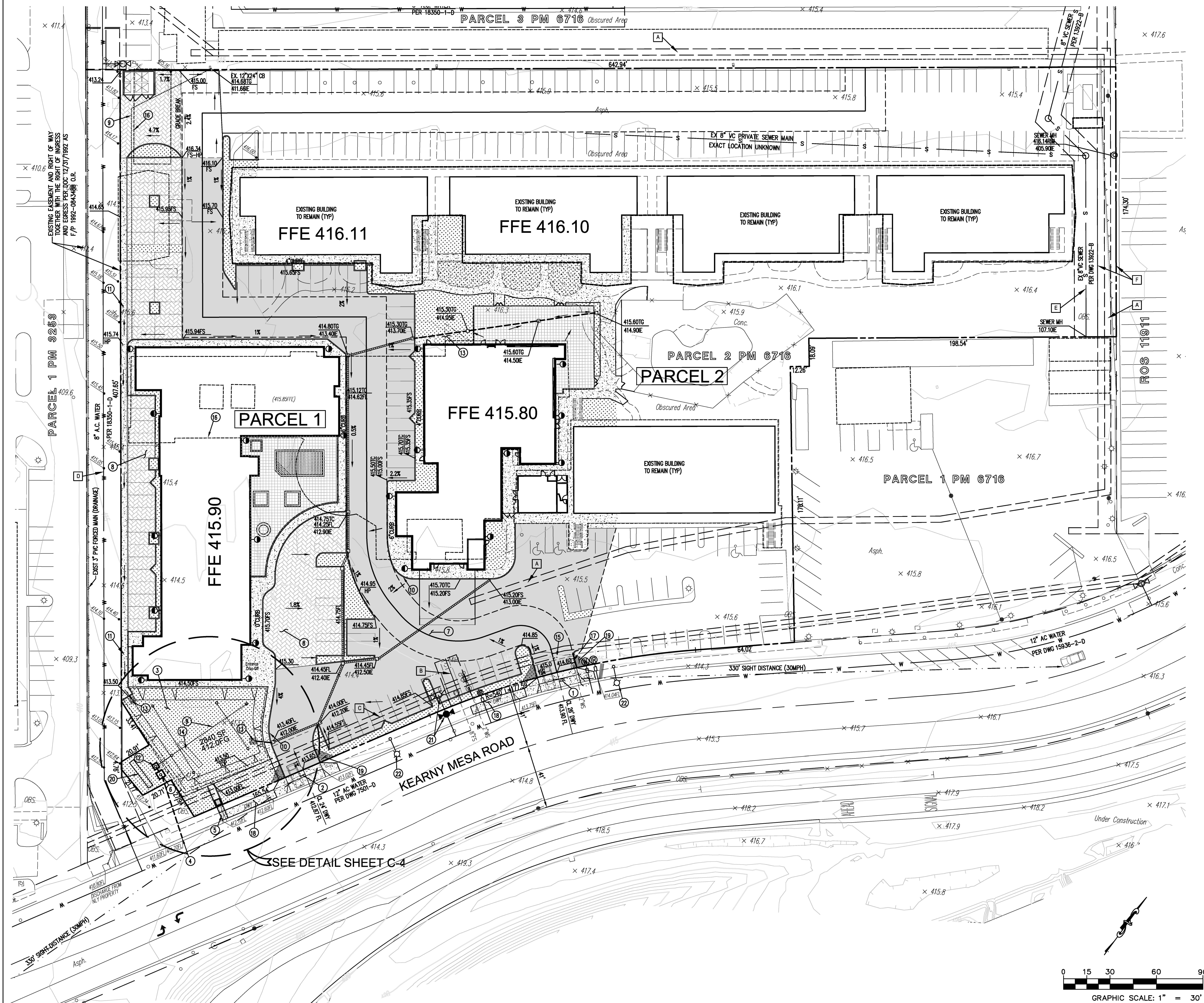
ITEM	SYMBOL
STORM DRAIN BOX	□
CATCH BASIN	□
DRIVEWAY	—
8" PERFORATED PIPE WITH CLEANOUT	—
TRENCH DRAIN BY ACO KLASSIKDRAIN MODEL K300 G	—
BIOFILTRATION	—
SIDEWALK UNDERDRAIN PIPE	—
CURB OUTLET	—
PAVERS	—
AC PAVEMENT	—
CONCRETE	—
TILE	—
LANDSCAPE	—
SAWCUT	—
10'X10' VISIBILITY AREA	—
ROOF DOWNSPOUT	—
NEW WATER SERVICE WITH BACKFLOW PREVENTOR	—
NEW IRRIGATION SERVICE WITH BACKFLOW PREVENTOR	—
LED STREET LIGHT	—

**CONSTRUCTION NOTES:**

- ① CONSTRUCT 26" DRIVEWAY
- ② CONSTRUCT 24" DRIVEWAY
- ③ CONSTRUCT BIOFILTRATION
- ④ CONSTRUCT SIDEWALK UNDERDRAIN PIPE
- ⑤ CONSTRUCT CURB OUTLET
- ⑥ CONSTRUCT STORM DRAIN BOX 48"x48"x18"
- ⑦ CONSTRUCT AC PAVEMENT
- ⑧ CONSTRUCT PERMEABLE PAVERS
- ⑨ CONSTRUCT 8" PERFORATED PIPE
- ⑩ CONSTRUCT 6" CONCRETE CURB
- ⑪ CONSTRUCT 4" WIDE RIBBON GUTTER
- ⑫ CONSTRUCT SUMP PUMP 36"x36"x6"
- ⑬ CONSTRUCT RIP RAP ENERGY DISSIPATOR
- ⑭ EXISTING SIGN MONUMENT TO BE RELOCATED AS SHOWN
- ⑮ EXISTING PAC BELL POLE, GUY POLE, AND GUARD POST TO BE REMOVED. SERVICE TO BE UNDERGROUND
- ⑯ EXISTING BUILDING TO BE DEMOLISHED
- ⑰ KILL EXISTING WAT SERV REMOVE BFP
- ⑱ EXISTING DRIVEWAY TO BE REMOVED, REPLACE WITH NEW SIDEWALK, FULL HEIGHT CURB AND GUTTER.
- ⑲ 10'X10' VISIBILITY AREA TRIANGLE
- ⑳ SIGN MONUMENT NEW LOCATION
- ㉑ RELOCATE EXIST FIRE HYD BEHIND PUBLIC SIDEWALK
- ㉒ INSTALL NEW LED STREET PER CURRENT CITY STANDARD

**EASEMENTS**

SEE SHEET C-2





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**MKA**  
ARCHITECTURE  
&  
PLANNING  
◆ ◆ ◆

**K&S ENGINEERING, INC.**  
Planning • Engineering • Surveying  
7801 Mission Center Court, Suite 100, San Diego, CA 92108  
(619) 296-5564  
Fax: (619) 296-5564

PROPOSED HOTEL REMODEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

STAMP  
REGISTERED PROFESSIONAL ENGINEER  
NO. 43235  
EXP. 3-31-18  
CIVIL  
STATE OF CALIFORNIA

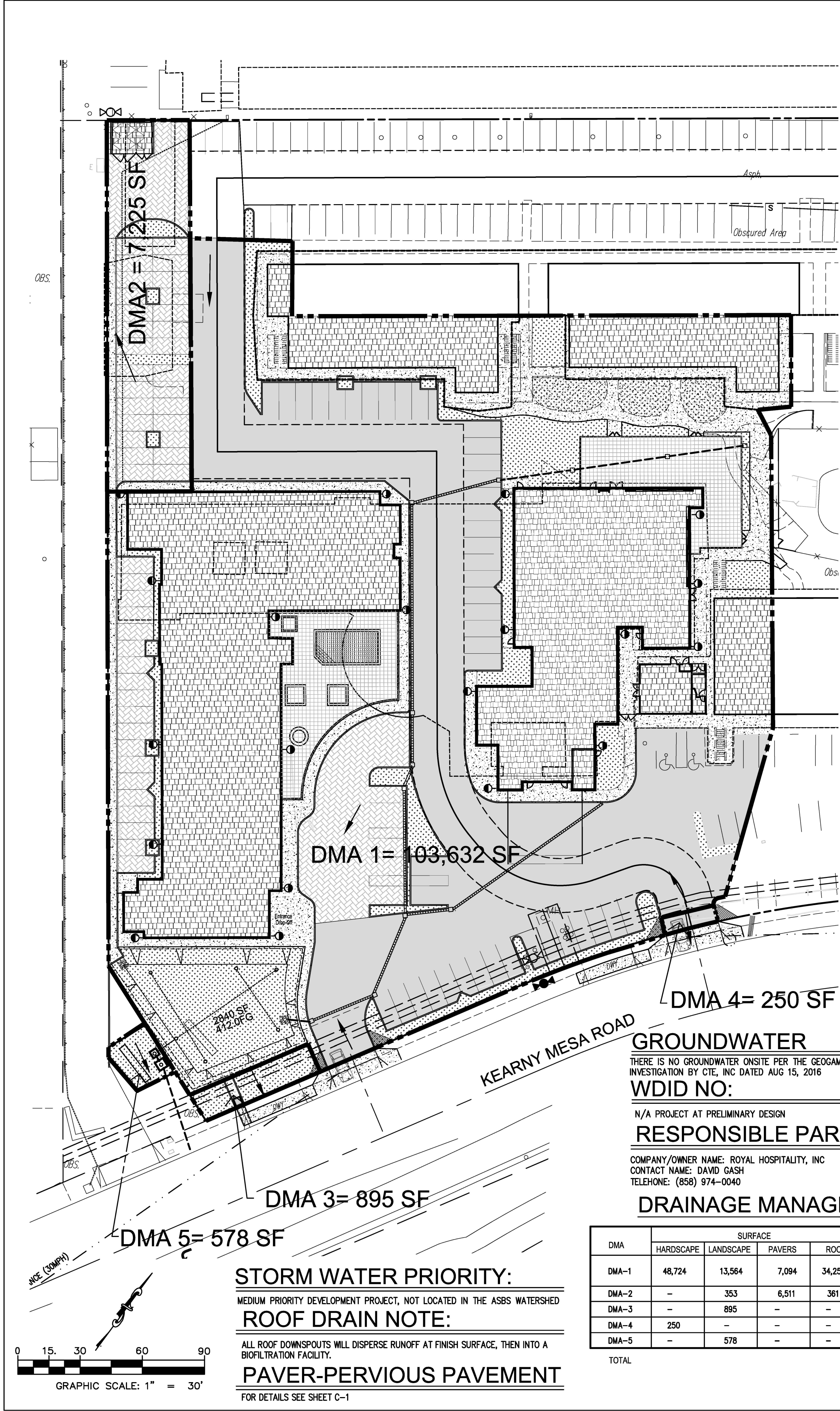
SUBMITTAL PHASE  
**PDP**  
PTS 509434

DRAWING TITLE  
**BMP PLAN**

PLANS DATE  
August 22, 2016

REVISIONS  
1. October 6, 2016  
2. May 30, 2017  
3. September 22, 2017  
4. October 24, 2017

SHEET NUMBER  
**C-4**



**PLANTING NOTES:**

NATIVE PLANTS RESILIENT TO VARIABLE FLOW, TOLERANT TO SUMMER DROUGHT AND SATURATED SOIL CONDITIONS. IE: THINGRASS, YERBA MANZA, MARSH BACCAHRIS, CALIFORNIA FIELD SEDGE, SAN DIEGO SEDGE, RUSTY SEDGE, SALT GRASS, MEXICAN RUSH, CALIFORNIA GREY RUSH, CANYON PRINCE WILD RYE, NEVIN'S BARBERY, DEERGRASS AND LOW BULLRUSH, FULLY VEGETATE BOTTOM OF BASIN.

**BMP CATEGORY/TYPE**

BIOFILTRATION BMP (BF-1) (W/ IMPERMEABLE LINER AND UNDERDRAIN) & INF-3 PERMEABLE PAVEMENT

**STORM WATER QUALITY MANAGEMENT PLAN (SWQMP)**

FOR - ROYAL HOSPITALITY, INC. CONTACT NAME: DAVID GASH  
DATE - SEPTEMBER 21, 2017  
PREPARED BY - K&S ENGINEERING, INC.

**MAINTENANCE AGREEMENT DOCUMENT**

TBD

**OPERATIONS AND MAINTENANCE PLAN**

TBD

**MEASURES TO ACCESS THE STRUCTURAL BMP**

1. THE BMP MUST BE ACCESSIBLE TO EQUIPMENT NEEDED FOR MAINTENANCE. ACCESS REQUIREMENTS FOR MAINTENANCE WILL VARY WITH THE TYPE OF FACILITY SELECTED.
2. INFILTRATION BMPs, BIOFILTRATION BMPs AND MOST ABOVE-GROUND DETENTION BASINS AND SAND FILTERS WILL TYPICALLY REQUIRE ROUTINE LANDSCAPE MAINTENANCE USING THE SAME EQUIPMENT THAT IS USED FOR GENERAL LANDSCAPE MAINTENANCE. AT TIMES THESE BMPs MAY REQUIRE EXCAVATION OF CLOGGED MEDIA (E.G. BIORETENTION SOIL MEDIA, OR SAND FOR THE SAND FILTER), AND SHOULD BE ACCESSIBLE TO APPROPRIATE EQUIPMENT FOR EXCAVATION AND REMOVAL/REPLACEMENT OF MEDIA.
3. ABOVE-GROUND DETENTION BASINS SHOULD INCLUDE ACCESS RAMPS FOR TRUCKS TO ENTER THE BASIN TO BRING EQUIPMENT AND TO REMOVE MATERIALS.
4. UNDERGROUND BMPs SUCH AS DETENTION VAULTS, MEDIA FILTERS, OR GROSS POLLUTANT SEPARATORS USED AS FOREBAYS TO OTHER BMPs, TYPICALLY REQUIRE ACCESS FOR A VACTOR TRUCK TO REMOVE MATERIALS PROPRIETARY BMPs SUCH AS MEDIA FILTERS OR GROSS POLLUTANT SEPARATORS MAY REQUIRE ACCESS BY A FORKLIFT OR OTHER TRUCK FOR DELIVERY AND REMOVAL OF MEDIA CARTRIDGES OR OTHER INTERNAL COMPONENTS. ACCESS REQUIREMENTS MUST BE VERIFIED WITH THE MANUFACTURER OF PROPRIETARY BMPs.
5. VACTOR TRUCKS ARE LARGE, HEAVY, AND DIFFICULT TO MANEUVER. STRUCTURAL BMPs THAT ARE MAINTAINED BY VACTOR TRUCK MUST INCLUDE A LEVEL PAD ADJACENT TO THE STRUCTURAL BMP, PREFERABLY WITH NO VEGETATION OR IRRIGATION SYSTEM (OTHERWISE VEGETATION OR IRRIGATION SYSTEM MAY BE DESTROYED BY THE VACTOR TRUCK).

NO DUMPING GOES TO OCEAN  
NO TIRAR BASURA LLEGA AL MAR  
think BLUE

**NOTES:**

1. THESE ARE SAMPLE TILES AND SIGNS.
2. CITY ENGINEER TO DESIGNATE OR APPROVE SIGNS, TILES OR STENCILS.
3. PROVIDE LABELING WITH PROHIBITIVE LANGUAGE ("NO DUMPING GOES TO OCEAN - NO TIRAR BASURA LLEGA AL MAR")
4. SIGN SHOULD BE PLACED ON THE CATCH BASIN GRATE.
5. SIGN SHALL HAVE A WHITE BACKGROUND WITH BLUE LETTERING.

**STORM DRAIN SIGNAGE**

NOT TO SCALE

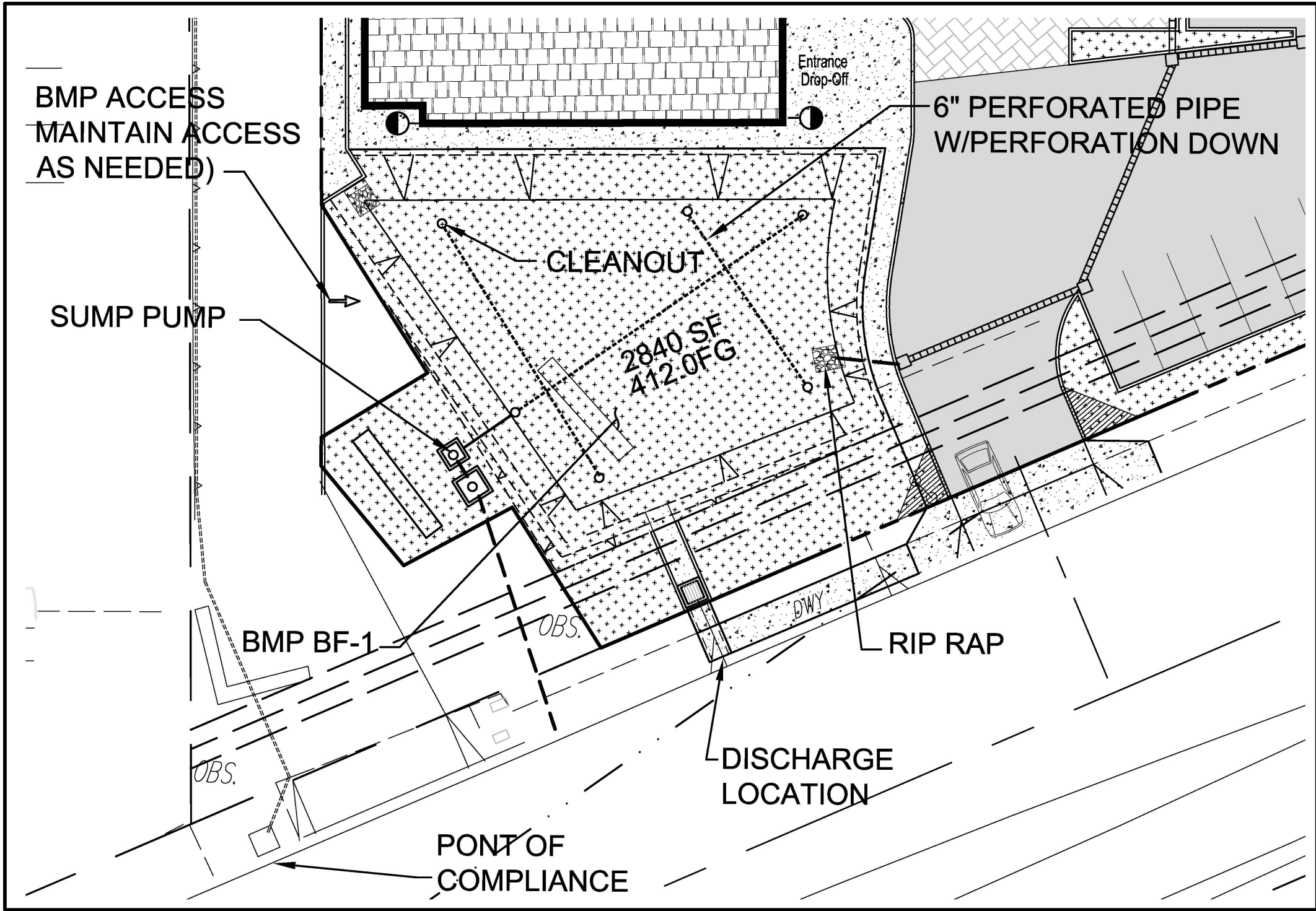
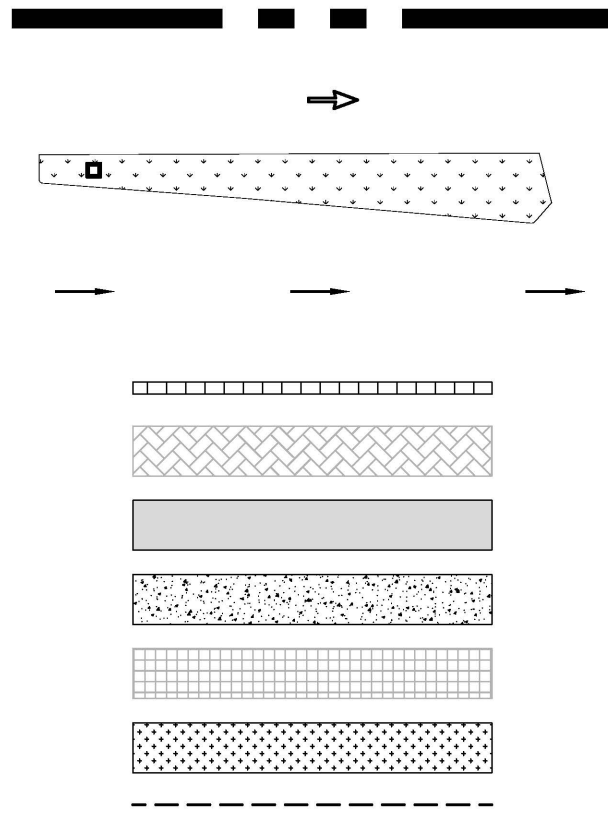
**LEGEND:**

**ITEM**

DRAINAGE MANAGEMENT AREA  
ACCESS FOR STRUCTURAL BMP INSPECTION AND MAINTENANCE  
BIOFILTRATION (BIORETENTION W/ LINER AND UNDERDRAIN)  
DRAINAGE DIRECTION

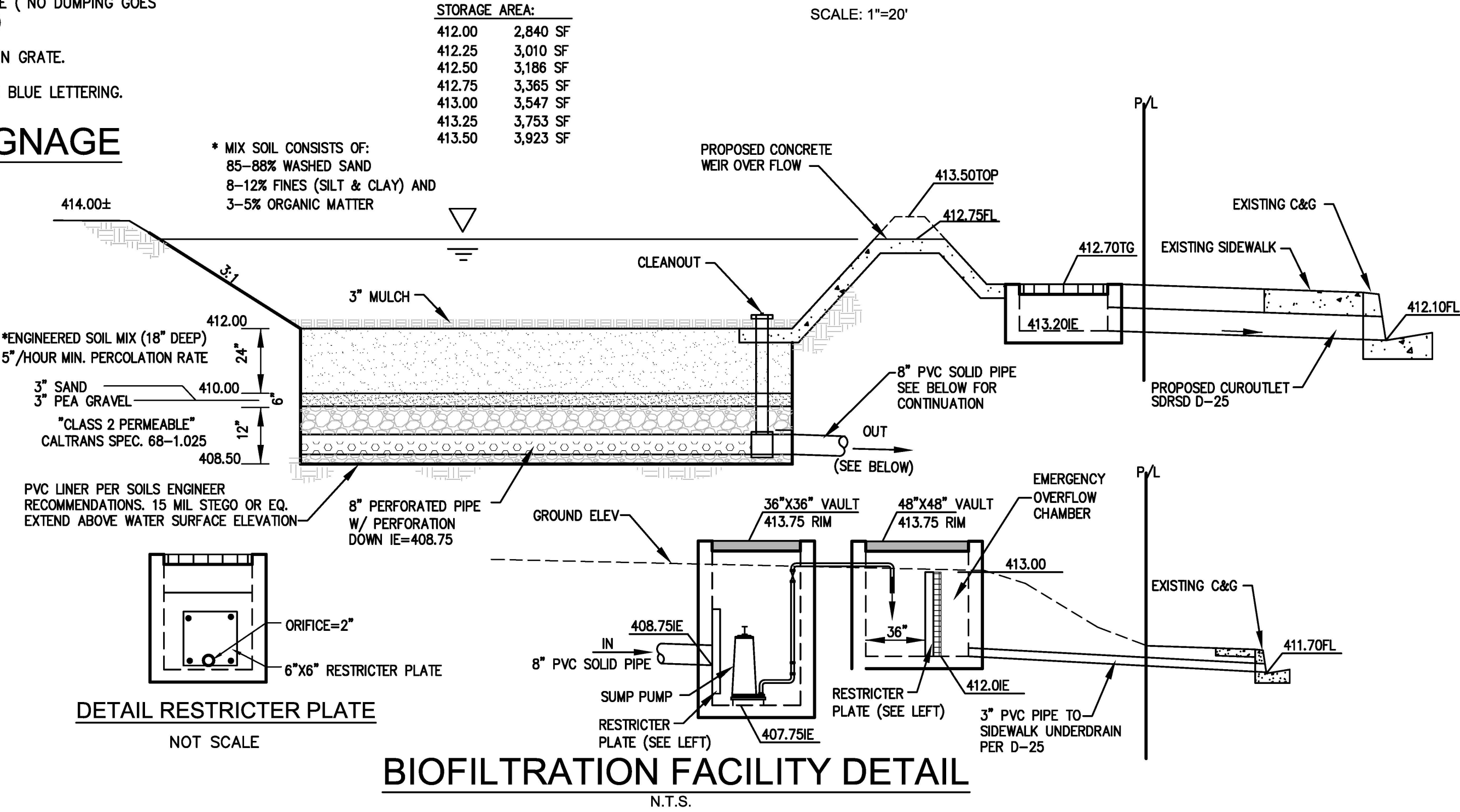
TRENCH DRAIN  
PERMEABLE PAVERS  
AC PAVEMENT  
CONCRETE  
TILE  
LANDSCAPE

**SYMBOL**



**BIOFILTRATION DETAIL**

SCALE: 1"=20'



**DETAIL RESTRICTOR PLATE**  
NOT SCALE

**BIOFILTRATION FACILITY DETAIL**

N.T.S.



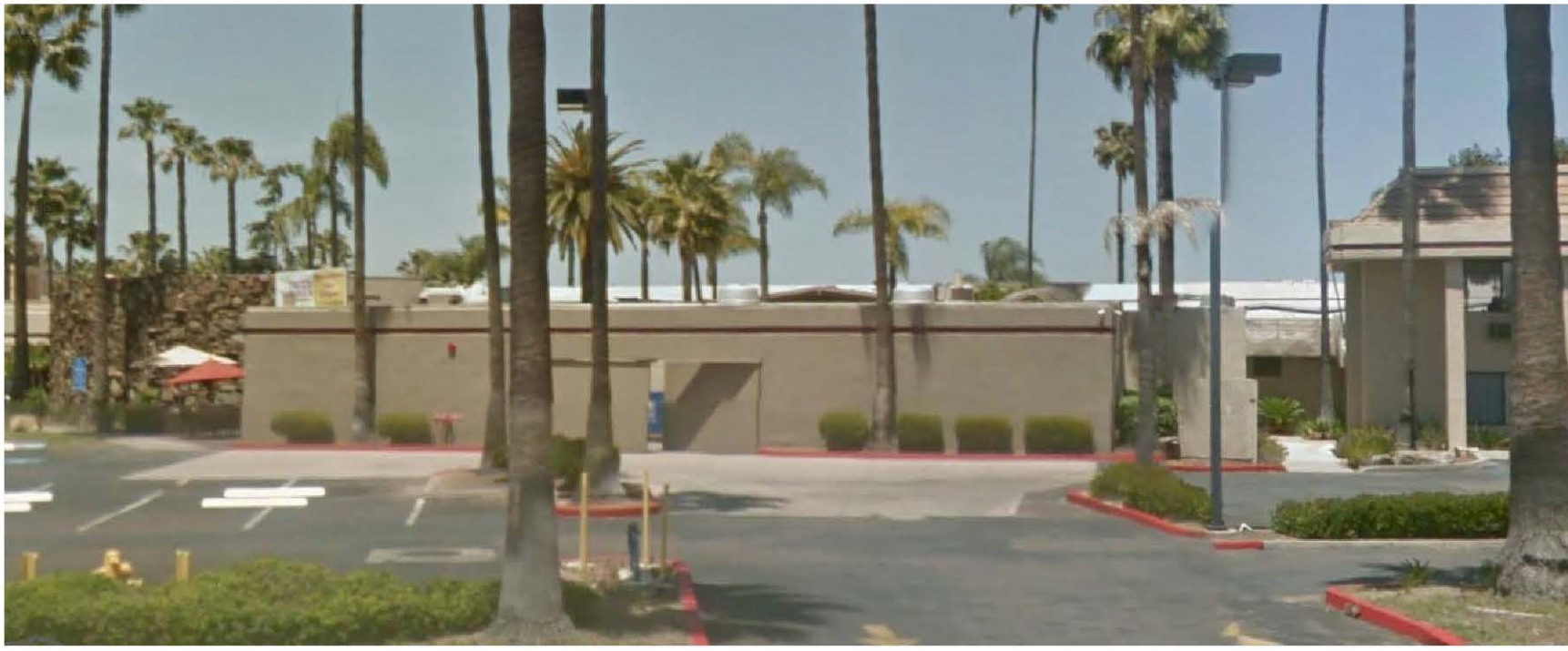


PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 6



PHOTO 4

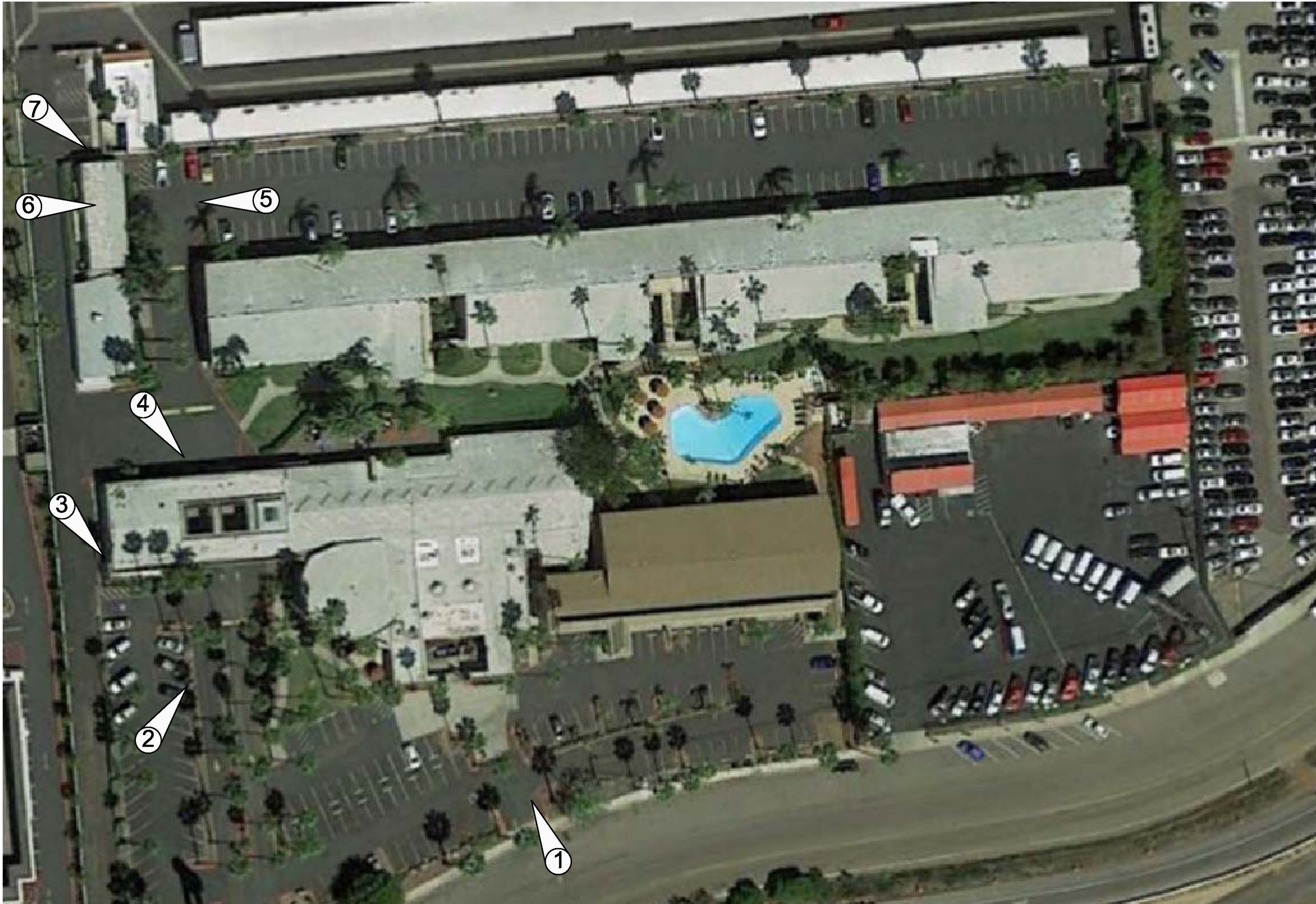


PHOTO 7

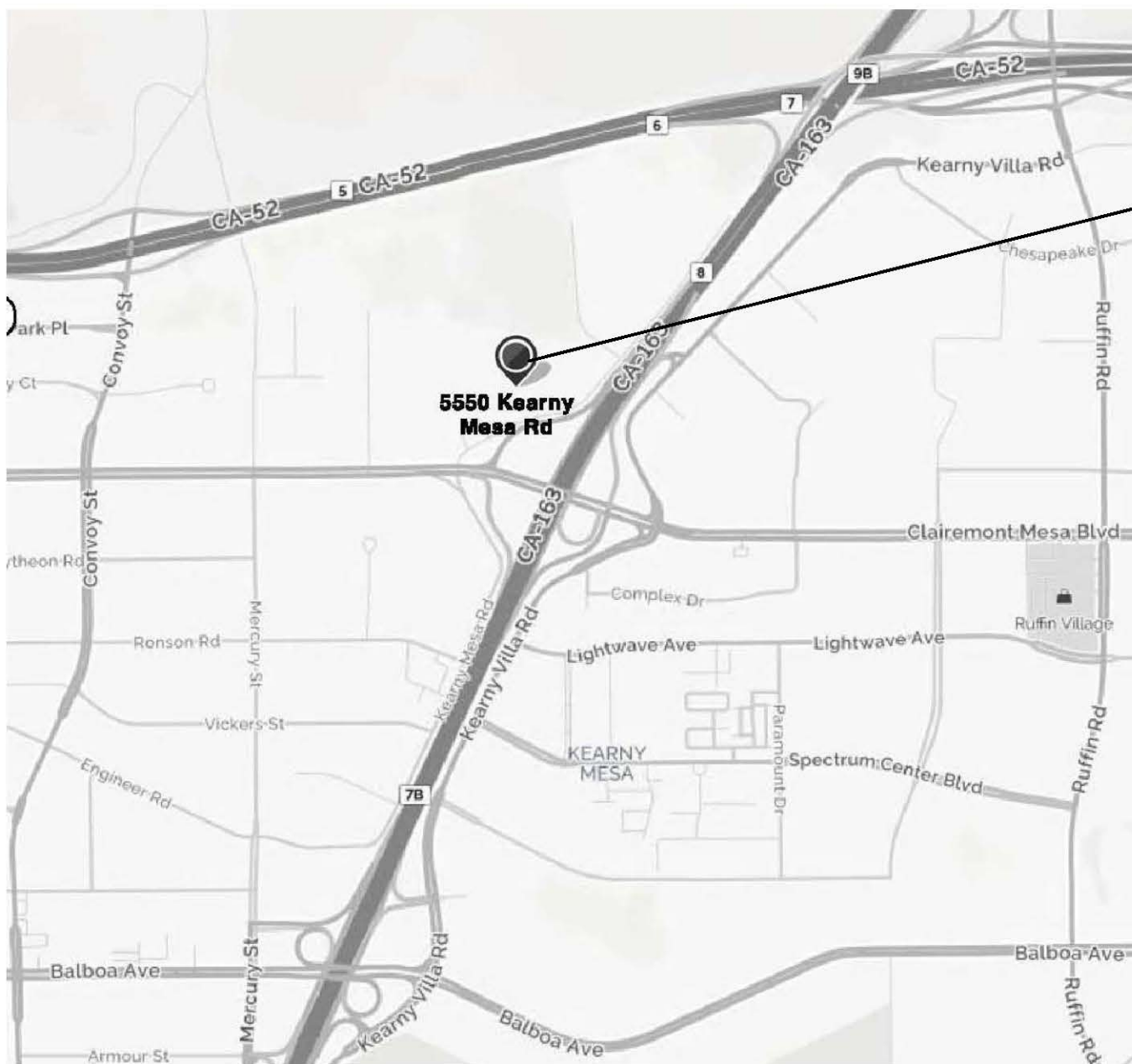
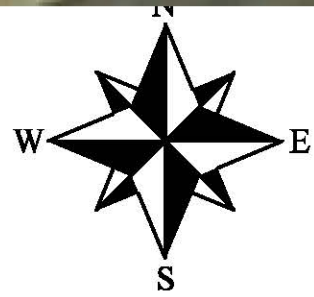
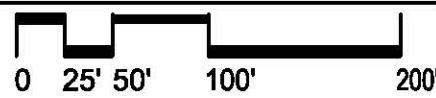


PHOTO 5

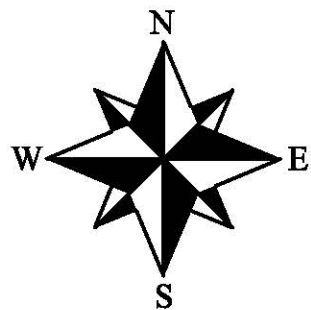
5550 KEARNY MESA RD. SAN DIEGO PHOTOGRAPHIC SURVEY  
NO SCALE



5550 KEARNY MESA RD. SAN DIEGO PHOTOGRAPHIC SURVEY- KEY MAP  
SCALE: 1"= 100'



VICINITY MAP



**martorana - kinoshita associates, inc.**

7510 CLAREMONT MESA BLVD., SUITE 207 - SAN DIEGO, CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

PLANNED DEVELOPMENT PERMIT

**NEW HOTEL**  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111

ISSUE	DATE
COMPLETENESS REVIEW	8/30/16
FULL SUBMITTAL	

OF

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**MKA**  
ARCHITECTURE  
&  
PLANNING  
◆◆◆

◆ **martorana - kinoshita associates, inc.** ◆

7510 CLAREMONT MESA BLVD., SUITE 207 - SAN DIEGO, CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

PROPOSED NEW HOTEL FOR:  
5550 KEARNY MESA ROAD  
SAN DIEGO, CA 92111



STAMP 
SUBMITTAL PHASE PHOTOGRAPHIC SURVEY
DRAWING TITLE
PLANS DATE 8-30-16
REVISIONS
SHEET NUMBER <b>PS1</b>



TENTATIVE MAP NO.1788809

LEGEND:

EXISTING IMPROVEMENTS

ITEM  
PROJECT LINE/TM BOUNDARY  
CENTERLINE  
RIGHT OF WAY  
WATER MAIN  
SEWER MAIN  
6" CURB & GUTTER  
SPOT ELEVATION  
OVERHEAD ELECTRIC LINE

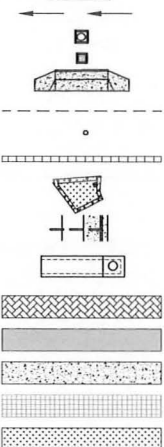
SYMBOL



PROPOSED IMPROVEMENTS

ITEM  
DRAINAGE PATTERN  
STORM DRAIN BOX  
CATCH BASIN  
DRAINAGE  
6" PERFORATED PIPE  
6" CLEANOUT  
TRENCH DRAIN BY ACO KLASSIKORAN  
MODEL K300 G  
BIOFILTRATION  
SIDEWALK UNDERDRAIN PIPE  
CURB OUTLET  
PAVERS  
AC PAVEMENT  
CONCRETE  
TILE  
LANDSCAPE

SYMBOL



10'X10' SITE VISIBILITY

OWNER / APPLICANT

ROYAL HOSPITALITY, INC.  
MR. DAVE GASH  
GOLD COAST DESIGN, INC.  
7667 VICKERS STREET, SAN DIEGO, CA 92111  
PHONE: 858-974-0040

DAVE GASH DATE

ABBREVIATION:

BR BEDROOM  
BP BACKFLOW PREVENTER DEVICE  
CI CAST IRON  
DWG DRAWING  
FFE FINISH FLOOR ELEVATION  
FL FLOW LINE  
GR GROUND  
PP POWER POLE  
S SEWER  
TC TOP OF CURB  
TMH TELEPHONE MANHOLE  
W WATER  
WAT WATER  
WM WATER METER

TOPOGRAPHY:

TOPOGRAPHIC INFORMATION SHOWN HEREON IS BY PHOTOGRAMMETRIC METHODS.  
PHOTOGRAMMETRY PROVIDED BY INLAND AERIAL SURVEYS, INC. DATED 11-05-2015.  
SUPPLEMENTAL FIELD SURVEYS PERFORMED BY SB&O DATED 12-15-2015,  
12-18-2015 & 4-19-16

BENCH MARK

A BRASS PLUG AT THE NORTHWEST CORNER OF KEARNY MESA ROAD AND  
CLAREMONT MESA BOULEVARD. ELEVATION 414.61 M.S.L.

GENERAL NOTES:

- THIS IS TO SUBDIVIDE THE EXISTING PARCEL INTO 2 PARCELS FOR THE DEVELOPMENT OF A NEW HOTEL TOWER.
- NEW ELECTRICAL UTILITY SERVICES SHALL BE UNDERGROUND.

AREA:

SUBDIVISION BOUNDARY= 217,287 S.F. = 4.988 ACRES  
PARCEL 1= 73,926 S.F. = 1.70 ACRES (GROSS) 60,674 S.F. = 1.39 ACRES (NET)  
PARCEL 2= 143,360 S.F. = 3.29 ACRES (GROSS) 130,142 S.F. = 2.99 ACRES (NET)

SITE DESIGN DATA:

EXISTING NUMBER OF LOTS IS: 1  
PROPOSED NUMBER OF LOTS IS: 2  
TOTAL NUMBER OF BUILDINGS: PARCEL 1=1, PARCEL 2=6

YEAR BUILT: 1959 ; PLAN FILE NO.

PARKING REQUIREMENT:

TABLE 142-05C  
TOTAL = 270  
PROVIDED = 270  
TYPICAL PARKING DIMENSION: 8'x18'

COORDINATES:

LAMBERT COORDINATES: 242-1725  
NAD 83 COORDINATES: 1882-6285

EXISTING & PROPOSED USE:

HOTEL

EXISTING & PROPOSED ZONING:

CV-1-2

PROPERTY SETBACK:

FRONT YARD SETBACK: 10'-0"  
SIDE YARD/REAR YARD SETBACK: 10'-0"

EASEMENT NOTES:

- A C/L 4' WIDE SOGAE EASEMENT PER DOCUMENT 1967-134401 O.R.  
B C/L 15' WIDE WATER EASEMENT TO CITY OF SAN DIEGO F/P 77-530115 O.R.  
C C/L 6' WIDE PACIFIC TELEPHONE EASEMENT F/P 77-258725 O.R.  
D C/L 22' WIDE WATER EASEMENT TO CITY OF SAN DIEGO F/P 1980-119992 O.R.  
E C/L 15' WIDE SEWER EASEMENT TO CITY OF SAN DIEGO F/P 77-530116 O.R.  
F SOGAE 12' WIDE EASEMENT PER BK 7734 P481 O.R.

UNPLOTTABLE EASEMENT:

SOGAE EITHER OR BOTH POLE LINES, UNDERGROUND CONDUITS AND TOGETHER  
WITH THE RIGHT OF INGRESS AND EGRESS, DOCUMENT NO. 80-044344 RECORDED  
FEBRUARY 7, 1980, THE EXACT LOCATION OF THE EASEMENT IS NOT DISCLOSED  
BY THE INSTRUMENT.

UTILITIES:

WATER: CITY OF SAN DIEGO UNDERGROUND  
SEWER: CITY OF SAN DIEGO UNDERGROUND  
ELECTRIC: SAN DIEGO GAS & ELECTRIC UNDERGROUND  
GAS: SAN DIEGO GAS & ELECTRIC UNDERGROUND  
TELEPHONE: PACIFIC BELL UNDERGROUND/OVERHEAD  
CABLE: COX CABLE CO. UNDERGROUND

SITE ADDRESS:

5500 KEARNY MESA ROAD SAN DIEGO CA 92111

LEGAL DESCRIPTION:

PARCEL 2 OF PARCEL MAP 6716

ASSESSOR'S PARCEL NUMBER:

356-030-44

MAPPING AND MONUMENTATION NOTE:

A TWO PARCEL PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE  
EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE  
SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY  
MONUMENTS.

Prepared By:

Name K & S ENGINEERING

Address 7801 MISSION CENTER CT. SUITE 100  
SAN DIEGO, CA 92108

Phone (619) 296-5565

Project Address:

5500 KEARNY MESA ROAD  
SAN DIEGO CA 92111

Project Name:

RAMADA INN

Sheet Title

TENTATIVE MAP NO. 1788809

Revision 14

Revision 13

Revision 12

Revision 11

Revision 10

Revision 9

Revision 8

Revision 7

Revision 6

Revision 5

Revision 4

Revision 3

Revision 2

Revision 1

10/24/17

05/30/17 Completeness Review

10/05/16 Completeness Review

Original Date:

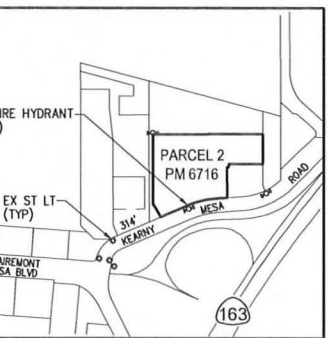
AUGUST 15, 2016

Sheet

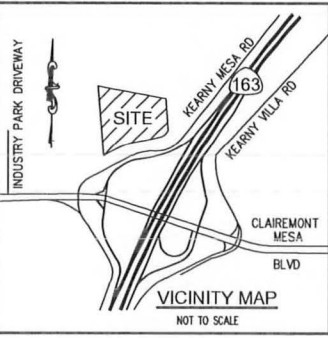
1 of 1

PROJ. NO

509434



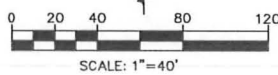
KEY MAP  
SCALE: 1" = 500'



VICINITY MAP  
NOT TO SCALE

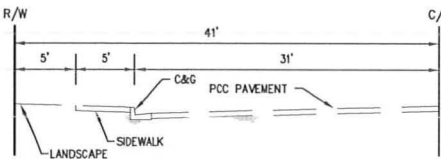
GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:  
AREA 2.37 ACRES, % OF TOTAL SITE .475  
AMOUNT OF CUT: 4,300 CUBIC YARDS  
MAXIMUM DEPTH OF CUT: 3.2 FEET  
AMOUNT OF FILL: 1,000 CUBIC YARDS  
MAXIMUM DEPTH OF FILL: 1 FEET  
MAXIMUM HEIGHT OF FILL SLOPE: 3 FEET  
SLOPE RATIO: 3:1  
MAXIMUM HEIGHT OF CUT SLOPE: 3 FEET  
SLOPE RATIO: 3:1  
AMOUNT EXPORT SOIL: 3,300 CUBIC YARDS  
RETAINING WALL:  
MASONRY: LENGTH: FEET. LANDSCAPED: LENGTH: FEET.  
MAXIMUM HEIGHT: FEET. MAXIMUM HEIGHT: FEET.



VISIBILITY AREA TRIANGLE

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED  
3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC  
RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED  
24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.



KEARNY MESA ROAD  
TYPICAL SECTION  
NOT TO SCALE

DATA TABLE

Δ/BEARING	RADIUS	LENGTH
1	27.94'	
2	20.71'	
3	21.77'	
4	4.76'	
5	20.91'	
6	33.41'	
7	18.09'	
8	12.26'	



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b> Ramada Inn New Hotel - TM/PDP		<b>Project Number:</b> 509434	<b>Distribution Date:</b> 10/10/2016
<b>Project Scope/Location:</b> KEARNY MESA (Process 4) Tentative Map and Planned Development Permit for the subdivision of one existing parcel into two parcels for the development of a 72,528 sq ft 4-story hotel with a deviation to floor area ratio (FAR). The 4.98-acre site is located at 5540-5550 Kearny Mesa Rd, in the CV-1-2 zone within the Kearny Mesa Community Plan Area. Council District 6.			
<b>Applicant Name:</b> Dave Longmore		<b>Applicant Phone Number:</b> 858-610-8438	
<b>Project Manager:</b> Mendoza, Francisco	<b>Phone Number:</b> (619) 446-5433	<b>Fax Number:</b> (619) 321-3200	<b>E-mail Address:</b> FMendoza@sandiego.gov
<b>Committee Recommendations (To be completed for Initial Review):</b>			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes <input checked="" type="checkbox"/>	Members No <input checked="" type="checkbox"/>	Members Abstain <input checked="" type="checkbox"/>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
<b>CONDITIONS:</b> NONE			
<b>NAME:</b> JEFFREY SAILER		<b>TITLE:</b> CHAIR	
<b>SIGNATURE:</b> [Signature]		<b>DATE:</b> 2.21.18	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

## Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

Project Title

Project No. For City Use Only

5550 KEARNY MESA ROAD

509434

Project Address:

5550 KEARNY MESA ROAD

SAN DIEGO, CA 92111

### Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:



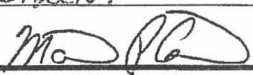
Project Title: <u>5550 KEARNY MESA ROAD</u>	Project No. (For City Use Only)
---	---------------------------------

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☒ Corporation   
 ☐ Limited Liability -or-   
 ☐ General) What State? CA   
 Corporate Identification No. 1840740  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**    ☐ Yes    ☒ No

Corporate/Partnership Name (type or print): <u>ROYAL HOSPITALITY INC.</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>4350 EXECUTIVE DRIVE, SUITE 230</u> City/State/Zip: <u>SAN DIEGO CA 92121</u> Phone No: <u>858.875.1100</u> Fax No: <u>858.875.1530</u> Name of Corporate Officer/Partner (type or print): <u>MAURICE P. CORREIA</u> Title (type or print): <u>PRESIDENT</u> Signature :  Date: <u>3/15/16</u>	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No:  Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:
Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No:  Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No:  Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:
Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No:  Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date:	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No:  Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature :    Date: