



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: April 12, 2018 REPORT NO. PC-18-028

HEARING DATE: April 19, 2018

SUBJECT: MISSION CENTER COURT MARIJUANA OUTLET. Process Four Decision

PROJECT NUMBER: [542366](#)

REFERENCE: Hearing Officer Report [HO-18-020](#)

OWNER/APPLICANT: Mission Properties LLC, Owner / Rakesh Goyal, Applicant

SUMMARY

Issue: Should the Planning Commission approve or deny an appeal of the Hearing Officer's decision to deny a Conditional Use Permit for a Marijuana Outlet located at 7850 Mission Center Court, Suite 101, within the Mission Valley Community Plan area?

Staff Recommendation: Grant the appeal, reverse the Hearing Officer's decision, and approve Conditional Use Permit No. 1911475.

Community Planning Group Recommendation: On October 4, 2017, the Mission Valley Planning Group voted 11-6-0 to recommend approval of the proposed project.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) Guidelines Section 15303, New Construction or Conversion of Small Structures. The environmental determination for this project was made on November 17, 2017. An appeal of the CEQA determination was previously filed and subsequently withdrawn on January 26, 2018.

Fiscal Impact Statement: None. All staff costs associated with the processing of this project are recovered by a deposit account funded by the applicant.

Housing Impact Statement: None with this action.

BACKGROUND

The project proposes a Conditional Use Permit (CUP) to operate a Marijuana Outlet (Outlet) in an existing 2,351-square-foot tenant space, Suite 101, located on the first floor of an existing 14,751-square-foot, two-story building. The 0.66-acre site is located at 7850 Mission Center Court, east of State Route 163 and west of Mission Center Road, in the MV-CO Zone of the Mission Valley Planned District within the Mission Valley Community Plan area. The site is also located within the Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area for San Diego International Airport and Montgomery Field, and the Federal Aviation Authority Part 77 Noticing Area Overlay Zone within Council District 7. Adjacent uses include two-story commercial office buildings to the east, west, and south. Friars Road, a 6-lane major circulation element street, is to the north. The site is designated for Commercial Office by the Mission Valley Community Plan.

Outlets must comply with San Diego Municipal Code (SDMC) Section 141.0504(a) (1), which requires a minimum 1,000-foot separation from resource and population-based city parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten and grades One to Twelve. SDMC Section 141.0504(a) (2) requires a minimum distance requirement of 100 feet from a residential zone. In SDMC Section 113.0225(c), when measuring distance for separation requirements for marijuana outlets, the measurement of distance between uses shall take into account natural topographical barriers and constructed barriers such as freeways or flood control channels that would impede direct physical access between the uses. In such cases, the separation distance shall be measured as the most direct route around the barrier in a manner that establishes direct access.

On March 7, 2018, the Mission Center Court Outlet CUP (Project) was presented to the Hearing Officer of the City of San Diego at a noticed public hearing. The Hearing Officer Report No. HO-18-020 (Attachment 1) contains the project background, analysis and necessary draft findings with a staff recommendation of approval. After hearing public testimony, both in support and opposition, the Hearing Officer determined that a significant constructed barrier such as a freeway or flood control channel does not exist separating the proposed Project from the school and church located at 7510 Hazard Center Drive, Suite 611, and 7510 Hazard Center Drive, Suite 100, west of Frazee Road, and the project does not meet the separation requirement. Therefore, the Hearing Officer was unable to support the required Findings to approve the Project and thus, denied CUP No. 1911475.

On March 9, 2018, the Owner & Applicant, Mission Properties LLC & Rakesh Goyal, filed an appeal of the Hearing Officer's decision.

DISCUSSION

This item is an appeal of the Hearing Officer's March 7, 2018 decision to deny the CUP. The basis for appeal is Factual Error, Conflict with the other matters, Findings Not Supported, and New Information (Attachment 2). The following is the appeal issue cited by the appellant and response

by City staff.

Appeal Issue as Stated by the Appellant: "The denial was based on an erroneous interpretation of the distance separation and what is considered a barrier. The safe path of travel exceeds 1,000 feet and there are no walking trails between the proposed marijuana outlet and any sensitive uses at Hazard Center."

Staff Response: The Hearing Officer Report No. HO-18-020 included project information and analysis by City staff supporting approval of the Project. In accordance with SDMC Section 113.0225(c), where there is a natural topographical barrier or constructed barrier, distance can be measured as the most direct route around the barrier in a manner that establishes direct access. Staff determined there are existing constructed barriers including a drainage channel north of 7730 Hazard Center Drive, and five properties south of the Mission Center Court cul-de-sac and east of Frazee Road surrounded by retaining walls, landscaping, and fencing that would impede direct access between the Outlet and both the school, Audeo Charter School, located at 7510 Hazard Center Drive, Suite 611 and the church located at located at 7510 Hazard Center Drive, Suite 100, Mission Trails Church Mission Valley.

There are no public access trails from the Hazard Shopping Center to the Mission Center Court cul-de-sac to allow public access directly to the proposed Outlet. A safe, direct public pedestrian path of travel from the Project site along the sidewalk and designated pedestrian crosswalk around these constructed physical barriers measures more than 1,000 feet. Staff determined the proposed Outlet complies with the required minimum separation from the existing school and existing church.

CONCLUSION

City staff has reviewed the proposed Project and determined the project is consistent and in conformance with the adopted policies and regulations of the SDMC, including the minimum separation requirements. Staff has prepared draft findings (Attachment 3) approving the Project. Staff recommends granting the appeal, reversing the Hearing Officer's decision and approving CUP No. 1911475.

ALTERNATIVES

1. Grant the appeal, reverse the Hearing Officer's decision and approve Conditional Use Permit No. 1911475, with modifications.
2. Deny the appeal, support the Hearing Officer's decision and deny Conditional Use Permit No. 1911475, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Cherlyn Cac
Development Project Manager
Development Services Department

SOKOLOWSKI/CC

Attachments:

1. Hearing Officer Report HO-18-020
2. Appeal Application
3. Draft Resolution with Findings
4. Permit with Conditions
5. Ownership Disclosure Statement
6. Project Plans



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 28, 2018 REPORT NO. HO-18-020

HEARING DATE: March 7, 2018

SUBJECT: MISSION CENTER COURT MARIJUANA OUTLET, Process Three Decision.

PROJECT NUMBER: [542366](#)

OWNER/APPLICANT: Mission Properties LLC, Owner / Rakesh Goyal, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Marijuana Outlet to operate within a 2,351 square-foot tenant space in an existing 14,751 square-foot building on a 0.66-acre site located at 7850 Mission Center Court, Suite 101, within the Mission Valley Community Plan area?

Staff Recommendation: Approve Conditional Use Permit No. 1911475.

Community Planning Group Recommendation: On October 4, 2017, the Mission Valley Planning Group voted 11-6-0 to recommend approval of the proposed project with all sensitive area issues resolved and all cycle comments being satisfied. See attachment 10.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) on November 17, 2017 under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). An appeal of the CEQA determination was previously made and withdrawn on January 26, 2018. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

In 1996, the people of the State of California passed Proposition 215, the Compassionate Use Act, which allows the use of marijuana for medical purposes when recommended by a physician and exempts the patient and the primary caregiver from criminal prosecution. In 2004, Senate Bill 420, the Medical Marijuana Program Act (MMP) became law. The MMP requires the California Department of Public Health (DPH) to establish and maintain a program for the voluntary registration of qualified medical marijuana patients and their primary caregivers through a statewide identification card system, sets possession guidelines for cardholders, and recognizes a qualified right to collective and cooperative cultivation of medical marijuana. In 2008, the California

Attorney General established guidelines for Medical Marijuana Collective Operations and allowed cities to adopt and enforce laws consistent with the MMP.

On March 25, 2014, the City of San Diego adopted Ordinance No. O-20356 to implement regulations for Medical Marijuana Consumer Cooperatives (MMCCs), which allowed MMCCs with the approval of a Conditional Use Permit (CUP), and limited MMCCs to four per Council District for a total of 36 MMCCs City-wide. A total of 15 MMCCs have been approved to date.

On November 2016, the people of the State of California approved Proposition 64, the Adult Use of Marijuana Act (AUMA). The AUMA allows adults 21 years of age or older to legally grow, possess, and use cannabis for non-medicinal purposes, with certain restrictions. The California State Legislature passed Senate Bill 94 (Chapter 27) on June 2017 that integrated Medical Cannabis Regulation and Safety Act (MCRSA) with AUMA to create the Medicinal and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA) contained in Division 10 of the California Business and Professions Code (§26000 et seq.). Under MAUCRSA, a single regulatory system governs the medical and adult-use cannabis industry in California.

A local jurisdiction may adopt and enforce local ordinances that regulate land use requirements as it deems necessary to reduce potential impacts associated with marijuana use. On February 22, 2017, Ordinance No. O-20793 was approved, which included amendments to the Land Development Code and the Local Coastal Program, replacing the MMCC use with a new retail sales use, Marijuana Outlet (Outlet). The Ordinance became effective in areas of the City of San Diego outside of the Coastal Overlay Zone on April 12, 2017, and within the Coastal Overlay Zone on October 12, 2017. An Outlet may be allowed with the approval of a Process Three, CUP, provided each Council District is limited to four Outlets. A Marijuana Outlet allows the sale of both medicinal and recreational marijuana. A total of three Outlets have been approved to date within Council District 7.

The 0.66-acre site is located at 7850 Mission Center Court, east of State Route 163, in the MV-CO Zone of the Mission Valley Planned District (MVPD) within the Mission Valley Community Plan (MVCP) area. The project site is also located within Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area for San Diego International Airport and Montgomery Field, and the Federal Aviation Authority Part 77 Noticing Area Overlay Zone within Council District 7. The site is designated for Commercial Office use by the MVCP (Attachment 2).

The site is currently developed with an existing commercial building constructed in 1972. The existing building includes several professional office and commercial service suites. Adjacent uses include two-story commercial office buildings to the east, west, and south. Friars Road, a 6-lane major circulation element street, is to the north.

DISCUSSION

The proposed Marijuana Outlet, classified as retail sales, is allowed in the MV-CO-CV Zone of the MVPD with a CUP pursuant to San Diego Municipal Code (SDMC) Section 141.0504 and SDMC Section 1514.0305(b). The project has been determined to be exempt from the MVPD pursuant SDMC Section 1514.0201(b)(1) as the project proposes interior modifications with no change in use pursuant to Table 1514-04J of the MVPD Ordinance, which considers similar development characteristics and intensity of use between commercial marijuana outlets and commercial

office/service uses. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Project Description:

The Marijuana Outlet proposes interior improvements that include an entry and security check area, reception, dispensary area, and office totaling 2,351 square-feet in Gross Floor Area. The Marijuana Outlet is required to have and proposes 36 off-street parking spaces. Nine of these 36 spaces are shared with the adjacent property through a shared parking agreement. The project proposes to restrict Suites 201, 205, 208, and 208A, located on the second floor of the building and totaling 2,435 square-feet, to be vacant throughout the duration of the CUP as proposed by Condition No. 31 (Attachment 5). The vacant floor space shall not be leased or used for any purpose, including storage. The proposed tenant improvements would comply with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, and would be reviewed for conformance during the construction permit application phase. Public improvements would include the replacement of the existing curb ramp, and new 24-foot wide driveway consistent with current City Standards. The project would also construct an American Disabilities Act (ADA) accessible path of travel from the Mission Center Court public right-of-way to the building entrance.

Community Plan Consistency:

The project site is designated for Commercial Office use by the MVCP (Attachment 2). The land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan land use designation and objective of encouraging a range of retail uses integrated with other uses, and with a Conditional Use Permit, is a compatible use with the surrounding commercial establishments.

Separation Requirements:

The SDMC allows the operation of Outlets in specific land use zones of the City and provides regulations for Marijuana Outlets. One of the criteria of the SDMC is the minimum separation requirements between an Outlet and other specified uses. SDMC Section 141.0504(a) requires a 1,000-foot separation from resource and population-based parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten and grades One to Twelve. In addition there is a minimum distance requirement of 100 feet from all residentially zoned properties. Per SDMC Section 113.0225(c), when measuring distance between uses, natural topographical barriers and constructed barriers such as freeways or flood control channels that would impede direct physical access between the uses can be taken into consideration. In such cases, the distance is measured as the most direct route around the barrier in a manner that establishes direct access.

City staff has reviewed the 1,000-foot radius map (Attachment 6) and 1,000-foot spreadsheet exhibit (Attachment 7) provided by the applicant identifying all the existing uses. City staff has determined the project complies with the separation requirements as explained below.

Audeo Charter School and Mission Trails Church Mission Valley - Audeo Charter School, located at 7510 Hazard Center Drive, Suite 611, and Mission Trails Church Mission Valley, located at 7510 Hazard Center Drive, Suite 100, are located in the Hazard Shopping Center. Hazard Shopping Center is located southwest of the project site, west of Frazee Road. There are existing constructed barriers including a drainage channel, retaining walls, landscaping, and fences that would impede direct physical access between the uses. In accordance with SDMC Section 113.0225(c), where there is a natural topographical barrier or constructed barrier, distance can be measured as the most direct route around the barrier in a manner that establishes direct access. A direct public route to both sites from the proposed Marijuana Outlet would be greater than 1,000 feet (Attachment 8). Therefore, the proposed Marijuana Outlet is in compliance with the minimum separation requirements.

Operational and Security Requirements:

The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504 (b) through (m), which are incorporated as conditions in the CUP (Attachment 5). These include prohibition of consultation by medical professionals on-site, prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC), provision of interior and exterior lighting, operable cameras, alarms, and a security guard, restriction of hours of operation to between 7:00 am and 9:00 pm daily, maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours, and restriction of signage to business name, two-colors signs, and alphabetic characters. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The applicant has also voluntarily agreed to the following additional security conditions in order to improve the safety of customers and the surrounding neighborhood and also to prevent any potential adverse impacts on the community:

- The provision of operable surveillance cameras and a metal detector;
- Use of cameras with a recording device that maintains records for a minimum of 30 days;
- Two security guards must be on the premises during business hours, and at least one security guard must be on the premises 24 hours a day, seven days a week;
- Installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees; and
- Installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, and within the vault room.

CONCLUSION

City staff has reviewed the application for the Conditional Use Permit for a Marijuana Outlet at this location and determined the project is consistent with the Mission Valley Community Plan and all development regulations in effect for this site. Staff has prepared draft findings (Attachment 4) supporting the approval of the project and draft conditions of approval (Attachment 5). Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Conditional Use Permit No. 1911475, with modifications.
2. Deny Conditional Use Permit No. 1911475, if the findings required to approve the project cannot be affirmed.

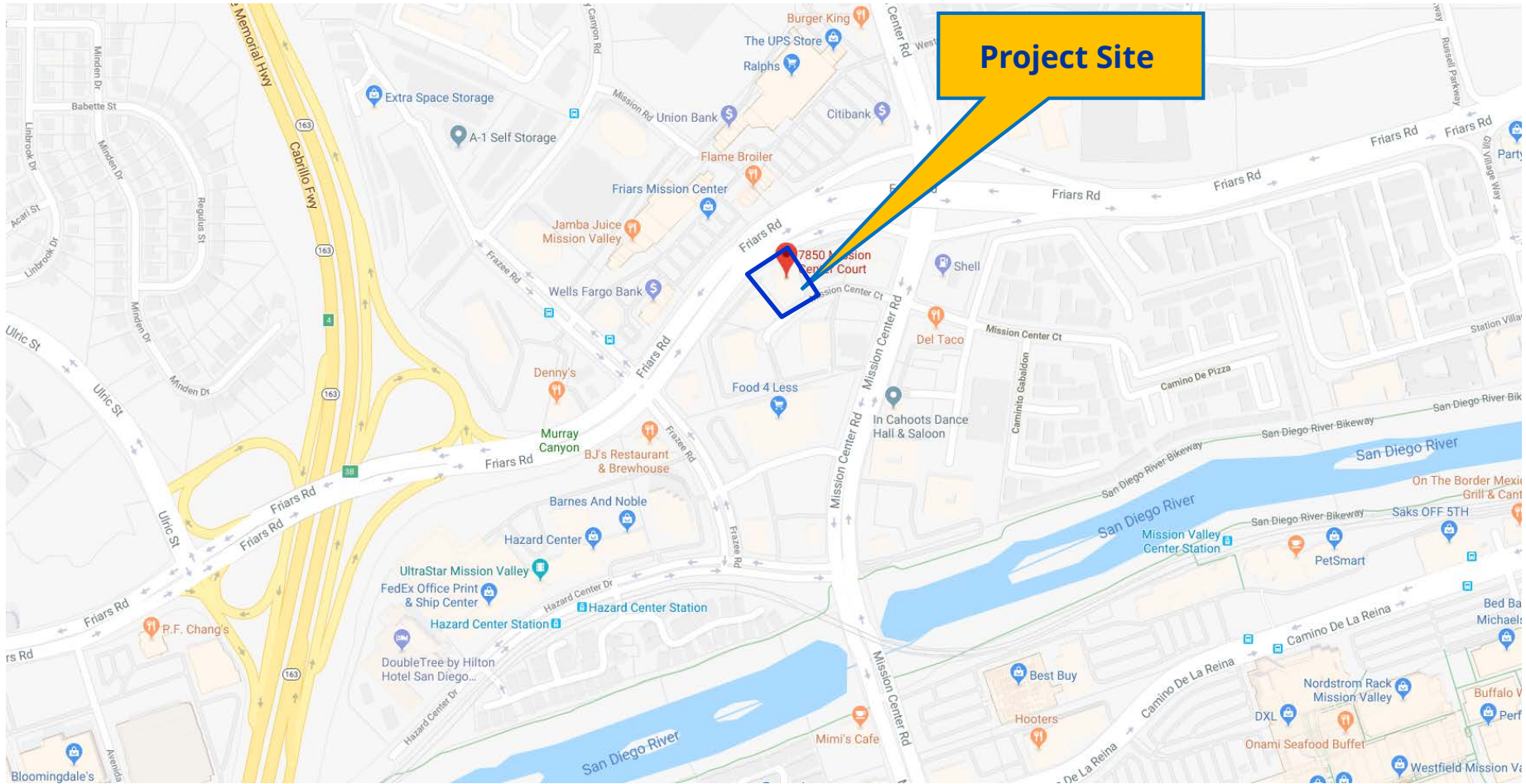
Respectfully submitted,



Cherlyn Cac, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. 100/1000-Foot Radius Map
7. 100/1000-Foot Radius Map Spreadsheet
8. Audeo Charter School and Mission Trails Church Mission Valley – Constructed Barriers
9. Environmental Exemption
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans

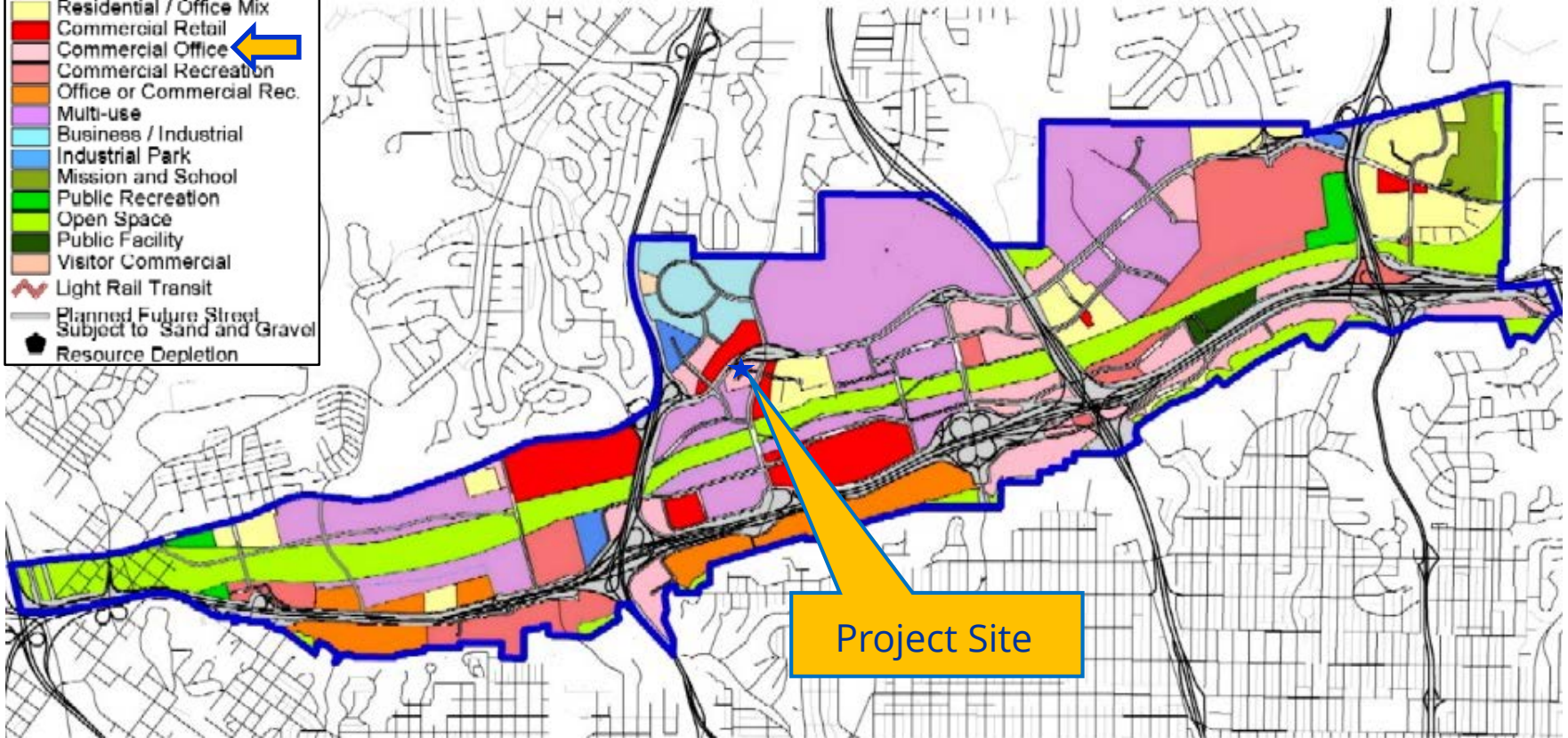


Project Location Map

MISSION CENTER COURT MARIJUANA OUTLET/7850 Mission Center Court, Suite 101
PROJECT NO. 542366

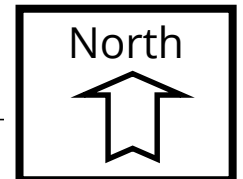


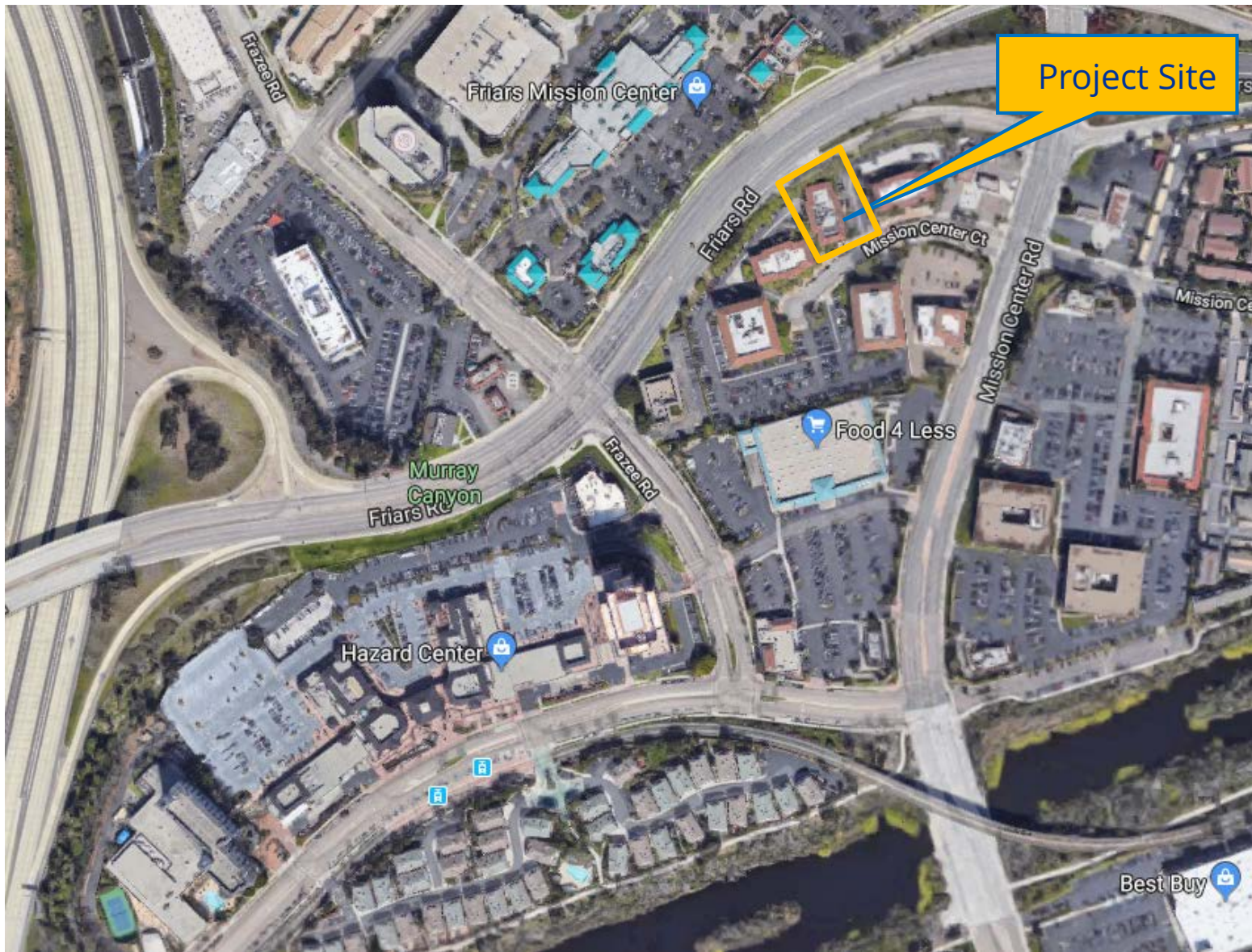
Mission Valley Community Plan Land Use



Community Land Use Map

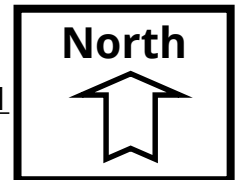
MISSION CENTER COURT MARIJUANA OUTLET/7850 Mission Center Court, Suite 101
PROJECT NO. 542366





Aerial Photograph

MISSION CENTER COURT MARIJUANA OUTLET/7850 Mission Center Court, Suite 101
PROJECT NO. 542366



HEARING OFFICER RESOLUTION NO. _____

CONDITIONAL USE PERMIT NO. 1911475

MISSION CENTER COURT MARIJUANA OUTLET - PROJECT NO. 542366

WHEREAS, MISSION PROPERTIES LLC, a California Limited Liability Company, Owner, and RAKESH GOYAL, an Individual, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Outlet in a 2,351-square-foot tenant space, Suite 101, on the first floor of an existing 14,751-square-foot, two-story commercial office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.1911475), on portions of a 0.66-acre site; and

WHEREAS, the project site is located at 7850 Mission Center Court, Suite 101, in the MV-CO Zone of the Mission Valley Planned District (MVPD), Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area (Review Area 2) for San Diego International Airport (SDIA) and Montgomery Field, and the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field) Overlay Zone, within the Mission Valley Community Plan area; and

WHEREAS, the project site is legally described as Lot 3 of the Friars Professional Park Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6726, filed on September 1, 1970, in the Office of the County Recorder of San Diego County; and

WHEREAS, on November 17, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), and the Environmental Determination was appealed to City Council, which the appeal was withdrawn from City Council on January 26, 2018; and

WHEREAS, on March 7, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1911475 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following written Findings, dated March 7, 2018, with respect to Conditional Use Permit No. 1911475:

Conditional Use Permit Approval – SDMC Section 126.0305

(a) The proposed development will not adversely affect the applicable land use plan.

The project proposes a Conditional Use Permit (CUP) to allow the operation of a Marijuana Outlet (Outlet) in a 2,351-square-foot tenant space, Suite 101, on the first floor of an existing 14,751-square-foot, two-story commercial office building. The 0.66-acre project site is located at 7850 Mission Center Court within the Mission Valley Community Plan (MVCP) area.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-

administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments at this location with a CUP. Therefore, the proposed Outlet will not adversely affect the applicable land use plan.

(b) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large.

Approval of the CUP would allow the sale of marijuana to be conditioned in order to prevent potential adverse impacts on the community. The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504(b) through (m), which have also been incorporated as conditions in the CUP, including prohibiting consultation by medical professionals on-site, prohibiting the use of specified vending machines except by a responsible person (as defined by the SDMC), provision of interior and exterior lighting, operable cameras, alarms, and a security guard, restriction of hours of operation to between 7:00 am and 9:00 pm daily, maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours, and restriction of signage to business name, two-color signs, and alphabetic characters.

In addition to the above, the CUP includes additional security conditions to improve the safety of the building and surrounding neighborhood, including the provision of operable surveillance cameras and a metal detector, use of cameras with a recording device that maintains records for a minimum of 30 days, two security guards during business hours with one security guard present on the premises 24 hours a day, seven days a week, installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees, and installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area, and vault room. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. The CUP is valid for five years, however, may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provision of the permit.

Furthermore, construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through construction review and building inspections completed by the City's building inspectors.

The City of San Diego conducted an environmental review of this project in accordance with the CEQA Guidelines, and concluded there would be no environmental impacts associated with the proposed project. Based on all the project features and conditions of approval, the proposed development will not be detrimental to the public health, safety, and welfare.

(c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the operation of an Outlet within an existing 2,351-square-foot tenant space located on the first floor of an existing 14,751-square-foot building. The proposed Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to SDMC Sections 141.0504 and 1514.0305(b). The project has been determined to be exempt from the MVPD pursuant to SDMC Section 1514.0201(b)(1) as the project proposes interior modifications with no change in use pursuant to Table 1514-04J of the MVPD Ordinance, which considers similar development characteristics and intensity of use between commercial Outlets and commercial office uses. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Pursuant to SDMC Section 141.0504(a), Outlets are subject to separation requirements including a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten or grades One to Twelve. There is also a minimum distance requirement of 100 feet from a residential zone.

Distance between uses is measured between property lines in accordance with SDMC Section 113.0225. Pursuant to SDMC Section 113.0225(c), where there is a natural topographical barrier or constructed barrier, distance is measured as the most direct route around the barrier in a manner that establishes direct access. The property line of the Outlet to the property line of the school (Audeo Charter School) and church (Mission Trails Church Mission Valley) is less than 1,000-feet. However, there are existing constructed barriers that will impede direct physical access between the Outlet and the school, and the Outlet and the church. Direct, public pedestrian paths of travel, from the project site to the school and church, around constructed barriers are greater than 1,000 feet. In addition, no residential zone is located 100-feet from the Outlet. Therefore, the proposed Outlet is in compliance with the required separation requirements.

The project is proposed within an existing structure constructed in 1972 in accordance with all applicable development regulations. The Outlet is required to have 36 off-street parking spaces. The Outlet proposes 36 off-street parking spaces. Nine of these 36 spaces are shared with the adjacent property through a shared parking agreement. The project is required to provide 73 off-street parking spaces, 36 for the proposed 2,351-square-foot Outlet and 37 for the remaining office/commercial service uses. The project will retain 2,435

square-feet of building floor area as vacant within the 14,751-square-foot building and remain unoccupied during the term of the CUP.

The CUP for the project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with all the relevant regulations of the SDMC for an Outlet. No variance or deviations are requested as part of this application, nor are any required to approve the CUP. Therefore, the proposed development will comply with the regulations of the Land Development Code.

(d) The proposed use is appropriate at the proposed location.

The proposed Outlet is a request for a CUP to operate in a 2,351-square-foot tenant space on the first floor of an existing 14,751-square-foot, two-story commercial office building. The existing two-story office building was constructed in 1972 and includes several business and professional office suites. The project site is surrounded by multi-story commercial office buildings to the east, west, and south, and Friars Road, a 6-lane major street, to the north.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments.

The proposed Outlet is allowed in the MV-CO Zone of the MVPD with a CUP and is subject to separation requirements set forth in SDMC Section 141.0504(a) including a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten or grades One to Twelve. There is also a minimum distance requirement of 100 feet from a residential zone.

Distance between uses is measured between property lines in accordance with SDMC Section 113.0225. Pursuant to SDMC Section 113.0225(c), where there is a natural topographical barrier or constructed barrier, distance can be measured as the most direct route around the barrier in a manner that establishes direct access. The property line of the Outlet to the property line of the school (Audeo Charter School) and church (Mission Trails Church Mission Valley) is less than 1,000-feet. However, there are existing constructed barriers that will impede direct physical access between the Outlet and the school, and the Outlet and the church. Direct, public pedestrian paths of travel, from the project site to the school and church, around existing constructed barriers are greater than 1,000 feet. In addition, no residential zone is located 100-feet from the Outlet. Therefore, the proposed Outlet is in compliance with the required separation requirements.

The SDMC limits Outlets to commercial and industrial zones and the number of Outlets to only four per Council District, 36 city-wide, in order to minimize the impact on the City and residential neighborhoods. After the issuance of this CUP, a total of four Outlets will exist for this Council District, and thereby complies with SDMC 141.0504. All of the surrounding parcels are in the MV-CO Zone and the existing uses are consistent with the Commercial Office designation of the community plan and compatible uses with an Outlet. Therefore, based on all of the facts cited above, the proposed development is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings adopted by the Hearing Officer, Conditional Use Permit No. 1911475 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1911475, a copy of which is attached hereto and made a part hereof.

Cherlyn Cac
Development Project Manager
Development Services

Adopted on: March 7, 2018

IO#: 24007219

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007219

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1911475
MISSION CENTER COURT MARIJUANA OUTLET PROJECT NO. 542366
HEARING OFFICER

This Conditional Use Permit No. 1911475 ("Permit") is granted by the Hearing Officer of the City of San Diego to Mission Properties LLC, a California Limited Liability Company, Owner, and Rakesh Goyal, an Individual, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 0.66-acre site is located at 7850 Mission Center Court, Suite 101 in the MV-CO Zone of the Mission Valley Planned District (MVPD-MV-CO), Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area (Review Area 2) for San Diego International Airport (SDIA) and Montgomery Field, and the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field) Overlay Zone, within the Mission Valley Community Plan area. The project site is legally described as: Lot 3 of the Friars Professional Park Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6726, filed on September 1, 1970, in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate a Marijuana Outlet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 7, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Outlet in a 2,351-square-foot tenant space, located on the first floor of an existing 14,751-square-foot, two-story commercial building at 7850 Mission Center Court, Suite 101;
- b. Suite Numbers 201, 205, 208, and 208A located on the second floor of the 14,751-square-foot building, and totaling 2,435-square-feet, as shown on Exhibit "A," are to remain vacant and unoccupied for the term of the subject Conditional Use Permit;
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 7, 2021.
2. This Permit and corresponding use of this site shall expire on March 7, 2023. The Owner/Permittee may request that the expiration date be extended in accordance with SDMC Section 141.0504(n).
3. In addition to other provisions of the law, the Marijuana Outlet must comply with Chapter 4, Article 2, Division 15 and Chapter 14, Article 1, Division 5 of the San Diego Municipal Code.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
 - c. A Marijuana Outlet Permit issued by the Development Services Department is approved in accordance with SDMC Section 42.1504.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

12. The use within the 2,351-square-foot tenant space shall be limited to a Marijuana Outlet and any use permitted by right in the MV-CO Zone of the Mission Valley Planned District.

13. The sale of marijuana shall be prohibited without a valid license from the State authorizing such activity.
14. The Owner/Permittee shall obtain a Marijuana Outlet Permit as required pursuant to SDMC Chapter 4, Article 2, Division 15.
15. Each responsible person at this Marijuana Outlet shall undergo fingerprinting, a criminal background check, and report convictions as required pursuant to SDMC Chapter 4, Article 2, Division 15.
16. Consultations by medical professionals shall not be a permitted accessory use at this Marijuana Outlet.
17. Deliveries shall be permitted as an accessory use only with a valid Conditional Use Permit unless otherwise allowed pursuant to Compassionate Use Act of 1996.
18. The Owner/Permittee shall provide lighting to illuminate the interior of the Marijuana Outlet, façade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
19. The Owner/Permittee shall install and maintain operable security cameras and a metal detector for security to the satisfaction of Development Services Department. The security cameras shall have and use a recording device that maintains the recordings for a minimum of 30 days. This Marijuana Outlet shall also include alarms and two security guards. The security guards shall be licensed by the State of California. Two security guards must be on the premises during business hours. At least one security guard must be on the premises 24 hours a day, seven days a week. The security guards should only be engaged in activities related to providing security for the Marijuana Outlet, except on an incidental basis.
20. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.
21. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.
22. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Ground signs shall not be pole signs. A primary sign shall be posted on the outside of the Marijuana Outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.

23. The Owner/Permittee shall post and maintain a sign showing the name and emergency contact phone number of an operator or manager in a location visible from outside the Marijuana Outlet in font size at least two inches in height.
24. The Marijuana Outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
25. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in the SDMC Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.
26. The Owner/Permittee shall maintain the Marijuana Outlet, adjacent public sidewalks, and areas under the control of the Owner/Permittee, free of litter and graffiti at all times.
27. The Owner/Permittee shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
28. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of eliminating excessive or offensive odors causing discomfort or annoyance to any reasonable person of normal sensitivities standing outside of the structural envelope of this Marijuana Outlet facility in compliance with SDMC Section 142.0710.
29. Medical marijuana, recreational marijuana, or marijuana products, in any form, shall not be consumed anywhere within the 0.66-acre site.

TRANSPORTATION REQUIREMENTS

30. All automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
31. The proposed 2,351-square-foot Marijuana Outlet shall lease an additional 2,435-square-foot within the 14,751-square-foot building and retain it as vacant space. The lease shall specifically state that the additional 2,435-square-feet of leased space is to be kept vacant and not to be occupied at any time during the entire term, for any use whatsoever, including storage space.
32. Prior to the issuance of any construction permit, the Owner/Permittee shall restripe the parking stalls on parcel APN 438-011-1500 in accordance with the approved Exhibit A, and shall provide a sufficient number of parking spaces to comply with SDMC parking requirements, satisfactory to the Building Official.
33. Prior to the issuance of any building permit, the Owner/Permittee shall construct an accessible path from the building entrance to the public street, satisfactory to the Building Official.

34. Prior to the issuance of any construction permit, the Owner/Permittee shall provide a copy of a recorded joint use driveway/mutual access agreement between all parcels/lots affected, satisfactory to the City Engineer.

35. Prior to the issuance of any construction permit, the Owner/Permittee shall provide a copy of a recorded shared parking agreement between all parcels/lots affected, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

36. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

37. Prior to issuance of any construction permits for site work and tenant improvements, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department.

38. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

39. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees shall not be permitted.

40. If any required landscape, including existing or new plantings, hardscape, landscape features, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

ENGINEERING REQUIREMENTS:

41. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new driveway per current City Standards, adjacent to the site on Mission Center Court, satisfactory to the City Engineer.

42. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

43. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 7, 2018 and [Approved Resolution Number].

Permit Type/PTS Approval No.: Conditional Use Permit No. 1911475
Date of Approval: March 7, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Cherlyn Cac
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

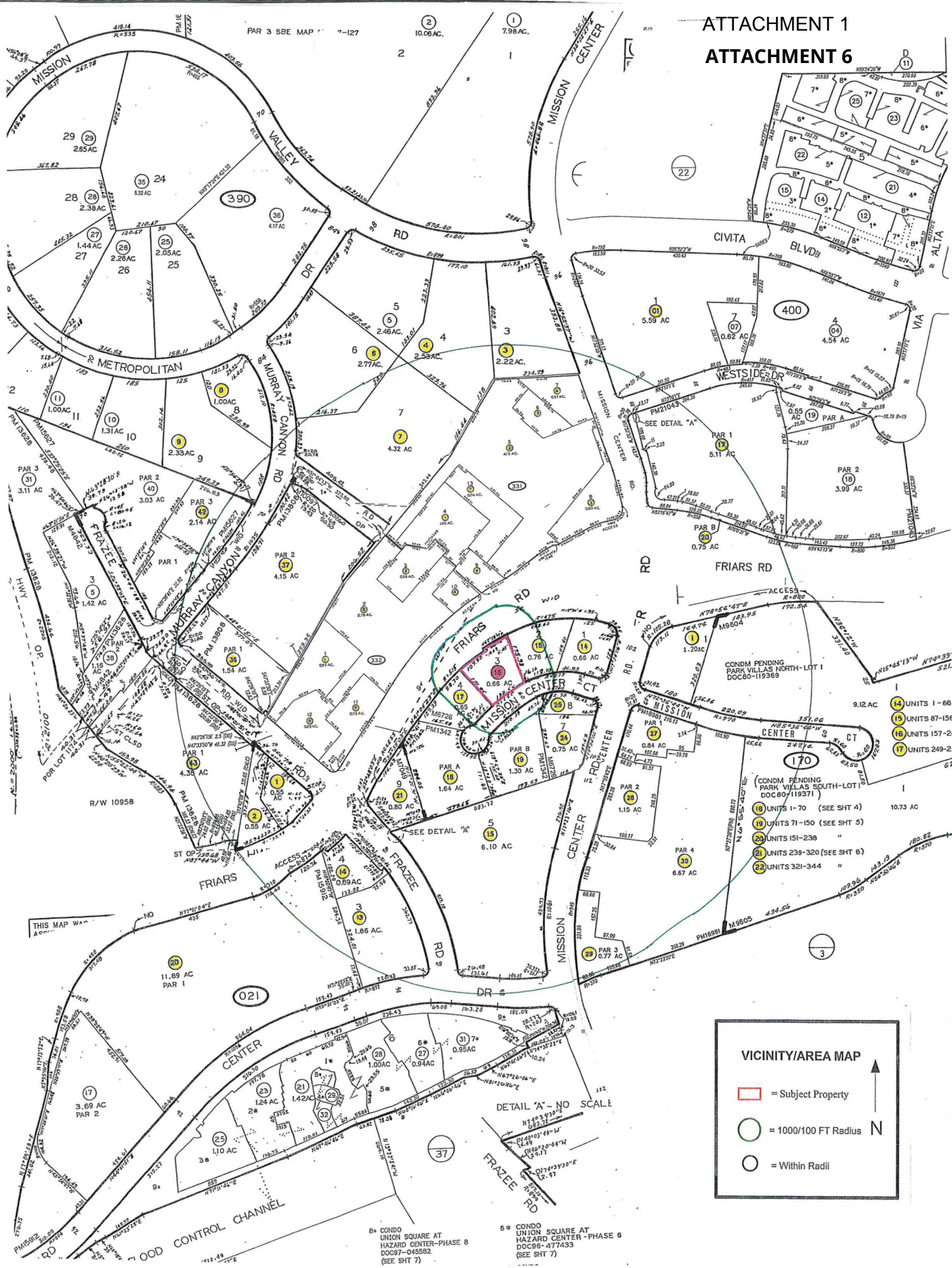
**Mission Properties, LLC, a California
Limited Liability Company**
Owner

By _____
Michael Abdou
Managing Member

Rakesh Goyal, an Individual
Permittee

By _____
Rakesh Goyal

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



ATTACHMENT 1

ATTACHMENT 7

100 & 1000-FOOT RADIUS MAP SPREADSHEET

MMCC 100FT PARCEL LIST							ATTACHMENT 7
APN: 438-011-16							
#	Use Description	Site Address	City	State	Zip	Parcel Number	Owner Name
1	STORES, RETAIL OUTLET	7860 MISSION CENTER CT	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
2	STORES, RETAIL OUTLET	7850 MISSION CENTER CT	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC
3	STORES, RETAIL OUTLET	7840 MISSION CENTER CT	SAN DIEGO	CA	92108	438-011-17-00	HANNON RANCHES LTD
4	STORES, RETAIL OUTLET	7851 MISSION CENTER CT	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC
5	VACANT INDUSTRIAL	MISSION CENTER CT	SAN DIEGO	CA	92108	438-011-25-00	FRAZEE MISSION VALLEY PROPERTIES

NO RESIDENTIAL PROPERTIES WITHIN 100FT

MMCC 1000FT BUSINESS PARCEL LIST

APN: 438-011-16

ATTACHMENT 7

#	Use Description	Site Address	City	State	Zip	Parcel Number	Owner/Business Name
1	SERVICE STATION, GAS STATION	7698 FRIARS RD	SAN DIEGO	CA	92108	438-011-01-00	HAZARD CENTER AUTO MART
2	RESTAURANT, BAR, FOOD SERVICE	7676 FRIARS RD	SAN DIEGO	CA	92108	438-011-02-00	DENNY'S
3	SERVICE STATION, GAS STATION	5494 MISSION CENTER RD	SAN DIEGO	CA	92108	438-011-14-00	AKB PETROLEUM
4	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 100	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
5	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 103	SAN DIEGO	CA	92108	438-011-15-00	GREEN BIRD MEDIA
6	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 105	SAN DIEGO	CA	92108	438-011-15-00	IMMIGRATION CONSULTING GROUP
7	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 106	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
8	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 107	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
9	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 108	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
10	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 109	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
11	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 111	SAN DIEGO	CA	92108	438-011-15-00	SHAW LESLIE S
12	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 200	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
13	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 201	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
14	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 202	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
15	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 203	SAN DIEGO	CA	92108	438-011-15-00	THESOPHICAL LIBRARY CTR.
16	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 204	SAN DIEGO	CA	92108	438-011-15-00	CLARKS COUNSELING CTR.
17	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 205	SAN DIEGO	CA	92108	438-011-15-00	ADVISORS GROUP
18	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 206	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
19	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 207	SAN DIEGO	CA	92108	438-011-15-00	CLARK CENTER
20	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 208	SAN DIEGO	CA	92108	438-011-15-00	M P S MISSION LLC
21	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 209	SAN DIEGO	CA	92108	438-011-15-00	LOPEZ MICHELLE

22	STORES, RETAIL OUTLET	7860 MISSION CENTER CT STE 210	SAN DIEGO	CA	92108	438-011-15-00	M P MISSION LLC	ATTACHMENT 7
23	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 100	SAN DIEGO	CA	92108	438-011-16-00	BURNS DANIELLE J	
24	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 102	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
25	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 103	SAN DIEGO	CA	92108	438-011-16-00	MICHAEL ABDOU INSURANCE	
26	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 104	SAN DIEGO	CA	92108	438-011-16-00	DIAMOND & JEWELRY WHOLESALE	
27	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 200	SAN DIEGO	CA	92108	438-011-16-00	SHAMON LAW PC	
28	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 202	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
29	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 203	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
30	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 204	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
31	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 205	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
32	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 207	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
33	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 208	SAN DIEGO	CA	92108	438-011-16-00	MISSION PROPERTIES LLC	
34	STORES, RETAIL OUTLET	7850 MISSION CENTER CT STE 209	SAN DIEGO	CA	92108	438-011-16-00	SILBERMAN LAM LLP	
35	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 100	SAN DIEGO	CA	92108	438-011-17-00	HALLMAN FAMILY JEWELRY CO.	
36	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 101	SAN DIEGO	CA	92108	438-011-17-00	HANNON RANCHES LTD	
37	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 102	SAN DIEGO	CA	92108	438-011-17-00	RESOURCE GROUP	
38	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 103	SAN DIEGO	CA	92108	438-011-17-00	HANNON RANCHES LTD	
39	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 104	SAN DIEGO	CA	92108	438-011-17-00	KIWAN JOHN G	
40	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 105	SAN DIEGO	CA	92108	438-011-17-00	ALPHA TRUST CHIROPRACTIC	
41	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 106	SAN DIEGO	CA	92108	438-011-17-00	RICHMAN MANAGEMENT CORP.	
42	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 115	SAN DIEGO	CA	92108	438-011-17-00	HANNON RANCHES LTD	
43	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 200	SAN DIEGO	CA	92108	438-011-17-00	LYONS HEATHER L	
44	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 201	SAN DIEGO	CA	92108	438-011-17-00	INTERNATIONAL REALTY & INVESTMENT	

45	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 202	SAN DIEGO	CA	92108	438-011-17-00	HANNON RANCHES LTD	ATTACHMENT 7
46	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 203	SAN DIEGO	CA	92108	438-011-17-00	WATKINS JR. EDWARD C	
47	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 204	SAN DIEGO	CA	92108	438-011-17-00	CHAMPLIN ROBIN	
48	MUSIC SCHOOL	7840 MISSION CENTER CT STE 205	SAN DIEGO	CA	92108	438-011-17-00	THE MUSIC THERAPY CENTER OF CALIFORNIA	
49	STORES, RETAIL OUTLET	7840 MISSION CENTER CT STE 206	SAN DIEGO	CA	92108	438-011-17-00	CELESTE & ASSOC. CPA	
50	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 100	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
51	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 103	SAN DIEGO	CA	92108	438-011-18-00	SWISS CLEANING SVC.	
52	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 104	SAN DIEGO	CA	92108	438-011-18-00	BLINK LASH BOUTIQUE MSN VLY.	
53	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 105	SAN DIEGO	CA	92108	438-011-18-00	VILA DELICATESSEN	
54	OFFICE	7801 MISSION CENTER CT STE 106	SAN DIEGO	CA	92108	438-011-18-00	AALL CARE IN HOME SERVICES	
55	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 200	SAN DIEGO	CA	92108	438-011-18-00	BENEFIT ARRAY INSURANCE SVC.	
56	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 202	SAN DIEGO	CA	92108	438-011-18-00	GUNSET MARY	
57	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 204	SAN DIEGO	CA	92108	438-011-18-00	KATHY LOPER RACE CONSULTANT	
58	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 210	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
59	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 220	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
60	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 223	SAN DIEGO	CA	92108	438-011-18-00	KEVIN MCCAREY	
61	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 226	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
62	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 245	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
63	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 250	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
64	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 255	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
65	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 300	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
66	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 310	SAN DIEGO	CA	92108	438-011-18-00	AFSHAHR POUYA MD	
67	MEDICAL	7801 MISSION CENTER CT STE 320	SAN DIEGO	CA	92108	438-011-18-00	MISSION VALLEY REHABILITATION	

68	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 330	SAN DIEGO	CA	92108	438-011-18-00	PHYSICIANS CHOICE ACUPUNCTURE	ATTACHMENT 7
69	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 400	SAN DIEGO	CA	92108	438-011-18-00	STANLEY L LEVINE LAW OFFICE	
70	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 401	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
71	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 405	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
72	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 410	SAN DIEGO	CA	92108	438-011-18-00	DOCUMENT PROCESSING SVC.	
73	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 430	SAN DIEGO	CA	92108	438-011-18-00	KEITH MAHLER PHYSICAL THERAPY	
74	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 440	SAN DIEGO	CA	92108	438-011-18-00	CERTIFIED CAREER CONSULTANTS	
75	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 450	SAN DIEGO	CA	92108	438-011-18-00	HAPP LAW GROUP PC	
76	STORES, RETAIL OUTLET	7801 MISSION CENTER CT STE 455	SAN DIEGO	CA	92108	438-011-18-00	FRIARS OFFICE BUILDING LLC	
77	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 100	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC	
78	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 101	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC	
79	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 103	SAN DIEGO	CA	92108	438-011-19-00	REHABILITATION CARE COORDNTN	
80	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 104	SAN DIEGO	CA	92108	438-011-19-00	TELOPHASE CREMATION SOCIETY	
81	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 108	SAN DIEGO	CA	92108	438-011-19-00	SAN DIEGO LEGAL SVC. INC.	
82	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 110	SAN DIEGO	CA	92108	438-011-19-00	VOZ DE VICTORIA	
83	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 112	SAN DIEGO	CA	92108	438-011-19-00	CITY LINE MORTGAGE CORP.	
84	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 115	SAN DIEGO	CA	92108	438-011-19-00	MASS MARKETING SVC. LLC	
85	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 200	SAN DIEGO	CA	92108	438-011-19-00	ACCENTCARE	
86	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 205	SAN DIEGO	CA	92108	438-011-19-00	ADVANCE CARE SPCLST. MED CLINIC	
87	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 206	SAN DIEGO	CA	92108	438-011-19-00	ANITA'S HOUSEKEEPING REFERRAL	
88	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 208	SAN DIEGO	CA	92108	438-011-19-00	YEAB INC; MAIN NUMBER	
89	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 210	SAN DIEGO	CA	92108	438-011-19-00	ALC INC.	
90	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 250	SAN DIEGO	CA	92108	438-011-19-00	STUHR INSURANCE SOLUTIONS	

91	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 255	SAN DIEGO	CA	92108	438-011-19-00	RESCARE HOMECARE	ATTACHMENT 7
92	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 260	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC	
93	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 262	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC	
94	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 300	SAN DIEGO	CA	92108	438-011-19-00	ADVANCED HEALTH CARE	
95	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 302	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC	
96	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 306	SAN DIEGO	CA	92108	438-011-19-00	WORK CO. MEDICAL SVC. CO.	
97	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 310	SAN DIEGO	CA	92108	438-011-19-00	A D LIVESCAN & NOTARY SVC.	
98	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 312	SAN DIEGO	CA	92108	438-011-19-00	DON JOHN A	
99	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 320	SAN DIEGO	CA	92108	438-011-19-00	CROWN INVESTMENT CO INC	
100	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 322	SAN DIEGO	CA	92108	438-011-19-00	BRIDGES EDUCATIONAL CORP.	
101	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 324	SAN DIEGO	CA	92108	438-011-19-00	NATIONS INTEGRATIVE ACPNCTR.	
102	STORES, RETAIL OUTLET	7851 MISSION CENTER CT STE 326	SAN DIEGO	CA	92108	438-011-19-00	CALIFORNIA MEDICAL COLLEGE	
103	COMMERCIAL MISCELLANEOUS	7717 FRIARS RD	SAN DIEGO	CA	92108	438-011-21-00	ROBBINS BROTHERS	
104	STORES, RETAIL OUTLET	5448 MISSION CENTER RD	SAN DIEGO	CA	92108	438-011-24-00	TOTAL WOMAN GYM & DAY SPA	
105	VACANT INDUSTRIAL	VACANT/PARKING LOT	SAN DIEGO	CA	92108	438-011-25-00	FRAZEE MISSION VALLEY PROPERTIES	
106	STORES, RETAIL OUTLET	1455 FRAZEE RD	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
107	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 100	SAN DIEGO	CA	92108	438-011-36-00	JERRY'S DETAILING & HAND CAR	
108	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 1000	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
109	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 1010	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
110	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 102	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
111	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 104	SAN DIEGO	CA	92108	438-011-36-00	US BANK MORTGAGE	
112	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 150	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
113	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 200	SAN DIEGO	CA	92108	438-011-36-00	ZOOLOGICAL SOCIETY-SAN DIEGO	

114	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 210	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	ATTACHMENT 7
115	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 220	SAN DIEGO	CA	92108	438-011-36-00	BERLITZ LANGUAGE CENTER	
116	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 300	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
117	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 302	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
118	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 305	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
119	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 310	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
120	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 315	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
121	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 400	SAN DIEGO	CA	92108	438-011-36-00	SAN DIEGO D M V DRIVER SAFETY	
122	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 404	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
123	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 406	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
124	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 408	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
125	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 410	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
126	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 415	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
127	STORES, RETAIL OUTLET	1455 FRAZEE RD STE -42	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
128	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 420	SAN DIEGO	CA	92108	438-011-36-00	ON ASSIGNMENT LAB SUPPORT	
129	STORES, RETAIL OUTLET	1455 FRAZEE RD STE -43	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
130	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 500	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
131	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 508	SAN DIEGO	CA	92108	438-011-36-00	CNA	
132	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 510	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
133	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 512	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
134	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 515	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
135	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 600	SAN DIEGO	CA	92108	438-011-36-00	RSM	
136	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 610	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	

137	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 650	SAN DIEGO	CA	92108	438-011-36-00	TROVILLION INVEISS & DEMAKIS	ATTACHMENT 7
138	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 700	SAN DIEGO	CA	92108	438-011-36-00	CACI INC.	
139	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 710	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
140	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 718	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
141	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 720	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
142	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 800	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
143	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 801	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
144	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 802	SAN DIEGO	CA	92108	438-011-36-00	LAW OFFICE LINDA LIBERTUCCI	
145	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 802A	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
146	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 803	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
147	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 805	SAN DIEGO	CA	92108	438-011-36-00	F S P PAC CENTER LLC	
148	STORES, RETAIL OUTLET	1455 FRAZEE RD STE 900	SAN DIEGO	CA	92108	438-011-36-00	US NAVAL FACILITIES ENGNRNG	
149	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 100	SAN DIEGO	CA	92108	438-011-37-00	ARGOSY UNIVERSITY-SAN DIEGO	
150	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 1000	SAN DIEGO	CA	92108	438-011-37-00	ROEL CONSTRUCTION CO.	
151	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 120	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
152	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 140	SAN DIEGO	CA	92108	438-011-37-00	BOOZ ALLEN HAMILTON	
153	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 150	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
154	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 200	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
155	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 220	SAN DIEGO	CA	92108	438-011-37-00	PIERCE C	
156	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 230	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
157	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 300	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
158	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 400	SAN DIEGO	CA	92108	438-011-37-00	MAXIM SYSTEMS	
159	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 410	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	

160	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 415	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	ATTACHMENT 7
161	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 502	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
162	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 510	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
163	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 515	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
164	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 550	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
165	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 600	SAN DIEGO	CA	92108	438-011-37-00	GENERAL DYNAMICS INFO. TECH	
166	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 602	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
167	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 615	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
168	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 700	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
169	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 705	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
170	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 710	SAN DIEGO	CA	92108	438-011-37-00	KBZT-B94 9 FM-REQUEST LINE	
171	STORES, RETAIL OUTLET	1615 MURRAY CANYON RD STE 720	SAN DIEGO	CA	92108	438-011-37-00	F S P PAC CENTER LLC	
172	WAREHOUSE, STORAGE	1550 MURRAY CANYON RD	SAN DIEGO	CA	92108	438-011-42-00	MISSION VALLEY III STORAGE	
173	STORES, RETAIL OUTLET	1450 FRAZEE RD 405	SAN DIEGO	CA	92108	438-011-43-00	MENLO	
174	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR FL 12	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
175	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 100	SAN DIEGO	CA	92108	438-021-13-00	AMY BLUME	
176	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1000	SAN DIEGO	CA	92108	438-021-13-00	VOLT SERVICES GROUP	
177	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1025	SAN DIEGO	CA	92108	438-021-13-00	ELECTRIC CHARGING STATION	
178	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1050	SAN DIEGO	CA	92108	438-021-13-00	BAIR FINANCIAL GROUP	
179	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1100	SAN DIEGO	CA	92108	438-021-13-00	FIRST AMERICAN TITLE INS CO.	
180	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1150	SAN DIEGO	CA	92108	438-021-13-00	CCLM INC.	
181	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1200	SAN DIEGO	CA	92108	438-021-13-00	ZENITH INS CO.	
182	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1300	SAN DIEGO	CA	92108	438-021-13-00	AKT LLP	

183	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1320	SAN DIEGO	CA	92108	438-021-13-00	SOLOMON PAGE GROUP	ATTACHMENT 7
184	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1400	SAN DIEGO	CA	92108	438-021-13-00	STEWART TITLE CO.	
185	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 150	SAN DIEGO	CA	92108	438-021-13-00	AKERS GLADIS	
186	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1500	SAN DIEGO	CA	92108	438-021-13-00	AMERICAN GENERAL LIFE & ACCDNT	
187	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1540	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
188	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1550	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
189	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 1560	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
190	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 180	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
191	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 200	SAN DIEGO	CA	92108	438-021-13-00	KRAUSE TAMARA	
192	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 201	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
193	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 210	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
194	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 300	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
195	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 340	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
196	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 350	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
197	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 400	SAN DIEGO	CA	92108	438-021-13-00	XEROX OF SO CAL/LAS VEGAS	
198	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 450	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
199	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 500	SAN DIEGO	CA	92108	438-021-13-00	FOWLER EMMI	
200	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 600	SAN DIEGO	CA	92108	438-021-13-00	FINGER WADE JOYNER AGT.	
201	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 625	SAN DIEGO	CA	92108	438-021-13-00	WILKINSON AND FINKBEINER	
202	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 650	SAN DIEGO	CA	92108	438-021-13-00	TOYOTA & LEXUS FINANCIAL SVC.	
203	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 700	SAN DIEGO	CA	92108	438-021-13-00	KUHN & KOVIK INC.	
204	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 725	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
205	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 750	SAN DIEGO	CA	92108	438-021-13-00	DCS CORP.	

206	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 800	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	ATTACHMENT 7
207	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 810	SAN DIEGO	CA	92108	438-021-13-00	GARTNER INC.	
208	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 845	SAN DIEGO	CA	92108	438-021-13-00	P M REALTY	
209	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 850	SAN DIEGO	CA	92108	438-021-13-00	BEVERMAN BEVERMAN STOFFEL	
210	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 880	SAN DIEGO	CA	92108	438-021-13-00	GUARDIAN LIFE INS CO-AMERICA	
211	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 900	SAN DIEGO	CA	92108	438-021-13-00	SEAMAN CHRISTOPHER	
212	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 900A	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
213	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 900C	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
214	STORES, RETAIL OUTLET	7676 HAZARD CENTER DR STE 950	SAN DIEGO	CA	92108	438-021-13-00	7510 HAZARD LLC	
215	RESTAURANT, BAR, FOOD SERVICE	1370 FRAZEE RD	SAN DIEGO	CA	92108	438-021-14-00	BJ'S RESTAURANT & BREWHOUSE	
216	SHOPPING CENTER	7710 HAZARD CENTER DR PMB	SAN DIEGO	CA	92108	438-021-15-00	R E HAZARD CONTRACTING CO	
217	SHOPPING CENTER	7710 HAZARD CENTER DR STE A	SAN DIEGO	CA	92108	438-021-15-00	R E HAZARD CONTRACTING CO	
218	SHOPPING CENTER	7710 HAZARD CENTER DR STE B	SAN DIEGO	CA	92108	438-021-15-00	R E HAZARD CONTRACTING CO	
219	SHOPPING CENTER	7710 HAZARD CENTER DR STE C	SAN DIEGO	CA	92108	438-021-15-00	PURE SALON	
220	SHOPPING CENTER	7710 HAZARD CENTER DR STE D	SAN DIEGO	CA	92108	438-021-15-00	SAN SAI JAPANESE GRILL	
221	SHOPPING CENTER	7710 HAZARD CENTER DR STE E	SAN DIEGO	CA	92108	438-021-15-00	PEOPLE HELPING OTHERS PROPERTY	
222	SHOPPING CENTER	7730 HAZARD CENTER DR	SAN DIEGO	CA	92108	438-021-15-00	REIDS WINDOW TINTING	
223	SHOPPING CENTER	7740 HAZARD CENTER DR	SAN DIEGO	CA	92108	438-021-15-00	JACK IN THE BOX	
224	SHOPPING CENTER	7450 HAZARD CENTER DR	SAN DIEGO	CA	92108	438-021-20-00	DOUBLETREE BY HILTON HOTEL SAN DIEGO	
225	SHOPPING CENTER	7510 HAZARD CENTER DR STE 100	SAN DIEGO	CA	92108	438-021-20-00	MISSION TRAILS CHURCH MSN VLY.	
226	SHOPPING CENTER	7510 HAZARD CENTER DR STE 201	SAN DIEGO	CA	92108	438-021-20-00	LAKESHORE LEARNING MATERIALS	
227	SHOPPING CENTER	7510 HAZARD CENTER DR STE 203	SAN DIEGO	CA	92108	438-021-20-00	NEW IMAGE DENTAL	
228	SHOPPING CENTER	7510 HAZARD CENTER DR STE 211	SAN DIEGO	CA	92108	438-021-20-00	FEDEX OFFICE PRINT & SHIP CTR.	

229	SHOPPING CENTER	7510 HAZARD CENTER DR STE 215	SAN DIEGO	CA	92108	438-021-20-00	WOOD RANCH BBQ & GRILL	ATTACHMENT 7
230	SHOPPING CENTER	7510 HAZARD CENTER DR STE 401	SAN DIEGO	CA	92108	438-021-20-00	JEWELRY DESIGNS BY STUART	
231	SHOPPING CENTER	7510 HAZARD CENTER DR STE 405	SAN DIEGO	CA	92108	438-021-20-00	STUART BENJAMIN-CO JEWELRY	
232	SHOPPING CENTER	7510 HAZARD CENTER DR STE 407	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
233	SHOPPING CENTER	7510 HAZARD CENTER DR STE 417	SAN DIEGO	CA	92108	438-021-20-00	FIRST FINANCIAL FEDERAL CREDIT UNION	
234	SHOPPING CENTER	7510 HAZARD CENTER DR STE 505	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
235	SHOPPING CENTER	7510 HAZARD CENTER DR STE 507	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
236	SHOPPING CENTER	7510 HAZARD CENTER DR STE 517	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
237	SHOPPING CENTER	7510 HAZARD CENTER DR STE 601	SAN DIEGO	CA	92108	438-021-20-00	JENNY CRAIG	
238	SHOPPING CENTER	7510 HAZARD CENTER DR STE 605	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
239	SHOPPING CENTER	7510 HAZARD CENTER DR STE 607	SAN DIEGO	CA	92108	438-021-20-00	TIMELESS AGE DEFYING LASE CLINIC INC.	
240	SHOPPING CENTER	7510 HAZARD CENTER DR STE 611	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
241	SHOPPING CENTER	7510 HAZARD CENTER DR STE 619	SAN DIEGO	CA	92108	438-021-20-00	ARTHUR MURRAY DANCE	
242	SHOPPING CENTER	7610 HAZARD CENTER DR STE 101	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
243	SHOPPING CENTER	7610 HAZARD CENTER DR STE 113	SAN DIEGO	CA	92108	438-021-20-00	SO CAL AUTOSPA	
244	SHOPPING CENTER	7610 HAZARD CENTER DR STE 301	SAN DIEGO	CA	92108	438-021-20-00	7510 HAZARD LLC	
245	SHOPPING CENTER	7610 HAZARD CENTER DR STE 315	SAN DIEGO	CA	92108	438-021-20-00	BARNES & NOBLE	
246	SHOPPING CENTER	7610 HAZARD CENTER DR STE 501	SAN DIEGO	CA	92108	438-021-20-00	WHICH WICH SUPERIOR SANDWICHES	
247	SHOPPING CENTER	7610 HAZARD CENTER DR STE 503	SAN DIEGO	CA	92108	438-021-20-00	LAVISH NAILS & LOUNGE	
248	SHOPPING CENTER	7610 HAZARD CENTER DR STE 513	SAN DIEGO	CA	92108	438-021-20-00	STARBUCKS	
249	SHOPPING CENTER	7610 HAZARD CENTER DR STE 515	SAN DIEGO	CA	92108	438-021-20-00	APADANA CLEANERS	
250	SHOPPING CENTER	7610 HAZARD CENTER DR STE 519	SAN DIEGO	CA	92108	438-021-20-00	APPLE SPICE JUNCTION	
251	SHOPPING CENTER	7610 HAZARD CENTER DR STE 701	SAN DIEGO	CA	92108	438-021-20-00	MASSAGE ENVY	

252	SHOPPING CENTER	7610 HAZARD CENTER DR STE 702	SAN DIEGO	CA	92108	438-021-20-00	VITAL HAIR & BODY	ATTACHMENT 7
253	SHOPPING CENTER	7610 HAZARD CENTER DR STE 703	SAN DIEGO	CA	92108	438-021-20-00	JOES CRAB SHACK	
254	SERVICE STATION, GAS STATION	5465 MISSION CENTER RD	SAN DIEGO	CA	92108	438-170-01-00	MISSION VALLEY SHELL-CAR WASH	
255	RESTAURANT, BAR, FOOD SERVICE	7917 MISSION CENTER CT	SAN DIEGO	CA	92108	438-170-27-00	CHUVILA PROPERTIES	
256	RESTAURANT, BAR, FOOD SERVICE	7919 MISSION CENTER CT	SAN DIEGO	CA	92108	438-170-27-00	DEL TACO	
257	RESTAURANT, BAR, FOOD SERVICE	5373 MISSION CENTER RD	SAN DIEGO	CA	92108	438-170-28-00	IN CAHOOTS	
258	RESTAURANT, BAR, FOOD SERVICE	5323 MISSION CENTER RD	SAN DIEGO	CA	92108	438-170-29-00	CARLS JR. 1100412	
259	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 100	SAN DIEGO	CA	92108	438-170-30-00	MISSION VALLEY MEDICAL CLINIC	
260	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 105	SAN DIEGO	CA	92108	438-170-30-00	AMERICAN CANCER SOCIETY	
261	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 110	SAN DIEGO	CA	92108	438-170-30-00	GOLDMAN MAGDALIN & KRIKES LLP	
262	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 115	SAN DIEGO	CA	92108	438-170-30-00	LUNDSTROM ENGINEERING-SRVYNG	
263	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 200	SAN DIEGO	CA	92108	438-170-30-00	CALIFORNIA TEACHERS ASSOCIATION	
264	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 210	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
265	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 220	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
266	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 230	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
267	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 300	SAN DIEGO	CA	92108	438-170-30-00	HALEY & ALDRICH INC.	
268	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 310	SAN DIEGO	CA	92108	438-170-30-00	BANKERS LIFE & CASUALTY	
269	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 350	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
270	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 354	SAN DIEGO	CA	92108	438-170-30-00	GREEN DAVID PHD & LOUISE PHD A PROFESSIONAL CORP.	
271	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 356	SAN DIEGO	CA	92108	438-170-30-00	KEGEL TOBIN & TRUCE	
272	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 358	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
273	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 360	SAN DIEGO	CA	92108	438-170-30-00	LUTHER F SIGMUND	
274	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 380	SAN DIEGO	CA	92108	438-170-30-00	ROSE KLEIN AND MARIAS	

275	STORES, RETAIL OUTLET	5333 MISSION CENTER RD STE 390	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	ATTACHMENT 7
276	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 100	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
277	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 105	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
278	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 108	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
279	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 110	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
280	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 115	SAN DIEGO	CA	92108	438-170-30-00	MEDIFAST WEIGHT CONTROL CTR.	
281	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 120	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
282	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 200	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
283	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 202	SAN DIEGO	CA	92108	438-170-30-00	QUINTRALL & ASSOC.	
284	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 204	SAN DIEGO	CA	92108	438-170-30-00	CLP RESOURCES	
285	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 210	SAN DIEGO	CA	92108	438-170-30-00	SAN DIEGO DEBT RELIEF	
286	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 212	SAN DIEGO	CA	92108	438-170-30-00	R ALAN SPEIGEL CPA	
287	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 215	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
288	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 220	SAN DIEGO	CA	92108	438-170-30-00	MOBILE LEARNING NETWORKS	
289	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 221	SAN DIEGO	CA	92108	438-170-30-00	COAST PHYSICAL THERAPY	
290	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 222	SAN DIEGO	CA	92108	438-170-30-00	IDEAL HOME LENDING	
291	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 224	SAN DIEGO	CA	92108	438-170-30-00	FLUOR CORP.	
292	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 300	SAN DIEGO	CA	92108	438-170-30-00	AZUSA PACIFIC UNIVERSITY	
293	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 310	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
294	STORES, RETAIL OUTLET	5353 MISSION CENTER RD STE 318	SAN DIEGO	CA	92108	438-170-30-00	KEARNY MISSION CENTER LLC	
295	STORES, RETAIL OUTLET	7947 MISSION CENTER CT	SAN DIEGO	CA	92108	438-170-30-00	SAN DIEGO COUNTY OF; HEALTH & HUMAN SERVICES AGENCY; FAMILY RESOURCE CENTERS; MISSION VALLEY FRC.	
296	STORES, RETAIL OUTLET	7949 MISSION CENTER CT	SAN DIEGO	CA	92108	438-170-30-00	SAN DIEGO COUNTY OF; BEHAVIORAL HEALTH SERVICES; ADULT & OLDER ADULT MENTAL HEALTH SERVICES; CONSERVATOR SERVICES	
297	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 401	SAN DIEGO	CA	92108	438-331-01-00	QUANTUMWORKS CORP.	

298	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 402	SAN DIEGO	CA	92108	438-331-01-00	CRAZY BOWLS & WRAPS	ATTACHMENT 7
299	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 403	SAN DIEGO	CA	92108	438-331-01-00	UNION BANK	
300	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 404	SAN DIEGO	CA	92108	438-331-01-00	REGENCY CENTERS	
301	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 405	SAN DIEGO	CA	92108	438-331-01-00	REGENCY CENTERS	
302	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 406	SAN DIEGO	CA	92108	438-331-01-00	YES SHOE REPAIR	
303	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 407	SAN DIEGO	CA	92108	438-331-01-00	EMPIRE BEAUTY SUPPLY & SALON	
304	STORES, RETAIL OUTLET	5664 MISSION CENTER RD STE 408	SAN DIEGO	CA	92108	438-331-01-00	PET PEOPLE INC.	
305	FOOD STORE, MARKET	5680 MISSION CENTER RD	SAN DIEGO	CA	92108	438-331-02-00	COINSTAR	
306	STORES, RETAIL OUTLET	5694 MISSION CENTER RD STE 601	SAN DIEGO	CA	92108	438-331-03-00	EUREKA REALTY	
307	STORES, RETAIL OUTLET	5694 MISSION CENTER RD STE 602	SAN DIEGO	CA	92108	438-331-03-00	KALMAN JONATHAN	
308	STORES, RETAIL OUTLET	5694 MISSION CENTER RD STE 603	SAN DIEGO	CA	92108	438-331-03-00	GOOD FEET STORE	
309	STORES, RETAIL OUTLET	5694 MISSION CENTER RD STE 604	SAN DIEGO	CA	92108	438-331-03-00	STARBUCKS	
310	RESTAURANT, BAR, FOOD SERVICE	5698 MISSION CENTER RD	SAN DIEGO	CA	92108	438-331-04-00	BURGER KING	
311	COMMERCIAL MISCELLANEOUS	5604 MISSION CENTER RD	SAN DIEGO	CA	92108	438-331-05-00	FRIARS-MISSION CENTER	
312	STORES, RETAIL OUTLET	5608 MISSION CENTER RD STE 901	SAN DIEGO	CA	92108	438-331-06-00	WORKS PIZZA BURGERS SALADS	
313	STORES, RETAIL OUTLET	5608 MISSION CENTER RD STE 902	SAN DIEGO	CA	92108	438-331-06-00	REGENCY CENTERS	
314	STORES, RETAIL OUTLET	5608 MISSION CENTER RD STE 903	SAN DIEGO	CA	92108	438-331-06-00	SUBWAY	
315	STORES, RETAIL OUTLET	5678 MISSION CENTER RD	SAN DIEGO	CA	92108	438-331-07-00	REGENCY CENTERS	
316	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 101	SAN DIEGO	CA	92108	438-332-01-00	EINSTEIN BROS. BAGELS	
317	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 102	SAN DIEGO	CA	92108	438-332-01-00	REGENCY CENTERS	
318	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 103	SAN DIEGO	CA	92108	438-332-01-00	REGENCY CENTERS	
319	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 104	SAN DIEGO	CA	92108	438-332-01-00	BLUEVAULT SAN DIEGO	
320	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 105	SAN DIEGO	CA	92108	438-332-01-00	REGENCY CENTERS	

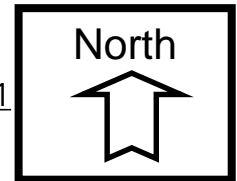
321	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 106	SAN DIEGO	CA	92108	438-332-01-00	JAMBA JUICE	ATTACHMENT 7
322	STORES, RETAIL OUTLET	5638 MISSION CENTER RD STE 107	SAN DIEGO	CA	92108	438-332-01-00	MISSION VALLEY DENTISTS	
323	STORES, RETAIL OUTLET	5644 MISSION CENTER RD	SAN DIEGO	CA	92108	438-332-02-00	MOHIUDDIN ROSALYN D	
324	STORES, RETAIL OUTLET	5658 MISSION CENTER RD STE 301	SAN DIEGO	CA	92108	438-332-03-00	REGENCY CENTERS	
325	STORES, RETAIL OUTLET	5658 MISSION CENTER RD STE 302	SAN DIEGO	CA	92108	438-332-03-00	THE NEWME NAILS	
326	STORES, RETAIL OUTLET	5658 MISSION CENTER RD STE 303	SAN DIEGO	CA	92108	438-332-03-00	REGENCY CENTERS	
327	STORES, RETAIL OUTLET	5658 MISSION CENTER RD STE 304	SAN DIEGO	CA	92108	438-332-03-00	REGENCY CENTERS	
328	STORES, RETAIL OUTLET	5658 MISSION CENTER RD STE 305	SAN DIEGO	CA	92108	438-332-03-00	MAGIC TOUCH JEWELRY & WATCH REPAIRS	
329	STORES, RETAIL OUTLET	5658 MISSION CENTER RD STE 306	SAN DIEGO	CA	92108	438-332-03-00	FANTASTIC SAMS	
330	STORES, RETAIL OUTLET	5618 MISSION CENTER RD STE 1001	SAN DIEGO	CA	92108	438-332-04-00	REGENCY CENTERS	
331	STORES, RETAIL OUTLET	5618 MISSION CENTER RD STE 1002	SAN DIEGO	CA	92108	438-332-04-00	REGENCY CENTERS	
332	STORES, RETAIL OUTLET	5618 MISSION CENTER RD STE 1003	SAN DIEGO	CA	92108	438-332-04-00	MAGIC TOUCH JEWELRY & WATCH REPAIRS	
333	STORES, RETAIL OUTLET	5624 MISSION CENTER RD STE A	SAN DIEGO	CA	92108	438-332-05-00	FANTASTIC SAMS	
334	STORES, RETAIL OUTLET	5624 MISSION CENTER RD STE B	SAN DIEGO	CA	92108	438-332-05-00	REGENCY CENTERS	
335	STORES, RETAIL OUTLET	5624 MISSION CENTER RD STE C	SAN DIEGO	CA	92108	438-332-05-00	SUSHI HUT EXPRESS	
336	STORES, RETAIL OUTLET	1425 FRAZEE RD STE 1202	SAN DIEGO	CA	92108	438-332-06-00	REVIVE SALON & SPA	
337	STORES, RETAIL OUTLET	7675 MISSION VALLEY RD	SAN DIEGO	CA	92108	677-390-03-00	UNITED STATES	
338	VACANT COMMERCIAL	PUBLIC AGENCY	SAN DIEGO	CA	92108	677-390-04-00	STATE OF CALIFORNIA PUBLIC WORKS	
339	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 100	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
340	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 101	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
341	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 102	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
342	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 103	SAN DIEGO	CA	92108	677-390-06-00	COASTAL COMMISSION	
343	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 104	SAN DIEGO	CA	92108	677-390-06-00	DEPARTMENT OF HEALTH SVC.	

344	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 106	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	ATTACHMENT 7
345	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 107	SAN DIEGO	CA	92108	677-390-06-00	CALIFORNIA STATE OF; REHABILITATION DEPARTMENT; DISTRICT OFFICE- MISSION VALLEY; TDD	
346	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 108	SAN DIEGO	CA	92108	677-390-06-00	CALIFORNIA STATE OF; FINANCIAL INSTITUTIONS DEPARTMENT OF; CONSUMER INFORMATION; NO CHARGE	
347	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 109	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
348	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 110	SAN DIEGO	CA	92108	677-390-06-00	SAN DIEGO CHILDREN & YOUTH - SOCIAL SERVICES	
349	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 200	SAN DIEGO	CA	92108	677-390-06-00	ROMERO ELIZABETH R MD	
350	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 201	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
351	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 202	SAN DIEGO	CA	92108	677-390-06-00	CALIFORNIA STATE OF; INDUSTRIAL RELATIONS DEPARTMENT; DIVISIONS; WORKERS COMPENSATION; SUBSEQUENT INJURIES BENEFITS TRUST FUND	
352	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 203	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
353	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 204	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
354	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 207	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
355	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 209	SAN DIEGO	CA	92108	677-390-06-00	DIVISION APPRNTCSHIP STANDARDS	
356	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 210	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
357	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 211	SAN DIEGO	CA	92108	677-390-06-00	CALIFORNIA STATE OF; PUBLIC HEALTH DEPARTMENT OF; LICENSING & CERTIFICATION; NURSING HOME C	
358	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 300	SAN DIEGO	CA	92108	677-390-06-00	HAROUN NASRA S MD	
359	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 301	SAN DIEGO	CA	92108	677-390-06-00	VU KHANH T DO	
360	VACANT COMMERCIAL	7575 METROPOLITAN DR STE 330	SAN DIEGO	CA	92108	677-390-06-00	MEDI-CAL FRAUD INVESTIGATIONS	
361	VACANT COMMERCIAL	PUBLIC AGENCY	SAN DIEGO	CA	92108	677-390-06-00	STATE OF CALIFORNIA PUBLIC WORKS	
362	VACANT COMMERCIAL	PUBLIC AGENCY	SAN DIEGO	CA	92112	677-390-07-00	STATE OF CALIFORNIA PUBLIC WORKS	
363	LIGHT INDUSTRIAL	7545 METROPOLITAN DR	SAN DIEGO	CA	92108	677-390-08-00	SCIENCE & ENGINEERING ASSOCIATES INC.	
364	LIGHT INDUSTRIAL	7535 METROPOLITAN DR	SAN DIEGO	CA	92108	677-390-09-00	COUNCIL OF THE COMMUNITY CLNCS	



Constructed Physical Barrier

MISSION CENTER COURT MARIJUANA OUTLET/7850 Mission Center Court, Suite 101
PROJECT NO. 542366



NOTICE OF EXEMPTION

ATTACHMENT 9

(Check one or both)

TO: ☒ RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

☐ OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

Project No.: 542366

Project Title: Mission Center Court MO

PROJECT LOCATION-SPECIFIC: The project is located at 7850 Mission Center Court, San Diego CA within the Mission Valley Planning Area.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: Conditional Use Permit (CUP) for a Marijuana Outlet (MO) to operate within a 2,351 square foot area on the first floor of an existing 2-story 14,748 square foot commercial building. The project proposes to remodel the first floor and to convert it to a marijuana outlet. Additional improvements would consist of landscaping, partial re-striping of the parking lot, replacement of a driveway curb, and the removal and replacement of the existing accessible entrance ramp. The 0.66 acre site is in the Commercial Office District (MV-CO) of the Mission Valley Planned District within the Mission Valley Community Plan Area. The MMCC complies with all height and bulk regulations and is located on a site that is currently developed with public utilities in place to serve the facility.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Rakesh Goyal-Emerald Courtyard Cooperative, PO Box 722908, San Diego California 92172. Phone Number: 619 850-9266

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- ☒ CATEGORICAL EXEMPTION: 15303 (New Construction)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined that the project would not have the potential to cause a significant effect on the environment. Since the project would operate within an existing commercial space and would only make modifications to the space the project meets the criteria set forth in CEQA Section 15303. The section allows for the conversion of existing small structures from one use to another where only minor modifications are made and the exceptions listed in CEQA Section 15300.2 would not apply.


LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 / SENIOR PLANNER
SIGNATURE/TITLE

2/22/2018
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

**MINUTES OF THE REGULAR MEETING OF THE
MISSION VALLEY PLANNING GROUP**

October 04, 2017

Members Present:

Paul Brown, Cameron Bucher, Bob Cummings, Robert Doherty, Randall Dolph, Alan Grant, Mary Holland, Rob Hutsel, Elizabeth Leventhal, Kathy McSherry, John Nugent, Jim Penner, Keith Pittsford, Marco Sessa, Dottie Surdi, Rick Tarbell, Josh Weiselberg

Members Absent:

Steve Abbo, Deborah Bossmeyer, Kaye Durant, Derek Hulse, John Laraia, Andrew Michajlenko, Larry Wenell

City/Government Staff:

Megan Drunmy, Brent Eidson Keli Balo, Zach Bunshaft, Nancy Graham, Liz Saidkhanian, Adrian Lecesne, Ryan Trabuco

Guests:

See list at end of minutes

A. CALL TO ORDER

Dottie Surdi, Chair, called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:02 p.m. at the Mission Valley Library Community Room located at 2123 Fenton Parkway, San Diego, CA.

Verify Quorum: 17 members were present, constituting a quorum.

B. PLEDGE OF ALLEGIANCE –

Mary Holland led the Pledge of Allegiance.

C. INTRODUCTIONS / OPENING REMARKS/REPORT OF THE CHAIR

Dottie Surdi welcomed everyone to the meeting. Dottie reminded those present to sign the sign in sheets.

Guests introduced themselves.

D. APPROVAL OF MINUTES

Randall Dolph moved to approve the minutes of the September 06, 2017 regular meeting. Rob Hutsel seconded the motion. Minutes were approved 14 – 0 – 3 with Paul Brown, Cameron Bucher, Robert Doherty, Randall Dolph, Alan Grant, Mary Holland, Rob Hutsel, Elizabeth Leventhal, Kathy McSherry, John Nugent, Jim Penner, Keith Pittsford, Marco Sessa, Josh Weiselberg, voting yes, and Bob Cummings, Dottie Surdi, Rick Tarbell abstaining.

**E. PUBLIC INPUT – NON-AGENDA ITEMS BUT WITHIN THE SCOPE OF
AUTHORITY OF THE PLANNING GROUP.**

“The Mission Valley Planning Group has been formed and recognized by the City Council to make recommendations to the City Council, Planning Commission, City staff, and other

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governmental agencies on land use matters, specifically concerning the preparation of, adoption of, implementation of, or amendment to, the General Plan or a land use plan when a plan relates to the Mission Valley community boundaries. The planning group also advises on other land use matters as requested by the City or other governmental agency.” Mission Valley Planning Group Bylaws as Amended and approved July 2015

The following topics were addressed:

- Representatives from Navajo planners and Grantview expressed concern that the Mission Valley Community Plan Update, as of yet, has failed to include adjoining communities in the update. Concerned was expressed over infrastructure in their communities if the MV Community Plan update is approved with substantial housing unit increases. Request was made that representatives from the Mission Valley Community Plan Update Committee reach out to neighboring communities and ask to be on the agendas of the neighboring community planning groups in order to provide an update on the process.
- Question regarding the status of the 11 acres of parkland designated from Grantview at the MV Stadium site, especially in the citizens initiatives.
- Candidate for San Diego County Assessor
- New editor for Mission Valley news/ will resume print publication in November
- PTA representative/Safe Neighborhood representative expressed concerns on new marijuana regulations passed by San Diego City Council on 10/03/17.
- Question on status of Hazard Center towers and street from Hazard Center under 163 to Fashion Valley Mall. <http://thenewhazardcenter.com/index.html>
- Start of construction on 163/Friars Road interchange.
- Reduce Mission Valley traffic congestion by increasing vertical construction and restricting parking in new construction around transit station areas.
- New Kiwanis Club forming in Mission Valley
- Objection to "Friends of SDSU" starting the SDSU West Campus Research Center, Stadium, and River Park Citizens Initiative regarding the existing stadium site in Mission Valley.
- Some business owners along Camino Del Rio South (mainly from tenants in an office condo complex at 3549 Camino Del Rio South) have been notified that a bike route along Camino Del Rio South is being implemented which will eliminate some of the on street parking. The April 5, 2017 MVPG agenda included an information item as follows: Camino Del Rio South Bikeway Project - Brian Genovese, Deputy City Engineer, Bike Program Presenting - Informational Item (15 min) Regarding the City's efforts to include bikeways on Camino Del Rio S between Mission City Parkway and Fairmount Avenue. The proposed project has been introduced as a City connector for the SR15 Commuter Bikeway currently under construction by Caltrans. The Caltrans project extends from Adams Avenue to Camino Del Rio S. Currently, there are no bike facilities that would help cyclists make the connection between the San Diego River paths and the Kensington, Normal Heights, and Mid-City areas. The Caltrans segment is a partial effort but the remainder falls within City jurisdiction. In order to improve the bikeway network, City staff are considering a Road Diet (removal of a travel lane) or the removal of on-street

ATTACHMENT 10

parking in order to fit the proposed bikeway within the existing roadway. The 2011 City of San Diego Bicycle Master Plan states: "Class III bike route along Camino Del Rio South from Texas Street to Mission City Parkway, then continuing as either a Class II bike lane or Class III bike route to Fairmount Avenue."

BICYCLE LANE DEFINITIONS, (excerpt) --

CALIFORNIA The Streets and Highway Code Section 890.410

1. Class I Bikeway (Bike Path). Provides a completely separated right of way for the exclusive use of bicycles and pedestrians with cross flow by motorists minimized.
2. Class II Bikeway (Bike Lane). Provides a striped lane for one-way bike travel on a street or highway. This can be accomplished by reducing the number of lanes, reducing lane width, or prohibiting parking on given streets in order to delineate bike lanes.
3. Class III Bikeway (Bike Route). Provides for shared use with pedestrian or motor vehicle traffic. Bike routes are shared, normally, bike routes are shared with motor vehicles. The streets are marked the sharrow symbol.

F. MEMBERSHIP BUSINESS

Keith Pittsford reported that there are no current open Board positions. There will be an election in March 2018 with 12 positions open. Further information will be forthcoming.

G. TREASURER'S REPORT

Bob Doherty reported the balance is \$1,344.16

H. ACTION ITEMS

1. Pure Water San Diego Program/recommendation for the site development permit process—City Public Utilities

Proposed motion:

Recommend approval of a Site Development Permit for impacts to environmentally sensitive lands associated with construction of the first phase of the Pure Water Program, The North City Project.

Brent Eidson and Keli Balo presented information on the Pure Water San Diego program.

Pure Water San Diego is a phased, multi-year program that will provide 1/3 of San Diego's water supply locally by 2035.

The Pure Water Program:

- Uses proven technology to clean recycled water to produce safe, high-quality drinking water
- Provides a reliable, sustainable, water supply
- Offers a cost-effective investment for San Diego's water needs.

How Does the Pure Water Program Work?

With San Diego's existing water system, only 8% of the wastewater leaving homes and businesses is recycled; the rest is treated and discharged into the ocean. The Pure Water Program transforms the City's water system into a complete water cycle that maximizes our use of the world's most precious resource—water.

The Public Utilities Department has applied for a Site Development Permit for impacts to environmentally sensitive lands associated with construction of the North City Project, this first phase of the Pure Water Program.

The Department is in the design phase for the North City Phase 1 projects and is nearing 60 design for the Morena Pump Station and Pipelines.

For more information:

<https://www.sandiego.gov/water/purewater/purewatersd>

https://www.sandiego.gov/sites/default/files/pure_water_san_diego_fact_sheet_9-15-16_1.pdf

Discussion/Comments/Questions

- Public Art-where located/at main processing station
- Coordination of impacts on Friars Road, mainly between Napa Street and Sea World Drive, with rail bridge and trolley bridge construction
- Provisions for abnormal events (power outage/earthquake/flooding/sea level rise) that may breach the river levy or cause sewage to flow into San Diego River
- Question on any organized opposition
- Construction in Mission Valley planned for 2019
- Coordination with San Diego Climate Action Plan/amount of carbon footprint/current supply of water exceeding demand. Most issues addressed in Environmental Impact report available for review.

Alan Grant moved to recommend approval of a Site Development Permit for impacts to environmentally sensitive lands associated with construction of the first phase of the Pure Water Program, The North City Project, with recommendation of some public art being located at pumping station near Friars Road and the project receiving approval of California Environmental Quality Act (CEQA) standards.

Jim Penner seconded the motion. Motion was approved 17 -0 -0 with Paul Brown, Cameron Bucher, Bob Cummings, Robert Doherty, Randall Dolph, Alan Grant, Mary Holland, Rob Hutsel, Elizabeth Leventhal, Kathy McSherry, John Nugent, Jim Penner, Keith Pittsford, Marco Sessa, Dottie Surdi, Rick Tarbell, Josh Weiselberg voting yes.

2. Conditional Use Permit for a Medical Marijuana Consumer Cooperative (MMCC) to operate within a 2,350 sq ft suite on the first floor of an existing 2-story 14,748 sq ft commercial building at 7850 Mission Center Ct.- Rakesh Goyal

Proposed motion:

Recommend approval of Conditional Use Permit for a Medical Marijuana Consumer Cooperative (MMCC) to operate within a 2,350-square-foot tenant space of an existing 14,748-square-foot commercial building located at 7850 Mission Center Court.

Rakesh Goyal reviewed the project scope/location. This is a Process Three Conditional Use Permit for a Medical Marijuana Consumer Cooperative (MMCC) to operate within a 2,350-square-foot tenant space of an existing 14,748-square-foot commercial building located at 7850 Mission Center Court in the Commercial Office (MV-CO) Zone of the Mission Valley Planned District within the Mission Valley Community Plan Area. The project name is: Mission Center Ct. MMCC. The project number is 542366.

Discussion/Comments/Questions

- Homeless population in area of the proposed location
- Amount of security guards/cameras that are need to operate
- Plans for exterior improvements, namely landscaping/paint/security
- “Sensitive areas” including child care/child services-approvals have been based on majority use of office/retail space/school, not just because a portion of a space was used by or for children or was child orientated.
- “Constructed barriers” between a site and “sensitive areas” or park land.— approvals have included exceptions for constructed barriers, namely barriers that are unsafe or unfeasible to cross/travel or crossings that would constitute trespassing.
- Location of Hazard Center shopping/business/potentialresidential in relation to proposed MMCC site. There are constructed barriers between sites.
- Some cycle issues still open, largest being on the “sensitive areas” issue.
- New regulations passed by City Council on 10/03/17 are for cultivation/distribution not retail. No changes were made for retail sites.
- The San Diego River Park Trail is not considered dedicated park space for determining the location of MMCC’s. This interpretation was questioned.

Marco Sessa moved to recommend approval of Conditional Use Permit for a Medical Marijuana Consumer Cooperative (MMCC) to operate within a 2,350-square-foot tenant space of an existing 14,748-square-foot commercial building located at 7850 Mission Center Court with all sensitive area issues resolved and all cycle comments being satisfied. Rick Tarbell seconded the motion. Motion was approved 11 –6 –0 with Paul Brown, Cameron Bucher, Robert Doherty, Alan Grant, Mary Holland, Kathy McSherry, John Nugent, Keith Pittsford, Marco Sessa, Dottie Surdi, Rick Tarbell voting yes, and Randall Dolph, Bob Cummings Rob Hutsel, Elizabeth Leventhal, Jim Penner, Josh Weiselberg voting no.

3. Action Item # 3: Millennium Mission Valley/recommendation for master sign package-Peter Lapsiwala

Millennium Mission Valley NUP- Comprehensive Sign Plan Assessment; Project No. 5554524; Internal Order No. 24007320; Mission Valley Community

ATTACHMENT 11



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

7850 Mission Center Court

Project No. For City Use Only

542360

Project Address:

7850 Mission Center Court

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

ATTACHMENT 11

Project Title: <u>MISSION CENTER COURT M.O.</u>	Project No. (For City Use Only) <u>542366</u>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation
 ☒ Limited Liability -or-
 ☐ General) What State? CA
 Corporate Identification No. 201406610228
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**
☐ Yes
☐ No

Corporate/Partnership Name (type or print): <u>MISSION PROPERTIES LLC</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>PO Box 506545</u> City/State/Zip: <u>San Diego CA 92150</u> Phone No: <u>(619)3414458</u> Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>MICHAEL ABDOU</u> Title (type or print): <u>MANAGING MEMBER</u> Signature : <u>M. Abdou</u> Date: <u>12/07/2016</u>	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____

7850 Mission Center Court, San Diego, CA 92108

CONDITIONAL USE PERMIT - Marijuana Outlet

ATTACHMENT 12

TECHNE

DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
techn-us.com sustainablearchitect.org
P 619-940-5814 M 313-595-5814

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

OWNER

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

PROJECT INFORMATION

PROJECT ADDRESS:		7850 Mission Center Court San Diego, CA 92108
ASSESSORS PARCEL NUMBER:		438-011-16-00
LEGAL DESCRIPTION:		PARCEL 1: LOT 3 OF FRIARS PROFESSIONAL PARK UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6726, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. PARCEL 2: EXCLUSIVE EASEMENTS FOR USE AND OCCUPANCY FOR PARKING PURPOSES OF, ON, ACROSS AND OVER LOTS 2 AND 5 OF SAID FRIARS PROFESSIONAL PARK UNIT NO. 1, FOR THE BENEFIT OF LOT 3 OF SAID FRIARS PROFESSIONAL PARK, UNIT NO. 1, AS SET FORTH IN ARTICLE VI OF DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS EXECUTED BY MEDICAL GROWTH INDUSTRIES, A CALIFORNIA CORPORATION AND RECORDED JANUARY 11, 1971 AS INSTRUMENT NO. 5100 OF OFFICIAL RECORDS OF SAN
YEAR BUILT:		1972
EXISTING OCCUPANCY CLASSIFICATION:		B Business
PROPOSED OCCUPANCY CLASSIFICATION:		B Business (no change)
EXISTING USE:		Office
PROPOSED USE:		Marijuana Outlet
CONSTRUCTION TYPE:		TYPE V
NUMBER OF STORIES:		2
BUILDING HEIGHT:		22' - 0" <i>Approximate height, no proposed change</i>
LOT AREA:		28,921.0 S.F. 0.66 ACRES

GROSS FLOOR AREA (First Floor):	7,375.3 sf
GROSS FLOOR AREA PROJECT SUITE (First Floor):	2,351.0 sf
GROSS FLOOR AREA REMAINDER (First Floor):	5,024.2 sf <i>(Adjacent suite on first floor, Not part of MO)</i>
GROSS FLOOR AREA (Second Floor):	7,375.3 sf
GROSS FLOOR AREA TO REMAIN VACANT(Second Floor):	2,435.1 sf <i>(Suites 201, 205, 208 & 208A; Not part of MO)</i>
GROSS FLOOR AREA REMAINDER (Second Floor):	4,940.2 sf <i>(Adjacent suite on second floor, Not part of MO)</i>
TOTAL BUILDING GROSS FLOOR AREA:	14,750.5 sf
Existing Landscape Area	8,251.0 sf <i>28.53% of Total Lot Area</i>

ZONING INFORMATION

BASE ZONE:		MVPD-MV-CO
Overlay Zones:		Airport Influence Area (Review Area 2) for San Diego International Airport and Montgomery Field, FAA Part 77 Noticing Area (SDIA and Montgomery Field), Airport Land Use Compatibility Overlay Zone.
NUMBER OF BUILDINGS:		1
SETBACKS:		
FRONT:	15'-0" (min)	
SIDE:	10'-0" (min)	
REAR:	8'-0" (min)	
MAX. STRUCTURE HEIGHT:		

PARKING CALCULATION

Marijuana Outlet 7850 & 7860 Mission Center Court, San Diego CA. 92108			
PARKING CALCULATIONS*			
Buildings	Number / Area	Ratio	Parking Stalls
7850 & 7860, Business and Professional Office Uses (Existing - Previously Conforming per original permit)	29,501.0	2.47	Per 1,000 S.F. 73.0
7850 & 7860, Business and Professional Office Uses (Previously Conforming Parking Ratio)	24,714.9	2.48	Per 1,000 S.F. 61.2
Marijuana Outlet (7850)	2,351.0	5.00	Per 1,000 S.F. 11.8
Vacant Areas (7850 Suite: 201, 205, 208 & 208a)	2,435.1	0.00	Per 1,000 S.F. 0.00
Total Parking Required			73.0
Total Building Square Footages (7850 & 7860)	29,501.0		
* Per SDMC Sec. 142.0530- Table 142-05E Table 142-05G			
Proposed Motorcycle Spaces (On site)	Parking Stalls	Ratio	Parking Stalls
Business and Professional Office Uses (7850)	24.7	0.02	Per 1,000 S.F. 0.5
Marijuana Outlet (7850)	11.8	0.02	Per 1,000 S.F. 0.2
Vacant Areas (7850 Suite: 201, 205, 208 & 208a)	0.0	0.02	Per 1,000 S.F. 0.0
Total Motorcycle Spaces Required *			1
Proposed Bicycle Spaces (Short Term)	Parking Stalls	Ratio	Bicycle Spaces
7850 Business and Professional Office Uses	9,964	0.10	Per 1,000 S.F. 1.0
Marijuana Outlet (7850)	2,351	0.10	Per 1,000 S.F. 0.2
Vacant Areas (7850 Suite: 201, 205, 208 & 208a)	2,435	0.10	Per 1,000 S.F. 0.2
Total Short term Bicycle Spaces Required (Min Req. = 2)			2
Proposed Bicycle Spaces (Long Term)	Parking Spaces	Ratio	Parking Stalls
5% of Reg. Automobile Parking (Min. Req. = 1)	73	0.05	3.7
Total Long term Bicycle Spaces Required			4
PARKING REQUIREMENTS - Existing Buildings	Number / Area	Ratio	Parking Stalls
Existing Parking Spaces (Previously Conforming)	29,501.0	2.47	Per 1,000 S.F. 73
Accessible Spaces (On Site)	1-25 per 118-6	2.0	2
Bicycle Parking (On Site)	0.0		0
Motorcycle Parking (On site)	0.0		0
TOTAL			73
(Includes 2 Accessible Parking Spaces)			
PARKING SUMMARY - Proposed Project			
Location	Standard Parking	Accessible Spaces	Totals
7850 Mission Center Ct.	34	2	36
TOTAL			36
Bicycle Parking Spaces (Short and Long Term)	4		
Motorcycle Parking Spaces Provided	2	(Minimum Required)	
* Per SDMC Sec. 142.0530- Table 142-05E			

SHEET INDEX

#	SHEET NAME
G001	Cover Sheet
G002	Marijuana Outlet Permit
A100	Site Plan - Key Map
A101	Site plan - Existing
A101a	Site plan - Existing Cont.
A102	Site Plan - Proposed
A102a	Site Plan - Proposed Cont.
A102b	BMP Plan Proposed
A103	First Floor Plan - Existing / Demo
A104	Second Floor Plan - Existing
A105	First Floor Plan - Proposed
A106	First Floor Accessibility Plan - Proposed
A107	First Floor Security Plan - Proposed

SCOPE OF WORK

- This project consists of :
- Tenant Improvement of first floor.
 - Interior Remodel of approximately 2,351sf in order to convert into a Marijuana Outlet
 - Second floor.
 - Approximately 2,435.1 sf., suites 201, 205, 208 & 208A to remain vacant and unoccupied for the term of the subject Conditional Use Permit.
 - Site Improvements
 - Addition of one vehicle parking space and one motorcycle parking space.
 - Partial Re-striping of parking lot
 - Addition of 4 bicycle parking spaces
 - Removal and replace of existing accessible entrance ramp and to comply with current California Building Code, chapter 11B for proposed accessibility ramp.
 - Replacement of driveway curb cut per SDG-159

*Request for Conditional Use Permit to operate a Marijuana Outlet.

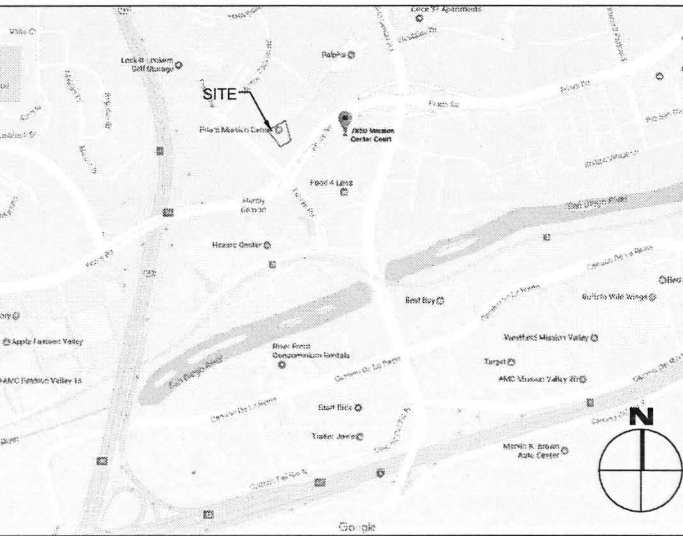
PROJECT TEAM

OWNER:
Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108
TENANT / APPLICANT:
Rakesh Goyal
5124 Convo St., Suite 211
San Diego, CA. 92111
DESIGN FIRM:
TECHNE
Project Contact: Abhay Schweitzer - Assoc. AIA
3956 30th Street, San Diego, CA 92104
Phone #: 619-940-5814, email: abhay@techn-us.com

APPLICABLE CODES

- City of San Diego Municipal Code
- 2016 California Building Code
- 2016 California Green Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Mechanical Code

VICINITY MAP



ATTACHMENT 12



DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
techn-e-us.com sustainablearchitect.org
o 619-940-5814 m 313-595-5814

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

OWNER

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

CONDITIONS FOR MARIJUANA OUTLET CUP:

PLANNING/DESIGN REQUIREMENTS:

1. Lighting shall be provided to illuminate the interior, façade, and the immediate surrounding area of the marijuana outlet, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.
2. Security shall be provided at the marijuana outlet which shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
3. Primary signs shall be posted on the outside of the marijuana outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.
4. The name and emergency contact phone number of an operator or manager shall be posted in a location visible from outside the marijuana outlet in character size at least two inches in height.
5. The marijuana outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
6. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in San Diego Municipal Code Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.
7. A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
8. A Conditional Use Permit for a marijuana outlet shall expire no later than five years from the date of issuance.
9. Deliveries shall be permitted as an accessory use only from marijuana outlets with a valid Conditional Use Permit unless otherwise allowed pursuant to the Compassionate Use Act of 1996.
10. The marijuana outlet, adjacent public sidewalks, and areas under the control of the marijuana outlet, shall be maintained free of litter and graffiti at all times.
11. The marijuana outlet shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
12. Consultations by medical professionals shall not be a permitted accessory use at a marijuana outlet.
13. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.
14. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area and vault room.
15. The security guards should only be engaged in activities related to providing security for the facility, except on an incidental basis. The cameras shall have and use a recording device that maintains the records for a minimum of 30 days.

△

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION
10/31/2017 10:52:43 AM		

PROJECT NO:	1703
CAD DWG FILE:	G001-G002 COVER SHEET.DWG
DRAWN BY:	A.S., B.P., C.G., S.V.
CHK'D BY:	A.S.

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SHEET TITLE

MARIJUANA
OUTLET NOTES

G002

CONSULTANTS

OWNER

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

CAD DWG FILE: A100 SITE PLAN KEY MAP - PROPOSED.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

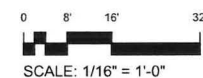
CHK'D BY: A.S.

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concept of TECHNIQUE
SHEET TITLE

SITE PLAN KEY MAP

SHEET 4 OF 12



CONSULTANTS

OWNER

SITE PLAN NOTES

- A. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- B. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- C. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- D. Coordinate with other tenants the temporary shutoff of any site utilities.
- E. Refer to Topographic Survey for additional information.
- F. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- G. TRANSIT STOP: Nearest transit stop is approximately 1/2 mile away from project.

APN: 438-011-15-00
LEGAL DESCRIPTION:
LOT 2 OF FRIARS PROFESSIONAL
PARK UNIT NO. 1, IN THE CITY OF SAN
DIEGO, COUNTY OF SAN DIEGO, STATE
OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 6726, FILED IN THE
OFFICE OF THE COUNTY RECORDER
OF SAN DIEGO COUNTY.

(E) TWO STORY
COMMERCIAL BUILDING
AREA = 14,750.5 sf

SITE PLAN LEGEND

-
- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF EXISTING LANDSCAPE
- SITE DRAINAGE PATTERN

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal

PROJECT NO: 1703

CAD DWG FILE: A101 SITE PLAN - EXISTING.DWG

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SHEET TITLE

SITE PLAN -
EXISTING

A101

CONSULTANTS

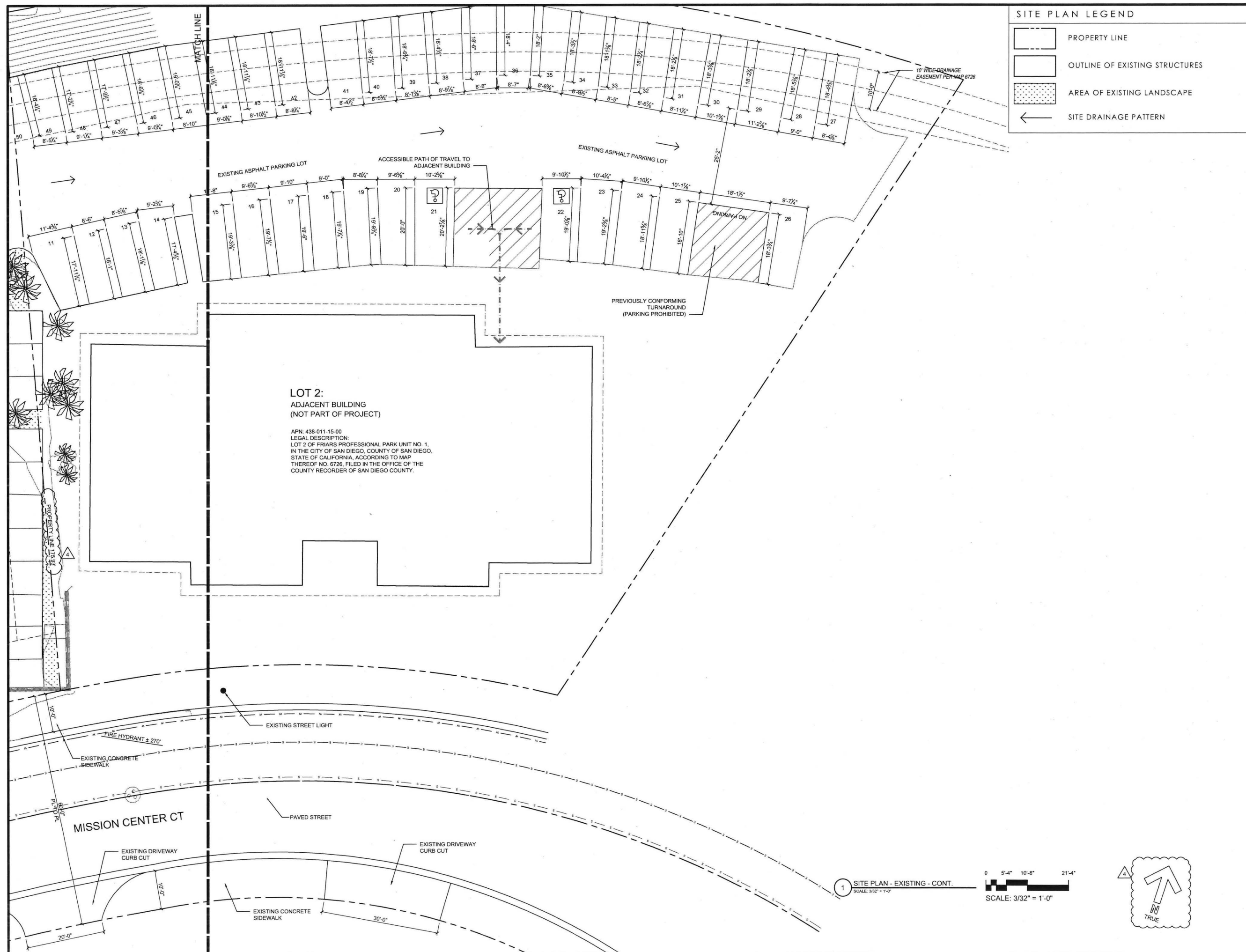
OWNER

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

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A101a  

SHEET 4 OF 12



TOPOGRAPHIC SURVEY IS BASED ON FIELD DATA COLLECTED ON 11/28-11/30 2016.

BASIS OF ELEVATION IS MEAN SEA LEVEL PER CITY OF SAN DIEGO BENCHMARK ON THE SOUTHWEST CORNER OF THE STORM DRAIN INLET AT THE SOUTHWEST CORNER OF FRIARS ROAD AND FRAZEE ROAD IN SAN DIEGO. ELEVATION BEING 53.96 FEET.

BASIS OF BEARING IS THE CALIFORNIA COORDINATE SYSTEM, ZONE 6, NAD 83 (EPOCH 1991.35) PER FOUND CONTROL MONUMENTS 964 AND 965 AS SHOWN ON RECORD OF SURVEY 14492 RECORDED IN THE COUNTY OF SAN DIEGO.

PROPERTY LINE 10.63'

5' WIDE DRAINAGE EASEMENT RECORDED JUNE 9, 1967 AS FILEPAGE 83010 SERIES 8, BOOK 1967 O.R.

FRIARS ROAD

LOT 3:
(E) TWO STORY
COMMERCIAL BUILDING
AREA = 14,750.5 sf

APN: 438-011-16-00
LEGAL DESCRIPTION:
LOT 3 OF FRIARS PROFESSIONAL
PARK UNIT NO. 1, IN THE CITY OF SAN
DIEGO, COUNTY OF SAN DIEGO, STATE
OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 6726, FILED IN THE
OFFICE OF THE COUNTY RECORDER
OF SAN DIEGO COUNTY.

PROPOSED DISPENSARY
AREA = 2,351.0 sf
(Proposed Marijuana Outlet located on
first floor of existing structure)

LOT 2:
ADJACENT BUILDING
(NOT PART OF PROJECT)

APN: 438-011-15-00
LEGAL DESCRIPTION:
LOT 2 OF FRIARS PROFESSIONAL
PARK UNIT NO. 1, IN THE CITY OF SAN
DIEGO, COUNTY OF SAN DIEGO, STATE
OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 6726, FILED IN THE
OFFICE OF THE COUNTY RECORDER
OF SAN DIEGO COUNTY.

APN: 438-011-17-00
LEGAL DESCRIPTION:
LOT 4 OF FRIARS PROFESSIONAL
PARK UNIT NO. 1, IN THE CITY OF SAN
DIEGO, COUNTY OF SAN DIEGO, STATE
OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 6726, FILED IN THE
OFFICE OF THE COUNTY RECORDER
OF SAN DIEGO COUNTY.

LOT 4:
ADJACENT BUILDING
(NOT PART OF PROJECT)

LANDSCAPE NOTES

- A. MINIMUM TREE SEPARATION DISTANCE:
- Traffic signals / stop signs = 20 ft.
 - Underground utility lines = 5 ft. (10' for sewer)
 - Above ground utility structures = 10 ft.
 - Driveway (Entries) = 10 ft.
 - Intersections (intersecting curb lines of two streets) = 25 ft.
- B. All required landscape areas shall be maintained by property owner. Landscape and irrigation areas in the public right-of-way shall be maintained by property owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- C. A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC §142.0403(b)(5).
- D. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per SDMC §142.0403(b)(10).
- E. Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring re-vegetation per SDMC §142.0411.
- F. Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. "The root barrier will not wrap around the root ball." Please clearly identify the installation of root barriers in the locations subject to these conditions per SDMC §142.0403(b).
- G. If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

SITE PLAN NOTES

- A. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- B. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- C. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone. Coordinate with other tenants the temporary shutoff of any site utilities.
- D. Not Used
- E. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- F. TRANSIT STOP: Nearest transit stop is approximately 1/2 mile away from project.
- G. No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.
- H. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- I. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

SITE LIGHTING LEGEND

- WALL MOUNTED LIGHT
- FLOOD LIGHT (8'-6" mounting height U.N.O.)

NOTES:
1. Light should not project onto adjacent properties.

FAA SELF-CERTIFICATION STATEMENT

I Michael R. Morton, California Licensed Architect C-19371, do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.



SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF PROPOSED HARDSCAPE
- AREA OF EXISTING LANDSCAPE
- SITE DRAINAGE PATTERN
- PROPOSED 24" BOX MAGNOLIA GRANDIFLORA "ST. MARY'S"
- PROPOSED 40sf ROOT BARRIER

1 SITE PLAN - PROPOSED
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

02/14/2018

MARK	DATE	DESCRIPTION
01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	03.17.18	CUP Final Submittal

PROJECT NO: 1703

CAD DWG FILE: A102 SITE PLAN - PROPOSED DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN -
PROPOSED

A102

CONSULTANTS

OWNER

SITE PLAN LEGEND

- | | | |
|------|----------|------------------------|
| 01 | 03.27.17 | CUP 1st Submittal |
| 02 | 05.30.17 | CUP 2nd Submittal |
| 03 | 08.01.17 | CUP 3rd Submittal |
| 04 | 09.20.17 | CUP 4th Submittal |
| 05 | 10.16.17 | CUP 5th Recheck Review |
| 06 | 10.25.17 | CUP 6th Recheck Review |
| 07 | 03.31.17 | CUP Final Submittal |
| MARK | DATE | DESCRIPTION |

PROJECT NO: 1703

CAD DWG FILE: A102A SITE PLAN - PROPOSED.DWG


DRAWN BY: A.S, B.P, C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN -
PROPOSED-CONT.

A102a } 






CONSULTANTS

OWNER

SITE PLAN NOTES

- A. Refer to other construction documents for complete scope of work.
- B. See Proposed Site Plan, sheet A102, for additional information regarding proposed structures.
- C. Refer to title sheet G001 for additional information such as areas, setbacks, zoning and more.

SITE PLAN LEGEND

-
-  PROPERTY LINE
 OUTLINE OF EXISTING STRUCTURES
 AREA OF PROPOSED HARDSCAPE
 AREA OF EXISTING LANDSCAPE
 SITE DRAINAGE PATTERN

STORMWATER BMP PLAN LEGEND

- | | | |
|-------|--|---|
| SC-1 | SILT FENCE (per Caltrans SC-1) |  |
| SC-5 | FIBER ROLL (per Caltrans SC-5) |  |
| WM-1 | MATERIAL DELIVERY AND STORAGE | |
| WM-8 | CONCRETE WASTE MANAGEMENT | |
| WM-9 | SANITARY WASTE MANAGEMENT | |
| SC-10 | STORM DRAIN INLET PROTECTION
(per Caltrans SC-10) |  |

STORMWATER BMP PLAN NOTES

- A. Site Area: 28,750 sf (0.66 acres)
- B. Estimated amount of disturbed area: 392.00sf
- C. Existing amount of impervious area: 17,949.96sf
- D. Proposed amount of impervious area: 392.00sf
- E. Total impervious area: 18,341.96sf
- F. Impervious % increase: 0.00%
- G. This site has been previously developed.
- H. This plan is for reference only and not for the construction of permanent structures.
- I. The Storm Water Management measures depicted are minimum standards only.
- J. The General Contractor shall be responsible for inspecting and ensuring that the storm water management measures implemented are maintained and functioning as required by the City of San Diego.

BMP PLAN KEYNOTES

1. PROPOSED RAMP; ACCESSIBLE STREET ACCESS FROM EXISTING PARKING LOT AND PUBLIC RIGHT OF WAY.
2. RE-STRIPE ACCESSIBLE PARKING.
3. PROPOSED NEW ASPHALT PAVED PARKING SPACE.

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 1703

CAD DWG FILE: A102B BMP PLAN - PROPOSED.DWG

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CHK'D BY: A.S.

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SHEET TITLE

BMP PLAN -
PROPOSED

A102b

ATTACHMENT 12

TECHNE

DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
technne-us.com sustainablearchitect.org
o 619-940-5814 m 313-595-5814

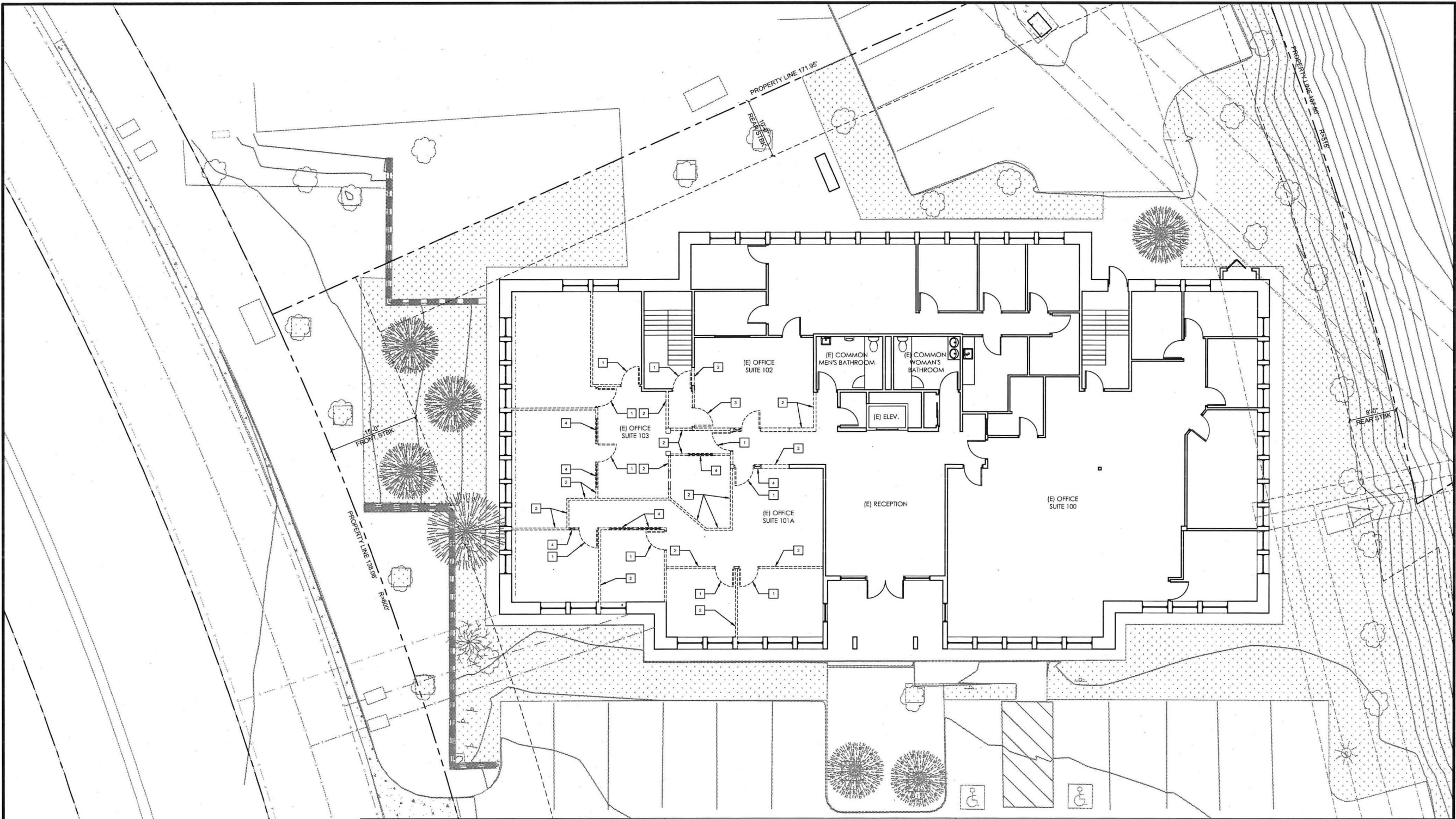
CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

OWNER
Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

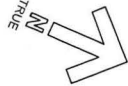
7850 Mission Center Ct
San Diego, CA 92018

OWNER
Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108



1 FIRST FLOOR PLAN - EXISTING/DEMO

0 8' 16' 32'
SCALE: 1/8" = 1'-0"



FLOOR PLAN NOTES

- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

DEMOLITION PLAN KEYNOTES

- REMOVE EXISTING DOOR.
- REMOVE EXISTING INTERIOR WALL.
- REMOVE EXISTING DOOR AND FILL-IN OPENING.
- REMOVE EXISTING INTERIOR WINDOW.

DEMOLITION PLAN LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING WALL
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING MISC. ITEM TO BE REMOVED

DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structure or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.

NO.	DATE	DESCRIPTION
01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Redcheck Review
06	10.25.17	CUP 6th Redcheck Review
07	10.31.17	CUP Final Submittal

MARK DATE DESCRIPTION

10/31/2017 10:09:38 AM

PROJECT NO: 1703

CAD DWG FILE: A103 FIRST FLOOR PLAN - EXISTING.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

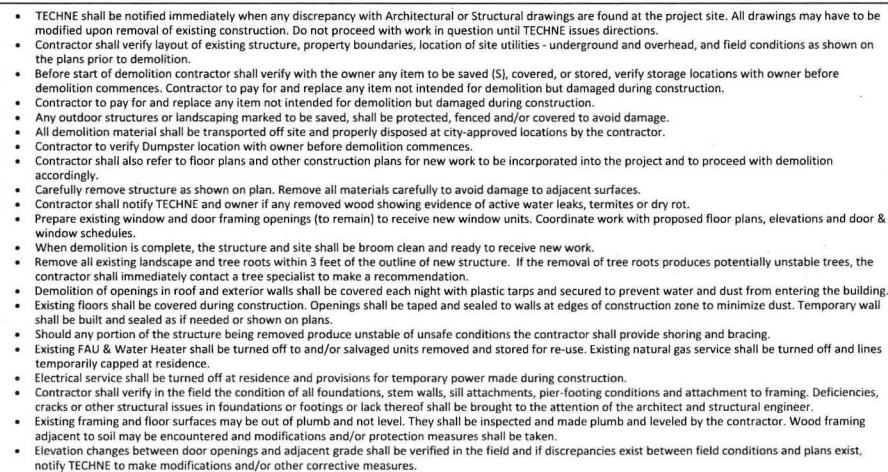
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SHEET TITLE

FIRST FLOOR PLAN
-EXISTING/DEMO

A103



ATTACHMENT 12

TECHNE

DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
techno-us.com sustainablearchitect.org
p 619-940-5814 m 313-595-5814

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

OWNER

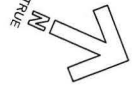
Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

FLOOR PLAN LEGEND

- EXISTING WALL
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 3/8" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" gypsum board each side.
- WALL OPENING: 80" high u.n.o. Finished with 5/8" gypsum board with square corners.
- DOOR AND SYMBOL
- WINDOW AND SYMBOL

1 FIRST FLOOR PLAN - PROPOSED
1/8" = 1'-0"

0 4' 8' 16'
SCALE: 1/8" = 1'-0"



01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 1703
CAD DWG FILE: A105 FIRST FLOOR PLAN - PROPOSED.DWG
DRAWN BY: A.S.B.P., C.G., S.V.
CHK'D BY: A.S.

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SHEET TITLE
FIRST FLOOR PLAN-
PROPOSED

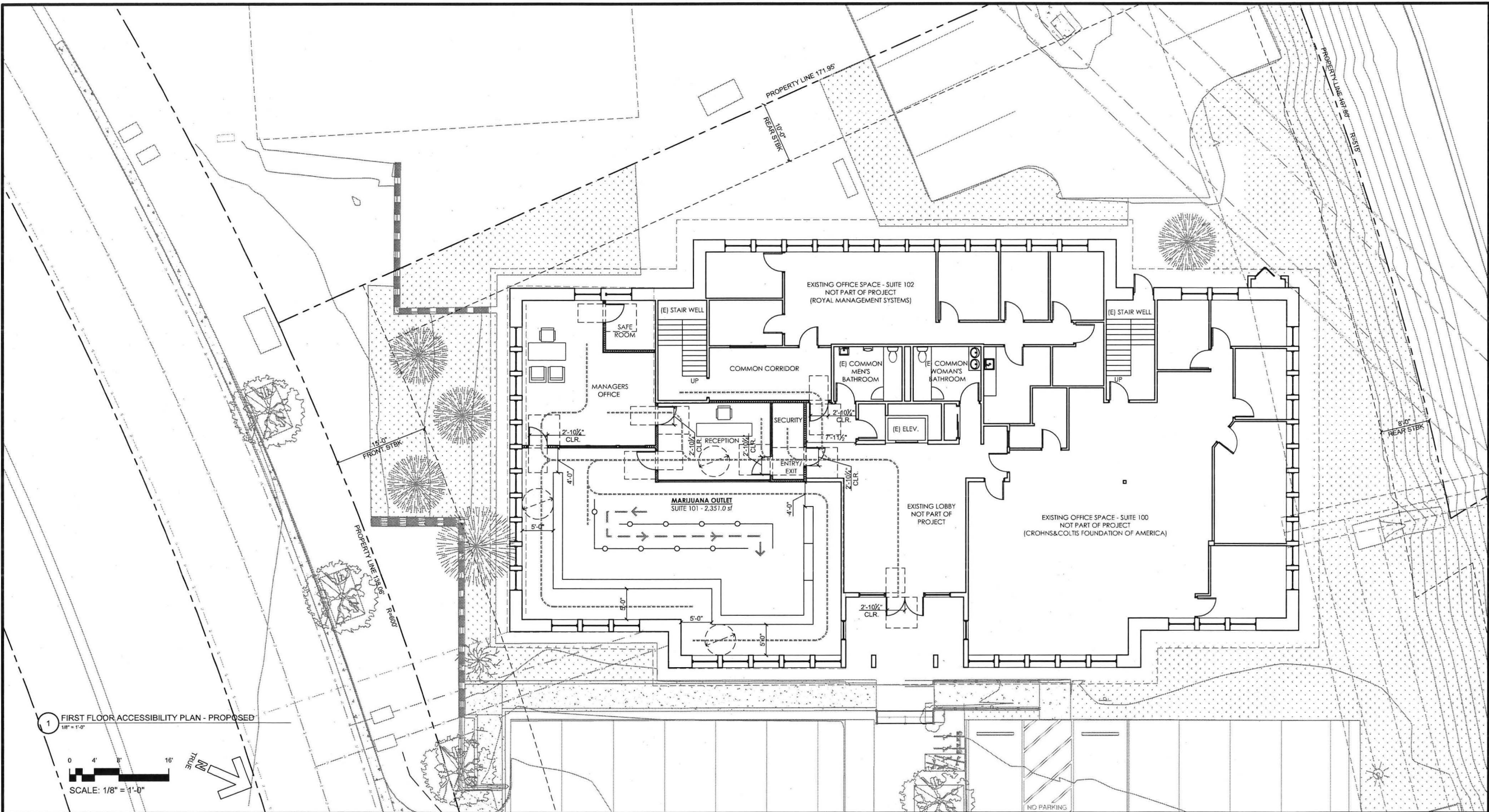
A105

CONSULTANTS

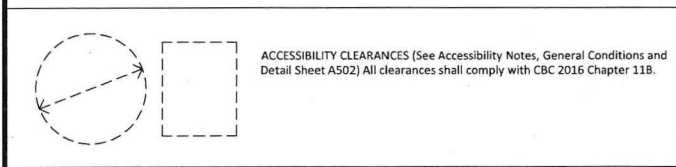
7850 Mission Center Ct
San Diego, CA 92018

OWNER

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108



ACCESSIBILITY PLAN LEGEND



ACCESSIBLE REACH RANGES NOTES

1. Reach ranges shall comply with CBC 2016 sec 11B-308
2. Unobstructed forward reach:
 - 2.1. High forward reach shall be a maximum of 48 inches and low forward reach shall be a minimum of 15 inches above finished floor.
3. Obstructed high reach:
 - 3.1. Where reach depth is a maximum 20 inches, high forward reach shall be a maximum of 48 inches above finished floor.
 - 3.2. Where reach depth exceeds 20 inches, high forward reach maximum shall be 44 inches and reach depth maximum shall be 24 inches.
 - 3.3. Clear floor space extending underneath obstruction elements for a distance not less than required reach depth over obstruction.
4. Where a parallel approach is allowed, unobstructed side reach shall be per CBC figure 11B-308.3.1
 - 4.1. High side reach shall be a maximum of 48 inches and minimum of 15 inches above finished floor.
5. Where parallel approach is allowed, obstructed side reach shall be per CBC Figure 11B-308.3.2
 - 5.1. Height of obstruction 34 inches maximum.
 - 5.2. Depth of obstruction 24 inches maximum.
 - 5.3. Where reach depth is a maximum of 10 inches, high side reach maximum shall be 48 inches.
 - 5.4. Where reach depth exceeds 10 inches, high side reach maximum shall be 46 inches and reach depth maximum shall be 24 inches.

ACCESSIBILITY NOTES

1. All entrances and all exterior ground-floor exit doors to buildings and facilities shall be made accessible to persons with disabilities. (Sec. 11338.1.1.1.1)
2. Latching and locking hand activated doors in a path of travel shall be operable with a single effort by lever type hardware, panic bars, push pull activating bars, or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Locked exit doors shall operate as above in egress direction. (Sec. 11338.2.5.2)
3. Hand activated door opening hardware shall be centered between 30 inches (762 mm) and 44 inches (1118 mm) above the floor. (Sec. 11338.2.5.2)
4. The width and height of doorways shall comply with section 1008. Every required exit doorway shall permit the installation of a door not less than 3 feet (914 mm) wide and not less than 6 feet 8 inches (2032 mm) high. Exit doors shall be capable of opening at least 90 degrees and provide not less than 32 inches clear width (813mm). (Sec. 11338.2.2 and Figure 11B 33) except where noted.
5. For hinged doors, the opening width shall be measured with the door positioned at an angle of 90 degrees from its closed position. (Sec. 1133.2.3 and Fig. 11B 33)
6. Minimum maneuvering clearances at doors shall be as shown in Figures 11B-26A and 11B-26B. The floor or ground area within the required clearances shall be level and clear. (Sec.11338.2.4.2)
7. There shall be a level and clear floor or landing on each side of a door. The level area shall have a length in the direction of door swing of at least 60 inches (1524 mm) and the length opposite the direction of door swing of 48 inches (1219 mm) as measured at right angle to the plane of the door in its closed position. (Sec. 11338.2.4.2 and Fig. 11B 26A and 11B 26B)
8. The width of the level area on the side to which the door swings shall extend 24 inches (610 mm) minimum past the strike edge of the door for exterior doors and 18 inches (457 mm) minimum past the strike edge for interior doors. This also applies to obstructions and recesses. An additional 12 inches is required at the push side if a frontal approach, if door is equipped with both latch and closer. (Sections 11338.2.4.3, 11338.2.4.5, 11338.2.5.3, Figures 11B 26A and B, and 11B-33(a))
9. The floor or landing shall be not more than 1/2 inch (12.7 mm) lower than the threshold of the doorway. Change in level between 1/4 inch (6 mm) and 275 inch (12.7 mm) shall be beveled with a slope no greater than one unit vertical to 2 unit horizontal (50- percent slope) (Sec. 11338.2.4.1 and Figures 11B 32)
10. The bottom 10 inches (254 mm) of all doors except automatic and sliding shall have a smooth, uninterrupted surface to allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition. Where narrow frame doors are used, a 10 inch (254 mm) high smooth panel shall be installed on the push side. (Sec.1133.2.6 and Fig 11B 29)
11. Maximum effort to operate doors shall not exceed 5 pounds (22 N) for exterior and interior doors, applied at right angles to hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized. The maximum effort to operate fire doors may be increased up to 15 pounds (66.72N) if allowed by the appropriate administrative authority. (Sec.11338.2.5)
12. Specific work stations need only comply with the required aisle width (Sections 11338.6.1 and 11338.6.2 and floors and levels (Section 1120B). (Sec. 1123B.2)
13. Entry ways to specific work stations shall be 32 inches clear width. (Sec. 1123B.2)
14. PROVIDE PANIC HARDWARE AT EXIT DOORS WHERE NOTED.
15. Gates used as a component in a means of egress shall conform to the applicable requirements for doors. (Sec.1008.2)
16. Exterior Exit doors shall have a sign posted above stating: DOOR TO REMAIN UNLOCKED DURING REGULAR BUSINESS HOURS. (Sec. 1008.1.9.3)
17. Public accommodations shall maintain in operable working condition those features of facilities and equipment that are required to be accessible to and useable by persons with disabilities isolated or temporary interruptions in service or accessibility due to maintenance or repairs shall be permitted. §11B-302.1
18. Means of egress doors shall be readily distinguishable from the adjacent construction & finishes such that the doors are easily recognized. Mirrors or similar reflecting materials shall not be used.

EGRESS & ACCESSIBILITY NOTES

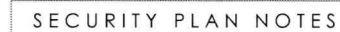
- ***** ACCESSIBLE ROUTE - Accessible routes shall comply with CBC 2013 Section 11B-402. Walking surfaces shall provide clearances complying with CBC 2013 Section 11 B-403.5. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48. Except as provided in CBC 2013 Sections 11B-403.5.2 and 11B-403.5.3, the clear width of walking surfaces shall be 36 inches (914 mm) minimum. The clear width for walking surfaces in corridors serving an occupant load of 10 or more shall be 44 inches (1118 mm) minimum. The clear width for sidewalks and walks shall be 48 inches (1219 mm) minimum.
- MEANS OF EGRESS - A continuous and unobstructed path of vertical and horizontal egress travel from any occupied portion of a building or structure to a public way. A means of egress consists of three separate and distinct parts: the exit access, the exit and the exit discharge. Means of Egress shall comply with CBC 2013 Chapter 10.
- DESIGN OCCUPANT LOAD - The number of occupants whom means egress facilities shall be provided. Where occupants from accessory area egress through a primary space, the calculated occupant load for the primary space shall include the total occupant load of the primary space plus the number of occupants egressing through it from the accessory area.
- MINIMUM EGRESS WIDTH - The total width of means of egress in inches (mm) shall not be less than the total occupant load served by the means of egress multiplied by 0.3 inches (7.62 mm) per occupant for stairways and by 0.2 inches (5.08 mm) per occupant for other egress components. Multiple means of egress shall be sized such that the loss of any one means of egress shall not reduce the available capacity to less than 50 percent of the required capacity. The maximum capacity required from any story of a building shall be maintained to the termination of the means of egress. (CBC 1005.1)
- DOOR ENCROACHMENT - Doors, when fully opened, and handrails shall not reduce the required means of egress width by more than 7 inches (178 mm). Doors in any position shall not reduce the required width by more than one-half. Other nonstructural projections such as trim and similar decorative features shall be permitted to project into the required width a maximum of 11/2 inches (38 mm) on each side. (CBC 1005.2)
- EGRESS ILLUMINATION - The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. Egress illumination shall comply with CBC 2013 Section 1006.
- ILLUMINATION EMERGENCY POWER - The power supply for means of egress illumination shall normally be provided by the premises' electrical supply.
- In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas:
1. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress.
 2. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits.
 3. Exterior egress components at other than their levels of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
 4. Interior exit discharge elements, as permitted in Section 1027.1, in buildings required to have two or more exits.
 5. Exterior landings as required by Section 1008.1.6 for exit discharge doorways in buildings required to have two or more exits.
- The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with CBC 2013 Section 2702.
- ILLUMINATION LEVEL UNDER EMERGENCY POWER. Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 footcandle (11 lux) and a minimum at any point of 0.1 footcandle (1 lux) measured along the path of egress at floor level. Illumination levels shall be permitted to decline to 0.6 footcandle (6 lux) average and a minimum at any point of 0.06 footcandle (0.6 lux) at the end of the emergency lighting time duration. A maximum-to-minimum illumination uniformity ratio of 40 to 1 shall not be exceeded.

01	03-27-17	CUP 1st Submittal
02	05-30-17	CUP 2nd Submittal
03	08-01-17	CUP 3rd Submittal
04	09-20-17	CUP 4th Submittal
05	10-16-17	CUP 5th Recheck Review
06	10-25-17	CUP 6th Recheck Review
07	10-31-17	CUP Final Submittal
MARK DATE DESCRIPTION		
2/14/2018 9:01:22 AM		
PROJECT NO: 1703		
CAD DWG FILE: A106 FIRST FLOOR EGRESS, ACCESSIBILITY PLAN -		
DRAWN BY: A.S, B.P, C.G., S.V.		
CHK'D BY: A.S.		
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SHEET TITLE		
FIRST FLOOR ACCESSIBILITY PLAN - PROPOSED		
A106		
SHEET 11 OF 12		

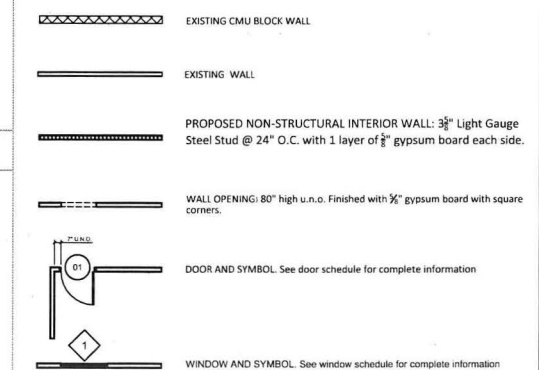
CONSULTANTS

OWNER

SECURITY PLAN LEGEND



- ## FLOOR PLAN LEGEND



01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 1703

CAD DWG FILE: A107 SECURITY PLAN - PROPOSED.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

FIRST FLOOR
SECURITY PLAN -
PROPOSED

A107

Development Permit/ Environmental Determination Appeal Application

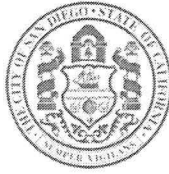
**FORM
DS-3031**

In order to assure your appeal application is successfully accepted and processed, you must read and understand Information Bulletin 505, "Development Permits/Environmental Determination Appeal Procedure."

RECEIVED

MAR 09 2018

DEVELOPMENT SERVICES



THE CITY OF SAN DIEGO

DATE OF NOTICE: February 21, 2018

NOTICE OF PUBLIC HEARING

HEARING OFFICER

DATE OF HEARING:	March 7, 2018
TIME OF HEARING:	9:00 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT NO:	542366
PROJECT NAME:	<u>MISSION CENTER COURT MARIJUANA OUTLET</u>
PROJECT TYPE:	CONDITIONAL USE PERMIT, ENVIRONMENTAL EXEMPTION, PROCESS THREE
APPLICANT:	Rakesh Goyal
COMMUNITY PLAN AREA:	Mission Valley
COUNCIL DISTRICT:	7
CITY PROJECT MANAGER:	Cherlyn Cac, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 236-6327 / CCac@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Conditional Use Permit to operate a Marijuana Outlet in a 2,351 square-foot tenant space within an existing 14,751 square-foot building located at 7850 Mission Center Court. The 0.66-acre site is located in the MV-CO zone of the Mission Valley Planned District, within the Mission Valley Community Plan area.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101. The appeal must be made within 10 business days of the Hearing Officer's decision.

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) on November 17, 2017. An appeal of the CEQA determination was previously made and the appeal withdrawn from City Council on January 26, 2018. The scope of the subject hearing only includes the project, and not the environmental determination.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in

ATTACHMENT 2

correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five business days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order No: 24007219

PJF 03-01-16

PLANNING COMMISSION RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 1911475
MISSION CENTER COURT MARIJUANA OUTLET - PROJECT NO. 542366

WHEREAS, MISSION PROPERTIES LLC, a California Limited Liability Company, Owner, and RAKESH GOYAL, an individual, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Outlet in a 2,351-square-foot tenant space, Suite 101, on the first floor of an existing 14,751-square-foot, two-story commercial office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.1911475), on portions of a 0.66-acre site; and

WHEREAS, the project site is located at 7850 Mission Center Court, Suite 101, in the MV-CO Zone of the Mission Valley Planned District (MVPD), Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area (Review Area 2) for San Diego International Airport (SDIA) and Montgomery Field, and the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field) Overlay Zone, within the Mission Valley Community Plan area; and

WHEREAS, the project site is legally described as Lot 3 of the Friars Professional Park Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6726, filed on September 1, 1970, in the Office of the County Recorder of San Diego County; and

WHEREAS, on November 17, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures), and the Environmental Determination was appealed to City Council, which the appeal was withdrawn from City Council on January 26, 2018; and

Whereas, on March 7, 2018, the Mission Center Court Outlet CUP was presented to the Hearing Officer of the City of San Diego at a noticed public hearing and on March 9, 2018, the Owner and Applicant, Mission Properties LLC & Rakesh Goyal, filed an appeal of the Hearing Officer's decision; and

WHEREAS, on April 19, 2018, the Planning Commission of the City of San Diego considered the appeal and the Conditional Use Permit No. 1911475 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, grants the appeal, reverses the Hearing Officer decision, and adopts the following written Findings, dated April 19, 2018, with respect to Conditional Use Permit No. 1911475:

Conditional Use Permit Approval – SDMC Section 126.0305

(a) The proposed development will not adversely affect the applicable land use plan.

The project requires a Conditional Use Permit (CUP) to allow for the operation of a Marijuana Outlet (Outlet) in a 2,351-square-foot tenant space, Suite 101, on the first floor of an existing 14,751-square-foot, two-story commercial office building. The 0.66-acre project site is located at 7850 Mission Center Court within the Mission Valley Community Plan (MVCP) area.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments at this location with a CUP. Therefore, the proposed Outlet will not adversely affect the applicable land use plan.

(b) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large.

Approval of the CUP would allow for the sale of marijuana and will be conditioned to prevent potential adverse impacts on the community. The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504(b) through (m), which have also been incorporated as conditions in the CUP, including prohibiting consultation by medical professionals on-site, prohibiting the use of specified vending machines except by a responsible person (as defined by the SDMC), providing interior and exterior lighting, operable cameras, alarms, and a security guard, restricting hours of operation to between 7:00 am and 9:00 pm daily, maintaining of area and adjacent public sidewalks free of litter and graffiti, and removing graffiti within 24 hours, and restricting signage to business name, two-color signs, and alphabetic characters.

In addition to the above, the CUP includes additional security conditions to improve the safety of the building and surrounding neighborhood, including the provision of operable surveillance cameras and a metal detector, use of cameras with a recording device that maintains records for a minimum of 30 days, two security guards during business hours with one security guard present on the premises 24 hours a day, seven days a week, installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees, and installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area, and vault room. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. The CUP is valid for five years, however, may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provision of the permit.

Furthermore, construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through construction review and building inspections completed by the City's building inspectors.

The City of San Diego conducted an environmental review of this project in accordance with the CEQA Guidelines, and concluded there would be no environmental impacts associated with the proposed project. Based on all the project features and conditions of approval, the proposed development will not be detrimental to the public health, safety, and welfare.

(c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the operation of an Outlet within an existing 2,351-square-foot tenant space located on the first floor of an existing 14,751-square-foot building. The proposed Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to SDMC Sections 141.0504 and 1514.0305(b). The project has been determined to be exempt from the MVPD pursuant to SDMC Section 1514.0201(b)(1) as the project proposes interior modifications with no change in use pursuant to Table 1514-04J of the MVPD Ordinance, which considers similar development characteristics and intensity of use between commercial Outlets and commercial office uses. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Pursuant to SDMC Section 141.0504(a), Outlets are subject to separation requirements including a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten or grades One to Twelve. There is also a minimum distance requirement of 100 feet from a residential zone.

Distance between uses is measured between property lines in accordance with SDMC Section 113.0225. Pursuant to SDMC Section 113.0225(c), where there is a natural topographical barrier or constructed barrier, distance can be measured as the most direct route around the barrier in a manner that establishes direct access. The property line of the Outlet to the property line of the school (Audeo Charter School) and church (Mission Trails Church Mission Valley) is less than 1,000-feet. However, there are existing constructed barriers that will impede direct physical access between the Outlet and the school, and the Outlet and the church. Direct, public pedestrian paths of travel, from the project site to the school and church, around existing constructed barriers are greater than 1,000 feet. In addition, no residential zone is located 100-feet from the Outlet. Therefore, the proposed Outlet is in compliance with the required separation requirements.

The project is proposed within an existing structure constructed in 1972 in accordance with all applicable development regulations. The Outlet is required to have 36 off-street parking spaces. The Outlet proposes 36 off-street parking spaces. Nine of these 36 spaces are shared with the adjacent property through a shared parking agreement. The existing site with development is required to provide 73 off-street parking spaces, 36 for the proposed 2,351-square-foot Outlet and 37 for the remaining office/commercial service uses. The project will retain 2,435 square-feet of building floor area as vacant within the 14,751-square-foot building and remain unoccupied during the term of the CUP.

The CUP for the project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with all the relevant regulations of the SDMC for an Outlet. No variance or deviations are requested as part of this application, nor are any required to approve the CUP. Therefore, the proposed development will comply with the regulations of the Land Development Code.

(d) The proposed use is appropriate at the proposed location.

The proposed Outlet is a request for a CUP to operate in a 2,351-square-foot tenant space on the first floor of an existing 14,751-square-foot, two-story commercial office building. The existing two-story office building was constructed in 1972 and includes several business and professional office suites. The project site is surrounded by multi-story commercial office buildings to the east, west, and south, and Friars Road, a 6-lane major street, to the north.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments.

The proposed Outlet is allowed in the MV-CO Zone of the MVPD with a CUP and is subject to separation requirements set forth in SDMC Section 141.0504(a) including a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten or grades One to Twelve. There is also a minimum distance requirement of 100 feet from a residential zone.

Distance between uses is measured between property lines in accordance with SDMC Section 113.0225. Pursuant to SDMC Section 113.0225(c), where there is a natural topographical barrier or constructed barrier, distance can be measured as the most direct route around the barrier in a manner that establishes direct access. The property line of the Outlet to the property line of the school (Audeo Charter School) and church (Mission Trails Church Mission Valley) is less than 1,000-feet. However, there are existing constructed barriers that will impede direct physical access between the Outlet and the school, and the

Outlet and the church. Direct, public pedestrian paths of travel, from the project site to the school and church, around existing constructed barriers are greater than 1,000 feet. In addition, no residential zone is located 100-feet from the Outlet. Therefore, the proposed Outlet is in compliance with the required separation requirements.

The SDMC limits Outlets to commercial and industrial zones and the number of Outlets to only four per Council District, 36 city-wide, in order to minimize the impact on the City and residential neighborhoods. After the issuance of this CUP, a total of four Outlets will exist for this Council District, and thereby complies with SDMC 141.0504. All of the surrounding parcels are in the MV-CO Zone and the existing uses are consistent with the Commercial Office designation of the community plan and compatible uses with an Outlet. Therefore, based on all of the facts cited above, the proposed development is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings adopted by the Planning Commission, the appeal is GRANTED, the Hearing Officer decision is REVERSED, and Conditional Use Permit No. 1911475 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1911475, a copy of which is attached hereto and made a part hereof.

Cherlyn Cac
Development Project Manager
Development Services

Adopted on: April 19, 2018

IO#: 24007219

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007219

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1911475
MISSION CENTER COURT MARIJUANA OUTLET PROJECT NO. 542366
PLANNING COMMISSION

This Conditional Use Permit No. 1911475 ("Permit") is granted by the Planning Commission of the City of San Diego to Mission Properties LLC, a California Limited Liability Company, Owner, and Rakesh Goyal, an individual, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 0.66-acre site is located at 7850 Mission Center Court, Suite 101 in the MV-CO Zone of the Mission Valley Planned District (MVPD-MV-CO), Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area (Review Area 2) for San Diego International Airport (SDIA) and Montgomery Field, and the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field) Overlay Zone, within the Mission Valley Community Plan area. The project site is legally described as: Lot 3 of the Friars Professional Park Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6726, filed on September 1, 1970, in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate a Marijuana Outlet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 19, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Outlet in a 2,351-square-foot tenant space, located on the first floor of an existing 14,751-square-foot, two-story commercial building at 7850 Mission Center Court, Suite 101;
- b. Suite Numbers 201, 205, 208, and 208A located on the second floor of the 14,751-square-foot building, and totaling 2,435-square-feet, as shown on Exhibit "A," are to remain vacant and unoccupied for the term of the subject Conditional Use Permit;
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 19, 2021.
2. This Permit and corresponding use of this site shall expire on April 19, 2023. The Owner/Permittee may request that the expiration date be extended in accordance with SDMC Section 141.0504(n).
3. In addition to other provisions of the law, the Marijuana Outlet must comply with Chapter 4, Article 2, Division 15 and Chapter 14, Article 1, Division 5 of the San Diego Municipal Code.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
 - c. A Marijuana Outlet Permit issued by the Development Services Department is approved in accordance with SDMC Section 42.1504.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

12. The use within the 2,351-square-foot tenant space shall be limited to a Marijuana Outlet and any use permitted by right in the MV-CO Zone of the Mission Valley Planned District.

13. The sale of marijuana shall be prohibited without a valid license from the State authorizing such activity.
14. The Owner/Permittee shall obtain a Marijuana Outlet Permit as required pursuant to SDMC Chapter 4, Article 2, Division 15.
15. Each responsible person at this Marijuana Outlet shall undergo fingerprinting, a criminal background check, and report convictions as required pursuant to SDMC Chapter 4, Article 2, Division 15.
16. Consultations by medical professionals shall not be a permitted accessory use at this Marijuana Outlet.
17. Deliveries shall be permitted as an accessory use only with a valid Conditional Use Permit unless otherwise allowed pursuant to Compassionate Use Act of 1996.
18. The Owner/Permittee shall provide lighting to illuminate the interior of the Marijuana Outlet, façade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
19. The Owner/Permittee shall install and maintain operable security cameras and a metal detector for security to the satisfaction of Development Services Department. The security cameras shall have and use a recording device that maintains the recordings for a minimum of 30 days. This Marijuana Outlet shall also include alarms and two security guards. The security guards shall be licensed by the State of California. Two security guards must be on the premises during business hours. At least one security guard must be on the premises 24 hours a day, seven days a week. The security guards should only be engaged in activities related to providing security for the Marijuana Outlet, except on an incidental basis.
20. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.
21. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.
22. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Ground signs shall not be pole signs. A primary sign shall be posted on the outside of the Marijuana Outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.

23. The Owner/Permittee shall post and maintain a sign showing the name and emergency contact phone number of an operator or manager in a location visible from outside the Marijuana Outlet in font size at least two inches in height.
24. The Marijuana Outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
25. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in the SDMC Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.
26. The Owner/Permittee shall maintain the Marijuana Outlet, adjacent public sidewalks, and areas under the control of the Owner/Permittee, free of litter and graffiti at all times.
27. The Owner/Permittee shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
28. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of eliminating excessive or offensive odors causing discomfort or annoyance to any reasonable person of normal sensitivities standing outside of the structural envelope of this Marijuana Outlet facility in compliance with SDMC Section 142.0710.
29. Medical marijuana, recreational marijuana, or marijuana products, in any form, shall not be consumed anywhere within the 0.66-acre site.

TRANSPORTATION REQUIREMENTS

30. All automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
31. The Owner/Permittee shall lease an additional 2,435-square-feet within the 14,751-square-foot building and retain it as vacant space. The lease shall specifically state that the additional 2,435-square-feet of leased space is to be kept vacant and not to be occupied at any time during the entire term, for any use whatsoever, including storage space.
32. Prior to the issuance of any construction permit, the Owner/Permittee shall restripe the parking stalls on parcel APN 438-011-1500 in accordance with the approved Exhibit A, and shall provide a sufficient number of parking spaces to comply with SDMC parking requirements, satisfactory to the Building Official.
33. Prior to the issuance of any building permit, the Owner/Permittee shall construct an accessible path from the building entrance to the public street, satisfactory to the Building Official.

34. Prior to the issuance of any construction permit, the Owner/Permittee shall provide a copy of a recorded joint use driveway/mutual access agreement between all parcels/lots affected, satisfactory to the City Engineer.

35. Prior to the issuance of any construction permit, the Owner/Permittee shall provide a copy of a recorded shared parking agreement between all parcels/lots affected, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

36. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

37. Prior to issuance of any construction permits for site work and tenant improvements, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department.

38. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

39. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees shall not be permitted.

40. If any required landscape, including existing or new plantings, hardscape, landscape features, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

ENGINEERING REQUIREMENTS:

41. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new driveway per current City Standards, adjacent to the site on Mission Center Court, satisfactory to the City Engineer.

42. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

43. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on April 19, 2018 and Resolution Number _____.

ATTACHMENT 4

Permit Type/PTS Approval No.: Conditional Use Permit No. 1911475
Date of Approval: April 19, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Cherlyn Cac
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Mission Properties, LLC, a California
limited liability company**
Owner

By _____
Michael Abdou
Managing Member

Rakesh Goyal, an individual
Permittee

By _____
Rakesh Goyal

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title

7850 Mission Center Court

Project No. For City Use Only

542346

Project Address:

7850 Mission Center Court

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):		Name of Individual (type or print):	
<input type="checkbox"/> Owner	<input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner	<input type="checkbox"/> Tenant/Lessee
<input type="checkbox"/> Redevelopment Agency		<input type="checkbox"/> Redevelopment Agency	
Street Address:		Street Address:	
City/State/Zip:		City/State/Zip:	
Phone No:	Fax No:	Phone No:	Fax No:
Signature :	Date:	Signature :	Date:
Name of Individual (type or print):		Name of Individual (type or print):	
<input type="checkbox"/> Owner	<input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner	<input type="checkbox"/> Tenant/Lessee
<input type="checkbox"/> Redevelopment Agency		<input type="checkbox"/> Redevelopment Agency	
Street Address:		Street Address:	
City/State/Zip:		City/State/Zip:	
Phone No:	Fax No:	Phone No:	Fax No:
Signature :	Date:	Signature :	Date:

Project Title: <u>MISSION CENTER COURT M.O.</u>	Project No. (For City Use Only) <u>542366</u>
---	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation
 ☒ Limited Liability -or-
 ☐ General) What State? CA Corporate Identification No. 201406610228
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☐ No

Corporate/Partnership Name (type or print):
MISSION PROPERTIES LLC

☒ Owner ☐ Tenant/Lessee

Street Address:
PO Box 506545

City/State/Zip:
San Diego CA 92150

Phone No: _____ Fax No: _____
(619)3414458

Name of Corporate Officer/Partner (type or print):
MICHAEL ABDOU

Title (type or print):
MANAGING MEMBER

Signature : [Signature] Date: 12/07/2016

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Mission Properties LLC

Entity Name: Mission Properties LLC

Owner 1: Michael Abdou

Title: Managing Partner

LLC Address A: 7850 Mission Center Court, Suite 103, San Diego, CA 92108

LLC Address B: P.O. Box 506545, San Diego, CA 92150

Ownership %: Fifty percent (50%)

Entity Name: Mission Properties LLC

Owner 2: Abir Abdou

Title: Managing Partner

LLC Address A: 7850 Mission Center Court, Suite 103, San Diego, CA 92108

LLC Address B: P.O. Box 506545, San Diego, CA 92150

Ownership %: Fifty percent (50%)

7850 Mission Center Court, San Diego, CA 92108
CONDITIONAL USE PERMIT - Marijuana Outlet



3956 30th Street, San Diego, CA 92104
techne-us.com sustainablearchitect.org
P 619-940-5814 M 313-595-5814

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92108

OWNER

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

PROJECT INFORMATION

PROJECT ADDRESS:		7850 Mission Center Court San Diego, CA 92108
ASSESSORS PARCEL NUMBER:		438-011-16-00
LEGAL DESCRIPTION:		PARCEL 1: LOT 3 OF FRIARS PROFESSIONAL PARK UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6726, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. PARCEL 2: EXCLUSIVE EASEMENTS FOR USE AND OCCUPANCY FOR PARKING PURPOSES OF, ON, ACROSS AND OVER LOTS 2 AND 5 OF SAID FRIARS PROFESSIONAL PARK UNIT NO. 1, FOR THE BENEFIT OF LOT 3 OF SAID FRIARS PROFESSIONAL PARK, UNIT NO. 1, AS SET FORTH IN ARTICLE VI OF DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS EXECUTED BY MEDICAL GROWTH INDUSTRIES, A CALIFORNIA CORPORATION AND RECORDED JANUARY 11, 1971 AS INSTRUMENT NO. 5100 OF OFFICIAL RECORDS OF SAN
YEAR BUILT:		1972
EXISTING OCCUPANCY CLASSIFICATION:		B Business
PROPOSED OCCUPANCY CLASSIFICATION:		B Business (no change)
EXISTING USE:		Office
PROPOSED USE:		Marijuana Outlet
CONSTRUCTION TYPE:		TYPE V
NUMBER OF STORIES:		2
BUILDING HEIGHT:		22' - 0" <i>Approximate height, no proposed change</i>
LOT AREA:		28,921.0 S.F. 0.66 ACRES

GROSS FLOOR AREA (First Floor):	7,375.3 sf
GROSS FLOOR AREA PROJECT SUITE (First Floor):	2,351.0 sf
GROSS FLOOR AREA REMAINDER (First Floor):	5,024.2 sf <i>(Adjacent suite on first floor, Not part of MO)</i>
GROSS FLOOR AREA (Second Floor):	7,375.3 sf
GROSS FLOOR AREA TO REMAIN VACANT(Second Floor):	2,435.1 sf <i>(Suites 201, 205, 208 & 208A; Not part of MO)</i>
GROSS FLOOR AREA REMAINDER (Second Floor):	4,940.2 sf <i>(Adjacent suite on second floor, Not part of MO)</i>
TOTAL BUILDING GROSS FLOOR AREA:	14,750.5 sf
Existing Landscape Area	8,251.0 sf <i>28.53% of Total Lot Area</i>

ZONING INFORMATION

BASE ZONE:		MVPD-MV-CO
Overlay Zones:		Airport Influence Area (Review Area 2) for San Diego International Airport and Montgomery Field, FAA Part 77 Noticing Area (SDIA and Montgomery Field), Airport Land Use Compatibility Overlay Zone.
NUMBER OF BUILDINGS:		1
SETBACKS:		FRONT: 15'-0" (min) SIDE: 10'-0" (min) REAR: 8'-0" (min)
MAX. STRUCTURE HEIGHT:		-

PARKING CALCULATION

Marijuana Outlet 7850 & 7860 Mission Center Court, San Diego CA. 92108			
PARKING CALCULATIONS*			
Buildings	Number / Area	Ratio	Parking Stalls
7850 & 7860, Business and Professional Office Uses (Existing - Previously Conforming per original permit)	29,501.0	2.47	Per 1,000 S.F. 73.0
7850 & 7860, Business and Professional Office Uses (Previously Conforming Parking Ratio)	24,714.9	2.48	Per 1,000 S.F. 61.2
Marijuana Outlet (7850)	2,351.0	5.00	Per 1,000 S.F. 11.8
Vacant Areas (7850 Suite: 201, 205, 208 & 208a)	2,435.1	0.00	Per 1,000 S.F. 0.00
Total Parking Required			73.0
Total Building Square Footages (7850 & 7860)	29,501.0		
* Per SDMC Sec. 142.0530- Table 142-05E Table 142-05G			
Proposed Motorcycle Spaces (On site)	Parking Stalls	Ratio	Parking Stalls
Business and Professional Office Uses (7850)	24.7	0.02	Per 1,000 S.F. 0.5
Marijuana Outlet (7850)	11.8	0.02	Per 1,000 S.F. 0.2
Vacant Areas (7850 Suite: 201, 205, 208 & 208a)	0.0	0.02	Per 1,000 S.F. 0.0
Total Motorcycle Spaces Required *			1
Proposed Bicycle Spaces (Short Term)	Parking Stalls	Ratio	Bicycle Spaces
7850 Business and Professional Office Uses	9,964	0.10	Per 1,000 S.F. 1.0
Marijuana Outlet (7850)	2,351	0.10	Per 1,000 S.F. 0.2
Vacant Areas (7850 Suite: 201, 205, 208 & 208a)	2,435	0.10	Per 1,000 S.F. 0.2
Total Short term Bicycle Spaces Required (Min Req. = 2)			2
Proposed Bicycle Spaces (Long Term)	Parking Spaces	Ratio	Parking Stalls
5% of Reg. Automobile Parking (Min. Req. = 1)	73	0.05	3.7
Total Long term Bicycle Spaces Required			4
PARKING REQUIREMENTS - Existing Buildings	Number / Area	Ratio	Parking Stalls
Existing Parking Spaces (Previously Conforming)	29,501.0	2.47	Per 1,000 S.F. 73
Accessible Spaces (On Site)	1-25 per 118-6	2.0	2
Bicycle Parking (On Site)	0.0		0
Motorcycle Parking (On site)	0.0		0
TOTAL			73 (Includes 2 Accessible Parking Spaces)
PARKING SUMMARY - Proposed Project			
Location	Standard Parking	Accessible Spaces	Totals
7850 Mission Center Ct.	34	2	36
TOTAL			36
Bicycle Parking Spaces (Short and Long Term)	4		
Motorcycle Parking Spaces Provided	2	(Minimum Required)	
* Per SDMC Sec. 142.0530- Table 142-05E			

SHEET INDEX

#	SHEET NAME
G001	Cover Sheet
G002	Marijuana Outlet Permit
A100	Site Plan - Key Map
A101	Site plan - Existing
A101a	Site plan - Existing Cont.
A102	Site Plan - Proposed
A102a	Site Plan - Proposed Cont.
A102b	BMP Plan Proposed
A103	First Floor Plan - Existing / Demo
A104	Second Floor Plan - Existing
A105	First Floor Plan - Proposed
A106	First Floor Accessibility Plan - Proposed
A107	First Floor Security Plan - Proposed

SCOPE OF WORK

- This project consists of:
- Tenant Improvement of first floor.
 - Interior Remodel of approximately 2,351sf in order to convert into a Marijuana Outlet
 - Second floor.
 - Approximately 2,435.1 sf., suites 201, 205, 208 & 208A to remain vacant and unoccupied for the term of the subject Conditional Use Permit.
 - Site Improvements
 - Addition of one vehicle parking space and one motorcycle parking space.
 - Partial Re-striping of parking lot
 - Addition of 4 bicycle parking spaces
 - Removal and replace of existing accessible entrance ramp and to comply with current California Building Code, chapter 11B for proposed accessibility ramp.
 - Replacement of driveway curb cut per SDG-159

*Request for Conditional Use Permit to operate a Marijuana Outlet.

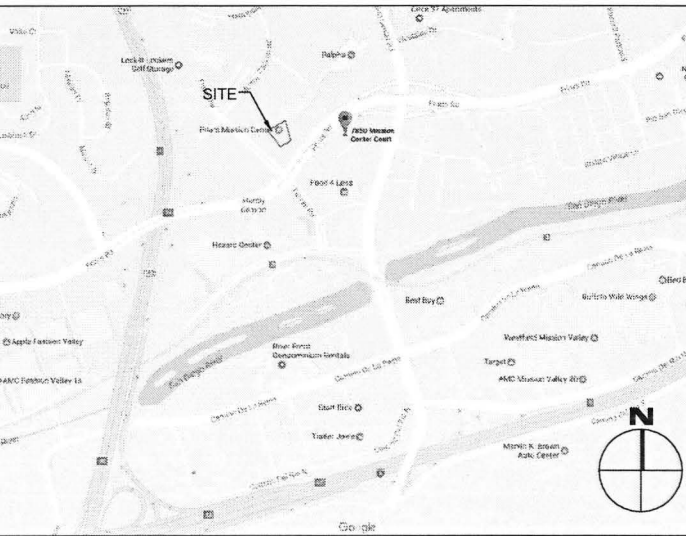
PROJECT TEAM

OWNER:
Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108
TENANT / APPLICANT:
Rakesh Goyal
5124 Convo St., Suite 211
San Diego, CA. 92111
DESIGN FIRM:
TECHNE
Project Contact: Abhay Schweitzer - Assoc. AIA
3956 30th Street, San Diego, CA 92104
Phone #: 619-940-5814, email: abhay@techne-us.com

APPLICABLE CODES

- City of San Diego Municipal Code
- 2016 California Building Code
- 2016 California Green Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Mechanical Code

VICINITY MAP



CONDITIONS FOR MARIJUANA OUTLET CUP:

PLANNING/DESIGN REQUIREMENTS:

1. Lighting shall be provided to illuminate the interior, façade, and the immediate surrounding area of the marijuana outlet, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.
2. Security shall be provided at the marijuana outlet which shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
3. Primary signs shall be posted on the outside of the marijuana outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.
4. The name and emergency contact phone number of an operator or manager shall be posted in a location visible from outside the marijuana outlet in character size at least two inches in height.
5. The marijuana outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
6. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in San Diego Municipal Code Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.
7. A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
8. A Conditional Use Permit for a marijuana outlet shall expire no later than five years from the date of issuance.
9. Deliveries shall be permitted as an accessory use only from marijuana outlets with a valid Conditional Use Permit unless otherwise allowed pursuant to the Compassionate Use Act of 1996.
10. The marijuana outlet, adjacent public sidewalks, and areas under the control of the marijuana outlet, shall be maintained free of litter and graffiti at all times.
11. The marijuana outlet shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
12. Consultations by medical professionals shall not be a permitted accessory use at a marijuana outlet.
13. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.
14. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area and vault room.
15. The security guards should only be engaged in activities related to providing security for the facility, except on an incidental basis. The cameras shall have and use a recording device that maintains the records for a minimum of 30 days.

△



3956 30th Street, San Diego, CA 92104
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o 619-940-5814 m 313-595-5814

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

OWNER

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION
10/31/2017 10:52:43 AM		

PROJECT NO: 1703

CAD DWG FILE: 0001-0002 COVER SHEET.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

MARIJUANA
OUTLET NOTES

G002

CONSULTANTS

OWNER

01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

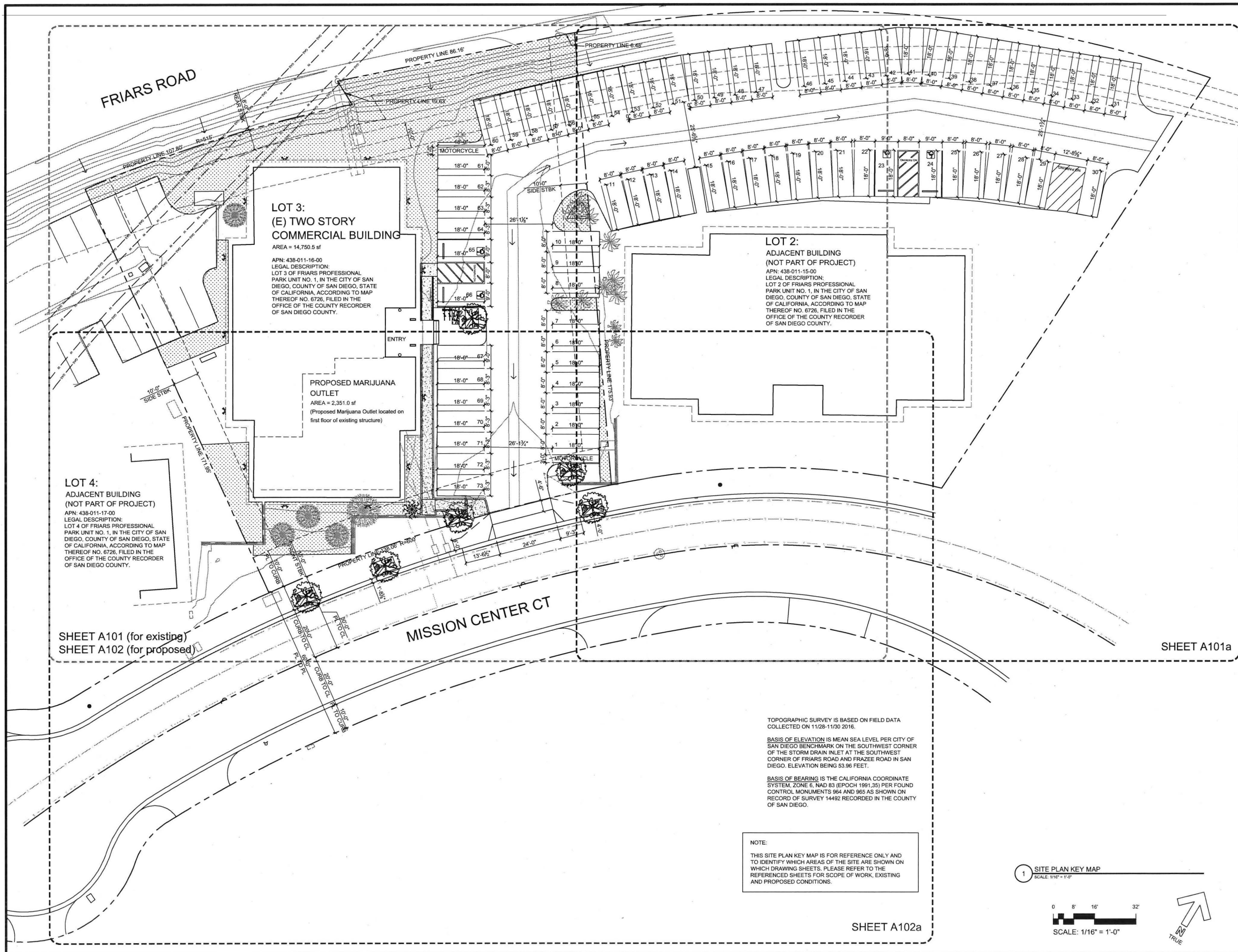
CAD DWG FILE: A100 SITE PLAN KEY MAP - PROPOSED DWG

DRAWN BY: A.S, B.P, C.G., S.V.

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SHEET TITLE

A100



CONSULTANTS

OWNER

SITE PLAN NOTES

- A. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- B. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- C. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- D. Coordinate with other tenants the temporary shutoff of any site utilities.
- E. Refer to Topographic Survey for additional information.
- F. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- G. TRANSIT STOP: Nearest transit stop is approximately 1/2 mile away from project.

APN: 438-011-15-00
LEGAL DESCRIPTION:
LOT 2 OF FRIARS PROFESSIONAL
PARK UNIT NO. 1, IN THE CITY OF SAN
DIEGO, COUNTY OF SAN DIEGO, STATE
OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 6726, FILED IN THE
OFFICE OF THE COUNTY RECORDER
OF SAN DIEGO COUNTY.

(E) TWO STORY
COMMERCIAL BUILDING
AREA = 14,750.5 sf

SITE PLAN LEGEND

-
- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF EXISTING LANDSCAPE
- SITE DRAINAGE PATTERN

01	03.27.17	CUP 1st Submittal
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06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal

PROJECT NO: 1703

CAD DWG FILE: A101 SITE PLAN - EXISTING.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

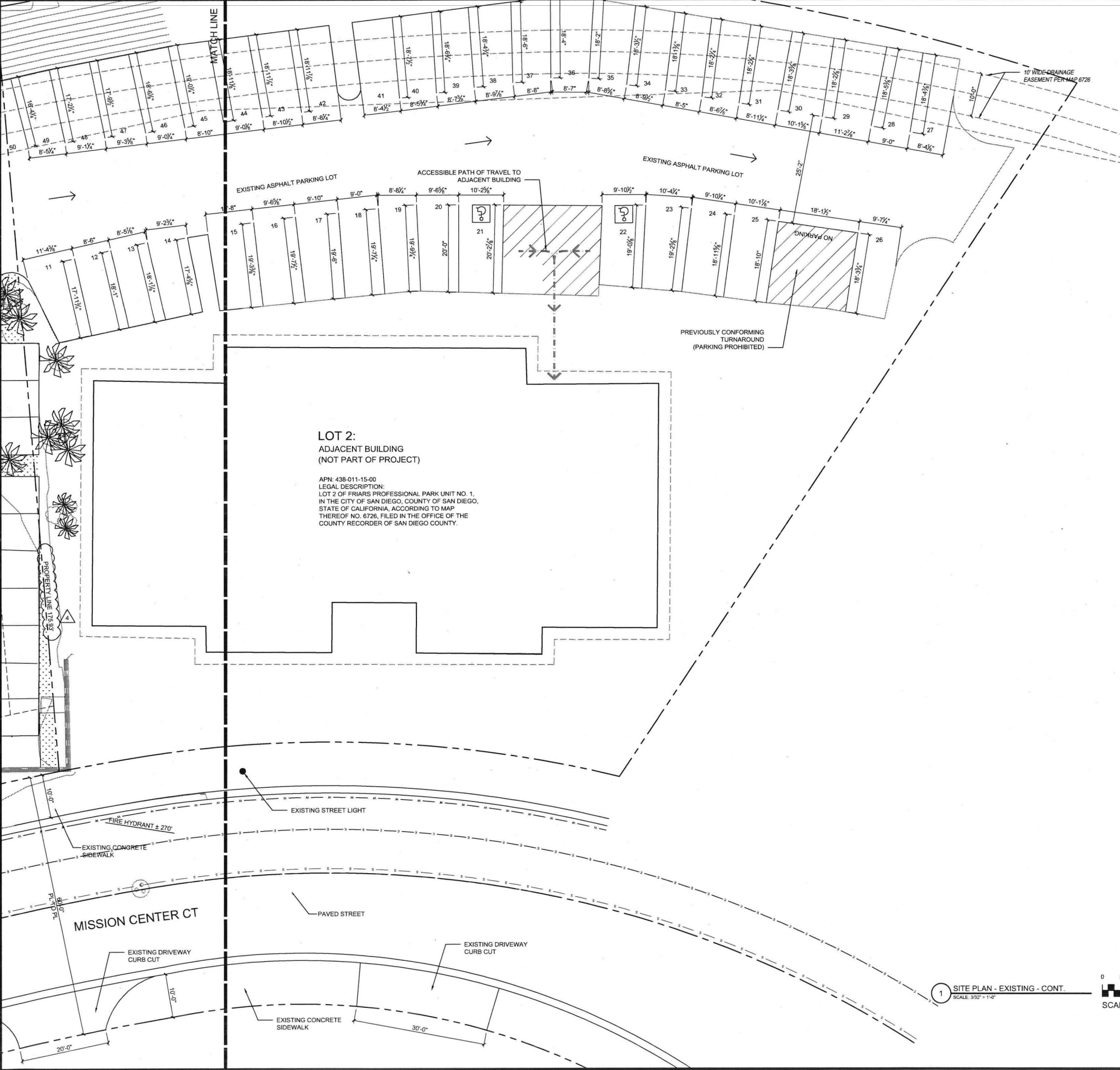
CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN - EXISTING

A101



SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF EXISTING LANDSCAPE
- SITE DRAINAGE PATTERN

TECHNE
DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104
techn-us.com sustainablearchitect.org
o 619-940-5814 m 313-595-5814

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

OWNER
Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

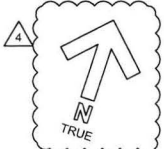
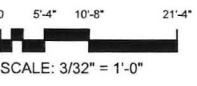
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PROJECT NO: 1703
CAD DWG FILE: A101a SITE PLAN - EXISTING.DWG
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SHEET TITLE
SITE PLAN - EXISTING-CONT.

1 SITE PLAN - EXISTING - CONT.
SCALE: 3/32" = 1'-0"



CONSULTANTS

OWNER

7850 Mission Center Ct
San Diego, CA 92018

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108

APN: 438-011-17-00
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LOT 4 OF FRIARS PROFESSIONAL
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APN: 438-011-16-00
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TOPOGRAPHIC SURVEY IS BASED ON FIELD DATA
COLLECTED ON 11/28-11/30 2016.

BASIS OF ELEVATION IS MEAN SEA LEVEL PER CITY OF
SAN DIEGO BENCHMARK ON THE SOUTHWEST CORNER
OF THE STORM DRAIN INLET AT THE SOUTHWEST
CORNER OF FRIARS ROAD AND FRAZEE ROAD IN SAN
DIEGO. ELEVATION BEING 53.96 FEET.

BASIS OF BEARING IS THE CALIFORNIA COORDINATE
SYSTEM, ZONE 6, NAD 83 (EPOCH 1991.35) PER FOUND
CONTROL MONUMENTS 964 AND 965 AS SHOWN ON
RECORD OF SURVEY 14492 RECORDED IN THE COUNTY
OF SAN DIEGO.

PROPERTY LINE 10.63'
5' WIDE DRAINAGE EASEMENT
RECORDED JUNE 9, 1967 AS
FILEPAGE 83010 SERIES 8, BOOK
1967 O.R.

FRIARS ROAD

LOT 3:
(E) TWO STORY
COMMERCIAL BUILDING
AREA = 14,750.5 sf

APN: 438-011-16-00
LEGAL DESCRIPTION:
LOT 3 OF FRIARS PROFESSIONAL
PARK UNIT NO. 1, IN THE CITY OF SAN
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PROPOSED DISPENSARY
AREA = 2,351.0 sf
(Proposed Marijuana Outlet located on
first floor of existing structure)

LOT 2:
ADJACENT BUILDING
(NOT PART OF PROJECT)

APN: 438-011-15-00
LEGAL DESCRIPTION:
LOT 2 OF FRIARS PROFESSIONAL
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THEREOF NO. 6726, FILED IN THE
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LOT 4:
ADJACENT BUILDING
(NOT PART OF PROJECT)

LANDSCAPE NOTES

- A. MINIMUM TREE SEPARATION DISTANCE:
Traffic signals / stop signs = 20 ft.
Underground utility lines = 5 ft. (10' for sewer)
Above ground utility structures = 10 ft.
Driveway (Entries) = 10 ft.
Intersections (intersecting curb
lines of two streets) = 25 ft.
- B. All required landscape areas shall be maintained by property owner. Landscape and
irrigation areas in the public right-of-way shall be maintained by property owner. The
landscape areas shall be maintained free of debris and litter, and all plant material shall be
maintained in a healthy growing condition. Diseased or dead plant material shall be
satisfactorily treated or replaced per the conditions of the permit.
- C. A minimum root zone of 40sf in area shall be provided for all trees. The minimum
dimension for this area shall be 5 feet, per SDMC §142.0403(b)(5).
- D. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet
above the walkway grade and branches over vehicular travel ways are 16 feet above
the grade of the travel way per SDMC §142.0403(b)(10).
- E. Mulch: All required planting areas and all exposed soil areas without vegetation shall
be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring
re-vegetation per SDMC §142.0411.
- F. Tree root barriers shall be installed where trees are placed within 5 feet of public
improvements including walks, curbs, or street pavements or where new public
improvements are placed adjacent to existing trees. "The root barrier will not wrap
around the root ball." Please clearly identify the installation of root barriers in the
locations subject to these conditions per SDMC §142.0403(b).
- G. If any required landscape indicated on the approved construction document plans is
damaged or removed during demolition or construction, it shall be repaired and/or
replaced in kind and equivalent size per the approved documents to the satisfaction of
the Development Services Department within 30 days of damage.

SITE PLAN NOTES

- A. Before commencing any site foundation or slab cutting or
excavation, the contractor shall verify and mark locations of all site
utilities, dimensions and conditions. These include but are not
limited to property lines, setback location to all new or existing
walls, easements (if any), existing site utilities, including water,
sewer, gas and electrical lines and any other new or existing site
items which could affect in any way the construction of the
building. Flag or otherwise mark all locations of site property lines,
easements (if any), underground utilities, and indicate utility type.
- B. The Contractor or subcontractor shall notify TECHNE if any
conflicts or discrepancy occurs between the information on this
plan and actual field conditions. Do not proceed with work in
conflict with these drawing until written or verbal instructions are
issued by TECHNE.
- C. Protect and mark all existing building structure including walls,
beams, columns, area separation walls, and other items that are
part of the existing structure and not part of the scope of the
tenant improvement, and mark perimeter of construction zone.
- D. Coordinate with other tenants the temporary shutoff of any site
utilities.
- E. Not Used
- F. BUILDING ADDRESS: Building address numbers must be visible and
legible from the street or road fronting the property, per FHPS
Policy P-00-6 (UFC 901.4.4)
- G. TRANSIT STOP: Nearest transit stop is approximately 1/2 mile away
from project.
- H. No obstruction including solid walls in the visibility area shall
exceed 3 feet in height. Plant material, other than trees, within the
public right-of-way that is located within visibility areas shall not
exceed 24 inches in height, measured from the top of the adjacent
curb.
- I. Prior to the issuance of any construction permit, the
Owner/Permittee shall incorporate any construction Best
Management Practices necessary to comply with Chapter 14,
Article 2, Division 1 (Grading Regulations) of the San Diego
Municipal Code, into the construction plans or specifications.
- J. Prior to the issuance of any construction permit the
Owner/Permittee shall submit a Water Pollution Control Plan
(WPCP). The WPCP shall be prepared in accordance with the
guidelines in Part 2 Construction BMP Standards Chapter 4 of the
City's Storm Water Standards.

SITE LIGHTING LEGEND

- WALL MOUNTED LIGHT
FLOOD LIGHT (8'-6" mounting height U.N.O.)

NOTES:
1. Light should not project onto adjacent properties.

FAA SELF-CERTIFICATION STATEMENT

I Michael R. Morton, California Licensed
Architect C-19371, do hereby certify that
the structure(s) or modification to existing
structure(s) shown on these plans do not
require Federal Aviation Administration
notification because per Section 77.15 (a) of
Title 14 of the Code of Federal Regulations
CFR Part 77, notification is not required.



SITE PLAN LEGEND

- PROPERTY LINE
OUTLINE OF EXISTING STRUCTURES
AREA OF PROPOSED HARDSCAPE
AREA OF EXISTING LANDSCAPE
SITE DRAINAGE PATTERN
PROPOSED 24" BOX
MAGNOLIA GRANDIFLORA
"ST. MARY'S"
PROPOSED 40sf ROOT BARRIER

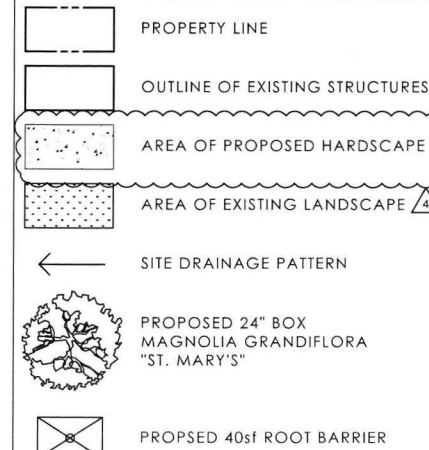
1 SITE PLAN - PROPOSED
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

CONSULTANTS

OWNER

SITE PLAN LEGEND



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MARK	DATE	DESCRIPTION

PROJECT NO: 1703

CAD DWG FILE: A102A SITE PLAN - PROPOSED.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN -
PROPOSED-CONT.

A102a 

CONSULTANTS

7850 Mission Center Ct
San Diego, CA 92018

MISSION PROPERTIES, LLC
7850 MISSION CENTER CT., SUITE 103
SAN DIEGO, CA. 92108

7850 MISSION CENTER CT
SAN DIEGO, CA 92018

MISSION PROPERTIES, LLC
7850 MISSION CENTER CT., SUITE 103
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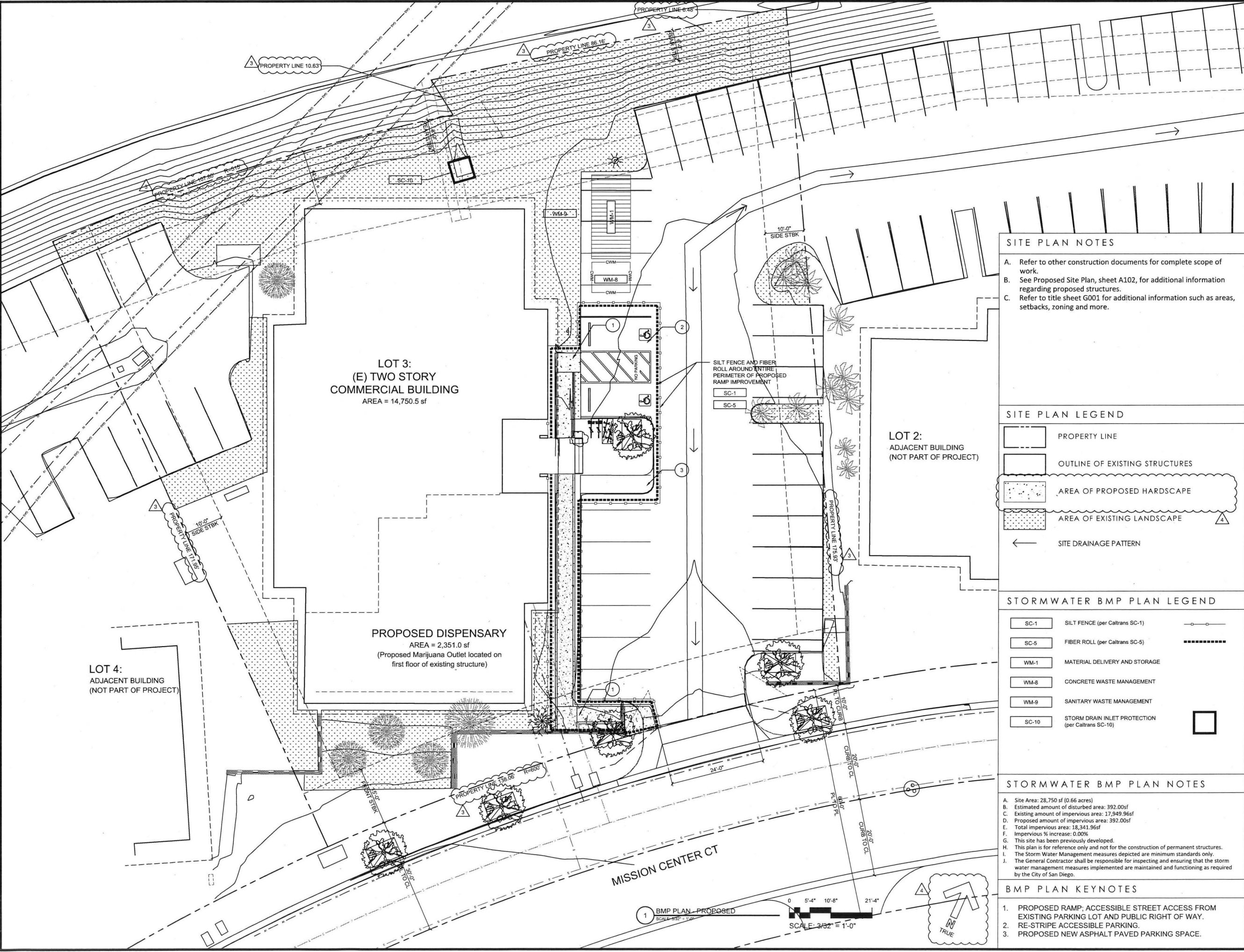
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7850 MISSION CENTER CT., SUITE 103
SAN DIEGO, CA. 92108



SITE PLAN NOTES

- A. Refer to other construction documents for complete scope of work.
- B. See Proposed Site Plan, sheet A102, for additional information regarding proposed structures.
- C. Refer to title sheet G001 for additional information such as areas, setbacks, zoning and more.

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF PROPOSED HARDSCAPE
- AREA OF EXISTING LANDSCAPE
- SITE DRAINAGE PATTERN

STORMWATER BMP PLAN LEGEND

- SC-1 SILT FENCE (per Caltrans SC-1)
- SC-5 FIBER ROLL (per Caltrans SC-5)
- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- SC-10 STORM DRAIN INLET PROTECTION (per Caltrans SC-10)

STORMWATER BMP PLAN NOTES

- A. Site Area: 28,750 sf (0.66 acres)
- B. Estimated amount of disturbed area: 392.00sf
- C. Existing amount of impervious area: 17,949.96sf
- D. Proposed amount of impervious area: 392.00sf
- E. Total impervious area: 18,341.96sf
- F. Impervious % increase: 0.00%
- G. This site has been previously developed.
- H. This plan is for reference only and not for the construction of permanent structures.
- I. The Storm Water Management measures depicted are minimum standards only.
- J. The General Contractor shall be responsible for inspecting and ensuring that the storm water management measures implemented are maintained and functioning as required by the City of San Diego.

BMP PLAN KEYNOTES

- 1. PROPOSED RAMP: ACCESSIBLE STREET ACCESS FROM EXISTING PARKING LOT AND PUBLIC RIGHT OF WAY.
- 2. RE-STRIPE ACCESSIBLE PARKING.
- 3. PROPOSED NEW ASPHALT PAVED PARKING SPACE.

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02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal

PROJECT NO: 1703
CAD DWG FILE: A102B BMP PLAN - PROPOSED.DWG
DRAWN BY: A.S., B.P., C.G., S.V.
CHK'D BY: A.S.

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SHEET TITLE
BMP PLAN - PROPOSED

A102b
SHEET 5 OF 12

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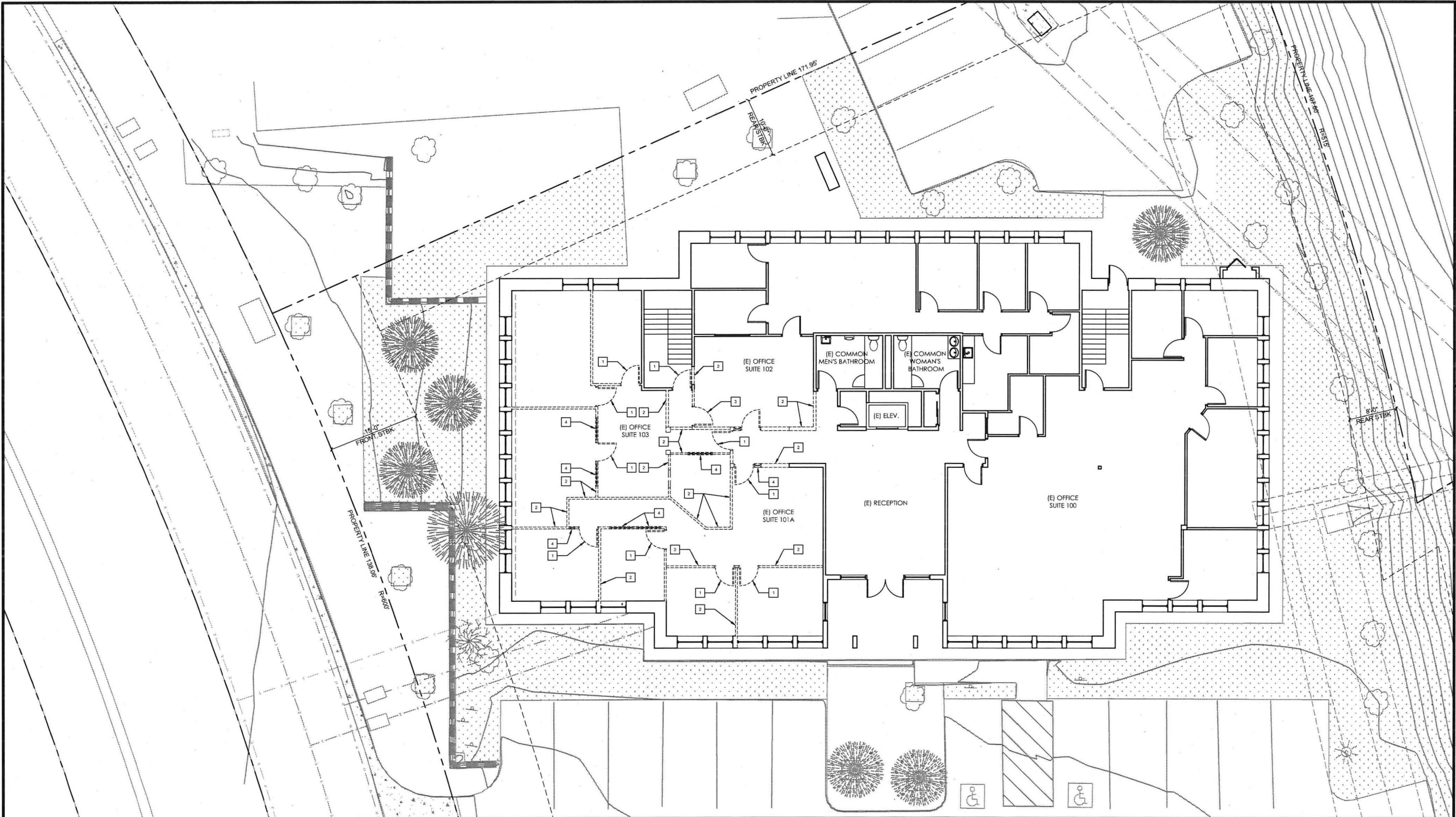
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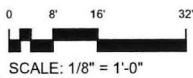
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OWNER

Mission Properties, LLC
7850 Mission Center Ct., Suite 103
San Diego, CA. 92108



1 FIRST FLOOR PLAN - EXISTING/DEMO



FLOOR PLAN NOTES

- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

DEMOLITION PLAN KEYNOTES

- REMOVE EXISTING DOOR.
- REMOVE EXISTING INTERIOR WALL.
- REMOVE EXISTING DOOR AND FILL-IN OPENING.
- REMOVE EXISTING INTERIOR WINDOW.

DEMOLITION PLAN LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING WALL
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING MISC. ITEM TO BE REMOVED

DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structure or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.

NO.	DATE	DESCRIPTION
01	03.27.17	CUP 1st Submittal
02	05.30.17	CUP 2nd Submittal
03	08.01.17	CUP 3rd Submittal
04	09.20.17	CUP 4th Submittal
05	10.16.17	CUP 5th Redcheck Review
06	10.25.17	CUP 6th Redcheck Review
07	10.31.17	CUP Final Submittal

MARK DATE DESCRIPTION

10/31/2017 10:09:38 AM

PROJECT NO: 1703

CAD DWG FILE: A103 FIRST FLOOR PLAN - EXISTING.DWG

DRAWN BY: A.S.B.P., C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

FIRST FLOOR PLAN
-EXISTING/DEMO

A103

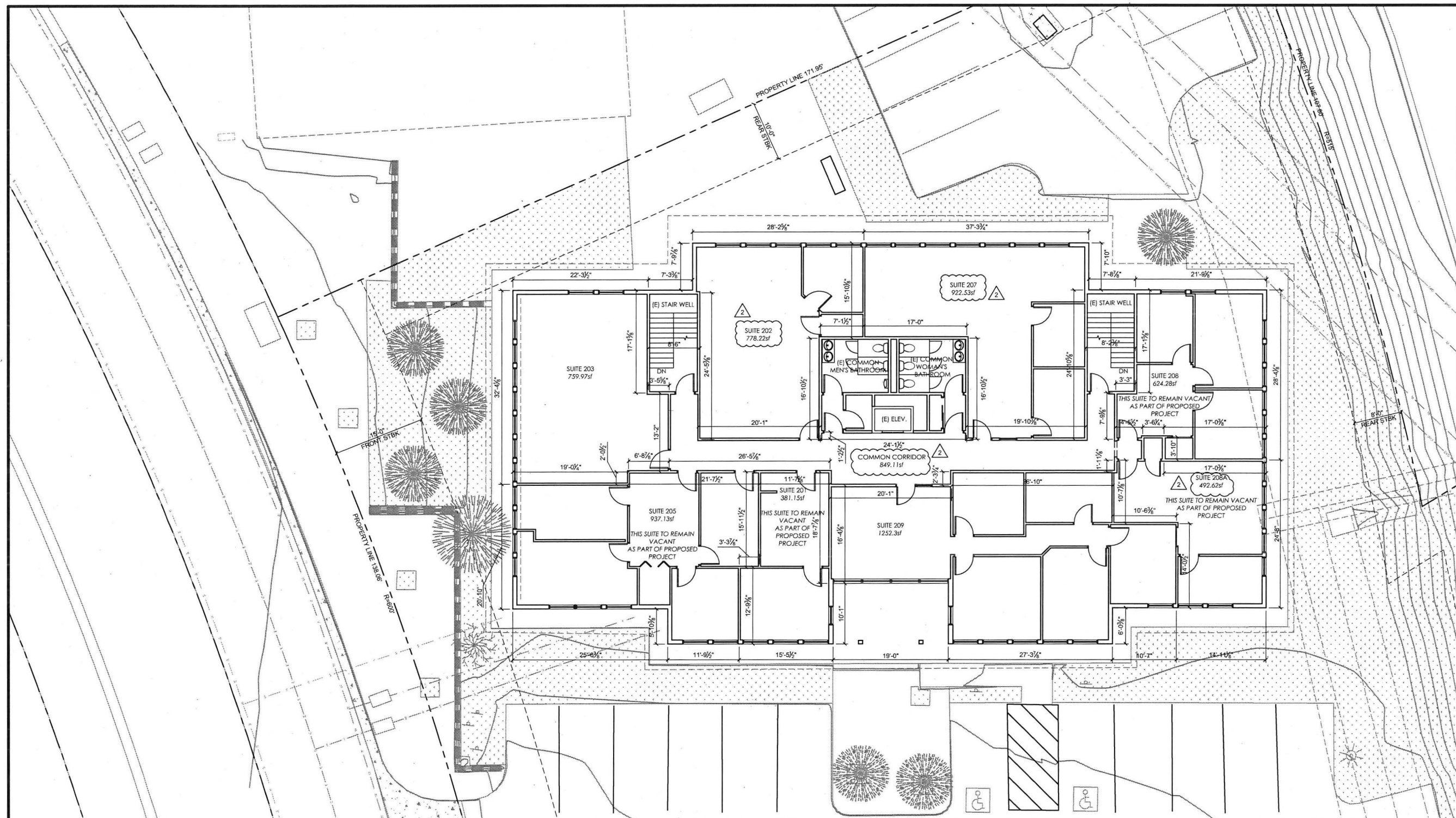
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CONSULTANTS

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OWNER

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San Diego, CA. 92108



1 SECOND FLOOR PLAN - EXISTING

$$1/R^* = 1' - C$$


SCALE: 1/8" = 1'-0"








FLOOR PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor or Sub-Contractor.
- C. The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of the Architect and the General Contractor. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

DEMOLITION PLAN LEGEND

-  EXISTING WALL TO BE REMOVED
 EXISTING DOOR TO BE REMOVED
 EXISTING WINDOW TO BE REMOVED
 EXISTING WALL
 EXISTING DOOR TO REMAIN
 EXISTING WINDOW TO REMAIN
 EXISTING MISC. ITEM TO BE REMOVED

DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (\$), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building. Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall openings shall be sealed to meet city requirements.
- Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off and to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing foundations and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing and new floor surfaces shall be level and free of debris and other obstructions. All floor framing and sub floor framing shall be made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.

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05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 1703

CAD DWG FILE: A104 SECOND FLOOR PLAN - EXISTING.DWG

DRAWN BY: A.S, B.P, C.G., S.V.

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SHEET TITLE

SECOND FLOOR
PLAN - EXISTING

A104

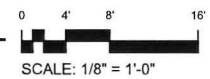
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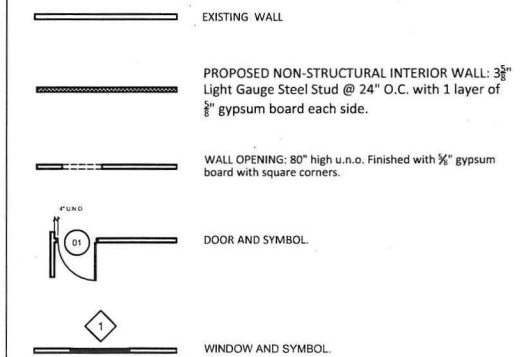
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FLOOR PLAN LEGEND



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05	10.16.17	CUP 5th Recheck Review
06	10.25.17	CUP 6th Recheck Review
07	10.31.17	CUP Final Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 1703

CAD DWG FILE: A105 FIRST FLOOR PLAN - PROPOSED.DWG

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FIRST FLOOR PLAN-
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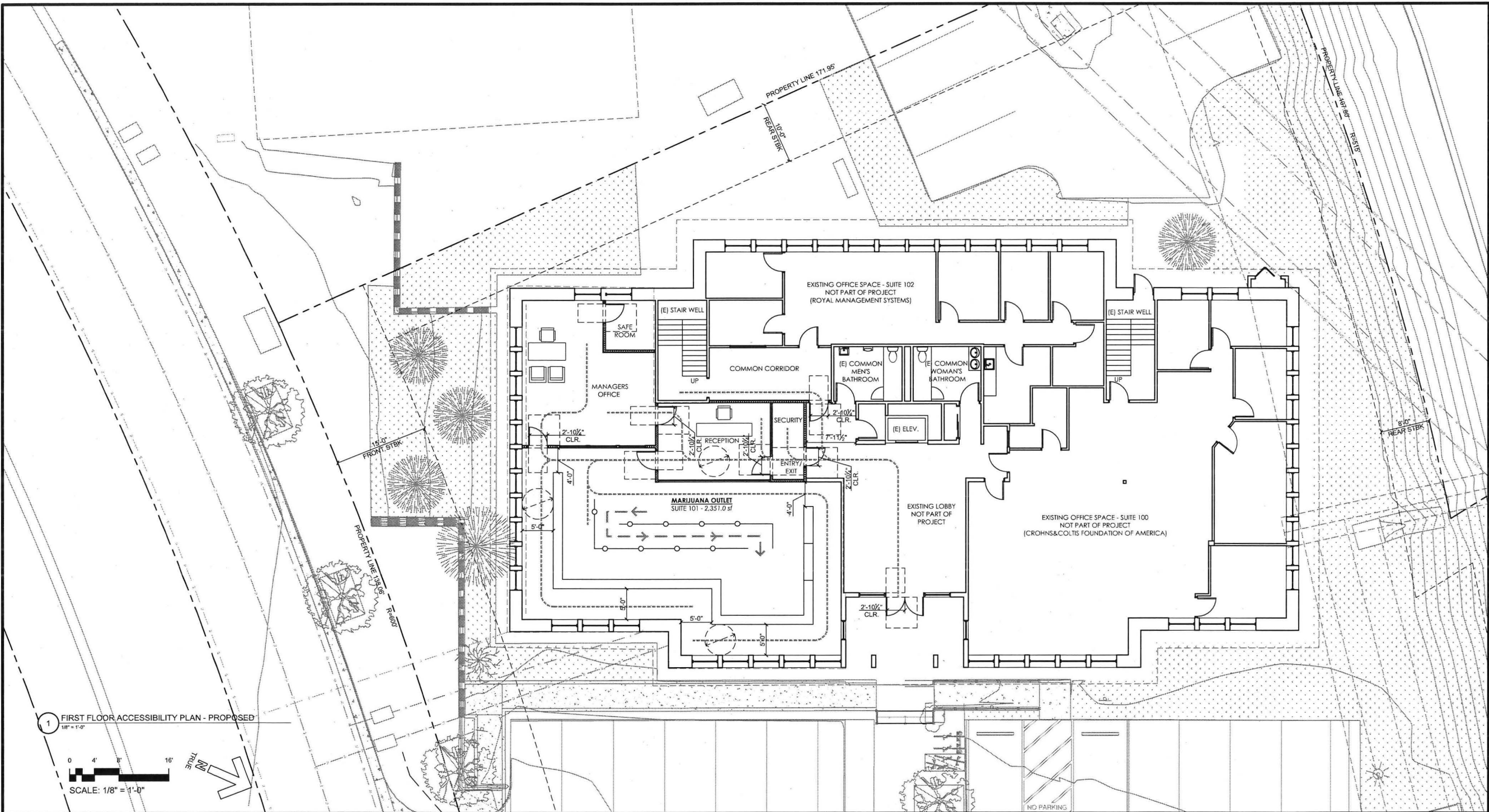
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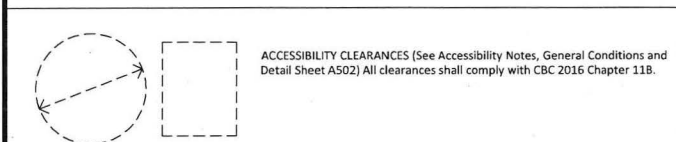
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ACCESSIBILITY PLAN LEGEND



ACCESSIBLE REACH RANGES NOTES

1. Reach ranges shall comply with CBC 2016 sec 11B-308
2. Unobstructed forward reach:
 - 2.1. High forward reach shall be a maximum of 48 inches and low forward reach shall be a minimum of 15 inches above finished floor.
3. Obstructed high reach:
 - 3.1. Where reach depth is a maximum 20 inches, high forward reach shall be a maximum of 48 inches above finished floor.
 - 3.2. Where reach depth exceeds 20 inches, high forward reach maximum shall be 44 inches and reach depth maximum shall be 24 inches.
 - 3.3. Clear floor space extending underneath obstruction elements for a distance not less than required reach depth over obstruction.
4. Where a parallel approach is allowed, unobstructed side reach shall be per CBC figure 11B-308.3.1
 - 4.1. High side reach shall be a maximum of 48 inches and minimum of 15 inches above finished floor.
5. Where parallel approach is allowed, obstructed side reach shall be per CBC Figure 11B-308.3.2
 - 5.1. Height of obstruction 34 inches maximum.
 - 5.2. Depth of obstruction 24 inches maximum.
 - 5.3. Where reach depth is a maximum of 10 inches, high side reach maximum shall be 48 inches.
 - 5.4. Where reach depth exceeds 10 inches, high side reach maximum shall be 46 inches and reach depth maximum shall be 24 inches.

ACCESSIBILITY NOTES

1. All entrances and all exterior ground-floor exit doors to buildings and facilities shall be made accessible to persons with disabilities. (Sec. 11338.1.1.1.1)
2. Latching and locking hand activated doors in a path of travel shall be operable with a single effort by lever type hardware, panic bars, push pull activating bars, or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Locked exit doors shall operate as above in egress direction. (Sec. 11338.2.5.2)
3. Hand activated door opening hardware shall be centered between 30 inches (762 mm) and 44 inches (1118 mm) above the floor. (Sec. 11338.2.5.2)
4. The width and height of doorways shall comply with section 1008. Every required exit doorway shall permit the installation of a door not less than 3 feet (914 mm) wide and not less than 6 feet 8 inches (2032 mm) high. Exit doors shall be capable of opening at least 90 degrees and provide not less than 32 inches clear width (813mm). (Sec. 11338.2.2 and Figure 11B 33) except where noted.
5. For hinged doors, the opening width shall be measured with the door positioned at an angle of 90 degrees from its closed position. (Sec. 1133.2.3 and Fig. 11B 33)
6. Minimum maneuvering clearances at doors shall be as shown in Figures 11B-26A and 11B-26B. The floor or ground area within the required clearances shall be level and clear. (Sec.11338.2.4.2)
7. There shall be a level and clear floor or landing on each side of a door. The level area shall have a length in the direction of door swing of at least 60 inches (1524 mm) and the length opposite the direction of door swing of 48 inches (1219 mm) as measured at right angle to the plane of the door in its closed position. (Sec. 11338.2.4.2 and Fig. 11B 26A and 11B 26B)
8. The width of the level area on the side to which the door swings shall extend 24 inches (610 mm) minimum past the strike edge of the door for exterior doors and 18 inches (457 mm) minimum past the strike edge for interior doors. This also applies to obstructions and recesses. An additional 12 inches is required at the push side if a frontal approach, if door is equipped with both latch and closer. (Sections 11338.2.4.3, 11338.2.4.5, 11338.2.5.3, Figures 11B 26A and B, and 11B-33(a))
9. The floor or landing shall be not more than 1/2 inch (12.7 mm) lower than the threshold of the doorway. Change in level between 1/4 inch (6 mm) and 275 inch (12.7 mm) shall be beveled with a slope no greater than one unit vertical to 2 unit horizontal (50- percent slope) (Sec. 11338.2.4.1 and Figures 11B 32)
10. The bottom 10 inches (254 mm) of all doors except automatic and sliding shall have a smooth, uninterrupted surface to allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition. Where narrow frame doors are used, a 10 inch (254 mm) high smooth panel shall be installed on the push side. (Sec.1133.2.6 and Fig 11B 29)
11. Maximum effort to operate doors shall not exceed 5 pounds (22 N) for exterior and interior doors, applied at right angles to hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized. The maximum effort to operate fire doors may be increased up to 15 pounds (66.72N) if allowed by the appropriate administrative authority. (Sec.11338.2.5)
12. Specific work stations need only comply with the required aisle width (Sections 11338.6.1 and 11338.6.2 and floors and levels (Section 1120B). (Sec. 1123B.2)
13. Entry ways to specific work stations shall be 32 inches clear width. (Sec. 1123B.2)
14. PROVIDE PANIC HARDWARE AT EXIT DOORS WHERE NOTED.
15. Gates used as a component in a means of egress shall conform to the applicable requirements for doors. (Sec.1008.2)
16. Exterior Exit doors shall have a sign posted above stating: DOOR TO REMAIN UNLOCKED DURING REGULAR BUSINESS HOURS. (Sec. 1008.1.9.3)
17. Public accommodations shall maintain in operable working condition those features of facilities and equipment that are required to be accessible to and useable by persons with disabilities isolated or temporary interruptions in service or accessibility due to maintenance or repairs shall be permitted. §11B-302.1
18. Means of egress doors shall be readily distinguishable from the adjacent construction & finishes such that the doors are easily recognized. Mirrors or similar reflecting materials shall not be used.

EGRESS & ACCESSIBILITY NOTES

- ***** ACCESSIBLE ROUTE - Accessible routes shall comply with CBC 2013 Section 11B-402. Walking surfaces shall provide clearances complying with CBC 2013 Section 11 B-403.5. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48. Except as provided in CBC 2013 Sections 11B-403.5.2 and 11B-403.5.3, the clear width of walking surfaces shall be 36 inches (914 mm) minimum. The clear width for walking surfaces in corridors serving an occupant load of 10 or more shall be 44 inches (1118 mm) minimum. The clear width for sidewalks and walks shall be 48 inches (1219 mm) minimum.
- MEANS OF EGRESS - A continuous and unobstructed path of vertical and horizontal egress travel from any occupied portion of a building or structure to a public way. A means of egress consists of three separate and distinct parts: the exit access, the exit and the exit discharge. Means of Egress shall comply with CBC 2013 Chapter 10.
- DESIGN OCCUPANT LOAD - The number of occupants whom means egress facilities shall be provided. Where occupants from accessory area egress through a primary space, the calculated occupant load for the primary space shall include the total occupant load of the primary space plus the number of occupants egressing through it from the accessory area.
- MINIMUM EGRESS WIDTH - The total width of means of egress in inches (mm) shall not be less than the total occupant load served by the means of egress multiplied by 0.3 inches (7.62 mm) per occupant for stairways and by 0.2 inches (5.08 mm) per occupant for other egress components. Multiple means of egress shall be sized such that the loss of any one means of egress shall not reduce the available capacity to less than 50 percent of the required capacity. The maximum capacity required from any story of a building shall be maintained to the termination of the means of egress. (CBC 1005.1)
- DOOR ENCROACHMENT - Doors, when fully opened, and handrails shall not reduce the required means of egress width by more than 7 inches (178 mm). Doors in any position shall not reduce the required width by more than one-half. Other nonstructural projections such as trim and similar decorative features shall be permitted to project into the required width a maximum of 11/2 inches (38 mm) on each side. (CBC 1005.2)

EGRESS ILLUMINATION - The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. Egress illumination shall comply with CBC 2013 Section 1006.

ILLUMINATION EMERGENCY POWER - The power supply for means of egress illumination shall normally be provided by the premises' electrical supply.

In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas:

1. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress.
2. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits.
3. Exterior egress components at other than their levels of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
4. Interior exit discharge elements, as permitted in Section 1027.1, in buildings required to have two or more exits.
5. Exterior landings as required by Section 1008.1.6 for exit discharge doorways in buildings required to have two or more exits.

The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with CBC 2013 Section 2702.

illumination level under emergency power. Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 footcandle (11 lux) and a minimum at any point of 0.1 footcandle (1 lux) measured along the path of egress at floor level. Illumination levels shall be permitted to decline to 0.6 footcandle (6 lux) average and a minimum at any point of 0.06 footcandle (0.6 lux) at the end of the emergency lighting time duration. A maximum-to-minimum illumination uniformity ratio of 40 to 1 shall not be exceeded.

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06	10-25-17	CUP 6th Recheck Review
07	10-31-17	CUP Final Submittal
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PROJECT NO: 1703		
CAD DWG FILE: A106 FIRST FLOOR EGRESS, ACCESSIBILITY PLAN -		
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CHK'D BY: A.S.		
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FIRST FLOOR ACCESSIBILITY PLAN - PROPOSED		
A106		
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