



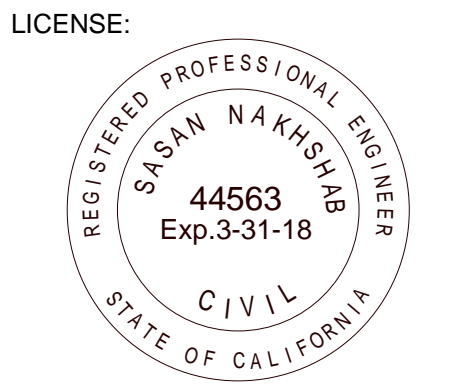
EZABELLE  
454 13TH STREET  
SAN DIEGO, CA 92101

OWNER/DEVELOPER/  
ARCHITECT

NAKSHAB DEVELOPMENT & DESIGN INC  
340 15TH STREET, SUITE 100  
SAN DIEGO, CA 92101  
P (619) 255-7257



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST. SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:	
ITEM	DATE
1	02/22/18
DESCRIPTION	
CSD Response	

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

COVER SHEET

PROJECT NO.:

DATE: 07-09-2018

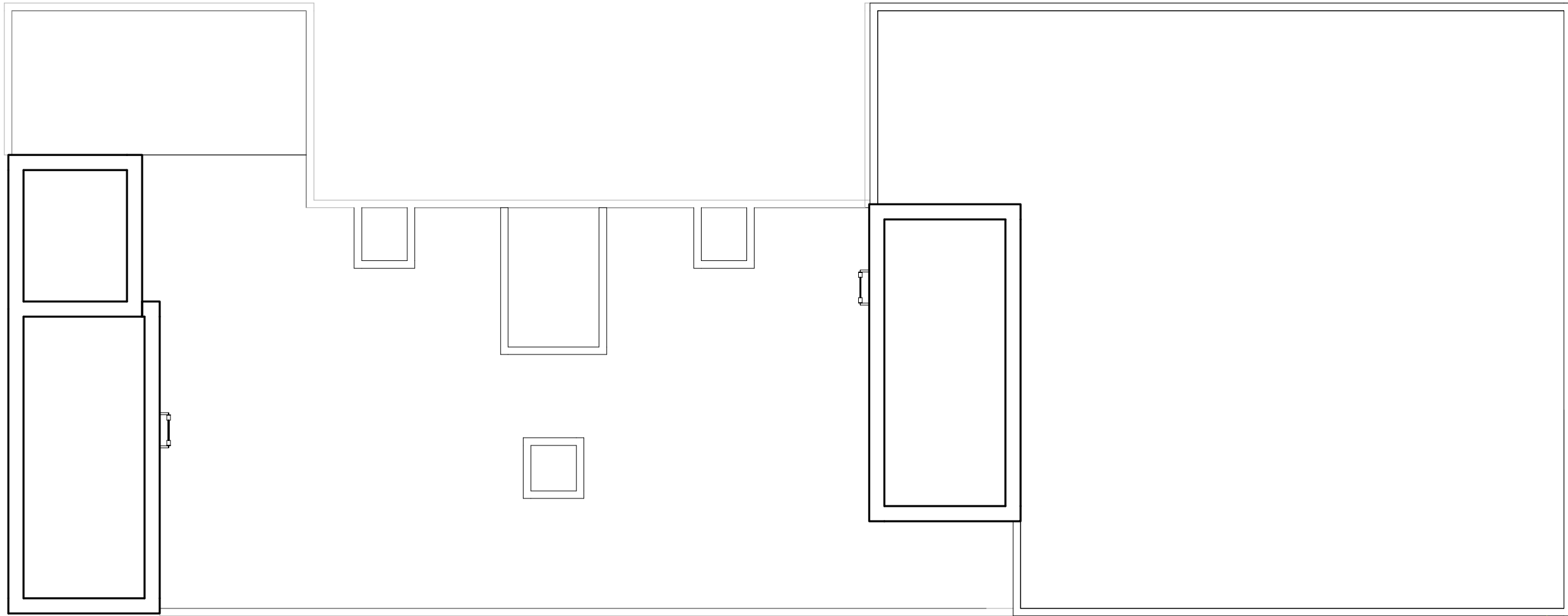
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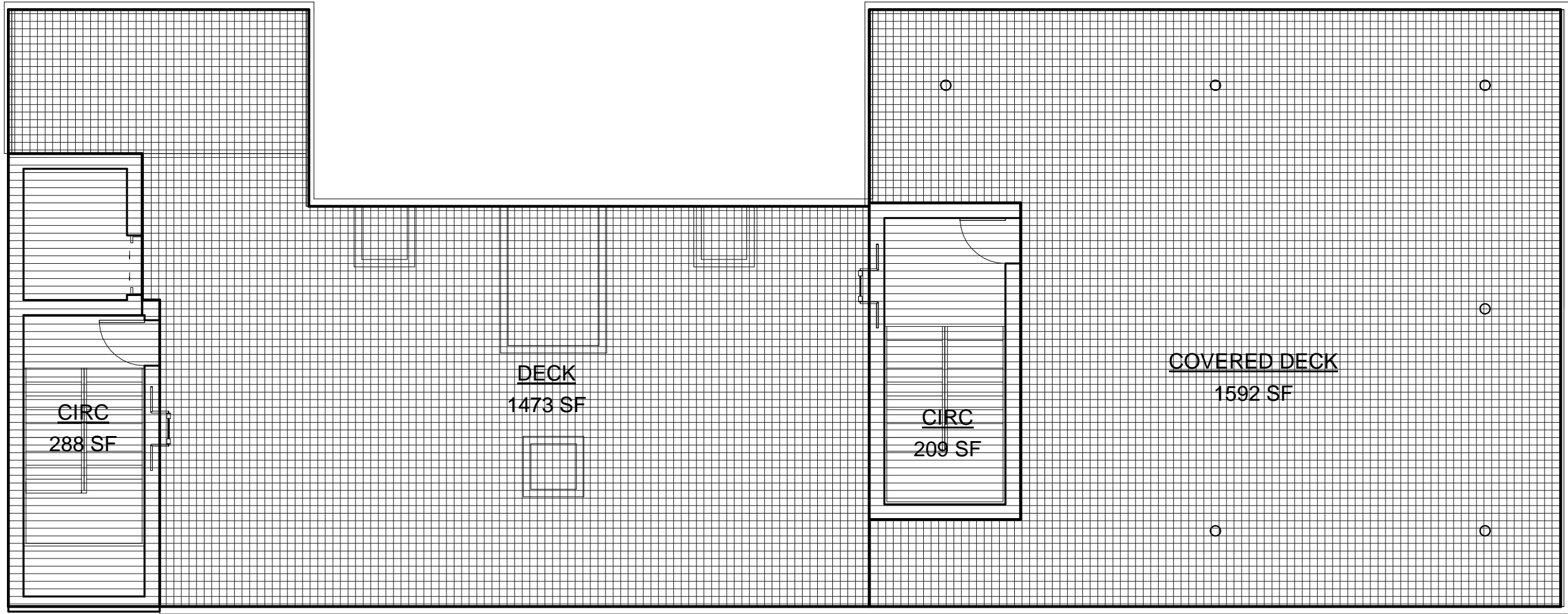


GENERAL NOTES		ABREVIATIONS										PROJECT DATA		DRAWING INDEX	
<div>1. THE SPECIFICATIONS INCLUDED HEREWITH ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH .</div> <div>2. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHAL, THE CITY OF SAN DIEGO BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSTRUED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:<div>2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA GREEN BUILDING CODE/ AMERICANS WITH DISABILITIES ACT</div>THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA - TITLE 24 CCR AS AMMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.</div> <div>REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATION REQUIREMENTS. CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE , WHERE CODES CONFLICT, THE MORE STRINGENT SHALL APPLY.</div> <div>ALL REQUIRED PERMITS SHALL BE OBTAINED FROM THE BUILDINGS OFFICIALS AND THE LOCAL FIRE MARSHAL BEFORE THE BUILDING IS OCCUPIED. FIRE DEPT APPROVAL SHALL BE REQUESTED PRIOR TO FRAMING INSPECTION.</div>		<div>3. CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL, ELECTRICAL ITEMS, ETC. (WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONS OR DISCREPANCIES.</div> <div>4. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE AFOREMENTIONED CODES.</div> <div>5. NOTICE TO THE CONTRACTOR/ BUILDER/ INSTALLER/ SUBCONTRACTOR/ OWNER-BUILDER: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.</div> <div>6. IT IS UNDERSTOOD THAT THE PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS, AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF THE DEFERRED ITEMS LISTED.</div> <div>7. IWE UNDERSTAND THAT IWE WILL NOT AUTHORIZE THE INSPECTION OF DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS.</div>		<div>AC ASPHALT CONCRETE ACT ACUSTICAL CEILING TILE ALUM ALUMINUM ALT ALTERNATE AP ACCESS PANEL ARCH ARCHITECT BD BOARD BLDG BUILDING BLK'G BLOCKING BM BEAM BOT BOTTOM CAB CABINET CAR CARPET CEM CEMENT CL CENTERLINE CLG CEILING CLR CLEAR CT CERAMIC TILE CTR COUNTER COL COLUMN CONSTR CONSTRUCTION CONT CONTINUOUS CORR CORRIDOR DBL DOUBLE DEPT DEPARTMENT DF DRINKING FOUNTAIN DIA DIAMETER DIM DIMENSION DISP DISPENSER DN DOWN DR DRAIN DET DETAIL DWG DRAWING DWR DRAWER EA EACH</div> <div>EJ ELECT ELECT ELECTRICAL ENCL ENCLOSURE EQ EQUAL EW EACH WAY EWC ELECT WATER COOLER EXG EXISTING ETR EXISTING TO REMAIN EXT EXTERIOR FD FLOOR DRAIN FEC FIRE EXTINGUISHER CABINET FHC FIRE HOSE CABINET FIN FINISH FIXT FIXTURE FLR FLOOR FT FEET FURR FURRING GA GAUGE GALV GALVINIZED GB GRAB BAR GL GLASS GSM GALVINIZED SHT METAL GYPS GYPSUM HDR HEADER HDWD HARDWOOD HDWR HARDWARE HGT HEIGHT HORIZ HORIZONTAL ID INSIDE DIAMETER INSUK INSULATION INT INTERIOR JAN JANITOR</div> <div>LAM LAMINATE LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LGT WGT LIGHT WEIGHT MAX MAXIMUM MECH MECHANICAL MIN MINIMUM MISC MESCELLANEOUS NIC NOT IN CONTRACT NO/# NUMBER NTS NOT TO SCALE ON CENTER O OUTSIDE DIAMETER OFCl OWNER FURNISHED/ CONTRACTOR INSTALLED OPENING OPP OPPOSITE PL PLATE/PROPERTY LINE PL LAM PLASTIC LAMINATE PLVD PLYWOOD POL POLISHED PR PAIR PT PRESSURE TREATED PNT PAINTED QTY QUANTITY R RADIUS RD ROOF DRAIN REF REFERENCE REINF REINFORCING ROOM ROOM RO ROUGH OPENING RUB RUBBER</div> <div>SC SCHED SCHD SCHEDULE SHR SHOWER SHT SHEET SPEC SPECIFICATIONS SQ SQUARE ST STL STAINLESS STEEL STD STANDARD STOR STORAGE STL STEEL STRUCT STRUCTURE SUSP SUSPENDEd TELE TELEPHONE TEMP TEMPORARY THK THICK TYP TYPICAL UN UNLES OTHERWISE NOTED VCT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD W/ WITH WD WOOD W/O WITHOUT WGT WEIGHT</div> <div>SOLID CORE SCHEDULE SHOWER SHEET SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STORAGE STEEL STRUCTURE SUSPENDEd TELEPHONE TEMPORARY THICK TYPICAL UNLES OTHERWISE NOTED VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD WITH WOOD WITHOUT WEIGHT</div>		<div>BASE ZONE CCPD-RE</div> <div>OVERLAY ZONES PARK SUN ACCESS OVERLAY ZONE</div> <div>APN 535-156-08-00</div> <div>EXISTING USE SINGLE FAMILY RESIDENTIAL (BUILT 1981)</div> <div>PROPOSED USE MIXED USE (MULTIFAMILY RES &amp; COMM)</div> <div>CONSTRUCTION TYPE TYPE 1 (FULLY SPRINKLERED)</div> <div>LOT DIMS 42'X100'</div> <div>STORIES 7 STORIES W/ ROOF DECK</div> <div>BASE FAR MIN: 3.5 (3.5 X 4,200 SF = 14,500 SF) MAX: 6.0 (6.0 X 4,200 SF = 25,200 SF)</div> <div>DENSITY BONUS FAR 50% (.5 X 25,200 SF = 12,600 SF)</div> <div>ALLOWABLE FAR (25,200 SF + 12,600 SF) / 4,200 SF = 9</div> <div>PROPOSED FAR 25,105 SF / 4,200 SF = 5.9</div> <div>OCCUPANCIES R2 (RESIDENTIAL) B (COMMERCIAL) U (UTILITY)</div> <div>APPLICABLE BLDG CODES CBC 2016</div> <div>PROPOSED BLDG HEIGHT 73'-6"</div> <div>TOTAL PARKING PROVIDED 0</div> <div>REQUIRED PERMITS/APPROVALS CENTER CITY DEVELOPMENT PERMIT/ CENTER CITY PLANNED DEVELOPMENT PERMIT FAA PART 77</div> <div>PROPOSED AFFORDABLE HOUSING DENSITY BONUS 13% VERY LOW INCOME (4 INCENTIVES)</div>		<div>A0.0 COVER SHEET</div> <div>A0.1 PROJECT DATA</div> <div>A0.2 AREA CALCS</div> <div>A0.3 VICINITY MAP &amp; PHOTO SURVEY</div> <div>A0.4 WALL TYPES</div> <div>A1.0 SITE PLAN</div> <div>A1.1 DEMO PLAN</div> <div>A2.0 FLOOR PLAN - BASEMENT</div> <div>A2.1 FLOOR PLAN - LEVEL 1</div> <div>A2.2 FLOOR PLAN - LEVEL 2</div> <div>A2.3 FLOOR PLAN - TYP LEVEL 3-7</div> <div>A2.4 ROOF PLAN</div> <div>A2.5 PENTHOUSE ROOF PLAN</div> <div>A2.6 EXITING DIAGRAMS</div> <div>A3.0 ENLARGED PLANS - RR TYPE 1 &amp; 2</div> <div>A3.1 ENLARGED PLANS - TYP UNIT A &amp; B</div> <div>A3.2 ENLARGED PLANS - TYP UNITS C &amp; D</div> <div>A3.3 ENLARGED PLANS - TYP UNIT E &amp; F</div> <div>A3.4 ENLARGED PLANS - TYP UNIT G</div> <div>A3.5 ENLARGED PLANS - UNIT H</div> <div>A4.0 ELEVATION - EAST</div> <div>A4.1 ELEVATION - SOUTH</div> <div>A4.2 ELEVATION - WEST</div> <div>A4.3 ELEVATION - NORTH</div> <div>A4.4 ENLARGED ELEVATION</div> <div>A4.5 ENLARGED ELEVATION - EGRESS COURT</div> <div>A5.0 COURTYARD AXON</div> <div>A5.1 RENDERING 1</div> <div>A5.2 RENDERING 2</div> <div>A5.3 RENDERING 3</div> <div>A6.0 SECTION 1</div> <div>A6.1 SECTION 2</div> <div>A6.3 WALL SECTIONS</div> <div>A7.0 VICINITY ELEVATIONS</div> <div>A8.0 MATERIAL BOARD</div> <div>C1.0 CIVIL SITE PLAN</div>							
SYMBOLS		VICINITY MAP										PROJECT DIRECTORY		PROJECT NARRATIVE	
<div><div><div>X</div><div>---</div></div><div>GRID / COLUMN CENTERLINE</div><div><div>X</div><div></div></div><div>ACCESSORY/EQUIPMENT TAG</div><div><div>X</div><div> </div></div><div>WALL TAG, WITHOUT SOUND ATTENUATION</div><div><div>X</div><div>/</div></div><div>WALL TAG, WITH SOUND ATTENUATION</div><div><div>XXX</div><div> </div></div><div>WINDOW TAG</div><div><div>X</div><div></div></div><div>KEYNOTE TAG</div><div><div></div><div>N</div></div><div>NORTH ARROW</div><div><div></div><div></div></div><div>INDICATES AREA OUTSIDE SCOPE OF THIS PROJECT, NOT IN CONTRACT (N.I.C.)</div><div><div>ALIG</div><div>N</div><div></div></div><div>ALIGN FACE OF FINISH WITH ADJACENT FACE OF FINISH</div><div><div>ROOM NAME</div><div>XXXXX</div><div>XXX</div></div><div>ROOM NAME/ ROOM NUMBER/ AREA</div></div> <div><div><div>AX.XX/XX</div><div>AX.XX/XX</div></div><div>EXTERIOR ELEVATION SHEET / ELEVATION NUMBER</div><div><div>XX</div><div>AX.XX</div><div>XX</div></div><div>INTERIOR ELEVATION NUMBER / ELEVATION SHEET</div><div><div>XX</div><div>AX.XX</div></div><div>SECTION NUMBER / SECTION SHEET</div><div><div>XX</div><div>AX.XX</div></div><div>DETAIL NUMBER / DETAIL SHEET</div><div><div>XX</div><div>AX.XX</div></div><div>ENLARGED PLAN CALLOUT NUMBER / DETAIL SHEET</div><div><div>XXX</div><div></div></div><div>DIMENSION FROM FACE OF STUD TO FACE OF STUD, U.O.N</div></div>		<div><div><div>PROJECT SITE</div></div><div><div>PARK BLVD</div><div>ISLAND AVE</div><div>J ST</div><div>13TH AVE</div><div>14TH AVE</div></div></div>										<div>OWNER/DEVELOPER/ CONTRACTOR/ ARCHITECT/ STRUCTURAL/MEP NAKHSHAB DEVELOPMENT &amp; DESIGN INC 340 15TH STREET, SUITE 100 SAN DIEGO, CA 92101 P (619) 255-7257</div> <div>LANDSCAPE ARCHITECT MAK Design 1537 BIRCH BRIAR LANE ESCONDIDO, CA 92027 P (760) 715-0732</div> <div>CIVIL ENGINEER COFFEY ENGINEERING, INC 9666 BUSINESS PARK AVE, SUITE 210 SAN DIEGO, CA 92131-1646 P (858) 831-0111</div> <div>GEOTECHNICAL ENGINEER CHRISTIAN WHEELER 3980 HOME AVENUE SAN DIEGO, CA 92105 P (619) 550-1700</div> <div>GEOLOGIST MICHAEL. W. HART P.O. BOX 261227 SAN DIEGO, CA 92196 P (858) 578-4672</div> <div>HISTORIC ARCHITECT UNION ARCHITECTURE 1530 BROOKES AVENUE SAN DIEGO,CA. 92103 P (619) 269-4941</div> <div>HISTORIC ATTORNEY MARIE BURKE LIA 427 C STREET, SUITE 416 SAN DIEGO, CA 92101 P (619) 235-9766</div> <div>ARCHEOLOGIST REBEKAH LOVELESS ARCHAEOLOGICAL PI LOVELESS LINTON, INC. P (619) 922-0718</div>		<div>The Proposed Project, Ezabelle, is a new Affordable mixed use building consisting of Residential Apartments and Ground Floor Commercial to activate the street. The proposed project will require the relocation of an existing Historic Home, built in 1881, to a new portion of the existing site. The Historic Home will be incorporated into the propped project and maintain a strong presence in the neighborhood.</div> <div>The current site is a approximately 4200 sf interior lot located on 13th street, between Island and J Street. Along the South and East Property Line there is an adjacent 6 story apartment building. Along the North Property Line there is an existing 3 story Historic Home currently being used as a law office.</div> <div>Ezabelle will consist of 45 new residential apartments and 1 large ground floor commercial space. 13% of our units will be dedicated to Very Low Income Tenants. The new project will capitalize on the public amenities the metro area has to offer. Access to the Trolley Station which is less than a block from the site and the creation of a micro community within the proposed commercial ground floor spaces. The building will create a large courtyard space open to the sky to allow for better quality of life and to create a indoor/outdoor gathering space for the community.</div> <div>All Residential Units will be fully equipped with modern bells and whistles. The concept for the units is based on a Swiss Army Knife. All fixtures/Appliance/Furniture will be built in to the residential units. High-End Cabinetry running the entire wall lengths housing independent Washer-Dryers, Dishwashers, Kitchens, Water Heaters, Beds, Storage, benches, etc.... The building will also be designed and built to meet the standards for LEED Certification. This building will most likely achieve LEED Platinum making it sustainable for the future tenants and the city as a whole.</div>	
LEGAL DESCRIPTION												AREA CALCULATIONS			
NORTH 8 FEET OF LOT "J" AND THE SOUTH 34 FEET OF LOT "K" IN BLOCK 106 OF HORTON'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEROF MADE BY L.L. LOCKING, ON FILE IN THE OFFICE OF THE COUNTY RECORDER, OF SAID SAN DIEGO COUNTY. SEE RECORD SURVEY OF 11147.												SEE A0.2 FOR AREA CALCULATIONS & DIAGRAMS			
SCOPE OF WORK												DENISTY BONUS			
(N) (45) UNIT 7-STORY APT BUILDING W/ ROOF DECK & (2) GROUND FLOOR COMMERCIAL UNITS. (5) STUDIO APTS ON LEVEL 2 & (8) STUDIO APTS TYP OF LEVELS 3-7. 10% VERY LOW INCOME UNITS TO BE INCORPORATED INTO BUILDING. NO PARKING WILL BE INCORORATED INTO BUILDING.												<div>MARKET RATE UNITS 39 (86.66%) VERY LOW INCOME UNITS 6 (13.33%) TOTAL UNITS 45 (100%)</div> <div>NOTE: SEE FLOOR PLANS FOR VERY LOW INCOME UNIT LOCATIONS (UNIT G AFFORDABLE UNIT)</div>			
DEVIATIONS/INCENTIVES												PROJECT DATA			
DEVIATIONS ARE GRANTED AS DEVELOPMENT INCENTIVES FOR AFFORDABLE HOUSING DENSITY BONUS PROJECTS PER SDMC 143-0740 & CA GOV CODE 65915-65918 <ul style="list-style-type: none"><li>13% VERY LOW INCOME UNITS WILL BE PROVIDED</li><li>13% PERMITS 4 INCENTIVES &amp; 50% DENSITY BONUS PER TABLE 143-07A VERY LOW INCOME DENSITY BONUS HOUSEHOLDS</li></ul>												PROJECT NO.:			
DEVIATIONS <ul style="list-style-type: none"><li>1. COMMERCIAL SPACE DIMENSIONAL REQ'S PER 156.0310(e) &amp; (f)</li></ul>												DATE: 01-23-2018			
INCENTIVES <ul style="list-style-type: none"><li>1. REDUCE PARKING FROM 12 TO ZERO.</li></ul>												SHEET NO.:			
												A0.1			

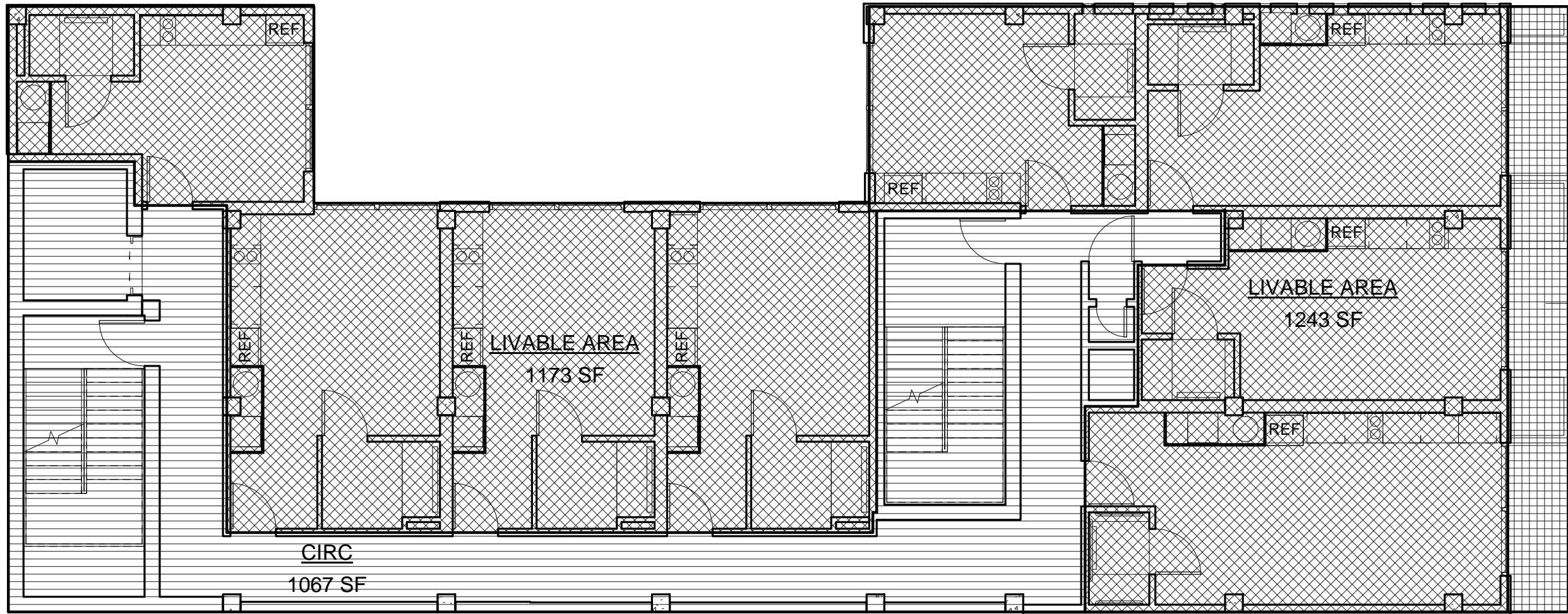




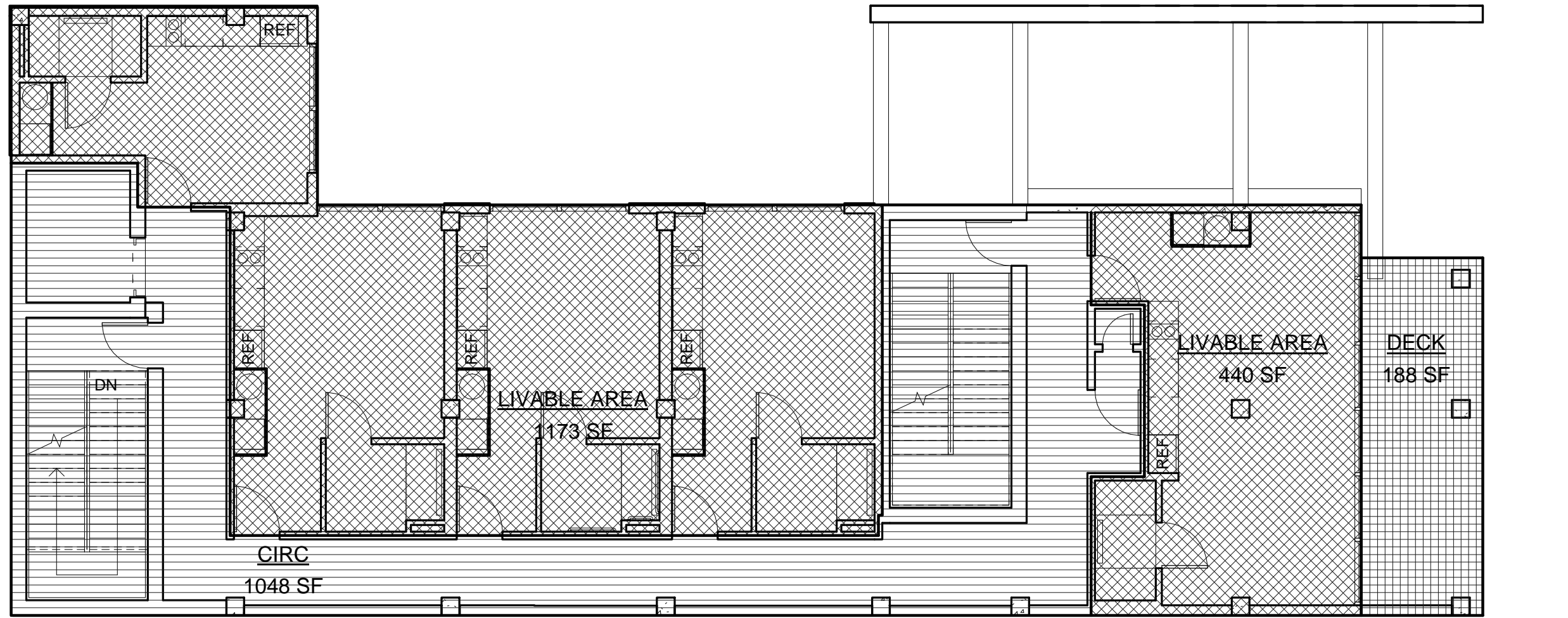
6 COVERED HIGH ROOF  
1/8" = 1'-0"



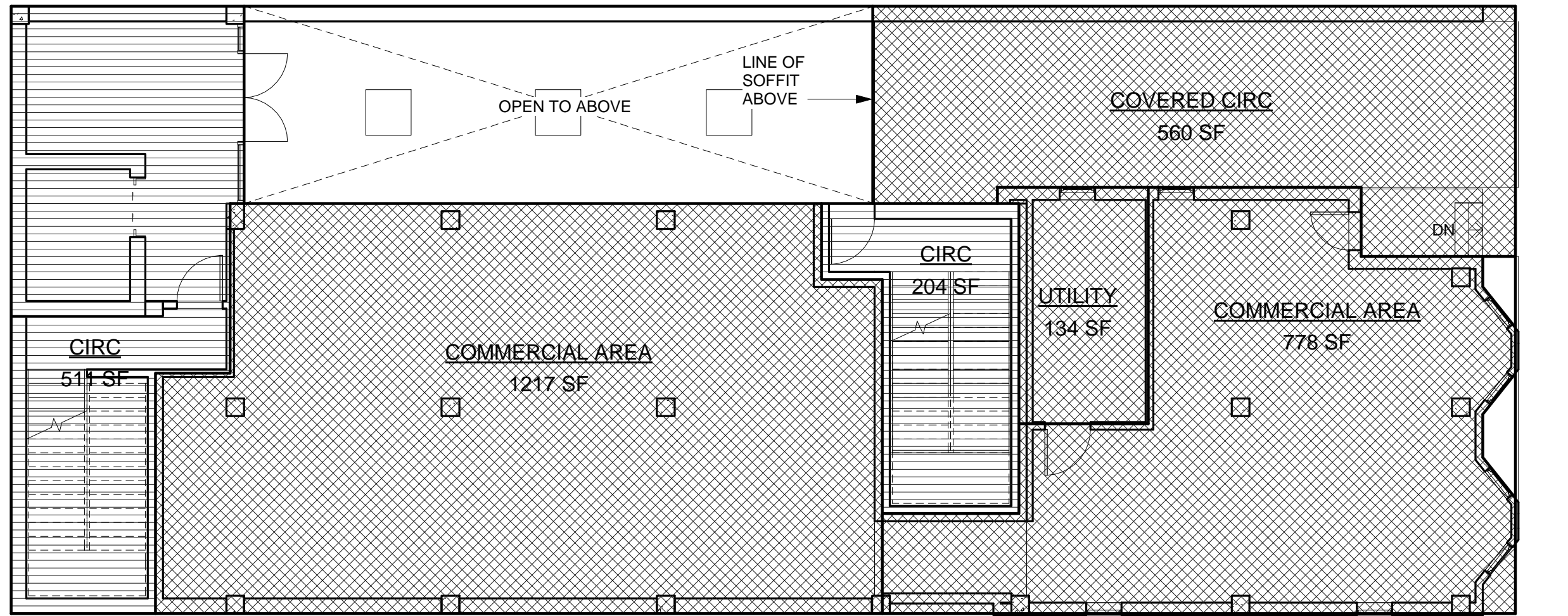
5 ROOF  
1/8" = 1'-0"



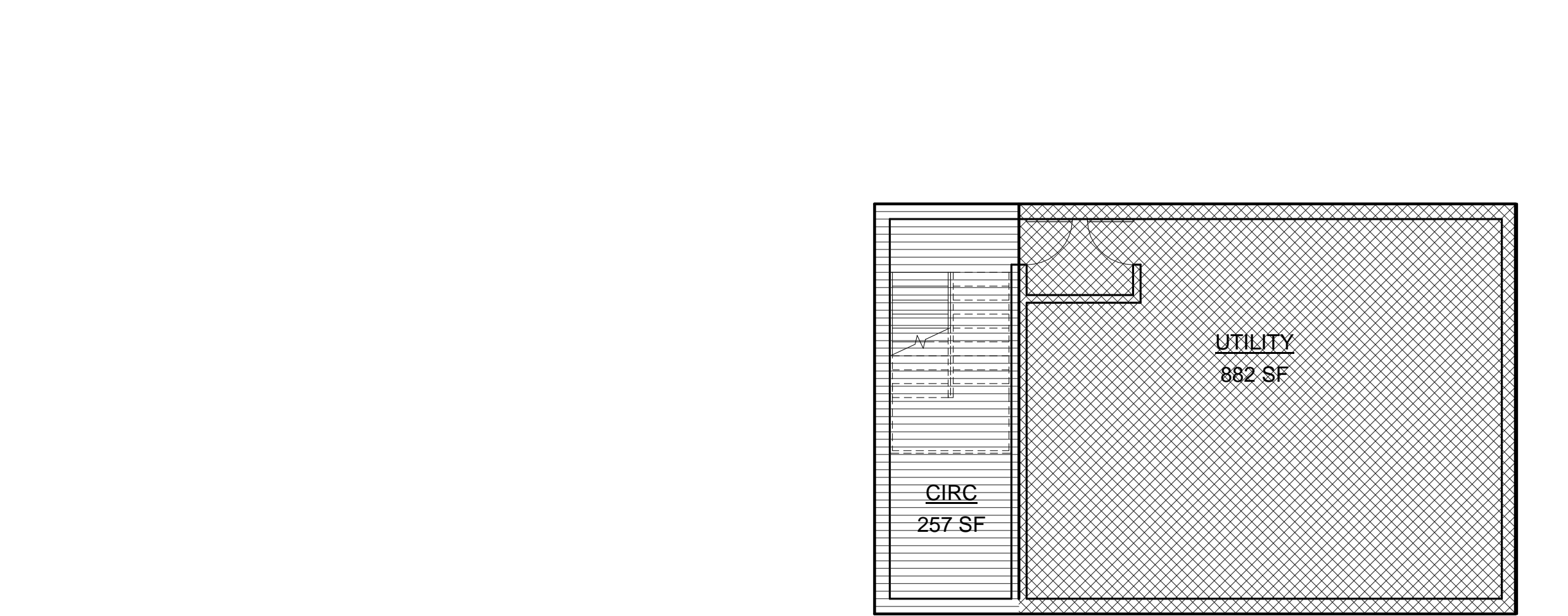
4 TYP LEVEL 3-7  
1/8" = 1'-0"



3 LEVEL 2  
1/8" = 1'-0"



2 LEVEL 1  
1/8" = 1'-0"



1 BASEMENT  
1/8" = 1'-0"

FAR & OCCUPANCY CALCULATIONS		
LEVEL	OCCUPANCY	AREA
BASEMENT	U	1138 SF
GRADE	B	3065 SF
GRADE	U	134 SF
LEVEL 2	R-2	2661 SF
LEVEL 3	R-2	3483 SF
LEVEL 4	R-2	3483 SF
LEVEL 5	R-2	3483 SF
LEVEL 6	R-2	3483 SF
LEVEL 7	R-2	3483 SF
ROOF	R-2	497 SF
GSF INCLUDED IN FAR:		24913 SF

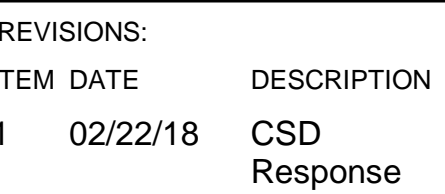
GROSS FLOOR AREAS																										
BASEMENT		AREA	LEVEL 1		AREA	LEVEL 2		AREA	LEVEL 3		AREA	LEVEL 4		AREA	LEVEL 5		AREA	LEVEL 6		AREA	LEVEL 7		AREA	ROOF		AREA
CIRC		257 SF	CIRC		715 SF	CIRC		1048 SF	CIRC		1067 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		497 SF
UTILITY		882 SF	COMMERCIAL AREA		1995 SF	DECK		188 SF	DECK		160 SF	DECK		160 SF	DECK		160 SF	DECK		160 SF	DECK		160 SF	COVERED DECK		1592 SF
TOTAL		1138 SF	COVERED CIRC		560 SF	LIVABLE AREA		1614 SF	LIVABLE AREA		2416 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	DECK		1473 SF
			UTILITY		134 SF	TOTAL		2850 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3561 SF
			TOTAL		3403 SF																					

UNIT COUNT & NET AREA								
UNIT TYPE	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H
STUDIO	STUDIO	STUDIO	STUDIO	STUDIO	STUDIO	STUDIO	STUDIO (AFFORDABLE)	STUDIO
UNIT SIZE	218 SF	296 SF	266 SF	345 SF	282 SF	290 SF	210 SF	400 SF
QUANTITY	5	5	5	5	12	6	6	1

NOTE: SEE FLOOR PLANS FOR UNIT DESIGNATION

LEGEND	
	HABITABLE AREA - INCLUDED IN FAR
	CIRCULATION - INCLUDED IN FAR
	AREA EXCLUDED FROM FAR





PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

SHEET TITLE:

VICINITY MAP &  
PHOTO SURVEY

PROJECT NO.:

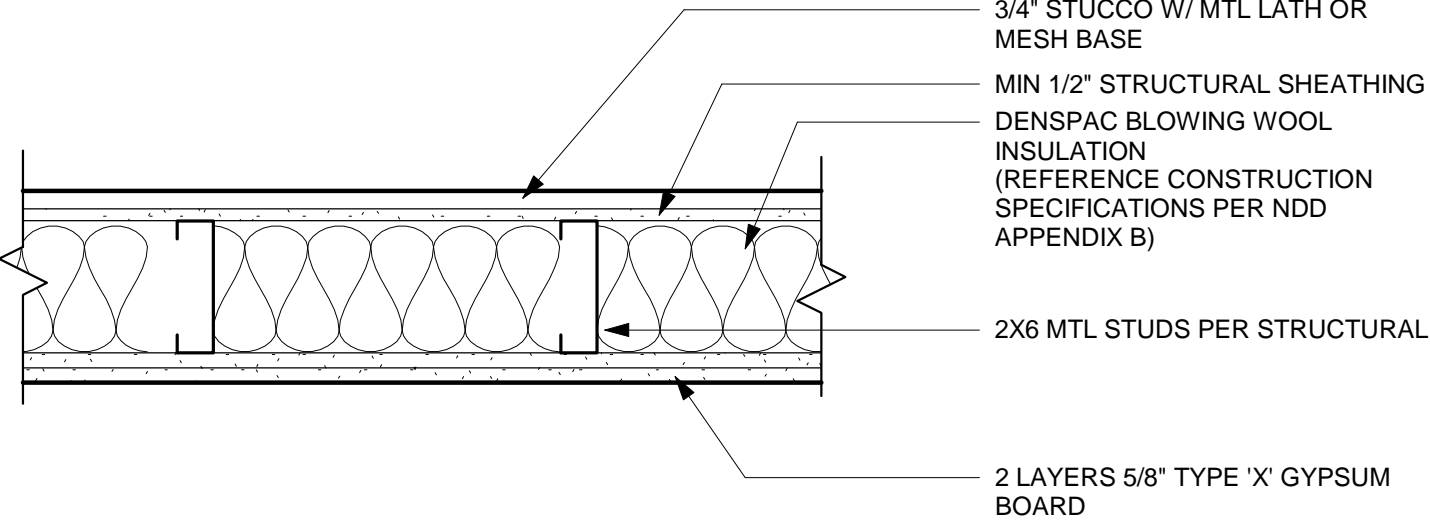
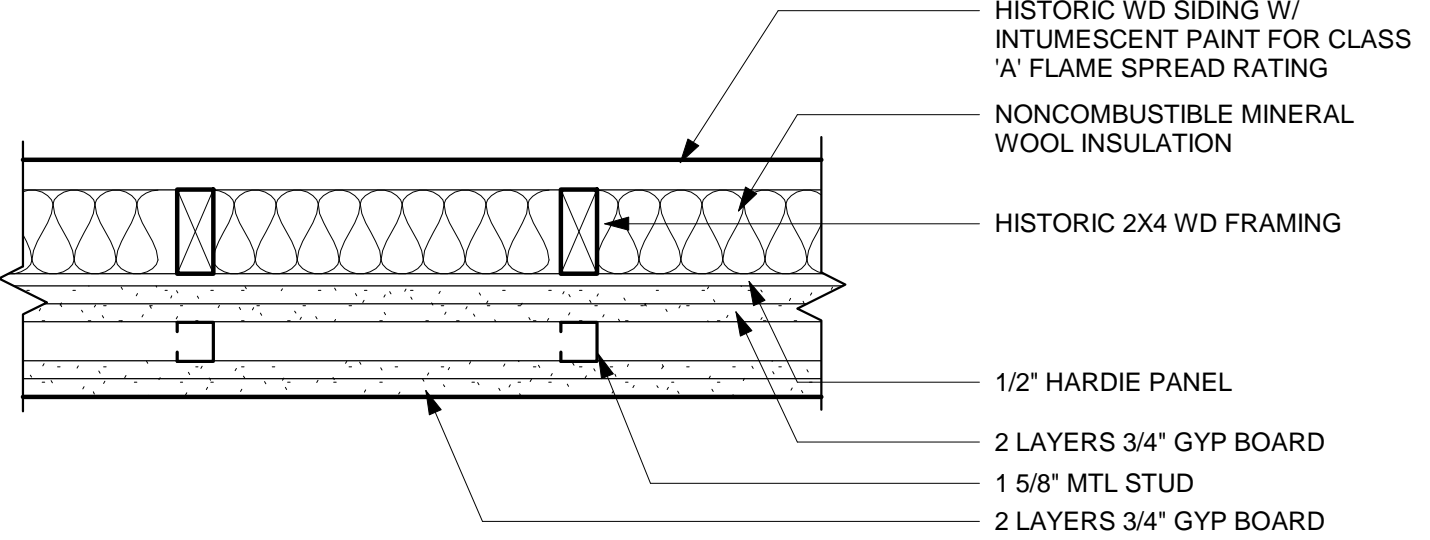
DATE: \_\_\_\_\_

01-23-2018

SHEET NO.:

# A0.3



SYMBOL	WALL ASSEMBLY	FIRE RATING	SOUND RATING	TEST ASSEMBLY	DESCRIPTION	WALL ASSEMBLY NOTES
<div><div>A</div><div>2x6 EXT. WALL</div></div>	<div><div><div>3/4" STUCCO W/ MTL LATH OR MESH BASE</div><div>MIN 1/2" STRUCTURAL SHEATHING</div><div>DENSPAC BLOWING WOOL INSULATION (REFERENCE CONSTRUCTION SPECIFICATIONS PER NDD APPENDIX B)</div><div>2X6 MTL STUDS PER STRUCTURAL</div><div>2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD</div></div></div>	2 HR (MINIMUM FINISHED THICKNESS FACE-TO-FACE: 8")	xx	UL U418	<ul style="list-style-type: none"><li>TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD BASE LAYERS APPLIED VERTICALLY.</li><li>2x6 MTL STUDS 16" O.C.</li><li>MIN 1/2 EXTERIOR GYPSUM SHEATHING</li><li>MIN 3/4" PORTLAND CEMENT TYPE STUCCO W/ METAL LATH OR MESH BASE</li></ul>	<div><div>1. WALLS ARE FULL HEIGHT TO ROOF UNLESS OTHERWISE NOTES.</div><div>2. WHEN WALLS ARE FIRE-RESISTIVE OR NON-COMBUSTIBLE, THE FINISH MATERIAL SHALL BE APPLIED DIRECTLY AGAINST SUCH FIRE-RESISTIVE OR NON-COMBUSTIBLE CONSTRUCTION OR TO FURRING STRIPS NOT EXCEEDING 1-3/4", THE FURRED SPACE SHALL BE FILLED WITH INORGANIC OR CLASS 1 MATERIAL OR FIRE STOPPED OT TO EXCEED 8 FEET IN ANY DIRECTION. (SECTION 803, ITEM 1)</div><div>3. AT ACOUSTICAL WALLS (WHERE RESILIENT CHANNELS OR STAGGERED STUDS ARE USED), CAULK ALL HOLES AND GAPS.</div><div>4. ALL SEPARATING WALLS AND FLOORS-CEILING ASSEMBLIES SHALL PROVIDE A MINIMUM STC AND IIC OF 50 (PER SECTION 1208 CBC). FLOOR COVERINGS INCLUDED IN THE ASSEMBLY MUST BE PERMANENTLY RETAINED AND MAY BE REPLACED ONLY BY OTHER FLOOR COVERING PROVIDING THE SAME SOUND INSULATION.</div></div>
<div><div>B</div><div>HISTORIC WD WALL W/ 3 HR IMPROVEMENT</div></div>	<div><div><div>HISTORIC WD SIDING W/ INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING</div><div>NONCOMBUSTIBLE MINERAL WOOL INSULATION</div><div>HISTORIC 2X4 WD FRAMING</div><div>1/2" HARDIE PANEL</div><div>2 LAYERS 3/4" GYP BOARD</div><div>1 5/8" MTL STUD</div><div>2 LAYERS 3/4" GYP BOARD</div></div></div>	3 HR (MINIMUM FINISHED THICKNESS FACE-TO-FACE: 9 7/8")	N/A	HISTORIC WALL UL U419	<div><div><b>HISTORIC WALL PORTION:</b></div><ul style="list-style-type: none"><li>HISTORIC WD SIDING W/ INTUMESCENT PAINT FOR CLASS 'A' FLAME SPREAD RATING</li><li>HISTORIC 2X4 WD FRAMING</li><li>NONCUMBISTIBLE MINERAL WOOL INSULATION</li><li>1/2" HARDIE PANEL</li></ul><div><b>3 HR PORTION (UL419):</b></div><ul style="list-style-type: none"><li>2 LAYERS 3/4" GYP WALL BOARD APPLIED HORIZONTALLY OR VERTICALLY</li><li>1 5/8" MTL STUD W/ 24" OC MAX SPACING</li><li>2 LAYERS 3/4" GYP WALL BOARD APPLIED HORIZNTALLY OR VERTICALLY</li></ul></div>	<div><div>1. ALL FIRE AND SMOKE ASSEMBLIES, WALLS, PARTITIONS, FLOORS, CEILING AND ROOF ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UL, OR OTHER APPROVED TESTING LABORATORY, AND MFG'S PROCEDURES. ALL SOUND WALLS OR PARTITION SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN IN PROJECT DRAWING, AND AS CALLED FOR BELOW</div><div>2. ALL GYPSUM BOARD INSTALLATIONS AT FIRE, SOME SOUND, OR OTHER PARTITIONS, WALLS, CEILINGS, AND ROOF ASSEMBLIES, SHALL BE INSTALLED WITH THE FOLLOWING EXPLANATORY NOTE</div><div><div>a. FASTENERS INSTALLED ALONG THE EDGES OF GYP. BD. ARE PLACED ALONG THE PAPER BOUND EDGES OF THE LONG DIMENSION OF THE BD. FASTENERS AT THE END ARE PLACED ALONG MILL OR FIELD CUT ENDS ON THE SHORT DIMENSION. FASTENERS ON THE PERMETER OF THE BOARD ARE ALONG BOTH EDGES AND ENDS.</div><div>b. SCREWS MEETING ASTM C1002 MAY BE SUBSTITUTED FOR PRESCRIBED NAILS, ONE FOR ONE, WHEN THE HEAD DIMENSION, LENGTH, AND SPACING OF THE SCREWS ARE NOMINALLY EQUAL TO THOSE OF THE NAILS USED IN THE TESTED ASSEMBLY.</div><div>c. VERTICALLY APPLIED BOARDS HAVE THE EDGES PARALLEL TO FRAMING MEMBERS. HORIZONTALLY APPLIED BOARDS HAVE THE EDGES AT THE RIGHT ANGLES TO THE FRAMING MEMBERS. INTERMEDIATE VERTICAL FRAMING MEMBERS ARE THOSE BETWEEN THE VERTICAL EDGES OR ENDS OF THE BOARD.</div><div>d. ALL WALLS, PARTITIONS, AND CEILING ASSEMBLIES, EXCEPT THOSE WITH CERAMIC, QUARRY TILE OR METAL COVERED SURFACES, REQUIRE TAPPING OF JOINTS (SEE ITEM e FOR EXCEPTION).</div><div>e. WHEN A FIRE RATED PARTITION EXTENDS ABOVE THE CEILING, THE WALL BOARD JOINTS ABOVE THE CEILING NEED NOT BE TAPED WHEN ALL OF THE FOLLOWING CONDITIONS ARE MET.</div><div><div>A. ALL VERTICAL JOINTS OCCUR OVER FRAMING MEMBERS AND GYP. BD. SHALL BE INSTALLED WITH TIGHT FITTING JOINTS, NO JOINT OPENING SHALL EXCEED A TOLERANCE OF +1/16". ANY JOINT WHICH EXCEEDS +1/16" SHALL BE TAPED OR COVERED WITH JOINT TREATMENT.</div><div>B. HORIZONTAL JOINTS ARE STAGGERED 24" O.C. ON OPPOSITE SIDES OR COVERED WITH 6" WIDE STRIPS OF GYPSUM BOARD ATTACHED WITH 1-1/2" LAMINATING SCREWS AT 8" O.C.</div><div>C. PARTITION IS TWO PLY SYSTEM WITH JOINTS STAGGERED 16" OR 24" O.C.</div><div>D. PARTITION IS NOT PART OF A SMOKE OR SOUND CONTROL SYSTEM</div></div><div>f. CEILING ROOF ASSEMBLIES WITH GYP. BD. WHICH ARE NOT EXPOSED TO VIEW AND 2-PLY SYSTEMS WITH JOINTS STAGGERED, DO NOT REQ. TAPING. ALL SINGLE PLY SYTEMS, WHERE JOINTS DO NOT MEET AT FRAMING MEMBERS, WILL BE TAPED. ALL PENETRATIONS OF CLG. ROOF ASSEMBLIES SHALL BE SEALED AND FIRESTOPPED.</div><div>g. WATER RESISTANT BACKER BOARD OR GYP. BD. BACKING SHOULD BE INSTALLED OVER, OR AS PART OF THE FIRE RATED ASSEMBLY IN SHOWER OR TUB AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS. WHEN FIRE AND SOUND RATINGS ARE NECESSARY, THE BACKER BOARD OR GYP. BD. REQD. FOR THE RATING MUST BE BROUGHT DOWN TO THE FLOOR BEHIND THE FIXTURE SO THAT THE CONSTRUCTION WILL EW. TO THAT OF TESTED ASSEMBLY.</div></div><div>3. UTILITY PENETRATIONS IN FIRE, SMOKE, SOUND WALL PARTITIONS, AND CEILING ASSEMBLIES, SHALL BE FIRE -STOP AND SOUND SEALED WITH AN APPROVED MATERIAL SECURELY INSTALLED -3M FIRE BARRIER SEALANT CP 25 WB+, ASTM E 814 (UL 14709) STC 54</div><div><div>a. STEEL ELECTRICAL OUTLET BOXES WHICH DO NOT EXCEED 16 SQ. INCHES IN AREA PER 100SF, NEED NOT BE PROTECTED IN 1-HR. OR 2-HR. FIRE RATED WALLS, PARTITIONS, CEILINGS, OR AREA SEPARATION UNLESS THEY:</div><div><div>A. OCCUR ON OPPOSITE SIDES OF THE WALL WITHIN 24" HORIZONTAL DISTANCE OF ONE ANOTHER. IN THIS CASE ONLY ONE (1) OUTLET BOX NEED BE PROTECTED BY AN APPROVED MATERIAL OR DETAIL TO CORRECT THIS CONDITION.</div><div>B. OCCUR IN COMBINATION WITH OUTLET BOXES OF ANY SIZE SUCH THAT THE AGGREGATE AREA OF UNPROTECTED OUTLET BOXES EXCEEDS 100 SQUARE INCHES IN ANY 100SF OF WALL AREA. IN THIS CASE ONLY A SUFFICIENT NUMBER OF OUTLET BOXES NEED BE PROTECTED BY AN APPROVED MATERIAL OR DETAIL TO DECREASE THE AGGREGATE AREA OF UNPROTECTED UTILITY BOXES TO LESS THAN 100 SQUARE INCHES IN ANY 100SF OF WALL.</div></div></div><div>b. STEEL ELEC. OUTLET BOXES WHICH EXCEED 16 SQ. INCHES IN AREA, AND ALL OTHER STEEL UTILIT OUTLET BOXES (MEDICAL GASES, WATER ETC.) REGARDLESS OF SIZE, MUST BE PROTECTED BY AN APPROVED FIRESTOP MATERIAL</div><div>c. 3M BRAND FIRE BARRIER PUTTY PADS, MPP-1, OR A UL APPROVED EQUAL PRODUCT SHALL BE USED TO PROTECT STEEL UTILITY OUTLET BOXES (ELEC., MEDICAL GASES, WATER, ETC.) UP TO 100 SQ. INCHES OF AREA</div><div>d. STEEL UTILITY BOXES (ELEC. PANELS, MEDICAL GAS VALVE BOXES ETC.) WHICH EXCEED 100 SQ. INCHES IN AREA WILL BE PROTECTED BY ENCASING THEM IN GYP. BD. PER DETAILS.</div><div>e. ALL UTILITY AND ELECTRICAL OUTLETS OR BOXES, SHALL BE SECURELY FASTENED TO THE STUD OR FRAMING OF THE WALL, PARTITION, OR CLG. ASSEMBLY. THE OPENING IN THE GYP. BE FACING SHALL BE CUT SO THAT THE CLEARANCE BETWEEN THE BOX AND THE GYPSUM BOARD DOES NOT EXCEED 1/8"</div><div>f. ALL FIRE SPRINKLER, MECHANICAL, PLUMBING, AND ELEC. COMMUNICATION LINES THAT PENETRATE FIRE, SMOKE, OR SOUND WALLS SHALL LBE FIRESTOP AND SEALED PER THE SPECIFICATIONS OR DETAILS.</div></div> <div>4. ALL LIGHT FIXTURE AND AIR DUCT PROTECTION SHALL BE AS DETAILED ON THE DRAWINGS, OR AS CALLED FOR IN THE SPECIFICATIONS.</div> <div>5. THE THROUGH-PENETRATION FIRESTOP SYSTEM SHOWN IN THE CONTRACT DOCUMENTS, HAS BEEN APPROVED BY THE PERMITTING AUTHORITY, ANY SUBSTITUTIONS AND/OR CHANGES OF THE SYSTEM SHALL BE RESUBMITTED AND APPROVED BEFORE USE IN THE PROJECT. THE FOLLOWING IS THE MINIMUM REQUIREMENT FOR THE CONTRACTOR TO PROVIDE IN HIS SUBMITTAL:</div> <div><div>a. A DETAILED DRAWING OF THE SUBSTITUTED FIRESOP SYSTEM.</div><div>b. A UL, OR EQUAL, TEST DATA SHEETS CONFIRMING THE APPROVAL OF THE FIRESTOP SYSTEM OR PRODUCT.</div><div>c. THE LOCATION AND DESCRIPTION OF WHERE THE FIRESTOP SYSTEM WILL BE USED IN THE PROJECT</div><div>d. THE SUBMITTAL APPROVAL BY THE AGENCY WHO IS RESPONSIBLE FOR THE JURISDICTION OF THE PROJECT.</div></div> <div>6. FASTENERS IN PRESERVATIVE-TREATED WOOD AND FIRE-RETARDANT WOOD; FASTENERS IN PRESERVATIVE-TREATED WOOD AND FIRE RETARDANT WOOD SHALL BE HOT DIPPED SINC-COATED GALVANIZED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B 685, CLASS 55 MINIMUM. FASTENERS OTHER THAN NAILS, WOOD SCREWS, AND LAG SCREWS MAY BE MECHANICALLY DEPOSITED ZINC IN ACCORDANCE WITH ASTM B 685, CLASS 55</div> <div>7. WALL, AND FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.3 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIAL SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY.</div>



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>th</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
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REVISIONS:	
ITEM	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

WALL TYPES

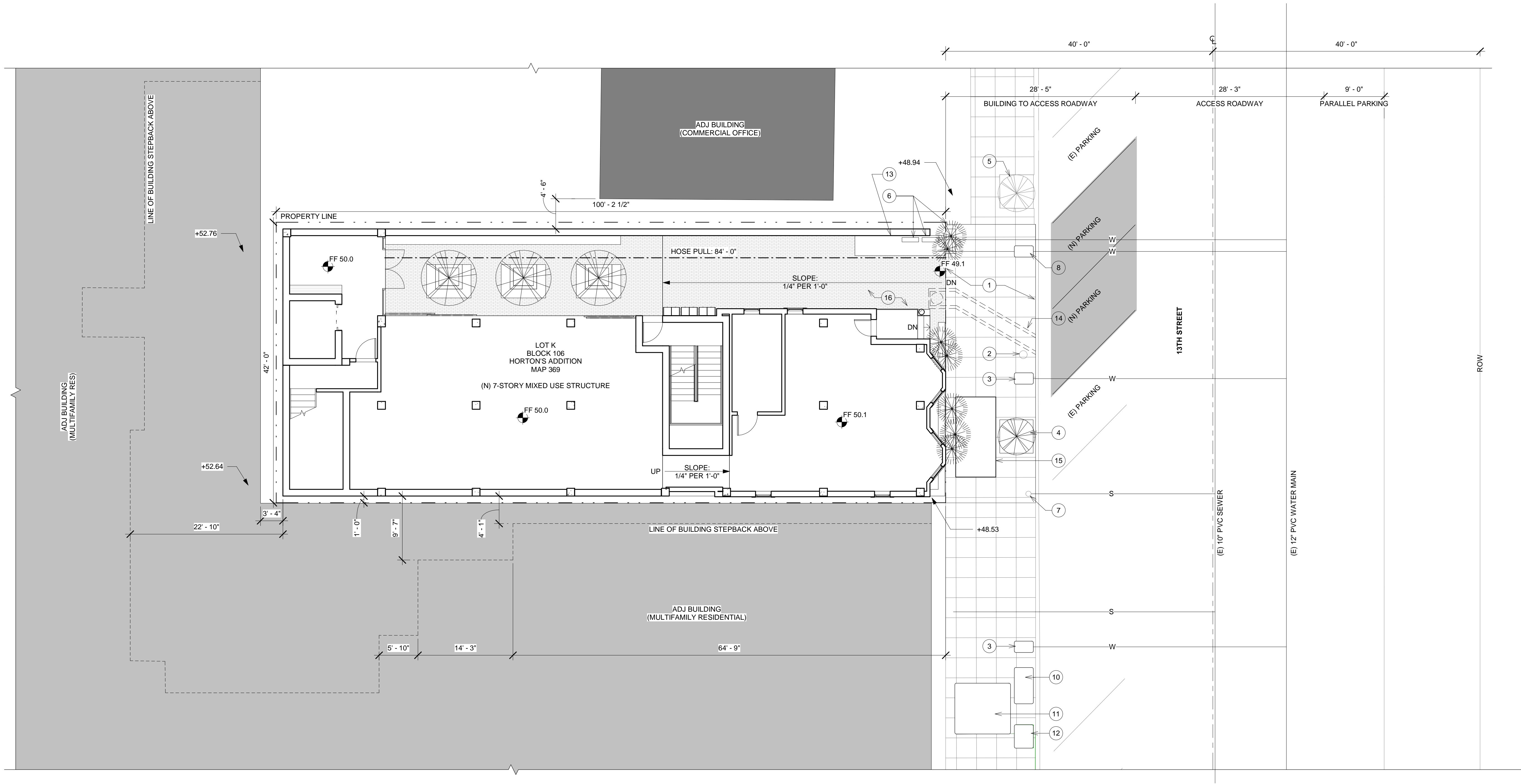
PROJECT NO.:

DATE:  
01-23-2018

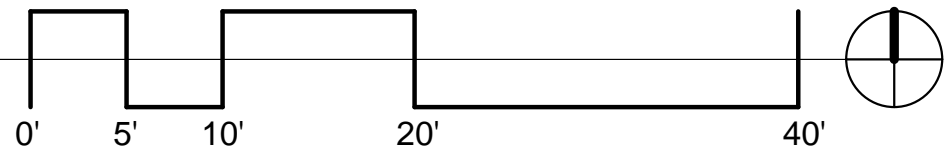
SHEET NO.:

A0.4





1 SITE PLAN  
1/8" = 1'-0"



SITE PLAN NOTES		GENERAL NOTES	
1 (N) SIDEWALK	7 (E) SEWER SERVICE TO REMAIN	1. NO EASEMENTS PRESENT ON SITE 2. NO TRANSIT STOPS W/ ONE BLOCK 3. SEE A2.1 FIRST LEVEL PLAN FOR REFUSE & RECYCLING AREAS 4. SEE A2.1 FIRST LEVEL PLAN FOR ARCHITECTURAL PROJECTS	
2 (E) STREET LIGHT	8 (N) 2" WATER SERVICE		
3 (E) WATER METER	9 (N) D-25 CURB OUTLET		
4 (N) STREET TREE	10 ELEC VAULT		
5 (E) STREET TREE	11 VAULT		
6 BACKFLOW & FIRE BACKFLOW PREVENTER W/ SCREEN & VEGETATION. LOCATION OF POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS & ALARM BELL.	12 CATV	<div><div></div> ADJACENT COMMERCIAL OFFICE BUILDING</div> <div><div></div> ADJACENT MULTI FAMILY BUILDING</div> <div><div></div> HOSE PULL</div>	
	13 KNOX BOX LOCATION. TO BE INSTALLED PER FPB K-15-2		
	14 NDS TRENCH DRAIN W/ CATCH BASIN FILTER. SEE CIVIL DRAWINGS FOR MORE DETAIL		
	15 SD&E VAULT DOOR		
	16 LANDSCAPE PLANTER		



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SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

SITE PLAN

PROJECT NO.:

DATE:  
01-23-2018

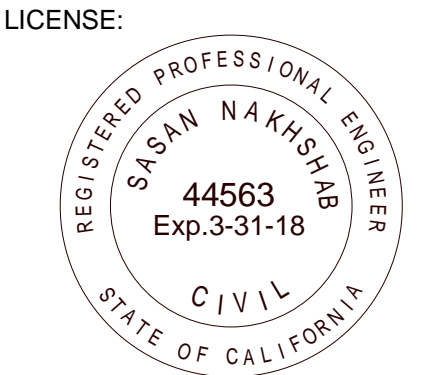
SHEET NO.:

A1.0





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PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

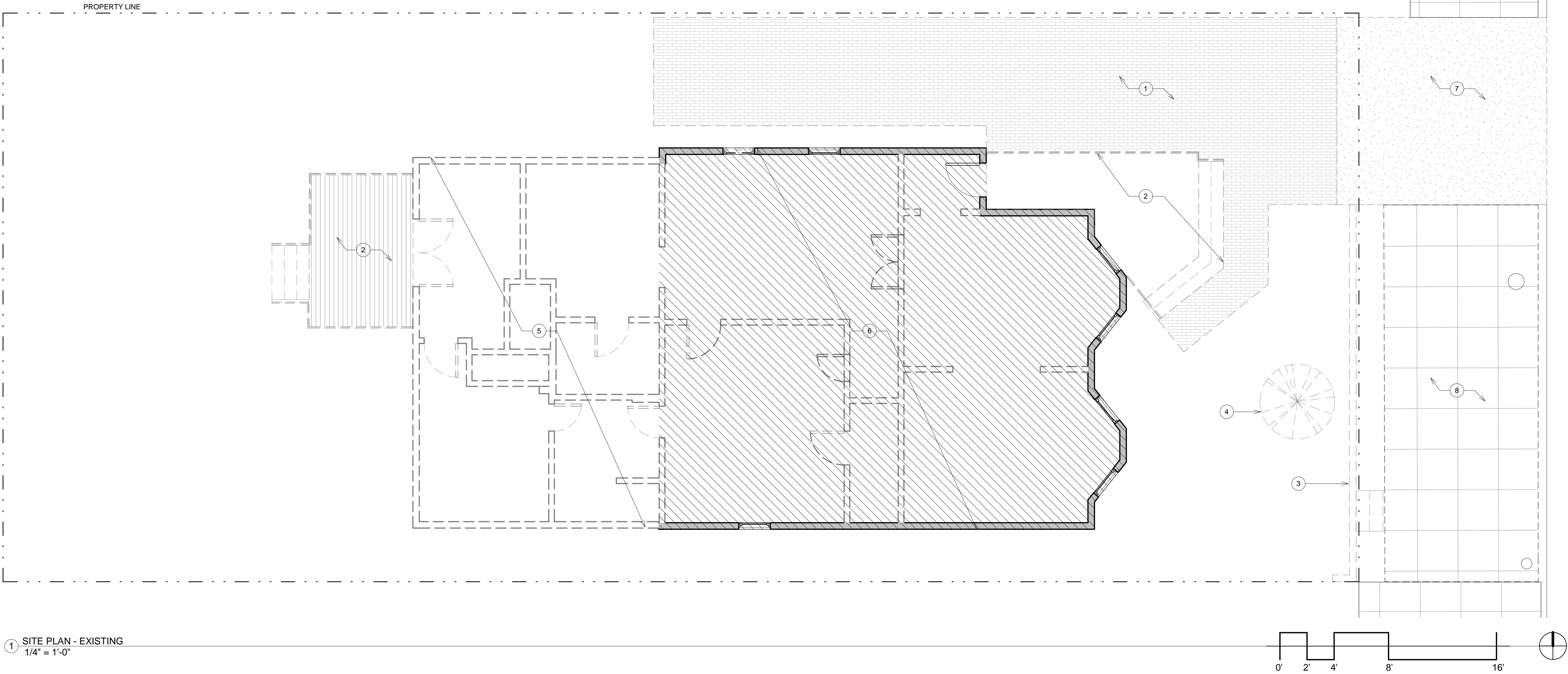
DEMO PLAN

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A1.1

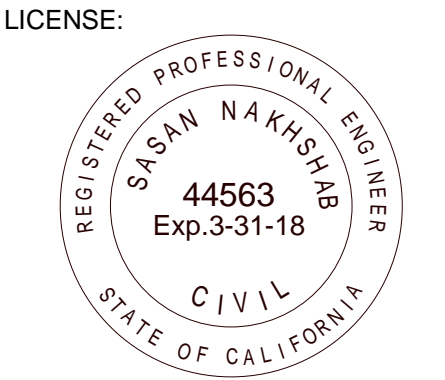


DEMOLITION NOTES		WALL LEGEND
1 REMOVE SITE PAVEMENT	6 DISMANTLE & RETAIN FOR RELOCATION EXTERIOR WALLS, DOOR, ROOF & ARCHITECTURAL DETAILS OF HISTORICAL STRUCTURE. INTERIOR PARTITIONS TO BE REMOVED.	DISMANTLE & RETAIN FOR RELOCATION
2 REMOVE PORCH & ASS. RAIL & STAIR	7 REMOVE DRIVEWAY & ASSOCIATED APRON TO BE REPLACED W/ NEW SIDEWALK & CURB	DEMOLISH
3 REMOVE SITE WALL	8 REMOVE SIDEWALK TO BE REPLACED WITH NEW SIDEWALK	EXISTING EXTERIOR WALL OF HISTORIC HOME TO REMAIN
4 REMOVE TREE		
5 REMOVE NON-HISTORICAL PORTION OF STRUCTURE TO INCLUDE: FOUNDATION, FLOOR, WALLS, WINDOWS, DOORS & ROOF		





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ENGINEERING  
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EZABELLE

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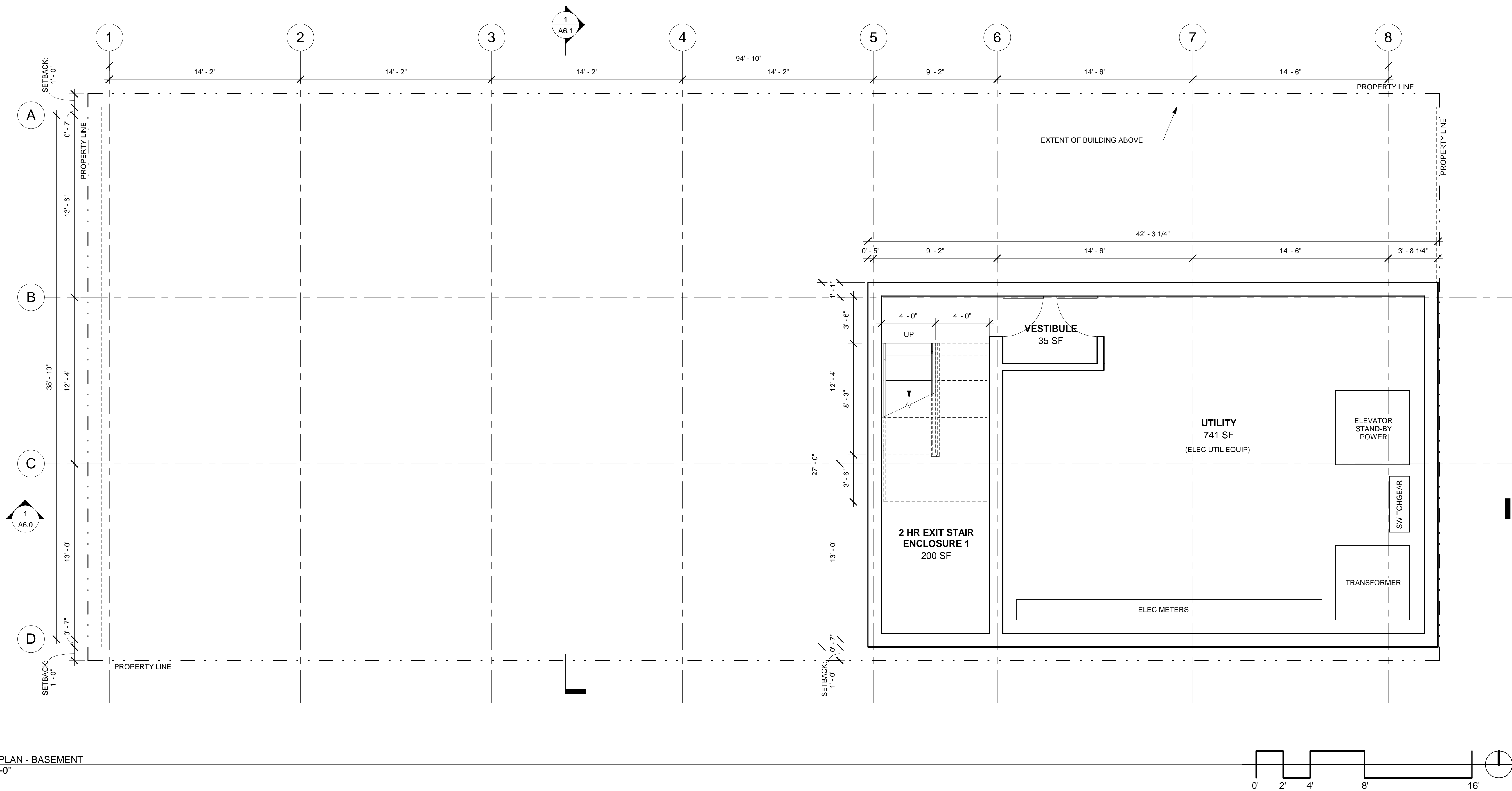
FLOOR PLAN -  
BASEMENT

PROJECT NO.:

DATE:  
01-23-2018

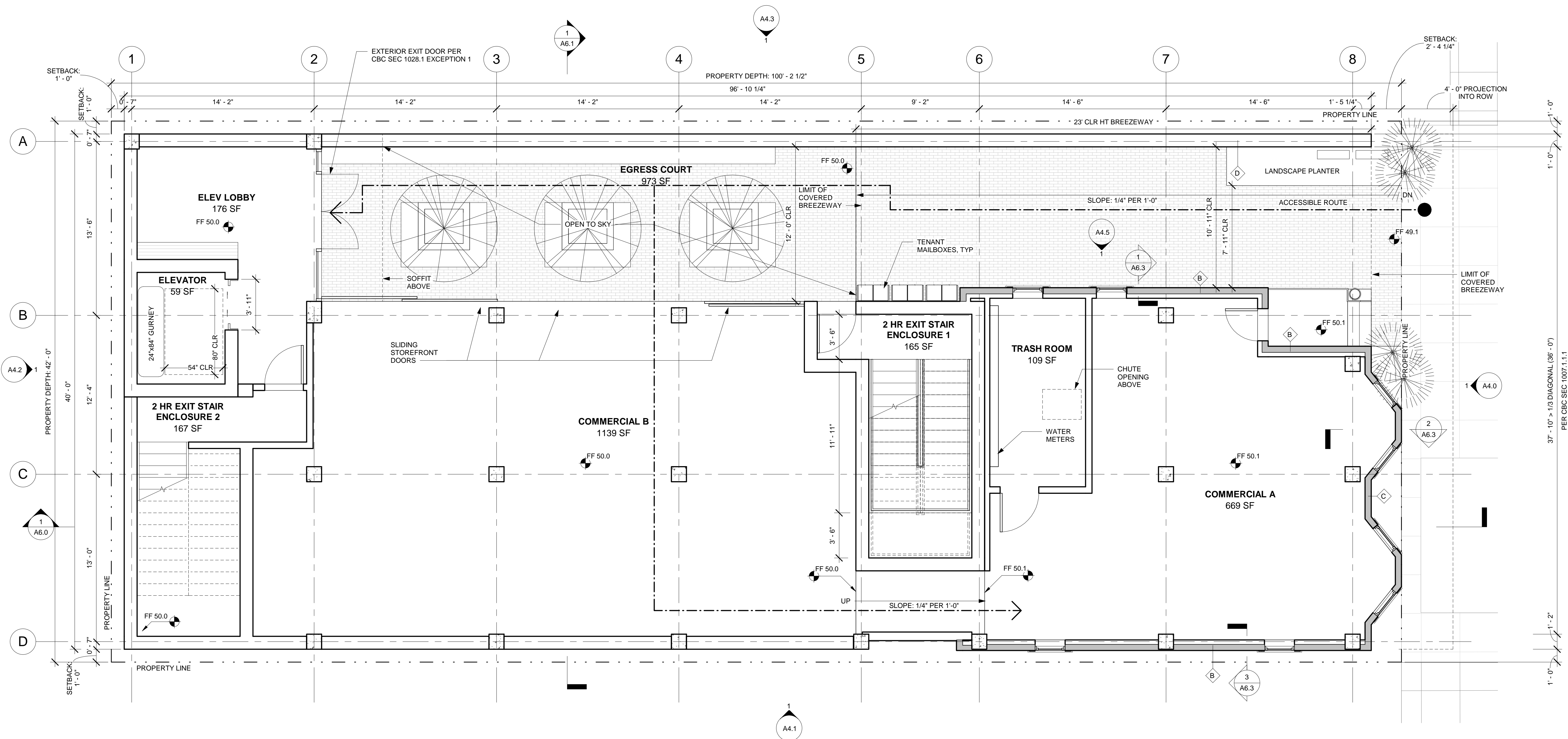
SHEET NO.:

A2.0



1 FLOOR PLAN - BASEMENT  
1/4" = 1'-0"





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BUILD  
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SAN DIEGO, CA 92101

SHEET TITLE:

FLOOR PLAN -  
LEVEL 1

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

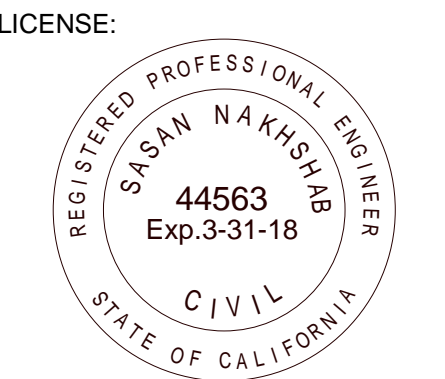
A2.1



NOTES:  
1. SEE ENLARGED PLANS FOR UNIT PLANS & ADAPTABILITY COMPONENTS.  
2. ALL KITCHENS TO BE COMPLIANT WITH CBC 1133A.  
3. ALL KITCHEN SINKS TO BE EQUIPPED WITH 30" REMOVABLE BASE CABINET  
4. ALL KITCHENS TO BE EQUIPPED WITH 2 18" BREADBOARD WORKSURFACES



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
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454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

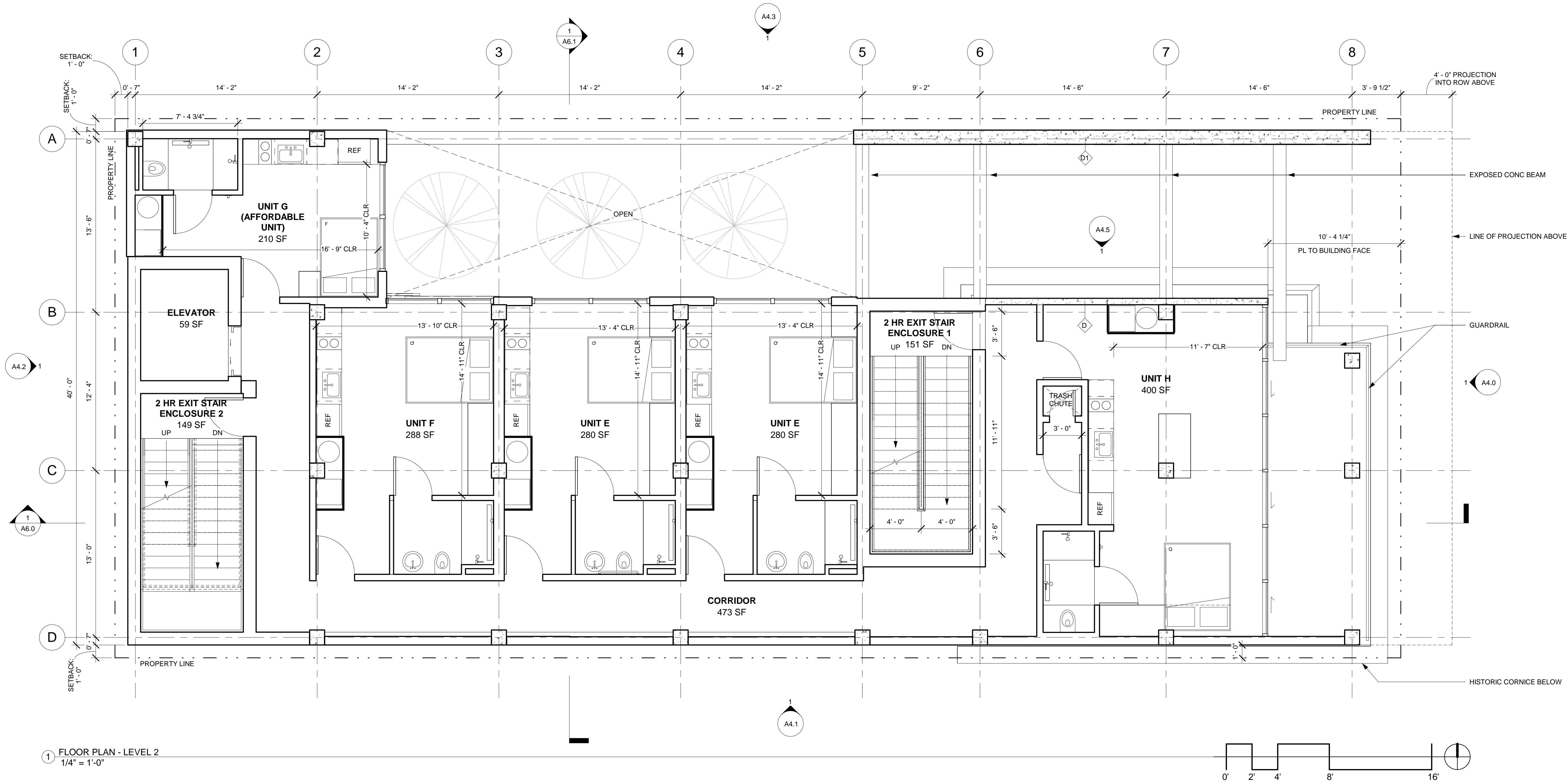
FLOOR PLAN -  
LEVEL 2

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A2.2



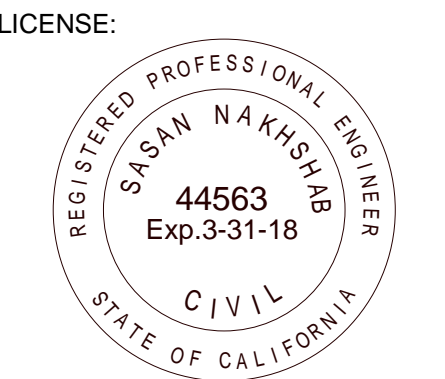
1 FLOOR PLAN - LEVEL 2  
1/4" = 1'-0"



- NOTES:  
1. SEE ENLARGED PLANS FOR UNIT PLANS & ADAPTABILITY COMPONENTS.  
2. ALL KITCHENS TO BE COMPLIANT WITH CBC 1133A.  
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ARCHITECTURE  
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DESCRIPTION	
CSD Response	

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:

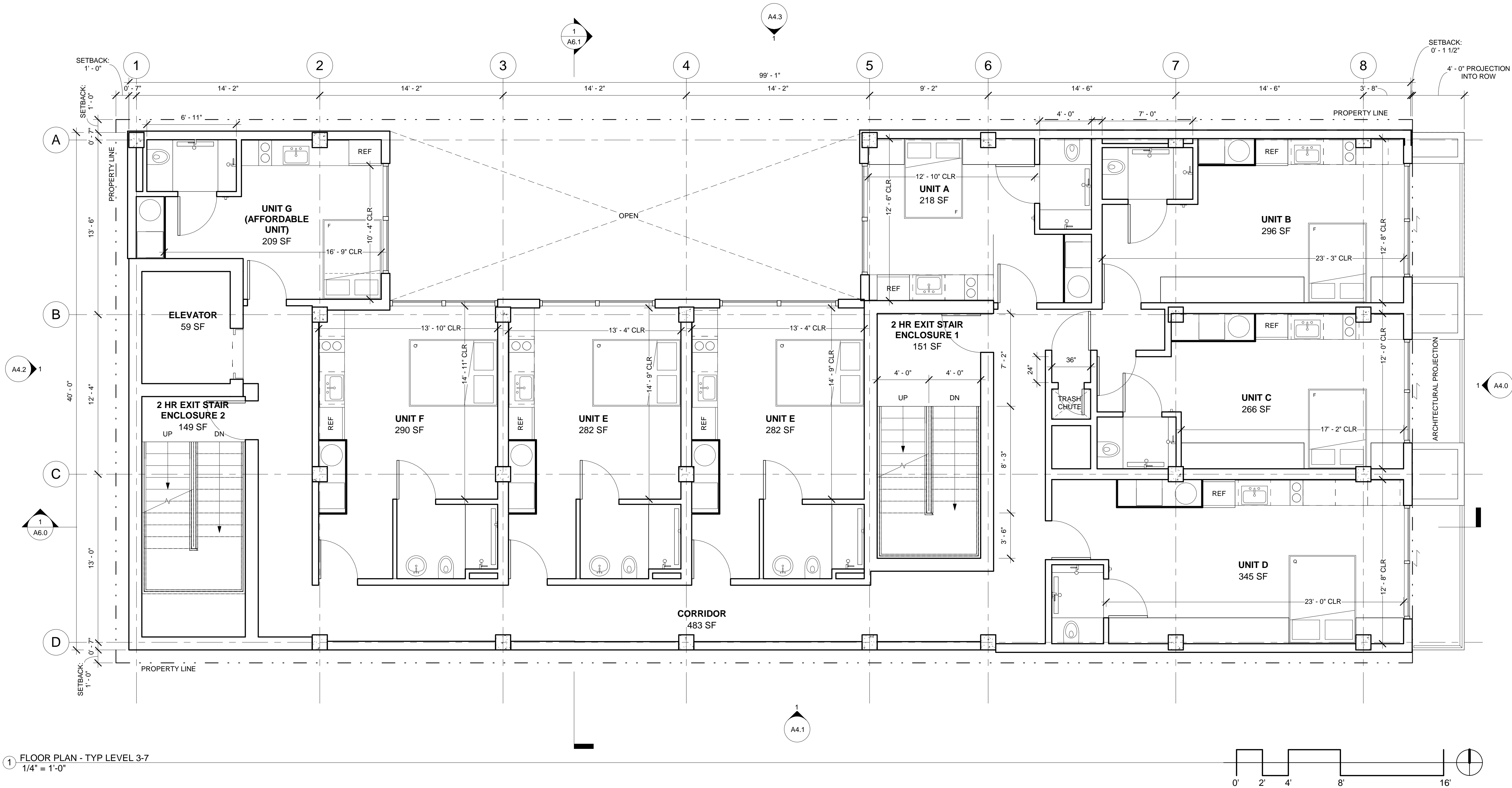
FLOOR PLAN -  
TYP LEVEL 3-7

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A2.3

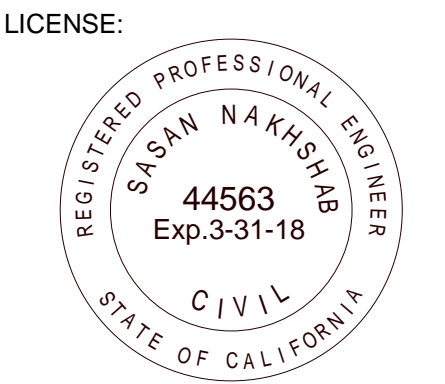


1 FLOOR PLAN - TYP LEVEL 3-7  
1/4" = 1'-0"





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ENGINEERING  
BUILD  
GREEN  
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PROJECT/CLIENT:

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**EZABELLE**

SHEET TITLE:

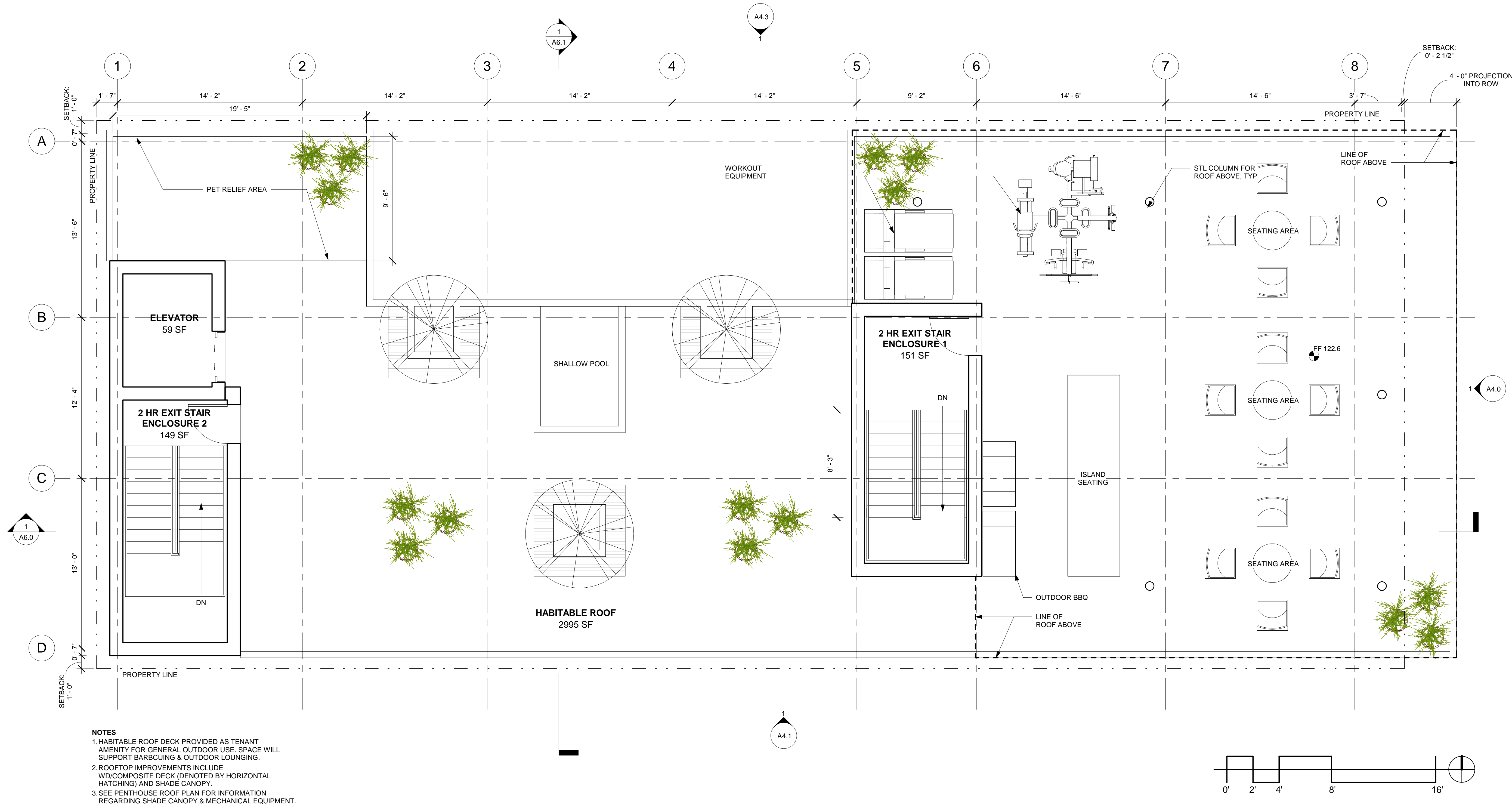
ROOF PLAN

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A2.4

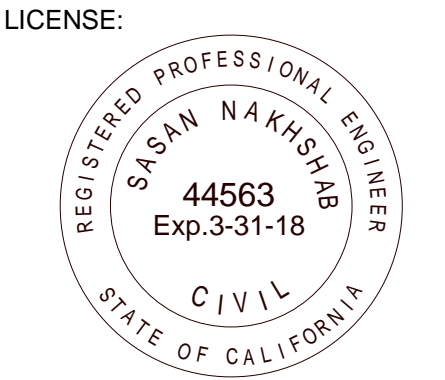


1 ROOF  
1/4" = 1'-0"





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SAN DIEGO, CA 92101  
**EZABELLE**

SHEET TITLE:

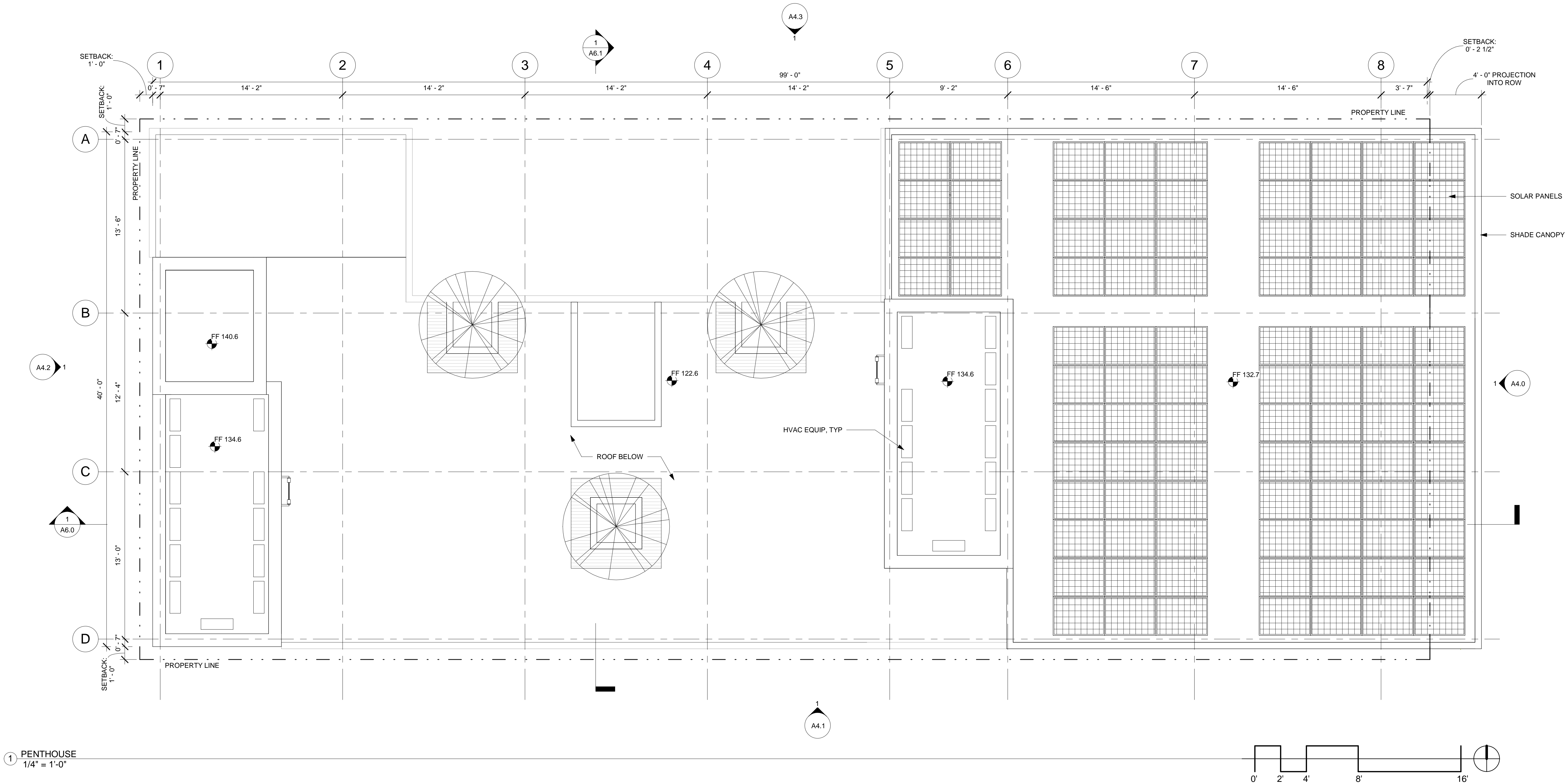
PENTHOUSE  
ROOF PLAN

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

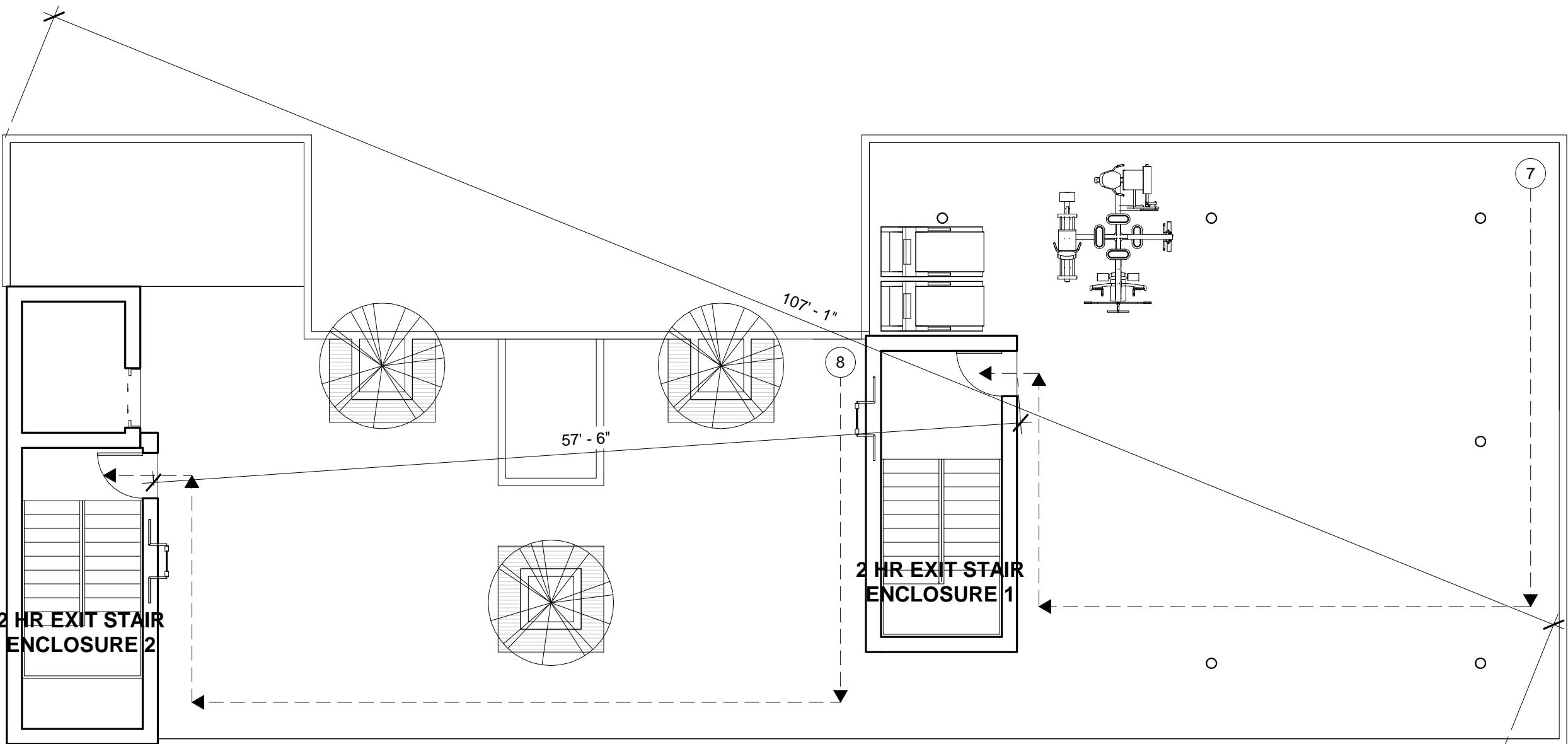
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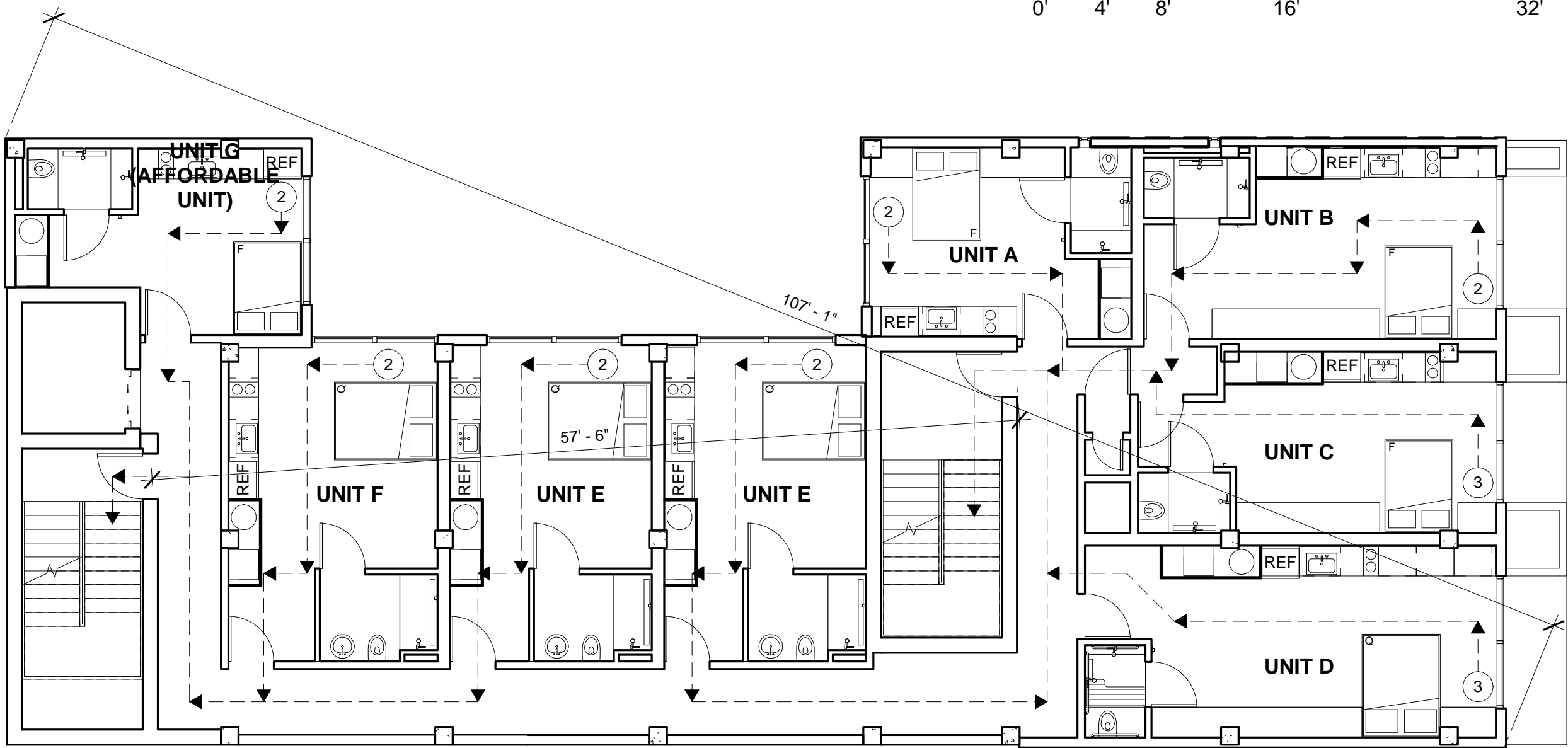


OCCUPANT LOAD CALCULATIONS

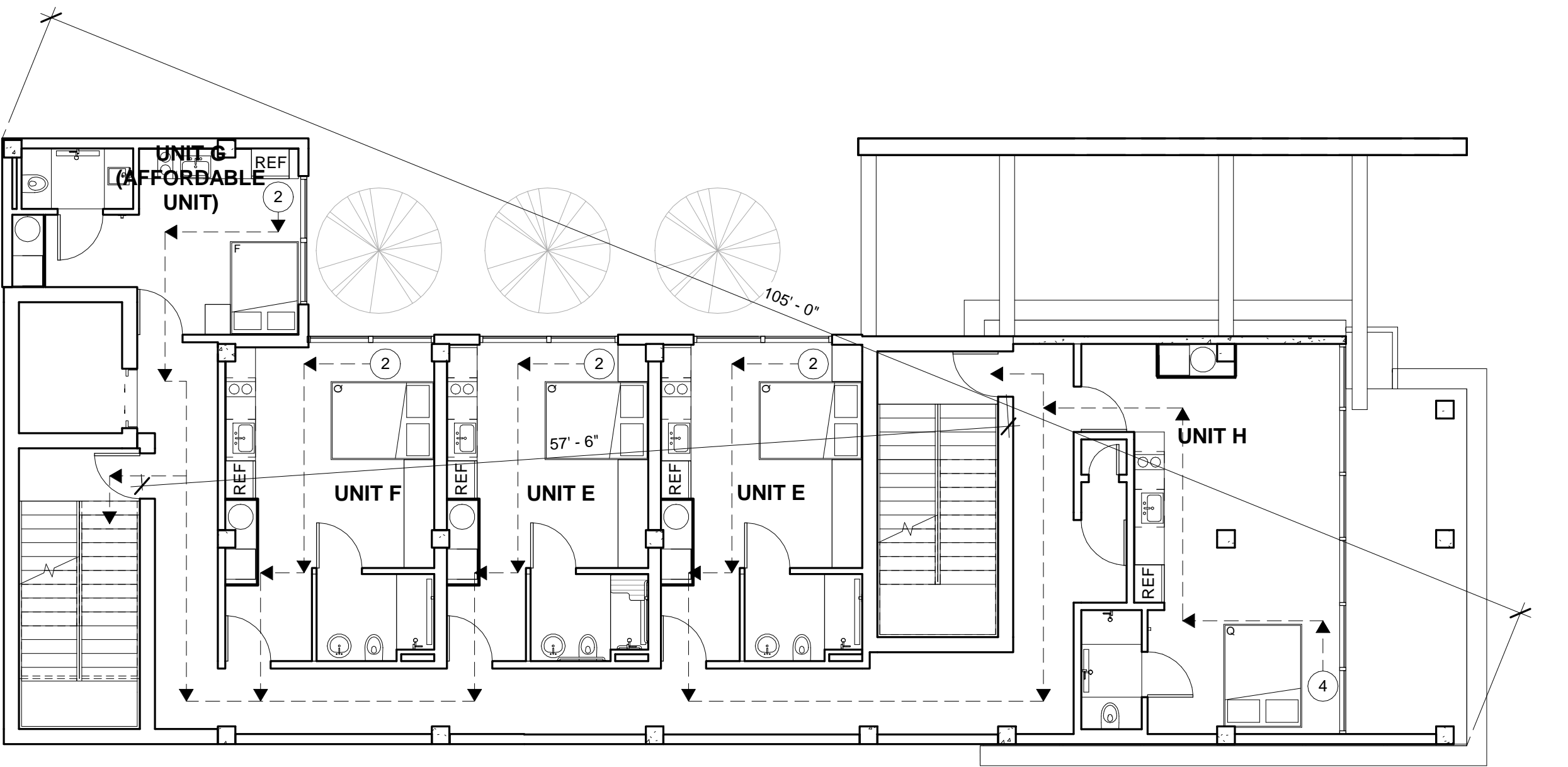
LEVEL	SPACE	AREA	OCC FACTOR	OCC LOAD
LEVEL 1	BACKFLOW/TRASH	140	300	1
	COMMERCIAL A	525	60	9
	COMMERCIAL B	1088	60	18
	LOBBY	260	200	1
LEVEL 2	UTILITY	779	300	2
	RESIDENTIAL	2838	200	14
LEVEL 3	RESIDENTIAL	3643	200	18
LEVEL 4	RESIDENTIAL	3643	200	18
LEVEL 5	RESIDENTIAL	3643	200	18
LEVEL 6	RESIDENTIAL	3643	200	18
LEVEL 7	RESIDENTIAL	3643	200	18
ROOF	HABITABLE ROOF	3059	15	200
TOTAL				335



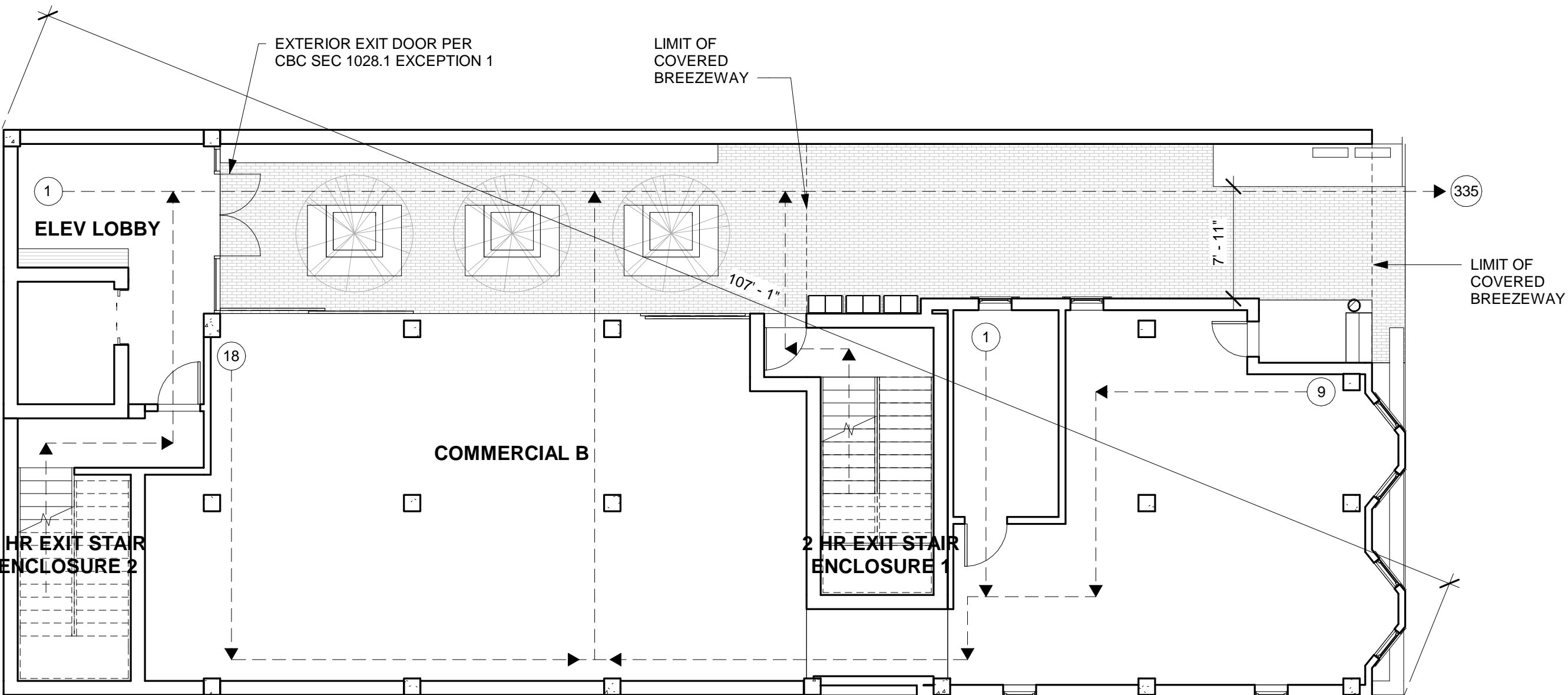
5 ROOF  
1/8" = 1'-0"



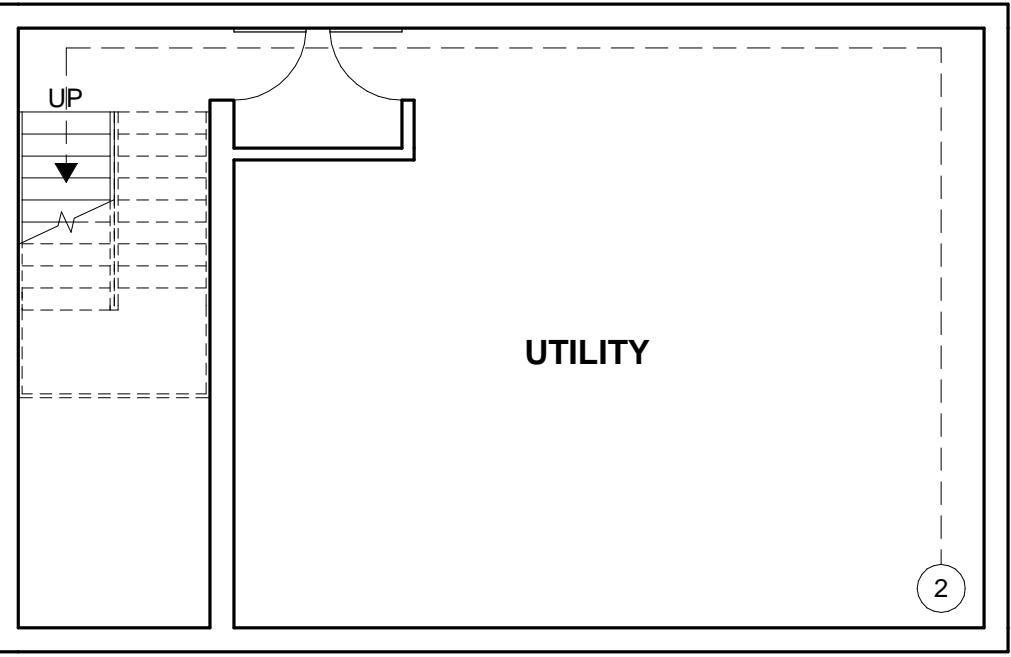
4 THIRD-SEVENTH LEVEL  
1/8" = 1'-0"



3 SECOND LEVEL  
1/8" = 1'-0"



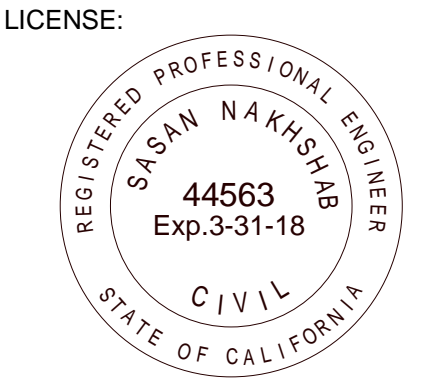
2 FIRST LEVEL  
1/8" = 1'-0"



1 BASEMENT  
1/8" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST. SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:	ITEM	DATE	DESCRIPTION
1	02/22/18	CSD	Response

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

EXITING  
DIAGRAMS

PROJECT NO.:

DATE:  
01-23-2018

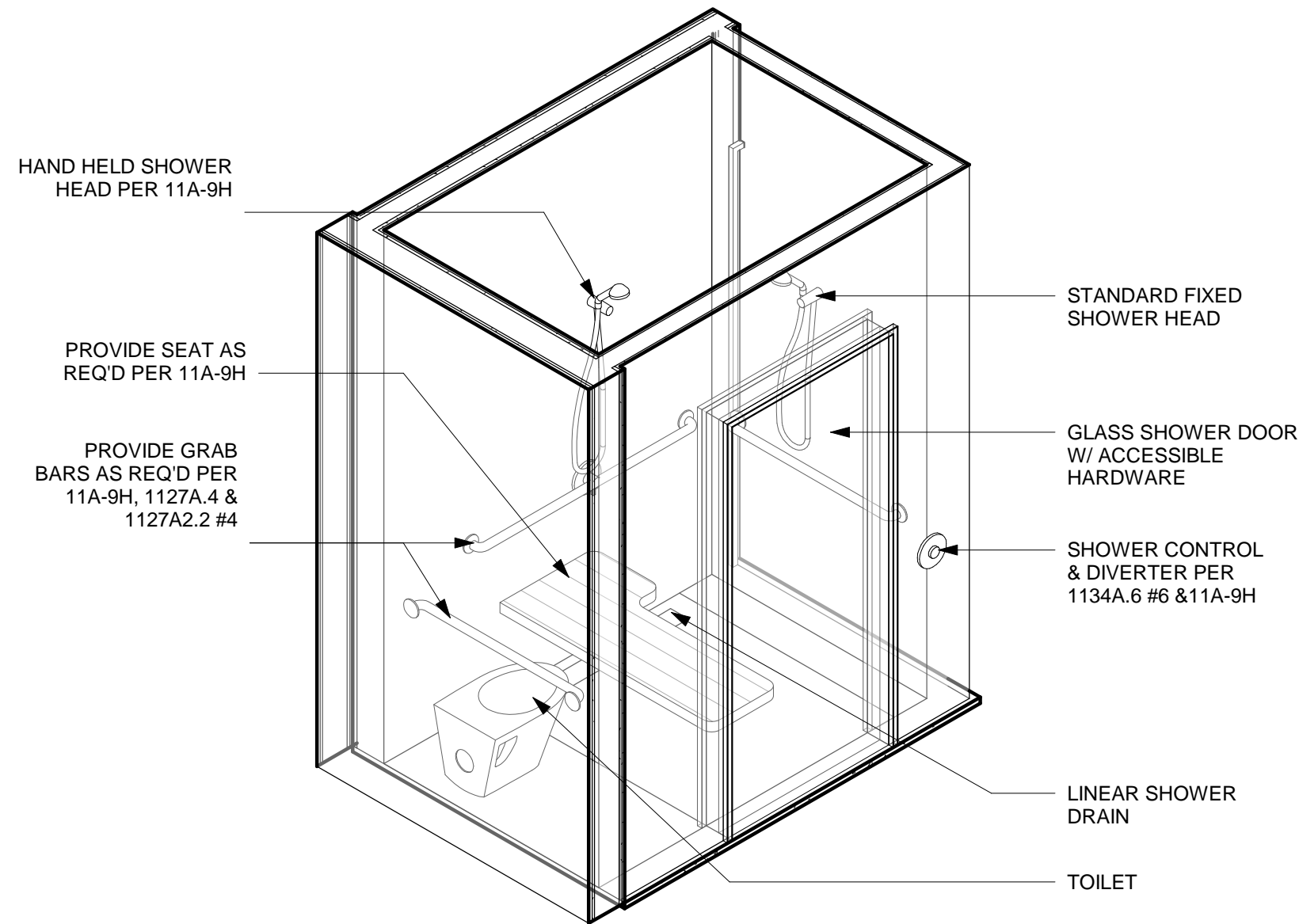
SHEET NO.:

A2.6



NOTES

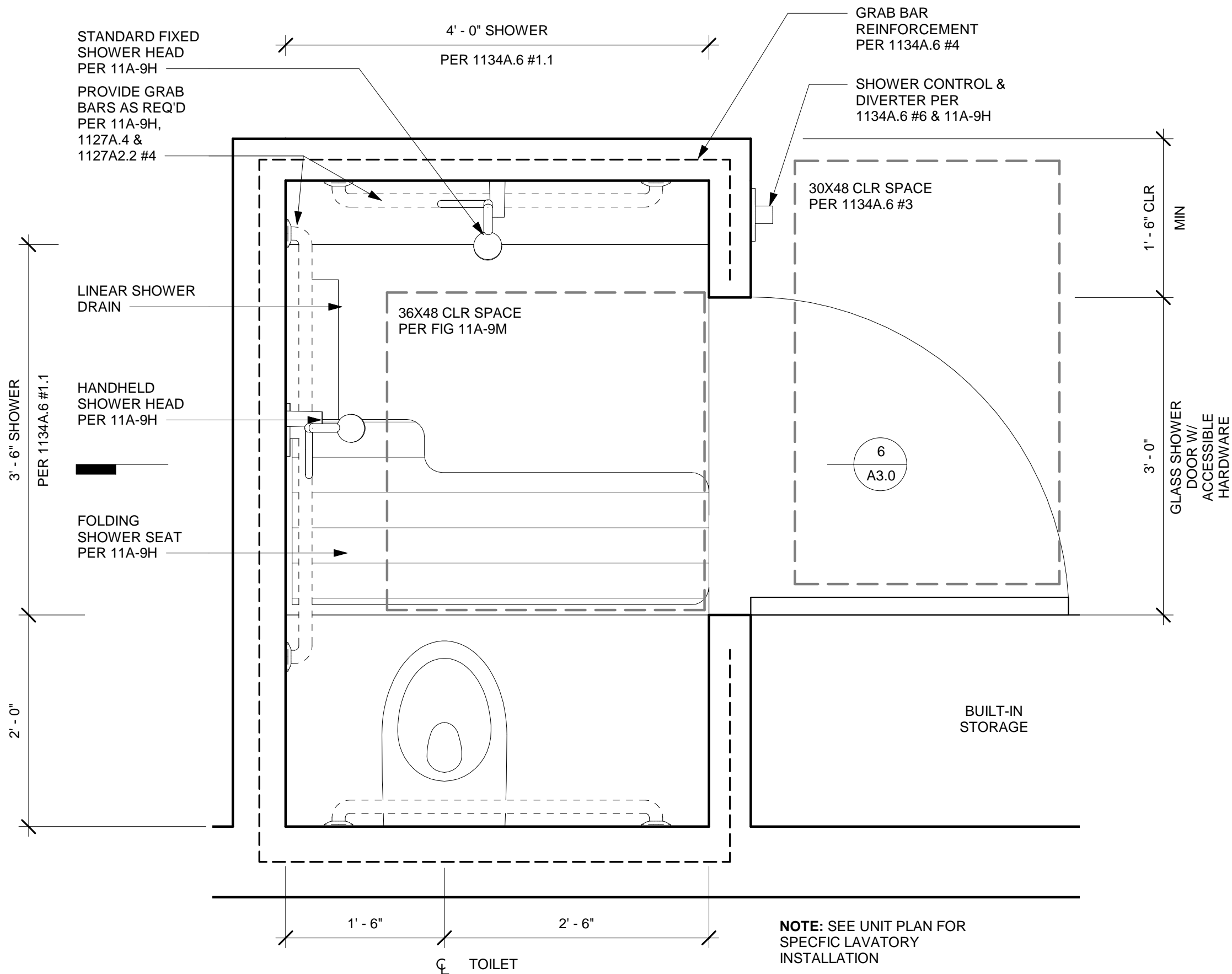
1. ALL UNIT TYPES TO HAVE EITHER BATHROOM TYPE 1 OR 2 AS DENOTED ON UNIT PLANS.
2. NO ELECTRICAL OUTLETS WILL BE PROVIDED IN ANY BATHROOMS.



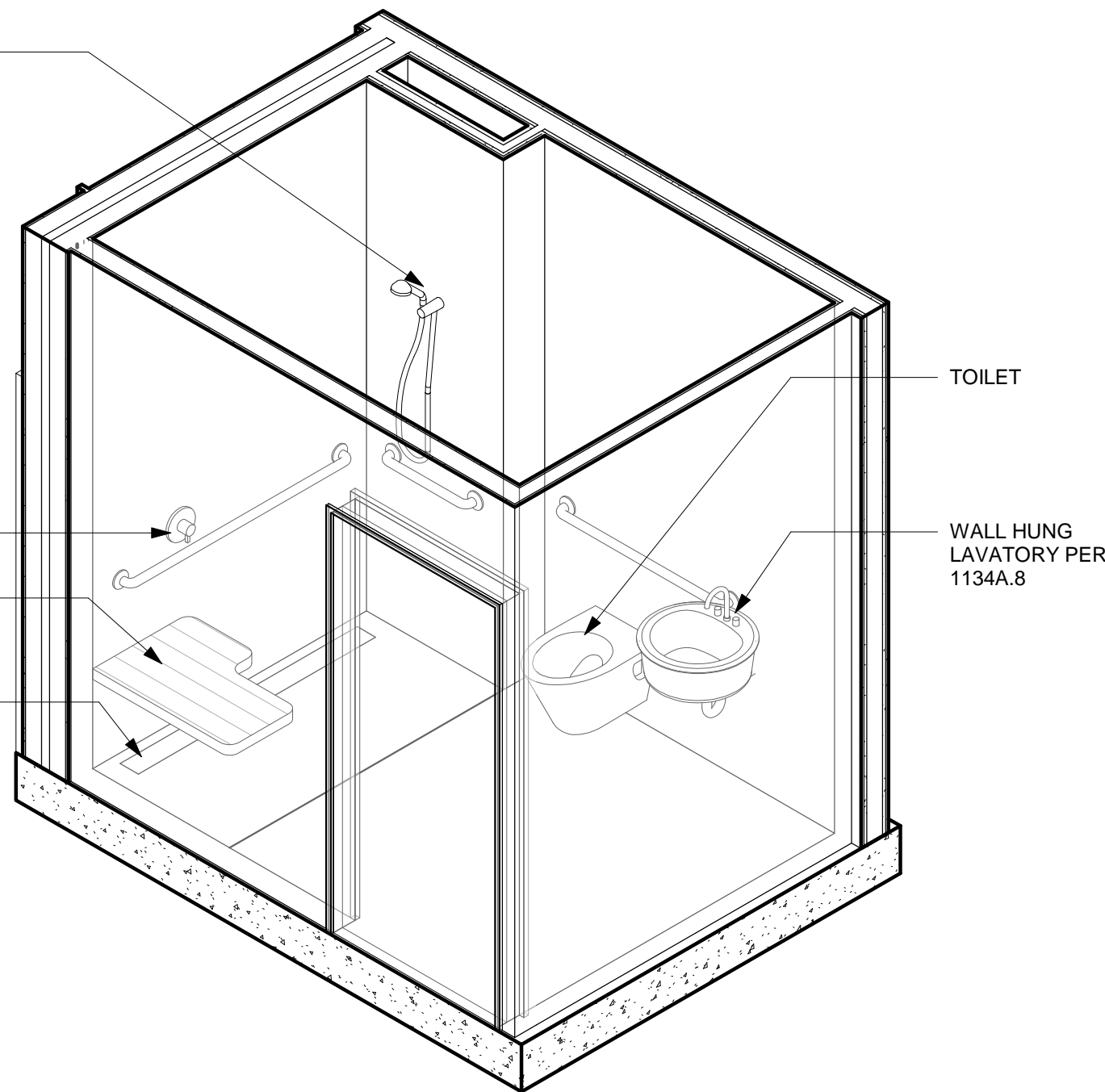
NOTES

1. ALL WALLS, FLOOR & CEILING TO BE WATERPROOFED & TILED
2. SEE UNIT PLAN FOR SPECIFIC LAVATORY INSTALLATION

2 ENLARGED RR AXON - TYPE 1



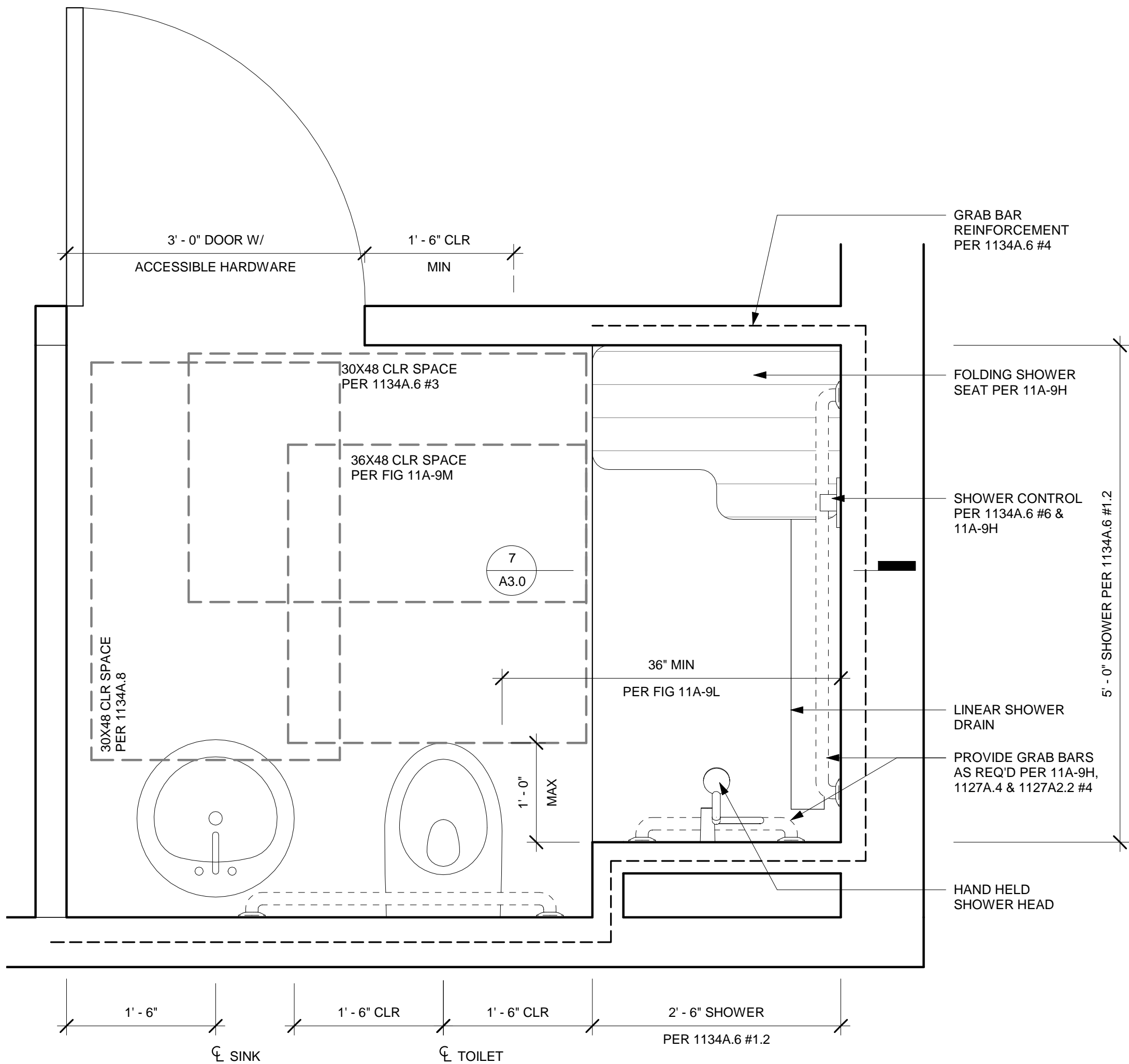
1 TYP BATHROOM - TYPE 1  
1" = 1'-0"



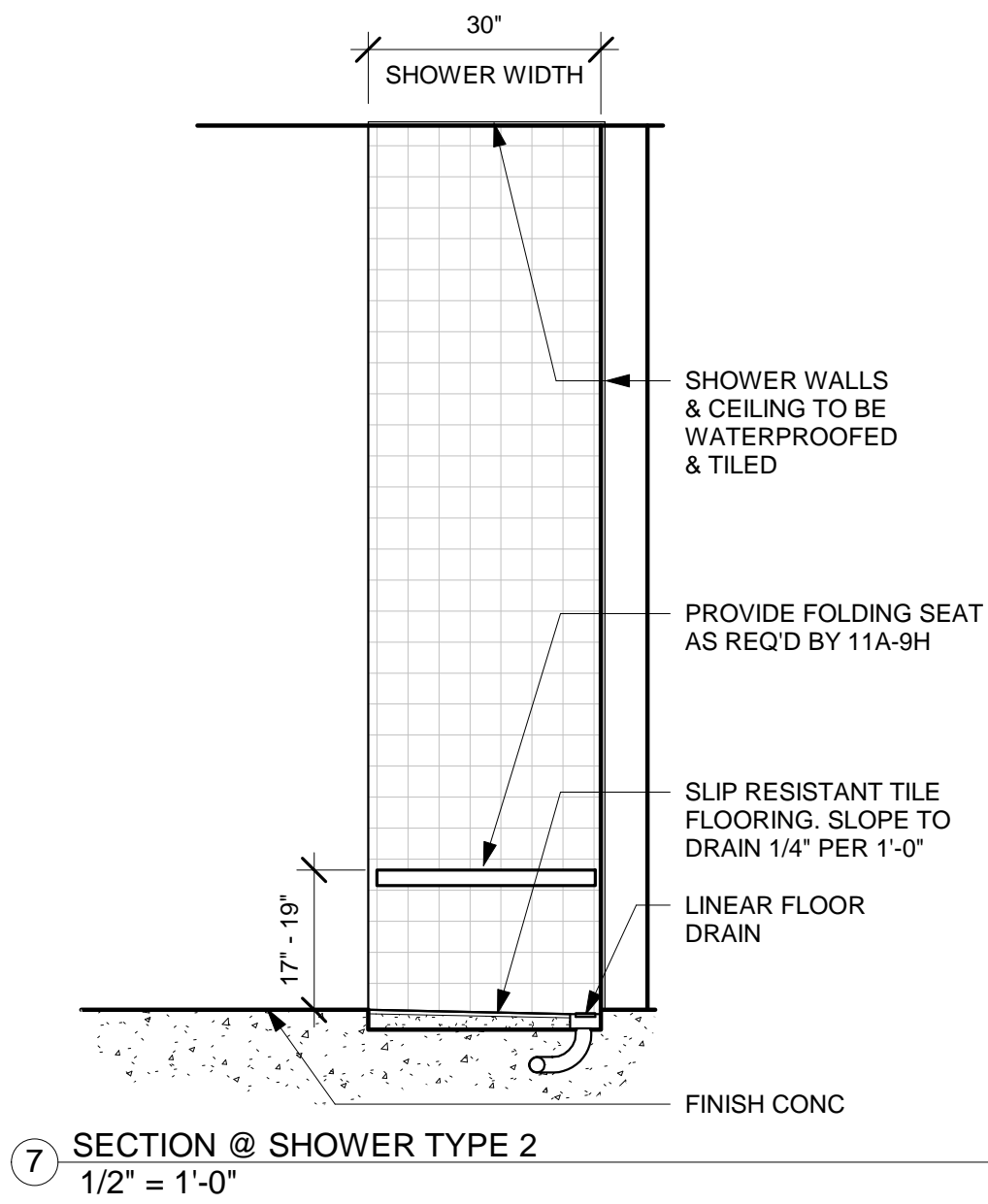
NOTES

1. SHOWER ENCLOSURE WALLS, FLOOR & CEILING TO BE WATERPROOFED & TILED
2. SEE UNIT PLAN FOR SPECIFIC LAVATORY INSTALLATION

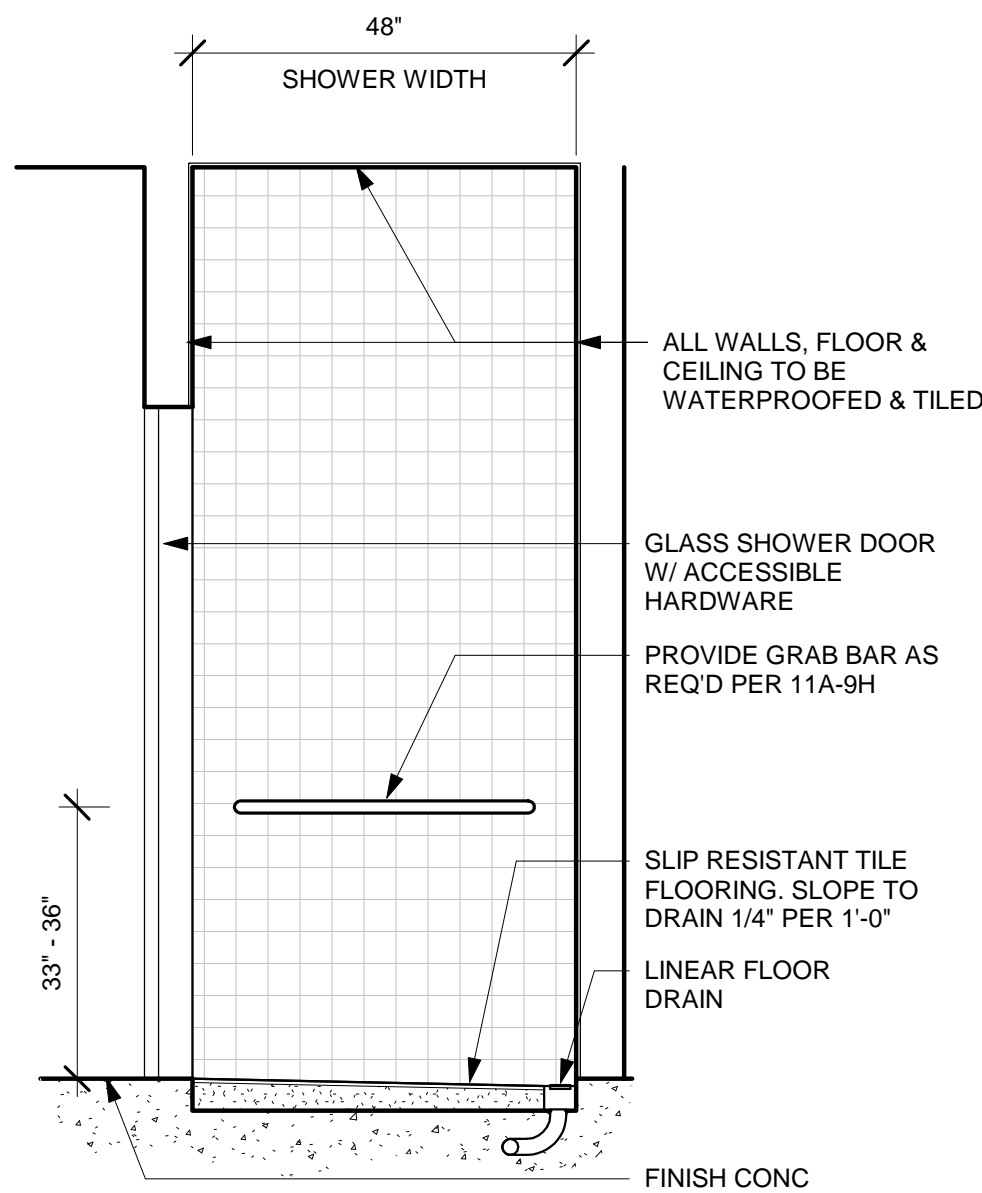
4 ENLARGED RR AXON - TYPE 2



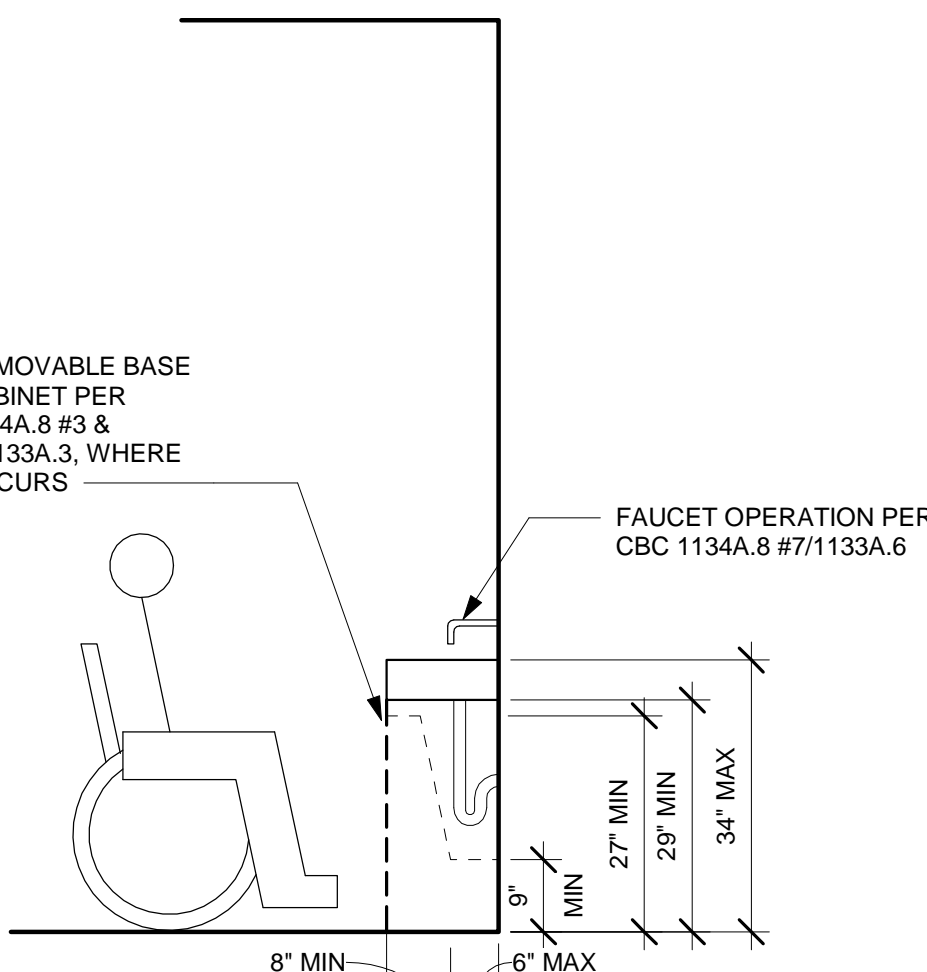
3 TYP BATHROOM - TYPE 2  
1" = 1'-0"



7 SECTION @ SHOWER TYPE 2  
1/2" = 1'-0"



6 SECTION @ SHOWER TYPE 1  
1/2" = 1'-0"

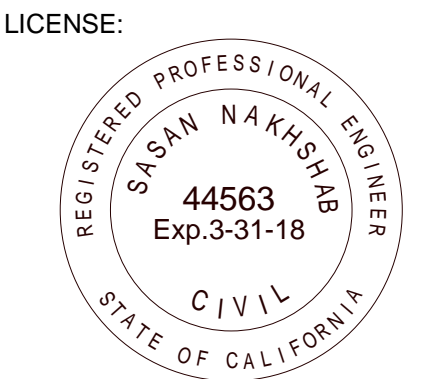


5 CLR SPACE @ LAVATORY  
1/2" = 1'-0"





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
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REVISIONS:	DESCRIPTION
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454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

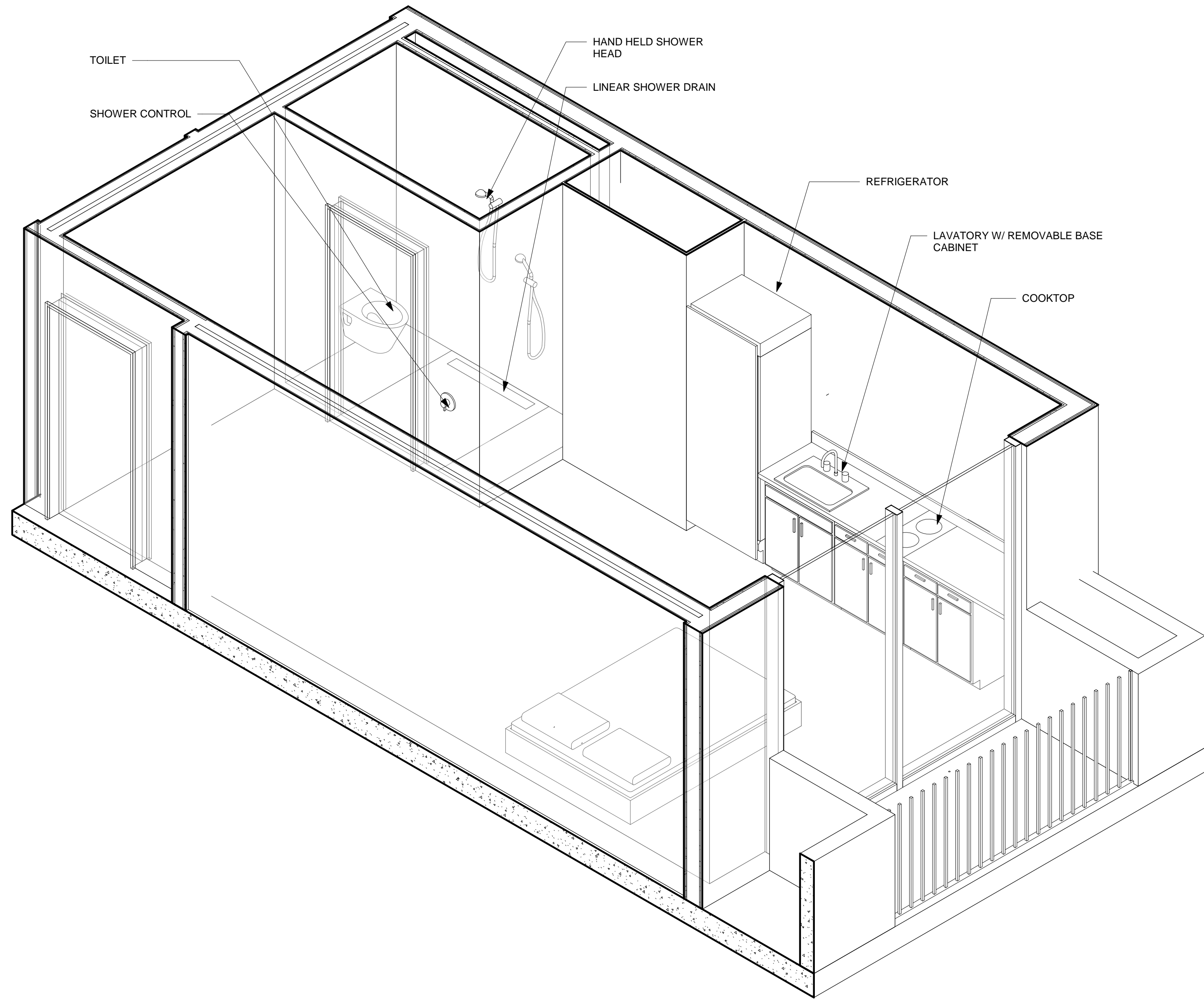
SHEET TITLE:  
**ENLARGED  
PLANS - TYP UNIT  
A & B**

PROJECT NO.:

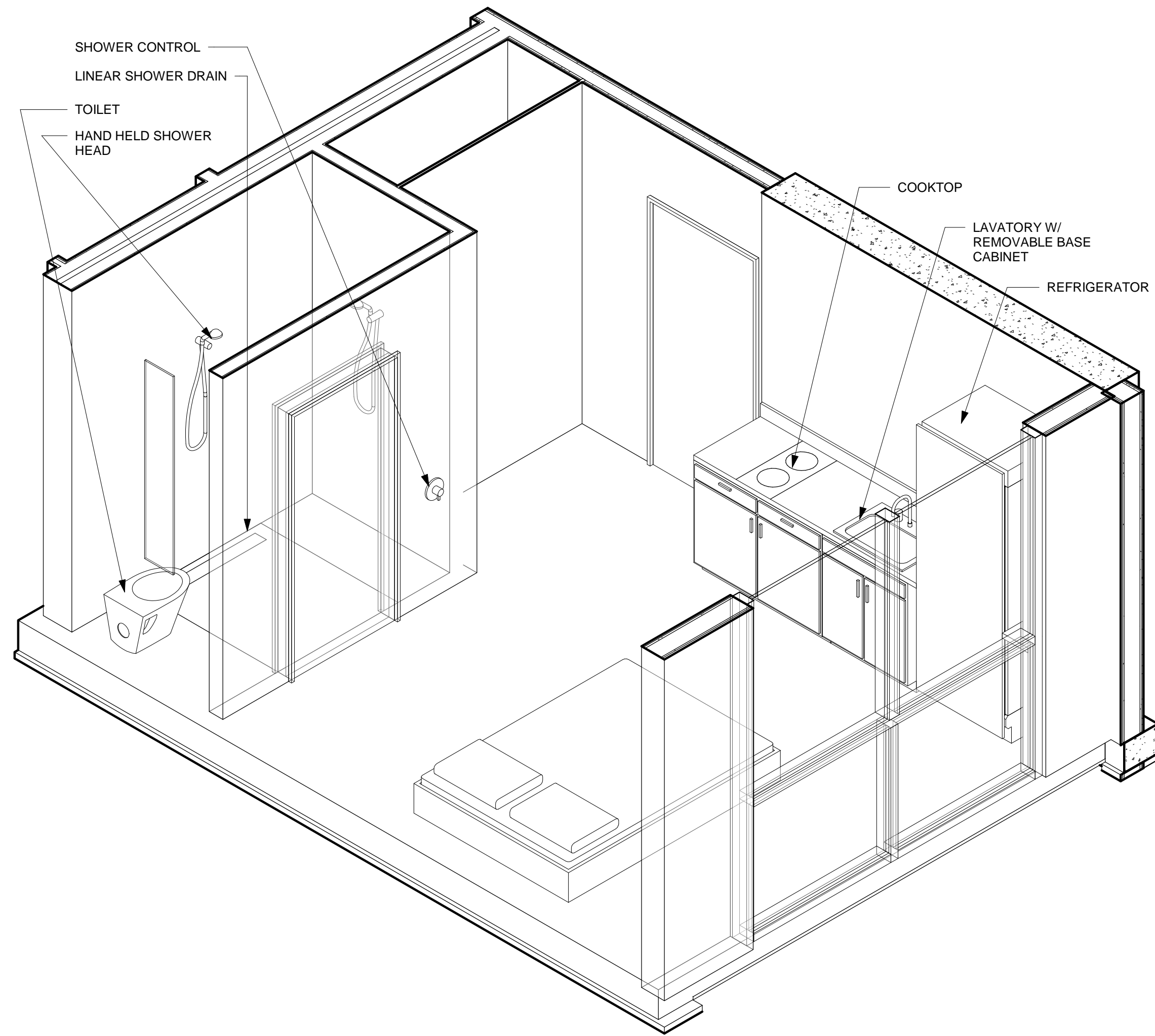
DATE:  
01-23-2018

SHEET NO.:

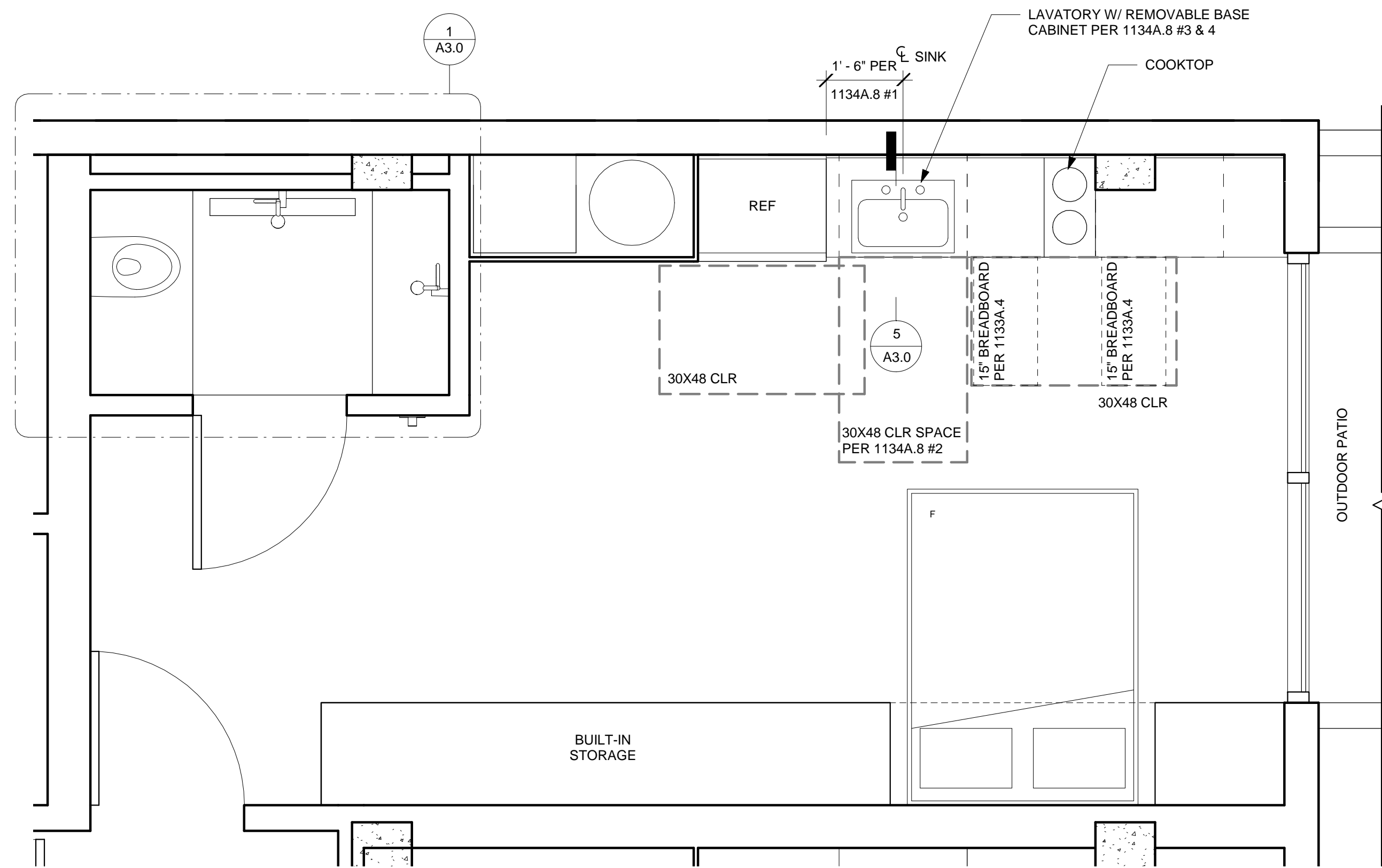
**A3.1**



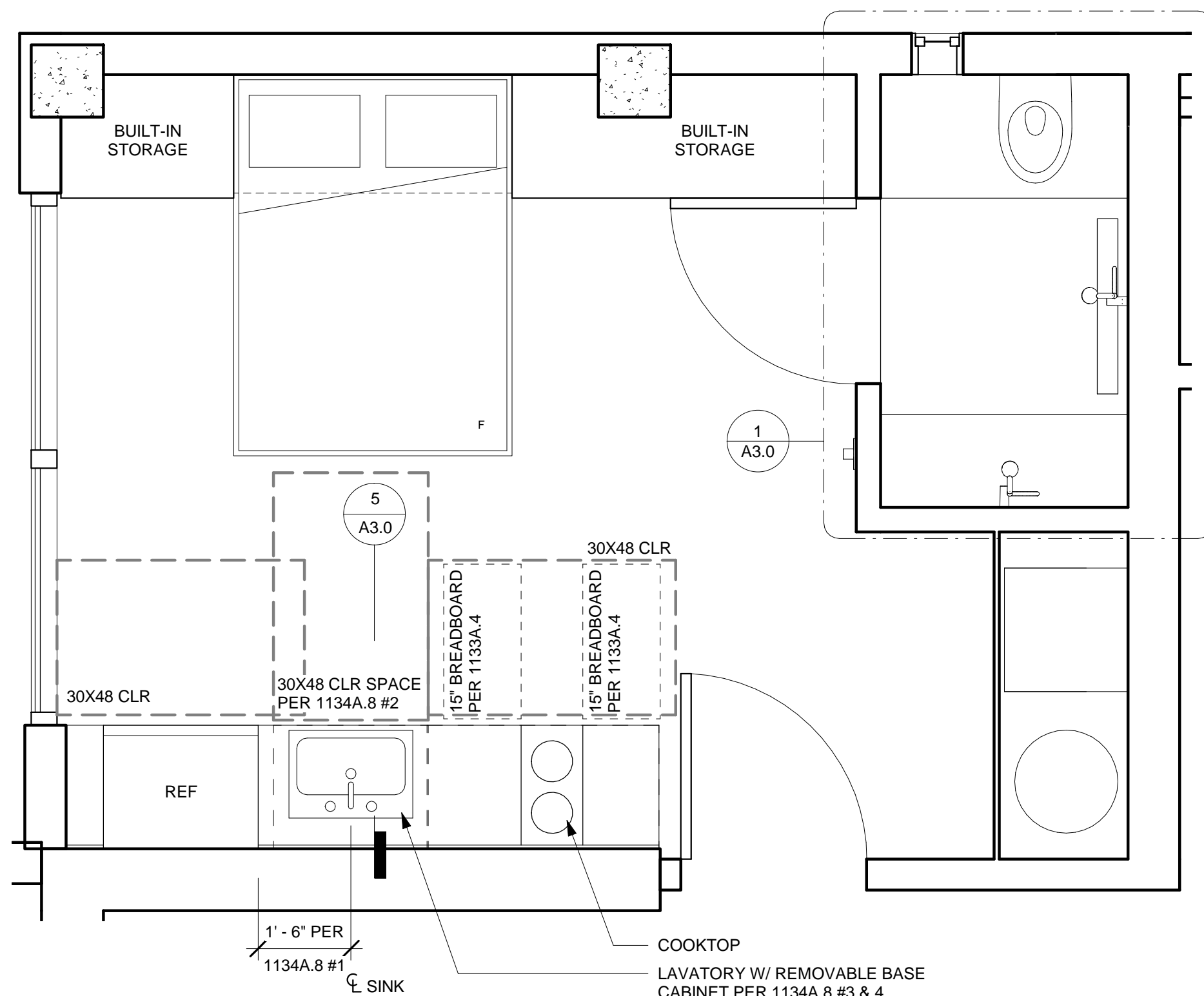
④ AXON - UNIT B



② AXON - UNIT A

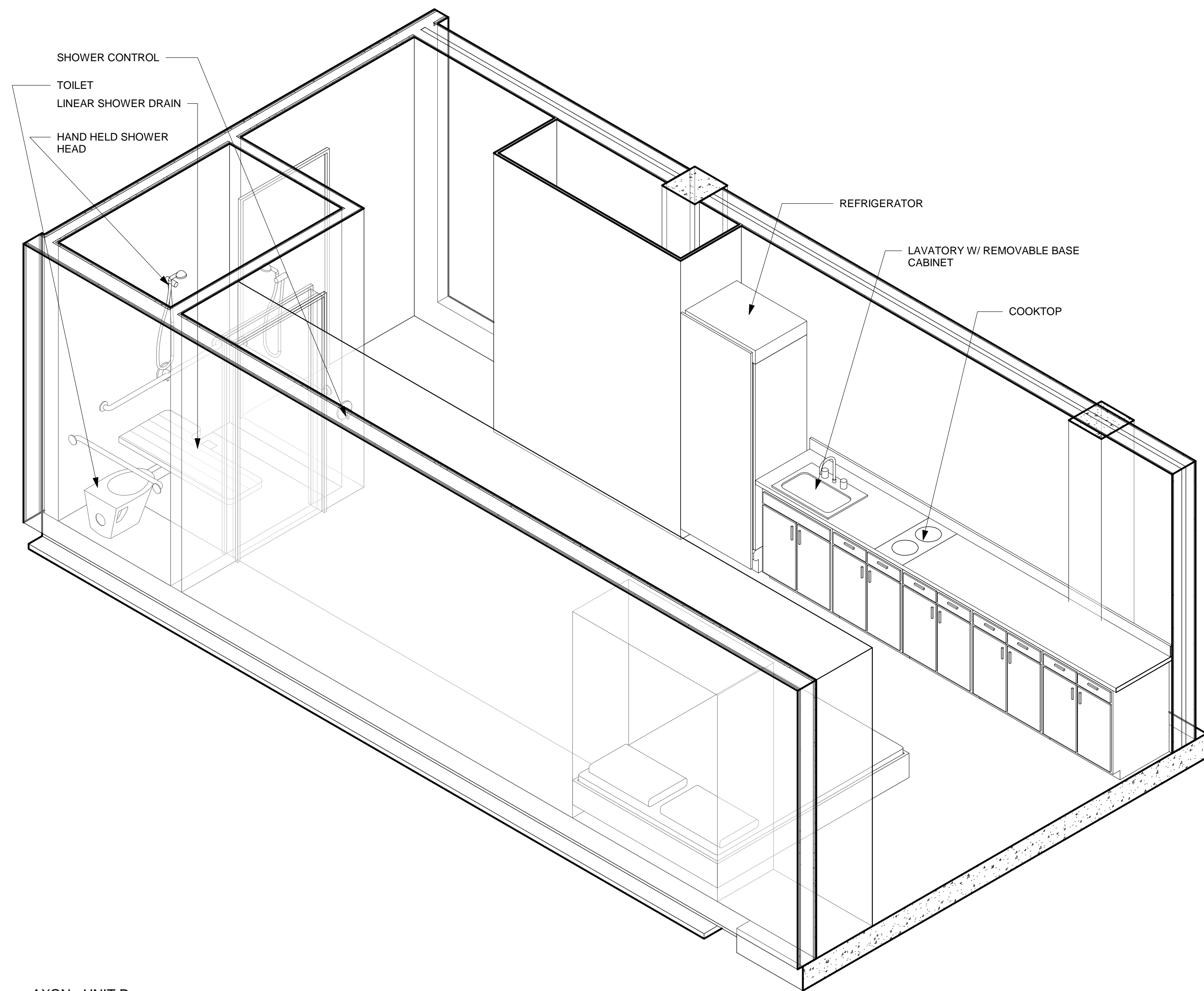


③ TYP PLAN - UNIT B  
1/2" = 1'-0"

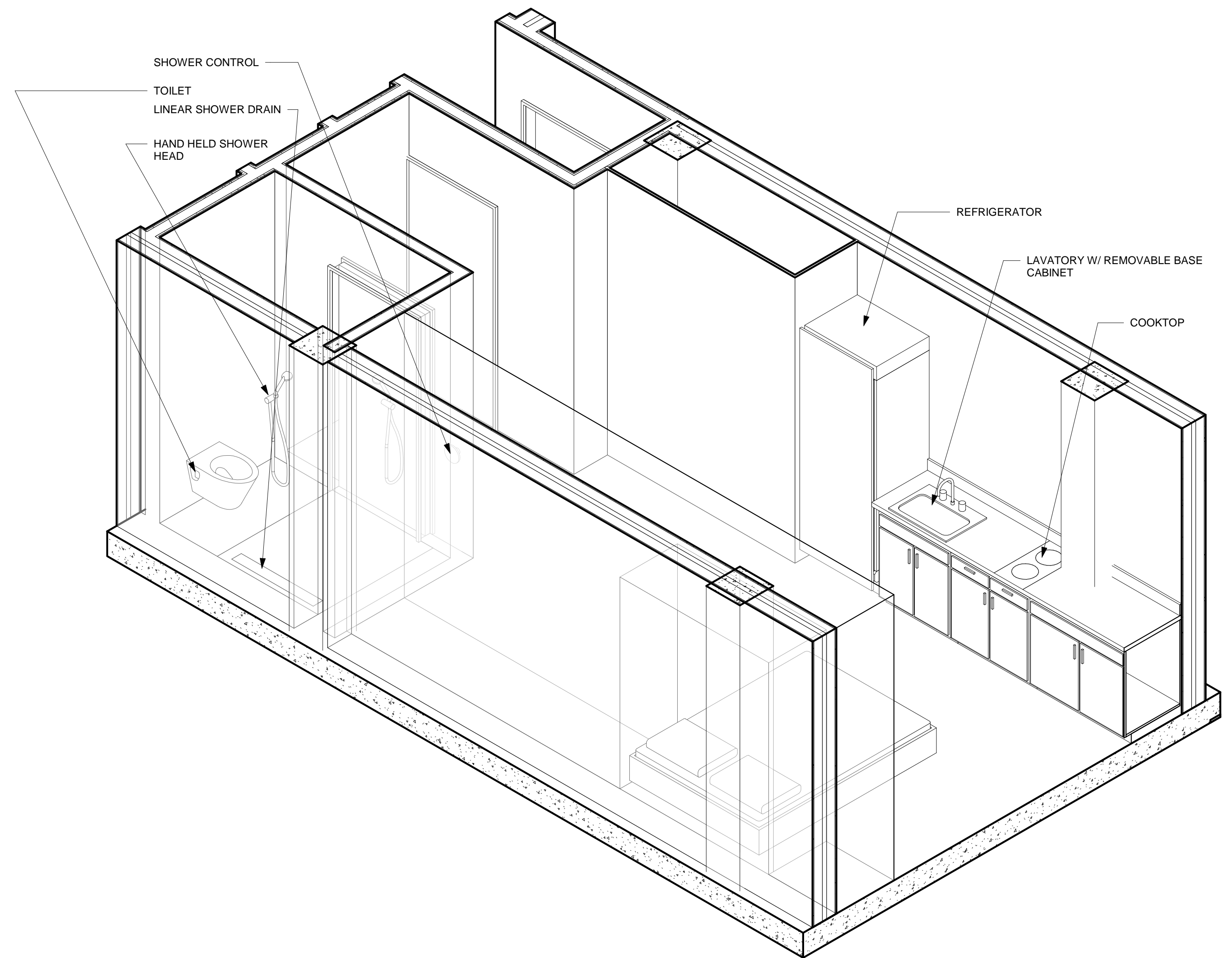


① TYP PLAN - UNIT A  
1/2" = 1'-0"

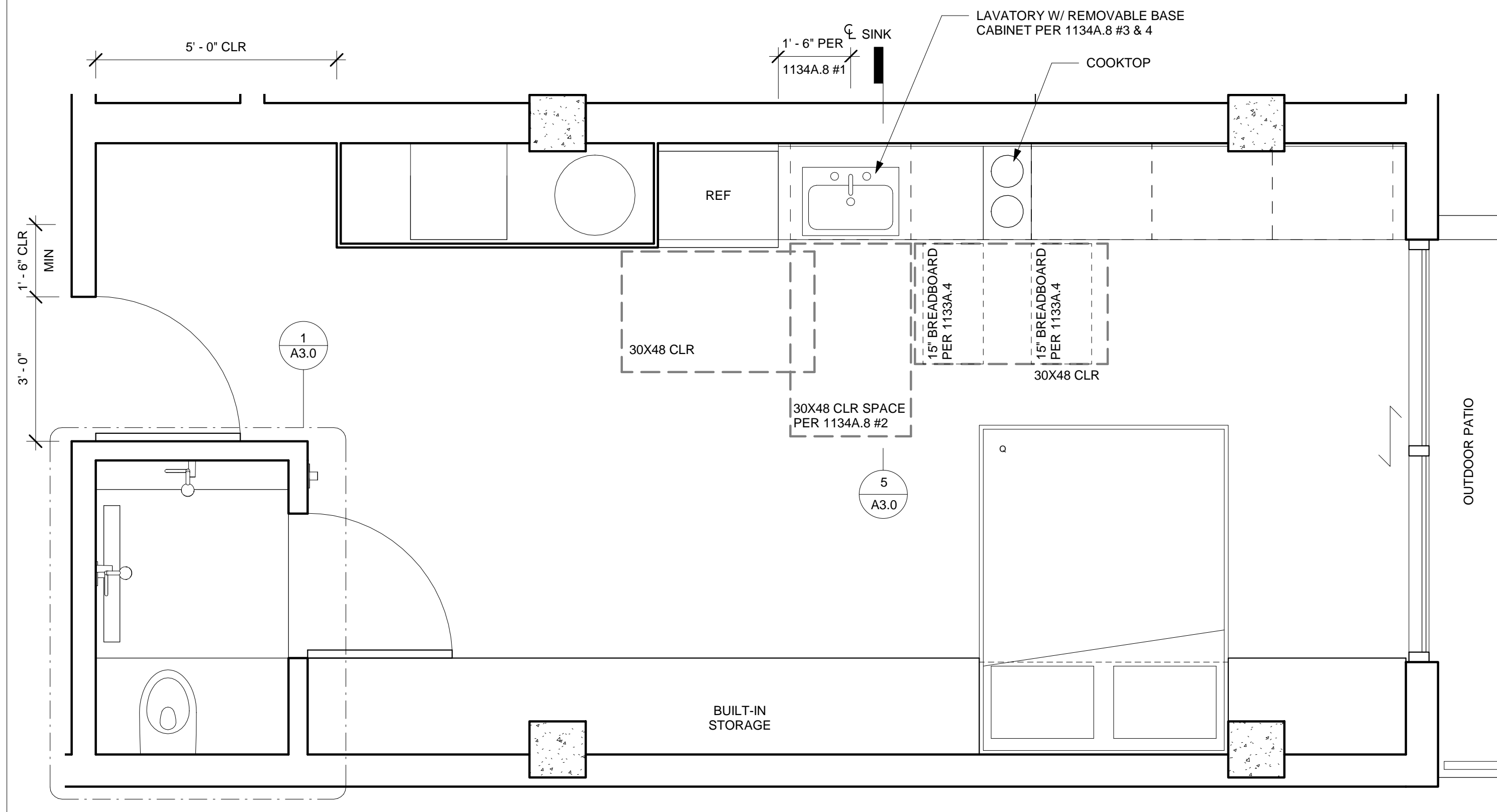




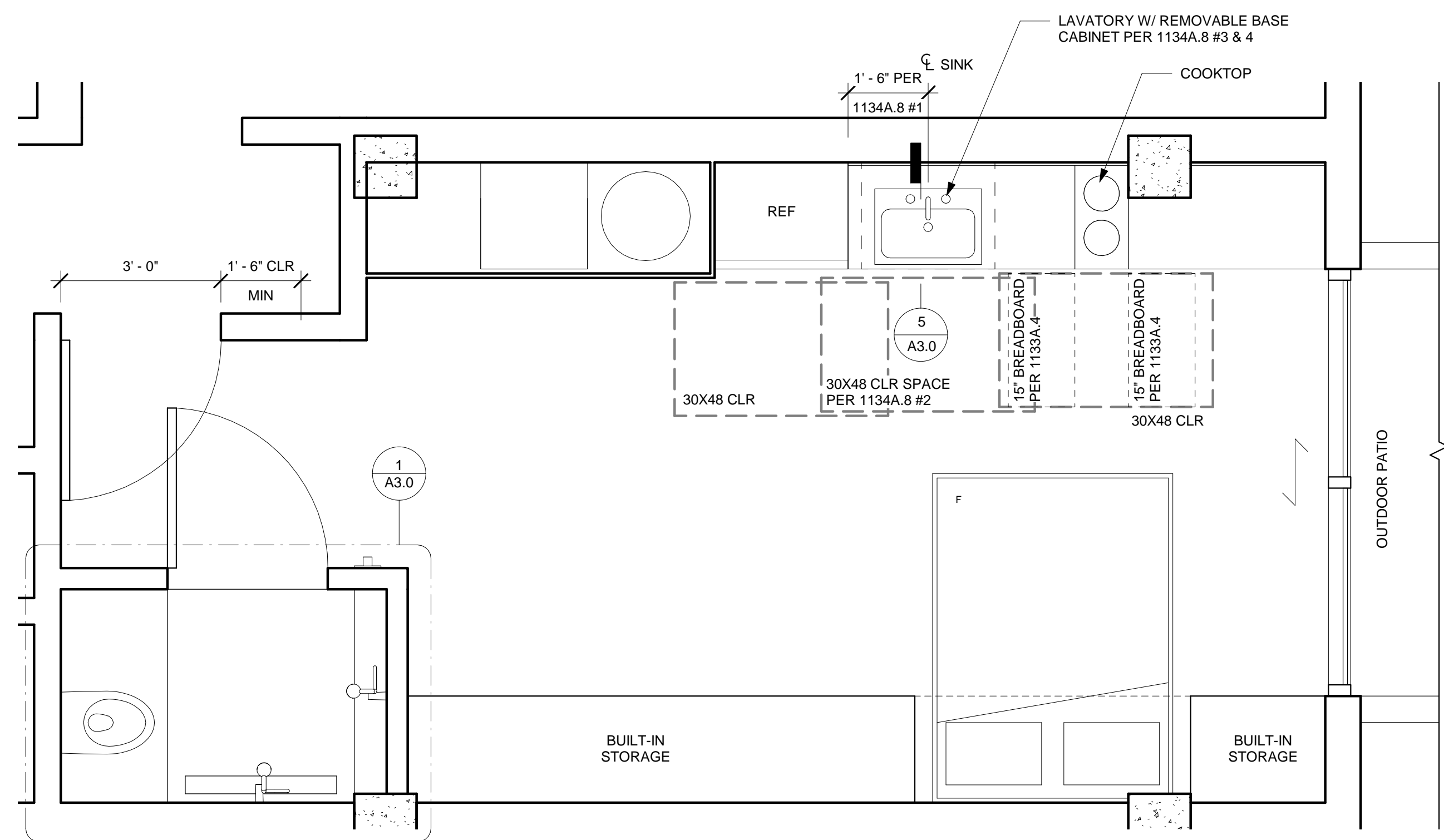
4 AXON - UNIT D



2 AXON - UNIT C



3 TYP PLAN - UNIT D  
1/2" = 1'-0"



1 TYP PLAN - UNIT C  
1/2" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST. SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:  
ENLARGED  
PLANS - TYP  
UNITS C & D

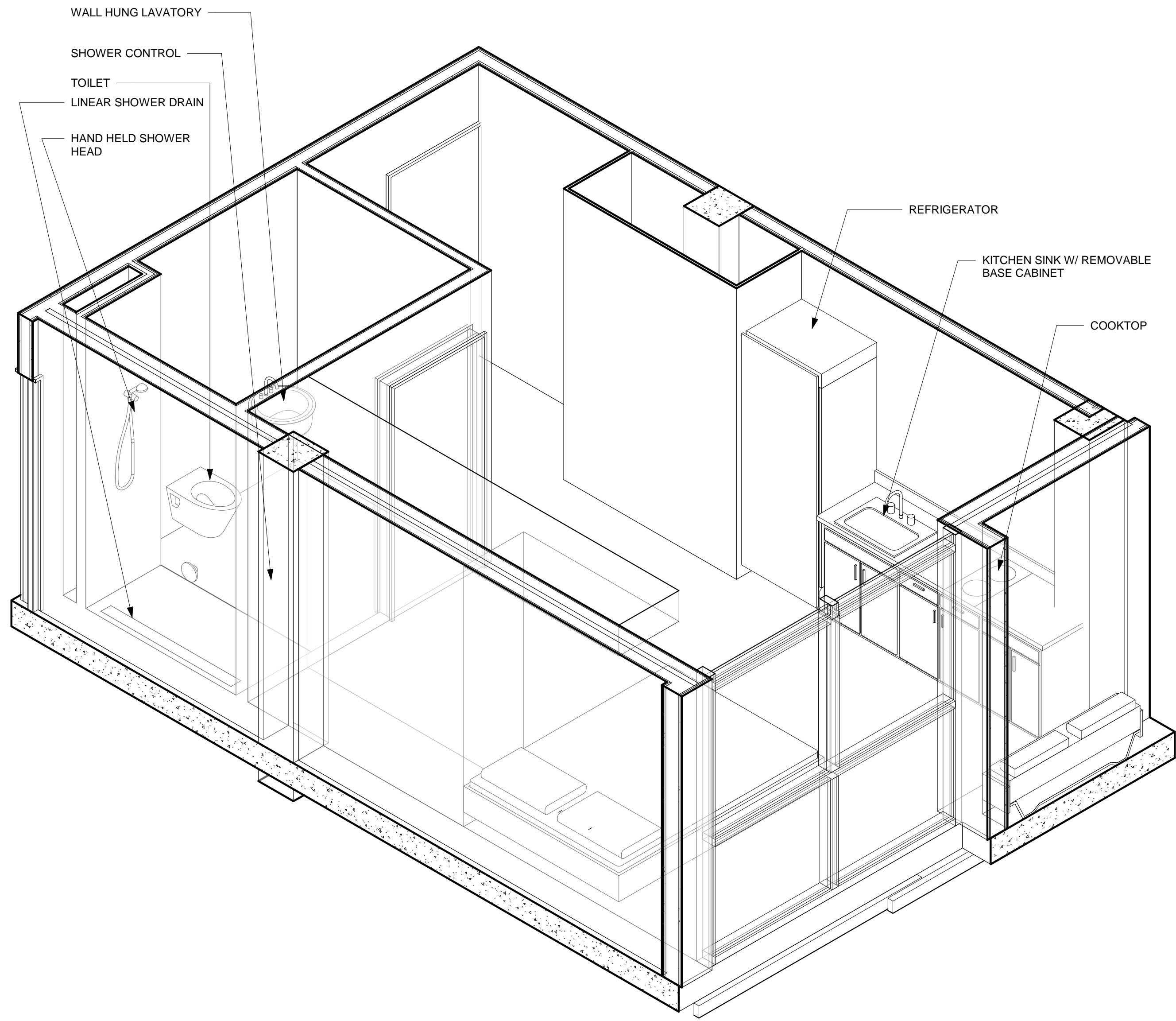
PROJECT NO.:

DATE:  
01-23-2018

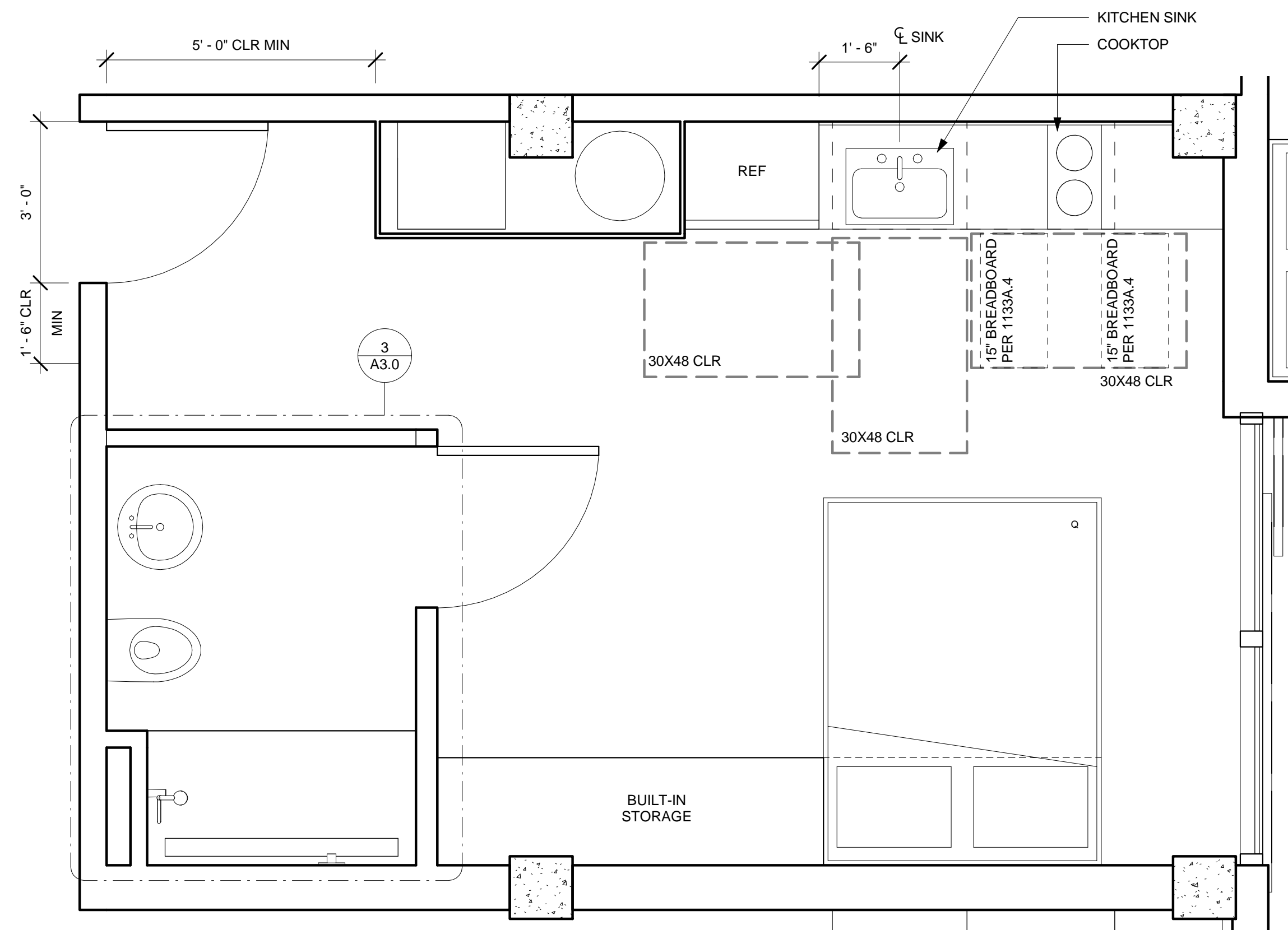
SHEET NO.:

A3.2

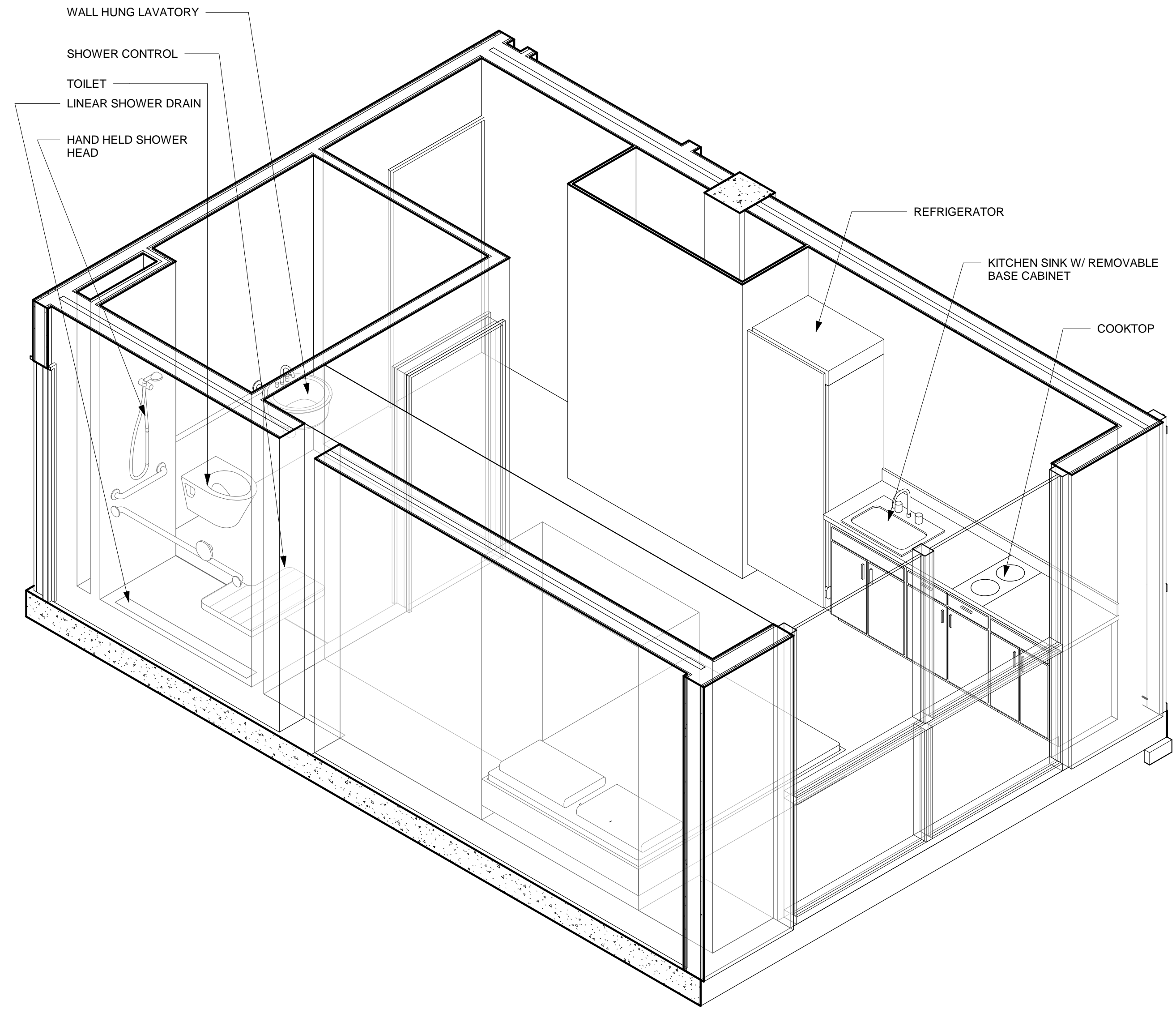




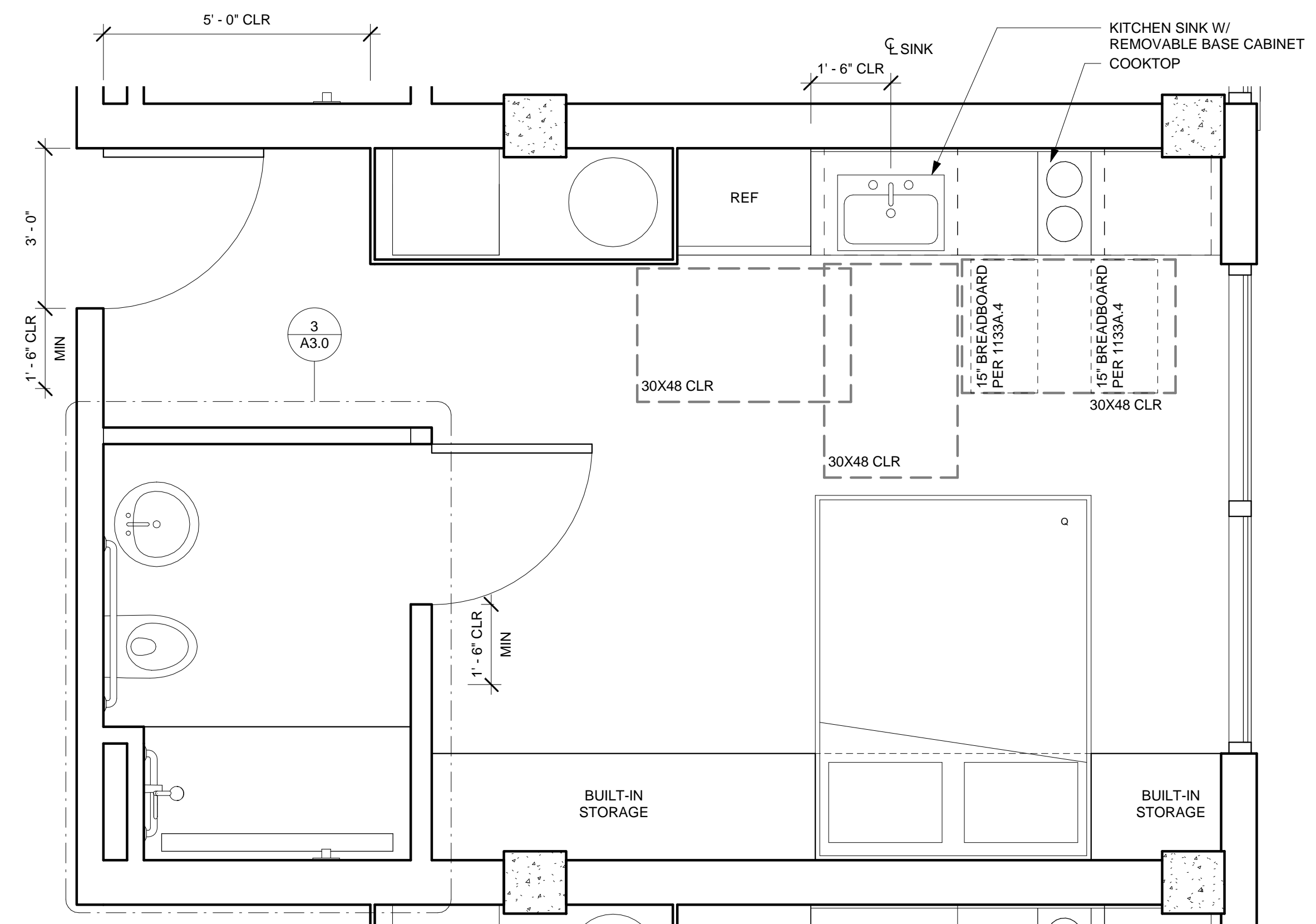
4 AXON - UNIT F



3 TYP PLAN UNIT F  
1/2" = 1'-0"



2 AXON - UNIT E



1 TYP PLAN UNIT E  
1/2" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:  
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454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:  
ENLARGED  
PLANS - TYP UNIT  
E & F

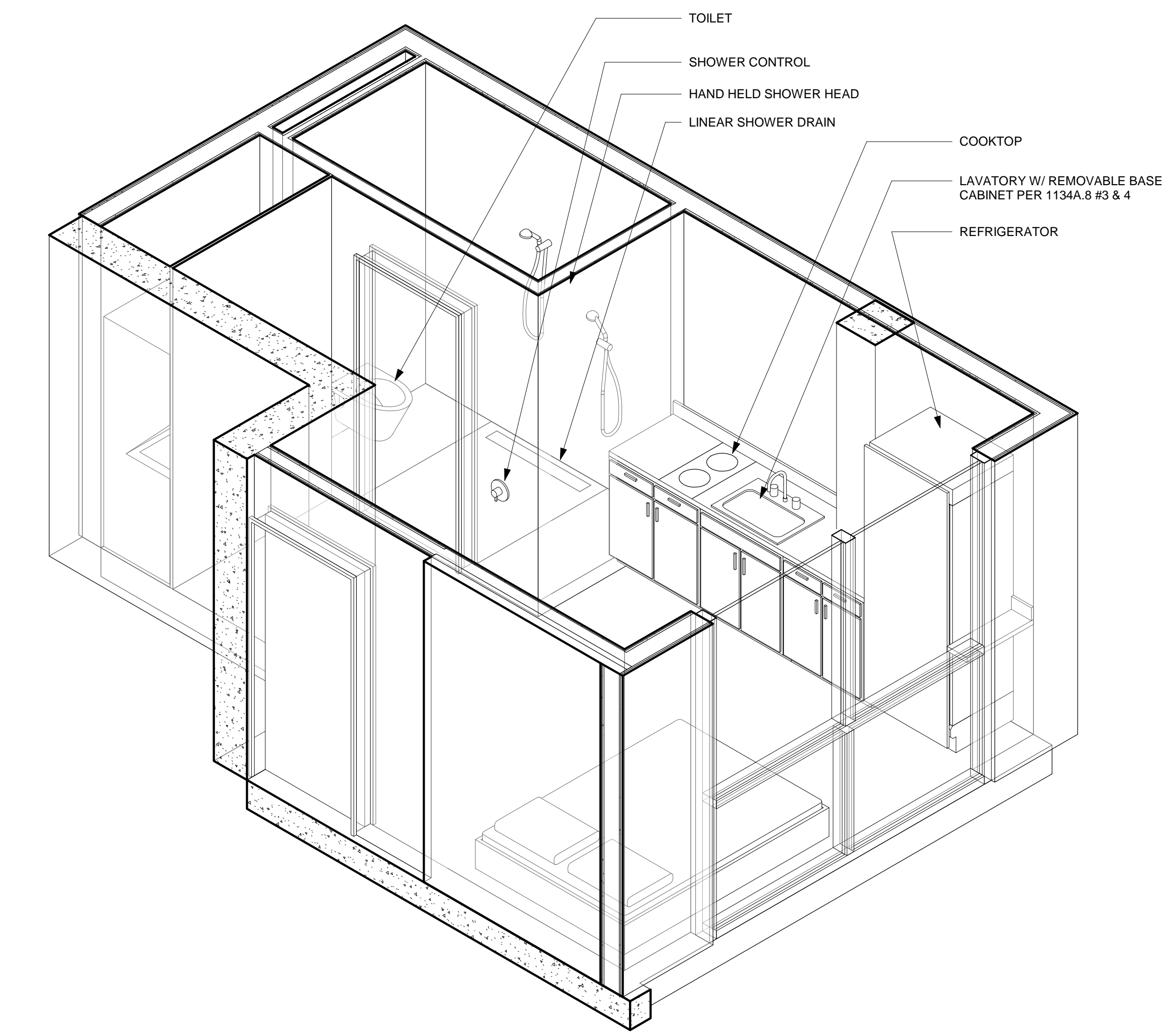
PROJECT NO.:

DATE:  
01-23-2018

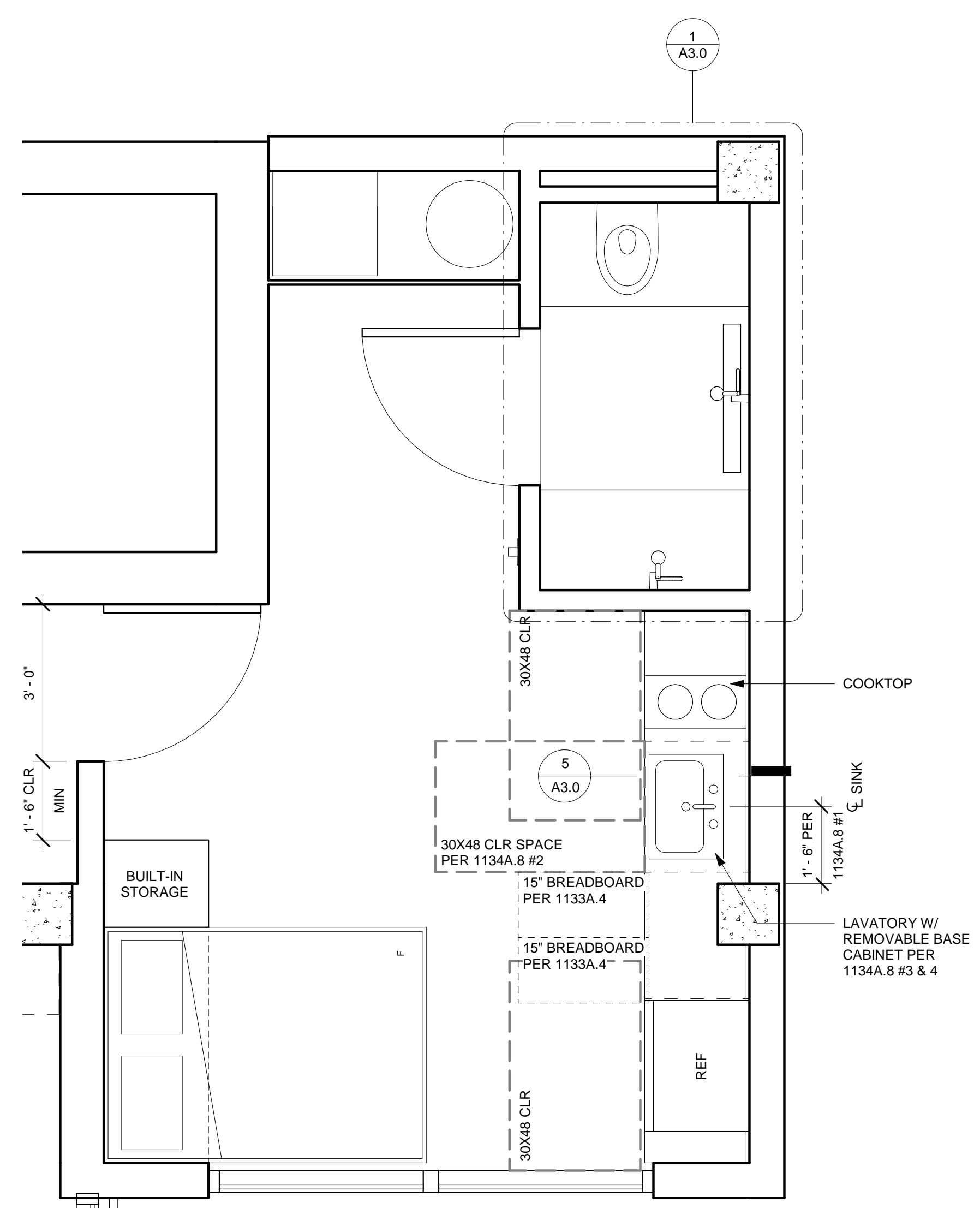
SHEET NO.:

A3.3





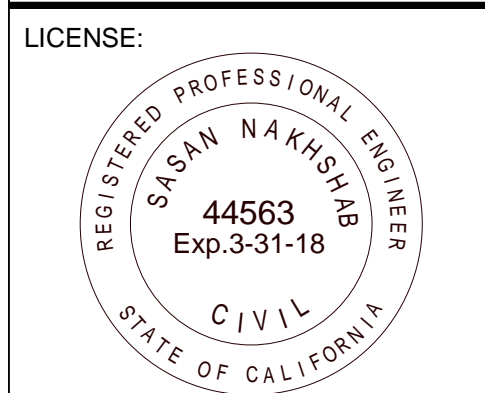
2 AXON - UNIT G



1 TYP PLAN UNIT G  
1/2" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:  
ENLARGED  
PLANS - TYP UNIT  
G

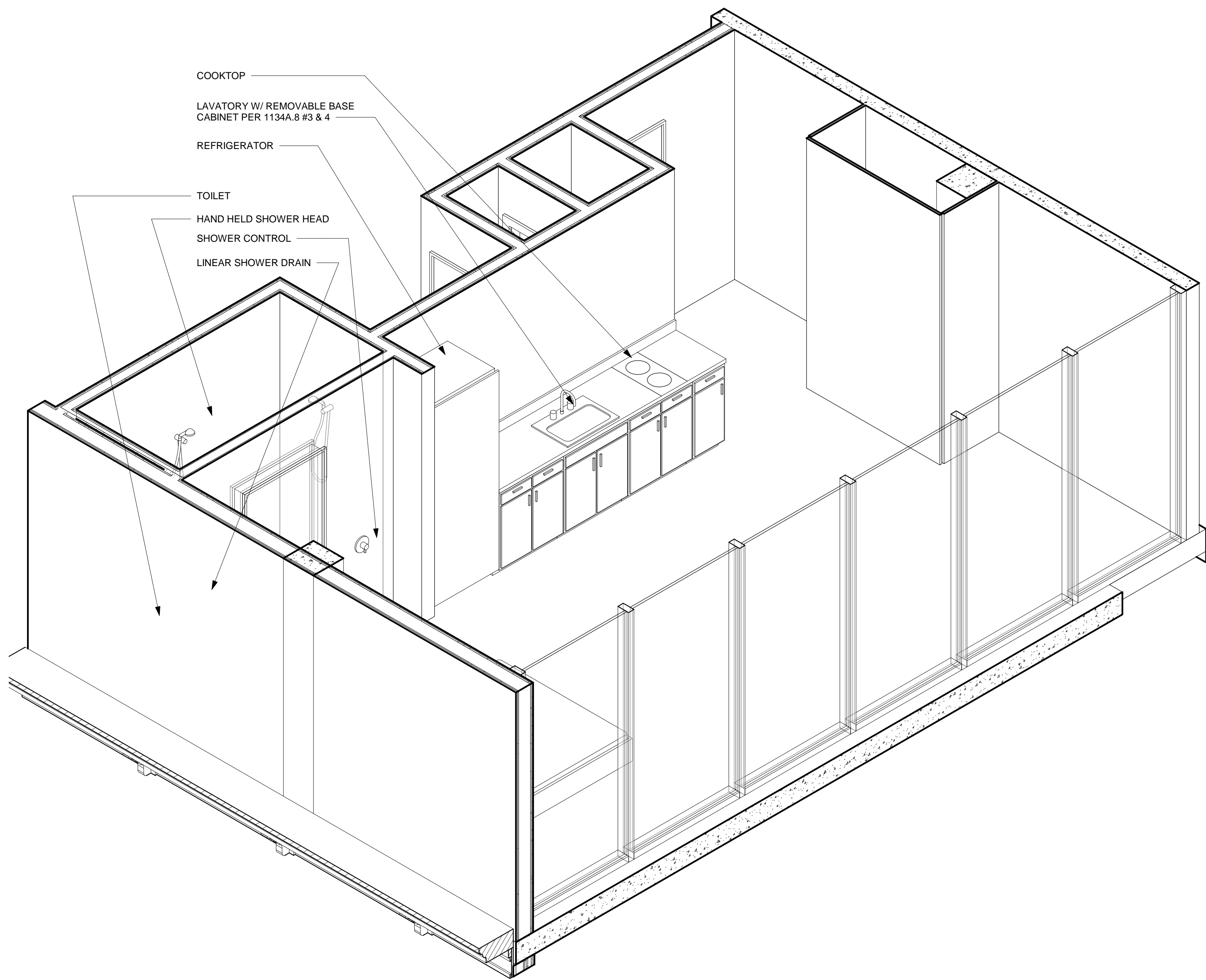
PROJECT NO.:

DATE:  
01-23-2018

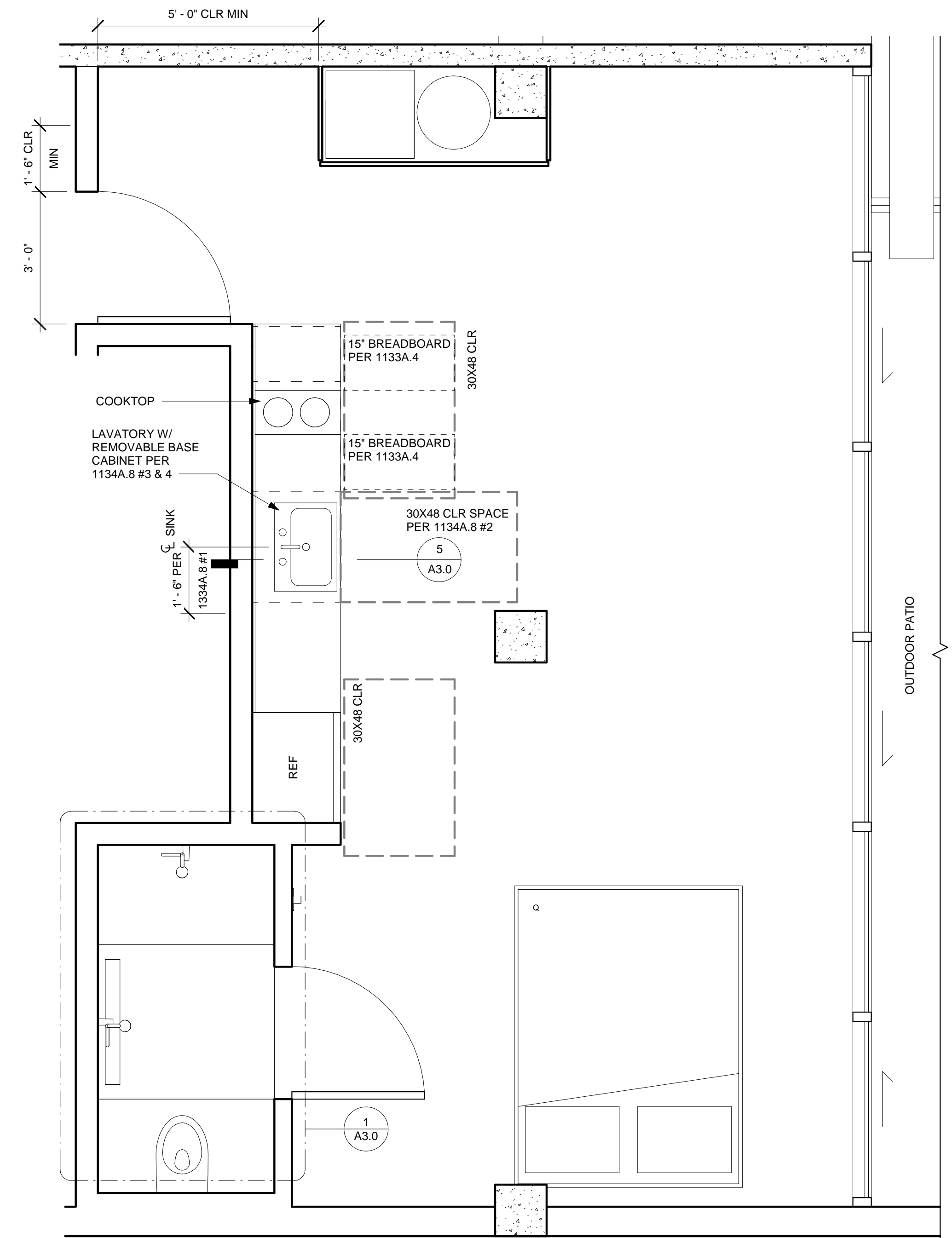
SHEET NO.:

A3.4





3 AXON - UNIT H



1 TYP PLAN - UNIT H  
1/2" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:	
ITEM	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:	
ENLARGED PLANS - UNIT H	
PROJECT NO.:	
DATE:	
01-23-2018	
SHEET NO.:	

A3.5



MATERIAL LEGEND

- A

CAST IN PLACE CONC
- B

STOREFRONT - BLACK ALUM
- C

GUARDRAIL - BLACK ALUM
- D

SMOOTH ACRYLIC STUCCO - WHITE
- E

PLANTER - CAST IN PLACE CONC
- F

SLIDING DOOR - BLACK ALUM
- G

SMOOTH ACRYLIC STUCCO - BLACK
- H

STL PIPE COLUMN - BLACK ALUM
- I

FASCIA - BLACK ALUM
- J

WINDOW SYSTEM - BLACK ALUM
- K

MTL ENTRY DOOR - BLACK
- L

PTD DENSGLASS - WHITE
- M

BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.
- N

HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM
- O

NOT USED
- P

BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209
- Q

FIRE RATED GLAZING
- R

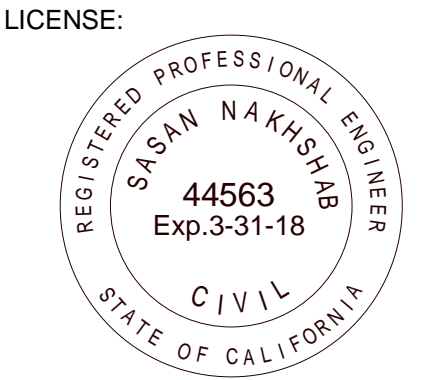
INSET COLOR PANEL
- S

SCORE JOINT
- T

EXPOSED CONC COLUMN



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
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PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

ELEVATION - EAST

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A4.0



1 EAST ELEVATION  
3/16" = 1'-0"



<b>A</b> CAST IN PLACE CONC	<b>E</b> PLANTER - CAST IN PLACE CONC	<b>I</b> FASCIA - BLACK ALUM	<b>M</b> BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.	<b>P</b> BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209	<b>S</b> SCORE JOINT
<b>B</b> STOREFRONT - BLACK ALUM	<b>F</b> SLIDING DOOR - BLACK ALUM	<b>J</b> WINDOW SYSTEM - BLACK ALUM	<b>N</b> HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM	<b>Q</b> FIRE RATED GLAZING	<b>T</b> EXPOSED CONC COLUMN
<b>C</b> GUARDRAIL - BLACK ALUM	<b>G</b> SMOOTH ACRYLIC STUCCO - BLACK	<b>K</b> MTL ENTRY DOOR - BLACK	<b>O</b> NOT USED	<b>R</b> INSET COLOR PANEL	
<b>D</b> SMOOTH ACRYLIC STUCCO - WHITE	<b>H</b> STL PIPE COLUMN - BLACK ALUM	<b>L</b> PTD DENSGLASS - WHITE			

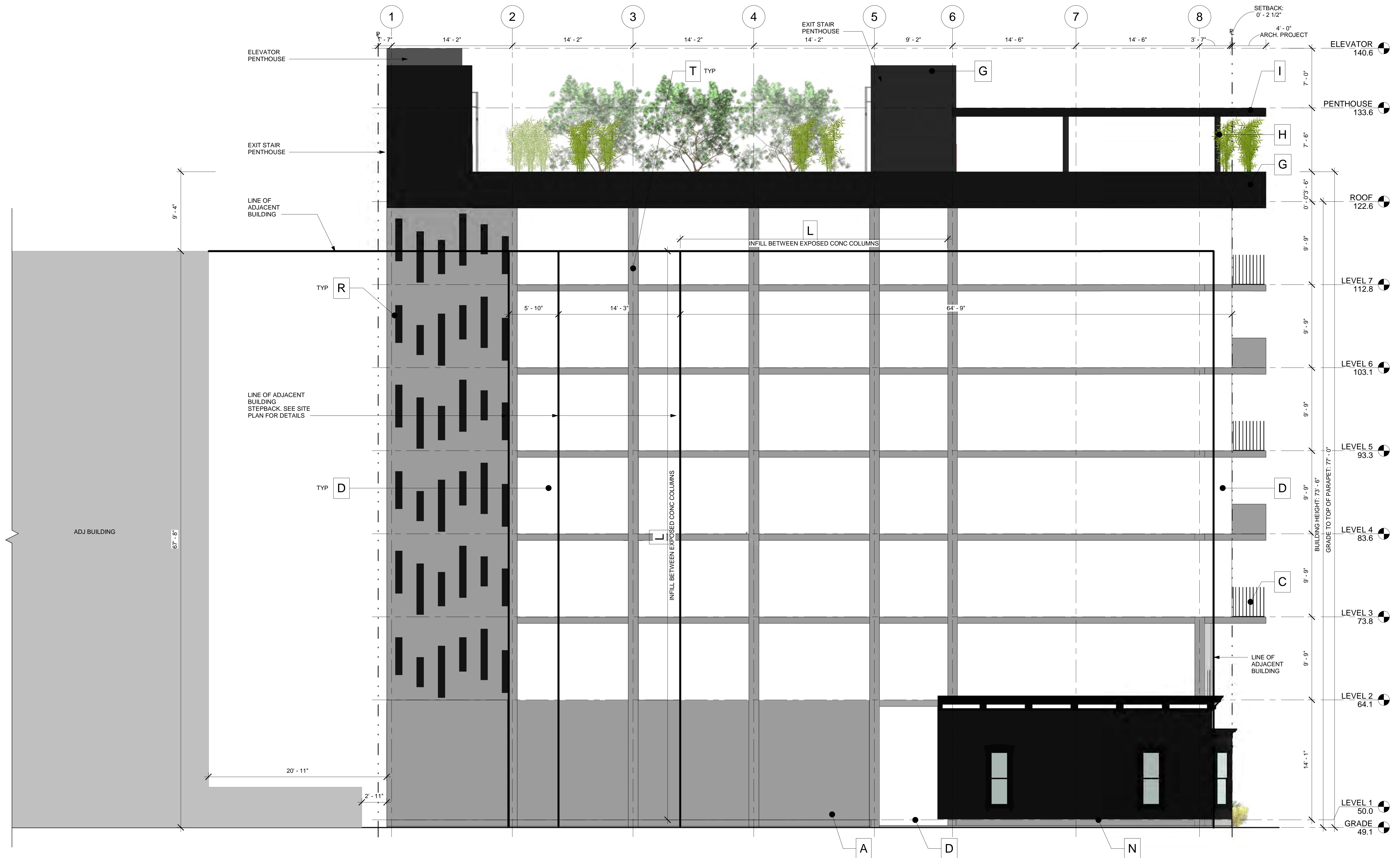


PROJECT/CLIENT:

# EZABELLE

SHEET NO.:

## A4.1



① SOUTH ELEVATION  
3/16" = 1'-0"



MATERIAL LEGEND

- A
- CAST IN PLACE CONC
- 
- B
- STOREFRONT - BLACK ALUM
- 
- C
- GUARDRAIL - BLACK ALUM
- 
- D
- SMOOTH ACRYLIC STUCCO - WHITE

- E
- PLANTER - CAST IN PLACE CONC
- 
- F
- SLIDING DOOR - BLACK ALUM
- 
- G
- SMOOTH ACRYLIC STUCCO - BLACK
- 
- H
- STL PIPE COLUMN - BLACK ALUM

- I
- FASCIA - BLACK ALUM
- 
- J
- WINDOW SYSTEM - BLACK ALUM
- 
- K
- MTL ENTRY DOOR - BLACK
- 
- L
- PTD DENSGLASS - WHITE

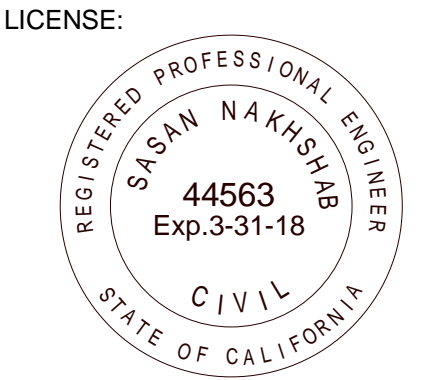
- M
- BACKFLOW PREVENTER
- 
- & SCREEN. SEE A1.0 FOR DETAILS.
- 
- N
- HISTORIC HOME: PAINTED WD SIDING,
- 
- CORNICE, WINDOW & DOOR TRIM
- 
- O
- NOT USED

- P
- BLACK ALUM ADDRESS
- 
- SIGNAGE PER SDMC 95.0209
- 
- Q
- FIRE RATED GLAZING
- 
- R
- INSET COLOR PANEL

- S
- SCORE JOINT
- 
- T
- EXPOSED CONC COLUMN



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>th</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
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REVISIONS:		
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1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

ELEVATION -  
WEST

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A4.2



1 WEST ELEVATION  
3/16" = 1'-0"



MATERIAL LEGEND

- A CAST IN PLACE CONC  
B STOREFRONT - BLACK ALUM  
C GUARDRAIL - BLACK ALUM  
D SMOOTH ACRYLIC STUCCO - WHITE

- E PLANTER - CAST IN PLACE CONC  
F SLIDING DOOR - BLACK ALUM  
G SMOOTH ACRYLIC STUCCO - BLACK  
H STL PIPE COLUMN - BLACK ALUM

- I FASCIA - BLACK ALUM  
J WINDOW SYSTEM - BLACK ALUM  
K MTL ENTRY DOOR - BLACK  
L PTD DENSGLASS - WHITE

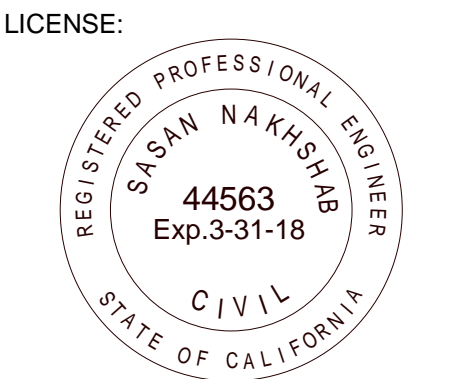
- M BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.  
N HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM  
O NOT USED

- P BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209  
Q FIRE RATED GLAZING  
R INSET COLOR PANEL

- S SCORE JOINT  
T EXPOSED CONC COLUMN



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101  
**EZABELLE**

SHEET TITLE:

**ELEVATION - NORTH**

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

**A4.3**



1 NORTH ELEVATION  
3/16" = 1'-0"



MATERIAL LEGEND

- A CAST IN PLACE CONC  
B STOREFRONT - BLACK ALUM  
C GUARDRAIL - BLACK ALUM  
D SMOOTH ACRYLIC STUCCO - WHITE

- E PLANTER - CAST IN PLACE CONC  
F SLIDING DOOR - BLACK ALUM  
G SMOOTH ACRYLIC STUCCO - BLACK  
H STL PIPE COLUMN - BLACK ALUM

- I FASCIA - BLACK ALUM  
J WINDOW SYSTEM - BLACK ALUM  
K MTL ENTRY DOOR - BLACK  
L PTD DENSGLASS - WHITE

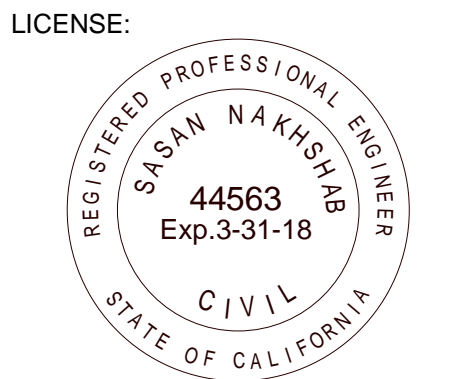
- M BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.  
N HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM  
O NOT USED

- P BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209  
Q FIRE RATED GLAZING  
R INSET COLOR PANEL

- S SCORE JOINT  
T EXPOSED CONC COLUMN



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
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1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:

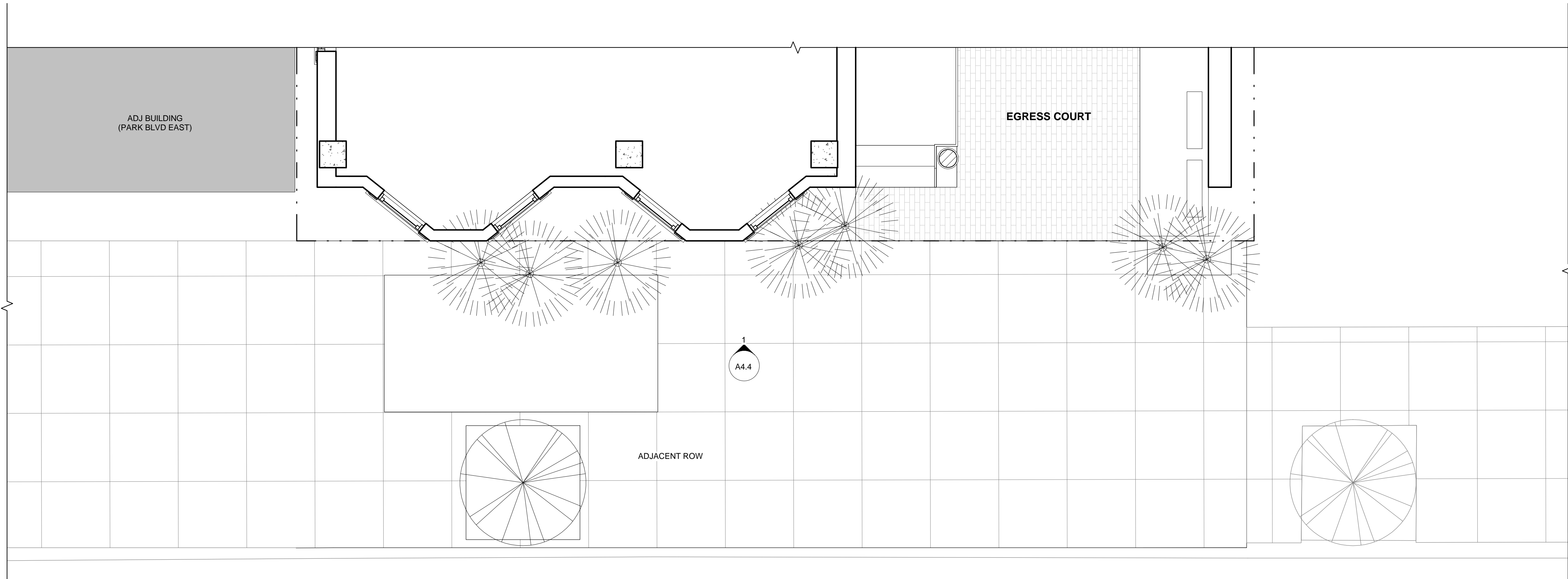
**ENLARGED  
ELEVATION**

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

**A4.4**



② LEVEL 1  
3/8" = 1'-0"



① ENLARGED STREET ELEVATION  
3/8" = 1'-0"





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
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REVISIONS:	
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PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

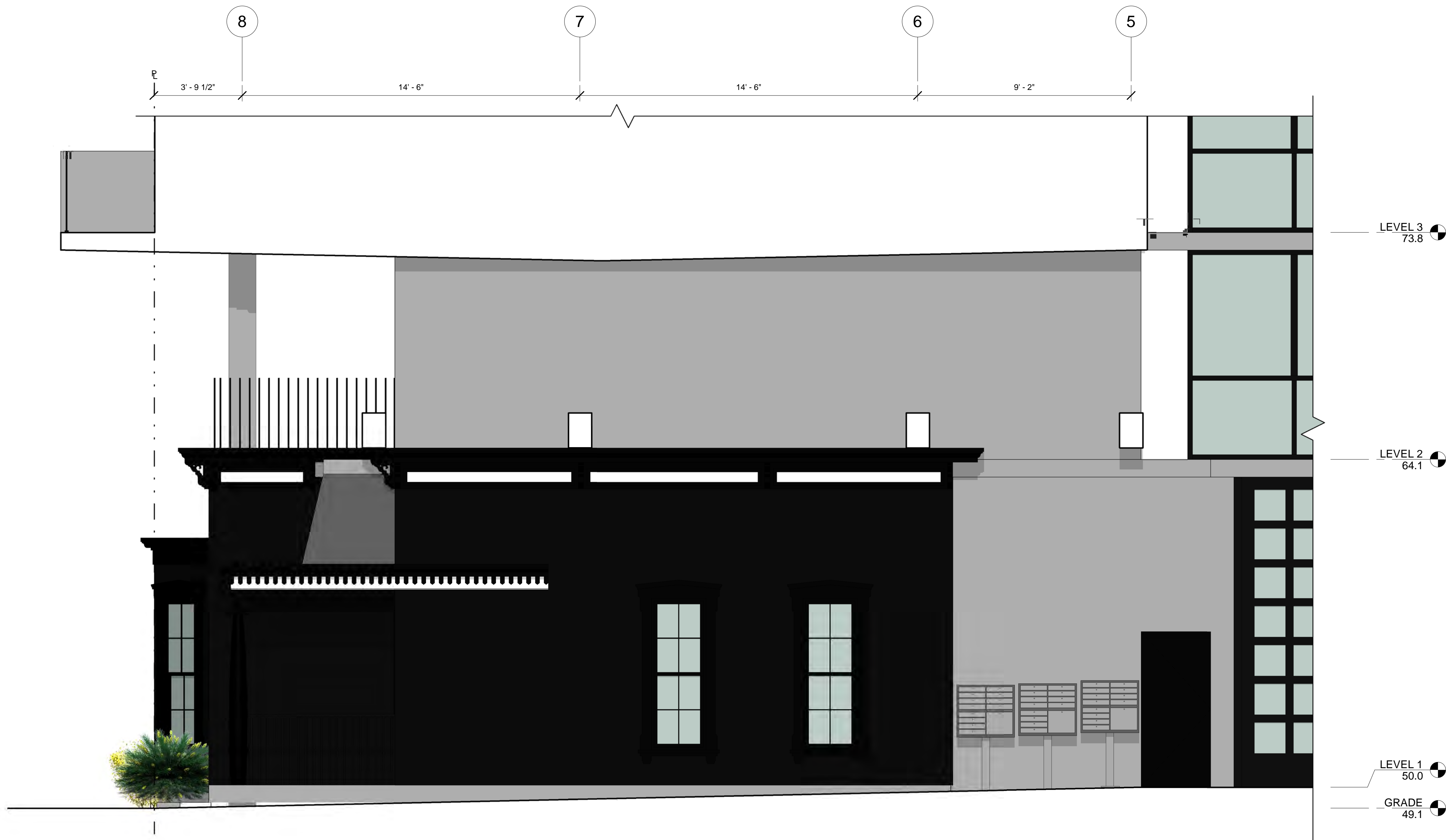
ENLARGED  
ELEVATION -  
EGRESS COURT

PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

A4.5



① NORTH ELEVATION - EGRESS COURT  
3/8" = 1'-0"









ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>th</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
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REVISIONS:	
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1	02/22/18
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CSD Response	

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

RENDERING 1

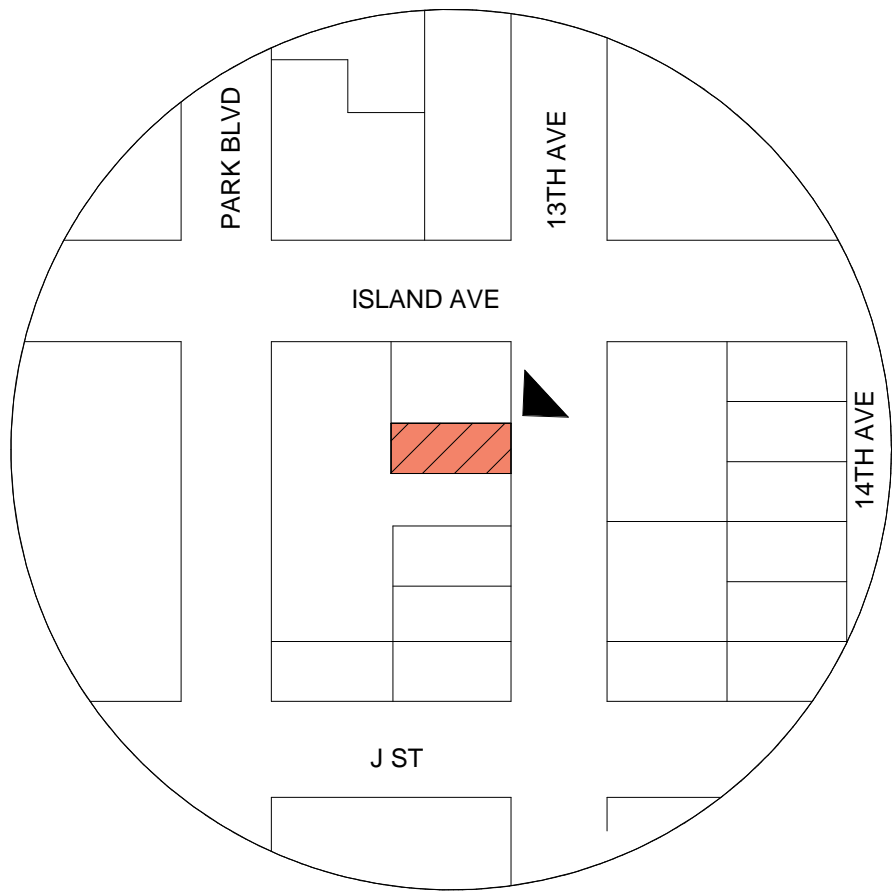
PROJECT NO.:

DATE:  
01-23-2018

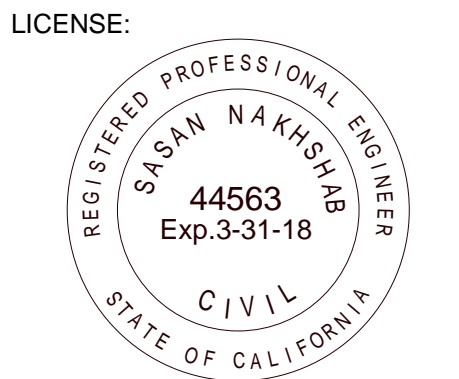
SHEET NO.:

A5.1





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:	
ITEM	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:

**RENDERING 2**

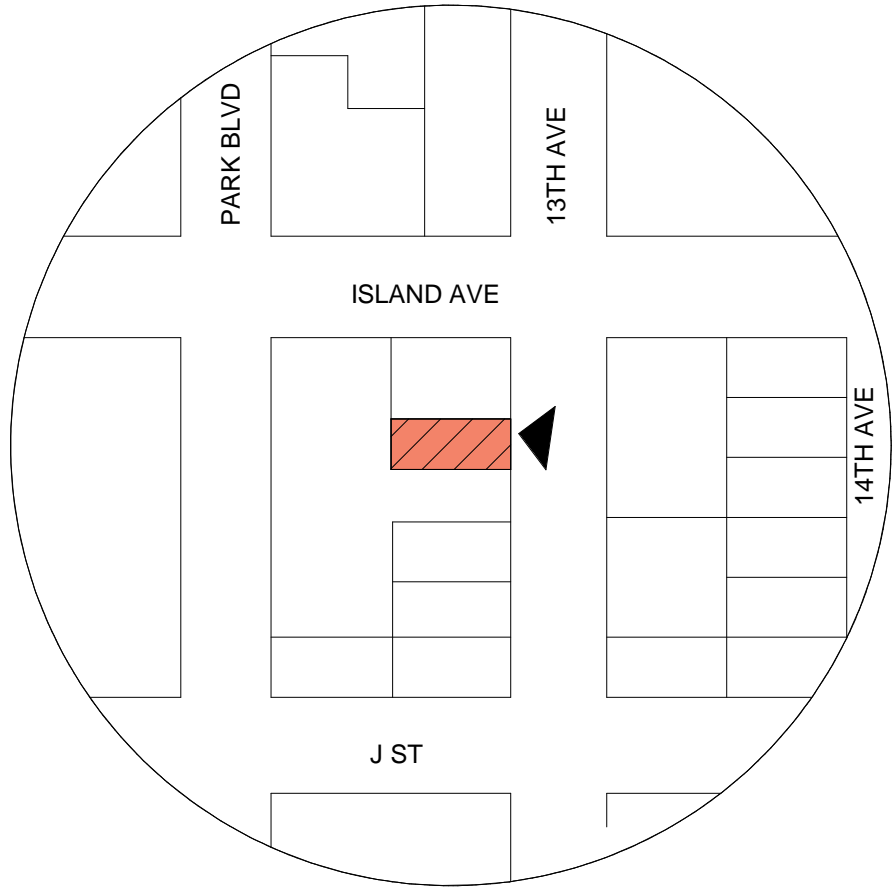
PROJECT NO.:

DATE:

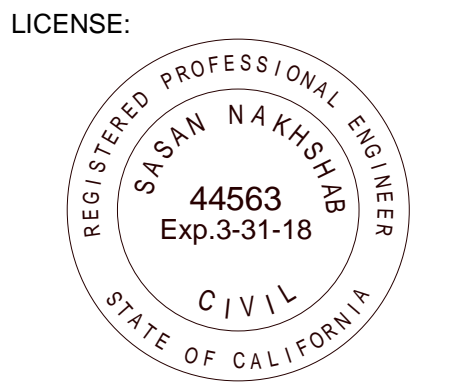
01-23-2018

SHEET NO.:





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
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REVISIONS:	
ITEM	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:

**RENDERING 3**

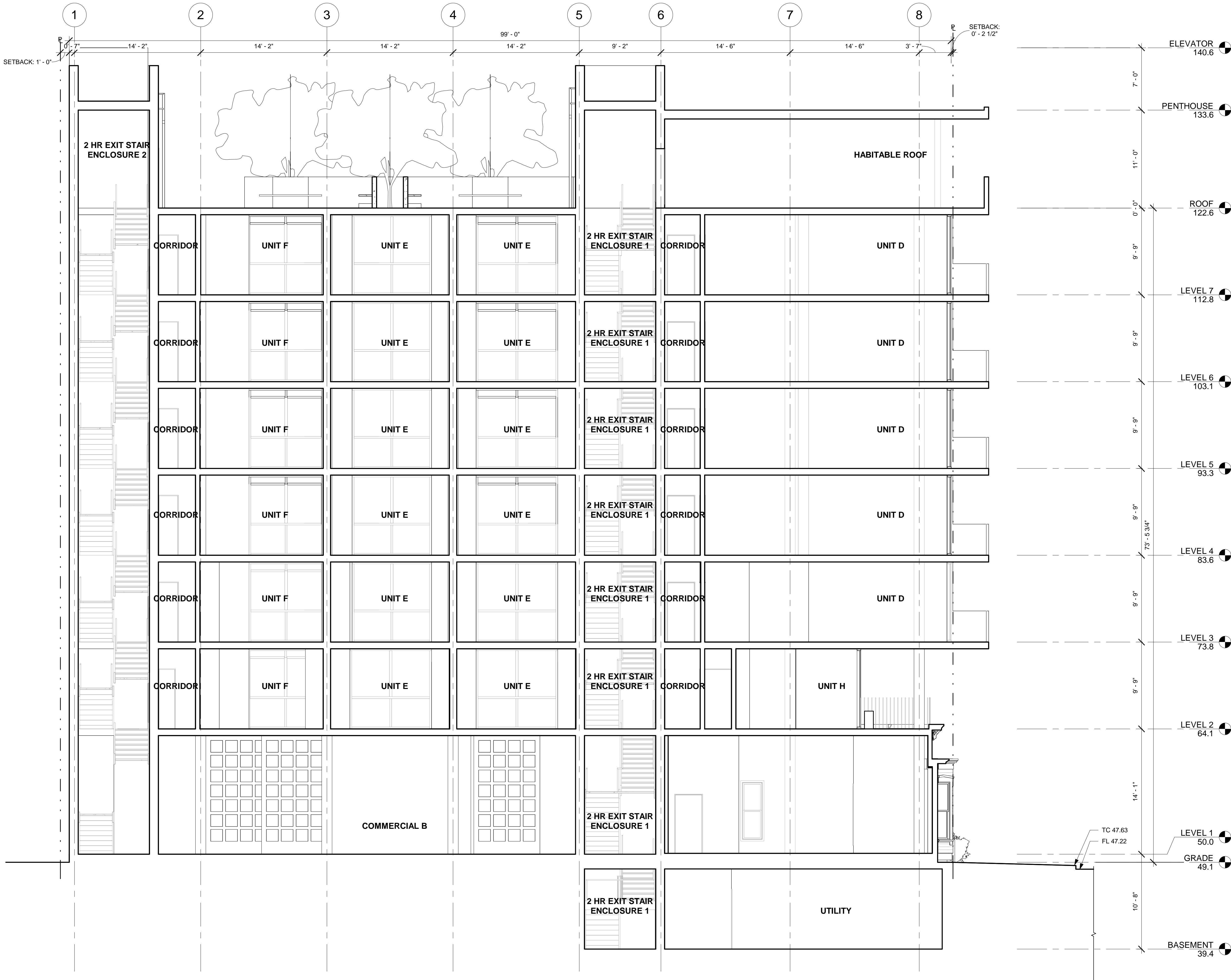
PROJECT NO.:

DATE:  
01-23-2018

SHEET NO.:

**A5.3**

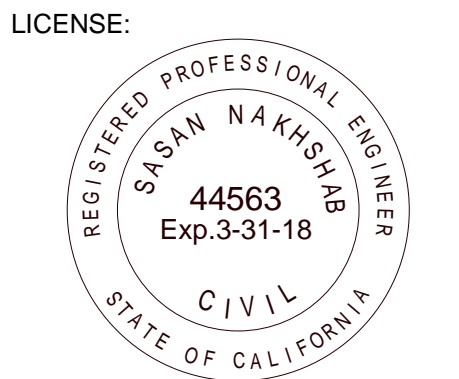




SECTION 1  
3/16" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST. SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:

SECTION 1

PROJECT NO.:

DATE:

01-23-2018

SHEET NO.:

A6.0

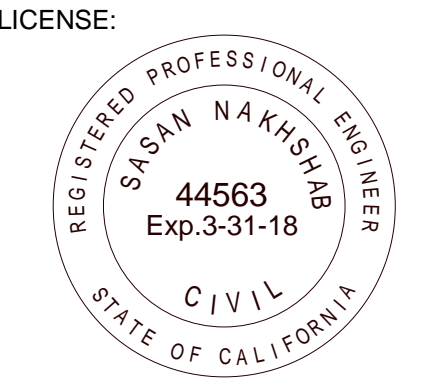




1 SECTION 2  
3/16" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

**EZABELLE**

SHEET TITLE:

**SECTION 2**

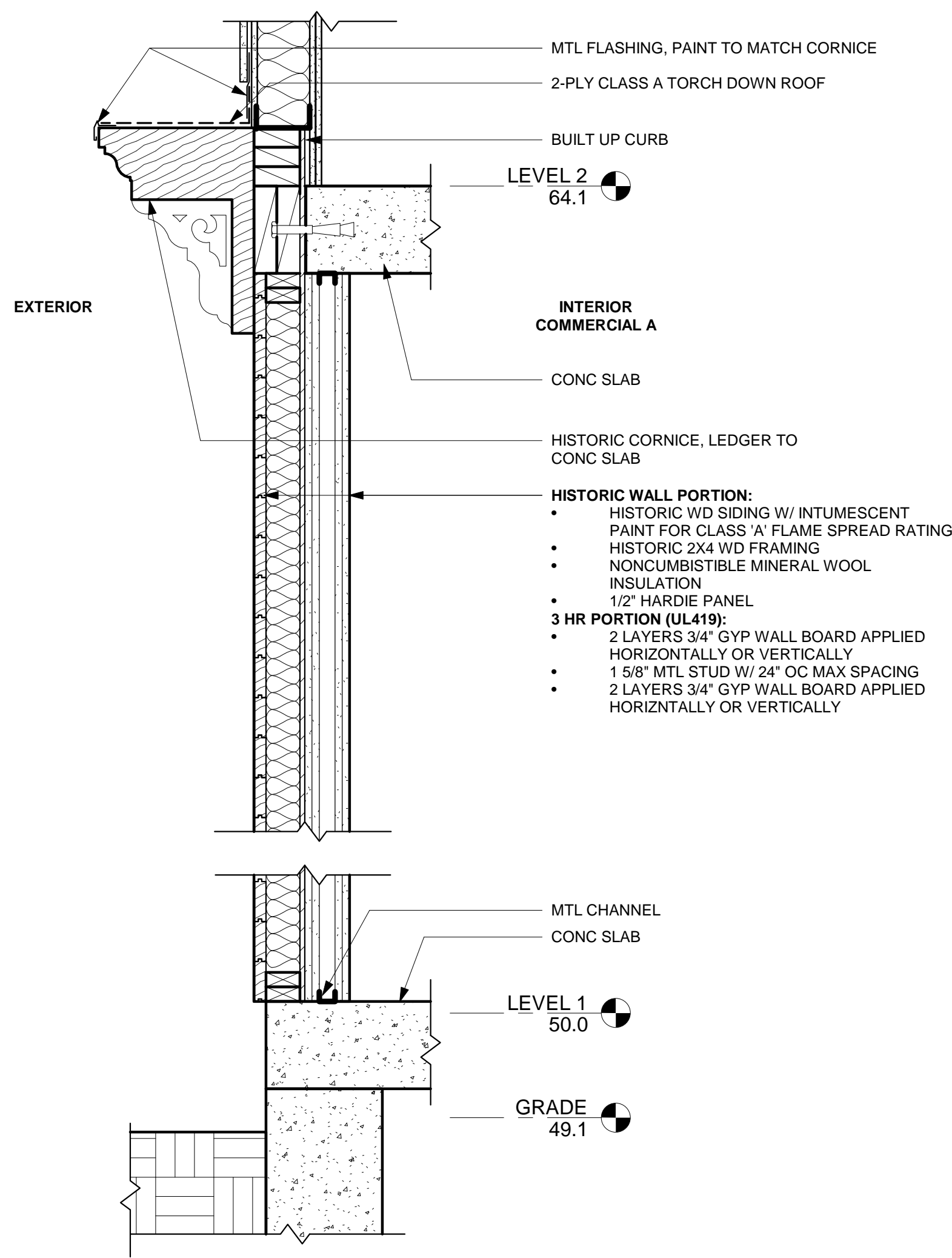
PROJECT NO.:

DATE:  
01-23-2018

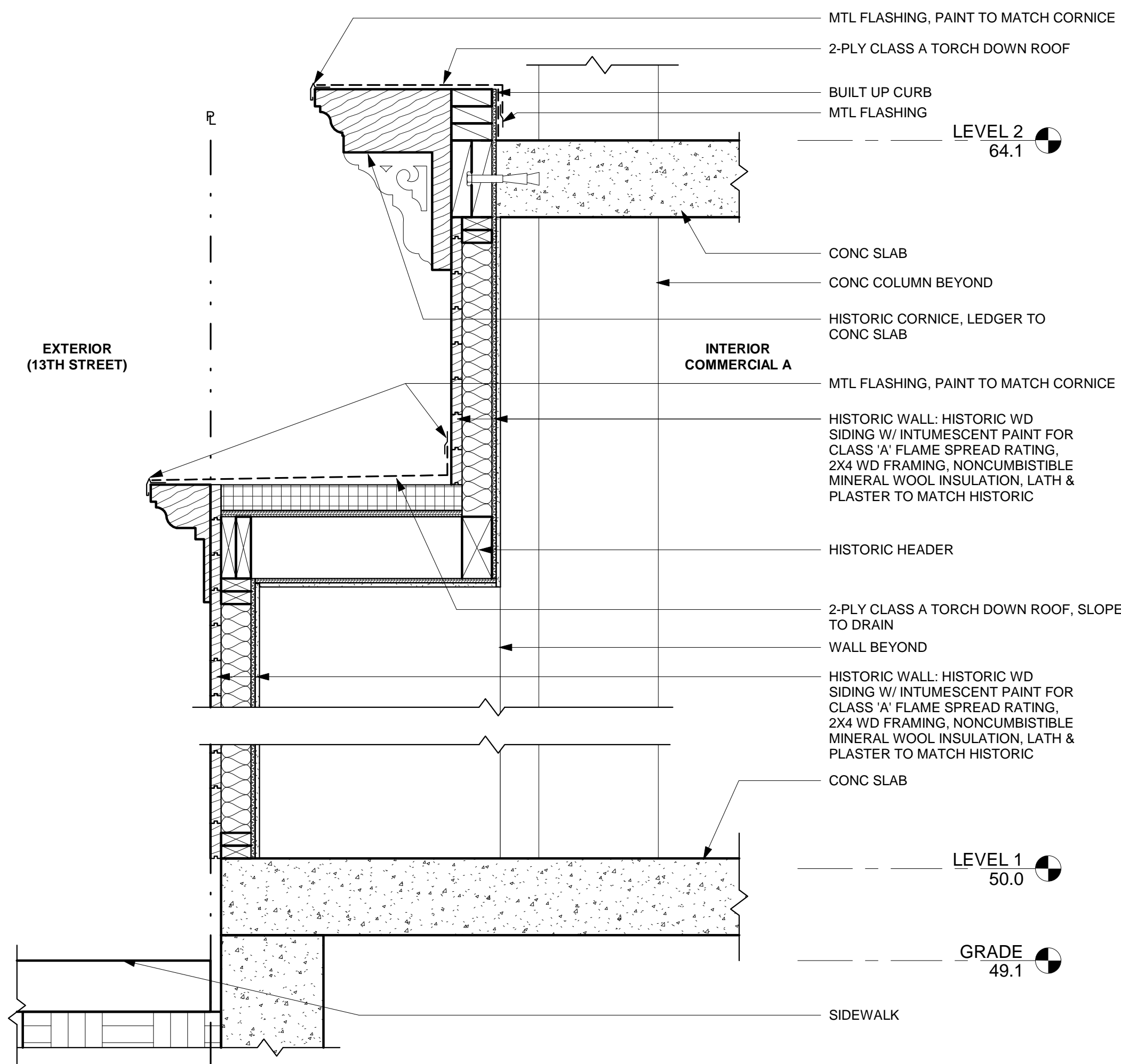
SHEET NO.:

**A6.1**

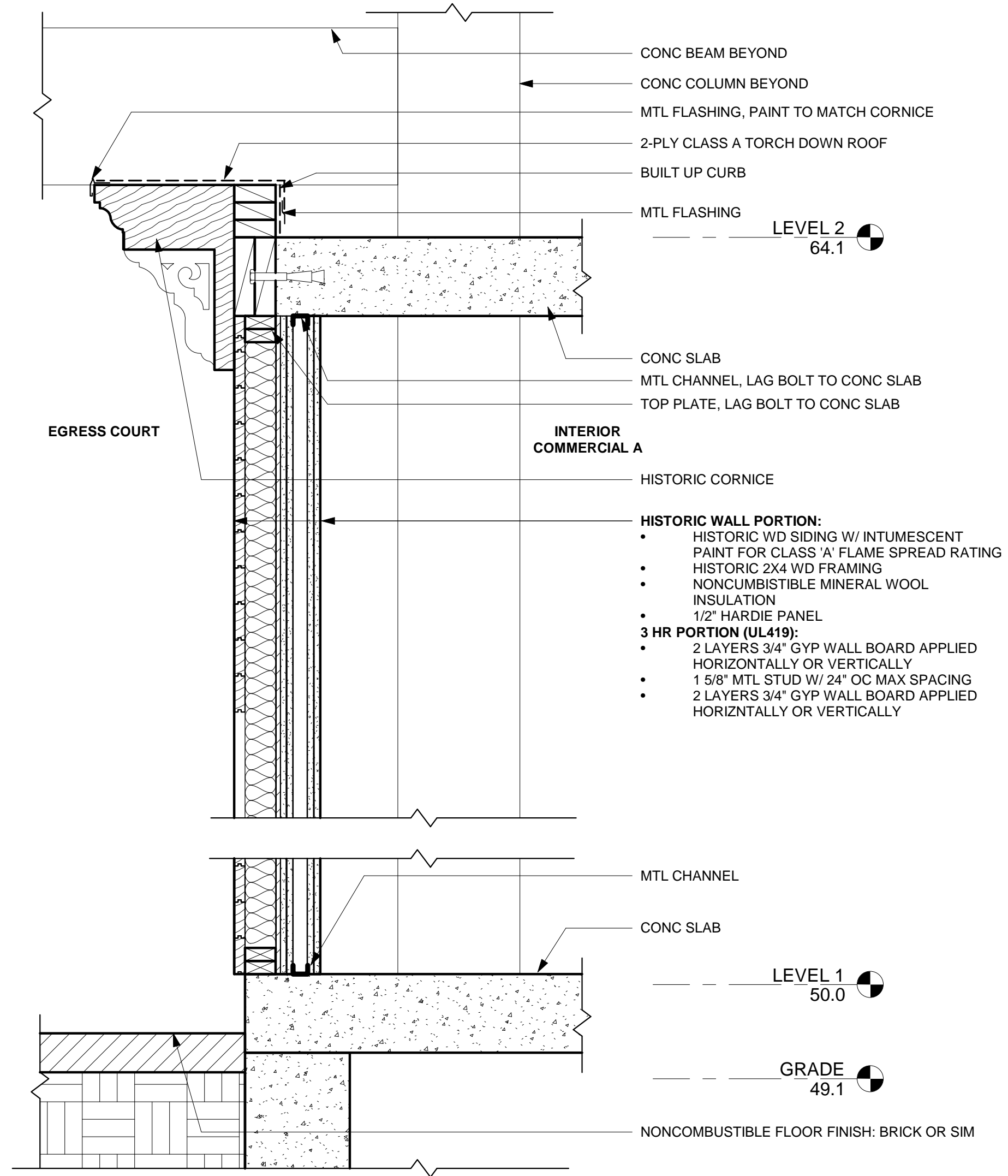




3 HISTORIC WALL @ SOUTHERN PL  
1" = 1'-0"

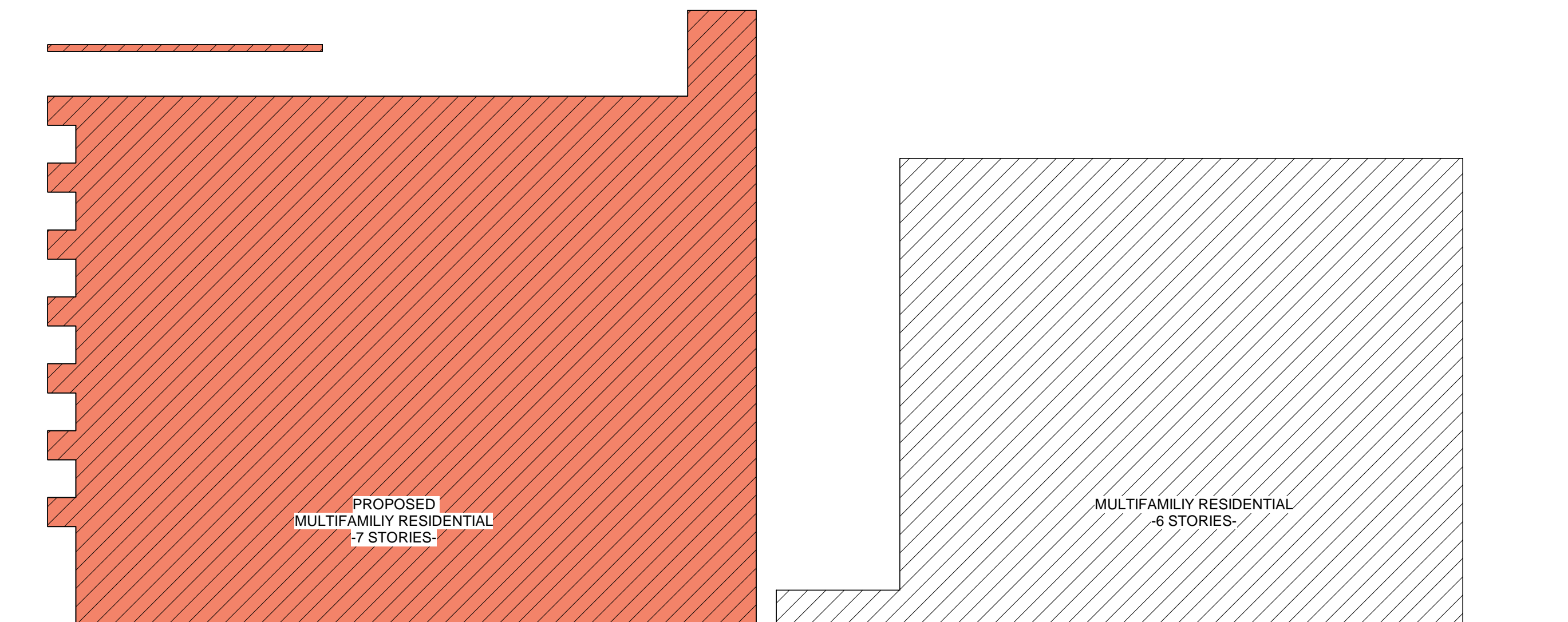


2 HISTORIC WALL @ EAST ELEVATION  
1" = 1'-0"

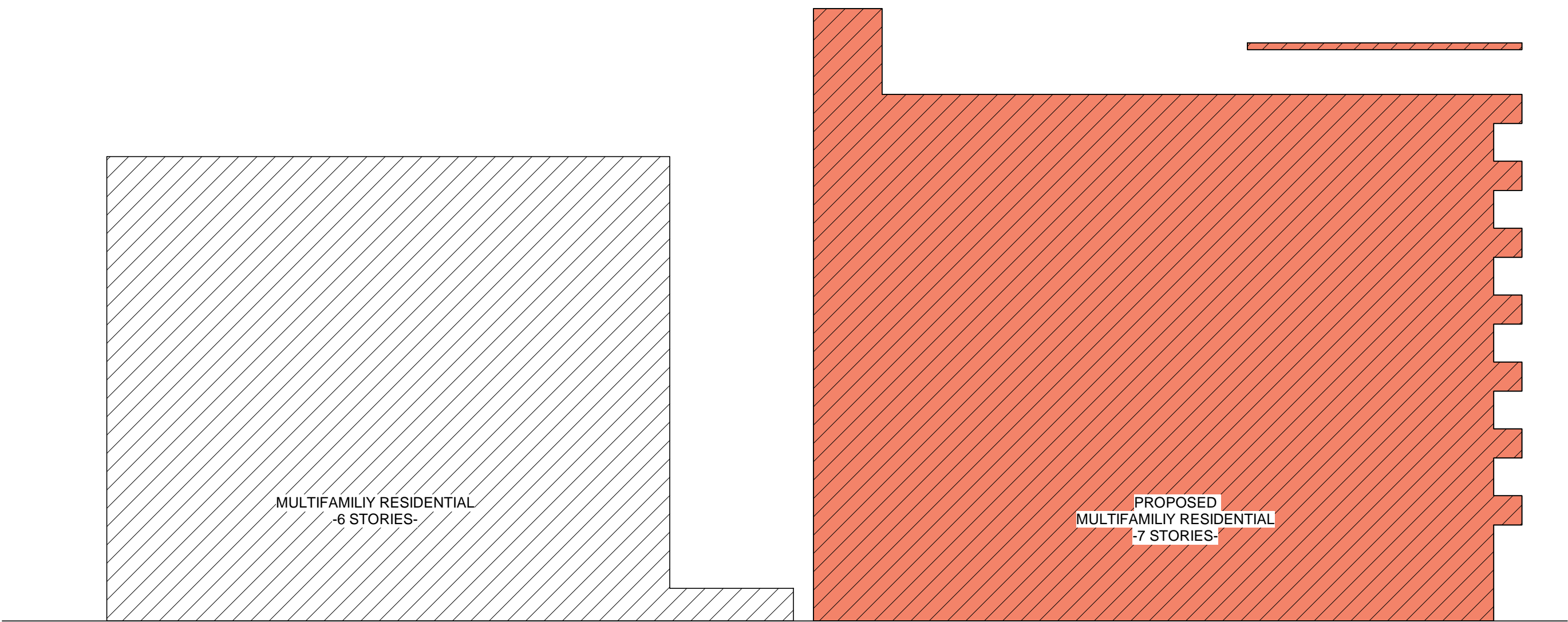


1 HISTORIC WALL @ EGRESS COURT  
1" = 1'-0"

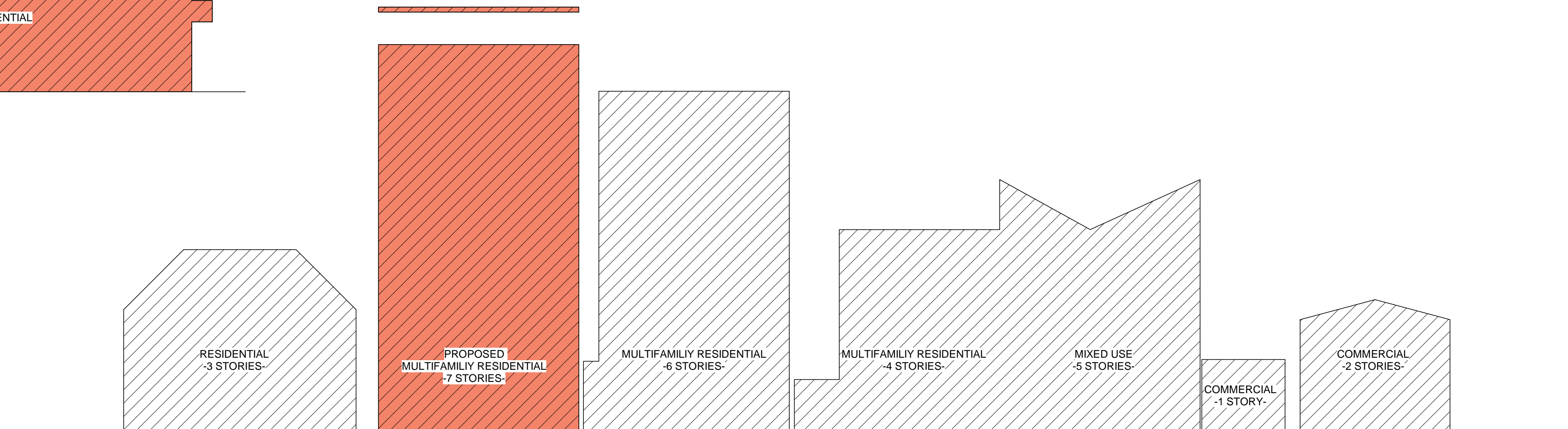




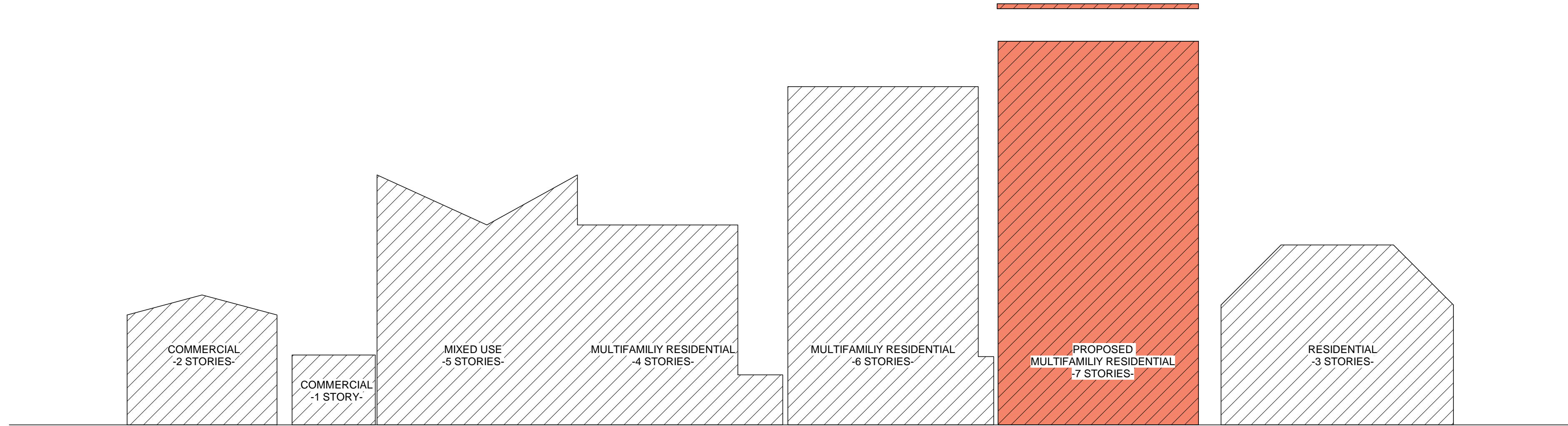
VICINITY ELEVATION - LOOKING SOUTH



VICINITY ELEVATION - LOOKING NORTH



VICINITY ELEVATION - 13TH STREET - LOOKING EAST



VICINITY ELEVATION - 13TH STREET - LOOKING WEST



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
P:619.255.7257 F:619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

VICINITY  
ELEVATIONS

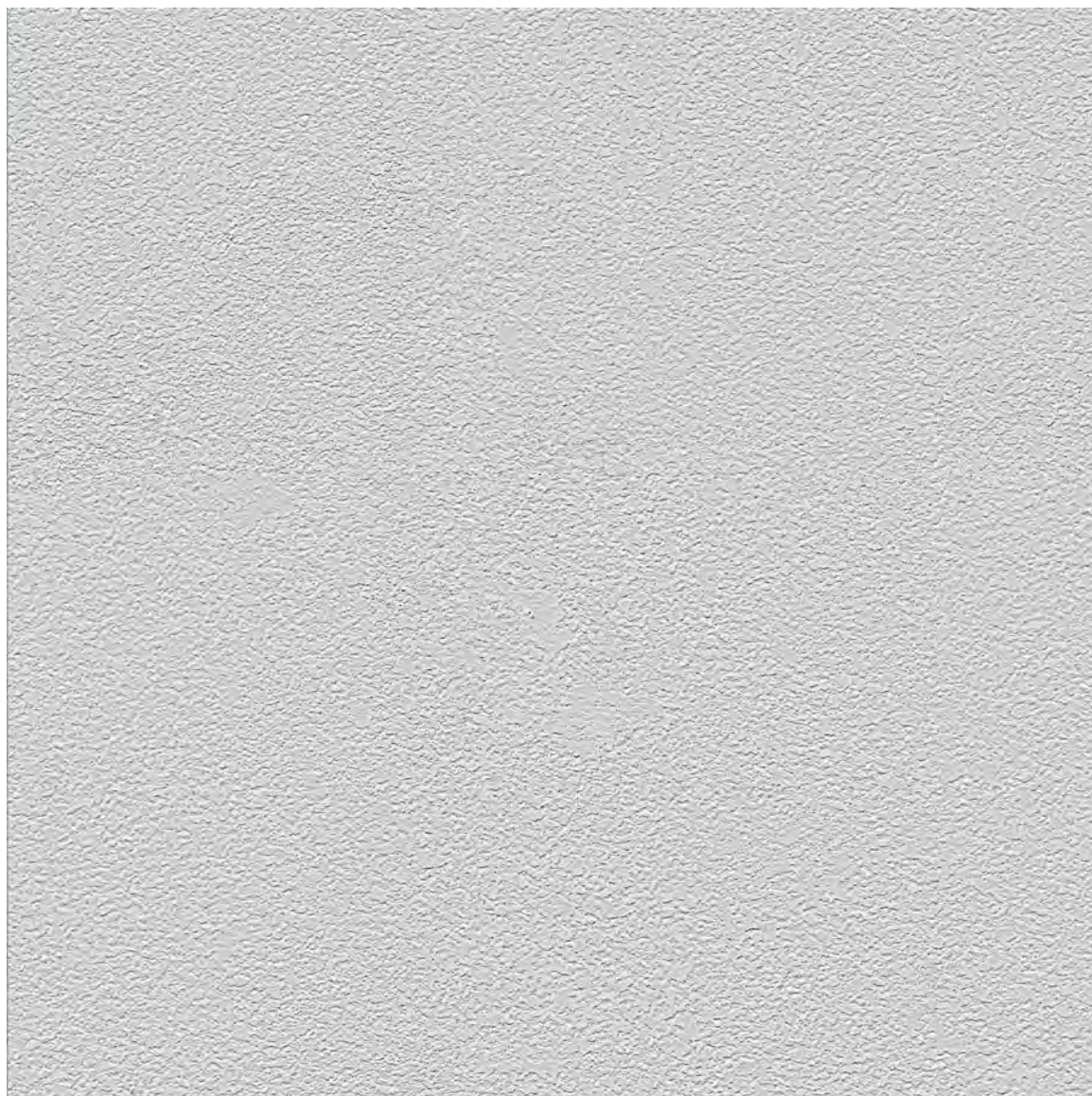
PROJECT NO.:

DATE:  
01-23-2018

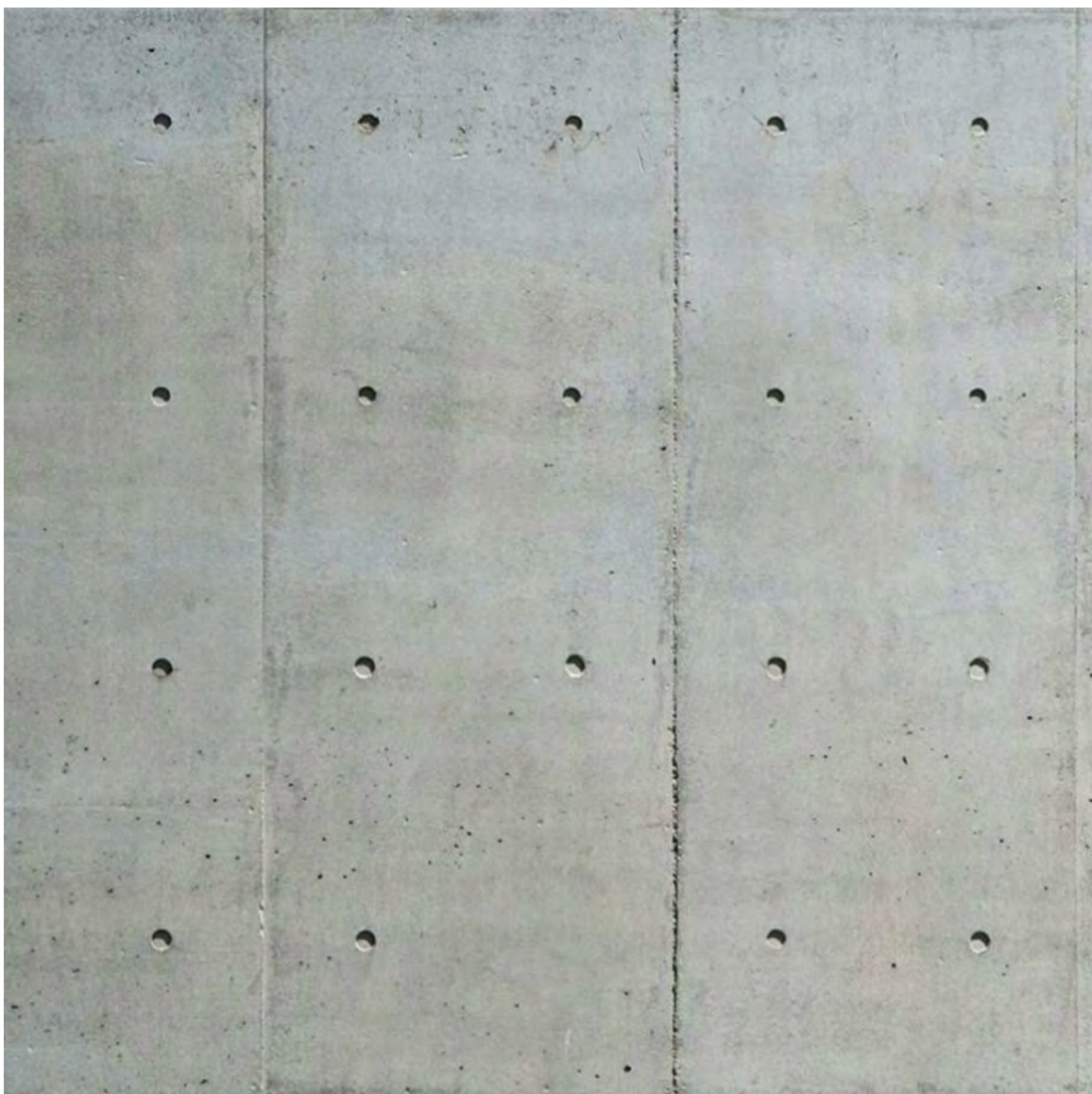
SHEET NO.:

A7.0





SMOOTH STUCCO - WHITE



POURED IN PLACE CONCRETE



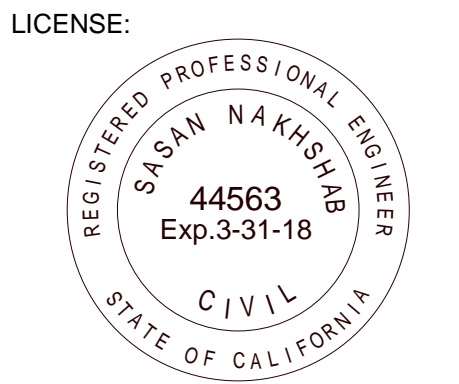
ANODIZED ALUMINUM - BRONZE



BLACK PAINTED MTL



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15<sup>TH</sup> ST, SUITE 100  
SAN DIEGO, CA 92101  
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WWW.NDDINC.NET



REVISIONS:	
ITEM	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

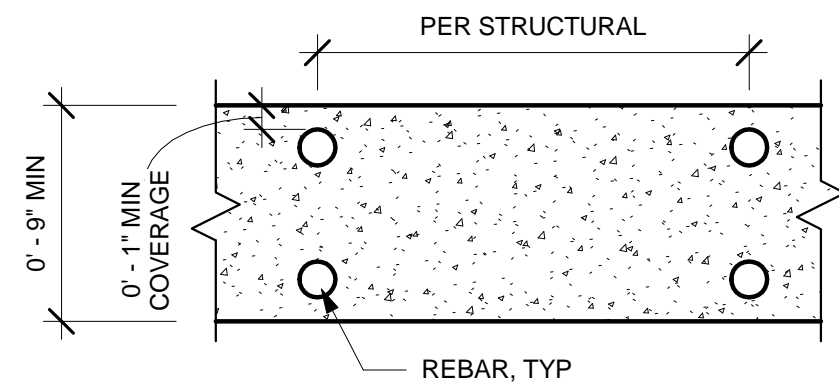
MATERIAL BOARD

PROJECT NO.:

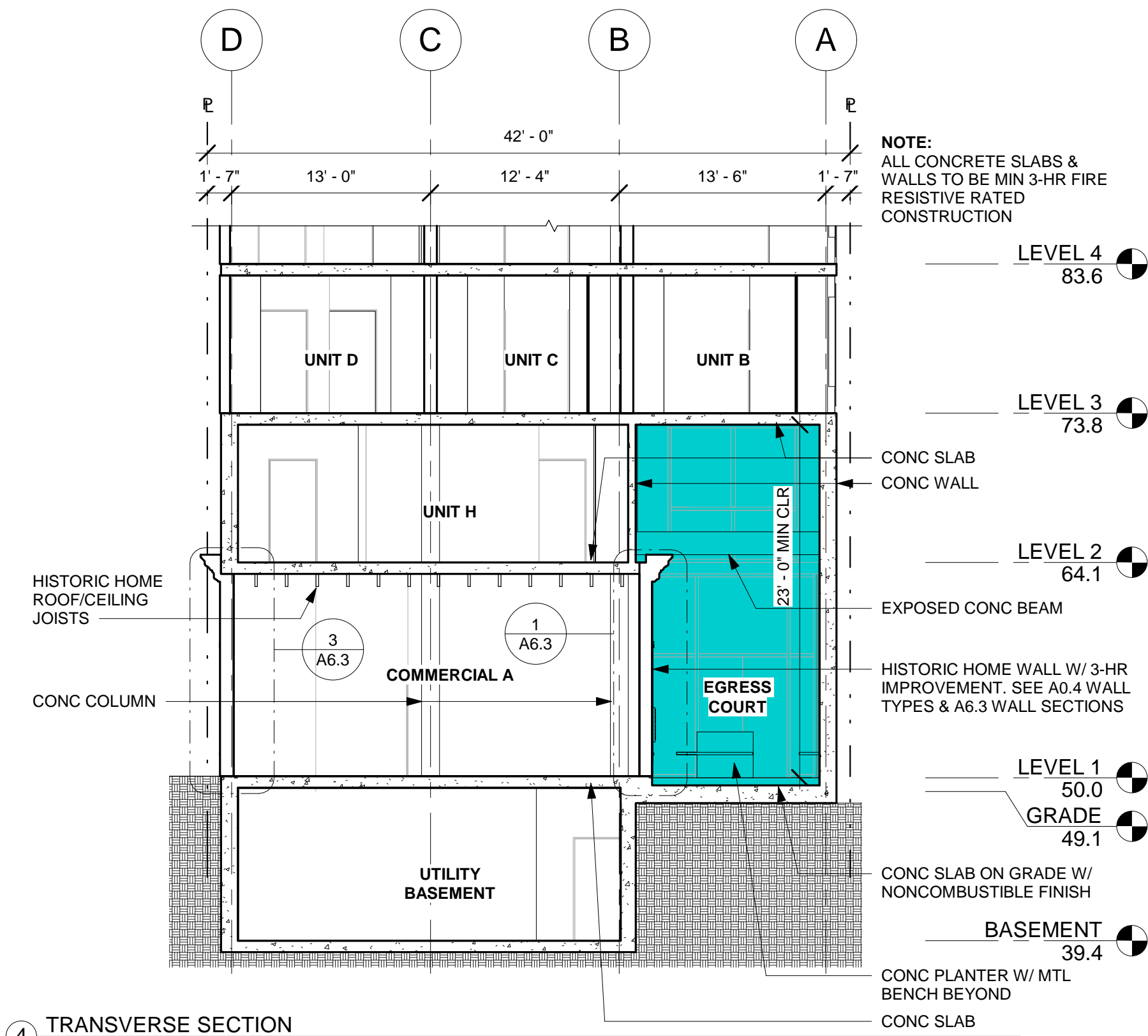
DATE:  
01-23-2018

SHEET NO.:

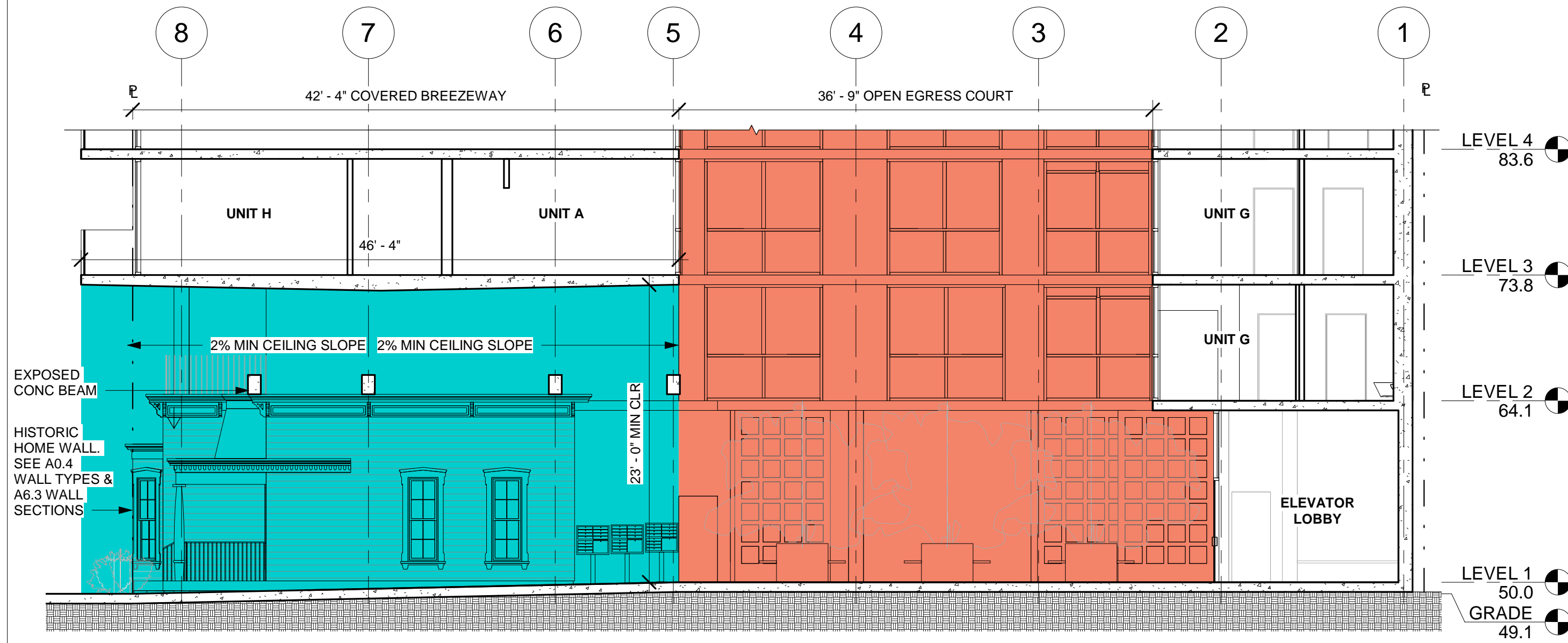




⑥ TYP CONC SLAB SECTION  
1 1/2" = 1'-0"



④ TRANSVERSE SECTION  
1/8" = 1'-0"



③ LONGITUDINAL SECTION  
1/8" = 1'-0"

#### ALTERNATE DESIGN APPROACH

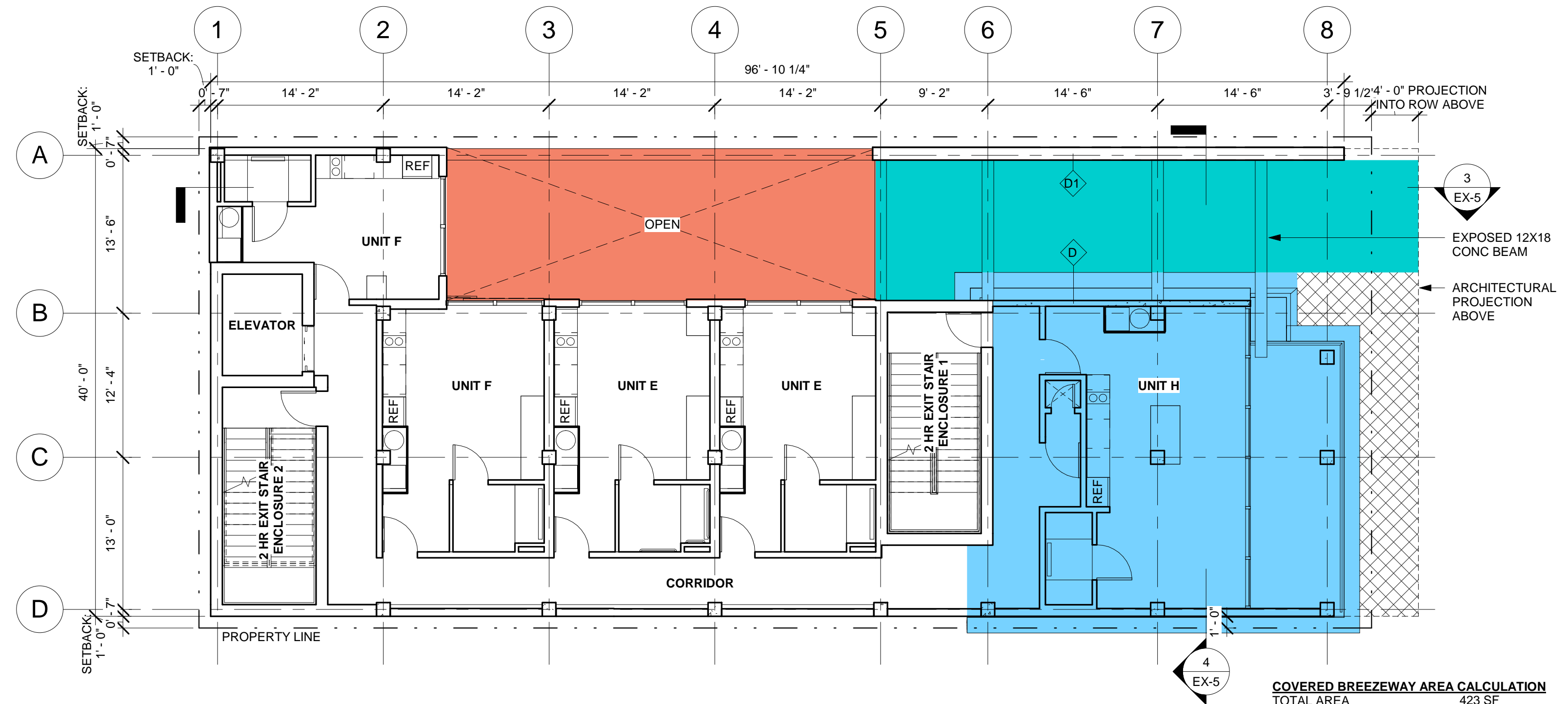
The proposed alternate design will include design elements to mitigate the potential hazards of requiring occupants to egress through a two-level open breezeway after discharging directly into an egress court. The proposed alternate design approach will include the following design elements:

1. Increase the design of the automatic sprinkler density within the open breezeway, Commercial A space, Unit H, including the outdoor deck, and area below the Level 3 deck projection into the public way, from 0.10 gpm/ft<sup>2</sup> to 0.20 gpm/ft<sup>2</sup>. Provide Quick Response sprinklers within these areas and limit the maximum spacing of the sprinklers to 130 square feet.
2. Provide a minimum of 3-hour fire-resistance-rated construction of the walls and ceiling surrounding the two-level open breezeway between the egress court and the public way.
3. Protect the siding of the historic home adjacent to the open breezeway with an approved fire-retardant material which provides a Class A finish rating.
4. The combustible concealed space of the historic home's exterior wall adjoining the open breezeway will be filled completely with noncombustible insulation.
5. Provide a positive slope of the two-level open breezeway to ensure that smoke and toxic gases will not accumulate in this area.
6. Provide a 3-hour fire-resistance-rated noncombustible wall assembly between the Commercial A space and the open breezeway.

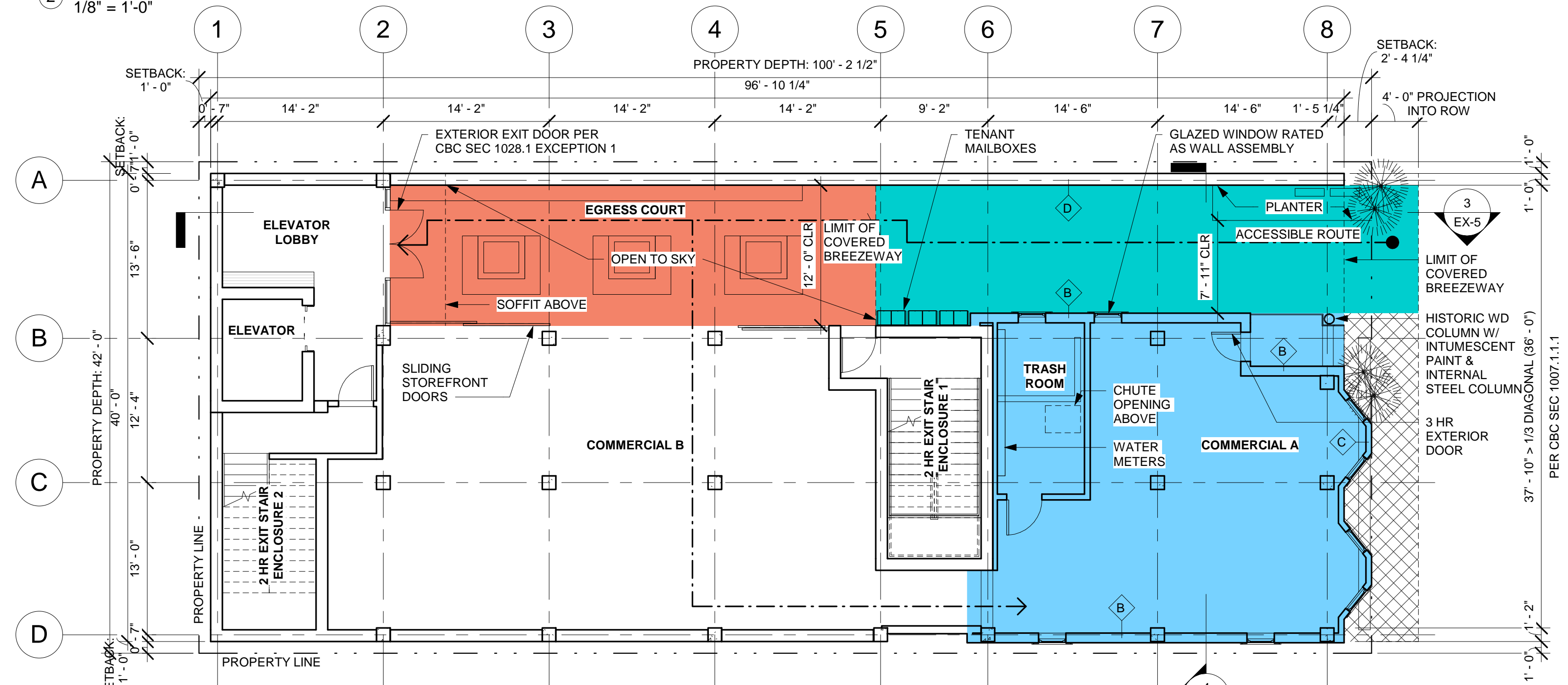
#### LEGEND

- OPENED BREEZEWAY W/ ENHANCED FIRE SPRINKLER PROTECTION
- EGRESS COURT
- HISTORIC HOME & NEW RES UNIT ABOVE W/ ENHANCED FIRE SPRINKLER PROTECTION
- LEVEL 3 PROJECTION INTO ROW W/ ENHANCED FIRE SPRINKLER PROTECTION

NOTE: ENHANCED FIRE SPRINKLER TO HAVE INCREASED DESIGN DENSITY OF .2GPM/SF & WILL INCLUDE QUICK RESPONSE SPRINKLERS. MAX SPRINKLER SPACING TO BE 130 SF.



② FLOOR PLAN - LEVEL 2  
1/8" = 1'-0"



① FLOOR PLAN - LEVEL 1  
1/8" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
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REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET  
SAN DIEGO, CA 92101

SHEET TITLE:

ALTERNATE  
MEANS &  
METHODS

PROJECT NO.:

DATE:

01-23-2018

SHEET NO.:

EX-5