



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: August 23, 2018 REPORT NO. PC-18-047

HEARING DATE: August 30, 2018

SUBJECT: MONTEZUMA PDP/CUP, Process Five Decision

PROJECT NUMBER: [501449](#)

OWNER/APPLICANT: Elsey Partners

SUMMARY

Issue: Should the Planning Commission recommend denial of the construction of a new residential structure with 128 bedrooms and shared kitchen facilities over three-levels of underground parking located at 6213 Montezuma Road in the RM-3-9 Zone of the College Area Community Planning Area?

Staff Recommendations:

1. Recommend the City Council not adopt [Negative Declaration No. 501449](#); and
2. Recommend the City Council deny Conditional Use Permit No.1764072; and
3. Recommend the City Council deny Planned Development Permit No. 176407.

Community Planning Group Recommendation: On July 12, 2017 the College Area Community Planning Board voted 16-3-0 to recommend approval, with conditions (Attachment 9).

Environmental Review: A Negative Declaration, Project No. 501449, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The College Area Community Plan (CACP) designates the 0.29-acre project site for High Residential 45-75 du/ac which would allow 13 to 22 dwelling units on site. The CACP also identifies the project site as located within an area designated for the location of fraternities and sororities. As proposed, the project would include the development of a building consisting of 128-bedroom suites with shared kitchen facilities on a vacant 0.29-acre site that would provide additional housing opportunities in the immediate vicinity of the San Diego State University campus.

BACKGROUND

The 0.29-acre site is located at 6213 Montezuma Road within the RM-3-9 Zone of the Core Subarea of the [College Community Redevelopment Project Master Project Plan](#) (CCRPMP), and the Parking Impact Overlay Zone, within the (CACP). The College Area Community Plan and the College Community Redevelopment Project Master Project Plan (CCRPMP) designates the site for high-density dwelling units (Attachment 1).

The project site is bounded on the east and west by multi-family residences, on the south by single-family residences, on the north by Montezuma Road and the site is located directly across the street from San Diego State University (SDSU) Parking Structure No. 4. The project site has approximately 110 feet of frontage along Montezuma Road, and extends back from the street approximately 120 feet (Attachment 2).

In accordance with the San Diego Municipal Code (SDMC) section 126.0602, a Planned Development Permit (PDP) is required to implement the requirements of the CCRPMP for a Phased Project Redevelopment Permit and to allow for two deviations to the side yard setback regulations and height regulations, as further described in the project description.

In accordance with SDMC section [141.0305](#), a Conditional Use Permit for student dormitory use is required per Use Regulations Table 131-04B, as it is a Separately Regulated Residential Use. Fraternity houses, sorority houses, and student dormitories are described in SDMC [141.0305](#) as "facilities that are designed or used as a residence for students enrolled at an institution of higher learning". Fraternity houses, sorority houses, and student dormitories may be permitted with a Conditional Use Permit. According to the Housing Element and San Diego State University (SDSU) Element of the community plan, dormitories are an allowed land use on the project site given its proximity to the San Diego State University Campus.

The project requires approval of the proposed CUP through a project-specific (uncodified) ordinance to exempt compliance with two SDMC requirements which cannot be satisfied by the proposed project: 1) SDMC section [141.0305](#)(d), requiring recognition by a college or university, because San Diego State University (SDSU) will not provide the required recognition to consider the project to be a dormitory; and 2) compliance with SDMC [141.0305](#)(b)(2), which requires a parking agreement between the college or university with which the facility is affiliated and the applicant to allow the applicant to use college or university parking facilities to meet the parking requirement. The project proposes to provide 57 parking spaces where 78 are required and SDSU will not enter into a parking agreement for the remaining 21 parking spaces.

DISCUSSION

Project Description:

The project proposes the construction of a new five-story structure with 128 rooms over three-levels of underground parking, totaling 40,208 square feet. Each floor will have cooking facilities to be used by the residents as shared joint use kitchens. Each bedroom would house one resident for a total of 128 residents and each room would contain bathroom facilities. A three-level underground parking garage will be constructed and although the project requires 78 parking space the project is proposing to only provide a total of 57 off-street parking spaces. Per the CCRPMPP the base parking rate for a student dormitory use is 0.58 spaces per bed or resident, plus 50% for guest parking. A 30% reduction in the number of required parking spaces is allowed for student dormitory projects exceeding a density of 143 residents per acre. The total size of the project site is 0.285 acres, which would result in a density of 449 residents per acre for the project site. Therefore, the 30% parking reduction is allowed for the project. The above parking rate description results in the following calculation for the proposed student dormitory project: $128 \times 0.58 \times 1.5 \times 0.7 = 77.95$. Therefore, a minimum of 78 parking spaces are required for the proposed project. The project will also provide a total of six motorcycle parking stalls and bicycle parking racks that will accommodate up to 108 bicycles. Access to the parking garage will be provided from one driveway on Montezuma Road.

The project lies in close proximity to public transportation options. The nearest bus stop is located on the south side of Montezuma Road and 63rd Street, approximately 400-feet east of the project site. A second bus stop is located on the north side of Montezuma Road approximately 650-feet east of the project site. In addition, the SDSU transit center is located approximately 2,300-feet from the project site and can be used to access the San Diego Trolley Green Line. In addition, SDSU operates a free shuttle service Monday thru Thursday from 5:00p.m. - 10:00pm. The shuttle makes several stops on and near the SDSU campus, including one stop along southbound East Campus Drive located approximately 500-feet from the project site.

Given the lack of neighborhood parks and recreational areas in the College Area, the community plan recommends that on-site recreational facilities be proposed with new multi-family residential projects in order to help meet the immediate recreational needs of residents. The proposed project would meet this recommendation with the provision of courtyards in the front and rear of the building, community room space with kitchen facilities on all residential floors of the project, a gym on the second floor, and a rooftop terrace that would serve as additional outdoor space for residents.

Grading for the project site is expected to be limited to the excavation for the subterranean parking garage and associated driveways. The anticipated cuts will be about 30-feet deep at the front of the property, and about 43 deep feet at the rear. Shoring will be required for all sides of the excavation. Storm water impacts from the proposed project would be avoided through Best Management Practices (BMPs), including site design and the installation of appropriate filtration devices.

Planned Development Permit (PDP)

In accordance with SDMC Section [126.0602](#), a PDP is required to allow the project to deviate from the development regulations. The first deviation proposed is to deviate from the side yard setback regulations, which require 10-feet, and the project proposes a side yard setback of 5-feet. Staff supports this deviation as The Residential District in the [College Redevelopment Project; Core Sub-Area Design Manual \(page 28\)](#) allows for minimum side yard setbacks of five-feet in the Residential District.

The second deviation is required to accommodate the height of the elevator shaft. The majority of the structure is at 56-feet or below, however the elevator shaft is proposed at 58'-3" where the maximum height limit is 56-feet within the [College Redevelopment Project; Core Sub-Area Design Manual](#). Staff supports this deviation, because the project as viewed from the street appears to have five stories along the front elevation and approximately 4.5 stories to the rear and the proposed project is at or below 56 feet except for a portion of the elevator tower that exceeds the guideline height by approximately two feet- three inches. Overall, the proposed project would be below the maximum building height limit for the RM-3-9 Zone which is 60 feet.

Requested Deviations			
SDMC	Development Standard	Required	Proposed
126.0605	Minimum Side Yard Set Back	10'	5'
126.0605	Height Limit	56"	58'-3"

If approved, the project would provide housing units and opportunities for residents to reside in close proximity to the university and public transit. The project is providing increased private open space and the added benefit to the community of new housing, replacing a vacant site that has been used for dumping in previous years. The open spaces are provided via a ground level courtyard and a roof top deck.

Conditional Use Permit (CUP)

In accordance with SDMC section [141.0305](#) a CUP for the student dormitory use is required per Use Regulations Table 131-04B, as it is a Separately Regulated Residential Use. Fraternity houses, sorority houses, and student dormitories are facilities that are designed or used as a residence for students enrolled at an institution of higher learning. Fraternity houses, sorority houses, and student dormitories may be permitted with a CUP.

As currently proposed the project does not meet all of the CUP regulations required to be considered a dormitory. Specifically, the project is not able to obtain official recognition from San Diego State University, nor can the project provide the required parking to meet the project's minimum parking requirement. For these reasons, the project does not qualify to be considered a dormitory use under the current SDMC. Therefore, staff is recommending denial of the project as a dormitory and denial of the CUP.

Approval of CUP By Uncodified Ordinance:

The applicants are requesting approval of the CUP through a project specific uncodified ordinance to exempt compliance with SDMC sections 141.0305 (b) and (d), related to the provision of parking for the facility and the need to be officially recognized by the college or university with which it is affiliated.

SDMC 141.0305(b):

(b) If the facility is not located on a college or university campus, off-street parking shall be provided as follows:

(2) Through a parking agreement between the college or university with which the facility is affiliated and the applicant, which will allow the applicant to use college or university parking facilities to meet the parking requirement.

Staff does not support the proposed waiver to SDMC 141.0305(b)(2), which requires a parking agreement for the 21 additional parking spaces. The Community Redevelopment Project Master Plan document was approved by the City Council October 12, 1993. That plan calls out a base rate of 0.58 automobile parking spaces per bed or resident, plus 50% for guest parking, and a reduction of 30% for an achieved density exceeding 143 units/acre (calculated at $94/0.285 = 330$ per acre), as defined in the 1989 Multi-Family Parking Requirements (revised May 17, 1993) specified by the Master Project Plan. The project proposes to deviate from the minimum off-street parking requirement of 78 parking spaces by providing 57 off-street parking spaces on site. In addition, San Diego State will not enter into a long-term parking agreement with the applicant. If approved, the applicants have agreed to implement a Transportation Demand Management Plan (TDM), to alleviate some of the parking issues. The TDM would need to be updated if the Planning Commission were to recommend approval of the project, prior to the project being heard by the City Council. Staff cannot support the project as currently proposed, with a parking deficit of 21 off-street parking spaces.

SDMC 141.0305(d):

(d) The facility must be officially recognized by the college or university.

Staff supports waiving SDMC section 141.0305(d) requiring recognition by a university. Staff can support the proposed waiver requiring recognition as it has been documented that the local university (SDSU) will not be providing recognition for this or any future private dormitory project, thereby compliance with this section is not possible in the College Area (Attachment 10).

Project Alternatives:

Staff provided alternatives to the applicant that would allow compliance with the parking regulations, however the applicant did not redesign the project. Examples of possible design alternatives are as follows:

- **REDUCED PROJECT:**
Staff can support a project reduced in scope, to allow a maximum of 94 rooms requiring 57

parking spaces on site with 57 parking spaces provided, based upon the following analysis: 94 single occupancy units/bedrooms, requires 57 parking spaces, per the parking requirements for a dormitory as identified in the College Community Redevelopment Project Master Plan document approved by the City Council October 12, 1993. That plan calls out a base rate of 0.58 automobile parking spaces per bed or resident, plus 50% for guest parking, and a reduction of 30% for an achieved density exceeding 143 units/acre (calculated at $94/0.285 = 330$ per acre), as defined in the 1989 Multi-Family Parking Requirements (revised May 17, 1993) specified by the Master Project Plan. For 94 residences, a minimum of: $94 \times 0.58 \times 1.5 \times 0.7 = 57.25 \Rightarrow 57$ parking spaces would be required.

- **BASE ZONE DENSITY:**

Another option would be to propose a standard multi-family development, consistent with the underlying base zone density and development regulations. The project could increase the project unit count and request deviations to allow less parking by incorporating an affordable housing density bonus per SDMC Section 143.0710:

The RM-3-9 Zone allows 1 unit per 600 square feet. Therefore, a total of 21 multiple dwelling units are permitted on the 12,416 square foot lot by right.

- **AFFORDABLE HOUSING DENSITY BONUS:**

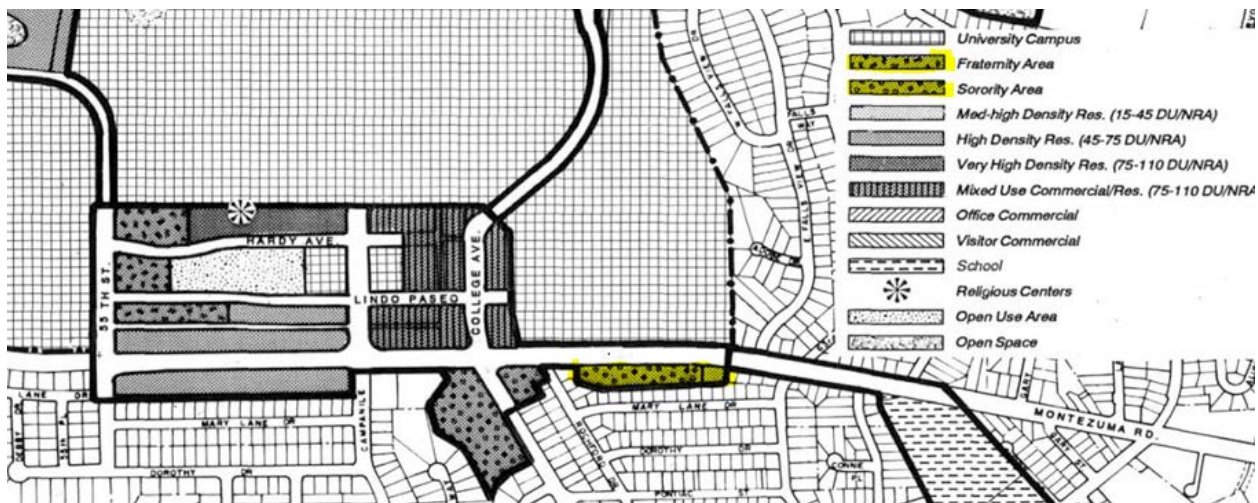
Per the affordable housing regulations, the maximum eligible density bonus permits 32 dwelling units (for non-micro units) and allows for 5 development incentives. Off-street parking could be reduced through an incentive request.

- **MICRO UNITS:**

If micro units are proposed (600sf average size per unit), the maximum number of units is 42 dwelling units. The project would be subject to all Affordable Housing Regulations and would not be allowed to deviate from the setback or height regulations.

Community Plan Analysis:

The College Area Community Plan designates the 0.29-acre site for High Residential 45-75 du/ac. The project site is located within the Core Subarea and is within an area designated for fraternity and sorority housing development. According to the Housing Element and San Diego State University (SDSU) Element of the community plan, dormitories are allowed within these areas given their proximity to the San Diego State University Campus.



The proposal for 128-bedrooms would provide an opportunity for much needed housing near SDSU and therefore would meet recommendations in the community plan's Housing Element for the creation of additional housing within close proximity of the university campus and for encouraging pedestrian orientation to and from the university.

The proposed project is also located along Montezuma Road within the Residential District of the Core Subarea of the College Area Community. Surrounding development includes a five-story building consisting of four-stories of dwelling units over one level of ground floor parking to the east, an existing vacant property to the west, San Diego State University Parking Structure No.4 to the north across Montezuma Road, and single-family residences located south of the project site at a higher elevation along Mary Lane Drive.

The project would incorporate several design techniques and elements to address bulk and scale and ensure that the project would integrate into the existing neighborhood. The front elevation of the building would incorporate various building setbacks from the street including a courtyard with plantings, 24-inch box street trees, windows and balconies, offsetting plans, and various building materials. The eastern and western elevations would also include offsetting plans, colors, and varying window patterns to articulate the building facades. "Green screens" with vine plantings up to the third story would be located along the southern elevation along with perimeter landscaping consisting of 24-inch box trees and shrubs.

In addition to the College Area Community Plan, urban design guidelines are provided by the Core Subarea Design Manual which was developed to provide design guidance for the development of the former College Area Redevelopment Project Area. The design guidelines recommend that the maximum number of building stories that can be built on the project site is four-stories. For the purposes of calculating the maximum building height in linear feet under this recommendation, the design guidelines define the ground story with a height of 20 feet with subsequent stories at 12 feet in height, resulting in total allowance of 56 linear feet. Although the project is five-stories in appearance along the front elevation and approximately 4.5 stories to the rear, the proposed project is at or below 56 feet except for a portion of the elevator tower that exceeds the guideline height by approximately two feet.

S d Overall, the proposed project would be below the maximum building height of 60 feet allowed by the underlying zone.

In order to support pedestrian activities, the proposed project would include a non-contiguous sidewalk with canopy street trees along the project's frontage on Montezuma Road. Bench seating would also be provided in the front of the building. Direct and primary pedestrian access to the building would be provided via ADA accessible ramps leading to an entry courtyard. Additionally, the entrance to the underground parking levels would be partially underground to minimize its appearance along the street frontage. Bicycle storage would be provided within the street facing courtyard and on all levels of underground parking with the majority of the bicycle storage racks and stalls located on the first level of the parking garage. The nearest bus stop is located in close proximity to the east at the intersection of Montezuma Road and 63rd Street.

The Parks and Recreation Element of the community plan acknowledges that given the lack of neighborhood parks and recreational areas in the College Area, on-site recreational facilities proposed with new multi-family residential projects will help meet the immediate recreational needs of residents. The proposed project would meet this recommendation with the provision of courtyards in the front and rear of the building, community room space with kitchen facilities on all residential floors of the project, a gym on the second floor, and a rooftop terrace that would serve as additional outdoor space for residents.

College Area Community Planning Board Recommendations:

On July 12, 2017 the College Area Community Planning Board voted 16-3-0 to recommend approval, with the following conditions:

1. This project is recognized by the City and the applicant as a hybrid development, neither traditional multifamily housing nor qualified dormitory, since the units do not contain kitchens but the project *does not meet the standards for off-campus dormitories* set forth in City Code Section 141.0305, which requires official recognition by an affiliated college or university, an intent to limit occupancy to enrolled students of an affiliated college or university, and a parking agreement with the affiliated college or university for all required parking spaces not provided on site. Since this project does not meet the legal qualifications to be designated as a dormitory, *this project is not a dormitory and does not qualify for any waiver of Development Impact Fees*. Thus, the full Development Impact Fee approved by City Council for College Area housing must be applied for each of the 128 units in this project.

Staff agrees the project does not meet the definition of a dormitory and are recommending denial of the project as proposed. As of July 11, 2018, the DIF fees would be \$2,254,080.00.

2. The applicant agrees to build and maintain a landscaped median on Montezuma Road fronting the project, *subject to City determination that a median is feasible at this location on Montezuma Road*, and this maintenance obligation shall run with the land in event of transfer of the property.

Staff has determined this median would be a safety hazard and will not support a new median.

3. The applicant agrees to covenant that the following restrictions shall be imposed on current and all future owners of the property:
 - a. Access to the rooftop terrace shall be prohibited from eight p.m. to eight a.m., seven days per week, 52 weeks per year, and this prohibition shall be strictly enforced by the onsite manager.
 - b. All music, except music accessed through headphones, shall be prohibited on the rooftop terrace at all times, and this prohibition shall be strictly enforced by the onsite manager.

The applicant has agreed to these conditions.

4. The applicant shall offer to neighbors in the abutting single-family homes, the back yards of which would immediately adjoin this project, trees of the neighbors' choosing, to partially mitigate the negative visual impact of the height and bulk of the adjacent monolithic, five-story wall, and partially mitigate the loss of privacy to the occupants of the houses.

Staff has not included this in the permit, as it is not enforceable condition. However, the applicants may enter into private agreements with the adjacent property owners to provide the additional landscaping.

5. This project shall be explicitly recognized by the City, as it is by the College Area Community Planning Board, as an experimental "pilot project", to determine the feasibility of this type of multifamily housing in San Diego and *shall not set a precedent* for approval of future applications for multifamily housing or "off-campus dormitories" in the College Area.

Comment noted.

Environmental Analysis:

A Negative Declaration, Project No. 501449, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines (Attachment 7).

Conclusion:

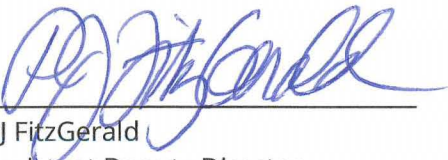
Staff has reviewed the proposed project and all issues identified through the review process and does not recommend approval of the project as proposed, as the project is not in conformance with the adopted policies and regulations of the Land Development Code. Therefore, necessary Findings of approval No. 3 and No. 4 for the proposed CUP cannot be supported (Attachment 5) as follows:

Staff has provided draft findings to deny the project and draft conditions of approval if the project was to be approved (Attachment 6). Staff recommends the Planning Commission recommend that the City Council deny the project as proposed.

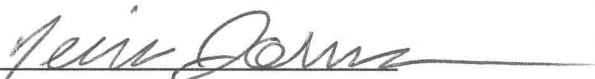
ALTERNATIVES

1. Recommend approval to the City Council, approving Planned Development Permit No. 1764075 and Conditional Use Permit No. 176407, with modifications to the project.
2. Recommend approval to the City Council, approving Planned Development Permit No. 1764075 and Conditional Use Permit No. 176407, if the findings required to approve the project can be affirmed.

Respectfully submitted,



PJ FitzGerald
Assistant Deputy Director
Development Services Department

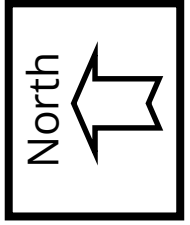


Derrick Johnson (D.J.)
Development Project Manager
Development Services Department

PF/DNJ

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Negative Declaration Resolution
8. Project Site Plans
9. Community Planning Group Recommendation
10. Email/Letter from SDSU
11. Ownership Disclosure Statement
12. SDMC Section 141.0305

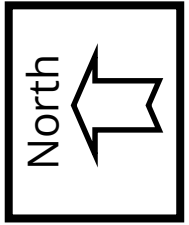
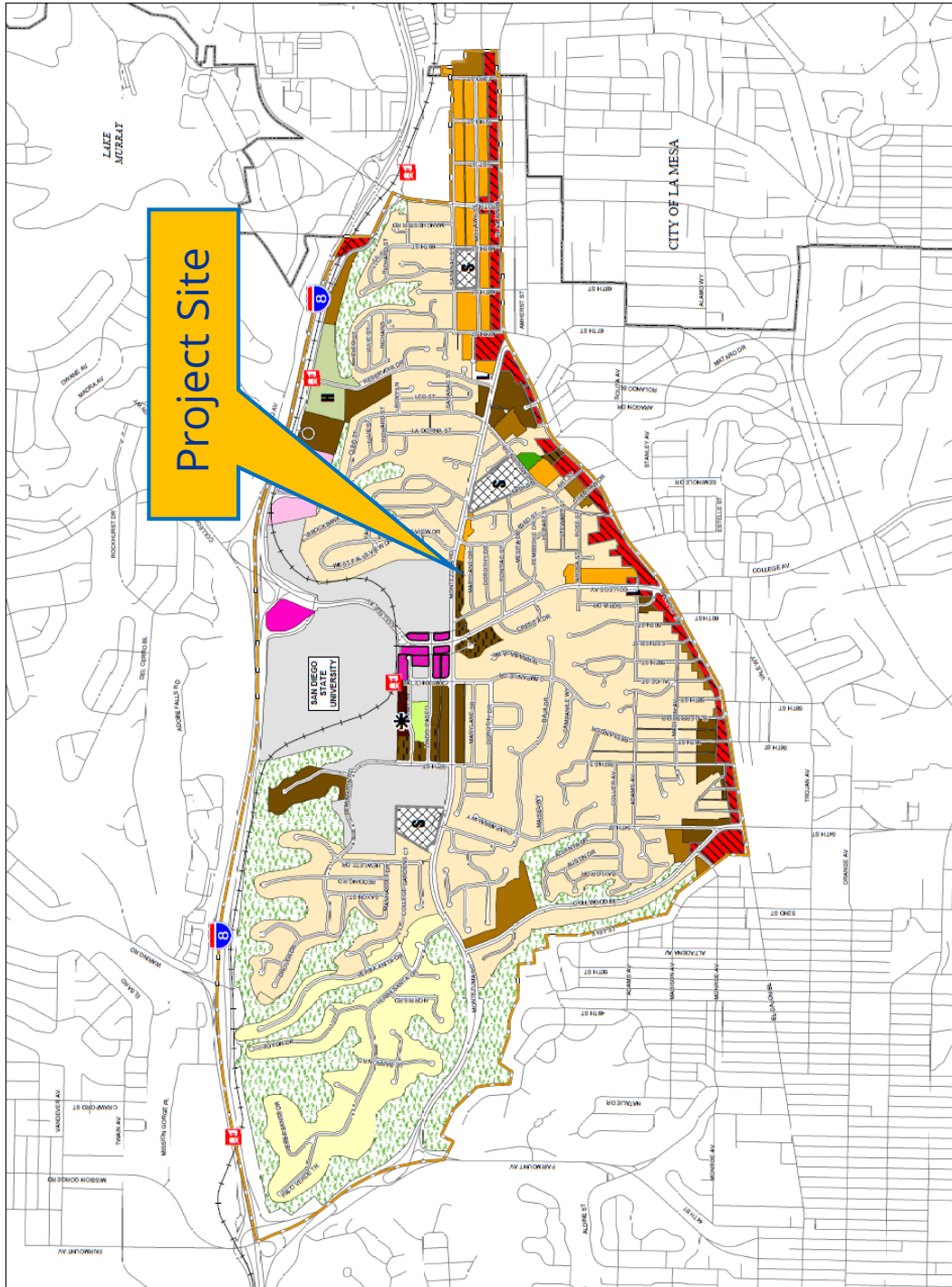


Aerial Photograph Map

Montezuma PDP/CUP/SDP – 6213 Montezuma Road

PROJECT NO. 501449

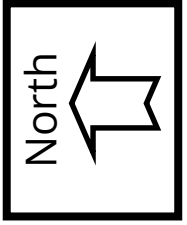




Community Plan Land Use Map

Montezuma PDP/CUP/SDP – 6213 Montezuma Road
PROJECT NO. 501449

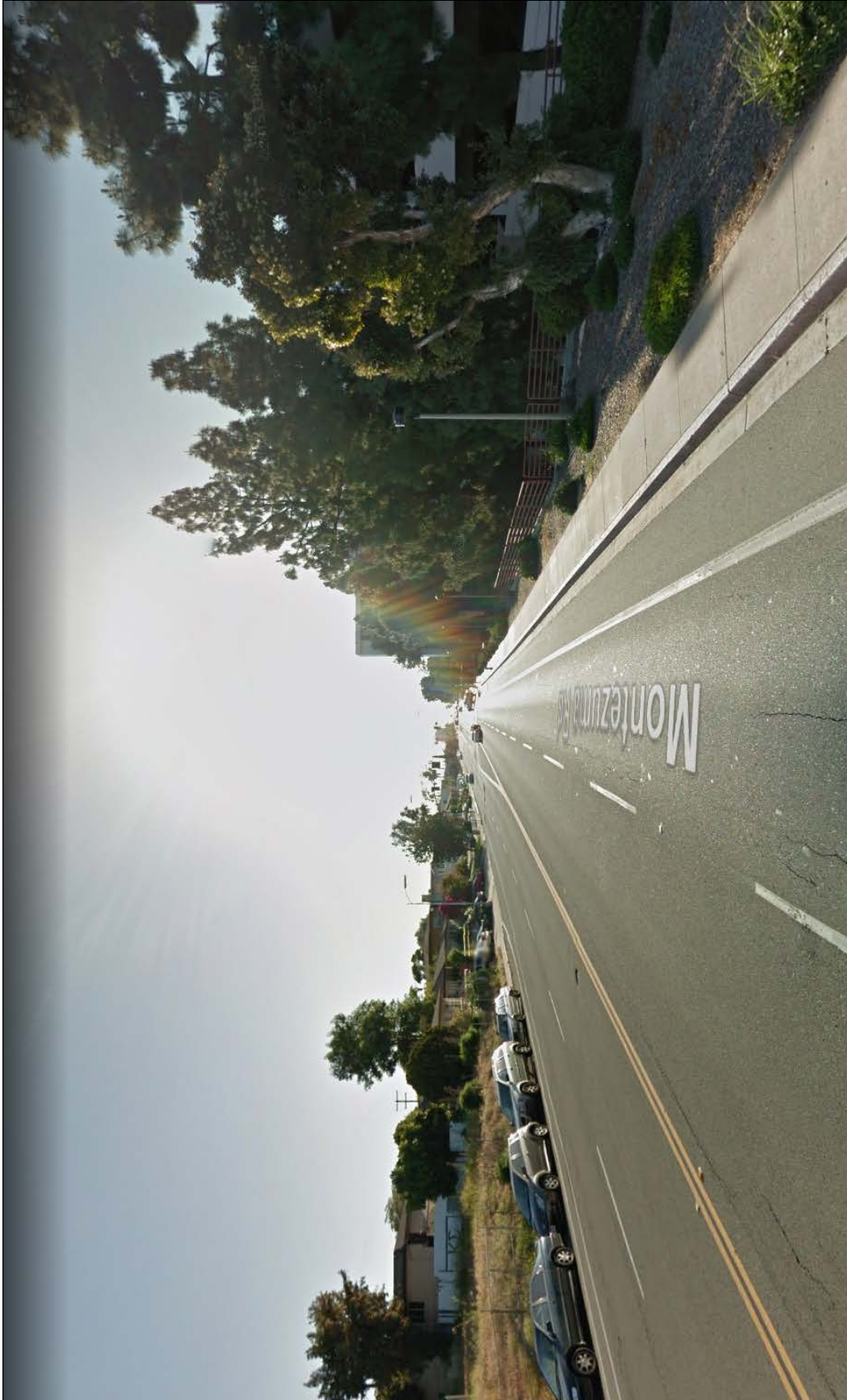
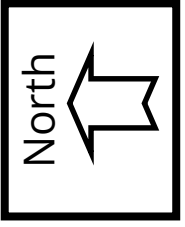




South View

Montezuma PDP/CUP/SDP – 6213 Montezuma Road
PROJECT NO. 501449

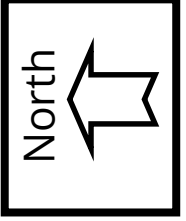




West View

Montezuma PDP/CUP/SDP – 6213 Montezuma Road
PROJECT NO. 501449

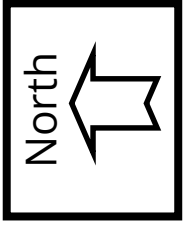




East View

Montezuma PDP/CUP/SDP – 6213 Montezuma Road
PROJECT NO. 501449





North View

Montezuma PDP/CUP/SDP – 6213 Montezuma Road
PROJECT NO. 501449



PROJECT DATA SHEET		
PROJECT NAME:	Project No. 501449 – Montezuma PDP	
PROJECT DESCRIPTION:	Construction of a new residential structure with 128-rooms and shared kitchen facilities over three-levels of underground parking	
COMMUNITY PLAN AREA:	College Area	
DISCRETIONARY ACTIONS:	Conditional Use Permit / Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	High Density Residential (45-75 du/ac) / Fraternity & Sorority Area	
<p align="center"><u>ZONING INFORMATION:</u></p> <p>ZONE: RM-3-9</p> <p>HEIGHT LIMIT: 60' LDC / 56' per College Core Design Manual / 58'-3" proposed</p> <p>LOT SIZE: 0.285 acres</p> <p>FLOOR AREA RATIO: 4.9 max (2.7 base + 2.2 bonus) / 3.2 proposed</p> <p>FRONT SETBACK: 20' std; 10' min / Conforms</p> <p>SIDE SETBACK: 10.8' min LDC (10% of lot width) / 5' per College Core Design Manual 5'proposed</p> <p>STREETSIDE SETBACK: N/A</p> <p>REAR SETBACK: 5' min / 7.5' proposed</p> <p>PARKING: 78 spaces req'd by College Core Design Manual / 57 proposed</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	SDSU; RS-1-7	SDSU Parking Structure
SOUTH:	Low Residential (5-10); RS-1-7	Single Family
EAST:	High Residential (45-75); RM-3-9	Multi-Family
WEST:	High Residential (45-75); RM-3-9	Vacant (Multi-Family development in process)
DEVIATIONS OR VARIANCES REQUESTED:	1. Side Yard Setback: Proposed 2. Structure Height	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 12, 2017, the College Area Community Planning Board voted 16-3-0 to recommend approval, with conditions.	

CITY COUNCIL RESOLUTION NO. [REDACTED]
PLANNED DEVELOPMENT PERMIT NO. 1764075
CONDITIONAL USE PERMIT NO. 1764072
MONTEZUMA PDP / CUP PROJECT NO. 501449

WHEREAS, CHRIS ELSEY PARTNERS LLC., A KANSAS CORPORATION, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit and Conditional Use Permit to allow construction of a new, 40, 208-square-foot, five-story residential structure with 128 rooms over three-levels of underground parking proposing 57 off-street parking spaces where 78 off-street parking spaces are required, and a request for a project specific ordinance to exempt compliance with SDMC section 141.0305(b), related to the provision of parking for the facility, and compliance with SDMC section 141.0305(d), official recognition by the college or university with which it is affiliated. The project is also proposing two deviations, to deviate from the side yard setback regulations, which require 10-feet, and the project proposes a side yard setback of five-feet and to request a height deviation to allow the elevator shaft to be 58'-3" where the maximum height limit is 56-feet. The 0.29-acre site is located at 6213 Montezuma Road within the RM-3-9 Zone of the Core Subarea of the College Community Redevelopment Project Master Project Plan, and the Parking Impact Overlay Zone, with in the College Area Community Plan area. The project site is legally described as: Lot 188 and 189 of Collwood Park Unit No. 2, Map No 2495, County recorder, San Diego County; and

WHEREAS, on August 30, 2018, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1764075 and Conditional Use Permit No. 1764072, and pursuant to Resolution No. _____-PC voted to recommend DENIAL of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public

hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No.1764075 and Conditional Use Permit No. 1764072:

A. FINDINGS FOR PLANNED DEVELOPMENT PERMIT (SDMC SECTION 126.0605)

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes the construction of a new five-story structure with 128 rooms over three-levels of underground parking, totaling 40,208 square feet. Each floor would have cooking facilities to be used by the residents as shared joint use kitchens. Each bedroom would house one resident for a total of 128 residents and each room would contain bathroom facilities. A three-level underground parking garage would be constructed and although the project requires 78 parking space the project is proposing to only provide a total of 57 off-street parking spaces. The project would also provide a total of six motorcycle parking stalls and bicycle parking racks to accommodate up to 108 bicycles. The College Area Community Plan designates the 0.29-acre site for High Residential 45-75 du/ac. The project site is located within the Core Subarea and is within an area designated for fraternity and sorority housing development. According to the Housing Element and San Diego State University (SDSU) Element of the community plan, dormitories are allowed within these areas given their proximity to the San Diego State University Campus. While this project does not meet the SDMC definition of a dormitory as proposed, the project would provide an opportunity housing near SDSU and therefore would meet recommendations in the community plan's Housing Element for the creation of additional housing within proximity of the university campus and for encouraging pedestrian orientation to and from the university. Therefore, the proposed use and project design meet the purpose and intent of the College Redevelopment Project; Core Sub-Area Design Manual and will not adversely affect the College Area Community Plan or the General Plan of the City of San Diego.

2. The proposed development will not be detrimental to the public health safety and welfare.

A Negative Declaration was prepared for this project in accordance with the State of California Environmentally Quality Act (CEQA) Guidelines and no mitigation for potential significant impacts were required. The permit for the project includes conditions of approval and exhibits to achieve partial project compliance with the SDMC regulations applicable to this project.

Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development has been prepared that demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Therefore, the proposed development would not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project proposes the construction of a new five-story structure with 128 rooms over three-levels of underground parking, totaling 7,220 square feet. Each floor will have cooking facilities to be used by the residents as shared joint use kitchens. Each bedroom would house one resident for a total of 128 residents and each room would contain bathroom facilities. A three-level underground parking garage will be constructed and although the project requires 78 parking space the project is proposing to only provide a total of 57 off-street parking spaces. The project would provide a total of six motorcycle parking stalls and bicycle parking racks to accommodate up to 108 bicycles.

Requested Deviations			
SDMC	Development Standard	Required	Proposed
126.0605	Minimum Side Yard Set Back	10'	5'
126.0605	Height Limit	56"	58'-3"

The first deviation proposed is to deviate from the side yard setback regulations, which require 10-feet, and the project proposes a side yard setback of five-feet. This deviation is appropriate because the Residential District in the [College Redevelopment Project; Core Sub-Area Design Manual \(page 28\)](#) allows for minimum side yard setbacks of five-feet in the Residential District.

The second deviation is required to accommodate the height of the elevator shaft. The majority of the structure is at 56 feet or below, however the elevator shaft is proposed at 58'-3" where the maximum height limit is 56 feet within the [College Redevelopment Project; Core Sub-Area Design Manual](#). This deviation, is appropriate because the project as viewed from the street appears to have five stories along the front elevation and approximately 4.5 stories to the rear and the proposed project is at or below 56 feet except for a portion of the elevator tower that exceeds the guideline height by approximately two feet- three inches. Overall, the proposed project would be below the maximum building height limit for the RM-3-9 Zone which is 60 feet.

If approved, the project would provide needed housing units and opportunities for residents to reside in close proximity to the university and public transit. The project is providing increased private open space and the added benefit to the community of new housing, replacing a vacant site that has been used for dumping in previous years. The open spaces are provided via a ground level courtyard and a roof top deck.

The proposed development is consistent with the design standards of the Planned Development Permit Regulations, which allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. Per the Core Subarea Design Manual, the Residential District is structured on an urban streets concept that allows for development flexibility to create a finer scale, diverse urban residential neighborhood. Within this district, the minimum side yard setback of 5 feet is established to contribute to a more urban residential neighborhood and allow for more development flexibility given that parcel sizes within this area are smaller and the current ownership and building conditions are varied. The additional 2'3" height of the elevator tower allows the incorporation of an elevator for the proposed project, while the remaining portions of the building remaining at or below the maximum structure height of the zone and the design guideline height of 56 feet according to the Core Subarea Design Manual. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

B CONDITIONAL USE PERMIT- SDMC SECTION 126.0305

1. The proposed development will not adversely affect the applicable land use plan.

As described in Finding A (1) above, the proposed development will not adversely affect the College Area Community Plan or the General Plan of the City of San Diego.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

As described in Finding A (2) above, the proposed development will be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As currently proposed the project does not meet all of the CUP regulations required to be considered a dormitory. Specifically, the project is not able to obtain official recognition from San Diego State University, nor can they provide the required parking to meet the project's minimum parking requirement. For these reasons, the project does not qualify to be considered a dormitory use under the current SDMC. A three-level underground parking garage is proposed to provide a total of 57 off-street parking spaces, however that amount of parking is insufficient to meet the project minimum requirement of 78 parking spaces. The 21 additional off-site parking spaces needed to comply with dormitory use development regulations cannot be met

on the project site or through a shared parking agreement with San Diego State University, or any other provider. Therefore, the project will not comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The College Area Community Plan designates the 0.29-acre site for High Residential 45-75 du/ac. The project site is located within the Core Subarea and is within an area designated for fraternity and sorority housing development. According to the Housing Element and San Diego State University (SDSU) Element of the community plan, dormitories are allowed within these areas given their proximity to the San Diego State University Campus. The project does not meet the definition of a dormitory use under the SDMC, nor does the design meet the development regulations related to providing adequate parking as described in Finding B (3) above. The project does not qualify to be a dormant, as the project has not been officially recognized by any college or university, Therefore the proposed use is not appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Planned Development Permit No. 1764075 and Conditional Use Permit No.1764072 is denied.

APPROVED BY: MARA W. ELLIOTT, City Attorney

By

Shannon M. Thomas

Senior Deputy City Attorney

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006849

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Planned Development Permit No. 1764075, Conditional Use Permit No. 1764072

MONTEZUMA PDP / CUP PROJECT NO. 501449

Planning Commission

This Planned Development Permit No. 1764075, and Conditional Use Permit No. 1764072, is issued by the City Council of the City of San Diego to Elsey Partners LLC., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0602, 126.0502, and 141.0305. The 0.29-acre site is located at 6213 Montezuma Road, within the RM-3-9 Zone, of the Core Subarea of the College Community Redevelopment Project Master Project Plan, and the Parking Impact Overlay Zone, with in the ColleAge Area Community Plan area. The project site is legally described as: Lot 188 and 189 of Collwood Park Unit No. 2, Map No 2495, County recorder, San Diego County;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new five-story residential structure with 128 bedrooms over three-levels of underground parking garage, totaling 40,208 square feet. Each bedroom would house one student for a total of 128 student residents. A three-level underground parking garage will be constructed that will provide a total of 57 off-street parking spaces. The project will also provide a total of six motorcycle parking stalls and bicycle parking racks that will accommodate up to 108 bicycles, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [], on file in the Development Services Department.

The project shall include:

- a. The construction of a new five-story residential structure with 128 rooms over three-levels of underground parking garage, totaling 40,208 square feet.
- b. Each bedroom would house one resident for a total of 128 residents.
- c. A three-level underground parking garage will be constructed that will provide a total of 57 off-street parking spaces. The project will also provide a total of six motorcycle parking stalls and bicycle parking racks that will accommodate up to 108 bicycles.
- d. Landscaping (planting, irrigation and landscape related improvements);

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

Deviations

- A. The first deviation proposes to deviate from base zone side yard setback regulations requiring 10 feet by proposing a setback of 5 feet,
- B. The second deviation is to the height requirement, although the project is five- stories in appearance along the front elevation and approximately 4.5 stories to the rear, the proposed project is at or below 56 feet except for a portion of the elevator tower that exceeds the guideline height by approximately two feet.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [].
- 2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on [].
- 3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 11,600 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Montezuma Road Right-of-Way.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 24-foot wide concrete driveway, adjacent to the site on Montezuma Road, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to construct current City Standard curb, gutter and sidewalk, adjacent to the site on Montezuma Road, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Owner/Permittee shall assure, by permit and bond, the removal of the existing street light and installation of a current City Standard street light adjacent to the site on Montezuma Road.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

21. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.
24. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-sq.ft. area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
25. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-sq.ft. area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).
26. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition

or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

29. Owner/Permittee shall maintain a minimum of 57 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. Access to the rooftop terrace shall be prohibited from eight p.m. to eight a.m., seven days per week, 52 weeks per year, and this prohibition shall be strictly enforced by the onsite manager.

32. All music, except music accessed through headphones, shall be prohibited on the rooftop terrace at all times, and this prohibition shall be strictly enforced by the onsite manager

33. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

35. Prior to issuance of the first construction permit, the Owner/Permittee shall assure by permit and bond the improvement of the project frontage along Montezuma Road, with curb, gutter and five-foot noncontiguous sidewalk, and the construction of one 24-foot-wide driveway consistent with City standards, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

36. Prior to the issuance of the first construction permit, the Owner/Permittee shall assure by permit and bond the closure of all non-utilized driveways along the project's frontage on Montezuma Road with current City Standard curb and gutter, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

37. Prior to issuance of the first occupancy permit, the Owner/Permittee shall implement a Transportation Demand Management (TDM) Plan that includes provision and maintenance of transit/carpool/vanpool information in a central location within the building, ridesharing promotional materials including iCommute, secure bicycle parking, and 75% subsidized transit passes for all tenants who do not have a car.

Owner/Permittee will monitor the results of the TDM program annually for a period of five years and shall submit annual monitoring reports for review and approval by the City Engineer.

38. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to the issuance of any Building Construction Permit, the Owner/Permittee must record a 3.5' addition to the width of the existing sewer easement.

40. Prior to the issuance of any Certificate of Occupancy, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

PLANNING LONG RANGE:

41. The revised acoustical report indicates that future noise levels onsite are expected to exceed 60 CNEL. Prior to the issuance of building permits, the developer shall have an exterior-to-interior analysis performed by an acoustical consultant when building plans become available in order to demonstrate that the project will have interior noise levels that meet the noise standards of the City and State of California.

GEOLOGY:

42. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

43. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 6

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on [] and by Ordinance No._____.

ATTACHMENT 6

Planned Development Permit No. 1764075, Conditional Use Permit No. 1764072
Date of Approval: (to be filled in if approved)

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

NAME
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Elsey Partners LLC.,
Owner/Permittee

By _____
Chris Elsey
President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R- _____

ADOPTED ON _____

WHEREAS, on August 20, 2016, CHRIS ELSEY PARTNERS LLC., A KANSAS COPORATON submitted an application to Development Services Department for a Planned Development Permit No. 1764075 and Conditional Use Permit No. 1764072 for the Montezuma PDP/CUP, Project No. 501449; and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on ____; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the City Council considered the issues discussed in Negative Declaration No. 501449 prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the City Council in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the City Council finds on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C. Street , San Diego, CA 92101 .

BE IT FURTHER RESOLVED, that City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED:

By: _____

DEVELOPMENT PROPOSAL FOR 6213 MONTEZUMA ROAD

SHEET INDEX

GENERAL	
AS1	ARCHITECTURAL SITE PLAN
AS2	SITE SECTION
AS3	SITE SECTION
AS4	BUILDING HEIGHT

ARCHITECTURAL	
A1	GARAGE LEVEL 3 PLAN
A2	GARAGE LEVEL 2 PLAN
A3	GARAGE LEVEL 1 PLAN
A4	FIRST FLOOR PLAN
A5	SECOND FLOOR PLAN
A6	THIRD FLOOR PLAN
A7	FOURTH FLOOR PLAN
A8	FIFTH FLOOR PLAN
A9	ROOF PLAN
A10	UNIT ENLARGED PLANS
A11	NORTH AND EAST ELEVATIONS
A12	SOUTH AND WEST ELEVATIONS
A13	GREEK HOUSING CONVERSION

CIVIL	
C-1	TITLE SHEET
C-2	EXISTING TOPOGRAPHY
C-3	PRELIMINARY GRADING PLAN

LANDSCAPE	
LC1	LANDSCAPE
LC2	LANDSCAPE
LC3	LANDSCAPE
LC4	LANDSCAPE

PROJECT DATA

DESCRIPTION	CONSTRUCTION OF A 58'-3" TALL STUDENT DORMITORY WITH ONE HUNDRED AND TWENTY EIGHT (128) BEDROOM SUITES OVER 3 LEVELS OF UNDERGROUND PARKING GARAGE (NO TRANSIT STOPS). THE PROJECT WILL CONSIST OF FIVE (5) DWELLING UNITS. SITE HAS BEEN PREVIOUSLY CLEARED, WITH A PARTIAL EXISTING FOUNDATION BEING REMOVED FOR NEW CONSTRUCTION.	PERMITTED LAND USE: RESIDENTIAL EXISTING USE: VACANT PROPOSED USE: DORMITORY
SITE	6213-6219 MONTEZUMA ROAD SAN DIEGO, CA 92115	PERMIT REQUESTED: CONDITIONAL USE PERMIT (PROCESS 3) FOR: STUDENT DORMITORY, SUBJECT TO SDMC SECTIONS 141.0304 AND 131.0422
OWNER	ELSEY PARTNERS 1532 COLLEGE AVE. F19 MANHATTAN, KS 66502	PLANNED DEVELOPMENT PERMIT FOR: SIDEYARD SETBACKS AND PARKING DEVIATIONS
ARCHITECT	PRIME DESIGN, LLC 1532 COLLEGE AVE. F19 MANHATTAN, KS 66502	LEGAL DESCRIPTION LOTS 188 AND 189 OF COLLWOOD PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 2495, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 12, 1948, TOGETHER WITH THAT PORTION OF THE SOUTH 6.00 FEET OF MONTEZUMA ROAD ADJOINING SAID LOTS ON THE NORTH AS CLOSED TO PUBLIC USE BY RESOLUTION NO. 184453, RECORDED AUGUST 06, 1965 AS INSTRUMENT NO. 141427 OF OFFICIAL RECORDS
CIVIL	JP ENGINEERING 4849 RONSON COURT, SUITE NO. 105 SAN DIEGO, CA 92111	APN(S) 467-171-28-00 AND 467-171-29-00
STRUCTURAL	VCA STRUCTURAL 1845 W. ORANGEWOOD AVE. SUITE 200 ORANGE, CA 92868	EXISTING SITE: NO STRUCTURES ON THE SITE (IN 6/2007 A DEMO PERMIT WAS ISSUED UNDER PTS 132053 FOR THREE STRUCTURES). DEMOLITION OF PARTIAL EXISTING FOUNDATION FROM PREVIOUS BUILDING WILL BE REQUIRED.
CONSTRUCTION TYPE	TYPE 1 GARAGE, TYPE 3 DORMITORY	GEOLOGICAL HAZARD CATEGORY: CATEGORY 53
OCCUPANCY CLASS.	R-2 (CONGREGANT LIVING OR DORMITORY) S-2 (ENCLOSED PARKING GARAGE)	
ZONING	ZONE DESIGNATION: RM-3-9 COMMUNITY PLAN: COLLEGE AREA COMMUNITY PLANNING AREA OVERLAY ZONES: AIRPORT INFLUENCE AREA (REVIEW AREA 2), CAMPUS PARKING IMPACT, THE COLLEGE COMMUNITY REDEVELOPMENT PROJECT MASTER PROJECT PLAN, AND ALUCOZ ENVIRONMENTALLY SENSITIVE LANDS: NOT APPLICABLE TO SITE	

DEVIATIONS:

SIDE YARD:
BASE ZONE STATES REQUIREMENT OF 5'-0" OR 10% OF LOT WIDTH (10'-10"), WHICHEVER IS GREATER. THE PROJECT PROPOSES TO DEVIATE FROM THE REQUIREMENT FOR A SETBACK OF 5'-0".

PARKING:
THE COLLEGE AREA PLAN REQUIRES 0.58 PARKING STALLS PER BED/RESIDENT, PLUS 50% FOR GUEST PARKING. A REDUCTION OF 30% IS ALLOWED FOR DORMITORY PROJECTS EXCEEDING 143 BEDS/ACRE, OF WHICH OUR PROJECT QUALIFIES. THE RESULTING QUANTITY OF STALLS REQUIRED IS 78. THE PROJECT PROPOSES TO DEVIATE FROM THE REQUIREMENT FOR A TOTAL OF 57 SPACES (0.45 PER TENANT).

ZONING CRITERIA		
ALLOWABLE USES	PROPOSED	REQUIRED/ALLOWED (PER TABLE 131-04G)
FRONT SETBACK	VARIES, 10'-0" MIN.	10'-0" MIN. FOR 50% OF BUILDING WIDTH (PROVIDING THE REMAINING PORTION FOLLOWS THE 20'-0" MIN.)
REAR SETBACK	7'-6" MIN.	5'-0" MIN.
SIDE	5'-0" MIN.	5'-0" MIN. OR 10% OF SITE WIDTH
BUILDING HEIGHT	58'-3" AT ELEVATOR PARAPET (58'-0" AT REST OF PROJECT)	60'-0" MAX. (58'-0" COLLEGE AREA PLAN)
BEDROOM SUITES	128 UNITS	N/A
EXPECTED RESIDENTS	128 RESIDENTS	N/A
DWELLING UNITS	5 DWELLING UNITS	1 UNIT PER 600 SF LOT AREA (20 DU)
GROSS SITE AREA	12,416 SF	NONE
GROSS FLOOR AREA	40,208 SF	NONE
FLOOR AREA RATIO	3.2	4.9 (2.7 F.A.R. LIMIT + 2.2 F.A.R. BONUS FOR BELOW GRADE GARAGE AS PER 131.0446 ITEM F)

FLOOR AREA RATIO SUMMARY		
	AREA (SF)	F.A.R.
RESIDENTIAL	35,936 SF	2.9
VERTICAL CIRCULATION	3,134 SF	0.25
GARAGE	740 SF	0.06
BALCONIES	796 SF	0.06
TOTAL	40,208 SF	3.2

GARAGE - GROSS SF	
GARAGE LEVEL 3	10,253 SF
GARAGE LEVEL 2	10,253 SF
GARAGE LEVEL 1	8,720 SF
TOTAL	29,226 SF

LOT COVERAGE SUMMARY		
ITEM	AREA (SF)	% OF TOTAL
BUILDING AREA (FOOTPRINT)	7,432 SF	60%
IMPERVIOUS AREA (WITH BUILDING)	10,167 SF	82%
LANDSCAPED AREA	2,249 SF	18%
TOTAL SITE AREA	12,416 SF	100%

OPEN SPACE SUMMARY (450 S.F. MIN. REQUIRED)		
SPACE	AREA OF OPEN SPACE	AREA OF OPEN SPACE WITH LANDSCAPING
COURT 1	629	50
COURT 2	475	0
ROOFTOP	1,602	586
TOTAL AREA	2,706	636

LANDSCAPED SPACE SUMMARY		
SPACE	AREA OF SPACE	PERCENTAGE
NORTHEAST PLANTER	209 SF	7%
NORTHWEST PLANTER	455 SF	15%
COURT 1 PLANTER	50 SF	2%
WEST EDGE LANDSCAPE	538 SF	18%
SOUTH EDGE LANDSCAPE	968 SF	32%
ROOF LANDSCAPE	760 SF	26%
TOTAL AREA	2,980 SF	100%

PARKING TABLE		
PARKING TYPE	PROPOSED	REQUIRED/ALLOWED
PARKING RATIO	0.45 STALLS PER SLEEPING ROOM	0.6 STALLS PER SLEEPING ROOM
VEHICLE STALLS	57 STALLS	78 STALLS
VEHICLE STALLS (ACCESSIBLE)	2 STALLS	2 STALLS
VAN STALLS (ACCESSIBLE)	1 STALL	1 STALL
EV CHARGER EQUIPPED STALLS	1 STALL	1 STALL
FUTURE EV EQUIPPED STALLS	1 STALL	1 STALL
MOTORCYCLE STALLS	6 STALLS	6 STALLS
BICYCLE STALLS	108 STALLS	38 STALLS

VICINITY MAP



PRIME DESIGN
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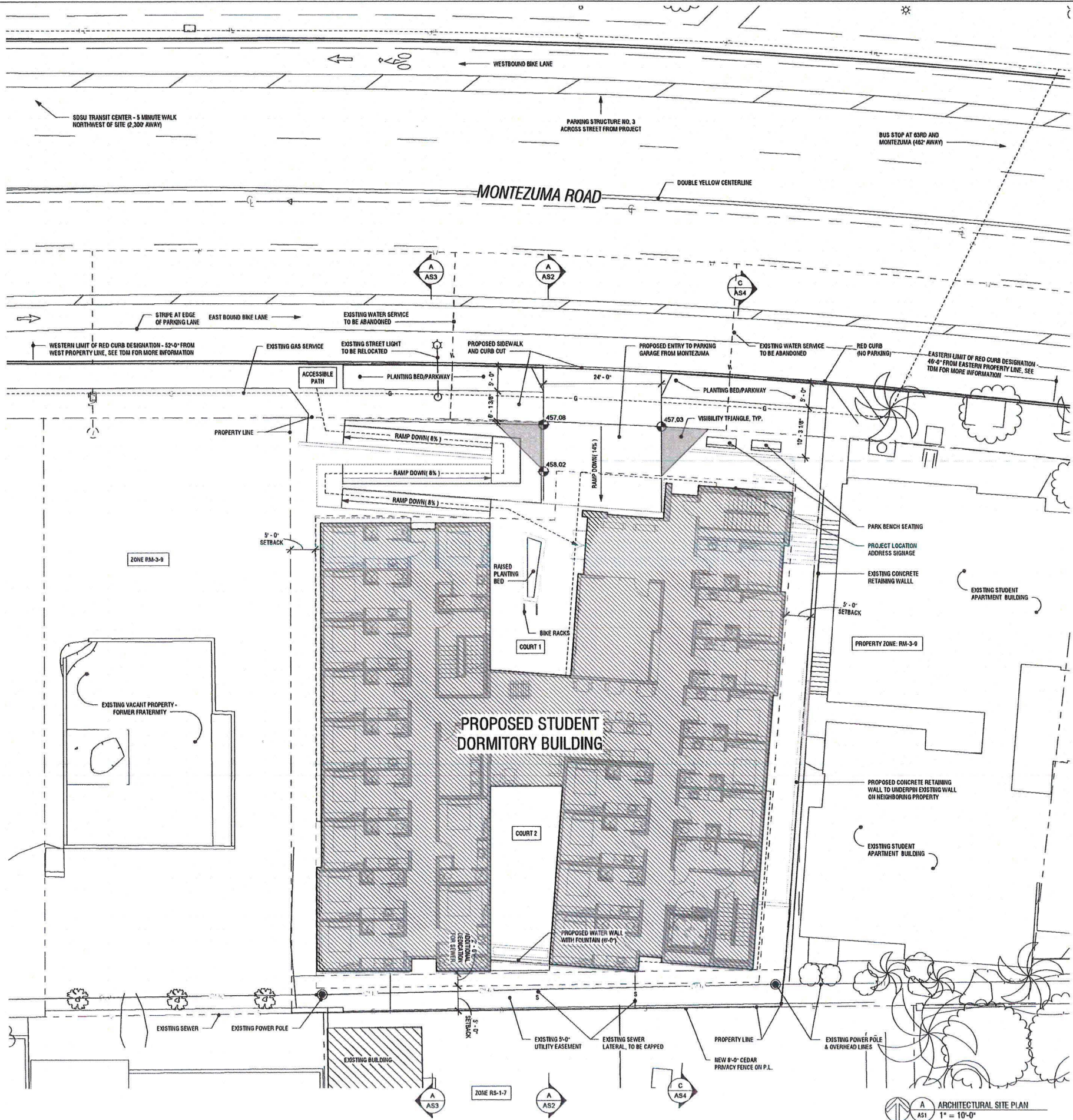
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6/14/18 EV STALL REV.

MULTI-FAMILY DEVELOPMENT PROPOSAL
6213 MONTEZUMA ROAD SAN DIEGO, CA 92115
ELSEY PARTNERS

JOB NO. 02-2016
SHEET



NOTES

1. ALL DRIVEWAYS SHALL CONFORM TO MUNICIPAL CODE SECTION 142.0560 (b)(9)(i) AND DIAGRAM 142-050. DRIVEWAY SLOPES GREATER THAN 14% SHALL HAVE TRANSITIONS FOR THE FIRST AND LAST 8 FEET OF THE RAMP. A DETAILED DRIVEWAY PROFILE WILL BE SHOWN IN THE FINAL CONSTRUCTION PLANS TO VERIFY THE PROPOSED DRIVEWAY WILL ADHERE TO THE MUNICIPAL CODE.
2. VISIBILITY AREA TRIANGLES DETAILS SHALL BE SHOWN IN THE FINAL CONSTRUCTION PLANS AT THE DRIVEWAYS PER MUNICIPAL CODE SECTION 113-0273, DIAGRAM 113-0255. THE VISIBILITY AREA SHALL EXTEND 10 FEET INWARD ONTO PRIVATE PROPERTY ALONG THE DRIVEWAY AND ALONG THE PROPERTY LINE. NO OBSTRUCTION, INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
3. THE DEVELOPER SHALL BURY PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE.
4. THE COLOR OF THE RETAINING WALLS SHALL BLEND WITH THE NATURAL TERRAIN AND THE COLOR OF THE STRUCTURES ON THE SITE.
5. THE MINIMUM TREE OR SHRUB SEPARATION DISTANCES SHALL BE AS FOLLOWS:
 - TRAFFIC SIGNAL STOP SIGN - 20 FEET
 - UNDERGROUND UTILITY LINES (EXCEPT SEWER) - 5 FEET
 - SEWER LINES - 10 FEET
 - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - DRIVEWAYS - 10 FEET
 - INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FEET
6. BUILDING ADDRESS: PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SDMC SECTION 95.0209
7. BUS STOPS: BUS STOPS ARE LOCATED IN THE VICINITY OF THE DEVELOPMENT.
8. TRASH RECEPTACLES: TRASH RECEPTACLES WILL BE LOCATED IN EACH FLOOR.
9. OFF-STREET PARKING: THERE WILL BE NO OFF-STREET PARKING PROVIDED OUTSIDE OF THE PARKING STRUCTURE.
10. ON-STREET PARKING: CURRENTLY THERE ARE ZERO (0) ON-STREET PARKING STALLS. THE PROPOSED PROJECT HAS ZERO (0) ON-STREET PARKING STALLS. THE NET TOTAL ON-STREET PARKING STALLS IS ZERO (0).

PRIME DESIGN

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LEARNED ARCHITECT
BRADLEY
BUSBY
C-35921
EX. 1917
STATE OF CALIFORNIA
5/22/17

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MULTI-FAMILY DEVELOPMENT PROPOSAL

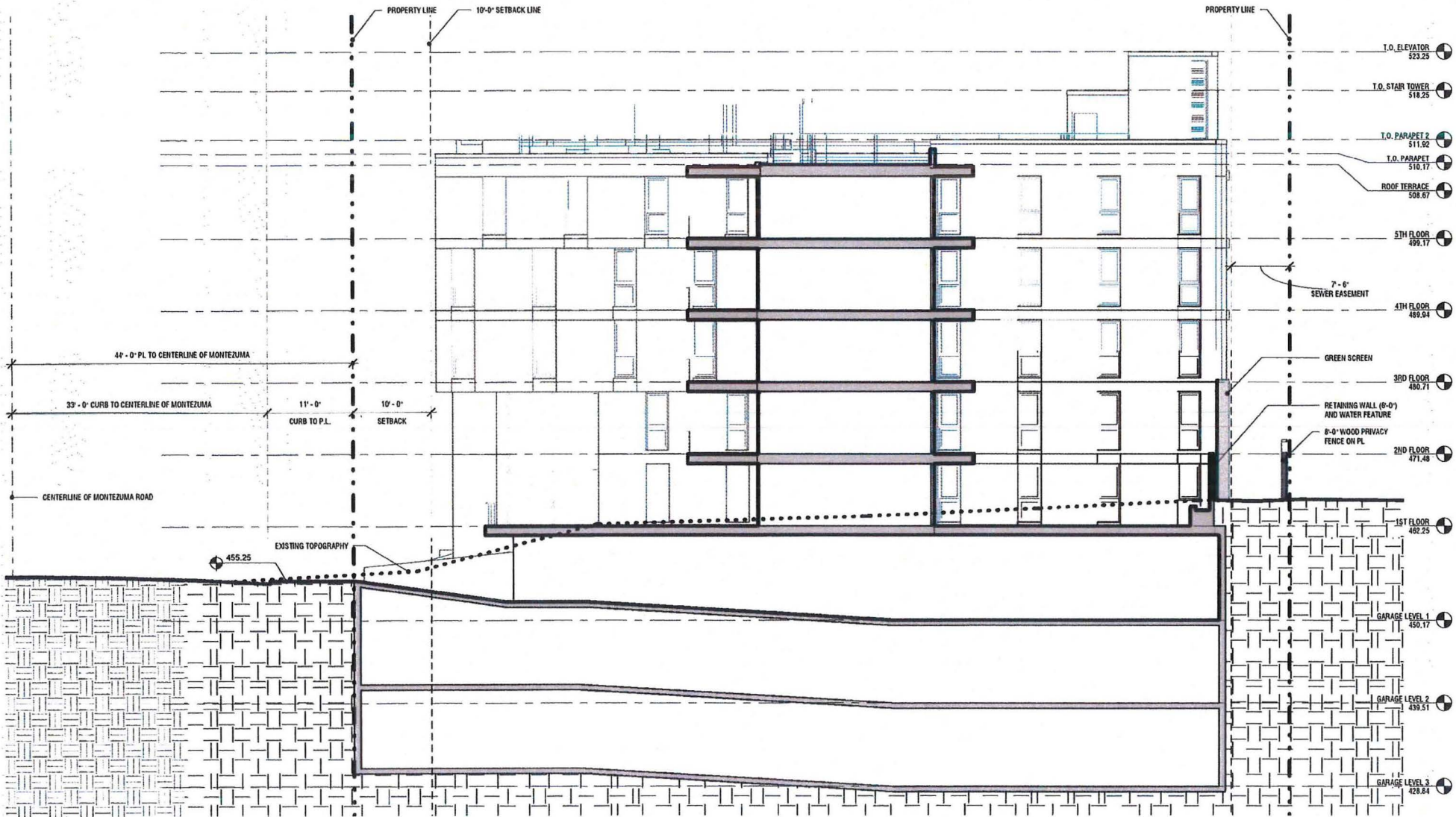
6213 MONTEZUMA ROAD SAN DIEGO, CA 92115

ELSEY PARTNERS

JOB NO. 02-2016

SHEET

AS1



A SITE SECTION
1/8" = 1'-0"

PRIME DESIGN
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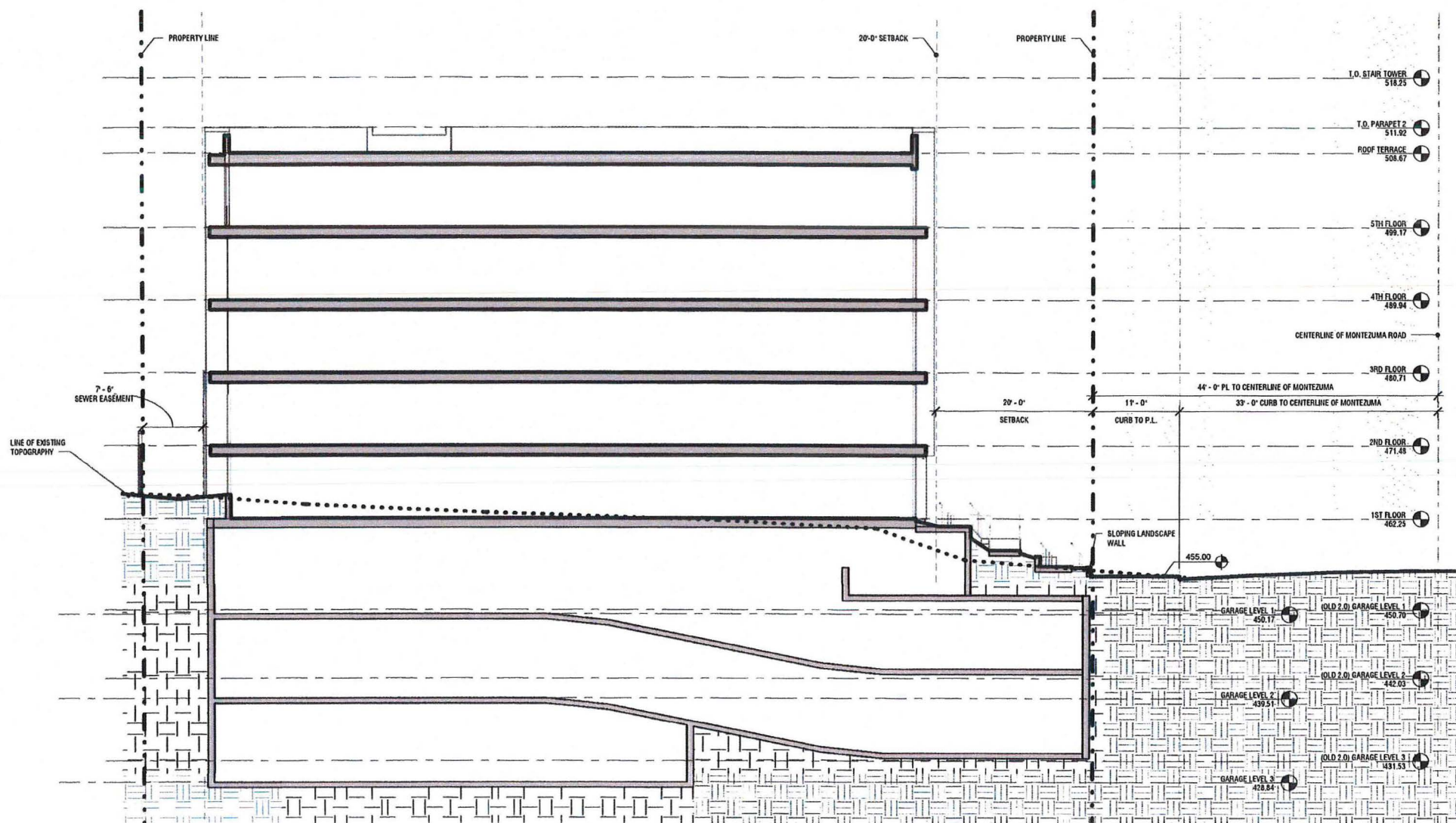
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AS2



A SITE SECTION
AS3 1/8" = 1'-0"

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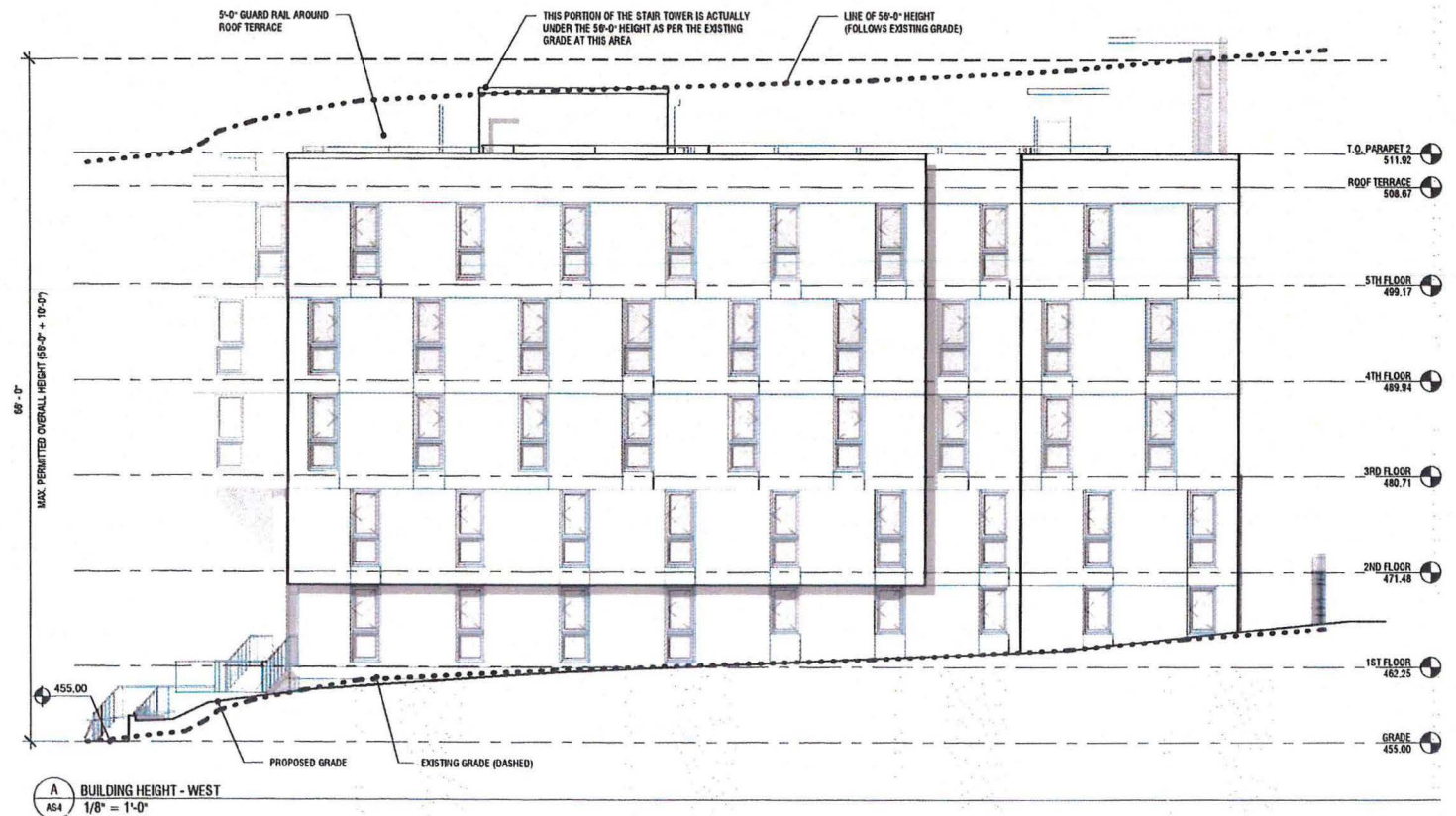
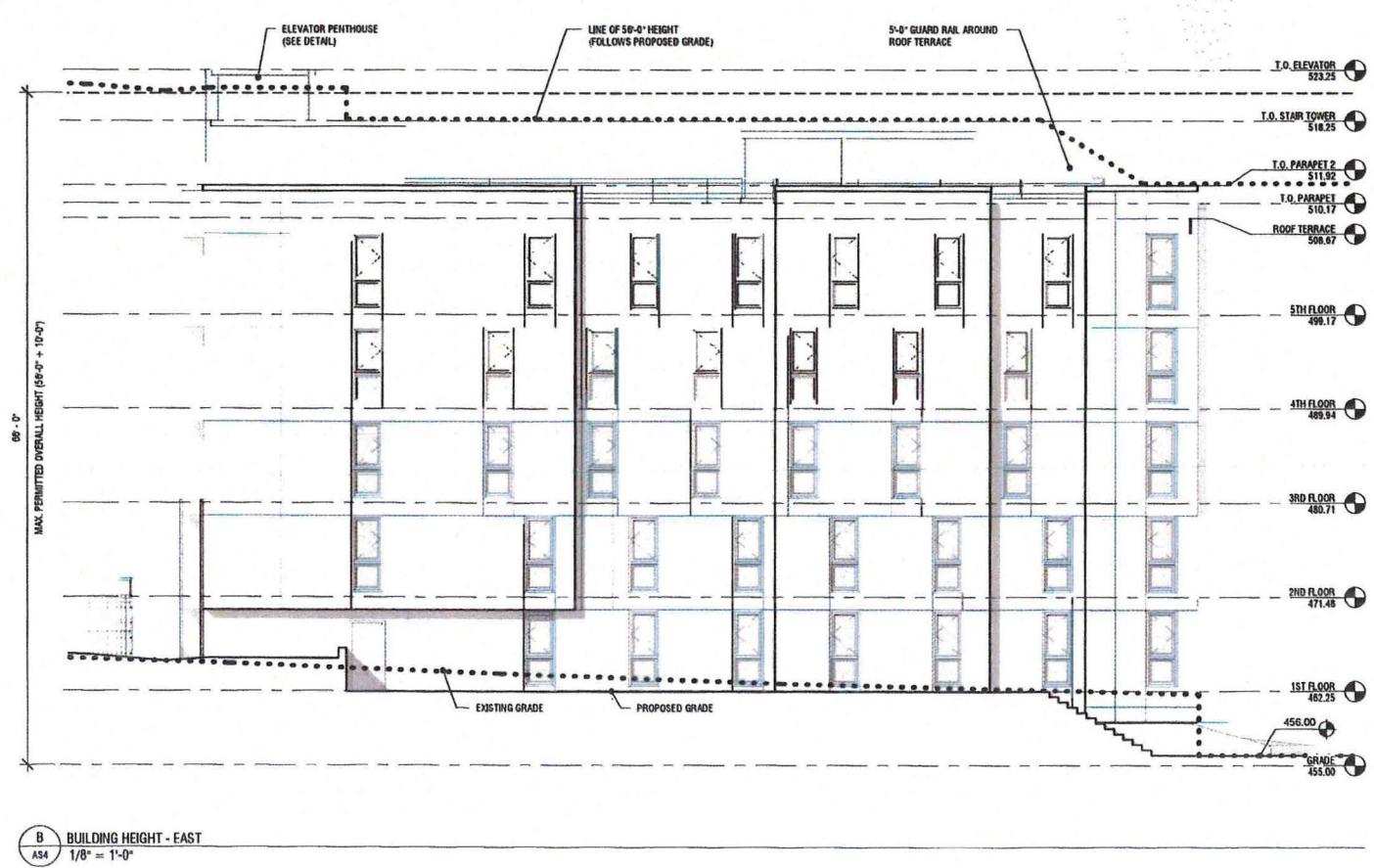
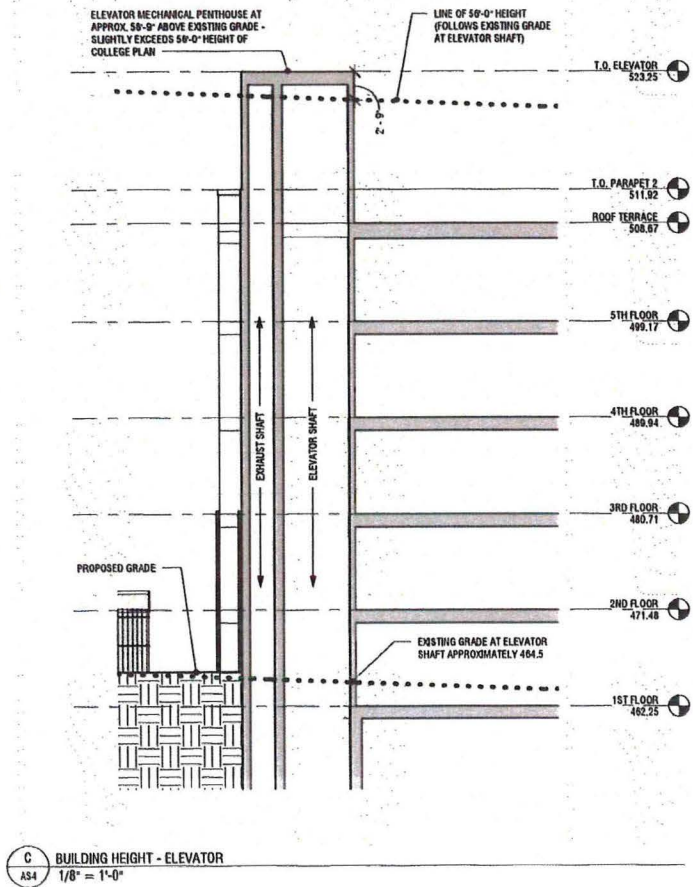


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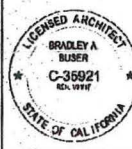
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ELSEY PARTNERS

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AS3



PRIME DESIGN
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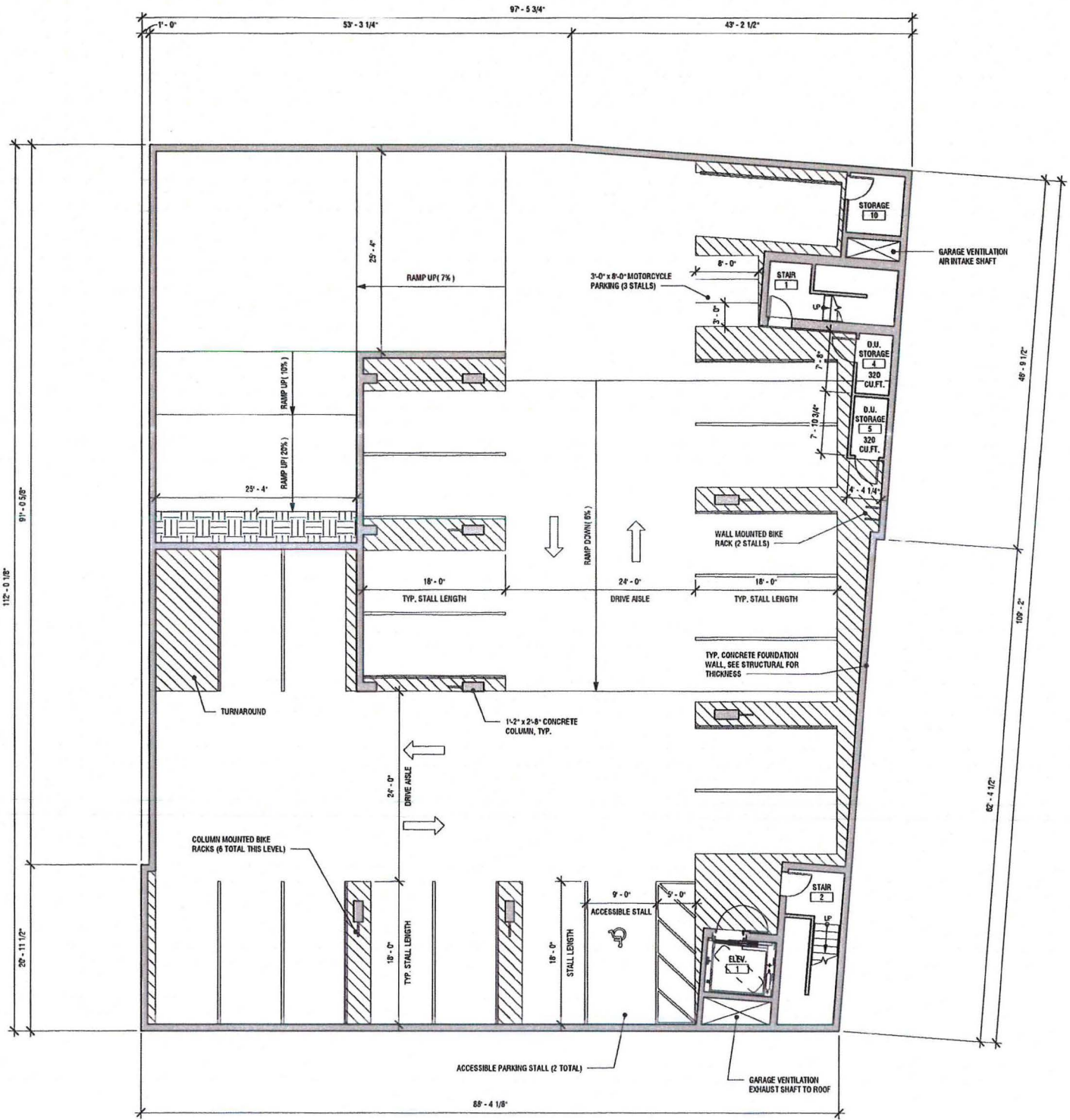



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AS4



 A1 GARAGE LEVEL 3
1/8" = 1'-0"

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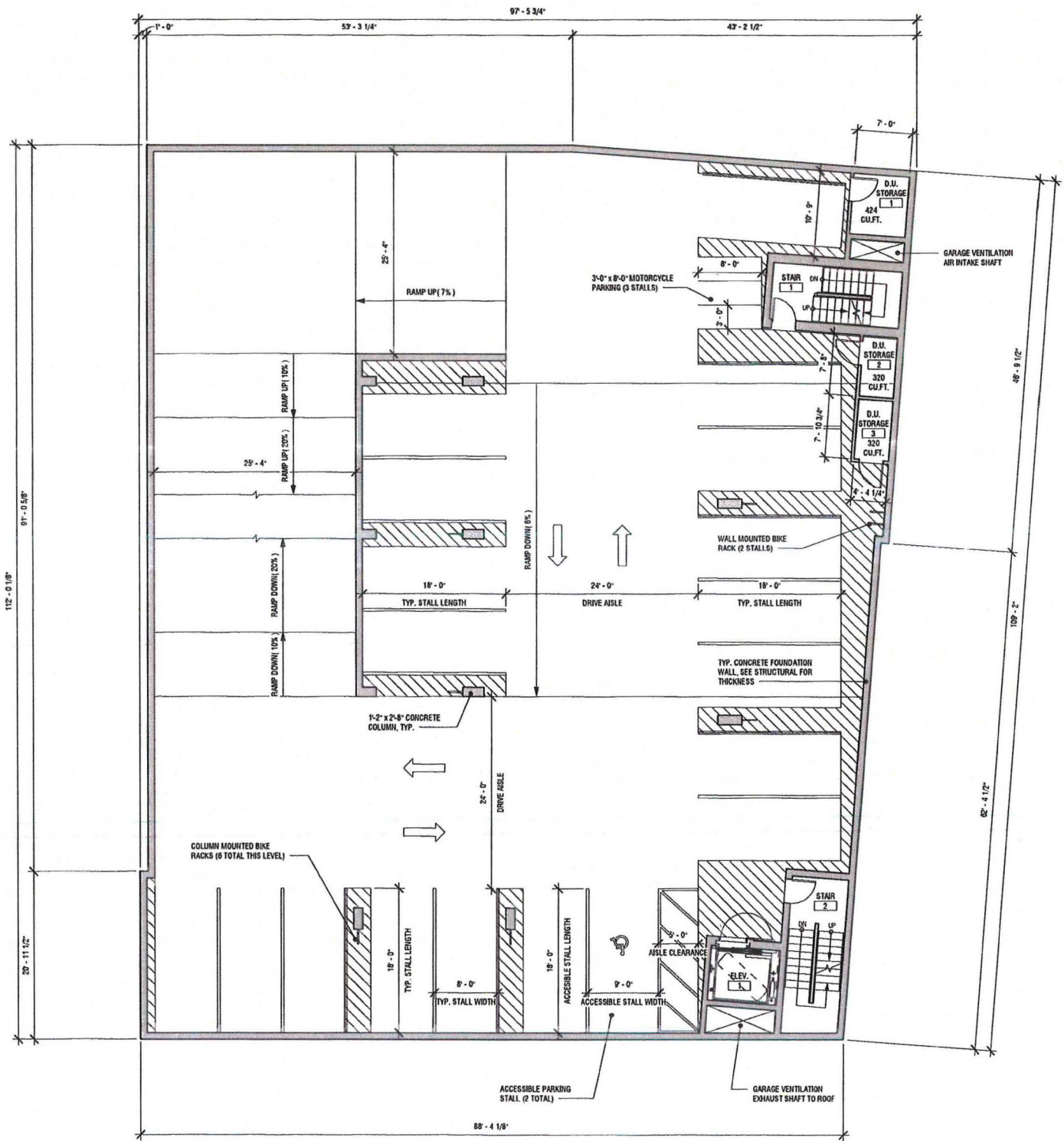



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A1



 A GARAGE LEVEL 2
A2 1/8" = 1'-0"

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A2



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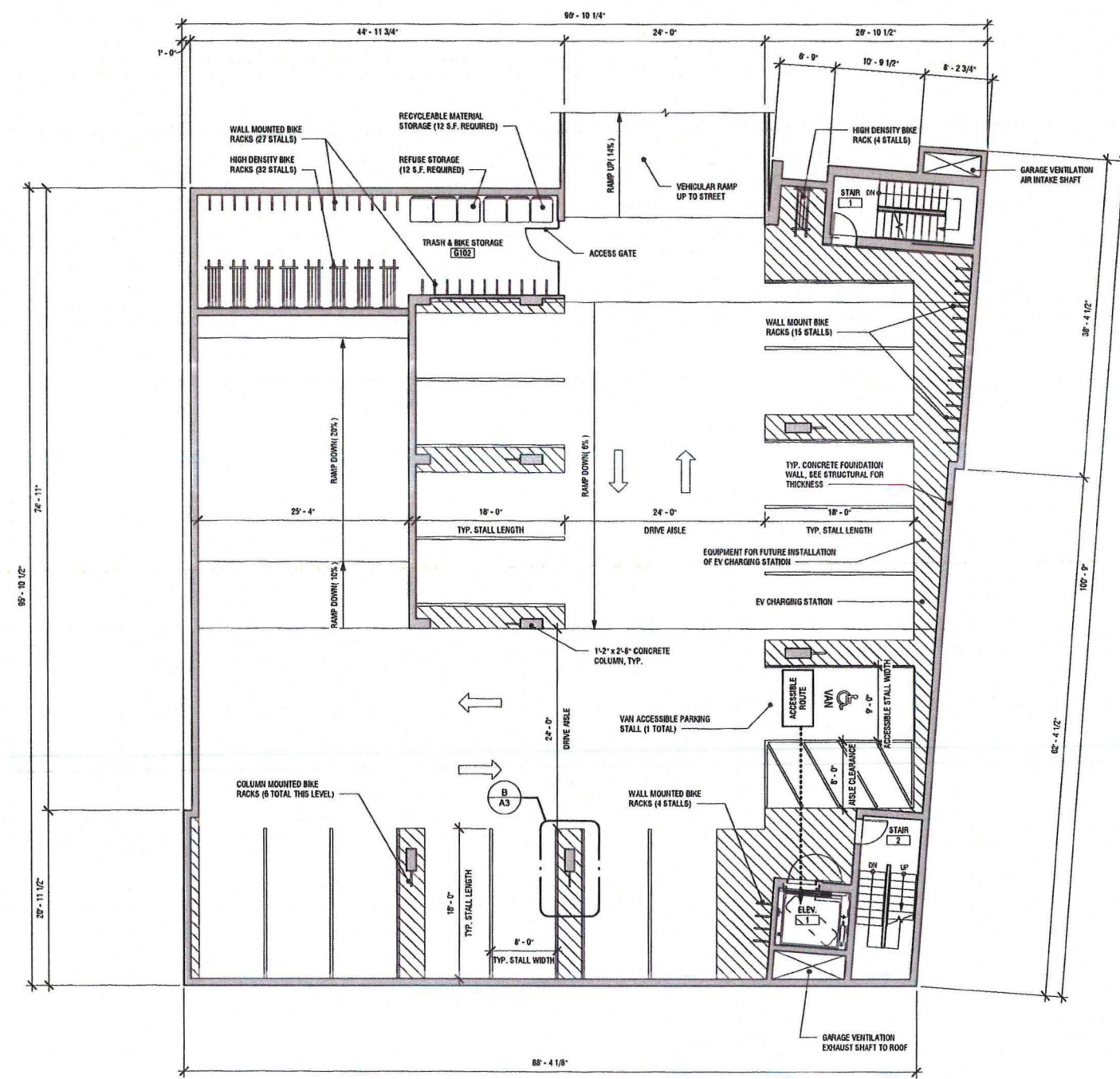
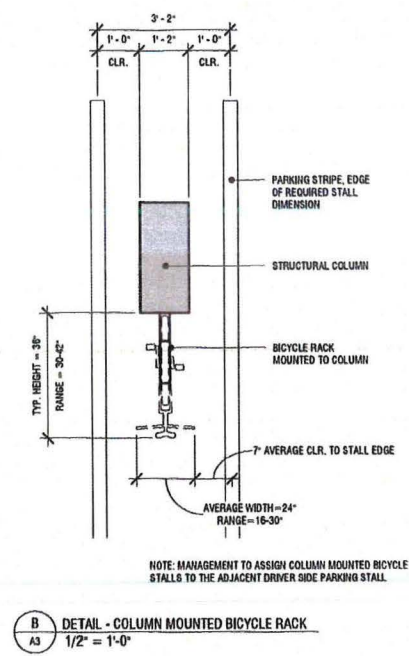
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A3





GARAGE LEVEL 1
 $1/8" = 1'-0"$



RENDERED PERSPECTIVE OF ENTRY COURTYARD



RENDERED PERSPECTIVE OF SOUTH COURTYARD



1ST FLOOR
1/8" = 1'-0"

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A4



RENDERED PERSPECTIVE OF COMMUNITY ROOM



A 2ND FLOOR
AS 1/8" = 1'-0"

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A5



3RD FLOOR
1/8" = 1'-0"

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A6

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PRIME DESIGN
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4TH FLOOR
1/8" = 1'-0"

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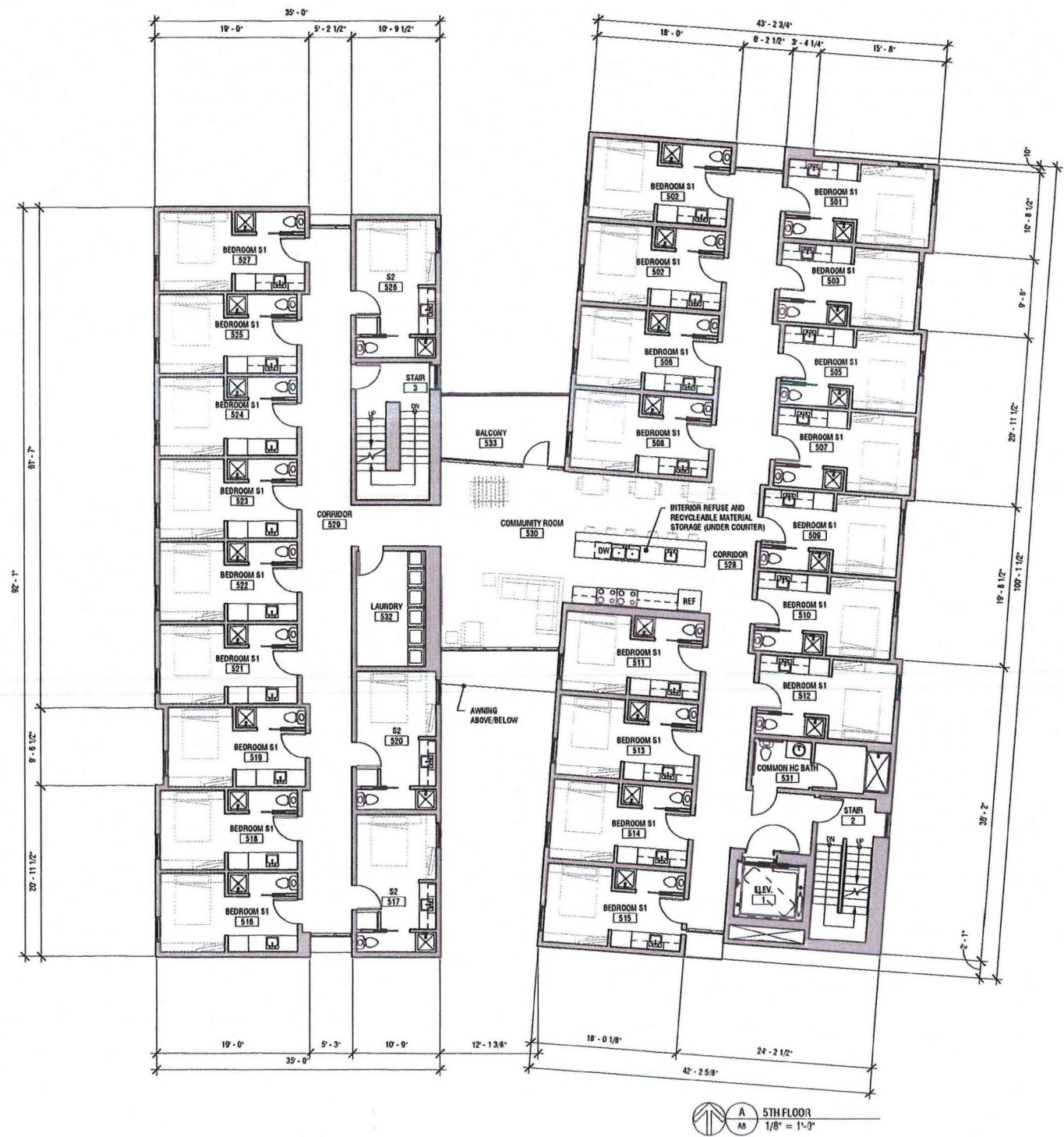


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A7



5TH FLOOR
1/8" = 1'-0"

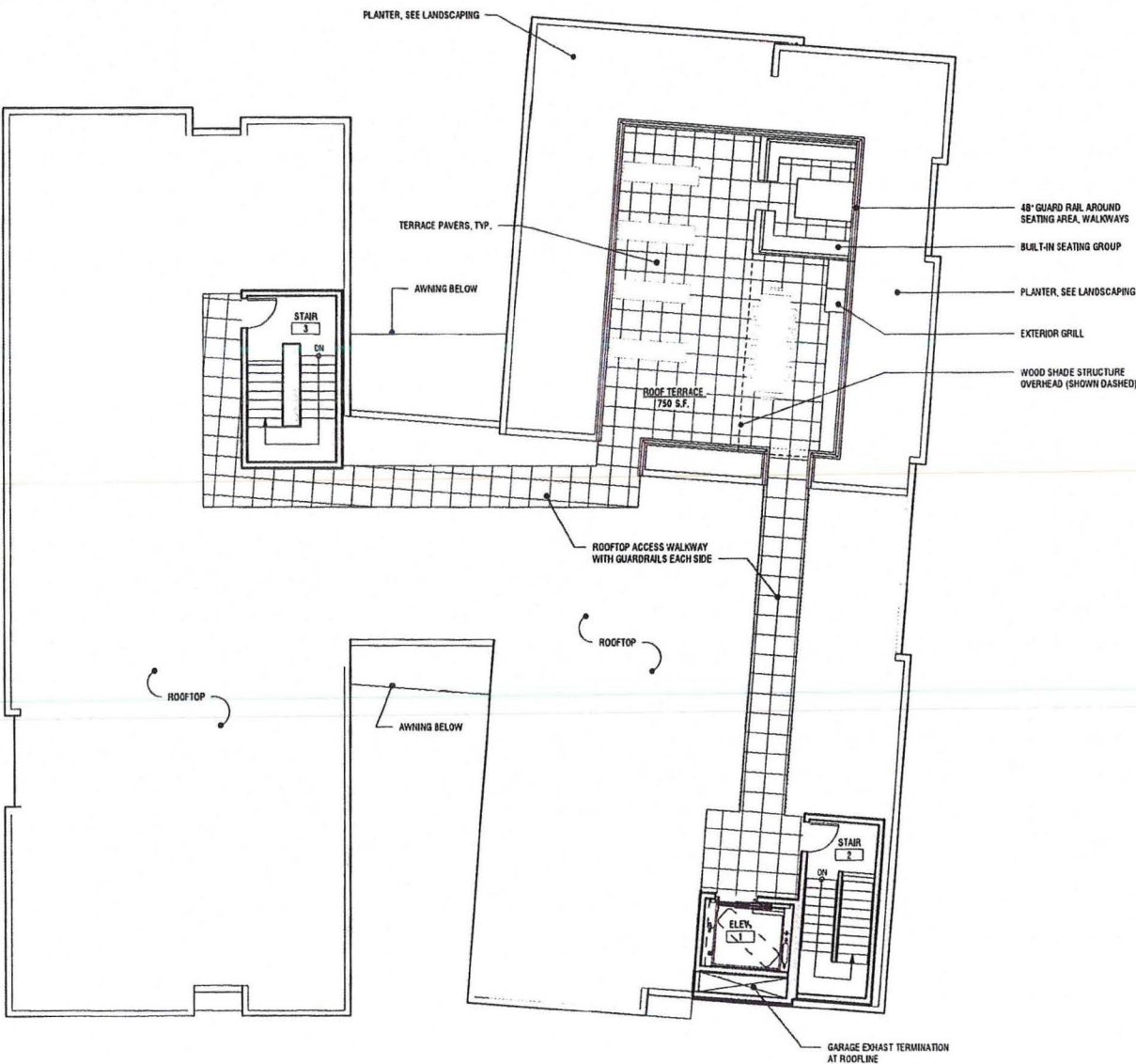
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 A
A9 ROOF TERRACE
1/8" = 1'-0"

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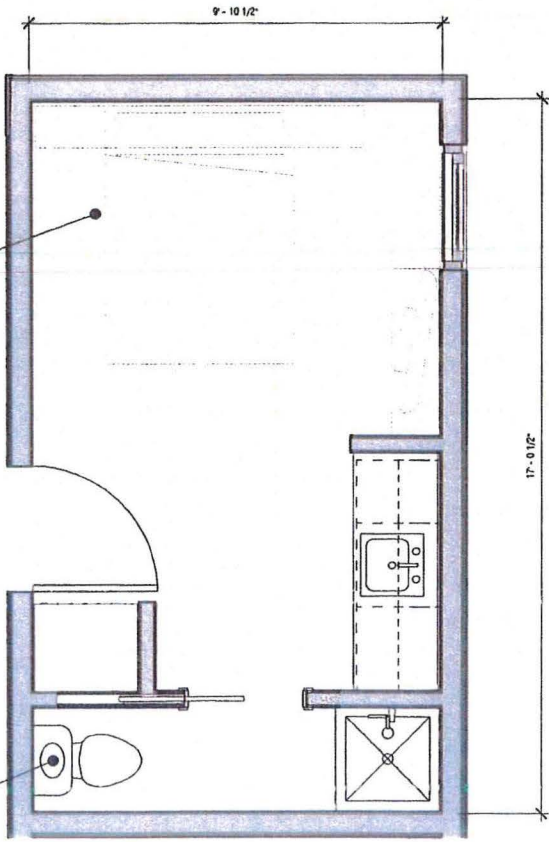
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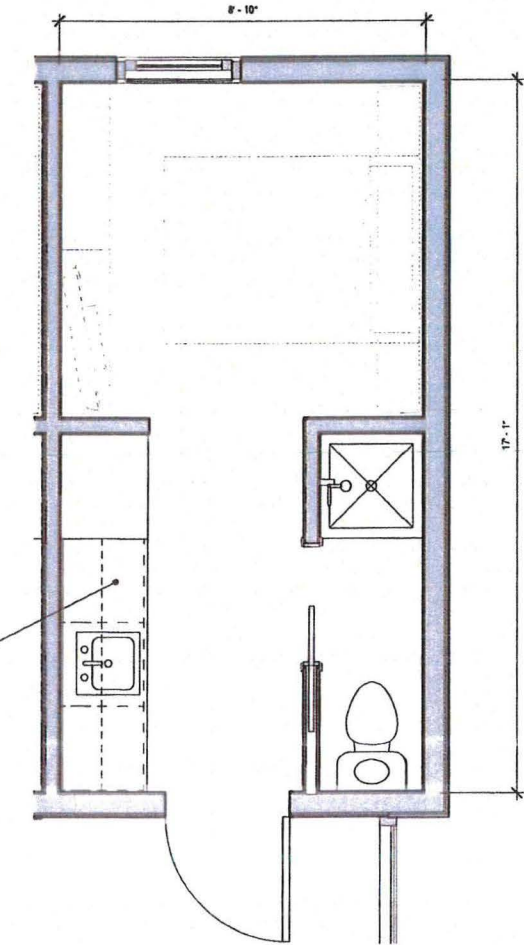
MURPHY BED CONCEPT



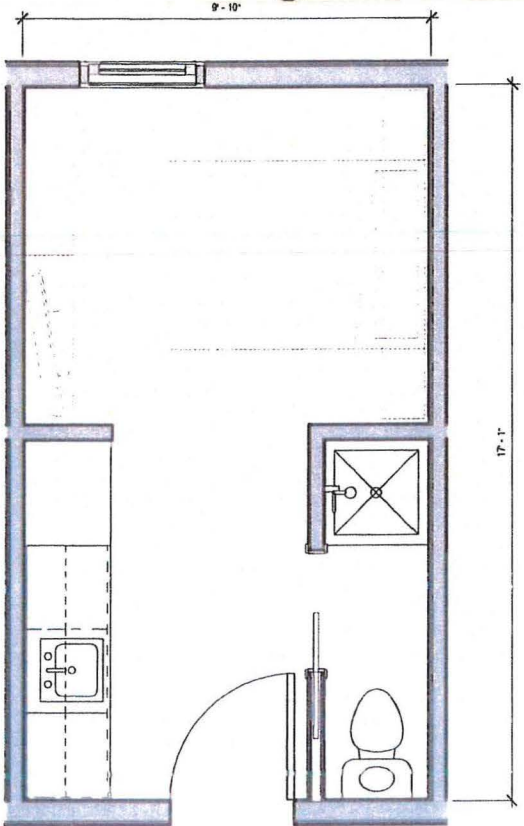
TOILET CONCEPT



B
A10
BEDROOM SUITE S2
1/2" = 1'-0"



C
A10
BEDROOM SUITE S3
1/2" = 1'-0"



A
A10
BEDROOM SUITE S1
1/2" = 1'-0"

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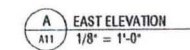
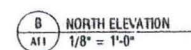


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A10



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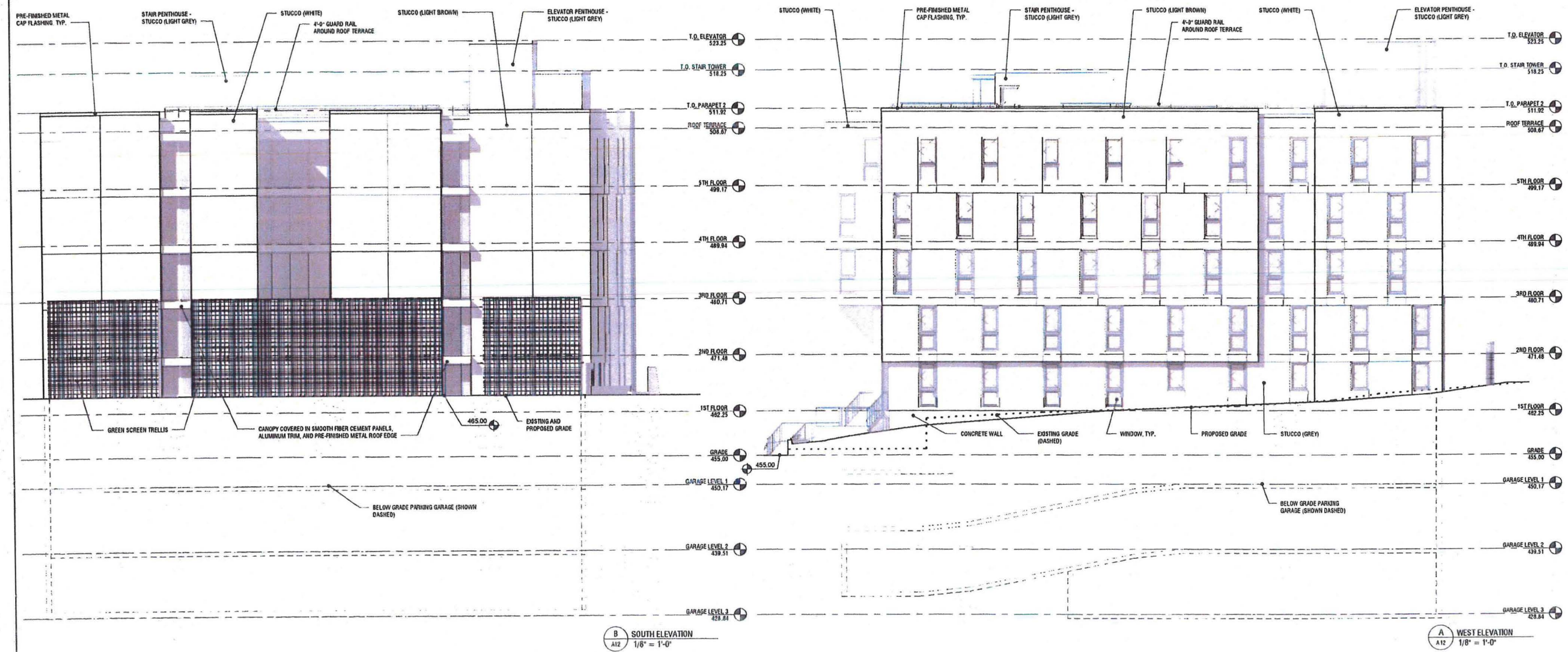


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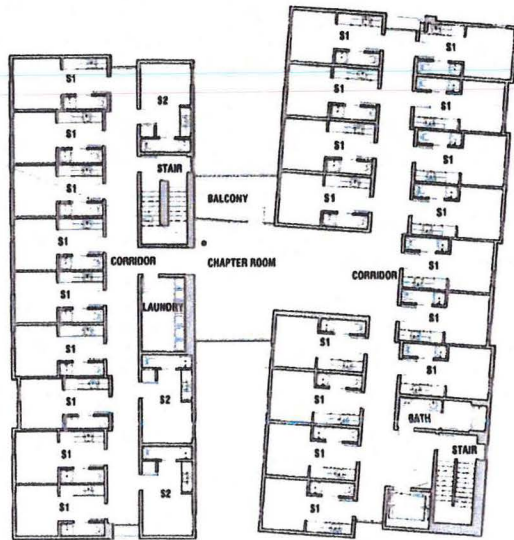
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6213 MONTEZUMA ROAD SAN DIEGO, CA 92115
ELSEY PARTNERS

JOB NO. 02-2016
SHEET

A12

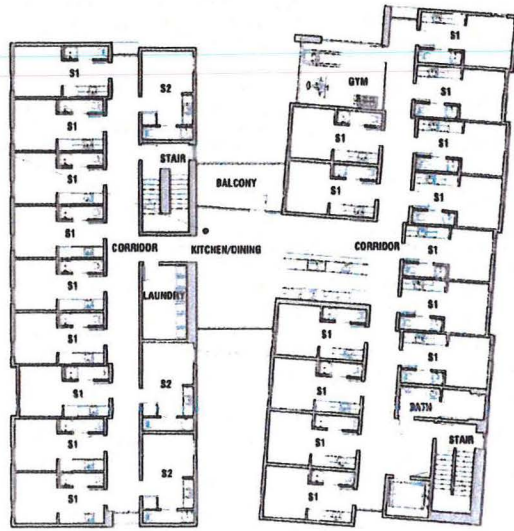


MODIFY COMMUNITY SPACE
INTO CHAPTER ROOM



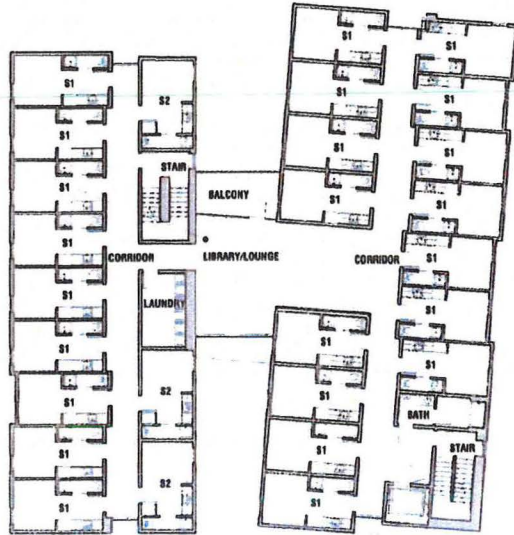
3 CONVERTED 3RD FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO KITCHEN/DINING



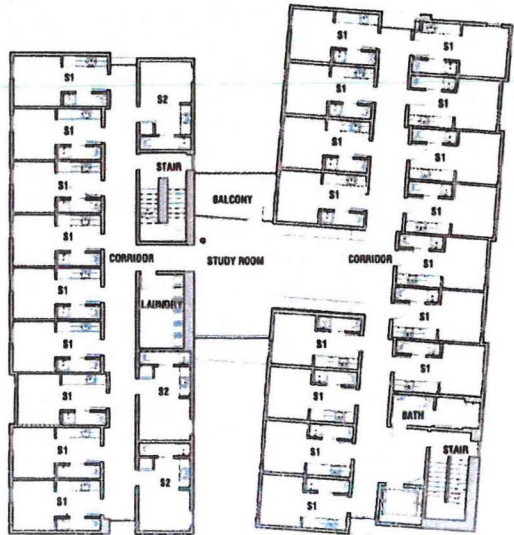
2 CONVERTED 2ND FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO LIBRARY/LOUNGE



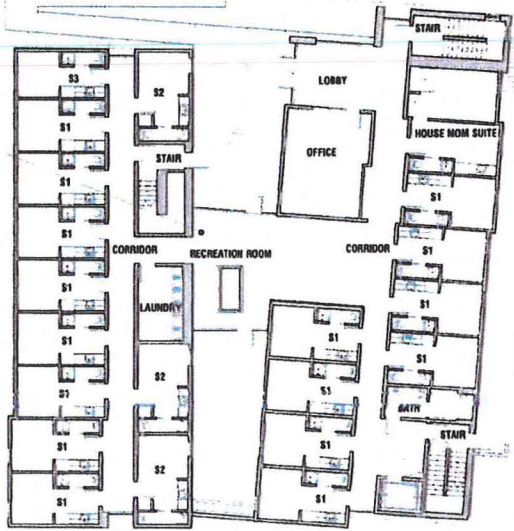
5 CONVERTED 5TH FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO STUDY ROOM



4 CONVERTED 4TH FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO RECREATION ROOM



1 CONVERTED 1ST FLOOR
A13 1/16" = 1'-0"

PRIME DESIGN



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MULTI-FAMILY DEVELOPMENT PROPOSAL

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ELSEY PARTNERS

JOB NO. 02-2016
SHEET

A13

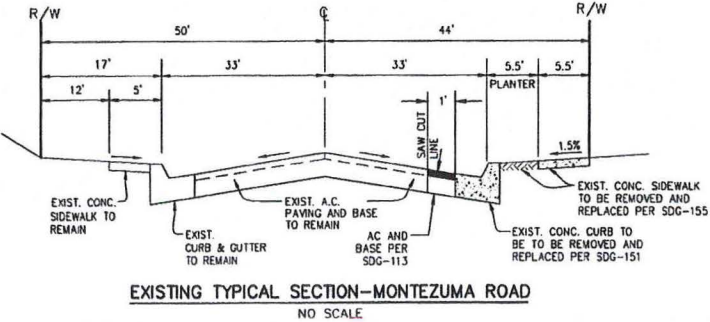
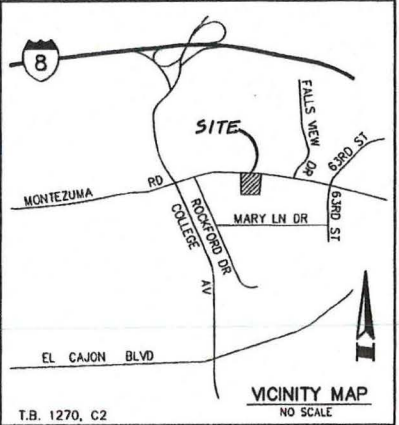
6213 MONTEZUMA MULTI-FAMILY PDP/CUP

GENERAL NOTES

1. DEVELOPMENT DESCRIPTION:
CONSTRUCTION OF A FIVE (5) STORY BUILDING WITH ONE HUNDRED AND TWENTY EIGHT (128) BEDROOM SUITES OVER 3 LEVELS OF UNDERGROUND PARKING GARAGE ON A VACANT PARCEL OF 0.285 ACRES.
2. ZONING AND PARCEL INFORMATION:
a. BASIC ZONE: RM-3-9
b. COMMUNITY PLAN: COLLEGE AREA COMMUNITY PLANNING AREA
c. OVERLAY ZONES:
-AIRPORT INFLUENCE AREA
-PARKING IMPACT
d. ENVIRONMENTALLY SENSITIVE LANDS:
-NOT APPLICABLE TO SITE
e. PERMITTED LAND USE: RESIDENTIAL
f. DEVELOPMENT REGULATIONS (PER TABLE 131-04G):
-MAXIMUM DENSITY ALLOWED: 1 DWELLING UNIT PER 600 S.F. OF LOT AREA
-MINIMUM LOT AREA: 7,000 SQUARE FEET
-SETBACKS:
FRONT SETBACK: MINIMUM 10' FOR UP TO 50% OF THE WIDTH OF BUILDING ENVELOPE, PROVIDED THE REMAINING PERCENTAGE OF THE BUILDING ENVELOPE WIDTH OBSERVES THE STANDARD 20 FOOT SETBACK
SIDE SETBACK: MINIMUM 5' OR 10% OF THE PREMISES WIDTH
REAR SETBACK: 5'
-MAXIMUM STRUCTURE HEIGHT: 60 FEET
-MAXIMUM FLOOR AREA RATIO: 2.9
3. PERMITS REQUESTED:
a. CONDITIONAL USE PERMIT FOR:
1. STUDENT DORMITORY, SUBJECT TO SDMC SECTIONS 141.0304 AND 131.0422
b. PLANNED DEVELOPMENT PERMIT FOR:
1. DEVIATIONS TO SIDE YARD SETBACKS TO BE 5' MINIMUM
c. DEVIATIONS FOR 27% PARKING REDUCTION, FROM 78 SPACES TO 57 SPACES
4. BUILDING DATA:
FIVE (5) STORY BUILDING WITH THREE (3) LEVELS OF UNDERGROUND PARKING FOR RENTAL COMMUNITY HOUSING WITH SHARED LIVING & OUTDOOR OPEN SPACE
BUILDING HEIGHT: 56'-0" WITH DEVIATION REQUESTED FOR ELEVATOR OVERHEAD AT 58'-3" TO ALLOW ACCESSIBLE ACCESS TO ROOFTOP AREA
BEDROOM SUITES: 128
COMMON ACCESSIBLE BATHROOM: 5
OFFICE: 1
LAUNDRY ROOM: 5
5. GARAGE UNDERGROUND PARKING DATA:
PROPOSED NUMBER OF OFF-STREET HANDICAPPED PARKING: 3 SPACES
PROPOSED NUMBER OF OFF-STREET STANDARD PARKING: 54 SPACES
TOTAL: 57 SPACES
PROJECT WILL PROVIDE FOR FORTY (40) BICYCLE SPACES.
PROJECT WILL PROVIDE FOR EIGHT (8) MOTORCYCLE SPACES.
6. SEWER AND WATER SERVICES:
SEWER AND WATER SERVICES ARE PROVIDED BY THE CITY OF SAN DIEGO. ON-SITE SEWER AND WATER SYSTEMS WILL BE PRIVATE AND SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARDS AND UNIFORM PLUMBING CODE.
7. DRAINAGE SYSTEM:
WATER WILL BE DISPOSED OF BY SURFACE FLOW AND UNDERGROUND STORM DRAIN SYSTEM. THE DRAINAGE SYSTEM SHOWN IS CONCEPTUAL. THE FINAL DRAINAGE DESIGN SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARDS.
8. SERVICES:
THE GAS AND ELECTRIC POWER IS PROVIDED BY SAN DIEGO GAS AND ELECTRIC COMPANY. THE TELEPHONE SERVICE IS PROVIDED BY SBC COMMUNICATIONS. SCHOOL SERVICE IS PROVIDED BY SAN DIEGO UNIFIED SCHOOL DISTRICT. FIRE SERVICE IS PROVIDED BY THE CITY OF SAN DIEGO FIRE DEPARTMENT.
9. GRADING AND LANDSCAPING:
THE PROPOSED PRELIMINARY GRADING IS SUBJECT TO REVISIONS DURING FINAL DESIGN. CUT OF APPROXIMATELY 11,600 CUBIC YARDS AND FILL OF APPROXIMATELY 0.00 CUBIC YARDS OF MATERIAL WILL BE REQUIRED ON SITE. CUT AND FILL QUANTITIES ARE SUBJECT TO CHANGE DURING FINAL DESIGN. THE MAXIMUM SLOPE GRADIENT WILL BE 2:1. ALL SLOPES SHALL BE ROUNDED IN ACCORDANCE WITH CITY DESIGN STANDARDS. ALL CUT AND FILL BANKS WILL BE PROPERLY LANDSCAPED, IRRIGATED AND MAINTAINED, IN ACCORDANCE WITH CITY STANDARDS.
10. CONTOURS SHOWN WERE DERIVED FROM AN AERIAL TOPOGRAPHY DATED 10-29-15 BY SAN-LO AERIAL SURVEYS AND JP ENGINEERING, INC..
11. ENGINEER OF WORK:
JP ENGINEERING, INC.
4849 RONSON COURT, SUITE 105
SAN DIEGO, CA 92111
TELEPHONE: (619) 569-7377

NOTES

1. ALL DRIVEWAYS SHALL CONFORM TO MUNICIPAL CODE SECTION 142.0560 (1)(9)(c) AND DIAGRAM 142-050. DRIVEWAY SLOPES GREATER THAN 14% SHALL HAVE TRANSITIONS FOR THE FIRST AND LAST 8 FEET OF THE RAMP. A DETAILED DRIVEWAY PROFILE WILL BE SHOWN IN THE FINAL CONSTRUCTION PLANS TO VERIFY THE PROPOSED DRIVEWAY WILL ADHERE TO THE MUNICIPAL CODE.
2. VISIBILITY AREA TRIANGLES DETAILS SHALL BE SHOWN IN THE FINAL CONSTRUCTION PLANS AT THE DRIVEWAYS PER MUNICIPAL CODE SECTION 113-0273, DIAGRAM 113-0255. THE VISIBILITY AREA SHALL EXTEND 10 FEET INWARD ONTO PRIVATE PROPERTY ALONG THE DRIVEWAY AND ALONG THE PROPERTY LINE. NO OBSTRUCTION, INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
3. THE DEVELOPER SHALL UNDERGROUND PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE.
4. THE COLOR OF THE RETAINING WALLS SHALL BLEND WITH THE NATURAL TERRAIN AND THE COLOR OF THE STRUCTURES ON THE SITE.
5. THE MINIMUM TREE OR SHRUB SEPARATION DISTANCES SHALL BE AS FOLLOWS:
-TRAFFIC SIGNAL STOP SIGN - 20 FEET
-UNDERGROUND UTILITY LINES (EXCEPT SEWER) - 5 FEET
-SEWER LINES - 10 FEET
-ABOVE GROUND UTILITY STRUCTURES - 10 FEET
-DRIVEWAYS - 10 FEET
-INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FEET
6. BUILDING ADDRESS:
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SDMC SECTION 95.0209
7. BUS STOPS:
BUS STOPS ARE LOCATED IN THE VICINITY OF THE DEVELOPMENT.
8. TRASH RECEPTACLES:
TRASH RECEPTACLES WILL BE LOCATED IN EACH FLOOR WITH MAIN STORAGE FOR REFUSE AND RECYCLEABLE MATERIAL ON GARAGE LEVEL 1.
9. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
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11. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
12. ALL GRADED, DISTURBED, OR ERODED AREA THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITH IN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE. SEE SHEET LC-4 FOR HYDROSEED MIX INFORMATION
13. INTERIM BINDER NOTE: GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TRACKER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL. WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 APRIL 1.



LEGAL DESCRIPTION

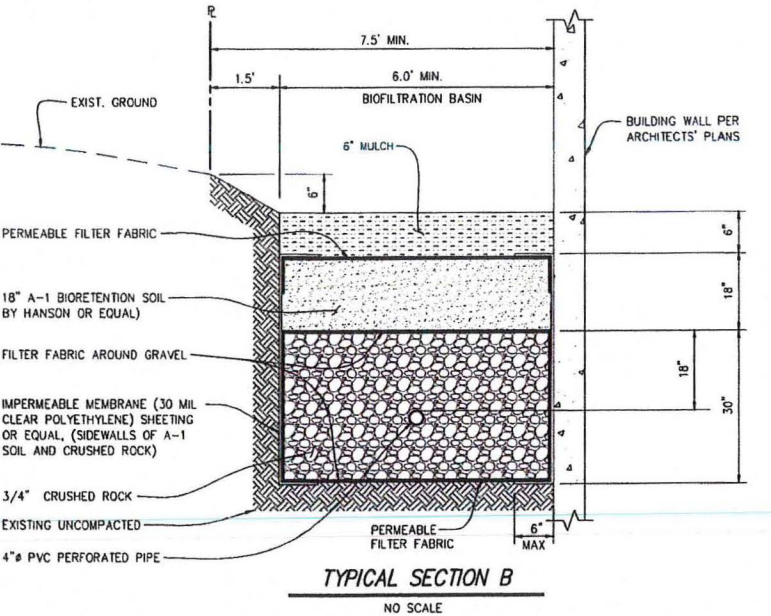
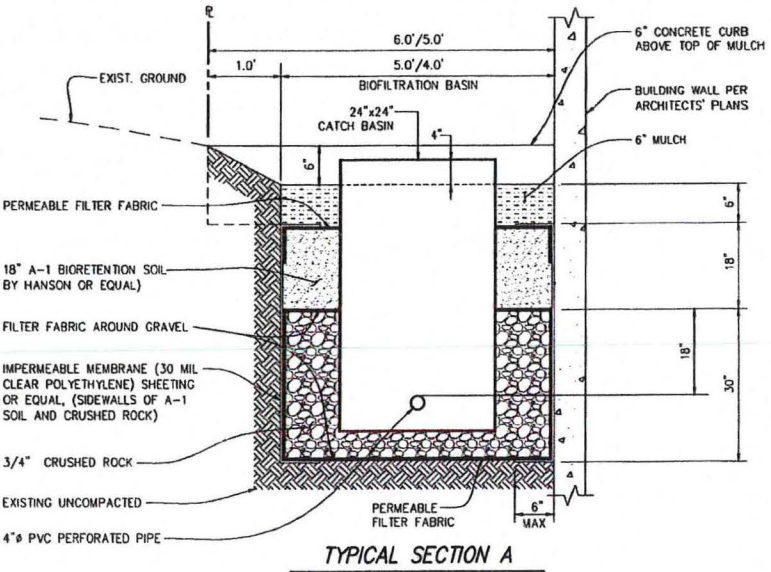
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

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A.P.N.: 467-171-28-00 AND 467-171-29-00

SHEET INDEX

SHEET NO.	DWG NO.	TITLE
1	C-1	TITLE SHEET, STREET TYPICAL SECTION AND NOTES
2	C-2	PROPERTY BOUNDARY, TOPOGRAPHY, EXISTING EASEMENTS AND SLOPE ANALYSIS
3	C-3	PRELIMINARY GRADING PLAN



Prepared By:

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Fax #: (858) 569-0830

Project Address:

6213-6219 Montezuma Road
San Diego, California 92115

Project Name:

6213 Montezuma Multi-Family

Revision 14:	
Revision 13:	
Revision 12:	
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Revision 6:	MAY 01, 2017
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Revision 3:	FEBRUARY 22, 2017
Revision 2:	JANUARY 30, 2017
Revision 1:	DECEMBER 12, 2016
Original Date:	JUNE 30, 2016

Sheet	1	of	3
DEP#	PTS NO. 501449		
W.O. No.	24006849		

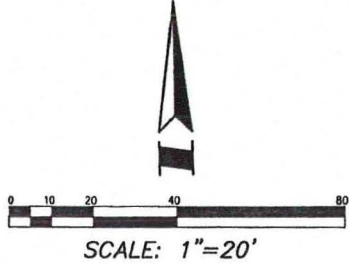
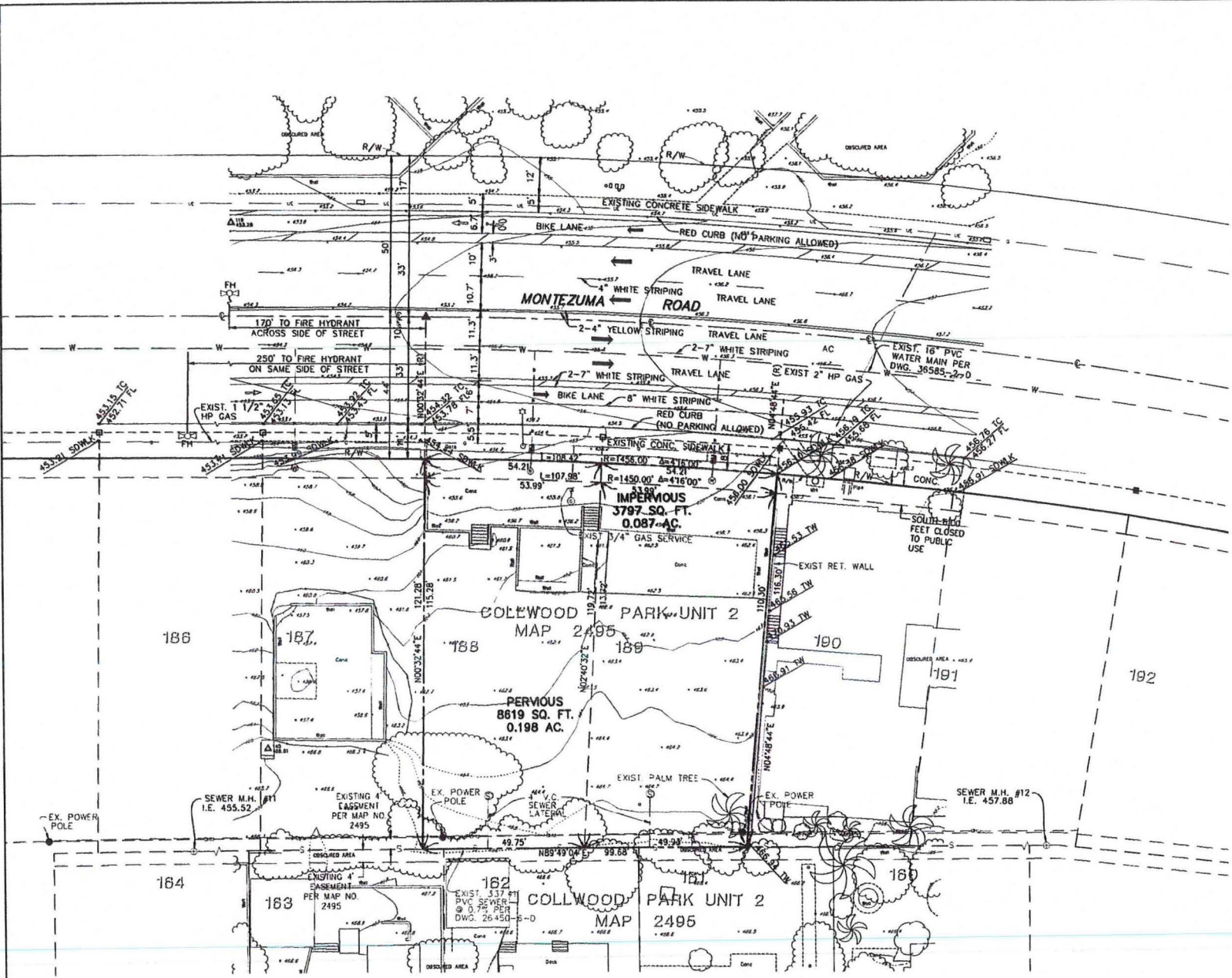
Sheet Title:

TITLE SHEET, STREET TYPICAL SECTION AND NOTES

C-1

FOR LOCATION OF TYPICAL SECTIONS SEE SHEET C-3

L.C. 220-1748 CCS 1880-6308



LEGEND

PROPERTY BOUNDARY	---
RIGHT OF WAY	---
ADJACENT LOT LINE	---
EXISTING CONTOUR LINE	---
EXISTING CONCRETE CURB	CONC.
EXISTING CONCRETE SIDEWALK	---
EXISTING AC DRIVEWAY	AC
EXISTING RETAINING WALL	---
EXISTING TOP OF CURB ELEVATION	455.93 T.C.
EXISTING FLOWLINE ELEVATION	455.42 F.L.
EXISTING TOP OF WALL ELEVATION	465.53 T.W.
EXISTING SPOT ELEVATION	x 456.7
EXISTING FENCE	X
EXISTING ROOF OVERHANG	---
EXISTING EASEMENT	---
EXIST CENTERLINE	C
EXISTING FIREHYDRANT	⊕
EXISTING WATER MAIN	W
EXISTING SEWER MAIN	S
EXISTING GAS MAIN	G
EXISTING OVERHEAD ELECTRICAL	OHU
EXISTING UNDERGROUND ELECTRICAL	UE
EXISTING SEWER MANHOLE	⊕
EXISTING POWER POLE	⊕
EXISTING WATER SERVICE AND METER BOX	WM
EXISTING SEWER LATERAL	S
EXISTING GAS SERVICE	G
FOUND LEAD AND DISC STAMPED "LS 8733" PER CORNER RECORD 33585	⊕
FOUND LEAD AND TACK PER MAP 2495	⊕
FOUND 5/8" SQUARE PIN PER CORNER RECORD 33585	⊕
FOUND STREET SURVEY MONUMENT PER R.O.S. 6770	⊕

TOTAL PROJECT SLOPE ANALYSIS				IMPACTS BY GRADING	
LEGEND	SLOPE	AREA (SQ.FT.)	PERCENT(%) OF AREA	ENCROACHMENT AREA (SQ. FT.)	PERCENT(%) OF SLOPE AREA
	0-25%	12,416	100%	12,416	100%
	TOTAL	12,416			

PROPERTY AREA: 12,416 SQUARE FEET = 0.285 AC

TOPOGRAPHY SOURCE
CONTOURS AND ELEVATIONS WERE DERIVED FROM AN AERIAL TOPOGRAPHY DATED 10-29-15 BY SAN-LO AERIAL SURVEYS AND JP ENGINEERING, INC.

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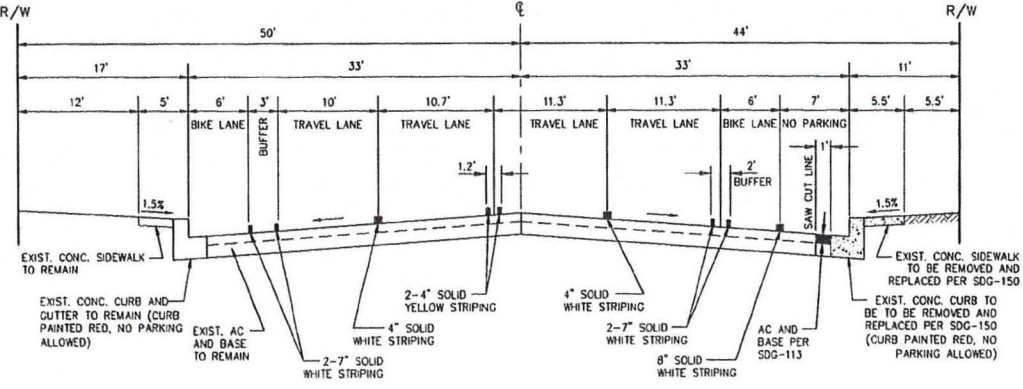
Sheet 2 of 3

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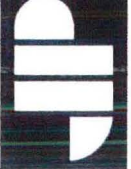
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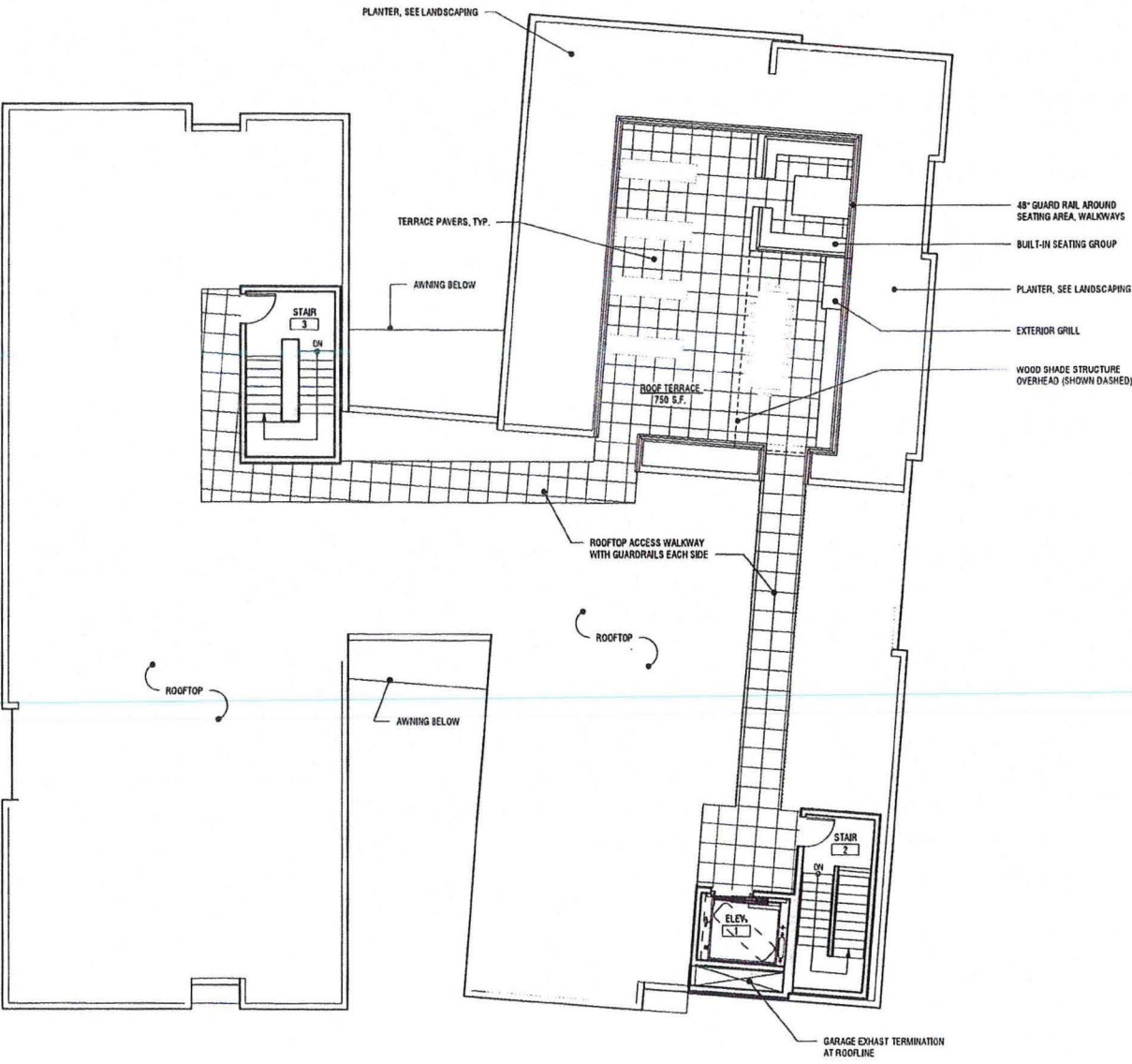
Sheet Title: PROPERTY BOUNDARY, EXISTING TOPOGRAPHY, EXISTING EASEMENTS AND SLOPE ANALYSIS

BENCH MARK
DESCRIPTION: BRASS PLUG
LOCATION: NORTHWEST CORNER OF MONTEZUMA ROAD AND E. FALLS VIEW DR.
RECORD FROM: CITY OF SAN DIEGO
ELEVATION: 459.201
DATUM: M.S.L.



EXISTING TYPICAL SECTION-MONTEZUMA ROAD
NO SCALE





 A ROOF TERRACE
1/8" = 1'-0"

PRIME DESIGN
MANHATTAN, KS 66502
785.317.5725



DATE ISSUED:
MAY 22, 2017
REVISIONS

MULTI-FAMILY DEVELOPMENT PROPOSAL
6213 MONTEZUMA ROAD SAN DIEGO, CA 92115
ELSEY PARTNERS

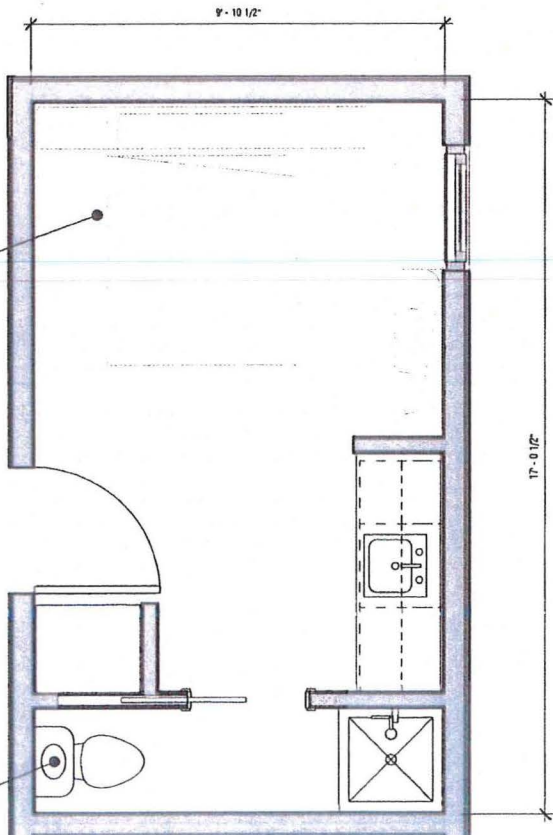
JOB NO. 02-2016
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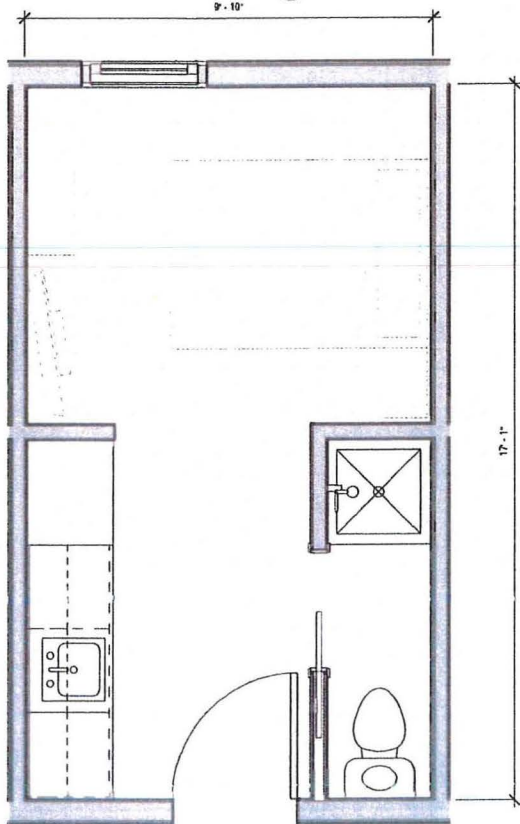
MURPHY BED CONCEPT



TOILET CONCEPT

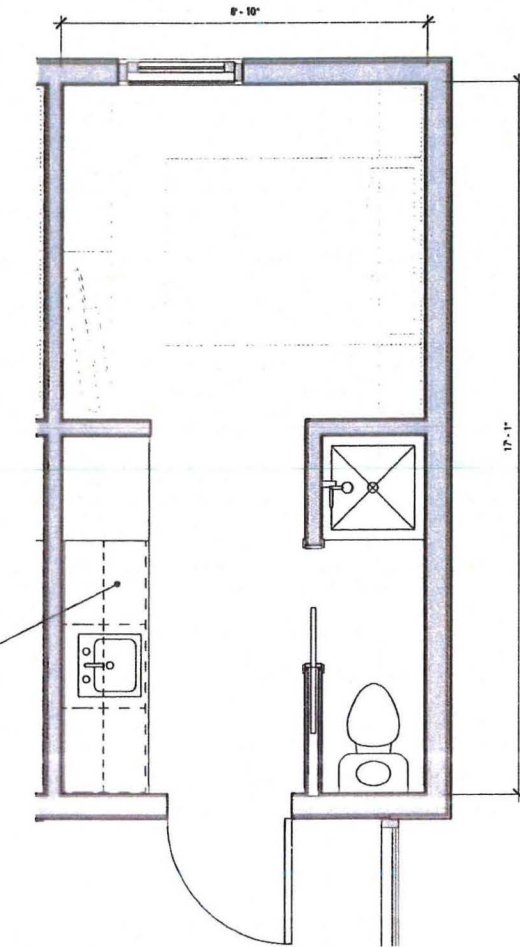


B BEDROOM SUITE S2
A10 1/2" = 1'-0"



A BEDROOM SUITE S1
A10 1/2" = 1'-0"

TYP. KITCHENETTE (SINK, MID-SIZE REFRIGERATOR,
& CONVECTION MICROWAVE)



C BEDROOM SUITE S3
A10 1/2" = 1'-0"

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SHEET

A10

GENERAL NOTES:
 1. AS DESIGNED, PROJECT COMPLIES WITH REQUIREMENTS OF SDMC 142.0340 REGARDING EXPOSED RETAINING WALL HEIGHT. GC TO VERIFY CORRECT GRADING OF SOIL. AT RETAINING WALLS TO ENSURE EXPOSED FACE OF WALL DOES NOT EXCEED 3'-0".

PRIME DESIGN
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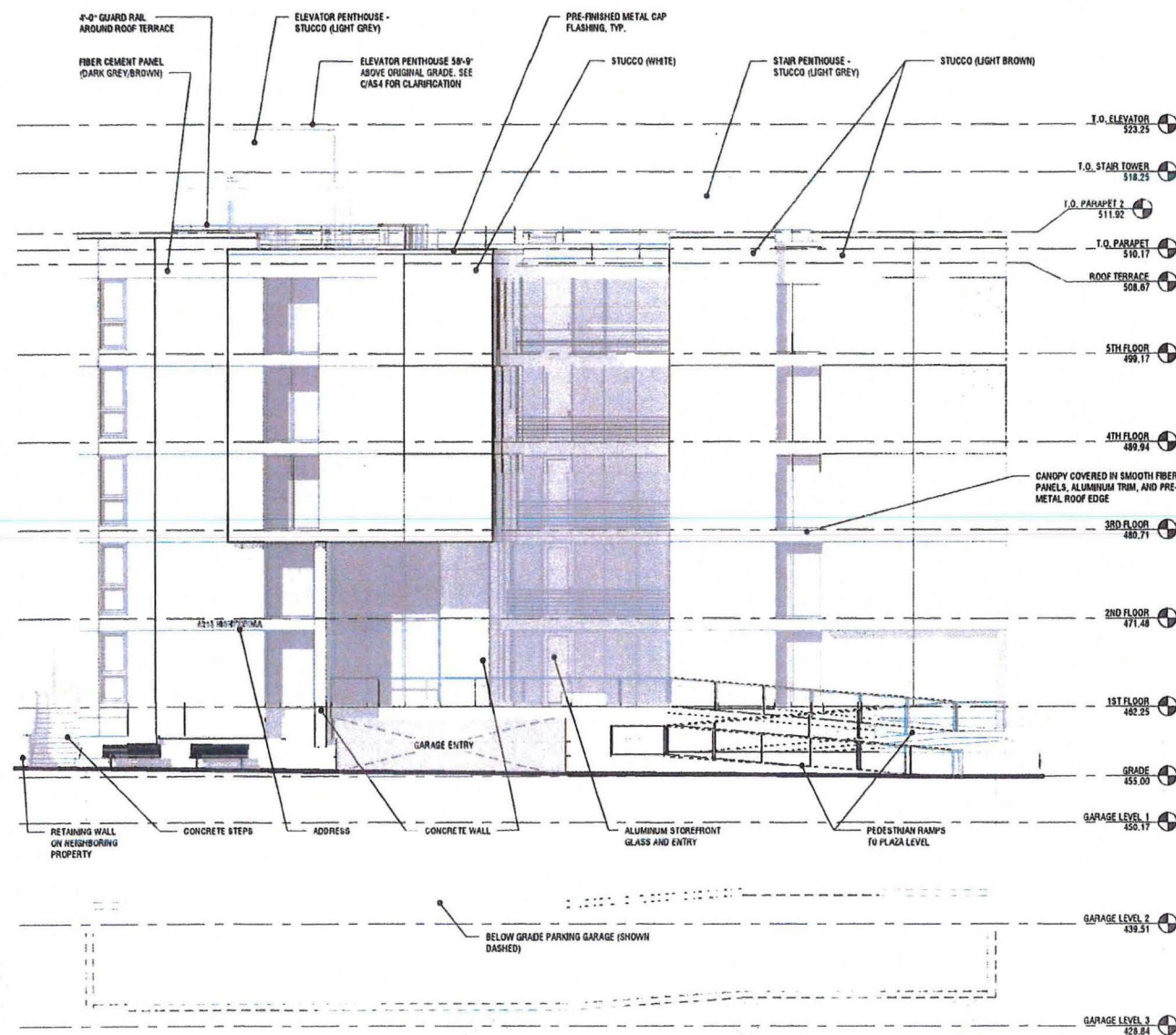
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 6213 MONTEZUMA ROAD SAN DIEGO, CA 92115
 ELSEY PARTNERS

JOB NO. 02-2016
 SHEET

A11



B NORTH ELEVATION
 1/8" = 1'-0"

A EAST ELEVATION
 1/8" = 1'-0"

PRIME DESIGN
MANHATTAN, KS 66502
785.317.5725

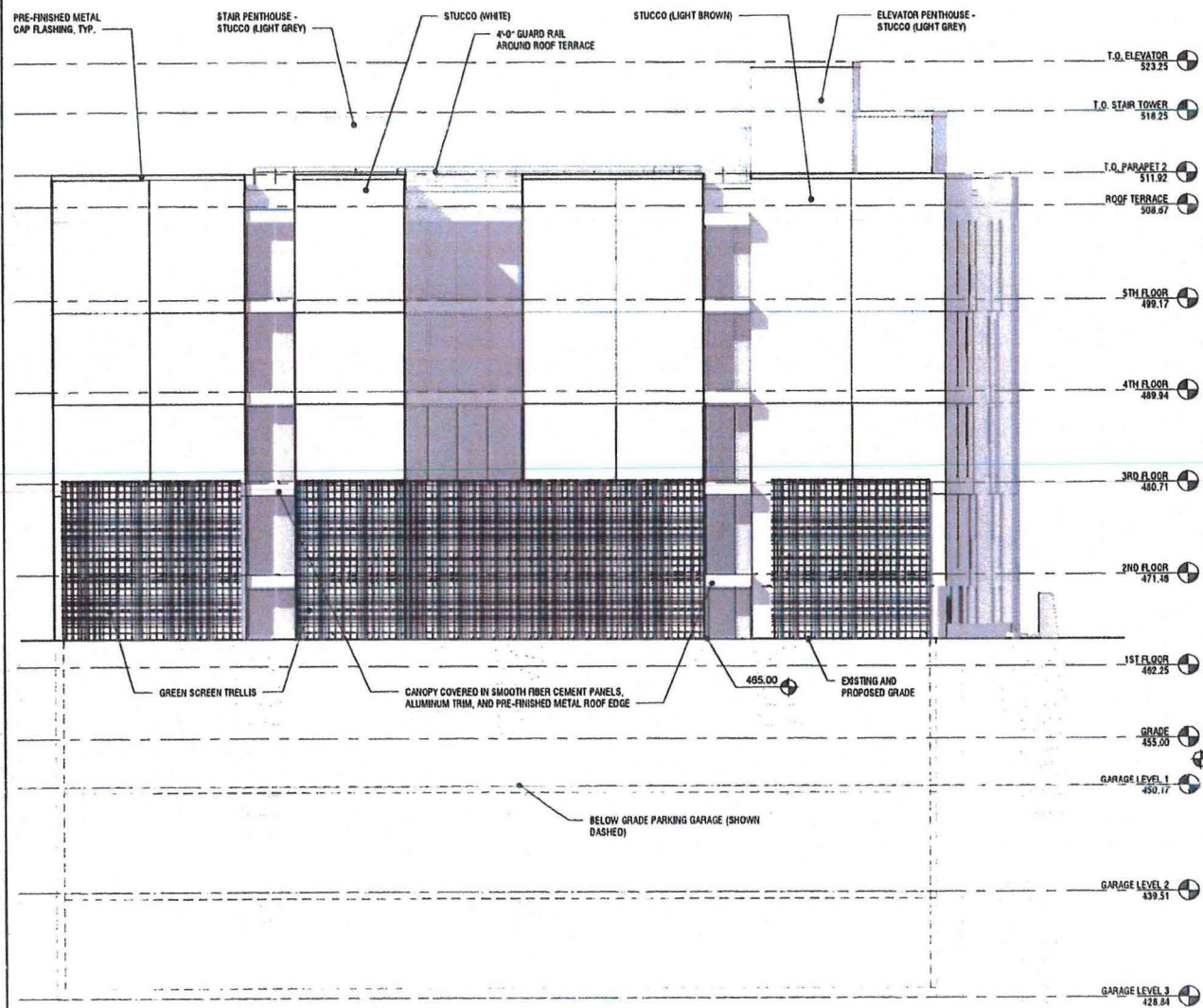


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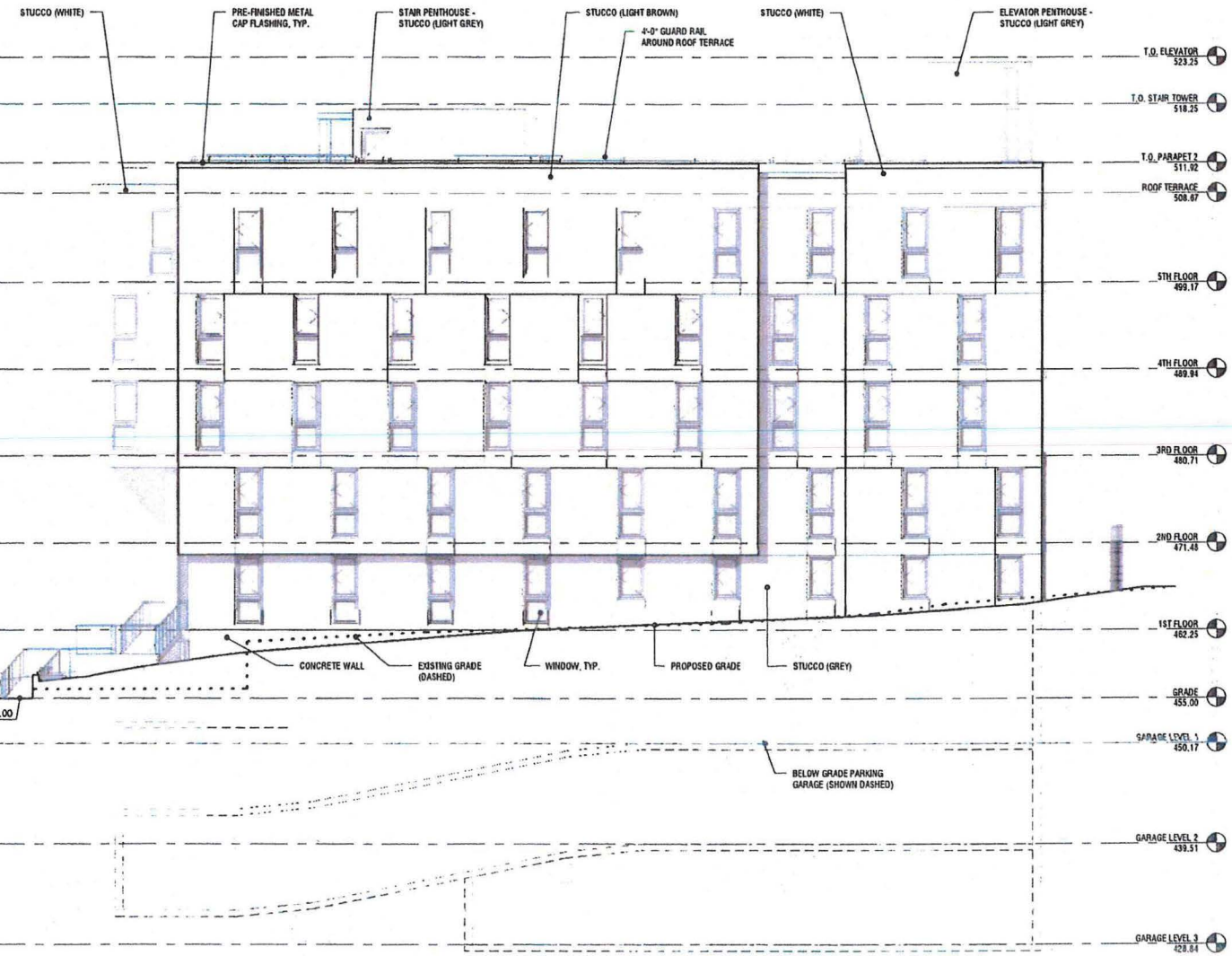
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A12

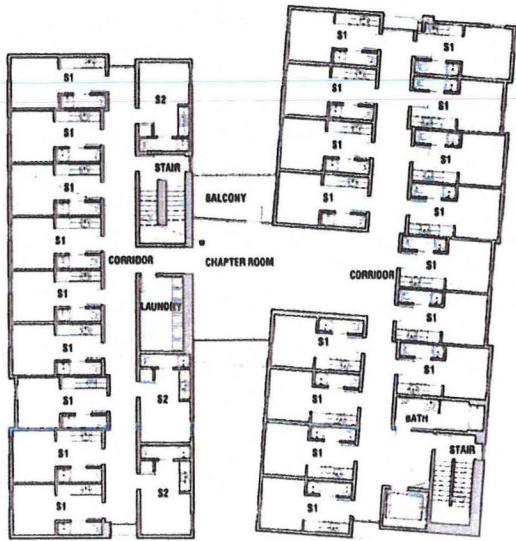


B SOUTH ELEVATION
A12 1/8" = 1'-0"



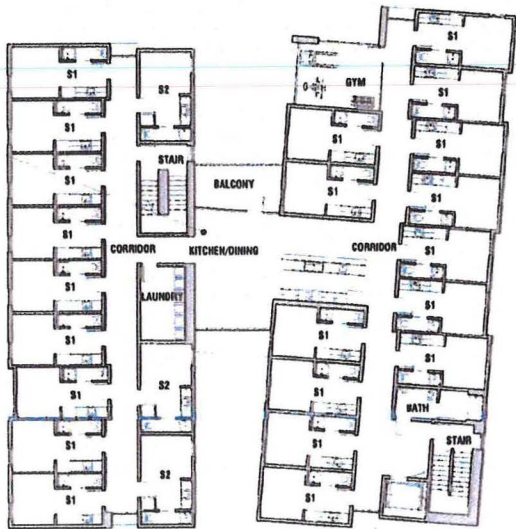
A WEST ELEVATION
A12 1/8" = 1'-0"

MODIFY COMMUNITY SPACE
INTO CHAPTER ROOM



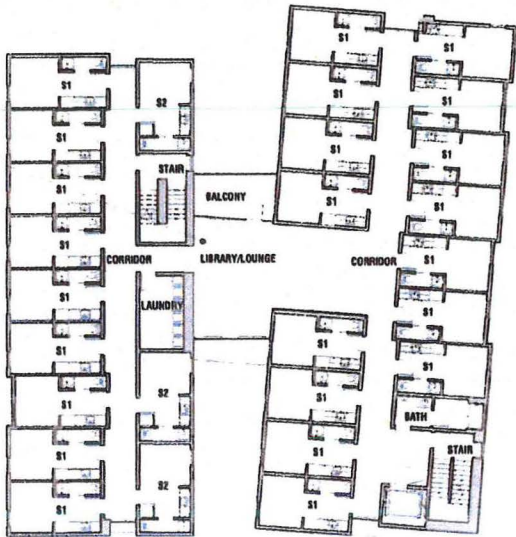
3 CONVERTED 3RD FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO KITCHEN/DINING



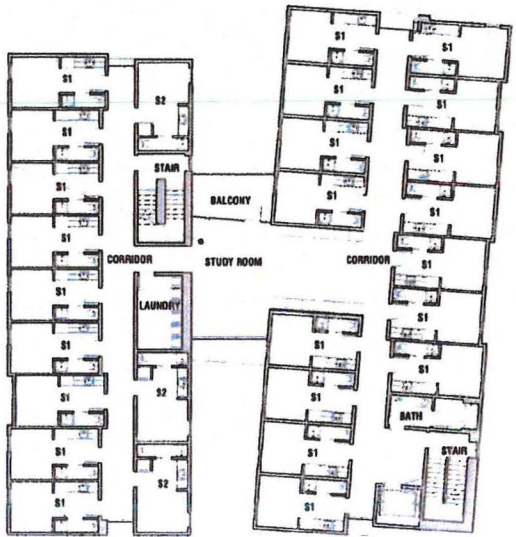
2 CONVERTED 2ND FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO LIBRARY/LOUNGE



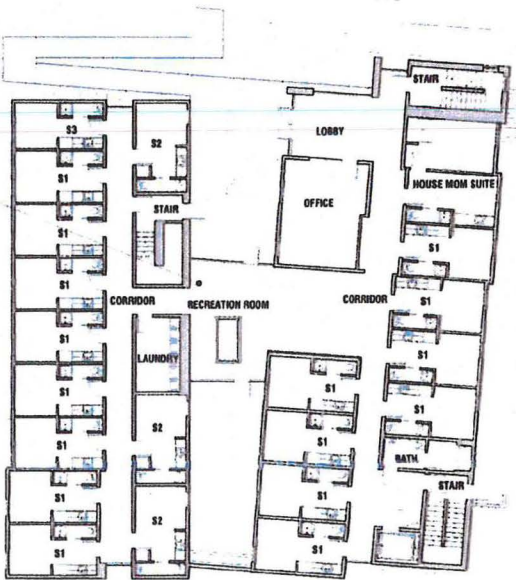
5 CONVERTED 5TH FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO STUDY ROOM



4 CONVERTED 4TH FLOOR
A13 1/16" = 1'-0"

MODIFY COMMUNITY SPACE
INTO RECREATION ROOM



1 CONVERTED 1ST FLOOR
A13 1/16" = 1'-0"

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A13

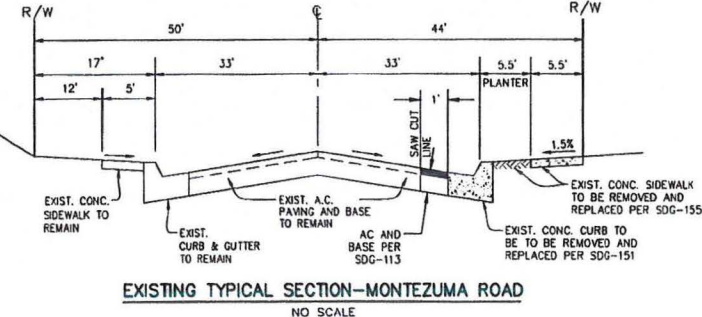
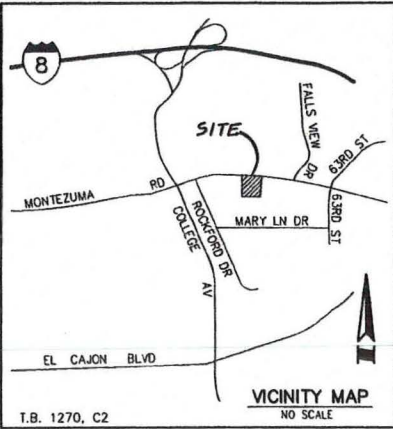
6213 MONTEZUMA MULTI-FAMILY PDP/CUP

GENERAL NOTES

1. DEVELOPMENT DESCRIPTION:
CONSTRUCTION OF A FIVE (5) STORY BUILDING WITH ONE HUNDRED AND TWENTY EIGHT (128) BEDROOM SUITES OVER 3 LEVELS OF UNDERGROUND PARKING GARAGE ON A VACANT PARCEL OF 0.285 ACRES.
2. ZONING AND PARCEL INFORMATION:
a. BASIC ZONE: RM-3-9
b. COMMUNITY PLAN: COLLEGE AREA COMMUNITY PLANNING AREA
c. OVERLAY ZONES:
-AIRPORT INFLUENCE AREA
-PARKING IMPACT
d. ENVIRONMENTALLY SENSITIVE LANDS:
-NOT APPLICABLE TO SITE
e. PERMITTED LAND USE: RESIDENTIAL
f. DEVELOPMENT REGULATIONS (PER TABLE 131-04G):
-MAXIMUM DENSITY ALLOWED: 1 DWELLING UNIT PER 600 S.F. OF LOT AREA
-MINIMUM LOT AREA: 7,000 SQUARE FEET
-SETBACKS:
FRONT SETBACK: MINIMUM 10' FOR UP TO 50% OF THE WIDTH OF BUILDING ENVELOPE, PROVIDED THE REMAINING PERCENTAGE OF THE BUILDING ENVELOPE WIDTH OBSERVES THE STANDARD 20 FOOT SETBACK
SIDE SETBACK: MINIMUM 5' OR 10% OF THE PREMISES WIDTH
REAR SETBACK: 5'
-MAXIMUM STRUCTURE HEIGHT: 60 FEET
-MAXIMUM FLOOR AREA RATIO: 2.9
3. PERMITS REQUESTED:
a. CONDITIONAL USE PERMIT FOR:
1. STUDENT DORMITORY, SUBJECT TO SDMC SECTIONS 141.0304 AND 131.0422
b. PLANNED DEVELOPMENT PERMIT FOR:
1. DEVIATIONS TO SIDE YARD SETBACKS TO BE 5' MINIMUM
c. DEVIATIONS FOR 27% PARKING REDUCTION, FROM 78 SPACES TO 57 SPACES
4. BUILDING DATA:
FIVE (5) STORY BUILDING WITH THREE (3) LEVELS OF UNDERGROUND PARKING FOR RENTAL COMMUNITY HOUSING WITH SHARED LIVING & OUTDOOR OPEN SPACE
BUILDING HEIGHT: 56'-0" WITH DEVIATION REQUESTED FOR ELEVATOR OVERHEAD AT 58'-3" TO ALLOW ACCESSIBLE ACCESS TO ROOFTOP AREA
BEDROOM SUITES: 128
COMMON ACCESSIBLE BATHROOM: 5
OFFICE: 1
LAUNDRY ROOM: 5
5. GARAGE/UNDERGROUND PARKING DATA:
PROPOSED NUMBER OF OFF-STREET HANDICAPPED PARKING: 3 SPACES
PROPOSED NUMBER OF OFF-STREET STANDARD PARKING: 54 SPACES
TOTAL: 57 SPACES
PROJECT WILL PROVIDE FOR FORTY (40) BICYCLE SPACES.
PROJECT WILL PROVIDE FOR EIGHT (8) MOTORCYCLE SPACES.
6. SEWER AND WATER SERVICES:
SEWER AND WATER SERVICES ARE PROVIDED BY THE CITY OF SAN DIEGO, ON-SITE SEWER AND WATER SYSTEMS WILL BE PRIVATE AND SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARDS AND UNIFORM PLUMBING CODE.
7. DRAINAGE SYSTEM:
WATER WILL BE DISPOSED OF BY SURFACE FLOW AND UNDERGROUND STORM DRAIN SYSTEM. THE DRAINAGE SYSTEM SHOWN IS CONCEPTUAL, THE FINAL DRAINAGE DESIGN SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARDS.
8. SERVICES:
THE GAS AND ELECTRIC POWER IS PROVIDED BY SAN DIEGO GAS AND ELECTRIC COMPANY. THE TELEPHONE SERVICE IS PROVIDED BY SBC COMMUNICATIONS. SCHOOL SERVICE IS PROVIDED BY SAN DIEGO UNIFIED SCHOOL DISTRICT. FIRE SERVICE IS PROVIDED BY THE CITY OF SAN DIEGO FIRE DEPARTMENT.
9. GRADING AND LANDSCAPING:
THE PROPOSED PRELIMINARY GRADING IS SUBJECT TO REVISIONS DURING FINAL DESIGN. CUT OF APPROXIMATELY 11,600 CUBIC YARDS AND FILL OF APPROXIMATELY 0.00 CUBIC YARDS OF MATERIAL WILL BE REQUIRED ON SITE. CUT AND FILL QUANTITIES ARE SUBJECT TO CHANGE DURING FINAL DESIGN. THE MAXIMUM SLOPE GRADIENT WILL BE 2:1. ALL SLOPES SHALL BE ROUNDED IN ACCORDANCE WITH CITY DESIGN STANDARDS. ALL CUT AND FILL BANKS WILL BE PROPERLY LANDSCAPED, IRRIGATED AND MAINTAINED, IN ACCORDANCE WITH CITY STANDARDS.
10. CONTOURS SHOWN WERE DERIVED FROM AN AERIAL TOPOGRAPHY DATED 10-29-15 BY SAN-LQ AERIAL SURVEYS AND JP ENGINEERING, INC..
11. ENGINEER OF WORK:
JP ENGINEERING, INC.
4849 RONSON COURT, SUITE 105
SAN DIEGO, CA 92111
TELEPHONE: (619) 569-7377

NOTES

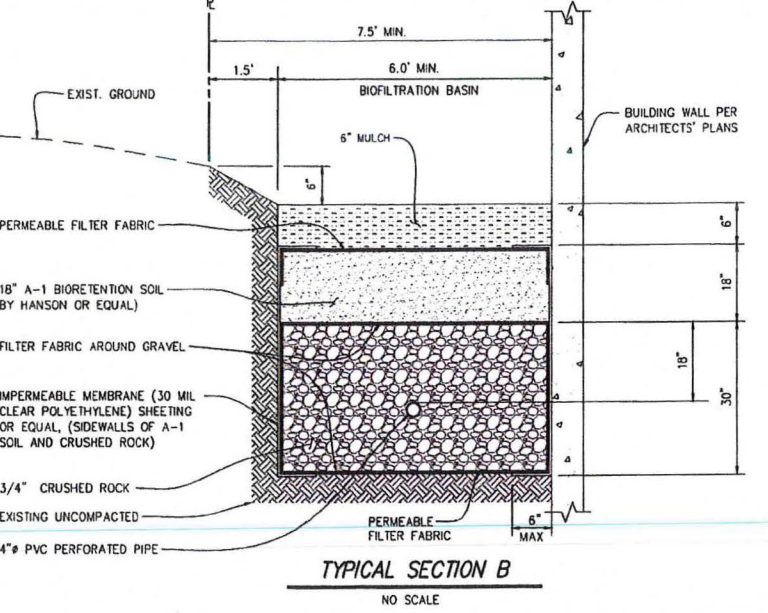
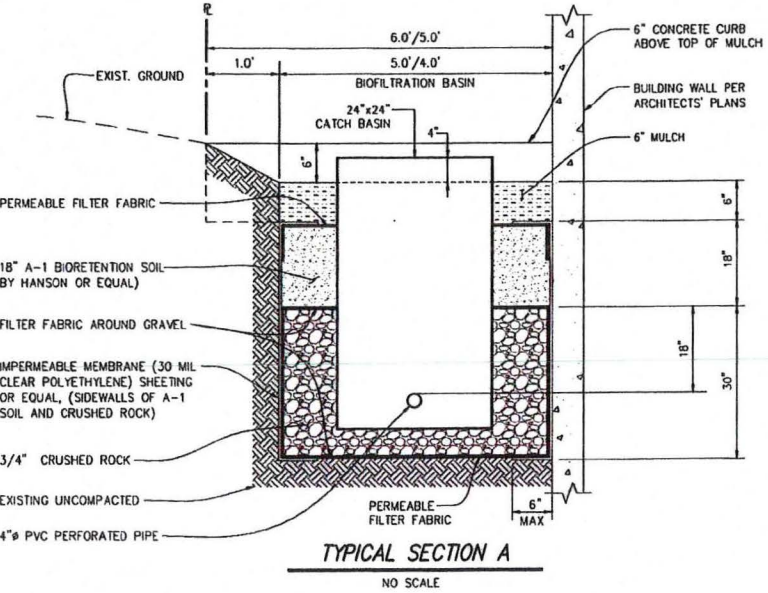
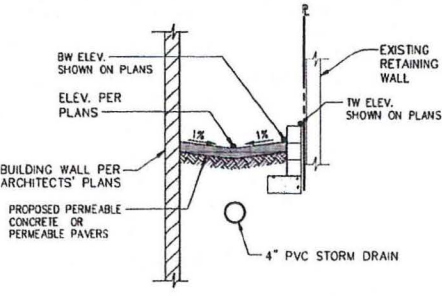
1. ALL DRIVEWAYS SHALL CONFORM TO MUNICIPAL CODE SECTION 142.0560 (J)(9)(c) AND DIAGRAM 142-05D. DRIVEWAY SLOPES GREATER THAN 14% SHALL HAVE TRANSITIONS FOR THE FIRST AND LAST 8 FEET OF THE RAMP. A DETAILED DRIVEWAY PROFILE WILL BE SHOWN IN THE FINAL CONSTRUCTION PLANS TO VERIFY THE PROPOSED DRIVEWAY WILL ADHERE TO THE MUNICIPAL CODE.
2. VISIBILITY AREA TRIANGLES DETAILS SHALL BE SHOWN IN THE FINAL CONSTRUCTION PLANS AT THE DRIVEWAYS PER MUNICIPAL CODE SECTION 113-0273, DIAGRAM 113-0255. THE VISIBILITY AREA SHALL EXTEND 10 FEET INWARD ONTO PRIVATE PROPERTY ALONG THE DRIVEWAY AND ALONG THE PROPERTY LINE. NO OBSTRUCTION, INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
3. THE DEVELOPER SHALL UNDERGROUND PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE.
4. THE COLOR OF THE RETAINING WALLS SHALL BLEND WITH THE NATURAL TERRAIN AND THE COLOR OF THE STRUCTURES ON THE SITE.
5. THE MINIMUM TREE OR SHRUB SEPARATION DISTANCES SHALL BE AS FOLLOWS:
- TRAFFIC SIGNAL, STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES (EXCEPT SEWER) - 5 FEET
- SEWER LINES - 10 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FEET
6. BUILDING ADDRESS:
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SDMC SECTION 95.0209
7. BUS STOPS:
BUS STOPS ARE LOCATED IN THE VICINITY OF THE DEVELOPMENT.
8. TRASH RECEPTACLES:
TRASH RECEPTACLES WILL BE LOCATED IN EACH FLOOR WITH MAIN STORAGE FOR REFUSE AND RECYCLEABLE MATERIAL ON GARAGE LEVEL 1.
9. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
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Revision 3: FEBRUARY 22, 2017
Revision 2: JANUARY 30, 2017
Revision 1: DECEMBER 12, 2016

Original Date: JUNE 30, 2016

Sheet 1 **of** 3

DEPT PTS NO. 501449

W.O. No. 24006849

BENCH MARK

DESCRIPTION: BRASS PLUG

LOCATION: NORTHWEST CORNER OF MONTEZUMA ROAD AND E. FALLS VIEW DR.

RECORD FROM: CITY OF SAN DIEGO

ELEVATION: 459.201

DATE: M.S.L.

VEGETATED SWALE DETAIL
NO SCALE

TYPICAL SECTION C
NO SCALE

FOR LOCATION OF TYPICAL SECTIONS SEE SHEET C-3

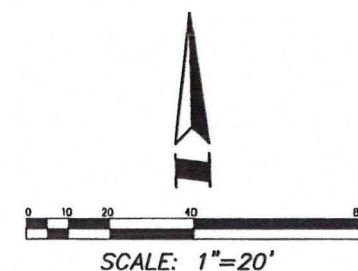
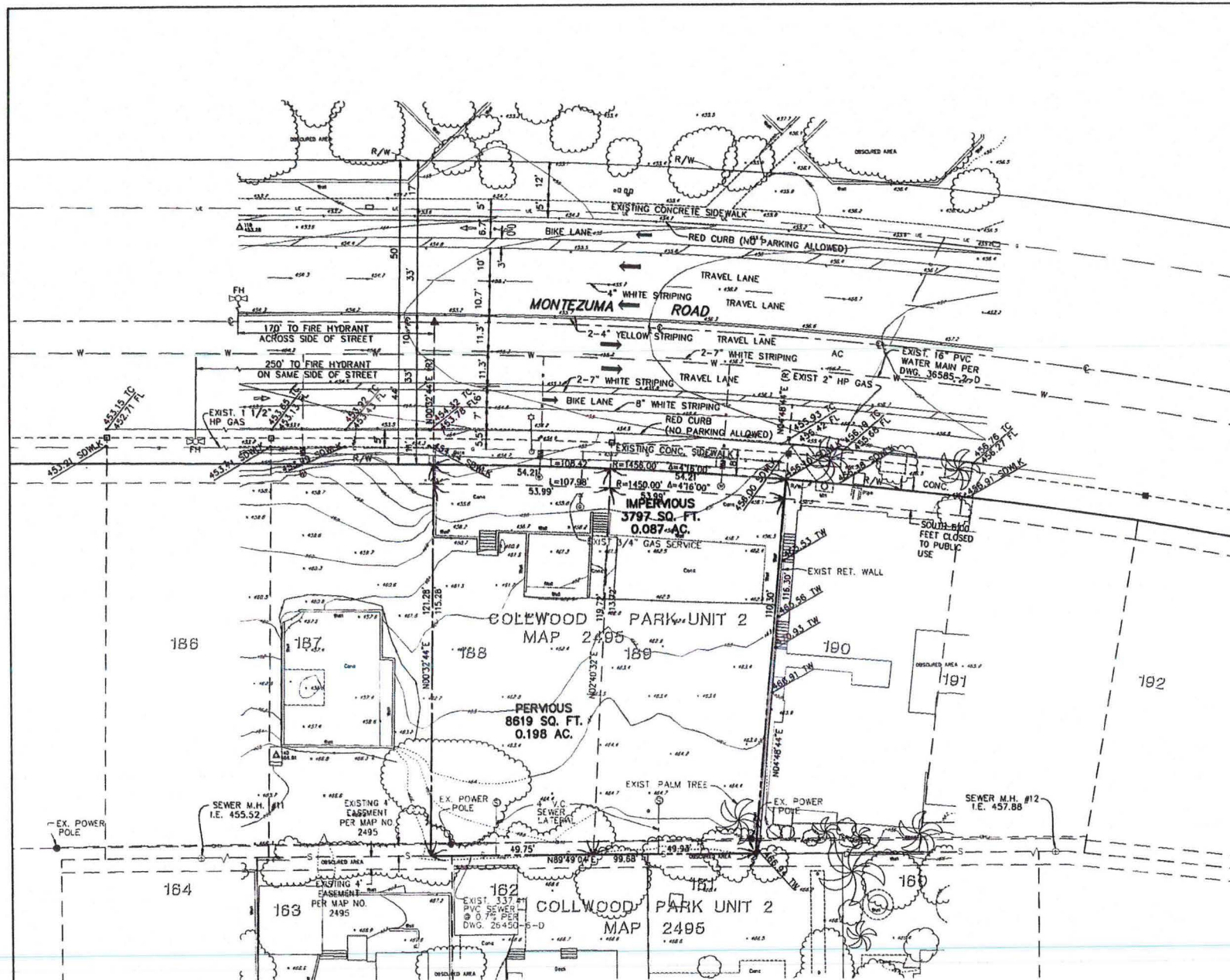
DESIGNER JHP
DRAWN JHP
CHECKED JHP
DATE 05-01-17

BY JHP
NO. 32031
DATE 05-01-17

PROJECT NAME: 6213 MONTEZUMA MULTI-FAMILY
PROJECT NO.: 467-171-28-00 & 467-171-29-00
APN: 467-171-28-00 & 467-171-29-00
PROJECT NO.: 999-15

SHEET C-1
PROJECT NO. 999-15

CIVIL ENGINEERING • LAND PLANNING • SURVEYING • 4849 RONSON COURT, SUITE 105, SAN DIEGO, CA 92111 • (858)569-7377 FAX (858)569-0830

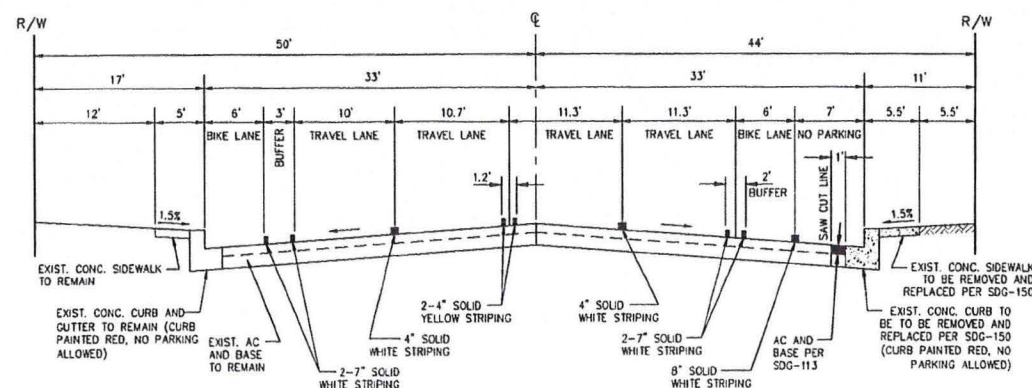


<u>LEGEND</u>	
PROPERTY BOUNDARY	---
RIGHT OF WAY	---
ADJACENT LOT LINE	---
EXISTING CONTOUR LINE	455
EXISTING CONCRETE CURB	CONC.
EXISTING CONCRETE SIDEWALK	AC
EXISTING AC DRIVEWAY	---
EXISTING RETAINING WALL	---
EXISTING TOP OF CURB ELEVATION	455.93 T.C.
EXISTING FLOWLINE ELEVATION	455.42 F.L.
EXISTING TOP OF WALL ELEVATION	465.53 T.W.
EXISTING SPOT ELEVATION	x 456.7
EXISTING FENCE	X
EXISTING ROOF OVERHANG	---
EXISTING EASEMENT	---
EXIST CENTERLINE	C
EXISTING FIREHYDRANT	⊕
EXISTING WATER MAIN	M
EXISTING SEWER MAIN	S
EXISTING GAS MAIN	G
EXISTING OVERHEAD ELECTRICAL	OHU
EXISTING UNDERGROUND ELECTRICAL	LE
EXISTING SEWER MANHOLE	⊕
EXISTING POWER POLE	⊗
EXISTING WATER SERVICE AND METER BOX	WM
EXISTING SEWER LATERAL	S
EXISTING GAS SERVICE	G
FOUND LEAD AND DISC STAMPED "LS 8733" PER CORNER RECORD 33586	■
FOUND LEAD AND TACK PER MAP 2495	□
FOUND 5/8" SQUARE PIN PER CORNER RECORD 33586	●
FOUND STREET SURVEY MONUMENT PER R.O.S. 6770	▲

TOTAL PROJECT SLOPE ANALYSIS				IMPACTS BY GRADING	
LEGEND	SLOPE	AREA (SQ.FT.)	PERCENT(%) OF AREA	ENCROACHMENT AREA (SQ. FT.)	PERCENT(%) OF SLOPE AREA
	0-25%	12,416	100%	12,416	100%
	TOTAL	12,416			

PROPERTY AREA: 12,416 SQUARE FEET = 0.285 AC

TOPOGRAPHY SOURCE
CONTOURS AND ELEVATIONS WERE DERIVED FROM AN AERIAL TOPOGRAPHY DATED 10-29-15 BY SAN-LO AERIAL SURVEYS AND JP ENGINEERING, INC.



EXISTING TYPICAL SECTION-MONTEZUMA ROAD
NO SCALE

BENCH MARK

DESCRIPTION: BRASS PLUG

LOCATION: NORTHWEST CORNER OF MONTEZUMA ROAD
AND E. FALLS VIEW DR.

RECORD FROM: CITY OF SAN DIEGO

FLUATION: 459.201 DATUM: M.S.L.



Prepared By:	_____	Revision 14:	_____
Name:	<u>J.P. ENGINEERING, INC.</u>	Revision 13:	_____
Address:	<u>4849 Ronson Court, Suite 105</u>	Revision 12:	_____
	<u>SAN DIEGO, CA 92111</u>	Revision 11:	_____
Phone #:	<u>(858) 569-7377</u>	Revision 10:	_____
FAX #:	<u>(858) 569-0830</u>	Revision 9:	_____
	_____	Revision 8:	_____
	_____	Revision 7:	_____
	_____	Revision 6:	_____
Project Address:	_____	Revision 5:	<u>APRIL 10, 2017</u>
	<u>6213-6219 Montezuma Road</u>	Revision 4:	<u>MARCH 09, 2017</u>
	<u>San Diego, California 92115</u>	Revision 3:	<u>FEBRUARY 22, 2017</u>
	_____	Revision 2:	<u>JANUARY 30, 2017</u>
	_____	Revision 1:	<u>DECEMBER 12, 2016</u>

Project Name: 6213 Montezuma Multi-Family

Sheet Title:
PROPERTY BOUNDARY, EXISTING TOPOGRAPHY
EXISTING EASEMENTS AND SLOPE ANALYSIS

Original Date: JUNE 30, 2016

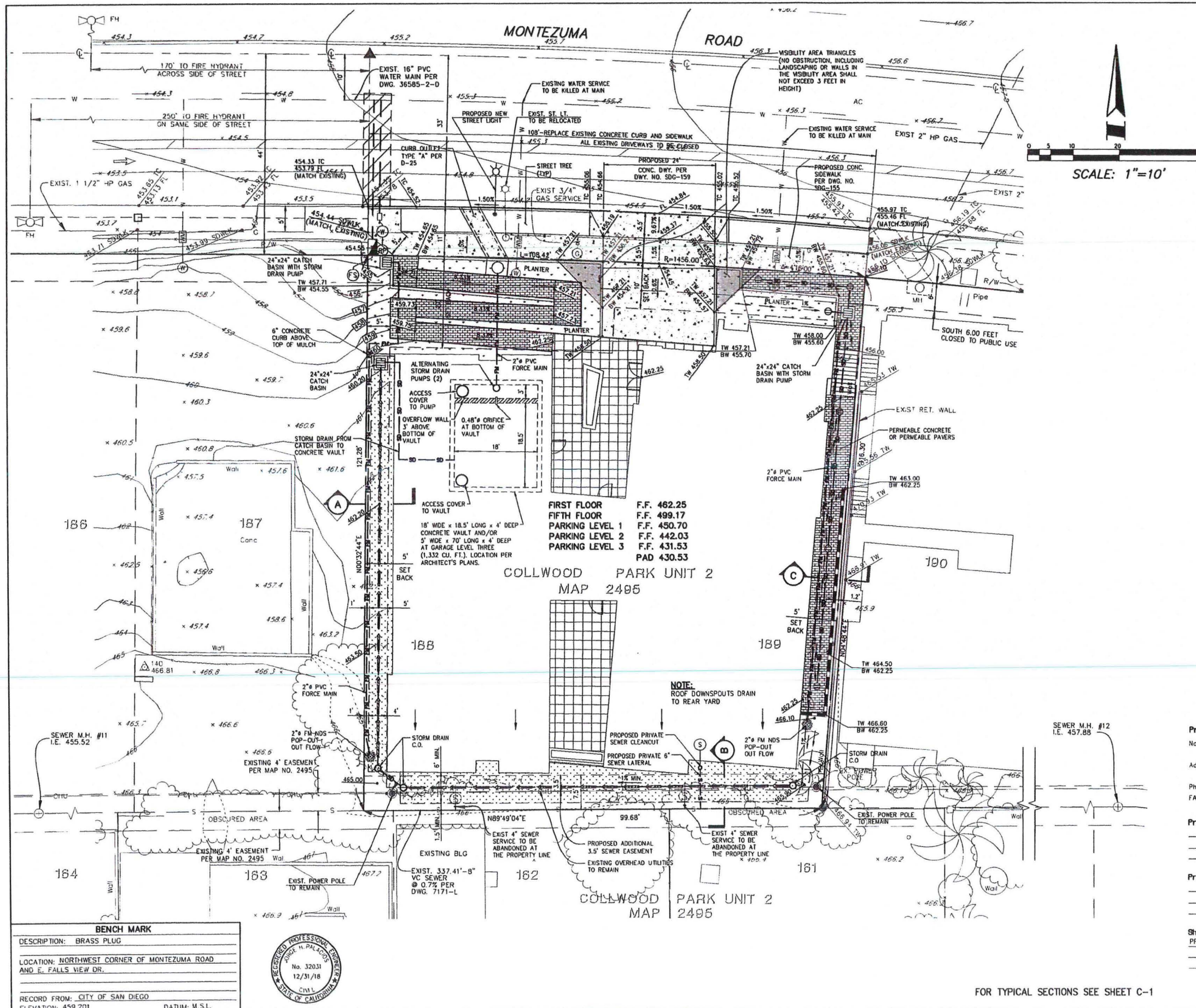
Sheet 2 of 3

DEPT. PTS NO. 501449

W.O. No. 24006849

C-2

L.C. 220-1748	CCS 1880-6308
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IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPERTY BOUNDARY		
PROPOSED CONCRETE CURB AND GUTTER	SDG-151	
PROPOSED SEWER EASEMENT		
PROPOSED CONCRETE SIDEWALK	SDG-155	
PROPOSED TRENCH RESURFACING TYPE A	SDG-107	
PROPOSED PERMEABLE CONCRETE OR PERVIOUS PAVERS		
PROPOSED BIOFILTRATION AREA		
PROPOSED CONCRETE DRIVEWAY	SDG-159	
PROPOSED PRIVATE CURB OUTLET TYPE 'A'	D-25	
PROPOSED PRIVATE 4"/8" FIRE SERVICE WITH BACKFLOW PREVENTER DIVIDE	SDW-118, SDW-105	
PROPOSED 2" WATER SERVICE	SDW-135, SDW-149, WS-03	
PROPOSED PRESSURE BACKFLOW PREVENTER DEVICE	SDW-155	
PROPOSED PRIVATE 6" SEWER LATERAL	SDS-101, SDS-105, SDS-110	
PROPOSED PRIVATE SEWER CLEANOUT	SDS-103	
PROPOSED STREET LIGHT		
PROPOSED FINISHED FLOOR ELEVATION		F.F. 482.25
PROPOSED TOP OF CONCRETE CURB ELEVATION		TC 454.25 454.80
PROPOSED SPOT ELEVATION		
PROPOSED MASONRY RETAINING WALL		
PROPOSED TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION		463.00 TW 462.25 BW
PROPOSED 24"x24" CATCH BASIN		
PROPOSED CATCH BASIN		
PROPOSED STORM DRAIN PIPE		
PROPOSED ORIFICE STORM DRAIN PIPE (0.48")		
PROPOSED CONTOUR ELEVATION		
PROPOSED VEGETATED SWALE		
DIRECTION OF FLOW		
PROPOSED 4" PVC PERFORATED PIPE		
PROPOSED STORM DRAIN CLEANOUT	SDS-103	
PROPOSED 2" PVC FORCE MAIN		
PROPOSED 2" FM NDS POP-OUT		

GRADING DATA:

- TOTAL AMOUNT OF SITE TO BE GRADED: 0.285 ACRES.
- PERCENT OF TOTAL SITE GRADED: 100%
- AMOUNT OF CUT: 11,600 CUBIC YARDS.
- AMOUNT OF FILL: 0 CUBIC YARDS.
- MAXIMUM HEIGHT OF FILL SLOPE(S): 0 FEET 0 SLOPE RATIO.
- MAXIMUM HEIGHT OF CUT SLOPE(S): 36 FEET SHORING SLOPE RATIO.
- AMOUNT OF EXPORT SOIL: 11,600 CUBIC YARDS.
- RETAINING/CRIB WALLS: HOW MANY: 4
MAXIMUM LENGTH: 110 FEET
MAXIMUM HEIGHT: 5.2 FEET

red By:

J.P. ENGINEERING, INC.

4849 Ronson Court, Suite 105

SAN DIEGO, CA 92111

(858) 569-7377

(858) 569-0830

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: MAY 1, 2017

Revision 5: APRIL 10, 2017

Revision 4: MARCH 09, 2017

Revision 3: FEBRUARY 22, 2017

Revision 2: JANUARY 30, 2017

Revision 1: DECEMBER 12, 2016

Address:

6213-6219 Montezuma Road

San Diego, California 92115

Name:

6213 Montezuma Multi-Family

Original Date: JUNE 30, 2016

Sheet 3 of 3

DEP# PTS NO. 501449

W.O. No. 24006849

C-3

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS)	25 FEET
SEWER LINES	10 FEET

TREE SEPARATION NOTES:

1. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC WATER AND SEWER FACILITIES.
2. TREES INSTALLED WITHIN 10 FEET OF PRIVATE WATER LINES SHALL HAVE A ROOT BARRIER (BIO-BARRIER, 19.5" DEPTH) INSTALLED ADJACENT TO LINE FOR PROTECTION FROM TREE ROOTS

NOTE: ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX. ALL REQUIRED REVEGETATION AND EROSION COMMENTS SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

PER THE CITY OF SAN DIEGO PUD-WATER & SEWER DEVELOPMENT COMMENTS ISSUE NUMBER 8, "NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 5 FEET OF ANY PUBLIC WATER FACILITIES OR WITHIN AND 10 FEET OF ANY PUBLIC SEWER FACILITIES."

LANDSCAPE CALCULATIONS

SUMMARY OF LANDSCAPE CALCULATIONS
LANDSCAPE CALCULATIONS FOR 6213 MONTEZUMA
STREET TREES IN PUBLIC RIGHT-OF-WAY
 Length of street - width of driveway = 85'
 Required: 4 Trees (provided at a rate of one per 20ft)
 Provided: 2 Palms & 2 Trees

*STREET YARD

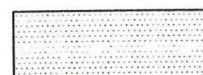
Total Area 1,942 s.f.
 Planting Area required 971 s.f. - 243 s.f.* = 728 s.f.
 Planting Area provided = 660 s.f. + 72.8 s.f.** = 732.8 s.f.
 (includes planting area provided and unattached unit pavers/enhanced hardscape outside of VUA)

728 s.f. (required)* of which 72.8 s.f.** outside of VUA (driveway) can be unattached unit pavers/enhanced hardscape (as defined by SDMC 113.0103)

Plant Points Required 97.1,
 Plant Points Provided 429 - 243** = 186 points
 Points achieved through Trees: 80

*Per SDMC 142.0405(A)(3), a point score in excess of that required for a yard area may be used to reduce the planting area required for that yard at a rate of one square foot of area reduction for each excess point provided. The Maximum planting area reduction allowed by this section is 25% of the total yard area required.

**142.0405(b)(1)(B), Up to 10% of the required street yard planting area located outside of the Vehicular-Use Area for multiple dwelling unit residential development may consist of hardscape or unattached unit pavers.



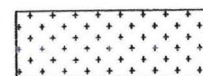
STREET YARD

1,942 SQ. FT.



REMAINING YARD

2,007 SQ. FT.



VEHICULAR USE AREA

556 SQ. FT.



LANDSCAPE IN THE VUA

149 SQ. FT.

Landscape Calculations Worksheet
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

Draw the following: 1/2" = 1'-0" (1/4" = 1'-0" for 1/4" scale) 1/4" = 1'-0" (1/8" = 1'-0" for 1/8" scale) 1/8" = 1'-0" (1/16" = 1'-0" for 1/16" scale) 1/16" = 1'-0" (1/32" = 1'-0" for 1/32" scale) 1/32" = 1'-0" (1/64" = 1'-0" for 1/64" scale) 1/64" = 1'-0" (1/128" = 1'-0" for 1/128" scale) 1/128" = 1'-0" (1/256" = 1'-0" for 1/256" scale) 1/256" = 1'-0" (1/512" = 1'-0" for 1/512" scale) 1/512" = 1'-0" (1/1024" = 1'-0" for 1/1024" scale) 1/1024" = 1'-0" (1/2048" = 1'-0" for 1/2048" scale) 1/2048" = 1'-0" (1/4096" = 1'-0" for 1/4096" scale) 1/4096" = 1'-0" (1/8192" = 1'-0" for 1/8192" scale) 1/8192" = 1'-0" (1/16384" = 1'-0" for 1/16384" scale) 1/16384" = 1'-0" (1/32768" = 1'-0" for 1/32768" scale) 1/32768" = 1'-0" (1/65536" = 1'-0" for 1/65536" scale) 1/65536" = 1'-0" (1/131072" = 1'-0" for 1/131072" scale) 1/131072" = 1'-0" (1/262144" = 1'-0" for 1/262144" scale) 1/262144" = 1'-0" (1/524288" = 1'-0" for 1/524288" scale) 1/524288" = 1'-0" (1/1048576" = 1'-0" for 1/1048576" scale) 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JAMES P. BENEDETTI
LANDSCAPE ARCHITECT
4403 MANCHESTER AVE., SUITE 201
SAN DIEGO, CA 92115
TEL: 619-584-0644 FAX: 619-584-0645

JPBIA

Professional Seal: JPBIA, James P. Benedetti, Landscape Architect, No. 12345, State of California, Exp. Date 12/31/2018

25 Years design and construction experience. JPBIA is a member of the International Association of Landscape Architects (IALA) and the California Landscape Architects Association (CLAA). JPBIA is a member of the San Diego Chapter of the International Association of Landscape Architects (IALA) and the San Diego Chapter of the California Landscape Architects Association (CLAA). JPBIA is a member of the San Diego Chapter of the International Association of Landscape Architects (IALA) and the San Diego Chapter of the California Landscape Architects Association (CLAA).

MULTI-FAMILY DEVELOPMENT
6213 MONTEZUMA ROAD
SAN DIEGO, CA 92115

REVISIONS

1ST SUBMITTAL
xx/xx/xx

Phase: _____

Date: 7/8/16

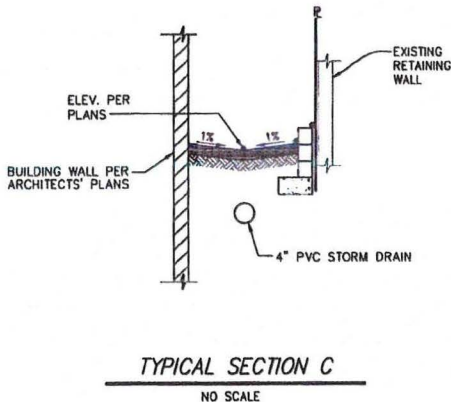
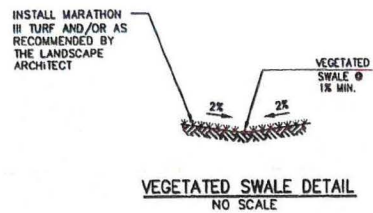
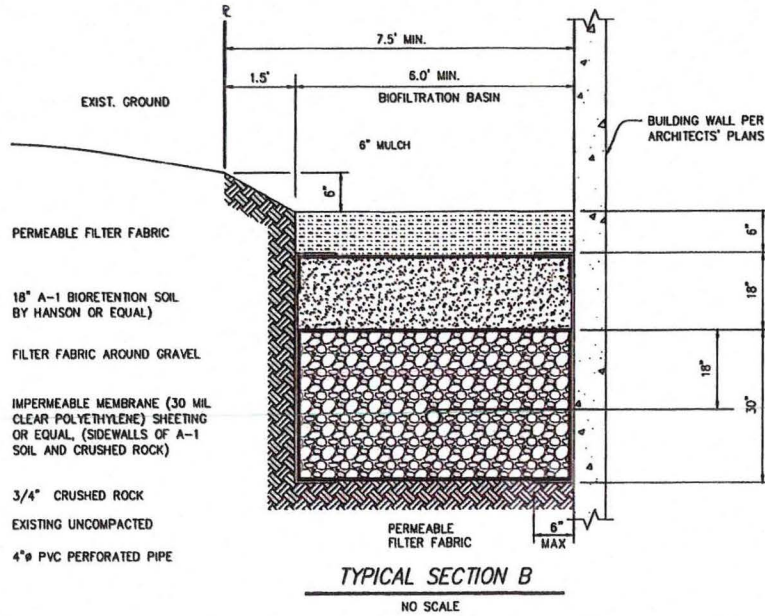
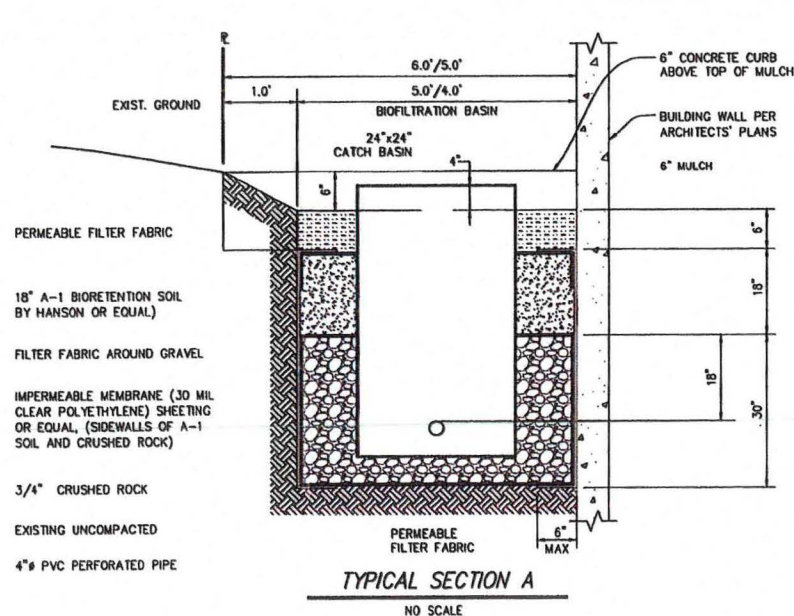
Reviewed by: JPB

Drawn: JVS/DRB

Job No.: 2016-32

Sheet Title
**LANDSCAPE
DETAILS**

Sheet
LC-4
Of 4 Sheets



MAINTENANCE RESPONSIBILITY NOTE:

THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE AND WITHIN THE ADJACENT RIGHTS-OF-WAY. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY, VIGOROUSLY GROWING CONDITION, AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING AND TRIMMING. IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.

IRRIGATION NOTE:

ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE. ALL IRRIGATED AREAS SHALL RECEIVE UNIFORM COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED UNDERGROUND PIPED IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART AUTOMATIC CONTROLLER WITH MASTER VALVE AND RAIN SHUTOFF CAPABILITIES. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED IN ACCORDANCE WITH LOCAL AND REGIONAL STANDARDS. REMOTE CONTROL VALVES SHALL BE UTILIZED WITH LOW PRECIPITATION HEADS FOR REDUCED WATER CONSUMPTION. PRESSURE COMPENSATING DRIP AND LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED WHERE APPLICABLE. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVC INSTALLED BELOW GRADE PER LOCAL AND REGIONAL STANDARDS. AN AUTOMATIC, WATER EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.

LANDSCAPE NOTE:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
- TREES PLANTED WITHIN 5 FEET OF WALKS, CURBS OR PAVING SHALL BE PLANTED WITH A ROOT BARRIER (BIO-BARRIER).
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES.
- IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS ARE DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS BY THE OWNER/PERMITTEE.
- ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS. ANY REQUIRED PLANT MATERIAL THAT DIES POST-CONSTRUCTION SHALL BE REPLACED AT SIZES AND QUANTITIES SET FORTH UNDER 142.0403(b)(8).
- IN THE EVENT THE ROADS ARE WIDENED, THE EXISTING STREET TREES SHALL BE RELOCATED TO THE SATISFACTION OF THE CITY OF SAN DIEGO'S DEVELOPMENT SERVICES.
- NO BRUSH MANAGEMENT SHALL BE REQUIRED FOR THIS PROJECT.



BASIC NATIVE EROSION CONTROL MIX

This mix of annual native California species has been formulated for rapid growth in the lower rainfall climates and varied soil types of Central and Southern California. For this reason, it is the best choice for permanent or temporary cover in areas that may not support perennial natives without the addition of irrigation or soil amendments. These seeds are adapted to our climates and plant communities and can be used around sensitive native habitat and in conjunction with other species, including wildflowers, without the fear of native gene contamination.

SPECIES	COMMON NAME	BULK #/ACRE	MIN % PLS*
<i>Bromus carinatus</i> 'Cucamonga'	Cucamonga bromo	20.00	85
<i>Festuca microstachys</i>	Small fescue	8.00	85
<i>Trifolium wildenowii</i>	Tomcat clover	4.00	85
		32.00	

* MIN % PLS (Pure Live Seed) = Seed Purity x Germination Rate

If the site is hydraulically seeded, we suggest the following slurry components:

Conwed 1000 Wood Fiber Mulch	2,000 lbs/acre
Hydopost Premium Compost	1,000 lbs/acre
BioSol Forte 7-2-1 Organic Fertilizer	500 lbs/acre

Seed:	32 lbs per acre
Height:	24-36 inches
Emergence:	10-15 days
Establishment:	45 days to 90% cover after emergence

For additional plant characteristics visit the plant database portion of our website at www.sssseeds.com.

PO BOX 1275 CARPINTERIA, CA 93014 USA * PH: 805/684-0436 * FAX: 805/684-3798
E-MAIL: INFO@SSSEEDS.COM WEBSITE: WWW.SSSEEDS.COM

HYDROSEED MIX

ROOT BARRIER NOTE:

ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 19.5" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

Underground Service Alert
Call: TOLL FREE
1-800
227-2600



CAUTION: Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The center will inform you of whom they will notify.

SCALE: 1"=10'-0"



College Area Community Planning Board

P.O. Box 15723, San Diego, CA 92175

<http://www.collegearea.org/cacc/>

info@collegearea.org

Mr. Derek Johnson
Planning Department
City of San Diego
M.S. 501
1222 First Avenue 92010

July 17, 2017

Ref: Project # 501449: 6213 Montezuma PDP/CUP: 128 Units

Dear Mr. Johnson,

The College Area Community Planning Board voted on July 12, 2017, by a vote of 16 to 3, to recommend conditional approval of the subject project if, *and only if*, the following conditions are met:

1. This project is recognized by the City and the applicant as a hybrid development, neither traditional multifamily housing nor qualified dormitory, since the units do not contain kitchens but the project *does not meet the standards for off-campus dormitories* set forth in City Code Section 141.0305, which requires official recognition by an affiliated college or university, an intent to limit occupancy to enrolled students of an affiliated college or university, and a parking agreement with the affiliated college or university for all required parking spaces not provided on site. Since this project does not meet the legal qualifications to be designated as a dormitory, *this project is not a dormitory and does not qualify for any waiver of Development Impact Fees*. Thus, the full Development Impact Fee approved by City Council for College Area housing must be applied for each of the 128 units in this project.
2. The applicant agrees to build and maintain a landscaped median on Montezuma Road fronting the project, *subject to City determination that a median is feasible at this location on Montezuma Road*, and this maintenance obligation shall run with the land in event of transfer of the property,
3. The applicant agrees to covenant that the following restrictions shall be imposed on current and all future owners of the property:

- a. Access to the rooftop terrace shall be prohibited from eight p.m. to eight a.m., seven days per week, 52 weeks per year, and this prohibition shall be strictly enforced by the onsite manager.
 - b. All music, except music accessed through headphones, shall be prohibited on the rooftop terrace at all times, and this prohibition shall be strictly enforced by the onsite manager.
4. The applicant shall offer to neighbors in the abutting single-family homes, the back yards of which would immediately adjoin this project, trees of the neighbors' choosing, to partially mitigate the negative visual impact of the height and bulk of the adjacent monolithic, five-story wall, and partially mitigate the loss of privacy to the occupants of the houses.
5. This project shall be explicitly recognized by the City, as it is by the College Area Community Planning Board, as an experimental "pilot project", to determine the feasibility of this type of multifamily housing in San Diego, and *shall not set a precedent* for approval of future applications for multifamily housing or "off-campus dormitories" in the College Area.

Explanation of Conditions of Approval

1. Subject property does not qualify as a dormitory per San Diego Municipal Code (below, underlining added), and therefore must pay full development impact fees:

§141.0305 Fraternity Houses, Sorority Houses, and Student Dormitories: *Fraternity houses, sorority houses, and student dormitories are facilities that are designed or used as a residence for students enrolled at an institution of higher learning. Fraternity houses, sorority houses, and student dormitories may be permitted with a Conditional Use Permit decided in accordance with Process Three in the zones indicated with a "C" in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones) subject to the following regulations.*

(a) Fraternity houses, sorority houses, and student dormitories may be permitted only in the following locations:

- (1) Within an area specifically designated for these facilities by the applicable land use plan, or*
- (2) When the applicable land use plan does not contain a designated area, such facilities may be located within a 1-mile radius of the boundary of a college or university campus, in any of the following zones: RM3-7, RM-3-8, RM-3-9, RM-4-10, and RM-4-11.*

(b) If the facility is not located on a college or university campus, off-street parking shall be provided as follows:

- (1) At a rate of 1 parking space for each resident, or*
- (2) Through a parking agreement between the college or university with which the facility is affiliated and the applicant, which will allow the applicant to use college or university parking facilities to meet the parking requirement.*

(c) A resident manager is required to live on the premises.

(d) The facility must be officially recognized by the college or university.

(e) The frequency and duration of organized outdoor activities and social events shall be limited as needed to minimize adverse impacts on neighboring development.

We note the following:

- Facility has not been officially recognized as a dormitory by an affiliated college or university. San Diego State University has declined to recognize the facility as an SDSU dormitory, and project will not be managed by SDSU. Nearby Bethel Seminary has recognized the facility as a private development, not a dormitory.
- Applicant has no stated intent to limit occupancy to enrolled students of any particular college or university, and has no legal right to limit occupancy, since it is not a recognized dormitory.
- Facility has not met the parking requirements for an off-campus dormitory: It does not provide the required number of spaces, nor does it have a parking agreement with an affiliated university which will allow it to use college or university parking facilities to meet the parking requirement.
 - SDMC requires one parking space per resident (128 spaces), but staff has reduced the parking requirement to .68 spaces per resident, plus 16 guest spaces, based on the now defunct College Area Redevelopment Plan, for a required total of 78 resident spaces plus 16 guest spaces.
 - Applicant proposes to supply a total of only 57 spaces, and to meet the remaining parking requirement by requiring residents with cars who don't pay for one of the 57 spaces in the project to show evidence of purchase of an SDSU parking pass. Applicant also agrees to purchase 16 SDSU parking passes annually for guests.
 - SDSU has declined to enter into a parking agreement with the developer of the project, and has further stated that it *cannot guarantee the availability* of the required 37 parking spaces (21 for residents + 16 for guests) for the life of the project. Bethel Seminary has been silent on parking.

In summary, the project has neither official recognition as a dormitory, a stated intent to limit residents to enrolled students of an affiliated college or university, nor a parking agreement guaranteeing the availability of the required parking spaces at an affiliated college or university. Therefore, the proposed project is not a dormitory, and must pay the full Development Impact Fee for a 128-unit project, as would any other multifamily project. To allow otherwise would be to unfairly discriminate against other developers of multifamily housing in San Diego, subjecting the City to legal liability.

2. Construction and maintenance of landscaped median fronting property

The College Area Community Planning board is making efforts to beautify its major transportation corridors, and applicant has agreed to build and maintain a landscaped median fronting the property, provided the City finds that a median is feasible at this location.

3. Restrictions on use of rooftop terrace in perpetuity

The south boundary of this proposed project immediately adjoins the back yards of single-family, single story homes. Occupants of these houses will be subject to noise which carries from the rooftop terrace, infringing on their right of quiet enjoyment. The restrictions attempt to limit the negative impact of noise emanating from the rooftop terrace, which has a maximum capacity of about 70 persons.

4. Requirement for offer of back yard trees to owners of adjacent single-family properties

The rear elevation of this proposed project immediately abuts the back yards of single-family, single story homes. Occupants of these houses will be looking up at a looming 5-story building with a monolithic south face, and privacy in back yards and back facing windows will be negatively impacted. This requirement attempts to mitigate the negative visual and privacy impacts of the proposed project on adjacent single-family houses.

5. Conditional approval of this project does not set a precedent for approval of similar projects by the College Area Community Planning Board (CACPB) or the City of San Diego.

In the opinion of many on the CACPB, the proposed project is severely overbuilt for the size of the lot, and seriously under-parked, with no assurance of available future parking. However, CACPB recognizes that this is an innovative project which may contribute to solutions for housing affordability in San Diego, and recommends conditional approval with the understanding that this is a “pilot project” to test the waters of the marketability of this type of housing. In the opinion of many on the board, the project may have a negative impact on the quality of life of its occupants, as well as on the surrounding community.

Further, there is serious concern that if the parking requirement is reduced, as for a “dormitory”, and Development Impact Fees are reduced or waived due to a fictitious classification as a “dormitory”, every future multifamily development in the College Area will be proposed as a “dormitory”, with severe negative impacts on the community’s already impacted parking, and its ability to fund needed infrastructure to accommodate increased density. The unwarranted waiver or reduction of Development Impact Fees may also expose the City to accusations of favorable treatment for this project by other potential developers, and thus to legal liability.

Already, the CACPB has received inquiries from owners of nearby multifamily properties eager to emulate this model, and holding off on submission of plans until the outcome of this project is determined. If approved, we ask that the City explicitly clarify that this approval does not necessarily set a precedent for approval of similar projects.

Other concerns expressed by CACPB members included the following:

- The project violates the 4-story limit in this location set forth by the College Area Community Plan, and the building height exceeds the allowable height limit.

- There is grossly inadequate open space within the project design, necessitating the rooftop terrace as a means to meet open space requirements.
- The project has no designated loading zone, and occupants will be obliged to use the adjacent apartment building's loading zone on Montezuma Road for load-in, load-out.
- The left-turn in and out of the building approved by the City further exacerbates dangers on this busy street, which is heavily used during peak hours by parents dropping off and picking up their children at The Language Academy at 64th and Montezuma, as well as by ordinary commuters.

Thank you for your consideration of these concerns and conditions.

Sincerely,

Rhea Kuhlman, Chair
College Area Community Planning Board

Copies to:
Councilmember Georgette Gomez
Roberto Torres, District 9
Jim Jennings, Chair, CACPB Project Review Committee
Chris Elsey

"From: **Leslie Levinson** <llevinson@mail.sdsu.edu> Date: Wed, Jan 3, 2018 at 11:17 PM Subject: RE: Student Dormitory Recognition

To: Chris Elsey <chris@myprimeplace.com> Good Evening,

I checked with others at the University. Unfortunately, the answer was consistent – they no longer provide the recognition that you requested.

Good Luck with your project!

Date: Thu, Nov 2, 2017 at 5:59 PM Subject: Re: Student Dormitory Recognition To: Chris Elsey <chris@myprimeplace.com>

Hi Chris,

As I said on the phone, SDSU does not recognize or take a position on any dormitories, or other housing, other than those we own or operate ourselves.

While my opinion is admittedly not relevant to a municipal approval or permit, I would also note that other than the first time freshmen in SDSU's residence halls, I don't think our students are actually looking for dormitory type housing. They seem to want apartments with kitchens. My 2 cents.

Good luck with your project.

Bob **Robert Schulz, AIA** | San Diego State University

University Architect / Associate VP, Real Estate, Planning & Development | 619.594.6017 | robert.schulz@sdsu.edu

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☒ Land Use Plan Amendment • ☐ Other _____

Project Title: Montezuma PDP/CUP PTS No. 501449 **Project No. For City Use Only:** 501449
Project Address: 6219 Montezuma San Diego, Ca 92115

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? Kansas Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Elsey Partners LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 1532 College Ave. F19
 City: Manhattan State: KS Zip: 66502
 Phone No.: 785-317-5265 Fax No.: NA Email: chris@myprimeplace.com
 Signature: Chris Elsey Digitally signed by Chris Elsey
DN: cn=Chris Elsey, email=chris@myprimeplace.com, c=US, o=Chris Elsey
Date: 2018.08.24 15:52:42 -0400 Date: _____
 Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: Chris Elsey ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 1532 College Ave. F19
 City: Manhattan State: KS Zip: 66502
 Phone No.: 785-317-5265 Fax No.: _____ Email: chris@myprimeplace.com
 Signature: Chris Elsey Digitally signed by Chris Elsey
DN: cn=Chris Elsey, email=chris@myprimeplace.com, c=US, o=Chris Elsey
Date: 2018.08.24 15:52:42 -0400 Date: 7/24/2018
 Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

- (6) Off-street parking shall be provided at a rate of 1 space for every 2 employees.

(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)

(Amended 11-13-08 by O-19803 N.S; effective 12-13-2008.)

(“Employee Housing” renumbered from former Section 141.0303 and amended 8-4-2016 by O-20704 N.S.; effective 8-27-2016.)

§141.0305 Fraternity Houses, Sorority Houses, and Student Dormitories

Fraternity houses, sorority houses, and student dormitories are facilities that are designed or used as a residence for students enrolled at an institution of higher learning. Fraternity houses, sorority houses, and student dormitories may be permitted with a Conditional Use Permit decided in accordance with Process Three in the zones indicated with a “C” in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones) subject to the following regulations.

- (a) Fraternity houses, sorority houses, and student dormitories may be permitted only in the following locations:
- (1) Within an area specifically designated for these facilities by the applicable *land use plan*, or
 - (2) When the applicable *land use plan* does not contain a designated area, such facilities may be located within a 1-mile radius of the boundary of a college or university campus, in any of the following zones: RM-3-7, RM-3-8, RM-3-9, RM-4-10, and RM-4-11.
- (b) If the facility is not located on a college or university campus, off-street parking shall be provided as follows:
- (1) ~~At a rate of 1 parking space for each resident, or~~
 - (2) ~~Through a parking agreement between the college or university with which the facility is affiliated and the applicant, which will allow the applicant to use college or university parking facilities to meet the parking requirement.~~
 - (3) A Transportation Demand Management (TDM) Plan approved by the City Engineering Department.

- (c) A resident manager is required to live on the *premises*.
- ~~(d) The facility must be officially recognized by the college or university.~~
- (e) The frequency and duration of organized outdoor activities and social events shall be limited as needed to minimize adverse impacts on neighboring *development*.

(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)

(Amended 8-4-2011 by O-20081 N.S.; effective 10-6-2011.)

(“Fraternity Houses, Sorority Houses, and Student Dormitories” renumbered from former Section 141.0304 on 8-4-2016 by O-20704 N.S.; effective 8-27-2016.)

§141.0306 Garage, Yard, and Estate Sales

Garage, yard, and estate sales are permitted as a limited use in the zones indicated with an “L” in the Use Regulations Tables in Chapter 13, Article 1 (Base Zones) subject to the following regulations.

- (a) Garage, yard, and estate sales are permitted only as an *accessory use* to a permitted dwelling unit.
- (b) The number of sales per *premises* shall not exceed three per year.
- (c) Each sale shall not exceed two consecutive calendar days.

(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)

(“Garage, Yard, and Estate Sales” renumbered from former Section 141.0305 on 8-4-2016 by O-20704 N.S.; effective 8-27-2016.)