



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: August 16, 2018 REPORT NO. PC-18-048
HEARING DATE: August 23, 2018
SUBJECT: LIGHTHOUSE RIDGE. Process Four Decision
PROJECT NUMBER: [513356](#)
OWNER/APPLICANT: Lighthouse TG LLC, Owner/Latitude 33, Applicant

SUMMARY

Issue: Should the Planning Commission approve a thirteen-lot subdivision and the construction of 10, two-story, single-family dwelling units in the Carmel Valley Community Planning area?

Staff Recommendations

1. **ADOPT** Mitigated Negative Declaration No. 513356 and ADOPT the Mitigation, Monitoring and Reporting Program (MMRP); and
2. **APPROVE** Site Development Permit No. 1798552/Planned Development Permit No. 1818960; and
3. **APPROVE** Vesting Tentative Map No. 1798551.

Community Planning Group Recommendation: On March 22, 2018, the Carmel Valley Community Planning Board voted 8 to 0 to recommend approval of the project with conditions (Attachment 14).

Environmental Review: A Mitigated Negative Declaration No. 513356 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented, which will reduce the potential impacts to Biological Resources, Historical Resources (Archaeology), Paleontological Resources and Tribal Resources to a level of below significance.

Fiscal Impact Statement: All costs associated with this project are paid from a deposit.

Code Enforcement Impact: None.

Housing Impact Statement: According to the North City West (Carmel Valley) Community Plan, the proposed 4.74-acre site, with the exception of the 1.86 acres of open space, is designated for Very Low Density Residential emphasizing single family detached development with significant land area devoted to private yards and open space at 0-5 dwelling units per acre. However, within the North City West Development Unit 4A Precise Plan, the Very Low-Density portion of the project site is designated for 4.25 dwelling units per acre. This calculation excludes designated open space. Based on this designation, the project would be permitted to build 12 dwelling units. The project proposes 10, for-sale market-rate housing units. No affordable housing units are proposed. Per the City's Inclusionary Housing Ordinance, the applicant will be paying the in-lieu fee.

BACKGROUND

The 4.74-acre project site is located at the northern terminus of Lighthouse Way, east of Winstanley Way, and north of parcels that front on White Emerald Drive, in the Single Family (CVPD-SF1) and Open Space (CVPD-OS) zones of the Carmel Valley Planned District and the Carmel Valley Community Plan (Attachments 1, 2 and 3). The site is within Neighborhood 4a of the Carmel Del Mar Neighborhoods 4, 5, 6 Precise Plan and is designated for detached residential use and open space. Residential density in the western portion of the lot is allocated at 4.25 dwelling units per acre. The eastern portion of the lot is designated Open Space.

Single-dwelling-unit development surrounds the site to the north, west, south, and southeast. The neighborhood to the south is slightly higher in elevation, and topography slopes generally downward to the north and east across the previously-graded western portion of the site. The eastern portion of the site slopes more steeply downward to meet open space areas to the northeast (attachment 1). This open space area contains MHPA Subarea 111 adjacent to the project site. To the west is a manufactured and landscaped slope that descends to Winstanley Way, and to the northwest is a manufactured hillside that slopes downward, comprising the backyards of homes on Cheltenham Terrace.

The Carmel Valley Neighborhood 4a Precise Plan was adopted in 1987. This plan is intended to implement the Carmel Valley Community Plan and subsequent development plans, subdivisions, and other permits. The site was zoned CVPD-SF1 in 1989. The western portion of the site has been previously graded and used as construction staging for adjacent development. Parcels to the north and west are zoned SF-1 and are allocated at 3.2 dwelling units per acre in the Precise Plan. Parcels to the south are zoned SF-1 and are allocated at 4.25 units per acre. Parcels to the east are zoned SF-1A and are allocated at 4.25 units per acre, and parcels to the northeast are zoned and allocated as Open Space.

DISCUSSION

Project Description:

The Lighthouse Ridge project proposes 10 single dwelling units on the western portion of the project site, along with an extension of Lighthouse Way, an HOA-maintained lot (Lot "A"), and approximately 1.86 acres of open space on the eastern portion of the lot (Attachment 12).

Project grading is a mixture of cut and fill, with fill generally underlying lots 1-5, 8-10, and portions of proposed HOA Lot "A". Lots 6, 7, and the lower portion of Lot "A" are cut, and the eastern open space portion of the lot is not proposed for grading.

The project site's highest elevation 320 feet Above Sea Level (ASL) is at the northern terminus of Lighthouse Way at the southwestern corner of the site. The site slopes gently downward for the western 300 feet, then descends northeastward to reach a low point of approximately 225 feet ASL at the northeast corner of the lot. The ten residential lots and extension of Lighthouse Way will range from 320 feet ASL to 297 feet ASL, with a manufactured slope (HOA Lot "A") to the east of lots 9 and 10 descending to approximately 248 feet ASL.

Proposed residential lots range in size from 6,266 square feet (Lot 8) to 10,454 square feet (Lot 3), with an average size of 7,833 square feet. The project includes four "Plan 1" houses that are 3,756 square feet in floor area, and six "Plan 2" houses that are 4,515 square feet. All homes in each plan are two stories. Because lot sizes vary, floor area ratios range from 0.43 to 0.60, and lot coverages range from 33 to 43 percent.

Project Issues:

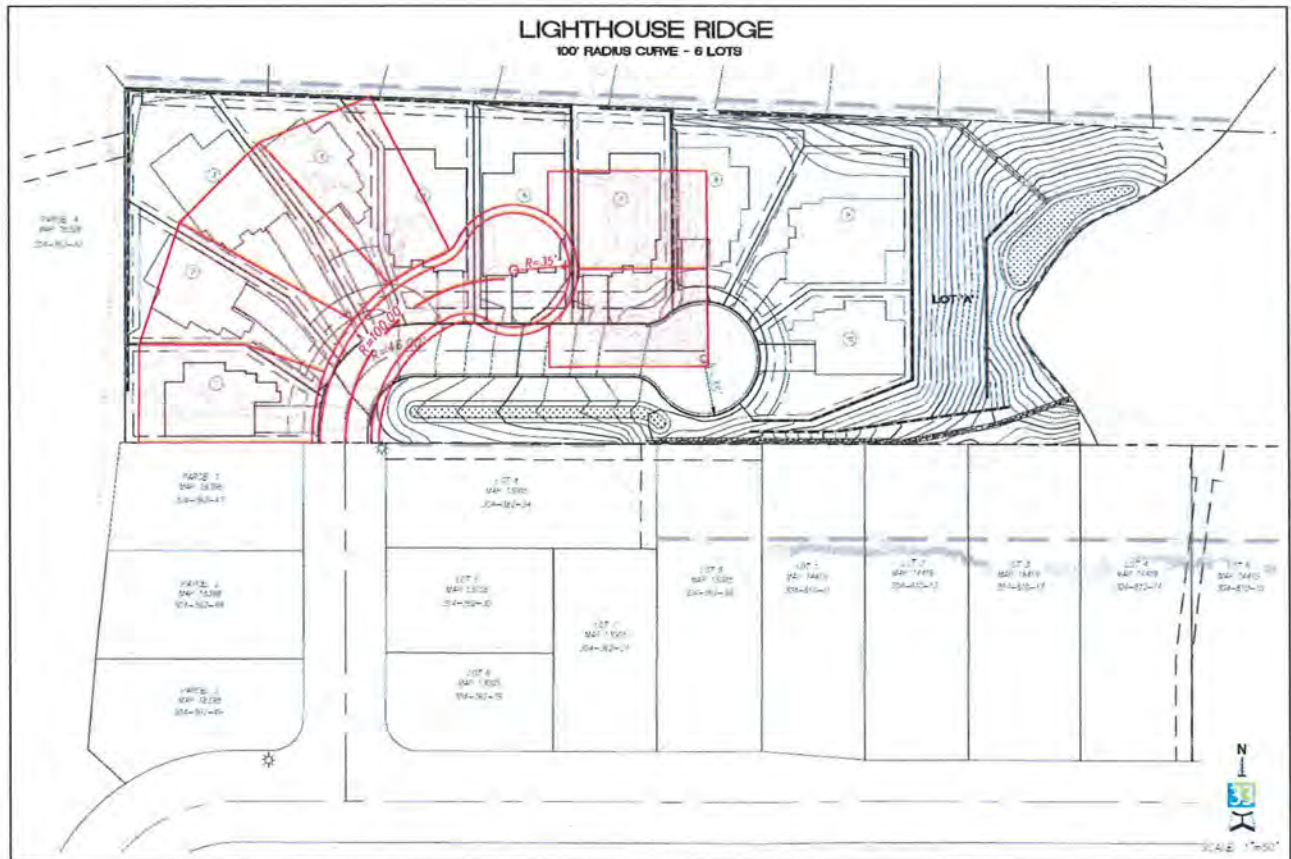
In response to concerns raised by neighbors, the proposed houses have been sited and designed to minimize bulk and scale, and to complement the surrounding area. The project site is adjacent to (but not a part of) a designated Multi-Habitat Planning Area (MHPA) to the northeast, which is land intended to be preserved to conserve significant biological resources. Environmentally Sensitive Lands (ESL) exist onsite in the form of steep hillsides and sensitive biology.

The project site ESL is in the form of sensitive biological resources and wetlands as defined by SDMC 143.0110. ESL regulations require the project to address impacts via the CEQA process, to be consistent with the Multiple Species Conservation Plan, provide wetland buffers, and require all biological resources outside the allowable development area to be preserved as open space. The project is conditioned to meet these requirements (Attachment 6).

Although the topography of the site is steep in places, the site is disturbed by previous grading activities and the area proposed for development is not considered a steep hillside as defined by SDMC 113.0103. The project has limited its proposed development footprint to these previously disturbed areas. Therefore, ESL requirements for steep hillsides are not applicable to this project.

A Planned Development Permit is required due to the request for a proposed private driveway, which results in a deviation from the required minimum of 50 feet of street frontage per lot on a publicly dedicated street. Each proposed lot will have a minimum of 50 feet of frontage on a proposed private driveway, not a publicly dedicated street. Tentative maps for the surrounding parcels were approved under regional design standards from decades prior and prior to the adoption of the current Street Design Manual. Under the current design standards, the required street geometry or radius curve makes it difficult to develop this infill site within the flat developable portion of the property. With the project's private driveway design, the streetscape design and public utilities will remain consistent with the overall intent of the Neighborhood Precise Plan and integrate seamlessly into the character of the community. The design of the proposed roadway is consistent with the existing design of roadways at multiple locations throughout the surrounding community. The existing roadway (Lighthouse Way) was left as a dead end and it was always anticipated that some form of single-family development would occur in the future. Therefore, the proposed project is an expected and sensible infill addition, matching the established development pattern of the surrounding neighborhood.

The graphic below illustrates in red a subdivision that would result if no deviation were granted and the subdivision complied with the current street geometry requirements of the Street Design Manual for a public street. Four fewer residential lots would result.



Requested Deviations			
SDMC	Development Standard	Required	Proposed
153.0302; Table 153-03A	Minimum Street Frontage Lot Dimension	50 feet min per SF1 Zone	No public street frontage provided
153.0303	Minimum Public Street Frontage	Requires frontage on a public street open to and usable by vehicular traffic	No public street frontage provided

Community Group Vote- On March 22, 2018, the Carmel Valley Community Planning Board voted 8 to 0 to recommend approval of the project on the condition that Lots 9 and 10 be deleted based on the conclusion those units/lots are in Open Space. Staff's response is that lots 9 and 10 are not within the Open Space based on the Zoning Information noted below.

Zoning Challenge Memo:

An official zoning challenge was filed by the applicant on April 5, 2017 (Attachment 10). Per the San Diego Municipal Code Section 131.0103 (b)(5) "where there is an obvious mistake [on the Official Zoning Maps] that can be corrected by reference to documents on file or by reference to the legislative record, the City Manager may identify the zone boundary." The Planning Department and the Development Services Department reviewed the applicable documents including the written rezone ordinance, C-sheet and the associated community plan information to determine that in fact an error had occurred and the zoning designation line needed to be corrected to accurately reflect the correct boundaries on the official zoning map.

On October 26, 2017 it was determined that the zoning information transferred from the C-sheet to the official zoning map contained an obvious error that extended an open space designation onto areas designated for residential development including the parcel now being proposed at Lighthouse Ridge. Given the error, the zoning challenge was approved to make the area consistent with the Official Zoning Map and the Carmel Valley Neighborhood Composite Plan Land Use since the existing open space and very low density residential boundaries differed on the two maps. No rezone is required because designated open space is not being impacted by the proposed development.

COMMUNITY PLAN ANALYSIS

The North City West (Carmel Valley) Community Plan is the parent document for guiding development in Carmel Valley. This Community Plan is then further broken down into more site specific precise plans with the North City West Development Unit 4A Precise Plan encompassing the Lighthouse Ridge project site. The land use designation for the project area is Very Low Density (0-5 dwelling units per acre), which is characterized by single family detached development with significant land area devoted

to private yards and open space. The project proposes single family detached housing consistent with the Community Plan. The project site also contains Natural Open Space, which the 4A Plan states should be retained in its native state. To ensure the long-term protection of the habitat, the project will deed the open space lot to the City and record a covenant of easement over it. When taking a closer look at the project through the Precise Plan, the Very Low-Density portion of the project site is designated for 4.25 dwelling units per acre, which is calculated excluding designated open space. The project is a total of 4.74 acres with 1.86 acres of open space, which gives it a total density of 3.47 dwelling units per acre. Though the development is below the recommended density, the Precise Plan provides design guidelines that encourage projects to create an identity that contributes to the overall character of the 4A neighborhood. The project provides a scale and architectural style consistent with the neighboring development. Therefore, the Lighthouse Ridge project conforms with the land use designation outlined in the North City West (Carmel Valley) Community Plan and the North City West Development 4A Precise Plan.

GENERAL PLAN ANALYSIS

The Urban Design Element of the General Plan focuses on preservation of designated open space, sensitive design neighboring the natural environment, architecture that contributes to community character and context, and creating attractive street frontages and landscaped environments. The project accomplished the intention of these policies through the covenant of easement of the open space, limiting the heights of retaining walls, providing plant material to soften the appearance of retaining walls, and creating a development that has a similar development character in scale and mass with the surrounding community. Therefore, the Lighthouse Ridge project also complies with the land use designation of residential as well as the policies in the Urban Design Element of the General Plan.

Environmental Analysis:

A Mitigated Negative Declaration (MND) was prepared for this project and circulated for public review from February 28, 2018 to March 28, 2018. The MND found that the project will not have a significant effect on the environment based on an Initial Study and project revisions/conditions which mitigate potentially significant environmental impacts in the areas of Biological Resources, Cultural Resources (Archaeology), Cultural Resources (Paleontology), and Tribal Cultural Resources.

Biology:

The project site is adjacent to land designated Multi-Habitat Planning Area (MHPA), and intended to be preserved to conserve significant biological resources. The proposed permit would require construction conform to the MHPA land use adjacency guidelines. In addition, the project is mapped as having sensitive biological resources, and will impact approximately 0.8 acres of sensitive habitats requiring mitigation (southern willow scrub, mule fat scrub, coastal sage-chaparral scrub, and non-native grassland). The project proposes an allowed payment into the Habitat Acquisition Fund (HAF) as mitigation for these impacts. The HAF is intended for use for the mitigation of impacts to small (generally less than five acres), isolated sites with lower long-term conservation value.

Five special status species have also been observed on the site: Belding's orange-throated whiptail, yellow-breasted chat, Nuttall's woodpecker, Allen's hummingbird, and coastal California gnatcatcher. The project will be conditioned to require a biological monitor to observe for these species during construction activities.

Archaeology and Tribal Cultural Resources:

The project is located in an area known to contain significant historical/archaeological resources. Although a cultural resources study prepared for the project did not identify prehistoric cultural resources on-site, and tribal consultation did not identify cultural resources onsite, archaeological and Native American monitoring of all earth-moving activities is required due to the presence of recorded cultural resources within a one-mile radius of the project area. The archaeological monitoring, and Native American monitoring as discussed in Section V of the MND, will serve as mitigation to reduce potential impacts below a level of CEQA significance.

Paleontology:

The project site is located on the Mission Valley Formation, which is considered to have a high sensitivity level for paleontological resources. Project grading quantities require paleontological monitoring to mitigate impacts below a level of CEQA significance.

CONCLUSION:

This proposed project was designed to comply with the development regulations of the underlying zone, Environmentally Sensitive Lands regulations and the Subdivision regulations. The proposed design utilizes a private driveway to access the site, to develop the least environmentally sensitive portion of the property and matches the established development pattern of the neighborhood. Staff has reviewed the request for a Site Development Permit, Planned Development Permit and Vesting Tentative Map and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code and has provided evidence to support the required findings. Therefore, staff recommends the Planning Commission approve Site Development Permit No. 1798552, Planned Development Permit No. 1818960 and Vesting Tentative Map No. 1798551.

ALTERNATIVES

1. Approve Site Development Permit No. 1798552, Planned Development Permit No. 1818960 and Vesting Tentative Map No. 1798551, with modifications, Adopt Mitigated Negative Declaration No. 513356 and Adopt the Mitigation, Monitoring and Reporting Program (MMRP), with modifications.
2. Deny Site Development Permit No. 1798552, Planned Development Permit No. 1818960 and Vesting Tentative Map No. 1798551, if the findings required to approve the project cannot be affirmed and do not Adopt Mitigated Negative Declaration No. 513356 and do not Adopt the Mitigation, Monitoring and Reporting Program (MMRP).

Respectfully submitted,



PJ FitzGerald
Assistant Deputy Director
Development Services Department



Glenn R. Gargas
Development Project Manager
Development Services Department

Attachments:

1. Aerial and Vicinity Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution with Findings
8. Draft Map Conditions
9. Draft Environmental Resolution with MMRP
10. Copy of Zoning Challenge Memo
11. Map Exhibit-Vesting Tentative Map
12. Project Plans
13. Community Planning Group Recommendation
14. Ownership Disclosure



Aerial Photo
Lighthouse Ridge/ Lighthouse Way
PROJECT NO. 513356



Lighthouse Way (APN 304-080-01-00)
Photographic Survey Key Map





Picture 1



Picture 2



Picture 3



Picture 4



Picture 5



Picture 6



Picture 7



Picture 8



Picture 9



Picture 10



Picture 11



Picture 12



Picture 13



Picture 14



Picture 15



Picture 16



Picture 17



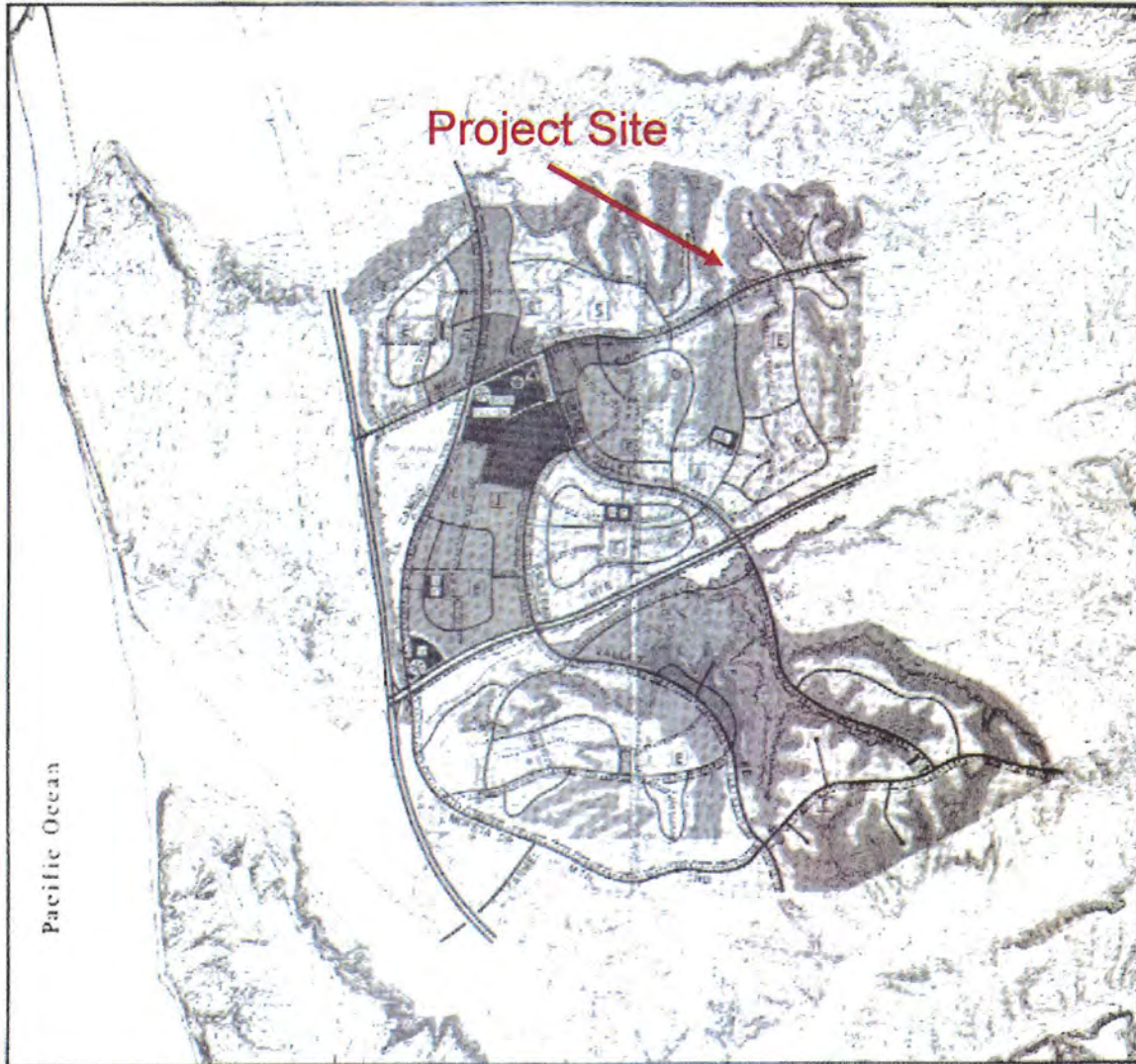
Picture 18




Picture 19





Picture 20



NORTH CITY WEST

	RESIDENTIAL		PUBLIC FACILITIES	---	BICYCLE PATH
	VERY LOW DEN. 5 DU/AC.	□	□ SCHOOLS E-ELEM. J-JR. S-SR.	PEDESTRIAN
	LOW DEN. 10 DU/AC.	▒	P-PARK N-NEIGHBORHOOD C-COMM.	*	TRANSPORTATION TERMINAL
	LOW MED. DEN. 20DU/AC.	■	● LIBRARY ▲ FIRE STATION	□	OPEN SPACE
	MEDIUM DEN. 40DU/AC.		TRANSPORTATION	□	FLOOD PLAIN
	COMMERCIAL		==	FREEWAY	
	□ ALL CATEGORIES N-		—	MAJOR STREET	
	□ NEIGHBORHOOD V-VISITOR		—	COLLECTOR STREET	



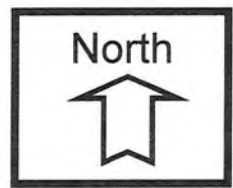
Land Use Map

Lighthouse Ridge / Lighthouse Way
PROJECT NO. 513356





Project Location Map
Lighthouse Ridge / Lighthouse Way
 PROJECT NO. 513356



PROJECT DATA SHEET

PROJECT NAME:	Lighthouse Ridge – Project No. 513356
PROJECT DESCRIPTION:	SDP/PDP & VTM to subdivide a 4.74-acre site into 10 residential lots, two HOA lots, 1 open space lot (1.86-acres), and construct ten, two-story, single-family dwelling units, one per lot residential lot. Homes will range in size from 3,756-square-feet to 4,515-square-feet.
COMMUNITY PLAN AREA:	Carmel Valley
DISCRETIONARY ACTIONS:	Site Development Permit, Planned Development Permit & Vesting Tentative Map
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (0-5 DUs per acre) and Open Space

ZONING INFORMATION:

ZONE: SF-1 & OS Zones of the Carmel Valley PDO

HEIGHT LIMIT: 35-Foot maximum height limit – 35 feet proposed.

LOT SIZE: 6,000 square-foot minimum lot size – proposed lot sizes range from 6,266 square feet to 10, 454 square feet.

FLOOR AREA RATIO: 0.60 maximum - 0.60 proposed

FRONT SETBACK: 10 feet minimum – 10 feet proposed

SIDE SETBACK: 4 feet minimum - 4 feet proposed

STREETSIDE SETBACK: NA

REAR SETBACK: 4 feet minimum – 4 feet proposed

PARKING: 2 parking spaces required per unit – 2 proposed per unit.

<u>ADJACENT</u> PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential & Open Space; SF-1 & OS Zones	Single Family Residence & Open Space
SOUTH:	Very Low Density Residential; SF-1 Zone	Single Family Residence
EAST:	Very Low Density Residential & Open Space;	Single Family Residence & Open Space

ATTACHMENT 4

	SF-1A Zone & OS Zone	
WEST:	Very Low Density Residential; SF-1 Zone	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	Street Frontage – No public street frontage provided. All residential lots will front on a private drive.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 22, 2018, the Carmel Valley Community Planning Board voted 8-0-0 to recommended approval of the project with the condition that lots 9 & 10 be deleted.	

PLANNING COMMISSION RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. 1798552/PLANNED DEVELOPMENT PERMIT NO. 1818960
LIGHTHOUSE RIDGE - PROJECT NO. 513356 MMRP

WHEREAS, Lighthouse TG, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to subdivide the property into 13 lots, 10 lots for residential single dwelling units, one open space lot and two Home Owner's Association Lots (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1798552 and 1818960), on portions of a 4.74-acre property; and

WHEREAS, the project site is located on vacant land at the northern terminus of Lighthouse Way, near White Emerald Drive (address assignment pending) in the SF1 Zone and OS Zone of the Carmel Valley Planned District and within the Carmel Valley Community Plan area; and

WHEREAS, the project site is legally described as, the north 217.8 feet of the west 1000.00 feet of the east half of the northeast quarter of Section 17, Township 14 South, Range 3 West San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey, per Document No. 2016-0077135, dated February 23, 2016; and

WHEREAS, on August 23, 2018, the Planning Commission of the City of San Diego considered Site Development Permit No. 1798552/Planned Development Permit No. 1818960, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated August 23, 2018.

A. SITE DEVELOPMENT PERMIT [SDMC Section 143.0110]

Findings for all Site Development Permits

a. The proposed development will not adversely affect the applicable land use plan.

The North City West (Carmel Valley) Community Plan is the parent document for guiding development in Carmel Valley. This Community Plan is then further broken down into more site specific precise plans with the North City West Development Unit 4A Precise Plan encompassing the Lighthouse Ridge project site. The land use designation for the project area is Very Low Density (0-5 dwelling units per acre), which is characterized by single family detached development with significant land area devoted to private yards and open space. The project proposes single family detached housing consistent with the Community Plan. The project site also contains Natural Open Space, which the 4A Plan states should be retained in its native state. To ensure the long-term protection of the habitat, the project will deed the open space lot to the City and record a covenant of easement over it. As the project is consistent with the land use designation, density recommended in the community plan and the open

space recommendations, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed development includes several public and private improvements that will support public health, safety and welfare. The project includes a cul-de-sac turnaround area at the end of the private drive extension of Lighthouse Way to provide vehicular circulation, a brush management plan to improve fire safety along the development's eastern edge, and the installation of new water and sewer services to the site. The project will also grant the City of San Diego private water easements for all cross-lot private water service from one lot to another.

The permit for the project includes conditions of approval and exhibits to achieve project compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions will protect the health, safety and general welfare of persons residing or working in the surrounding area. Ministerial building permits will require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed Lighthouse Ridge project has been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for lot coverage, lot size, open space, grading, landscaping and all other requirements of the development criteria for the CVPD-SF1 and CVPD-OS zoning designation, as allowed through findings, and a Planned Development Permit (PDP).

Implementation of the Lighthouse Ridge project requires one deviation, to allow the site to be developed with single-family dwelling units consistent with the intent of Neighborhood 4a of the Carmel Valley Community Plan. The project proposes to extend the existing Lighthouse Way into the project site as a private drive. Table 153-03A of the SDMC requires that lots have 50 feet of street frontage. In Definitions of the SDMC, Street Frontage is identified as follows: "*Street frontage* means the length of one *premises' property line* along the *street* it borders." Street is further defined as follows: "*Street* means that portion of the *public right-of-way* that is dedicated or condemned for use as a public road and includes highways, boulevards, avenues, places, drives, courts, lanes, or other thoroughfares dedicated to public travel, but does not include *alleys*." Given the proposed private drive is not dedicated to public travel a deviation is necessary.

Tentative maps for the surrounding parcels were approved under regional design standards from decades prior and prior to the adoption of the current Street Design

Manual. Under the current design standards, the required street geometry or radius curve makes it difficult to develop this infill site within the flat developable portion of the property. With the project's private driveway design, the streetscape design and public utilities will remain consistent with the overall intent of the Neighborhood 4 Precise Plan and integrate seamlessly into the character of the community. The design of the proposed roadway is consistent with the existing design of roadways at multiple locations throughout the surrounding community. The existing roadway (Lighthouse Way) was left as a dead end and it was always anticipated that some form of single-family development would occur in the future. The proposed project is an expected and sensible infill addition, matching the established development pattern of the surrounding neighborhood. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The environmentally sensitive lands on the project site are in the form of sensitive biological resources and wetlands and are found to the east of the proposed development area, located within the proposed 1.86-acre open space lot. The project proposes a covenant of easement to protect the 1.86-acres of environmentally sensitive lands. An environmental review determined that this project may have a significant environmental effect on Biological Resources, Cultural Resources (Archeology), Cultural Resources (Paleontology), Tribal Cultural Resources and the City prepared a Mitigated Negative Declaration (MND), in accordance with the California Environmental Quality Act (CEQA). The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for potential impacts to Biological Resources, Cultural Resources (Archeology), Cultural Resources (Paleontology) and Tribal Cultural Resources to reduce the potential impacts to a level below significance. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to the environmentally sensitive lands.

- b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The Development Services Department reviewed a geotechnical report prepared for the project and found the project's geotechnical consultant has adequately addressed the geologic site conditions. Drainage would be directed into appropriate storm drain systems designated to carry surface runoff. The proposed fire access and turn around area have been reviewed and determined to be adequate. Brush management zones of 35 feet and 65 feet are provided in eastern edge of the development on the east side of lots 9 and 10. As the project addresses all geologic, drainage and fire issues identified with the project site, the proposed development

will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed subdivision is designed such that the environmentally sensitive lands on the site would be avoided. The sensitive lands are located in the eastern portion of the site, which is a proposed 1.86-acre open space lot that is conditioned to record a covenant of easement on it so as to prevent future impacts from development. An environmental review determined that this project may have a significant environmental effect on Biological Resources, Cultural Resources (Archeology), Cultural Resources (Paleontology), Tribal Cultural Resources and the City prepared a Mitigated Negative Declaration (MND), in accordance with the California Environmental Quality Act (CEQA). The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for potential impacts to Biological Resources, Cultural Resources (Archeology), Cultural Resources (Paleontology) and Tribal Cultural Resources to reduce the potential impacts to a level below significance. As the proposed lots are configured to allow for the environmentally sensitive lands to remain, inclusion of mitigation measures and a covenant of easement to protect the environmentally sensitive lands is a condition of the development, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The project site is adjacent to a designated Multi-Habitat Planning Area (MHPA) to the northeast, which is land intended to be preserved to conserve significant biological resources. The project site is not located within the City of San Diego's Multi-Habitat Planning Area (MHPA). Therefore, the project is not inconsistent with the City of San Diego's Multiple Species Conservation Program, and the finding is not applicable.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project site is located approximately two miles east of the Pacific Ocean and east of Interstate 5. Drainage associated with the project would be directed into appropriate storm drain systems designated to carry surface runoff. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of the mitigation required as a condition of the permit is reasonable related to, and calculated to alleviate, negative impacts created by the proposed development.

An initial environmental study of the proposal determined that the project could have a significant environmental effect to Biological Resources, Cultural Resources (Archeology), Cultural Resources (Paleontology) and Tribal Cultural Resources. The project provides mitigation in the form of monitoring during construction activities and preconstruction meetings which must include a Qualified Biologist, Qualified Paleontologist, Qualified Archeologist, and Qualified Native American Monitor. The project must also produce a Monitoring Report post construction in accordance with Biological Resource Guidelines. As the proposed mitigation measures are related to the potential of disturbance to biological, archeological, paleontological and tribal cultural resources known to potentially be located in close proximity to the project site, the nature and extent of the mitigation required as a condition of the permit is reasonable related to, and calculated to alleviate, negative impacts created by the proposed development.

B. PLANNED DEVELOPMENT PERMIT SDMC Section 126.0602I

a. The proposed development will not adversely affect the applicable land use plan.

The Lighthouse Ridge project proposes to develop an existing 4.76-acre property that is currently vacant. The development is located within the Carmel Valley Subarea Plan and will accommodate 10 single-family residential units. The North City West (Carmel Valley) Community Plan is the parent document for guiding development in Carmel Valley. This Community Plan is then further broken down into more site specific precise plans with the North City West Development Unit 4A Precise Plan encompassing the Lighthouse Ridge project site. The land use designation for the project area is Very Low Density (0-5 dwelling units per acre), which is characterized by single family detached development with significant land area devoted to private yards and open space. The project proposes single family detached housing consistent with the Community Plan. The project site also contains Natural Open Space, which the 4A Plan states should be retained in its native state. To ensure the long-term protection of the habitat, the project will deed the open space lot to the City and record a covenant of easement over it. As the project is consistent with the land use designation, density recommended in the community plan and the open space recommendations, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed development includes several public improvements that will positively affect public safety and welfare. The project will construct a new 16-foot-wide driveway per current City Standard adjacent to the site on Lighthouse Way and add new water and sewer services to the site. The project will also grant the City of San Diego private water easements for all cross-lot private water service from one lot to another. These improvements will improve public safety, and not be detrimental to public health and safety. As these public improvements would positively affect, and

not be detrimental to the public safety and welfare, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The proposed Lighthouse Ridge project has been designed to comply with the regulations of the San Diego Municipal Code, including requirements for lot coverage, lot size, open space, grading, landscaping, and all other requirements of the development criteria for the CVPD-SF1 and CVPD-OS zoning designation, as allowed through findings, and a Planned Development Permit (PDP).

Implementation of the Lighthouse Ridge project requires one deviation to allow the site to be developed with single-family dwelling units consistent with the intent of Neighborhood 4a of the Carmel Valley Community Plan. The project proposes to extend the existing Lighthouse Way as a private drive. Table 153-03A of the SDMC requires lots have a minimum of 50 feet of street frontage. In Definitions of the SDMC, Street Frontage is identified as follows: "*Street frontage* means the length of one *premises' property line* along the *street* it borders." Street is further defined as follows: "*Street* means that portion of the *public right-of-way* that is dedicated or condemned for use as a public road and includes highways, boulevards, avenues, places, drives, courts, lanes, or other thoroughfares dedicated to public travel, but does not include *alleys*." Given the proposed private drive is not dedicated to public travel a deviation is necessary.

Tentative maps for the surrounding parcels were approved under regional design standards from decades prior and prior to the adoption of the current Street Design Manual. Under the current design standards, the required street geometry or radius curve makes it difficult to develop this infill site within the flat developable portion of the property. With the project's private driveway design, the streetscape design and public utilities will remain consistent with the overall intent of the Neighborhood 4A Precise Plan and integrate seamlessly into the character of the community. The design of the proposed roadway is consistent with the existing design of roadways at multiple locations throughout the surrounding community. The existing roadway (Lighthouse Way) was left as a dead end and it was always anticipated that some form of single-family development to occur in the future. Therefore, the proposed project is an expected and sensible infill addition, matching the established development pattern of the surrounding neighborhood. The proposed streetscape design will retain similar characteristics adjacent streets, landscaping, curb, gutter and on-street parking designed to City Engineering Standards for a private driveway. The proposed design utilizing the private driveway deviation allows the property to be developed with 10 dwelling units as oppose to only 6 if the public street

standards are used. This design provides needed housing for the region, and the design of the ten-lot layout utilizes more efficient use of the flatter, less environmentally sensitive land on the western end of the project site. These are features that will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1798552/Planned Development Permit No. 1818960, is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1798552 and 1818960, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services

Adopted on: August 23, 2018

IO#: 24007007

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501
WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007007

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1798552/PLANNED DEVELOPMENT PERMIT NO. 1818960

LIGHTHOUSE RIDGE - PROJECT NO. 513356 MMRP

PLANNING COMMISSION

This Site Development Permit No. 1798552/Planned Development Permit No. 1818960 is granted by the Planning Commission of the City of San Diego to Lighthouse TG, LLC, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0502 and 126.0602. The 4.74-acre site is vacant land located at the northern terminus of Lighthouse Way, north of White Emerald Drive and east of Winstanley Way, in the Single Family (SF1) and Open Space (OS) Zones of the Carmel Valley Planned District, within the Carmel Valley Community Plan Area. The project site is legally described as: the north 217.8 feet of the west 1000.00 feet of the east half of the northeast quarter of Section 17, Township 14 South, Range 3 West San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey, per Document No. 2016-0077135, dated February 23, 2016.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to subdivide the property into ten residential lots and construct ten detached single-family dwelling units described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 23, 2018, on file in the Development Services Department.

The project shall include:

- a. Subdivision of a 4.74-acre property into 10 residential lots, one open space lot, two Home Owner's Association Lots and construction of 10, two-story, single family dwelling units. The residential lots range in size from 6,266-square-feet to 10,454-square-feet and the dwelling units range in size from 3,756-square-feet in floor area to 4,515-square-feet;
- b. Deviation – residential lots are not required to have street frontage on a Public Street;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

- e. Site wall, fences, and retaining walls; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 7, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San

Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394.

Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend,

indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

14. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 513356, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No. 513356, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Cultural Resources (Archeology)
- Cultural Resources (Paleontology)
- Tribal Cultural Resources

CLIMATE ACTION PLAN REQUIREMENTS:

16. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

17. Prior to the issuance of any construction permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

18. This Site Development Permit No. 1798552/Planned Development Permit No. 181960 shall comply with all Conditions of the Final Map for the Vesting Tentative Map No. 1798551.

19. The project proposes to import material to the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

20. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

25. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

26. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be

submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

27. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into an agreement to indemnify, protect and hold harmless the City, its officials and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of surface drainage entering into the property from the Right-of-Way due to the design of the private storm water treatment facility.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. Plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of required trees. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

29. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).

30. The Owner/Permittee shall be responsible for the maintenance of all landscape shown on the approved plans, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District, Homeowner's Association, or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

32. The Brush Management Program shall consist of a modified Zone One ranging from 65-foot to 80-foot in width with no Zone Two required, extending out from the structures on Lots 9 and 10, and across Lot "A" towards the Open Space Boundary, consistent with §142.0412.

33. Alternative Compliance: Alternative compliance measures shall be provided in the form of upgraded openings to dual-glazed, dual-tempered panes along the east facades of the habitable structures on Lots 9 and 10, as well as along a 10-foot perpendicular return along adjacent wall faces.

34. Prior to issuance of any Engineering Permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

35. Prior to issuance of any Construction Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

36. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

37. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

38. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

39. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

40. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

41. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the design and construction of public water facilities within the proposed water easement as

shown on approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.

42. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private sewer facilities encroaching into the proposed water easement.
43. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
44. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
45. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
46. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 23, 2018, by Resolution No. _____.

ATTACHMENT 6

Permit Type/PTS Approval No.: SDP No. 1798552/PDP No. 1818960
Date of Approval: August 23, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Lighthouse TG, LLC
Owner/Permittee

By _____
Terry Johnson
Managing Partner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NUMBER R-_____

VESTING TENTATIVE MAP NO. 1798551, LIGHTHOUSE
RIDGE - PROJECT NO. 513356 - MMRP.

WHEREAS, Lighthouse TG, LLC, Subdivider, and Matthew J. Semic, Civil Engineer, submitted an application to the City of San Diego for a vesting tentative map, Vesting Tentative Map No. 1798551) for a ten-residential lot subdivision. The project site is located at the north terminus of Lighthouse Way, north of White Emerald Drive and east of Winstanley Way in the Carmel Valley Community Plan area. The property is legally described as the north 217.8 feet of the west 1000.00 feet of the east half of the northeast quarter of Section 17, Township 14 South, Range 3 West San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey, per Document No. 2016-0077135, dated February 23, 2016; and

WHEREAS, the Map proposes the Subdivision of a 4.74-acre-site in to thirteen (13) lots for 10 residential development lots, 2 Home Owners Association lots, and 1 Open Space lot.; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on August 23, 2018, the Planning Commission of the City of San Diego considered Vesting Tentative Map No. 1798551, and pursuant to San Diego Municipal Code section 125.0440, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 1798551:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The North City West (Carmel Valley) Community Plan is the parent document for guiding development in Carmel Valley. This Community Plan is then further broken down into more site specific precise plans with the North City West Development Unit 4A Precise Plan encompassing the Lighthouse Ridge project site. The land use designation for the project area is Very Low Density (0-5 dwelling units per acre), which is characterized by single family detached development with significant land area devoted to private yards and open space. The project proposes single family detached housing consistent with the Community Plan. The project site also contains Natural Open Space, which the 4A Plan states should be retained in its native state. To ensure the long-term protection of the habitat, the project will deed the open space lot to the City and record a covenant of easement over it.

Given the project is consistent with the planned land use as described above, the proposed subdivision and its design or improvement is consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed Lighthouse Ridge project has been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for lot coverage, lot size, open space, grading, landscaping and all other requirements of the development criteria for the CVPD-SF1 and CVPD-OS zoning designation, as allowed through findings, and a Planned Development Permit (PDP).

Implementation of the Lighthouse Ridge project requires one deviation, to allow the site to be developed with single-family dwelling units consistent with the intent of Neighborhood 4a of the Carmel Valley Community Plan. The project proposes to extend the existing Lighthouse Way into the project site as a private drive. Table 153-03A of the SDMC requires that lots have 50 feet of street frontage. In Definitions of the SDMC, Street Frontage is identified as follows: "*Street frontage* means the length of one *premises' property line* along the *street* it borders." Street is further defined as follows: "*Street* means that portion of the *public right-of-way* that is dedicated or condemned for use as a public road and includes highways, boulevards, avenues, places, drives, courts, lanes, or other thoroughfares dedicated to public travel, but does not include *alleys*." Given the proposed private drive is not dedicated to public travel a deviation is necessary. The design of the proposed roadway is consistent with the existing design of roadways seen at multiple locations throughout the surrounding community. The existing roadway (Lighthouse Way) was left as a dead end and it was away anticipated that some form of single-family development. The proposed project is an expected and sensible infill addition, matching the established development pattern of the

surrounding neighborhood. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Tentative maps for the surrounding parcels were approved under regional design standards from decades prior and prior to the adoption of the current Street Design Manual. Under the current design standards, the required street geometry or radius curve makes it difficult to develop this infill site within the flat developable portion of the property. With the project's private driveway design, the streetscape design and public utilities will remain consistent with the overall intent of the Neighborhood 4A Precise Plan and integrate seamlessly into the development pattern of the community.

The development will achieve the purpose and intent of the Carmel Valley Community Plan and will be preferable to what would be achieved by strict conformance with the regulations, as allowed by the Planned Development Permit process. The proposed design utilizing the private driveway design allows the property to be developed with 10 dwelling units as oppose to only 6 if the public street standards are used. This design provides needed housing for the region. The design and ten-lot layout also makes more efficient use of the flatter, less environmentally sensitive land on the western end of project site.

As the project would be in conformance with all development regulations with the allowed deviations through the Planned Development Process described above, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

3. The site is physically suitable for the type and density of development.

The project proposes to subdivide the existing one-lot site into 10 residential lots, two home owner's association lots and one open space lot. The subdivision would create ten lots that which would allow for construction of 10, two-story, single dwelling units. The project would place a Covenant of Easement over an area of Environmentally Sensitive Lands located on the open space lot to the east. A geological review of the project site has determined that the geologic site conditions have been adequately addressed and that the site will have a factor-of-safety of 1.5 or greater for both gross and surficial stability

The project site is within the Carmel Valley Community Plan area, which is the City's adopted land use plan for this site. The site is located within North City West Development Unit 4A Precise Plan and planned land use within this neighborhood is Very Low Density (0-5 dwelling units per acre), which is characterized by single family detached development with significant land area devoted to private yards and open space. The proposed project is consistent with the designation of single family detached housing as is preferred by the Community Plan. The project site also contains Natural Open Space, which the 4A Plan states should be retained in its native state. The project proposes a subdivision to create 10, single-dwelling residential lots of 1.0 acre and 1.36 acres within the 4.74-acre-site. Therefore, the proposal is consistent with density in the applicable community plan.

As the project site would create 10 residential lots consistent with the applicable community plans, the geologic site conditions have been adequately addressed and the on-site Environmentally Sensitive Lands would be protected by a Covenant of Easement on a separate open space lot, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

A Mitigated Negative Declaration has been prepared for the proposed project and the Initial Study has determined that the proposed project could have a significant environmental effect in the area of Biological Resources, Cultural Resources (Archaeology), Cultural Resources (Paleontology), and Tribal Cultural. However, subsequent revisions to the project have created specific mitigation that now avoids or mitigates the potentially significant environmental effects previously identified. The eastern portion of the project site currently contains a total of 10 vegetation communities or land use types occur on the project site; southern willow scrub, mule fat scrub, southern maritime chaparral, Diegan coastal sage scrub, baccharis scrub, coastal sage-chaparral scrub, non-native grassland, eucalyptus woodlands, disturbed land, and developed lands. The Southern Maritime Chaparral is considered a sensitive biological resource per the City of San Diego Biology Guidelines. The project's Brush Management Zone 2 pruning and/or thinning of vegetation would impact 0.07-acre of the Southern Maritime Chaparral, but this is considered impact neutral under City of San Diego Biology Guidelines and, therefore, mitigation would not be required. This sensitive vegetation will be protected by a required Covenant of Easement. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The proposed development includes several public improvements that will positively affect public safety and welfare. The project includes a cul-de-sac turnaround area at the end of the private drive extension of Lighthouse Way, a brush management plan to improve fire safety along the development's eastern edge and add new water and sewer services to the site. The project will also grant the City of San Diego private water easements for all cross-lot private water service from one lot to another. These improvements will improve public safety, and not be detrimental to public health and safety. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The design of the subdivision and the type of improvements are such that they will not conflict with any easements, acquired by the public at large, for access through or use of property within the proposed subdivision. One twenty-foot-wide ingress and egress easement exist and will remain along the western edge of the project site. Therefore, the

design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The design and proposed improvements for the subdivision are consistent with California Government Code Section 66473.1 and San Diego Municipal Code Section 125.0440(g) regarding the design of the subdivision for future passive or natural heating and cooling opportunities. The proposed lots are clustered together towards the western and flatter more developable portion of the site with a Covenant of Easement/Open Space lot restricting development located on the eastern portion of the site. As such the lot design would allow for future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

According to the North City West (Carmel Valley) Community Plan, the proposed 4.74-acre site, with the exception of the 1.86 acres of open space, is designated for Very Low Density Residential emphasizing single family detached development with significant land area devoted to private yards and open space at 0-5 dwelling units per acre. However, the Precise Plan, the Very Low Density portion of the project site is designated for 4.25 dwelling units per acre, this calculation excludes designated open space. Based on this designation, the project would be permitted to build 12 dwelling units. The project proposes 10 for-sale market-rate housing units. No affordable housing units are proposed. Per the City's Inclusionary Housing Ordinance, the applicant will be paying the in-lieu fee. All public services necessary for the subdivision currently exist in the area. The development will have no effect upon the fiscal or environmental resources within the City of San Diego. Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Vesting Tentative Map No. 1798551, hereby granted to Lighthouse TG, LLC, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Glenn R. Gargas
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007007

Revised: 5/19/2014 by WJZ

PLANNING COMMISSION
CONDITIONS FOR VESTING TENTATIVE MAP NO. 1798551, LIGHTHOUSE RIDGE- PROJECT NO. 513356
MMRP

ADOPTED BY RESOLUTION NO. R-_____ ON August 23, 2018

GENERAL

1. This Vesting Tentative Map will expire September 7, 2021.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. This Subdivision shall conform to the provisions of Site Development Permit No. 1798552 and Planned Development Permit No. 1818960.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
7. The Subdivider shall grant a 10-foot-wide private drainage easements, per approved Exhibit "A", satisfactory to the City Engineer.
8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be

located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

MAPPING

9. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
10. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
11. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.
18. Prior to the recordation of the Final Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.
19. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.

GEOLOGY

20. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

PLANNING

21. Prior to the recordation of the Final Map, the Subdivider shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for, in accordance with San Diego Municipal Code section 143.0152. The Covenant of Easement shall include a legal

description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands that will be preserved as shown on Exhibit "A."

LANDSCAPE/BRUSH MANAGEMENT

22. Prior to recordation of the Final Map, the Owner/Subdivider shall identify on a separate sheet titled 'Non-title Sheet' the brush management areas in substantial conformance with Exhibit 'A.' These brush management areas shall be identified with a hatch symbol with no specific dimensions or zones called out. The following note shall be provided on the 'Non-Title Sheet' to identify the hatched areas: "Indicates fire hazard zone(s) per §142.0412 of the Land Development Code."

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24007007

RESOLUTION NUMBER R-_____

ADOPTED ON AUGUST 23, 2018

WHEREAS, on September 21, 2016, Terry Johnson, Lighthouse TG LIG, submitted an application to the Development Services Department for a Vesting Tentative Map (VTM), Planned Development Permit (PDP), Site Development Permit (SDP), for the Lighthouse Ridge (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on August 23, 2018; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 513356 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

ATTACHMENT 9

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

By: _____
Glenn R. Gargas, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

Vesting Tentative Map (VTM), Planned Development Permit (PDP), Site Development Permit (SDP)

PROJECT NO. 513356

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 513356 shall be made conditions of Vesting Tentative Map (VTM), Planned Development Permit (PDP), Site Development Permit (SDP) as may be further described below.

BIOLOGICAL RESOURCES

Prior to the issuance of a Notice to Proceed (NTP) or any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits the ADD environmental designee of the City's LDR Division shall incorporate the following mitigation measures into the project design and include them verbatim on all appropriate construction documents.

BIO-1 – COMPENSATORY MITIGATION

The project applicant shall provide payment into the City of San Diego Habitat Acquisition Fun (HAF) at a 1:1 mitigation ration for impacts to 0.7 acre of Tier II habitat and at a 0.5:1 mitigation ration for impacts to 0.1 acre of Tier IIIA habitat, for a total of 0.75 acre of HAF credit.

BIO- 2 - BIOLOGICAL RESOURCE PROTECTION DURING CONSTRUCTION

Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the following project requirements are shown on the construction plans:

I. Prior to Construction

- A. **Biologist Verification** – The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist), as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting** – The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to

perform any follow up mitigation measures and reporting including site-specific monitoring, restoration, or revegetation, and additional fauna/flora surveys/salvage.

- C. **Biological Documents** – The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, MSCP, ESL Ordinance, project permit conditions, CEQA, endangered species acts, and/or other local, state, or federal requirements.

- D. **Biological Construction Mitigation/Monitoring Exhibit** – The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME), which includes the biological documents in C above. In addition, it includes: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.

- E. **Coastal California Gnatcatcher Protection Requirement** – No clearing, grubbing, grading, or other construction activities shall occur between March 1 and August 15, the breeding season of the coastal California gnatcatcher, until the following requirements have been met to the satisfaction of the City Manager:

Qualified Biologist (possessing a valid Endangered Species Act Section 10(a)(1)(A) Recovery Permit) shall survey those habitat areas within the MHPA that would be subject to construction noise levels exceeding 60 decibels [dB(A)] hourly average for the presence of the coastal California gnatcatcher. Surveys for the coastal California gnatcatcher shall be conducted pursuant to the protocol survey guidelines established by the USFWS within the breeding season prior to the commencement of any construction. If gnatcatchers are present, then the following conditions must be met:

Between March 1 and August 15, no clearing, grubbing, or grading of occupied gnatcatcher habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a Qualified Biologist; and

Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied gnatcatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring

noise level experience with listed animal species) and approved by the City Manager at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a Qualified Biologist; or

At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the coastal California gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (September 16).

** Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.*

If coastal California gnatcatchers are not detected during the protocol survey, the Qualified Biologist shall submit substantial evidence to the City Manager and applicable Resource Agencies that demonstrates whether or not mitigation measures, such as noise walls, are necessary between March 1 and August 15 as follows:

If this evidence indicates the potential is high for coastal California gnatcatcher to be present based on historical records or site conditions, then condition III shall be adhered to as specified above.

If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

- F. **Resource Delineation** – Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora and fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.

- G. **Education** – Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. **Monitoring** – All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on “Exhibit A” and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the first day of monitoring, the first week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. **Subsequent Resource Identification** – The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna on site (e.g., flag plant specimens for avoidance during access, etc.). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state, or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state, and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

ARCHAEOLOGICAL MONITORING PROGRAM and TRIBAL CULTURAL RESOURCES MITIGATION

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first pre-construction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring

have been noted on the applicable construction documents through the plan check process.

- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 - 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site specific records search (0.25-mile radius) has been completed. Verification includes but is not limited to, a copy of a confirmation letter from South Coastal Information Center, or if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 - 3. The PI may submit a detailed letter to MMC requesting a reduction to the 0.25-mile radius.
- B. PI Shall Attend Pre-Construction Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Pre-Construction Meeting that shall include the PI; Native American consultant/monitor (where Native American resources may be impacted); Construction Manager (CM) and/or Grading Contractor; Resident Engineer (RE); Building Inspector (BI), if appropriate; and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Pre-Construction Meeting to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Pre-Construction Meeting, the Applicant shall schedule a focused Pre-Construction Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - 2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as

information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information, such as review of final construction documents that indicate site conditions such as depth of excavation and/or site graded to bedrock, which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during all soil-disturbing and grading/excavation/trenching activities that could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities, such as in the case of a potential safety concern within the area being monitored. In certain circumstances, OSHA safety requirements may necessitate modification of the AME.**
 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Sections III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSVs shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

4. No soil shall be exported off site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered, shall evaluate the significance of the resource. If human remains are involved, the PI and Native American consultant/monitor shall follow protocol in this section.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) that has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. **Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and no soil shall be exported off site until a determination can be made regarding the provenance of the human remains, and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98), and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
1. The Archaeological Monitor shall notify the RE or BI, as appropriate, the MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate Discovery Site
1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains are determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.

3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources, and Health and Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative for the treatment or disposition with proper dignity of the human remains and associated grave goods.
 5. Disposition of Native American human remains will be determined between the MLD and the PI and if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; or
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC
 - (2) Record an open space or conservation easement on the site
 - (3) Record a document with the County
 - d. Upon the discovery of multiple Native American human remains during a ground-disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5(c).
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract, the following will occur:
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the pre-construction meeting.
 2. The following procedures shall be followed:
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8 a.m. of the next business day.
 - b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III, During Construction, and IV, Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.

- c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III, During Construction, and IV, Discovery of Human Remains, shall be followed.
 - d. The PI shall immediately contact MMC, or by 8 a.m. of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction:
- 1. The Construction Manager shall notify the RE or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described previously shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
- 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) that describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts

ATTACHMENT 9

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV(5), Discovery of Human Remains.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC, which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL MONITORING PROGRAM

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- B. PI Shall Attend Precon Meetings
1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.

3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
 - B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
 - C. All other procedures described above shall apply, as appropriate.
- V. Post Construction**
 - A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
 - The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
 - B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
 - C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 - D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.

ATTACHMENT 9

2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

Official Zoning Map Challenge

Date: 6/19/2017

Challenge by: Latitude 33 (Official Zoning Map Challenge Form completed by Naomi Siodmok, Associate Planner)

Property Owner: Lighthouse T G LLC, Jesus E. Santos, Juana E. Santos, et al; Anza Mammen Family Trust; Alex & Larisa Triener; Chris Mi Chunting & Fu Yuhong; Ayman Kabakibi & Saha Sadegji Revocable 2009 Trust; Doan Family Trust; and Smith Family Trust

Property Location: At the end of Lighthouse Way, just north of White Emerald Drive and Del Mar Heights Road (Attachment 1)

APN(s): 304-080-0100, 304-610-1100, 304-610-1200, 304-610-1300, 304-610-1400, 304-610-1500, and 304-610-1600

Reviewed by:

Gary Geiler, Senior Planner
 Glenn Gargas, Development Project Manager I
 Naomi Siodmok, Associate Planner
 Philip Lizzi, Associate Planner

Attachments

Map showing the property location (Attachment 1)
 Rezone Ordinance(s): [O-17245](#) (Attachment 2)
 Rezone B or C-sheet(s): C-698.3 (Attachment 3)
 Zoning Correction Exhibit (s)
 Carmel Valley Neighborhoods Composite Plan Land Use (Attachment 4)
 Official Zoning Map, Grid Tile 39 (Attachment 5)
 Aerial Images (Attachment 6)
 Site Visit Photographs (Attachment 7)
 Other information:
 Latitude 33 Memorandum (Attachment 8)

Official Zoning Map Challenge

Reason for change

Describe the reasons for the change Ordinance: To make consistent the Official Zoning Map (Attachment 5) and the Carmel Valley Neighborhoods Composite Plan Land Use (Attachment 4) since the existing open space and very low density residential boundaries differ on the two maps. Via aerial images and a site visit on June 8, 2017, it was determined that the land use map boundary was most accurate. Aerial imagery and photographs have been attached to justify shifting the zoning boundary to the land use plan boundary.

Check the appropriate rule:

- Rule (1): Where zone boundary follows a *lot* line, the *lot* line shall be the boundary.
- Rule (2): Where a zone boundary follows a public *street*, the centerline of the *street* shall be the boundary.
- Rule (3): Where any unzoned *public-right-of-way* is officially vacated or abandoned, the zone boundary applied to *abutting property* shall be the centerline of the vacated or abandoned *public-right-of-way*.
- Rule (4): Where a zone boundary divides a *lot* or *parcel*, the location of the boundary shall be determined by the scale on the Official Zoning Map.
- Rule (5): Where there is an obvious mistake that can be corrected by reference to documents on file or by reference to the legislative record, the City Manager may identify the zone boundary.

Official Zoning Map Challenge

Remedy

Revise the Official Zoning Map to change the zoning from CVPD-OS to CVPD-SF1 on the portion of the aforementioned parcels where there is a conflict between the designation on the land use map and the zoning ordinance.

Signature: _____

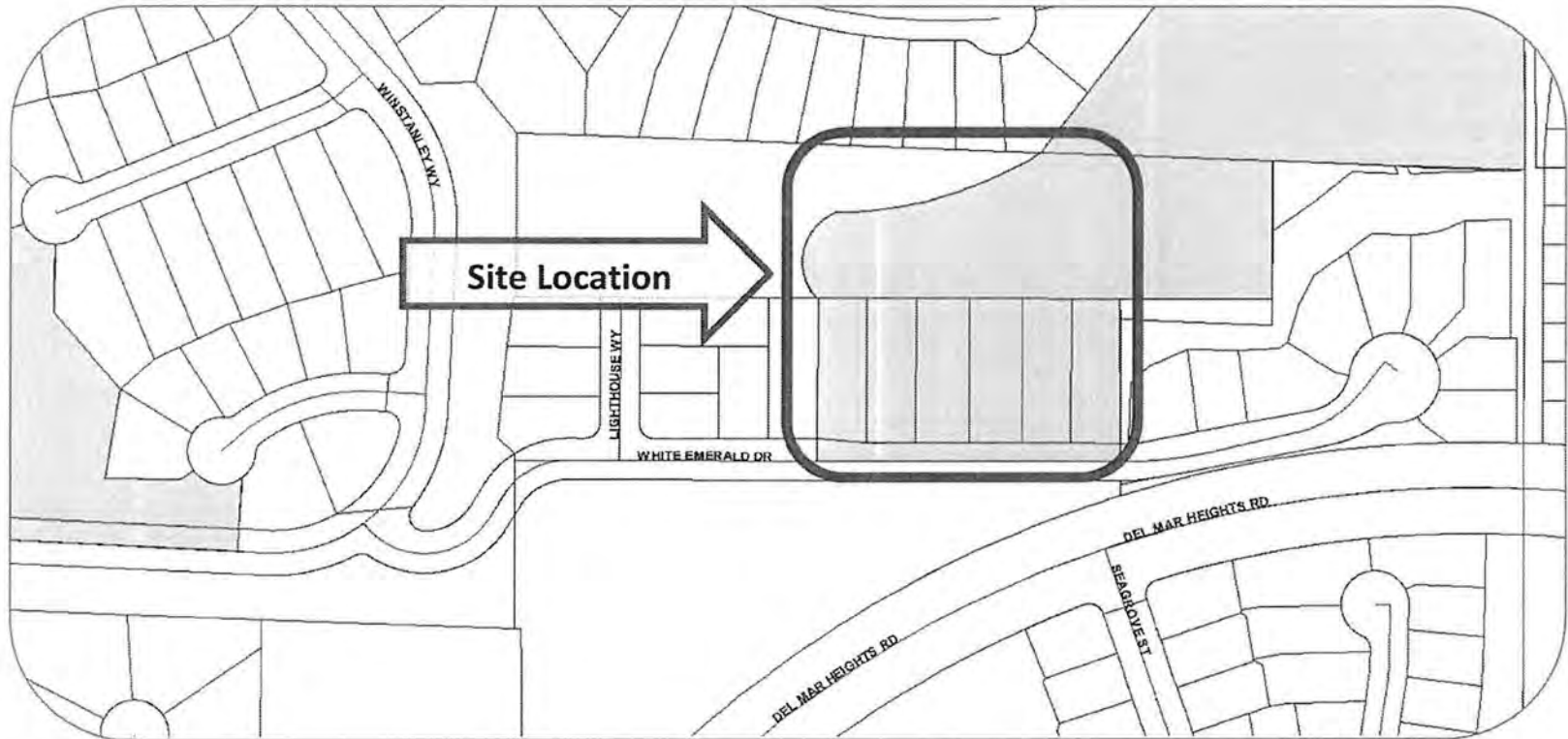


Robert Vacchi, Director
Development Services Department

Date: _____

10/26/17

Attachment 1
Property Location



(O-89-151 REV. 1)

ORDINANCE NUMBER O- 17245 (NEW SERIES)

ADOPTED ON FEB 13 1989

AN ORDINANCE AMENDING CHAPTER X, ARTICLE 3, DIVISION 6, OF THE SAN DIEGO MUNICIPAL CODE BY AMENDING SECTION 103.0601 RELATING TO THE NORTH CITY WEST PLANNED DISTRICT.

BE IT ORDAINED, by the Council of The City of San Diego, as follows:

Section 1. That Chapter X, Article 3, Division 6, of the San Diego Municipal Code be and the same is hereby amended by amending Section 103.0601 to read as follows:

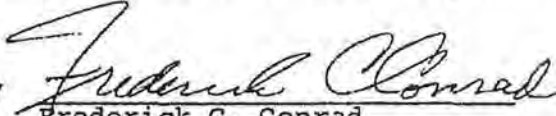
SEC. 103.0601 AREA OF APPLICABILITY

The regulations contained herein shall apply in the North City West Planned District which is within the North City West area in the City of San Diego. The area to which the provisions of this division are applicable is shown on those certain Map Drawing Nos. C-670.4, C-671.1, C-676.4, C-679.2, C-683.1, C-694 and C-698.2, and described in the appended boundary description filed in the office of the City Clerk under Document Nos. 00-16636, 00-16718, 00-16729, 00-17050 and 00-17245.

Section 2. That Ordinance No. O-16975 (New Series), adopted November 9, 1987, of the ordinances of The City of San Diego be and it is repealed insofar as the same conflicts herewith.

Section 3. This ordinance shall take effect and be in force on the thirtieth day from and after its passage.

APPROVED: John W. Witt, City Attorney

By 
Frederick C. Conrad
Chief Deputy City Attorney

FCC:fs:lc
01/05/89
02/06/89 REV. 1
Or.Dept:Plan.
O-89-151
Form=o.none

HS1

Passed and adopted by the Council of The City of San Diego on FEB 13 1989
by the following vote:

Council Members	Yeas	Nays	Not Present	Ineligible
Abbe Wolfshaimer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ron Roberts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gloria McColl	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H. Wes Pratt	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ed Struikma	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
J. Bruce Henderson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Judy McCarty	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bob Filner	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Mayor Maureen O'Connor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AUTHENTICATED BY:

MAUREEN O'CONNOR
Mayor of The City of San Diego, California.

CHARLES G. ABDELNOUR
City Clerk of The City of San Diego, California.

(Seal)

By *Jana Martin* Deputy.

I HEREBY CERTIFY that the foregoing ordinance was not finally passed until twelve calendar days had elapsed between the day of its introduction and the day of its final passage, to wit, on

JAN 31 1989

FEB 13 1989

, and on

~~I FURTHER CERTIFY that said ordinance was read in full prior to its final passage.~~

I FURTHER CERTIFY that the reading of said ordinance in full was dispensed with by a vote of not less than a majority of the members elected to the Council, and that there was available for the consideration of each member of the Council and the public prior to the day of its passage a written or printed copy of said ordinance.

CHARLES G. ABDELNOUR
City Clerk of The City of San Diego, California.

(Seal)

By *Jana Martin* Deputy.

Office of the City Clerk, San Diego, California

Ordinance Number *0-17245* Adopted FEB 13 1989

RECEIVED
CITY CLERK'S OFFICE

89 FEB -6 PM 2:44 *pl*
SAN DIEGO, CALIF.

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31 1993

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CERTIFICATE OF PUBLICATION

CITY OF SAN DIEGO
202 C STREET, 2ND FLOOR
SAN DIEGO, CA 92101

RECEIVED
CITY CLERK'S OFFICE
89 HR-8 BR 10: 18
SAN DIEGO, CALIF. *Ch*

IN THE MATTER OF
AN ORDINANCE AMENDING CHAPTER X, ARTICLE 3, DIVISION 6,
OF THE SAN DIEGO MUNICIPAL CODE BY AMENDING SECTION
103.0601 RELATING TO THE NORTH CITY WEST
PLANNED DISTRICT.

NO.

ORDINANCE NUMBER 0-17245 (NEW SERIES)

AN ORDINANCE AMENDING CHAPTER X, ARTICLE 3, DIVISION 6, OF THE SAN DIEGO MUNICIPAL CODE BY AMENDING SECTION 103.0601 RELATING TO THE NORTH CITY WEST PLANNED DISTRICT.

BE IT ORDAINED, by the Council of The City of San Diego, as follows:

Section 1: That Chapter X, Article 3, Division 6, of the San Diego Municipal Code be and the same is hereby amended by amending Section 103.0601 to read as follows:

SEC. 103.0601 AREA OF APPLICABILITY

The regulations contained herein shall apply in the North City West Planned District which is within the North City West area in the City of San Diego. The Area to Which the provisions of this division are applicable is shown on those certain Map Drawing Nos. C-670.4, C-671.1, C-676.4, C-679.2, C-683.1, C-694 and C-695.2, and described in the appended boundary description filed in the office of the City Clerk under Document Nos. 00-16636, 00-16716, 00-16729, 00-17050 and 00-17245.

Section 2: That Ordinance No. 0-16975 (New Series), adopted November 9, 1987, of the ordinances of The City of San Diego be and it is repealed insofar as the same conflicts herewith.

Section 3: This ordinance shall take effect and be in force on the thirtieth day from and after its passage.

Introduced on Jan. 31, 1989.
Passed and adopted by the Council of The City of San Diego on Feb. 13, 1989.

AUTHENTICATED BY: MAUREEN O'CONNOR
Mayor of The City of San Diego, California
CHARLES G. ABDELNOUR
City Clerk of The City of San Diego, California
By Tena Martin, Deputy
Pub. Feb. 28 134446

I, THOMAS D. KELLEHER, am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk of the San Diego Daily Transcript, a newspaper of general circulation, printed and published daily, except Saturdays and Sundays, in the City of San Diego, County of San Diego, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of San Diego, State of California, under the date of January 23, 1909, Decree No. 14894; and the

ORDINANCE NUMBER 0-17245 (NEW SERIES)

is a true and correct copy of which the annexed is a printed copy and was published in said newspaper on the following date(s), to wit:

FEB. 28

I certify under penalty of perjury that the foregoing is true and correct.

Dated at San Diego, California this 28 day of FEB., 19 89.

Thomas D. Kelleher

(Signature)

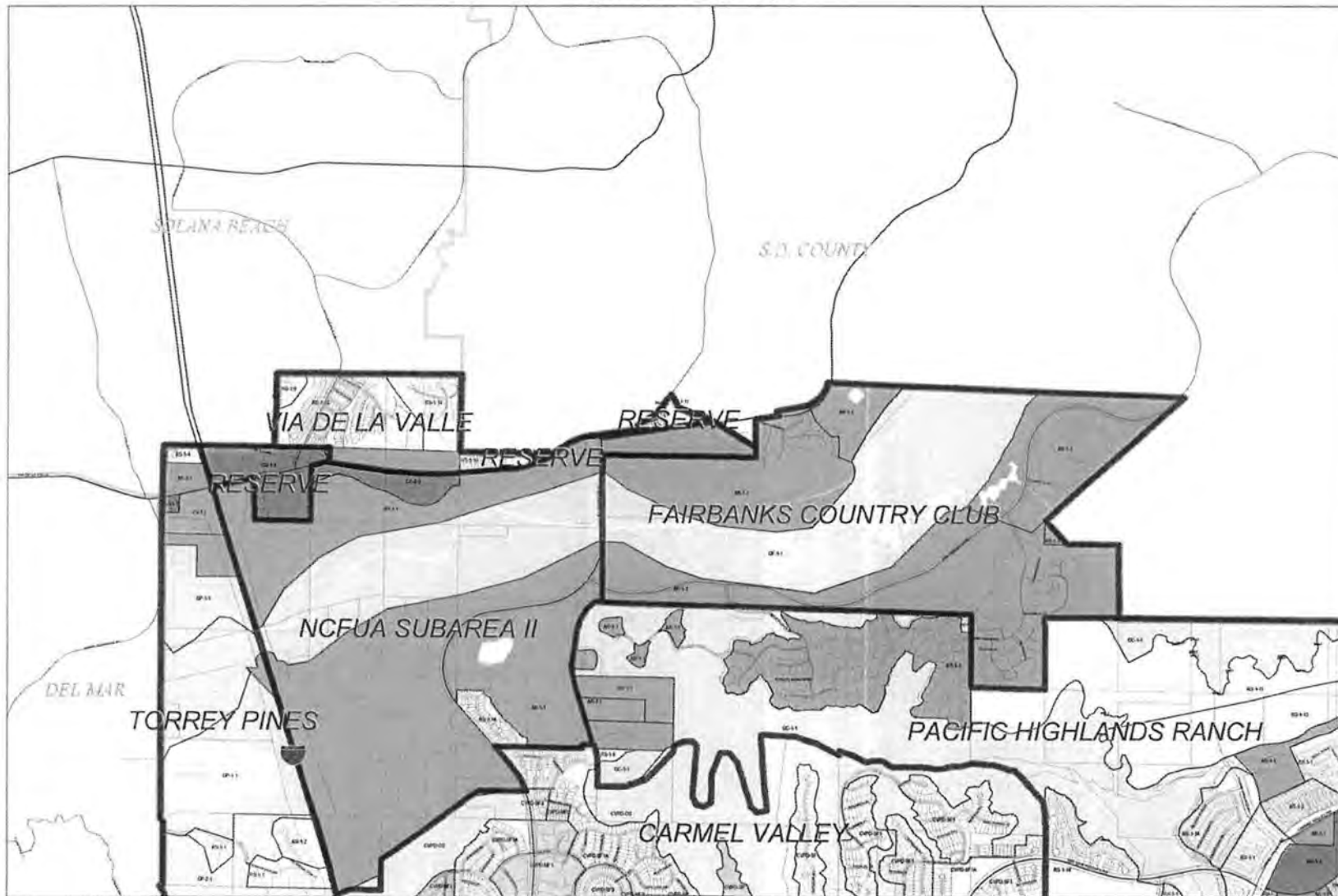
#36.82 x 2 x 3 1/4" = \$70.04



**NORTH CITY WEST PLANNED DISTRICT
DEVELOPMENT UNIT 4-A**

ORD. NO. <u>17247 NS</u>	BEFORE <u>—</u>	REQUEST <u>17 DWELLINGS</u>
EFF. DATE ORD. <u>3-24-89</u>	EFF. DATE ZONING <u>3-24-89</u>	AREA <u>10 ACRES</u>
ZONING SUBJECT TO <u>—</u>	MAP NAME <u>—</u>	CASE <u>—</u>
PLAN. COMM. RECOMMENDATION <u>DENY</u>	<u>Robert Spaulding</u> CITY PLANNING DIRECTOR	CITY OF SAN DIEGO
CITY COUNCIL ACTION <u>APPROVE</u>	SECRETARY OF COMMISSION	C-698.3

Official Zoning Map



Legend

City of San Diego Boundary
 Community Plan Areas
 Parcels

Zoning

[Symbol]	AR-1-1
[Symbol]	AR-1-2
[Symbol]	CC-1-3
[Symbol]	CC-3-3
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[Symbol]	CY-1-1
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[Symbol]	RS-1-4
[Symbol]	RS-1-6
[Symbol]	RS-1-9
[Symbol]	RT-1-2
[Symbol]	RX-1-1

Index Map

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35	36	37	38	
21	32	33	34	
26	27	28	29	30
21	22	23	24	25
18	19	20		
14	15	16	17	
10	11	12	13	
9				
5	6	7	8	
1	2	3	4	

ATTACHMENT 10

San Diego Planning Commission
 Board Resolution 10/26/2010
 The information presented on this map is for informational purposes only and does not constitute a guarantee, warranty, or representation of any kind.

City of San Diego
 Development Services Department
 10/26/2010 4:21:04 PM



City of San Diego
 Development Services Department



GRID TILE: 39
 GRID SCALE: 800
 DATE: 10/26/2010 4:21:04 PM

Lighthouse Ridge

Aerial Image 1981

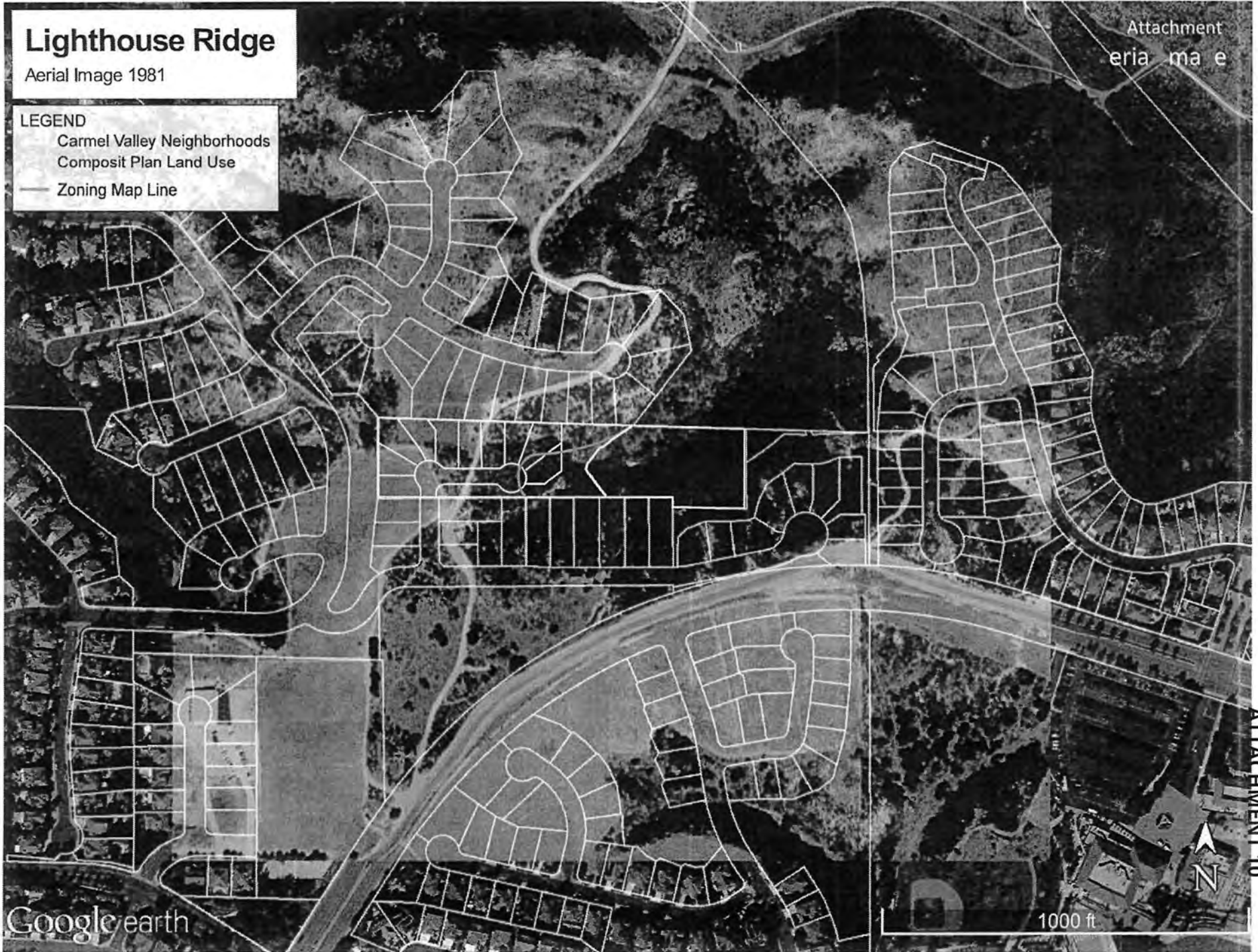
LEGEND

— Carmel Valley Neighborhoods

— Composit Plan Land Use

— Zoning Map Line

Attachment
eria ma e



Google earth

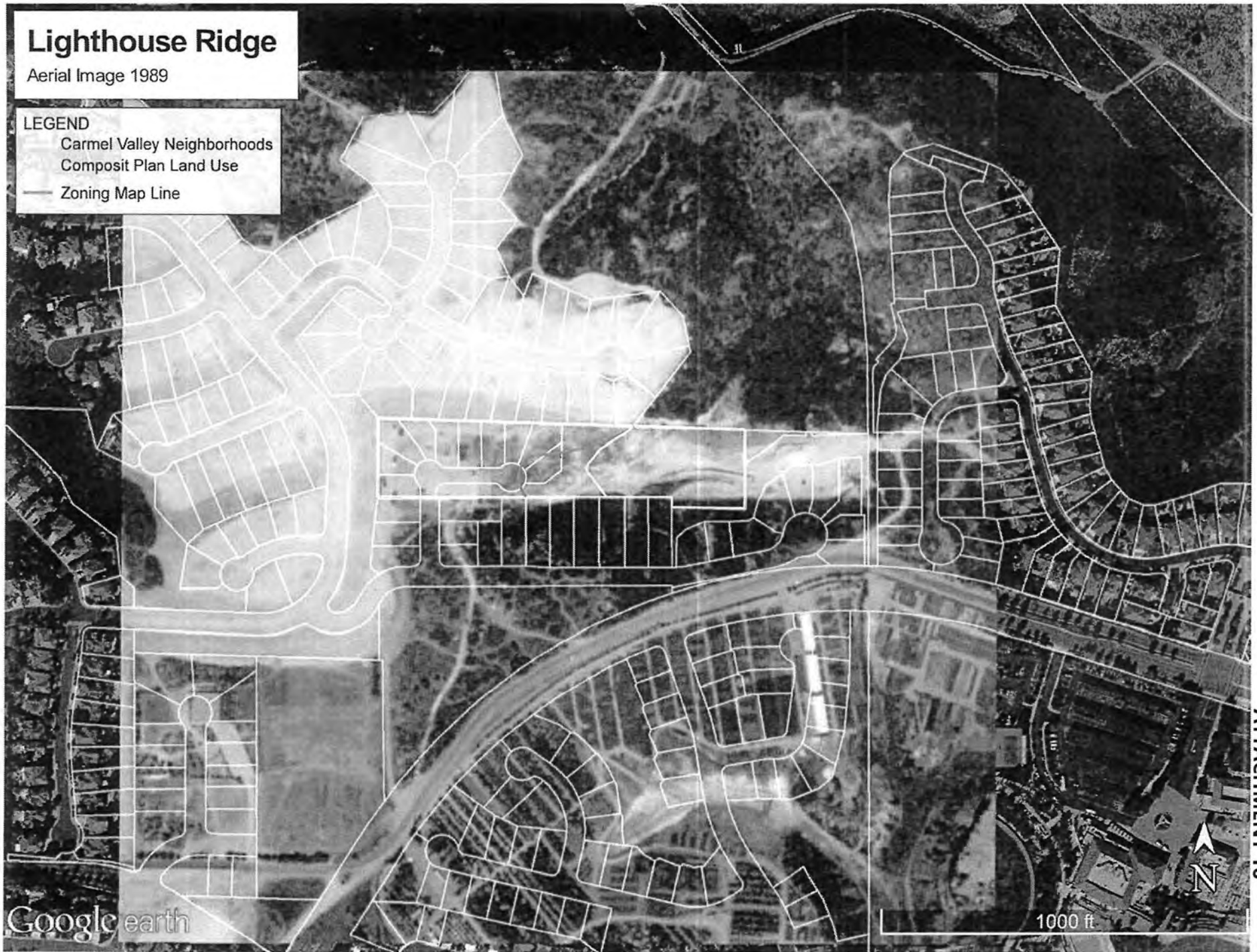
ATTACHMENT 10

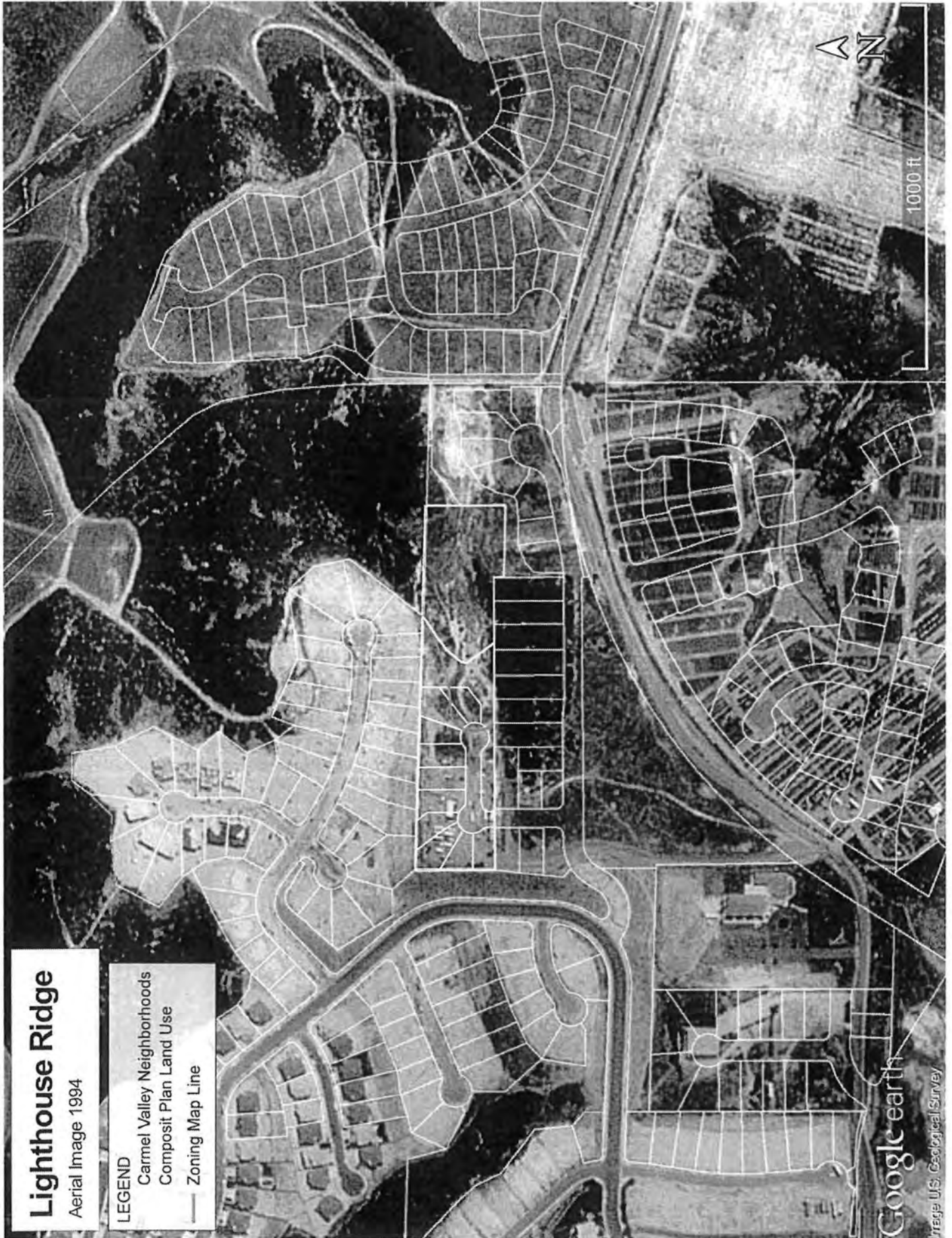
Lighthouse Ridge

Aerial Image 1989

LEGEND

- Carmel Valley Neighborhoods
Composit Plan Land Use
- Zoning Map Line





Lighthouse Ridge

Aerial Image 1994

LEGEND

- Carmel Valley Neighborhoods
Composit Plan Land Use
- Zoning Map Line

Google earth
Image U.S. Geological Survey

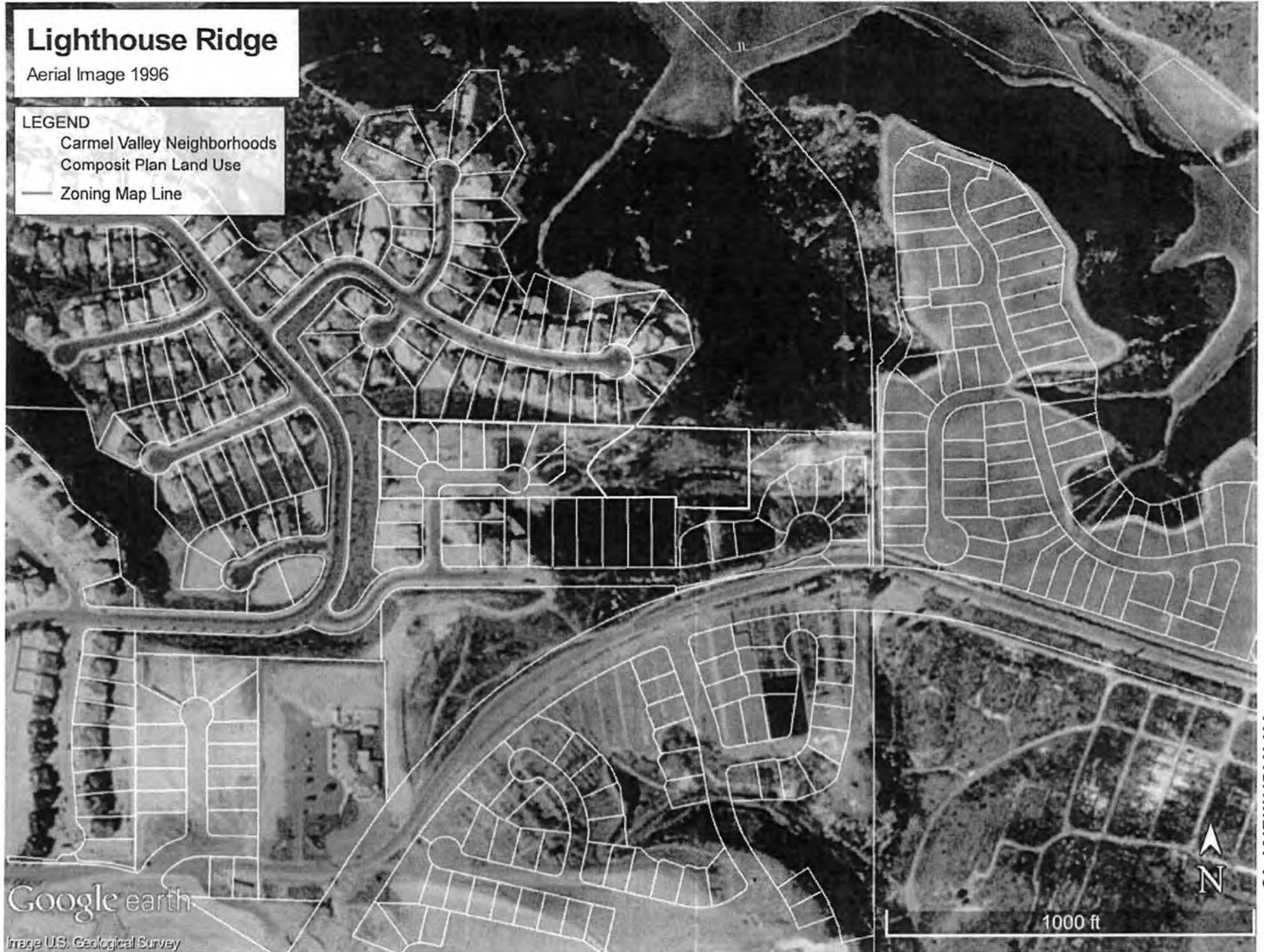
Lighthouse Ridge

Aerial Image 1996

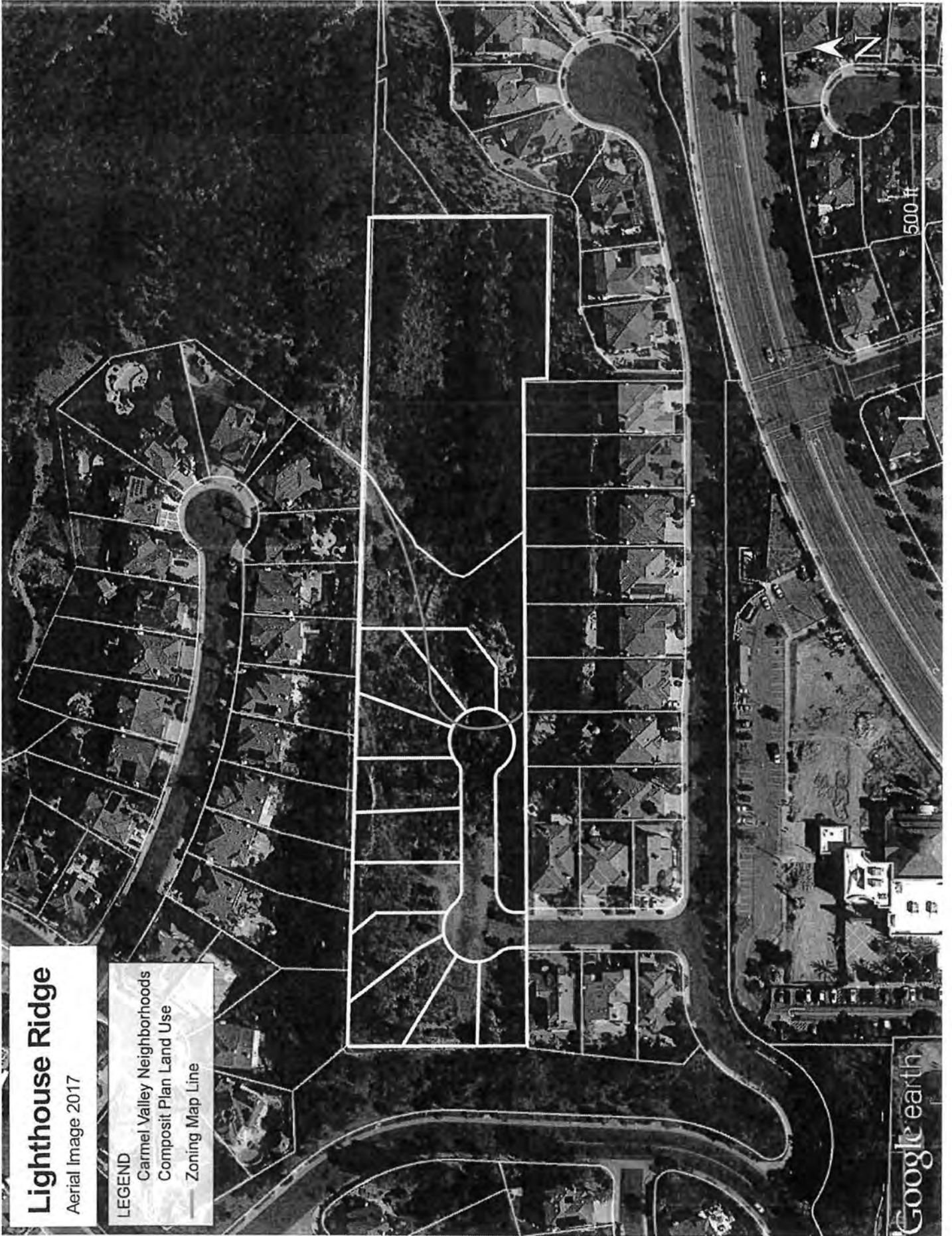
LEGEND

Carmel Valley Neighborhoods
Composit Plan Land Use

— Zoning Map Line







Lighthouse Ridge

Aerial Image 2017

LEGEND

- Carmel Valley Neighborhoods Composite Plan Land Use
- Zoning Map Line

Google earth

Lighthouse Ridge

Aerial Image 2017

LEGEND

- Carmel Valley Neighborhoods
Composit Plan Land Use
- Zoning Map Line

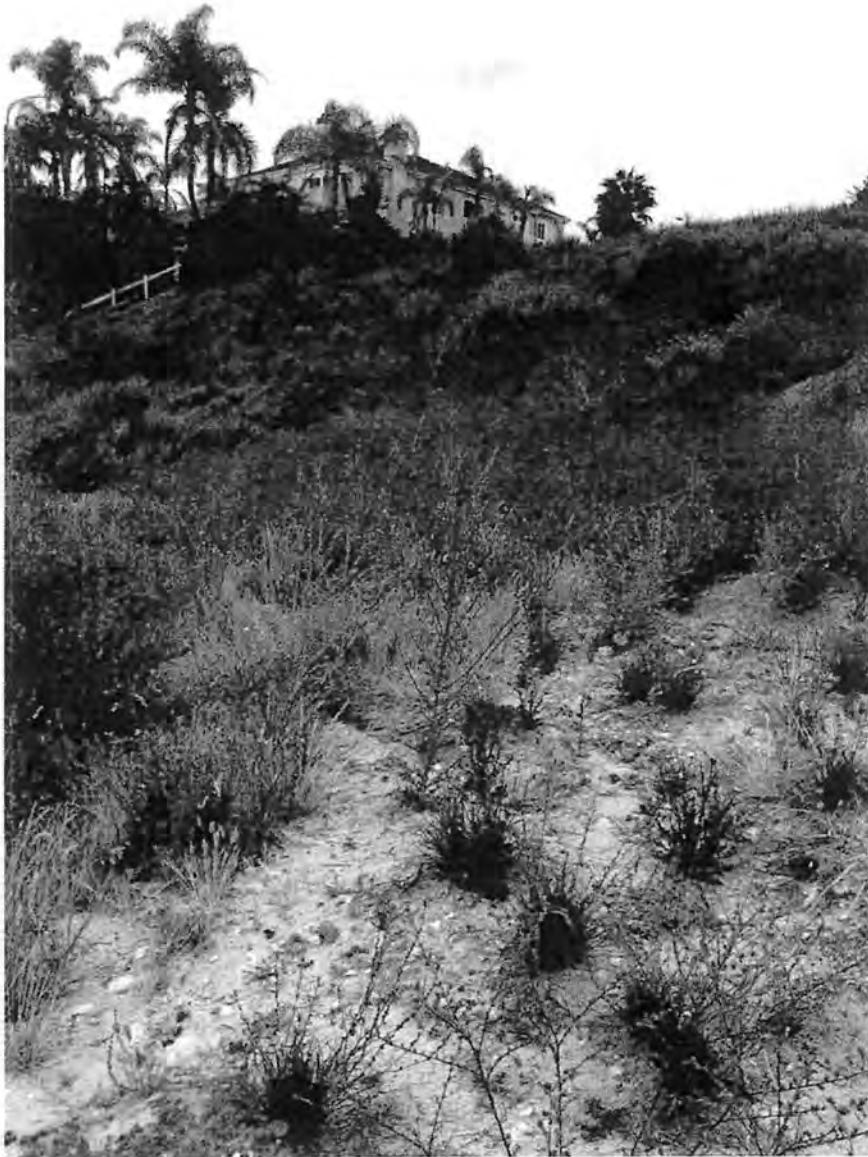


ATTACHMENT 10

Google earth

400 ft





Identification of grading within an area designated as open space on the Official Zoning Map just north of 5160 White Emerald Drive.

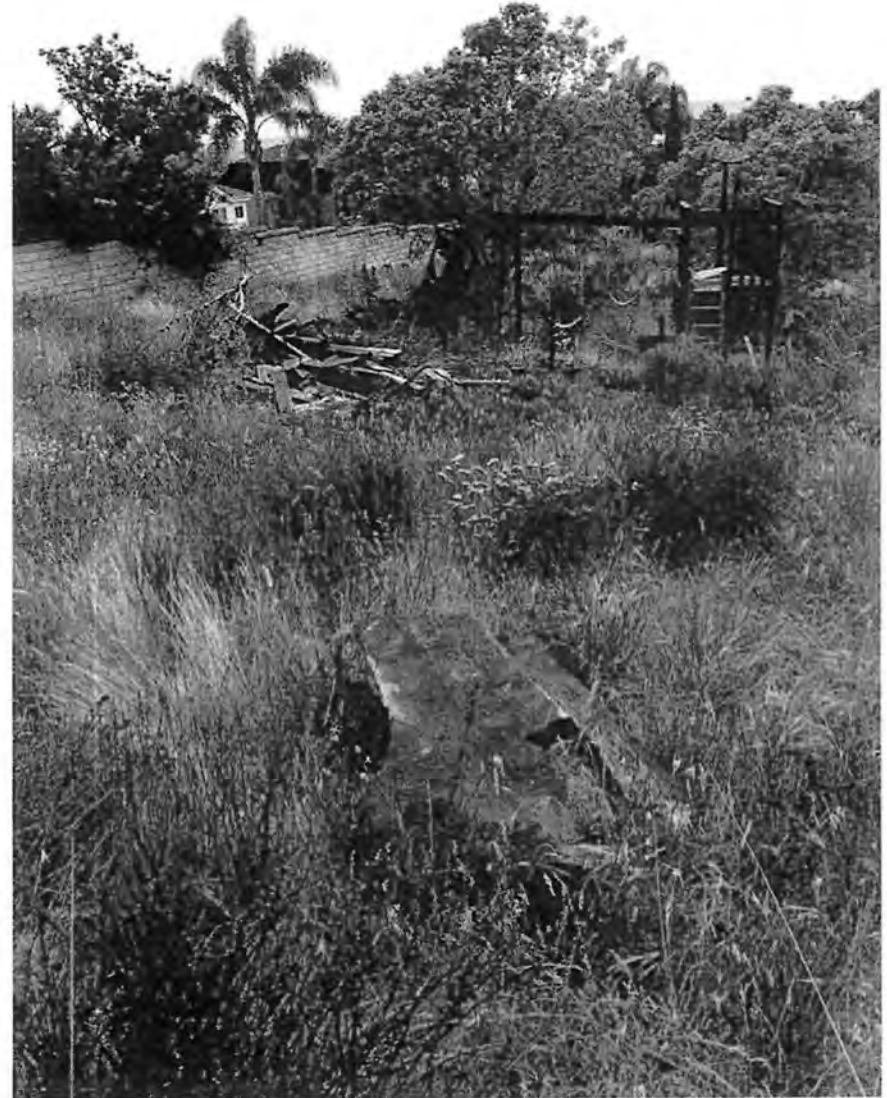


Image of debris within open space.

Memorandum

DATE: April 5, 2017 FILE: 1380.00

TO: Glenn Gargas

FROM: Melissa Krause

SUBJECT: CVSF-1 Zoning Correction
Lighthouse Ridge (PTS# 513356)

Lighthouse Ridge, the proposed project, is located at the end of Lighthouse Way, just north of White Emerald Drive and Del Mar Heights Road. The property is split zoned CVPD-SF1 on the western portion and CVPD-OS on the eastern portion. The CVPD-SF1 zone encompasses the surrounding development directly adjacent to the north along Cheltenham Terrace, west along Winstanley Way, and south along White Emerald Drive and Lighthouse Way. The CVPD-OS zone extends into the project site due to the area's historical topography and proximity to MHPA. However, the exact boundary line is unclear because the surrounding areas developed according to the conceptual, hand-drawn maps from the Development Unit 4A Precise Plan that changed the topography of the canyons to an extent that it is difficult to distinguish the natural from the man-made without referring to historical aerial imagery.

The zoning boundary between open space and residential shown on Zoning Grid Tile 39 (Attachment 1) is different from the San Diego General Plan Land Use and Street System Figure LU-2 (Revised January 12, 2016) (Attachment 2) and the Carmel Valley Neighborhoods Composite Land Use Map (Attachment 3). However, all three maps designate the property as residential development. Due to inconsistencies in zoning map boundaries throughout Carmel Valley, we believe the Carmel Valley Neighborhoods Composite Land Use Map depicts a more accurate boundary between the residential and open space areas because it follows existing conditions throughout the neighborhood more closely.

Although the project site is just one of many inconsistencies in the zoning map throughout Carmel Valley, the most obvious inconsistency lies directly to the south of the project on Zoning Grid 39 along White Emerald Drive where six single family homes have been built within the CVPD-OS zone as shown in the Zoning Error Close-Up Exhibit prepared by Latitude 33 (Attachment 4). Additionally, there is an inconsistency at the end of Wyngate Point, where two fully developed single family lots are located partially within the open space zone boundary as shown on Zoning Grid Tile 39. At the end of Sunset Point Place on Zoning Grid Tile 35 (Attachment 5), there are two single family homes built completely within the CVPD-OS. Lastly, to the east of this along Dunham Court in Zoning Grid 35, there are four lots that are either partially or completely within the CVPD-OS zone. The inconsistencies show there is a difference between the existing neighborhood condition and the zoning map.

We believe the zoning line shown between CVPD-SF1 and CVPD-OS to be a mapping error, and should follow the line in the Carmel Valley Neighborhood's Composite Plan Land Use Map that shows a more accurate condition for the parcels along White Emerald Drive and throughout Carmel Valley. This would represent a more consistent zoning distinction across the entire neighborhood and provide a better representation of what is existing today rather than having a split-zoned parcel, which is likely an unintended zoning error. We request confirmation from the City that this is a zoning error, and the open space boundary should match that shown on the Carmel Valley Neighborhoods Composite Land Use Map.

Thank you.

Attachments:

1. San Diego General Plan Land Use and Street System Figure LU-2
2. Carmel Valley Neighborhoods Composite Land Use Map
3. City of San Diego Zoning Grid Tile 39
4. Zoning Error Close-Up Exhibit
5. City of San Diego Zoning Grid Tile 35



THE CITY OF SAN DIEGO
General Plan
Land Use and Community Planning Element

The General Plan Land Use Map depicts generalized land use within the City of San Diego. The information is a composite of the land use maps adopted for each of the community, specific, precise, subarea and park plan areas. It is intended as a representation of the distribution of land uses throughout the city; although consistent with, it is not a replacement or substitution for community or other adopted land use plans. Please refer to the relevant community or other adopted land use plan documents for more detail regarding planned land uses and land use planning proposals.

Revised Jan. 12, 2016

Figure LU-2
General Plan
Land Use
and Street System

Street System

- Freeways
- Prime Arterials
- Major Arterials
- Collectors (local & rural)

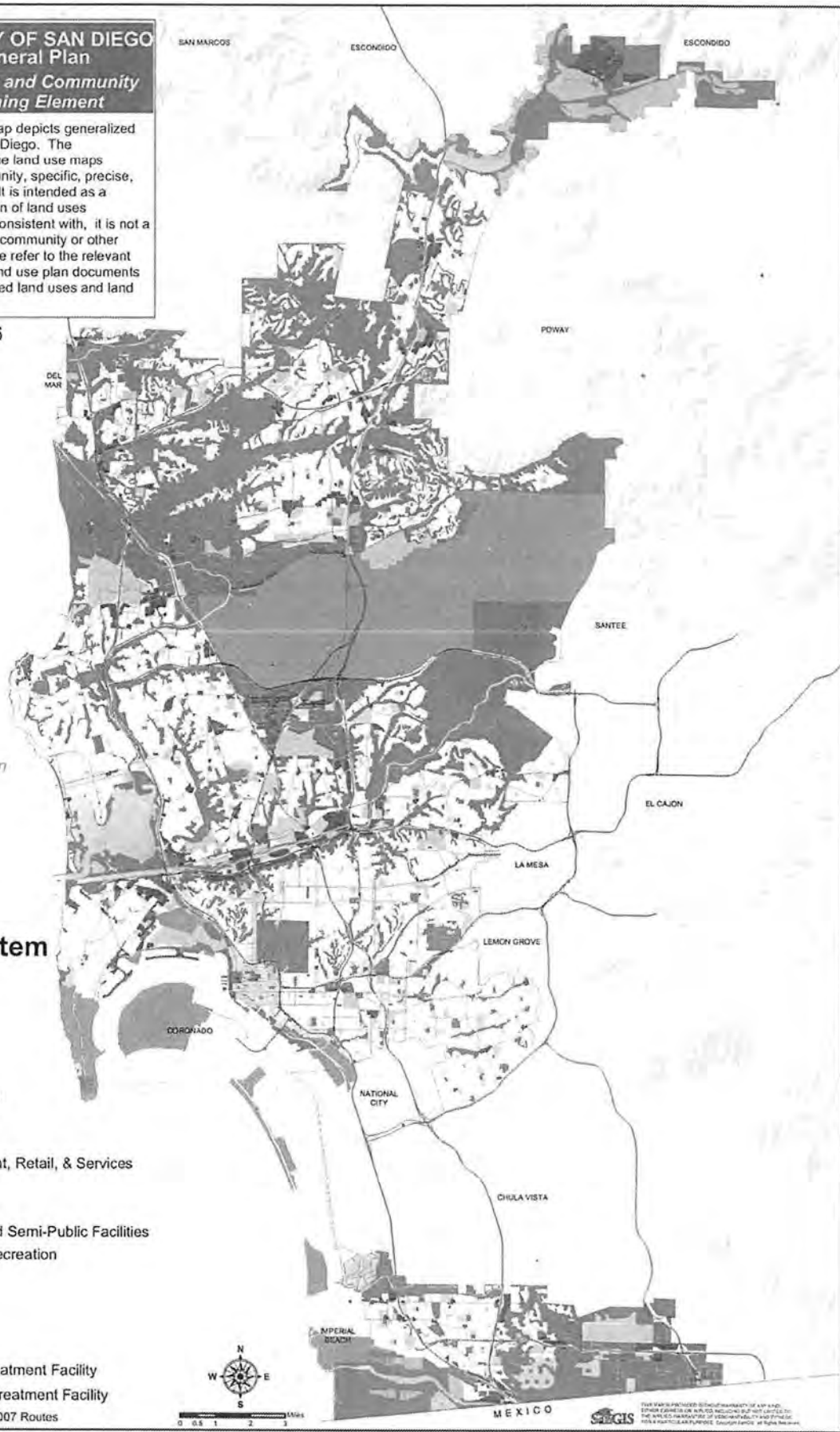
General Plan Land Use

- Residential
- Commercial Employment, Retail, & Services
- Multiple Use
- Industrial Employment
- Institutional & Public and Semi-Public Facilities
- Park, Open Space, & Recreation
- Agriculture

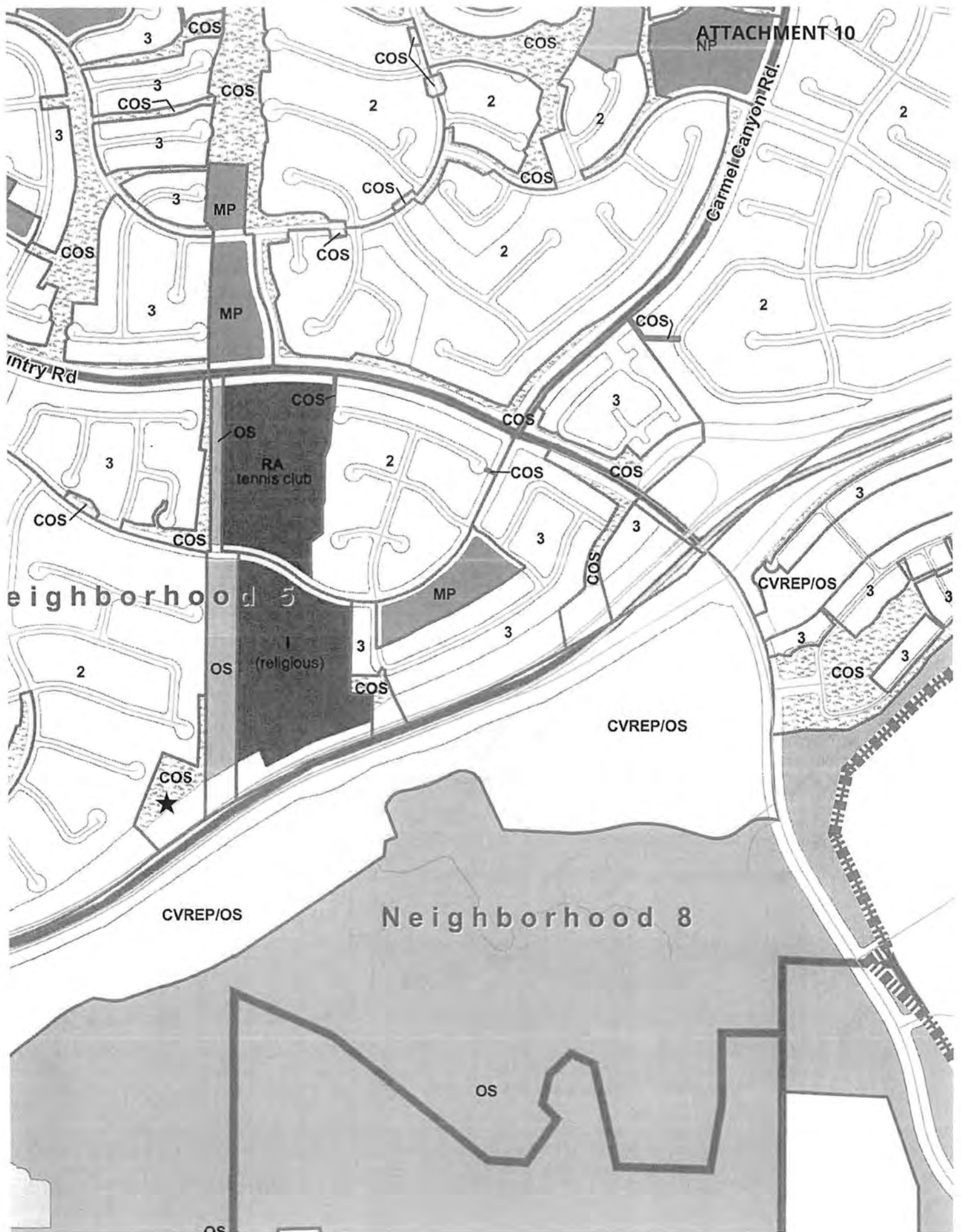
Other Features

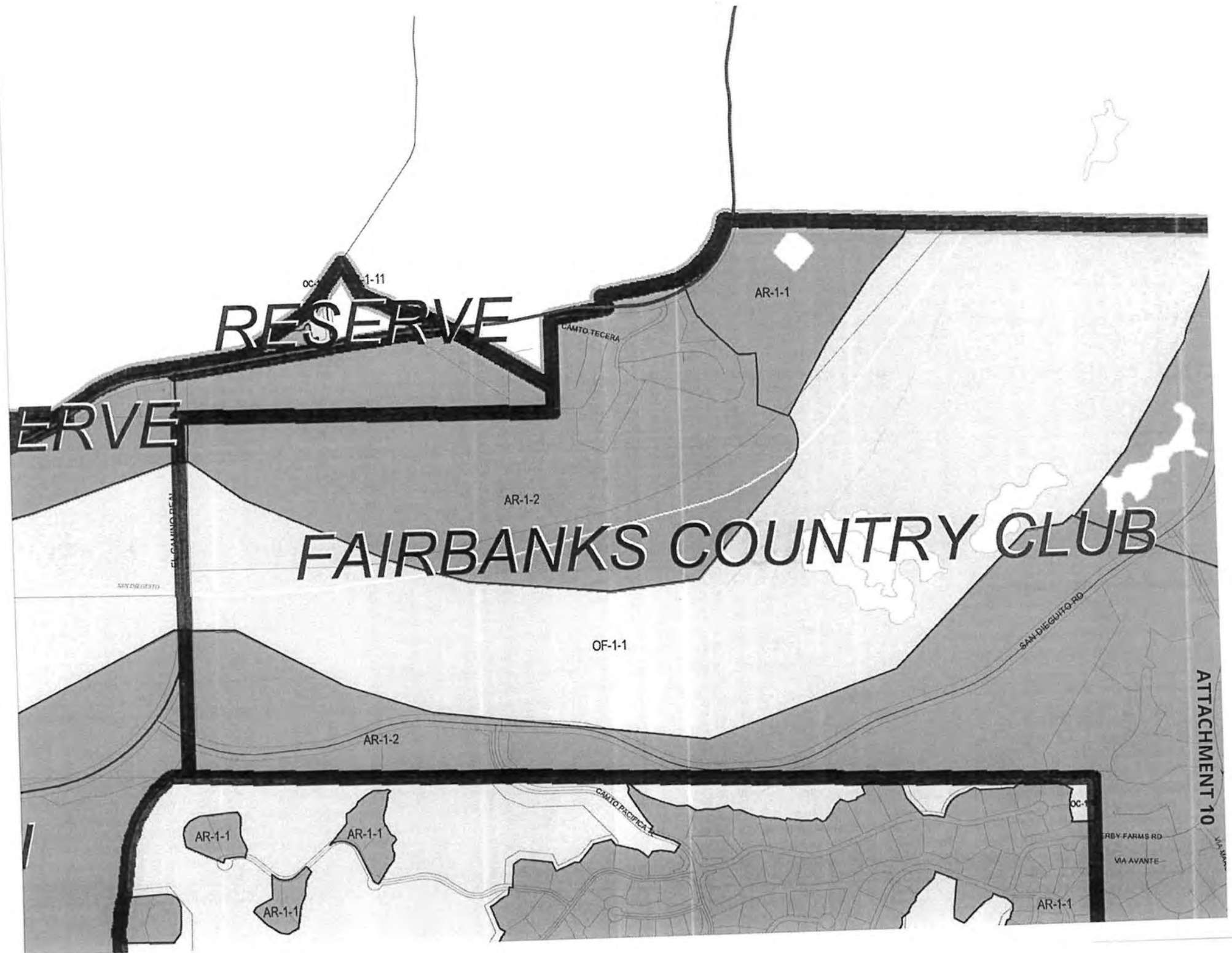
- Military Use
- ▲ Active Landfill
- ◼ Existing Wastewater Treatment Facility
- ◼ Proposed Wastewater Treatment Facility

Source: SANDAG 2007 RTP, MTS 2007 Routes



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RESERVE

ERVE

FAIRBANKS COUNTRY CLUB

ATTACHMENT 10

AR-1-1

AR-1-2

OF-1-1

AR-1-2

AR-1-1

AR-1-1

AR-1-1

AR-1-1

OC-1-11

OC-1

CAMINO TECERA

CAMINO PACIFICA

SAN DIEGO GUTTO RD

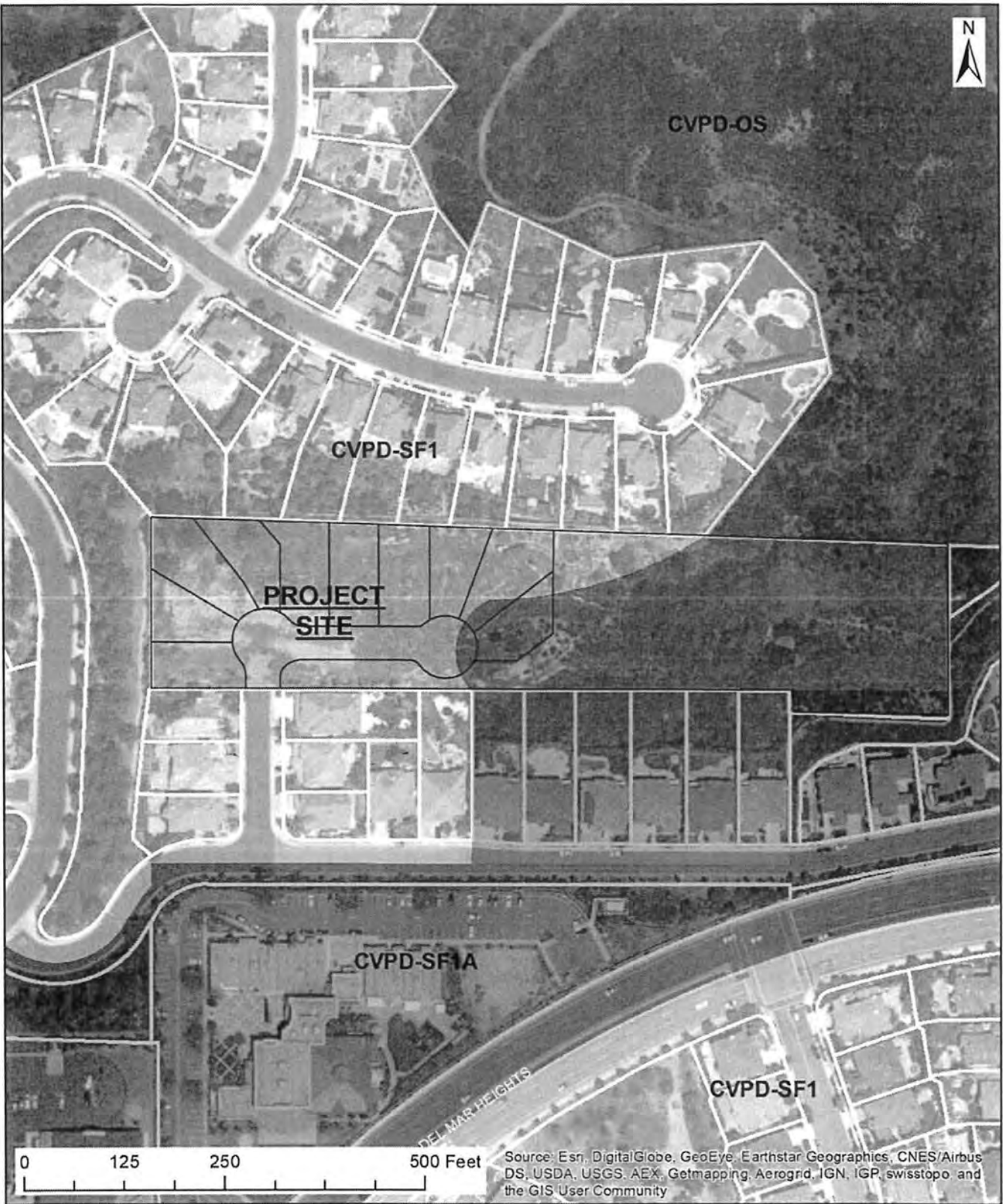
ERBY FARMS RD

VIA AVANTE

EL CAMINO DE AN

MICHIGAN ST

VIA AVANTE



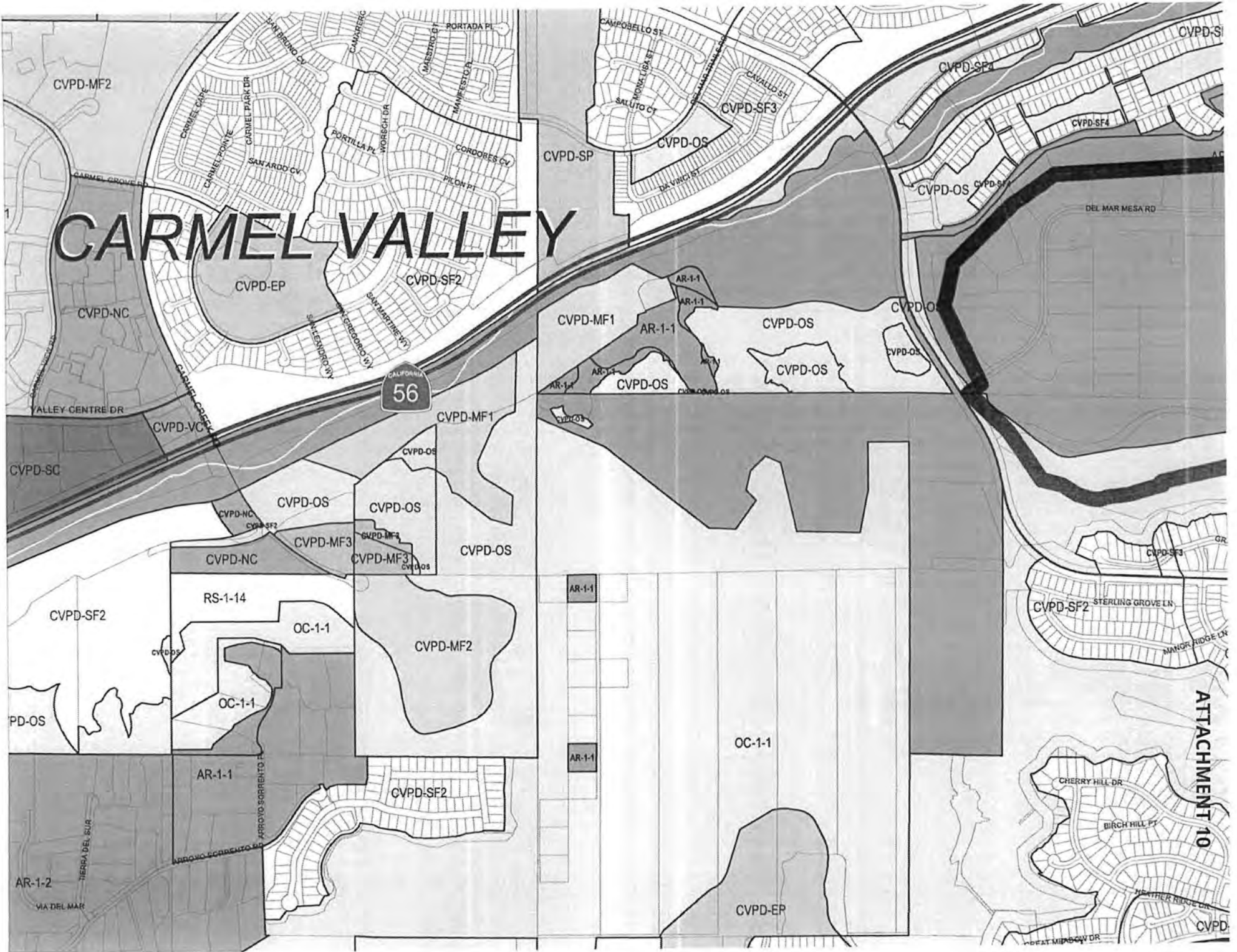
Zoning Error

Lighthouse Ridge
Date: 3/28/2017
Source: SanGIS Regional Data Warehouse (Parcels, Zoning_SD)

latitude **33**
PLANNING & ENGINEERING
9958 Hibert Street 2nd Floor, San Diego, CA 92131
Tel 858.751.0633

CARMEL VALLEY

CALIFORNIA
56



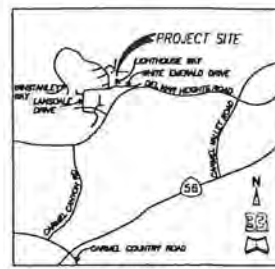
ATTACHMENT 10

LIGHTHOUSE RIDGE

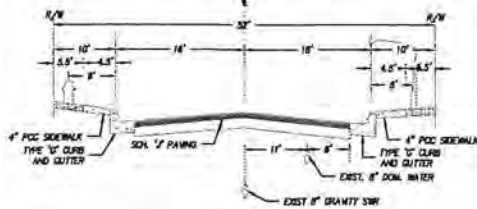
PLANNED DEVELOPMENT PERMIT NO. 1798552

VESTING TENTATIVE MAP NO. 1798551

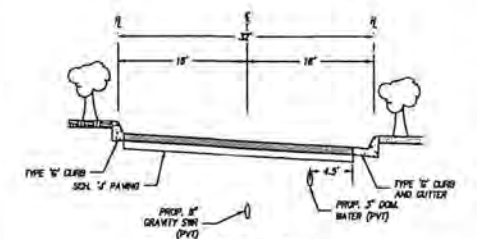
CITY OF SAN DIEGO



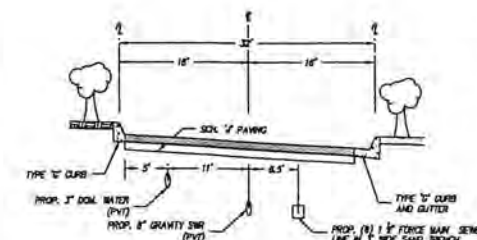
VICINITY MAP
NOT TO SCALE



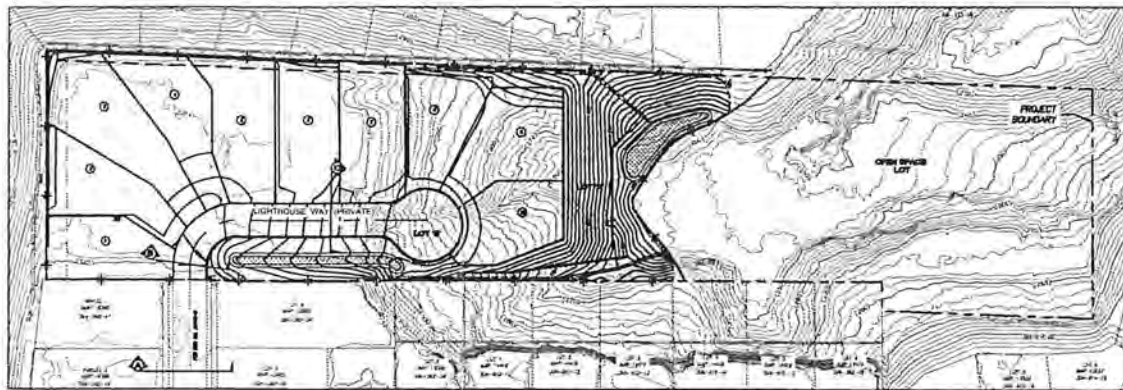
SECTION A - A
EXISTING LIGHTHOUSE WAY (PUBLIC)
(PER CITY DWG. 30228-D)
NO SCALE



SECTION B - B
PROPOSED LIGHTHOUSE WAY (PRIVATE)
NO SCALE



SECTION C - C
PROPOSED STREET A (PRIVATE)
NO SCALE



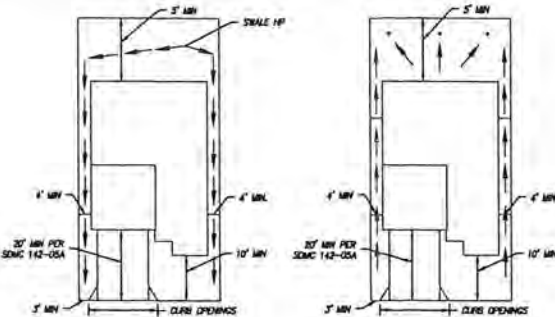
LEGEND:

- EX. BOUNDARY
- PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE
- EXISTING PROPERTY LINE
- EASEMENT
- KADAL BOUNDARY
- NEW LOT NUMBER
- DAYLIGHT LINE (LIMIT OF WORK)
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED LOT NUMBER
- PROPOSED PAD ELEVATION
- EX. UTILITY EASEMENT
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- EXIST STORM DRAIN AND BULET
- PROPOSED STORM DRAIN AND BULET
- BIOFILTRATION BASIN
- EX. WETLANDS AREA A
- EX. WETLANDS AREA B
- EX. UTILITY EASEMENT
- PROPOSED WATER MAIN
- EXISTING WATER MAIN

- PROPOSED WATER SERVICE & METER
- PROPOSED FIRE HYDRANT
- PROPOSED END CAP
- PROPOSED TRUST BLOCK
- PROPOSED SENIOR MAN
- PROPOSED PVT. SENIOR FORCE MAIN
- PROPOSED SENIOR MANHOLE
- PROPOSED PVT. SENIOR LATERAL
- BIOFILTRATION BASIN
- REVERSE CURB OUTLET
- HEADWALL
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT (PER 300-104)

CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICE, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETION REVIEW TRAINING AND AM ON THE APPROVAL LIST FOR PROFESSIONAL CERTIFICATION. I MAINTAIN MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETION REVIEW. I SUBMIT ACCURATE SUBMITTALS ON A CONSISTENT BASIS. I SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETION REVIEW. IF RELEVANT DOCUMENTS OR PLAN CONTENT IS MISSING PROJECT REVIEW WILL BE DELAYED. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 4, CHAPTER 4, SECTION 4. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. SIGNATURE: DATE:



TYPICAL LOT DETAIL*
FOR DRAINAGE & REQUIRED SETBACKS
LOTS 1 & 2
NOT TO SCALE

TYPICAL LOT DETAIL*
FOR DRAINAGE & REQUIRED SETBACKS
LOTS 3-10
NOT TO SCALE

LOT AREA SUMMARY

LOT	AREA OF LOT (SF)	GFA (SF)	FAR	LOT COVERAGE (%)
LOT A	34679	—	—	—
LOT B	11225	—	—	—
OPEN SPACE	80407	—	—	—
1	8609	3798	0.57	38
2	7724	3798	0.48	32
3	10573	4527	0.43	33
4	7748	3798	0.48	32
5	8338	4027	0.54	47
6	8278	4027	0.54	47
7	8367	4317	0.54	47
8	8942	3798	0.57	37
9	8830	4517	0.51	38
10	8820	3798	0.55	37

LOT DIMENSIONS

LOT	AREA (AC)	WIDTH (FT)	DEPTH (FT)
1	0.102	38.4	122.0
2	0.189	38.0	142.7
3	0.243	84.3	214.8
4	0.178	84.7	185.1
5	0.181	84.3	138.7
6	0.182	81.8	138.0
7	0.183	83.0	133.4
8	0.182	88.7	113.0
9	0.203	103.3	154.8
10	0.157	80.3	101.0

DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST: A PLANNED DEVELOPMENT PERMIT, VESTING TENTATIVE SUBDIVISION MAP, AND SITE DEVELOPMENT PERMIT FOR 10 MARKET RATE SINGLE-FAMILY RESIDENTIAL UNITS, 2 HSA LOTS, & 1 OPEN SPACE LOT IN THE CAMEL VALLEY PLANNED DISTRICT, ZONE 1.
2. STREET ADDRESS: NORTH OF LIGHTHOUSE WAY
3. SITE AREA: TOTAL SITE AREA (GROSS): 4.74 ACRES, 206,390 S.F.; NET SITE AREA: 2.79 ACRES, 123,330 S.F. (NET SITE AREA EXCLUDES PUBLIC UTILITIES)
4. ZONING: CVD-97 AND CVD-05
5. USE: EXISTING USE: VACANT LAND; PROPOSED USE: SINGLE-FAMILY RESIDENTIAL
6. TYPE OF CONSTRUCTION: TYPE 1-B WITH MFM 130 FEET SPRAWLERS
7. OCCUPANCY CLASSIFICATION: R3
8. NOTE: NO EXISTING OR PROPOSED ADJACENT TRAVEL STRIPS
9. YEAR CONSTRUCTED FOR EXISTING STRUCTURES: N/A
10. COMMUNITY PLANNING AREA: CAMEL VALLEY
11. COVERAGE DATA: MAXIMUM LOT COVERAGE: 30%; MAXIMUM FLOOR AREA RATIO: 0.57; GROSS FLOOR AREA: 1,750 SF & 4,022 SF; SEE LOT AREA SUMMARY TABLE BELOW FOR MORE DETAILS
12. DENSITY: MAXIMUM PERMITTED DENSITY: 100 PER LOT; NUMBER OF UNITS PROPOSED: 12
13. SETBACKS (PER SDMC TABLE 153-030): REQUIRED MINIMUM FRONT YARD SETBACK: 10 FEET; PROPOSED FRONT YARD SETBACK: 10 FEET MIN; REQUIRED GARAGE SETBACK: 15 FEET MIN; PROPOSED GARAGE SETBACK: 15 FEET MIN; REQUIRED SIDE YARD INTERIOR: 4 FEET; PROPOSED SIDE YARD INTERIOR: 4 FEET MIN; REQUIRED STREET SIDE SETBACK: 10 FEET; PROPOSED STREET SIDE SETBACK: N/A; REQUIRED REAR YARD SETBACK: 4 FEET; PROPOSED REAR YARD SETBACK: 8 FEET MIN; SEE SHEET 4 FOR DIMENSIONS AND SETBACKS
14. BRUSH MANAGEMENT: ZONE 1 (SEE LANDSCAPE SHEET)
15. DEMONSTRATE SET DEMONSTRATION TABLE BELOW
16. SEISMOLOGICAL HAZARD CATEGORY: 23 AND 23
17. LANDSCAPE AREA SQUARE FOOTAGE: 28,700 SF

GRADING

1. TOTAL AMOUNT OF SITE TO BE GRADED: 2.88 AC.
 2. PERCENT OF TOTAL SITE GRADED: 0.22 AC.
 3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER (> 4:1): 0.73 AC.
 4. PERCENT OF THE SLOPE SLOPES STEEPER THAN 25%: PROPOSED TO BE GRADED.
 5. PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 33.1%
 6. AMOUNT OF CUT: 4.08 CUBIC YARDS (CY) (CY)
 7. AMOUNT OF FILL: 28.52 CY (CY)
 8. MAXIMUM HEIGHT OF CUT SLOPES: 40 FEET
 9. MAXIMUM HEIGHT OF FILL SLOPES: 12 FEET
- NOTE: ADDITIONAL WALLS UNDER 3' IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL AREAS BASED ON PRELIMINARY GRADING.

SOLAR ACCESS NOTE

THIS IS TO ATTEST THAT THE DESIGN OF THIS PROJECT, TO THE EXTENT FEASIBLE, FOR FUTURE PASSAGE OF NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISIONS OF SECTION 38471.5 OF THE STATE SUBDIVISION MAP ACT.

LEGAL DESCRIPTION

THE NORTH 27.8 FEET OF THE WEST 100.00 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 14 SOUTH, RANGE 3 WEST SAN JUAN RIVER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY.

EXCEPTING THEREIN THAT PORTION THEREOF, IF ANY, WHICH LIES WITHIN THE FOLLOWING DESCRIBED PARCEL OF LAND:

COMMENCING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 17; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID EAST HALF A DISTANCE OF 27.8 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTHERLY ALONG SAID WESTERLY LINE 27.8 FEET; THENCE AT RIGHT ANGLES EASTERLY 80.00 FEET; THENCE AT RIGHT ANGLES NORTHERLY 27.8 FEET; THENCE AT RIGHT ANGLES WESTERLY 80.00 FEET TO THE TRUE POINT OF BEGINNING.

BASIS OF BEARINGS

BASES OF BEARINGS IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (FPOOD 1983-20) ZONE 10 FOR PLUMB CONTROL. MONUMENTS 2008 AS SHOWN ON RECORD OF SURVEY WITH AND 117 AS SHOWN ON RECORD OF SURVEY 17442 RECORDED IN THE COUNTY OF SAN DIEGO.

MAPPING NOTE

A FINAL MAP WILL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE VESTING TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL MAP.

ASSESSOR'S PARCEL NO.

304-280-01-00

NAD 83 COORDINATES

CS 83 COORDINATE: 1925-087
CG COORDINATE: 200-1707

GENERAL NOTES

1. LOT SUMMARY
2. TOTAL AREA WITHIN SUBDIVISION IS 4.74 ACRES (GROSS)
3. GAS AND ELECTRIC: SAN DIEGO GAS & ELECTRIC
4. TELEPHONE: TIME WARNER CABLE
5. CABLE TELEVISION: TIME WARNER CABLE
6. SEWER AND WATER: CITY OF SAN DIEGO
7. DRAINAGE SYSTEM: AS REQUIRED BY CITY ENGINEER
8. FIRE: CITY OF SAN DIEGO
9. SCHOOL DISTRICT: SAN DIEGO UNIFIED DISTRICT (ELEMENTARY)
10. ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND
11. CONTOUR INTERVAL: 2 FEET
DATE: 2.5' BRASS DISK MARKED "T.M. CIVIL 1987" LOCATED ON N4 OF LA VALLE AND SAN ANTONIO, PER CITY OF SAN DIEGO RECORD OF SURVEY 17442 DATED MARCH 31, 1994.
ELEVATION: 32.572 FT
12. REFER: FIELD SURVEY BY TERRACONIC, INC. DATED 08/25/2017
13. ALL PROPOSED SLOPES ARE 2:1 UNLESS NOTED OTHERWISE.
14. LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION IN FINAL DESIGN.
15. ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE REMOVED.
16. OPEN SPACE LOTS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
17. AT NO TIME WILL THE DEVELOPER REQUEST HOW THE CITY PERMIT, WATER METERS AND SERVICES WITHIN ANY VEHICULAR USE AREA TO SERVE THIS DEVELOPMENT.
18. ALL PUBLIC WATER & SEWER FACILITIES AND ASSOCIATED EASEMENTS WILL BE GRANTED, DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN DIEGO WATER & SEWER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES.
19. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE Ongoing PERMANENT SWP MAINTENANCE.
20. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 3, DIVISION 1 (EROSION REGULATION) OF THE SAN DIEGO MUNICIPAL CODE (MCC) DATED MAY 20, 2003 INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
21. THE SUBDIVIDER SHALL PROVIDE ENDOUSEMENT MAINTENANCE AND PERMANENT IMPROVEMENTS FOR ALL ACCEPTABLE ENDOUSEMENTS INTO THE WATER AND SEWER EASEMENTS, INCLUDING BUT NOT LIMITED TO STRUCTURES, ENHANCED PAVING, OR LANDSCAPING. NO STRUCTURES OR LANDSCAPING OF ANY KIND SHALL BE INSTALLED IN OR OVER ANY VEHICULAR ACCESS ROADWAY.
22. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE REMOVED WITHIN TEN FEET OF ANY SENIOR AND THE FEET OF ANY WATER FACILITIES.
23. BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET PER THIS POLICY P-00-8 (MCC 903.4.4).
24. THE SUBDIVIDER SHALL PROVIDE A DECLARATION OF CONDOMINIUM AND RESERVATION OF EASEMENTS FOR THE PRIVATE DRAINAGE EASEMENT FOR THE PROJECT SITES CURRENTLY HELD BY THE SAN DIEGO COUNTY. THE DECLARATION OF CONDOMINIUM AND RESERVATION OF EASEMENTS SHALL STATE: "SINCE THE DRAINAGE EASEMENT IS A PRIVATE AND NOT A PUBLIC ISSUE, THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY DISPUTE THAT MIGHT ARISE IN THE FUTURE BETWEEN THE PRIVATE PARTIES."
25. THE PROJECT APPLICANT ACKNOWLEDGES AND AGREES TO THE ARCHAEOLOGICAL AND PALEONTOLOGICAL MONITORING REQUIREMENT.
26. THE EXTENSION OF LIGHTHOUSE WAY WILL BE PRIVATE AND HAVE A STREET SIGN NOTING THIS.

STORM WATER NOTES

1. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2008-000008, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. 18-2013-001, OR SUBSEQUENT ORDER, IN ACCORDANCE WITH ORDER NO. 2008-000008, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
2. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A WASTE DISCHARGE DETERMINATION (WDD) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PART OF DEVELOPMENT UNDER THE CONSTRUCTION GENERAL PERMIT, WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT). A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION 14.0 OF ORDER NO. 2008-000-080 AND A COPY SHALL BE SUBMITTED TO THE CITY ENGINEER.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

OWNER/DEVELOPER: LIGHTHOUSE TO LLC
1028 COLLEGE AVE, SUITE 101
CARLSBAD, CA 92008
(760) 734-7181

PLANNING & CIVIL ENGINEERING:
LATITUDE 33 PLANNING & ENGINEERING
1000 INHERIT STREET 2ND FLOOR
SAN DIEGO, CA 92161
(602) 731-0833

ARCHITECT:
EDINGER ARCHITECTS
444 S CEDROS AVE, SUITE 125
SOLANA BEACH, CA 92075
(949) 704-1004

LANDSCAPE ARCHITECTURE:
SAN LANDSCAPE ARCHITECTURE
2 LAND PLANNING
3728 RIMWOOD HEAD HILL, SUITE 201
SAN JUAN CAPISTRANO, CA 92675
(760) 394-5850

Prepared By: LATITUDE 33 PLANNING AND ENGINEERING
Name: LATITUDE 33 PLANNING AND ENGINEERING
Address: 1000 INHERIT STREET 2ND FLOOR
SAN DIEGO, CA 92161
Phone #: (602) 731-0833
Fax #: (602) 731-0834

Project Address:
LIGHTHOUSE WAY, SAN DIEGO, CALIFORNIA 92120

Project Name:
LIGHTHOUSE RIDGE

Sheet Title:
VTM/SDP
COVER SHEET

Revision	Date
14:	2018-04-18
13:	2017-12-09
12:	2017-10-19
11:	2017-08-28
10:	2017-08-19
9:	2017-08-19
8:	2017-08-19
7:	2017-08-19
6:	2017-08-19
5:	2017-08-19
4:	2017-08-19
3:	2017-08-19
2:	2017-08-19
1:	2017-08-19

Original Date: 2018-08-13
Sheet: 1 of 17
PTS # 513356
I.O. # 24007007

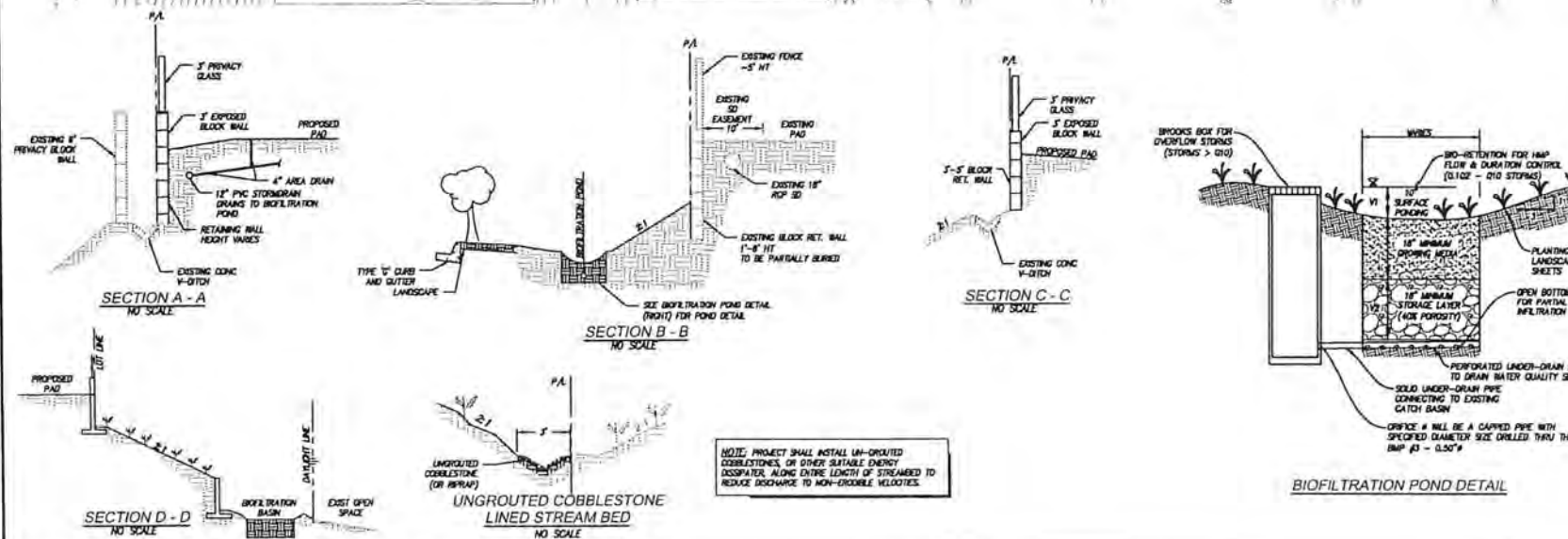
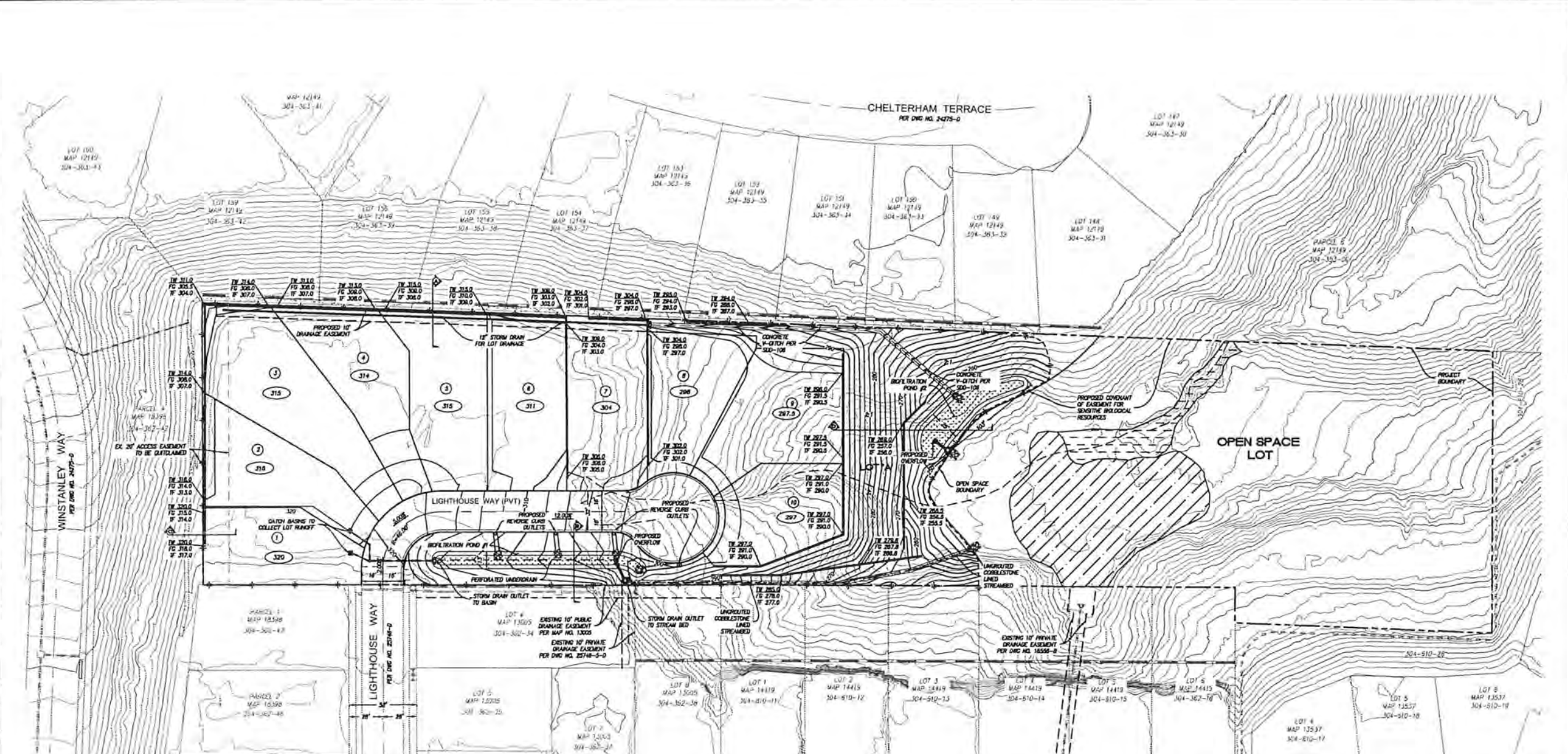
OWNER: LIGHTHOUSE TO LLC DATE

PREPARED IN THE OFFICE OF:

latitude 33
PLANNING & ENGINEERING
1000 INHERIT STREET 2ND FLOOR
SAN DIEGO, CA 92161
(602) 731-0833

MATTHEW J. SANCHEZ
REGISTERED PROFESSIONAL ENGINEER
NO. 71078
(Exp. 08-30-19)
CIVIL
STATE OF CALIFORNIA

MATTHEW J. SANCHEZ DATE



STORM WATER NOTES:

1. ALL GRAVEL DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND FINISHED AS SHOWN IN TABLE 1400F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.011. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
2. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF INTO THE EXISTING WILDCREAK AREAS.
3. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
4. MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
5. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.

BIORETENTION POND NOTES:

1. AMENDED SOIL SHALL CONFORM TO THE STANDARD SPECIFICATION FOR APPENDIX F.4 OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL AND SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 3 IN/HR OVER THE LIFETIME OF THE FACILITY.
2. GRAVEL STORAGE LAYER SHALL CONFORM TO THE STANDARD SPECIFICATION FOR APPENDIX F.3 OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL AND SHALL CONSIST OF A MINIMUM 18" FILTER COURSE OVER 12" OF CLEAN WASHED ASTM #20 OPEN GRADED STONE. FILTER COURSE SHALL CONSIST OF 3" LAYER OF CLEAN WASHED ASTM #20 FINE AGGREGATE SAND UNDERLIES A 3" LAYER OF ASTM #8 STONE.
3. UNDERDRAINS SHALL BE MINIMUM 6" SLOTTED PVC PIPE CONFORMING TO ASTM D3035 BE CORROSION RESISTANT TO ALKALI USING CLEANOUT PORTS SHALL BE A MINIMUM 6" DIAMETER WITH LOCKABLE CAP AND PLACED EVERY 30' OF UNDERDRAIN LENGTH.
4. BIORETENTION BASINS SHALL BE PLANTED WITH ADEQUATE GRASS/SHRUB AS OUTLINED IN APPENDIX E OF THE SAN DIEGO LOW IMPACT DEVELOPMENT DESIGN MANUAL, SET LANDSCAPE PLAN SHEETS.

BENCHMARK
 3.5" BRASS DISK MARKED "015, 016, 188" LOCATED ON VA DE LA VALLE AND SAN ANDRES, PER CITY OF SAN DIEGO RECORD OF SURVEY 14482 DATED MARCH 31, 1994
 ELEVATION: 32.579 FT
 SOURCE: FIELD SURVEY BY TERRACON, INC. DATED 08/22/2017

BASIS OF BEARINGS
 BASIS OF BEARING IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (EPSON 1983) ZONE 8, PER FOUND CONTROL MONUMENTS 2008 AS SHOWN ON RECORD OF SURVEY 14071 AND 117 AS SHOWN ON RECORD OF SURVEY 14482 RECORDED IN THE COUNTY OF SAN DIEGO

Prepared By:
 Name: **LATITAGE 31 PLANNING AND ENGINEERING**
 Address: **8008 LAUREL STREET, 2ND FLOOR**
 SAN DIEGO, CA 92121
 Phone #: (619) 791-0633
 Fax #: (619) 791-0624

Project Address:
LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA 92120

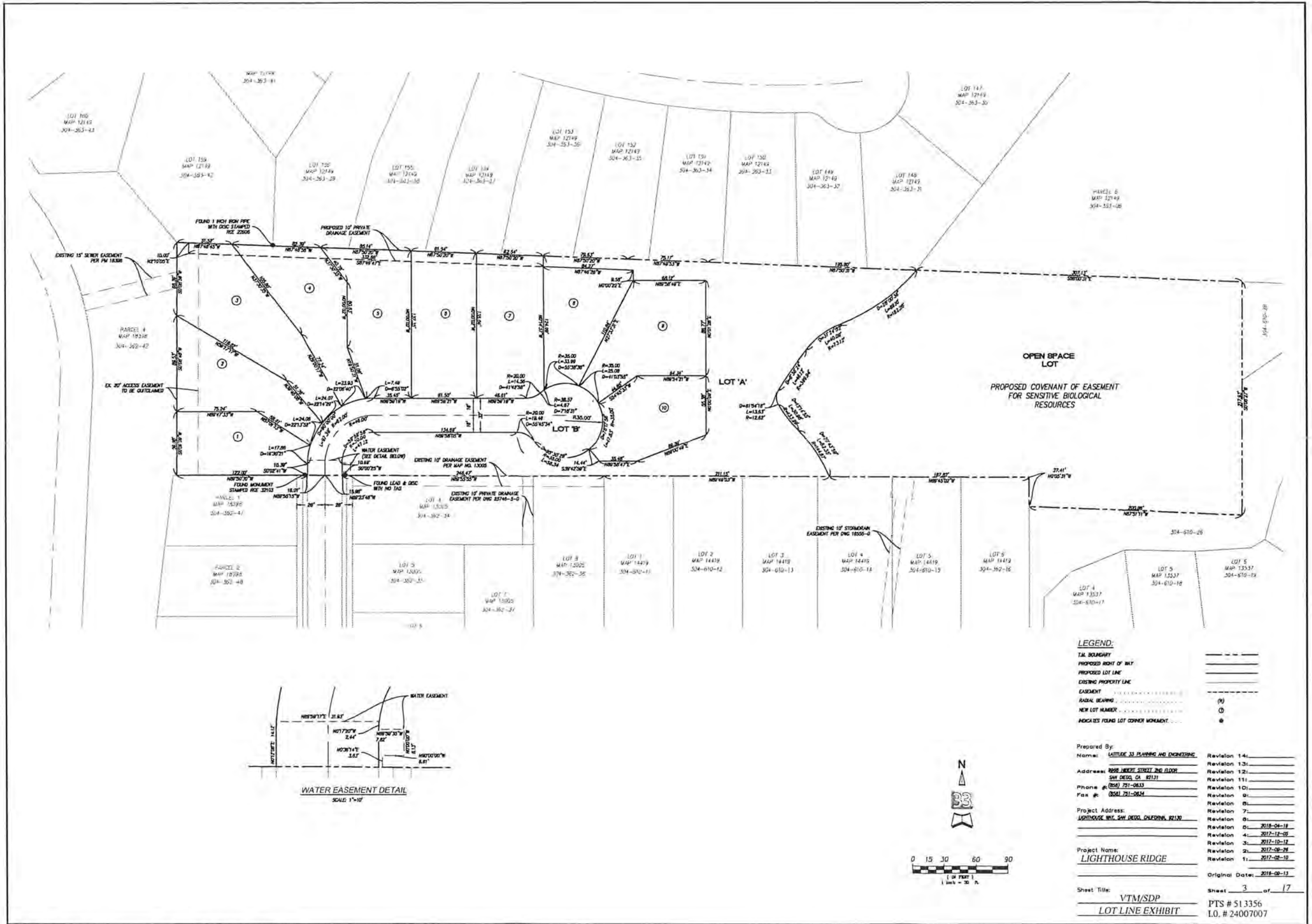
Project Name:
LIGHTHOUSE RIDGE

Sheet Title:
VTM/SDP GRADING

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: 2018-04-18
 Revision 5: 2017-11-28
 Revision 4: 2017-11-28
 Revision 3: 2017-10-12
 Revision 2: 2017-08-28
 Revision 1: 2017-08-10

Original Date: 2018-08-18

Sheet 2 of 17
 PTS # 513356
 I.O. # 24007007



LEGEND:

TAI BOUNDARY
 PROPOSED RIGHT OF WAY
 PROPOSED LOT LINE
 EXISTING PROPERTY LINE
 EASEMENT
 RADIAL BEARING
 NEW LOT NUMBER
 INDICES FOUND LOT CORNER MONUMENT

Prepared By: LATTITUDE 33 PLANNING AND ENGINEERING
 Name: 8008 MARKET STREET 2ND FLOOR
 Address: SAN DIEGO, CA 92121
 Phone #: (619) 791-0633
 Fax #: (619) 791-0634

Project Address: LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA 92110

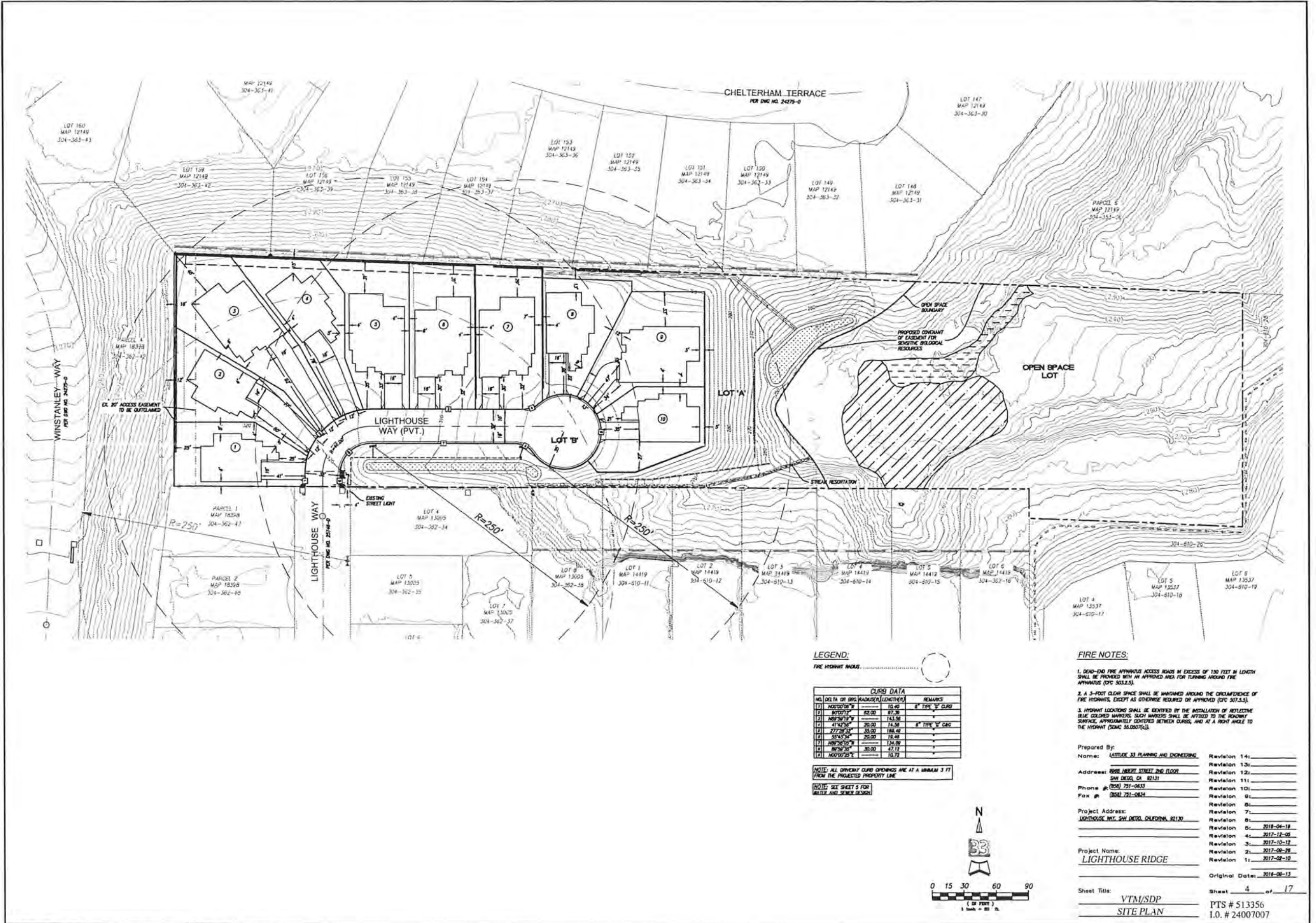
Project Name: LIGHTHOUSE RIDGE

Sheet Title: VTM/SDP LOT LINE EXHIBIT

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: 2018-04-18
 Revision 4: 2017-12-05
 Revision 3: 2017-10-12
 Revision 2: 2017-09-28
 Revision 1: 2017-08-10

Original Date: 2018-02-13

Sheet 3 of 17
 PTS # 51.3356
 I.O. # 24007007



LEGEND:
FIRE HYDRANT MARKS

CURB DATA		
NO.	DATA OF CURB (LENGTH)	REMARKS
1	100'00" W	10' W 8" TYPE 'B' CURB
2	80'00" E	8' W 8" TYPE 'B' CURB
3	100'00" W	10' W 8" TYPE 'B' CURB
4	41'42" E	4' W 8" TYPE 'B' CURB
5	277'28" W	28' W 8" TYPE 'B' CURB
6	35'43" W	4' W 8" TYPE 'B' CURB
7	100'00" E	10' W 8" TYPE 'B' CURB
8	100'00" W	10' W 8" TYPE 'B' CURB
9	100'00" E	10' W 8" TYPE 'B' CURB

NOTE: ALL OPENING CURB OPENINGS ARE AT A MINIMUM 3 FT FROM THE PROJECTED PROPERTY LINE.
NOTE: SEE SHEET 5 FOR WATER AND SEWER DESIGN.

- FIRE NOTES:**
1. DEAD-END FIRE APPOINTMENT ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPOINTMENT (CFC 307.5.5).
 2. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED (CFC 307.5.5).
 3. HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE HOUSING SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT (CFC 307.5.5).

Prepared By: **LITTLE & ASSOCIATES, INC.**
 Name: **LITTLE & ASSOCIATES, INC.**
 Address: **3000 MARKET STREET, 2ND FLOOR, SAN DIEGO, CA 92101**
 Phone #: **(619) 791-0833**
 Fax #: **(619) 791-0834**

Project Address: **LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA 92130**

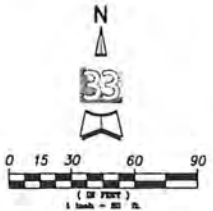
Project Name: **LIGHTHOUSE RIDGE**

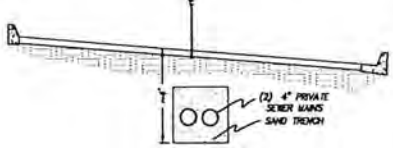
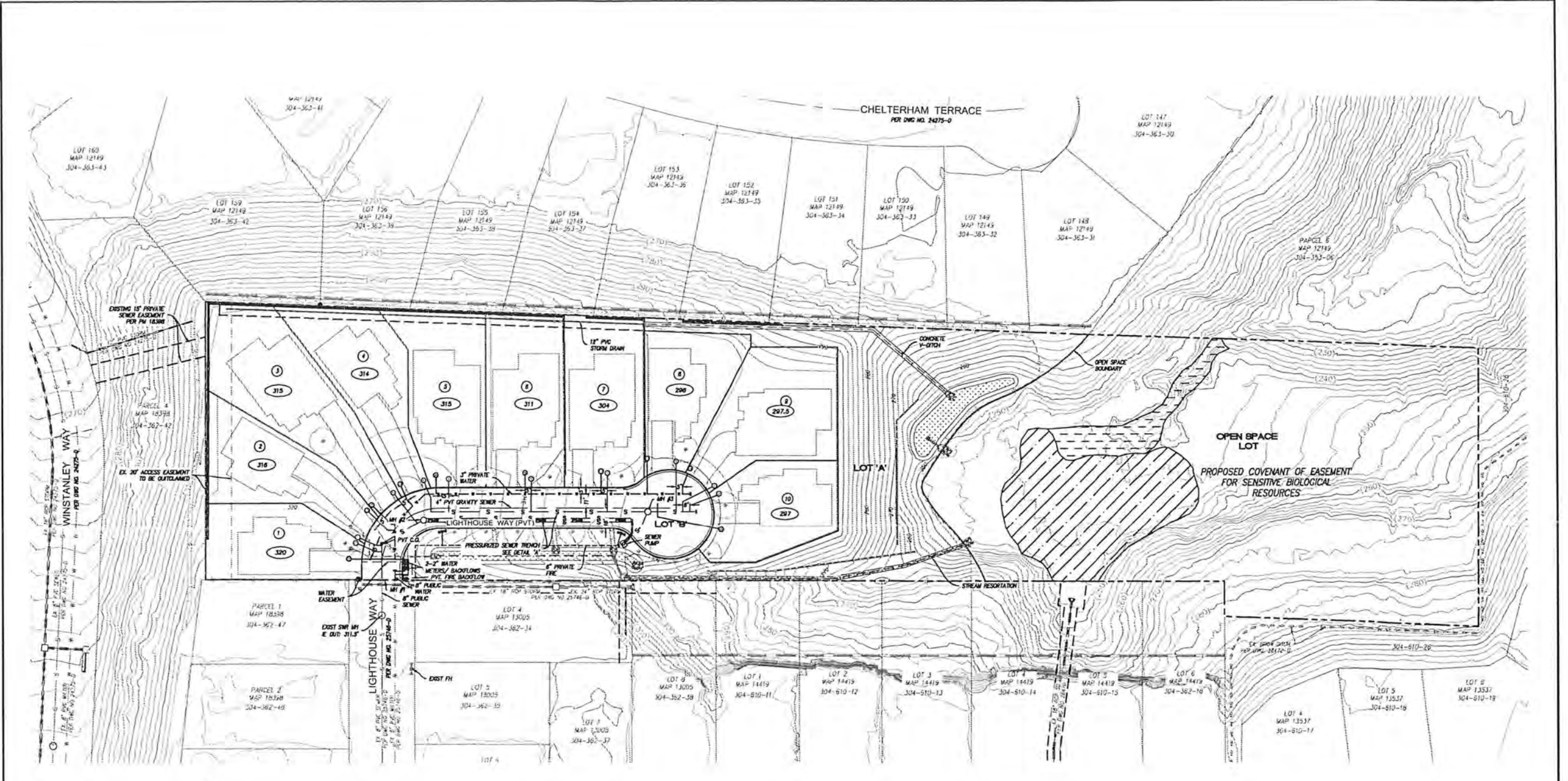
Sheet Title: **VTM/SDP SITE PLAN**

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: **2018-04-19**
 Revision 4: **2017-12-05**
 Revision 3: **2017-10-12**
 Revision 2: **2017-08-28**
 Revision 1: **2017-08-10**

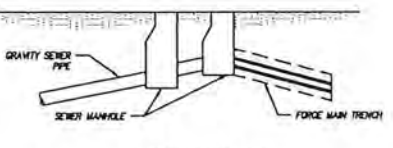
Original Date: **2018-08-13**

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 PTS # 513356
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DETAIL A: PVT. FORCE MAIN TRENCH DETAIL.
 (S) SEWER LATERAL OR Riser PUMP ON EACH INDIVIDUAL LOT



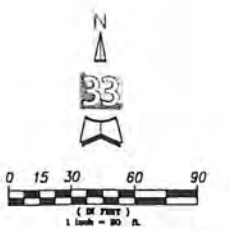
DUAL MANHOLE

MANHOLE #	LE	RIM ELEV	PVT./PUB.
1	312.0'	300.1'	PRIVATE
2	312.5'	308.5'	PRIVATE
3	292.5'	300.0'	PRIVATE

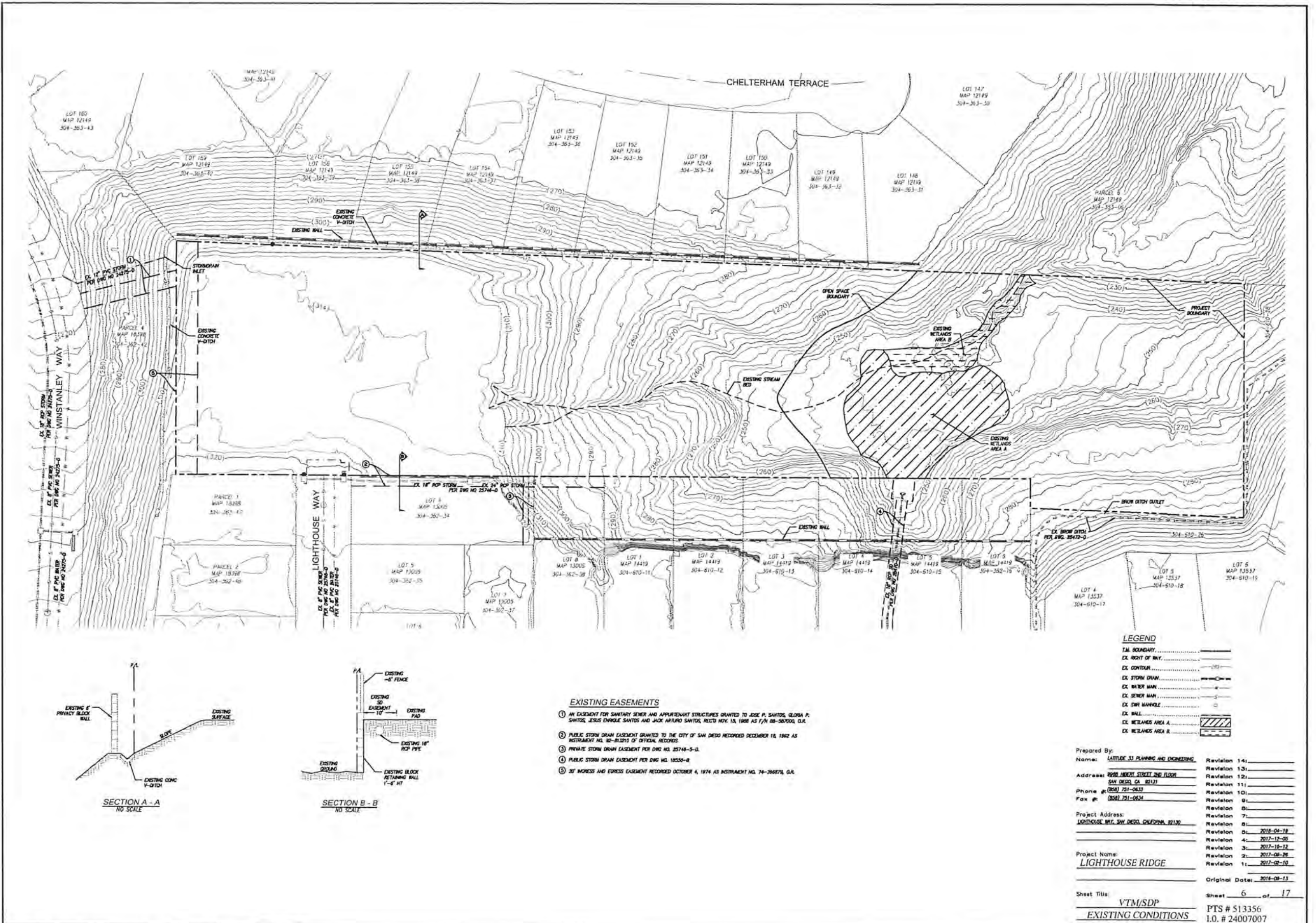
NOTE: PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL OBTAIN AN ENVIRONMENTAL MAINTENANCE REMOVAL AGREEMENT FROM THE CITY ENGINEER, FOR ANY PRIVATE UTILITIES ENCROACHING INTO THE WATER EASEMENT.

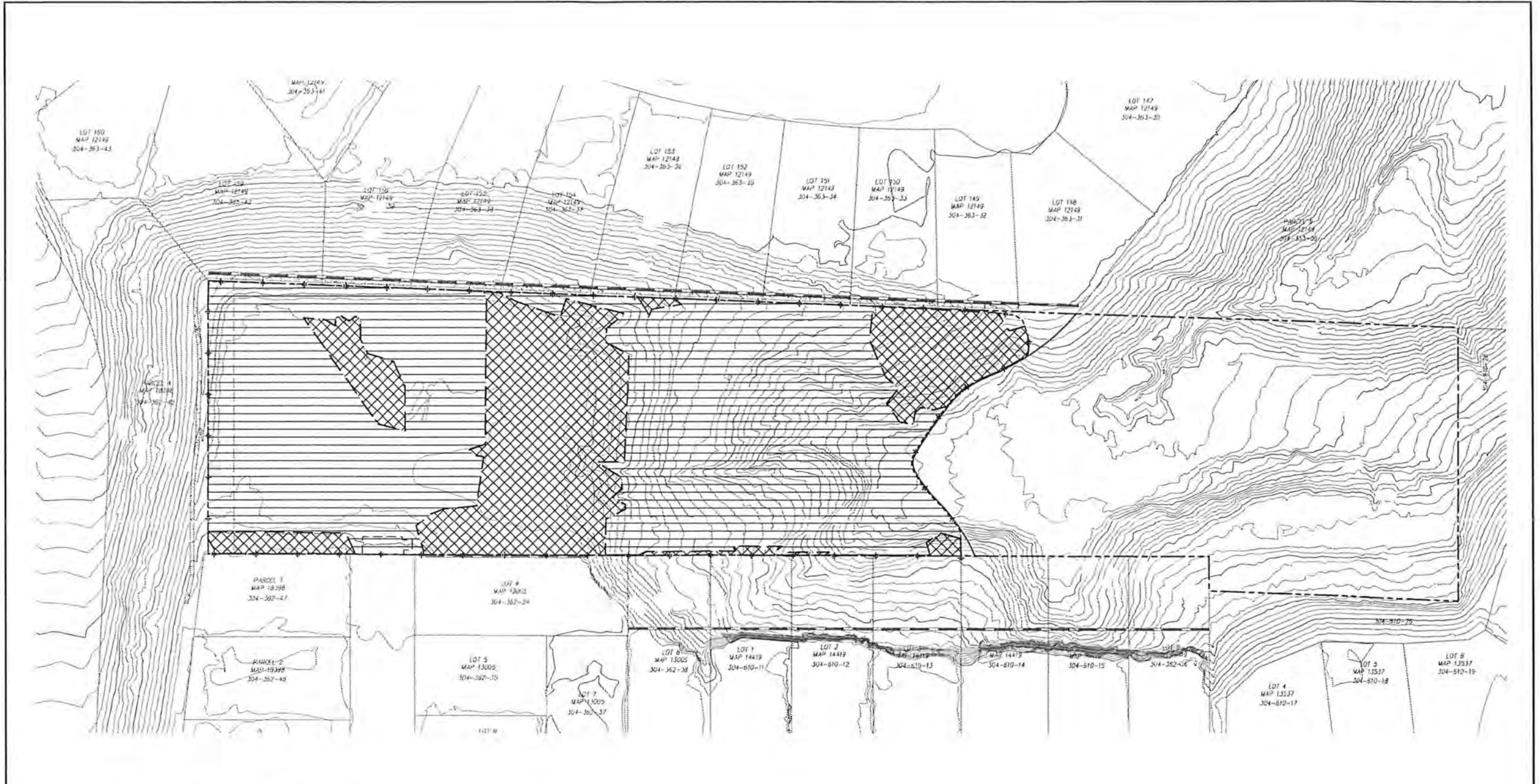
LEGEND:

- TAL BOUNDARY
- RIGHT OF WAY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- DAKLEHT LINE (LIMIT OF HIGH)
- PROPOSED MANHOLE CENTERLINE
- PROPOSED MANHOLE CENTERLINE
- PROPOSED MANHOLE CENTERLINE
- EXISTING MANHOLE CENTERLINE
- PROPOSED LOT NUMBER
- PROPOSED PAD ELEV.
- EX. UTILITY EASEMENT
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED WATER SERVICE @ METER
- PROPOSED FIRE HYDRANT
- PROPOSED END CAP
- PROPOSED THURST BLOCK
- PROPOSED SEWER MANHOLE
- PROPOSED PVT. SEWER FORCE MAIN
- PROPOSED SEWER MANHOLE
- PROPOSED PVT. SEWER LATERAL
- BOILER/TURCH BURN
- REVERSE CURB OUTLET
- HEADWALL



Prepared By: LATITEK 33 PLANNING AND ENGINEERING
 Name: LAURENCE 33 PLANNING AND ENGINEERING
 Address: 8008 HERBY STREET 2ND FLOOR
SAV DREDS, GA 30131
 Phone #: (706) 751-0633
 Fax #: (706) 751-0634
 Project Address: LIGHTHOUSE WAY, SAV DREDS, GEORGIA, 30137
 Project Name: LIGHTHOUSE RIDGE
 Sheet Title: VTM/SDP UTILITIES
 Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: 2018-04-18
 Revision 4: 2017-12-05
 Revision 3: 2017-10-12
 Revision 2: 2017-08-28
 Revision 1: 2017-08-10
 Original Date: 2018-08-13
 Sheet 5 of 17
 PTS # 513356
 I.O. # 24007007

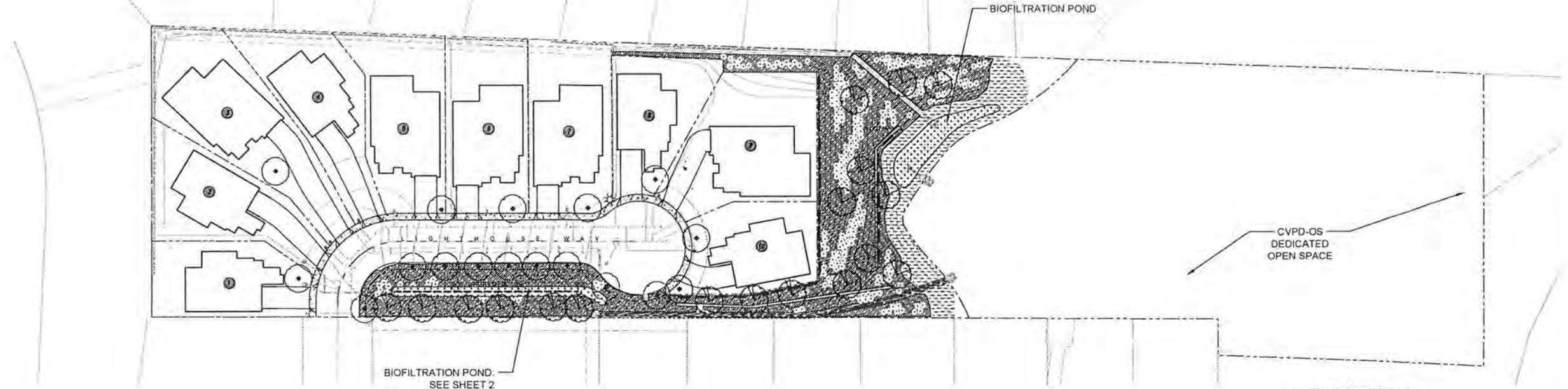




EARTHWORK SUMMARY:
 TOTAL CUT = 4,426 CY. (DEPTH = 12")
 TOTAL FILL = 25,532 CY. (DEPTH = 40")
 TOTAL EXPORT = 21,106 CY.
 AREA BEING GRADED = 2.36 A.C.
 VOLUME PER GRADED AC = 7,300 CY./A.C.

LEGEND:
 EXCAVATION (CUT) [Cross-hatch pattern]
 DEWATERING (FILL) [Horizontal line pattern]
 CUT/FILL LINE [Dashed line]
 T.M. BOUNDARY [Dotted line]
 DRAINAGE LINE [Line with arrow]

Prepared By: LITTLEK 31 PLANNING AND ENGINEERING Revision 14: _____
 Name: _____ Revision 13: _____
 Address: 6906 MARKET STREET 2ND FLOOR Revision 12: _____
SWY DEERFIELD, OH 43121 Revision 11: _____
 Phone #: (614) 751-0633 Revision 10: _____
 Fax #: (614) 751-0624 Revision 9: _____
 Project Address: _____ Revision 8: _____
LIGHTHOUSE WAY, SWY DEERFIELD, OH 43120 Revision 7: _____
 Revision 6: _____
 Revision 5: 2018-04-18
 Revision 4: 2017-12-05
 Revision 3: 2017-10-12
 Revision 2: 2017-09-28
 Revision 1: 2017-09-10
 Project Name: LIGHTHOUSE RIDGE
 Original Date: 2018-09-13
 Sheet Title: VTM/SDP Sheet 7 of 17
CUT AND FILL PTS # 513356
 I.O. # 24007007



SECTION 1: GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND LANDSCAPE FEATURES TO REMAIN.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND FLOOD CONTROL MEASURES.
9. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS.

SECTION 2: MATERIALS AND FINISHES

ITEM	DESCRIPTION	QUANTITY	UNIT
1	GRAVEL (3/4" MAX)	1500	CY
2	CONCRETE (4" THICK)	200	CY
3	ASPHALT (2" THICK)	1000	SY
4	LANDSCAPE FABRIC	1000	SQ YD
5	SHRUBS (VARIOUS SPECIES)	100	PLANT
6	TREES (VARIOUS SPECIES)	50	PLANT

SECTION 3: LANDSCAPE SPECIFICATIONS

ZONE	PLANT TYPE	PLANT SPECIES	PLANT SIZE	PLANT QUANTITY
HYDROZONE 1 - HOA SHRUB AREAS	Shrub	LAUREL	4"	100
	Shrub	YUCCA	4"	100
	Shrub	AGAVE	4"	100
	Shrub	CELESTINE	4"	100
HYDROZONE 2 - HOA BIO PONDS	Plant	WATER BUTTERFLY	1"	100
	Plant	WATER THAMNUS	1"	100
	Plant	WATER HYacinth	1"	100
	Plant	WATER SPURGE	1"	100
HYDROZONE 3 - TRANSITIONAL LANDSCAPE	Shrub	LAUREL	4"	100
	Shrub	YUCCA	4"	100
	Shrub	AGAVE	4"	100
	Shrub	CELESTINE	4"	100

WATER USE LEGEND

HYDROZONE 1 - HOA SHRUB AREAS	22,364 SF
HYDROZONE 2 - HOA BIO PONDS	2,334 SF
HYDROZONE 3 - TRANSITIONAL LANDSCAPE	3,902 SF

WATER USE CALCULATIONS

MAWA* = [(Eto) x 0.62] [(ETAF x LA) + [(1-ETAF) x SLA]]
ETWU* = [(Eto) x 0.62] x [(PPHMA) / (H) + SLA]

*BASED ON YEAR

MAWA*	276,344	ETAF IS 0.55 FOR RESIDENTIAL AREAS
ETWU*	337,348	ETAF IS 0.45 FOR NON-RESIDENTIAL AREAS

ITEM	DESCRIPTION	AREA (SF)	ETAF	ETWU*
1	RESIDENTIAL	22,364	0.55	1,000,000
2	TRANSITIONAL LANDSCAPE	3,902	0.45	100,000
3	BIO-PONDS	2,334	0.45	100,000
TOTAL		28,599		1,200,000

SECTION 4: NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND LANDSCAPE FEATURES TO REMAIN.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND FLOOD CONTROL MEASURES.
9. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS.

SECTION 5: NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
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7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND FLOOD CONTROL MEASURES.
9. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS.

SECTION 6: MATERIALS AND FINISHES

ITEM	DESCRIPTION	QUANTITY	UNIT
1	GRAVEL (3/4" MAX)	1500	CY
2	CONCRETE (4" THICK)	200	CY
3	ASPHALT (2" THICK)	1000	SY
4	LANDSCAPE FABRIC	1000	SQ YD
5	SHRUBS (VARIOUS SPECIES)	100	PLANT
6	TREES (VARIOUS SPECIES)	50	PLANT

SECTION 7: LANDSCAPE SPECIFICATIONS

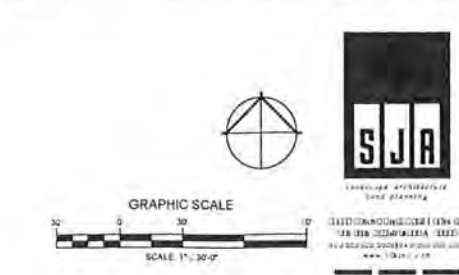
ZONE	PLANT TYPE	PLANT SPECIES	PLANT SIZE	PLANT QUANTITY
HYDROZONE 1 - HOA SHRUB AREAS	Shrub	LAUREL	4"	100
	Shrub	YUCCA	4"	100
	Shrub	AGAVE	4"	100
	Shrub	CELESTINE	4"	100
HYDROZONE 2 - HOA BIO PONDS	Plant	WATER BUTTERFLY	1"	100
	Plant	WATER THAMNUS	1"	100
	Plant	WATER HYacinth	1"	100
	Plant	WATER SPURGE	1"	100
HYDROZONE 3 - TRANSITIONAL LANDSCAPE	Shrub	LAUREL	4"	100
	Shrub	YUCCA	4"	100
	Shrub	AGAVE	4"	100
	Shrub	CELESTINE	4"	100

MAWA: LIGHTHOUSE

LA	ETAF	LA OR LA	ETAF	MAWA
1A	0.55	22,364	0.55	1,000,000
TOTAL		22,364		1,000,000

ETWU: LIGHTHOUSE

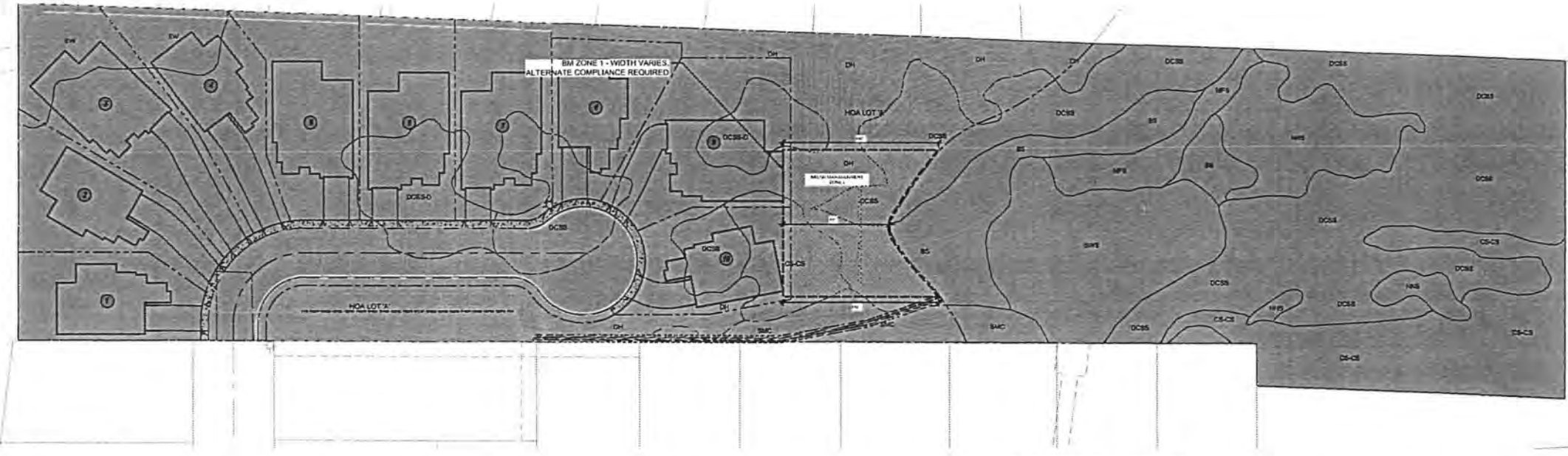
DESCRIPTION	PLANT TYPE	ETWU	PLANT SPECIES	PLANT SIZE	PLANT QUANTITY
RESIDENTIAL	Shrub	1,000,000	LAUREL	4"	100
	Shrub	1,000,000	YUCCA	4"	100
	Shrub	1,000,000	AGAVE	4"	100
	Shrub	1,000,000	CELESTINE	4"	100
TRANSITIONAL LANDSCAPE	Plant	100,000	WATER BUTTERFLY	1"	100
	Plant	100,000	WATER THAMNUS	1"	100
	Plant	100,000	WATER HYacinth	1"	100
	Plant	100,000	WATER SPURGE	1"	100
TOTAL		1,200,000			



SECTION 8: NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND LANDSCAPE FEATURES TO REMAIN.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND FLOOD CONTROL MEASURES.
9. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS.

Prepared By: SJA
Address: 12345 MAIN ST, SUITE 100, LOS ANGELES, CA 90001
Phone #: (213) 555-1234
Fax #: (213) 555-5678
Project Address: 12345 MAIN ST, SUITE 100, LOS ANGELES, CA 90001
Project Name: LIGHTHOUSE RIDGE
Sheet Title: LANDSCAPE CONCEPT / WATER USE PLAN
Original Date: October 15, 2016
Sheet: 8 of 17

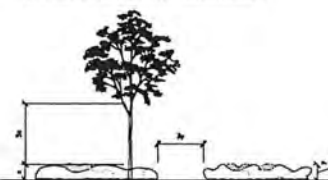


SECTION III: BRUSH MANAGEMENT
(PER THE LANDSCAPE STANDARD MANUAL)

3.1 BRUSH MANAGEMENT - DESCRIPTION
FOR USE IN THE LANDSCAPE, THE BRUSH MANAGEMENT PLAN SHALL BE ADJACENT TO THE BRUSH MANAGEMENT ZONE AND SHALL BE ADJACENT TO THE BRUSH MANAGEMENT ZONE. THE BRUSH MANAGEMENT PLAN SHALL BE ADJACENT TO THE BRUSH MANAGEMENT ZONE AND SHALL BE ADJACENT TO THE BRUSH MANAGEMENT ZONE.

- 3.1.1 BRUSH MANAGEMENT - ALL PLANTS
3.1.2 BRUSH MANAGEMENT - ALL PLANTS
3.1.3 BRUSH MANAGEMENT - ALL PLANTS

FIGURE 3-1
BRUSH MANAGEMENT



- 3.1.4 BRUSH MANAGEMENT - ALL PLANTS
3.1.5 BRUSH MANAGEMENT - ALL PLANTS
3.1.6 BRUSH MANAGEMENT - ALL PLANTS

- 3.2 BRUSH MANAGEMENT - ALL STRUCTURES
3.2.1 BRUSH MANAGEMENT - ALL STRUCTURES
3.2.2 BRUSH MANAGEMENT - ALL STRUCTURES

BRUSH MANAGEMENT REQUIREMENTS
(PER THE LANDSCAPE STANDARD MANUAL)

Table with 2 columns: Requirement, Description. It lists requirements for brush management, including planting and maintenance standards.

- (1) THE BRUSH MANAGEMENT ZONE SHALL BE PROVIDED BETWEEN NATIVE OR...
(2) THE BRUSH MANAGEMENT ZONE SHALL BE PROVIDED BETWEEN NATIVE OR...
(3) THE BRUSH MANAGEMENT ZONE SHALL BE PROVIDED BETWEEN NATIVE OR...

BRUSH MANAGEMENT MAINTENANCE
(PER THE LANDSCAPE STANDARD MANUAL)

MAINTENANCE
REQUIREMENTS FOR BRUSH MANAGEMENT MAINTENANCE SHALL BE PROVIDED BETWEEN NATIVE OR...
REQUIREMENTS FOR BRUSH MANAGEMENT MAINTENANCE SHALL BE PROVIDED BETWEEN NATIVE OR...

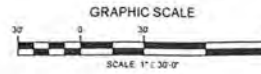
- BRUSH MANAGEMENT ZONE 1
BRUSH MANAGEMENT ZONE 2
BRUSH MANAGEMENT ZONE 3

VEGETATION LEGEND

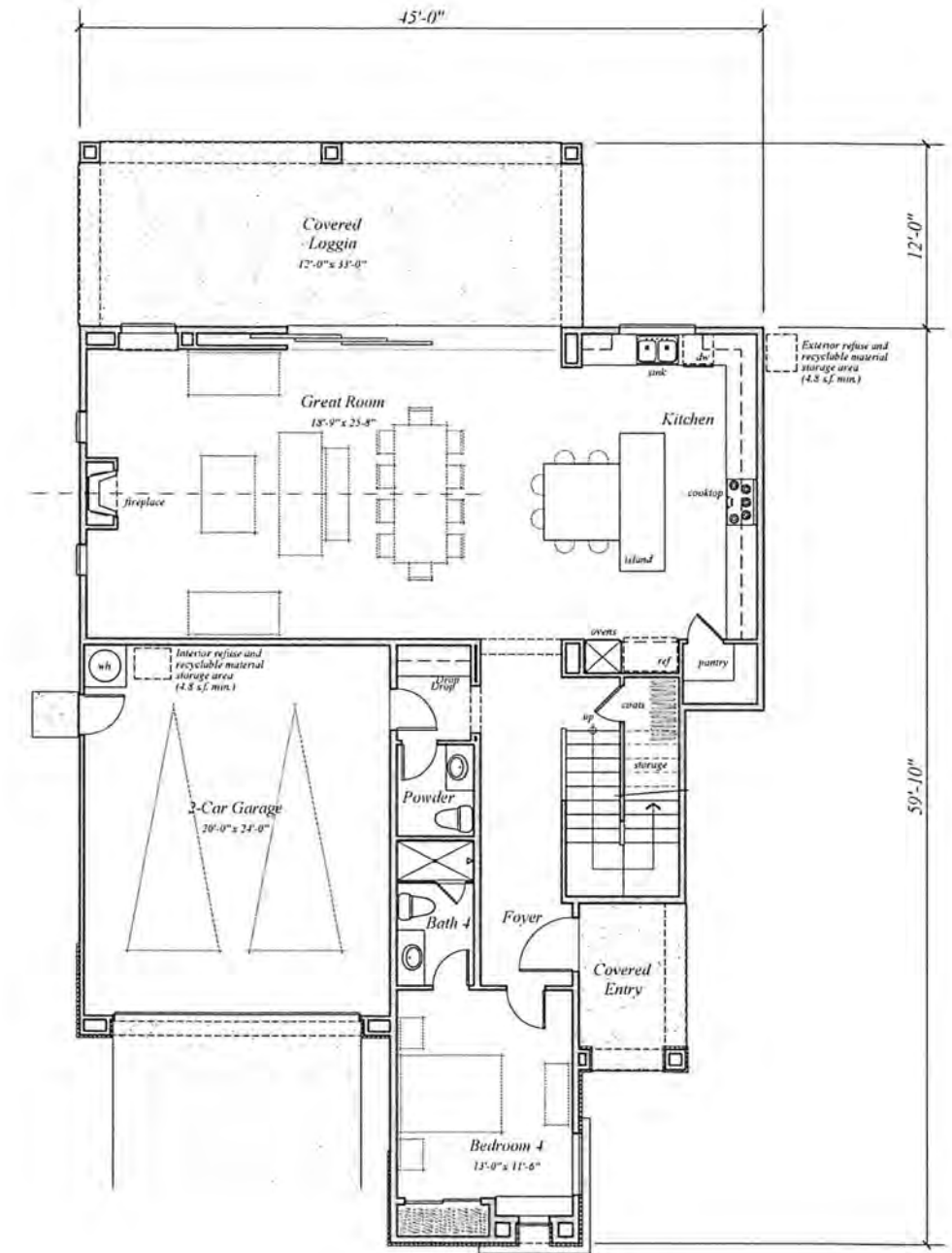
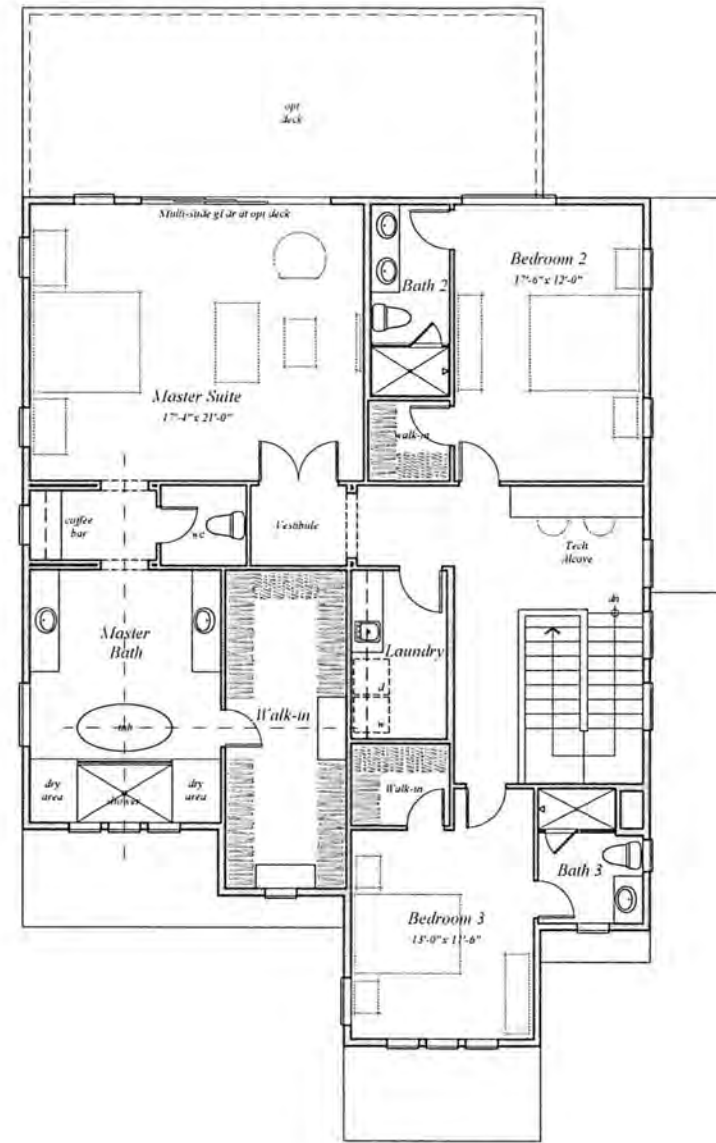
Table mapping vegetation codes to their full names: SWS - SOUTHERN WILLOW SCRUB, BS - BACCHARIS SCRUB, DCSS - DIEGAN COASTAL SAGE SCRUB, etc.

MANAGEMENT PLAN

MANAGEMENT PLAN
MANAGEMENT PLAN
MANAGEMENT PLAN



Prepared By: [Name]
Address: [Address]
Phone #: [Phone]
Fax #: [Fax]
Project Address: [Address]
Project Name: LIGHTHOUSE RIDGE
Sheet Title: BRUSH MANAGEMENT AND VEGETATION PLAN
Revision 14: [Blank]
Revision 13: [Blank]
Revision 12: [Blank]
Revision 11: [Blank]
Revision 10: [Blank]
Revision 9: [Blank]
Revision 8: [Blank]
Revision 7: [Blank]
Revision 6: [Blank]
Revision 5: [Blank]
Revision 4: [Blank]
Revision 3: 10-12-17
Revision 2: 09-28-17
Revision 1: 02-10-17
Original Date: September 15, 2016
Sheet 9 of 17



RESIDENCE ONE - PRELIMINARY FLOOR PLANS 3,306 S.F. / 3,756 S.F. (INCL. GARAGE)

SCALE: 1/4" = 1'-0"

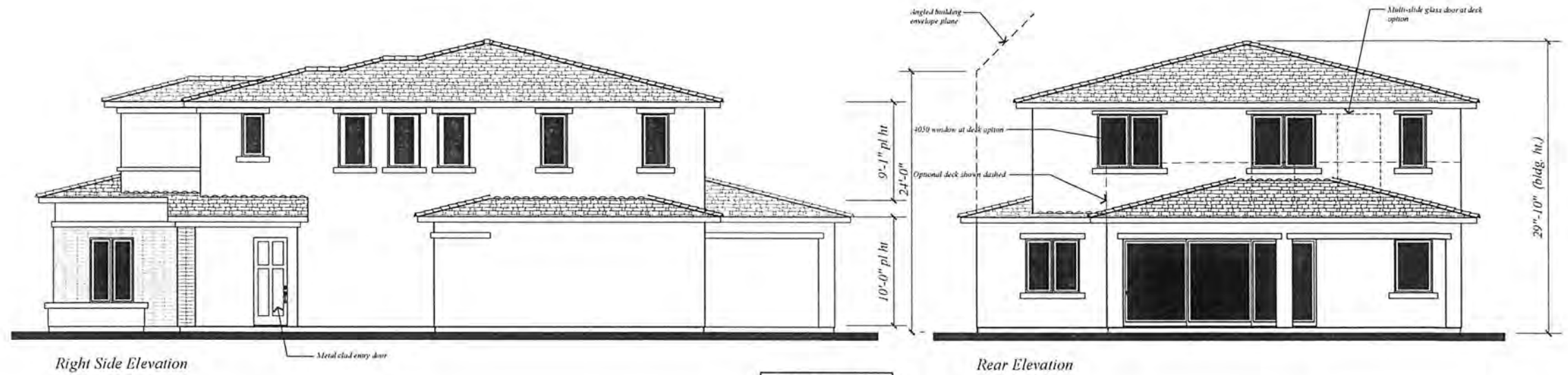
LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



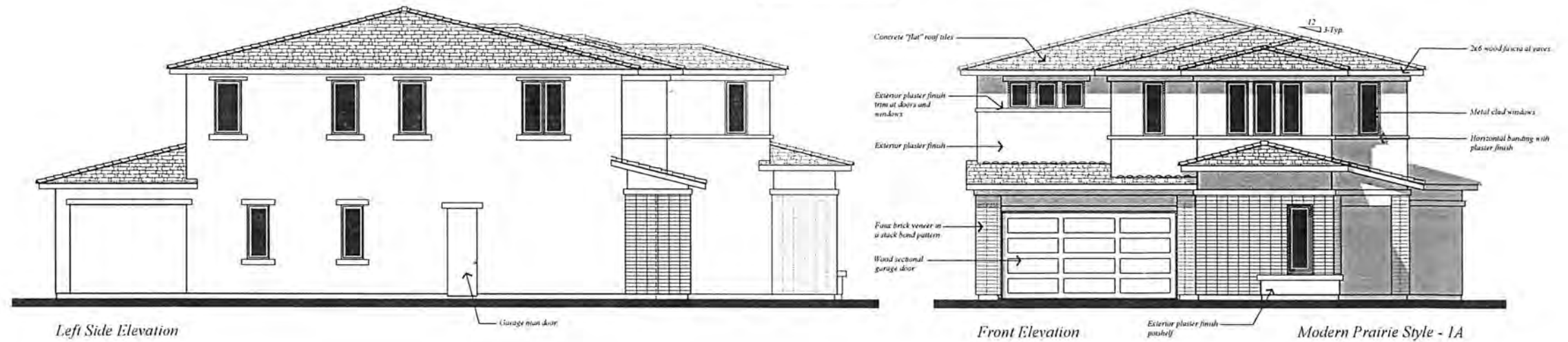
edingerArchitects
09.03.17

Prepared By:	edingerArchitects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Cedar Grove, Ste 213 Solana Beach, CA 92075	Revision 12:	_____
Phone #:	(858) 704-4004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
Project Address:	LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA, 92130	Revision 9:	_____
Project Name:	LIGHTHOUSE RIDGE	Revision 8:	_____
Sheet Title:	VTM/SDP Residence One - Preliminary Floor Plans	Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	_____
		Revision 3:	02/26/17
		Revision 2:	02/10/17
		Revision 1:	02/10/17
		Original Date:	09/13/16
		Sheet	10 of 17

4/16/16 PLAN FLOORS 9-17



ROOF OVERHANGS NOT TO EXCEED 18" IN DEPTH



RESIDENCE ONE - PRELIMINARY EXTERIOR ELEVATIONS "A"

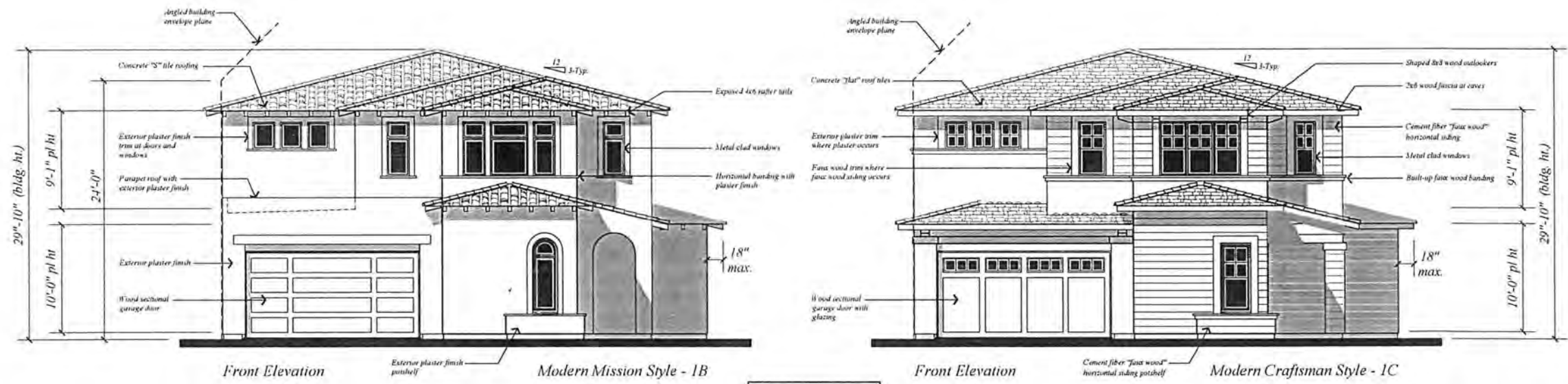
30'-0" E. 1'-4" - 1'-0"

LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



edingerArchitects
02.08.17

Prepared By:	edinger architects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Cedros Avenue, Ste 213 Solana Beach, CA 92075	Revision 12:	_____
Phone #:	(619) 704-4004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
Project Address:	LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA, 92130	Revision 9:	_____
_____	_____	Revision 8:	_____
_____	_____	Revision 7:	_____
_____	_____	Revision 6:	_____
_____	_____	Revision 5:	_____
_____	_____	Revision 4:	_____
_____	_____	Revision 3:	_____
Project Name:	LIGHTHOUSE RIDGE	Revision 2:	02/26/17
_____	_____	Revision 1:	02/10/17
_____	_____	Original Date:	02/13/16
Sheet Title:	VTM/SDP	Sheet	11 of 17
Residence One - Preliminary Exterior Elevations "A"			



ROOF OVERHANGS NOT TO EXCEED 18" IN DEPTH

RESIDENCE ONE - PRELIMINARY FRONT EXTERIOR ELEVATIONS "B" & "C"
SCALE: 1/4" = 1'-0"

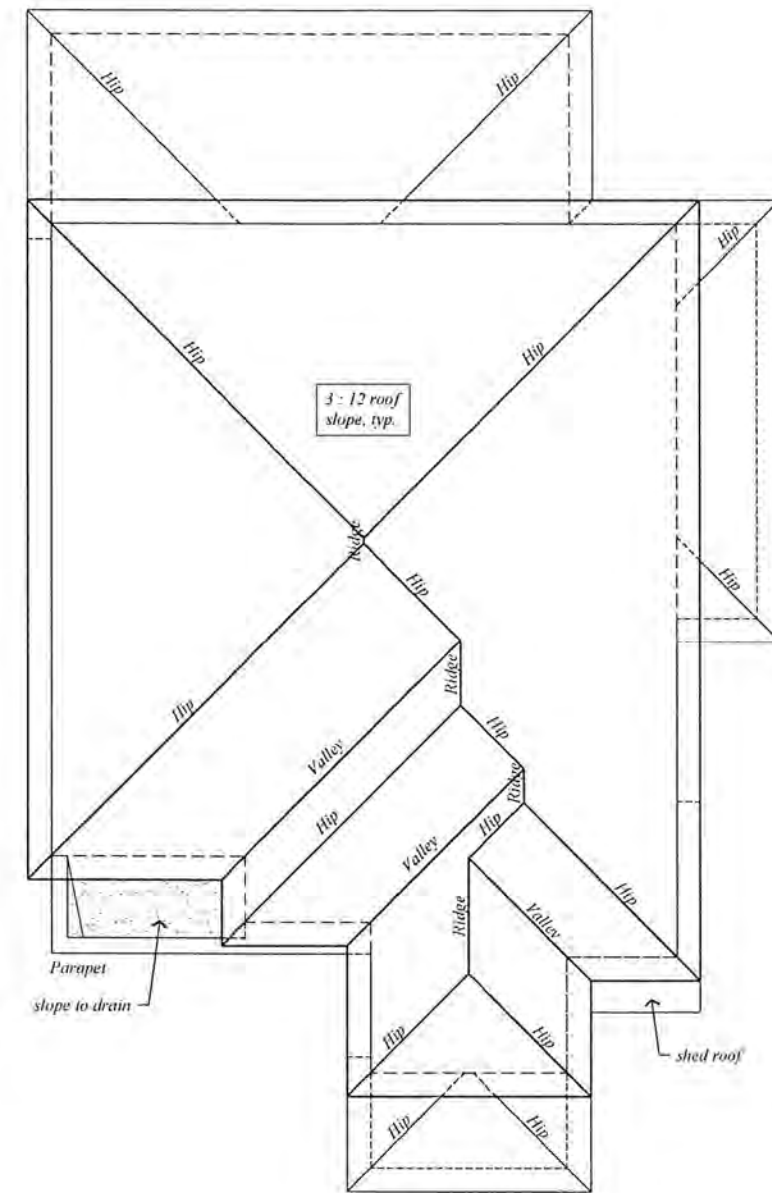
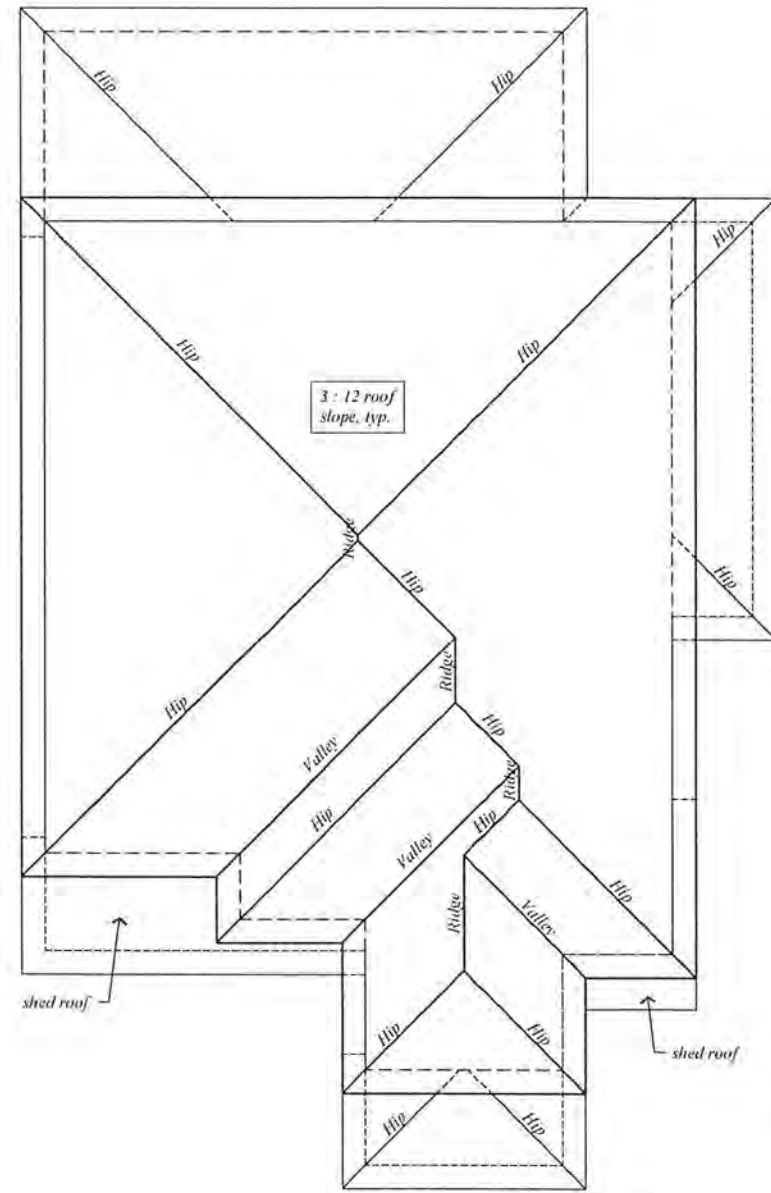
LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



Prepared By:	edingerArchitects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Credit Avenue, Ste 213 Solana Beach, CA 92073	Revision 12:	_____
Phone #:	(659) 704-4004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
		Revision 9:	_____
		Revision 8:	_____
Project Address:	Lighthouse Hill, San Diego, California, 92130	Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	_____
		Revision 3:	_____
		Revision 2:	09/26/17
		Revision 1:	02/10/17
Sheet Title:	VTM/SDP	Original Date:	09/13/16
		Sheet	12 of 17

10/16/16
 PLAN / 48" (1" = 0'-0")

Residence One - Preliminary Front Exterior Elevations
"B" and "C"



ROOF OVERHANGS NOT TO EXCEED 18" IN DEPTH

Roof Plan A and C

Roof Plan B

RESIDENCE ONE - PRELIMINARY ROOF PLANS
 3/8" = 1' - 0"

LIGHTHOUSE RIDGE
 PACIFIC LEGACY HOMES



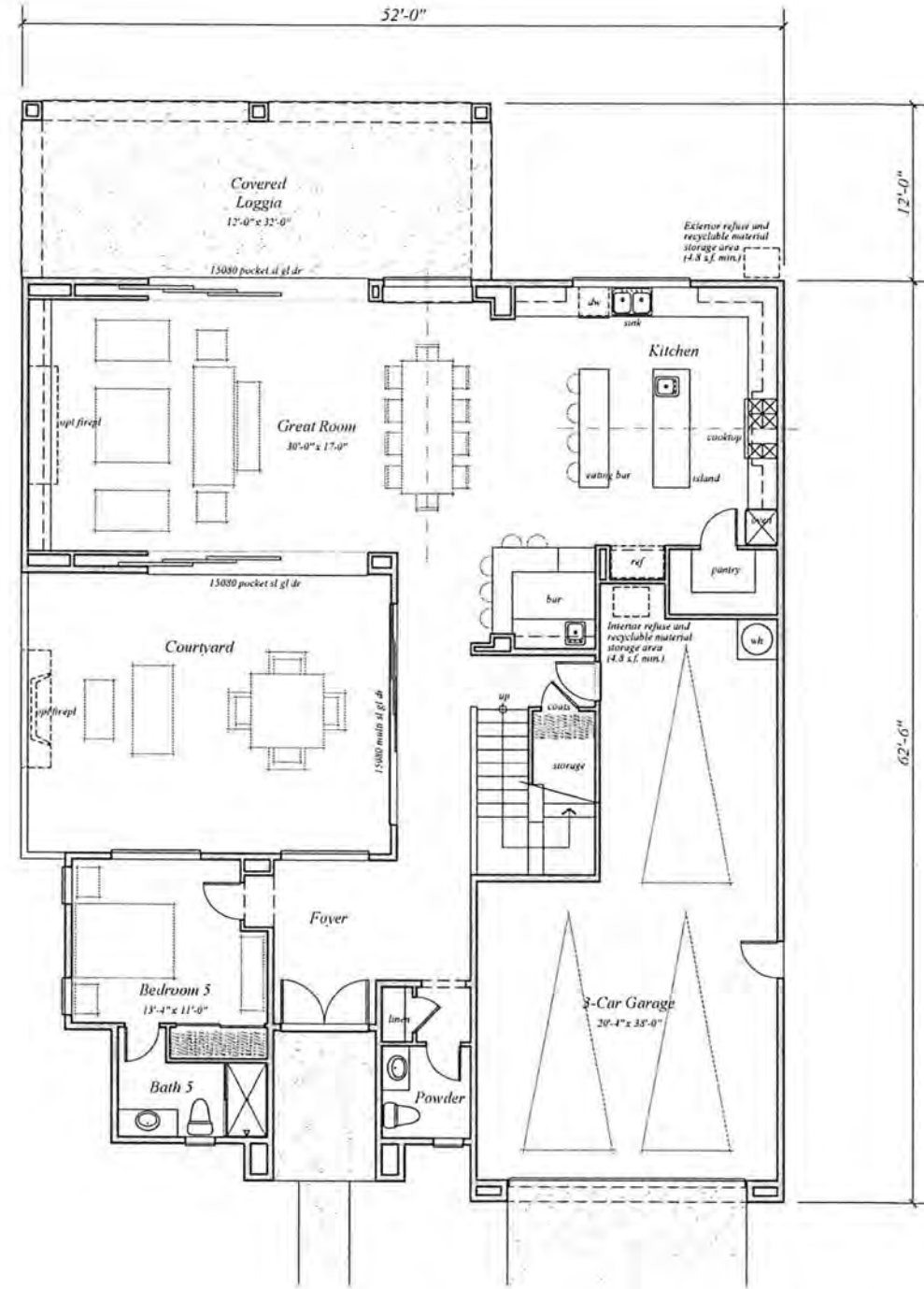
edinger Architects
 09.03.17

Prepared By:	edingerArchitects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Cabot Avenue, Ste 213 Silicon Beach, CA 92073	Revision 12:	_____
Phone #:	(650) 704-4004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
Project Address:	LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA, 92130	Revision 9:	_____
Project Name:	LIGHTHOUSE RIDGE	Revision 8:	_____
Revision 7:	_____	Revision 7:	_____
Revision 6:	_____	Revision 6:	_____
Revision 5:	_____	Revision 5:	_____
Revision 4:	_____	Revision 4:	_____
Revision 3:	_____	Revision 3:	09/26/17
Revision 2:	_____	Revision 2:	02/10/17
Revision 1:	_____	Revision 1:	02/10/17
Original Date:	09/15/16	Original Date:	09/15/16
Sheet Title:	VTM/SDP	Sheet	13 of 17
Residence One - Preliminary Roof Plans			

2/10/17
 444 S. CABOT AVENUE
 SILICON BEACH, CA 92073



UPPER LEVEL
2,021 S.F.



ENTRY LEVEL
1,828 S.F.

RESIDENCE TWO - PRELIMINARY FLOOR PLANS 3,849 S.F. - 4,517 S.F. (INCL. GARAGE)
3"=1'-0" 1/4"=1'-0"

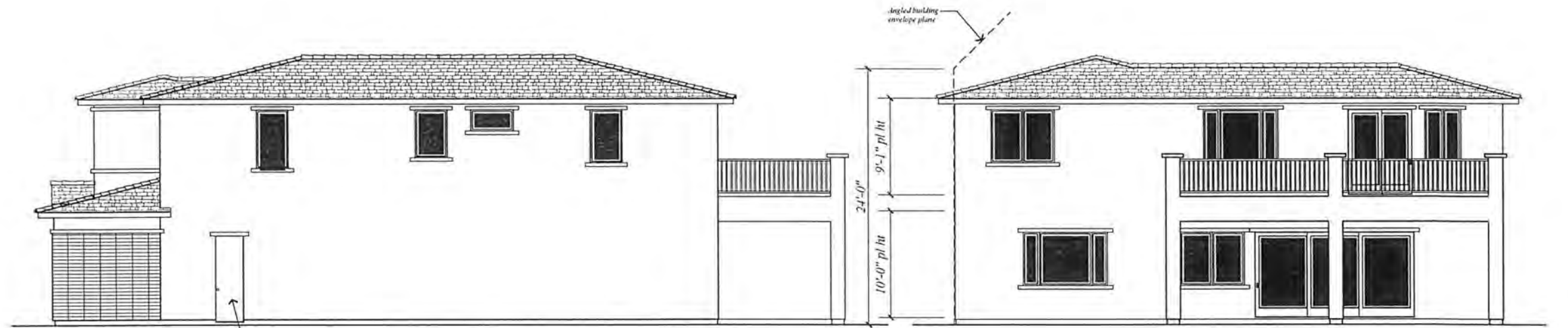
LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



edingerArchitects
09.05.17

Prepared By:	edingerArchitects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Cedros Avenue, Ste 215 Solana Beach, CA 92073	Revision 12:	_____
Phone #:	(858) 704-4004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
Project Address:	Lighthouse Way, San Diego, California 92110	Revision 9:	_____
Project Name:	Lighthouse Ridge	Revision 8:	_____
Sheet Title:	VTM/SDP	Revision 7:	_____
	Residence Two - Preliminary Floor Plans	Revision 6:	_____
		Revision 5:	_____
		Revision 4:	_____
		Revision 3:	09.20.17
		Revision 2:	02.10.17
		Revision 1:	02.10.17
		Original Date:	09.13.16
		Sheet	14 of 17

11/16/16
 PLANS - 5/16/16 (9:17)



Right Side Elevation

Rear Elevation



Left Side Elevation

Front Elevation

Modern Prairie Style - 2A

RESIDENCE TWO - PRELIMINARY EXTERIOR ELEVATIONS "A"

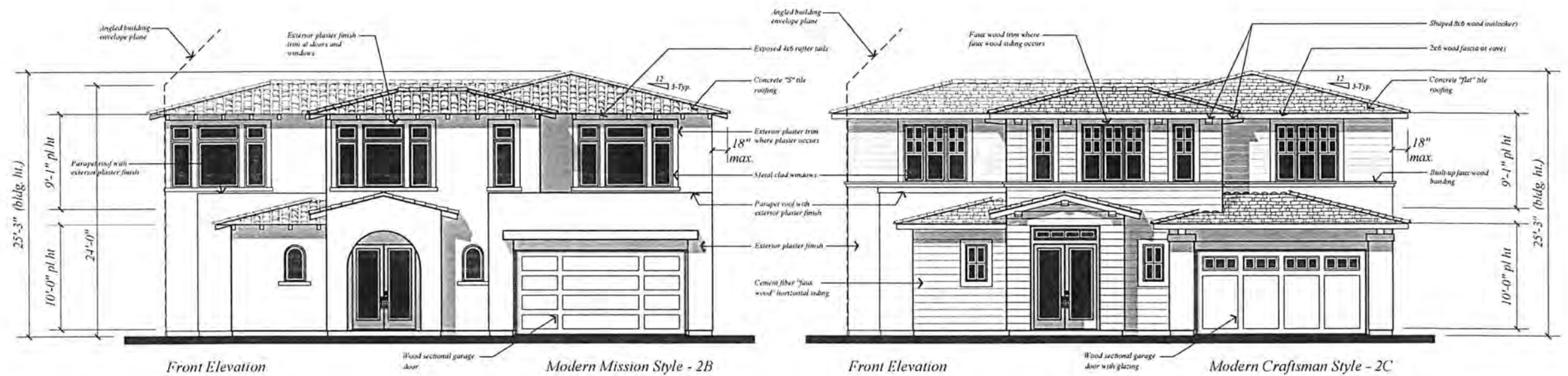
LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



Prepared By:	edingerArchitects	Revision 14:	
Name:		Revision 13:	
Address:	444 S. Cedar Avenue, Ste 213 Solana Beach, CA 92075	Revision 12:	
Phone #:	(858) 764-4004	Revision 11:	
Fax #:		Revision 10:	
Project Address:	LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA 92130	Revision 9:	
		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
Project Name:	LIGHTHOUSE RIDGE	Revision 2:	09/26/17
		Revision 1:	02/10/17
		Original Date:	09/13/16
Sheet Title:	VTM/SDP	Sheet	15 of 17

Residence Two - Preliminary Exterior Elevations "A"

11/16/16
 PLANS 641977



ROOF OVERHANGS NOT TO EXCEED 18" IN DEPTH

RESIDENCE TWO - PRELIMINARY FRONT EXTERIOR ELEVATIONS "B" & "C"

SCALE: 1/4" = 1'-0"

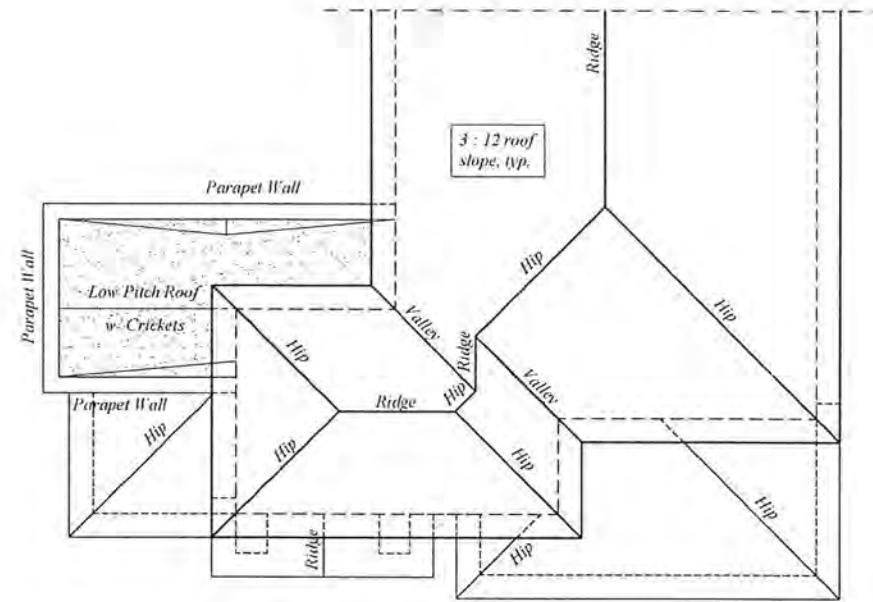
LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



edinger Architects
09.05.17

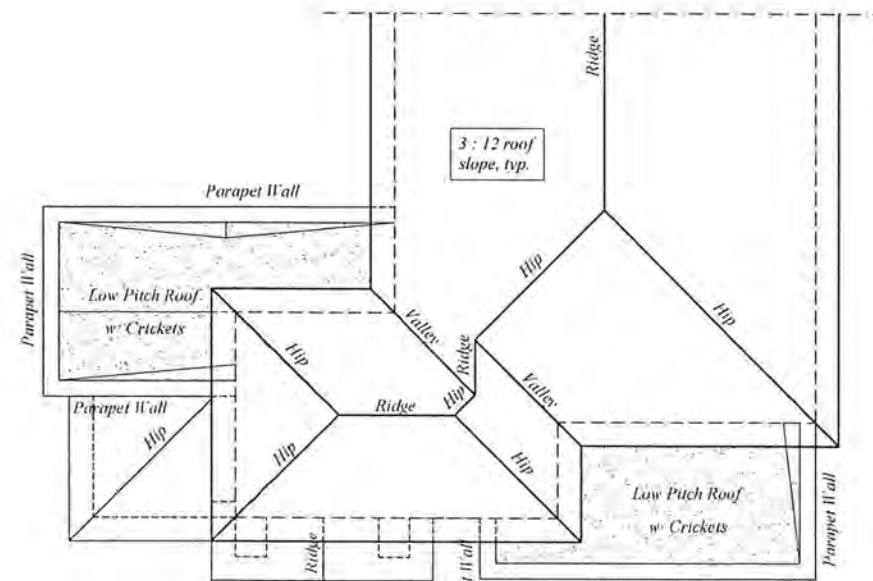
Prepared By:	edinger Architects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Cedros Avenue, Ste 213 Solana Beach, CA 92075	Revision 12:	_____
Phone #:	954-304-1004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
Project Address:	Lighthouse Ridge, San Diego, California 92130	Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	_____
		Revision 3:	09.26.17
Project Name:	LIGHTHOUSE RIDGE	Revision 2:	02.16.17
		Revision 1:	_____
Sheet Title:	VTM/SDP	Original Date:	09.11.16
Residence Two - Preliminary Front Exterior Elevations "B" and "C"		Sheet	16 of 17

09.05.17
 PLANS - 2B, C, W, E

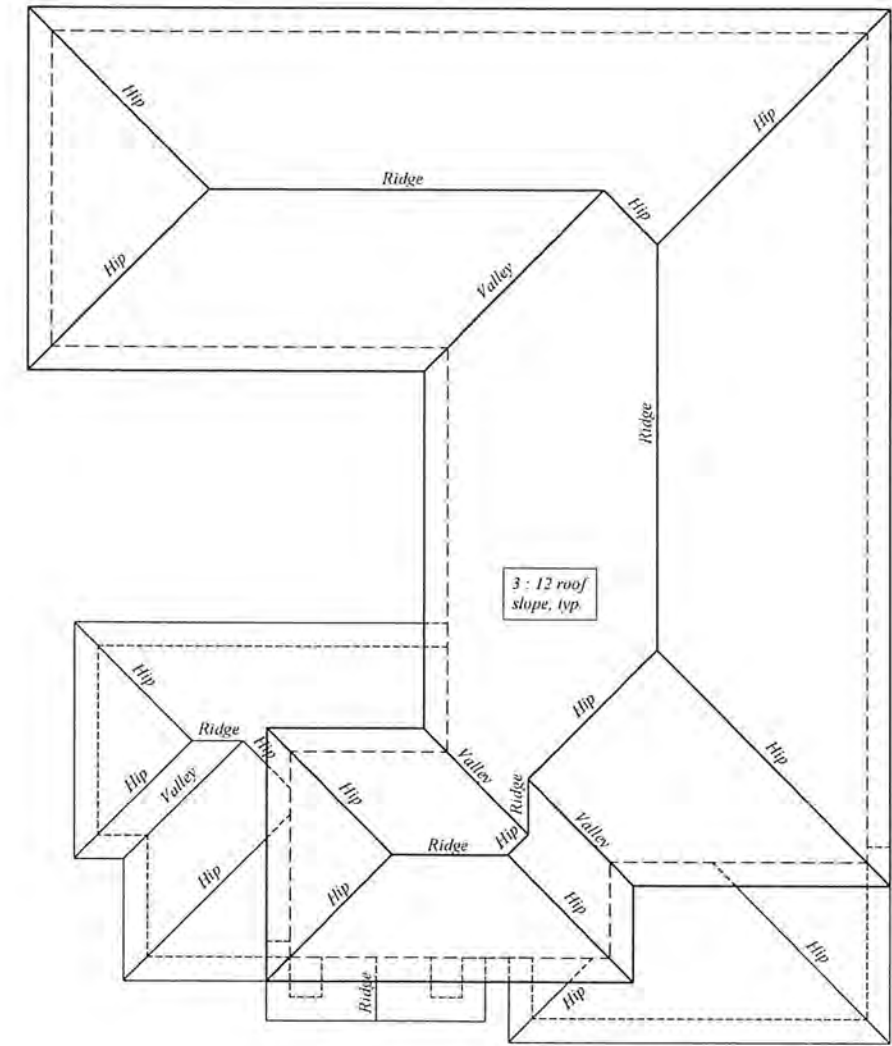


Roof Plan C

ROOF OVERHANGS NOT TO EXCEED 18" IN DEPTH



Roof Plan B



Roof Plan A

RESIDENCE TWO - PRELIMINARY ROOF PLANS

SCALE: 1/4" = 1'-0"

LIGHTHOUSE RIDGE
PACIFIC LEGACY HOMES



edingerArchitects
© 09 17

Prepared By:	edingerArchitects	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	444 S. Colton Avenue, Ste 315 Solana Beach, CA 92075	Revision 12:	_____
Phone #:	(949) 704-4004	Revision 11:	_____
Fax #:	_____	Revision 10:	_____
Project Address:	LIGHTHOUSE RIDGE, SAN DIEGO, CALIFORNIA, 92130	Revision 9:	_____
Project Name:	LIGHTHOUSE RIDGE	Revision 8:	_____
Sheet Title:	VTM/SDP	Revision 7:	_____
	Residence Two - Preliminary Roof Plans	Revision 6:	_____
		Revision 5:	_____
		Revision 4:	_____
		Revision 3:	_____
		Revision 2:	09/26/17
		Revision 1:	02/10/17
		Original Date:	09/13/16
		Sheet	17 of 17

CARMEL VALLEY COMMUNITY PLANNING BOARD

Attn: Allen Kashani, CVCPB Secretary
13400 Sabre Springs Pkwy, Ste. 200
San Diego CA 92128
858-794-2571 / Fax: 858-794-2599

March 30, 2018

Glenn Gargas
CITY OF SAN DIEGO
Development Services Department
1222 First Ave., MS 302
San Diego, CA 92101

Re: LIGHTHOUSE RIDGE
Project No.: 513356

Dear Glenn:

The Carmel Valley Community Planning Board considered the abovementioned project on March 22, 2018. It was a very difficult challenge discussing the existing conditions, the rights for development of private property, the concerns of adjacent residents, the presented mapping error and the perceived and logical open space limits.

After considerable debates and discussions that night and previous meetings the following motion was presented.

Motion to Approval Lighthouse Ridge

The CVCPB approves the Lighthouse Ridge project ONLY with the deletion of Lots 9 and 10 based on the conclusion that those units are in the Open Space. We reached our decision as a result of the following discussion, analysis and findings:

1. It is our opinion that the City of San Diego Development Services Department has erred in the approval of the Official Zoning Map Challenge submitted by Latitude 33, dated June 19, 2017.
 - a. Robert Vacchi, Development Services Director indicated in an email dated November 28, 2017 addressed to Paul Sager that the "zoning map correction concerns a discrepancy between the land use designation map C-698.3 (C-sheet) and the City's Official Zoning Map." He further states the North City West Planned District Development Unit 4-A C-Sheet C-698.3 takes precedence over the Official Zoning Map for the Carmel Valley Community.
 - b. Mr. Vacchi further states, "In this case, the C-sheet identifies and intends the open space zones to align with the finger canyons in the neighborhood. During the transfer of data from the C-sheet to the Official Zoning Map, an obvious error occurred where the open space zoning spilled onto the mesa covering several single-family lots and a slightly larger portion of the vacant lot off Lighthouse Way

than was intended by the Council. We reviewed the records once the error was brought to our attention and then confirmed and corrected the error."

2. We, the Carmel Valley Community Planning Board has concluded that there was no error in the transfer of the Open Space zone that impacts the Lighthouse Ridge project.
 - a. The comparison of the Official Zoning Map and the North City West Planned District Development Unit 4-A C-Sheet C-698.3 concludes that the Zoning Map clearly and accurately transferred the intent of the C-sheet to protrude into the area being occupied by Lots 9 and 10 as proposed in the Lighthouse Ridge plan.
 - b. The North City West Planned District Development Unit 4-A C-Sheet C-698.3 clearly indicates that the Westerly protrusion is about ½ of the length of the Northerly SF1-A parcel of what is now called White Emerald Drive. The Official Zoning Map accurately transferred that same intent and same proportional protrusion.
 - c. We do however; agree that the Open Space boundary North of White Emerald Drive needs to be corrected to mirror the intent of the boundary for those homes facing White Emerald as intended in the North City West Planned District Development Unit 4-A.

The Carmel Valley Community Planning supported the above motion by a vote of 8 For and 0 Against and 0 Abstaining.

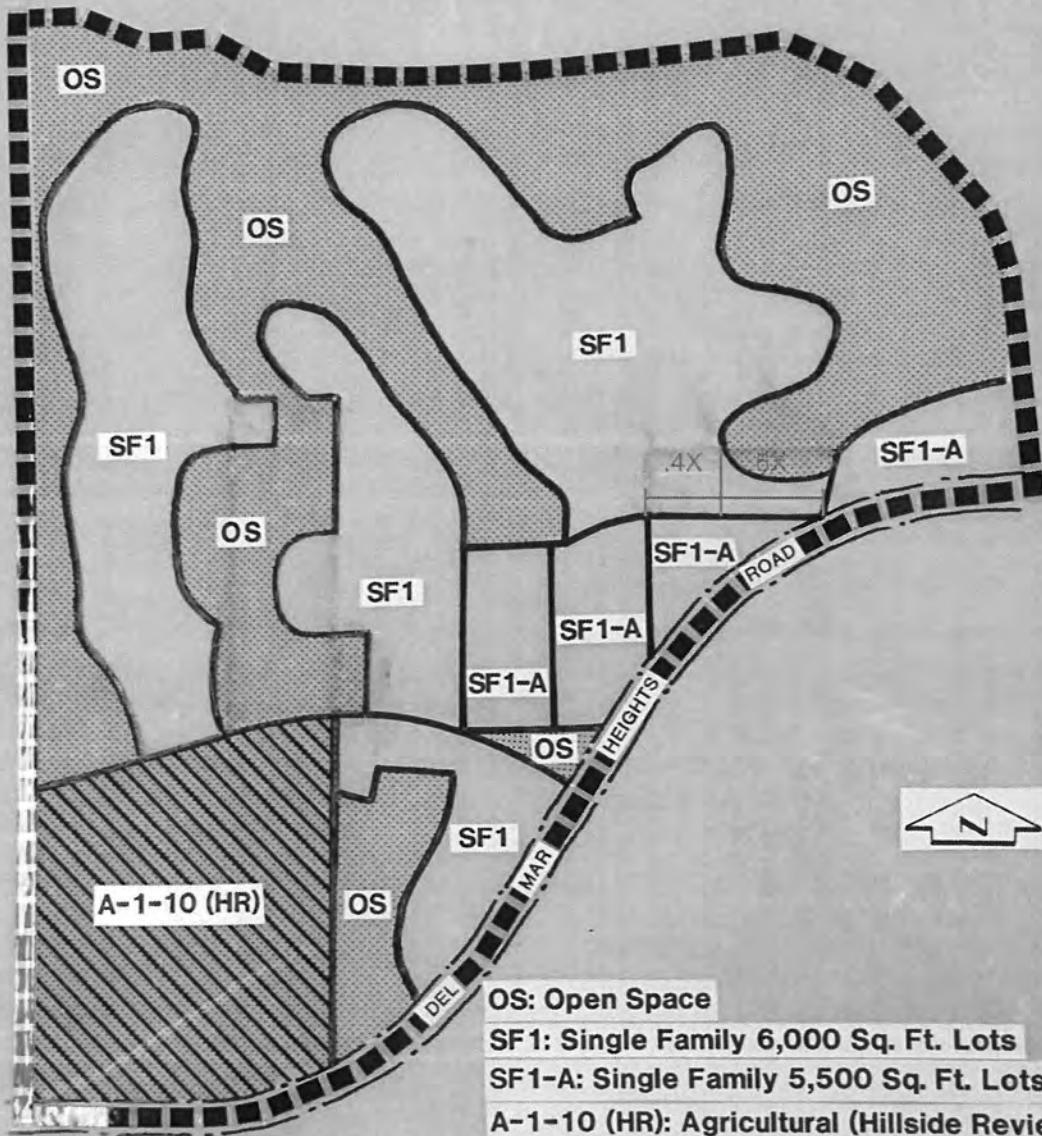
Prior to the above motion, a motion was made to deny the project. That motion failed 4-4-0.

Sincerely,
Carmel Valley Community Planning Board



Frisco White, AIA
Chair

Attachment: Analysis Maps



NORTH CITY WEST PLANNED DISTRICT DEVELOPMENT UNIT 4-A

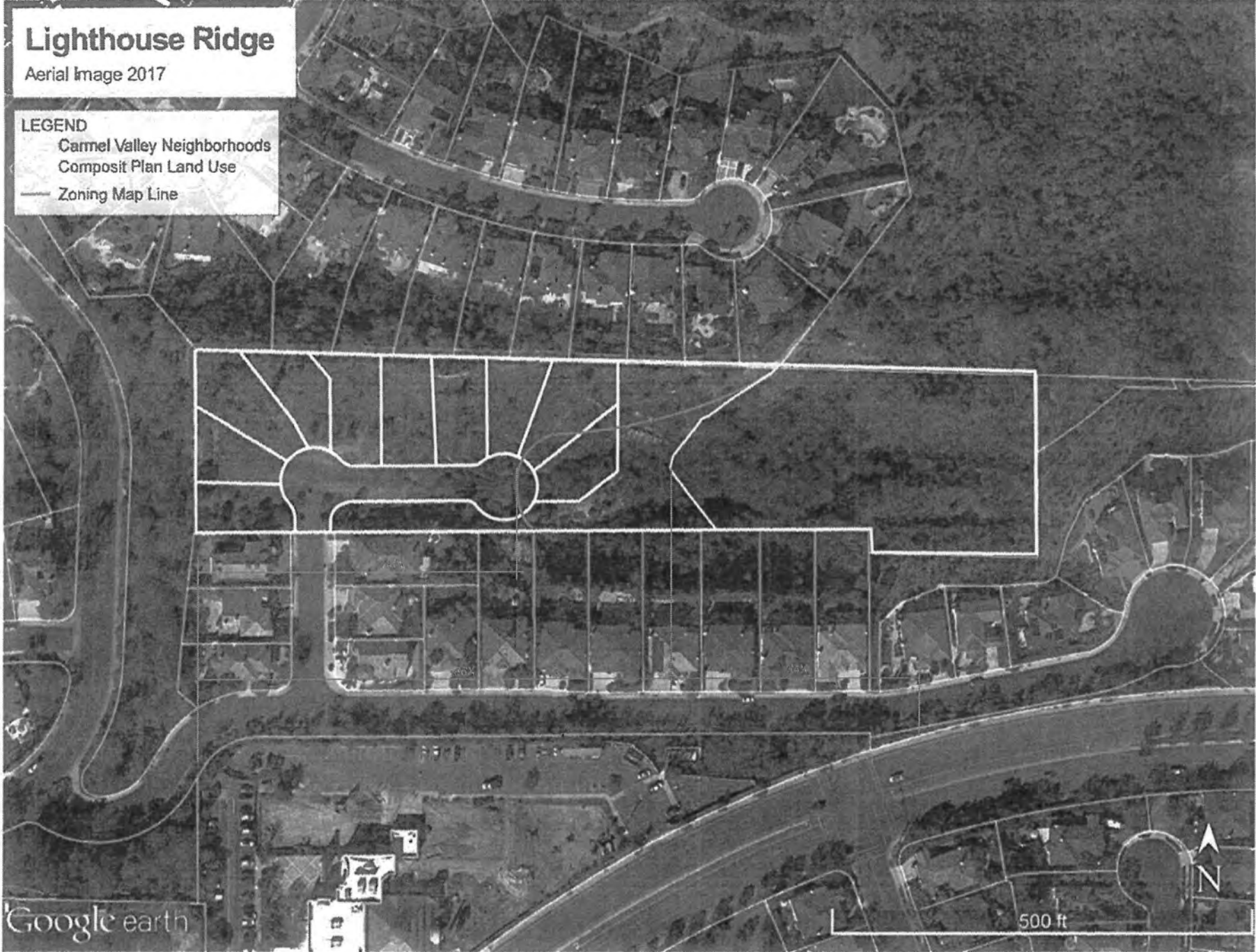
ORD. NO. 17247 NS BEFORE _____ REQUEST 17 DWELLINGS
 EFF. DATE ORD. 3-24-89 EFF. DATE ZONING 3-24-89 AREA 10 ACRES
 ZONING SUBJECT TO _____ MAP NAME _____ CASE _____

PLAN. COMM. RECOMMENDATION DENY
 CITY COUNCIL ACTION APPROVE

Robert Spaulding
 CITY PLANNING DIRECTOR

CITY OF SAN DIEGO
C-698.3

SECRETARY OF COMMISSION





City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title _____ Project No. For City Use Only _____

Lighthouse Ridge

513350

Project Address:

_____ Lighthouse Way, San Diego, CA 92130

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

Street Address: _____

City/State/Zip: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Phone No: _____

Fax No: _____

Signature : _____

Date: _____

Signature : _____

Date: _____

Name of Individual (type or print): _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

Street Address: _____

City/State/Zip: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Phone No: _____

Fax No: _____

Signature : _____

Date: _____

Signature : _____

Date: _____

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 201603510157
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Lighthouse TG LLC

Owner Tenant/Lessee

Street Address: 1926 Kellogg Ave #101

City/State/Zip: CARLSBAD CA 92008

Phone No: 858 775-9382 Fax No:

Name of Corporate Officer/Partner (type or print):
TERRY JOHNSON

Title (type or print): Managing Partner

Signature: [Signature] Date: 9-3-16

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kellogg Ave #101

City/State/Zip: CARLSBAD CA 92008

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
MICHAEL GRAHAM

Title (type or print): MANAGING PARTNER

Signature: [Signature] Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kellogg Ave #101

City/State/Zip: CARLSBAD CA 92008

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
EDWARD RODRIGUEZ

Title (type or print): Member LLC

Signature: [Signature] Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kellogg Ave #101

City/State/Zip: CARLSBAD CA 92008

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
DAVID SALISBURY

Title (type or print): Member LLC

Signature: [Signature] Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kellogg Ave #101

City/State/Zip: CARLSBAD CA 92008

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
JOAN MALONEY

Title (type or print): Member LLC

Signature: [Signature] Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kellogg Ave #101

City/State/Zip: CARLSBAD CA 92008

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):
CHRISTY & KEVIN HAROLD

Title (type or print): Member LLC

Signature: [Signature] Date:

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 201603510157
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kelloge Ave #101

City/State/Zip: Carlsbad CA 92008

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): Bardia Moayedi

Title (type or print): Member LLC

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kelloge Ave #101

City/State/Zip: Carlsbad CA 92008

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): Randall W. net

Title (type or print): Member LLC

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kelloge Ave #101

City/State/Zip: Carlsbad CA 92008

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): Kim Phung

Title (type or print): member LLC

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kelloge Ave #101

City/State/Zip: Carlsbad CA 92008

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): Viaduct Capital

Title (type or print): member LLC

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: 1926 Kelloge Ave

City/State/Zip: Carlsbad CA 92008

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): CWR Investments

Title (type or print): member LLC

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature: _____ Date: _____