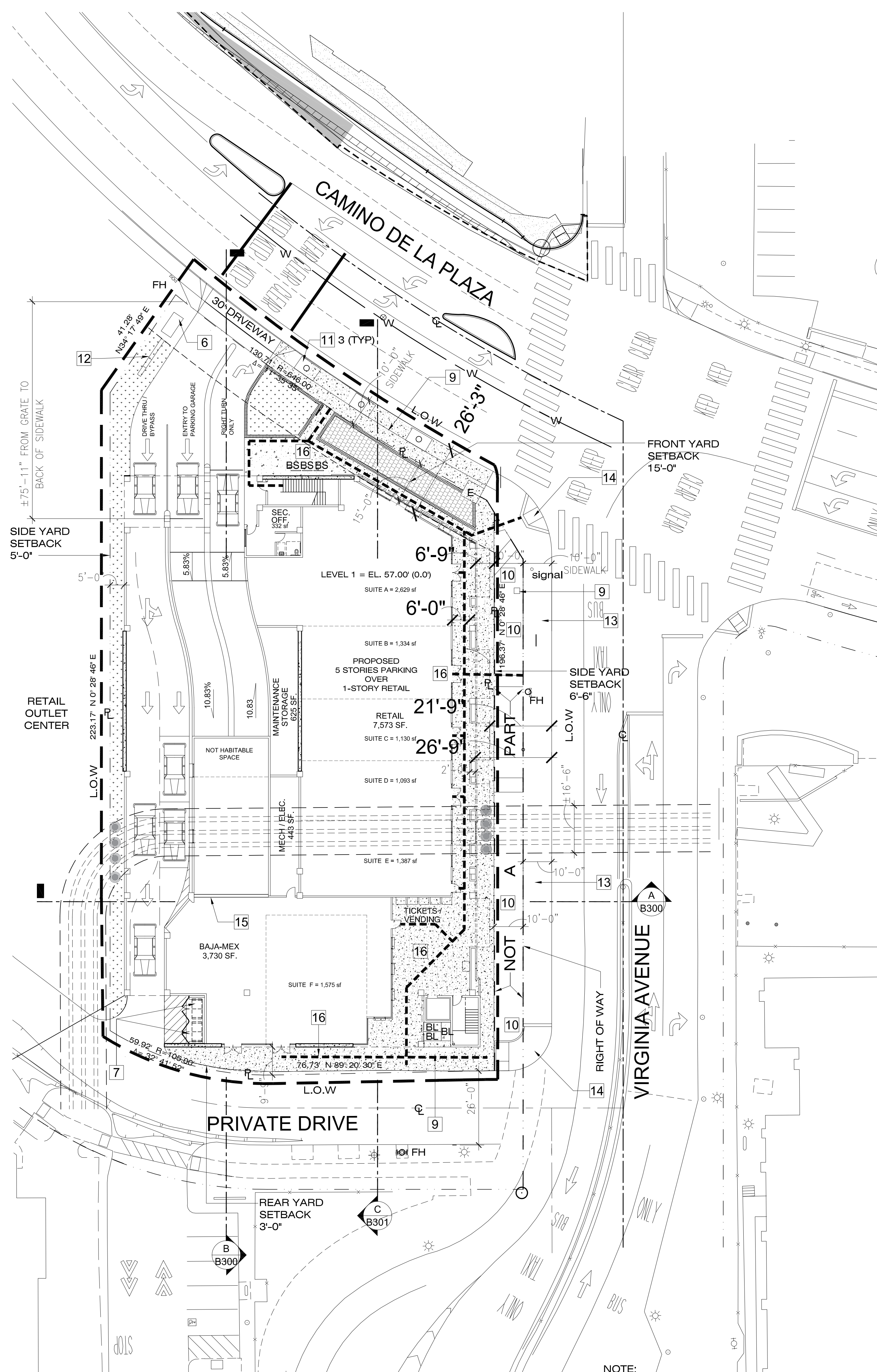
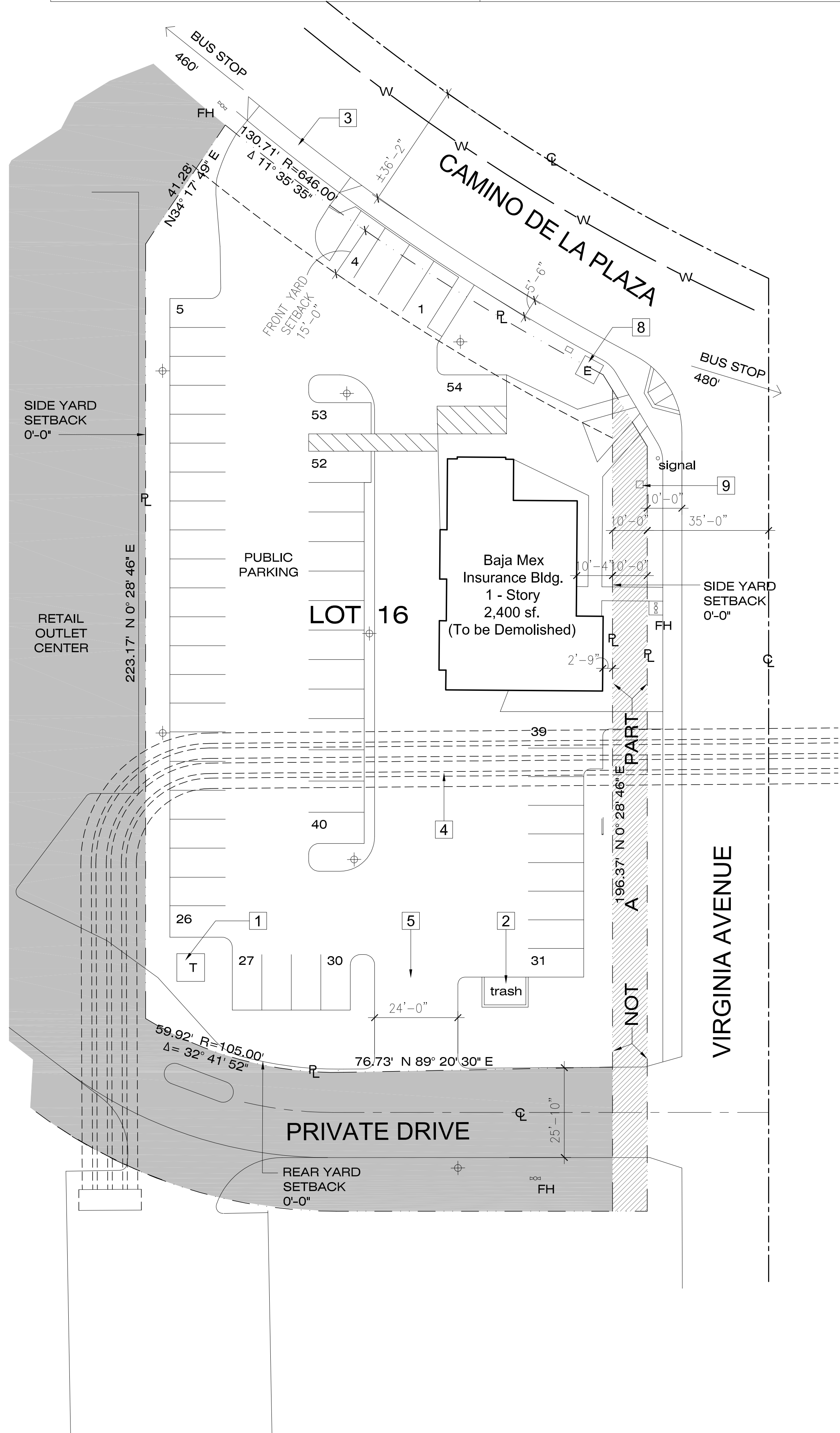




Proposed Site Plan
Scale: 1"=20'-0"



Existing Site Plan
Scale: 1"=20'-0"

GENERAL NOTES:

- IMPROVEMENTS ON ADJACENT PARCELS 1 AND 2 OF PARCEL MAP 19268 ARE ALLOWED PER THE "OVERALL RECIPROCAL EASEMENT AND COST SHARING AGREEMENT" FOR INTERNATIONAL GATEWAY OF AMERICAS PER DOCUMENT #2001-0751836 RECORDED OCTOBER 17, 2001, AND LATER AMENDED.
- THE ONLY EASEMENT ON - SITE ARE FOR THE EXISTING SDG&E FACILITIES. SINCE THEY ARE MEASURED FROM THE PHYSICAL LOCATION WHICH IS PARTIALLY UNDERGROUND THEY ARE NOT PLOTABLE.

FIRE NOTES:

- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE, AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.

LEGEND:

- W- INDICATES EXISTING WATER LINE
- INDICATES PARCEL 1 PM 19628
- INDICATES PARCEL 2 PM 19628
- BS SHORT TERM BYCICLE PARKING SPACE
- BL LONG TERM BYCICLE BIKE LOCKER
- INDICATES PROPERTY LINE
- INDICATES ACCESSIBLE PATH OF TRAVEL
- INDICATES AREA OF LANDSCAPING
- INDICATES NEW CONCRETE SIDE WALK
- INDICATES LIMITS OF WORK

PROPOSED PARKING DATA:

EXISTING PARKING:	
53 SPACES	
PROPOSED BUILDING AREA:	
PARKING	108,692 SF.
RETAIL / SECURITY	13,210 SF.
BUILDING MAINTENANCE & STORAGE	625 SF.
DRIVE ASLE, RAMPS, CIRCULATION, MECH/ELEC, STAIRS, ELEVATOR, RESTROOMS	9,659 SF.
TOTAL :	132,186 SF.
Parking:	
1ST LEVEL	
PARKING STALLS:	0 SP.
2ND LEVEL	
STANDARD STALLS:	0 SP.
ACCESSIBLE STALLS:	8 SP.
ZERO EMISSION STALLS:	5 SP.
CARPOOL STALLS:	5 SP.
RETAIL ONLY STALLS:	23 SP.
TOTAL STALLS:	41 SP.
3RD LEVEL	
STANDARD STALLS:	77 SP.
4TH LEVEL	
STANDARD STALLS:	77 SP.
5TH LEVEL	
STANDARD STALLS:	77 SP.
6TH LEVEL	
STANDARD STALLS:	47 SP.
RETAIL ONLY STALLS:	30 SP.
TOTAL STALLS:	77 SP.
TOTAL FACILITY PARKING STALLS:	349 SP.
1ST LEVEL	
BICYCLE SHORT TERM PARKING:	3 SP.
BICYCLE LONG TERM PARKING:	3 SP.
TOTAL BICYCLE PARKING:	6 SP.

Accessible Parking

REQUIRED : 8 SPACES
PROVIDED: 8 SPACES

Van Accessible Parking

REQUIRED : 2 SPACES
PROVIDED: 2 SPACES

Motorcycle Parking

REQUIRED: 2% x 66 = 1 Space (2 required minimum)
PROVIDED: 7 Spaces

Long Term Bicycle Parking

REQUIRED: 5% x 66 = 3 Bike Locker
PROVIDED: 3 Bike Locker

Short Term Bicycle Parking

REQUIRED: 5% x 66 = 3 BikeSpaces
PROVIDED: 3 Bike Spaces

Car Pool Parking

REQUIRED: 8% x 66 = 5 Spaces
PROVIDED: 5 Spaces

Zero Emissions Parking

REQUIRED: 8% x 66 = 5 Spaces
PROVIDED: 5 Spaces

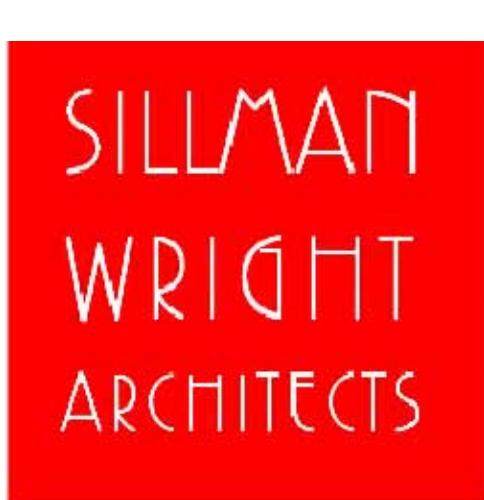
Retail Parking

REQUIRED: 13,210 SF x 5/1000= 66 Spaces
PROVIDED: 66 Spaces

RETAIL PARKING:	
ACCESSIBLE STALLS:	3 SP.
ZERO EMISSION STALLS:	5 SP.
CARPOOL STALLS:	5 SP.
RETAIL ONLY STALLS:	53 SP.
TOTAL STALLS:	66 SP.

KEYNOTES:

- (E) TRANSFORMER TO BE MOVED (SDG & E TRANSFORMER EASEMENT)
- (E) TRASH ENCLOSURE TO BE REMOVED
- (E) DRIVEWAY
- (E) 4-36" DIA. RCP PRIVATE STORM DRAINS
- (E) DRIVEWAY TO BE REMOVED
- (N) TRANSFORMER WITH SDG & E TRANSFORMER EASEMENT
- (N) RECYCLE & TRASH ENCLOSURE
- (E) ELECTRICAL PEDESTAL TO REMAIN WITH SDG & E PEDESTAL EASEMENT
- (E) SIGN
- (E) LANDSCAPE TO REMAIN (N.I.C.)
- (N) STREET TREE POCKET (40 SF. MIN.) W/ ADA ACCESSIBLE PEDESTRIAN TREE GRATE
- (N) MONUMENT SIGN
- (N) 10'-0" WIDE SIDEWALK BY OTHERS
- (N) CURB RAMPS BY OTHERS
- PROVIDE STEPS
- 4' MIN. WIDTH ACCESSIBLE PATH FROM STREET



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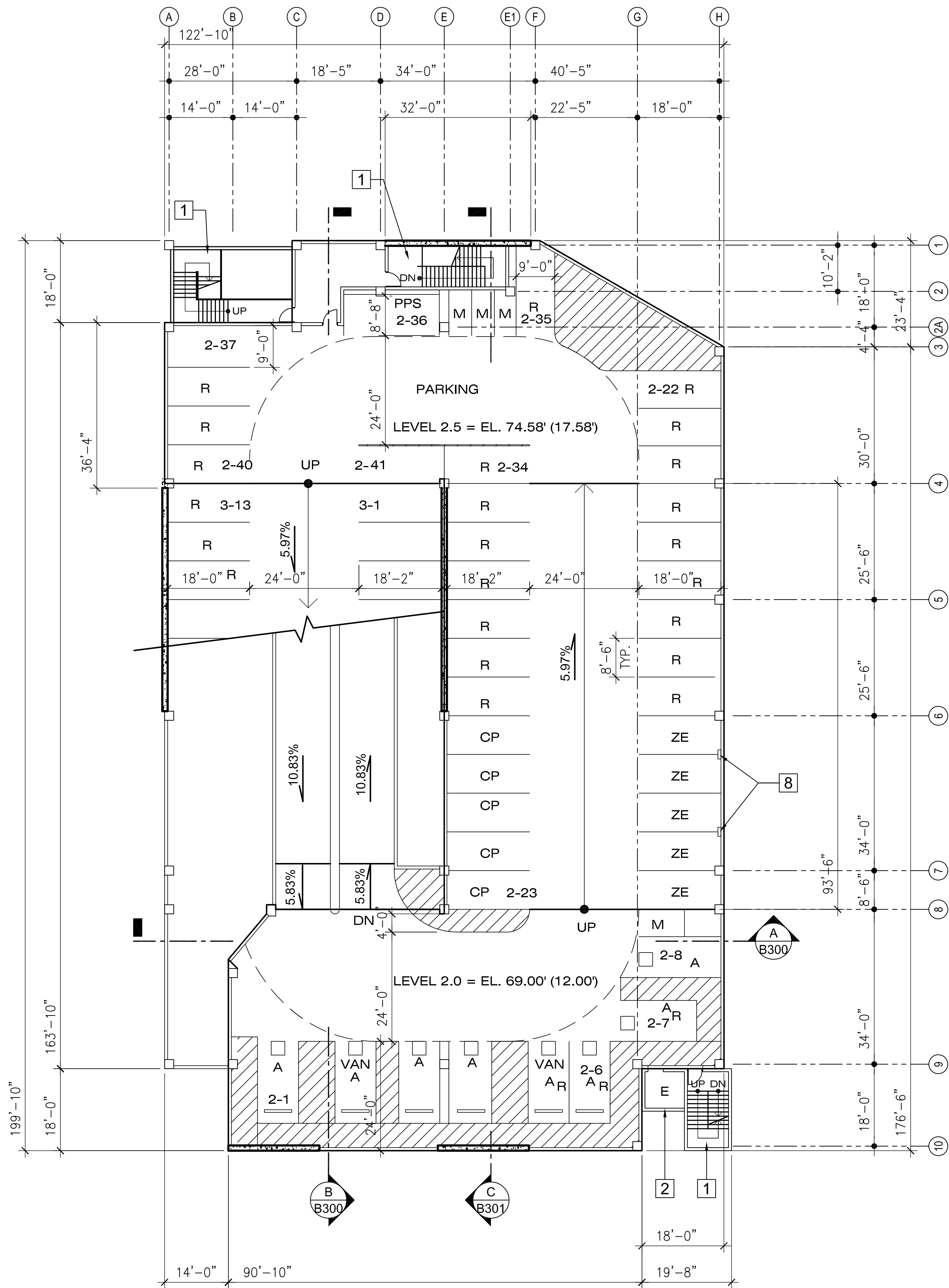
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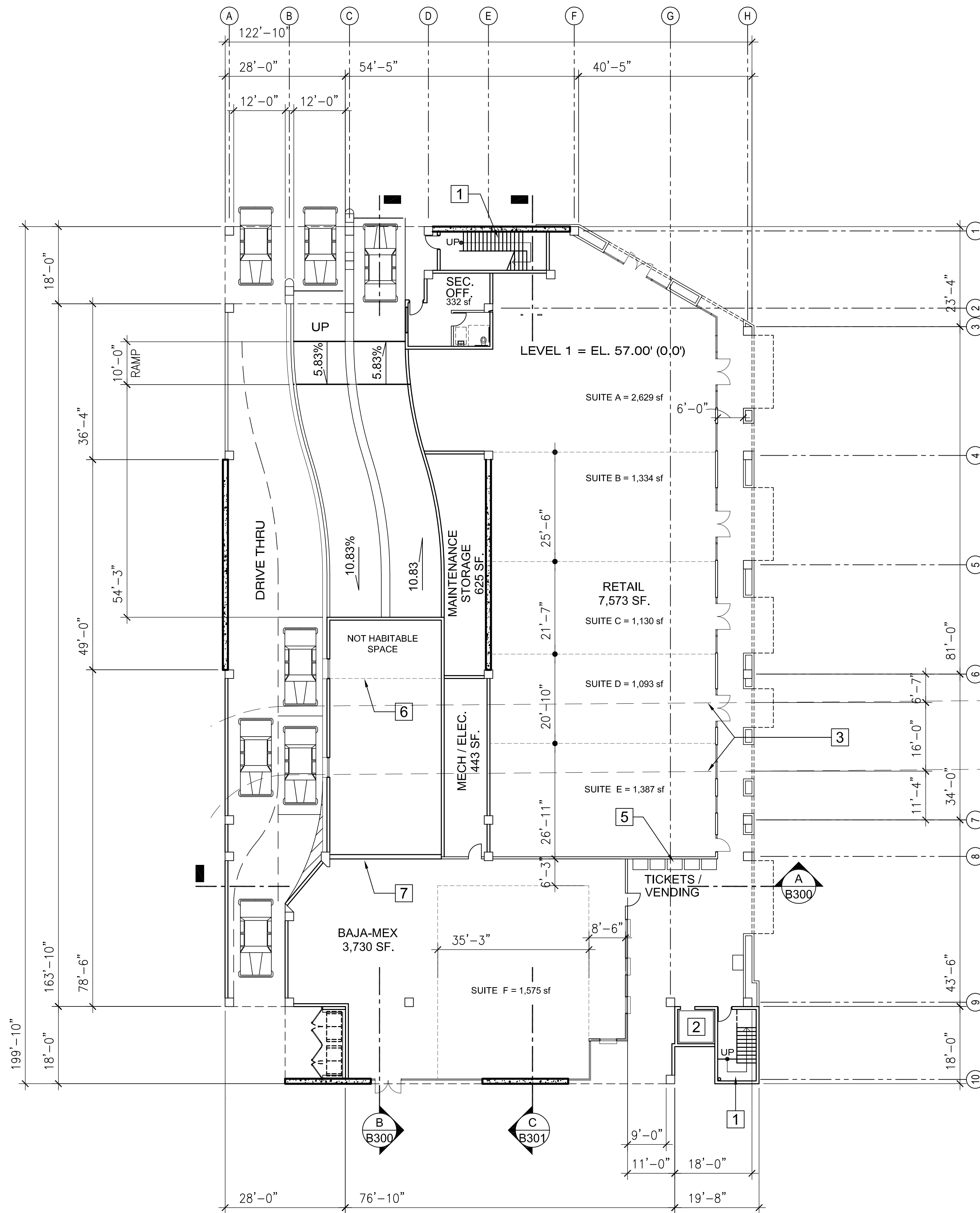
Existing /
Proposed
Site Plans

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ASP-100
Sheet: 2 of 16



Second Level Floor Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'



First Level / Site Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'

PROPOSED PARKING DATA:

Parking:	
1ST LEVEL	
PARKING STALLS:	0 SP.
1ST LEVEL	
BICYCLE SHORT TERM PARKING:	3 SP.
BICYCLE LONG TERM PARKING:	3 SP.
TOTAL BICYCLE PARKING:	6 SP.
2ND LEVEL	
STANDARD STALLS:	0 SP.
ACCESSIBLE STALLS:	8 SP.
ZERO EMISSION STALLS:	5 SP.
CARPOOL STALLS:	5 SP.
RETAIL ONLY STALLS:	23 SP.
TOTAL STALLS:	41 SP.
2ND LEVEL	
MOTORCYCLE STALLS:	4 SP.

FLOOR AREA:

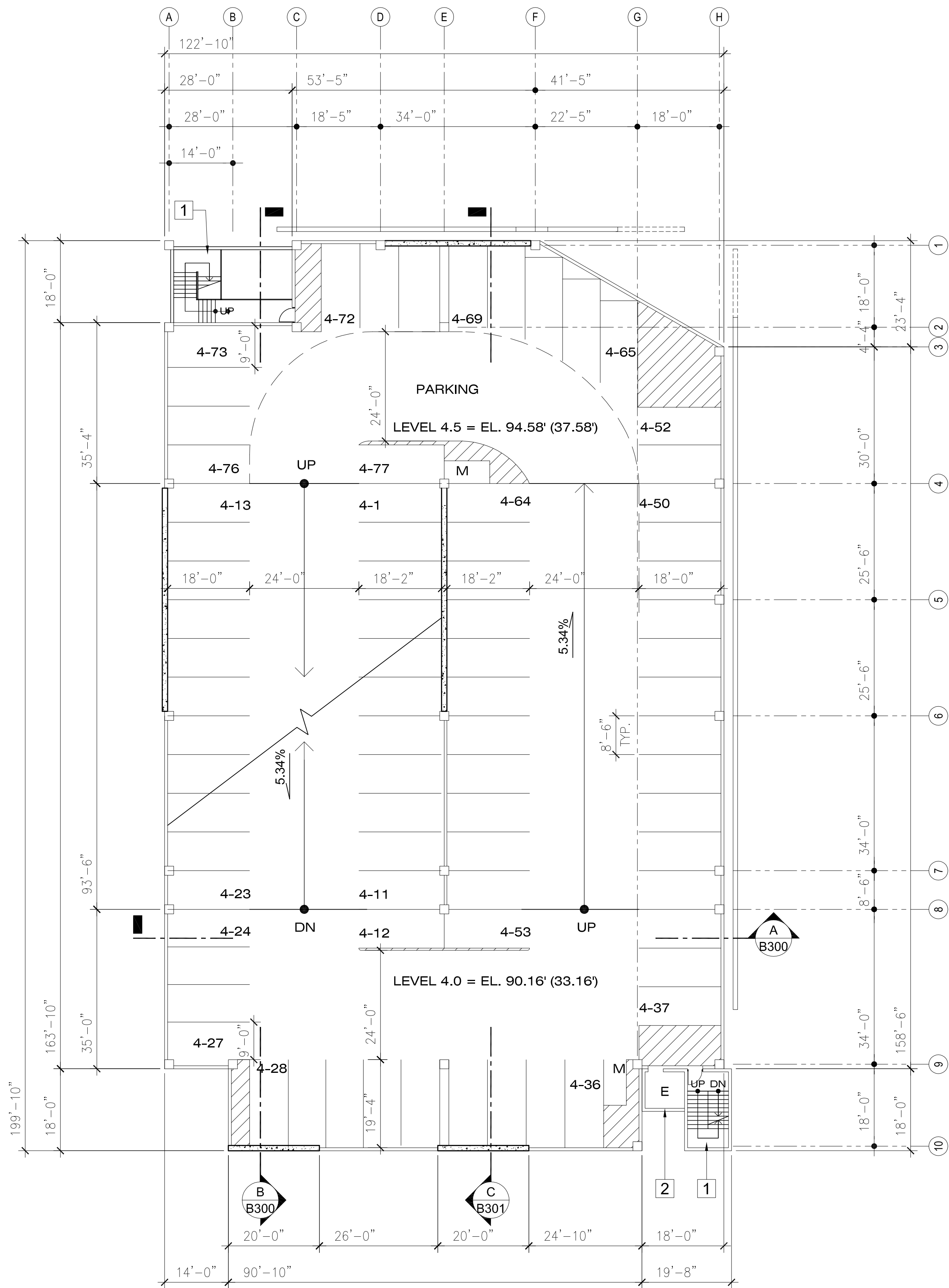
2ND FLOOR AREA:	16,712 SF.
1ST FLOOR AREA:	
RETAIL/SECURITY	13,210 SF.
BUILDING MAINTENANCE & STORAGE	625 SF.
DRIVE ASILE, RAMPS, CIRCULATION, MECH/ELEC, STAIRS, ELEVATOR,	9,659 SF.
TOTAL :	23,494 SF.

KEYNOTES:

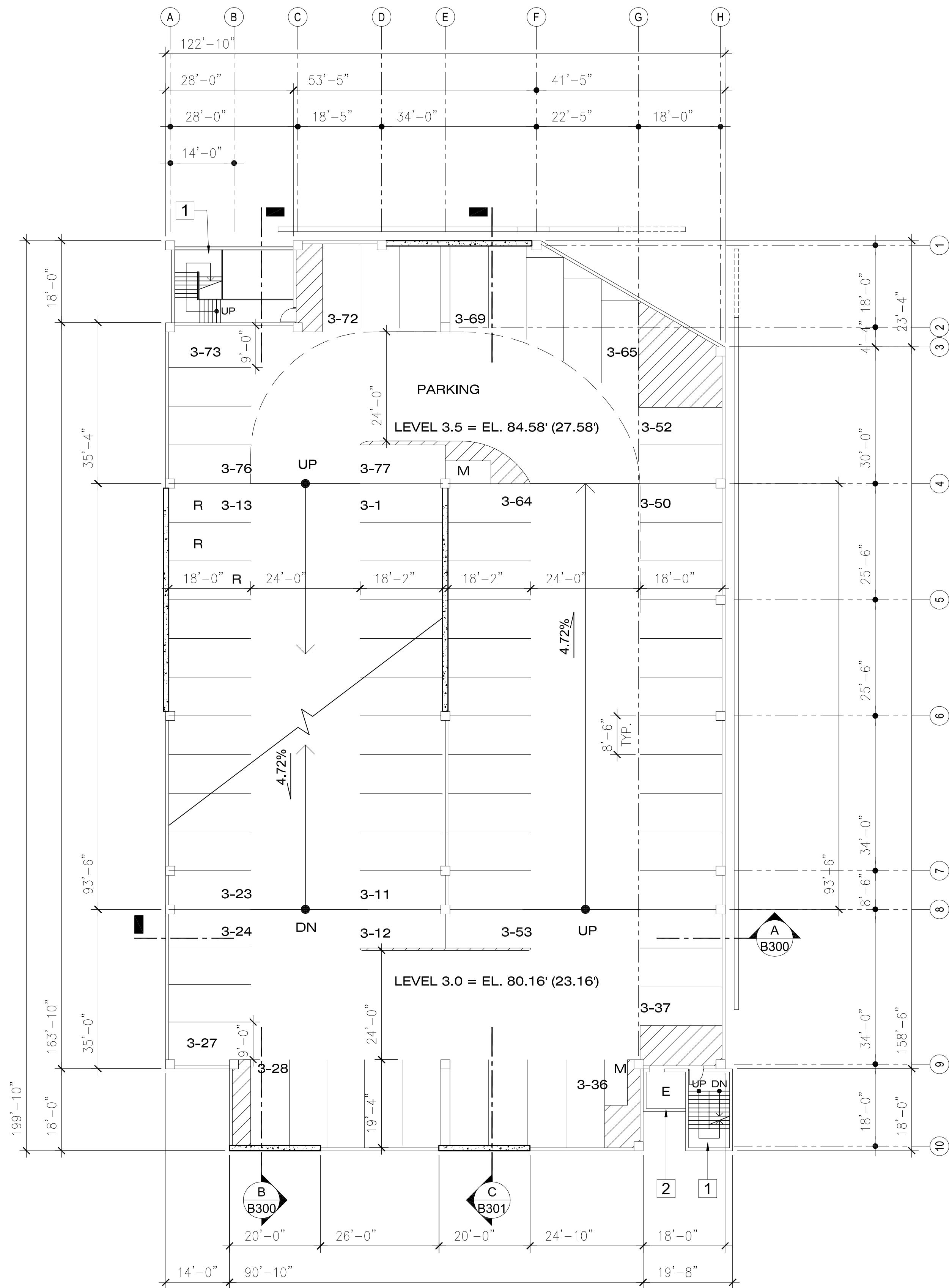
- (N) STAIRS
- (N) ELEVATOR
- (E) PRIVATE STORM DRAIN
- (1) BICYCLE LOCKER 39"W x 48"H x 75"L
- AUTOMATED PAY STATION
- 7'-6" CLEARANCE BELOW RAMP
- PROVIDE STEPS
- CABINET BOX FOR ACTIVE ELECTRIC VEHICLE CHARGING

LEGEND:

- | | |
|-----|------------------------------------|
| (E) | (E) INDICATES 'EXISTING' |
| (N) | (N) INDICATES 'NEW' |
| A | INDICATES ACCESSIBLE PARKING SPACE |
| M | INDICATES MOTORCYCLE PARKING SPACE |
| CP | CAR POOL PARKING SPACE |
| ZE | LOW ZERO EMISSIONS PARKING SPACE |
| BS | SHORT TERM BYCICLE PARKING SPACE |
| R | RETAIL PARKING SPACES |
| V | VAN ACCESSIBLE PARKING SPACE |
| BL | LONG TERM BYCICLE BIKE LOCKER |
- INDICATES ACCESSIBLE PATH OF TRAVEL



Fourth Level Floor Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'



Third Level Floor Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'

PROPOSED PARKING DATA:

Parking:	
3RD LEVEL	
STANDARD STALLS:	77 SP.
3RD LEVEL	
MOTORCYCLE STALLS:	2 SP.
4TH LEVEL	
STANDARD STALLS:	77 SP.
4TH LEVEL	
MOTORCYCLE STALLS:	2 SP.

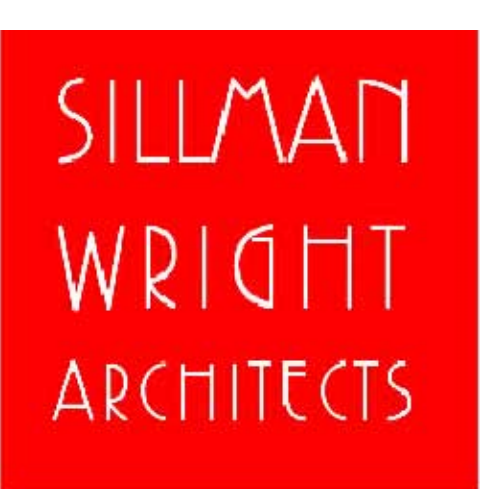
FLOOR AREA:	
4TH FLOOR AREA:	22,995 SF.
3RD FLOOR AREA:	22,995 SF.

KEYNOTES:

- 1 (N) STAIRS
- 2 (N) ELEVATOR

LEGEND:

- (E) INDICATES 'EXISTING'
- (N) INDICATES 'NEW'
- M INDICATES MOTORCYCLE SPACE



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Revision 4 Date:

Revision 3 Date:

Revision 2 Date:

Revision 1 Date:
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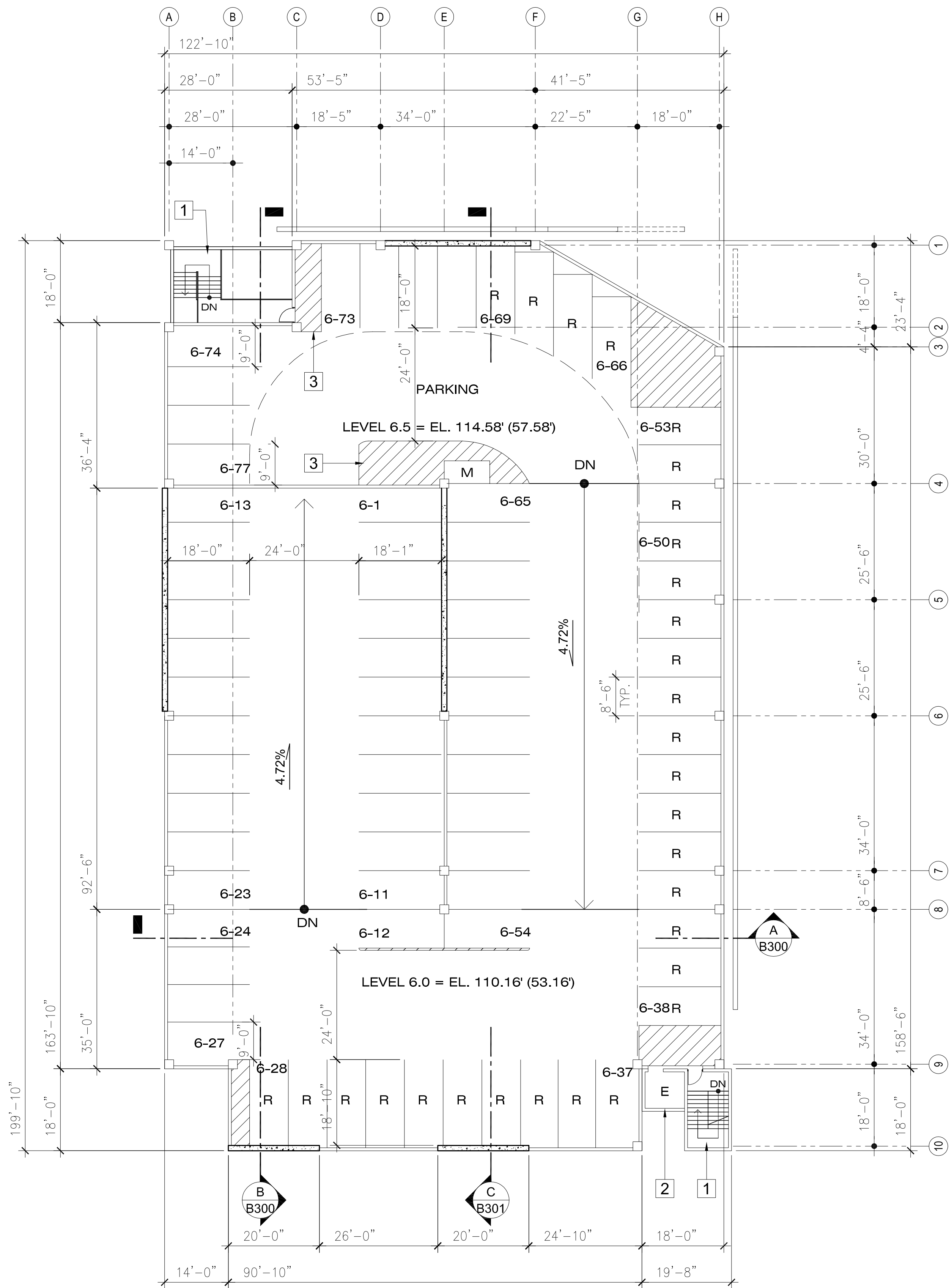
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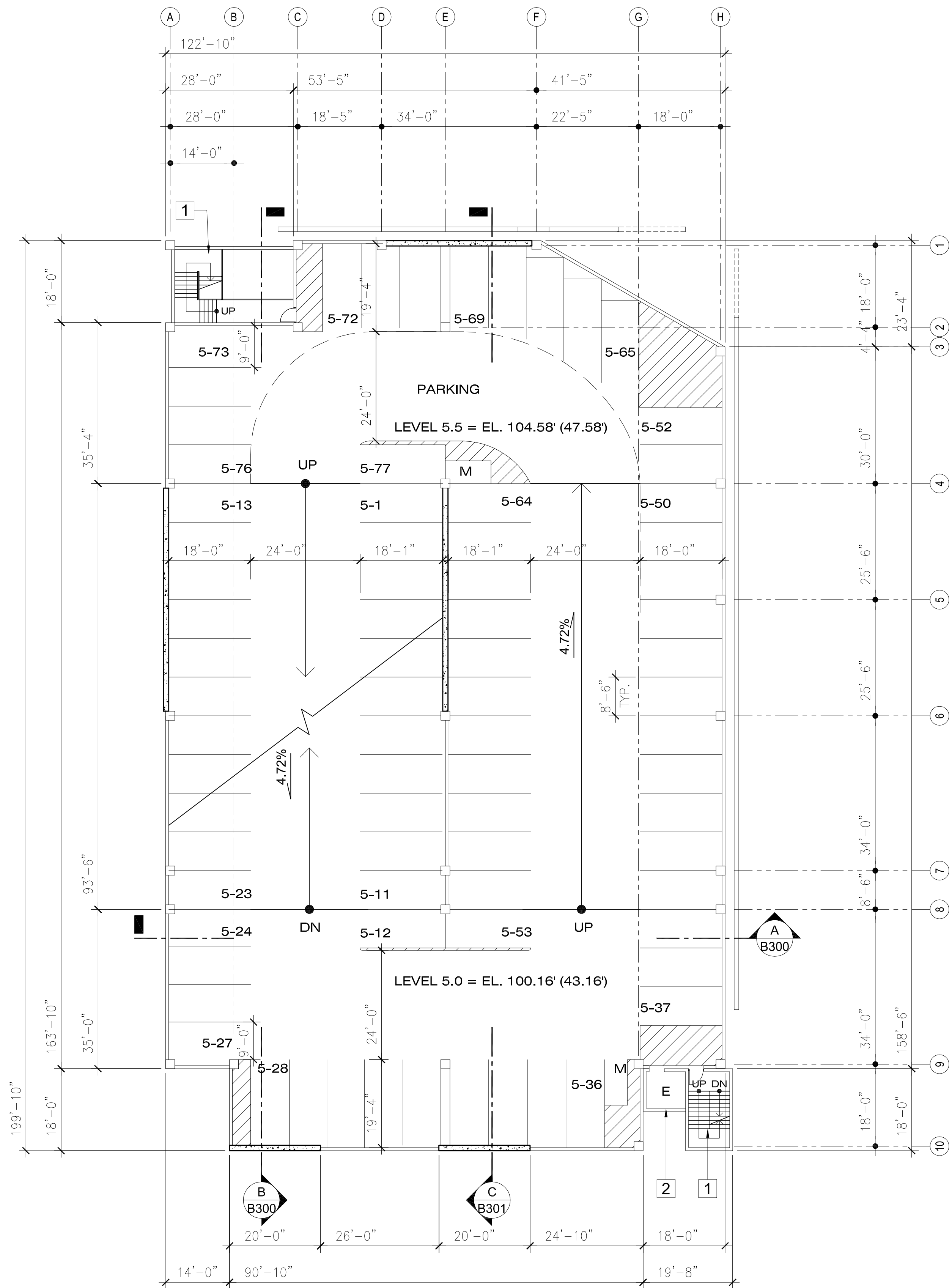
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**3rd and 4th
Level Plans**

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A-101
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Six Level Floor Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'



Fifth Level Floor Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'

PROPOSED PARKING DATA:

Parking:	
5TH LEVEL	
STANDARD STALLS:	77 SP.
5TH LEVEL	
MOTORCYCLE STALLS:	2 SP.
6TH LEVEL	
STANDARD STALLS:	47 SP.
RETAIL ONLY STALLS:	30 SP.
TOTAL STALLS:	77 SP.
6TH LEVEL	
MOTORCYCLE STALLS:	1 SP.

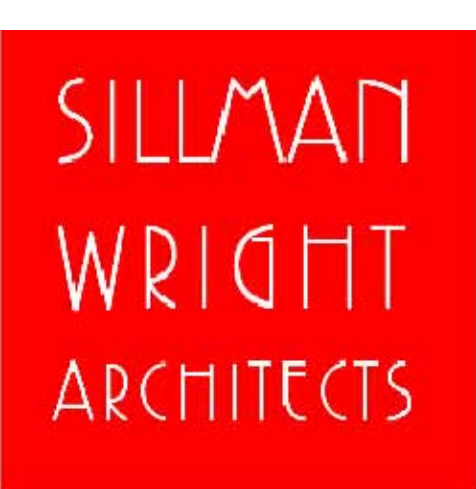
FLOOR AREA:	
6TH FLOOR AREA:	22,995 SF.
5TH FLOOR AREA:	22,995 SF.

KEYNOTES:

- (N) STAIRS
- (N) ELEVATOR
- NO PARKING TURN AROUND AREA

LEGEND:

- | | |
|-----|------------------------------------|
| (E) | INDICATES "EXISTING" |
| (N) | INDICATES "NEW" |
| M | INDICATES MOTORCYCLE PARKING SPACE |
| R | RETAIL PARKING SPACES |



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Project No.: 375960

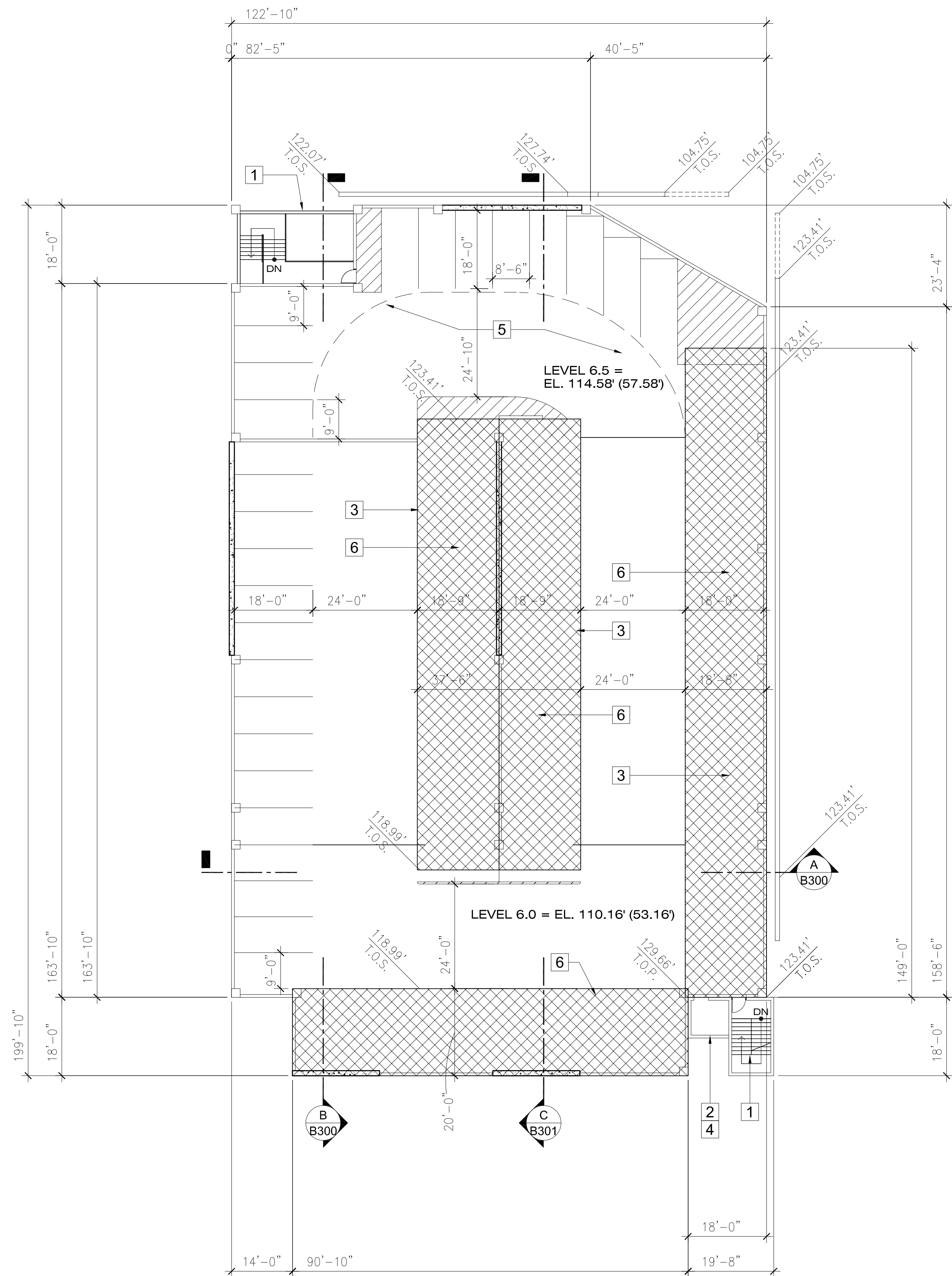
Sheet Titles:

5th and 6th
Level Plans

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Roof Plan
Scale: 1/16"=1'-0"
0 16' 32' 48'

GENERAL NOTES:

1. A MINIMUM OF 50% OF EXPOSED PARKING SPACES ON THE TOP PARKING LEVEL WILL BE COVERED WITH SHADING MATERIAL WITH A MINIMUM OPACITY OF 50%. THE ARRANGEMENT OF SPACES TO BE COVERED MAY BE MODIFIED.
2. THERE IS NO ROOF TOP EQUIPMENT. MECHANICAL EQUIPMENT IS LOCATED ON LEVEL 1.

KEYNOTES:

- 1 STAIRS
- 2 ELEVATOR
- 3 FUTURE PV PANELS
- 4 BUILT-UP ROOF
- 5 CONCRETE PARKING DECK
- 6 RECYCLED PVC COMPOSITE FABRIC SCREEN



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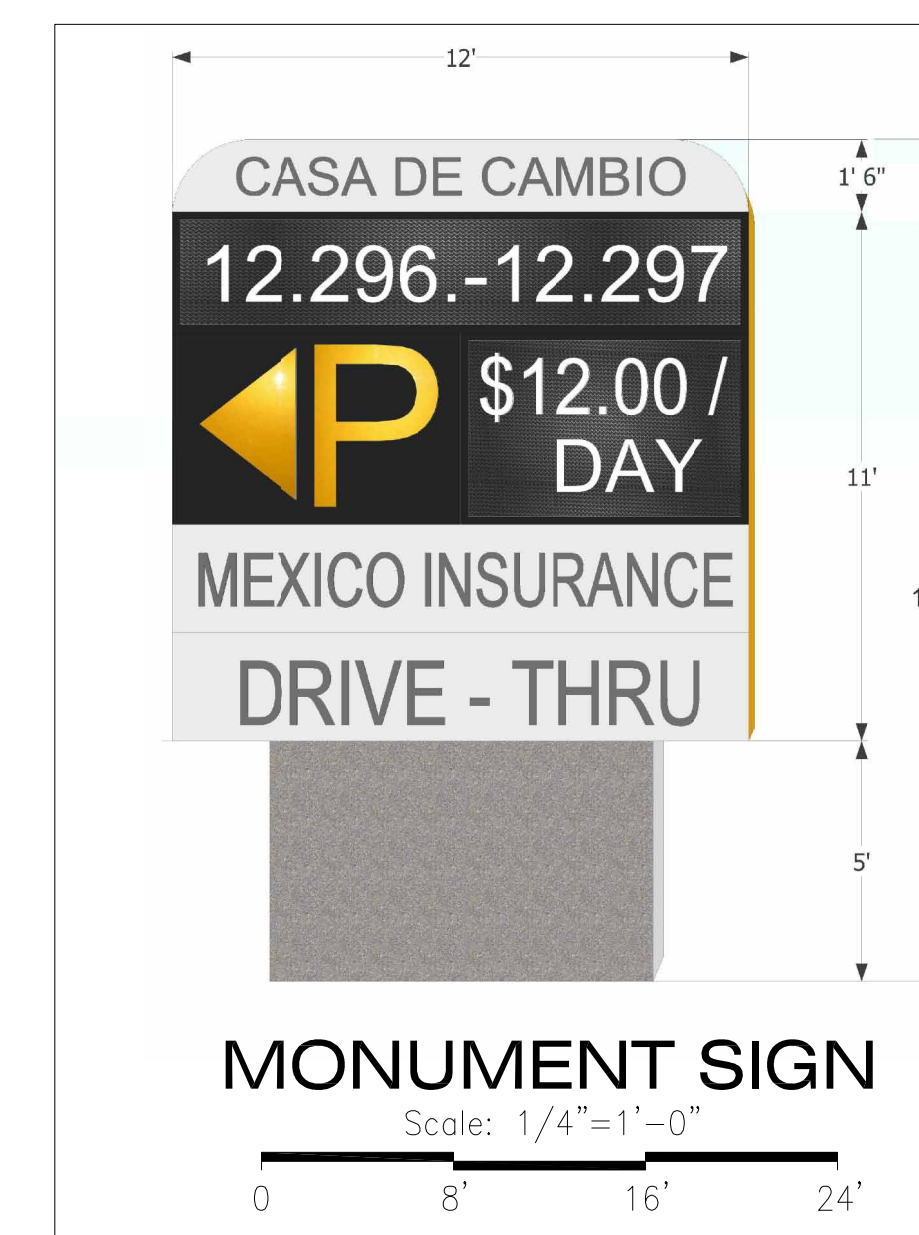
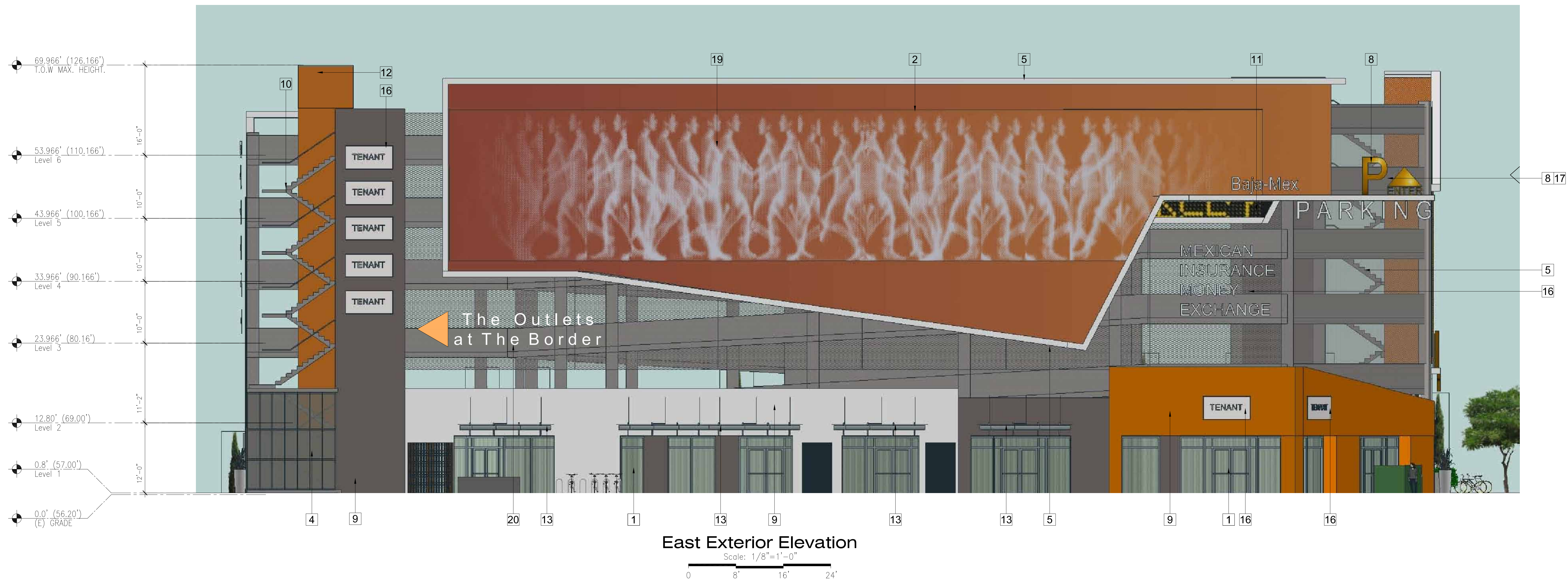
Roof Plan

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A-103

Sheet: **6** of **16**

VIRGINIA AVENUE
PARKING STRUCTURE
SAN YSIDRO, CA 92173



KEYNOTES:

- 1 STOREFRONT WINDOW SYSTEM
- 2 RECYCLED PVC COMPOSITE FABRIC SCREEN
- 3 DECORATIVE PLANTERS
- 4 PERFORATED METAL SCREEN
- 5 POWDER COATED METAL FRAME FINISH MATTE WHITE
- 6 EXPOSED METAL COVER CAP
- 7 CONC. SHEARWALL PAINTED ACCENT COLOR
- 8 RAISED LETTERING
- 9 STUCCO FINISH
- 10 CONC. STAIRS
- 11 LED SIGNAGE
- 12 ELEVATOR TOWER
- 13 CANOPY PROJECTION
- 14 NOT USED
- 15 METAL SCREENING
- 16 SIGNAGE
- 17 ILLUMINATED SIGNAGE
- 18 NOT USED
- 19 RECYCLED PVC COMPOSITE FABRIC, PER ROOF PLAN
- 20 OFF PREMISE DIRECTIONAL SIGN PER NEIGHBORHOOD USE PERMIT.

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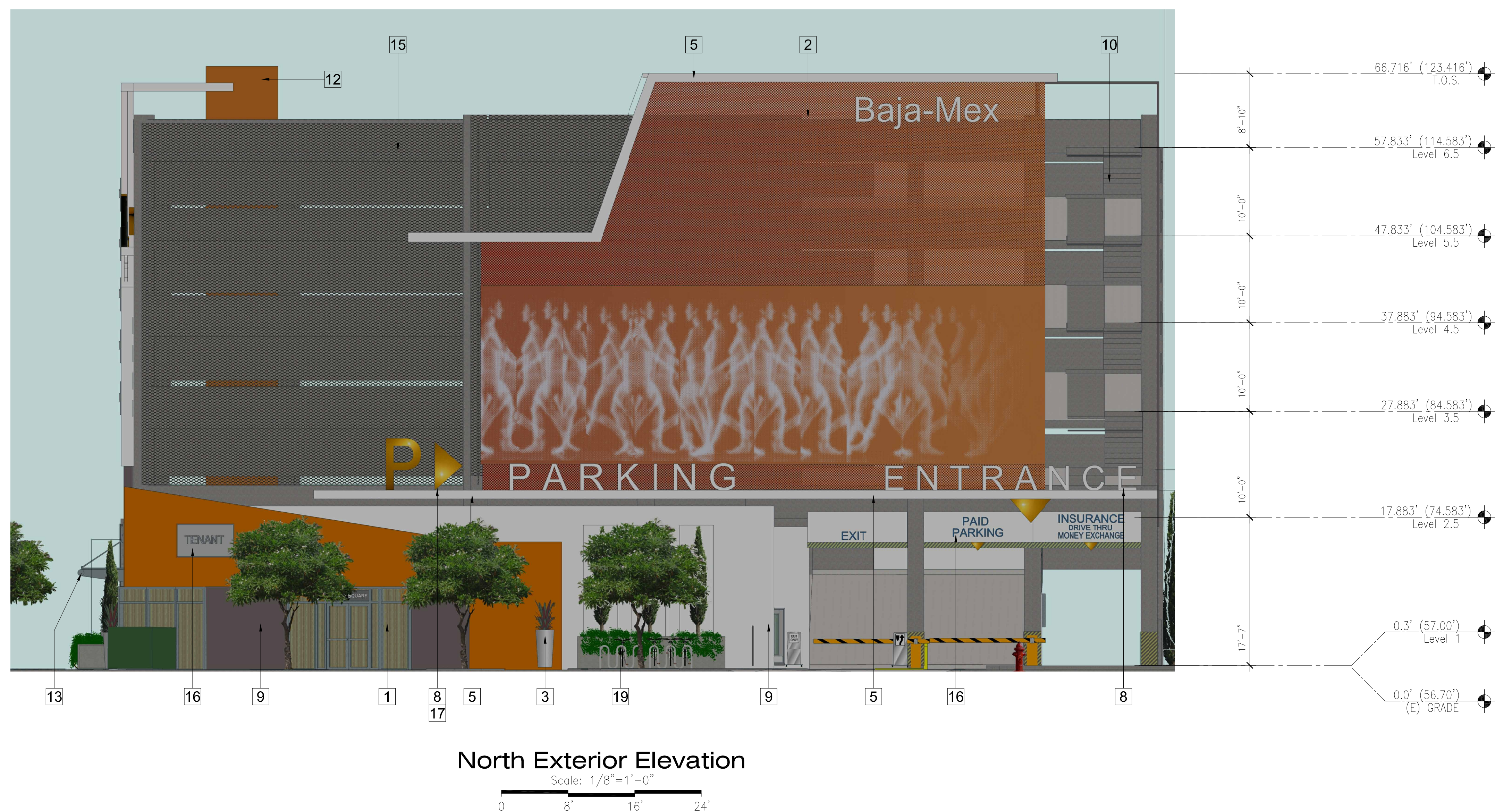
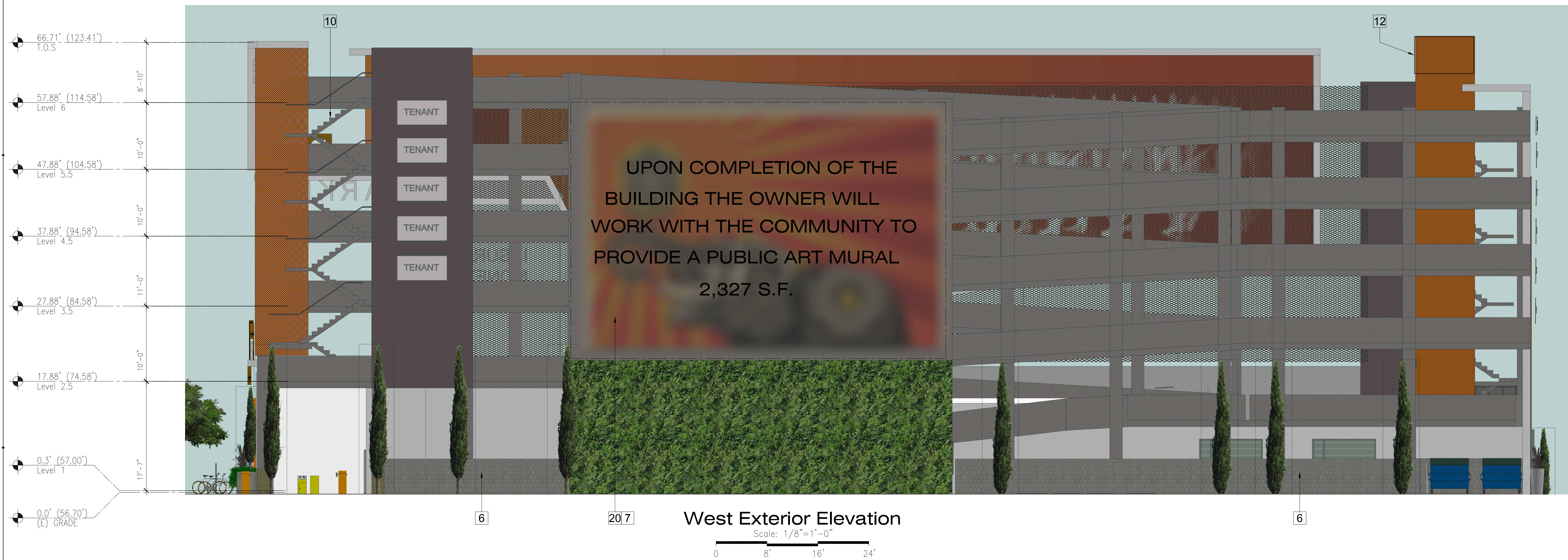
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Exterior Elevations

Sheet No.: _____

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Sheet: **8** of **16**



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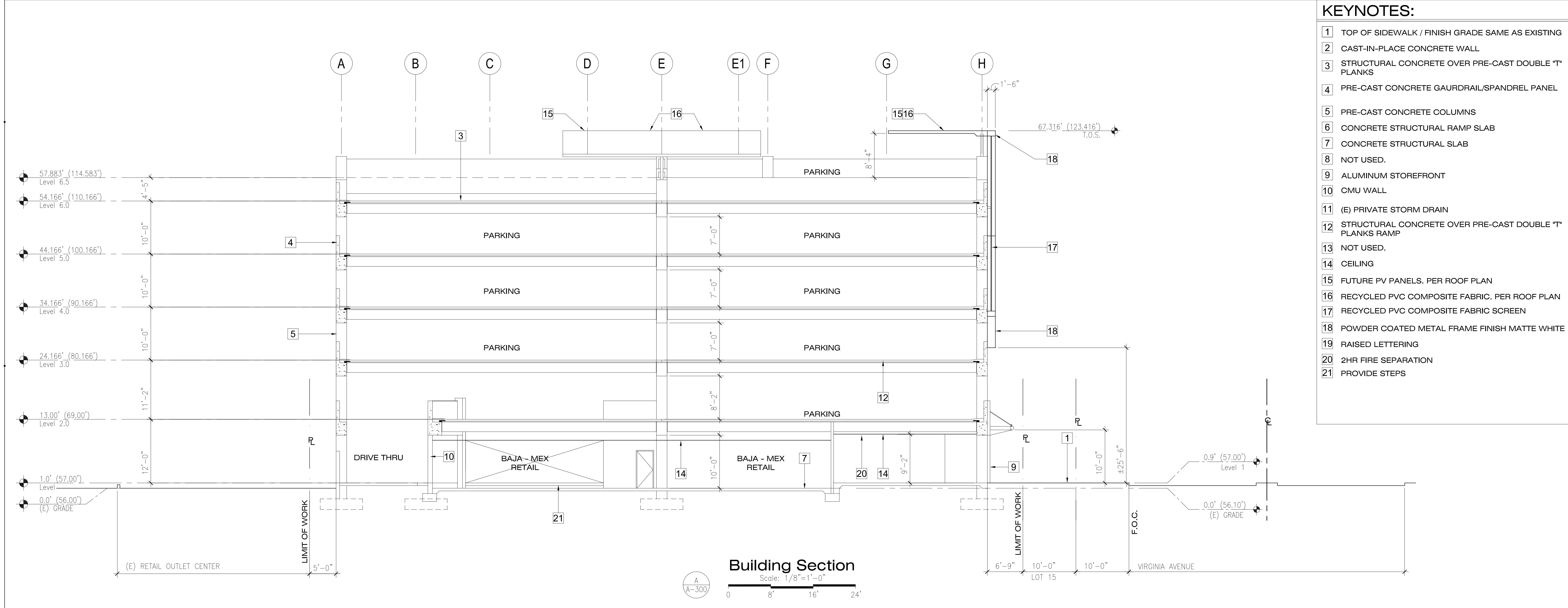
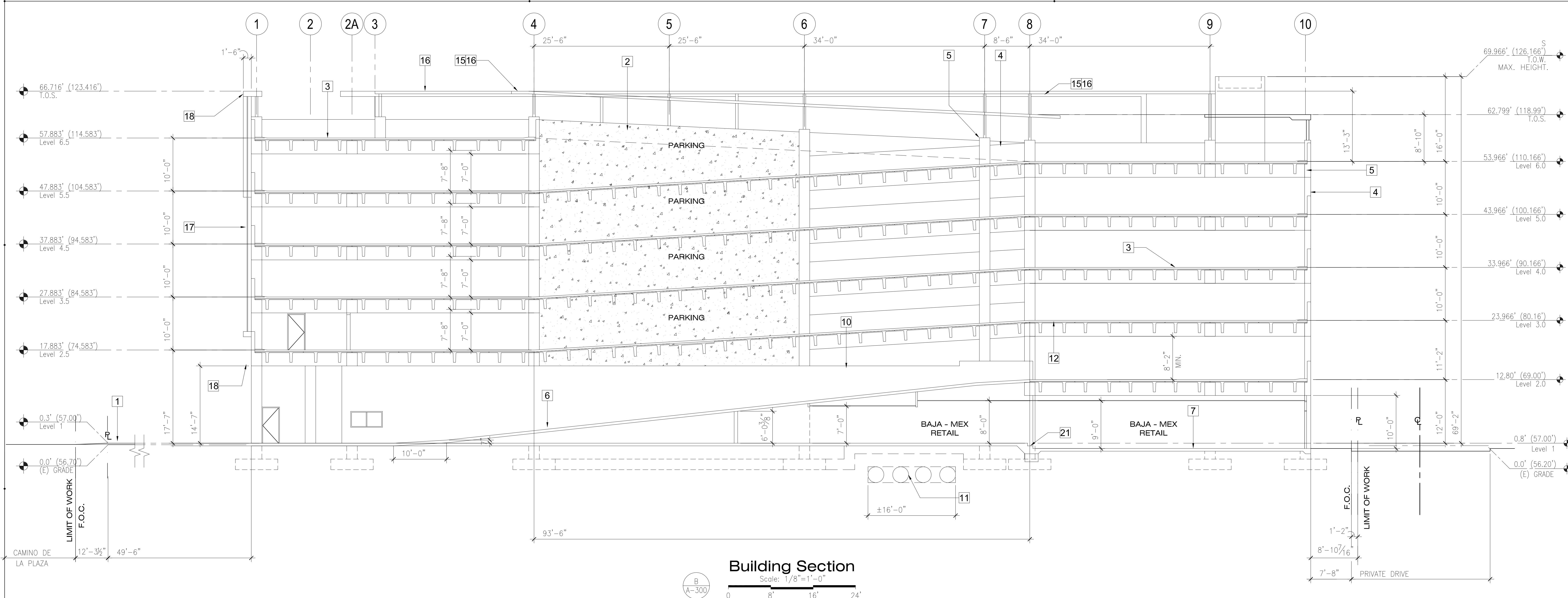
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375960

Sheet Titles:
**Building
Section**

Sheet No.:
A-300

Sheet: 9 of 16



- KEYNOTES:**
- 1 TOP OF SIDEWALK / FINISH GRADE SAME AS EXISTING
 - 2 CAST-IN-PLACE CONCRETE WALL
 - 3 STRUCTURAL CONCRETE OVER PRE-CAST DOUBLE "T" PLANKS
 - 4 PRE-CAST CONCRETE GAUDDRAIL/SPANDREL PANEL
 - 5 PRE-CAST CONCRETE COLUMNS
 - 6 CONCRETE STRUCTURAL RAMP SLAB
 - 7 CONCRETE STRUCTURAL SLAB
 - 8 NOT USED.
 - 9 ALUMINUM STOREFRONT
 - 10 CMU WALL
 - 11 (E) PRIVATE STORM DRAIN
 - 12 STRUCTURAL CONCRETE OVER PRE-CAST DOUBLE "T" PLANKS RAMP
 - 13 NOT USED.
 - 14 CEILING
 - 15 FUTURE PV PANELS. PER ROOF PLAN
 - 16 RECYCLED PVC COMPOSITE FABRIC. PER ROOF PLAN
 - 17 RECYCLED PVC COMPOSITE FABRIC SCREEN
 - 18 POWDER COATED METAL FRAME FINISH MATTE WHITE
 - 19 RAISED LETTERING
 - 20 2HR FIRE SEPARATION
 - 21 PROVIDE STEPS

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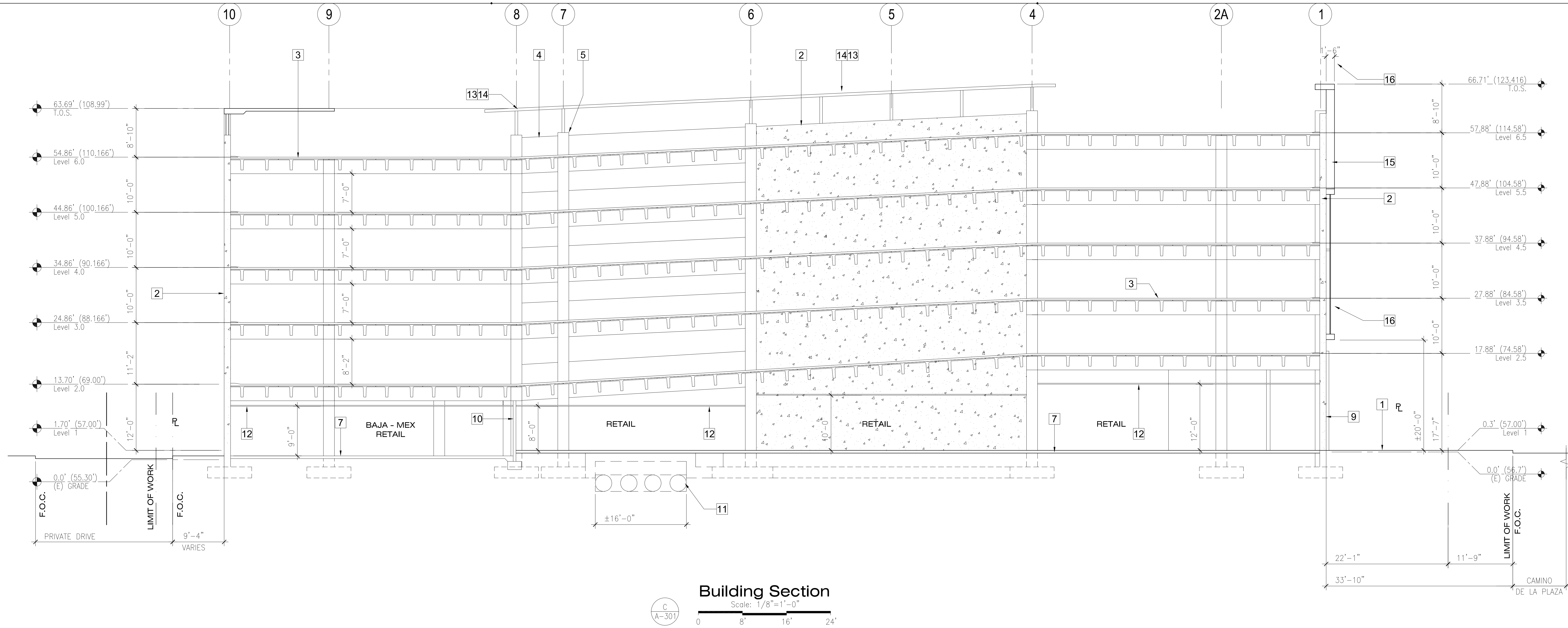
Project No.:

375960
Building
Section

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A-301

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KEYNOTES:

- 1 TOP OF SIDEWALK / FINISH GRADE SAME AS EXISTING
- 2 CAST-IN-PLACE CONCRETE WALL
- 3 STRUCTURAL CONCRETE OVER PRE-CAST DOUBLE "T" PLANKS
- 4 PRE-CAST CONCRETE GAURDRAIL/SPANDREL PANEL
- 5 PRE-CAST CONCRETE COLUMNS
- 6 NOT USED.
- 7 CONCRETE STRUCTURAL SLAB
- 8 NOT USED.
- 9 ALUMINUM STOREFRONT
- 10 CMU WALL
- 11 (E) PRIVATE STORM DRAIN
- 12 CEILING
- 13 FUTURE PV PANELS. PER ROOF PLAN
- 14 RECYCLED PVC COMPOSITE FABRIC. PER ROOF PLAN
- 15 RECYCLED PVC COMPOSITE FABRIC SCREEN
- 16 POWDER COATED METAL FRAME FINISH MATTE WHITE
- 17 RAISED LETTERING
- 18 CLEAR STORY WINDOW

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01/14/16

Revision 2 Date:
08/06/15

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Original Date:
08/21/14

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375960

Sheet Titles:

Topographic
Survey

Sheet No.:

C-100

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BENCH MARK

B.M. NO. 1464 SE SIDE CAMINO DE LA PLAZA BRIDGE OVER INTERSTATE 5
NGVD29 ELEVATION 90.95

LEGAL DESCRIPTION

LOT 16 OF MAP NO. 14259

OWNER/APPLICANT

BAJA-MEX INSURANCE SERVICES
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PHONE 619-428-1616

TOPOGRAPHY

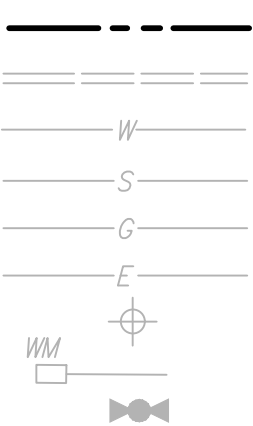
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JOB NO.: 13846
DATED: MAY 27, 2014

SLOPES

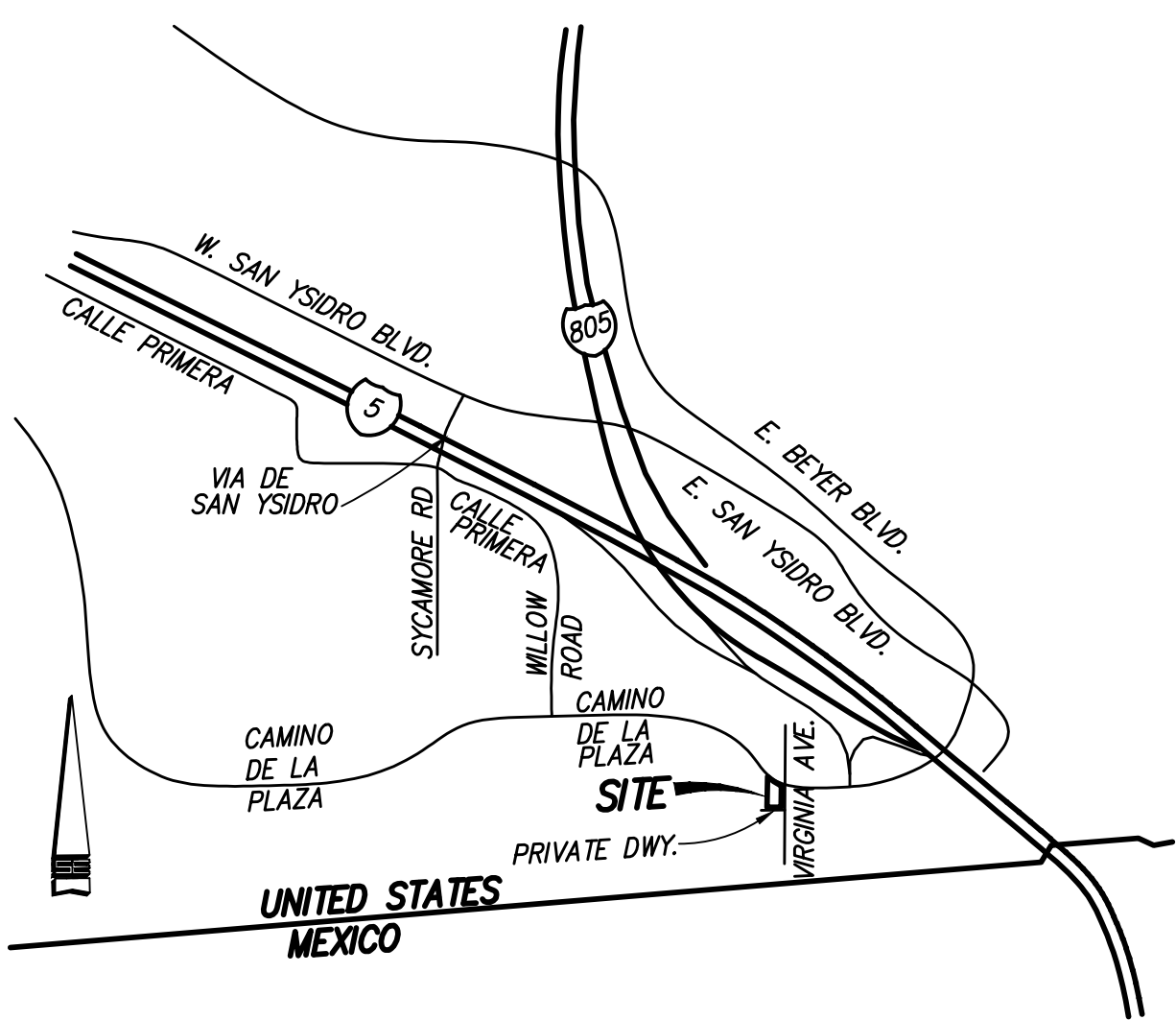
THERE ARE NO SLOPES PROPOSED FOR THIS PROJECT.

LEGEND

PROPERTY LINE
EXIST. STORM DRAIN
EXIST. WATER
EXIST. SEWER
EXIST. GAS
EXIST. ELECTRIC
EXIST. POLE LIGHT
EXIST. WATER METER
EXIST. FIRE HYDRANT



SCALE: 1"=16'

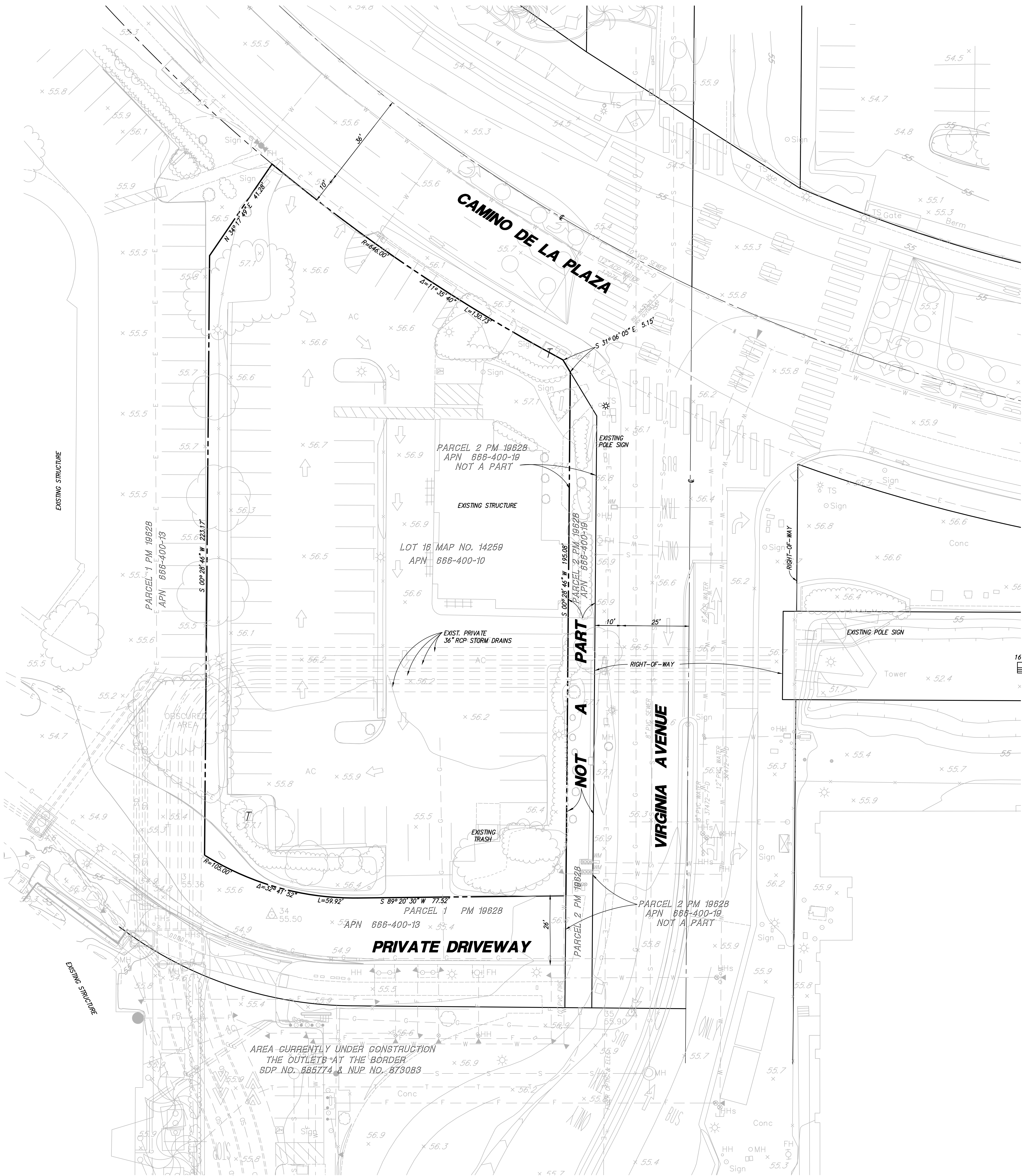


VICINITY MAP
NO SCALE



STUART ENGINEERING
7525 METROPOLITAN DRIVE STE. 308
SAN DIEGO, CA 92108 (619) 296-1010
Stuart Peace 8-7-17
STUART PEACE R.C.E. 27232 DATE
REGISTRATION EXPIRES 3-31-17

DESIGNER:	T.H.
DRAWN:	J.R.
CHECKED:	S.P.
JOB NO.:	1295-13-00



BENCH MARK

B.M. NO. 1464 SE SIDE CAMINO DE LA PLAZA BRIDGE
OVER INTERSTATE 5NGVD29 ELEVATION 90.95

LEGAL DESCRIPTION

LOT 16 OF MAP NO. 14259

ASSESSOR'S PARCEL NUMBER

666-400-10

OWNER/APPLICANT

BAJA-MEX INSURANCE SERVICES
4575 CAMINO DE LA PLAZA
SAN YSIDRO, CA 92173
ATTN: FRED SDBKE
PHONE 619-428-1616

TOPOGRAPHY

AERIAL TOPOGRAPHY IS BY: SAN-LO AERIAL SURVEYS
JOB NO.: 13846
DATED: MAY 27, 2014

LEGEND

PROPOSED IMPROVEMENTS

PROPERTY LINE	---
TOP OF CURB ELEVATION (ABOVE LINE)	---
FINISH SURFACE ELEVATION (BELOW LINE)	---
EXIST. ELEVATION	---
6" CURB AND GUTTER	---
6" CURB	---
SIDEWALK	---
DRIVEWAY	---
CATCH BASIN	---
STORM DRAIN CLEANOUT	---
STORM DRAIN	---
STORM DRAIN	---
FIRE LINE	---
WATER VALVE	---
BACKFLOW PREVENTER	---
OPEN BOTTOM UNDERGROUND ARCH CHAMBER SYSTEM	---

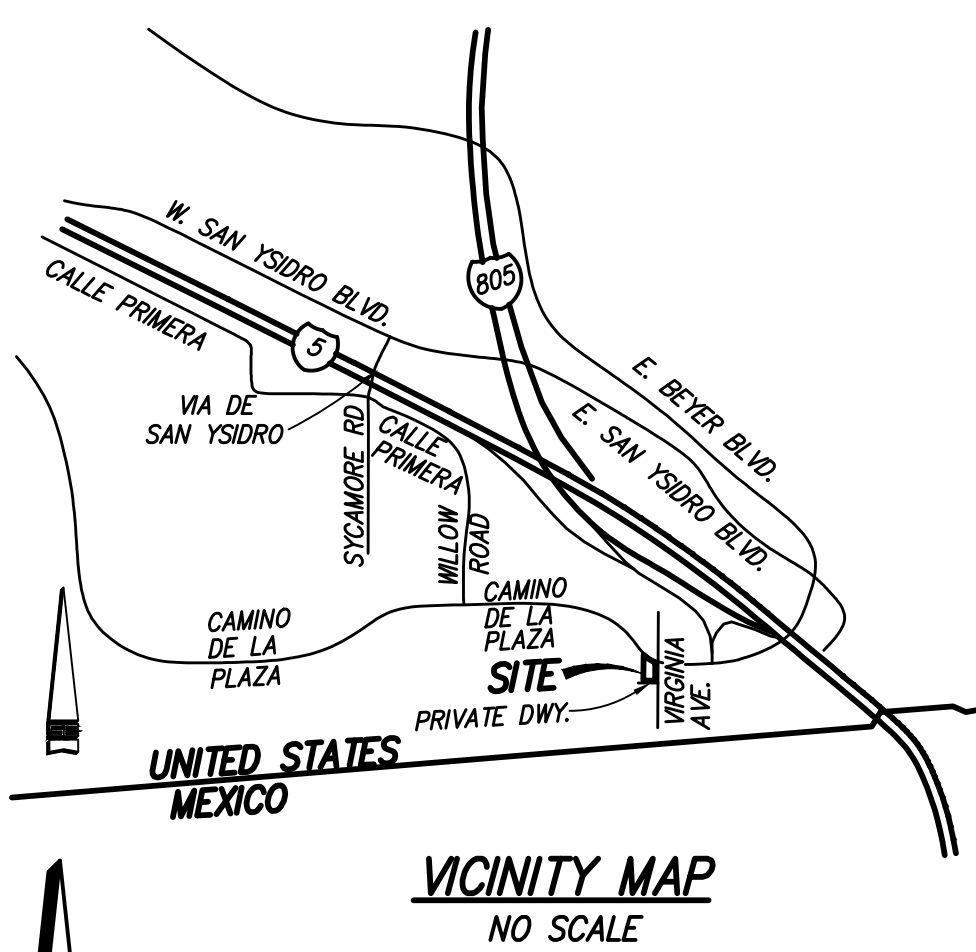
NOTE: NO SLOPES WILL BE CREATED

EXISTING IMPROVEMENTS

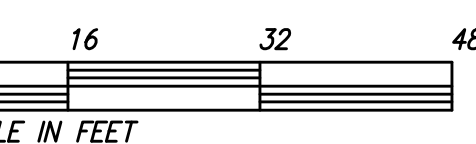
EXISTING WATER	---
EXISTING FIRE	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING GAS	---
EXISTING ELECTRIC	---
EXISTING SPOT ELEVATION	---
EXISTING CONTOUR	---

ABBREVIATION

ACP	ASBESTOS CEMENT PIPE
CB	CATCH BASIN
EXIST	EXISTING
INV	INVERT
MH	MANHOLE
SD	STORM DRAIN



VICINITY MAP
NO SCALE



NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) ON THE FINAL CONSTRUCTION DRAWINGS, CONSISTENT WITH THE APPROVED WATER QUALITY TECHNICAL REPORT.
- DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD - SAN DIEGO REGION (SDRWQCB) ORDER NO. R9-2013-0001, WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- IMPROVEMENTS ON ADJACENT PARCELS 1 AND 2 OF PARCEL MAP 19268 ARE ALLOWED PER THE "OVERALL RECIPROCAL EASEMENT AND COST SHARING AGREEMENT" FOR INTERNATIONAL GATEWAY OF LMERICS PER DOCUMENT #2001-0751836 RECORDED OCTOBER 17, 2001, AND LATER AMENDED.
- THE ONLY EASEMENTS ON-SITE ARE FOR THE EXISTING SDBKE FACILITIES. SINCE THEY ARE MEASURED FROM THE PHYSICAL LOCATION WHICH IS PARTIALLY UNDERGROUND THEY ARE NOT PLOTTABLE.
- PRIOR TO ANY WORK STARTING IN THE CITY OF SAN DIEGO RIGHT-OF-WAY, THE DEVELOPER SHALL APPLY FOR A "PUBLIC RIGHT-OF-WAY PERMIT FOR TRAFFIC CONTROL".
- ARTIFICIAL LIGHTING USED TO ILLUMINATE THE PREMISES SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES.
- THE FINAL DESIGN SHALL BE REVIEWED AND APPROVED BY THE STORM WATER DEPARTMENT TO THE SATISFACTION OF THE CITY ENGINEER DUE TO THE BUILDING BEING CONSTRUCTED OVER THE EXISTING PRIVATE STORM DRAIN.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.

CURB DATA TABLE

LINE & CURVE #	LENGTH	DIRECTION/Delta	RADIUS	CURB & GUTTER TYPE G, SDG-151
C1	35.06'	13° 23' 27"	150.00'	CURB & GUTTER TYPE G, SDG-151
C2	31.75'	3° 33' 40"	510.88'	CURB & GUTTER TYPE G, SDG-151
C3	8.93'	17° 03' 41"	30.00'	CURB & GUTTER TYPE G, SDG-151
C4	28.94'	138° 10' 45"	12.00'	CURB & GUTTER TYPE G, SDG-151
L1	86.80'	N54° 36' 45" W	-	CURB & GUTTER TYPE G, SDG-151

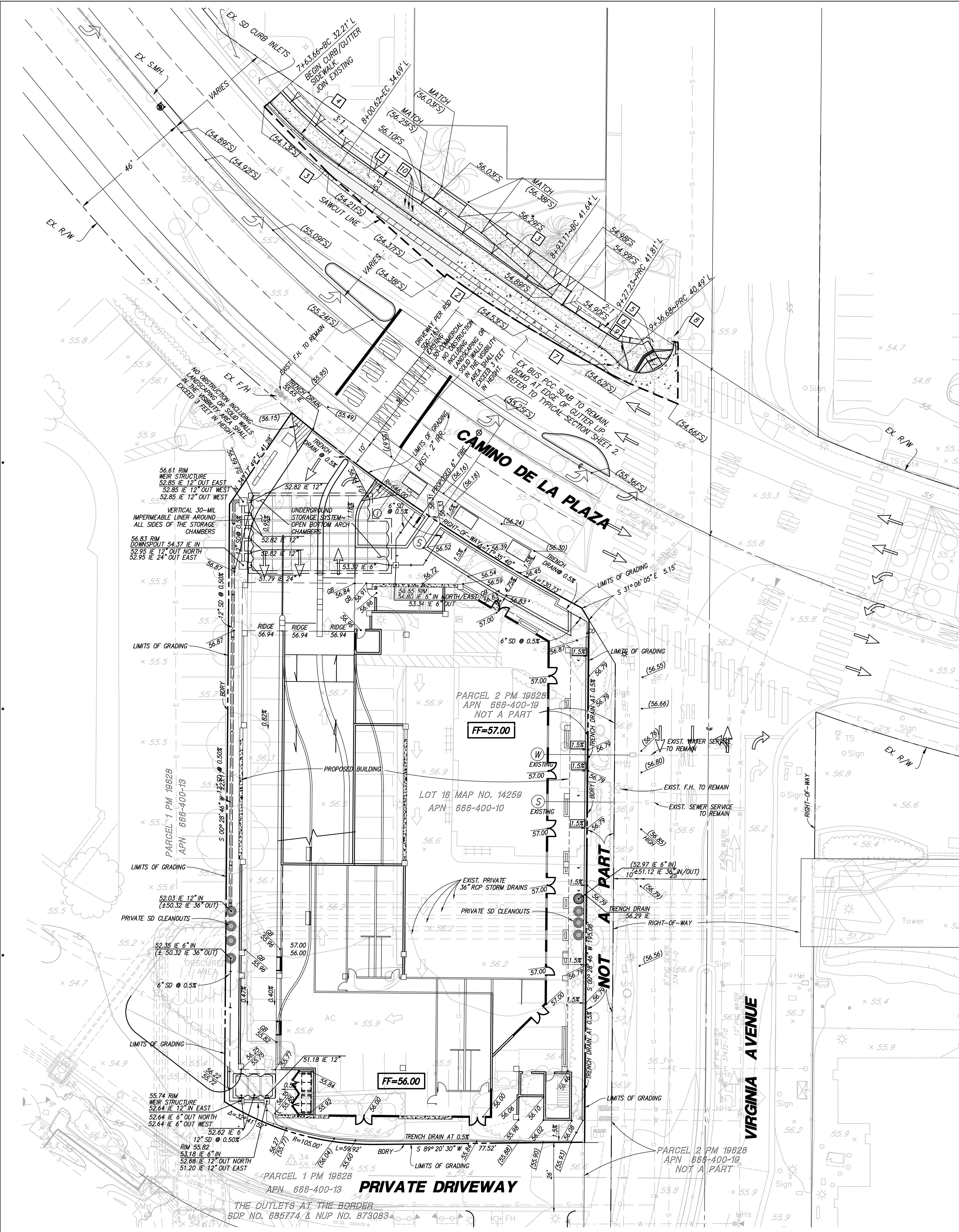
CONSTRUCTION NOTES:

- AC PER SCHEDULE J PER SDG-113
- STRUCTURAL PCC STREET SECTION PER SDG-113.
- 4" PCC SIDEWALK PER SDG-155.
- CURB AND GUTTER TYPE G PER SDG-151.
- CURB RAMP TYPE A PER SDG-133.
- TRUNCATED DOMES PER SDG-130.
- RELOCATE EX. TRAFFIC SIGNAL BOX ADJACENT. (BY OTHERS)
- PROTECT IN PLACE EX. TRAFFIC SIGNAL BOX.
- PROTECT IN PLACE EX. TRAFFIC SIGNAL LIGHT.
- RELOCATE EX. IRRIGATION CONTROL VALVES. (BY OTHERS)

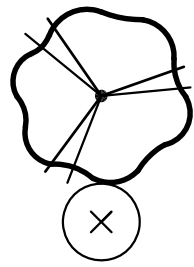
GRADING DATA:

TOTAL AMOUNT OF AREA TO BE GRADED:	7,863 SQ. FT.
PERCENT OF AREA GRADED:	25 %
TOTAL AMOUNT OF AREA TO BE DISTURBED:	31,450 SQ. FT.
PERCENT OF AREA DISTURBED:	100 %
AMOUNT OF CUT:	30 C.Y.
MAXIMUM DEPTH OF CUT:	2.0 FT.
AMOUNT OF FILL IN COASTAL AREA:	30 C.Y.
MAXIMUM DEPTH OF FILL:	0.3 FT.
MAXIMUM HEIGHT OF FILL SLOPE(S):	NONE SLOPE RATIO
MAXIMUM HEIGHT OF CUT SLOPE(S):	NONE SLOPE RATIO
AMOUNT OF EXPORT SOIL:	0 C.Y.
RETAINING WALLS:	HOW MANY: NONE MAXIMUM LENGTH: N/A MAXIMUM HEIGHT: N/A

SE STUART ENGINEERING 7525 METROPOLITAN DRIVE STE. 308 SAN DIEGO, CA 92108 (619) 296-1010 <i>Stuart Peace</i> STUART PEACE R.C.E. 27232 DATE 8-7-17 REGISTRATION EXPIRES: 3-31-17	DESIGNER: T.H. DRAWN: JR. CHECKED: S.P. JOB NO.: 1295-13-00
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CONCEPT PLANT SCHEDULE



EVERGREEN TREES - 30% 24" BOX & 70% 36" BOX
TRISTANIA CONFERTA / BRISBANE BOX

QUANTITY

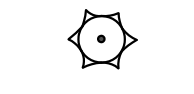
FORM

FUNCTION

7

EVERGREEN

SITE AND STREET TREES



FLOWERING SHRUBS - 100% 5 GAL.
CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH
LEUCOPHYLLUM TRISTANS / TEXAS SAGE

15

EVERGREEN SHRUB

ON SITE AT BUILDING FRONT BUILDING



ORNAMENTAL GRASSES - 100% 1 GAL.
JUNCUS PATENS / CALIFORNIA GRASS
LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE
LOMANDRA LONGIFOLIA / MAT RUSH
MISCANTHUS SINENSIS 'GRACILLUMUS' / MAIDEN GRASS
MUHLBERGIA RIGENS / DEER GRASS

11

CLUMPING

BUILDING FACADE



SMALL ACCENT SHRUBS - 100% - 5 GAL.
AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE
ALOE VERA / MEDICINAL ALOE
CUPRESSUS SEMPERVIRENS 'TINY TOWER' TM / TINY TOWER ITALIAN CYPRESS
ECHOVERIA X 'AFTERGLOW' / AFTERGLOW ECHOVERIA

21

ACCENT

BUILDING FACADE

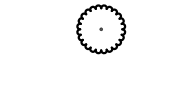


LARGE ACCENT SHRUBS - 100% - 5 GAL.
AGAVE AMERICANA 'BLUE GLOW' / BLUE GLOW AGAVE
AGAVE DESERTI / DESERT AGAVE
ALOE FEROX / BITTER ALOE
PHORMIUM X 'DARK DELIGHT' / PURPLE FLAX

7

ACCENT/UPRIGHT

BUILDING FACADE

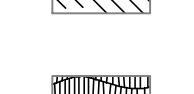


LARGE SCREENING SHRUBS - 100% - 15 GAL.
DODONAEA VISCOSA / HOPSEED BUSH
PRUNUS CAROLINIANA 'BRIGHT 'N' TIGHT' TM / BRIGHT 'N' TIGHT CAROLINA LAUREL

13

EVERGREEN SHRUB

SCREENING SHRUBS



LOW SHRUBS/PERENNIALS - 80% 1 GAL. & 20% 5 GAL.
ANGELOZANTHOS FLAVIDUS / KANGAROO PAW
LANTANA CAMARA / LANTANA

7

ACCENT/UPRIGHT

BUILDING FACADE

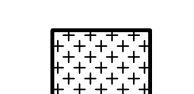


ORNAMENTAL GRASS - MASSING - 100% - 1 GAL.
CAREX TUMULOCOLA / BERKELEY SEDGE
FESTUCA MAIREI / ATLAS FESCUE
HELIOTRICHON SEMPERVIRENS / BLUE OAT GRASS

CLUMPING

2-3' HT

MASSING AT BUILDING FACADE



SPREADING GROUND COVER - 100% FLATS @ 3' O.C.
ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY
SENECIO SERPENS / SENEIO

SPREADING/EVERGREEN

1-3' HT

GROUND COVER AT BUILDING



COLOR GROUND COVER - 100% FLATS @ 2' O.C.
CALANDRINA SPECTABILIS / PINK CALANDRINA
GAZANIA RIGENS LEUCOLAEA / TRAILING GAZANIA
LANTANA CAMARA / LANTANA
ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY

SPREADING

8'-18' HT

SPREADING/EVERGREEN



NORTHERN SIDE OF STREET - MEDIUM SHRUBBY GROUND COVER
BACCHARIS PILULARIS 'TWIN PEAKS' / TWIN PEAKS COYOTE BRUSH
LANTANA CAMARA 'DWARF YELLOW' / YELLOW BUSH LANTANA
ROSA X 'ICEBERG' / ICEBERG ROSE

SPREADING

8'-18' HT

SPREADING/EVERGREEN

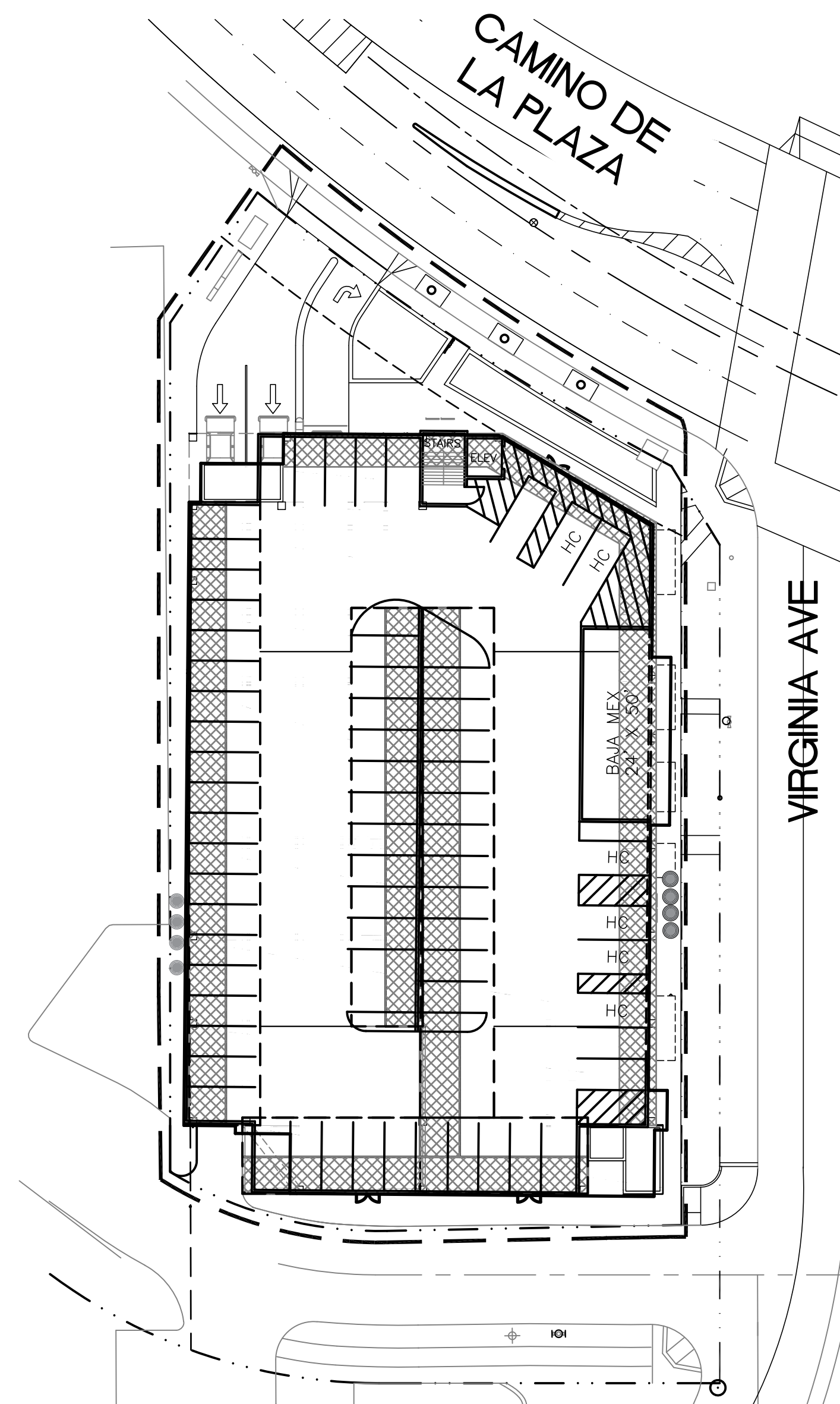


NORTH SIDE OF STREET - LOW GROWING GROUND COVER
CAREX DIVULSA / BERKELEY SEDGE
SENECIO MANDRALISCAE / BLUE FINGER

SPREADING

8'-18' HT

SPREADING/EVERGREEN



SHADE PLAN LEGEND

RECYCLED PVC COMPOSITE FABRIC SCREEN

FUTURE PV PANELS

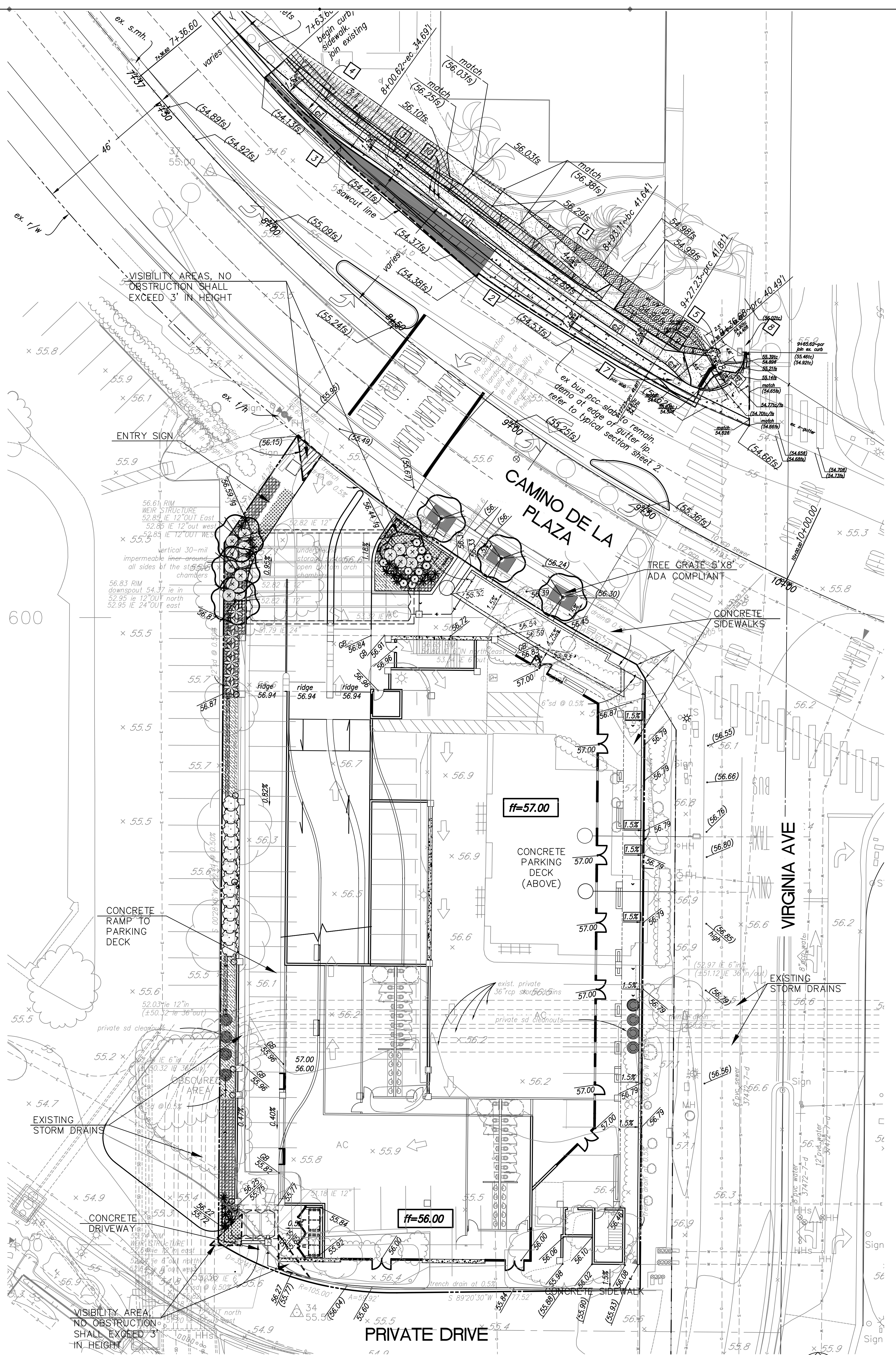
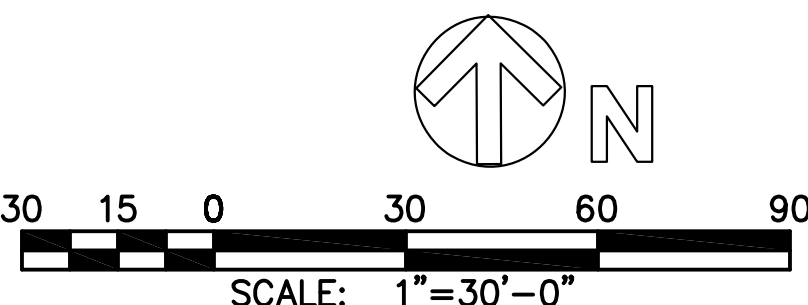
SHADE CALCULATIONS

TOTAL ROOF AREA = 23,655 SQ.FT.
TOTAL SHADE AREA = 11,908 SQ.FT.
PERCENTAGE OF ROOF COVERED BY SHADE = 50.3%

existing improvements

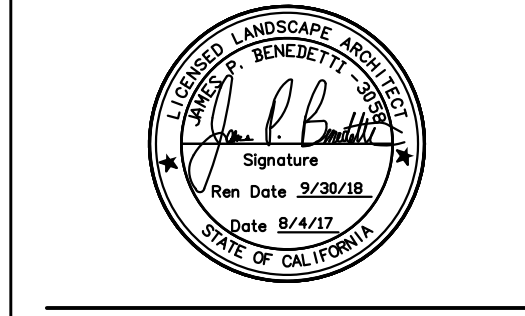
existing water
existing fire
existing sewer
existing storm drain
existing gas
existing electric
fire hydrant

W
F
S
G
E
FH



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JPBLA
JAMES P. BENEDETTI
LANDSCAPE ARCHITECT
4403 MANCHESTER AVE., SUITE 201
ENCINITAS, CA 92024
760/479-0644 FAX 760/479-0645



**VIRGINIA AVENUE
PARKING STRUCTURE**
SAN YSIDRO, CA 92173

Prepared By:
JPBLA, Inc.
4403 Manchester Ave., Suite 201
Encinitas, CA 92024
Tel.: (760) 479-0644
Fax: (760) 479-0645
Contact: James Benedetti
E-mail: jim@jpbla.com

Project Name:
Virginia Ave. Parking Structure
Coastal Development Permit
Site Development Permit

Project Address:
4575 Camino De La Plaza
San Ysidro, Ca 92173

Revision 5 Date:

Revision 4 Date:
FINAL 1/22/18

Revision 3 Date:

08/04/17

Revision 2 Date:

08/06/15

Revision 1 Date:

04/14/15

Original Date:

08/21/14

Project No.:

375960

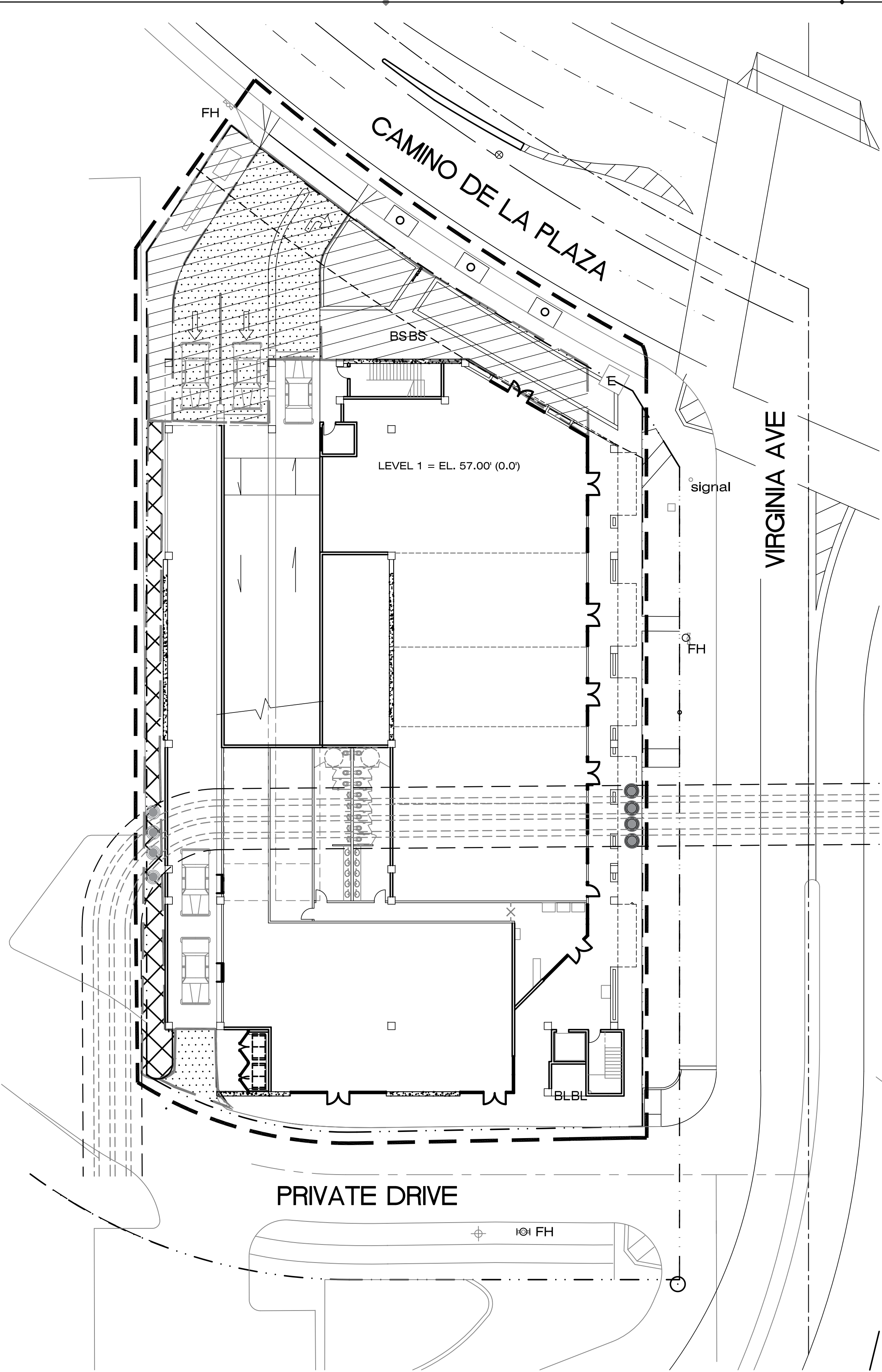
Sheet Titles:

Landscape
Development
Plan

Sheet No.:

LC-100

Sheet: 13 of 17



LANDSCAPE CALCULATIONS DIAGRAM

SUMMARY OF LANDSCAPE CALCULATIONS
LANDSCAPE CALCULATIONS FOR SORRENTO OFFICE BUILDING

STREET TREES IN PUBLIC RIGHT-OF-WAY
Length of street 140 L.F., along Camino del la Plaza
Street trees required 4, provided 3

STREET YARD
Total Area 4,748 s.f.
Planting Area required 1,187 s.f., provided 1,190 s.f.
Plant Points required 237.4, provided 250
Points achieved through Trees 81%

REMAINING YARD
Total Area 754 s.f.
Planting Area required 226.2 s.f., provided 754 s.f.
Plant Points required 37.7, provided 260
Points achieved through Trees & Shrubs 100%

VEHICULAR USE AREA (< 6,000 s.f.)
Total Area 2,497 s.f.
Planting Area required 124.9, provided 152
VUA outside Street Yard
Total Area 0 s.f.
Plant Points required: 0 pts., provided 0 pts.
Points achieved through Trees 0%

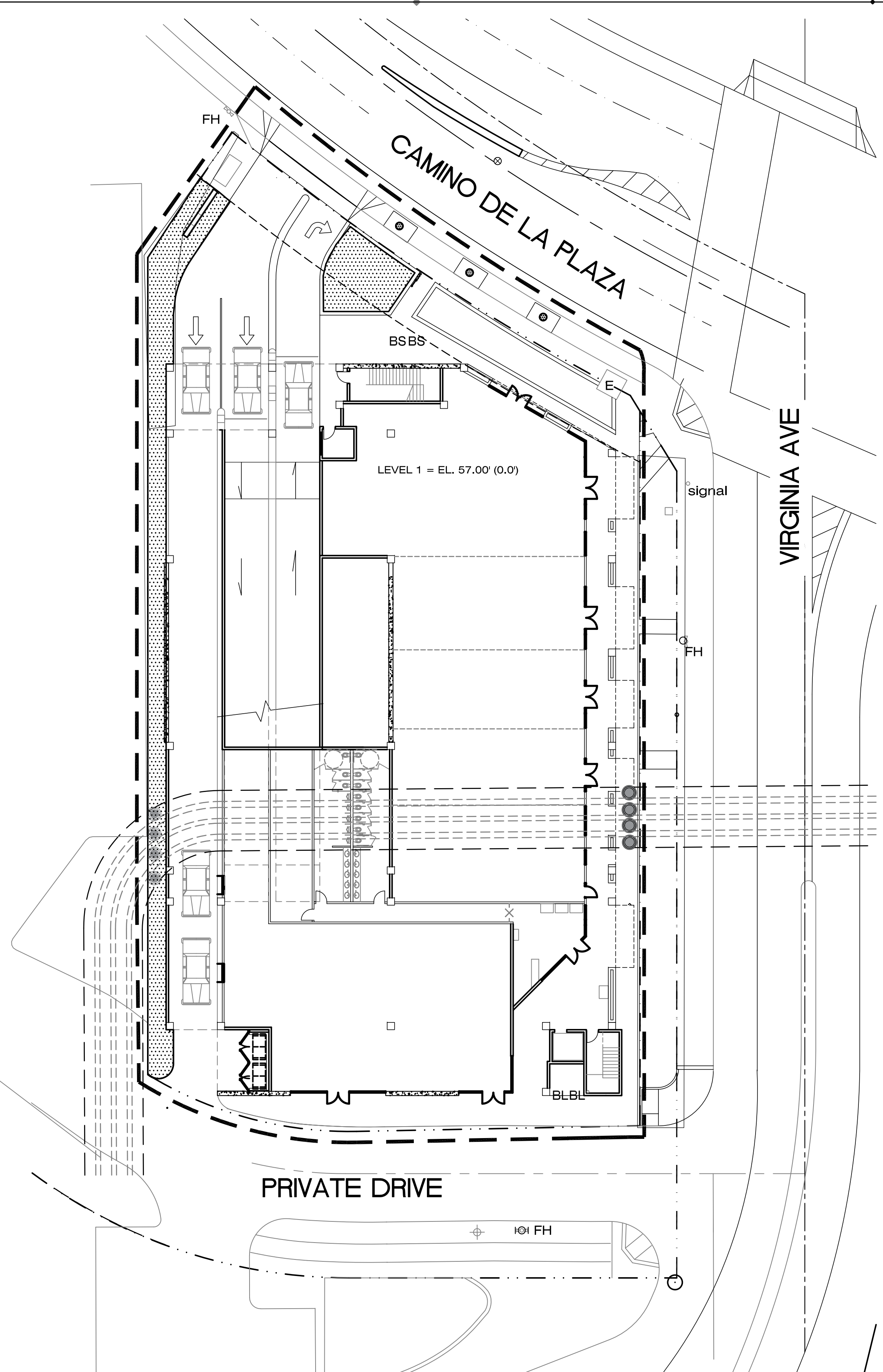
	STREET YARD
4,748 SQ. FT.	
	REMAINING YARD
754 SQ. FT.	
	VEHICULAR USE AREA
2,497 SQ. FT.	

MAINTENANCE RESPONSIBILITY NOTE:
THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE. THE EXISTING PLANTING AREAS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNERS. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY, VIGOROUSLY GROWING CONDITION, AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING AND TRIMMING. IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.

IRRIGATION NOTE:
ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE. ALL IRRIGATED AREAS SHALL RECEIVE UNIFORM COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED UNDERGROUND PIPED IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART AUTOMATIC CONTROLLER WITH MASTER VALVE AND RAIN SHUTOFF CAPABILITIES. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED IN ACCORDANCE WITH LOCAL AND REGIONAL STANDARDS. REMOTE CONTROL VALVES SHALL BE UTILIZED WITH LOW PRECIPITATION HEADS FOR REDUCED WATER CONSUMPTION. PRESSURE COMPENSATING DRIP AND LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED WHERE APPLICABLE. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVC INSTALLED BELOW GRADE PER LOCAL AND REGIONAL STANDARDS. AN AUTOMATIC, WATER EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.

LANDSCAPE NOTE:
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
2. TREES PLANTED WITHIN 5 FEET OF WALKS, CURBS OR PAVING SHALL BE PLANTED WITH A ROOT BARRIER (RIB-BARRIER).
3. ALL PLANTING AREAS SHALL BE FINISHED WITH A 2 INCH LAYER OF SHREDDED BARK MULCH (ECOBARK).
4. IF ANY EXISTING LANDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS ARE DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS BY THE OWNER/PERMITTEE.
5. ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS.
6. IN THE EVENT THE ROADS ARE WIDENED, THE EXISTING STREET TREES SHALL BE RELOCATED TO THE SATISFACTION OF THE CITY OF SAN DIEGO'S DEVELOPMENT SERVICES.
7. NO BRUSH MANAGEMENT SHALL BE BE REQUIRED FOR THIS PROJECT.

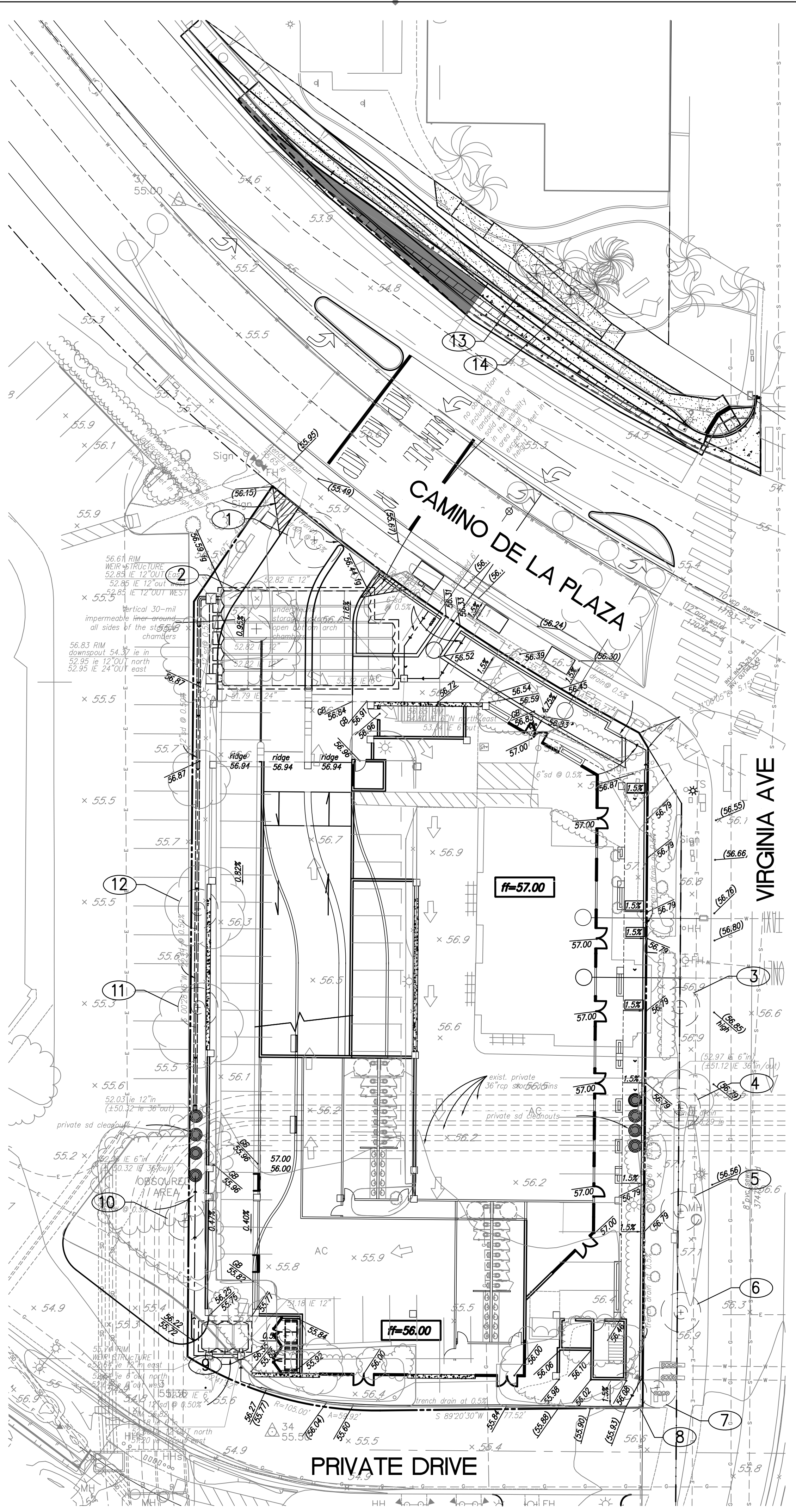
MINIMUM TREE SEPARATION DISTANCE	
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS)	25 FEET
SEWER LINES	10 FEET



WATER USE DIAGRAM &
LANDSCAPE WATER BUDGET

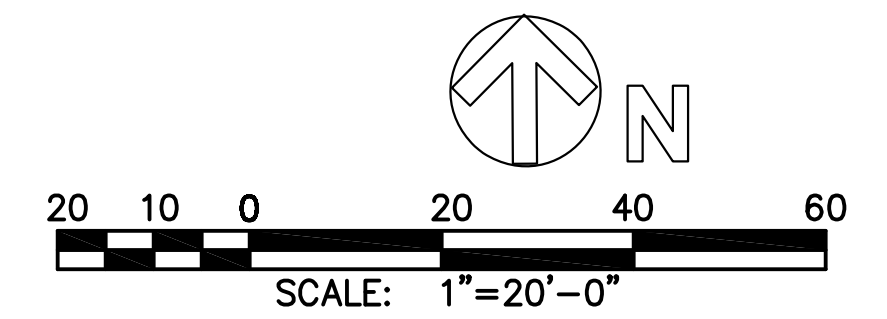
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
MAWA = (ET_o) (0.62) [.45 LA + 0.3 x SLA]
MAWA = (46.5) (0.62) [.45 x 1,857 + 0.3 x 0]
MAWA = 24,092 gal / yr

	HYDROZONE A - DRIP IRRIGATION
1,857 SQ. FT.	



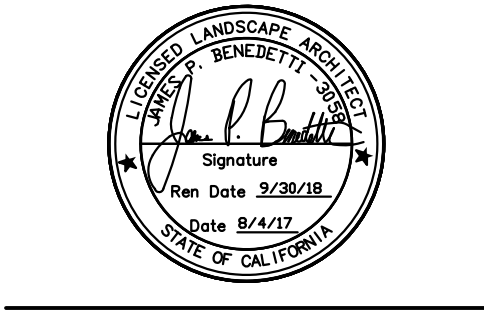
EXISTING TREES

TREE NO.	BOTANICAL NAME	COMMON NAME	CONDITION	HEIGHT	SPREAD	COMMENTS
1	TRISTANIA CONFERTA	BRISBANE BOX	POOR	12'	10'	REMOVE, GRIND STUMP
2	TRISTANIA CONFERTA	BRISBANE BOX	POOR	18'	15'	REMOVE, GRIND STUMP
3	TRISTANIA CONFERTA	BRISBANE BOX	POOR	20'	15'	REMOVE, GRIND STUMP
4	TRISTANIA CONFERTA	BRISBANE BOX	POOR	20'	15'	REMOVE, GRIND STUMP
5	TRISTANIA CONFERTA	BRISBANE BOX	POOR	20'	15'	REMOVE, GRIND STUMP
6	TRISTANIA CONFERTA	BRISBANE BOX	POOR	20'	15'	REMOVE, GRIND STUMP
7	PLATANUS RACEMOSA	WESTERN SYCAMORE	POOR	20'	15'	REMOVE, GRIND STUMP
8	PLATANUS RACEMOSA	WESTERN SYCAMORE	POOR	20'	15'	REMOVE, GRIND STUMP
9	PLATANUS RACEMOSA	WESTERN SYCAMORE	POOR	15'	12'	REMOVE, GRIND STUMP
10	PLATANUS RACEMOSA	WESTERN SYCAMORE	POOR	15'	12'	REMOVE, GRIND STUMP
11	TRISTANIA CONFERTA	BRISBANE BOX	POOR	15'	12'	REMOVE, GRIND STUMP
12	TRISTANIA CONFERTA	BRISBANE BOX	POOR	15'	12'	REMOVE, GRIND STUMP
13	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	GOOD	40'	12'	REMOVE, GRIND STUMP
14	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	GOOD	40'	12'	REMOVE, GRIND STUMP



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Original Date:
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Project No.:
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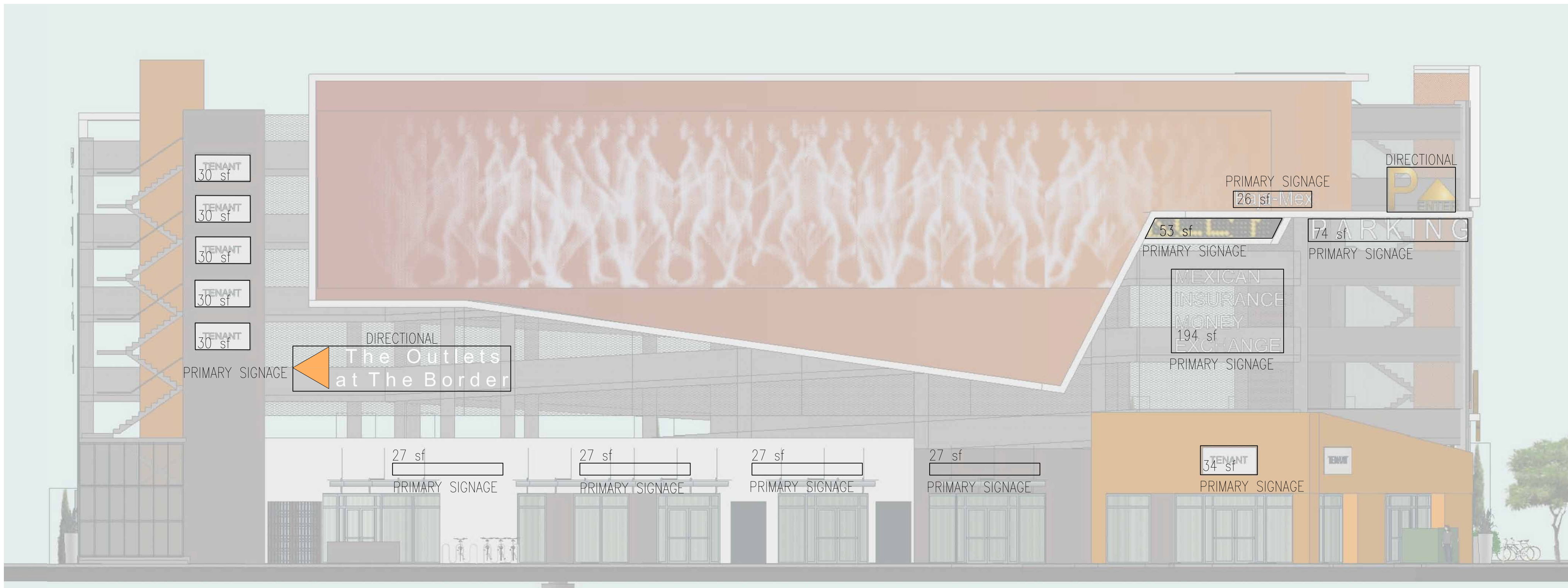
Sheet Titles:

Landscape
Calculations

Sheet No.:

LC-200

Sheet: 14 of 17



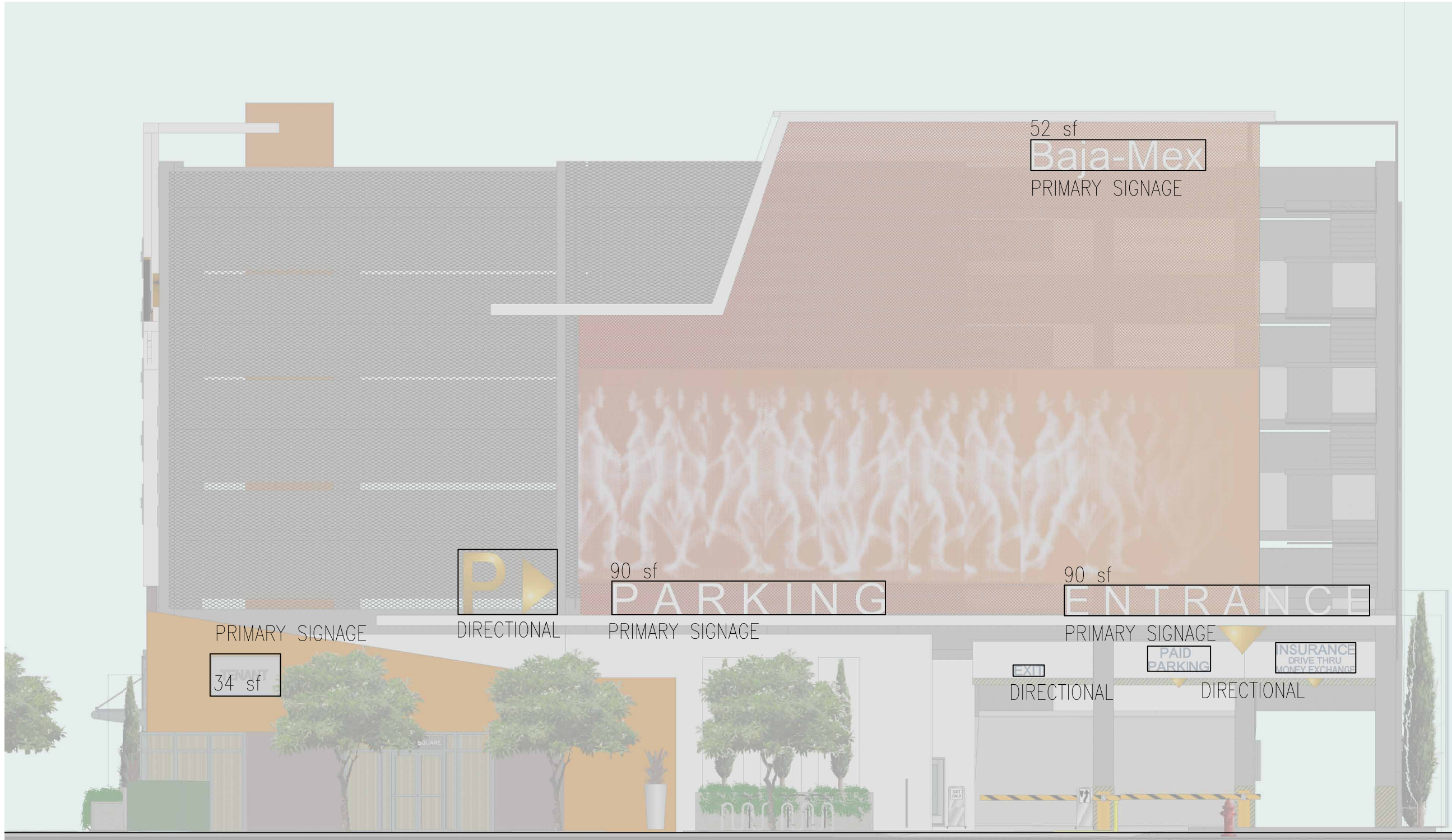
West Exterior Elevation

VIRGINIA AVE

Public Right of Way Width > 60'-0"

SEE SHEET A-200 FOR ADDITIONAL INFORMATION

639 sf PROVIDED
350 sf MAXIMUM
289 sf VARIANCE NEEDED



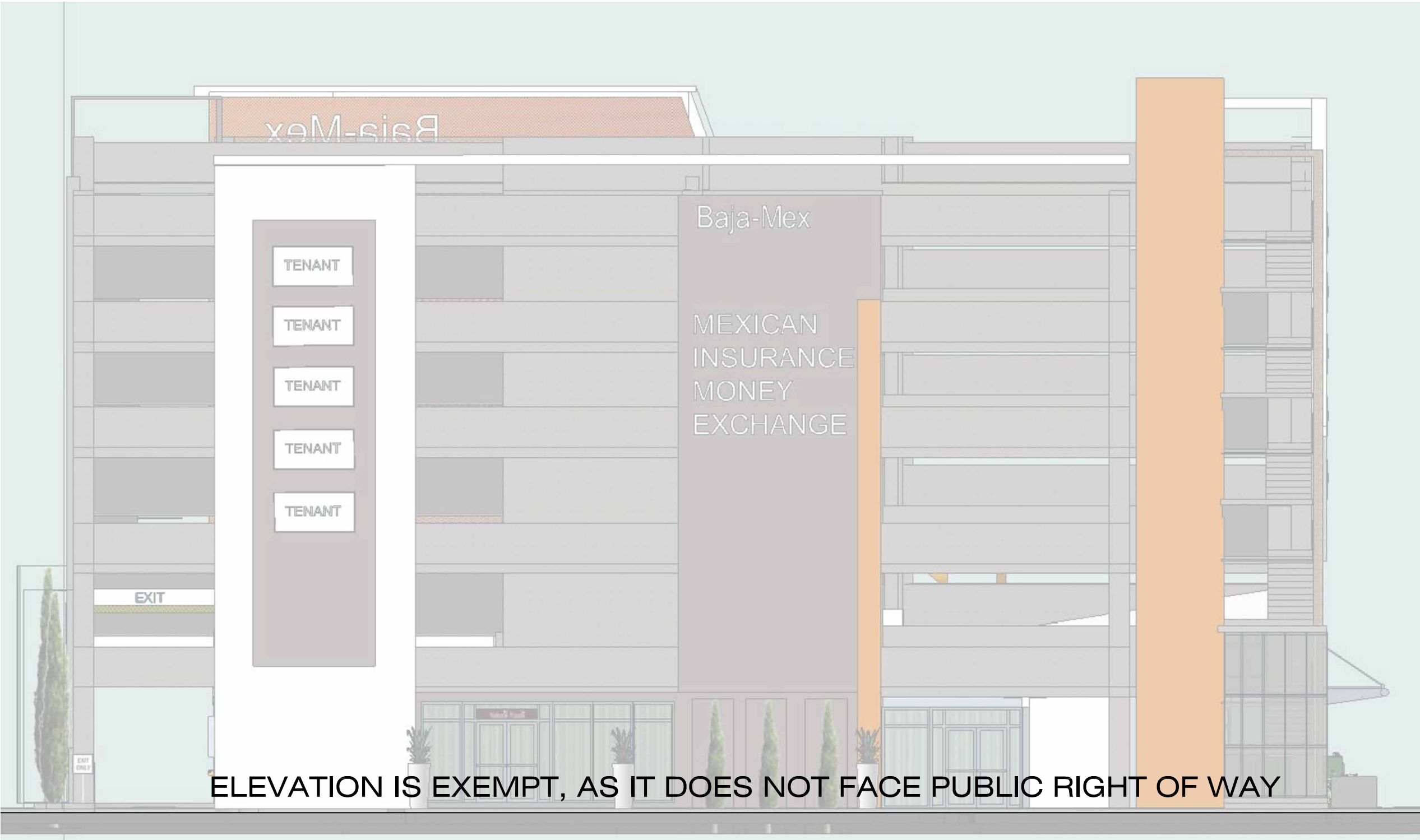
CAMINO DE LA PLAZA

Public Right of Way Width > 60'-0"

North Exterior Elevation

SEE SHEET A-201 FOR ADDITIONAL INFORMATION

266 sf PROVIDED NORTH EXTERIOR ELEVATION
184 sf MAXIMUM
82 sf VARIANCE NEEDED



South Exterior Elevation

PRIVATE DRIVEWAY

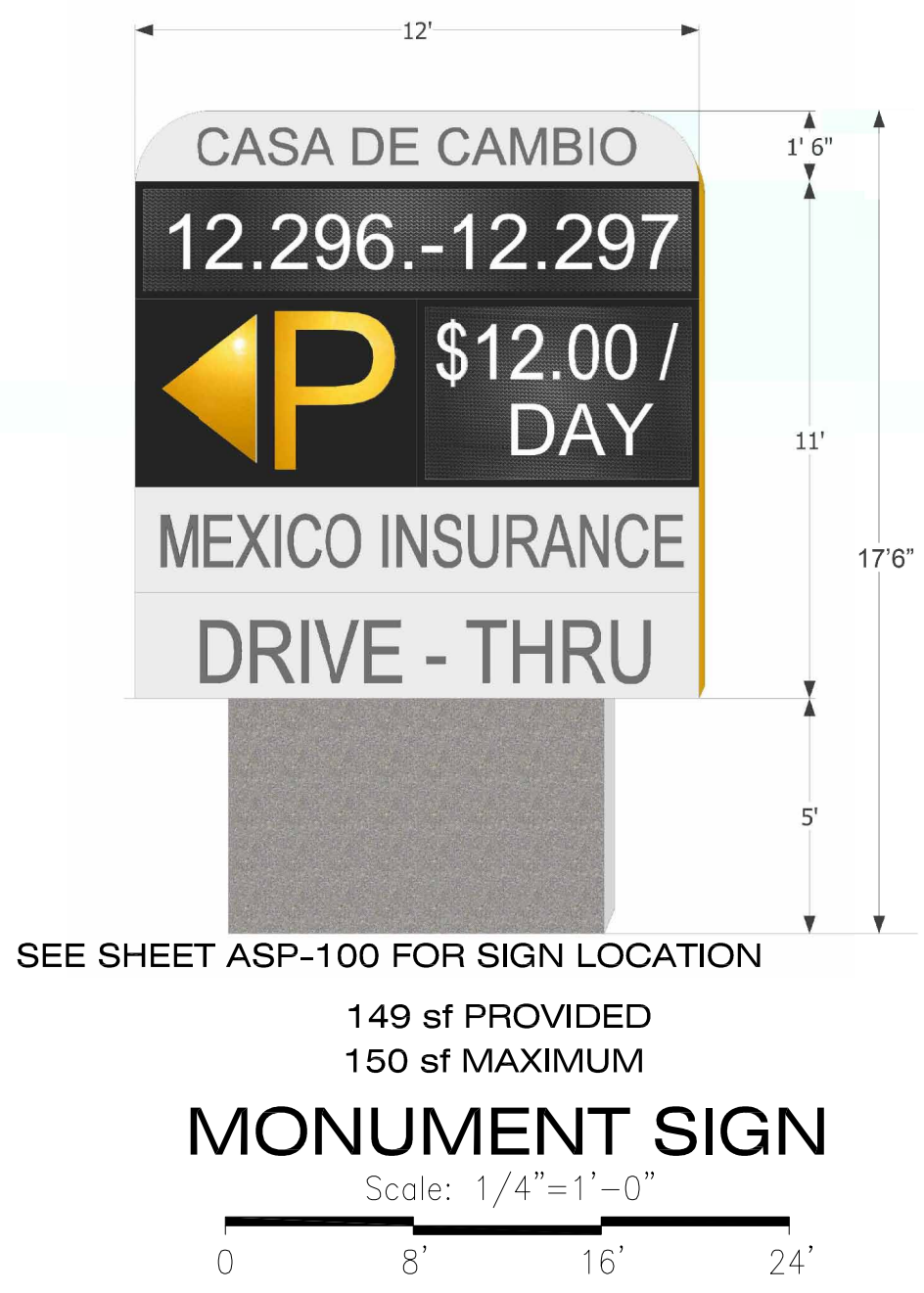
ELEVATION IS EXEMPT, AS IT DOES NOT FACE PUBLIC RIGHT OF WAY



East Exterior Elevation

PRIVATE PARKING

ELEVATION IS EXEMPT, AS IT DOES NOT FACE PUBLIC RIGHT OF WAY



SEE SHEET ASP-100 FOR SIGN LOCATION

149 sf PROVIDED
150 sf MAXIMUM
MONUMENT SIGN
Scale: 1/4"=1'-0"

PROPOSED SIGNAGE DATA:

142.1215 - Types of Signs Proposed

Primary Signs

Wall Signs

Secondary Signs

Incidental Signs

Directional Signs

Temporary Signs

Banner Signs

Permitted Primary Signage

Table 142.12B

Permitted Primary Signs

Sign Types	Category A General Citywide Commercial and Industrial Zones	Category B CO and IP Zones	Category C CN and Commercial and Industrial Zones in the Coastal Overlay Zone
Wall Signs (See regulations in Section 142.1225)	Minimum of One Sign per Establishment Number and square footage of wall signs is limited only by the area calculation which is based on establishment's street wall, public right-of-way width, and street speed limit. The permitted sign copy area is reduced by the addition of roof, projecting, or ground signs.	Minimum of One Sign per Establishment Number and square footage of wall signs is limited only by the area calculation which is based on establishment's street wall, public right-of-way width, and street speed limit. The permitted sign copy area is reduced by the choice of projecting or ground signs, with a maximum display area limitation.	Minimum of One Sign per Establishment Number and square footage of wall signs is limited only by the area calculation which is based on establishment's street wall, public right-of-way width, and street speed limit. The permitted sign copy area is reduced by the choice of projecting or ground signs, with a maximum display area limitation.

§142.1225 Wall Signs in Commercial and Industrial Zones

The following regulations apply to wall signs in all commercial and industrial zone sign categories, unless otherwise indicated.

- (a) A minimum of one wall sign per establishment is permitted. Wall signs are permitted alone or in combinations with other primary signs; however, the maximum permitted wall sign area is decreased by the use of other primary signs.
- (b) Table 142.12C provides the basis for calculating the wall sign copy area for establishments along a single street frontage. The permitted sign copy area is based on the length of the establishment's street wall, the width of the adjacent public right-of-way, and the other types of signs located on the premises.

Table 142.12C

Calculation of Wall Sign Copy Area

on a Single Street Frontage

Public Right-of-way Width	Sign Category A	Sign Category B	Sign Category C
Wall Signs Only, No Roof, No Ground, or Projecting Signs	Wall Signs and One Ground Sign, No Roof or Projecting Signs	Wall Signs and Projecting Signs, No Ground Sign	Wall Signs and Projecting Signs, No Ground Sign
Public right-of-way width 60 feet or less	For wall sign copy area, multiply the establishment's street wall by 3 feet	For wall sign copy area, multiply the establishment's street wall by 3.4 feet	For wall sign copy area, multiply the establishment's street wall by 3.4 feet
Public right-of-way width 60 feet or greater	For wall sign copy area, multiply the establishment's street wall by 3-3/4 feet	For wall sign copy area, multiply the establishment's street wall by 1-1/2 feet	For wall sign copy area, multiply the establishment's street wall by 1 foot
Maximum wall sign copy area	350 square feet	250 square feet	200 square feet
Minimum wall sign copy area for each establishment	75 square feet or 25 percent of the total area of establishment's street wall, whichever is less	30 square feet or 25 percent of the total area of establishment's street wall, whichever is less	20 square feet or 25 percent of the total area of establishment's street wall, whichever is less

San Diego Municipal Code Chapter 14: General Regulations

(5-201)

Maximum Allowances	Sign Categories	A	B	C
Permitted Sign Area (Based on the Width of the Adjacent Public Right-of-way and Street Speed Limit)				
Public Right-of-way Width / Street Speed Limit				
60 feet or less	15-20 MPH	32 sf	50 sf	32 sf
	25-30 MPH	50 sf	50 sf	50 sf
	35-45 MPH	100 sf	100 sf	100 sf
	50+ MPH	150 sf	150 sf	150 sf
More than 60 ft	15-20 MPH	50 sf	50 sf	50 sf
	25-30 MPH	50 sf	50 sf	50 sf
	35-45 MPH	100 sf	100 sf	100 sf
	50+ MPH	150 sf	150 sf	150 sf
Freeway-oriented signs		300 sf	Not permitted	Not permitted
Number of Signs per Street Frontage		1	1	1
Street frontage greater than 250 feet		One additional sign for each additional 250 feet of street frontage ^(a)		
(Where a premises of 4 acres or more fronts on a street that abuts a freeway, the premises shall be allowed one sign totaling 250 square feet. If the premises has more than 250 feet of street frontage on a street that abuts a freeway, two signs of 250 square feet each separated by a minimum of 100 feet shall be permitted.)				
Maximum Height ^(b)		30 ft	15 ft	8 ft
Freeway-oriented ^(b)		50 ft	Not Permitted	Not Permitted
Premises located within 100 feet of residentially zoned property ^(c)		20 ft	15 ft	8 ft
Visibility areas (see Section 113-0273)		3 ft	3 ft	3 ft

*SEE ELEVATIONS, SHEET A-200 & A-201 FOR SIGNAGE COLOR, LOCATIONS, AND SIZES

VIRGINIA AVENUE
PARKING STRUCTURE
SAN YSIDRO, CA 92173

Prepared By:
Sillman Wright Architects
7515 Metropolitan Drive, Ste. 400
San Diego, CA. 92108
Tel. : (619) 294-7515
Fax : (619) 294-7592
Contact: Richard Badt
E-mail: rbadt@sillmanwright.com

Project Name:
Virginia Ave. Parking Structure
Coastal Development Permit
Site Development Permit

Project Address:
4575 Camino De La Plaza
San Ysidro, Ca 92173

Revision 5 Date:

Revision 4 Date:

Revision 3 Date:

Revision 2 Date:

Revision 1 Date: **FINAL 1/22/18**

Original Date: **10/02/17**

Project No.: **375960**

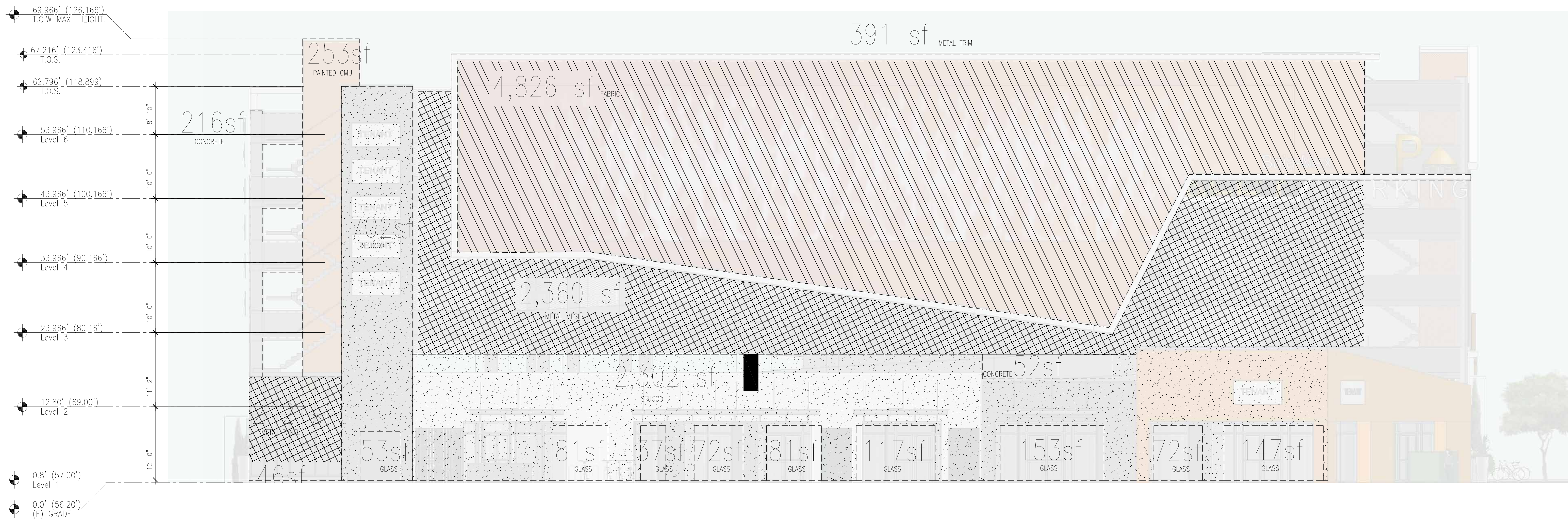
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Building Material
Calculations

Sheet No.:

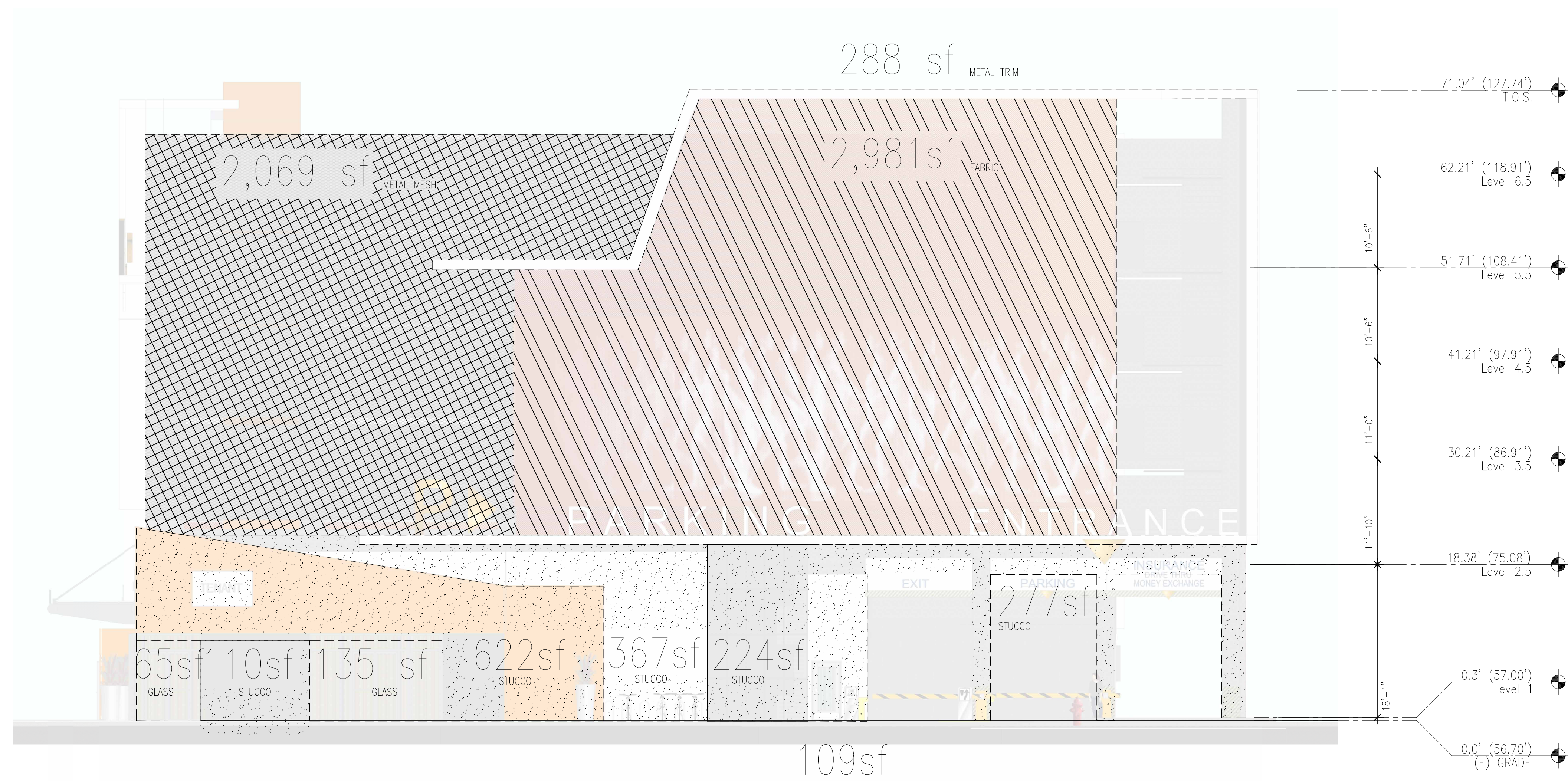
BMC-201

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East Exterior Elevation

Scale: 1/8"=1'-0"
0 8' 16' 24'



North Exterior Elevation

Scale: 1/8"=1'-0"
0 8' 16' 24'

BUILDING MATERIAL CALCULATIONS

East Exterior Elevation

Stucco	46		
	702		
	2302		
SUBTOTAL		3050	25%

Fabric	4826		
SUBTOTAL		4826	40%

Metal Screen	212		
	2360		
SUBTOTAL		2572	21%

Metal Trim	391		
CMU	253		
Concrete	52		
Concrete	216		
Glass	53		
Glass	81		
Glass	37		
Glass	72		
Glass	81		
Glass	117		
Glass	153		
Glass	72		
Glass	147		
SUBTOTAL		1725	14%
			100%

TOTAL 12173

North Exterior Elevation

Stucco	622		
	367		
	110		
	277		
	224		
SUBTOTAL		1600	22%

Fabric	2981		
SUBTOTAL		2981	42%

Metal Screen	2069		
SUBTOTAL		2069	29%

Metal Trim	288		
Glass	135		
Glass	65		

SUBTOTAL 488

7%

100%

TOTAL 7138