



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: November 1, 2018 REPORT NO. PC-18-064

HEARING DATE: November 8, 2018

SUBJECT: EDCO RECOVERY. Process Five Decision

PROJECT NUMBER: [515674](#)

OWNER/APPLICANT: DEL PROPERTIES LP/Steve South

SUMMARY

Issue: Should the Planning Commission recommend approval to the City Council of application for the expansion of an existing solid waste transfer and recovery facility located at 3608-3698 Dalbergia Street within the Barrio Logan/Harbor 101 Community Plan area?

Staff Recommendations:

1. Recommend the City Council ADOPT Mitigated Negative Declaration (MND) No. 515674 and ADOPT the Mitigation, Monitoring, and Reporting Program; and
2. Recommend the City Council APPROVE Public Right-of-Way Vacation No. 1879511
3. Recommend the City Council APPROVE Coastal Development Permit No. 2103481
4. Recommend the City Council APPROVE Site Development Permit No. 2103482; and
5. Recommend the City Council APPROVE Tentative Map Waiver No. 2203529

Community Planning Group Recommendation: On October 18, 2017 the Barrio Logan Community Planning Group voted 9-2-0 to recommend approval of the project (Attachment 12).

Environmental Review: Mitigated Negative Declaration No. 515674/SCH No. 2018091033 has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program for Air Quality has been prepared and will be implemented which will reduce impacts, to below a level of significance.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The site currently contains a solid waste transfer and recovery facility. The site is designated Residential/Commercial/Industrial within the Barrio Logan/Harbor 101 Community Plan and is subject to development regulations of the Subdistrict-B of the Barrio Logan Planned District. The project proposes the expansion of the existing solid waste transfer and recovery facility, consistent with the underlying zone and land use designation. A Housing Trust Fund (HTF) impact fee as a non-residential development is required for this project and is due at the time of building permit issuance. In addition, a Development Impact Fee (DIF) is required at building permit issuance based on increased square footage over what currently exists on the site.

BACKGROUND

The 2.03-acre site is located at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area. Additionally, the project is located within the Parking Impact Overlay Zone, Promise Zone, the Outdoor Lighting Zone (Zone 3 – Medium) and Coastal Overlay Zone (Non-Appealable Area 2).

The site is currently developed with a 29,550-square-foot solid waste transfer and recovery facility that was constructed in 2000. Inside the solid waste transfer and recovery facility, municipal solid waste is deposited and goes through a separation process prior to transfer to a final designation such as a recycling center or landfill. The site serves as a receiving and basic sort point for municipal solid waste. This is conducted utilizing two large front-end loaders with tunk buckets capable of grabbing Municipal Solid Waste (MSW) and lifting it into trailers. They are assisted by smaller skid steer units designed to extract recoverable as well as conduct sweeping operations. The solid waste transfer and recovery facility receives vehicles on a single calibrated scale to weigh inbound weights and transactions are conducted through the existing office scale. After weighing, vehicles proceed into the main building and are directed to a tipping area by a trained spotter. After offloading, vehicles exit through a dedicated exit door.

For transferring purposes, transfer tractor/trailer trucks enter the solid waste transfer and recovery facility through a dedicated entrance door, are loaded inside the building in tandem positions and exit through a dedicated egress door on the south side of the building and out through the southern driveway. Materials that are delivered to the solid waste transfer and recovery facility, such as wood, green waste and drywall are captured in segregated bunkered areas and transferred to a designated recycling facility. The exterior of the solid waste transfer and recovery facility is landscaped with an assortment of street tress and hedges along Dalbergia Street and Vesta Street (Attachment 5). Two existing driveways exist on the north side of the site along Dalbergia Street.

The following identifies the previously approved development for the existing solid waste transfer and recovery facility:

- Coastal Development Permit (CDP) No. 90-0544: In 1990, CDP No. 90-0544 was approved from Hearing Officer for a 20,468 square-foot roof addition to an existing solid waste transfer and recovery facility (San Diego Resource Recovery Transfer Station) which separated and transferred recyclable dry material such as wood, cardboard, and paper (Attachment 13).

- Barrio Logan/CDP No. 99-0280: On October 13, 1999, Barrio Logan/CDP No. 99-0280 was approved by the Hearing Officer amending CDP No. 90-0544 to demolish the previously approved structure and construct a new enclosed 29,550-square-foot solid waste transfer and recovery facility with metal walls, ventilation system, and truck and house scales. This permit also allowed an increase of solid waste average tonnage from 200 to a maximum of 750 tons per day (Attachment 14).
- CDP No. 8499/Site Development Permit (SDP) No. 8489: On August 27, 2003 CDP No. 8499/Site Development Permit (SDP) No. 8489 was approved by the Hearing Officer to amend Barrio Logan/CDP No. 99-0280 to increase the average daily tonnage of waste accepted per day from a 750-ton maximum to 1500 tons, resulting in no additional development (Attachment 15).

In 1997, the City of San Diego adopted the Solid Waste & Recycling Facilities Siting and Expansion Policy, [Council Policy 200-20](#), to occur within the City of San Diego, permitting an environmental review process for existing facilities. The City subsequently adopted a Solid Waste Facility Franchise [Ordinance, Chapter 6, Article 6, Division 1, Section 32](#) of the San Diego Municipal Code, to create individual agreements for each facility. The EDCO Recovery and Transfer Facility Franchise Agreement was approved in April 1999 and amended in May 2002. EDCO and the Environmental Services Department negotiated a second amendment to the EDCO Recovery and Transfer Facility Franchise Agreement. On September 13, 2018 the Environmental Committee of the City of San Diego voted 4-0-0 to recommend approval to the City Council of the second amendment to the EDCO Recovery and Transfer Facility Franchise Agreement (Attachment 16). On October 8, 2018, the City Council approved the EDCO Recovery and Transfer Facility Franchise Agreement.

EDCO Recovery and Transfer Facility currently operates under Solid Waste Facility Permit (SWFP) No. 37-AA-0105 as issued by the City of San Diego Local Enforcement Agency (LEA) and concurred by CalRecycle. EDCO is required to submit a new SWFP application to the LEA 180-days prior to implementing any of the proposed changes to the site and operations in accordance with the filing requirements found in Title 27 of the California Code of Regulations (27CCR) § 21570.

The site is not located within the 100-year floodplain or any Special Flood Hazard area. The project site is not located within or adjacent to the Multiple Habitat Planning Area and does not contain Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) [Section 113.0103](#). The nearest public access to the Pacific Ocean is located at San Diego Harbor approximately a half mile to the west. The property is not located between the sea and the first public roadway paralleling the sea. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted Barrio Logan/Harbor 101 Community Plan and Local Coastal Program Land Use Plan, nor are there existing or potential views to the ocean through the site. The site is flat and bounded by Interstate 5 to the east, a mix of residential dwellings and small industrial developments to the south and west across Vest Street and Dalbergia Street, and to the north, adjacent to the site, are small industrial developments.

Council Policy No. 600-27 and 900-14:

The project application was deemed complete on August 17, 2017, and the project is utilizing the Affordable, In-Fill Housing and Sustainable Buildings Expedite program (Program) qualifications and San Diego Municipal Code (SDMC) regulations that were in effect at the time of the submittal. On July 31, 2017, the City Council adopted [Resolution No. R-311256](#) amending Council Policy No. 600-27 regarding the Program. This resolution went into effect upon the adopted associated amendments

to the SDMC regarding the qualifications for the Program pursuant to [Ordinance No. O-20856 \(New Series\)](#). The qualifications and regulations for the affordable, in-fill housing and sustainable buildings project became effective outside of the coastal overlay zone on October 20, 2017, which replaces the qualification requirements for private development from Council Policy 900-14 (2003 version) to the SDMC. On February 8, 2018, the California Coastal Commission certified the SDMC amendments within Ordinance No. O-20856 (New Series), and they are now in effect within the coastal overlay zone, but would not apply to this application as the project's application was deemed complete prior to the approval of Ordinance No. O-20856.

DISCUSSION

Project Description:

The project proposes to expand an existing solid waste transfer and recovery facility (EDCO Recovery) from 29,550 to 60,680 square feet to allow for additional area for the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas or electricity. This increase of extracting recyclable material is consistent with the City's Climate Action Plan which requires a 75 percent landfill diversion by 2020, 90 percent by 2035 and Zero Waste by 2040. EDCO Recovery and the City of San Diego are currently amending their solid waste transfer Franchise Agreement to accommodate the City's Climate Action Plan zero waste goal in 2040 (see Background Section above). The expanded solid waste transfer and recovery facility will continue to handle a 1,500-ton limit of solid waste for sorting and transferring but additional mechanized processing devices will be added to recover items otherwise bound for landfills. Additional proposed improvements include the following and are located within Figure 1:

Figure 1: Proposed Additions to EDCO



- Anaerobic Digestion (AD) facility to create nature gas or electricity. This would include five digester vessels located above ground that are mechanically filled with a mix of incoming

materials from the transfer building collected from the public's solid waste. The AD facility offers the opportunity to take organics currently in the solid waste stream within the solid waste transfer and recovery facility and make either renewable natural gas or create electrical power;

- New loading dock for the movement of recycling material;
- Enhance existing traffic flows with additional on-site scales;
- Allow for internal processing up to 24-hours per day;
- Allow drop-offs on Sundays; and
- Installation of enhanced engineering controls for storm water treatment and storm water reclamation.

Solid waste material will be received, loaded onto one of the two infeed conveyors and travel through various sorting stations to recover by material types. Anticipated recycling to be recovered includes cardboard, mixed paper, mixed rigid plastics, steel, concrete, wood and green waste. As sorted, these items would remain in bunkers below the system until they are either baled and shipped (cardboard, mixed paper, mixed rigid plastics) for shipment, or loaded out through a transfer loadout (concrete, asphalt, etc.) all for recycling processing. Residue material would be transferred back to the sorting floor for loadout to a final disposal site. The anaerobic digestion facility will take organics currently in the stream and make either renewable natural gas or create electrical power for the solid waste transfer and recovery facility. By capturing food waste and green waste that currently enters the solid waste transfer and recovery facility and placing the material into a dedicated chamber, the methane can be harnessed to create sustainable energy for either powering vehicles or the creation of electricity to power the site. Other sustainable techniques proposed for the project include the use of cool-roof buildings, the installation of rooftop photovoltaic panels, and the use of roof skylights and translucent wall paneling for natural daylighting. With the use of renewable energy technology, the project qualifies as a sustainable building, thus the land use approvals have been processed through the Affordable, In-Fill Housing and Sustainable Buildings Expedite Program. The project will exceed the minimum sustainable criteria by targeting a Leadership in Energy and Environmental Design (LEED) Silver rating by creating a sensitive design that utilizes energy efficient means and methods of construction as well as a design that utilizes the local climate through passive solar design features and design elements.

Development of the project includes a Coastal Development Permit for construction within the coastal overlay zone, a Public Right-of-Way Vacation for vacating an unnamed alley adjacent to the site, a Site Development Permit for development within the Barrio Logan Planned District and deviations to development regulations, and a Tentative Map Waiver for the consolidation of lots.

Community Plan Analysis:

The project proposes to expand an existing solid waste transfer and recovery facility from 29,550 to 60,680 square feet. The expansion would increase the sorting and extraction of recyclable material collected from municipal solid waste and would include an anaerobic digester to create renewable natural gas or electricity.

The 2.03-acre site is located at 3608-3698 Dalbergia Street. The Barrio Logan Community Plan

designates the site as Residential/Commercial/Industrial. The proposed expansion to the existing industrial use on-site is consistent with the underlying land use designation, which allows for industrial uses. Additionally, the project site is within Subdistrict B of the Barrio Logan Planned District, which is the zone that implements the Community Plan. The proposed expansion is consistent with General Plan policy to maximize waste reduction and diversion by supporting the development of facilities that recycle materials. The proposed expansion is also consistent with the General Plan guidance to maintain an adequate variety of employment opportunities that contribute to a wide range of jobs for the City's residents.

The project is consistent with the Barrio Logan Community Plan policy guidance to improve the environmental and visual quality of industrial development and to control exterior noise, air pollution and dust. The transferring and sorting of recyclable material will be contained indoors, resulting in limited trash or dust exposure to the outside. Additionally, the operations of the anaerobic digester will take place within an enclosed area and will include ventilation systems and biofilter systems which would minimize outdoor odor. The proposed expansion is consistent with the Community Plan guidance that directs industrial development to provide fencing, walls and orient parking so that industrial uses do not detract from the visual quality to existing residential development in the form of buffer areas/improved landscaping along the project site. The project will be surrounded by a seven-foot screen wall along Dalbergia Street and Vesta Street with additional screening provided by evergreen trees and shrubs.

The project is consistent with the Community Plan recommendation to include a buffer area with improved landscaping along the north side of the project site where it is adjacent to Interstate 5. The proposed project includes an eight-foot-wide landscape buffer, which would include evergreen trees and ground cover, to provide screening along the north side of the solid waste transfer and recovery facility. Therefore, the proposed project is consistent with the General Plan and the Barrio Logan Community Plan.

Project-Related Issues:

Deviations- The proposed development includes sustainable project features and qualifies as an sustainable development pursuant to San Diego Municipal Code (SDMC) Section [143.0915](#) as an Affordable Housing, In-Fill Projects, and Sustainable Buildings Development project. An applicant may request deviations from the applicable development regulations in accordance with a Site Development Permit decided in accordance with Process Four provided that the findings in SDMC Section [126.0504\(a\)](#) and supplemental finding s in SDMC Section [126.0504\(m\)](#) are made and the deviation results in a more desirable project. The following Table 1 is a matrix of the proposed deviations, which is followed by the justifications for the deviations:

DEVIATIONS SUMMARY			
Table 1			
Deviation Description	Deviation from SDMC	Required	Proposed
Dalbergia Street Driveway Width	SDMC Table 142-05M	30 feet	45 feet to allow safe egress and ingress for transfer trucks (see justification below)
Vesta Street Driveway Width	SDMC Table 142-05M	30 feet	35 feet to allow safe egress and ingress for transfer trucks (see

DEVIATIONS SUMMARY Table 1			
Deviation Description	Deviation from SDMC	Required	Proposed
			justification below)
Building Height	SDMC Section 152.0307(e)	35 feet	48 feet for the new addition only to allow height for processing equipment and storage (see justification below)
Wall Height	SDMC Section 142.0310(c)	Three feet	Seven Feet for security and to match existing wall (see justification below)
Off Street Parking	SDMC Chapter 14, Article 2, Division 5	29 spaces	Four to allow room for the expansion required by AB 341 (see justification below)

Dalbergia Street Driveway Width: SDMC [Table 142-05M](#) allows a maximum 30-foot driveway width. The deviation is being requested to allow an increase in the width allowing transfer trucks to make a safe radius turn into the solid waste transfer and recovery facility (Figure 2).

Justification-Based on the site limitations to comply with Assembly Bill (AB) 341(Solid waste: diversion), all vehicles will need to access one driveway for entry/exit purposes. To do so, and keep vehicle and public safety a priority, the driveway width on Dalbergia Street will need to be forty-five



Figure 2: Dalbergia Street Driveway

(45) feet wide. The reduction of the width of the driveway from the requested 45 feet to 30 feet will not maintain the safety between vehicles. Requiring a 30-foot width driveway limits a transfer truck

(a 53-foot-long vehicle) from making a wider turn to avoid the northwest corner of the proposed property and still exit in to the northbound lane. This would cause the truck to drive directly over or beyond the driveway flares (almost 15 feet beyond the driveway edge). In addition, the transfer trucks need to orientate themselves close to the ramp's retaining wall to align with the narrowed exiting lane. To avoid trucks from traversing over the sidewalk and adjacent neighbor's the curb cut, the 45-foot wide driveway is a safe width for not only the transfer truck, but for public safety on Dalbergia Street.

Vesta Street Driveway Width: SDMC Table [142-05M](#) allows a maximum 30-foot driveway width. The deviation is being requested to allow an increase in the width, allowing transfer trucks to make a safe radius turn into the solid waste transfer and recovery facility. Currently there is an access drive to the alley from Vesta Street, which is proposed to be vacated as part of the project scope (Figure 3).



Figure 3: Vesta Street Driveway

Justification- The existing width of the access drive is 15-feet. The north side of the alley will be required to facilitate a drainage culvert that collects the watershed from the sloped Caltrans right-of-way coming down from Interstate 5. This culvert will drain south and under the sidewalk. Because of the drainage culvert, and due to the existing sidewalk location and the required return from the edge of driveway for the sidewalk to reconnect to the existing sidewalk location, the driveway cannot be relocated further to the east. Reducing the driveway width would cause concerns traversing the driveway and protection of the vehicle and proposed infrastructure. A transfer truck can traverse into the site and cross the driveway at a 35-foot wide driveway allowing more flexibility to avoid the rolling gate and CMU wall, as well as allows for the truck to enter and back into the adjacent dock easier. With a standard, 30-foot-wide driveway, the likelihood of less maneuverability and property damage is greater.

Building Height: The City of San Diego building height requirements, per SDMC Section [152.0307\(e\)](#) limit building to 35 feet. The proposed solid waste transfer and recovery facility will require a building height in excess of the zoning code requirement due to the needed ceiling height clearances for the processing equipment (Figure 4).

Justification- The available site area for the proposed building expansion is limited in size. To achieve the landfill removal percentage required in accordance with AB 341, which requires the reduction of greenhouse gas emissions by diverting waste from landfills and to reach California's recycling goal of 75-percent by the year 2020, the floor storage space and processing equipment required to process the materials received in the building will need to be designed at a height of 48 feet to accommodate the vertically stacked equipment. The processing equipment vendors can design the equipment to provide the most efficient layout. However, the equipment needed for processing the materials received will need the vertical height to achieve this. In addition, the structure above the equipment will still need to support the necessary roof loads for electrical, lighting, fire sprinklers, mechanical equipment, and photovoltaics.



Figure 4: Proposed Height



Figure 5: Proposed CMU Wall

Fence/Wall Height: SDMC Section [142.0310\(c\)](#) regulates fence/wall height in the front and street side required yards. The proposed solid waste transfer and recovery facility will require a deviation to the

fence/wall regulations for a solid wall within a required street side and front yard along a portion of Dalbergia Street and Vesta Street that exceeds three (3)-feet in height to screen the processing equipment (Figure 5).

Justification- The project proposes to extend the existing concrete masonry unit (CMU) wall along the perimeter of the existing solid waste transfer and recovery facility to the perimeter of the proposed addition along Vesta Street and partially along Dalbergia Street (Figure 5). The proposed wall will promote a safe work environment while maintaining the architectural integrity of the existing screen wall. The additional height will provide screening of on-site operations. The property owner shall maintain the wall free from dilapidated or dangerous conditions and in a graffiti-free condition. The City of San Diego Police Department (SDPD) recommended at least a seven-foot high fence to match the existing screen wall along property for security reasons.

Off-Street Parking: The project site is within the Barrio Logan Planned Subdistrict B and has the Land Use designation of Residential/Commercial/Industrial. Most of the uses in the vicinity rely on street parking for both employee and visitor parking. The area is primarily industrial and commercial uses, with a few residences along Vesta Street and on Dalbergia Street east of Vesta Street. The San Diego Municipal Code states that the required automobile parking spaces for Barrio Logan Subdistrict B for industrial spaces, facilities with a majority of floor area dedicated to large equipment, tanks, vessels, and automated machinery may use a minimum parking ratio of 1 parking space per 1,000 square feet of floor area. Applying these rates, a total of 52 parking spaces would be required per the San Diego Municipal Code.

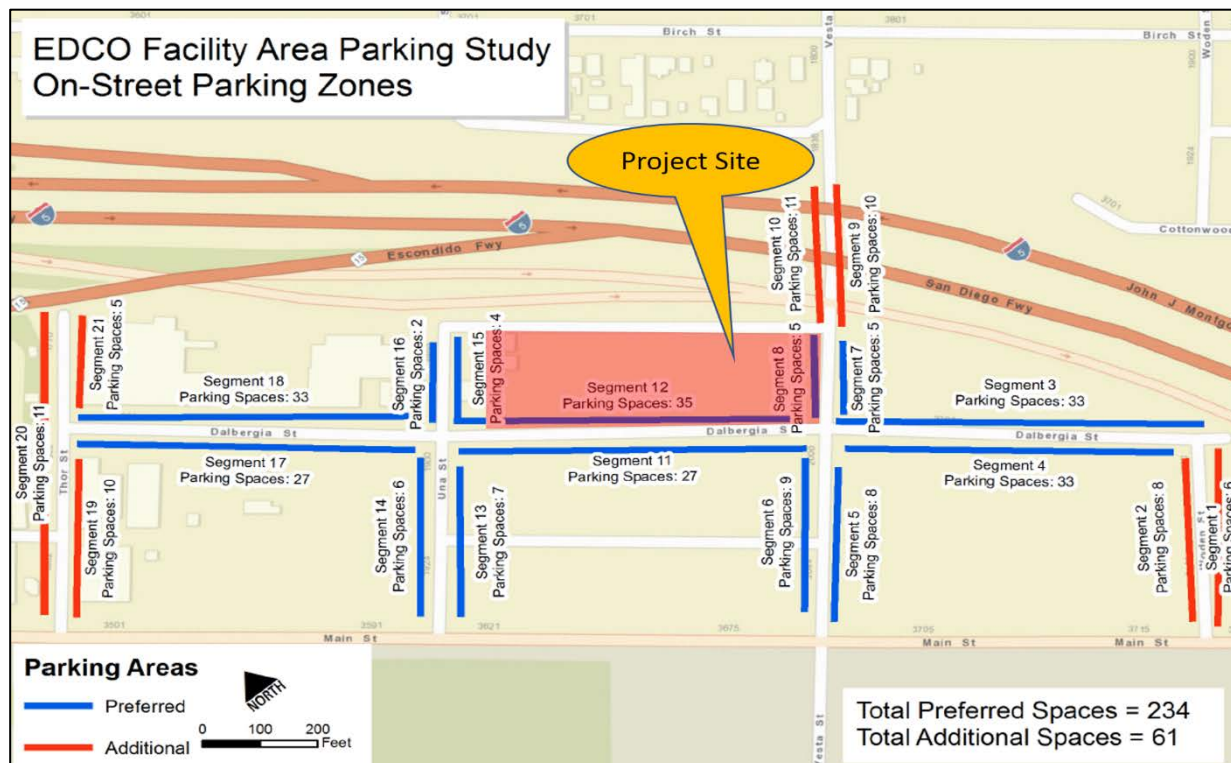


Figure 6: On-Street Parking Zones

The proposed solid waste transfer and recovery facility will be a use-type facility that includes processing equipment and limited employees. The proposed solid waste transfer and recovery facility will be operated by a mixture of managers, supervisors, and an equipment labor force. To keep pace with the processing of incoming material, the operation will be split into two shifts. Each shift will have a total of 25-28 employees, with some employees staying for both shifts, (i.e. managers and supervisors). There will be a 60-minute window between shifts, which will mitigate any overlap in parking requirements.

Justification- Based on requirements for the solid waste transfer and recovery facility to comply with AB 341, the proposed site cannot facilitate the on-site parking required by the Barrio Logan Subdistrict B. Therefore, off-site parking is being requested to maintain the balance of the parking required. The deviation requested is as follows: On-site parking of four spaces (4) total. Two standard spaces (which can be used for zero-emission and carpool) and two accessible spaces, all located near the office building entry where 29 spaces are required.

Based on city of San Diego approval of the preceding development permit BLP/CDP 8488 and SDP-8489, a total of thirty-one (31) off-street parking spaces were required with an operational staff count of twelve (12). With the proposed development, the operational staff count is estimated to be twenty-nine (29) for the maximum parking demand. Due to the existing driveways along Dalbergia Street frontage being removed and only one larger driveway being added at the north portion of the project, an additional 11 spaces will be added to the street parking. The parking and trip generation study conducted by Kimley-Horn, dated Dec. 22, 2017, analyzed the site to determine the existing on-street parking (Figure 6).

The study reviewed available on-street parking within a quarter-mile from the site which was considered an acceptable walking distance for pedestrians. The study indicated there are 295 on-street parking spaces within the study area. Observed available on-street spaces within the preferred areas for Tuesday and Thursday were averaged to determine if there would be enough available parking to accommodate the project. The results show that during peak mid-day afternoon period the parking demand of 29 spaces generated by the project can be accommodated within the preferred parking supply area along with the on-site parking with 12 additional parking spaces remaining. Therefore, the projected parking demand from the proposed development to utilize on-street facilities in the area, would not impact acceptable parking or traffic levels and no impacts to the commercial or residential neighborhood nearby would be anticipated.

Staff analyzed the requested deviations to determine consistency with the goals and recommendations of the General Plan, Barrio Logan/Harbor 101 Community Plan, and the purpose and intent of the BLPD-SUBD-B. The proposed deviations will not adversely affect the plans and are appropriate for the site. The deviation are allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section [143.0915](#).

Public Right-of-Way Vacation

The project proposes to vacate an unnamed alley adjacent to the site in order expand the existing solid waste transfer and recovery facility to increase the sorting and extraction operations. The alley was originally meant to serve the property/lots in the area prior to the installation of Interstate 5 and development of the current solid waste transfer and recovery facility as an access to lots 1-22 and lots 22A in addition to the access from Dalbergia Street. Upon the acquisition of Lots 5 thru 21 and

22A-B, Del Properties, LP kept the alley access intact due to that alley area not being needed for operational area. However, upon State mandates for Recycling/Transfer Facilities according to Assembly Bill (AB) 341, AB 1826, and SB 1383 as well as the Zero Waste element in the City's Climate Action Plan to remove increased percentages of the solid waste material from public disposal sites, the expansion of the solid waste transfer and recovery facility is needed to comply with the mandates. The alley only benefits EDCO and one other site on Dalbergia for access (Figure 7).

EDCO and the property located 3604 Dalbergia Street will retain the in-fee ownership of the south half of the alley. EDCO is currently in negotiations with Caltrans on purchasing the north half of the alley. Additionally, a 154-square-foot and a 250- square-foot portion of the alley is owned in-fee by the City of San Diego. The Development Services Department is currently working with the Real Estates Assets Department in coordinating the timing of the public right-of-way vacation with the Land Sale of the City owned portion.

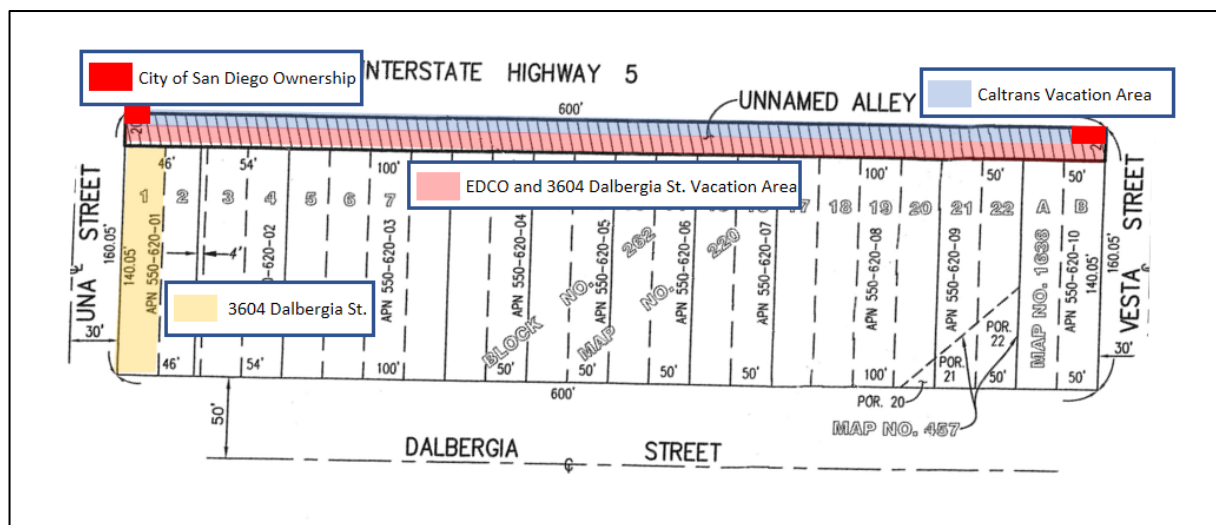


Figure 7: Public Right-of-Way Vacation Area

EDCO and the property located at 3604 Dalbergia Street property do not need access from the alley as access for these sites will be taken from Dalbergia Street and Una Street. Within the alley there are existing utilities including a power pole, pole lighting, data lines, a gas supply line, a sanitary sewer line, and a storm drain line. As a condition of the solid waste transfer and recovery facility expansion and approval of the associated Tentative Map Waiver, public utilities within the alley will be relocated and/or removed accordingly, which will remove any need to access the utilities that once existed. Additionally, the public use, access, and circulation will no longer be needed as each adjacent alley north and south of the solid waste transfer and recovery facility property has been vacated to the adjacent landowners due to the construction of Interstate-5 making the proposed public right-of-way vacation proposal consistent with neighboring circulation plan and not used for travel.

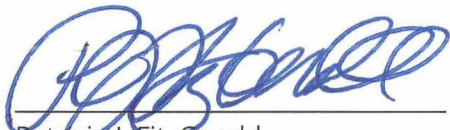
Conclusion:

With the approval of the deviations, the project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use plan, design guidelines, and development standards in effect for this site per the SDMC, the Barrio Logan/Harbor 101 Community Plan and the General Plan. Thus, Staff is recommending the Planning Commission recommend the City Council approve the Project as proposed.

ALTERNATIVES

1. Recommend to the City Council to ADOPT Mitigated Negative Declaration (MND) No. 515674 and ADOPT the Mitigation, Monitoring, and Reporting Program, and APPROVAL of Site Development Permit No. 2103482, Coastal Development Permit No. 2103481, Tentative Map Waiver No. 2203529, and Public Right-of-Way Vacation No. 1879511, with modifications.
2. Recommend to the City Council DO NOT ADOPT Mitigated Negative Declaration (MND) No. 515674 and DO NOT ADOPT the Mitigation, Monitoring, and Reporting Program, and DENY of Site Development Permit No. 2103482, Coastal Development Permit No. 2103481, Tentative Map Waiver No. 2203529, and Public Right-of-Way Vacation No. 1879511, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Patricia J. FitzGerald
Assistant Deputy Director
Development Services Department

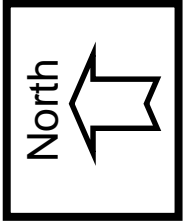
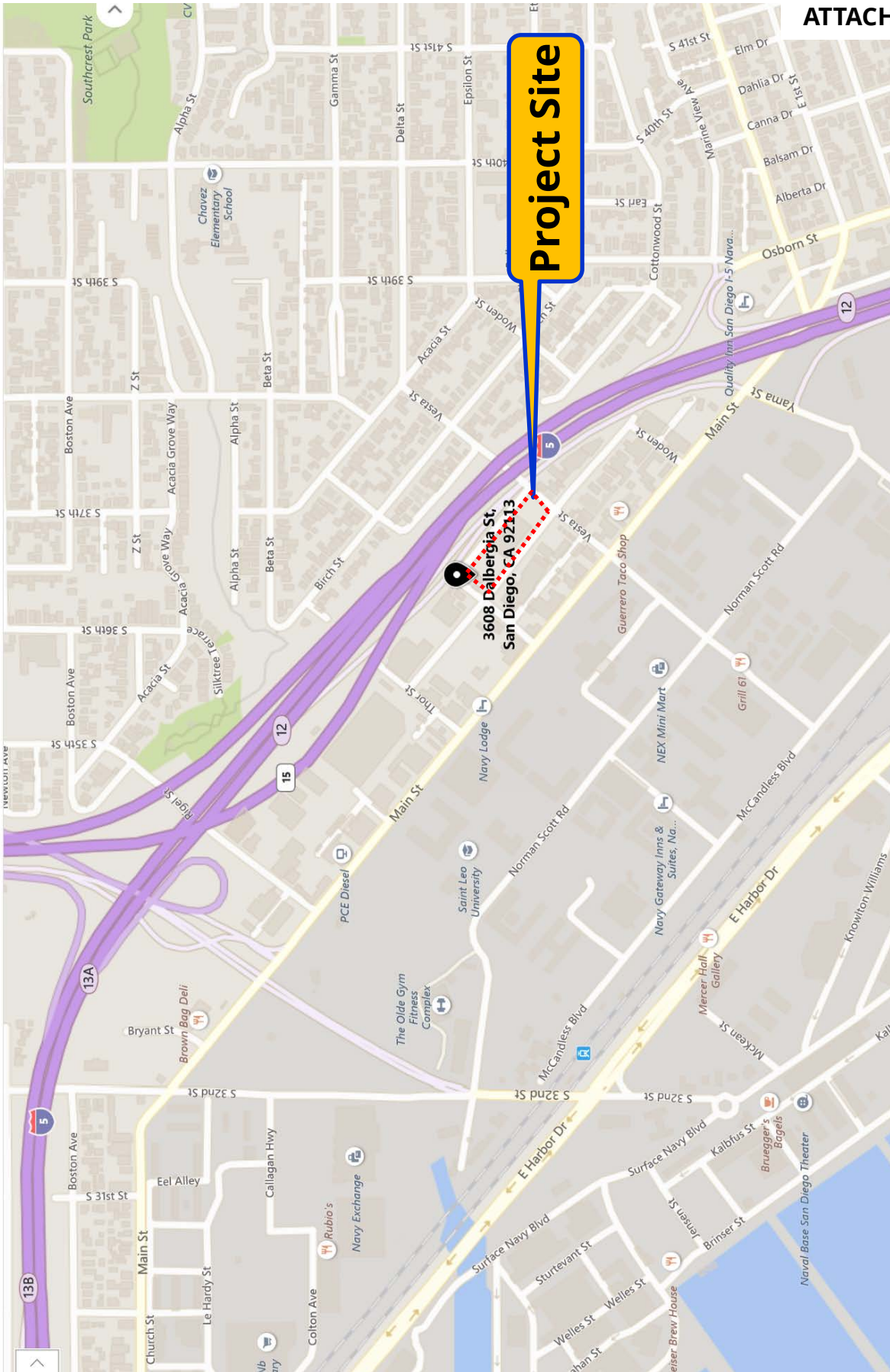


William J. Zounes
Development Project Manager
Development Services Department

Attachments:

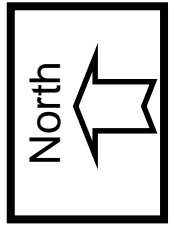
1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Surrounding Area Photos
6. Project Data Sheet
7. Draft Permit Resolution with Findings
8. Draft Permit with Conditions
9. Draft Public Right-of-Way Vacation Resolution
10. Draft Tentative Map Resolution
11. Draft Tentative Map Conditions
12. Draft Environmental Resolution
13. Ownership Disclosure Statement

14. Community Planning Group Recommendation
15. CDP No. 90-0544
16. Barrio Logan/CDP No. 99-0280
17. CDP No. 8499/Site Development Permit (SDP) No. 8489
18. City Council Staff Report – Amendments to Non-Exclusive Solid Waste Collection Franchise Agreement
19. Project Renderings
20. Public Right-of-Way Drawing 39942-B
21. Project Plans



Project Location Map
EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street





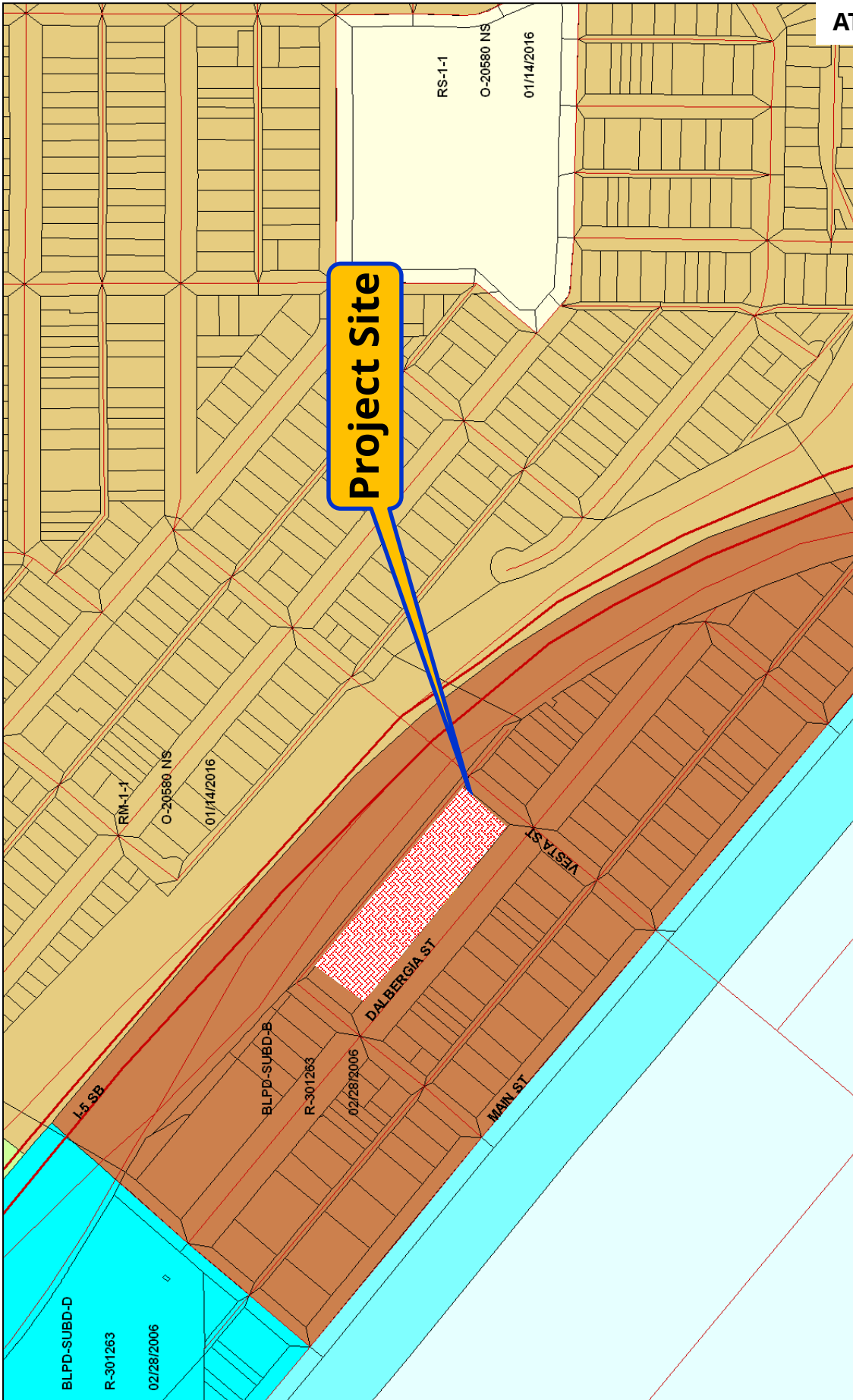
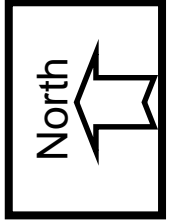
Project Site

3603 Dalbergia St,
San Diego, CA 92113

Aerial Photograph (Birds Eye)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street

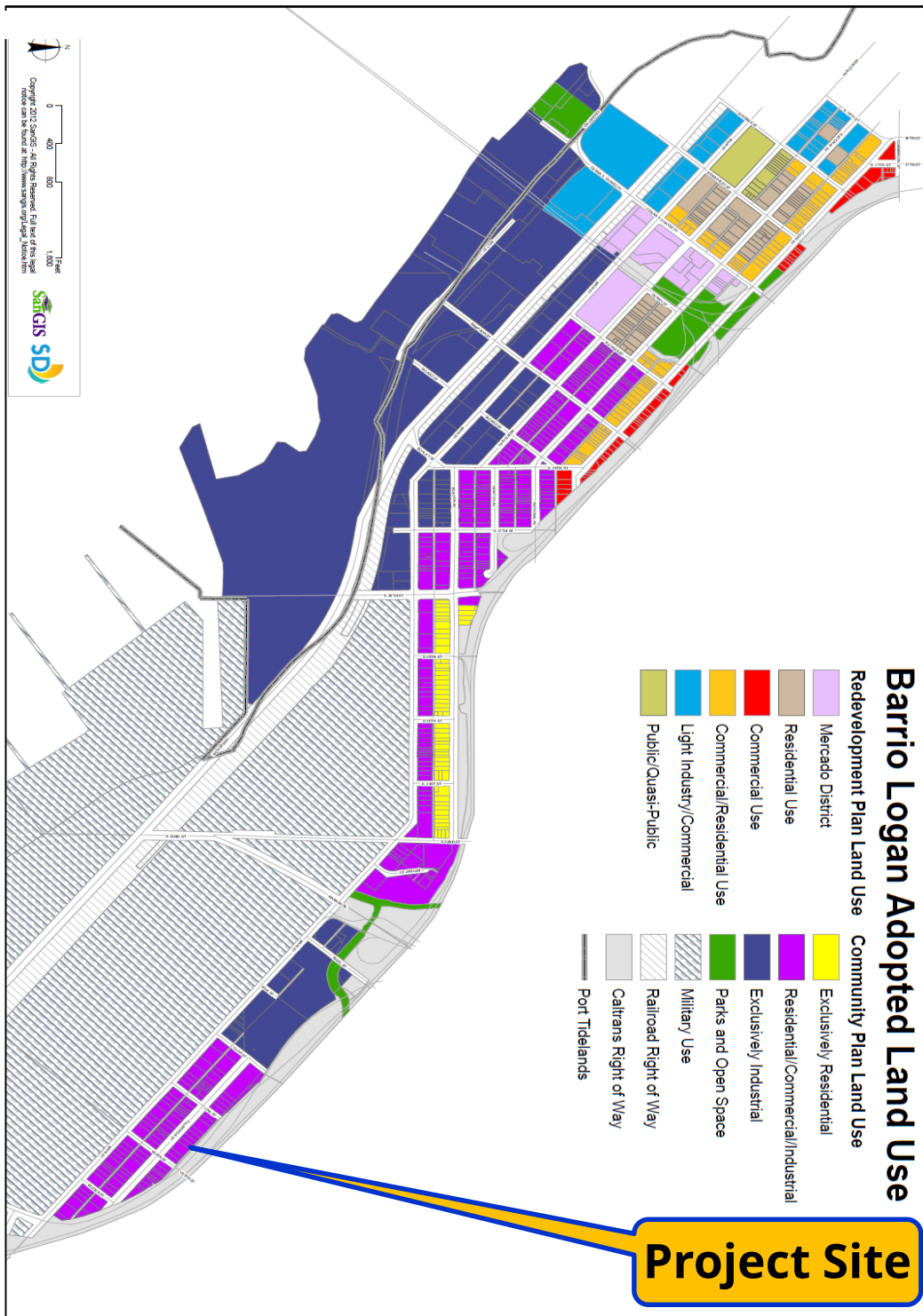




Zoning Map

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street





Barrio Logan/Harbor 101 Land Use Plan

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street

North





Project Site (Site view looking south from Dalbergia Street)

EDCO Recovery Project No. 515674

3608-3698 Dalbergia Street





Project Site (Site view looking north from alley and Vesta Street

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street



Surrounding Area (Surrounding Area: View to the west)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street





Surrounding Area (Surrounding Area: View to the south)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street





Surrounding Area (Surrounding Area: View to the east)

EDCO Recovery Project No. 515674

3608-3698 Dalbergia Street





Surrounding Area (Surrounding Area: View to the north)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street



PROJECT DATA SHEET		
PROJECT NAME:	EDCO Recovery	
PROJECT DESCRIPTION:	Coastal Development Permit/Site Development Permit/Public Right-of-Way Vacation to expand an existing solid waste transfer and recovery facility from 28,800 to 60,680 square feet to allow for additional area for the sorting and extraction of recyclable material collected from municipal solid waste.	
COMMUNITY PLAN AREA:	Barrio Logan/Harbor 101	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit/Public Right-of-Way Vacation	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential/Commercial/Industrial	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p style="text-align: center;">ZONE: BLPD-SUBD-B</p> <p style="text-align: center;">HEIGHT LIMIT: 35 feet</p> <p style="text-align: center;">LOT SIZE: 2.03 acres</p> <p style="text-align: center;">FLOOR AREA RATIO: 2.0 maximum</p> <p style="text-align: center;">FRONT SETBACK: 5 feet</p> <p style="text-align: center;">SIDE SETBACK: 0/3 feet</p> <p style="text-align: center;">STREETSIDE SETBACK: 5 feet</p> <p style="text-align: center;">REAR SETBACK: 0 feet</p> <p style="text-align: center;">PARKING: 29 spaces required</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential/Commercial/Industrial Use; BLPD-SUBD-B	Industrial Developments
SOUTH:	Residential/Commercial/Industrial Use; BLPD-SUBD-B	Mixed Residential/Industrial Developments
EAST:	Residential/Commercial/Industrial Use; BLPD-SUBD-B	Interstate-5
WEST:	Residential/Commercial/Industrial Use; BLPD-SUBD-B	Industrial Developments
DEVIATIONS OR VARIANCES REQUESTED:	Driveway widths, Structure Height, Wall Height, and Parking	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 18, 2017 the Barrio Logan Community Planning Group voted 9-2-0 to recommend approval of the project	

CITY COUNCIL RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2103481
SITE DEVELOPMENT PERMIT NO. 2103482
EDCO RECOVERY PROJECT NO. 515674
[MMRP]

WHEREAS, DEL PROPERTIES LP, Owner and EDCO DISPOSAL CORPORATION, Permittee, filed an application with the City of San Diego for a Coastal Development Permit and Site Development Permit to upgrade and expand an existing solid waste transfer and recovery facility to improve the sorting and recovering of recyclable waste and maintain operating capacity at 1,500 tons per day, known as the EDCO Recovery project, located at 3608-3698 Dalbergia Street, and legally described as Lots 21 and 22 in block 262 Noel's Subdivision Map No. 457, Lots 3 thru 22 and southeasterly four feet of Lot No. 2 in block 262, Guion's Addition Map No. 220 and Lots A and B in block 262 of Arlington Map No. 1638, within the City of San Diego, County of San Diego, State of California, in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area; and

WHEREAS, on November 8, 2018, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 2103481 and Site Development Permit No. 2103482, and pursuant to Resolution No. _____-PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on December 4, 2018, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2103481 and Site Development Permit No. 2103482:

A. Site Development PERMIT SDMC Section 126.0504

1. Findings for all Site Development Permits (SDMC Section 126.0504(a)):

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes to expand an existing solid waste transfer and recovery facility from 29,550 to 60,680 square feet to increase the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas or electricity. The 2.03-acre site is located within the Coastal Overlay zone (Non-Appealable) at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area within Council District 8.

The Barrio Logan Community Plan designates the site as Residential/Commercial/Industrial. The proposed expansion to the existing industrial use is consistent with the underlying land use designation, which allows for industrial uses. Additionally, the project site is within Subdistrict B of the Barrio Logan Planned District, which is the zone that implements the Community Plan. The proposed expansion is consistent with General Plan policy to maximize waste reduction and diversion by supporting the development of facilities that recycle materials. The proposed expansion is also consistent with the General Plan guidance to maintain an adequate variety of employment opportunities that contribute to a wide range of jobs for the City's residents.

The project is consistent with the Barrio Logan Community Plan policy guidance to improve the environmental and visual quality of industrial development and to control exterior noise, air pollution and dust. The transferring and sorting of recyclable material will be contained indoors, resulting in limited trash or dust exposure to the outside. Additionally, the operations of the anaerobic digester will take place within an enclosed area and will include ventilation systems and biofilter systems which would minimize outdoor odor. The proposed expansion is consistent with the Community Plan guidance that directs industrial development to provide fencing, walls and orient parking so that industrial uses do not detract from the visual quality to existing residential development in the form of buffer areas/improved landscaping along the project site.

The project will be surrounded by a seven-foot screen wall along Dalbergia Street and Vesta Street with additional screening provided by evergreen trees and shrubs.

The project is consistent with the Community Plan recommendation to include a buffer area with improved landscaping along the north side of the project site where it is adjacent to Interstate 5. The proposed project includes an eight-foot-wide landscape buffer, which would include evergreen trees and ground cover, to provide screening along the north side of the solid waste transfer and recovery facility. Therefore, the proposed development will not adversely affect the General Plan and the Barrio Logan/Harbor 101 Community Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to expand an existing solid waste transfer and recovery facility from 29,550 to 60,580 square feet to increase the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas. Mitigated Negative Declaration No. 515674 has been prepared in accordance with the State of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program for Air Quality has been prepared and will be implemented which will reduce impacts, to below a level of significance.

The proposed project, including review of grading, drainage, architecture, landscape, environmental analysis and provisions of a new driveway, has been designed to conform with the City of San Diego's codes, policies, and regulations with the primary focus of protecting the public's health, safety and welfare. The conditions of approval of the project require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would work at the site and within the community. Conditions of approval address driveway, public improvements, landscaping and grading. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features, such as source control and treatment control Best Management Practices and the harvesting of storm runoff for use as portable water supply to irrigation, plumbing fixtures, facility misting and transfer truck wash down.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Additionally, prior to the issuance of any construction permit, the owner shall submit the appropriate Solid Waste Facilities Permit Application to the Local Enforcement Agency (LEA) to address the proposed changes to the site and operations. Preceding construction of the project, City staff will review construction plans against the Uniform Building Code to assure that structural, mechanical, electrical, plumbing, and accessibility components of the project are designed to adequately protect the public. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code

Five deviations are being requested as part of the project design: 1) 45-foot driveway along Dalbergia Street where 30 feet is allowed; 2) 35-foot driveway along Vesta Street where 30 feet is allowed; 3) 48-foot building height where the maximum allowed is 35 feet; 4) wall height (7-feet) within street side yard where three feet is allowed; and 5) a reduction in Off-street parking where the project requires 29 and is providing four. The following outlines the deviations and justifications:

Dalbergia Street Driveway Width: SDMC Table 142-05M allows a maximum 30-foot driveway width. The deviation is being requested to allow an increase in the driveway width to allow transfer trucks to make a safe radius turn into the solid waste transfer and recovery facility.

Based on mandates to comply with Assembly Bill (AB) 341(Solid waste: diversion), all vehicles will need to access one driveway for entry/exit purposes. To do so, and keep vehicle and public safety a priority, the driveway width on Dalbergia Street will need to be forty-five (45) feet wide. Reducing the width of the driveway, from the requested 45 feet to the 30 foot standard, will not maintain the safety between vehicles, as a 30-foot width driveway limits a transfer truck (a 53-foot-long vehicle) from making a wider turn to avoid the north-west corner of the proposed property and still exit into the northbound lane. A 30-foot width driveway could result in the transfer trucks driving directly over or beyond the driveway flares (almost 15 feet beyond the driveway edge). In addition, the transfer trucks need to orient themselves close to the ramp's retaining wall to align with the narrowed exiting lane. A 45-foot wide driveway, allowing trucks to avoid traversing over the sidewalk and the neighboring driveway, is a safe width for not only the transfer truck, but for public safety on Dalbergia Street.

Vesta Street Driveway Width: SDMC Table 142-05M allows a maximum 30-foot driveway width. The deviation to allow an increase in the width to 35 feet will allow transfer trucks to make a safe radius turn into the solid waste transfer and recovery facility.

The width of the existing access drive is 15-feet. The north side of the alley will be required to facilitate a drainage culvert that collects the watershed from the sloped Caltrans right-of-way coming down from Interstate 5. This culvert will drain south and under the sidewalk. Because of the drainage culvert, and due to the existing sidewalk location and the required return from the edge of driveway for the sidewalk to reconnect to the existing sidewalk location, the driveway cannot be relocated further to the east. A 30 foot driveway width would limit maneuverability in a tight space, causing concerns with vehicles' ability to traverse the driveway and the increased probability of damage to the proposed infrastructure. A transfer truck can traverse into the site and cross the driveway with a 35-foot wide driveway, allowing more flexibility to avoid the rolling gate and concret masonry unit (CMU) wall, and increasing maneuverability for the truck to enter and back into the adjacent dock.

Building Height: The City of San Diego building height requirements, per SDMC Section [152.0307\(e\)](#), limit building height to 35 feet. The proposed solid waste transfer and recovery facility requires a building height of 48 feet to accommodate the needed ceiling height clearances for the processing equipment.

The available site area for the proposed building expansion is limited in size. To achieve the landfill removal percentage required in accordance with AB 341, which requires the reduction of greenhouse gas emissions by diverting waste from landfills and to reach California's recycling goal of 75-percent by the year 2020, the floor storage space and processing equipment required to process the materials received in the building will need to be designed with vertically stacked equipment. Processing equipment vendors can design the equipment to provide the most efficient layout within the site area constraints, however, to do so the equipment will need to accommodate vertical height. In addition, the roof structure above the equipment will need to support the necessary roof loads for electrical, lighting, fire sprinklers, mechanical equipment, and photovoltaics. A building height of 48 feet will accommodate processing equipment and the needed ceiling height clearances.

Fence/Wall Height: SDMC Section 142.0310(c) limits solid fence/wall heights in required front and street side yards to three feet. The proposed solid waste transfer and recovery facility proposes a deviation to the fence/wall regulations to accommodate a seven foot solid wall within a required street side and front yard along a portion of Dalbergia Street and Vesta Street to screen the processing equipment.

The project proposes to extend the existing concrete masonry unit (CMU) wall along the perimeter of the existing facility to the perimeter of the proposed addition along Vesta Street and partially along Dalbergia Street. The proposed wall will promote a safe work environment while maintaining the architectural integrity of the existing screen wall and the additional height will provide screening of on-site operations. Through conditions in the permit, the property owner will maintain the wall free from dilapidated or dangerous conditions and in a graffiti-free condition. The City of San Diego Police Department (SDPD) recommended at least a seven-foot high fence to match the existing screen wall along property for security reasons.

Off-Street Parking: The project site is within the Barrio Logan Planned Subdistrict B and has the Land Use designation of Residential/Commercial/Industrial. Most of the uses in the vicinity rely on street parking for both employee and visitor parking. The area is primarily industrial and commercial use, with a few residences along Vesta Street and on Dalbergia Street east of Vesta Street. The San Diego Municipal Code states that the required automobile parking spaces for Barrio Logan Subdistrict B for industrial spaces, facilities with a majority of floor area dedicated to large equipment, tanks, vessels, and automated machinery may use a minimum parking ratio of 1 parking space per 1,000 square feet of floor area. Applying these rates, a total of 52 parking spaces would be required per the San Diego Municipal Code.

The proposed solid waste transfer and recovery facility will be a use-type facility that includes processing equipment and limited employees. The proposed facility will be

operated by a mixture of managers, supervisors, and an equipment labor force. To keep pace with the processing of incoming material, the operation will be split into two shifts. Each shift will have a total of 25-28 employees, with some employees staying for both shifts, (i.e. managers and supervisors). There will be a 60-minute window between shifts, which will mitigate any overlap in parking demand.

Based on City of San Diego approval of the preceding development permit BLP/CDP 8488 and SDP-8489, a total of thirty-one (31) off-street parking spaces were required with an operational staff count of twelve (12). With the proposed development the operational staff count is estimated to be twenty-nine (29) for the maximum parking demand. Due to existing driveways along Dalbergia Street frontage being removed and only one larger driveway being added at the north portion of the project, an additional 11 spaces will be added to the street parking. The parking and trip generation study conducted by Kimley-Horn, dated Dec. 22, 2017, analyzed the site to determine the existing on-street parking. The study reviewed available on-street parking within a quarter-mile from the site, which was considered an acceptable walking distance for pedestrians. The study indicated there are 295 on-street parking spaces within the study area. Observed available on-street spaces within the preferred areas for Tuesday and Thursday were averaged to determine if there would be enough available parking to accommodate the project. The results show that during the peak mid-day afternoon period the parking demand of 29 spaces generated by the project can be accommodated within the preferred parking supply area, along with on-site parking, with 12 additional parking spaces remaining. Therefore, the projected parking demand from the proposed development to utilize on-street facilities in the area, would not impact acceptable parking or traffic levels and no impacts to the commercial or residential neighborhood nearby would be anticipated.

Staff analyzed the requested deviations to determine consistency with the goals and recommendations of the General Plan, Barrio Logan/Harbor 101 Community Plan, and the purpose and intent of BLPD-SUBD-B. The proposed deviations will not adversely affect the plans and are appropriate for the site. The deviations are allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section 143.0915. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

2. **Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings (SDMC Section 126.0504(m))**
 - a. **The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.**

The proposed project qualifies for the Affordable Housing/Infill and Sustainable Buildings Expedite Program by generating and materially assisting in reducing impacts associated with fossil fuels energy use by utilizing alternative sustainable fuels sources through renewable technologies. This includes the construction of an Anaerobic Digestion (AD) facility to create nature gas or electricity. This includes five digester vessels above ground that are mechanically filled with a mix of incoming materials from the transfer building collected from the public's solid waste. The AD facility will take organics currently in the solid waste stream within the solid waste transfer and recovery facility and make either renewable natural gas or create electrical power. By capturing food waste and green waste that currently enters the solid waste transfer and recovery facility and placing the material into a dedicated chamber, the methane can be harnessed to create suitable energy for either powering vehicles or the creation of electricity to power the site. Renewable natural gas generated from food and green waste has been certified by the California Air Resources Board (CARB) as a carbon negative fuel.

The project will also make the buildings ready for a future photovoltaic system, cool roof installation, the use of roof skylight and translucent wall paneling for natural daylighting, harvest roof runoff used as non-potable water supply to irrigation, plumbing fixtures, facility misting system, and transfer truck washing. The project will exceed the minimum sustainable criteria by targeting a Leadership in Energy and Environmental Design (LEED) Silver rating by creating a sensitive design that utilizes energy efficient means and methods of construction as well as a design that utilizes the local climate through passive solar design features and design elements.

Additionally, the landscape design will mostly incorporate pest resistant plants, rain sensor shut-off devices, and a high efficiency irrigation system with state of the art low precipitation rate sprinkler equipment. Electrical outlets on separate circuits will provide electric car charging stations within the parking area. Therefore, the proposed development would materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

b. The development will not be inconsistent with the purpose of the underlying zone.

The 2.03-acre site is located within the Coastal Overlay zone (Non-Appealable) at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area. The proposed project is subject to the Barrio Logan Planned District Ordinance (BLPDO) and the Affordable Housing, In-fill Projects, Sustainable Buildings Development Regulations (Chapter 14, Article 3, Division 9) at the time that the project application was deemed complete on August 17, 2017, which qualified the project for the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The San Diego Municipal Code (SDMC) Section 143.0920 allows an applicant to request deviations from the regulations for Affordable/In-Fill Housing and Sustainable Buildings in accordance with Section 143.0915 pursuant to a Site Development Permit, as long as the decision maker makes the findings in Section 126.0504(a) and the supplemental findings in Section 126.0504(m).

As noted and described previously in Site Development Permit Finding No. 1(c), five deviations are being requested as part of the project design. The purpose and intent of the Barrio Logan Planned District states: "It is the purpose of these regulations to provide development criteria and urban design standards for the erection, construction, establishment, addition, enlargement, conversion, demolition, move on, alteration or rehabilitation of quality residential, commercial, industrial, public and quasi-public developments related to the small lot configuration and the urbanization pattern of the Barrio Logan community." The Project will enlarge and rehabilitate an existing industrial use, and will contribute to the City of San Diego's Climate Action Plan by helping reduce solid waste to the City's landfills by 75 percent in 2020. Therefore, the development will not be inconsistent with the purpose of the underlying zone.

- c. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

As outlined in Site Development Permit Finding No. 1(c) listed above, any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

B. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits

- a. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed development is contained within the existing boundary, on private property. The nearest public access to the Pacific Ocean is located at San Diego Harbor approximately a half mile to the west. The property is not located between the sea and the first public roadway paralleling the sea. The site does not contain intermittent or partial vistas, viewsheds or scenic overlooks as identified within the adopted Barrio Logan/101 Harbor Community Plan and Local Coastal Program Land Use Plan, nor are there existing or potential views to the ocean through the site. The proposed development conforms to the height and density requirements of the San Diego Municipal Code and the Barrio Logan/Harbor 101 Community Plan. The development

does not impact any public views to or along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site does not contain Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) Section 113.0103. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

As outlined in Site Development Permit Finding No. 1(a), listed above, the proposed coastal development is in conformity with the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located east of Harbor Drive (First Public Roadway) and is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the project is in compliance with Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Coastal Development Permit No. 2103481/Site Development Permit No. 2103482 is granted to DEL PROPERTIES LP, Owner, and, EDCO DISPOSAL CORPORATION Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24007044

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2103481

SITE DEVELOPMENT PERMIT NO. 2103482

EDCO RECOVERY PROJECT NO. 515674 MMRP

[AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 8488 AND

SITE DEVELOPMENT PERMIT NO. 8489]

CITY COUNCIL

This Coastal Development Permit No. 2103481 and Site Development Permit No. 2103482 [amendment to Coastal Development Permit No. 8488 and Site Development Permit No. 8489] is granted by the City Council of the City of San Diego to, DEL PROPERTIES, LP, Owner, and, EDCO DISPOSAL CORPORATION, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702, 126.0502, and 152.0202. The 2.03-acre site is located at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area within the Coastal Overlay Zone (Non-Appealable Area 2). The project site is legally described as: Lots 21 and 22 in block 262 Noel's Subdivision Map No. 457, Lots 3 thru 22 and southeasterly four feet of Lot No. 2 in block 262, Guion's Addition Map No. 220 and Lots A and B in block 262 of Arlington Map No. 1638, within the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to upgrade and expand an existing solid waste transfer station to improve the sorting and recovering of recyclable waste and maintain operating capacity at 1,500 tons per day described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 4, 2018 on file in the Development Services Department.

The project shall include:

- a. The expansion of a solid waste transfer station from 29,550 square feet to 60,680 square feet to accommodate a mechanized processing line to remove recyclable material;
- b. Deviations:
 - i. A 45-foot wide driveway along Dalbergia Street where a maximum of 30 feet in width is allowed in accordance with San Diego Municipal Code (SDMC) Section 142.0560, Table 142-05M.

- ii. A 35-foot wide driveway along Vesta Street where a maximum of 30 feet in width is allowed in accordance with San Diego Municipal Code (SDMC) Section 142.0560, Table 142-05M.
 - iii. A building height of 48-feet where 35 feet is the maximum height allowed in accordance with SDMC Section 152.0307(e).
 - iv. A wall height of seven feet within the street side yard setback where three feet is the maximum height allowed in accordance with SDMC Section 142.0310(c).
 - v. A total of 4 off-street parking spaces provided where 29 parking spaces are required in accordance with SDMC Chapter 14, Article 2, Division 5.
- c. Landscaping (planting, irrigation and landscape related improvements);
 - d. Off-street parking;
 - e. Hours of Operation: Internal processing hours 24 hours per day and receiving hours 5:00 a.m. to 7:00p.m., Monday thru Sunday;
 - b. The development of an anaerobic digester system from biomass to produce renewable natural gas or electricity;
 - c. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate a portion of the project's projected energy consumption; and
 - d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 4, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations, or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
 9. All the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with every condition to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including

attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 515678 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 515678 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Air Quality

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. The Site Development Permit and Coastal Development Permit shall comply with all Conditions of the Parcel Map for the Tentative Map No. 2203529.

16. The project proposes to export 6,000 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrain/curb outlets in the Dalbergia Street Right-of-Way.
20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the existing trees in the Dalbergia Street Right-of-Way.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard driveway, adjacent to the site on Dalbergia Street, satisfactory to the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard driveway, adjacent to the site on Vesta Street, satisfactory to the City Engineer.
23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Dalbergia and Vesta Street, satisfactory to the City Engineer.
24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the curb with current City Standard curb and gutter, adjacent to the site on Dalbergia and Vesta Street, satisfactory to the City Engineer.
25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the removal of existing driveways, per Exhibit "A", and replace it with curb, gutter and sidewalk per City Standard, adjacent to the site on Dalbergia Street, satisfactory to the City Engineer.
26. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices maintenance, satisfactory to the City Engineer.
27. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

28. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

29. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

30. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

31. Prior to the issuance of any construction permit, the Owner/Permittee shall vacate the Alley Right-of-Way between Una Street and Vesta Street, per Exhibit "A", satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

32. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

33. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40 square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

34. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition always. Severe pruning or "topping" of trees is not permitted.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the

approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

36. The Owner/Permittee shall maintain the perimeter concert masonry screen wall free from dilapidated or dangerous conditions and in a graffiti-free condition.

PLANNING/DESIGN REQUIREMENTS:

37. The Owner/Permittee shall maintain a minimum of four off-street parking spaces on the property always in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply with the San Diego Municipal Code (SDMC) and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

38. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

39. Prior to the issuance of any construction permit, the owner shall submit the appropriate Solid Waste Facilities Permit Application to the Local Enforcement Agency (LEA) to address the proposed changes to the site and operations in accordance with 27CCR 21620. LDR-Planning shall ensure LEA has received the appropriate material for compliance with 27CCR 21620.

40. Prior to the recordation of a Parcel Map the Subdivider shall relocate all utilities located in the unnamed alley adjacent to the site.

41. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

42. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code as shown on Exhibit 'A' and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

43. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond to stripe 11 new diagonal parking stalls on the project site frontage on Dalbergia Street, as shown on Exhibit "A", satisfactory to the City Engineer. The improvement shall be completed prior to first occupancy.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

44. Prior to issuance of any engineering permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, landscaping, enriched paving, and electrical conduits to be installed within the public- right-of-way or public easement.

45. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate above ground private back flow prevention devices (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPD's are typically located on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

47. Prior to the issuance of any building permits, the Owner/Permittee shall assure all water and sewer facilities required by the Public Utilities Department necessary to serve this development and assure them by permit and bond.

48. Prior to the issuance of any building permits, the Owner/Permittee shall obtain approval from City of San Diego Industrial Waste Discharge Permit for connecting the site processing discharge into the sewer system.

49. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

50. All proposed public water and sewer facilities, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto.

51. All on-site water and sewer facilities shall be private.

52. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facility and five feet of any water facilities.

53. Prior to the issuance of any building permits, the Owner/Permittee shall convert the sewer lateral for the adjacent property located at 3602 Dalbergia Street as outlined in the letter from the property owner, Mr. Lewis Wise dated, April 18, 2018, from a public sewer facility to a private sewer facility.

GEOLOGY REQUIREMENTS:

54. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

55. Prior to issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on December 4, 2018.

ATTACHMENT 8

Permit Type/PTS Approval No.: CDP No. 210348/SDP No. 2103482
Date of Approval: December 4, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

EDCO DISPOSAL CORPORATION
Permittee

By _____
Steve South

Del Properties, LP
Owner

By _____
Steve South

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION VACATING UNNAMED ALLEY (RIGHT-OF-WAY
VACATION NO. 1879511 PROJECT NO. 515674).

WHEREAS, California Streets and Highways Code section 8320 *et seq.* and San Diego
Municipal Code section 125.0901 *et seq.* provide a procedure for the vacation of public rights-of-way
by City Council resolution; and

WHEREAS, EDCO DISPOSAL CORPORATION filed an application to vacate unnamed alley in
subdivision of block 262, Guion's addition to San Diego, dedicated to the City of San Diego on Map
No. 220, recorded on April 15, 1881, being described as Right-of-Way Vacation No. 1879511; and

WHEREAS, Right-of-Way Vacation No. 1879511 is located on property owned by DEL
PROPERTIES, LP, Caltrans, Lewis H. Wise, and The City of San Diego; and

WHEREAS, on November 8, 2018 the Planning Commission of the City of San Diego
considered Public Right-of-Way Vacation No. 1879511, Coastal Development Permit No. 2103481
and Site Development Permit No. 2103482, and pursuant to Resolution No. __-PC voted to
recommend approval of the Permit; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor
because this matter requires the City Council to act as a quasi-judicial body, a public hearing was
required by law implicating due process rights of individuals affected by the decision, and the
Council was required by law to consider evidence at the hearing and to make legal findings based on
the evidence presented; and

WHEREAS, the matter was set for public hearing on December 4, 2018 testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Right-of-Way Vacation No. 1879511, the Council finds that:

(a) There is no present or prospective public use for the public right-of-way, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The project proposes to vacate an unnamed alley and expand an existing solid waste transfer and recovery facility from 29,550 to 60,680 square feet to increase the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas. The 2.03-acre site is located within the Coastal Overlay zone (Non-Appealable) at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area. The industrial use is consistent with the Barrio Logan/Harbor 101 community plan land use designation of Residential/Commercial/Industrial. The expansion requires vacating the unnamed alley adjacent to the east property line to accommodate a new loadout tunnel designed to allow transfer trucks to unload their solid waste commodities.

The alley was originally meant to serve the property/lots in the area prior to the installation of Interstate 5 and development of the existing facility as an access to lots 1-22 and lot 22A in addition to the access from Dalbergia Street. Upon the acquisition of Lots 5 thru 21 and 22A-B, Del Properties, LP kept the alley access intact due to that alley area not being needed for operational area. However, upon State mandates for Recycling/Transfer Facilities according to Assembly Bill (AB) 341, AB 1826, and SB 1383 as well as the Zero Waste element in the City's Climate Action Plan to remove increased percentages of the solid waste material from public disposal sites, the expansion of the solid waste transfer and recovery facility is needed to comply with the mandates. The alley only benefited EDCO and one other site on Una Street for access. EDCO and the Una Street property do not need access from the alley as access for these sites will be taken from Dalbergia Street and Una Street.

Within the alley there are existing utilities including a power pole, pole lighting, data lines, a gas supply line, a sanitary sewer line, and a storm drain line that services the adjacent CALTRANS freeway right-of-way drainage. As a condition of the facility expansion and approval of the associated Tentative Map Waiver, sewer and San Diego Gas and Electric utilities within the alley will be relocated and/or removed accordingly, which will remove any need to access the utilities that once existed. Additionally, the public use, access, and circulation will no longer be needed as each adjacent alley north and south of the facility property has been vacated to the adjacent landowners

due to the construction of Interstate-5 making the proposed public right-of-way vacation proposal consistent with neighboring circulation plans and not used for travel. Therefore, there is no present or prospective public use for the public right-of-way, either for the public utilities for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved use of the land made available by the vacation.

The public will benefit from the action through improved use by allowing EDCO expansion to assist the City of San Diego in meeting the goals of AB 341, AB 1826, and SB 1383 as well as the Zero Waste element in the City's Climate Action Plan by 2040. Furthermore, the Owners along the vacated alley will control, maintain, and be responsible for that portion of Alley to be vacated. The City of San Diego and County of San Diego will benefit by increase of property value due to the increase of EDCO's property and adjacent privately-owned land subject to property tax increase to the tax base. Therefore, the public will benefit from the action through improved use of the land made available by the vacation.

(c) The vacation does not adversely affect any applicable land use plan.

The Barrio Logan/Harbor 101 Community Plan designates the site as Residential/Commercial/Industrial. The proposed expansion to the existing industrial use is consistent with the underlying land use designation, which allows for industrial uses. Additionally, the project site is within Subdistrict B of the Barrio Logan Planned District, which is the zone that implements the Community Plan. The proposed expansion is consistent with General Plan policy to maximize waste reduction and diversion by supporting the development of facilities that recycle materials. The proposed expansion is also consistent with the General Plan guidance to maintain an adequate variety of employment opportunities that contribute to a wide range of jobs for the City's residents.

The project is consistent with the Barrio Logan/Harbor 101 Community Plan policy guidance to improve the environmental and visual quality of industrial development and to control exterior noise, air pollution and dust. The transferring and sorting of recyclable material will be contained indoors, resulting in limited trash or dust exposure to the outside. Additionally, the operations of the anaerobic digester will take place within an enclosed area and will include ventilation systems and biofilter systems which would minimize outdoor odor. The proposed expansion is consistent with the Community Plan guidance that directs industrial development to provide fencing, walls and orient parking so that industrial uses do not detract from the visual quality to existing residential development in the form of buffer areas/improved landscaping along the project site. The project will be surrounded by a seven-foot screen wall along Dalbergia Street and Vesta Street with additional screening provided by evergreen trees and shrubs.

The project is consistent with the Community Plan recommendation to include a buffer area with improved landscaping along the north side of the project site where it is adjacent to Interstate 5. The proposed project includes an eight-foot-wide landscape buffer, which would include evergreen trees and ground cover, to provide screening along the north side of the solid waste

transfer and recovery facility. Therefore, the proposed development will not adversely affect the General Plan and the Barrio Logan/Harbor 101 Community Plan.

(d) The public facility for which the public right-of-way was originally acquired will not be detrimentally affected by the vacation.

The alley was originally meant to serve the property/lots in the area prior to the construction of Interstate-5 as an access to said lots. Upon the acquisition of Lots 5 thru 21 and 22A-B, EDCO kept the alley access intact due to that alley area not being needed for operational area. However, upon State mandates AB 341, AB 1826, and SB 1383 for Recycling/Transfer Facilities to remove increased percentages of the received materials, the operational area needed to comply with the mandates needs to expand its work area which requires the acquisition of the existing alley, Lots 2 (partial), 3, and 4. The project's permit conditions require, but not be limited to, the developer to landscape the east side of the acquired alley vacation, relocation of existing utilities within the alley, and fencing around the property. With these improvements the public access is removed and will not detrimentally affect the original acquired right-of-way. Additionally, the public use, access, and circulation will no longer be needed as each adjacent alley north and south of the EDCO property has been vacated to the adjacent landowners due to the construction of the Interstate-5 making the proposed public right-of-way vacation consistent with the neighboring circulation plan and not used for travel. Therefore, the public facility for which the public right-of-way was originally acquired will not be detrimentally affected by the vacation.

BE IT FURTHER RESOLVED, that Right-of-Way Vacation No. 1879511, in association with Coastal Development Permit No. 2103481 and Site Development Permit No. 2103482, as more particularly described in the legal description marked as Exhibit "A" and shown on Drawing No. 39942-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the Office of the County Recorder.

APPROVED: MARA ELLIOTT, City Attorney

By _____
[Attorney]
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
Document No:
JT 08-13-13

CITY COUNCIL RESOLUTION NUMBER R-_____

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO
APPROVING TENTATIVE MAP WAIVER NO. 2203529, EDCO
RECOVERY- PROJECT NO. 15674 [MMRP]

WHEREAS, Del Properties LP and and EDCO DISPOSAL CORPORATION, Subdividers, and Raymon J. Spear, Land Surveyor, submitted an application to the City of San Diego for a Tentative Map Waiver for the consolidation of 22 parcels into one lot for the expansion of a solid waste transfer and recovery facility. The project site is located at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area within the Coastal Overlay Zone (Non-Appealable Area 2). The property is legally described as Lots 21 and 22 in block 262 Noel's Subdivision Map No. 457, Lots 3 thru 22 and southeasterly four feet of Lot No. 2 in block 262, Guion's Addition Map No. 220 and Lots A and B in block 262 of Arlington Map No. 1638, within the City of San Diego, County of San Diego, State of California; and

WHEREAS, the Map proposes the Subdivision of a 2.03-site into one (1) lot for an industrial development; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on November 8, 2018, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 2103481 and Site Development Permit No. 2103482, and pursuant to Resolution No. _____-PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on December 4, 2018 the City Council of the City of San Diego considered Tentative Map Waiver No. 1879227, and pursuant to San Diego Municipal Code section(s) 125.0440, 125.0444, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Tentative Map Waiver No. 1879227:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The project proposes to expand an existing solid waste transfer and recovery facility from 29,550 to 60,680 square feet to increase the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas or electricity. The 2.03-acre site is located within the Coastal Overlay zone (Non-Appealable) at 3608-3698 Dalbergia Street in Subdistrict B of the Barrio Logan Planned District (BLPD-SUBD-B) within the Barrio Logan/Harbor 101 Community Plan area within Council District 8.

The Barrio Logan Community Plan designates the site as Residential/Commercial/Industrial. The proposed expansion to the existing industrial use on-site is consistent with the underlying land use designation, which allows for industrial uses. Additionally, the project site is within Subdistrict B of the Barrio Logan Planned District, which is the zone that implements the Community Plan. The proposed expansion is consistent with General Plan policy to maximize waste reduction and diversion by supporting the development of facilities that recycle materials. The proposed expansion is also consistent with the General Plan guidance to maintain an adequate variety of employment opportunities that contribute to a wide range of jobs for the City's residents.

The project is consistent with the Barrio Logan Community Plan policy guidance to improve the environmental and visual quality of industrial development and to control exterior noise, air pollution and dust. The transferring and sorting of recyclable material will be contained indoors, resulting in limited trash or dust exposure to the outside. Additionally, the operations of the anaerobic digester will take place within an enclosed area and will include ventilation systems and biofilter systems which would minimize outdoor odor. The proposed expansion is consistent with the Community Plan guidance that directs industrial development to provide fencing, walls and orient parking so that industrial uses do not detract from the visual quality to existing residential development in the form of buffer areas/improved landscaping along the project site. The project will be surrounded by a seven-foot screen wall along Dalbergia Street and Vesta Street with additional screening provided by evergreen trees and shrubs.

The project is consistent with the Community Plan recommendation to include a buffer area with improved landscaping along the north side of the project site where it is adjacent to Interstate 5. The proposed project includes an eight-foot-wide landscape buffer, which would include evergreen trees and ground cover, to provide screening along the north side of the solid waste transfer and recovery facility. Therefore, the proposed project is consistent with the General Plan and the Barrio Logan Community Plan. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

Five deviations are being requested as part of the project design: 1) 45-foot driveway along Dalbergia Street where 30 feet is allowed; 2) 35-foot driveway along Vesta Street where 30 feet is allowed; 3) 48-foot building height where the maximum allowed is 35 feet; 4) wall height (7-feet) within street side yard where three feet is allowed; and 5) a reduction in Off-street parking where the project requires 29 and is providing four. The following outlines the deviations and justifications:

Dalbergia Street Driveway Width: SDMC Table 142-05M allows a maximum 30-foot driveway width. The deviation is being requested to allow an increase in the driveway width to allow transfer trucks to make a safe radius turn into the solid waste transfer and recovery facility.

Based on mandates to comply with Assembly Bill (AB) 341(Solid waste: diversion), all vehicles will need to access one driveway for entry/exit purposes. To do so, and keep vehicle and public safety a priority, the driveway width on Dalbergia Street will need to be forty-five (45) feet wide. Reducing the width of the driveway, from the requested 45 feet to the 30 foot standard, will not maintain the safety between vehicles, as a 30-foot width driveway limits a transfer truck (a 53-foot-long vehicle) from making a wider turn to avoid the north-west corner of the proposed property and still exit into the northbound lane. A 30-foot width driveway could result in the transfer trucks driving directly over or beyond the driveway flares (almost 15 feet beyond the driveway edge). In addition, the transfer trucks need to orient themselves close to the ramp's retaining wall to align with the narrowed exiting lane. A 45-foot wide driveway, allowing trucks to avoid traversing over the sidewalk and the

neighboring driveway, is a safe width for not only the transfer truck, but for public safety on Dalbergia Street.

Vesta Street Driveway Width: SDMC Table 142-05M allows a maximum 30-foot driveway width. The deviation to allow an increase in the width to 35 feet will allow transfer trucks to make a safe radius turn into the solid waste transfer and recovery facility.

The width of the existing access drive is 15-feet. The north side of the alley will be required to facilitate a drainage culvert that collects the watershed from the sloped Caltrans right-of-way coming down from Interstate 5. This culvert will drain south and under the sidewalk. Because of the drainage culvert, and due to the existing sidewalk location and the required return from the edge of driveway for the sidewalk to reconnect to the existing sidewalk location, the driveway cannot be relocated further to the east. A 30 foot driveway width would limit maneuverability in a tight space, causing concerns with vehicles' ability to traverse the driveway and the increased probability of damage to the proposed infrastructure. A transfer truck can traverse into the site and cross the driveway with a 35-foot wide driveway, allowing more flexibility to avoid the rolling gate and concrete masonry unit (CMU) wall, and increasing maneuverability for the truck to enter and back into the adjacent dock.

Building Height: The City of San Diego building height requirements, per SDMC Section [152.0307\(e\)](#), limit building height to 35 feet. The proposed solid waste transfer and recovery facility requires a building height of 48 feet to accommodate the needed ceiling height clearances for the processing equipment.

The available site area for the proposed building expansion is limited in size. To achieve the landfill removal percentage required in accordance with AB 341, which requires the reduction of greenhouse gas emissions by diverting waste from landfills and to reach California's recycling goal of 75-percent by the year 2020, the floor storage space and processing equipment required to process the materials received in the building will need to be designed with vertically stacked equipment. Processing equipment vendors can design the equipment to provide the most efficient layout within the site area constraints, however, to do so the equipment will need to accommodate vertical height. In addition, the roof structure above the equipment will need to support the necessary roof loads for electrical, lighting, fire sprinklers, mechanical equipment, and photovoltaics. A building height of 48 feet will accommodate processing equipment and the needed ceiling height clearances.

Fence/Wall Height: SDMC Section 142.0310(c) limits solid fence/wall heights in required front and street side yards to three feet. The proposed solid waste transfer and recovery facility proposes a deviation to the fence/wall regulations to accommodate a seven foot solid wall within a required street side and front yard along a portion of Dalbergia Street and Vesta Street to screen the processing equipment.

The project proposes to extend the existing concrete masonry unit (CMU) wall along the perimeter of the existing facility to the perimeter of the proposed addition along Vesta Street and partially along Dalbergia Street. The proposed wall will promote a safe work

environment while maintaining the architectural integrity of the existing screen wall and the additional height will provide screening of on-site operations. Through conditions in the permit, the property owner will maintain the wall free from dilapidated or dangerous conditions and in a graffiti-free condition. The City of San Diego Police Department (SDPD) recommended at least a seven-foot high fence to match the existing screen wall along property for security reasons.

Off-Street Parking: The project site is within the Barrio Logan Planned Subdistrict B and has the Land Use designation of Residential/Commercial/Industrial. Most of the uses in the vicinity rely on street parking for both employee and visitor parking. The area is primarily industrial and commercial use, with a few residences along Vesta Street and on Dalbergia Street east of Vesta Street. The San Diego Municipal Code states that the required automobile parking spaces for Barrio Logan Subdistrict B for industrial spaces, facilities with a majority of floor area dedicated to large equipment, tanks, vessels, and automated machinery may use a minimum parking ratio of 1 parking space per 1,000 square feet of floor area. Applying these rates, a total of 52 parking spaces would be required per the San Diego Municipal Code.

The proposed solid waste transfer and recovery facility will be a use-type facility that includes processing equipment and limited employees. The proposed facility will be operated by a mixture of managers, supervisors, and an equipment labor force. To keep pace with the processing of incoming material, the operation will be split into two shifts. Each shift will have a total of 25-28 employees, with some employees staying for both shifts, (i.e. managers and supervisors). There will be a 60-minute window between shifts, which will mitigate any overlap in parking demand.

Based on City of San Diego approval of the preceding development permit BLP/CDP 8488 and SDP-8489, a total of thirty-one (31) off-street parking spaces were required with an operational staff count of twelve (12). With the proposed development the operational staff count is estimated to be twenty-nine (29) for the maximum parking demand. Due to existing driveways along Dalbergia Street frontage being removed and only one larger driveway being added at the north portion of the project, an additional 11 spaces will be added to the street parking. The parking and trip generation study conducted by Kimley-Horn, dated Dec. 22, 2017, analyzed the site to determine the existing on-street parking. The study reviewed available on-street parking within a quarter-mile from the site, which was considered an acceptable walking distance for pedestrians. The study indicated there are 295 on-street parking spaces within the study area. Observed available on-street spaces within the preferred areas for Tuesday and Thursday were averaged to determine if there would be enough available parking to accommodate the project. The results show that during the peak mid-day afternoon period the parking demand of 29 spaces generated by the project can be accommodated within the preferred parking supply area, along with on-site parking, with 12 additional parking spaces remaining. Therefore, the projected parking demand from the proposed development to utilize on-street facilities in the area, would not impact acceptable parking or traffic levels and no impacts to the commercial or residential neighborhood nearby would be anticipated.

Staff analyzed the requested deviations to determine consistency with the goals and recommendations of the General Plan, Barrio Logan/Harbor 101 Community Plan, and the purpose and intent of BLPD-SUBD-B. The proposed deviations will not adversely affect the plans and are appropriate for the site. The deviations are allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section 143.0915.

Staff analyzed the requested deviations to determine consistency with the goals and recommendations of the General Plan, Barrio Logan/Harbor 101 Community Plan, and the purpose and intent of BLPD-SUBD-B. The proposed deviations will not adversely affect the plans and are appropriate for the site. The deviations are allowed by a Site Development Permit for projects utilizing the Affordable/In-Fill Housing and Sustainable Buildings Regulations from SDMC section 143.0915. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

3. The site is physically suitable for the type and density of development.

The site has been previously graded and developed with an existing solid waste transfer and recovery facility. The project proposes to expand the solid waste transfer station from 29,550 to 60,680 square feet to increase the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas or electricity. The solid waste transfer and recovery facility will expand within the existing site and into an adjacent alley proposed to be vacated as part of the project application. The expansion of the solid waste transfer and recovery facility is consistent with the community plan's land use designation of Residential/Commercial/Industrial and Subdistrict B zoning designation. Therefore, the site is physically suitable for the type and density of the development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Mitigated Negative Declaration No. 515674 has been prepared in accordance with the State of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program for Air Quality has been prepared and will be implemented which will reduce impacts, to below a level of significance. Mitigation includes odor minimization through site design and management practices as identified in MND No. 515674. The project now avoids or mitigates any potentially significant environmental impacts to air quality in accordance with the California Environmental Quality Act. The project is located within an urbanized and built-out environment where there are no watercourses or environmentally sensitive lands harboring fish or wildlife on or adjacent to the site. Therefore, the subdivision or the proposed improvements will not cause substantial environmental damage or substantially injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project proposes to expand an existing solid waste transfer and recovery facility from 29,550 to 60,580 square feet to increase the sorting and extraction of recyclable material collected

from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas. Mitigated Negative Declaration No. 515674 has been prepared in accordance with the State of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program for Air Quality has been prepared and will be implemented which will reduce impacts, to below a level of significance.

The proposed project including the review of grading design, provisions of a new driveway, drainage, architecture, landscape, and environmental impacts, has been designed to conform with the City of San Diego's codes, policies, and regulation with the primary focus of protecting the public's health, safety and welfare. The conditions of approval of the project requires compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would work at the site and within the community. Conditions of approval address driveway, public improvements, landscaping and grading. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features, such as source control and treatment control Best Management Practices and the harvesting of storm runoff for use as portable water supply to irrigation, plumbing fixtures, facility misting and transfer truck wash down.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Additionally, prior to the issuance of any construction permit, the owner shall submit the appropriate Solid Waste Facilities Permit Application to the Local Enforcement Agency (LEA) to address the proposed changes to the site and operations. Before the actual construction of the project, City staff will review construction plans against the Uniform Building Code to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The project proposes consolidated 22 lots into one parcel and to expand an existing solid waste transfer and recovery facility from 29,550 to 60,680 square feet to increase the sorting and extraction of recyclable material collected from municipal solid waste and for the development of an anaerobic digester to create renewable natural gas or electricity. The proposed subdivision will not conflict with existing public easements as there are none on the site. The site is adjacent to an unnamed alley proposed to be vacated with the project's application to accommodate the facilities expansion. General utilities run along the alley, Vesta Street, Dalbergia Street and Una Street public rights-of-ways and not through the existing project site. Within the alley there are existing utilities including a power pole, pole lighting, data lines, a gas supply line, a sanitary sewer line, and a storm drain line. As a condition of the solid waste transfer and recovery facility expansion and approval of the associated Tentative Map Waiver, public utilities within the alley will be relocated and/or removed accordingly, which will remove any need to access the utilities that once existed.

The subdivision proposes public improvements to include new driveway curb cuts along Dalbergia and Vesta Streets, reconstruction of damaged portions of the sidewalk and curbs adjacent to the site, and the addition of 11 diagonal parking spaces along Dalbergia Street sidewalk.

Therefore, the design of the subdivision and proposed improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

As a component of the proposed project, the existing solid waste transfer and recovery facility will utilize renewable energy technology, self-generating at least 30-percent of the projected total energy consumption on site through photovoltaic technology and from an Anaerobic Digestion (AD) to create natural gas or electricity. The AD would include five digester vessels above ground that are mechanically filled with a mix of incoming materials from the transfer building collected from the public's solid waste to create sustainable fuel. The photovoltaic system will be located on a portion of the roofs and the AD will be located at grade within the projects boundary. The photovoltaic system and renewable natural gas will have the capacity to generate energy to run the heating and cooling system proposed for the solid waste transfer and recovery facility. Additionally, the project will exceed the minimum sustainable criteria by targeting a Leadership in Energy and Environmental Design (LEED) Silver rating by creating a sensitive design that utilizes energy efficient means and methods of construction as well as a design that utilizes the local climate through passive solar design features and design elements. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The proposed expansion will not affect the housing stock in the area as the existing solid waste transfer and recovery facility is being expanded without impacting existing housing. Public services will not be affected and will remain at utility agency standards as overhead utilities will be undergrounded and utilities relocated to accommodate the expansion of the solid waste transfer and recovery facility. The solid waste transfer and recovery facility will extract recyclable material which would normally be deposited at the City's landfill. Extracting recyclable material will make the project consistent with the City's Climate Action Plan which requires a 75 percent landfill diversion by 2020, 90 percent by 2035, and Zero Waste by 2040. Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Tentative Map Waiver No. 1879227, is hereby granted to DEL PROPERTIES LP and EDCO DISPOSAL CORPORATION subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: MARA ELLIOTT, City Attorney

By _____
Name
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
R-R-[Reso Code]

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007044

CITY COUNCIL
CONDITIONS FOR TENTATIVE MAP NO. 2203529
EDCO RECOVERY - PROJECT NO. 515674 [MMRP]
ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map will expire December 4, 2021.
2. Compliance with all the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of a Parcel Map the Subdivider shall relocate all utilities located in the unnamed alley adjacent to the site.
5. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
6. The Tentative Map shall conform to the provisions of Coastal Development Permit No. 2103481 and Site Development Permit No. 2103482.
7. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

8. Pursuant to the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Subdivider will be required to install a new street light along Dalbergia Street adjacent to the site.

9. Pursuant to the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Owner/Permittee shall assure, by permit and bond to update all street lights and to upgrade the luminaire wattage for the street lights adjacent to the site along Dalbergia Street adjacent to the site.
10. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
11. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
12. Conformance with the "General Conditions for Tentative Subdivision Maps" filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

13. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
14. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
15. The Tentative Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

GEOLOGY

16. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where during development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24007044

CITY COUNCIL
RESOLUTION NUMBER _____
A RESOLUTION ADOPTING MITIGATED NEGATIVE DECLARATION NO. 515674
AND THE MITIGATION MONITORING AND REPORTING PROGRAM FOR THE
EDCO Recycling - PROJECT NO. 515674

WHEREAS, on August 17, 2017, EDCO Disposal Corporation, submitted an application to the Development Services Department for a Public Right-of-Way Vacation, Tentative Map, Site Development Permit, and Coastal Development Permit for EDCO Recovery (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on December 4, 2018; and

WHEREAS, the Planning Commission considered the issues discussed in the Mitigated Negative Declaration No. 515674 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the City Council finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the City Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that City Clerk's Office is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
William Zounes
Development Project Manager
Development Services Department

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM
TENTATIVE MAP NO. 1879227
SITE DEVELOPMENT PERMIT NO. 2103482
COASTAL DEVELOPMENT PERMIT NO. 2103481
PROJECT NO. 515674

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 515674 shall be made conditions of Tentative Map No. 1879227, Site Development Permit No. 2103482, and Coastal Development Permit No. 2103481 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) and Local Enforcement Agency (LEA) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY:** The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRECONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division, City staff from MITIGATION MONITORING COORDINATION (MMC), and LEA. Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: Paleontological Monitor.

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division 858-627-3200.**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360.**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 515674 and/or Environmental Document Number 515674, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC), the City Engineer (RE), and LEA. The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).
Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.
 3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE, MMC, and LEA for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency:
 4. **MONITORING EXHIBITS:** All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery: When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE, MMC, and LEA for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
General	No Document Submittal Required	Monthly facility inspections per California Code of Regulations Title 14 requirements
Air Quality	Construction Exhibits	Prior to or at Preconstruction Meeting
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Air Quality

AIR-1: Odor Minimization through Site Design

Requirements on Applicant

Prior to building permit issuance of the anaerobic digester facility, the Applicant (EDCO Disposal Corporation) shall demonstrate to the satisfaction of City's LEA and Department of Development Service (DSD) environmental designee that the following measures are shown on the project building plans:

- The anaerobic digester facility including the anaerobic digesters and the area where feedstock will be received shall be enclosed and include a gas monitoring meter.
- A separate exhaust air system shall be installed to maintain an inward air flow from all entrances to the anaerobic digester facility and outflow through

a biofilter exhaust system to ensure that odor from the anaerobic digester facility is not detectible at adjacent property lines.

- The biofilter exhaust system shall be equipped with ammonia and hydrogen sulfide removal components.
- Exhaust flares shall be designed such that natural gas generated by the anaerobic digester facility may be supplemented with utility-provided natural gas to maintain uninterrupted combustion of exhaust gases during all phases of operation of the anaerobic digester facility.
- Compressed natural gas intended for use as vehicle fuel shall be processed to remove odorous compounds such as hydrogen sulfide.

AIR-2: Odor Minimization through Management Practices


Requirements on Applicant

Prior to operations of the anaerobic digester facility, the Applicant shall submit an Odor Impact Management Plan (OIMP) or Best Odor Management Practice Feasibility Report for the review and approval of the LEA consistent with California Code of Regulations (CCR) Title 14 Sections 17896.30 or 17896.31. The Applicant shall notify LEA of any changes to management practices outlined in the odor minimization plan prior to implementation of changes as feasible. The odor minimization plan shall outline implementation of the following management practices including, but not limited to the following:

- The Applicant shall designate and train staff members responsible for response to odor complaints. Upon receipt of a complaint, a designated staff member shall:
 - Document the odor complaint.
 - Go to the location at which the odor complaint originated or the nearest property line to the location at which the complaint originated.
 - Investigate anaerobic digester equipment for possible sources of odors.
 - Where an odor source is identified, promptly implement reasonable control measures to reduce or eliminate the source of the odor.
 - Where an odor source is identified and control measures do not eliminate the source of the odor, the staff member shall notify and consult with San Diego Air Pollution Control District staff within 24 hours.
- The exhaust air system shall be active at all times when doors to the anaerobic digester facility are open and as needed to control odor.
- Implement best management practices to prevent and/or promptly remove standing water from the site.

Attachment 12

- Where loads are overly contaminated and/or odoriferous and may release odors upon tipping, loads shall be rerouted to landfills.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title: EDCO Recovery Project 515674 Project No. For City Use Only: 515674
Project Address: 3660 Dalbergia Street
San Diego, CA 92113

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☒ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Del Properties LP ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: 6670 Federal Blvd.
City: Lemon Grove State: CA Zip: 91945
Phone No.: (619) 520-8764 (Steve South Mobile) Fax No.: (619) 287-5242 Email: ssouth@edcodisposal.com
Signature: STEVE SOUTH, AUTH'D AGENT X SS Date: September 27, 2018
Additional pages Attached: ☒ Yes ☐ No

Applicant

Name of Individual: EDCO Disposal Corporation ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency
Street Address: 6670 Federal Blvd.
City: Lemon Grove State: CA Zip: 91945
Phone No.: (619) 520-8764 (Steve South Mobile) Fax No.: (619) 287-5242 Email: ssouth@edcodisposal.com
Signature: STEVE SOUTH, PRES. X SS Date: September 27, 2018
Additional pages Attached: ☒ Yes ☐ No

Other Financially Interested Persons

Name of Individual: SEE ATTACHED PAGES ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: STEVE SOUTH X SS Date: September 27, 2018
Additional pages Attached: ☒ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

Project Title: EDCO Recovery Project 515674
Project No.: 515674
Project Add: 3660 Dalbergia Street, San Diego, CA 92113

ATTACHMENT TO OWNERSHIP DISCLOSURE STATEMENT

PROPERTY OWNER:

Del Properties LP, a California limited partnership
6670 Federal Blvd., Lemon Grove, CA 91945

PARTNERS OF DEL PROPERTIES LP:

SMTV, LLC, a California limited liability company
4952 Yerba Santa Drive, San Diego, CA 92115
50% General and Limited Partner

Dalbergia Street Properties, LLC, a California limited liability company
6670 Federal Blvd., Lemon Grove, CA 91945
50% General and Limited Partner

MEMBER OF SMTV, LLC:

Cavadias Family 2003 Trust
4952 Yerba Santa Drive, San Diego, CA 92115
100% Member

Stephen Cavadias
4952 Yerba Santa Drive, San Diego, CA 92115
50% Settlor/Beneficiary of Cavadias Family 2003 Trust

Tula J. Cavadias
4952 Yerba Santa Drive, San Diego, CA 92115
50% Settlor/Beneficiary of Cavadias Family 2003 Trust

MEMBERS OF DALBERGIA STREET PROPERTIES, LLC:

Edward Burr 2006 Grantor Trust
6670 Federal Blvd., Lemon Grove, CA 91945
50% Member

Sandra Burr 2006 Legacy Exempt Trust
6670 Federal Blvd., Lemon Grove, CA 91945
50% Member

Edward G. Burr
6670 Federal Blvd., Lemon Grove, CA 91945
Beneficiary of Trusts Named Above

Sandra L. Burr
6670 Federal Blvd., Lemon Grove, CA 91945
Beneficiary of Trusts Named Above

APPLICANT / LESSEE OF PROPERTY:

EDCO Disposal Corporation, a California corporation
6670 Federal Blvd., Lemon Grove, CA 91945

SHAREHOLDERS OF EDCO DISPOSAL CORPORATION:

Edward G. Burr
6670 Federal Blvd., Lemon Grove, CA 91945
50% Shareholder (50% Beneficial Interest)

Sandra L. Burr
6670 Federal Blvd., Lemon Grove, CA 91945
50% Shareholder (50% Beneficial Interest)

X 

September 27, 2018

Steve South
Authorized Agent of Owner
President of Applicant

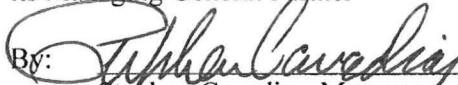
APPOINTMENT OF AGENT

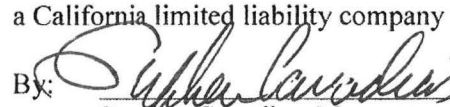
THE UNDERSIGNED, all of whom have an interest in that certain real property commonly known as Lots 3-22 and A-B of the block bounded by Dalbergia, Vesta and Una Streets in the City of San Diego, California, more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference (the "Property"), hereby appoint STEVE SOUTH as their authorized agent to file and process any and all applications and similar requests for permits, licenses and other entitlements from the City of San Diego, County of San Diego and any other governmental entity related to the redevelopment of the Property and construction of improvements on the Property and all matters related thereto, and authorize him to represent the undersigned to utilities, contractors, consultants, the City of San Diego, the County of San Diego, and other governmental agencies.

Any and all documents signed by Steve South on behalf of the undersigned, or any of them, as Authorized Agent or otherwise, shall be deemed the act of the undersigned.

Executed in San Diego, California, as of September 26, 2016.

Del Properties LP
a California limited partnership
by SMTV, LLC
a California limited liability company
its Managing General Partner

By: 
Stephen Cavadias, Manager

SMTV, LLC
a California limited liability company
By: 
Stephen Cavadias, Manager

The Cavadias Family Trust
dated June 19, 2003

By: 
Stephen Cavadias, Trustee

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not to the truthfulness, accuracy, or validity of the document.

STATE OF CALIFORNIA)
)
COUNTY OF SAN DIEGO)

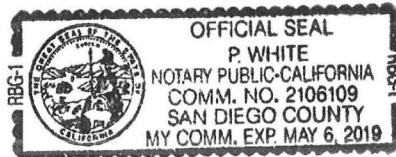
On October 28, 2016 before me, P. White (Notary Public),
Notary Public, personally appeared STEPHEN CAVADIAS, who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument
and acknowledged to me that he she they executed the same in his her their authorized
capacity(ies), and that by his her their signature(s) on the instrument the person(s), or the entity
upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY of PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____

P. White



(Seal)

October 2016

City of San Diego • Information Bulletin 620

Page 3 of 4



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Edco Recovery		Project Number: 515674	Distribution Date:
Project Scope/Location: ROW Vacation, TM and Amend CDP 8488 & SDP 8489 to increase the sq.ft. of an existing solid waste transfer station from 28,850 to 61,913 sq. ft. Work includes alley vacation and lot consolidation of 4-ft of Lot 2, Lots 3-22 & Lots A-B of Map 220. The 1.61-acre site is located within the Coastal Overlay zone (Non-Appealable) at 3608-3698 Dalbergia Street in the BLPD-SUBD-B zone(s) within the Barrio Logan Community Plan area within Council District 8.			
Applicant Name: Steve South		Applicant Phone Number: 619.287.3532	
Project Manager: Will Zounes	Phone #: (619) 687-5942	E-mail Address: wzounes@sandiego.gov	

Project Issues (To be completed by Community Planning Committee for initial review):

NONE

Attach Additional Pages If Necessary.

Please return to:
Project Management Division
City of San Diego
Development Services Department
1222 First Avenue, MS 302
San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Edco Recovery	Project Number: 515674	Distribution Date:
---------------------------------------	----------------------------------	---------------------------

Project Scope/Location:
ROW Vacation, TM and Amend CDP 8488 & SDP 8489 to increase the sq.ft. of an existing solid waste transfer station from 28,850 to 61,913 sq. ft. Work includes alley vacation and lot consolidation of 4-ft of Lot 2, Lots 3-22 & Lots A-B of Map 220. The 1.61-acre site is located within the Coastal Overlay zone (Non-Appealable) at 3608-3698 Dalbergia Street in the BLPD-SUBD-B zone(s) within the Barrio Logan Community Plan area within Council District 8.

Applicant Name: Steve South	Applicant Phone Number: 619.287.3532
---------------------------------------	--

Project Manager: Will Zounes	Phone #: (619) 687-5942	E-mail Address: wzounes@sandiego.gov
--	-----------------------------------	--

Committee Recommendations (To be completed for Initial Review):

<i>BARRIO LOGAN PLANNING GROUP</i>			
<input checked="" type="checkbox"/> Vote to Approve <i>OCTOBER 18, 2017</i>	Members Yes <i>7</i>	Members No <i>2</i>	Members Abstain <i>0</i>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain

<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)	<input type="checkbox"/> Continued
--	---

CONDITIONS:
NONE

NAME: <i>MARK STEELE</i>	TITLE: <i>CHAIR BLPG</i>
------------------------------------	------------------------------------

SIGNATURE: <i>Mark Steele</i>	DATE: <i>5/17/18</i>
---	--------------------------------

Attach Additional Pages If Necessary.	Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101
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896

Attachment 15
CDP No. 90-0544
Page 1 of 8

COASTAL DEVELOPMENT PERMIT NO. 90-0544
BAY CITIES SERVICES ROOF ADDITION
PLANNING DIRECTOR

This Coastal Development Permit is granted by the Planning Director of the City of San Diego to BAY CITIES SERVICES, a California Corporation, Owner/Permittee, pursuant to Section 105.0201 of the Municipal Code of the City of San Diego.

1. Permission is hereby granted to Owner/Permittee to construct a Coastal Development located at 3660 Dalbergia Street, described as Lots 11-20, Block 262 of Guion's Addition according to Map No. 220, in the BLPDO-B Zone.
2. The facility shall consist of the following:
 - a. A 20,486-square-foot roof structure;
 - b. Landscaping;
 - c. Off-street parking; and
 - d. Incidental accessory uses as may be determined incidental and approved by the Planning Director.
3. Not fewer than 16 off-street parking spaces shall be maintained on the property in the location shown on Exhibit "A," dated October 31, 1990, on file in the office of the Planning Department. Parking spaces shall comply with Division 8 of the Zoning Regulations of the Municipal Code and shall be permanently maintained and not converted for any other use. Parking space dimensions shall conform to Zoning Ordinance standards. Parking areas shall be clearly marked at all times. Landscaping located in any parking area shall be permanently maintained and not converted for any other use.
4. No permit shall be granted nor shall any activity authorized by this permit be conducted on the premises until:
 - a. The Permittee signs and returns the permit to the Planning Department; and
 - b. The Coastal Development Permit is recorded in the office of the County Recorder.
5. Before issuance of any building permits, complete grading and working drawings shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated October 31, 1990, on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.

6. Before issuance of any grading or building permits, a complete landscape plan, including a permanent irrigation system, shall be submitted to the Planning Director for approval. The Plans shall be in substantial conformity to Exhibit "A," dated October 31, 1990, on file in the office of the Planning Department. Approved planting shall be installed before issuance of any occupancy permit on any building. Such planting shall not be modified or altered unless this permit has been amended and is to be maintained in a disease, weed and litter free condition at all times.

7. The property included within this coastal development shall be used only for the purposes and under the terms and conditions set forth in this permit unless authorized by the Planning Director or the permit has been revoked by the City of San Diego.

8. This Coastal Development Permit may be cancelled or revoked if there is a material breach or default in any of the conditions of this permit. Cancellation or revocation may be instituted by the City of San Diego or Permittee.

9. This Coastal Development Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.

10. The use of texture or enhanced paving shall be permitted only with the approval of the City Engineer and Planning Director, and shall meet standards of these departments as to location, noise and friction values, and any other applicable criteria.

11. To the extent this condition is consistent with state and local laws, this project shall comply with the standards, policies and requirements in effect at the time of approval of this project, including any successor or new policies, financing mechanisms, phasing schedules, plans and ordinances relating to growth management adopted by the City of San Diego after January 11, 1990. The owner/permittee may challenge the legality of the imposition of future requirements pursuant to this condition at the time such future requirements and their impact on the project are defined.

12. If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind per the approved plans.

13. All mitigation measures listed in the Negative Declaration No. 90-0544 of October 31, 1990 are incorporated as conditions within this permit by reference.

14. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the replacement of curb and sidewalk as necessary adjacent to this site on Dalbergia Street, in a manner satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the applicant shall:

- a. Ensure that building address numbers are visible and legible from the street.
- b. Show the location of all fire hydrants on the plot plan.

16. At no time shall this facility, without an amendment to San Diego Resource Recovery Transfer Station Permit No. 37-55-005, accept putrescible waste, or any other type of waste besides dry wastes such as wood, cardboard, paper, etc. This facility shall at all times comply with the requirements of the County of San Diego Hazardous Materials Management Division, and all other Governmental Agencies.

17. Unless appealed this Coastal Development Permit shall become effective on the eleventh day following the decision of the Planning Director (November 13, 1990).

18. Unless appealed this Coastal Development Permit shall become effective on the eleventh working day following receipt by the Coastal Commission of the Notice of Final Action.

19. This Coastal Development Permit must be utilized within 36 months after the effective date. Failure to utilize the permit within 36 months will automatically void the permit unless an extension of time has been granted as set forth in Section 105.0216 of the Municipal Code.

20. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in the event that a challenge pertaining to future growth management requirements is found by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, the Planning Director shall have the right, but not the obligation, to review this Permit to confirm that the purpose and intent of the original approval will be maintained.

APPROVED by the Planning Director of the City of San Diego on October 31, 1990.

AUTHENTICATED BY:

Karen Lynch-Ashcraft

Karen Lynch-Ashcraft, Senior Planner, City of San Diego Planning Department

STATE OF CALIFORNIA) SS.
COUNTY OF SAN DIEGO)

On this 3rd day of December, in the year 1990, before me, Catherine L. Meyer, a Notary Public in and for said County and State, personally appeared Karen Lynch-Ashcraft, personally known to me (or ~~proved to me on the basis of satisfactory evidence~~) to be the person who executed this instrument as Senior Planner of the Planning Department of the City of San Diego and acknowledge to me that the Municipal Corporation executed it.

IN WITNESS THEREOF, I have hereunto set my hand and official seal in the County of San Diego, State of California, the day and year in this certificate first above written.

Catherine L Meyer

Catherine L. Meyer

Notary Public in and for the County of San Diego, State of California



PERMITTEE(S) SIGNATURE AND AUTHORIZATION

The undersigned Permittee(s), by execution thereof, agrees to each and every condition of this permit and promises to perform each and every obligation of Permittee(s) thereunder.

BY: *Stephen Cavadias President*

BAY CITIES SERVICES
A CALIFORNIA CORPORATION
OWNER/PERMITTEE

TO 1945 CA (8-74)

(Corporation)

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

SS.

900

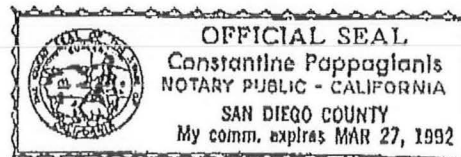
On December 11, 1990 before me, the undersigned, a Notary Public in and for said State, personally appeared STEPHEN CAVADIAS known to me to be the President, and

known to me to be Secretary of the corporation that executed the within Instrument, known to me to be the persons who executed the within Instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors.

WITNESS my hand and official seal.

Constantine Pappagianis
Signature

ATICOR COMPANY



(This area for official notarial seal)

TION

NOTICE OF DETERMINATION

TO: x County Clerk
County of San Diego
220 W. Broadway, MS C-11
San Diego, CA 92101

FROM: City of San Diego
Planning Department
202 C Street
San Diego, CA 92101

DEP Number: 90-0544 State Clearinghouse Number: N/A

Project Title: ROOF STRUCTURE ADDITION - BAY CITIES SERVICES

Project Location: 3660 Dalbergia Street between Una and Vesta
Streets, west of I-5 in the Community of Barrio
Logan in the City of San Diego.

Project Description: Coastal Development Permit to construct a
140 feet by 147 feet, 30 feet high, frame
roof structure at an existing facility which
processes cardboard, wood, and other dry
waste.

This is to advise that the City of San Diego Planning Director on November 21, 1990 approved the above described project and made the following determinations:

1. The project in its approved form will, x will not, have a significant effect on the environment.
2. An Environmental Impact Report was prepared for this project and certified pursuant to the provisions of CEQA.
x A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.

Record of project approval may be examined at the above address.

3. Mitigation measures were, x were not, made a condition of the approval of the project.

It is hereby certified that the final environmental report is available to the general public at the office of the Development and Environmental Planning Division, Fourth Floor, 202 "C" Street, Mail Station 4A, San Diego, CA 92101.

Analyst: Kovac

Telephone: (619) 236-6268

Filed by: John M. Kovac
Senior Planner
Title

RESOLUTION NUMBER R-8748

ADOPTED ON NOVEMBER 21, 1990

WHEREAS, on May 25, 1990, Bay Cities Services submitted an application to the Planning Department for a Coastal Development Permit;

WHEREAS, the permit was set for public hearing to be conducted by the Planning Director of the City of San Diego: and

WHEREAS, the issue was heard by the Planning Director of the City of San Diego on November 21, 1990 ; and

WHEREAS, the Planning Director of the City of San Diego considered the issues discussed in the Negative Declaration No. 90-0544; NOW THEREFORE,

BE IT RESOLVED, by the Planning Director, that it is hereby certified, that the information contained in Negative Declaration No. 90-0544, together with any comments received during the public review process, has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code Section 21000 et seq.), as amended, and the State guidelines thereto (California Administrative Code Section 15000 et seq.), and that said Report has been reviewed and considered by the Planning Director.

BE IT FURTHER RESOLVED, that the Planning Director finds, based upon the Initial Study and any comments received, that there is no substantial evidence that the project will have a significant effect on the environment and therefore, that said Negative Declaration is hereby approved.

By: 

John M. Kovac
Senior Planner

COUNTY RECORDER, PLEASE RECORD
RESTRICTION ON USE OR DEVELOPMENT OF
REAL PROPERTY AFFECTING THE TITLE TO
OR POSSESSION THEREOF.

AS: 1991-0007366
Attachment 15
CDP No. 90-0544
Page 7 of 8
SAN DIEGO COUNTY RECORDER'S OFFICE
ANNETTE EVANS, COUNTY RECORDER
9.00 FEES: 17.00
8748
90-0544
9.00
7.00
1.00

Recording requested by
and mail to:

City of San Diego
Planning Department
200 C Street, M.S. 4A
San Diego, CA 92101-3864

PLANNING DIRECTOR RESOLUTION NO. 8748
COASTAL DEVELOPMENT PERMIT NO. 90-0544

WHEREAS, BAY CITIES SERVICES, INC., a California Corporation, Owner/Permittee, filed an application for a Coastal Development Permit to develop subject property located at 3660 Dalbergia Street in the Barrio Logan Community Plan Area, described as Lots 11-20, Block 262 of Guion's Addition according to Map No. 220, in the Subdistrict "B" Zone; and

WHEREAS, on October 31, 1990, the Planning Director of the City of San Diego considered Coastal Development Permit No. 90-0544 pursuant to Section 105.0200 of the Municipal Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Director of the City of San Diego as follows:


1. That the Planning Director adopts the following written Findings, dated October 31, 1990.

FINDINGS:

- a. The proposed development will not encroach upon any existing or proposed public accessway vantage points as identified in the Barrio Logan Planned District and Local Coastal Program.
- b. The proposed site does not contain marine, archaeological or paleontological resources or other environmentally sensitive resources as identified in the Barrio Logan Community Plan. Therefore, the proposed development would not affect these resources.
- c. The proposed development is not located on a site containing biologically sensitive lands and significant prehistoric and historic resources nor is it required to comply with the Resource Protection Ordinance.
- d. The proposed development is not located near any recreational or visitor-serving facilities as identified in the Barrio Logan Community Plan and Local Coastal Plan, so it will not adversely impact these facilities.
- e. The project site is not located on adjacent parks and recreation areas. Thus, the proposed development will not affect environmentally sensitive habitats and scenic resources identified as such in the Barrio Logan Community Plan and Local Coastal Program.

- f. The proposed development is located on a previously developed site and therefore will require little or no grading. Therefore, the project will not cause undue risks from geologic and erosional forces and/or flood and fire hazards.
- g. The proposed development is a 30-foot-high roof structure to cover an existing paved work yard, located in an area of mixed industrial and residential uses. Therefore, the proposed development will be visually compatible with the character of surrounding areas.
- h. The proposed development will conform with the City of San Diego Municipal Code, the Barrio Logan Community Plan, Barrio Logan Planned District Ordinance and the Local Coastal Program, and any other applicable adopted plans and programs.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Director Coastal Development Permit No. 90-0544 is hereby GRANTED to BAY CITIES SERVICES, INC., Owner/Permittee, in the form and with the terms and conditions as set forth in Coastal Development Permit No. 90-0544, a copy of which is attached hereto and made a part hereof.


Karen Lynch-Ashcraft
Senior Planner

Adopted on: October 31, 1990

CITY OF SAN DIEGO
COASTAL DEVELOPMENT PERMIT
NOTICE OF FINAL ACTION

DATE: October 27, 1999

The following project is located within the City of San Diego Coastal Zone. A Coastal Permit application for the project has been acted upon as follows:

APPLICATION NUMBER: 99-0280

PROJECT DESCRIPTION: Demolish of existing buildings and the upgrade and expansion of an existing solid waste transfer station.

PROJECT NAME: EDCO Transfer Station

LOCATION: 3660 Dalbergia Street, San Diego, CA 92113

APPLICANT'S NAME/ADDRESS: Steve South, 6670 Federal Boulevard, Lemon Grove, CA 91945

FINAL ACTION: ☒ APPROVED

ACTION BY: ☒ Hearing Officer

ACTION DATE: October 13, 1999

CONDITIONS OF APPROVAL: See attached resolution.

FINDINGS: See attached resolution.

Project Planner: Patricia Grabski
23606800
MS 502

6088

DOC # 1999-0737478

Attachment 16
Barrio Logan/CDP No 99-0280

NOV 04, 1999 2:26 PM

Page 2 of 12

RECORDING REQUESTED BY
CITY OF SAN DIEGO
PLANNING & DEVELOPMENT REVIEW

AND WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 38.00



1999-0737478

SPACE ABOVE THIS LINE FOR RECORDER'S USE

BARRIO LOGAN/COASTAL DEVELOPMENT PERMIT NO. 99-0280
EDCO TRANSFER STATION
(AMENDMENT TO BARRIO LOGAN /COASTAL DEVELOPMENT PERMIT 90-0544)
City Manager

This Permit, Amendment to Barrio Logan/Coastal Development Permit No. 90-0544, is granted by the City Manager of the City of San Diego to EDCO Disposal Corporation, Owner/Permittee, pursuant to Sections 101.2000, 103.0900, and 105.0201 of the Municipal Code of the City of San Diego. The 1.287 acre site is located at 3660 Dalbergia Street in Area B of the Barrio Logan Planned District in the Barrio Logan Community Plan area. The project site is legally described as Lots 5 through 22, and A & B, Block 262 of Guion's Addition, Map No. 220.

Subject to the terms and conditions set forth in this permit, permission is granted to EDCO Disposal Corporation, Owner/Permittee to demolish structures on site to upgrade and expand an existing solid waste transfer station. The improvements would allow the facility to increase the average tonnage of waste accepted per day from 200 to a maximum of 750 tons. The project is described as, and identified by size, dimension, quantity, type and location on the approved Exhibits "A", dated October 13, 1999, on file in the Office of Planning and Development Review. The facility shall include:

- a. A 29,550 square-foot structure enclosed with metal walls and a ventilation system, the structure includes truck scales and a scale house;
- b. Landscaping;
- c. Thirty-one (31) off-street parking spaces;
- d. Maximum of twelve (12) employees;
- e. Hours of operation are between 6:00 AM and 9:00 PM, Monday through Saturday; and,
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted Community Plan; California Environmental Quality Act guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this permit, and any other applicable regulations of the Municipal Code in effect for this site.

ORIGINAL

1. Construction, grading or demolition must commence and be pursued in a diligent manner within 36 months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within 36 months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the Municipal Code requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decisionmaker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to Planning and Development Review; and,
 - b. The Permit is recorded in the office of the San Diego County Recorder.
3. Unless this permit has been revoked by the City of San Diego the property included by reference within this permit shall be used only for the purposes and under the terms and conditions set forth in this permit unless otherwise authorized by the City Manager.
4. This permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.
5. The utilization and continued use of this permit shall be subject to the regulations of this and any other applicable governmental agencies.
6. Issuance of this permit by the City of San Diego does not authorize the applicant for said permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. Section 1531 et seq.)
7. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and/or site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," dated October 13, 1999, in the Office of Planning and Development Review. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this discretionary permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded special rights which the holder of the Permit is obtaining as a result of this Permit. It is the intent of the City that the Owner of the property which is the subject of this Permit either utilize the property for any use allowed under the zoning and other restrictions which apply to the property or, in the alternative, that the Owner of the property be

ORIGINAL

allowed the special and extraordinary rights conveyed by this Permit, but only if the Owner complies with all the conditions of the Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new Permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the Permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed Permit and the condition(s) contained therein.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

10. Cultural Resources - The applicant shall conduct a full-time archaeological monitoring program during grading as follows:

1. Prior to the first preconstruction meeting, the applicant shall provide a letter of verification to the Environmental Review Manager of the Land Development Review Division (LDR) stating that a qualified archaeologist and/or archaeological monitor, as defined in the City of San Diego Historical Resources Guidelines, has been retained to implement the monitoring program. The requirement for archaeological monitoring shall be noted on the grading plans under the heading "Environmental Requirements", and state "All persons involved in the archaeological monitoring of this project shall be approved by the Land Development Review Division prior to the start of monitoring. The applicant shall notify LDR of the start and end of construction."
 - a. The qualified archaeologist shall attend any preconstruction meetings to make comments and/or suggestions concerning the archaeological monitoring program with the construction manager.
 - b. The qualified archaeologist or archaeological monitor shall be present on-site full-time during grading of native soils.
 - c. When requested by the archaeologist, the resident engineer shall divert, direct or temporarily halt ground disturbing activities in the area of discovery to allow evaluation of potentially significant cultural resources. The archaeologist shall immediately notify LDR staff of such findings at the time of discovery. The significance of the discovered resource(s) shall be determined by the archaeologist, in consultation with LDR and the Native American community. LDR must concur with the evaluation procedures before grading activities are allowed to resume. For significant cultural resources, a Research Design and Data Recovery Program shall be prepared and carried out to mitigate impacts before grading activities in the area of discovery is allowed to resume. Any human bones of Native American origin shall be turned over to the appropriate Native American group for reburial.
 - d. All cultural materials collected shall be cleaned, cataloged and permanently curated with an appropriate institution. All artifacts shall be analyzed to

identify function and chronology as they relate to the history of the area. Faunal material shall be identified as to species, and specialty studies shall be completed as appropriate. Additionally, any sites and/or features encountered during the monitoring program shall be recorded with the South Coastal Information Center at San Diego State University and at the San Diego Museum of Man.

- f. Prior to the release of the grading bond, a monitoring results report and/or evaluation report, if appropriate, which describes the results, analysis, and conclusions of the above program (with appropriate graphics) shall be submitted to and approved by the Environmental Review Manager of LDR. For significant cultural resources, a Research Design and Data Recovery Program shall be included as part of the evaluation report. A mitigation report for significant cultural resources, if required, shall be submitted to and approved by the Environmental Review Manager of LDR prior to release of the grading bond.
11. Fencing - The applicant shall construct an 8-foot-high, $\frac{3}{4}$ inch thick, solid wood fence along the property line of the residential development to the west of the site.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permits, the applicant shall obtain a grading permit from the City Engineer (referred to as an "engineering permit") for the grading proposed for this project. All grading shall conform to requirements in accordance with Sections 62.0401 - 62.0423 of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
13. The drainage system proposed for this development, as shown on the approved plans, is subject to approval by the City Engineer.
14. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the installation of one (new) 30 foot driveway, the closure of all unused driveways and concomitant restoration to full-height curb, gutter and sidewalk, the replacement of an existing driveway with a new 30 foot driveway and the installation of a pedestrian ramp at the corner of Dalbergia Street and Vesta Street, all satisfactory to the City Engineer.
15. Prior to building occupancy, the applicant shall conform to Section 62.0203 of the Municipal Code, "Public Improvement Subject to Desuetude or Damage." If repair or replacement of such public improvements is required, the owner shall obtain the required permits for work in the public right-of-way, satisfactory to the permit-issuing authority.
16. Prior to the issuance of any building permits, the applicant shall obtain an Encroachment Removal Agreement, from the City Engineer, for landscaping and trees in Dalbergia Street.

PLANNING/DESIGN REQUIREMENTS:

17. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this permit

establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

18. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

19. Topographical survey conforming to the provisions of Section 101.0216 of the Municipal Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the permittee.

20. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

21. All signage associated with this development shall be consistent with sign criteria established by either of the following:

- a. Approved project sign plan (Exhibit "A," dated October 13, 1999, on file in the Office of Planning and Development Review) or;
- b. Citywide sign regulations.

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located.

23. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

24. The subject property shall be maintained in a neat and orderly fashion at all times.

25. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

26. No mechanical equipment, tank, duct, elevator enclosure, cooling tower or mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers and latticework.

27. No merchandise, material or equipment shall be stored on the roof of any building.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering grading permits for grading, interim landscape/

erosion control and permanent irrigation (if applicable) construction documents for slope revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Technical Manual and to the satisfaction of the City Manager. All plans shall be in substantial conformance to Permit No. 99-0280 and Exhibit "A", dated October 13, 1999, on file in the Office of Planning and Development Review.

29. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents of landscaping in the public right-of-way shall be submitted to the City Manager for approval. Improvement plans shall identify a 40 square feet permeable planter area for each street tree in the right-of-way. This area shall be identified as a rectangle with an "X" through it and labeled "permeable area for street tree." Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees. Location of street trees shall be identified and reserved during improvement activities. The construction documents shall be in substantial conformance with Exhibit "A", Landscape Concept Plan, dated October 13, 1999, on file in the Office of Planning and Development Review. No change, modification or alteration shall be made unless appropriate application or amendment of this Permit shall have been granted by the City.

30. The timely erosion control including planting and seeding of all disturbed land (slopes and pads) consistent with the approved plans is considered to be in the public interest and the Permittee shall initiate such measures within 45 days from the date that the grading of the site is deemed to be complete. Such erosion control and the associated irrigation systems (temporary and/or permanent) and appurtenances shall be installed in accordance with the approved plans and the Landscape Technical Manual.

31. Prior to issuance of any building permits for structures, complete landscape and irrigation construction documents consistent with the Landscape Technical Manual (including planting and irrigation plans, details and specifications) shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A", Landscape Concept Plan, dated October 13, 1999, on file in the Office of Planning and Development Review. No change, modification or alteration shall be made unless appropriate application or amendment of this Permit shall have been granted by the City.

32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. No change, modification or alteration shall be made unless appropriate application or amendment of this Permit shall have been granted by the City. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The Permittee, or subsequent Owner shall be responsible for the maintenance of all street trees and landscape improvements consistent with the standards of the Landscape Technical Manual.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents plans is damaged or removed during demolition, it shall be repaired and/or replaced in kind and equivalent size per the approved documents within 30 days of final inspection or issuance of a Certificate of Occupancy. The replacement size of plant material after three years shall be the equivalent size of that plant at the time of removal (the largest size commercially available and/or an increased number) to the satisfaction of the City Manager.

34. Prior to the issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee, or subsequent Owner to install all required landscape and obtain all required

landscape inspections. A No Fee Street Tree Permit, if applicable, shall be obtained for the installation, establishment and on-going maintenance of all street trees.

35. Prior to issuance of any grading, or building permits, complete landscape construction documents, including plans, details and specifications (including a permanent automatic irrigation system unless otherwise approved), shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Concept Plan, dated October 13, 1999, in the Office of Planning and Development Review. No change, modification or alteration shall be made unless appropriate application or amendment of this Permit shall have been granted.

APPROVED by the City Manager of the City of San Diego on October 13, 1999.

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ALL-PURPOSE CERTIFICATE

Type/Number of Document BLPDP/CDP 99-0280
 Date of Approval October 13, 1999

STATE OF CALIFORNIA
 COUNTY OF SAN DIEGO

Patricia Grabski

Patricia Grabski, Development Project Manager

On 10-26-99 before me, BETH ANN CARROLL (Notary Public), personally appeared Patricia Grabski, Development Project Manager of Development Services of the City of San Diego, personally known to me to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

Signature Beth Ann Carroll
 Beth Ann Carroll



(Seal)

ALL-PURPOSE CERTIFICATE

OWNER(S)/PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED OWNER(S)/PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF OWNER(S)/PERMITTEE(S) THEREUNDER.

Signed Edward Burr Signed _____
 Typed Name Edward Burr **Edco Disposal** Typed Name _____
 Corporation

STATE OF CALIFORNIA
 COUNTY OF SAN DIEGO

On 11-1-99 before me, CINTHIA A HORNE (Name of Notary Public) personally appeared EDWARD BURR, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Cynthia A Horne



(Seal)

ORIGINAL

DEVELOPMENT SERVICES DIRECTOR
RESOLUTION NO. D :1167
BARRIO LOGAN/COASTAL DEVELOPMENT PERMIT NO. 98-0280

WHEREAS, EDCO DISPOSAL CORPORATION, Owner/Permittee, filed an application for a Barrio Logan/Coastal Development Permit (amending Coastal Development Permit No. 90-0544) to allow the demolition of residential structures at 3618-3628 Dalbergia Street, and the upgrade and expansion of an existing solid waste transfer facility from 70,100 to 29,550 square-feet at 3660 Dalbergia Street in the Barrio Logan Planned District Area B; and

WHEREAS, on October 13, 1999, the City Manager of the City of San Diego considered Coastal Development Permit/ Barrio Logan Permit No. 99-0280 pursuant to Sections 101.0200, 103.0900 and 105.0200 of the Municipal Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the City Manager of the City of San Diego as follows:

That the City Manager of the City of San Diego adopts the following written Findings, dated October 13, 1999.

BARRIO LOGAN FINDINGS:

- A. The proposed exception shall not result in any substantial reduction of public views toward San Diego Bay or Centre City.**

The proposed project is not within any public view corridors identified in the Barrio Logan/Harbor 101 Community Plan and the project site is located more than one mile from the San Diego Bay. In addition, the proposed building does not exceed the 30-foot height limit and would not conflict with views to Centre City.

- B. The proposed exception is consistent with the goals, objectives and intent of the Barrio Logan Redevelopment Plan and the "Redevelopment Subdistrict" of the Barrio Logan Planned District.**

It is the goal of the "Redevelopment Subdistrict" to promote new industrial businesses and to expand existing employment centers in the Barrio Logan community to benefit the industrial base in the City of San Diego. Additionally, it is a goal of the plan to maintain a pedestrian-friendly environment. The proposed 30-foot driveways exceed the 25-foot maximum permitted in the Barrio Logan Planned District. However, the 30-foot driveways are needed to provide safe ingress and egress to the proposed solid waste transfer facility.

COASTAL DEVELOPMENT PERMIT FINDINGS:

- A. The proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an**

adopted LCP Land Use Plan; nor will it obstruct views to and along the Ocean and other scenic coastal areas from public vantage points.

The project site is more than one mile from any public accessway identified in the Local Coastal Program (LCP) Land Use Plan. In addition, the proposed project complies with the height requirements of the Zone and is more than one mile from any public view point to the San Diego Bay.

- B. The proposed development will not adversely affect marine resources, environmentally sensitive areas, or archaeological or paleontological resources.**

The site is currently paved and developed with a solid waste transfer facility. The Environmental Initial Study determined that there are no environmentally sensitive resources on the site.

- C. The proposed development will comply with the requirements related to biologically sensitive lands and significant prehistoric and historic resources as set forth in the Resource Protection Ordinance, Chapter X, Section 101.0462 of the San Diego Municipal Code, unless by the terms of the Resource Protection Ordinance, it is exempted therefrom.**

It has been determined that the project site is not within any environmentally sensitive lands and therefore is not subject to the Resource Protection Ordinance.

- D. The proposed development will not adversely affect identified recreational or visitor-serving facilities or coastal scenic resources.**

The project site is zoned for industrial development and complies with the land use designation in the Barrio Logan/Harbor 101 Community Plan. The proposed project complies with the height requirements of the Coastal Zone and is located at least one mile from any recreational or visitor-serving facilities along the San Diego Bay.

- E. The proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.**

The project site is located more than one mile from any environmentally sensitive lands and is separated from any environmentally sensitive lands by a combination of industrial, commercial and residential development.

- F. The proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.**

The site has been previously paved for an existing solid waste facility and no new grading is

proposed.

- G. The proposed development will be visually compatible with the character of surrounding areas, and where feasible, will restore and enhance visual quality in visually degraded areas.**

The visual quality of the site will be enhanced because the project proposes to enclose the existing waste transfer station and to install landscape in accordance with the City Wide Landscape Ordinance. The proposed project is within the height, bulk and scale requirements of the zone.

- H. The proposed development will conform with the City's Progress Guide and General Plan, the Local Coastal Program, and any other applicable adopted plans and programs in effect for the site.**

The proposed development will conform with the City's Progress Guide and General Plan, the Local Coastal Program, the adopted Barrio Logan/Harbor 101 Community Plan, as well as the purpose and intent of the Barrio Logan Planned District Ordinance.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the City Manager of the City of San Diego, Coastal Development/Barrio Logan Permit No. 99-0280 is hereby GRANTED to EDCO DISPOSAL CORPORATION, Owner/Permittee, in the form and with the terms and conditions as set forth in Coastal Development/Barrio Logan Permit No. 99-0280, a copy of which is attached hereto and made a part hereof.

Adopted on: October 13, 1999

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-0683

COASTAL DEVELOPMENT PERMIT No. 8488/SITE DEVELOPMENT PERMIT No. 8489
EDCO RECOVERY AND TRANSFER
(AMENDMENT TO BARRIO LOGAN/COSTAL DEVELOPMENT PERMIT 99-0280)
Hearing Officer

This amendment to Barrio Logan and Costal Development Permit 99-0280 is granted by the Hearing Officer of the City of San Diego to EDCO Disposal Corporation Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 103.0900, 126.0500 and 126.070. The 1.287 acre site is located at 3660 Dalbergia Street in the Coastal Zone and Subdistrict B of Barrio Logan Planned District of the Barrio Logan Community Plan. The project site is legally described as Lots 5 through 22, and A&B, Block 262 of Guion's Addition Subdivision, Map No. 220.

Subject to the terms and conditions set forth in this Permit, permission is granted to EDCO Disposal Corporation, Owner and Permittee, to increase the average daily tonnage of waste accepted per day from a 750 ton maximum to 1500 tons, resulting in no additional development. The project is described and identified by size, dimension, quantity, type, and location on the approved exhibits, dated August 27, 2003, on file in the Development Services Department. The exhibits are identified as follows:

A-1: General Site Plan

The project or facility shall include:

- a. Existing 29,550 square-foot enclosed structure;
- b. Existing landscaping;
- c. Existing thirty-one (31) off-street parking spaces;
- d. Maximum twelve (12) employees;

- e. Existing hours of operation, between 6:00 AM and 9:00 PM, Monday through Saturday, are to remain; and
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. Use of this permit must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
4. Approval of this permit does not negate any previous conditions or entitlements granted to and required by Barrio Logan Permit and Coastal Development Permit 99-0280. This permit grants only additional solid waste tonnage. All other requirements remain unchanged.
5. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
6. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action following all appeals.

PLANNING/DESIGN REQUIREMENTS:

10. No fewer than 31 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit A-1. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.

11. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

12. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

13. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

14. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

15. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

16. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences, or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

17. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers, and latticework.

18. No merchandise, material, or equipment shall be stored on the roof of any building.

19. No mechanical equipment shall be erected, constructed, or enlarged on the roof of any building on this site, unless all such equipment is contained within a completely enclosed architecturally integrated structure.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

20. Applicant shall comply with the oversight and reporting requirements as stipulated in the Solid Waste Facility Permit issued through the Local Enforcement Agency.

INFORMATION ONLY:

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

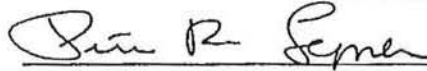
APPROVED by the Hearing Officer of the City of San Diego on August 27, 2003, Resolution Number D-4443

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1180 et seq.**

ALL-PURPOSE CERTIFICATE

Type/PTS Approval Number of Document: CDP 8488/SDP 8489

Date of Approval: August 27, 2003

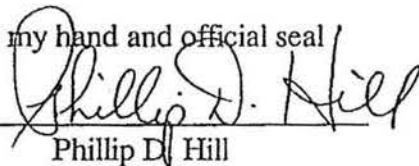
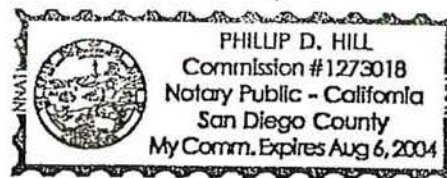
STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

Peter R. Lynch, Development Project Manager

On SEPTEMBER 12, 2003 before me, Phillip D. Hill, (Notary Public), personally appeared Peter R. Lynch, Development Project Manager of the Development Services Department of the City of San Diego, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal

Signature


Phillip D. Hill

ALL-PURPOSE CERTIFICATE

OWNER(S)/PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED OWNER(S)/PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF OWNER(S)/PERMITTEE(S) THEREUNDER.

Signed



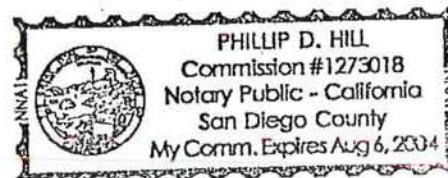
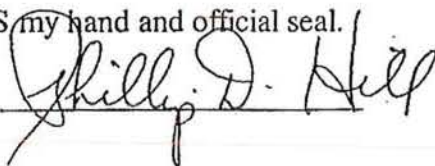
Steve South

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

On SEPTEMBER 12, 2003 before me, PHILLIP D. HILL (Name of Notary Public) personally appeared Steve South, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

Signature





The City of San Diego

Staff Report

DATE ISSUED: September 4, 2018

TO: City Council

FROM: Environmental Services Department

SUBJECT: Amendments to Non-Exclusive Solid Waste Collection Franchise Agreements

Primary Contact: Barbara Lamb Phone: (858) 573-1287

Secondary Contact: Ken Prue Phone: (858) 492-5085

Council District(s): All

OVERVIEW:

This item would authorize the execution of amendments to the Non-Exclusive Solid Waste Management Franchise Agreements for solid waste collection services provided in the City by private franchised haulers. This item also would approve increases to franchise fees payable to the City under these agreements.

PROPOSED ACTIONS:

1. Adopt an ordinance authorizing the Mayor or his designee to execute amendments to solid waste management franchise agreements with the Class I and Class II private haulers identified in Exhibit A that provide solid waste collection services within the City of San Diego.
2. Adopt a resolution approving a \$1 per ton increase in the City's Non-Exclusive Solid Waste Management Franchise Fee [Franchise Fee] to \$16 per ton for Class I Franchisees and \$17 per ton for Class II Franchisees, effective July 1, 2019; and approving an additional increase to \$17 per ton for Class I Franchisees and \$18 per ton for Class II Franchisees, effective July 1, 2022.

DISCUSSION OF ITEM:

In September 2000, a two-tier Non-Exclusive Solid Waste Collection Franchise system was established to reflect the difference in market share served by the franchised haulers. The three Class II franchisees, EDCO Disposal Corporation, Republic Services, and Waste Management (and their affiliates) collect approximately 90% of the commercial waste generated within the City, and the Class I franchisees collect about 10% (Exhibit A). Under the two-tier system, Class I franchises are for smaller companies that collect up to 75,000 tons of waste per year. Class II franchises are for companies that collect more than 75,000 tons of waste per year with no upper limit. Fees for Class I franchisees are lower than for Class II franchisees, with Class I currently paying \$15 per ton, and Class II paying \$16 per ton. Franchise Fees were last increased in 2009.

The franchise system is one component of the City's overall solid waste management system. The franchise agreements currently provide for a seven-year term with options to extend for an additional year, on an annual basis, upon approval by Council. As stated in the franchise agreements, extensions are contingent upon, among other things, the franchisee having satisfied all performance requirements of the Agreement and all amendments thereto including, but not limited to, having provided the City with all required documents and having brought all franchise fee accounts and other accounts with the City current.

The proposed amendments extend the term of the agreements from 7 to 12 years in accordance with the terms of the current franchise agreements. They also provide for annual one-year extensions to the term beginning July 1, 2024, subject to City Council approval. The amendments further include additional language regarding waste diversion requirements, conversion to alternative fuel vehicles, and require Franchisees to demonstrate annually that they have access to necessary infrastructure to meet the minimum diversion requirements. The following is a summary of the

proposed amendments contained in Class I (Exhibit B), Class II (Exhibit C), and EDCO Disposal Corporation dba Daily Disposal Services, Inc. (Exhibit D):

Article 3. Term of Agreement:

Article 3, Section 3.2 is modified to extend the term of the franchise agreements from 7 to 12 years. The revised term would be through June 30, 2030.

Article 3, Section 3.3 is modified to provide for annual one-year extensions beginning July 1, 2024, subject to City Council approval, for a rolling 7-year term thereafter.

Article 5. Solid Waste Collection Services:

Article 5, Section 5.4.2 is modified to create a requirement for the parties to meet and confer, at the City's sole discretion, regarding annual waste diversion requirements so that franchisee diversion requirements may be adjusted to reflect recycling market stabilization, implementation of State Legislation (SB 1383), and potential future State Legislation that impacts overall waste diversion requirements which would directly or indirectly affect the City.

Article 5, Section 5.4.3 is added to establish a requirement for the Franchisee to certify annually that it has access to necessary infrastructure (owned or contracted) to meet the annual minimum diversion requirements.

Article 5, Section 5.8 G is added to require conversion to alternative fuel collection vehicles by the following dates: 100% of fleet packers must be alternative fuel vehicles by 2025, and 100% of roll-off trucks must be alternative fuel vehicles by 2028. Article 7, Records and Reporting:

Article 7.4 A is modified to expand reporting requirement in support of the proposed infrastructure certification requirement.

City Strategic Plan Goal(s)/Objective(s):

Goal #1: Provide high quality public service.

Objective #1: Promote a customer-focused culture that prizes accessible, consistent, and predictable delivery of services.

Goal 2: Work in partnership with all our communities to achieve safe and livable neighborhoods

Objective #1: Protect lives, property, and the environment through timely and effective response in all communities.

Objective 4: Foster services that improve quality of life

Objective #5: Cultivate civic engagement and participation.

Goal 3: Create and sustain a resilient and economically prosperous City

Objective 4: Prepare and respond to climate change

Fiscal Considerations:

Franchise fees have not been increased since 2009. This action would increase the Franchise Fee by \$1 per ton to \$16 per ton for Class I Franchisees and \$17 per ton for Class II Franchisees, effective July 1, 2019; and subsequently increase it to \$17 per ton for Class I Franchisees and \$18 per ton for Class II Franchisees, effective July 1, 2022. Each \$1 per ton increase to the Franchise Fee results in approximately \$800,000 per year in revenue to the General Fund. This is in consideration of the impacts the Franchisees' vehicles have on City streets and to better reflect the value of the franchises. ESD will continue to analyze impact to streets, etc.; and recommend additional Franchise Fee increases if/when necessary.

Environmental Impact:

This activity is not a project as defined by the California Environmental Quality Act Section 21065 and State CEQA Guidelines Section 15378(b)(5), as it is an organizational or administrative activity of government that will not result in direct or indirect physical changes in the environment and therefore this activity is not subject to CEQA, pursuant to Section 15060(c)(3).

Equal Opportunity Contracting Information (if applicable):

These agreements are subject to the City's Equal Employment Opportunity Outreach Program (San Diego Ordinance No. 18173, Section 22.2701 through 22.2708) and Non-Discrimination in Contracting Ordinance (San Diego Municipal Code Sections 22.3501 through 22.3517).

Previous Council and/or Committee Actions:

This item was heard at the September 13, 2018 Environment Committee and forwarded to the full Council with a

recommendation to adopt the resolution and introduce the ordinance with a request to the City Attorney to provide analysis regarding the City Council's ability to earmark Road Impact Mitigation fees for road improvements.

Key Stakeholders and Community Outreach Efforts:

The key stakeholders associated with this item include the City, the City's Non-Exclusive Franchised Solid Waste Haulers, the San Diego County Disposal Association, and the City residents and businesses serviced by the Franchised Haulers.

Mario X. Sierra

Johnnie Perkins

Environmental Services Department Director

Deputy Chief Operating Officer, Infrastructure/Public Works

Attachments:

- 1) Exhibit A – Franchisee List for 2018 Franchise Amendments
- 2) Exhibit B – Tenth Amendment to the Class I Non-Exclusive Franchise Agreements for Solid Waste Management Services
- 3) Exhibit C - Ninth Amendment to Class II Non-Exclusive Franchise Agreements for Solid Waste Management Services
- 4) Exhibit D - Eighth Amendment to Class II Non-Exclusive Franchise Agreements for Solid Waste Management Services with EDCO Disposal Corporation dba Daily Disposal Services, Inc.



Project Rendering (looking southeast from Dalbergia Street)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street



Project Rendering (looking west from I-5 Off-Ramp)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street





Project Rendering (Looking northeast from Dalbergia and Vesta Street)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street

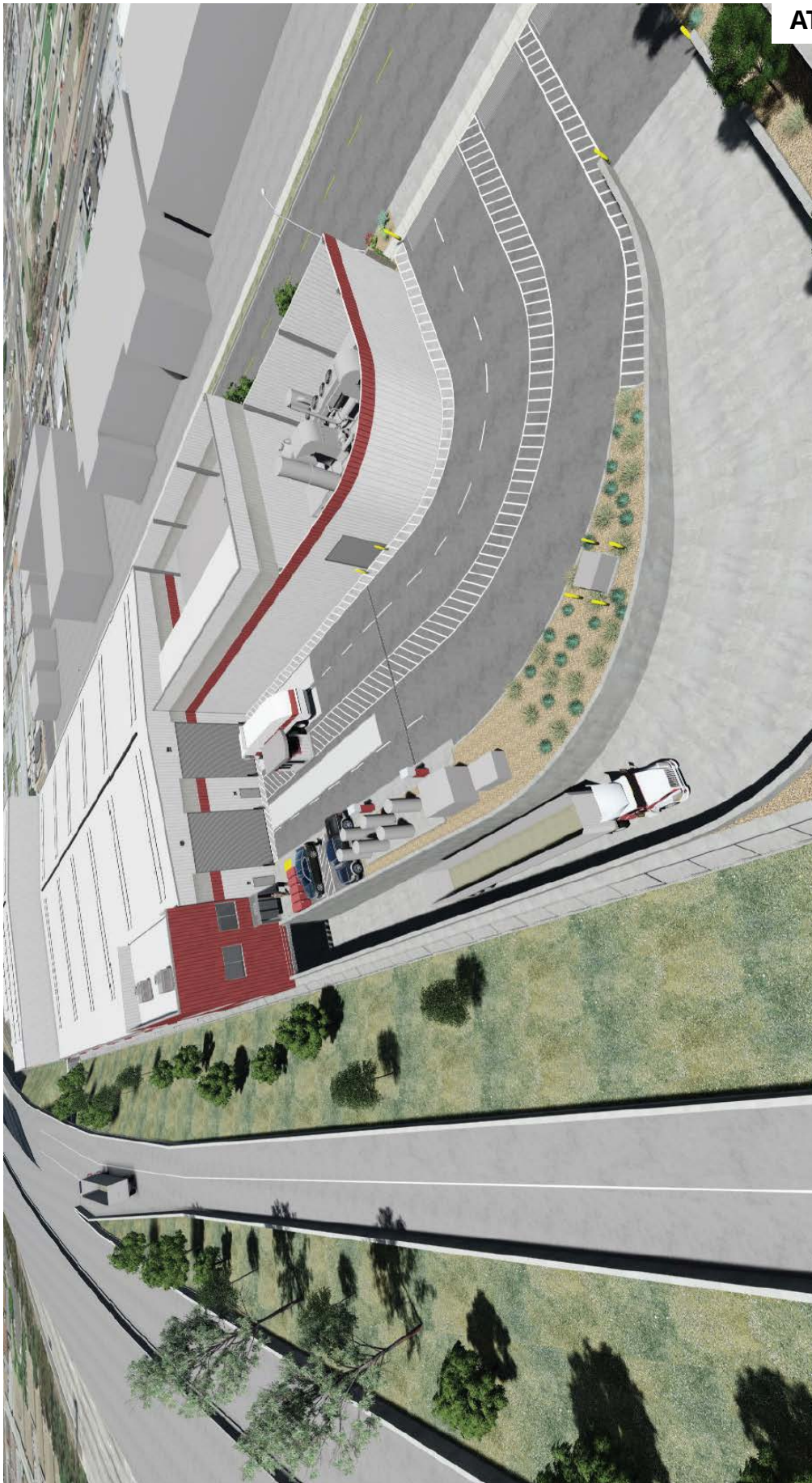




**Project Rendering (Birdseye View looking
southeast from Dalbergia Street)**

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street





Project Rendering (Birdseye View looking southwest)

EDCO Recovery Project No. 515674
3608-3698 Dalbergia Street



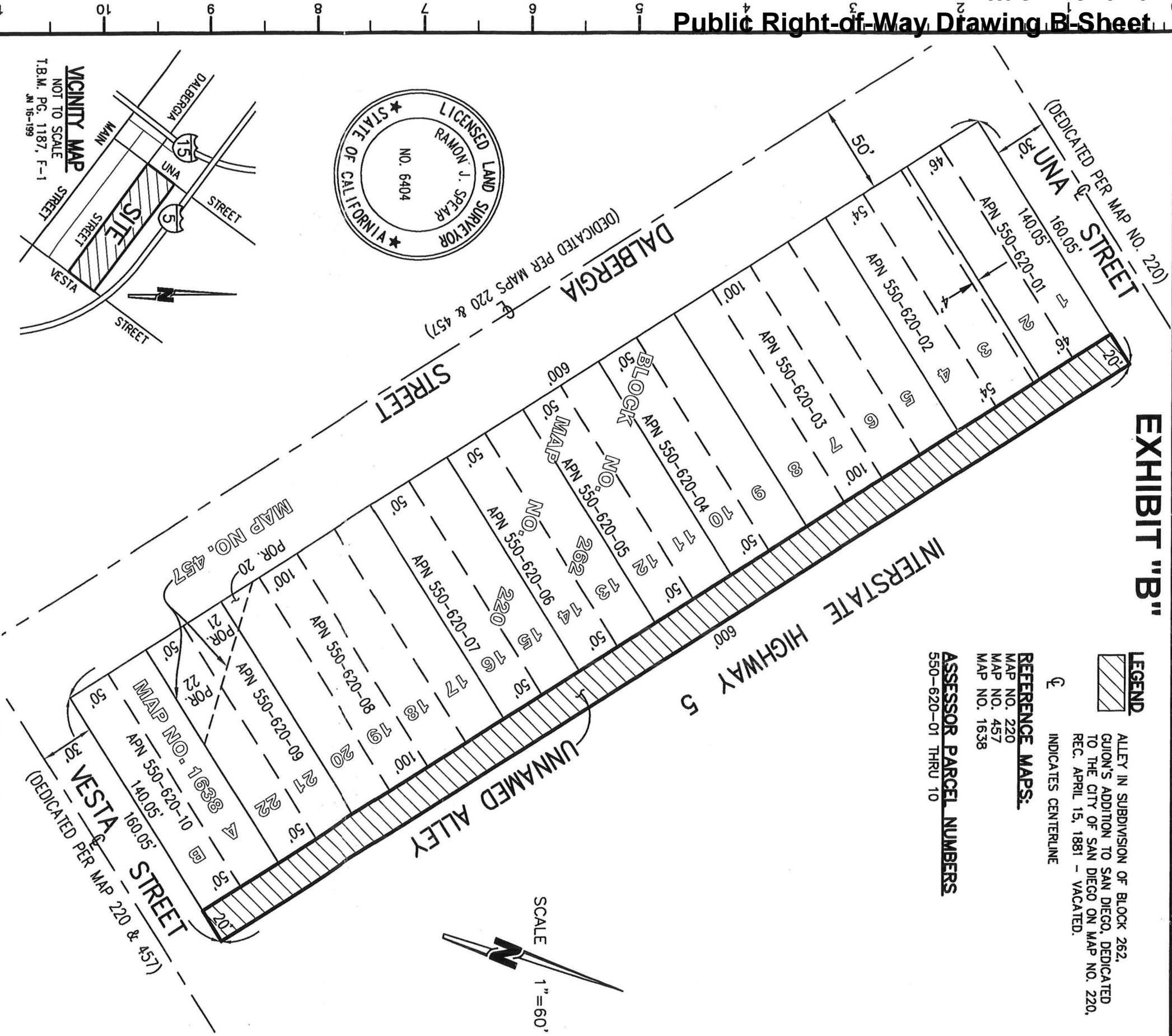
EXHIBIT "B"

LEGEND
ALLEY IN SUBDIVISION OF BLOCK 262,
GUION'S ADDITION TO SAN DIEGO, DEDICATED
TO THE CITY OF SAN DIEGO ON MAP NO. 220,
REC. APRIL 15, 1881 - VACATED.

INDICATES CENTERLINE

REFERENCE MAPS:
MAP NO. 220
MAP NO. 457
MAP NO. 1638

ASSESSOR PARCEL NUMBERS
550-620-01 THRU 10



SPEAR & ASSOCIATES, INC.
CIVIL ENGINEERING AND LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA. 92078
PHONE (760) 736-2040 FAX (760) 736-4866

BY: *[Signature]* 2/3/2017
L.S. 6404 DATE

PUBLIC ALLEY RIGHT-OF-WAY VACATION
BLOCK 262, GUION'S ADDITION TO SAN DIEGO, MAP NO. 220

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA	
ORIGINAL	S&A				SHEET 1 OF 1 SHEET	
					FOR CITY ENGINEER	
					DATE	
					1830-6293	
					CCS 83 COORDINATES	
					190-1733	
					LAMBERT COORDINATES	
					39942-B	
					STATUS	



PROJECT TEAM

OWNER
EDCO DISPOSAL CORPORATION
3660 DALBERGIA STREET
SAN DIEGO, CA 92113
TEL: 760.744.5615 X155
CONTACT: STEVE SOUTH, PRESIDENT
EMAIL: ssouth@edcodisposal.com

GEOTECHNICAL ENGINEER
GEOCON INCORPORATED
6960 FLANDERS DRIVE
SAN DIEGO, CALIFORNIA 92121
TEL: 858.558.6900 X210
CONTACT: TREVOR MAYERS
EMAIL: myers@geoconinc.com

SURVEY ENGINEER
SPEAR & ASSOCIATES, INC
475 PRODUCTION STREET
SAN MARCOS, CALIFORNIA 92078
TEL: 714.736.2040, EXT. 102
FAX: 714.736.4866
CONTACT: RAY SPEAR
EMAIL: rspear@spearinc.net

ARCHITECT
J.R.MILLER & ASSOCIATES, INC.
2700 SATURN STREET
BREA, CALIFORNIA 92821
TEL: 714.524.1870
FAX: 714.524.1875
CONTACT: DAN BIANCO
KYLE RAUSCH
EMAIL: danb@jrma.com
kyler@jrma.com

CIVIL ENGINEER
PAUL J. HACUNDA, PE CONSULTING
16 LAKERRIDGE
TRABUCO CANYON, CALIFORNIA 92679
TEL: 951.741.9783
CONTACT: PAUL HACUNDA
EMAIL: paulhacunda@msn.com

LANDSCAPE ARCHITECT
ARCHITERRA DESIGN GROUP
10221-A TRADEMARK
RANCHO CUCAMONGA, CALIFORNIA 91730
TEL: 909.484.2800 X317
CONTACT: MICHAEL AGUAS
EMAIL: maguas@architerradesigngroup.com

VICINITY MAP
NOT TO SCALE



SHEET INDEX

COVER		ARCHITECTURAL	
T1.1	TITLE SHEET	A1.0	PROJECT NOTES
SURVEY		A1.1	OVERALL SITE PLAN
S-1	TOPOGRAPHIC SURVEY	A1.2	ENLARGED SITE PLANS
1 OF 1	TENTATIVE MAP	A1.3	PHOTOGRAPHIC SURVEY
CIVIL		A1.4	PERSPECTIVE REFERENCE PLAN
1 OF 2	PRELIMINARY GRADING PLAN	A1.5	SITE CIRCULATION PLAN
2 OF 2	PRELIMINARY GRADING PLAN	A2.1	FLOOR PLAN
1 OF 2	DRAINAGE CONDITIONS	A2.2	ENLARGED OFFICE FLOOR PLANS
2 OF 2	PRELIMINARY DRAINAGE PLAN	A2.3	OVERALL ROOF PLAN
-	PRELIMINARY UTILITY PLAN	A3.1	EXTERIOR ELEVATIONS
		A4.1	EXTERIOR PERSPECTIVES
		A4.2	EXTERIOR PERSPECTIVES
		A4.3	AERIAL PERSPECTIVES
		A5.1	BUILDING SECTIONS
		LANDSCAPE	
		L-1	LANDSCAPE PLAN
		L-2	YARD DIAGRAM



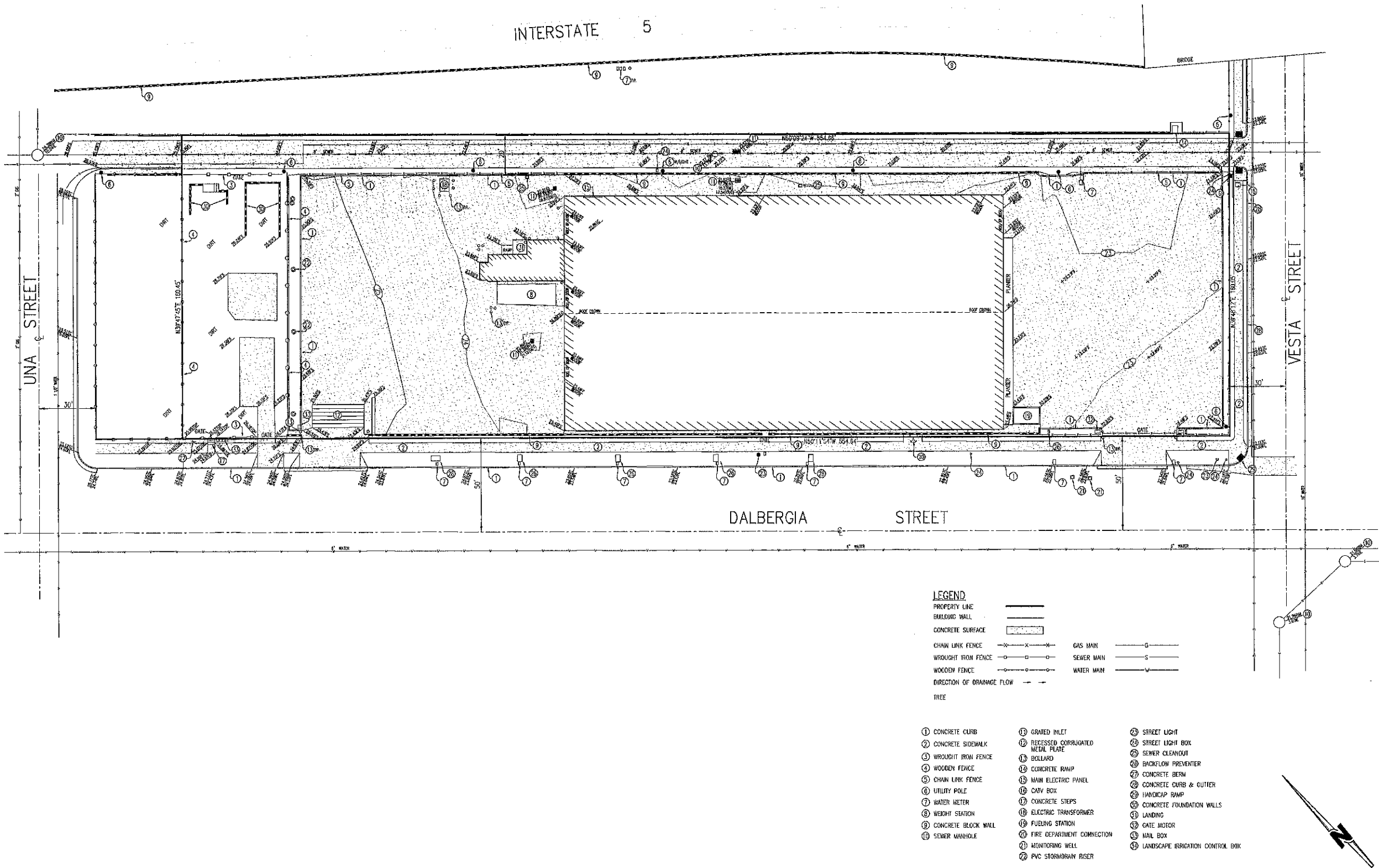
TITLE SHEET

EDCO Facility Expansion
Material Recovery Facility and Transfer Station
3660 Dalbergia Street, San Diego, CA

Job No. 5085
04.06.2018

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T1.1



PLANS PREPARED BY:
SPEAR & ASSOCIATES, INC.
CIVIL ENGINEERING & LAND SURVEYING
475 PRODUCTION STREET, SAN MARCOS, CA 92078
PHONE (760) 736-2040 FAX (760) 736-4868
WWW.SPEARINC.NET

LEGAL DESCRIPTION			
LOTS 12 & 22 BLOCK 262 NOEL'S SUBDIVISION MAP NO. 457. LOTS 3 & 23 & SELY 4' OF LOT 2 BLOCK 262 QUINN'S ADDITION MAP NO. 220. LOTS A & B BLOCK 262 OF ARLINGTON, MAP NO. 1638.			
APN 550-620-02 THRU 10			
REVISIONS			
NO.	DESCRIPTION	DRAWN BY	DATE

BENCHMARK	
CITY OF SAN DIEGO BENCHMARK #5224, SOUTHERLY BRASS PLUG INTERSECTION OF DALBERGIA STREET AND VESTA STREET.	
DATUM: NAD 83	ELEV. = 21.809
SURVEYOR'S CERTIFICATION	
I, RAMON J. SPEAR, A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA, HEREBY CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF A SURVEY PERFORMED DURING JUNE 2016.	
RAMON J. SPEAR, L.S. 6404	JULY 11, 2016
NOTES	
REVISED BOUNDARY CORNERS, AUGUST 1, 2016	
REVISED, ADD CATCH BASIN & SEWER MANHOLE INVERTS, AUGUST 8, 2016	
REVISED, ADD SEWER MANHOLE INVERTS AT VESTA STREET, FEBRUARY 14, 2017	

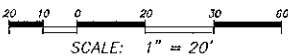


SHEET 1 OF 1

JOB NO. 16-199

DWG. NO. D-220

GRAPHIC SCALE: 1"=20'



TOPOGRAPHIC SURVEY FOR:
3608-3688 DALBERGIA STREET
SAN DIEGO, CA 92113

CITY OF SAN DIEGO
TENTATIVE MAP No. 1879227

TOPOGRAPHY
BY SPEAR & ASSOCIATES, INC. IN JUNE 2016.
PER SMA 66499.202

MAPPING & MONUMENT NOTE
PRIOR TO RECORDECTION OF THE CERTIFICATE OF COMPLIANCE, THE
SUBDIVIDER SHALL SET MONUMENTS & FILE A RECORD OF SURVEY
MAP WITH THE OFFICE OF THE COUNTY SURVEYOR.

ZONING EXISTING/PROPOSED
BLPD-SUBD-B

LEGAL DESCRIPTION
LOTS 21 & 22 IN BLOCK 282, SUBDIVISION MAP NO. 437, LOTS 3 THRU 22 & SE 1/4 OF LOT 2 IN BLOCK 282, QUION'S ADDITION MAP NO. 220 AND LOTS A & B IN BLOCK 282 OF ARLINGTON MAP NO. 1638, ALL IN CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

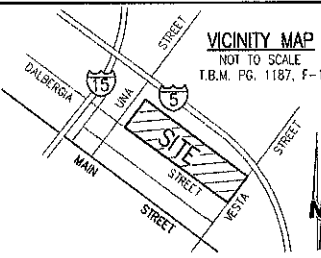
BENCHMARK
CITY OF SAN DIEGO BENCHMARK #6224, SOUTHERLY BRASS
PLUG INTERSECTION OF DALBERGIA STREET AND VESTA STREET.
DATUM: M.S.L., ELEV. = 21.689 M.S.L.

ASSESSOR'S PARCEL NUMBER
550-620-02 (3808-3814 DALBERGIA STREET)
550-620-03 (3818-3828 DALBERGIA STREET)
550-620-04 (3836 DALBERGIA STREET)
550-620-05 (DALBERGIA STREET, NO NO. ASSIGNED)
550-620-06 (3852 DALBERGIA STREET)
550-620-07 (3860-3876 DALBERGIA STREET)
550-620-08 (DALBERGIA STREET, NO NO. ASSIGNED)
550-620-09 (3884-3888 DALBERGIA STREET)
550-620-10 (DALBERGIA STREET, NO NO. ASSIGNED)

SCOPE OF WORK
TENTATIVE MAP WAIVER FOR THE PURPOSES OF A MERGER
AND RESUBDIVISION FROM 22 EXISTING LOTS TO CREATE
ONE NEW LOT PURSUANT TO THE SMA SECTION 66499.20.2.

FILE TENTATIVE MAP

GENERAL NOTES:
1. MAP WAIVER REQUEST FOR THE WAIVING OF A TENTATIVE MAP
AND FINAL MAP.
2. NUMBER OF LOTS: EXISTING-22, PROPOSED-1.
3. PROPOSED VACATION OF ALLEY BETWEEN VESTA STREET AND
UNA STREET BY SEPARATE APPLICATION.
4. PROPOSED CLOSURE OF EXISTING EASTERN DRIVEWAY ON
DALBERGIA STREET AND RESTORATION OF CURB, GUTTER,
SIDEWALK AND LANDSCAPE AREA PER CITY STANDARDS.
5. PROPOSED REMOVAL OF EXISTING DRIVEWAY ON
DALBERGIA STREET AND REPLACEMENT WITH ONE
LARGER NEW DRIVEWAY.
6. PROPOSED REMOVAL OF EXISTING ALLEY ACCESS
ON UNA STREET AND REPLACE WITH NEW CURB,
GUTTER, AND SIDEWALK PER CITY STANDARDS.
7. PROPOSED REMOVAL OF EXISTING ALLEY ACCESS
ON VESTA STREET AND REPLACE WITH NEW
DRIVEWAY PER CITY STANDARDS.
8. PROPOSED REMOVAL OF EXISTING DRIVEWAY ON
DALBERGIA STREET AND REPLACEMENT WITH CITY
STANDARD CURB, GUTTER AND SIDEWALK.
9. REMOVE PORTION OF SCREEN WALL TO ALLOW
FOR PROPOSED BACKFLOW DEVICES.
10. EXISTING SEWER LATERAL AT 3602 DALBERGIA
STREET TO BE PRIVATIZED AS OUTLINED IN
THE LETTER FROM THE PROPERTY OWNER, MR.
LEWIS WISE, DATED APRIL 18, 2018



OWNERS
APN: 550-620-02, 03, 09 & 10
DEL PROPERTIES LP
4952 YERBA SANTA DRIVE
SAN DIEGO, CA 92115-1038

APN: 550-620-04, 05, 06, 07, & 08
STEPHEN CAVADIAS & TULA CAVADIAS, TRUSTEES
THE CAVADIAS FAMILY TRUST
P.O. BOX 13707
SAN DIEGO, CA 92107-3707



PREPARED BY:
Ramon J. Spear
L.S. 6404
DATE: 10/28/16

NAME: RAMON J. SPEAR
SPEAR & ASSOCIATES, INC.
ADDRESS: 475 PRODUCTION STREET
SAN MARCOS, CA 92078
PHONE #: (760) 736-2040

PROJECT ADDRESS:
3808-3888 DALBERGIA STREET
SAN DIEGO, CA 92113

PROJECT NAME:
DALBERGIA STREET
LOT CONSOLIDATION TM

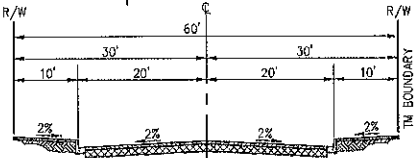
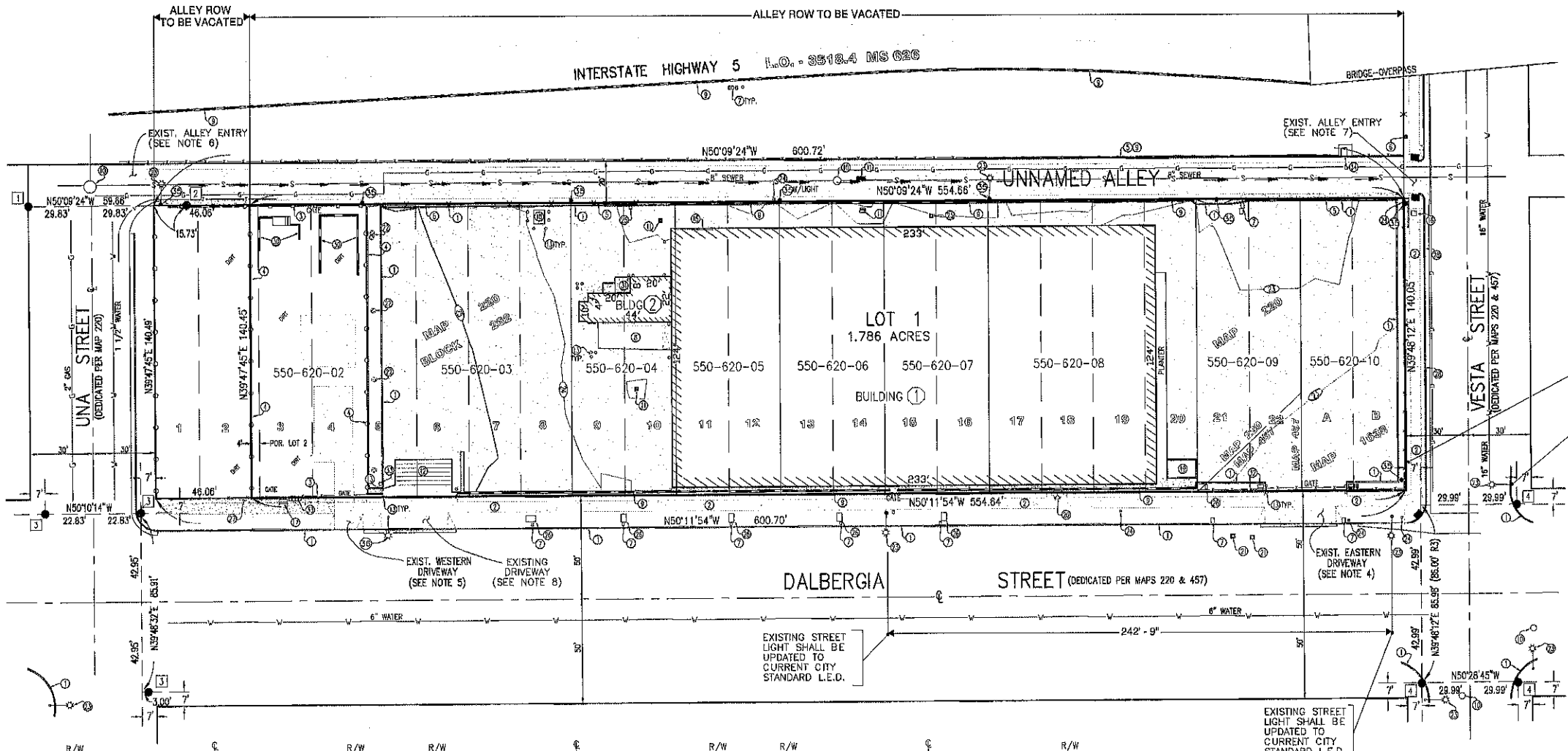
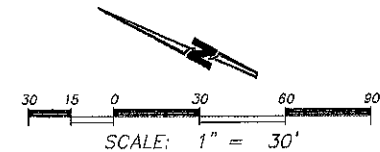
SHEET TITLE:
TENTATIVE MAP

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 9: _____
REVISION 8: _____
REVISION 7: _____
REVISION 6: _____
REVISION 5: _____
REVISION 4: _____
REVISION 3: 2/20/2017
REVISION 2: 2/2/2017
REVISION 1: _____

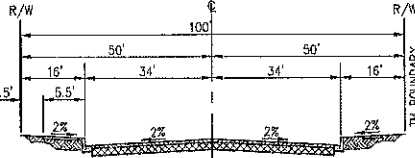
ORIGINAL DATE: 10/28/16

SHEET 1 OF 1

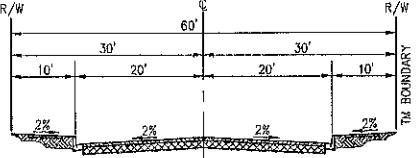
DEP# _____



CROSS SECTION - UNA STREET
NOT-TO-SCALE



CROSS SECTION - DALBERGIA STREET
NOT-TO-SCALE



CROSS SECTION - VESTA STREET
NOT-TO-SCALE

LEGEND

- PROPERTY LINE
- BUILDING WALL
- CONCRETE SURFACE
- STREET LIGHT (PUBLIC)
- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- WOODEN FENCE
- GAS MAIN
- SEWER MAIN
- WATER MAIN
- DIRECTION OF DRAINAGE FLOW
- TREE

- 1 CONCRETE CURB
- 2 CONCRETE SIDEWALK
- 3 WROUGHT IRON FENCE
- 4 WOODEN FENCE
- 5 CHAIN LINK FENCE
- 6 UTILITY POLE
- 7 WATER METER
- 8 TRUCK SCALES
- 9 CONCRETE BLOCK WALL
- 10 SEWER MANHOLE
- 11 GRATED INLET
- 12 RECESSED CORRUGATED METAL PLATE TO BE REMOVED
- 13 BOLLARD
- 14 CONCRETE RAMP
- 15 MAIN ELECTRIC PANEL
- 16 CATV BOX
- 17 CONCRETE STEPS
- 18 ELECTRIC TRANSFORMER
- 19 FUELING STATION
- 20 FIRE DEPARTMENT CONNECTION
- 21 MONITORING WELL
- 22 PVC STORMDRAIN RISER
- 23 STREET LIGHT
- 24 STREET LIGHT BOX
- 25 SEWER CLEANOUT

- 26 BACKFLOW PREVENTER
- 27 CONCRETE BERM
- 28 CONCRETE CURB & GUTTER
- 29 HANDICAP RAMP
- 30 CONCRETE FOUNDATION WALLS
- 31 LANDING
- 32 GATE MOTOR
- 33 MAIL BOX
- 34 LANDSCAPE IRRIGATION CONTROL BOX
- 35 UTILITY POLE TO BE REMOVED AND UTILITY UNDERGROUND
- 36 NEW STREET LIGHT POLE WITH LED FIXTURE, PER CITY STANDARD

SURVEY LEGEND

• INDICATES FOUND SURVEY MONUMENT AS NOTED

MONUMENT NOTES

- 1 FOUND LEAD AND DISC STAMPED "DIV. HWY" IN LIEU OF 1" IRON PIPE WITH DIVISION OF HIGHWAYS DISC PER PM 10221.
- 2 FOUND 1" IRON PIPE WITH DIVISION OF HIGHWAYS DISC AT LOCATION SHOWN ON CALTRANS RIGHT OF WAY MAP L.O. 3518.4. (LAYOUT MAP)
- 3 FOUND LEAD AND CITY ENGINEER DISC PER CORNER RECORD 27584.
- 4 FOUND LEAD AND CITY ENGINEER DISC PER CORNER RECORD 27545.

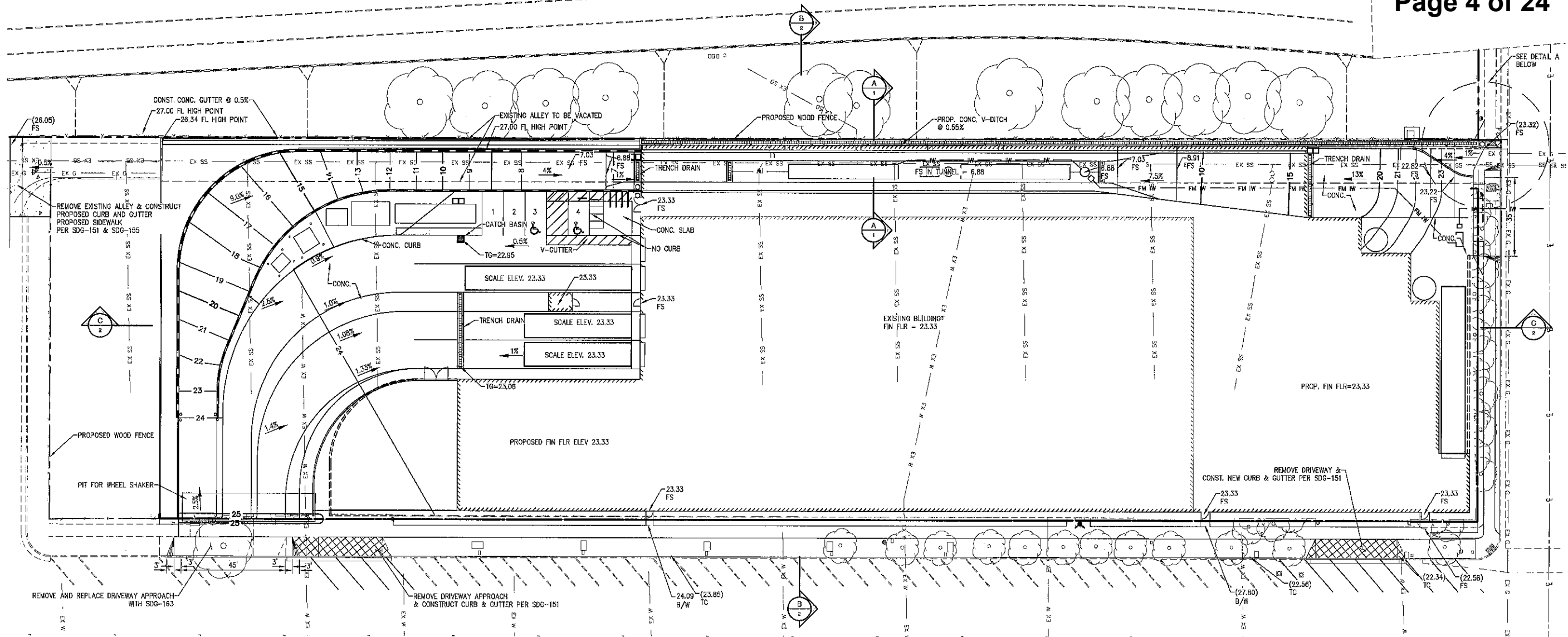
BUILDINGS - EXISTING

	YEAR BUILT	APN	SQ. FT. GROSS	USE
1	2000	550-620-02 THRU 10	28,850	INDUSTRIAL
2	2000	550-620-02 THRU 10	759	INDUSTRIAL

EXISTING IMPROVEMENTS

SEWER: CITY DRAWING NO. 16511-2-D
SEWER: CITY DRAWING NO. 23548-2-D
WATER: CITY DRAWING NO. 174-15-D
WATER: CITY DRAWING NO. 22703-3-D





EARTHWORK SUMMARY

TOTAL AMOUNT OF SITE TO BE GRADED	60,333 SF
PERCENT OF TOTAL SITE	69%
AMOUNT OF CUT	6,000 CY
MAXIMUM DEPTH OF CUT	13.5 FT
MAXIMUM HEIGHT OF CUT SLOPE	0 FT
RATIO OF SLOPE	NA
AMOUNT OF FILL	0 CY
MAXIMUM DEPTH OF FILL	0 FT
MAXIMUM HEIGHT OF FILL SLOPE	0 FT
RATIO OF SLOPE	NA
AMOUNT OF IMPORTED SOIL	0 CY
AMOUNT OF EXPORTED SOIL	6,000 CY
RETAINING WALLS:	
LENGTH	880 FT
HEIGHT	0-16.5 FT

LEGEND:

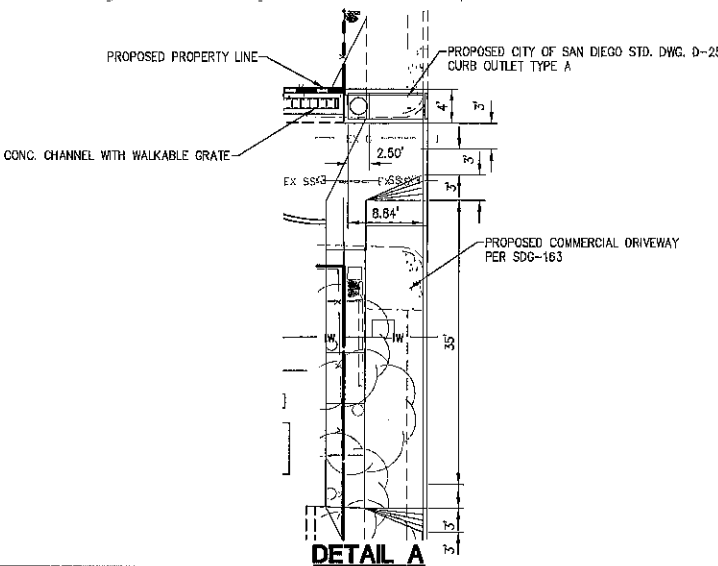
50	MAJOR CONTOURS
47	MINOR CONTOURS
EXISTING BUILDING	
FLOWLINE	
EDGE OF PAVEMENT	
CURB	
RETAINING WALL	
EXISTING BUILDING	
EXISTING RIGHT-OF-WAY	
EXISTING MAJOR CONTOURS	
EXISTING MINOR CONTOURS	
EXISTING FENCE	

ABBREVIATIONS:

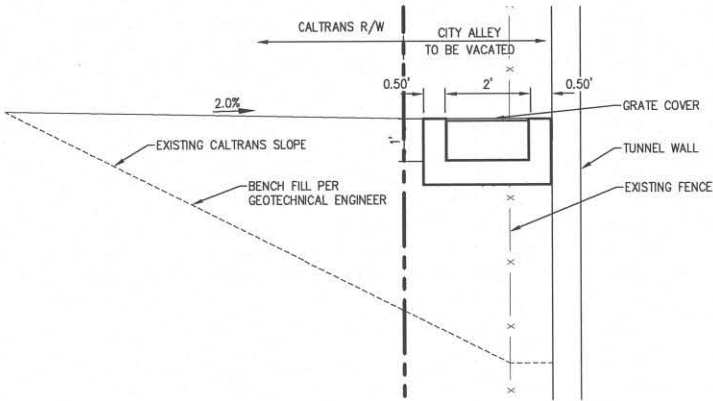
AB	AGGREGATE BASE
AC	ASPHALTIC CONCRETE
B/W	BACK OF WALK
CONC.	CONCRETE
CONST.	CONSTRUCT
CY	CUBIC YARDS
EA.	EACH
EP	EDGE OF PAVEMENT
EXIST.	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SURFACE
LF	LINEAR FEET
QTY	QUANTITIES
R/W	RIGHT OF WAY
SF	SQUARE FEET
TC	TOP OF CURB

NOTES:

1. AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT WILL BE REQUIRED FOR THE CURB OUTLET



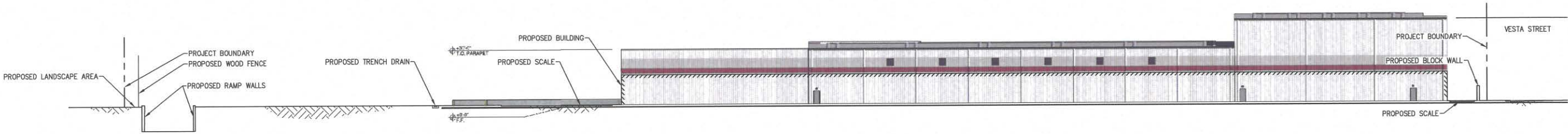
PAUL J. HACUNDA, PE 16 LAKERIDGE TRABUCO CANYON, CA 92679 CA PE LIC No 41627		BENCHMARK:		PRELIMINARY GRADING PLAN 3608-3688 DALBERGIA STREET SAN DIEGO, CA 92113		SHEET NO. 1	
PREPARED BY:		R.C.E. NO.		SCALE:		FOR:	
DATE: Jul. 31, 16				AS SHOWN		W.D.	
						COUNTY FILE NO.	
						OF 2 SHEETS	



SECTION A-A



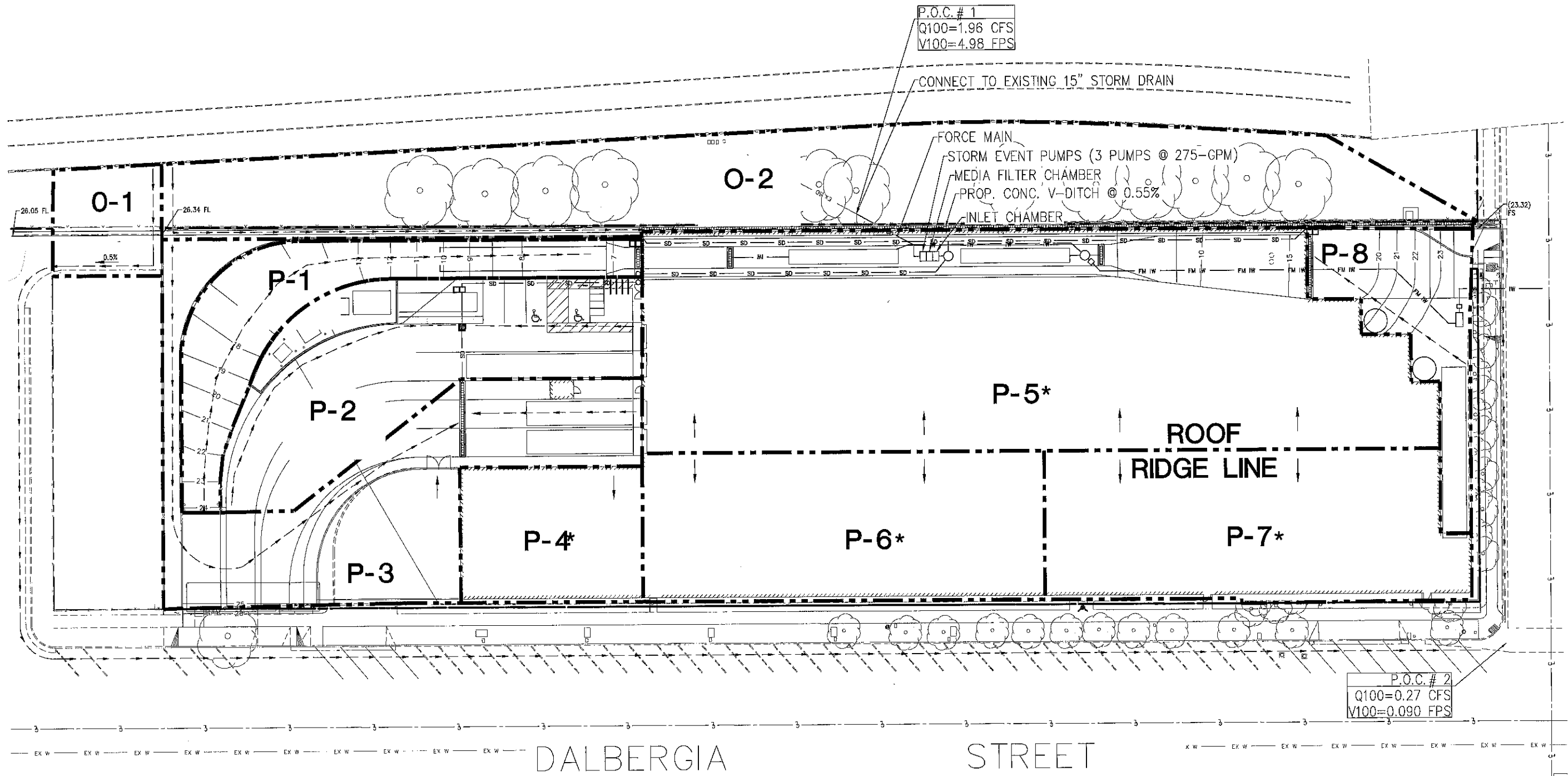
SECTION B-B



SECTION C-C



PAUL J. HACUNDA, PE 16 LAKERIDGE TRABUCO CANYON, CA 92679 CA PE LIC No 41627		BENCHMARK:		PRELIMINARY GRADING PLAN 3608-3688 DALBERGIA STREET SAN DIEGO, CA 92113		SHEET NO. 2
PREPARED BY:		R.C.E. NO.		FOR:		OF 2 SHTS
DATE Jul. 31, 16		SCALE: AS SHOWN		W.O.		COUNTY FILE NO.



NOTE: X2 GOES INTO P3 & X1 GOES INTO O2.

TABLE OF PERVIOUS/IMPERVIOUS		
	PERVIOUS	IMPERVIOUS
P-1 TO P-8	0%	100%
O1 AND O2	100%	0%

BASIN NAME	C-FACTOR	AREA (AC)	Q100 (CFS)	V100 (FPS)
P1	0.95	0.21	0.29	0.33
P2	0.95	0.19	0.26	0.12
P3	0.95	0.28	0.33	0.12
P4	0.95	0.10	0.14	0.37
P5	0.95	0.65	0.88	0.41
P6	0.95	0.34	0.46	0.38
P7	0.95	0.10	0.14	0.38
P8	0.95	0.10	0.14	0.31
O1	0.35	0.05	0.03	1.24
O2	0.35	0.48	0.24	2.12

LEGEND

--- FLOW PATH OF TRAVEL

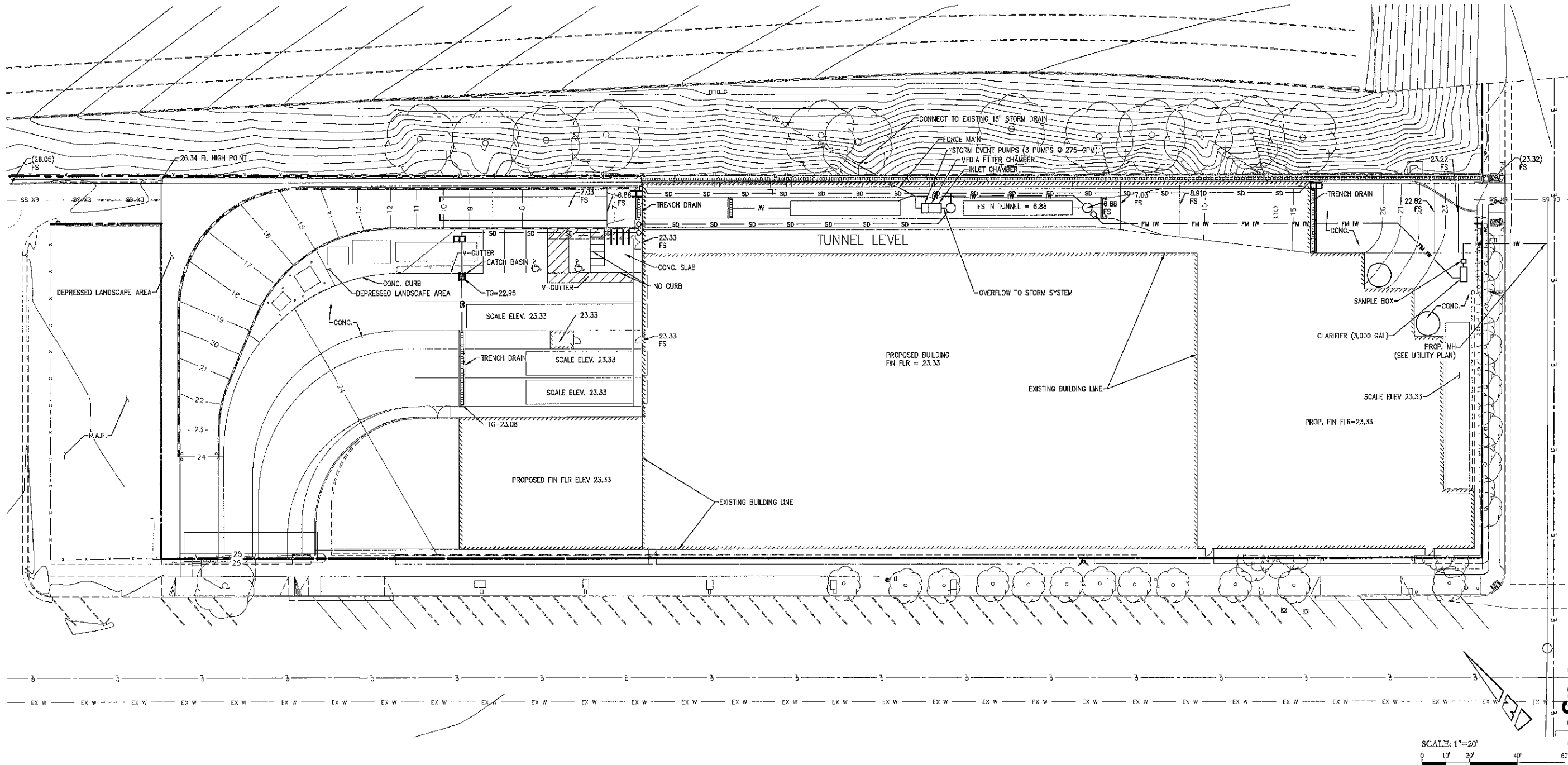
--- PROPOSED CONTOUR

P.O.C. POINT OF COMPLIANCE

* TO RAINWATER HARVEST SYSTEM

SCALE: 1"=20'

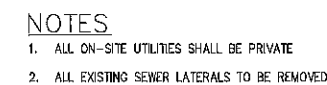
PAUL J. HACUNDA, PE 16 LAKERIDGE TRABUCO CANYON, CA 92679 CA PE LIC No 41637		BENCHMARK:	PROPOSED DRAINAGE CONDITIONS 3608-3688 DALBERGIA STREET SAN DIEGO, CA 92113		SHEET NO. 1 OF 1 SHTS
PREPARED BY:	R.C.E. NO.	SCALE:	FOR:	W.O.	
	DATE Jul. 31, 16	AS SHOWN			



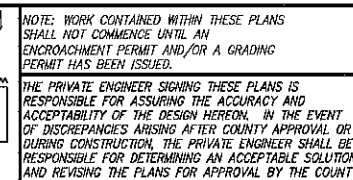
SCALE: 1"=20'
0 10' 20' 40' 60'

DIGALERT TOLL FREE 1-800-227-2600 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT	NOTE: WORK CONTAINED WITHIN THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER COUNTY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISIONS THE PLANS FOR APPROVAL BY THE COUNTY.		SEAL-ENGINEER PAUL J. HACUNDA, PE 16 LAKERIDGE TRABUCO CANYON, CA 92679 CA PE LIC No 41627		BENCHMARK:		PRELIMINARY DRAINAGE PLAN 3608-3688 DALBERGIA STREET SAN DIEGO, CA 92113		SHEET NO. 1 OF 2 SHTS	
	MARK BY	DATE	APPR. DATE	COUNTY	PREPARED BY:	R.C.E. NO.	SCALE: AS SHOWN	FOR:	W.O.	COUNTY FILE NO.

Drawings: 12/14/10 Work (Dalbergia Street) Preliminary Drainage Planning Layout: Layout1 Last Saved: Thu Mar 04, 2016 - 8:45am Last Plotted: Mon Mar 12, 2016 - 8:35am 0/0 egs/0/0



1. ALL ON-SITE UTILITIES SHALL BE PRIVATE
2. ALL EXISTING SEWER LATERALS TO BE REMOVED



NOTE: WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER COUNTY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE COUNTY.

MARK	BY	DATE
ENGINEER		

APPR.	DATE
COUNTY	



PREPARED BY: _____ R.C.E. NO. _____
DATE Jul. 31, 1968

SCALE: AS SHOWN

FOR:	W.O.	COUNTY FILE NO.
------	------	--------------------

SHEET NO. 1 OF 24 SHTS

DEVELOPMENT SUMMARY

OWNER IS PROPOSING A NUMBER OF FACILITY ENHANCEMENTS DESIGNED TO ACHIEVE AMBITIOUS GOALS THROUGH THE CREATION OF ADDITIONAL PROCESSING INFRASTRUCTURE. AS SUCH, EDCO HAS DEVELOPED A PLAN TO PROCESS THE EXISTING MUNICIPAL SOLID WASTE (MSW) WITHIN THE FRAMEWORK OF EDCO RECOVERY AND TRANSFER (ER&T).

GEOLOGIC HAZARD CATEGORY FOR THIS PROJECT IS RISK LEVEL C, CATEGORY 52. A GEOLOGICAL REPORT WILL BE FURNISHED FOR THE PROPOSED PROJECT AND BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION(S).

EXISTING TRANSIT STOPS OCCUR WITHIN 1/4 MILE NORTH OF PROPERTY.

THE FOLLOWING DISCRETIONARY PERMITS WILL BE REQUIRED FOR THE PROJECT:

- A. AMENDMENT TO COSTAL DEVELOPMENT PERMIT
- B. AMENDMENT TO SITE DEVELOPMENT PERMIT
- C. TENTATIVE MAP (TM)
WHICH WILL BE IN FORM OF TM WAIVER / CERTIFICATE OF COMPLIANCE
- D. PUBLIC RIGHT-OF-WAY VACATION

IMPROVEMENTS FOR THE PROJECT INCLUDE:

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- INCREASE THE CURRENT BUILDING SIZE FROM APPROXIMATELY 28,800 SF TO APPROXIMATELY 60,680 SF.
- INSTALL A MECHANIZED PROCESSING LINE, INSIDE THE PROPOSED TRANSFER BUILDING, TO RECOVER COMMODITIES OTHERWISE BOUND FOR LANDFILLS
- INSTALL AN ANAEROBIC DIGESTION (AD) FACILITY TO CREATE RENEWABLE NATURAL GAS (RNG)
 - THE CURRENT AD TECHNOLOGY IS NOT CONFIRMED AT THIS TIME, WHICH COULD INCLUDE THE FOLLOWING:
 - (4) DIGESTER VESSELS ABOVE GROUND THAT ARE MECHANICALLY FILLED WITH A MIX OF INCOMING MATERIALS FROM THE ADJACENT TRANSFER BUILDING
 - A BIOGAS COLLECTION VESSEL ON TOP OF THE DIGESTERS
 - A BASEMENT UNDER THE DIGESTER VESSELS FOR THE STORAGE OF PERCOLATE MATTER
 - A MECHANICAL/ELECTRICAL CONTROL ROOM
 - EQUIPMENT THAT IS USED TO REMOVE THE BI-PRODUCT OF THE DIGESTION PROCESS THROUGH A SYSTEM OF FILTERS/SCRUBBERS, AND CONVERSION EQUIPMENT
 - EQUIPMENT THAT CONVERTS THE BIOGASS AND/OR OTHER BI-PRODUCTS TO RENEWABLE NATURAL GAS (RNG).
- EXPAND THE SITE FOOTPRINT INTO THE RECENTLY ACQUIRED PROPERTY TO THE PROJECT NORTH, INCLUDING VACATING THE ALLEY. THE SCOPE OF WORK TO DO SO IS PROVIDED FURTHER BELOW.
- INSTALL A LOADING DOCK FOR THE MOVEMENT OF RECYCLING COMMODITIES
- MAKE BUILDING READY FOR FUTURE PHOTOVOLTAIC SYSTEM IN COMPLIANCE WITH CALGREEN BUILDING CODES.
- THE USE OF WATER TOLERANT PLANTINGS AND LOW WATER USAGE IRRIGATION SYSTEMS.
- THE USE OF POWER EFFICIENT LIGHTING AND LOW WASTE USAGE PLUMBING FIXTURES
- THE USE OF COOL ROOF ON BUILDING ROOFING
- THE INSTALLATION OF PHOTOVOLTAIC PANELS ON A PORTION OF THE PROPOSED NEW ROOF FOR ENERGY REUSE.
- THE USE OF ROOF SKYLIGHTS AND TRANSLUCENT WALL PANELING FOR NATURAL DAYLIGHTING
- DEMOLISH PORTION OF EXISTING BUILDING AND RE-LOCATE THE EXISTING OFFICE STRUCTURE
- INSTALLATION OF ENHANCED ENGINEERING CONTROLS FOR STORM WATER TREATMENT
- HOURS OF OPERATION, ANTICIPATED MATERIAL RECEIVING DURING 5:00 A.M. - 7:00 P.M. MONDAY-SATURDAY, WITH NO RESTRICTION ON INTERNAL PROCESSING.
- HARVEST ROOF RUNOFF FOR USE AS POTABLE WATER SUPPLY TO IRRIGATION, PLUMBING FIXTURES, FACILITY MISTING SYSTEM, AND TRANSFER TRUCK WASH DOWN.

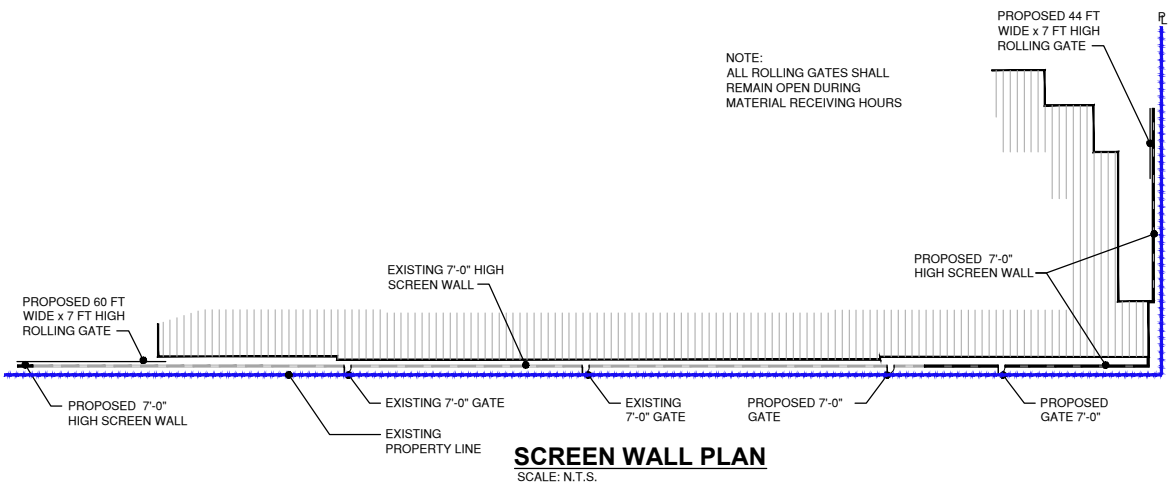
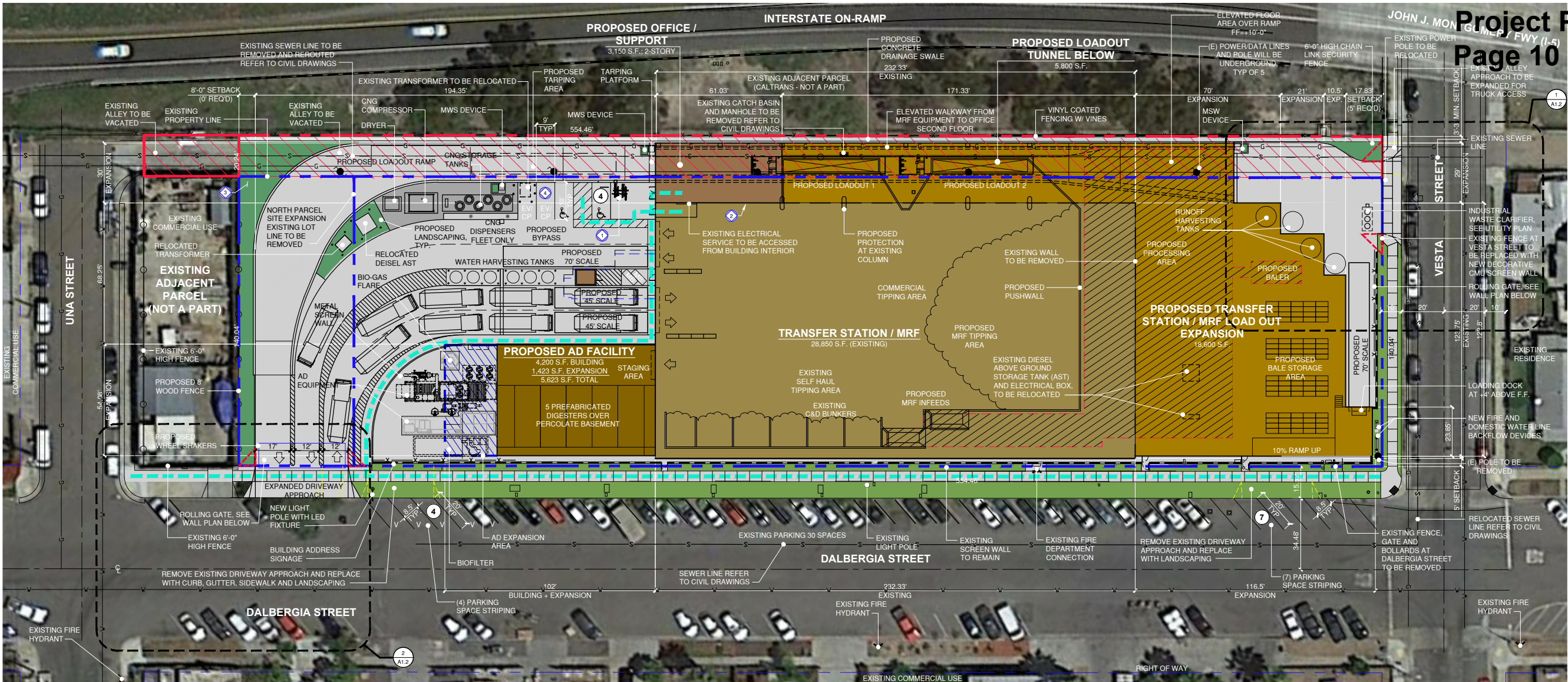
SCOPE OF WORK FOR ALLEY VACATION (EAST SIDE OF PROJECT):

- REMOVE THE EXISTING CONCRETE PAVEMENT, EXISTING POWER POLES AND TERMINATE POWER TO FACILITY AT NEW EXPANSION/TRANSFORMER
- REMOVE THE EXISTING SANITARY SEWER LINE IN THE ALLEY, EXCEPT FROM UNA STREET TO THE EXISTING HOUSE LATERAL. INSTALL A TERMINAL CLEAN-OUT IN THE ALLEY.
- EXCAVATE FOR FACILITY TRUCK ACCESS TUNNEL.
- CONSTRUCT UNDERGROUND ELECTRICAL AND TELEPHONE CONDUITS
- RELOCATE EXISTING 1½-INCH GAS LINE
- CONSTRUCT A CONCRETE V-DITCH ALONG THE SOUTH SIDE OF THE CALTRANS ROW

SCOPE OF WORK IN ALLEY NORTH OF PROJECT:

- REMOVE THE EXISTING CONCRETE PAVEMENT.
- REGRADE THE ALLEY IN A SOUTH TO NORTH DIRECTION.
- CONSTRUCT A CONCRETE V-DITCH ALONG THE CALTRANS RIGHT-OF-WAY FENCE IN A SOUTH TO NORTH DIRECTION
- REMOVE THE EXISTING SANITARY SEWER LINE IN THE ALLEY, EXCEPT FROM UNA STREET TO THE EXISTING HOUSE LATERAL. INSTALL A TERMINAL CLEAN-OUT IN THE ALLEY.
- CONSTRUCT UNDERGROUND ELECTRICAL AND TELEPHONE CONDUITS
- RELOCATE EXISTING 1½-INCH GAS LINE
- RE-PAVE ALLEY IN ASPHALT
- PROVIDE CITY STANDARD DRIVEWAY AT UNA STREET





LANDSCAPE SUMMARY

LANDSCAPING (SEE L-1 & L-2)	9,744 S.F.
TOTAL AREA	9,744 S.F.
TOTAL AS % OF SITE AREA:	3.9%

BUILDING SUMMARY

NOTE: ALL BUILDINGS ON SITE ARE NO OLDER THAN 1999

TRANSFER STATION / MRF (EXISTING) (F-2)	28,850 S.F.
TRANSFER STATION / MRF (EXPANSION) (F-2)	18,600 S.F.
LOADOUT TUNNEL (F-2)	5,800 S.F.
OFFICE / SUPPORT (2-STORY) (B)	3,150 S.F.
AD FACILITY (F-2)	4,200 S.F.
SCALE HOUSE (B)	80 S.F.
TOTAL AREA	60,680 S.F.
GROSS FLOOR AREA:	
TRANSFER STATION	47,450 S.F.
LOADOUT TUNNEL	5,800 S.F.
AD FACILITY	4,200 S.F.
OFFICE (1ST FLOOR)	1,700 S.F.
OFFICE (2ND FLOOR)	1,450 S.F.
SCALE HOUSE	80 S.F.
TOTAL	60,680 S.F.

BUILDING WILL BE FULLY SPRINKLED

CONSTRUCTION TYPE: II-B	TOTAL GROSS FLOOR AREA (GFA) = 60,680 S.F.
FAR (ALLOWED = 2.0)	TOTAL LOT AREA = 88,810 S.F. (INCLUDING ALLEY VACATION)
$57,450 + 3,230 = 0.68$	
92,000 69,000	

OCCUPANCY SUMMARY

TRANSFER STATION / MRF (F-2 - FACTORY)	47,450 S.F.
LOADOUT TUNNEL (F-2 - FACTORY)	5,800 S.F.
AD FACILITY (F-2 - FACTORY)	4,200 S.F.
OFFICE / SUPPORT (2-STORY) (B-OFFICE)	3,150 S.F.
SCALE HOUSE (B-OFFICE)	80 S.F.

LEGAL DESCRIPTION

LOTS 21 & 22 IN BLOCK 262 NOEL'S SUBDIVISION MAP NO. 457, LOTS 3 THRU 22 & SELY 4' OF LOT 2 IN BLOCK 262, GUION'S ADDITION MAP NO. 220 AND LOTS A & B IN BLOCK 262 OF ARLINGTON MAP NO. 1638, ALL IN CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

GENERAL PLAN DESIGNATION: BLPD-SUBD-B

NO EASEMENTS ARE CURRENTLY KNOWN OR RECORDED FOR THIS PROPERTY

SITE SUMMARY

EXISTING SITE	69,890 S.F.
SITE EXPANSION (NORTH PARCEL)	7,834 S.F.
SITE EXPANSION (EAST ALLEY)	11,086 S.F.
TOTAL AREA	88,810 S.F.

LANDSCAPE

TOTAL LANDSCAPE AREA 9,784 S.F.

PARKING SUMMARY

PROVIDED ON-SITE PARKING	
ADA STALLS	2
LOW VOC/ELECTRIC VEHICLE	1
TOTAL ON-SITE PARKING:	4
OFF-SITE PARKING	
STANDARD EXISTING	14
STANDARD NEW (8'-6" X 20'-0")	11
TOTAL OFF-SITE PARKING:	25
TOTAL PARKING PROVIDED:	29
MOTORCYCLE PARKING PROVIDED:	2

BASED ON EMPLOYEE STAFF SHIFTS NEEDED DURING OPERATIONAL HOURS

REQUIRED OFFICE AREA	3,230 S.F./1,000	4
INDUSTRIAL AREA (NO TUNNEL INCLD.)	37,240 S.F./1,000	38
PROPOSED PROCESS AREA	10,210 S.F./1,000	10
TOTAL PARKING REQUIRED	50,680 S.F.	52

PROJECT INFORMATION

JURISDICTION
CITY OF SAN DIEGO DEV SERVICES
1222 FIRST AVENUE, MS 301
SAN DIEGO, CA 92101

PROJECT ADDRESS
3660 DALBERGIA STREET
SAN DIEGO, CA

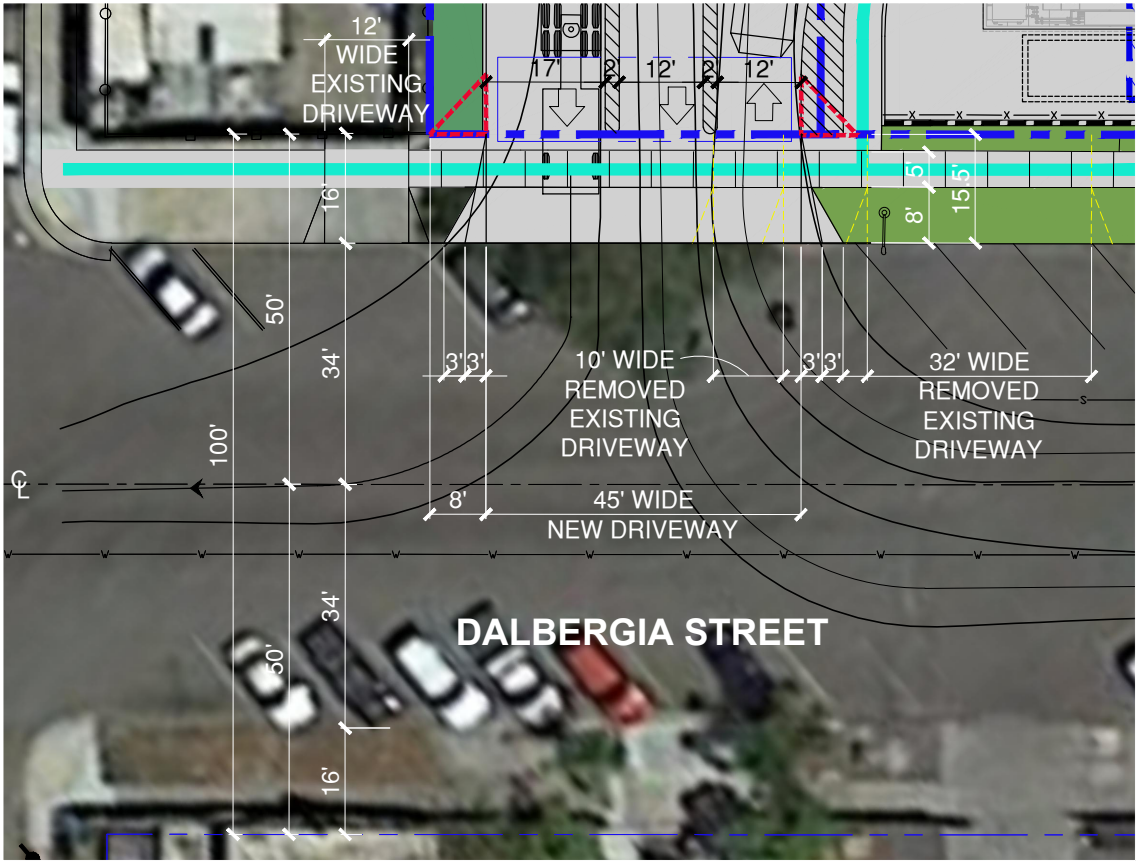
SITE INFORMATION
ASSESSORS PARCEL NO.: 550-620-02 THRU 10
SITE AREA: 77,724 SQ. FT.
CURRENT PROPERTY LINE SITE AREA: 77,724 SQ. FT.
ALLEY VACATION SITE AREA: 11,086 SQ. FT.
TOTAL SITE AREA: 88,810 SQ. FT.
TOTAL ACRES: 2.03

LEGEND

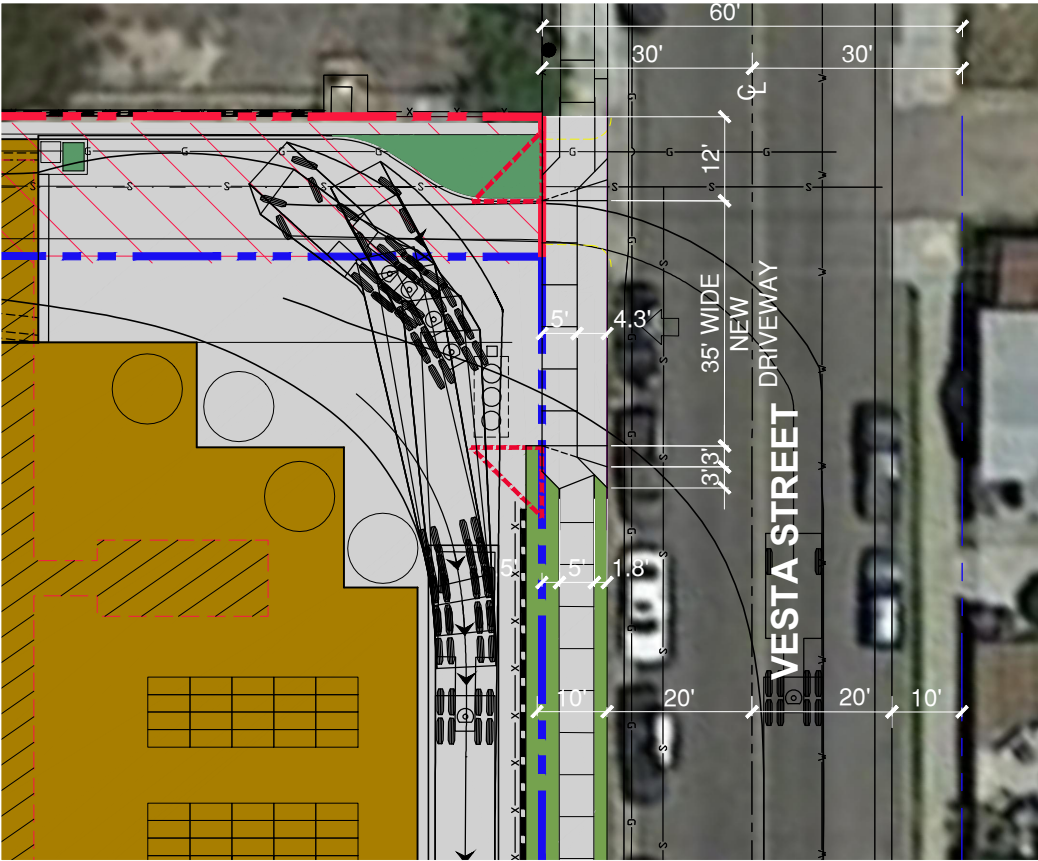
	EXISTING TRANSFER STATION		GRAVEL
	PROPOSED TRANSFER / MRF / LOADOUT EXPANSION		AD FACILITY EXPANSION
	PROPOSED OFFICE / SUPPORT		FIRE HYDRANT (EXISTING)
	PROPOSED AD FACILITY		EXISTING PROPERTY LINE / RIGHT OF WAY
	VACATED ALLEY AREA		PROPOSED PROPERTY LINE
			ACCESSIBLE PATH OF TRAVEL
			EXISTING STRUCTURE TO BE REMOVED
			PARKING SYMBOL / COUNT "V" INDICATES VISITOR SPACE
			INDICATES VISIBILITY TRIANGLE. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT
			EV/CP CARPOOL / ZERO EMISSION SPACES W/ SIGNAGE
			MB MOTORCYCLE SPACE W/SIGNAGE (3' X 8')
			MWS MODULAR WETLAND SYSTEM DEVICE

SUSTAINABILITY NOTES

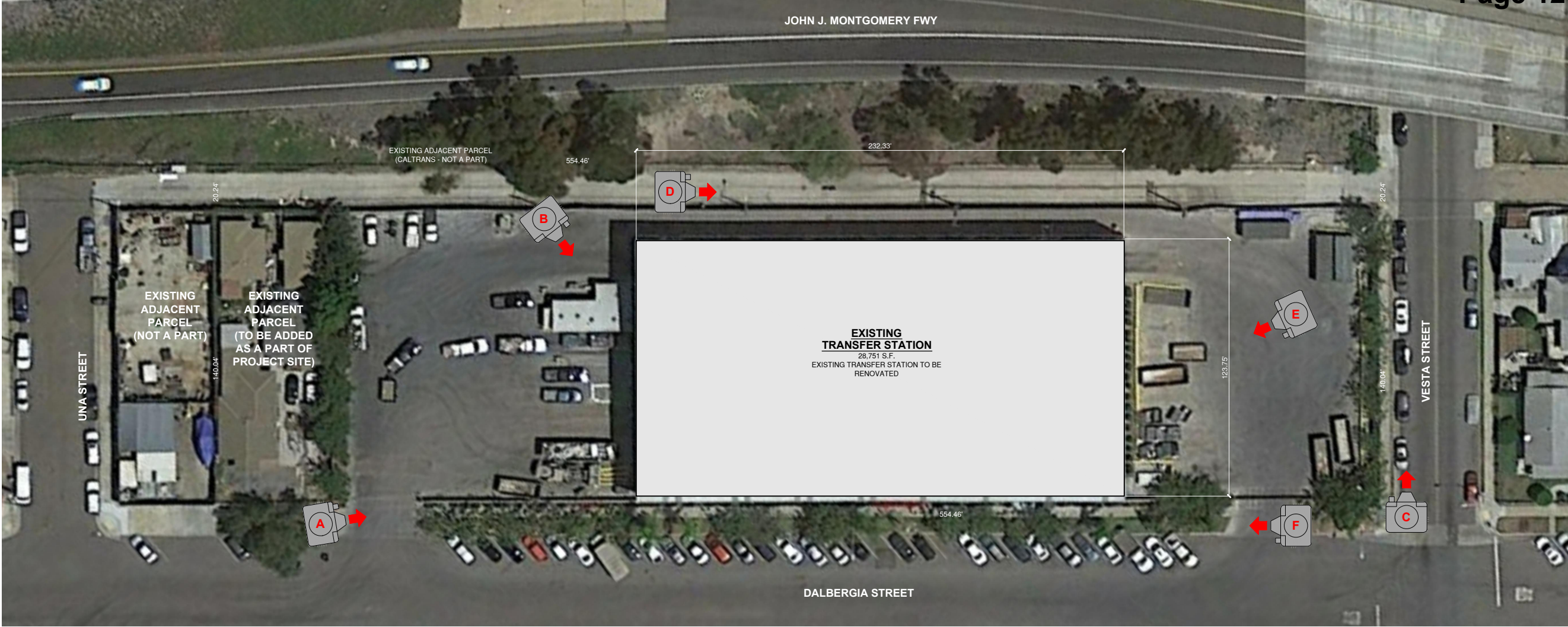
- 1 BICYCLE RACKS (2 RACKS FOR 3 BICYCLES)
- 2 BICYCLE LOCKER (3 LOCKERS FOR 3 BICYCLES); INSIDE, SEE FLOOR PLAN
- 3 SMOKING AREA
- 4 ELECTRIC VEHICLE CHARGING STATION (EVCS) "READY TO USE"



② ENLARGED SITE PLAN - (PREFERRED) 45'-0" WIDE DRIVEWAY



① ENLARGED SITE PLAN - (PREFERRED) 35'-0" WIDE DRIVEWAY



KEY MAP



A



B



C



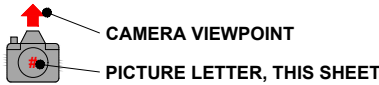
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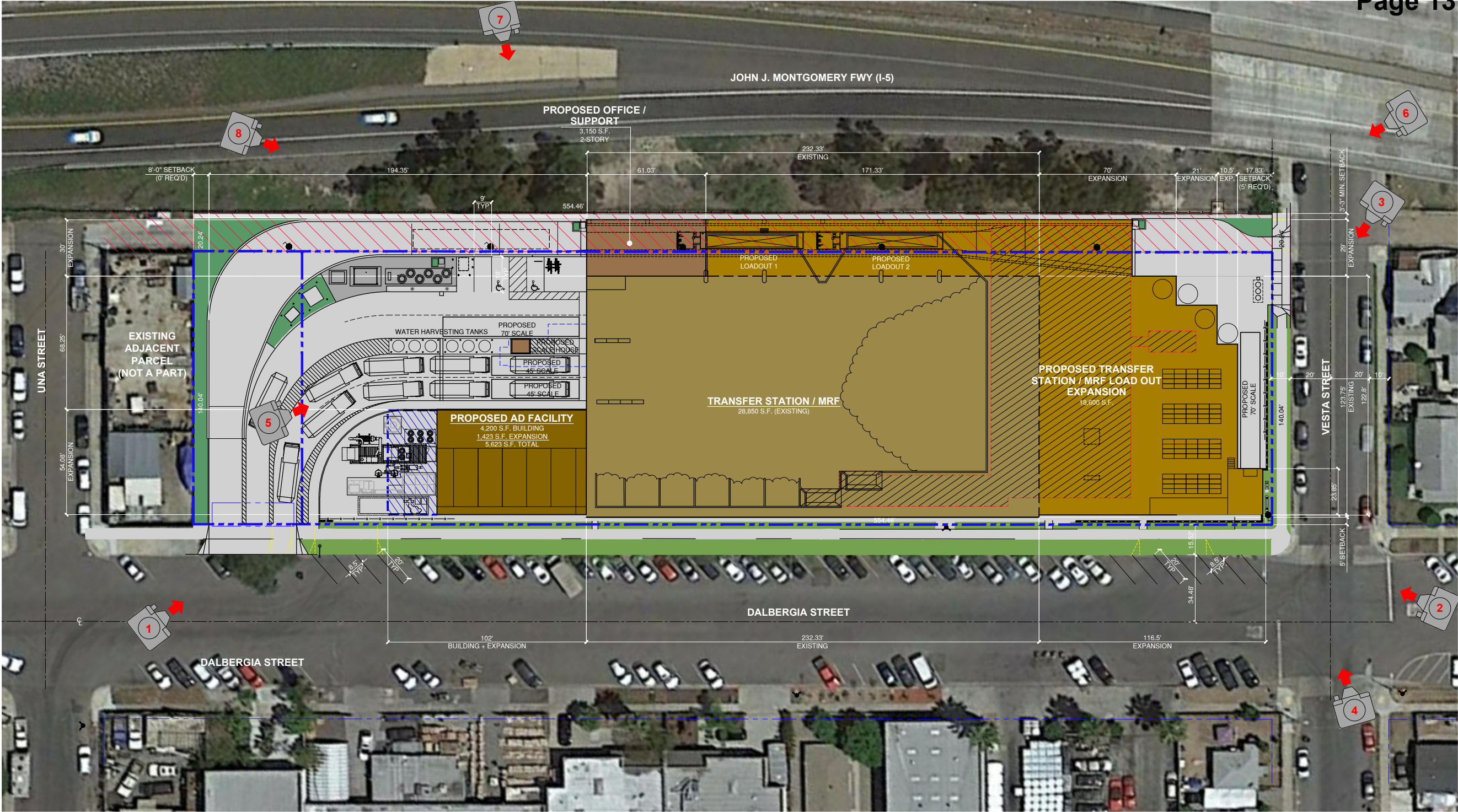


E

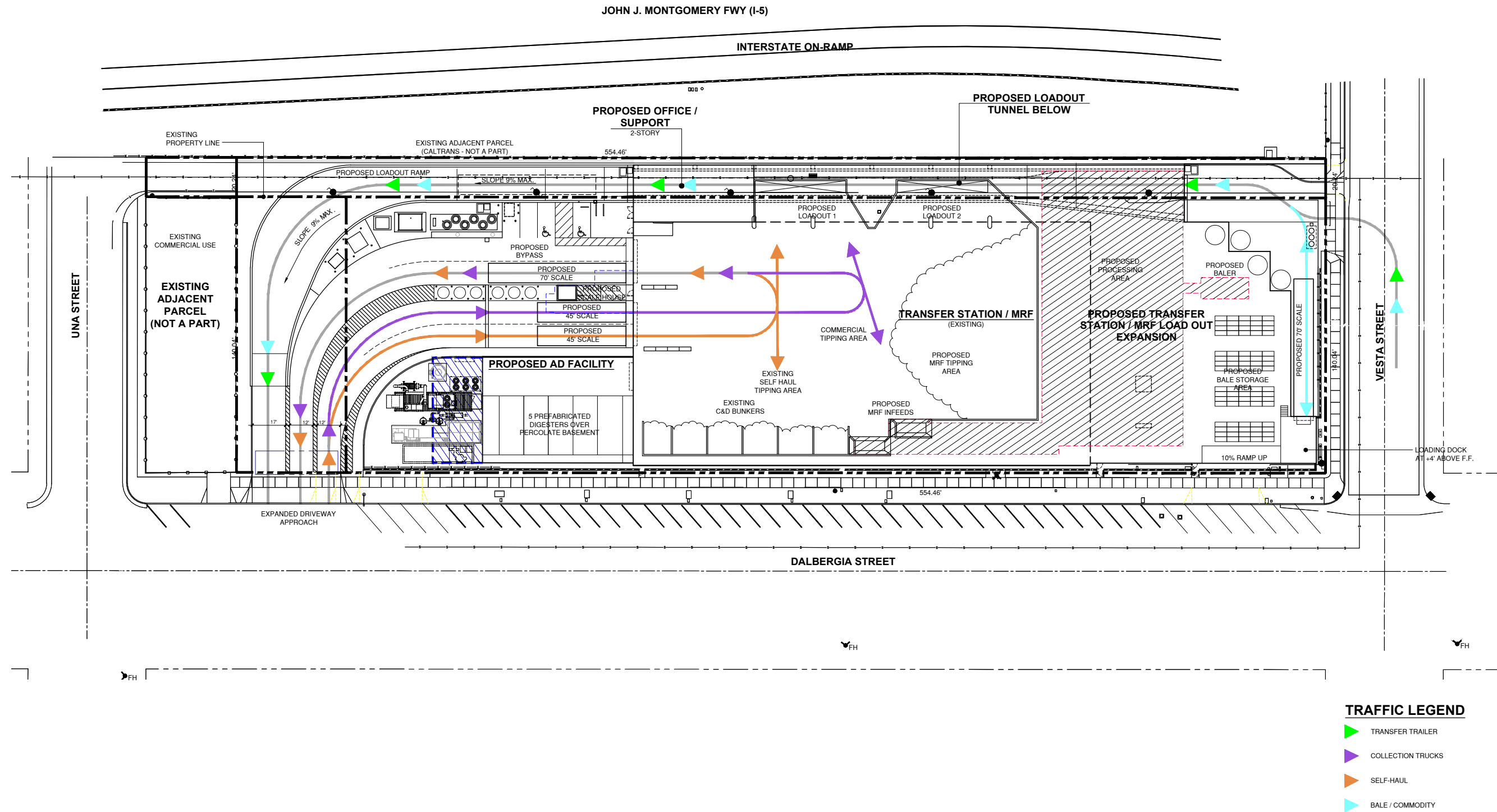


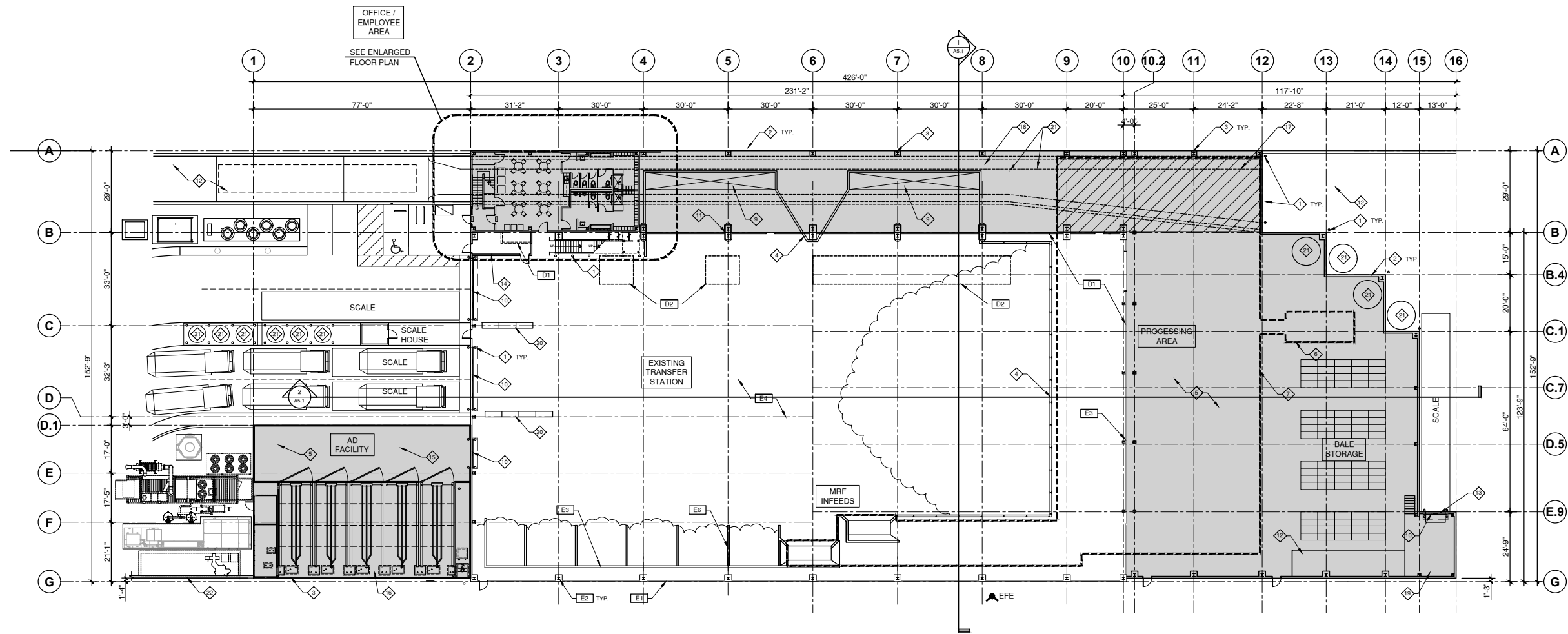
F





CAMERA VIEWPOINT
PICTURE NUMBER,
SEE SHEETS A4.1 AND A4.2





KEYNOTES

- 1 CONC. FILLED STEEL BOLLARD
- 2 EXTERIOR METAL WALL PANEL
- 3 FIRE RATED STRUCTURAL STEEL FRAME
- 4 STEEL PUSH WALL W/ STEEL POSTS
- 5 CONCRETE FLOOR
- 6 BALER EQUIPMENT
- 7 PROCESSING EQUIPMENT
- 8 SPARE
- 9 LOADOUT SLOT
- 10 METAL ROLL-UP DOOR
- 11 COLUMN ENCASEMENT
- 12 CONCRETE RAMP
- 13 LOADING DOCK
- 14 ELECTRICAL ROOM
- 15 STAGING AREA
- 16 DIGESTERS
- 17 ELEVATED FLOOR OVER RAMP BELOW
- 18 LOADOUT TUNNEL BELOW
- 19 RECYCLABLE LOADOUT AREA
- 20 PRECAST CONCRETE BARRIER
- 21 ROOF WATER HARVESTING TANKS (10,000 GALLON STORAGE)
- 22 SCREEN WALL

EXISTING KEYNOTES

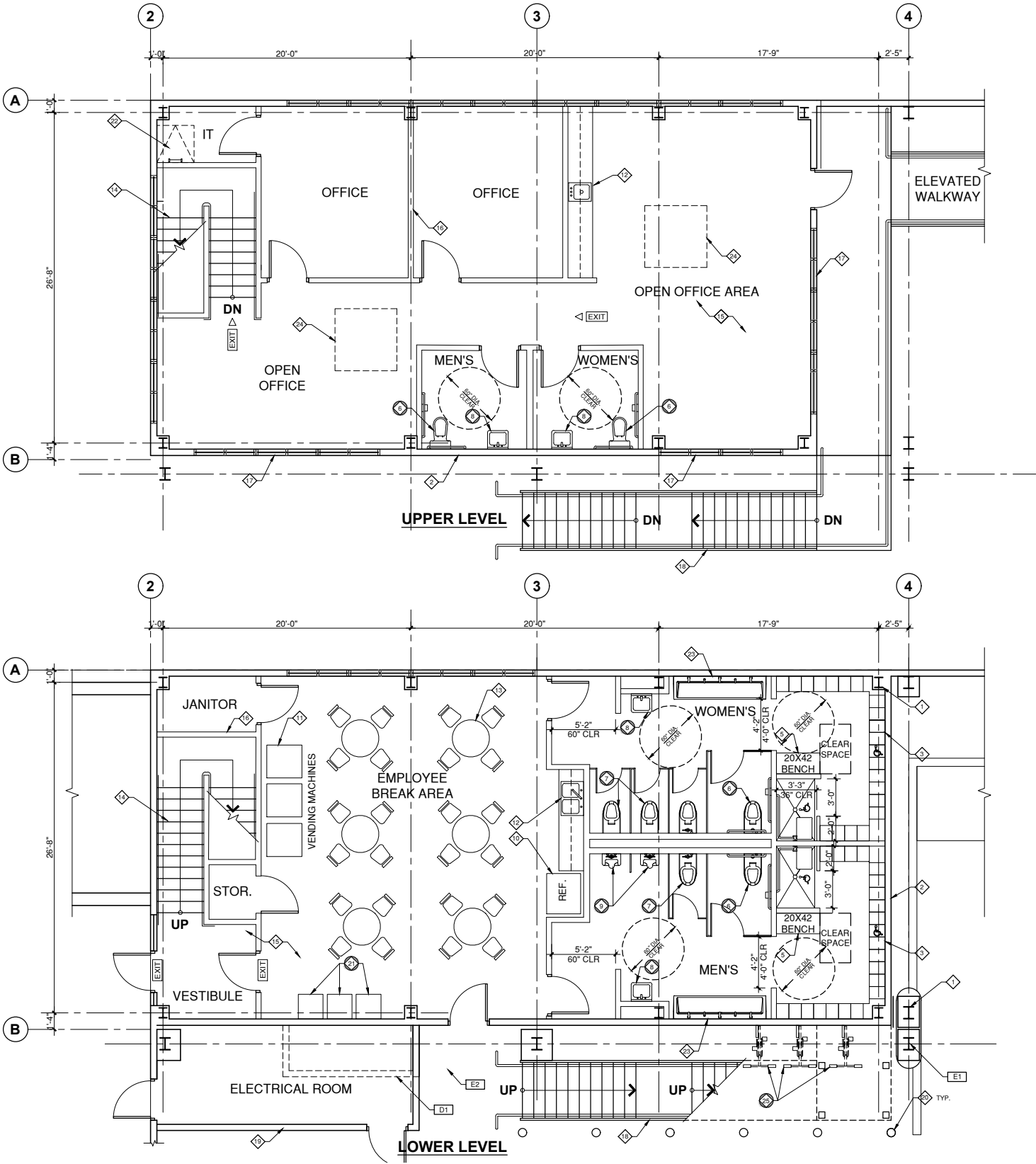
- E1 EXISTING EXTERIOR METAL WALL PANEL
- E2 EXISTING FIRE RATED STRUCTURAL STEEL FRAME
- E3 EXISTING STEEL PUSH WALL W/ STEEL POST
- E4 EXISTING CONCRETE FLOOR
- E5 EXISTING FIRE RISER
- E6 EXISTING CONCRETE STORAGE BUNKER

DEMOLITION KEYNOTES

- D1 EXISTING WALL TO BE REMOVED
- D2 EXISTING IN-GROUND SCALE TO BE REMOVED

LEGEND

- EXISTING TRANSFER STATION
- PROPOSED TRANSFER / MRF / LOADOUT EXPANSION / AD FACILITY
- ELEVATED FLOOR OVER RAMP BELOW
- EXISTING FIRE HYDRANT



KEYNOTES

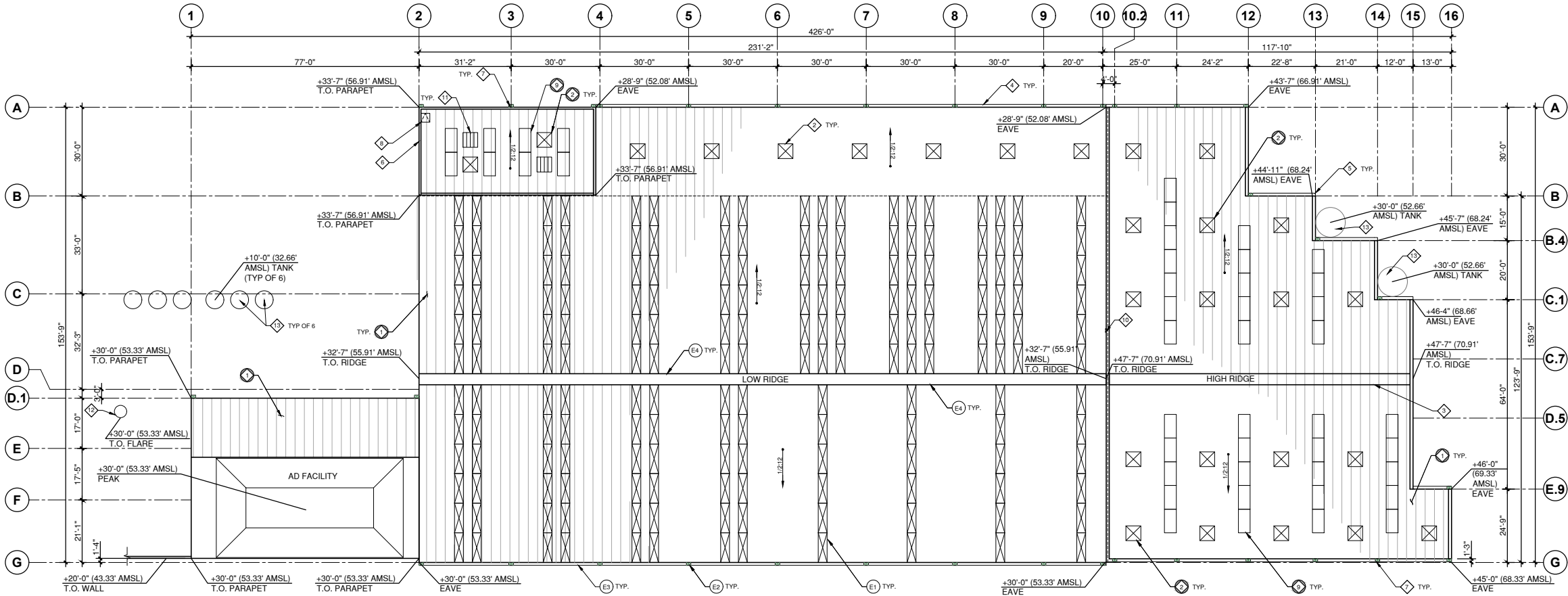
- 1 FIRE RATED STRUCTURAL STEEL FRAME
- 2 INTERIOR LINER PANEL
- 3 METAL LOCKER
- 4 WOOD BENCH, MOVABLE
- 5 ACCESSIBILITY BENCH, FIXED
- 6 FLOOR MOUNTED ACCESSIBILITY TOILET, LOW WATER USAGE
- 7 WATER CLOSET, LOW WATER USAGE
- 8 WALL HUNG LAVATORY, LOW WATER USAGE
- 9 ACCESSIBILITY URINAL W/ SCREEN, LOW WATER USAGE
- 10 REFRIGERATOR
- 11 VENDING MACHINE
- 12 KITCHEN SINK ON LAMINATE CASEWORK
- 13 BREAK ROOM FURNITURE
- 14 CONCRETE OVER METAL PAN STAIR
- 15 LIGHT WEIGHT CONCRETE FLOOR
- 16 INTERIOR PARTITION WALL
- 17 VIEWING WINDOW
- 18 EMERGENCY EXIT STEEL PAN STAIR
- 19 ELECTRICAL ROOM
- 20 CONC. FILLED STEEL BOLLARD
- 21 RECYCLE BINS
- 22 ROOF ACCESS LADDER
- 23 TROUGH LAVATORY
- 24 PROPOSED SKYLIGHT ABOVE
- 25 BIKE LOCKER (WALL MOUNTED)

EXISTING KEYNOTES

- E1 EXISTING FIRE RATED STRUCTURAL STEEL FRAME
- E2 EXISTING CONCRETE FLOOR

DEMOLITION KEYNOTES

- D1 EXISTING WALL TO BE REMOVED



KEYNOTES

- ① METAL ROOF PANELS, SRI 82
- ② SKYLIGHT
- ③ RIDGE VENT
- ④ GUTTER
- ⑤ DOWNSPOUT
- ⑥ PARAPET ROOF
- ⑦ SCUPPER
- ⑧ ROOF ACCESS LADDER
- ⑨ PHOTOVOLTAIC PANEL, PROPOSED LAYOUT
- ⑩ ROOF PARAPET LADDER
- ⑪ MECHANICAL UNIT
- ⑫ EMERGENCY FLARE
- ⑬ WATER HARVESTING TANK

EXISTING NOTES

- ⑭ EXISTING TRANSLUCENT PANELS
- ⑮ EXISTING DOWNSPOUT
- ⑯ EXISTING GUTTER
- ⑰ EXISTING ROOF VENT

LEGEND

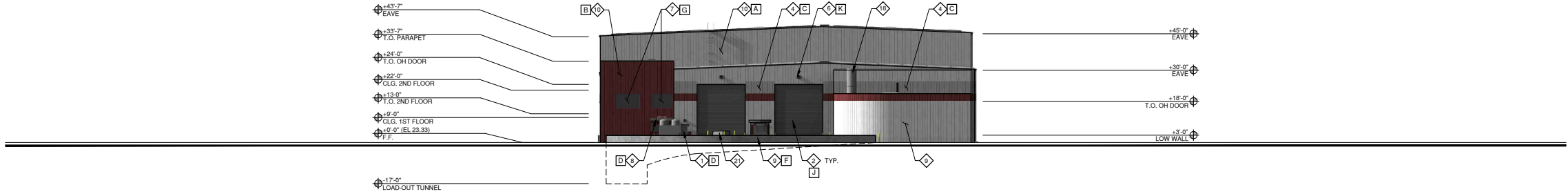
AMSL ABOVE MEAN SEA LEVEL

KEYNOTES

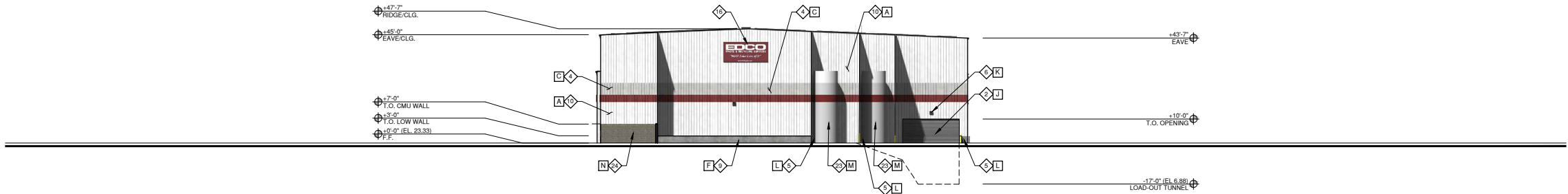
- FLUSH PANEL DOOR
- OVERHEAD COILING DOOR
- EXHAUST FAN
- TRANSLUCENT PANEL
- CONCRETE FILLED PIPE BOLLARD
- WALL MOUNTED LIGHT FIXTURE
- STOREFRONT WINDOW SYSTEM
- METAL CANOPY
- LOW CONCRETE WALL
- EXTERIOR METAL WALL PANEL (PEMB)
- METAL DOWNSPOUT (PEMB)
- METAL ROOF PANEL (PEMB)
- EAVE GUTTER (PEMB)
- SKYLIGHT (PEMB)
- LOW PROFILE RIDGE VENT (PEMB)
- BUILDING SIGNAGE
- BUILDING ADDRESS SIGN
- BIO-GAS FLARE
- CNG STORAGE TANKS
- CNG DISPENSER
- RELOCATED TRANSFORMER
- METAL SCREEN WALL
- WATER HARVESTING TANK
- CMU WALL

FINISH NOTES

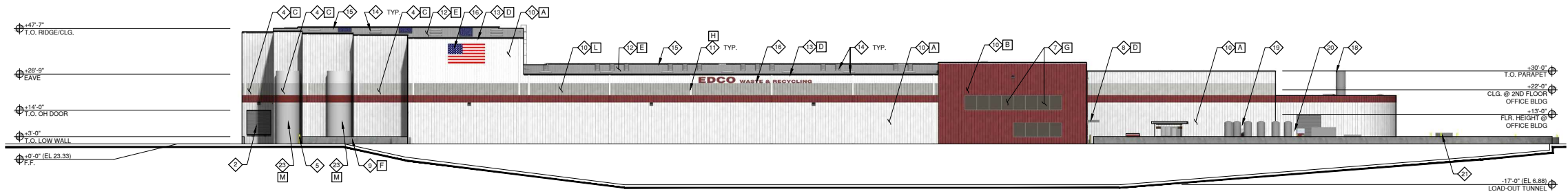
MANUFACTURER	PRODUCT/COLOR
A	METAL SALES 24 GA (VERTICAL) COLOR : SNOWDRIFT WHITE, MATCH EXISTING
B	METAL SALES 24 GA (VERTICAL) COLOR : COLONIAL RED, MATCH EXISTING
C	CPI DAY LIGHTING TRANSLUCENT WALL PANEL COLOR : REFLECTIVE GRAY, MATCH EXISTING
D	METAL SALES COLOR : SLATE GRAY (W38), MATCH EXISTING
E	METAL SALES 24 GA ROOF PANEL COLOR : SNOWDRIFT WHITE
F	N/A CAST-IN-PLACE CONCRETE GRAY
G	WINDOW SYSTEM COLOR: CLEAR ANODIZED ALUMINUM GLAZING: EXTERIOR PANE - OPTIGRAY 23, OR EQUAL INTERIOR PANE - CLEAR
H	METAL TRIM COLOR: MATCH SNOWDRIFT WHITE
J	COILING DOOR COLOR: SLATE GRAY (MATCH EXISTING)
K	LIGHT FIXTURE COLOR: SLATE GRAY (MATCH EXISTING)
L	METAL SALES 24 GA (VERTICAL) COLOR : OLD ZINC GREY, MATCH EXISTING
M	STEEL TANK COLOR: MATCH BUILDING PANEL COLORS
N	ORCO BLOCK 8X8X16 STANDARD BLOCK, RUNNING BOND, COLOR: MATCH EXISTING



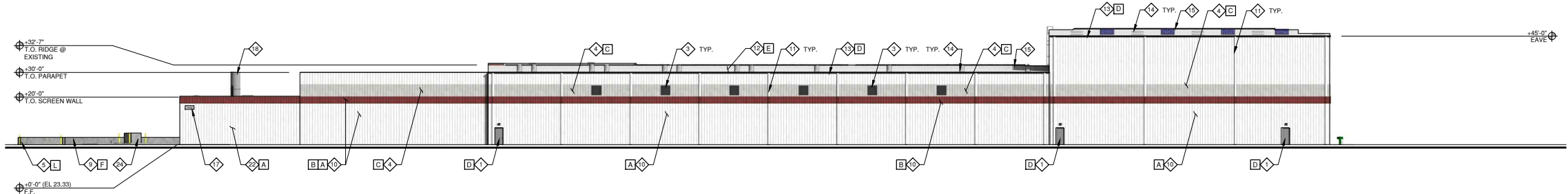
NORTH



SOUTH



EAST



WEST



SCALE: 1"=20'-0"

EXTERIOR ELEVATIONS

EDCO Facility Expansion
Material Recovery Facility and Transfer Station
3660 Dalbergia Street, San Diego, CA

Job No. 5085
04.06.2018

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A3.1



1. VIEW TO SOUTH ALONG DALBERGIA ST.



2. VIEW TO NORTH ALONG DALBERGIA ST.



3. VIEW TO NORTHWEST ALONG VESTA ST.



4. VIEW TO NORTHEAST ALONG VESTA ST.



5. VIEW OF FACILITY LOOKING SOUTH



6. VIEW OF FACILITY FROM FREEWAY LOOKING NORTH



7. VIEW OF FACILITY FROM FREEWAY LOOKING WEST



8. VIEW OF FACILITY FROM SOUTH BOUND ON-RAMP LOOKING SOUTH



SOUTHEAST AERIAL



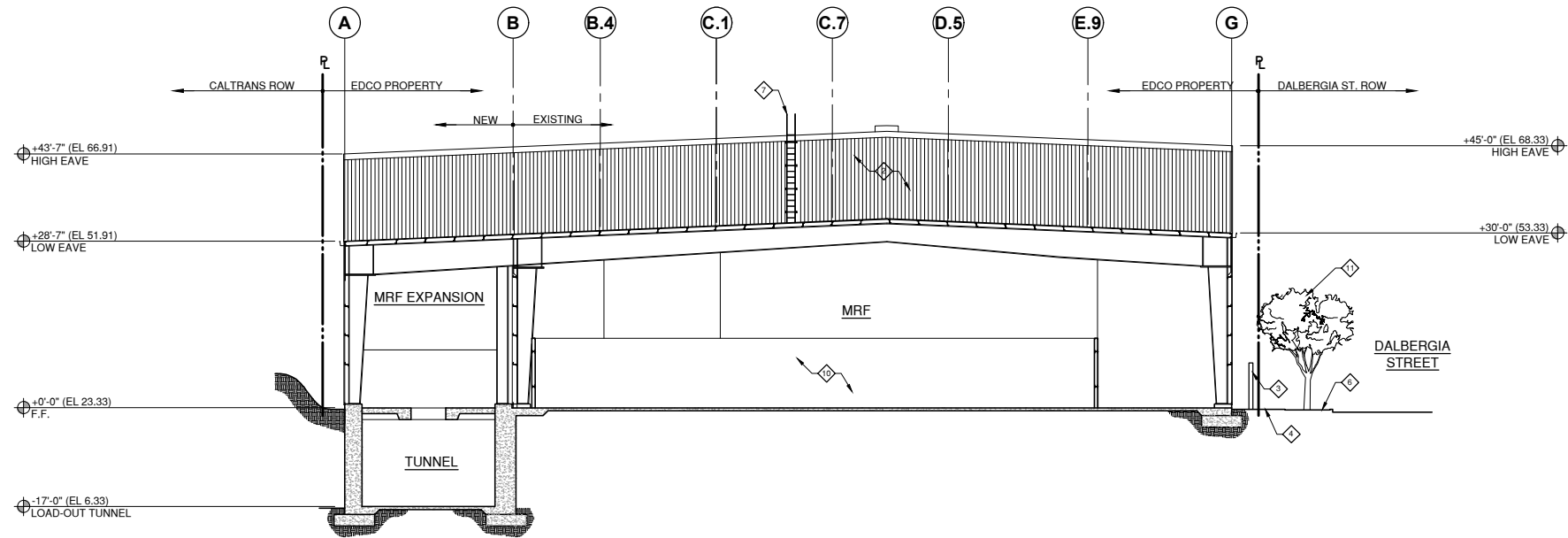
NORTHWEST AERIAL



NORTHEAST AERIAL



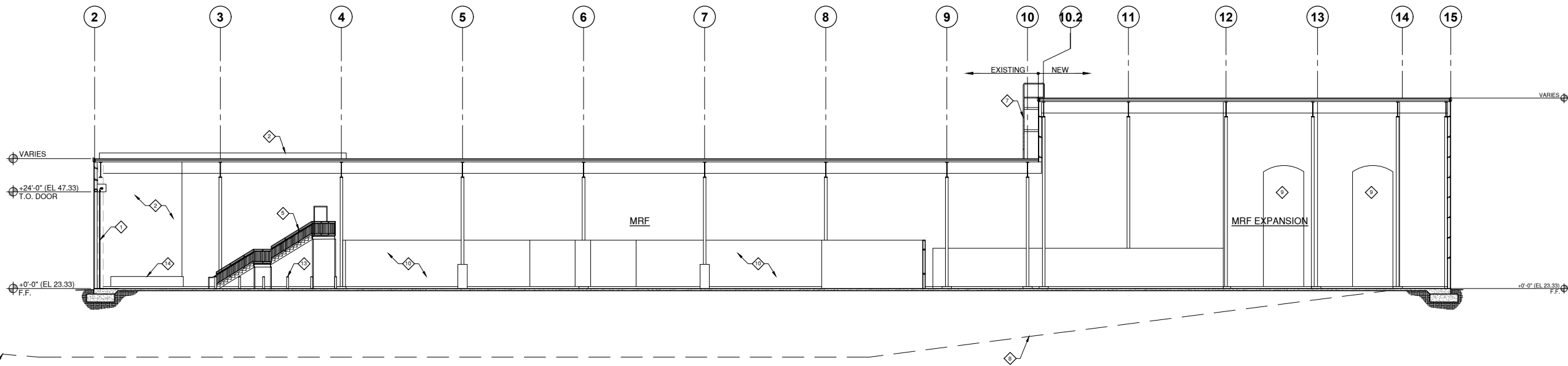
SOUTHWEST AERIAL



KEYNOTES

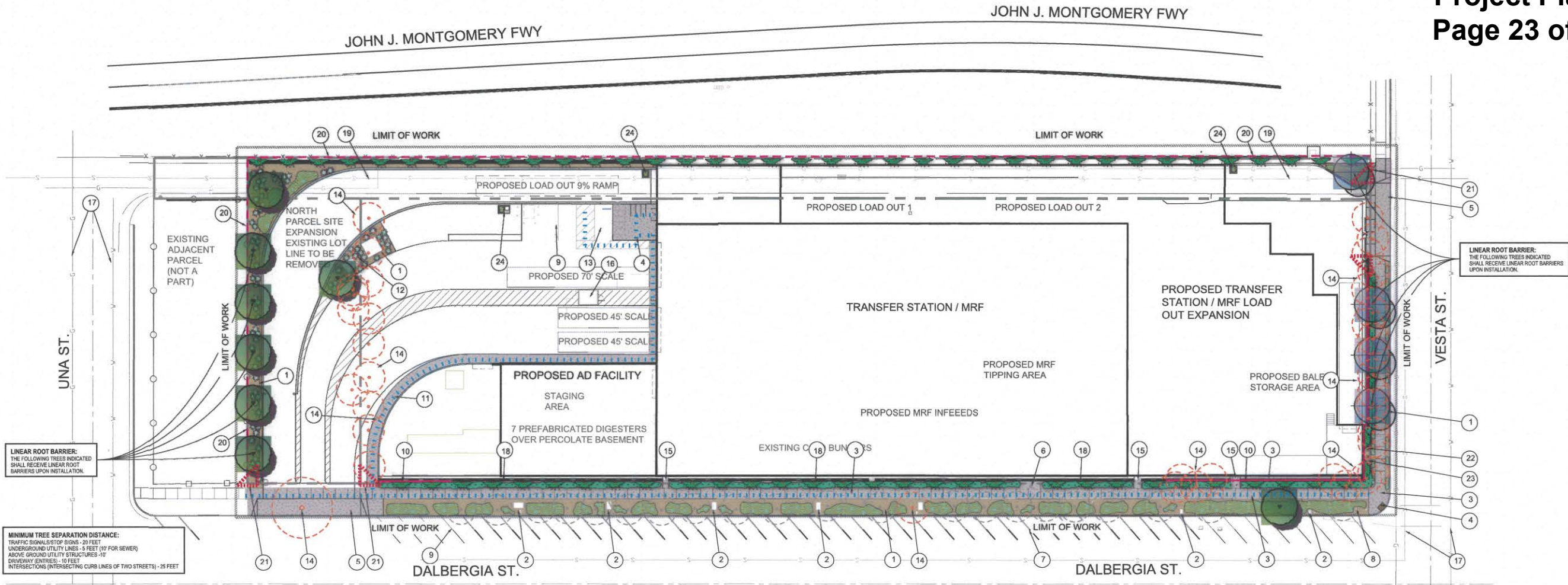
- ◇ OVERHEAD COILING DOOR
- ◇ BUILDING WALL BEYOND
- ◇ SCREEN/SECURITY WALL
- ◇ SIDEWALK
- ◇ STAIRWAY TO OFFICE
- ◇ PLANTER
- ◇ ROOF ACCESS LADDER
- ◇ TUNNEL RAMP BEYOND
- ◇ WATER HARVESTING TANK
- ◇ WATER STORAGE TANK
- ◇ PUSHWALL BEYOND
- ◇ PROPOSED LANDSCAPING
- ◇ CONC FILLED STEEL BOLLARD
- ◇ PRECAST CONCRETE BARRIER

SECTION 1



FOR CONTINUOUS SEE
CIVIL DRAWINGS

SECTION 2



DESIGN STATEMENT

EDCO (Owner) is proposing to renovate the existing landscape, in addition EDCO will be installing new landscaping within the proposed expansion area. The goal is to reduce the overall water consumption of landscaping, while screening the new and existing buildings from the street view through plant material. Methods proposed are to install drought tolerant plant material as well as non-invasive plant species as described in the Landscape Standards of the Land Development Manual, in addition to installing a new drip irrigation system for all trees, shrubs, vines and ground covers.

IRRIGATION & PLANTING MAINTENANCE NOTES

All landscape and irrigation shall conform to the standards of the city-wide landscape requirements and the City and Regional Standards.

IRRIGATION:

An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease resistant condition.

The design of the system shall provide adequate support for the vegetation selected. The proposed methods of irrigating the existing and proposed new landscaping will be by installing drip irrigation lines, bubbler tree emitters, and bubbler vine emitters. This will regulate how much water is dispersed to each plant, while significantly reducing waste and runoff. New irrigation system will be connected to an existing dedicated water meter and controlled by a weather based irrigation controller.

MAINTENANCE:

All required landscape areas shall be maintained by EDCO. Landscape and irrigation areas in the public right-of-way shall be maintained by EDCO. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

A minimum root zone of 40 s.f. in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5). Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the San Diego Municipal Code, Section 142.0403(b)(10).

Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:

1. A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
2. Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
3. A tree watering schedule will be maintained and documented during construction.
4. All damaged trees will be replaced with one of equal or greater size.

Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDMC 142.0411.

Tree root barriers shall be installed where trees are placed within 5 feet of public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball.

If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

FEATURE LEGEND:

- 1 3" THICK 3/4" ANGULAR GRAVEL MULCH.
- 2 EXISTING WATER UTILITY.
- 3 CONCRETE WALKWAY / SIDEWALK.
- 4 EXISTING HANDICAP CURB RAMP WITH TRUNCATED DOMES.
- 5 NEW FACILITY DRIVEWAY APPROACH BY OTHERS.
- 6 EXISTING FIRE HYDRANT.
- 7 EXISTING PARKING STRIPING.
- 8 EXISTING UTILITY POLE.
- 9 NEW PARKING STALLS BY OTHERS.
- 10 NEW CMU WALL BY OTHERS.
- 11 ADA CIRCULATION BY OTHERS.
- 12 NEW ELECTRICAL UTILITY BOX BY OTHERS.
- 13 NEW ADA PARKING STALL AND STRIPING
- 14 EXISTING TREE TO BE REMOVED.
- 15 BUILDING ACCESS POINT BY OTHERS.
- 16 PROPOSED SCALE HOUSE BY OTHERS.
- 17 EXISTING UNDERGROUND UTILITIES.
- 18 EXISTING CMU WALL TO REMAIN.
- 19 EXISTING SEWER LINE TO BE ABANDONED.
- 20 NEW VINYL COATED CHAIN LINK FENCE.
- 21 VISIBILITY TRIANGLE.
- 22 NEW DOMESTIC WATER BACKFLOW.
- 23 NEW FIRE WATER BACKFLOW.
- 24 MODULAR WETLAND SYSTEM (MWS) DEVICE

MASTER PLANT SCHEDULE

Existing Tree's (To Remain)		Caliper	Height / Spread	Quantity
Cupaniopsis anacardioides	Carrotwood	± 8-12"	16' H - 15' W	14
Syagrus romanzoffiana	Queen Palm	12"	18' H - 10' W	7
Existing Tree's (To Be Removed)				
Cupaniopsis anacardioides	Carrotwood	± 8-12"	16' H - 15' W	35
Syagrus romanzoffiana	Queen Palm	12"	18' H - 10' W	1
Schinus molle	California Pepper Tree	± 24"	25' H - 30' W	1
New Evergreen Canopy Tree - 100% 24" Box Container Size		Height / Spread	Water Use	Quantity
Podocarpus gracilior	Fern Podocarpus	30' H - 25' W	Mod	7
Cupaniopsis anacardioides	Carrotwood	30' H - 30' W	Mod	1
New Flowering Street Tree - 100% 24" Box Container Size				
Lagerstroemia 'Natchez'	Natchez Crape Myrtle	20' H - 20' W	Mod	4
Hedge / Screen (MIN 42" O.C. SPACING) - 100% 5-Gallon Container Size				
Rosmarinus 'Tuscan Blue'	Tuscan Blue Rosemary	3-5' H - 42" W	Low	205
Mid-Ground Accent - (SPACING PER PLAN) - 60% 1-Gallon; 40% 5-Gallon Container Size				
Agave d. 'Variegata'	Variegated Dwarf Agave	30" H & W	Low	34
Aloe striata	Coral Aloe	24" H - 30" W	Low	34
Muhlenbergia 'Nashville'	Nashville Deer Grass	30" H & W	Mod	45
Flowering Mid-Ground - (MIN 24" O.C. SPACING) 100% 1-Gallon Container Size				
Hesperaloe 'BrakeLights'	BrakeLight Red Yucca	24" H & W	Low	140
Dianella 'Little Rev'	Little Rev Flax Lily	18" H - 24" W	Low	222
Achillea 'Moonshine'	Moonshine Yarrow	18" H - 24" W	Low	210
Euphorbia rigida	Silver Spurge	18" H - 24" W	Low	140
Vine Screen at Wall and Fence - (Min 15' O.C. SPACING) 100% 5-Gallon Container Size				
Macfadyena unguis-cati	Cat's Claw	± 15' W	Low	35

Non-Residential Landscape Projects

Reference ETaF for the area: ETaF = 40

Estimated Total Water Use (ETWU):

ETWU is calculated using the following formula: $ETWU = (E_{to} \times (E_{tAF} \times A_{LA}))$, where E_{tAF} is ETaF if PF/IE

Hydrazone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETaF (PF/IE)	Landscape Area (sq. ft.)	ETaF x Landscape Area	Estimated Total Water Use (ETWU) (gallons)
Regular Landscape Areas							
021 - Low Shrub	0.2	Drip	0.91	0.22	2,144	4,592	53,262
022 - Med Shrub	0.2	Drip	0.91	0.22	0	0	0
023 - High Turf	0.1	MP Rotator	0.75	1.33	0	0	0
024 - High Turf	0.1	Drip	0.91	0.99	0	0	0
025 - Med Tree	0.5	Bubbler	0.91	0.82	1,280	750	19,195
026 - Water Features	0.9	-	0.90	1.50	0	0	0
					Totals	9,978	29,387
Special Landscape Areas							
027 - Lawn	1	-	1	1	0	0	0
028 - Irrigation Area	1	-	1	1	0	0	0
					Totals	0	0
Estimated Total Water Use in gallons per year, ETWU Total						9,978	72,857
Maximum Annual Water Allowance in gallons per year, MAWA Total						11,134	11,134
MAWA calculation: $(E_{to} \times (E_{tAF} \times A_{LA})) + ((1 - E_{tAF}) \times A_{SLA})$						MAWA - ETWU	3,849
where Non-Residential MAWA/ETaF factor is 0.45							

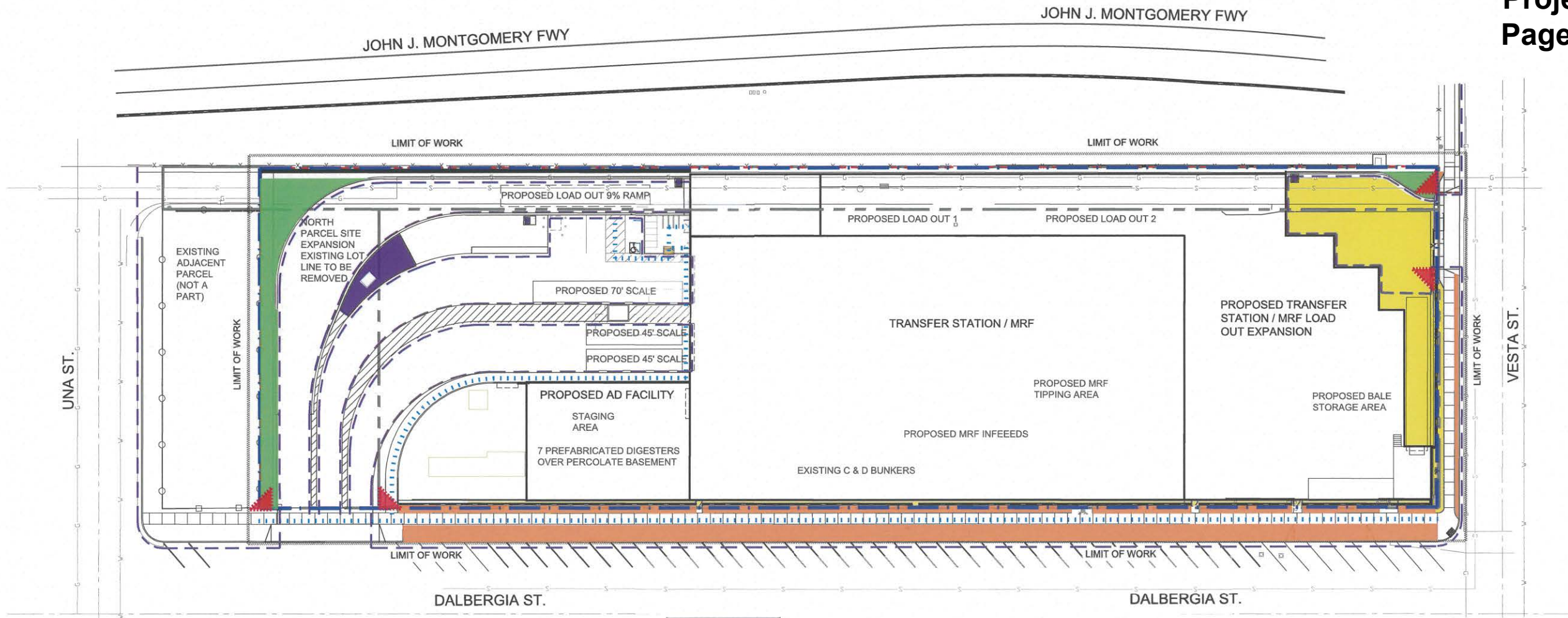
ETaF Calculations	
Regular Landscape Areas	
Total ETaF x Area	2938
Total Area	9,978
Average ETaF	0.29

Average ETaF for Regular Landscape Areas must be 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETaF x Area	2938
Total Landscape Area (LA)	9,978
Site-wide ETaF	0.29

All Landscape Areas	
Total ETaF x Area	2938
Total Landscape Area (LA)	9,978
Site-wide ETaF	0.29





FEATURE LEGEND:

- PROPERTY LINE
- VEHICULAR USE AREAS
- ACCESSIBLE PATH OF TRAVEL
- VISIBILITY TRIANGLE AREAS
- STREET YARD: (5,400 S.F.)
- REMAINING AREAS: (1,943 S.F.)
- PUBLIC RIGHT-OF-WAY: (5,564 S.F.)
- VEHICULAR USE AREA (VUA) (396 S.F. per Landscape Regulation Requirements 142.0407)

STREET YARD [142.0404]

Planting Area Required		Planting Area Provided		Excess Area Provided	
Total Area	1797 sq. ft. x 25% = 449 sq. ft.	553 sq. ft.	104 sq. ft.		

Planting Points Required		Plant Points Provided		Excess Points Provided	
Total Area	449 sq. ft. x 0.05 = 23 points	164 points	141 points		

* Increase point rate to 0.10 when loading docks are located along more than 25% of the street wall length [142.0405(d)(3)]

REMAINING YARD [142.0405(d)(4)]

Planting Area Required		Planting Area Provided	
Length of Property Lines adjacent to Remaining Yard	252 ft. x 5' = 1,260 sq. ft.	1,943 sq. ft.	

* Must have a width of 5 ft.

Plant Points Required		Plant Points Provided		Excess Points Provided	
Planting Area Required	1,260 sq. ft. x 0.05 = 63 points	262 points	199 points		

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required		Plant Points Provided		Excess Points Provided	
Total VUA:	400 sq. ft. x 0.05 = 20 points	40 points	21 points		

Points achieved through trees (at least half): 20 points

FACILITY EXPANSION
EDCO RECOVERY AND TRANSFER STATION

3660 DALBERGIA STREET
SAN DIEGO, CALIFORNIA

L-2
YARD DIAGRAM

SCALE: 1"=20'-0"
0' 10' 20' 30'

