

Report to the Planning Commission

DATE ISSUED: July 16, 2020 REPORT NO. PC-20-035

HEARING DATE: July 23, 2020

SUBJECT: AVION PROPERTY, Process Five Decision

PROJECT NUMBER: <u>598173</u>

OWNER/APPLICANT: The DeBevoise Family Trust/Lennar Homes

SUMMARY

Issues: Should the Planning Commission recommend approval to the City Council of an application for the subdivision of an undeveloped 41.48-acre parcel of land located south of Carmel Valley Road/Bernardo Center Drive and east of Black Mountain Road for the on-site construction of 84 multi-family dwelling units on-site, and the transfer of 19 affordable dwelling units and 14 market rate dwelling units to the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units, a Multi-Habitat Planning Area boundary line adjustment, and the reorganization and annexation for the sewer service to the Olivenhain Municipal Water District (OMWD) for a site within the Black Mountain Ranch (Subarea I) Subarea Plan area?

Staff Recommendations:

- Recommend the City Council CERTIFY Supplemental Environmental Impact Report No. 598173/SCH No. 97111070, ADOPT the Findings and the Mitigation, Monitoring, and Reporting Program; and
- 2. Recommend the City Council APPROVE Rezone Ordinance No. 2109729; and
- Recommend the City Council APPROVE Planned Development Permit No. 2109731;
 and
- 4. Recommend the City Council APPROVE Site Development Permit No. 2109732; and
- Recommend the City Council APPROVE Vesting Tentative Map No. 2109728.

<u>Community Planning Group Recommendation</u>: On February 5, 2020, the Rancho Peñasquitos Planning Board, the community planning group overseeing the Black Mountain Ranch Subarea-1 Plan area, voted 10-0-0 to recommend approval of the project with no conditions (Attachment 16).

Environmental Review: A Supplemental Environmental Impact Report (SEIR) No. 598173/SCH No. 97111070, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which would reduce some of the potential impacts to below a level of significance for Biological Resources, Cultural Resources (Historical Resources/Archaeology), and Air Quality (Construction). The applicant has provided Draft Candidate Findings and Statement of Overriding Considerations to allow the decision-maker to approve the project with significant and unmitigated direct impacts related to Visual Quality (Landform Alteration), which would be significant and unmitigated.

<u>Fiscal Impact Statement</u>: No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The Black Mountain Ranch Subarea Plan designates the site Low Density Residential allowing 2-5 dwelling units per acre (du/ac). The Subarea Plan allows for a maximum of 117 dwelling units on the site. The project proposes to construct 84 multifamily dwelling units on-site and transfer 14 market rate dwelling units and 19 affordable dwelling units to the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units. The proposed project's 117 dwelling units would not adversely affect the residential density goals of the Black Mountain Ranch Subarea Plan. The proposed project's affordable housing obligation of 19 dwelling units is being satisfied through the transfer of the affordable units to the Black Mountain Ranch North Village Town Center.

BACKGROUND

In July of 1998, the City of San Diego (City) adopted the Black Mountain Ranch Subarea Plan (Subarea Plan) in the former North City Future Urbanizing Area (NCFUA) and certified the Final Environmental Impact Report (FEIR; Land Development Review No. 96-7902, SCH No. 97111070). The Subarea Plan identifies several perimeter properties, which were originally held by 11 different ownerships. The Avion project site is within the area of the Subarea Plan referred to as the "Southeast Perimeter" properties, which are composed of four parcels (A, B, C, and D). The project site consists of Parcel C, totaling 41.48 acres. The Southeast Perimeter properties are designated by the Subarea Plan to allow up to a total of 330 residential units within a 66-acre development envelope (up to 5 dwelling units/gross acre). Specifically, Parcel C is designated for 117 dwelling units (Attachment 6).

The site is undeveloped and is currently zoned as Agricultural–Residential (AR-1-1). Approximately 22.51 acres of the project site have been designated as Low Residential (2–5 du/ac) in the Subarea Plan and the remainder of the site as Resource Based Open Space. The project site is within the City of San Diego's Multiple Species Conservation Program (MSCP), and approximately 18.97 acres of the project site are included in the Multi-Habitat Planning Area (MHPA). In addition, the site is located within the MCAS Miramar Airport Land Use Compatibility Overly Zone, and Airport Influence Area (Review Area 2). Land uses surrounding the project site include a portion of the Black Mountain Open Space Park to the west, east, and south, and the Heritage Bluffs residential development to the north, and additional Black Mountain Open Space Park open space lands to the northwest.

DISCUSSION

Project Description:

The Avion Property project (Project) would develop 84 detached multi-family dwelling units and associated private drives, and would include grading, landscaping, brush management and the installation of all necessary infrastructure (utility lines, storm drains, etc.). The Subarea Plan allows 117 dwelling units on the site, including a requirement for 19 affordable units. The Project proposes to construct 84 detached multi-family units on-site and transfer 19 affordable units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of their ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner association. The 14 transfer market rate dwelling units (not age restricted) would be designed consistent with the product types of the 84 detached multi-family dwelling units to be developed on-site. In total, the Project proposes a combined 117 dwelling units, in conformance with the Subarea Plan.

The proposed 84 detached multi-family units to be developed on-site would consist of four different housing product types as shown in Table 1, the Project would construct a total of 200,190 square feet of detached multi-family dwelling units based on this mix of product types.

Table 1 Total Project Square Footage					
Product Type	Square Footage of Product Type	Number of Units	Total Square Footage of Product Type		
Product 1	2,289	20	45,780		
Product 2	2,303	20	46,060		
Product 3	2,446	22	53,812		
Product 4	2,479	22	54,538		
TOTAL		84	200,190		

The Project would preserve approximately 23.75 acres of natural open space on-site through dedication to the City's MHPA. The on-site MHPA open space would include preservation of two open space lots (Lots A and B), which would be dedicated in fee title to the City of San Diego. Within Lots A and B to be dedicated in fee title to the City, the Project applicant would retain ownership of the 50-foot radii lots surrounding the storm drain outlets and grant them to the City through a Covenant of Easement.

The main access to the site would be provided by constructing a private drive (Private Drive A) that would connect to Winecreek Drive at the northeast corner of the site. Six interior private drives (A through G) would be constructed within the site. Private Drive A would connect to Winecreek Drive at the northeast corner of the site and provide the main access to the site. Private Drives B, C, and G would be stub streets less than 150 feet in length. Internal circulation would include stop signs at internal intersections. Emergency access would be provided via Private Drive A's connection to Winecreek Drive.

The 19 off-site affordable dwelling units and 14 market rate dwelling units will provide access to employment opportunities due to the units being located within a Mixed-Use Core where they are within walking distance of a variety of uses including a Target store, Sprouts grocery store, two nearby schools (Design39 Campus (K-8 school)), and a gym. It is also surrounded by restaurants and personal services. Pursuant to the Black Mountain Ranch Subarea Plan, a transit center will be included within this Mixed-Use Core. In addition, the site is less than a mile from the 4S Commons Town Center north of Camino Del Norte where more commercial uses are located including a few banks, a Ralphs Grocery Store, Jimbo's Naturally, Ace Hardware, Karl Strauss Brewing, salon services, restaurants, and fitness uses. Adjacent to the Town Center is the ActivCare at 4S Ranch memory care community. Within one to three miles east of the project site south of Bernardo Center Road, there are additional employment opportunities including, but not limited to: the Jeromes Corporate Headquarters, the industrial equipment supplier Cymer, the Petco Headquarters, Northrop Grumman, and the software company Teradata. In addition, the site is approximately three miles from the existing Rancho Bernardo Transit Center which provides connections to MTS routes 20, 235, 237, 290, and 945.

Discretionary Actions:

The Project requires the following discretionary actions:

- Rezone Rezone the property from AR-1-1 (Agricultural Residential, minimum 10-acre lots) Zone to RS-1-14 (Residential Single Unit, minimum 5,000-square-foot lots) Zone.
- <u>Planned Development Permit (PDP)</u> For development of detached multi-family dwelling units rather than single-family dwelling units, for off-site affordable dwelling units, transfer of dwelling units, and a deviation to exceed the maximum retaining wall height outside of required setbacks (see Deviation section below).
- <u>Site Development Permit (SDP)</u> For impacts to Environmentally Sensitive Lands (ESL) including steep slopes and sensitive biological resources. The Project has been designed to minimize impacts to ESL, and includes landform and contour grading; preservation of most sensitive biological resources in an MHPA open space preserve; and the revegetation of slopes with native plant species. The proposed encroachment into steep slopes is within the permitted allowances under ESL, and therefore, no deviations are required. In addition, the SDP is required for the Airport Land Use Compatibility Overly Zone requirements pursuant to <u>San Diego Municipal Code (SDMC) Section 126.0502(e)(4)</u> for a development that includes a Rezone (see Airport Land Use Compatibility section below).
- <u>Vesting Tentative Map (VTM)</u> Subdivide the property into one residential lot with 84 detached multi-family dwelling units and two open space (MHPA) lots.

Action by Outside Agencies:

• MHPA Boundary Line Adjustments - The proposed MHPA boundary line adjustment was approved by the Wildlife Agencies and City MSCP on June 21, 2019 (see MHPA Boundary Line Adjustment section below).

• <u>Sewer Service Area Annexation</u> - A reorganization consisting of latent powers expansion for sewer service for Olivenhain Municipal Water District (OMWD) and annexation to OMWD and the district's sewer service area San Diego Local Agency Formation Commission (LAFCO) is still pending (see Sewer Service Area Annexation section below).

Community Plan Analysis:

The proposed Project is consistent with the goals and policies of the General Plan and Black Mountain Ranch Subarea Plan. The Project proposes to construct 84 multi-family residential dwelling units on a site that is designated for residential use in the Subarea Plan and is part of the 1996 voter-approved phase shift for land within Black Mountain Ranch. The phase shift allowed for development to occur consistent with the land use designations and residential densities identified in the Subarea Plan. The 41.48-acre site has a Residential Land Use designation of Low Density, allowing 2-5 du/ac. The Subarea Plan identifies the site as Parcel C within the Southeast Perimeter Properties and allocates 117 dwelling units on the parcel. As previously stated, the Project includes the transfer of 19 affordable units and 14 market rate dwelling units to the Black Mountain Ranch North Village Town Center. This is consistent with the development transfer provisions of the Subarea Plan's Implementation Element.

The proposed development envelope for Parcel C would be approximately 17.74 acres, approximately 5.76-acres less than the development envelope identified in the Subarea Plan. The remaining approximate 23.75 acres on-site would be preserved as MHPA open space. The portion of the site designated Open Space by the Subarea Plan (approximately 57 percent of the site) would remain open space and a component of the City's MHPA consistent with the goals and policies of the General Plan Conservation Element. Planned land uses adjacent to the MHPA within the Subarea Plan include single-family and multi-family residential, as well as active recreation. The Project has been designed to minimize impacts and maintain the function of the MHPA. Consistent with the City's MSCP Subarea Plan, Open Space Element of the Subarea Plan and Conservation Element of the General Plan, the Project would prevent drainage from flowing directly into the MHPA; reduce the impact of toxics, noise, and lighting; provide new barriers along the MHPA boundary; establish brush management zones; and limit access to the Black Mountain Ranch Open Space Park to deter off-trail use. The Project site plan and design guidelines conform to the MHPA land use adjacency guidelines.

The current zoning for the property is AR-1-1 (Agricultural – Residential) and the Subarea Plan envisions the zone for Low Density Residential to be RS-1-14 (Residential – Single Unit). The Project includes a zone change from AR-1-1 to the RS-1-14 zone. The proposed zoning and clustered development will minimize impacts to natural habitat and the natural landform and reduce encroachment into the City's MHPA. These efforts help implement the Open Space and Community Design Elements of the Subarea Plan.

As outlined in the Subarea Plan, all Perimeter Properties are required to adopt the Design Guidelines approved for the Black Mountain Ranch Vesting Tentative Map/Planned Residential Development or develop independent design guidelines in conformance with policies in the Community Design Element Subarea Plan. The independent design guidelines provided as a component of the Project maintain consistency with the policies of the Subarea Plan. The Design Guidelines developed for the Project will assist to implement the goals of the Community Design

Element section A.4 Residential Clusters of the Subarea Plan by establishing a community identity compatible with the surrounding residential uses and open space system. The Design Guidelines also address section B. Common Design Elements of the Community Design Element by implementing street design standards for local streets, landscape and open space, and signage, lighting and walls.

Project-Related Issues:

<u>Landscape and Brush Management</u> - The landscape concept plan design includes plantings to blend and complement the existing native planting surrounding the site. Native low-fuel volume species would be used to revegetate the graded slopes, and the interior of the site would feature parkway street trees and groundcover-ornamental that is natural and fire resistant. Plant materials utilized in the landscape concept plan would be from the palette of plants known to perform well in this climactic zone and amended soil type.

Brush Management Zones (BMZ) would be implemented with Zone 1 located adjacent to structures and must be the least flammable. Zone 2 would consist of selective thinning and pruning of native plants. The standard BMZ widths are 35 feet for BMZ 1 and 65 feet for BMZ 2 as stated in Table 142-04h of the SDMC. The Project proposes to implement Alternative Compliance measures to traditional brush management zones that involve a reduction in BMZ 1 limits and introduction of a non-combustible wall between BMZ 1 and BMZ 2. By reducing the BMZ 1 limit and providing a non-combustible wall between BMZ 1 and BMZ 2, the overall impact to vegetation is reduced as the graded area is less. All BMZ 1 impacts are located within the grading limits. The majority of the BMZ 2 impacts are also located within the grading limits. Although 1.32 acres of BMZ 2 impacts extend into southern mixed chaparral that lies outside of the grading limits primarily on the western side of the project area, BMZ 2 impacts are considered "impact neutral" and involve only minor thinning, trimming, and pruning of vegetation without destroying habitat value.

<u>Sewer Service Area Annexation</u> - The San Diego Local Agency Formation Commission (LAFCO) would need to approve a reorganization consisting of an expansion of latent powers for the Olivenhain Municipal Water District (OMWD) sewer service area and the annexation of the site to OMWD and the sewer service area (Attachment 7). Proposed sewer flows generated by the Project would be conveyed to the downstream sewer treatment plant owned and operated by the OMWD. The Project sewer mains would connect to existing sewer facilities within the Heritage Bluffs residential development to north. The agreement to have OMWD provide sewer service rather than the City of San Diego is consistent with two other adjacent projects within Black Mountain Ranch (East Clusters Unit 3 and the Heritage Bluffs residential development).

The Cortese-Knox-Hertzberg Act requires that LAFCO conduct reviews of all municipal services provided in each county. In 2005, the San Diego LAFCO conducted the North Central San Diego County Municipal Service Review, which comprehensively studied existing and future public service conditions and evaluated organizational options to accommodate growth, prevent urban sprawl, and ensure that critical services are provided in an efficient and cost-effective manner. The analysis, which studied OMWD, the Rancho Santa Fe Community Services District, and the City of San Diego was accompanied by a Sphere of Influence Update. The site is located within the OMWD's SOI and sewer service SOI.

In May 2005, the San Diego LAFCO adopted the update, which was affirmed in August 2007 and June 2013. A special district may only provide those activities described in its principal act. Those services are further restricted by LAFCO's responsibility to regulate latent powers (i.e., the services or functions authorized by the principal act, but not currently exercised by the district). Consequently, the Project would require a reorganization consisting of an expansion of latent powers for sewer service and the annexation of the Project site to OMWD and the district's sewer service area. Approval of the proposed approximately 41.48-acre reorganization to the OMWD sewer service area would increase the geographic area for OMWD to exercise latent powers for sewer service and annex the same territory to OMWD.

MHPA Boundary Line Adjustment - Minor encroachments into the current MHPA boundary on the eastern portion of the site would occur under the Project. These encroachments would impact a total of 0.55 acre comprised of 0.14 acre of coastal sage scrub, 0.27 acre of southern mixed chaparral, and 0.14 acre of non-native grassland. Under the proposed MHPA Boundary Line Adjustment (BLA), these impact areas would be removed from the current MHPA and on-site land not currently within the MHPA would be added into the preserve. Land added into the MHPA with the BLA would include 5.61 acres comprised of 4.99 acres of southern mixed chaparral, 0.49 acre of non-native grassland, and 0.13 acre of coastal sage scrub (Table 2), resulting in a net gain of 5.06 acres.

Table 2						
Summary of Proposed MHPA Boundary Line Adjustment						
				Proposed MHPA		
Vegetation Communities/	Existing MHPA	Deletions (Impact)	Added	with BLA		
Land Cover Types	Acres	Acres	Acres	(Net Change)		
Coastal Sage Scrub	3.58	0.14	0.13	3.57 (-0.01)		
Southern Mixed Chaparral	15.03	0.27	4.99	19.75 (+4.72)		
Non-native Grassland	0.23	0.14	0.49	0.58 (+0.35)		
Freshwater Marsh	0.13			0.13 (0)		
Disturbed Land						
TOTAL	18.97	0.55	5.61	24.03 (+5.06)		

The proposed MHPA BLA was approved by the Wildlife Agencies and City MSCP on June 21, 2019. Once the BLA is completed, no direct impacts or loss of MHPA lands would result from the Project. The proposed MHPA BLA would be beneficial to the overall MHPA preserve at this location due to an increase in Tier IIIA and IIIB habitats and acreage of preserved land. The minor losses of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats from encroachments into the current MHPA total 0.55 acre and would be offset by additions of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats into the MHPA currently located within the southern portion of the site totaling 5.06 acres. This proposed land exchange complies with the overall MSCP policy for BLAs, as the approved BLA would transfer equal or higher biological values of impacted species and habitats into the preserve

<u>Deviation to the SDMC</u> - The Project proposes a deviation from the applicable development regulations, for over height retaining walls outside of the required setback. The Project is requesting retaining walls with a maximum height of 55 feet, 7 inches that would be located along both sides of the existing drainage channel, where <u>SDMC Section 142.0340</u> requires that the heights of retaining

walls do not exceed 12 feet outside of required setbacks. The proposed retaining walls would be located along both sides of the existing drainage channel that would be crossed by the arch culvert allowing for the extension of Winecreek Drive. Implementation of these retaining walls would avoid encroachments into the existing drainage that would otherwise occur if the Project conformed to the maximum height allowed by the SDMC, thereby preventing impacts to sensitive wetlands. The proposed retaining walls would be downslope from the Project and not exceed the elevation of the arch culvert or the development pad and therefore would, not be visible from the site once constructed. Furthermore, the retaining walls would be developed with earth tones that would blend in with the surrounding natural environment and would be landscaped with cascading vines at the top of the walls that would extend downslope to provide an aesthetically pleasing appearance from views off-site.

All other retaining walls located on the site are along both the eastern and western Project boundaries and would be 135 feet in length and vary in height from one to ten feet and would not exceed the height regulations of the underlying zone. These retaining walls would be downslope from the building pad and not visible from the site and would also be developed with earth tones that would blend in with the surrounding natural environment and would be landscaped to provide an aesthetically pleasing appearance from views off-site.

Airport Land Use Compatibility- The site is located within the MCAS Miramar Airport Land Use Compatibility Overly Zone and Airport Influence Area (Review Area 2). The Project includes a rezone and pursuant SDMC Section 126.0502(e)(4), the Project requires a Process Five SDP for development within an Airport Land Use Compatibility Overly Zone. The use and density are consistent with the MCAS Miramar Airport Land Use Compatibility Plan (ALUCP). Topographically, the site is located at the upper end of a broad north-south trending valley. A ridgeline occurs in the central portion of the site that rises in elevation from north to south from 740 feet mean sea level to 915 feet mean sea level. Though the Project is not located within a Federal Aviation Administration (FAA) Part 77 Notification area, on October 14, 2018, the Project was issued a FAA Determination of No Hazard to Air Navigation. A consistency determination application was submitted to the San Diego County Regional Airport Authority (SDCRAA). On October 30, 2018, the SDCRAA serving as the Airport Land Use Commission (ALUC) for San Diego County, determined that an ALUC consistency determination would not be required for this Project.

Conclusion:

With the approval of the requested deviation, the proposed Project meets all applicable regulations and policy documents, and staff finds the Project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Subarea Plan, SDMC, and the General Plan. In addition, the Project would further the City's affordable housing goals by developing 19 affordable housing units off-site. Therefore, staff recommends that the Planning Commission recommend City Council to approve the Project.

ALTERNATIVES

 Recommend the City Council CERTIFY Supplemental Environmental Impact Report No. 598173/SCH No. 97111070, ADOPT the Findings and the Mitigation, Monitoring, and Reporting Program; and APPROVE Rezone Ordinance No. 2109729, Planned Development Permit No. 2109731, Site Development Permit No. 2109732, and Vesting Tentative Map No. 2109728, with modifications.

2. Recommend the City Council DO NOT CERTIFY Supplemental Environmental Impact Report No. 598173/SCH No. 97111070, DO NOT ADOPT the Findings or the Mitigation, Monitoring, and Reporting Program; and DENY Rezone Ordinance No. 2109729, Planned Development Permit No. 2109731, Site Development Permit No. 2109732, and Vesting Tentative Map No. 2109728, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

P itzGeralu

Assistant Deputy Director

Development Services Department

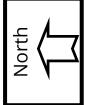
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Development Project Manager
Development Services Department

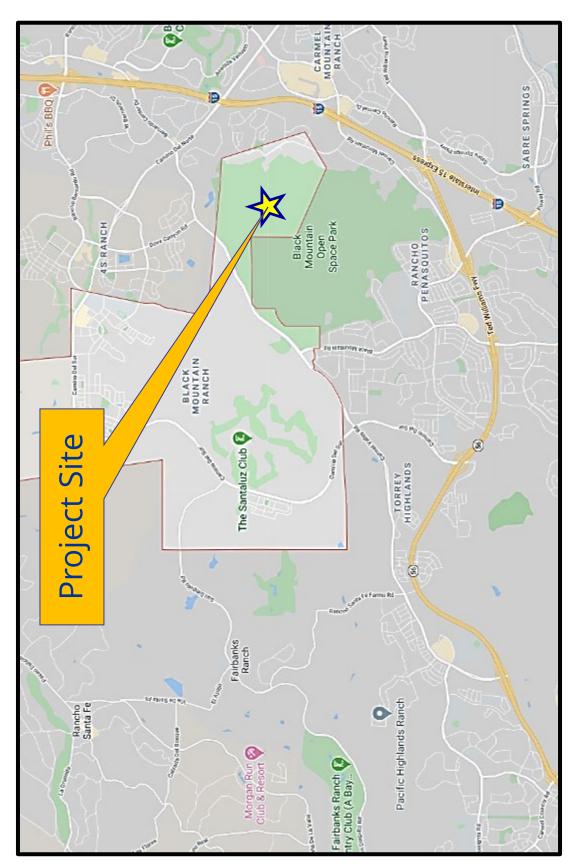
FITZGERALD/JAP

Attachments:

- 1. Project Location Map
- 2. Aerial Photograph
- 3. Zoning Map
- 4. Community Plan Land Use Map
- 5. Project Data Sheet
- 6. Subarea Plan Figure
- 7. Olivenhain MWD Sewer Service Area Map
- 8. Draft Permit Resolution with Findings
- 9. Draft Permit with Conditions
- 10. Draft VTM Resolution with Findings
- 11. Draft VTM Conditions
- 12. Draft Environmental Resolution with MMRP
- 13. Draft Rezone Ordinances
- 14. Rezone B Sheet
- 15. Draft Planning Commission Resolution
- 16. Community Planning Group Recommendation
- 17. Ownership Disclosure Statement
- 18. Design Review Guidelines
- 19. Project Plans

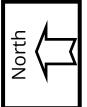




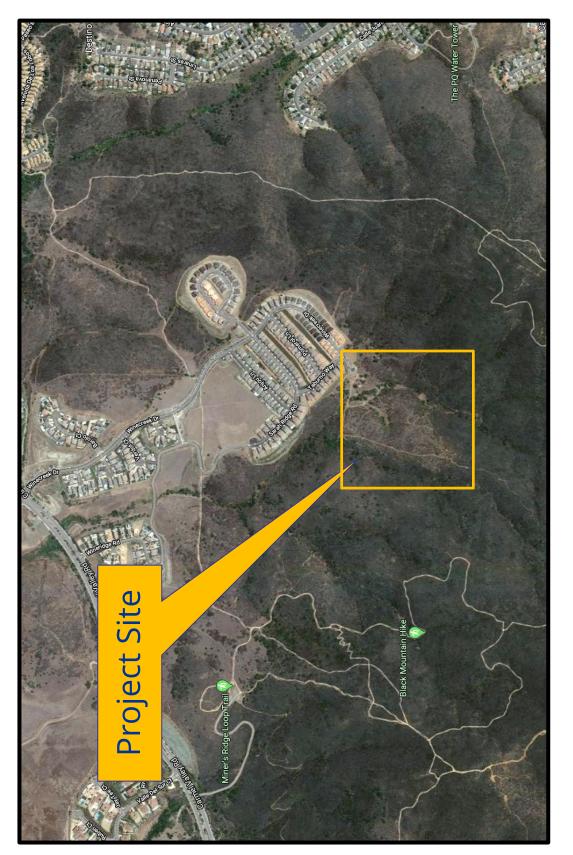


Location Map

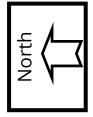
41.48-acre site located southwest of Winecreek Drive **AVION PROPERTY - PROJECT NO. 598173**



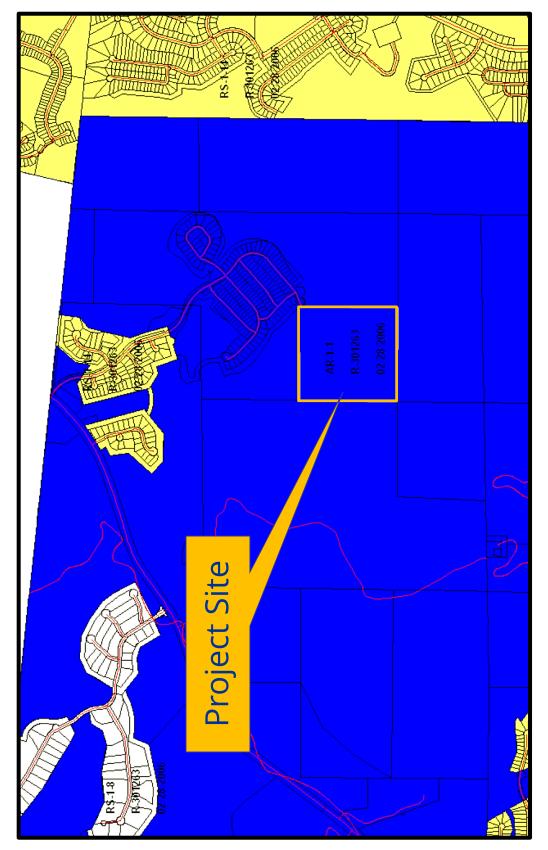




Aerial Photograph AVION PROPERTY - PROJECT NO. 598173 41.48-acre site located southwest of Winecreek Drive

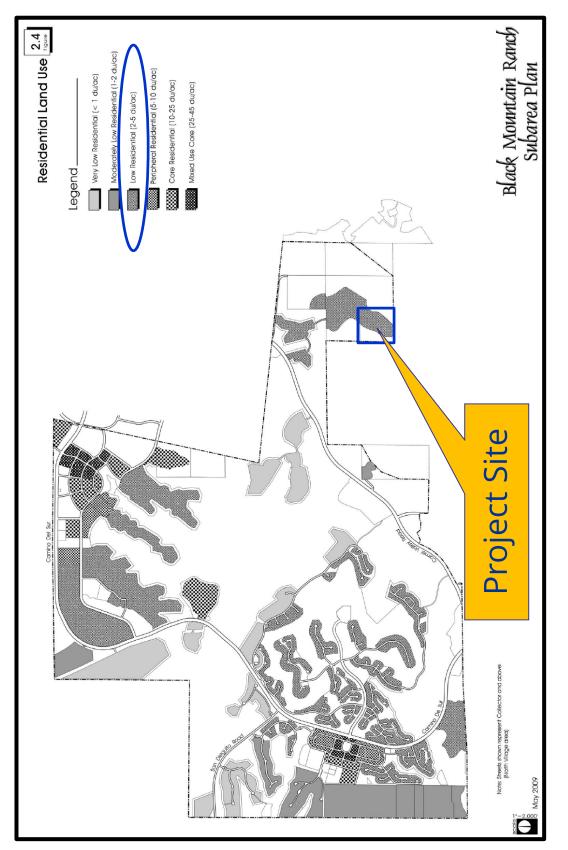


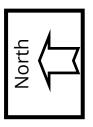




Zoning Map (AR-1-1 Zone)

41.48-acre site located southwest of Winecreek Drive **AVION PROPERTY - PROJECT NO. 598173**



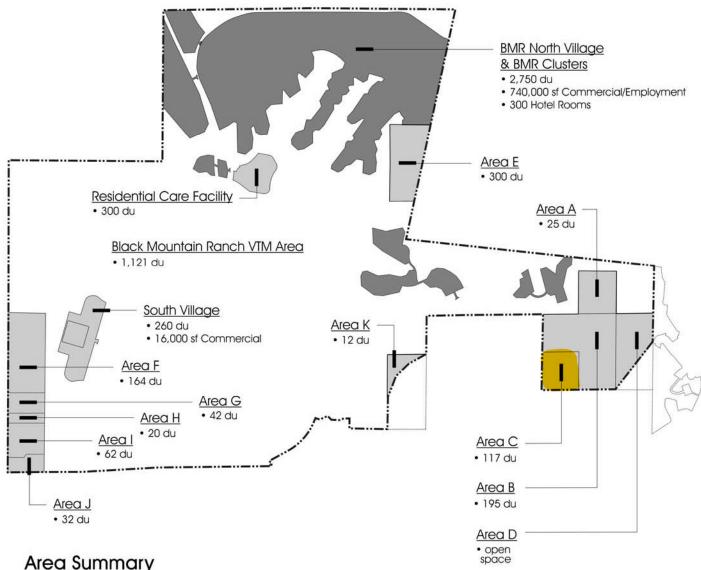


Community Land Use Map

AVION PROPERTY - PROJECT NO. 598173 41.48-acre site located southwest of Winecreek Drive



PROJECT DATA SHEET				
PROJECT NAME:	Avion Property - Project No. 598173			
PROJECT DESCRIPTION:	site, and the transfer of 19 afford rate dwelling units to the Black M Center for a combined total of 11 Planning Area boundary line adju			
COMMUNITY PLAN AREA:	Black Mountain Ranch (Subarea I) Subarea Plan			
DISCRETIONARY ACTIONS:	Rezone, Planned Development Permit, Site Development Permit, and Vesting Tentative Map			
COMMUNITY PLAN LAND USE DESIGNATION:	Residential Land Use designation of Low Density, allowing 2-5 du/ac			
ZONING INFORMATION:	EXISTING	PROPOSED		
ZONE: HEIGHT LIMIT: LOT SIZE: FLOOR AREA RATIO: LOT COVERAGE: FRONT SETBACK: SIDE SETBACK: STREETSIDE SETBACK: REAR SETBACK: PARKING:	30 Feet 10 Acres NA 10 Percent 25 Feet Min 20 Feet Min NA 25 Feet Min	RS-1-14 35 Feet 5,000 Square Feet 0.60 NA 15 Feet Min 4 Feet Min 10 Feet Min 10 Feet Min 2 Spaces per Dwelling Unit		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE		
NORTH:	Low Residential, AR-1-1	Single Family Residential		
SOUTH:	Open Space, AR-1-1	Open Space		
EAST:	Open Space, AR-1-1	Open Space		
WEST:	Open Space, AR-1-1	Open Space		
DEVIATIONS	Deviations for retaining walls.			
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 5, 2020, the Rancho Peñasquitos Planning Board, the community planning group overseeing the Black Mountain Ranch Subarea-1 Plan area, voted 10-0-0 to recommend approval of the project with no conditions.			



Does not include area in Rancho Peñasquitos

Perimeter Ownerships

30.6 ac
21.2 ac
16.0 ac

Sub-Total: 514.5 ac

Black Mountain Ranch

BMR North Village & BMR Clusters:	815.0 ac
South Village:	58.5 ac
Residential Care Facility:	
Black Mountain Ranch VTM Area:	3,679.5 ac
Sub-Total:	4,583.0 ac
Total Area:	5.097.5 ac



Black Mountain Ranch Subarea Plan

CITY COUNCIL RESOLUTION NO. R-_____

DATE OF FINAL PASSAGE

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO APPROVING PLANNED DEVELOPMENT PERMIT NO. 2109731 AND SITE DEVELOPMENT PERMIT NO. 2109732 FOR THE AVION PROPERTY - PROJECT NO. 598173 [MMRP]

WHEREAS, THE DEBEVOISE FAMILY TRUST dated March 21, 1986, Owner, and LENNAR

HOMES, Permittee, filed an application with the City of San Diego for a Planned Development Permit and Site Development Permit for the subdivision of the project site and construction of 84 multifamily dwelling units on-site, the transfer of 19 affordable dwelling units and14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units known as the Avion Property project (Project). The 41.48-acre Project site is located southwest of Winecreek Drive in the AR-1-1 (Agricultural-Residential) Zone which is proposed to be rezoned to the RS-1-14 (Residential-Single Unit) Zone within the Black Mountain Ranch Subarea Plan area. In addition, the site is located within the Multiple Habitat Planning Area (MHPA), MCAS Miramar Airport Land Use Compatibility Overly Zone, and Airport Influence Area (Review Area 2); and

WHEREAS, the Project site is legally described as: PARCEL 1: The Southeast quarter of the Southeast quarter of Section 32, Township 13 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Records; and PARCEL 2: Lots 1 and 2 and the Southeast quarter of the Northeast quarter of Section 5, Township 14 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred

substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Record; and

WHEREAS, on July 23, 2020, the Planning Commission of the City of San Diego considered

Planned Development Permit No. 2109731 and Site Development Permit No. 2109732, and pursuant
to Resolution No. ______-PC voted to recommend the Council of the City of San Deigo

(Council) approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _______, testimony having been heard, evidence having been submitted, and the Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 2109731 and Site Development Permit No. 2109732:

A. <u>SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]</u>

- 1. Findings for all Site Development Permits SDMC Section 126.0505(a):
 - a. The proposed development will not adversely affect the applicable land use plan.

The Project proposes the construction of 84 multi-family residential dwelling units on a site that is designated for residential use in the Black Mountain Ranch Subarea Plan (Subarea Plan) and is part of the 1996 voter-approved phase shift for land within Black Mountain Ranch. The phase shift allowed for development to occur

consistent with the land use designations and residential densities identified in the Subarea Plan. The 41.48-acre site has a Residential Land Use designation of Low Density, allowing 2-5 dwelling units per acre (du/ac). The Subarea Plan identifies the site as Parcel C within the Southeast Perimeter Properties, and allocates 117 dwelling units on the parcel. The Project includes the transfer of 19 affordable units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center, consistent with the development transfer provisions of the Subarea Plan's Implementation Element. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of its ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner's association. The 14 market rate dwelling units (not age restricted) would be designed consistent with the product types of the 84 detached multi-family dwelling units to be developed on-site.

The proposed development envelope for Parcel C would be approximately 17.74acres, approximately 5.76-acres less than the development envelope identified in the Subarea Plan. The remaining approximate 23.75-acres on-site would be preserved as Multi-Habitat Planning Area (MHPA) open space. The portion of the site designated for Open Space by the Subarea Plan (approximately 57-percent of the site) would remain open space and a component of the City's Multiple Species Conservation Program (MSCP), consistent with the goals and policies of the General Plan Conservation Element. Planned land uses adjacent to the MHPA within the Subarea Plan include single-family and multi-family residential, as well as active recreation. The Project has been designed to minimize impacts and maintain the function of the MHPA. Consistent with the City's MSCP Subarea Plan, Open Space Element of the Subarea Plan and Conservation Element of the General Plan, the Project would prevent drainage from flowing directly into the MHPA; reduce the impact of toxics, noise, and lighting; provide new barriers along the MHPA boundary; establish brush management zones; and limit access to the Black Mountain Ranch Open Space Park to deter off-trail use. The Project site plan and design guidelines conform to the MHPA land use adjacency guidelines.

The current zoning for the property is AR-1-1 (Agricultural – Residential) and the Subarea Plan envisions the zone for Low Density Residential to be RS-1-14 (Residential – Single Unit). The Project includes a zone change from AR-1-1 to the RS-1-14 zone. The proposed zoning and clustered development will minimize impacts to natural habitat and the natural landform and reduce encroachment into the City's MHPA. These efforts help implement the Open Space and Community Design Elements of the Subarea Plan.

As outlined in the Subarea Plan, all Perimeter Properties are required to adopt the Design Guidelines approved for the Black Mountain Ranch Vesting Tentative Map/Planned Residential Development or develop independent design guidelines in conformance with policies in the Community Design Element Subarea Plan. The independent design guidelines provided as a component of the Project maintain

consistency with the policies of the Subarea Plan. The Design Guidelines developed for the Project will assist to implement the goals of the Community Design Element section A.4 Residential Clusters of the Subarea Plan by establishing a community identity compatible with the surrounding residential uses and open space system. The Design Guidelines also address section B. (Common Design Elements of the Community Design Element) by implementing street design standards for local streets, landscape and open space, and signage, lighting and walls. Therefore, for these reasons, the development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project proposes the subdivision of the site and construction of 84 multi-family residential units on-site, the transfer of 19 affordable dwelling units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units. The proposed 84 multi-family units to be developed on-site would consist of four different housing product types: 20 detached 2,289-square-foot dwelling units; 20 detached 2,303-square-foot dwelling units; 22 detached 2,446-square-foot dwelling units, and 22 detached 2,479-square-foot dwelling units.

The Project would preserve approximately 23.75-acres of natural open space on-site through dedication to the City's MHPA. The on-site MHPA open space would include preservation of two open space lots (Lots A and B), which would be dedicated in fee title to the City of San Diego. Within Lots A and B to be dedicated in fee title to the City, the Project applicant would retain ownership of the 50-foot radii lots surrounding the storm drain outlets and grant them to the City through a Covenant of Easement.

The main access to the site would be provided by constructing a private drive (Private Drive A) that would connect to Winecreek Drive at the northeast corner of the site. Six interior private drives (A through G) would be constructed within the site. Private Drive A would connect to Winecreek Drive at the northeast corner of the site and provide the main access to the site. Private Drives B, C, and G would be stub streets less than 150 feet in length. Internal circulation would include stop signs at internal intersections. Emergency access would be provided via Private Drive A's connection to Winecreek Drive.

Supplemental Environmental Impact Report (SEIR) No. 598173/SCH No. 97111070, has been prepared for the Project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this Project, which would reduce some of the potential impacts to below a level of significance for Biological Resources, Cultural Resources (Historical Resources/Archaeology), and Air Quality (Construction). Candidate Findings and Statement of Overriding Considerations have been included with the Project that allowed the decision-maker to approve the

Project with significant and unmitigated direct impacts related to Visual Quality (Landform Alteration), which would be significant and unmitigated.

The San Diego Local Agency Formation Commission (LAFCO) would need to approve a reorganization consisting of an expansion of latent powers for the Olivenhain Municipal Water District (OMWD) sewer service area and the annexation of the site to OMWD and the sewer service area. Proposed sewer flows generated by the Project would be conveyed to the downstream sewer treatment plant owned and operated by the OMWD. The Project sewer mains would connect to existing sewer facilities within the Heritage Bluffs residential development to north. The agreement to have OMWD provide sewer service rather than the City of San Diego is consistent with two other adjacent projects within Black Mountain Ranch (East Clusters Unit 3 and the Heritage Bluffs residential development).

The permit for the Project includes various conditions and referenced exhibits of approval relevant to achieving compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this Project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The Project will comply with the development conditions in effect for the subject property as described in Planned Development Permit No. 2109731 and Site Development Permit No. 2109732, and other regulations and guidelines pertaining to the subject property per the SDMC for the site. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The Project proposes the subdivision of the site and construction of 84 multi-family residential units on-site, the transfer of 19 affordable dwelling units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units. The transfer of dwelling units is consistent with the development transfer provisions of the Subarea Plan's Implementation Element. The Project would preserve approximately 23.75-acres of natural open space on-site through dedication to the City's MHPA. The on-site MHPA open space would include preservation of two open space lots (Lots A and B), which would be dedicated in fee title to the City of San Diego.

The current zoning for the property is AR-1-1 (Agricultural – Residential) and the Subarea Plan envisions the zone for Low Density Residential to be RS-1-14 (Residential – Single Unit). The Project includes a zone change from AR-1-1 to the RS-1-14 zone. The proposed zoning and clustered development will minimize impacts

to natural habitat and the natural landform and reduce encroachment into the City's MHPA.

The landscape concept plan design includes plantings to blend and complement the existing native planting surrounding the site. Native low-fuel volume species would be used to revegetate the graded slopes, and the interior of the site would feature parkway street trees and groundcover-ornamental in nature and fire resistant. Plant materials utilized in the landscape concept plan would be from the palette of plants known to perform well in this climactic zone and amended soil type.

Brush Management Zones (BMZ) would be implemented with Zone 1 located adjacent to structures. Zone 2 would consist of selective thinning and pruning of native plants. The standard BMZ widths are 35 feet for BMZ 1 and 65 feet for BMZ 2 as stated in Table 142-04h of the SDMC. The Project proposes to implement Alternative Compliance measures (SDMC Section 142.0412(i)) to traditional brush management zones that involve a reduction in BMZ 1 limits and introduction of a non-combustible wall between BMZ 1 and BMZ 2. By reducing the BMZ 1 limit and providing a non-combustible wall between BMZ 1 and BMZ 2, the overall impact to vegetation is reduced as the graded area is less. All BMZ 1 impacts are located within the grading limits. The majority of the BMZ 2 impacts are also located within the grading limits. Although 1.32-acres of BMZ 2 impacts extend into southern mixed chaparral that lies outside of the grading limits primarily on the western side of the project area, BMZ 2 impacts are considered "impact neutral" and involve only minor thinning, trimming, and pruning of vegetation without destroying habitat value.

The Project proposes a deviation from the applicable development regulations, for over height retaining walls outside of the required setback. The Project is requesting retaining walls with a maximum height of 55 feet, 7 inches that would be located along both sides of the existing drainage channel, where SDMC Section 142.0340 requires that the heights of retaining walls not exceed 12 feet outside of required setbacks. The proposed retaining walls would be located along both sides of the existing drainage channel that would be crossed by the arch culvert allowing for the extension of Winecreek Drive. Implementation of these retaining walls would avoid encroachments into the existing drainage that would otherwise occur if the Project conformed to the maximum height allowed by the SDMC, thereby preventing impacts to sensitive wetlands. The proposed retaining walls would be downslope from the Project and not exceed the elevation of the arch culvert or the development pad and therefore, not be visible from the site once constructed. Furthermore, the retaining walls would be developed with earth tones that would blend in with the surrounding natural environment and would be landscaped with cascading vines at the top of the walls that would extend downslope to provide an aesthetically pleasing appearance from views off-site.

All other retaining walls located on the site are along both the eastern and western Project boundaries and would be 135 feet in length and vary in height from one to ten feet and would not exceed the height regulations of the underlying zone. These retaining walls would be downslope from the building pad and not visible from the

site and would also be developed with earth tones that would blend in with the surrounding natural environment and would be landscaped to provide an aesthetically pleasing appearance from views off-site.

Other than the requested retaining wall height deviation, the Project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC). In addition, the proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities by constructing 19 affordable dwelling units off-site within the Black Mountain Ranch North Village Town Center.

2. <u>Supplemental Findings SDMC Section 126.0505(b) – Environmentally Sensitive Lands:</u>

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

Topographically, the site is located at the upper end of a broad north-south trending valley. A ridgeline occurs in the central portion of the site that rises in elevation from north to south from 740 feet mean sea level to 915 feet mean sea level. The ridge is bounded by two small canyons, one to the east and one to the west, with one main drainage course and smaller tributaries in each. These drainages have slopes of moderate to steep grade. There is a small meadow in the northwest corner of the property, at the mouth of the eastern drainage.

Four vegetation communities and one land cover type occur on the site. Southern mixed chaparral comprises the majority of the site with lesser acreages of coastal sage scrub, non-native grassland, and freshwater marsh patches. The single land cover type occurring on the site consists of disturbed land.

Coastal sage scrub, southern mixed chaparral, non-native grassland, and freshwater marsh are all considered sensitive vegetation types by the City. Coastal sage scrub is ranked as a Tier II habitat, southern mixed chaparral as a Tier IIIA habitat, non-native grassland as a Tier IIIB habitat, and freshwater marsh as a wetland habitat. No sensitive plant species were observed on the site and none are expected to occur due to lack of appropriate habitat and/or soil conditions. Two sensitive animal species (cooper's hawk and San Diego desert woodrat) were observed on-site, while four other sensitive animal species (Belding's orange-throated whiptail, coastal whiptail, coastal California gnatcatcher, and southern California rufous-crowned sparrow) have a moderate potential to occur on the site due to the habitat conditions.

The current MHPA boundary is located within the Project site and minor encroachments into the current MHPA boundary on the eastern portion of the site would occur under the Project. These encroachments would impact a total of 0.55-

acre comprised of 0.14-acre of coastal sage scrub, 0.27-acre of southern mixed chaparral, and 0.14-acre of non-native grassland. Under the MHPA boundary line adjustment (BLA), these impact areas would be removed from the current MHPA and on-site land not currently within the MHPA would be added into the preserve. Land added into the MHPA with the BLA would include 5.61-acres comprised of 4.99-acres of southern mixed chaparral, 0.49-acre of non-native grassland, and 0.13-acre of coastal sage scrub, resulting in a net gain of 5.06-acres.

The MHPA BLA was approved by the Wildlife Agencies and City MSCP on June 21, 2019. Once the BLA is completed, no direct impacts or loss of MHPA lands would result from the Project. The MHPA BLA would be beneficial to the overall MHPA preserve at this location due to an increase in Tier IIIA and IIIB habitats and acreage of preserved land. The minor losses of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats from encroachments into the current MHPA total 0.55-acre and would be offset by additions of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats into the MHPA currently located within the southern portion of the site totaling 5.06-acres. This proposed land exchange complies with the overall MSCP policy for BLAs, as the approved BLA would transfer equal or higher biological values of impacted species and habitats into the preserve.

The project would be consistent with the environmentally sensitive lands regulations for sensitive biological resources. It is also within the encroachment limitations permitted by the City's steep hillsides regulations. Based on the foregoing analysis and information, the site is physically suitable for the design and siting of the proposed development and the development would result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

Topographically, the site is located at the upper end of a broad north-south trending valley. A ridgeline occurs in the central portion of the site that rises in elevation from north to south from 740 feet mean sea level to 915 feet mean sea level. The ridge is bounded by two small canyons, one to the east and one to the west, with one main drainage course and smaller tributaries in each. These drainages have slopes of moderate to steep grade. There is a small meadow in the northwest corner of the property, at the mouth of the eastern drainage.

The Project construction would grade 15.69-acres of the 41.48-acre site (37.8 percent). Overall, the Project proposes approximately 296,000 cubic yards of cut (maximum depth of 52 feet) and 296,000 cubic yards of fill (maximum depth of 64 feet) over the approximately 15.69-acre graded area, resulting in a net balance of grading on the site. The Project would therefore result in approximately 18,866 cubic yards of earthwork per graded acre. The Project would include mass grading to terrace the underlying landform in order to create flat pads for development. While the site would result in terracing within the development footprint, the Project would result in grading of the overall site area, and the majority of steep natural slopes

surrounding the development would be retained within the 23.75-acres of the site (57.3 percent) proposed to be preserved as MHPA open space.

The post-Project drainage pattern has been designed to be generally consistent with the existing drainage pattern on-site and would not alter the destination of downstream flows. The Project introduces new drainage facilities consisting of culverts, brow ditches, curb gutters, storm drain inlets, and pipes that would convey flows to a new biofiltration basin to be constructed in the northeast corner of the site. The biofiltration basin would treat and detain stormwater flows before discharging them into the existing channel on the eastern side of the site. The biofiltration basin would be needed to reduce post-Project stormwater flows. The proposed biofiltration basin includes design features that would reduce the 100year storm runoff rate to less than or equal to the 20.6 cfs present in the existing condition. The biofiltration basin would include an aboveground storage component with a series of flow orifices that would detain stormwater and slowly release treated stormwater. Additionally, the biofiltration basin would include riprap energy dissipaters to reduce flow velocities both entering and exiting the basin. Therefore, no new significant or substantially increased adverse impacts relative to hydrology would result from implementing the Project.

The site-specific Geotechnical Report prepared for the Project concluded that no soil or geologic conditions exist at the site that would preclude the proposed development, provided the measures recommended in the report are implemented for design and construction. As outlined above in Site Development Permit finding (A)(1)(c), BMZs would be implemented with the Project which reduce potential fire hazards. Therefore, the proposed development has been designed to minimize the alteration of natural land forms and would not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

Approximately 17.74-acres of the 41.48-acre site would be developed for residential uses and various site improvements, including private drives, hardscape, retaining walls, and landscaping. Native low-fuel volume species would be used to re-vegetate the graded slopes. The treatment for the interior would primarily be parkway street trees and groundcover, ornamental in nature, fireresistant, and would complement the building architecture. Grading operations would entail approximately 296,000 cubic yards of cut (maximum depth of 52 feet) and 296,000 cubic yards of fill (maximum depth of 64 feet), resulting in a net balance of soils on the site. The Project would construct retaining walls with a total length of 2,038 feet and a maximum height of 55 feet, 7 inches, and would include mass grading to terrace the underlying landform in order to create flat pads for development. While the Project site would result in terracing within the development footprint, the Project would result in grading of the overall site area, and the majority of steep natural slopes surrounding the development would be retained within the 23.75-acres of the site (57.3 percent) proposed to be preserved as MHPA open space.

As outlined in Site Development Permit Finding (A)(1)(c) listed above, BMZs would be implemented with the Project which reduce potential fire hazards. As outlined in Site Development Permit Finding (A)(2)(a) listed above, the Project includes a MHPA BLA and on-site land not currently within the MHPA would be added into the preserve. Land added into the MHPA with the BLA would include 5.61-acres comprised of 4.99-acres of southern mixed chaparral, 0.49-acre of non-native grassland, and 0.13-acre of coastal sage scrub, resulting in a net gain of 5.06-acres.

The MHPA BLA was approved by the Wildlife Agencies and City MSCP on June 21, 2019. Once the boundary line adjustment is completed, no direct impacts or loss of MHPA lands would result from the Project. The MHPA BLA would be beneficial to the overall MHPA preserve at this location due to an increase in Tier IIIA and IIIB habitats and acreage of preserved land. The minor losses of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats from encroachments into the current MHPA total 0.55-acre and would be offset by additions of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats into the MHPA

The Project would be consistent with the requirements of the Environmentally Sensitive Regulations as well as the Biology Guidelines. The Project would not conflict with any applicable habitat conservation plan or natural community conservation plan. Therefore, the proposed development would not conflict with the City's MSCP, in that the site is located within and adjacent to the MHPA.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

As outlined above in Site Development Permit Finding (A)(2)(a) listed above, the Project includes a MHPA BLA and on-site land not currently within the MHPA would be added into the preserve. Land added into the MHPA with the BLA would include 5.61-acres comprised of 4.99-acres of southern mixed chaparral, 0.49-acre of non-native grassland, and 0.13-acre of coastal sage scrub, resulting in a net gain of 5.06-acres.

The MHPA BLA was approved by the Wildlife Agencies and City MSCP on June 21, 2019. Once the boundary line adjustment is completed, no direct impacts or loss of MHPA lands would result from the Project. The MHPA BLA would be beneficial to the overall MHPA preserve at this location due to an increase in Tier IIIA and IIIB habitats and acreage of preserved land. The minor losses of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats from encroachments into the current MHPA total 0.55-acre and would be offset by additions of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats into the MHPA.

The site does not contain any vernal pools and not subject to the Vernal Pool Habitat Conservation Plan (VPHCP). Therefore, the proposed development would be be consistent with the City of San Diego's MSCP Subarea Plan.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The 41.48-acre vacant site is located southwest of Winecreek Drive. The site is located approximately 9.81-miles from the Pacific Ocean, and would not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

SEIR No. 598173/SCH No. 97111070, has been prepared for the Project in accordance with CEQA Guidelines. A MMRP would be implemented with this Project, which would reduce some of the potential impacts to below a level of significance for Biological Resources, Cultural Resources (Historical Resources/Archaeology), and Air Quality (Construction). Candidate Findings and Statement of Overriding Considerations have been included with the Project that allowed the decision-maker to approve the Project with significant and unmitigated direct impacts related to Visual Quality (Landform Alteration), which would be significant and unmitigated.

B. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

- 1. Findings for all Planned Development Permits SDMC Section 126.0605(a):
 - a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Site Development Permit Finding (A)(1)(a) listed above, the Project is consistent with the goals, objectives, and proposals of the Subarea Plan and the General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Site Development Permit Finding (A)(1)(b) listed above, the permit for the Project includes various conditions and referenced exhibits of approval relevant to achieving compliance with the applicable regulations of the SDMC in effect for this Project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable

deviations that are otherwise authorized pursuant to the Land Development Code.

As outlined in Site Development Permit Finding (A)(1)(c) listed above, the Project includes a deviation for overheight retaining walls outside of the required setback. The requested deviation has been reviewed as it relates to the proposed design of the Project, the property configuration, and the surrounding development. The deviation is appropriate and will result in a more desirable Project that efficiently utilizes the site and would avoid encroachments into the existing drainage that would otherwise occur if the Project conformed to the maximum height allowed by the SDMC, thereby preventing impacts to sensitive wetlands.

2. <u>Supplemental Findings SDMC Section 126.0605(c) – Off-Site Affordable Dwelling</u> Units:

a. The location of the off-site affordable dwelling units will provide comparable or superior access to transit. Factors to be considered include, but are not limited to, the number, frequency, and destination of transit routes within one-half mile of the development.

The Project would include the transfer of 19 affordable dwelling units and 14 market rate dwelling units to Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village Town Center. The transfer receiving site encompasses approximately 1.7 acres and is currently designated Mixed-Use Core (25-45 dwelling units per acre) and zoned CC-3-5 (Community Commercial). The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of its ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner's association. The 14 market rate dwelling units would not age restricted.

The receiving site is currently a vacant graded pad and the surrounding streets are fully improved with utilities to the site. The site is generally bordered by Paseo Del Sur to the west, Templeton Street to the north, and Zaslavsky Place to the east. Surrounding uses include the Target commercial center (171,500 square feet) to the west, the Sprouts grocery store (38,500 square feet) to the north, the Design39 Campus (K-8 school) to the east, and an age restricted affordable housing development to the south. The Project's affordable units are intended to supplement the affordable housing to the south and facilitate ongoing resident programs and management.

The receiving site will provide access to transit since it would be located within the Black Mountain Ranch North Village Town Center. It is located in an area where a mix of residential, office, and retail uses are provided. Pursuant to the Black Mountain Ranch Subarea Plan, a transit center is included within this Mixed-Use Core. In

addition, the site is approximately three miles from the existing Rancho Bernardo Transit Center which provides connections to MTS routes 20, 235, 237, 290, and 945.

b. The location of the off-site affordable dwelling units will provide comparable or superior access to employment opportunities. Factors to be considered include, but are not limited to, distances and transit availability to regional centers, subregional employment areas and industrial areas.

The off-site affordable dwelling units and market rate dwelling units will provide superior access to employment opportunities due to the units being located within a Mixed-Use Core where they are within walking distance of a variety of uses including a Target store, Sprouts grocery store, two nearby schools, and a gym. It is also surrounded by restaurants and personal services. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of their ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner association. The 14 market rate dwelling units would not age restricted.

Pursuant to the Black Mountain Ranch Subarea Plan, a transit center will be included within this Mixed-Use Core. In addition, the site is less than a mile from the 4S Commons Town Center north of Camino Del Norte where more commercial uses are located including a few banks, a Ralphs Grocery Store, Jimbo's Naturally, Ace Hardware, Karl Strauss Brewing, salon services, restaurants, and fitness uses. Adjacent to the Town Center is the ActivCare at 4S Ranch memory care community. Within one to three miles east of the transfer project site south of Bernardo Center Road, there are additional employment opportunities including, but not limited to: the Jeromes Corporate Headquarters, the industrial equipment supplier Cymer, the Petco Headquarters, Northrop Grumman, and the software company Teradata. In addition, the site is approximately three miles from the existing Rancho Bernardo Transit Center which provides connections to MTS routes 20, 235, 237, 290, and 945.

c. For non-age restricted development, the location of the off-site affordable dwelling units will provide comparable or superior access to schools. Factors to be considered include, but are not limited to, the number of schools, the educational levels of the schools, whether the schools are private or public, whether the schools are vocational, and the travelling distances between the schools and the development.

The off-site affordable dwelling units would be developed as senior-affordable units (age restricted development) and the 14 market rate dwelling units (not age restricted development) will provide access to employment opportunities due to the units being located within a Mixed-Use Core where they are within walking distance of a variety of uses. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of their ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the

ATTACHMENT 8

existing Fairbanks Terrace Apartments Phase I units, and would be managed by the

existing Fairbanks Terrace Apartments Phase I homeowner association.

d. The off-site affordable dwelling units are located in a census tract with an average income level that is no more than 5% lower than the census tract of

the development.

The proposed development is located in Census Tract 170.33 which has a median household income of \$130,000 per the U.S. Census 2012-2016 American Community

Survey five-year estimates. The receiving site is located in Census Tract 170.3, which has a median household income of \$125,430 per the U.S. Census 2012-2016

American Community Survey five-year estimates. This is approximately 3.5-percent

lower than the census tract for the proposed development and; therefore, complies

with the permissible average income level range.

The above findings are supported by the minutes, maps and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Planned Development Permit No. 2109731 and Site

Development Permit No. 2109732 is granted to THE DEBEVOISE FAMILY TRUST dated March 21,

1986, Owner, and LENNAR HOMES, Permittee, under the terms and conditions set forth in the

attached permit which is made a part of this resolution.

APPROVED: MARA W. ELLIOTT, City Attorney

DCA Name

Deputy City Attorney

XXX:xxx **Insert Date**

Or.Dept:DSD

Doc. No.: xxxxxxx

RECORDING REQUESTED BY

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO CITY CLERK MAIL STATION 2A

INTERNAL ORDER NUMBER: 24007539 SPACE ABOVE THIS LINE FOR RECORDER'S USE

Planned Development Permit No. 2109731
Site Development Permit No. 2109732
AVION PROPERTY PROJECT NO. 598173 [MMRP]

City Council

This Planned Development Permit No. 2109731 and Site Development Permit No. 2109732 is granted by the Council of the City of San Diego to THE DEBEVOISE FAMILY TRUST dated March 21, 1986, Owner, and LENNAR HOMES, Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0505 and 126.0605. The 41.48-acre site is located southwest of Winecreek Drive in the AR-1-1 (Agricultural – Residential) Zone which is proposed to be rezoned to the RS-1-14 (Residential-Single Unit) Zone within the Black Mountain Ranch Subarea Plan area. In addition, the site is located within the Multiple Habitat Planning Area (MHPA), MCAS Miramar Airport Land Use Compatibility Overly Zone, and Airport Influence Area (Review Area 2). The project site is legally described as: PARCEL 1: The Southeast quarter of the Southeast quarter of Section 32, Township 13 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Records; and PARCEL 2: Lots 1 and 2 and the Southeast quarter of the Northeast quarter of Section 5, Township 14 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Record.

Subject to the terms and conditio	ns set forth in this Permit, permission is granted to Owner
and Permittee to subdivide the property	and develop a combined total of 117 dwelling units;
described and identified by size, dimension	on, quantity, type, and location on the approved exhibits
[Exhibit "A"] dated	, on file in the Development Services Department.

The project shall include:

a. The subdivision of the project site and construction of 84 multi-family residential units on-site, and the transfer of 19 affordable dwelling units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units;

- b. A Multiple Habitat Planning Area (MHPA) boundary line adjustment;
- c. A reorganization consisting of an expansion of latent powers for the Olivenhain Municipal Water District (OMWD) sewer service area and the annexation of the project site to OMWD and the sewer service area;
- d. A deviation to SDMC Section 142.0340 to allow for a retaining wall with a maximum height of 55 feet 7 inches, where a maximum height of 12 feet outside of required setbacks is allowed;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

- 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.
- 8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
- 9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to

whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

- 12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
- 13. The mitigation measures specified in the MMRP and outlined in ENVIRONMENTAL IMPACT REPORT PROJECT NO. 598173/SCH NO. 97111070, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
- 14. The Owner/Permittee shall comply with the MMRP as specified in ENVIRONMENTAL IMPACT REPORT PROJECT NO. 598173/SCH NO. 97111070, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Biological Resources Cultural Resources (Historical Resources/Archaeology) Visual Quality (Landform Alteration) Air Quality (Construction)

AFFORDABLE HOUSING REQUIREMENTS:

15. The Owner/Permittee shall comply with the affordable housing requirements of the Black Mountain Ranch Subarea Plan, which require that the project provide twenty percent (20%) of the

pre-density bonus units as affordable ("Affordable Housing Requirements"). Owner/Permittee shall assure the construction and occupancy of nineteen (19) affordable dwelling units ("Offsite Affordable Units"), which nineteen (19) Offsite Affordable Units shall be transferred to and constructed on Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village. The nineteen (19) Offsite Affordable Units satisfy the Affordable Housing Requirements for the eighty-four (84) market rate dwelling units to be constructed on the Owner/Permittee's Black Mountain Ranch Lot 1, plus the fourteen (14) market rate dwelling units to be constructed on the Owner/Permittee's to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center (collectively, the "Market Rate Units"). Prior to issuance of the first residential building permit for any of the ninety-eight (98) Market Rate Units, the Owner/Permittee shall comply with the requirements of this Section.

- 16. To assure the construction and occupancy of the nineteen (19) Offsite Affordable Units, Owner/Permittee shall execute an agreement ("Affordable Housing Agreement"), subject to the approval of the President and CEO of the San Diego Housing Commission, or her/his designee, addressing the following issues. The Affordable Housing Agreement shall be recorded against the sites of the Market Rate Units senior to all monetary liens. The Affordable Housing Agreement shall include all of the provisions of this Section and such other and further conditions as shall be required by the President and CEO of the San Diego Housing Commission to assure satisfaction of the Affordable Housing Requirements.
 - (1) Performance security for the construction of the nineteen (19) Offsite Affordable Units, in the form of bond(s), letter(s) of credit, lien(s) and/or other forms of security acceptable to the President and CEO of the San Diego Housing Commission, or her/his designee;
 - (2) The timing of the construction and occupancy of the Offsite Affordable Units, acceptable to the President and CEO of the San Diego Housing Commission, or her/his designee, shall be included in the Affordable Housing Agreement, provided that such timing shall be comply with the following:
 - (A) Issuance of building permits for the nineteen (19) Offsite Affordable Units shall occur on or before the earlier of: (i) the issuance of building permits for construction of the 43rd Market Rate Unit; or (ii) eighteen (18) months after the issuance of the first residential building permit for the Market Rate Units.
 - (B) Completion of construction of the nineteen (19) Offsite Affordable Units shall occur upon the earlier of: (i) eighteen (18) months after the issuance of building permits for any of the nineteen (19) Onsite Affordable Units; or (ii) the date which is eighteen (18) months after issuance of the first residential building permit for the Market Rate Units.
 - (C) Occupancy of the nineteen (19) Offsite Affordable Units shall occur not later than ninety (90) days after the completion of construction of the nineteen (19) Offsite Affordable Units.
 - (3) For "good cause" shown to the satisfaction of the President and CEO of the San Diego Housing Commission, or her/his designee, the thresholds and dates referenced herein may be adjusted and/or extended one or more times. Good cause shall include, but not be limited to,

Acts of God, labor strikes, war, riots, etc., as shall be determined by the President and CEO of the San Diego Housing Commission, or her/his designee, in her/his sole discretion.

- 17. The Owner/Permittee shall execute and record a declaration of covenants, conditions and restrictions ("Declaration") in first lien priority position against Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village, restricting the occupancy and affordability of the nineteen (19) Offsite Affordable Units for a period of fifty-five (55) years from the date of issuance of a certificate of occupancy. All of the nineteen (19) Offsite Affordable Units shall be occupied by families earning no more than sixty five percent (65%) of the Area Median Income, as adjusted for family size and utilities, with rental rates that do not exceed thirty percent (30%) of sixty percent (60%) of the Area Median Income, as adjusted for assumed family size and utilities. Area Median Income shall mean the area median income defined by the United States Department of Housing and Urban Development ("HUD") as the then current area median income for the San Diego-Carlsbad Metropolitan Statistical Area, established periodically by HUD and published in the Federal Register, as adjusted for family size. The Declaration shall provide for the siting, mix and architecture nature of the nineteen (19) Offsite Affordable Units.
- 18. The Owner/Permittee shall execute and record a deed of trust against Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village, assuring the timely performance of the Declaration and the Affordable Housing Agreement. The deed of trust in favor of the San Diego Housing Commission may be subordinated to construction deed(s) of trust and/or permanent financing deed(s) of trust in favor of institutional lenders, as approved by the President and CEO of the San Diego Housing Commission, or her/his designee, in her/his sole discretion, if deemed essential to construction and/or operation of the nineteen (19) Offsite Affordable Units, upon such terms and conditions as she/he may impose.
- 19. The Owner/Permittee shall enter into and execute such other and further documents as the President and CEO of the San Diego Housing Commission, or her/his designee, shall require, from time to time, as may be needed to effectuate the Affordable Housing Requirements.

AIRPORT REQUIREMENTS:

20. Prior to issuance of construction permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

GEOLOGY REQUIREMENTS:

21. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

ENGINEERING REQUIREMENTS:

- 22. This Planned Development Permit No. 2109731 and Site Development Permit No. 2109732 shall comply with all Conditions of the Final Map for the Vesting Tentative Map No.2109728.
- 23. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
- 24. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
- 25. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
- 26. Prior to the issuance of any building permits, the Owner/Permittee shall grant to the City of San Diego Flood Storage Easements, as shown on approved Exhibit "A," satisfactory to the City Engineer.
- 27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 24-foot wide driveway, adjacent to the site on Winecreek Drive, satisfactory to the City Engineer.
- 28. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
- 29. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
- 30. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
- 31. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
- 32. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of

enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

- 33. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
- 34. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
- 35. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per \$142.0403(b)(5).
- 36. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- 37. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

38. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A," on file in the Development Services Department.

- 39. The Brush Management Program shall be based on standard Zone One of 35 feet. in width and Zone Two of 65 feet in width, exercising the Zone One reduction option and Alternative Compliance measures set forth under SDMC §142.0412(f), §142.0412(i), and §142.0412(j). Zone One shall range from 10 feet to 35 feet in width with corresponding Zone Two of 65 feet in width, extending out from the habitable structures towards the native/naturalized vegetation as shown on Exhibit "A." Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures, plus a 10-foot perpendicular return along adjacent wall faces, shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.
- 40. Radiant Heat Wall shall be 6 feet high, 1-hour fire-rated, located along the outer edge of Zone One. Upgraded openings shall be dual-glazed, dual-tempered panes, brush side of the structure plus a 10-foot perpendicular return along adjacent wall faces.
- 41. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."
- 42. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A," on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.
- 43. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
- 44. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

MULTIPLE HABITAT PLANNING AREA [MHPA] DEDICATION/EASEMENT REQUIREMENTS:

- 45. Prior to recordation of the first Final Map and/or issuance of any grading permits, the on-site Multiple Habitat Planning Area [MHPA] shall be conveyed to the City's Multiple Species Conservation Program [MSCP] preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Lots retained under private ownership shall grant a covenant of easement [COE] prior to grading permit issuance. Lots dedicated to the City in fee shall grant a Temporary COE prior to grading permit issuance and record a MSCP Grant Deed at Final Map stage.
- 46. Conveyance of any land in fee to the City shall require approval from the City's Parks and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. To facilitate MHPA conveyance, any non-fee areas shall have covenant of easements

for MHPA lands placed over them if located in the MHPA, and be maintained in perpetuity by the Owner/Permittee/Applicant unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

MHPA LAND USE ADJACENCY REQUIREMENTS:

- 47. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Owner/Permittee shall depict the following requirements on the construction documents and plans for Project Site.
 - Grading/Land Development/MHPA Boundaries Within or adjacent to the MHPA, all
 manufactured slopes associated with site development shall be included within the
 development footprint.
 - Drainage All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, and exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
 - Toxics/Project Staging Areas/Equipment Storage Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."
 - **Lighting** All lighting within or adjacent to the MHPA is directed away/shielded from the MHPA, or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per LDC Section 142.0740.
 - Barriers Existing fences/walls; and/or signage along the MHPA boundaries shall remain and/or be added to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
 - **Invasives** No invasive, non-native plant species shall be introduced into areas within or adjacent to the MHPA.
 - **Brush Management** Brush management zones will not be greater in size that is currently required by the City's regulations (this includes use of approved alternative

compliance). Within Zone 2 the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a homeowner's association or other private party.

• **Noise** - Construction noise that exceeds the maximum levels allowed (60 dB or greater at the beginning edge of the habitat) shall be avoided during the breeding seasons for the following: CA gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species the following measures are required.

COASTAL CALIFORNIA GNATCATCHER (FEDERALLY THREATENED) REQUIREMENTS:

48. Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS <u>WITHIN THE MHPA</u> THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
 - I. BETWEEN MARCH 1 AND AUGUST 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED GNATCATCHER HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND
 - II. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING

NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR

- III. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB (A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).
- * Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB (A) hourly average or to the ambient noise level if it already exceeds 60 dB (A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.
- B. IF COASTAL CALIFORNIA GNATCATCHERS ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 1 AND AUGUST 15 AS FOLLOWS:
 - I. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR COASTAL CALIFORNIA GNATCATCHER TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.
 - II. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

PARK AND RECREATION REQUIREMENTS:

- 49. The Owner/Permittee shall ensure that there are no temporary or permanent construction impacts to the adjacent City fee-owned open space.
- 50. The Owner/Permittee shall ensure that no project brush management is located on City feeowned open space.
- 51. The Owner/Permittee shall ensure that no invasives are planted adjacent to City fee-owned open space.
- 52. The Owner/Permittee shall ensure that there is no overspray or irrigation runoff on adjacent City fee-owned property.
- 53. The Owner/Permittee shall ensure Park and Recreation Department review and approval of grading plans prior to permit issuance.

PLANNING/DESIGN REQUIREMENTS:

- 54. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
- 55. Accessory structures, including trash enclosures, shall be architecturally compatible in style and building materials with the primary buildings on the premises.
- 56. Accessory structures for utility, maintenance, and recreational facilities are allowed provided the facilities are limited in size, use, and capacity to serve only the needs of the occupants and guests of the development.
- 57. Fences or walls that are generally parallel to the public right-of-way and that exceed 100 feet in length shall be articulated with vertical elements spaced at no more than 25 feet on center. The vertical elements shall be made an integral part of the fence or wall and shall be a minimum of 12 inches wide.
- 58. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
- 59. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

- 60. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
- 61. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 24-foot wide driveway, adjacent to the site on Winecreek Drive, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

- 62. Prior to any Certificate of Occupancy being issued, the Owner/Permittee is required to ensure that any and all separately titled units which share water service connections to the City's public utility systems and sewer service to the Olivenhain Municipal Water District (OMWD) are encumbered by CC&Rs written so as to ensure (to the satisfaction of the Public Utilities Director) that the operation and maintenance of all such shared water and/or sewer facilities will be provided for in perpetuity.
- 63. Prior to any Grading or Building Construction Permit being issued, the Owner/Permittee is required to develop (to the satisfaction of the Public Utilities Director), and record, a public water easement and (if required) a public water access easement.
- 64. Prior to any Building Construction Permit being issued, the Owner/Permittee shall construct, or assure construction of (via permit and bond), all required public water and sewer facilities in accordance with Exhibit "A."

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement
 or continued operation of the proposed use on site. Any operation allowed by this
 discretionary permit may only begin or recommence after all conditions listed on this permit
 are fully completed and all required ministerial permits have been issued and received final
 inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as
 conditions of approval of this Permit, may protest the imposition within ninety days of the
 approval of this development permit by filing a written protest with the City Clerk pursuant to
 California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by th	e City Council of the City of San Diego on	pursuant to
Resolution No	·	

ATTACHMENT 9

Permit Type/PTS Approval No.: Planned Development Permit No. 2109731 and Site Development Permit No. 2109732

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager
Development Services Department

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

THE DEBEVOISE FAMILY TRUST Owner	THE DEBEVOISE FAMILY TRUST Owner		
Ву	Ву		
Name:	Name:		
Title:	Title:		
	LENNAR HOMES Permittee		
	Ву		
	Name:		
	Title:		

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

RESOLUTION NUMBER R- _____ DATE OF FINAL PASSAGE ON _____

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO APPROVING VESTING TENTATIVE MAP NO. 2109728 FOR THE AVION PROPERTY - PROJECT NO. 598173 [MMRP]

WHEREAS, THE DEBEVOISE FAMILY TRUST dated March 21, 1986, Owner, and LENNAR HOMES, Subdivider, and PROJECT DESIGN CONSULTANTS, Engineer, submitted an application to the City of San Diego for a vesting tentative map (Vesting Tentative Map No. 2109728) for the Avion Property project (Project). The 41.48-acre site is located southwest of Winecreek Drive in the AR-1-1 (Agricultural - Residential) Zone which is proposed to be rezoned to the RS-1-14 (Residential-Single Unit) Zone within the Black Mountain Ranch Subarea Plan area. In addition, the site is located within the Multiple Habitat Planning Area (MHPA), MCAS Miramar Airport Land Use Compatibility Overly Zone, and Airport Influence Area (Review Area 2). The Project site is legally described as: PARCEL 1: The Southeast quarter of the Southeast quarter of Section 32, Township 13 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Records; and PARCEL 2: Lots 1 and 2 and the Southeast quarter of the Northeast quarter of Section 5, Township 14 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Record; and

WHEREAS, the Map proposes the Subdivision of a 41.48-acre site into three (3) lots for 84 residential dwelling units; and

WHEREAS, the Project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to the Subdivision Map Act, California Government Code Sections 66490 and 66491(b)-(f) and San Diego Municipal Code Section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code
Section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium
dwelling units is 84; and

WHEREAS, on	, the Planning Commission of the City of San Diego
considered Vesting Tentative Map No. 210	9728, and pursuant to Resolution No
voted to recommend approval of the map	by the City Council of the City of San Diego (Council); and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on _______, the Council considered Vesting Tentative Map No.

2109728, and pursuant to San Diego Municipal Code Section 125.0440, and Subdivision Map Act,
California Government Code Section 66428, received for its consideration written and oral
presentations, evidence having been submitted, and testimony having been heard from all
interested parties at the public hearing, and the Council having fully considered the matter and
being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Council of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 2109728:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The Project proposes the construction of 84 multi-family residential dwelling units on a site that is designated for residential use in the Black Mountain Ranch Subarea Plan (Subarea Plan) and is part of the 1996 voter-approved phase shift for land within Black Mountain Ranch. The phase shift allowed for development to occur consistent with the land use designations and residential densities identified in the Subarea Plan. The 41.48-acre site has a Residential Land Use designation of Low Density, allowing 2-5 dwelling units per acre (du/ac), which will be accomplished through the proposed rezoning. The Subarea Plan identifies the site as Parcel C within the Southeast Perimeter Properties and allocates 117 dwelling units on the parcel. The Project includes the transfer of 19 affordable units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center, consistent with the development transfer provisions of the Subarea Plan's Implementation Element. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of its ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner's association. The 14 market rate dwelling units (not age restricted) would be designed consistent with the product types of the 84 detached multi-family dwelling units to be developed on-site.

The proposed development envelope for Parcel C would be approximately 17.74-acres, approximately 5.76-acres less than the development envelope identified in the Subarea Plan. The remaining approximate 23.75-acres on-site would be preserved as Multi-Habitat Planning Area (MHPA) open space. The portion of the site designated for Open Space by the Subarea Plan (approximately 57-percent of the site) would remain open space and a component of the City's Multiple Species Conservation Program (MSCP), consistent with the goals and policies of the General Plan Conservation Element. Planned land uses adjacent to the MHPA within the Subarea Plan include single-family and multi-family residential, as well as active recreation. The Project has been designed to minimize impacts and maintain the function of the MHPA. Consistent with the City's MSCP Subarea Plan, Open Space Element of the Subarea Plan and Conservation Element of the General Plan, the Project would prevent drainage from flowing directly into the MHPA; reduce the impact of toxics, noise, and lighting; provide new barriers along the MHPA boundary; establish brush management zones; and limit access to the Black Mountain Ranch Open Space Park to deter off-trail use. The Project site plan and design guidelines conform to the MHPA land use adjacency guidelines.

The current zoning for the property is AR-1-1 (Agricultural – Residential) and the Subarea Plan envisions the zone for Low Density Residential to be RS-1-14 (Residential – Single Unit). The Project includes a zone change from AR-1-1 to the RS-1-14 zone. The proposed zoning and clustered development will minimize impacts to natural habitat and the natural landform and reduce encroachment into the City's MHPA. These efforts help implement the Open Space and Community Design Elements of the Subarea Plan.

As outlined in the Subarea Plan, all Perimeter Properties are required to adopt the Design Guidelines approved for the Black Mountain Ranch Vesting Tentative Map/Planned Residential Development or develop independent design guidelines in conformance with policies in the

Community Design Element Subarea Plan. The independent design guidelines provided as a component of the Project maintain consistency with the policies of the Subarea Plan. The Design Guidelines developed for the Project will assist to implement the goals of the Community Design Element section A.4 Residential Clusters of the Subarea Plan by establishing a community identity compatible with the surrounding residential uses and open space system. The Design Guidelines also address section B. (Common Design Elements of the Community Design Element) by implementing street design standards for local streets, landscape and open space, and signage, lighting and walls. Therefore, for these reasons, the proposed subdivision, and its design and improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The Project proposes the subdivision of the site and construction of 84 multi-family residential units on-site, the transfer of 19 affordable dwelling units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units. The transfer of dwelling units is consistent with the development transfer provisions of the Subarea Plan's Implementation Element. The Project would preserve approximately 23.75-acres of natural open space on-site through dedication to the City's MHPA. The on-site MHPA open space would include preservation of two open space lots (Lots A and B), which would be dedicated in fee title to the City of San Diego.

The current zoning for the property is AR-1-1 (Agricultural – Residential) and the Subarea Plan envisions the zone for Low Density Residential to be RS-1-14 (Residential – Single Unit). The Project includes a zone change from AR-1-1 to the RS-1-14 zone. The proposed zoning and clustered development will minimize impacts to natural habitat and the natural landform and reduce encroachment into the City's MHPA.

The landscape concept plan design includes plantings to blend and complement the existing native planting surrounding the site. Native low-fuel volume species would be used to revegetate the graded slopes, and the interior of the site would feature parkway street trees and groundcover-ornamental in nature and fire resistant. Plant materials utilized in the landscape concept plan would be from the palette of plants known to perform well in this climactic zone and amended soil type.

Brush Management Zones (BMZ) would be implemented with Zone 1 located adjacent to structures. Zone 2 would consist of selective thinning and pruning of native plants. The standard BMZ widths are 35 feet for BMZ 1 and 65 feet for BMZ 2 as stated in Table 142-04h of the SDMC. The Project proposes to implement Alternative Compliance measures (SDMC Section 142.0412(i)) to traditional brush management zones that involve a reduction in BMZ 1 limits and introduction of a non-combustible wall between BMZ 1 and BMZ 2. By reducing the BMZ 1 limit and providing a non-combustible wall between BMZ 1 and BMZ 2, the overall impact to vegetation is reduced as the graded area is less. All BMZ 1 impacts are located within the grading limits. The majority of the BMZ 2 impacts are also located within the grading limits. Although 1.32-acres of BMZ 2 impacts extend into southern mixed chaparral that lies outside of the grading limits primarily on the western side of the project area, BMZ 2 impacts are considered "impact neutral" and involve only minor thinning, trimming, and pruning of vegetation without destroying habitat value.

The Project proposes a deviation from the applicable development regulations, for overheight retaining walls outside of the required setback. The Project is requesting retaining walls with a maximum height of 55 feet, 7 inches that would be located along both sides of the existing drainage channel, where SDMC Section 142.0340 requires that the heights of retaining walls do not exceed 12 feet outside of required setbacks.

The proposed retaining walls would be located along both sides of the existing drainage channel that would be crossed by the arch culvert allowing for the extension of Winecreek Drive. Implementation of these retaining walls would avoid encroachments into the existing drainage that would otherwise occur if the Project conformed to the maximum height allowed by the SDMC, thereby preventing impacts to sensitive wetlands. The proposed retaining walls would be downslope from the Project and not exceed the elevation of the arch culvert or the development pad and therefore, not be visible from the site once constructed. Furthermore, the retaining walls would be developed with earth tones that would blend in with the surrounding natural environment and would be landscaped with cascading vines at the top of the walls that would extend downslope to provide an aesthetically pleasing appearance from views off-site.

All other retaining walls located on the site are along both the eastern and western Project boundaries and would be 135 feet in length and vary in height from one to ten feet and would not exceed the height regulations of the underlying zone. These retaining walls would be downslope from the building pad and not visible from the site and would also be developed with earth tones that would blend in with the surrounding natural environment and would be landscaped to provide an aesthetically pleasing appearance from views off-site.

Other than the requested retaining wall height deviation, the Project meets all applicable zoning and development regulations, including any allowable deviations pursuant to the Land Development Code and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC).

3. The site is physically suitable for the type and density of development.

Topographically, the site is located at the upper end of a broad north-south trending valley. A ridgeline occurs in the central portion of the site that rises in elevation from north to south from 740 feet mean sea level to 915 feet mean sea level. The ridge is bounded by two small canyons, one to the east and one to the west, with one main drainage course and smaller tributaries in each. These drainages have slopes of moderate to steep grade. There is a small meadow in the northwest corner of the property, at the mouth of the eastern drainage.

Four vegetation communities and one land cover type occur on the site. Southern mixed chaparral comprises the majority of the site with lesser acreages of coastal sage scrub, non-native grassland, and freshwater marsh patches. The single land cover type occurring on the site consists of disturbed land. Coastal sage scrub, southern mixed chaparral, non-native grassland, and freshwater marsh are all considered sensitive vegetation types by the City. Coastal sage scrub is ranked as a Tier II habitat, southern mixed chaparral as a Tier IIIA habitat, non-native grassland as a Tier IIIB habitat, and freshwater marsh as a wetland habitat. No sensitive plant species were observed on the site and none are expected to occur due to lack of appropriate habitat and/or soil

conditions. Two sensitive animal species (cooper's hawk and San Diego desert woodrat) were observed on-site, while four other sensitive animal species (Belding's orange-throated whiptail, coastal whiptail, coastal California gnatcatcher, and southern California rufous-crowned sparrow) have a moderate potential to occur on the site due to the habitat conditions.

The current MHPA boundary is located within the Project site and minor encroachments into the current MHPA boundary on the eastern portion of the site would occur under the Project. These encroachments would impact a total of 0.55-acre comprised of 0.14-acre of coastal sage scrub, 0.27-acre of southern mixed chaparral, and 0.14-acre of non-native grassland. Under the MHPA boundary line adjustment (BLA), these impact areas would be removed from the current MHPA and on-site land not currently within the MHPA would be added into the preserve. Land added into the MHPA with the BLA would include 5.61-acres comprised of 4.99-acres of southern mixed chaparral, 0.49-acre of non-native grassland, and 0.13-acre of coastal sage scrub, resulting in a net gain of 5.06-acres.

The MHPA BLA was approved by the Wildlife Agencies and City MSCP on June 21, 2019. Once the BLA is completed, no direct impacts or loss of MHPA lands would result from the Project. The MHPA BLA would be beneficial to the overall MHPA preserve at this location due to an increase in Tier IIIA and IIIB habitats and acreage of preserved land. The minor losses of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats from encroachments into the current MHPA total 0.55-acre and would be offset by additions of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats into the MHPA currently located within the southern portion of the site totaling 5.06-acres. This proposed land exchange complies with the overall MSCP policy for BLAs, as the approved BLA would transfer equal or higher biological values of impacted species and habitats into the preserve.

The Project construction would grade 15.69-acres of the 41.48-acre site (37.8 percent). Overall, the Project proposes approximately 296,000 cubic yards of cut (maximum depth of 52 feet) and 296,000 cubic yards of fill (maximum depth of 64 feet) over the approximately 15.69-acre graded area, resulting in a net balance of grading on the site. The Project would therefore result in approximately 18,866 cubic yards of earthwork per graded acre. The Project would include mass grading to terrace the underlying landform in order to create flat pads for development. While the site would result in terracing within the development footprint, the Project would result in grading of the overall site area, and the majority of steep natural slopes surrounding the development would be retained within the 23.75-acres of the site (57.3 percent) proposed to be preserved as MHPA open space.

The post-Project drainage pattern has been designed to be generally consistent with the existing drainage pattern on-site and would not alter the destination of downstream flows. The Project introduces new drainage facilities consisting of culverts, brow ditches, curb gutters, storm drain inlets, and pipes that would convey flows to a new biofiltration basin to be constructed in the northeast corner of the site. The biofiltration basin would treat and detain stormwater flows before discharging them into the existing channel on the eastern side of the site.

The biofiltration basin would be needed to reduce post-project stormwater flows. The proposed biofiltration basin includes design features that would reduce the 100-year storm runoff rate to less than or equal to the 20.6 cfs present in the existing condition. The biofiltration basin

would include an aboveground storage component with a series of flow orifices that would detain stormwater and slowly release treated stormwater. Additionally, the biofiltration basin would include riprap energy dissipaters to reduce flow velocities both entering and exiting the basin.

The site-specific Geotechnical Report prepared for the Project concluded that no soil or geologic conditions exist at the site that would preclude the proposed development, provided the measures recommended in the report are implemented for design and construction. Based on the foregoing analysis and information, the site is physically suitable for the type and density of the proposed development and the development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

As outlined in Finding 3 listed above, the MHPA BLA was approved by the Wildlife Agencies and City MSCP on June 21, 2019. Once the BLA is completed, no direct impacts or loss of MHPA lands would result from the Project. The MHPA BLA would be beneficial to the overall MHPA preserve at this location due to an increase in Tier IIIA and IIIB habitats and acreage of preserved land. The minor losses of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats from encroachments into the current MHPA total 0.55-acre and would be offset by additions of coastal sage scrub, southern mixed chaparral, and non-native grassland habitats into the MHPA currently located within the southern portion of the site totaling 5.06-acres. This proposed land exchange complies with the overall MSCP policy for BLAs, as the approved BLA would transfer equal or higher biological values of impacted species and habitats into the preserve.

Supplemental Environmental Impact Report (SEIR) No. 598173/SCH No. 97111070, has been prepared for the Project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this Project, which would reduce some of the potential impacts to below a level of significance for Biological Resources, Cultural Resources (Historical Resources/Archaeology), and Air Quality (Construction). Candidate Findings and Statement of Overriding Considerations have been included with the Project that allowed the decision-maker to approve the Project with significant and unmitigated direct impacts related to Visual Quality (Landform Alteration), which would be significant and unmitigated, and not likely to cause substantial environmental damage.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The Project proposes the construction of 84 multi-family residential dwelling units on a site that is designated for residential use in the Subarea Plan and is part of the 1996 voter-approved phase shift for land within Black Mountain Ranch. The phase shift allowed for development to occur consistent with the land use designations and residential densities identified in the Subarea Plan. The 41.48-acre site has a Residential Land Use designation of Low Density, allowing 2-5 dwelling units per acre. The Subarea Plan identifies the site as Parcel C within the Southeast Perimeter Properties and allocates 117 dwelling units on the parcel. The Project includes the transfer of 19 affordable units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center, consistent with the development transfer provisions of the

Subarea Plan's Implementation Element. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of its ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner's association. The 14 market rate dwelling units (not age restricted) would be designed consistent with the product types of the 84 detached multi-family dwelling units to be developed on-site.

SEIR No. 598173/SCH No. 97111070, has been prepared for the Project in accordance with CEQA Guidelines. An MMRP would be implemented with this Project, which would reduce some of the potential impacts to below a level of significance for Biological Resources, Cultural Resources (Historical Resources/Archaeology), and Air Quality (Construction). Candidate Findings and Statement of Overriding Considerations have been included with the Project that allowed the decision-maker to approve the Project with significant and unmitigated direct impacts related to Visual Quality (Landform Alteration), which would be significant and unmitigated.

The permit for the Project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this Project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The Project will comply with the development conditions in effect for the subject property as described in Vesting Tentative Map (VTM) No. 2109728, and other regulations and guidelines pertaining to the subject property per the SDMC for the Project site. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/ permittee will be required to obtain a grading and public improvement permit. Therefore, the design of the subdivision and the type of improvement would not be detrimental to the public health, safety and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 41.48-acre site has a Residential Land Use designation of Low Density, allowing 2-5 dwelling units per acre. The Subarea Plan identifies the site as Parcel C within the Southeast Perimeter Properties and allocates 117 dwelling units on the parcel. The property does not contain any easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The design and proposed improvements for the subdivision are consistent with California Government Code Section 66473.1 and SDMC Section 125.0440(g) regarding the design of the subdivision for future passive or natural heating and cooling opportunities. The proposed Project establishes appropriate setbacks and distances between buildings to allow for passive natural heating and cooling opportunities. The physical layout of the buildings onsite allows for the passage

of air between buildings. As specified in the Project Design Guidelines, building materials and colors should complement the natural, climatic, and architectural environment. The landscape philosophy of the Project focuses on a harmonious and aesthetically pleasing residential community which utilizes naturalized and native vegetation to blend in with the surrounding open space areas. The design guidelines also encourage the use of solar heating as well as solar panels. Therefore, the proposed subdivision has been designed to allow for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The Project proposes the construction of 84 multi-family residential dwelling units on a site that is designated for residential use in the Subarea Plan and is part of the 1996 voter-approved phase shift for land within Black Mountain Ranch. The phase shift allowed for development to occur consistent with the land use designations and residential densities identified in the Subarea Plan. The 41.48-acre site has a Residential Land Use designation of Low Density, allowing 2-5 dwelling units per acre. The Subarea Plan identifies the site as Parcel C within the Southeast Perimeter Properties and allocates 117 dwelling units on the parcel. The Project includes the transfer of 19 affordable units and 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center, consistent with the development transfer provisions of the Subarea Plan's Implementation Element. The affordable units would be constructed as part of Fairbanks Terrace Apartments Phase II as part of its ministerial permit. These units would be developed as senior-affordable units, would match the design and unit mix of the existing Fairbanks Terrace Apartments Phase I units, and would be managed by the existing Fairbanks Terrace Apartments Phase I homeowner's association. The 14 market rate dwelling units (not age restricted) would be designed consistent with the product types of the 84 detached multi-family dwelling units to be developed on-site.

Furthermore, the Project implements the City's General Plan policies that encourage locating residential near transit and employment opportunities, thereby capturing automobile trips and allowing for increased pedestrian activity, bicycle and transit activity. All appropriate public services (including fire, police, medical, schools, public parks, and libraries) as well as necessary utilities such as electricity, water, and sewer, will be available and adequate for the proposed Project.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT RESOLVED, that based on the Findings hereinbefore adopted by the City Council,

Vesting Tentative Map No. 2109728 hereby granted to THE DEBEVOISE FAMILY TRUST dated March

21, 1986, Owner, and LENNAR HOMES, Subdivider, and PROJECT DESIGN CONSULTANTS, Engineer

subject to the attached conditions which are made a part of this resolution by this reference.

ATTACHMENT 10

APPROVED: MARA W. ELLIOTT, City Attorney

DCA Name

Deputy City Attorney

XXX:xxx Insert Date Or.Dept:DSD Doc. No.: xxxxxxx

Attachments: Exhibit 1-Vesting Tentative Map Conditions

City Council CONDITIONS FOR VESTING TENTATIVE MAP NO. 2109728 FOR AVION PROPERTY PROJECT NO. 598173 [MMRP]

ADOPTED BY RESOLUTION NO. R-	ON	
, o		

GENERAL

- 1. This Vesting Tentative Map No. 2109728 will expire ______
- 2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
- 3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act, Government Code Section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
- 4. The Vesting Tentative Map shall conform to the provisions of Planned Development Permit No. 2109731 and Site Development Permit No. 2109732.
- 5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

AFFORDABLE HOUSING

6. The Subdivider shall comply with the affordable housing requirements of the Black Mountain Ranch Subarea Plan, which require that the project provide twenty percent (20%) of the pre-density bonus units as affordable ("Affordable Housing Requirements"). Owner/Permittee shall assure the construction and occupancy of nineteen (19) affordable dwelling units ("Offsite Affordable Units"), which nineteen (19) Offsite Affordable Units shall be transferred to and constructed on Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village. The nineteen (19) Offsite Affordable Units satisfy the Affordable Housing Requirements for the eighty-four (84) market rate dwelling units to be constructed on the Owner/Permittee's Black Mountain Ranch Lot 1, plus the fourteen (14) market rate dwelling units to be constructed on the Owner/Permittee's to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center (collectively, the "Market Rate Units"). Prior

to issuance of the first residential building permit for any of the ninety-eight (98) Market Rate Units, the Owner/Permittee shall comply with the requirements of this Section.

- 7. To assure the construction and occupancy of the nineteen (19) Offsite Affordable Units, the Subdivider shall execute an agreement ("Affordable Housing Agreement"), subject to the approval of the President and CEO of the San Diego Housing Commission, or her/his designee, addressing the following issues. The Affordable Housing Agreement shall be recorded against the sites of the Market Rate Units senior to all monetary liens. The Affordable Housing Agreement shall include all of the provisions of this Section and such other and further conditions as shall be required by the President and CEO of the San Diego Housing Commission to assure satisfaction of the Affordable Housing Requirements.
 - (1) Performance security for the construction of the nineteen (19) Offsite Affordable Units, in the form of bond(s), letter(s) of credit, lien(s) and/or other forms of security acceptable to the President and CEO of the San Diego Housing Commission, or her/his designee;
 - (2) The timing of the construction and occupancy of the Offsite Affordable Units, acceptable to the President and CEO of the San Diego Housing Commission, or her/his designee, shall be included in the Affordable Housing Agreement, provided that such timing shall be comply with the following:
 - (A) Issuance of building permits for the nineteen (19) Offsite Affordable Units shall occur on or before the earlier of: (i) the issuance of building permits for construction of the 43rd Market Rate Unit; or (ii) eighteen (18) months after the issuance of the first residential building permit for the Market Rate Units.
 - (B) Completion of construction of the nineteen (19) Offsite Affordable Units shall occur upon the earlier of: (i) eighteen (18) months after the issuance of building permits for any of the nineteen (19) Onsite Affordable Units; or (ii) the date which is eighteen (18) months after issuance of the first residential building permit for the Market Rate Units.
 - (C) Occupancy of the nineteen (19) Offsite Affordable Units shall occur not later than ninety (90) days after the completion of construction of the nineteen (19) Offsite Affordable Units.
 - (3) For "good cause" shown to the satisfaction of the President and CEO of the San Diego Housing Commission, or her/his designee, the thresholds and dates referenced herein may be adjusted and/or extended one or more times. Good cause shall include, but not be limited to, Acts of God, labor strikes, war, riots, etc., as shall be determined by the President and CEO of the San Diego Housing Commission, or her/his designee, in her/his sole discretion.
- 8. The Subdivider shall execute and record a declaration of covenants, conditions and restrictions ("Declaration") in first lien priority position against Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village, restricting the occupancy and affordability of the nineteen (19) Offsite Affordable Units for a period of fifty-five (55) years from the date of issuance of a certificate of occupancy. All of the nineteen (19) Offsite Affordable Units shall be occupied by families earning no more than sixty five percent (65%) of the Area Median

Income, as adjusted for family size and utilities, with rental rates that do not exceed thirty percent (30%) of sixty percent (60%) of the Area Median Income, as adjusted for assumed family size and utilities. Area Median Income shall mean the area median income defined by the United States Department of Housing and Urban Development ("HUD") as the then current area median income for the San Diego-Carlsbad Metropolitan Statistical Area, established periodically by HUD and published in the Federal Register, as adjusted for family size. The Declaration shall provide for the siting, mix and architecture nature of the nineteen (19) Offsite Affordable Units.

- 9. The Subdivider shall execute and record a deed of trust against Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village, assuring the timely performance of the Declaration and the Affordable Housing Agreement. The deed of trust in favor of the San Diego Housing Commission may be subordinated to construction deed(s) of trust and/or permanent financing deed(s) of trust in favor of institutional lenders, as approved by the President and CEO of the San Diego Housing Commission, or her/his designee, in her/his sole discretion, if deemed essential to construction and/or operation of the nineteen (19) Offsite Affordable Units, upon such terms and conditions as she/he may impose.
- 10. The Subdivider shall enter into and execute such other and further documents as the President and CEO of the San Diego Housing Commission, or her/his designee, shall require, from time to time, as may be needed to effectuate the Affordable Housing Requirements.

ENGINEERING

- 11. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
- 12. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 13. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

- 14. Prior to the expiration of the Vesting Tentative Map, a Final Map to subdivide Parcels/Lots shall be recorded in the office of the County Recorder.
- 15. Prior to the recordation of the Final Map, taxes must be paid or bonded for this property pursuant to Government Code Section 66492 of the Subdivision Map Act. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.

- If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office along with the associated \$34.00 compliance fee to avoid delaying the recordation of the Final Map.
- 16. The Final Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act, Government Code Section 66495.
 - All survey monuments shall be set prior to the recordation of the Final Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the Project, in which case, delayed monumentation may be applied on the Final Map in accordance with Section 144.0130 of the City of San Diego Land Development Code.
- 17. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
- 18. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.
- 19. All private drives shall to be shown on a non-title sheet and names approved by BDR-Street Name Coordinator. The streets shall be dimensioned along centerline with a width clearly shown.

PUBLIC UTILITIES DEPARTMENT

- 20. Prior to any Certificate of Occupancy being issued, the Subdivider is required to ensure that any and all separately titled units which share water service connections to the City's public utility systems and sewer service to the Olivenhain Municipal Water District (OMWD) are encumbered by CC&Rs written so as to ensure (to the satisfaction of the Public Utilities Director) that the operation and maintenance of all such shared water and/or sewer facilities will be provided for in perpetuity.
- 21. Prior to any Grading or Building Construction Permit being issued, the Subdivider is required to develop (to the satisfaction of the Public Utilities Director), and record, a public water easement and (if required) a public water access easement.

GEOLOGY

- 22. Prior to the issuance of any construction permits (either grading or building), the Subdivider shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
- 23. The Subdivider shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The asgraded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE/BRUSH MANAGEMENT

24. Prior to recordation of the Final/Parcel Map, the Subdivider shall identify on a separate sheet titled 'Non-title Sheet' the brush management areas in substantial conformance with Exhibit "A." These brush management areas shall be identified with a hatch symbol with no specific dimensions or zones called out. The following note shall be provided on the 'Non-Title Sheet' to identify the hatched areas: "Indicates fire hazard zone(s) per §142.0412 of the Land Development Code.'

MULTIPLE HABITAT PLANNING AREA [MHPA] DEDICATION/EASEMENT

- 25. The Prior to recordation of the first Final Map and/or issuance of any grading permits, the on-site Multiple Habitat Planning Area [MHPA] shall be conveyed to the City's Multiple Species Conservation Program [MSCP] preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Lots retained under private ownership shall grant a covenant of easement [COE] prior to grading permit issuance. Lots dedicated to the City in fee shall grant a Temporary COE prior to grading permit issuance and record a MSCP Grant Deed at Final Map stage.
- 26. Conveyance of any land in fee to the City shall require approval from the City's Parks and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. To facilitate MHPA conveyance, any nonfee areas shall have covenant of easements for MHPA lands placed over them if located in the MHPA, and be maintained in perpetuity by the Subdivider unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

MHPA LAND USE ADJACENCY

27. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Subdivider shall depict the following requirements on the construction documents and plans for Project Site.

- Grading/Land Development/MHPA Boundaries Within or adjacent to the MHPA, all
 manufactured slopes associated with site development shall be included within the
 development footprint.
- Drainage All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, and exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
- Toxics/Project Staging Areas/Equipment Storage Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."
- **Lighting** All lighting within or adjacent to the MHPA is directed away/shielded from the MHPA, or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per LDC Section 142.0740.
- Barriers Existing fences/walls; and/or signage along the MHPA boundaries shall remain and/or be added to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- **Invasives** No invasive, non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- **Brush Management** Brush management zones will not be greater in size than is currently required by the City's regulations (this includes use of approved alternative compliance). Within Zone 2 the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a homeowner's association or other private party.
- **Noise** Construction noise that exceeds the maximum levels allowed (60 dB or greater at the beginning edge of the habitat) shall be avoided during the breeding seasons for the following: CA gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species the following measures are required.

COASTAL CALIFORNIA GNATCATCHER (FEDERALLY THREATENED)

28. Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS <u>WITHIN THE MHPA</u> THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
 - I. BETWEEN MARCH 1 AND AUGUST 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED GNATCATCHER HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND
 - II. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR
 - III. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT

OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB (A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).

- * Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB (A) hourly average or to the ambient noise level if it already exceeds 60 dB (A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.
- B. IF COASTAL CALIFORNIA GNATCATCHERS ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 1 AND AUGUST 15 AS FOLLOWS:
 - I. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR COASTAL CALIFORNIA GNATCATCHER TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.
 - II. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

PARKS AND RECREATION

- 29. The Subdivider shall ensure the City's Department of Parks & Recreation review and approval of the final map prior to recordation.
- 30. The Subdivider shall ensure that all privately owned and maintained infra-structure is located on private property.
- 31. The Subdivider shall ensure that the lot(s) to be deeded to the City as open space are free and clear of all private easements, private encroachments, private agreement and/or liens.
- 32. The Subdivider shall schedule an inspection with the Parks & Recreation Department, Open Space Division prior to City's acceptance of irrevocable offer to dedicate (IOD), for lot(s)

- deeded to the City. All trash, illegal use and associated structures on the lot(s) shall be removed prior to the City acceptance.
- 33. The Subdivider shall irrevocably offer to dedicate (IOD) in fee to the City of San Diego, Lot "A" for MHPA open space purposes prior to approval of the first Final Map. At no time will Lot "A" and Lot "B" be encumbered by any deed of trust and shall remain free and clear until at such time the City of San Diego accepts said lots.

INFORMATION:

- The approval of this Vesting Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- All existing easements granted or dedicated to the City that are being shown and proposed on the Vesting Tentative Map Exhibit as to be vacated pursuant to Subdivision Map Act (SMA) requires Process 5 City Council approval.
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water design guides and City regulations, standards and practices pertaining thereto, and sewer design guides by the Olivenhain Municipal Water District (OMWD). Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24007539

RESOLUTION NUM	/IBER R
ADOPTED ON .	

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO CERTIFYING SUPPLEMENTAL ENVIRONMENTAL IMPACT REPORT NO. 598173/SCH NO. 97111070, AND ADOPTION THE FINDINGS AND THE MITIGATION, MONITORING, AND REPORTING PROGRAM FOR THE AVION PROPERTY - PROJECT NO. 598173 [MMRP]

WHEREAS, on April 26, 2018, THE DEBEVOISE FAMILY TRUST dated March 21, 1986, Owner, and LENNAR HOMES, Permittee, submitted an application to Development Services Department for a [PERMITS/APPROVALS/ENTITLEMENTS/ACTIONS] for the Avion Property (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Council of the City of San Diego; and

WHEREAS, the issue was heard by	the Council on	; and
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WHEREAS, the Council considered the issues discussed in Environmental Impact Report No. 598173 / SCH No. 97111070 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Council that it is certified that the Report has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the [DECISION-MAKER] in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081 and State CEQA Guidelines Section 15091, the Council hereby adopts the Findings made with respect to the Project, which are attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit B.

BE IT FURTHER RESOLVED, that the Report and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C Street, San Diego, CA 9210].

BE IT FURTHER RESOLVED, the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

ATTACHMENT 12

APPROVED: MARA W. ELLIOTT, City Attorney

By:

[NAME], [DEPUTY CITY ATTORNEY]

ATTACHMENT(S): Exhibit A, Findings

Exhibit B, Mitigation Monitoring and Reporting Program

ATTACHMENT 12

EXHIBIT A

FINDINGS

[To be provided to the Planning Commission at distribution.]

EXHIBIT B

MITIGATION MONITORING AND REPORTING PROGRAM

REZONE ORDINANCE NO. 2109729, PLANNED DEVELOPMENT PERMIT NO. 2109731, SITE DEVELOPMENT PERMIT NO. 2109732, AND VESTING TENTATIVE MAP NO. 2109728 PROJECT NO. 598173 / SCH No. 97111070

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Environmental Impact Report No. 598173 / SCH No. 97111070 shall be made conditions of Rezone Ordinance No. 2109729, Planned Development Permit No. 2109731, Site Development Permit No. 2109732, and Vesting Tentative Map No. 2109728, as may be further described below.

A. GENERAL REQUIREMENTS - PART I (Plan Check Phase (prior to permit issuance)

- Prior to the issuance of a Notice to Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD) (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
- In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
- 3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
 http://www.sandiego.gov/development-services/industry/standtemp.shtml
- 4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
- 5. **SURETY AND COST RECOVERY –** The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

- B. GENERAL REQUIREMENTS PART II (Post Plan Check (After Permit Issuance/Prior to Start of Construction)
 - PRECONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO
 BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to
 arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the
 Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION
 (MMC). Attendees must also include the Permit holder's Representative(s), Job Site
 Superintendent and the following consultants:

Qualified Paleontological Monitor(s), Acoustician, Archaeologist(s), Native American Monitor(s), and Biologist(s)

NOTE: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

Contact Information:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
- 2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 598173 and/or Environmental Document No. 598173, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).

NOTE: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

- 3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.
 - California Department of Fish and Wildlife: California Fish and Game Code Section 1602 Streambed Alteration Agreement
 - Federal Emergency Management Agency: Conditional Letter of Map Revision
 - Regional Water Quality Control Board: National Pollutant Discharge Elimination System General Construction Permit, Clean Water Act Section 401 waiver/certification

- U.S. Army Corps of Engineers: Clean Water Act Section 404 authorization
- San Diego County Airport Land Use Commission Consistency Determination (Conditional Consistency November 6, 2018)
- 4. MONITORING EXHIBITS: All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.
 - NOTE: Surety and Cost Recovery When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.
- 5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/ Approvals/ Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Land Use	Multi-Habitat Planning Area (MHPA) Land Use Adjacency Issues Consultant Site Visit Records (CSVR)	Land Use Adjacency Issue Site Observations
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Biology Reports	Biology/Habitat Inspection
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Noise	Blasting Management Plan	Prior to issuance of the first grading permit
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Biological Resources

Vegetation Communities

MM-BIO-1: Upland Vegetation Communities

Mitigation for impacts to coastal sage scrub (Tier II habitat), southern mixed chaparral (Tier IIIA habitat), and non-native grassland (Tier IIIB habitat) communities would be achieved through the preservation of habitat on the site located outside of the development area. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the project would demonstrate to the satisfaction of the City that impacts to a total of 15.2 acres of sensitive vegetation would be mitigated by the on-site preservation of 24.03 acres of sensitive vegetation as summarized by habitat type in Table 5.2-5. The preserved habitat areas on the site would all be within the boundaries of the MHPA Boundary Line Adjustment (BLA) dedicated to the City in fee title. Acceptance of land dedicated in fee title is subject to approval by the City's Park and Recreation Open Space.

Sensitive Wildlife

MM-BIO-2: Standard City Construction Measures

Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, mitigation for general impacts to biological resources would be incorporated via standard measures including general mitigation measures, biological protections during construction, (includes monitoring, preconstruction meetings, and development of a Biological Condition Monitoring Exhibit, etc.) as described below. These Biological Resources Protection requirements shall be depicted on the construction documents verbatim and implemented accordingly.

Biological Resources (Protection During Construction)

I. Prior to Construction

- A. **Biologist Verification** The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. Biological Documents The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per the City's Biology Guidelines, MSCP, ESL Ordinance, project permit conditions; CEQA; endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **Biological Construction Mitigation/Monitoring Exhibit (BCME)** The Qualified Biologist shall present a BCME, which includes the biological documents in "C" above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal

- cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including U.S. Fish and Wildlife Service protocol), timing of surveys, wetland buffers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City Assistant Deputy Director (ADD)/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. Avian Protection Requirements To avoid any direct impacts to Cooper's hawk, rufouscrowned sparrow, and coastal California gnatcatcher or any species identified as listed, candidate, sensitive, or special status in the MSCP, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a preconstruction survey to determine the presence or absence of nesting for these three sensitive bird species on the proposed area of disturbance. The preconstruction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the preconstruction survey to the City's DSD for review and approval prior to initiating any construction activities. If nesting activities for any of the above-mentioned sensitive bird species are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable state and federal law (i.e., appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section or Resident Engineer, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.
- F. **Resource Delineation** Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora and fauna species, including nesting Cooper's hawk, rufous-crowned sparrow, and coastal California gnatcatcher) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education** Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an onsite educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

A. **Monitoring** – All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive

- areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the preconstruction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR shall be e-mailed to the MMC on the first day of monitoring, the first week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. **Subsequent Resource Identification** The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna on-site (e.g., flag plant specimens for avoidance during access, etc.). If active nests for Cooper's hawk, rufous-crowned sparrow, and coastal California gnatcatcher, or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

Cultural/Historical Resources

Historic Resources

MM-HIST-1: Archaeological Monitoring

- Prior to Permit Issuance
 - A. Entitlements Plan Check
 - Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.
 - B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 - 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

- 1. The PI shall provide verification to MMC that a sit- specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was inhouse, a letter of verification from the PI stating that the search was completed.
- 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- 3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

- Prior to beginning any work that requires monitoring; the Applicant shall arrange a
 Precon Meeting that shall include the PI, Native American consultant/monitor (where
 Native American resources may be impacted), Construction Manager (CM) and/or
 Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate,
 and MMC. The qualified Archaeologist and Native American Monitor shall attend any
 grading/excavation related Precon Meetings to make comments and/or suggestions
 concerning the Archaeological Monitoring program with the Construction Manager
 and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

- a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
- b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 - 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being

- monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
- 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
- 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
- 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

- In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or Bl, as appropriate.
- 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
- 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

- 1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s)

- that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

- 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
- 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

- Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
- 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
- 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains ARE determined to be Native American

- 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
- 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
- 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
- 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
- 5. Disposition of Native American Human Remains will be determined between the MLD and the PL and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the

human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN

- c. To protect these sites, the landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement; or
 - (3) Record a document with the County. The document shall be titled "Notice of Reinterment of Native American Remains" and shall include a legal description of the property, the name of the property owner, and the owner's acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.
- d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are NOT Native American
 - 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
 In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.
 - Discoveries
 All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries

- If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III During Construction and IV-Discovery of Human Remains shall be followed.
- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
 - 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 - 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 - 3. The cost for curation is the responsibility of the property owner.

- C. Curation of artifacts: Accession Agreement and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 - 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

Air Quality

Sensitive Receptors (Construction)

MM-AIR-1a: Arsenic Testing Protocol in Areas Requiring Blasting

Geocon shall obtain periodic random samples from select air-track borehole spoils or the ground surface over the course of the blasting program. The number of samples shall vary and be based on judgement depending on the size of the shot. The samples shall be assigned for analysis of arsenic using U.S. Environmental Protection Agency Test Method 6010B with a reporting limit of 1.0 milligram per kilogram. The sampling shall be performed under the direct supervision of Geocon's Project Manager and Professional Geologist.

MM-AIR-1b: Blasting Dust Mitigation Plan

The following protocols shall be performed to minimize the generation of visible dust during the hard rock blasting events:

- The areas shall be heavily watered prior to the planned blasting. The amount of water applied shall depend on the size of the shot and composition of the materials exposed at the top of the shot (i.e., topsoil vs. hard rock).
- A water truck shall be dedicated to pre-wet the ground surface.
- Detergent, if necessary, shall be added to the water truck to reduce the surface tension of
 the water and promote soaking into the surface materials. The water used shall be confined
 to the area of the shot and not be allowed to migrate out of the work limits. Confinement of
 the water shall be achieved through use of earthen berms, ditches, or other containment
 features that shall prevent migration of the water outside the work area.
- Once the boreholes are loaded with blasting agent, a final soaking shall occur just prior to the shot.

D. PREVIOUS MITIGATION (1998 EIR)

Transportation/Circulation

The project would be subject to conditions of approval consistent with the MMRP for the 1998 EIR. Specifically, prior to the issuance of any building permit, the project is required to be in conformance with the Black Mountain Ranch Transportation Phasing Plan.

Air Quality

The 1998 EIR incorporated mitigation measures that would reduce fugitive dust impacts from construction activity. Dust control during construction and grading operations would be regulated in accordance with the rules of the San Diego Air Pollution Control District. The following measures would reduce fugitive dust impacts:

- 1. All unpaved construction areas would be sprinkled with water or other acceptable San Diego County Air Pollution Control District (SDAPCD) dust control agents during dust-generating activities to reduce dust emissions. Additional watering or acceptable Air Pollution Control District dust control agents would be applied during dry weather or windy days until dust emissions are not visible.
- 2. Trucks hauling dirt and debris would be covered to reduce windblown dust and spills.
- 3. On dry days, dirt and debris spilled onto paved surfaces would be swept up immediately to reduce resuspension of particulate matter caused by vehicle movement. Approach routes to construction sites would be cleaned daily of construction-related dirt in dry weather.
- 4. On-site stockpiles of excavated material would be covered or watered.

To reduce construction-related vehicle emissions, ride share opportunities would be encouraged and construction vehicle access would be limited to roads determined in a temporary traffic construction management plan. In addition, construction staging areas would be as far away from existing or completed residences as possible.

(O-INSERT~)

REZONE ORDINANCE

		(O INSERT)
ORDINANCE NUMBER O	(NEW SERIES)	
ADOPTED ON_		

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING APPROXIMATELY 41.48-ACRES LOCATED SOUTHWEST OF WINECREEK DRIVE IN THE BLACK MOUNTAIN RANCH SUBAREA PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE AR-1-1 (AGRICULTURAL-RESIDENTIAL) ZONE TO THE RS-1-14 (RESIDENTIAL-SINGLE UNIT), AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTIONS 131.0303 AND 131.0403; AND REPEALING ORDINANCE NO. 0-8858 (NEW SERIES), ADOPTED JULY 18, 1963, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INSOFAR AS THE SAME CONFLICTS HEREWITH.

WHEREAS, THE DEBEVOISE FAMILY TRUST dated March 21, 1986, Owner, and LENNAR
HOMES, Permittee, requested to rezone approximately 41.48-acres of land from the AR-1-1
(Agricultural-Residential) Zone to the RS-1-14 (Residential-Single Unit) Zone, in the Black Mountain
Ranch Subarea Plan area; and

WHEREAS, the matter was set for a public hearing to be conducted by the Council of the City of San Diego (Council); and

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor because this matter requires the Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That approximately 41.48-acre site is located southwest of Winecreek Drive in the Black Mountain Ranch Subarea Plan area, and legally described as: PARCEL 1: The Southeast quarter of the Southeast quarter of Section 32, Township 13 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Records; and PARCEL 2: Lots 1 and 2 and the Southeast quarter of the Northeast quarter of Section 5, Township 14 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, except for all crude oil, petroleum, gas, brea, asphaltium, and all kindred substances and other minerals under and said land, as reserved in Deed recorded May 30, 1960 as Instrument No. 111628 of Official Record, as shown on Zone Map Drawing No. B-4350, filed in the office of the City Clerk as Document No. OO-_________ are rezoned from the AR-1-1 (Agricultural-Residential) Zone to the RS-1-14 (Residential-Single Unit) Zone, as the zones are described and defined by San Diego Municipal Code Sections 131.0303 and 131.0403. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

Section 2. That Ordinance No. O-8858 (New Series), adopted on July 18, 1963, of the ordinances of the City of San Diego is repealed insofar as the same conflicts with the rezoned uses of the land.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

ATTACHMENT 13

Section 4. No building permits for development inconsistent with the provisions of this

Ordinance shall be issued unless application therefor was made prior to the date of adoption of this

Ordinance.

APPROVED: MARA W. ELLIOTT, City Attorney

Ву _____

Attorney name

Deputy City Attorney

Initials~ Date~

Or.Dept: INSERT~

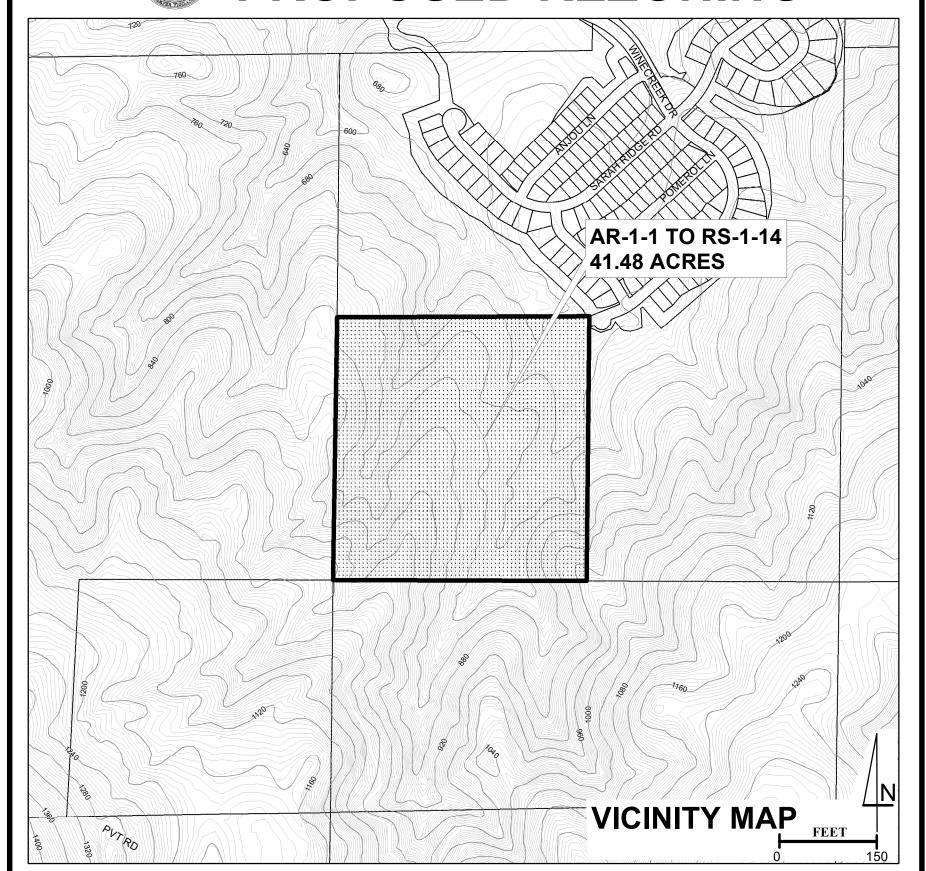
Case No. INSERT PROJECT NUMBER~

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CITY OF SAN DIEGO · DEVELOPMENT SERVICES

PROPOSED REZONING



SEC 5-14-2W*NE 1/4 OF*SW 1/4 OF SEC 32		
ORDINANCE NO	REQUEST RS-1-14	CASE NO. PTS 598173
EFF. DATE ORD	PLANNING COMM. RECOMMENDATION	DEVELOPMENT SERVICES MANAGER
BEFORE DATE	CITY COUNCIL ACTION	B- 4350
EFF. DATE ZONING ———— MAP NAME AND NO. ———		APN: 312-010-1600
		(2981737) Idj Date: 5/27/2020 Document Path: L1GISPGIS'8 and C Sheets/8430_BMR, Avion, Project, DRAFT mad

PLANNING COMMISSI	ON RESOLUTION NO	-P(

RECOMMENDING TO THE CITY COUNCIL CERTIFY SUPPLEMENTAL ENVIRONMENTAL IMPACT REPORT NO. 598173/SCH NO. 97111070, ADOPT THE FINDINGS AND STATEMENT OF OVERRIDING CONSIDERATIONS, AND ADOPT THE MITIGATION, MONITORING, AND REPORTING PROGRAM; AND APPROVE REZONE ORDINANCE NO. 2109729, PLANNED DEVELOPMENT PERMIT NO. 2109731, SITE DEVELOPMENT PERMIT NO. 2109732, AND VESTING TENTATIVE MAP NO. 2109728; HILLTOP/EUCLID MIXED-USE DEVELOPMENT PROJECT NO. 560527 [MMRP]

WHEREAS, THE DEBEVOISE FAMILY TRUST dated March 21, 1986, Owner, and LENNAR HOMES, Permittee, filed an application with the City of San Diego for a Planned Development Permit and Site Development Permit for the subdivision of the project site and construction of 84 multi-family dwelling units on-site, the transfer of transfer 19 affordable units 14 market rate dwelling units to Parcel 1 of Map 21331 in the Black Mountain Ranch North Village Town Center for a combined total of 117 dwelling units known as the Avion Property project (Project); and

WHEREAS, on July 23, 2020, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of the City of San Diego cortication of a Supplemental Environmental Impact Report No. 598173/SCH No. 97111070, adoption of the Findings and Statement of Overriding Considerations, and adoption of a Mitigation, Monitoring, and Reporting Program; and approval of a Rezone, Planned Development Permit, Site Development Permit, and Vesting Tentative Map; and

WHEREAS, the Planning Commission of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby recommends to the Council of the City of San Diego to CERTIFY Supplemental Environmental Impact Report No. 598173/SCH No. 97111070, ADOPT the Findings and Statement of Overriding Considerations, and ADOPT the Mitigation, Monitoring, and Reporting Program; and APPROVE Rezone Ordinance No. 2109729, Planned Development Permit No. 2109731, Site Development Permit No. 2109732, and Vesting Tentative Map No. 2109728.

Jeffrey A. Peterson Development Project Manager Development Services Department

Dated: July 23, 2020

By a vote of: ____:___:___

Internal Order Number: 24007539

Page 4

City of San Diego · Information Bulletin 620

August 2018



City of San Diego

Community Planning Committee Distribution

Services 1222 First Ave., MS-302 San Diego, CA 92101		.0111111			rm Part 2
Project Name: Avion		Project Number: 598173		Distribution Date: 7-26-2019	
Project Scope/Location: The Avion @ Black Mountain Ranch Projec RS-1-14 zone, Multiple Habitat Planning Ard Development Permit, Planned Developmen subdivision and construction of 84 detached 41.48-acre site, located at the southernmos	ea (M it Peri d resi	IHPA) bound mit and Vest dential cond pt of Winecre	dary line adj ting Tentativ ominiums. eek Dr off Ca	ustme e Ma The p armel	ent, Site p for the project is
Applicant Name: Lennar Homes		Applicant Pl 858.618.4919	hone Numbe	er:	
Project Manager: Alex Plishner		Phone Num 858.618.4919	nber:	1	il Address: shner <alex.plishner@lennar.com></alex.plishner@lennar.com>
Committee Recommendations (to be comple			,	VI - 1	Manushana Abatain
☑ Vote to Approve	10	mbers Yes	Members 0		Members Abstain
□ Vote to Approve With Conditions Listed Below	Mer	mbers Yes	Members No		Members Abstain
□ Vote to Approve With Non-Binding Recommendations Listed Below	Mer	mbers Yes	Members No		Members Abstain
□ Vote to Deny	Mer	mbers Yes Members No		No	Members Abstain
■ No Action (Please specify, e.g., Need further information, Split	t vote, I	_ack of quorum	, etc.)		☐ Continued
CONDITIONS:				·	
NAME: Jon Becker		TITLE: RPPB, Chair			
Origitally signed by John Becker DN: C=US, E=jbecker projectosign.com. O=Pro Design Address	ject	DATE: February 14, 2	020		
#####################################		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			

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City of San Dlego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

Ownership Disclosure Statement

FORM

DS-318

October 2017

Approval Type: Check appropriate box for type of I Neighborhood Development Permit I Site De I Tentative Map I Vesting Tentative Map I Ma	evelopment Permit @ Planned Developm	ent Permit (Conditional Use P	
Project Title: Avien		Project No	. For City Use Only	·
Project Address: Mon Property		-		
	ч.			
Specify Form of Ownership/Legal Status (plea				
☐ Corporation ☐ Limited Liability-or- ☐ General	al - What Stote?Corporate	Identification	n No	
☐ Partnership 🖾 Individual				1.5
By signing the Ownership Disclosure Statement, with the City of San Diego on the subject propowner(s), applicant(s), and other financially interindividual, firm, co-partnership, joint venture, as with a financial interest in the application. If the individuals owning more than 10% of the share officers. (A separate page may be attached if ne ANY person serving as an officer or director of A signature is required of at least one of the pnotifying the Project Manager of any changes in ownership are to be given to the Project Managaccurate and current ownership information cou	erty with the Intent to record an encurrested persons of the above referenced is sociation, social club, fraternal organiza a applicant includes a corporation or pass. If a publicly-owned corporation, includes as a corporation, includes a corporation, includes a corporation, includes a corporation, includes a publicly of the nonprofit organization or as true to perty owners. Attach additional page in ownership during the time the application or any public er at least thirty days prior to any public er at least thirty days prior to any public	nbrance again property. A tion, corpora rtnership, inde the name ganization or stee or bene s if needed, ation is being hearing on t	nst the property. P financially interester titlon, estate, trust, r clude the names, tit s, titles, and address a trust, list the name ficiary of the none Note: The applicar s, processed or cons	please list below the diparty includes any ecceiver or syndicate les, addresses of all ses of the corporate es and addresses of profit organization. It is responsible for idered. Changes in
Property Owner	y a y y y y y y y y y y y y y y y y y y	7.77		
Name of Individual: Announce Anne E Debe De Bavoise Family Street Address: 5072 San Jongo CA 92	voise Trustee of the y Trust Dated March	21, 1981	☐ Tenant/Lessee	☐ Successor Agency
City: San Diego CA 92	109		State: CA	Zip: 92109
Phone No.: 950 - 274 - 5354	Fax No. 858-274-5354	Fmail: Cl	nnedebeva	gmail.com
SIgnature: anne & DeBer	use Trustee	Date: 01/30/1		
Additional pages Attached: ☐ Yes		Date.		
Applicant				
Name of Individual: Lennar Homes c/o Alex Pli	shner	□ Owner	☑ Tenant/Lessee	☐ Successor Agency
Street Address: 16465 Via Esprillo, Sulle 150	•			
City: _Ean Diego			State: _CA	Zip: 92127
Phone No.: (858) 618 4919	Fax No.:	Email: alex	.plishner@lennar.	com
Mes		Date: oinsor		
Signature: Additional pages Attached: ☐ Yes	⊠ No	Date.		***************************************
Other Financially Interested Persons				
Name of Individual:		O Owner	☐ Tenant/Lessee	☐ Successor Agency
Street Address:		11, 1		
City:			State:	Zip:
Phone No.:	_ Fax No.:	Email:		
Signature:		Date:		
Additional pages Attached: Yes	□ No			

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WRITTEN CONSENT TO CORPORATE ACTION BY BOARD OF DIRECTORS OF LENNAR HOMES OF CALIFORNIA, INC.

MARCH 16, 2018

The undersigned, being all of the members of the Board of Directors of Lennar Homes of California, Inc., a California corporation (the "Corporation"), do hereby unanimously agree and consent, pursuant to the provisions of Division 1 of the California General Corporation Law, to the adoption of, and do hereby adopt, the following resolutions:

RESOLVED, that without limitation upon the power of the Corporation, acting on its own behalf, by resolution to confer the same or similar authority upon other officers and individuals from time to time, and without limiting any authority otherwise conferred on any officers of the Corporation, the individuals listed on Exhibit "A", attached hereto and made a part hereof are hereby elected to the respective offices set forth opposite their names, to hold that office on behalf of the Corporation until the next annual meeting, or until a successor is duly elected and qualified, or until their earlier resignation or removal from office; and be it further

RESOLVED, that the authorities hereby conferred shall be deemed retroactive, and that any and all actions by the Directors and Officers of the Corporation in their official capacities that were performed prior to the passage of these resolutions be, and they hereby are, approved, ratifies and confirmed in all respects.

This Written Consent may be executed in counterpart signature pages, and all so executed shall constitute one Written Consent. A facsimile, PDF of a signature or an electronic signature to this Written Consent shall be deemed and treated for all purposes of execution to be as valid as an original signature thereto.

IN WITNESS WHEREOF, the undersigned have executed this Written Consent effective as of the date first written above.

DIRECTORS:

Docusigned by:

Mark Sustana

Mark Sustana

Docusigned by:

Diane Benette

Diane Bessette

Exhibit "A" List of Officers

Ostrem, William	Vice President
Atkin, Thomas	Vice President
Green, Ryan E.	Vice President
Plishner, Alexander	Vice President
Whittingham, Alan	Vice President
Jones, Gary	Vice President
Battaglia, Michael	Vice President
Sheehan, Adam	Vice President
Massas, Laura D.	Authorized Agent - Homebuilding/Sales Operations
Harden, Erin Rebecca	Authorized Agent – Homebuilding/Sales Operations
Hein, Nicole	Authorized Agent – Homebuilding/Sales Operations
Willingham, Dorothy	Authorized Agent - Homebuilding/Sales Operations
James, David	Authorized Agent – Homebuilding/Sales Operations
Higgins, John Patrick	Authorized Agent - Homebuilding/Sales Operations
Goodale, Leslie A.	Authorized Agent - Homebuilding/Sales Operations
Cole, Alyxandra	Authorized Agent - Homebuilding/Sales Operations
White, Arnold L.	Authorized Agent – Land Development Operations
Flanagan, Gabriela C.	Authorized Agent – Land Development Operations
McWilliam, Fulya N.	Authorized Agent – Land Development Operations
Scott, Diane L.	Authorized Agent – Land Development Operations
Gonzalez-Salcedo, Gaddiel	Authorized Agent – Land Development Operations
Burskotter, Kurt	Authorized Agent – Land Development Operations
Keller, Richard	Authorized Agent – Land Development Operations
Bencz, Brian	Authorized Agent – Land Development Operations
Burckle, Crystal	Authorized Agent – Land Development Operations
_Carlos,-Salvador	—Authorized Agent – Land Development Operations
Mindt, Sandra D.	Authorized Agent – Land Development Operations
Dalby, Johnna	Authorized Agent – Land Development Operations
Cummins, Ryan	Authorized Agent – Land Development Operations
Matthes, Brandon	Authorized Agent – Land Development Operations
Kemmerer, Michael	Authorized Agent – Land Development Operations

Design Review Guidelines For Avion

ATTACHMENT 18

I. INTRODUCTION

As shown in **Figure 1**, the Avion project ("Project") is located just south of Heritage Bluffs II and the East Clusters at Black Mountain Ranch. The Project is designed to adopt several of the Design Review Guidelines from both developments to maintain unified standards for the area. Distinct architectural guidelines and an appropriate landscape development plan have been prepared for Avion in order to create a unique sense of place for the community.

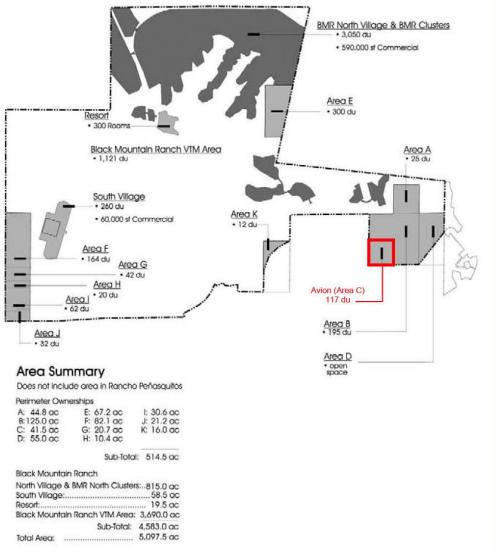


Figure 1 – Vicinity Map

Source: Figure 2.2. Development Summary by Area from Black Mountain Ranch Subarea Plan

I. INTRODUCTION

A. PROJECT DESCRIPTION

The Project encompasses approximately 41.48 acres of vacant land located in the northern part of the City of San Diego, approximately 1.2 miles west of Interstate 15. Carmel Valley Road/Bernardo Center Drive is located approximately 0.6 mile to the north, and Black Mountain Road is located approximately 1.4 miles to the west. Heritage Bluffs II abuts the northern edge of the property. Future access would be provided at the northeast corner of the project site via Winecreek Road. Land uses surrounding the site include a portion of the Black Mountain Open Space Park to the west, east, and south, and residential development and open space to the north.

The project site is identified as Area "C" of the Southeast Perimeter Properties of the Black Mountain Ranch (BMR) Subarea Plan (APN 312-010-16). The BMR Subarea Plan designates approximately 22.4 acres of the site as Low Residential (2-5 dwelling units per acre) and the remainder (approximately 19 acres) as part of the City's Multiple Habitat Planning Area (MHPA). MHPA lands have been included within the City's Multiple Species Conservation Program Subarea Plan (MSCP) for habitat conservation. The RS-1-14 zone is recommended as a compatible zone for the Low Residential land use designation; however, if development to be clustered, or if the housing type(s) proposed are other than those allowed by the underlying zone, then a planned development process may be employed.

As shown in **Figure 2**, The BMR Subarea Plan allows a total of 117 dwelling units to be developed onsite including a requirement for 19 affordable units. The Project proposes to develop 84 market rate detached single dwelling units on one residential lot with a condominium map applied. Per the California Building Code (CBC), the dwelling units are built with R-3 occupancy and per the San Diego Municipal Code (SDMC) the dwelling units are defined as multiple dwelling units on a single lot. The transfer of 19 affordable units and 14 market rate units to Parcel 1 of Parcel Map 21331 in the Black Mountain Ranch North Village Town Center is also proposed. The project density onsite would be consistent with the density prescribed for the area.

I-2

I. INTRODUCTION

The transfer receiving site encompasses approximately 1.68 acres and is currently designated Mixed-Use Core (25-45 dwelling units per acre) and zoned CC-3-5 (Community Commercial). The site is generally bordered by Paseo Del Sur to the west, Templeton Street to the north, and Zaslavsky Place to the east. Surrounding uses include the Target commercial center (171,500 square feet) to the west, the Sprouts grocery store (38,500 square feet) to the north, the Design39Campus (K-8) to the east, and an age restricted affordable housing development to the south. The Project's affordable units are intended to supplement the affordable housing to the south and facilitate ongoing resident programs and management.

The Project requests the following entitlements:

- Rezone of the residential portion of the site from the AR-1-1 (Agricultural – Residential) zone to the RS-1-14 (Residential – Single Unit) zone;
- Vesting Tentative Map (VTM) to subdivide lots and create condominium units;
- Site Development Permit (SDP) due to the presence of environmentally sensitive lands (steep hillsides, sensitive biological resources, and wetlands);
- Planned Development Permit (PDP) to allow for single dwelling units on a single lot in the underlying zone and to exceed the retaining wall heights outside of required setbacks; and a
- MHPA Boundary Line Adjustment (MHPA BLA) to dedicate remaining AR-1-1 (Agricultural – Residential) lots to MHPA in lieu of a Covenant of Easement over remaining ESL.

A Supplemental EIR that will tier off of the previously approved Environmental Impact Report No. 96-7902/SCH No. 97111070 prepared for the Black Mountain Ranch Subarea Plan will be analyzed for the project.

I. INTRODUCTION

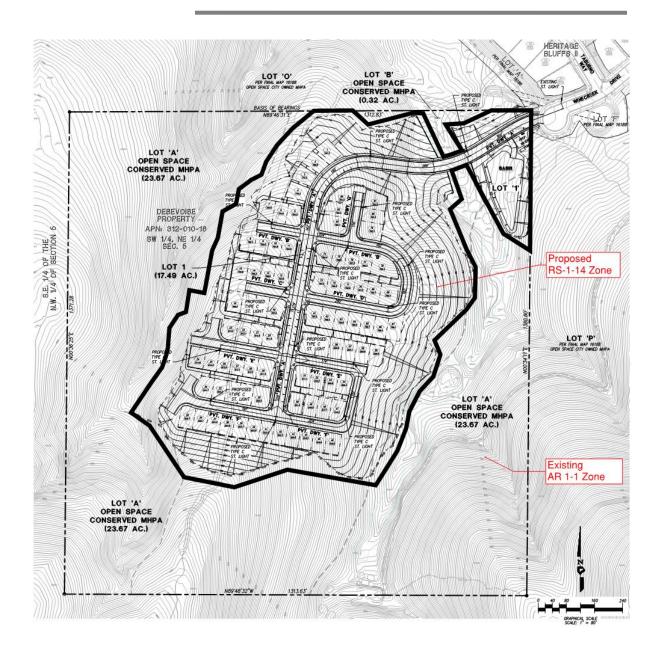


Figure 2 – Site Plan with Zoning Designation

II. RESIDENTIAL DESIGN

A. GENERAL DEVELOPMENT REGULATIONS

The City of San Diego Municipal Code sets forth the general development regulations subject to the site. The residential development regulations are based on the RS-1-14 zone and the open space development regulations are based on the AR-1-1 zone. In any instance where development regulations of the Avion Design Review Guidelines conflict with regulations of the City of San Diego zoning regulations, the Avion Design Review Guidelines shall prevail. In addition to the Residential Base Zone and Agricultural Base Zone Requirements, the project shall comply with Chapter 14, Article 2, Division 5 (Parking Regulations), Chapter 14, Article 2, Division 10 (Off-Street Loading Requirements), Chapter 14, Article 2, Division 8 (Refuse and Recyclable Materials Storage Regulations), and Land Development Code Tables 142-05L and 142-05M.

The residential portion of the site shall be rezoned to RS-1-14. The remaining open space lot will be conserved as MHPA and will maintain the AR-1-1 zone. The proposed development is in full compliance with the Land Development Code. Deviations are requested for the retaining wall heights outside of required setbacks. Pursuant to Section 142.0340, retaining walls are limited to 12 feet outside of required yard setback. The requested retaining wall deviation is to support the roadway and avoid impacts to the existing drainage course. **Figure 3**, on the following page, illustrates the typical setbacks for each condo lot. The maximum building height within the RS-1-14 zone is 35 feet and 30 feet to the building eave. Any future development, addition, or modification to an existing residence must be favorably reviewed and approved by the Homeowner's Association (HOA) and the City of San Diego. Please refer to Section V, Implementation, for further details.

Figure 4, on the following page, identifies how the project complies with the open space requirements per unit required for Planned Development Permits.

II. RESIDENTIAL DESIGN

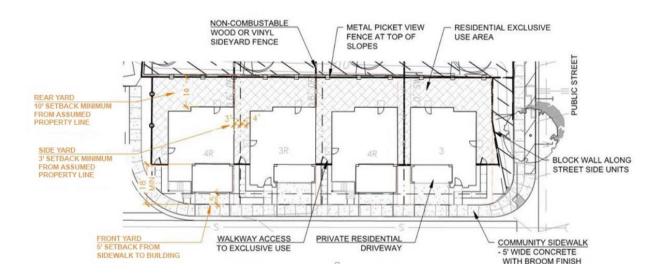


Figure 3: Typical Streetscape and Minimum Setbacks

The maximum buildable area for each lot is limited to the proposed lot size and building setbacks for the project. Per Section 143.0410(j)(8) of the Municipal Code, elements such as varied setbacks should be used to enhance the visual appearance of the development. The existing and proposed setbacks are as follows:

Table 1: Existing and Proposed Setbacks					
Setbacks	Existing RS-1-14 Zone	Proposed Project			
Front	15' minimum	5' minimum. Driveway			
		must be adequate to			
		accommodate			
		approximately 18' from the			
		back of the sidewalk to the			
		roll-up garage door.			
Side	4' minimum	3' minimum if the adjacent			
		lot has a 4' side setback. 4'			
		minimum if the adjacent lot			
		has a 3' side setback.			
Street side	10' minimum	10' minimum			
Rear	10' minimum	10 minimum			

As shown in Figure 3, the rear yard setback varies based on building siting and the limits of the lot line. The rear setback, including slopes, typically

II. RESIDENTIAL DESIGN

ranges from 10' to 38'. The minimum side setback is 3' from the property line. This minimum only occurs when the adjacent lot has a 4' side setback. The front setback measures 5' from the property line, provided there is 18' minimum from the back of the sidewalk to the roll-up garage door.

The maximum FAR for the RS-1-14 zone is 0.60 and the lot size is 772,901 s.f. The total square footage for the entire development is 463,741 s.f., which is calculated by multiplying the maximum FAR by the lot size. The buildable area is allowed to be distributed to approximately 84 lots. The maximum buildable area for each lot is 5,521 s.f., which is calculated by dividing the total square footage for the entire development by 84 lots. Therefore, the maximum size of each house for each lot shall not exceed 5,521 s.f. Any changes or modifications to a resident wants to make to the existing structure must be approved by the HOA based on this comparison and potentially concurrently with the City of San Diego.

II. RESIDENTIAL DESIGN

LEGEND Internal Slopes 40,595 s.f. Perimeter Slopes 241,124 s.f. Private Open Space (RS-1-14 condo areas) Zone 1 Permanently Irrigated Slope Zone 2 Brush Management MHPA Open Space Preserve



OPEN SPACE EXHIBIT

AVION

(1) Assumes per RS-1-14 Code 21.5% % lot coverage with the remainder in open space

ZONE	MIN. USABLE OPEN SPACE REQ. PER UNIT	TOTAL MIN. OPEN SPACE REQ. PER UNIT	USEABLE OPEN SPACE PROVIDED PER UNIT	TOTAL OPEN SPACE PROVIDED PER UNIT (EXCL. MHPA)	TOTAL OPEN SPACE PROVIDED PER UNIT (INCL. MHPA)
RS-1-14	750 S.F.	1,500 S.F.	1,783 S.F.	6,176 S.F.	18,923 S.F.

Figure 4 - Open Space Exhibit

II. RESIDENTIAL DESIGN

MHPA ADJACENCY

In March of 1997, the City of San Diego adopted the Multiple Species Conservation Program (MSCP) Subarea Plan. The MSCP identifies lands proposed for open space and habitat preservation and designates these areas as Multiple Habitat Planning Areas (MHPA). The MHPA boundary surrounds the area of the site proposed for development. To ensure implementation of the MHPA, the Project will comply with the general planning principles and design guidelines outlined in Sections 1.4.2 and 1.4.3 of the MSCP Subarea Plan. These policies and guidelines will specifically address the following issues areas during the planning or maintenance phase of the project:

- Prevent drainage from flowing directly into the MHPA;
- Reduce the impact of toxics;
- Direct lighting away from the MHPA;
- Reduce noise impacts that may interfere with wildlife utilization of the MHPA;
- Implement barriers to direct public access to appropriate locations and reduce domestic animal predation;
- Prevent the introduction of invasive species into the MHPA;
- Reduce fire hazards through brush management; and
- Ensure that manufactured slopes are located within the development footprint.

It is anticipated that the MHPA area will be dedicated to the City of San Diego as open space or encumbered with appropriate conservation easements as part of individual project development.

ATTACHMENT 18

II. RESIDENTIAL DESIGN

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III. STREETSCAPE DESIGN

Consistent with the adopted Black Mountain Ranch Subarea Plan, access to the project site would be provided by extending access from the proposed development to the north, as provided for in the East Clusters and Avion maps. Access to the project would be from the easement extending from the western terminus of the Winecreek Drive cul-de-sac. All roads within the project would be private driveways.

The main access drive will extend from Winecreek Drive onto the property, across a culvert bridge and climb to the top of the residential plateau. The access drive will provide for a sidewalk on the north side until reaching the plateau and transition into sidewalks on both sides of the road. Street trees will be provided on an average of 30' on center between the curb and sidewalk along the length of the drive. Residential driveways will have contiguous sidewalks with residential street trees and connecting to the main drive linking the residential neighborhoods. Typical driveway sections are included on the project plans for the Vesting Tentative Map for Avion.

The streetscape design for Avion includes both drought tolerant and naturalized landscape treatment. Consistent quality and design of landscape elements and streetscape areas softens the aesthetics of buildings and ties together neighborhoods in a cohesive way. The intent is to relate the landscape to the adjacent character or the open space rather than to reinforce the road network. Street trees will provide shade and be selected to fit the scale of the plantable area, long lived, drought tolerant, and low maintenance. The street tree species will be as recommended by the City's Tree Selection Guide for the appropriate parkway width.

The landscaping for the streetscape is illustrated in **Figure 5** below and on the Landscape Development Plan for Avion. As shown, there is a discernible landscape character along street fronts. Landscaping and sidewalks are located within the front setback and create a visually interesting transitional space between the public realm of the street and the private realm of the residents' building and exclusive use areas. It also provides privacy and visual screening and enhances the open space along the street. Landscaping design should utilize the natural topography, existing vegetation, drainage, and microclimate appropriate to the site. Retaining walls should be designed to blend into the surroundings by

III. STREETSCAPE DESIGN

visually softening walls with landscaping or selecting colors and textures complementing the adjacent landscape.



Figure 5: Typical Streetscape/Backyard

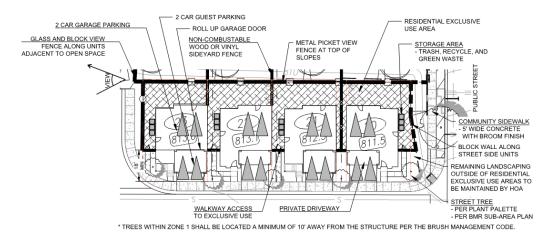


Figure 6: Typical Streetscape/Exclusive Use Area

Driveway widths shall comply with City of San Diego Municipal Code Tables 142-05L and 142-05M. Parking will comply with Chapter 14, Article 2, Division 5 (Parking Regulations) of the City of San Diego Municipal Code. As shown in **Figure 6**, private driveways leading to an attached two-car garage are provided for each residence. Each residential driveway has a minimum length of 18' between the roll-up garage door and public right-of-way and can accommodate two guest parking spaces. Additional guest parking is provided along the primary access road leading to the

III. STREETSCAPE DESIGN

residential driveways. The two-car attached garage is recessed and located towards the front of the house on the first floor of the residence. Garage siting varies according to the building type.

Architectural features shall be sensitively located not to dominate the appearance of the building. The allowable architectural projections and encroachments in the residential zone are described in Section 131.0461.

Development shall conform to Chapter 14, Article 2, Division 8 of the Municipal Code that encourages recycling of solid waste to reduce the amount of waste material entering landfills and to meet the recycling goals established by the City Council and mandated by the state of California. As shown in **Figure** 6, trash, recyclable, and green waste materials storage areas are located in the exclusive use area of each residence. Storage areas are enclosed and screened from public view through the use of fencing and landscaping.

ATTACHMENT 18

III. STREETSCAPE DESIGN

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ATTACHMENT 18 AVION DESIGN GUIDELINES

IV. ARCHITECTURAL DESIGN GUIDELINES

A. DESIGN INTENT

These guidelines are intended to inspire thoughtful interpretation and response to design opportunities, while promoting and reinforcing the physical image of the Avion community. These guidelines are intended to encourage high-quality development that is harmonious with the surrounding environment, promotes visual quality, and enhances overall quality of life.

More specifically, the objectives of these guidelines are to:

- Provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals during the implementation and construction phase(s) of the project.
- Provide a framework for the preparation of Covenants, Conditions and Restrictions.
- Provide guidance in formulating precise development plans and all residential components of the project.
- Provide the City of San Diego with the necessary assurances that Avion will be developed in accordance with the quality and character proposed in this document.

These guidelines are intended to be flexible and illustrative in nature. The guidelines are intended to accommodate changes in lifestyles, buyers' tastes, economic conditions, community desires, and the marketplace. Some sections are purposefully generic to allow creative implementation of the guidelines based on the specific circumstance being addressed. In these circumstances, it is anticipated that when more in-depth marketing studies have been completed for individual neighborhoods, designs of the generic sections will respond to the market conditions existing at the time of construction. The intent of these guidelines is to provide architectural direction for residential elements (single-unit) while utilizing existing City of San Diego residential zoning classifications to meet the objectives of the project.

The following narratives and graphics or exhibits address the design of specific and typical community elements within Avion.

IV. ARCHITECTURAL DESIGN GUIDELINES

B. PROJECT DESIGN THEME

The architectural design themes for Avion have been created by integrating the historically rural setting of the Heritage Bluffs II site with the rich and varied architectural forms and styles associated with contemporary California design. A varied palette of architectural styles will be provided to establish project identity, while remaining consistent with the overall development concept. The Architectural Design Guidelines are intended to form a distinctive community offering a high quality environment and clear identity.

C. ARCHITECTURAL STYLES

The architectural theme for Avion embodies a palette of modern styles that are inherent to the contextual character of the site and California. Four architectural styles — Contemporary California, Modern Spanish, Farmhouse, and Ballpark have been selected and are discussed below.

1. Contemporary California

Extrapolated from various interpretations of International styled elevations scattered throughout California, the Contemporary California is a fresh take on modernism's favorite aesthetic. Striking and iconic in nature, the style artfully merges streamlined forms, bold roof lines, stunning glass, and subtle textures. Balanced, asymmetrical masses, shed and parapet roofs, strong eyebrow roof accents, and carefully composed window patterns are essential for executing this style properly.

IV. ARCHITECTURAL DESIGN GUIDELINES

Cantilevered projections framing window compositions, or accentuating roof lines, balconies, or second-story elements are strongly encouraged as they add drama to Contemporary California's inherent simplicity. The material palette is comprised predominantly of siding, stucco elements, and accents of soft stone textures. Stucco body colors should be light and tonal, allowing for bold, contrasting fascia and dark eyebrow roofs, with playful siding body colors. Overall, the California Contemporary style is spirited and modern without being sterile.

1.1 Style Elements

Massing and Roof Forms

- Simple, asymmetrical massed, well-composed facades
- Shed and parapet roof forms with eyebrow roof accents
- Cantilevered, projecting, or recessed elements encouraged at balconies and second-story and third-story elements or to accentuate roof lines and fenestration compositions

Windows & Doors

- Structured and organized placement of windows and doors
- Large glass expanses and grouped window compositions are encouraged

Materials

- Flat, concrete tile are acceptable roof materials
- A variety of siding types, stucco, clean and subtle stone textures are the primary materials

Additional Elements

- Clean, well-articulated details
- Single-story elements, eyebrow roofs, and cantilevered portions encouraged at highly-visible or exposed elevations

Typical elevations and architectural characters illustrating the Contemporary California Style are shown on **Figures 7 and 8**.

ATTACHMENT 18



Figure 7 – Typical Contemporary California Elevations

ATTACHMENT 18 AVION DESIGN GUIDELINES







Figure 8 – Typical Contemporary California Character

IV. ARCHITECTURAL DESIGN GUIDELINES

2. Modern Spanish

Directly inspired by California's most beloved and quintessential architecture, the Modern Spanish Style is an artful blend of Spanish vernaculars, with a refined and structured edge. The roof forms reflect the composed, stately nature of the style, combining low-pitched, hipped roofs with its massing. Simplistic in nature, clean stucco facades express the style's purity of forms, while minimal trim and smooth limestone elements contribute to its clean execution. Overall, this native, revitalized Californian style is characterized by its unadulterated elegance, refined in its masses and simplistic forms.

2.1 Style Elements

Massing and Roof Forms

- Strong and structured massing
- Low-pitched hipped roofs with minimal overhangs

Windows & Doors

• Structured and grouped window compositions

Materials

- Concrete, barrel 'S' tile as only acceptable roof material
- Stucco as the primary material
- Heavy knock down or "Spanish Lace" stucco is not permissible
- Allowable stucco finish options include: light lace, sand, or smooth

Additional Elements

- Clean, minimalistic, well-articulated details
- Boxy, single-story elements, and cantilevered portions at highlyvisible or exposed elevations

Typical elevations and architectural characters illustrating the Modern Spanish Style are shown on **Figures 9 and 10**.



Figure 9 – Typical Modern Spanish Elevations

ATTACHMENT 18











Figure 10 – Typical Modern Spanish Character

IV. ARCHITECTURAL DESIGN GUIDELINES

3. Farmhouse

Rooted in the tradition of the farmhouse vernacular that is widespread throughout California's farmlands and vineyard estates, Avion's Farmhouse is a fresh take on this classic style. Simplistic and understated in its forms, the vernacular features clean details. The material palette is expressed through smooth stucco, vertical board and batten siding, standing seam metal roof accents, and light, playful colors contrasted by bold accents. Firmly celebrating California's agrarian roots, the Farmhouse style captures the charming simplicity of the charming aesthetic with a touch of refined sophistication.

3.1 Style Elements

Massing & Scale

Simple back-to-front primary roof with intersecting gables
 Simple, yet elegant massing is preferred

Roof Forms

- Steep roof pitches are preferred
- Gable, hip, shed, and bonnet roof forms are allowed
- Careful compositions that avoid overly complex and confusing roof combinations are desired
- A clear hierarchy of forms is required

Windows & Doors

- Logic in the placement of windows is required
- Clear organization of fenestrations is essential to executing the simple, yet elegant massing of this style
- Large glass expanses, and structured fenestration compositions
- Windows with or without mullions may be incorporated

Materials

- Stucco, and vertical board and batten siding are the primary exterior materials
- Metal, composition shingles, and concrete tile are acceptable roof materials. Metal must be clean in its appearance

IV. ARCHITECTURAL DESIGN GUIDELINES

Enhanced Elements

 Clean and simple detailing, wood posts, and beams are preferred and contributed to a feeling of refined simplicity

Typical elevations and architectural characters illustrating the Farmhouse Style are shown on **Figures 11 and 12**.



Figure 11 – Typical Farmhouse Elevations

ATTACHMENT 18











Figure 12 – Typical Farmhouse Character

IV. ARCHITECTURAL DESIGN GUIDELINES

4. Ballpark

Capturing the sophistication urban streetscapes with an urban material palette and structured grace, the Ballpark style boasts of cosmopolitan elegance. Striking in the simplicity of its forms, the style Composed primarily of brick, the façade is accented by smooth stucco, metal details and awning roofs. Large glass and structured window compositions further the impression of an urban loft. At roofs, both composition shingle and concrete tile are allowed. Overall, the Ballpark style is iconic in nature. Dramatic, yet refined the Ballpark vernacular will offer a style that reads metropolitan modern.

4.1 Style Elements

Massing & Scale

• Simple, stacking, and structured form

Roof Forms

- Primary roof form is simple, back-to-front
- Parapet and flat roofs are required for this style

Windows & Doors

• Large glass expanses, and structured fenestration compositions are encouraged for this style

Materials

- Brick and stucco are the primary materials
- Composition shingle, concrete roof tile are primary roof materials allowed for this style
- Metal awning roofs, and clean metal detail are encouraged for this style
- Dark Bronze or black window casements are encouraged

IV. ARCHITECTURAL DESIGN GUIDELINES

Enhanced Elements

 Single-story brick elements, metal awning roofs, and large, structured glass expanses and compositions are encouraged at enhanced elevation conditions

Metal detailing shall be clean in its appearance

Typical elevations and architectural characters illustrating the Ballpark Style are shown on **Figures 13 and 14.**

ATTACHMENT 18 AVION DESIGN GUIDELINES



Figure 13 – Typical Ballpark Elevations

ATTACHMENT 18









Figure 14 – Typical Ballpark Character

V. LANDSCAPE DESIGN

Landscaping and open space are an integral part of any project. The project uses landscaping and open space as a unifying element to obtain a cohesive appearance that is compatible with the surrounding community and preserves, protects, and restores native site vegetation and habitat.

A. LANDSCAPE DEVELOPMENT PLAN

The landscape development plan is identified and illustrated on the project plans for Avion. The primary goal of the landscape design is to unify and complement the existing native vegetation in the area. Interior treatments shall be ornamental in nature, fire-resistant, and complement the building architecture.

Landscaping within the project shall conform to standard horticultural practice, the City of San Diego Land Development Manual, landscape standards, and other applicable city and regional standards for landscape installation and maintenance.

B. PROHIBITED PLANT PALETTE

Table 1, Section 2, of Appendix B of the Black Mountain Ranch Subarea Plan includes a list of plant species that are prohibited to be planted within Black Mountain Ranch. These plants possess characteristics that are potentially destructive to native vegetation and open space by reason of profuse and noxious pollen, excessive height, weed-like characteristics of excessive growth, high water demands, and other desirable traits. These species will periodically be eradicated when found in substantial quantity in any of the project. The following plant species are prohibited:

- Ailanthus altissima
- Arundo donax
- Atriplex semibaccata
- Brassica spp
- Broussonetia papyrifera
- Cortaderia selloana
- Cynara cardunclus

V. LANDSCAPE DESIGN

- Cynara skolymus
- Foeniculum vulgare
- Melilotus spp.
- Nicotiana glauca
- Pennisetum setaceum
- Picris echiodeso
- Rhynchelytrum repens
- Ricinus communis
- Salsola salina
- Spartium junceum
- Tamari spp
- Xanthium strurnarium

C. APPROVED PLANT PALETTE

Table 1 Section 1, of Appendix B of the Black Mountain Ranch Subarea Plan includes a list of the plant species that are approved to be planted within Black Mountain Ranch and the application's Landscape Development Plan. Any species not contained in the list of approved plants shall not be used without the written approval from the Avion Home Owner's Association and the City of San Diego.

D. SLOPE REVEGETATION

All graded slopes will be promptly revegetated in compliance with City requirements and in conformance with the overall Landscape Development Plan. Refer to Table 2 of Appendix B of the Black Mountain Ranch Subarea Plan for the revegetation plant palette.

E. IRRIGATION STANDARDS

All irrigation systems shall conform to the Citywide Landscape Regulations SDMC 142.0403(c) and all other applicable City and regional standards for irrigation installation and maintenance. The irrigation design will be based on the Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU). Irrigation systems shall be designed so that separate areas of maintenance responsibility are metered and controlled independently.

V. LANDSCAPE DESIGN

All permanent irrigation systems will be below ground, automatically controlled, and in full compliance with building code requirements. The irrigation system will utilize reclaimed water to the maximum extent available and permissible. Water conserving systems such as drip irrigation, moisture sensors, low gallonage heads, and matched precipitation rate heads will be used. Temporary irrigation systems in naturalized or native areas may utilize above ground systems. All backflow control devices will be located or screened from public view. Habitat areas in the riparian zone will be watered with a combination of overhead spray and drip emitters. The riparian zone system will be installed permanently but used only during initial plant establishment.

F. MAINTENANCE

All required common landscape areas shall be maintained by the Home Owner's Association. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit. For crime prevention purposes, canopies of mature trees should be maintained at least 8 feet above the ground. Bushes should be trimmed to less than 3 feet except where privacy or environmental noise mitigation is a primary concern, or where higher plants would not block any views, lighting, or provide hiding places.

Residential property owners will be required to maintain landscaping within their exclusive use area in conformance with the criteria in CC&Rs which will be established and administered and enforced by the Home Owner's Association.

City open space lots will be dedicated to the and maintained by the City of San Diego in accordance with its standards.

G. OPEN SPACE SYSTEM

The components of the open space system include native and naturalized riparian areas. In order to minimize impacts to sensitive lands and

V. LANDSCAPE DESIGN

promote the objectives of the City of San Diego Multiple Species Conservation Program, no public access to the open space preserve is permitted. As shown in **Figure 15**, an approximately 5,906 square foot park/overlook area is planned to provide a recreational amenity for project residents. This area will feature a decomposed granite walkway, dog park, community overlook with benches set in decomposed granite, a memorial plaque for the DebeVoise family, and shade trees. Tree-lined parkways are designed to provide pedestrian circulation opportunities within the site, connect to the park/overlook, and provide pedestrian access to the adjacent Heritage Bluffs II development. Exclusive use areas located within the rear yard setback of each residence also provide additional open space. The remaining landscaping outside of the residential exclusive use areas are to be maintained by the HOA.

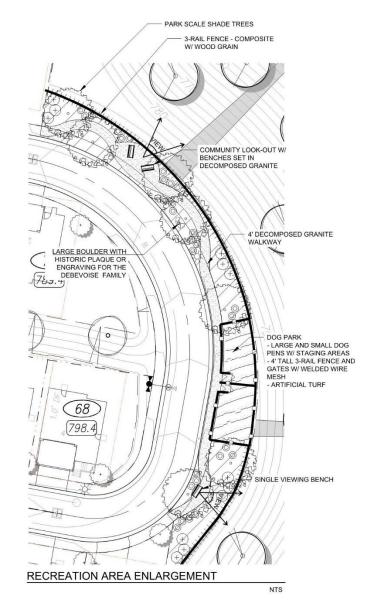


Figure 15: Park/Overlook Area

V. LANDSCAPE DESIGN

H. WALLS AND FENCES

- 1) Walls and fence design may be used for privacy and security as well as to delineate MHPA open space areas, private areas, service areas, and auto-courts. Walls and fences shall be compatible with the color, texture, material, and architectural style of the surrounding neighborhood. They should be located in a way that is not visually prominent from the road or neighbors. Landscaping is strongly encouraged to reduce the fence's prominence. Figures 116- 20 identify typical walls and fence styles, which complement the architecture within Avion. The primary role of walls and fences is to maintain adequate visibility on private property and in public rights-of-way, maintain the openness of front and street side yards, protect the light and air to abutting properties, and provide adequate screening by regulating the height, location, and design of fences and walls. Wall and fence design shall conform to the general development regulations outlined in Chapter 14, Article 2, Division 3. Any wall or fence that exceeds a height of six feet or greater will require a building permit. The following guidelines ensure that the walls and fences maintain high quality design and variation throughout Avion. Long straight lines, over 100 feet in length, of fences or walls must be avoided through the use of staggered, offset, or curved wall sections.
- 2) Long uninterrupted wall faces, over 100 feet in length, must be avoided through the use of periodic columns, offsets, panels, or semi-open areas, and changes in materials.
- 3) Chain link fences may only be used in areas not visible from common open space and public streets. When used, chain link fences must be vinyl coated and/or vine covered. Vine covered fences are only permitted outside of required brush management zones.
- 4) Grapestake fences are not allowed.
- 5) Unfinished concrete block is not allowed.
- 6) Acceptable wall or fence materials include wrought iron or tubular steel pickets, pilaster, metal frame, glass, concrete, split rail or wood pole, rail, masonry, wood, or vinyl.
- 7) Fences in areas of grade change must be periodically stairstepped.

- 8) Fences and walls bordering or fronting open space or other common areas shall be designed to be compatible with fences and walls on adjacent private properties.
- 9) Solid or open fences and walls may run alongside yard property lines from the street/front yard setback to the rear yard setback on any lot.
- 10) Solid or open fences and walls may run alongside yard and rear yard property lines adjacent to other developed or private properties, i.e. interior lots.
- 11) Retaining walls shall be designed either as visual extension of the main structure on the property with regard to materials, color, and details, or as natural landscape elements blending with the setting.
- 12) Fences or barrier plantings are required between the developed portion of individual residential lots and public MHPA open space lots.
- 13) For the dog park enclosures, a 4' tall ranch rail fence should be used. Vinyl coated black welded wire mesh will be permanently attached to the ranch rails and posts to secure the enclosure.

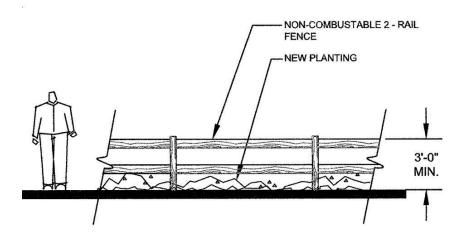


Figure 16: Rail Fence

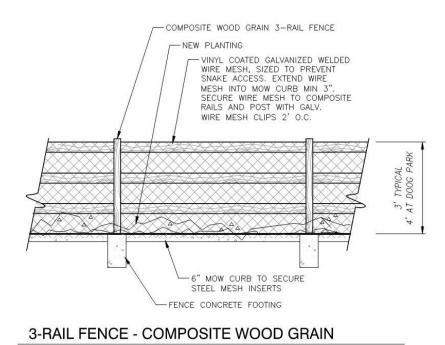


Figure 17: Rail Fence at Dog Park

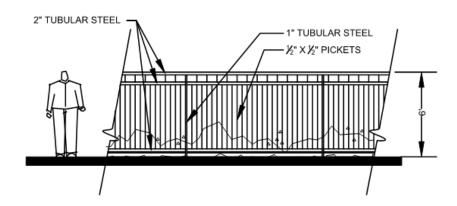


Figure 18: Tubular Steel View Fence

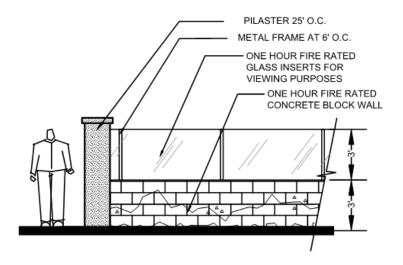


Figure 19: Masonry and Glass View Fence and Radiant Heat Wall

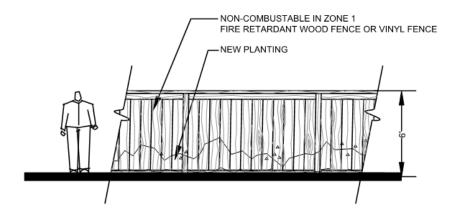


Figure 209: Solid Fence

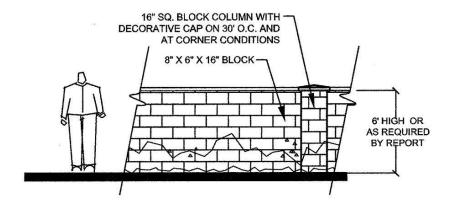


Figure 21: Masonry Wall

V. LANDSCAPE DESIGN

I. SIGNAGE



The project will feature identification signage at street intersections while ensuring a safe roadway environment that adheres to existing laws and regulations. As shown in **Figure 22**, the determination of size, color, and locations of signs will conform to Municipal Code Chapter 14, Article 2, Division 2 and the adjacent Heritage Bluffs development. No project monument is proposed.

Figure 22: Typical Street and Safety Signage

J. LIGHTING

The need for adequate lighting to assure the safety and security of the residents of Avion is recognized. Within the limits of safety; however, the intensity of exterior lighting shall be kept to a minimum to promote a rural character and limit impacts to the wildlife, which will occupy the extensive open space system in the entire Black Mountain Ranch community. In general, exterior lights shall be directed downward and the light source shall be shielded. Development of properties immediately adjacent to natural open space areas shall be specifically designed so that light or glare shall not be cast on the open space lots.

J. BRUSH MANAGEMENT

The Brush Management Program described in this section implements the City of San Diego's Brush Management Regulations found in Section 142.0412 of the Land Development Code, which establishes a means of providing fire safety in the landscape for public or privately owned premises that are within 100 feet of a structure and contain native or naturalized vegetation. The Brush Management Plan is identified on the project plans for Avion. Two distinct brush management areas referred to as "zone one" and "zone two" provide an effective break between all structures by providing an effective fire break between all structures and contiguous areas of native or naturalized vegetation. Brush management zone one is the area adjacent to the structure and shall be the least

V. LANDSCAPE DESIGN

flammable. It shall consist of pavement and permanently irrigated ornamental planting and trees no closer than 10' from the habitable structure. Brush management zone one shall not be allowed on slopes with a gradient greater than 4:1. Alternative compliance to the Zone 1 setback may be granted by the Fire and Landscape Departments with the appropriate non-combustible elements. Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation and shall consist of thinned, native, or non-irrigated vegetation. Maintenance of brush management lots shall include the removal of invasive species.

Management and maintenance of brush management lots will be the responsibility of the Avion Home Owners Association and shall be conducted in strict conformance with the plan as set forth on the project plans for Avion. Compliance with these guidelines shall not be construed as a guarantee against any damage, destruction, or loss of property that may be caused by brush fire.

VI. IMPLEMENTATION

The Avion Design Review Guidelines will be implemented by the Avion Homeowner's Association (HOA) and the City of San Diego. The processes described in this section are not intended to supersede or supplant the responsibility of municipal authorities duly authorized to issue construction permits within Avion.

Avion Homeowner's Association: The Avion HOA will oversee the maintenance and operation of community-wide facilities within the project boundary, including but not limited to, brush management areas, open space area, signs and monuments, etc. Any future development, addition, or modification to an existing residence must obtain HOA approval prior to project submittal with the Development Services Department.

The HOA shall be responsible for the aesthetic review and approval of all room additions, patio covers, decks, patios, and other structures requiring a building permit within the Avion development. All future room additions by homeowners shall comply with the standards set forth in Section IV of this document. This shall be clearly stated in the Master Covenants, Conditions, and Restrictions (CC&Rs) for this project, which describe the requirements and limits of what can be done with the property.

The HOA will be responsible for administering the Avion CC&Rs with the intent to protect, preserve, and enhance property values in the community. These shall be recorded prior to the sale of any home-site to an individual. The City of San Diego will not be responsible for the administration or enforcement of CC&Rs.

City of San Diego: Prior to submitting an application for any building permit to the City of San Diego, the developer shall submit an application for Substantial Conformance Review (SCR) to the Development Services Department. The goal of SCR is to determine if the proposed project is consistent and in conformance with a previously approved permit. This includes review of the revised project against the approved exhibits, permit conditions, environmental documentation, applicable land use policies, and the public record for the prior permit. Application requirements for a SCR can be obtained from the City of San Diego Development Services Department. The Development Services Department will review the architecture, site design and landscape for

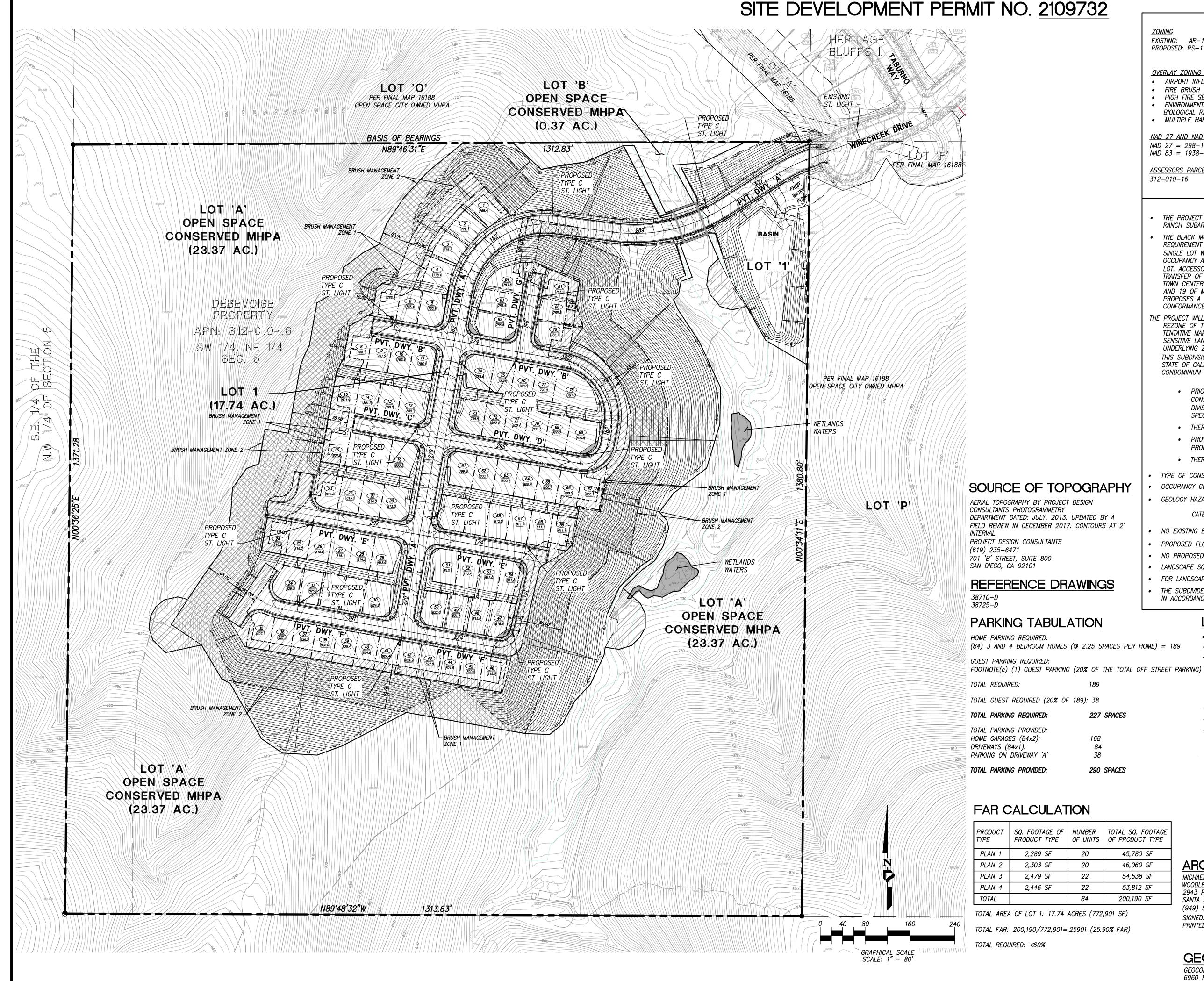
VI. IMPLEMENTATION

consistency with the Vesting Tentative Map, Planned Development Permit, Site Development Permit, and these Design Guidelines for Avion. A SCR decision is either at staff-level (Process 1) or is a decision by staff that may require input from the Community Planning Group and is appealable to a Hearing Officer (Process 2). If the plans are found to not be in conformance, an amendment will be required to the Vesting Tentative Map, Planned Development Permit, and Site Development Permit to be consistent with the City of San Diego's process guidelines.

Following SCR and approval, an applicant may apply for a building permit through the City of San Diego Development Services Department.

The developers of Avion are obligated to install certain public improvements as part of project development. The requirements for these improvements are established in the conditions of approval for the Vesting Tentative Map, Planned Development Permit, and Site Development Permit. The phasing requirements of these conditions may affect the timing of building permit issuance. Individual home builders are encouraged to determine what effect, if any, infrastructure phasing may have on the timing of building permit issuance for their property prior to applying for a building permit.

REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/



BULLET POINT NARRATIVE THE PROJECT SITE CONSISTS OF APPROXIMATELY 41.48 ACRES VACANT LAND LOCATED WITHIN THE BLACK MOUNTAIN RANCH SUBAREA PLAN, IDENTIFIED AS AREA C

EXISTING: AR-1-1 PROPOSED: RS-1-14

NAD 27 = 298-1735

312-010-16

NAD 83 = 1938 - 6295

ASSESSORS PARCEL NUMBER

OVERLAY ZONING INFORMATION

FIRE BRUSH ZONES 300'

HIGH FIRE SEVERITY ZONE

AIRPORT INFLUENCE AREA: MCAS MIRAMAR

MULTIPLE HABITAT PLANNING AREA

NAD 27 AND NAD 83 COORDINATE INDEX

ENVIRONMENTALLY SENSITIVE LANDS: SENSITIVE

BIOLOGICAL RESOURCES AND STEEP SLOPES

THE BLACK MOUNTAIN RANCH SUBAREA PLAN ALLOWS 117 DWELLING UNITS ON THE SITE INCLUDING A TRANSFER OF 19 AFFORDABLE UNITS TO LOT X OF MAP 15919 IN THE BLACK MOUNTAIN RANCH NORTH VILLAGE TOWN CENTER. IN ADDITION, THE PROJECT PROPOSES THE TRANSFER OF 14 DWELLING UNITS TO LOTS 12, 13, 18 AND 19 OF MAP 15919 IN THE BLACK MOUNTAIN RANCH NORTH VILLAGE TOWN CENTER. IN TOTAL THE PROJECT PROPOSES A COMBINED 117 DWELLING UNITS, INCLUDING 19 AFFORDABLE UNITS, ON-SITE AND OFF-SITE IN CONFORMANCE WITH THE BLACK MOUNTAIN RANCH SUBAREA PLAN. TENTATIVE MAP TO SUBDIVIDE LOTS; SITE DEVELOPMENT PERMIT DUE TO THE PRESENCE OF ENVIRONMENTALLY SENSITIVE LANDS; AND A PLANNED DEVELOPMENT PERMIT TO ALLOW FOR MULTIPLE DWELLING UNITS IN THE UNDERLYING ZONE AND TO EXCEED THE RETAINING WALL HEIGHTS OUTSIDE OF REQUIRED SETBACKS.

THIS SUBDIVSION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE

STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF

GENERAL NOTES

OFFSITE STREET R.O.W DEDICATION

OFFSITE GRADED DISTURBANCE

BLUFFS FINAL MAP 16188

41.48 AC (1,806,934 SF)

GRADED NET SITE AREA

15.07 AC (656,354 SF) IN LOT 1

GROSS SITE AREA

<u>MHPA AREA</u>

0.0 AC (NO OFFSITE ROW REQUIRED)

WINCREEK DRIVE DEDICATED TO PROJECT

1,050 SF IN LOTS A AND F OF HERITAGE

• 23.37 AC (1,017,961 SF) LOT 'A'-PROP. IRREVOCABLE

• 0.37 AC (16.073 SF) LOT 'B'-PROP. IRREVOCABLE OFFER

• 0.29 AC (12,766 SF) COVENANT OF EASEMENT IN LO

• 24.03 AC (1,046,800 SF) TOTAL MHPA AREA

OFFER TO DEDICATE (IOD)

PROPERTY LINE/ TM BOUNDARY

CONDOMINIUM BOUNDARY LINE

PROPOSED PAD ELEVATION

PROPOSED SITE VISIBILITY TRIANGLE

PROPOSED COVENANT OF EASEMENT

EXISTING SURVEY MONUMENT PER ROS 5714

EXISTING SURVEY MONUMENT PER ROS 21725

PREPARED BY:

PROPOSED SIDEWALK

EXISTING CONTOUR PROPOSED CONTOUR

PROPOSED BROW DITCH

PROPOSED FILL SLOPE

PROPOSED CUT SLOPE

EXISTING MHPA

EXISTING SIDEWALK

WETLANDS WATERS

LOT LINE

UNIT NUMBER

DAYLIGHT LINE

TO DEDICATE (IOD)

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2. DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OF
- THERE ARE CURRENTLY NO EXISTING OR PROPOSED BUS STOPS WITHIN THE VICINITY OF THIS PROJECT. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE
- PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4). THERE ARE NO OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY.
- TYPE OF CONSTRUCTION: DETACHED MULTI-FAMILY LOTS, TYPE VB WITH SPRINKLER.
- OCCUPANCY CLASSIFICATION PER THE CALIFORNIA BUILDING CODE: R3 OCCUPANCY.
- GEOLOGY HAZARD CATEGORY 53:
 - CATEGORY 53; LEVEL OR SLOPING TERRAIN, UNFAVORABLE GEOLOGIC STRUCTURE, LOW TO MODERATE RISK.
- NO EXISTING EASEMENTS
- PROPOSED FLOOD STORAGE EASEMENT AND PROPOSED WATER EASEMENT
- NO PROPOSED VACATION

LEGEND

 \Longrightarrow

MICHAEL J. FULLER

(949) 553-8919

PRINTED NAME:

SANTA ANA, CA 92705

290 SPACES

TOTAL SQ. FOOTAGE

45,780 SF

46,060 SF

54,538 SF

53,812 SF

200,190 SF

SQ. FOOTAGE OF NUMBER

2,289 SF

2.303 SF

2,479 SF

PRODUCT TYPE | OF UNITS | OF PRODUCT TYPE

22

 $\qquad \qquad \Longrightarrow \qquad$

ARCHITECT OF WORK

WOODLEY ARCHITECTURAL GROUP, INC.

2943 PULLMAN STREET. SUITE A

GEOTECHNICAL

SAN DIEGO, CA 92121-2974

PRINTED NAME: EMILIO ALVARADO

ENGINEER OF WORK

I GREGORY M. SHIELDS DO HEREBY CERTIFY THAT THE

STRUCTURE(S) OF MODIFICATION TO EXISTING STRUCTURE(S)

OF THE CODE OF FEDERAL REGULATIONS CFR PART 77.

SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION

ADMINISTRATION BECAUSE PER SECTION 77.15(a) OF TITLE 14

DISCIPLINE: GEOTECHNICAL

PROJECT DESIGN CONSULTANTS

SAN DIEGO, CALIFORNIA 92101

NOTIFICATION IS NOT REQUIRED.

GREGORY M. SHIELDS R.C.E. 42951

701 'B' STREET, SUITE 800

(619) 235–6471

GEOCON, INCORPORATED

6960 FLANDERS DRIVE

 $= \stackrel{\vee}{=} = = =$

- LANDSCAPE SQUARE FOOTAGE FOR WATER CONSERVATION PURPOSES: 327,884 SF.
- FOR LANDSCAPE WATER BUDGET CALCULATIONS SEE SHEET 13.
- THE SUBDIVIDER SHALL UNDERGROUND PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE AND WITH APPROPRIATE PERMITS.

DATE:

REG. EXP.:

C.E.G NO.: ____

REG. EXP.: _____

EXISTING LEGAL DESCRIPTION

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 13 PETROLEUM, GAS, BREA, ASPHALTUM, AND ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND, AS RESERVED IN DEED RECORDED MAY 30, 1960 AS INSTRUMENT NO. 111628 OF OFFICIAL RECORDS.

OIL, PETROLEUM, GAS, BREA, ASPHALTUM AND ALL KINDRED SUBSTANCES AND OTHER MINERALS UNDER AND IN SAID LAND AS RESERVED IN DEED RECORDED MAY 30, 1960

PROPOSED LEGAL DESCRIPTION CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA,

DESCRIBED AS FOLLOWS: PARCEL 1 APN NO: 312-010-16 THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 2 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE

19, 1880. EASEMENTS/ENCUMBRANCES

AS INSTRUMENT NO. 111628 OF OFFICIAL RECORDS.

THIS SURVEY IS BASED ON PRELIMINARY REPORT NO. NHSC-5608350 (29) ISSUED BY FIRST AMERICAN TITLE COMPANY DATED DECEMBER 15, 2017. ENCUMBRANCE ITEMS SUCH AS TAXES, LIENS, FACTS, RIGHTS, DEEDS OF TRUST, AGREEMENTS, REQUIREMENTS, COVENANTS, CONDITIONS RESTRICTIONS AND MATTERS APPEARING IN SAID POLICY AS ITEMS NO. 1-5, 7-11 HAVE BEEN REVIEWED AND ARE CONSIDERED NOT SURVEY RELATED AND HAVE NOT BEEN SHOWN HEREON.

OF CALIFORNIA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY APPROVED NOVEMBER

THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

EXISTING AND PROPOSED USES EXISTING: VACANT LAND

PROPOSED: ONE (1) RESIDENTIAL LOT AND TWO (2) OPEN SPACE LOTS.

REQUIRED PERMITS: REZONE - REZONE OF THE RESIDENTIAL PORTION OF THE SITE FROM AR-1-1

(AGRICULTURAL-RESIDENTIAL) ZONE TO RS-1-14 (RESIDENTIAL-SINGLE UNIT) ZONE; SITE DEVELOPMENT PERMIT (SDP) - DUE TO THE PRESENCE OF ENVIRONMENTALLY SENSITIVE LANDS (STEEP HILLSIDES, SENSITIVE BIOLOGICAL RESOURCES, AND WETLANDS);

PLANNED DEVELOPMENT PERMIT (PDP) — TO ALLOW FOR MULTIPLE DWELLING UNITS IN THE UNDERLYUING ZONE, EXCEED THE RETAINING WALL HEIGHTS OUTSIDE OF REQUIRED

MHPA BOUNDARY LINE ADJUSTMENT (MHPA BLA) — TO DEDICATE REMAINING AR-1-1 (AGRICULTURAL — RESIDENTIAL) LOTS TO MHPA IN LIEU OF A COVENANT OF EASEMENT OVER REMAINING ESL.

GRADING TABULATIONS

TOTAL AMOUNT OF ON-SITE TO BE GRADED: AREA 15.69 AC; % OF TOTAL SITE 35.2% AMOUNT OF CUT (INCLUDES REMEDIAL): 221,000 CUBIC YARDS AND MAXIMUM

DEPTH OF CUT: 52 FT. AMOUNT OF FILL (INCLUDES REMEDIAL & LOT SPOILS): 296,000 CUBIC YARDS AND MAXIMUM

DEPTH OF FILL: 64 FT. MAXIMUM HEIGHT OF CUT: 52 FT; 2:1 SLOPE RATIO; CUT SLOPE 2:1 SLOPE RATIO AMOUNT OF IMPORT SOIL: O CUBIC YARDS RETAINING WALLS: LENGTH 2,038 FT; MAXIMUM HEIGHT 55 FT - 7 INCHES

SHEET INDEX

(MEASURED FROM TOP OF WALL TO FINISH GRADE).

COVER SHEET	1
SECTIONS, DETAILS AND AFFORDABLE HOUSING RECEIVING SITE PLAN	2
VESTING TENTATIVE MAP	3
SITE AND GRADING PLAN	4
SITE SECTIONS	5
EXISTING TOPOGRAPHY MAP	6
STEEP SLOPES	7
SENSITIVE BIOLOGICAL RESOURCES	8
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LANDSCAPE ARCHITECT PROJECT DESIGN CONSULTANTS

701 'B' STREET, SUITE 800 SAN DIEGO, CALIFORNIA 92101 (619) 235-6471

STREET TREE NOTE:

IMPROVEMENT PLANS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

STREET LIGHT NOTE

APPLICANT SHALL INSTALL CURRENT CITY STANDARD STREET LIGHTS AT THE PROPERTY LINES, ADJACENT TO THE SITE ON PRIVATE STREET 'A' PRIVATE STREET 'B', PRIVATE STREET 'C' PRIVATE STREET 'D', PRIVATE STREET 'E', PRIVATE STREET 'F' AND PRIVATE STREET 'G'.

LOT COVERAGE

PRODUCT TYPE	SQFT. (1ST FLOOR)	SQFT. (GARAGE)	NUMBER OF UNITS	TOTAL SQFT.
PLAN 1	443	461	20	18,080
PLAN 2	454	458	20	18,240
PLAN 3	443	461	22	19,888
PLAN 4	426	458	22	19,448
TOTAL			84	75,656

TOTAL LOT 1: 17.74 ACRES (772,901 SF), TOTAL LOT COVERAGE 75,656/772,901 = 10% TOTAL REQUIRED: <60%

LOT SUMMARY

DESCRIPTION	NO. OF LOTS	LOT DESIGNATION	AREA (SF)	AREA (AC.
84 MULTI UNIT RESIDENTIAL	1	1	772,901	17.74
CITY OWNED AND MAINTAINED	2	Α	1,017,960	23.37
OPEN SPACE CONSERVED MHPA	2	В	16,073	0.38
TOTAL	3	N/A	1,806,934	41.48

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS VESTING TENTATIVE MAP IS THE SOUTH

LINE OF LOT 'O' OF MAP 16188. I.E., NORTH 89°46'31" EAST

BENCHMARK

FOR HORIZONTAL CONTROL: FOR VERTICAL CONTROL: GPS # 416 GPS # 416 CALIFORNIA COORDINATE INDEX (NAD83), N: 1944020.58, E: 6301895.66 ELEVATION 584.61 FT. NGVD-29 DATUM (MSL) REFERENCE: CITY OF SAN DIEGO GPS RECORD OF SURVEY NO. 14492 DATED: MARCH 1994.

NOTE: THE ABOVE REFERENCED GPS STATION BENCHMARK (PROJECT BENCHMARK) WAS ORIGINALLY UTILIZED FOR THIS PROJECT AS THE CITY HAD NOT EXTENDED ITS BENCHMARK SYSTEM INTO THIS AREA. THE RELATIONSHIP OF THIS PROJECT BENCHMARK TO A FOUND CITY-SET BRASS PLUG SET IN THE NORTHWEST CURB RETURN AT THE NORTHWEST CORNER OF BLACK MOUNTAIN ROAD AND STARGAZE AVENUE YIELDS A VALUE OF 525.37 FEET VS. 525.21 FEET RECORD ELEVATION AND A FOUND CITY—SET BRASS PLUG SET IN THE TOP OF INLET LYING APPROXIMATELY 500 FEET SOUTHEASTERLY OF THE INTERSECTION OF CAMINO DEL NORTE AND BERNARDO CENTER DRIVE YIELDS A VALUE OF 635.20 FEET VS. 635.07 FEET RECORD ELEVATION. THIS PROJECT (HERITAGE BLUFFS) HAS A VERTICAL DATUM THAT IS 0.15 FEET HIGHER DUE TO THE DATUM HISTORY OF THIS SITE. THIS RELATIONSHIP WAS VETTED AND APPROVED BY THE CITY OF SAN DIEGO FIELD ENGINEERING

OWNER

SAN DIEGO, CA 92127

(858) 618-4928

APPLICANT LENNAR HOMES 16465 VIA ESPRILLO, SUITE 150

REGISTRATION EXPIRES 03/31/2020

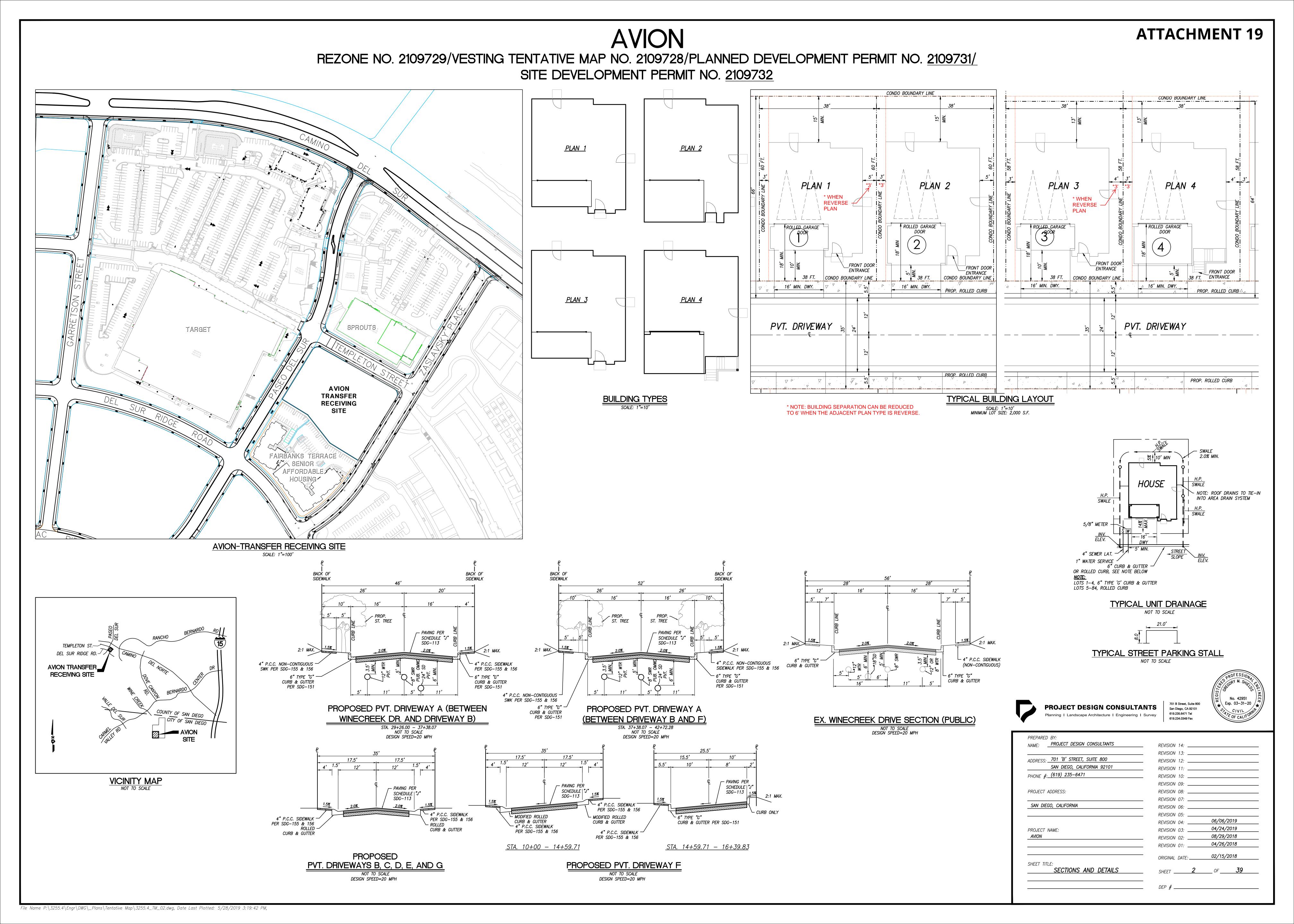
PROJECT DESIGN CONSULTANTS Planning I Landscape Architecture I Engineering I Survey

San Diego, CA 92101 619.235.6471 Tel 619.234.0349 Fax

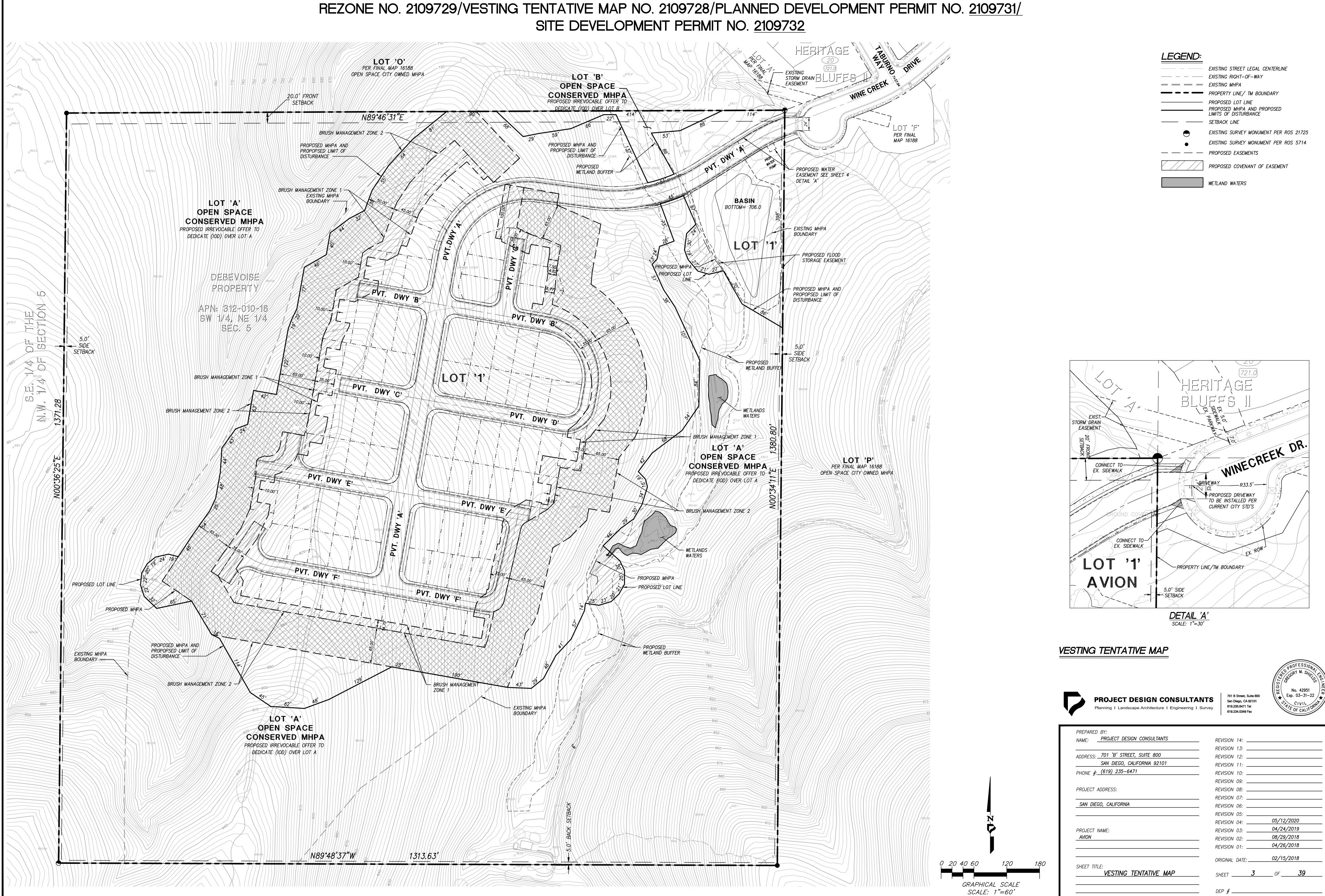
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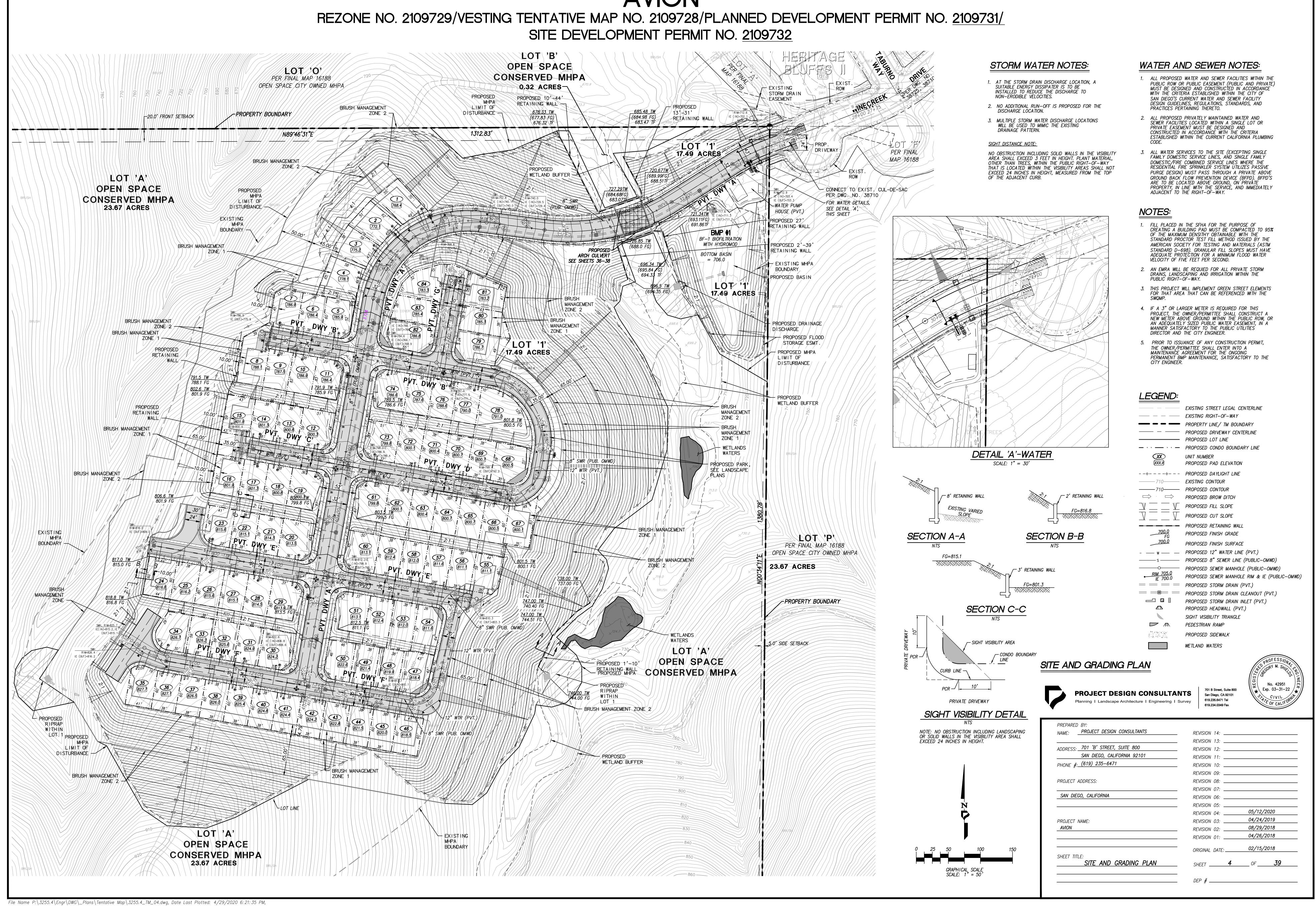
PROJECT DESIGN CONSULTANTS ADDRESS: 701 'B' STREET, SUITE 800 SAN DIEGO, CALIFORNIA 92101 PHONE #: (619) 235-6471 REVISION 10: _____ REVISION 09: _____ REVISION 08: _____ PROJECT ADDRESS: REVISION 07: _____ SAN DIEGO, CALIFORNIA REVISION 06: _____ REVISION 05: _____ REVISION 04: 05/12/2020 04/24/2019 PROJECT NAME: 08/29/2018 04/26/2018 ORIGINAL DATE: 02/15/2018 SHEET TITLE: COVER SHEET



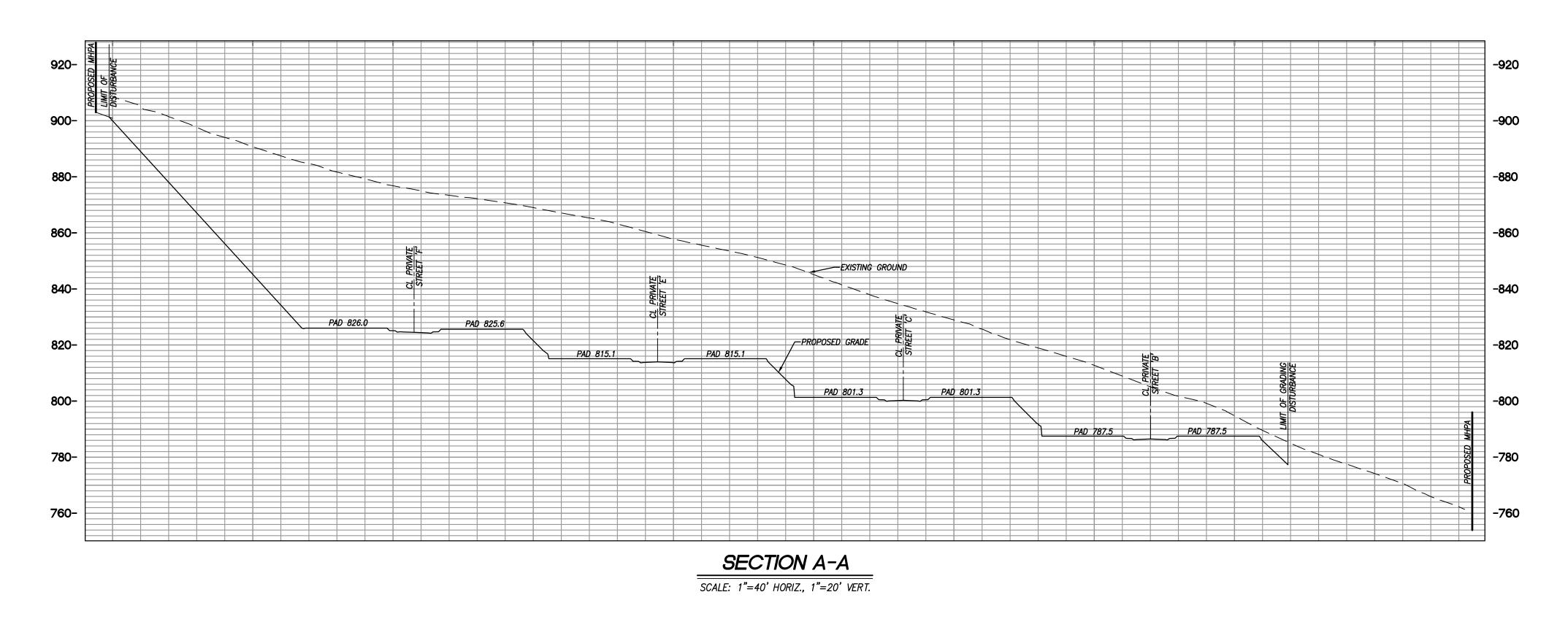
AVION REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/

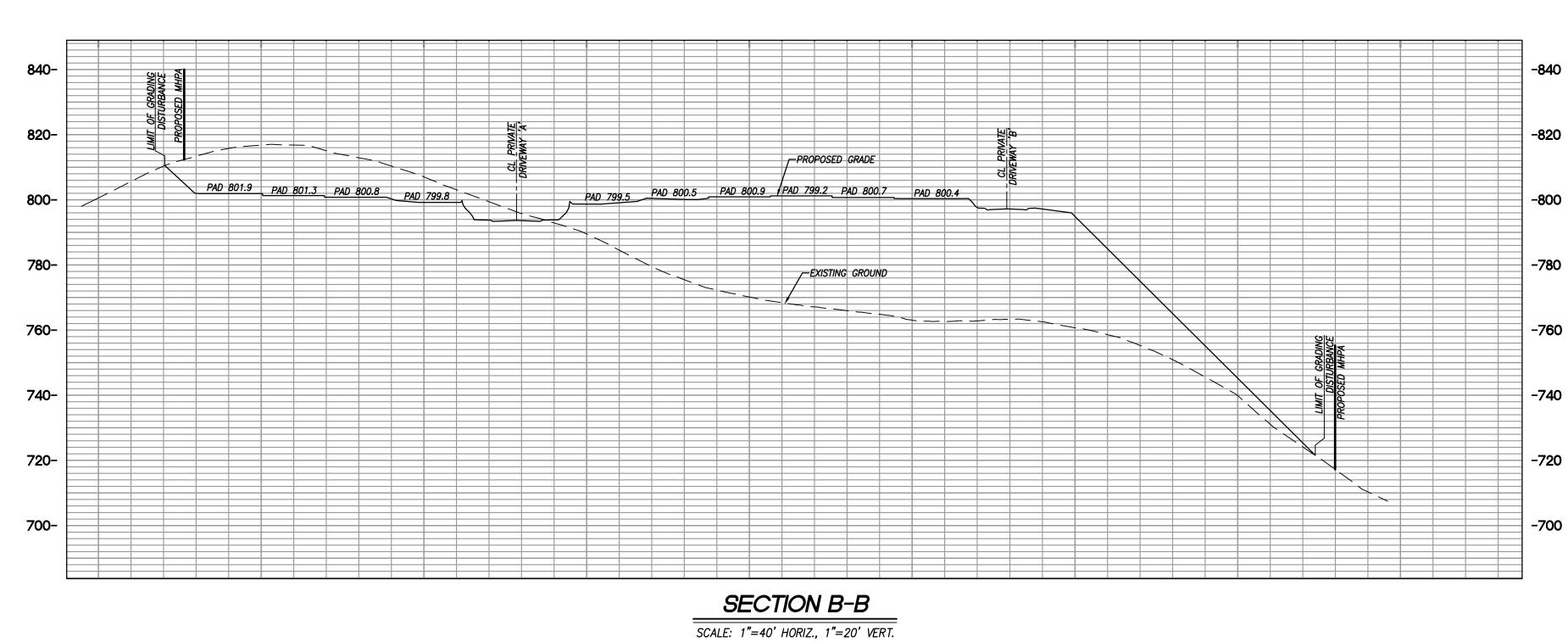


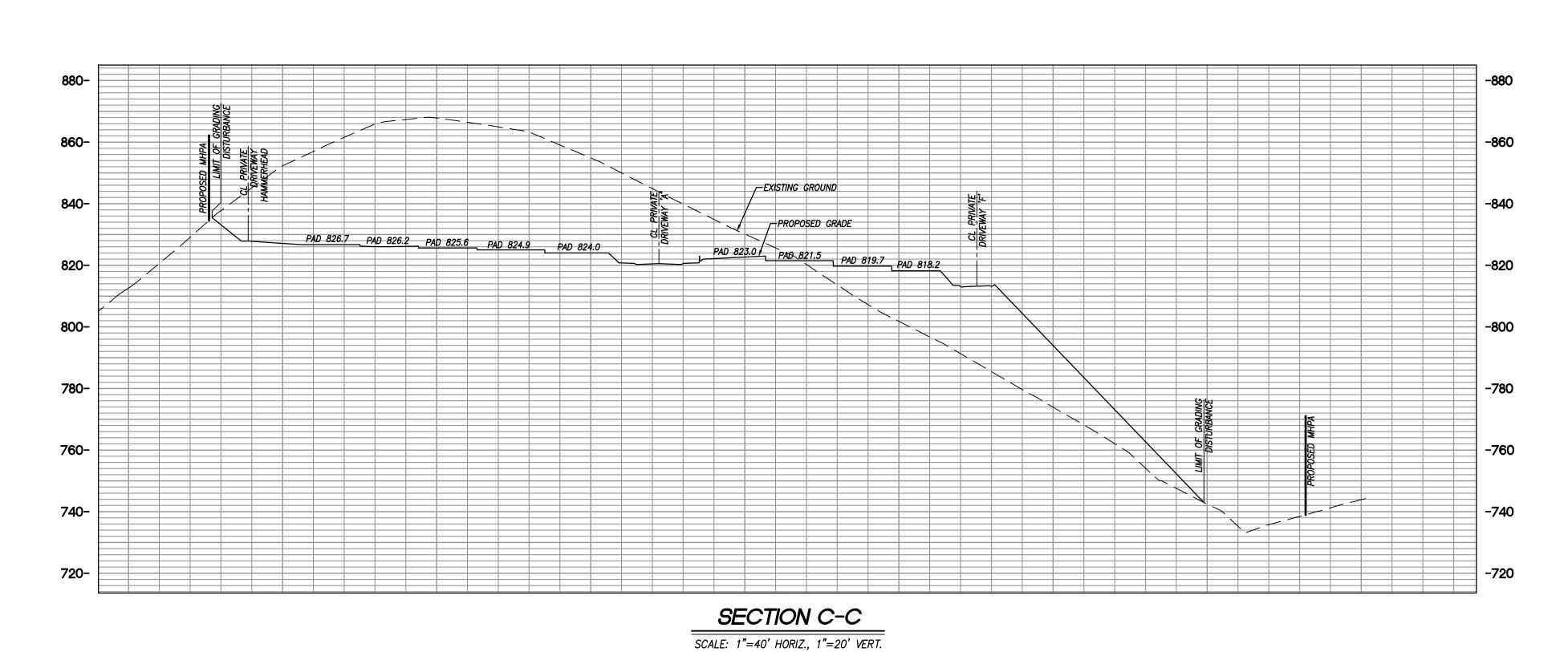




AVION REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. <u>2109731/</u> SITE DEVELOPMENT PERMIT NO. <u>2109732</u>













PREPARED BY: NAME:PROJECT DESIGN CONSULTANTS	REVISION 14:
NAME: TROSEST BESIGN GONESEMINIS	
ADDRESS: 701 'B' STREET, SUITE 800	REVISION 13:
SAN DIEGO, CALIFORNIA 92101	
PHONE #: (619) 235-6471	
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:05/12/2020
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02:
	REVISION 01:
	ORIGINAL DATE:
SHEET TITLE: SITE SECTIONS	SHEET 5 OF 39

File Name P:\3255.4\Engr\DWG_Plans\Tentative Map\3255.4_TM_06.dwg, Date Last Plotted: 6/6/2019 7:34:42 AM,

04/26/2018



REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/ SITE DEVELOPMENT PERMIT NO. 2109732

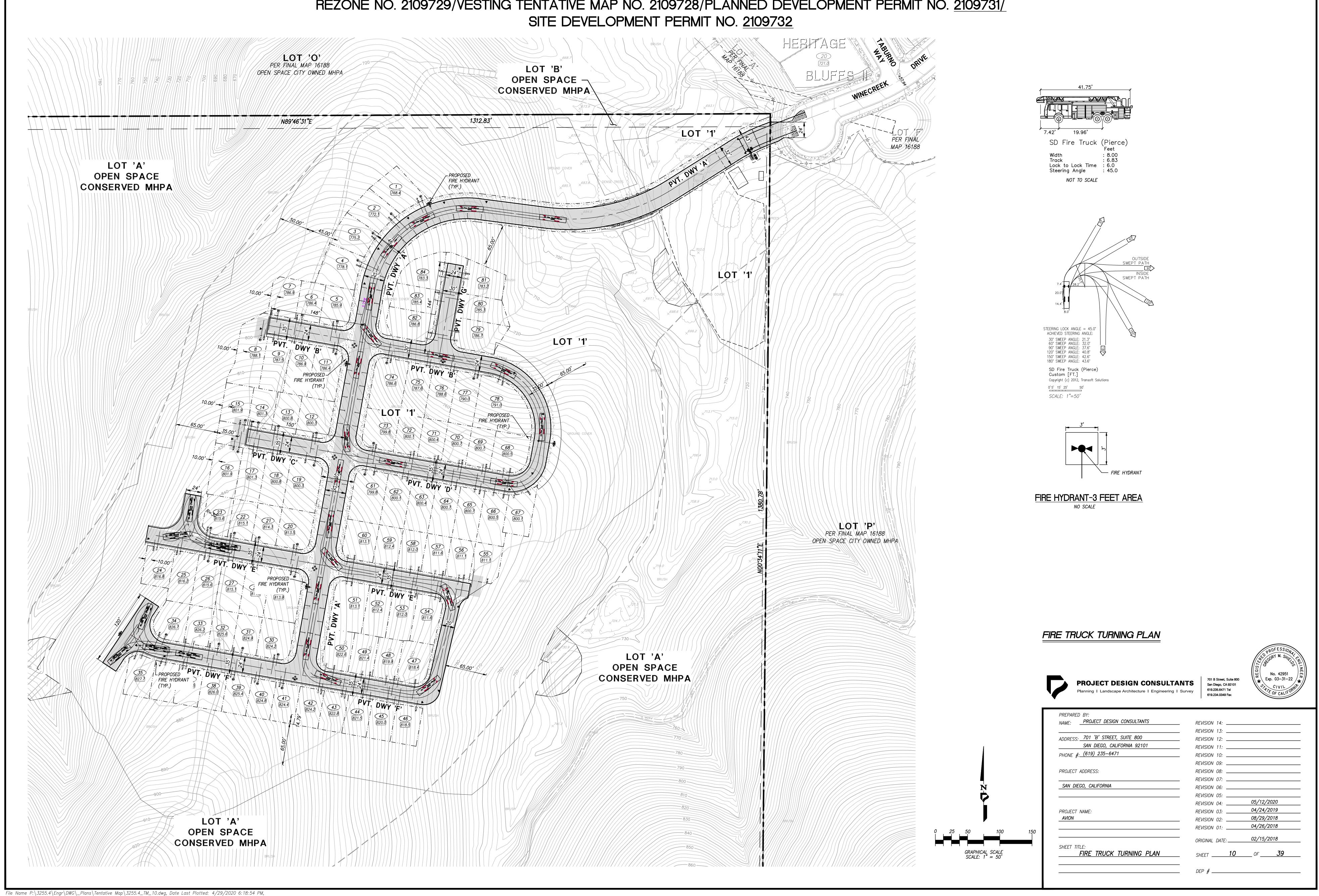


File Name P:\3255.4\Engr\DWG_Plans\Tentative Map\3255.4_TM_08.dwg, Date Last Plotted: 8/1/2019 5:04:40 PM,

ATTACHMENT 19 REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/ SITE DEVELOPMENT PERMIT NO. 2109732 LEGEND: PROPOSED REZONE FROM EXISTING AR-1-1 ZONE (AGRICULTURAL-RESIDENTIAL) TO RS-1-14 ZONE (RESIDENTIAL-SINGLE UNIT), (AREA = 41.48 AC) EXISTING AR-1-1 ZONE (AGRICULTURE-RESIDENTIAL) EXISTING STREET LEGAL CENTERLINE LOT 'A' OPEN SPACE CONSERVED MHPA LOT 'A' **OPEN SPACE** CONSERVED MHPA PROPOSED ZONING PLAN APN 312-010-16 PROJECT DESIGN CONSULTANTS Planning I Landscape Architecture I Engineering I Survey LOT 'A' OPEN SPACE **CONSERVED MHPA** PHONE #: (619) 235-6471 PROJECT ADDRESS: SAN DIEGO, CALIFORNIA

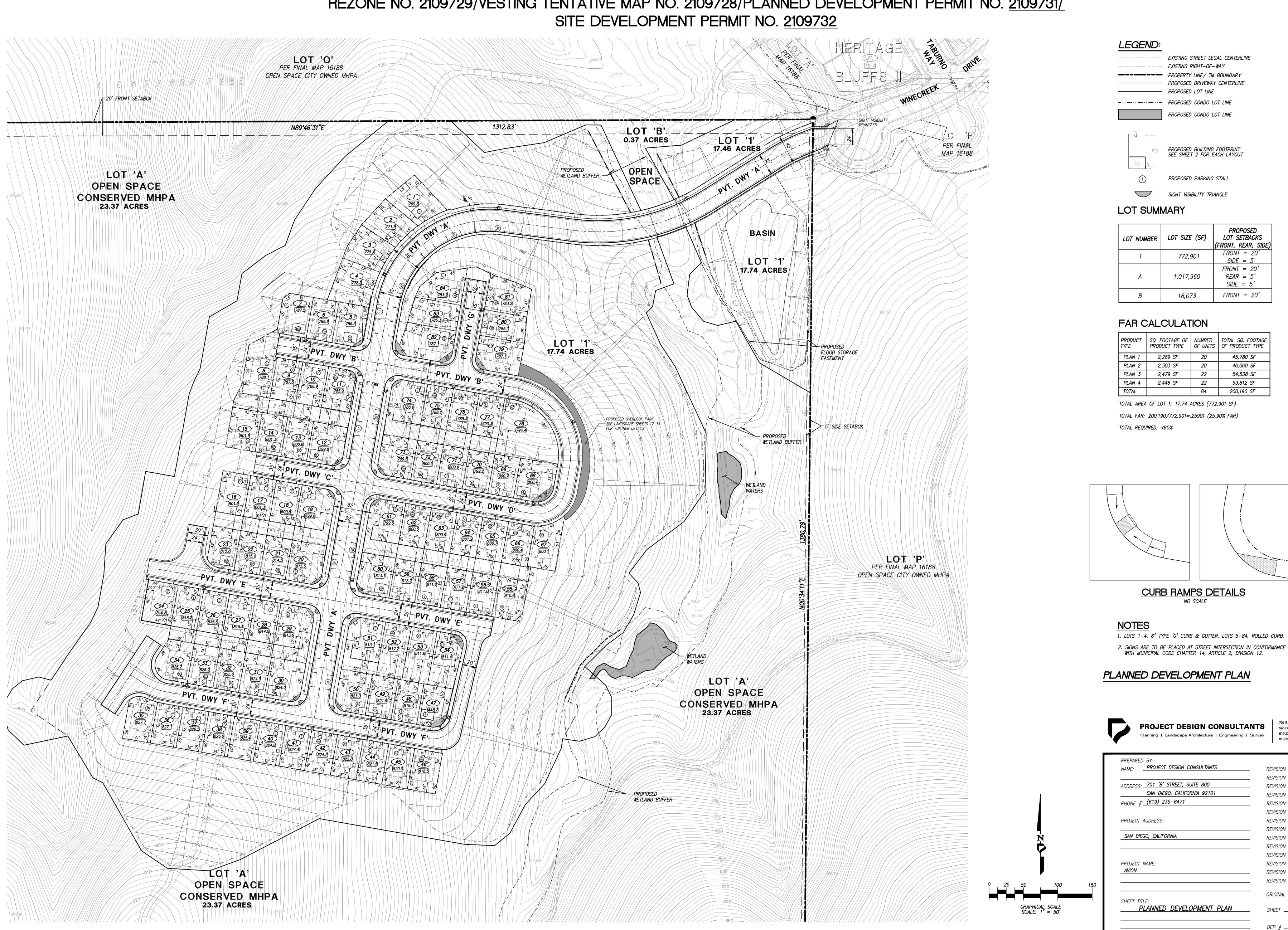


REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/



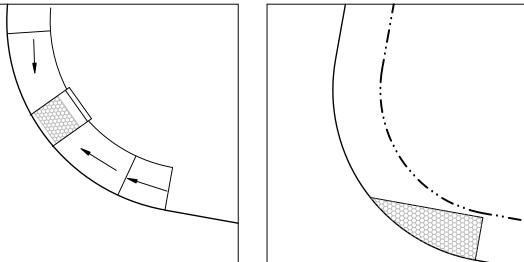


REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/



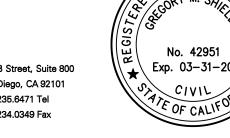
LOT NUMBER	LOT SIZE (SF)	PROPOSED LOT SETBACKS (FRONT, REAR, SIDE)
1	772,901	FRONT = 20' SIDE = 5'
Α	1,017,960	FRONT = 20' REAR = 5' SIDE = 5'
В	16,073	FRONT = 20'

PRODUCT TYPE	SQ. FOOTAGE OF PRODUCT TYPE	NUMBER OF UNITS	TOTAL SQ. FOOTAGE OF PRODUCT TYPE
PLAN 1	2,289 SF	20	45,780 SF
PLAN 2	2,303 SF	20	46,060 SF
PLAN 3	2,479 SF	22	54,538 SF
PLAN 4	2,446 SF	22	53,812 SF
TOTAL		84	200,190 SF

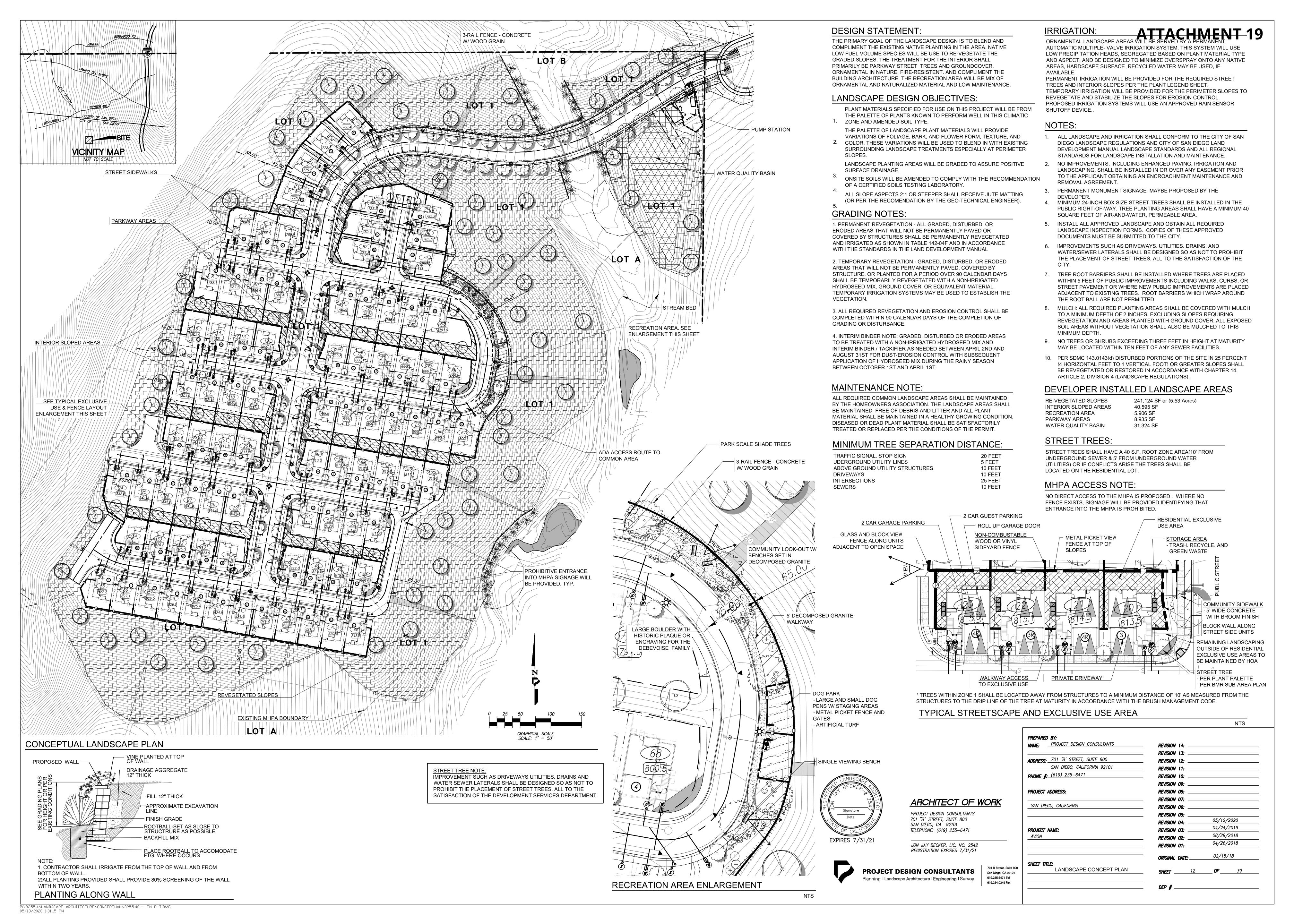


1. LOTS 1-4, 6" TYPE 'G' CURB & GUTTER. LOTS 5-84, ROLLED CURB.





SHEET TITLE: PLANNED DEVELOPMENT PLAN	SHEET 11	OF
	ORIGINAL DATE:	02/15/2018
	_ REVISION 01:	04/26/2018
AVION	REVISION 02:	
PROJECT NAME:	REVISION 03:	
	REVISION 04:	06/06/2019
	_ REVISION 05:	
SAN DIEGO, CALIFORNIA	REVISION 06:	
	REVISION 07:	
PROJECT ADDRESS:	REVISION 08:	
<i>"</i>	REVISION 09:	
PHONE #: (619) 235–6471		
SAN DIEGO, CALIFORNIA 92101		
ADDRESS: 701 'B' STREET, SUITE 800		
PREPARED BY: NAME: PROJECT DESIGN CONSULTANTS	REVISION 14:	



REVEGETATION PLANTING LEGEND

NATURALIZED AND TRANSITIONAL AREAS (ENHANCED AND NEW COASTAL SAGE. GRASSLAND. AND CHAPARRAL HABITAT)

THE FOLLOWING PALETTE IS CONSISTENT WITH APPENDIX "B", TABLE 2 (REVEGETATION PLANT PALETTE) OF THE BLACK MOUNTAIN RANCH SUB AREA PLAN.

REVEGETATION TREES (TEMPORARY IRRIGATION)

REVEGETATION SHALL BE SELECTED FROM THIS PALETTE OR APPROVED EQUAL.

NATURALIZED TREES. EVERGREEN - 75% 24" BOX OR LARGER. 25% 15 GAL

MATURE HT. & SPRD. PLANT MATERIAL

	QUERCUS AGRIFOL
()	QUERCUS ILEX
	OHERCUS SUBER

40'x50' HOLLY OAK

40'x60' CORK OAK 40'x60' PLATANUS RACEMOSA **SYCAMORE** 40'x60'

REVEGETATION WALL SCREENING (TEMPORARY IRRIGATION)

NATURALIZED SHRUBS, EVERGREEN - 100% 15 GAL OR LARGER

PLANT MATERIAL

MATURE HT. & SPRD.

HETEROMELES ARBUTIFOLIA LAUREL SUMAC

MALOSMA LAURINA 15'x15' CEANOTHUS TOMENTOSUS 6'x6'

PERIMETER SLOPES (TEMPORARY IRRIGATION)

THE PERIMETER SLOPE AREAS ARE TO BE PLANTED WITH CONTAINER MATERIAL IN CONFORMANCE WITH THE GRADING ORDINANCE AND BRUSH MANAGEMENT GUIDELINES AND HYDROSEEDED WITH A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS 24" OR LESS.

OPEN SPACE ADJACENT FILL SLOPES-50% 1 GAL., 50% 5 GAL. (TEMPORARY IRRIGATION)

	CONTRACNINIANAE	FORM FUNCTION	MATURE HEIGHT & CRREAR
PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HEIGHT & SPREAD
ADOLPHIA CALIFORNICA	SPINESHRUB	FRAGRENT FLOWERS, EROSION CONRTOL	4' HT. x 6' SPRD
COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	EVERGREEN. WHITE ACCENT FLOWERS	6-10' HT. x 8' SPRD
ENCELIA CALIFORNICA	COAST SUNFLOWER	YELLOW ACCENT FLOWERS, FAST GROWER	1-3' HT. x 4' SPRD
ERIODICTYON TRICHOCALYX	SMOOTH LEAF YERBA SANTA	EVERGREEN. WHITE ACCENT FLOWERS	3-5' HT. x 3-6' SPRD
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN-YARROW	SUB-SHRUB. ORANGE-YELLOW FLOWERS	1-3' HT. x 1.5' SPRD
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1-3' HT. x 3' SPRD
GNAPHALIUM CALIFORNICUM	CALIFORNIA PEARLY EVERLASTING	FRAGRANT EVERGREEN. WHITE FLOWERS	3' HT. x 3' SPRD
HAZARDIA SQUARROSA	COMMON HAZARDIA	SHRUB. YELLOW FLOWERS	1-2' HT. x 2-3' SPRD
HETEROMELES ARBUTIFOLIA	TOYON	LARGE EVERGREEN SHRUB. SHOWY RED BERRIES	8-15 HT. x 15' SPRD
LOTUS SCOPARIUS	DEER WEED	FAST GROWING PERENNIAL. YELLOW FLOWERS	2-3' HT. x 3' SPRD
MALOSMA LAURINA	LAURAL SUMAC	EVERGREEN SHRUB. RAPID GROWTH	8-15' HT. x 12'+ SPRD
MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUBSHRUB. CRIMSON TO BRICK-RED FLOWERS	2' HT. x 3' SPRD
NEMOPHILA MENZIESII	BABY BLUE EYES	ANNUAL. BLUE FLOWERS	1' HT. x 1.5' SPRD
QUERCUS AGRIFOLIA	COAST LIVE OAK	EVERGREEN TREE. SPREADING CROWN	20-40' HT. x 35'+ SPRD
QUERCUS DUMOSA	NUTTALL'S SCRUB OAK	LARGE EVERGREEN SHRUB. GOOD SOIL BINDER	3-10' HT. x 15' SPRD
RHUS INTEGRIFOLIA	LEMONADE BERRY	EVERGREEN SHRUB. SLOPE STABILIZER	5-15' HT. x 10'+ SPRD
SALVIA APIANA	WHITE SAGE	SUB SHRUB, AROMATIC WHITE LEAVES & FLOWERS	3-5' HT. x 5' SPRD

OPEN SPACE ADJACENT CUT SLOPES-75% 1 GAL., 25% 5 GAL. (TEMPORARY IRRIGATION)

	PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HEIGHT & SPREAD
	ADOLPHIA CALIFORNICA	SPINESHRUB	FRAGRENT FLOWERS, EROSION CONRTOL	4' HT. x 6' SPRD
	COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	EVERGREEN. WHITE ACCENT FLOWERS	6-10' HT. x 8' SPRD
Γ_{r}	ENCELIA CALIFORNICA	COAST SUNFLOWER	YELLOW ACCENT FLOWERS, FAST GROWER	1-3' HT. x 4' SPRD
$H \vdash \vdash$	ERIODICTYON TRICHOCALYX	SMOOTH LEAF YERBA SANTA	EVERGREEN. WHITE ACCENT FLOWERS	3-5' HT. x 3-6' SPRD
	ERIOPHYLLUM CONFERTIFLORUM	GOLDEN-YARROW	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1-3' HT. x 1.5' SPRD
	ESCHSHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1-3' HT. x 3' SPRD
	GNAPHALIUM CALIFORNICUM	CALIFORNIA PEARLY EVERLASTING	FRAGRANT EVERGREEN. WHITE FLOWERS	3' HT. x 3' SPRD
	HAZARDIA SQUARROSA	COMMON HAZARDIA	SHRUB. YELLOW FLOWERS	1-2' HT. x 2-3' SPRD
	HETEROMELES ARBUTIFOLIA	TOYON	LARGE EVERGREEN SHRUB. SHOWY RED BERRIES	8-15 HT. x 15' SPRD
	LOTUS SCOPARIUS	DEER WEED	FAST GROWING PERENNIAL, YELLOW FLOWERS	2-3' HT. x 3' SPRD
	MALOSMA LAURINA	LAURAL SUMAC	EVERGREEN SHRUB, RAPID GROWTH	8-15' HT. x 12'+ SPRD
	MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUBSHRUB, CRIMSON TO BRICK-RED FLOWERS	2' HT. x 3' SPRD
	NEMOPHILA MENZIESII	BABY BLUE EYES	ANNUAL, BLUE FLOWERS	1' HT. x 1.5' SPRD
	QUERCUS AGRIFOLIA	COAST LIVE OAK	EVERGREEN TREE, SPREADING CROWN	20-40' HT. x 35'+ SPRD
	QUERCUS DUMOSA	NUTTALL'S SCRUB OAK	LARGE EVERGREEN SHRUB. GOOD SOIL BINDER	3-10' HT. x 15' SPRD
	RHUS INTEGRIFOLIA	LEMONADE BERRY	EVERGREEN SHRUB, SLOPE STABILIZER	5-15' HT. x 10'+ SPRD
	SALVIA APIANA	WHITE SAGE	SUB SHRUB. AROMATIC WHITE LEAVES & FLOWERS	3-5' HT. x 5' SPRD

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER 100 S.F. OF DISTURBED AREA.

OPEN SPACE ADJACENT RIPARIAN CORRIDOR & DETENTION SLOPES (TEMPORARY IRRIGATION)

	PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE H	₁EIGH	T & SPREAD
┸ ┞ ┍ ╸┎┑┎┑┎┪	TREES - 25% 24" BOX. 75% 15 GALLO	N				
	POPULUS FREMONTII	WESTERN COTTON WOOD	DECIDUOUS, HEAT-DROUGHT TOLERANT	50' HT.	Х	20' SPRD
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	DECIDUOUS, MOTTLED WHITE BARK	70' HT.	Х	40' SPRD
	QUERCUS AGRFOLIA	COAST LIVE OAK	EVERGREEN TREE. SPREADING CROWN	50' HT.	Х	50' SPRD
	SALIX SPECIES	WILLOW	DECIDUOUS TREE	30' HT.	Х	30' SPRD
	SAMBUCUS MEXICANA	MEXICAN ELDERBERRY	DECIDUOUS SHRUB TO SMALL TREE.CREAMY FLOWERS	25' HT.	Х	25' SPRD
	SHRUBS-75% 1 GAL 25% 5 GAL.					
	ARTEMESIA DOUGLASIANA	DOUGLAS MUGWORT	HERBACEOUS SUBSHRUB. AROMATIC LEAVES. REVEGETATION	2-3' HT.	Х	3' SPRD
	ARTEMESIA PALMERI	SAN DIEGO SAGEWORT	UPRIGHT PERENNIAL. REVEGETATION	2-3' HT.	Х	3' SPRD
	BACCHARIS SALICIFOLIA	MULE FAT	SEMI-DECIDUOUS SHRUB. REVEGETATION	4-10' HT.	Х	8' SPRD
	CAREX SPISSA	SAN DIEGO SEDGE	CLUMPING PERENNIAL. FLOWERS RESEMBLE CATTAILS	3-4' HT.	Х	2-3' SPRD
	IVA HAYSIANA	SAN DIEGO MARSH ELDER	PERENNIAL, EROSION CONTROL, FAST GROWING	1-3' HT.	Х	5' SPRD
	HETEROMELES ARBUTIFOLIA	TOYON	LARGE SHRUB. NATIVE. SCREENING			
	JUNCUS ACUTUS	SPINY RUSH	CLUMPING PERENNIAL. SPIKED DARK GREEN BLADES	2' HT.	Х	2'+ SPRD
	JUNCUS MEXICANUS	MEXICAN RUSH	CREEPING PERENNIAL. SLENDER DARK GREEN BLADES	2' HT.	Х	2'+ SPRD
	MIMULUS GUTTATUS	GOLDEN MONKEYFLOWER	SMALL PERENNIAL, YELLOW FLOWERS, MOIST PLACES	1-3' HT.	Х	3' SPRD
	OENOTHERA ELATA HOOKERI	YELLOW EVENING PRIMROSE	BIENNIAL, LARGE PALE YELLOW FLOWERS	1-4' HT.	Х	1' SPRD
	PLUCHEA ODORATA	SWEETSCENT	ERECT ANNUAL. PINK-LAVENDER FLOWER CLUSTERS	1-3' HT.	X	1-3' SPRD
	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	MOUNDING SEMI-DECIDOUS SHRUB, FRAGRANT PINK FLOWERS	3-6' HT.	Х	5'+ SPRD
	RUBUS URSINUS	CALIFORNIA BLACKBERRY	MOUNDING SHRUB/VINE, WHITE FLOWER, FAST, REVEGETATION	2-5' HT.	X	6'+ SPRD
	SAMBUCUS MEXICANA	MEXICAN ELDERBERRY	DECIDUOUS SHRUB/SMALL TREE, CREAMY FLOWERS	6-20' HT.	Х	15'+ SPRD
	RIBES SPECIOSUM	FUCHSIA FLOWERING GOOSEBERRY	DECIDUOUS SHRUB. MAROON-RED FLOWERS. ATTRACTS BIRDS	4-10' HT.	Х	7' SPRD
	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	LOW EVERGREEN SHRUB. AROMATIC. UNDER OAKS	3-4' HT.	Х	6' SPRD
	XYLOCOCCUS BICOLOR	MISSION MANZANITA	MID TO LARGE SHRUB. NATIVE	5-15' HT.	Х	15-30' SPRD

SLOPES (TEMPORARY IRRIGATION) HYDROSEED MIX

THE SLOPE AREAS TO BE HYDROSEEDED WITH A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS 24" OR LESS TO MEET BRUSH MANAGEMENT GUIDELINES.

COASTAL	SAGE SCRUB HYDROSEED MIX	<

	COASTAL SAGE SCRUB HYDROSEED M	1IX		MATURE HEIGHT		% PURITY/ GERMINATION
	PLANT MATERIAL	COMMON NAME	FORM FUNCTION	& SPREAD	LB/AC	RECOMMENDED
	ARTEMESIA CALIFORNICA	COASTAL SAGEBRUSH	AROMATIC SHRUB, EROSION CONTROL, FAST GROWING	3-4' HT. x 2-3' SPRD	2	15 / 50
	ENCELIA CALIFORNICA	COAST SUNFLOWER	SUB-SHRUB, YELLOW FLOWERS, FAST GROWER	3' HT. x 4' SPRD	4	40 / 60
	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	PERENNIAL. PINK-WHITE FLOWERS. FAST GROWER	3-4' HT. x 4"+ SPRD	6	10 / 65
	ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROV	HERBACEOUS SUB-SHRUB. ORANGE-YELLOW FLOWERS	2' HT. x 3' SPRD	3	30 / 60
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB. YELLOW FLOWERS. FAST GROWER	3' HT. x 3' SPRD	1	98 / 75
	LOTUS SCOPARIUS	DEERWEED	PERENNIAL. NUMEROUS YELLOW FLOWERS, FAST GROWER	2-3' HT. x 3' SPRD	6	90 / 60
	LUPINUS BICOLOR	PYGMY-LEAF LUPINE	SMALL ANNUAL, BLUE FLOWER, REVEGETATION	1' HT. x 1.5' SPRD	4	98 / 80
	LUPINUS NANUS	SKY LUPINE	SMALL ANNUAL, BLUE FLOWER, GROUNDCOVER	1.5' HT. x 3' SPRD	4	98 / 85
	MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUB-SHRUB, CRIMSON TO BRICK-RED FLOWERS	2' HT. x 3' SPRD	2	2 / 55
	SALVIA MELLIFERA	BLACK SAGE	SUB-SHRUB. AROMATIC. FLOWERS BLUE	3-5' HT. x 6'+ SPRD	1	70 / 50
	NASSELLA PULCHRA	PURPLE NEEDLE GRASS	PERENNIAL BUNCHGRASS. PURPLE SEED HEADS	2' HT. x 2' SPRD	8	90 / 60

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER

100 S.F. OF DISTURBED AREA.

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PLANTING LEGEND-PUBLIC RIGHT OF WAY & RECREATION AREAS H.O.A. MAINTAINED (PERMENANT IRRIGATION)

THE STREET RIGHT OF WAY AND RECREATIONAL AREAS ARE TO BE PLANTED WITH A MIX OF EVERGREEN AND SEASONALLY CHANGING SHADE TREES. ACCENT TREE ARE LOCATED AT INTERSECTIONS AND RECREATION AREAS WITH COLOREUL SHRUBS PROVIDING INTEREST AT A PEDESTRIAN SCALE

PLANT M	ATERIAL	N	IATURE HEIGHT & SPREAD	Q
STREET	TREES EVERGREEN ROUND HEAD. SHA	DE TREE - 100% 24" BOX OR LARGE		13
S S	ARBUTUS MARINA	MARINA MADRONE	35' x 30'	
العرجي	ERIOBOTRYA DEFLXA	BRONZE LOQUAT	20' x 20'	
49	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	20' x 20'	
	QUERCUS ILEX	HOLLY OAK	40' x 40'	
	RHUS LANCEA	AFRICAN SUMAC	30' x 25'	
	TRISTANIA LAURINA	ELEGANT BRISBANE	25' x 25'	
STREET	TREES DECIDUOUS ROUND HEAD. SHAL	DE TREE - 100% 24" BOX OR LARGE	<u>R</u>	2
Con	ALBIZIA JULIBRISSIN	SILK TREE (MIMOSA)	40' x 80'	
	ARBUTUS MARINA	MARINA STRAWBERRY	40'X 25'	
" A	JACARANDA MIMOSIFOLIA	JACARANDA	30' x 25'	
	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	30' x 40'	
	PLATANUS ACERIFOLIA 'BLOODGOOD		70' x 35'	
IDDIGUIT	PYRUS CALLERYANA	ORNAMENTAL PEAR	50' x 50'	
<u>JPRIGH I</u>	VERTICAL ACCENT TREES - 100%	ELAME TREE	40' x 15'	3
	BRACHYCHITON ACERIFOLIUS HYMENO SPORUM FLAUM	FLAME TREE SWEET SHADE	25' x 20'	
PEDEST	RIAN SCALE ACCENT TREE - 100% 24" BO	<u>OX</u>		7
£	PYRUS CALLERYANA	FLOWERING PEAR	40' x 25'	
The state of the s	CALODENDRUM CAPENSE	CAPE CHESTNUT	40' x 25'	
	CERCIS OCCIDENTALIS	WESTERN REDBUD	12' x 25'	
	METROSIDEROS EXCELSA	NEW ZEALAND X MAS TREE	18' x 18'	
	TABEBUIA IPE	TABEBUIA	25' x 35'	
ARGE S	CALE DECIDUOUS PARK TREE - 100% 24	<u> </u>	251 x 251	į
.aux.	JACARANDA MIMOSIFOLIA	JACARANDA	25' x 25' 40' x 25'	
4. 3	PISTACIA CHINENSIS	CHINESE PISTACHE	40' x 25'	
Wage A	ROBINIA X 'PURPLE ROBE'	PINK FLOWERING LOCUST	40 X 23	
_ARGE / I	MEDIUM EVERGREEN SHRUB - 80% 1-GA	ALLON, 20% 5 GALLON-3'-5' o.c.		1:
ONLY SH	IRUBS OF 3' IN HEIGHT OR LESS WILL BI	E USED IN THE PARKWAY VISIBILIT	Y TRIANGLE	
	CISTUS PURPUREUS	ORCHID ROCKROSE	3' x 3'	
$\oplus \oplus \oplus$	DIETES VEGATA	FORTNIGHT LILY	2' x 3'	
(+)	LEPTOSPERMUM SCOPARIUM		4' x 4'	
	PHORMIUM TENAX 'MAORI QUEEN'		3' x 3'	
	LIGUSTRUM JAPONICUM 'TEXANUM'		5' x 4'	
	XYLOSMA CONGESTUM	SHINEY XYLOSMA	6' x 6'	10
SMALL / N	MEDIUM EVERGREEN FLOWERING SHRU	IB - 80% 1-GALLON. 20% 5 GALI ON-	3'-5' o.c.	10
	RUBS OF 3' IN HEIGHT OR LESS WILL BE			
	ARELIA GRANDIELORA	CLOSSY ARELIA	11 x 11	

NLY SH	IRUBS OF 3' IN HEIGHT OR LESS WILL B	E USED IN THE PARKWAY VISIBILITY	TRIANGLE
	ABELIA GRANDIFLORA	GLOSSY ABELIA	4' x 4'
000	CEANOTHUS SP.	WILD LILAC	3' x 3'
	HEMEROCALLIS HYBRIDA	DAYLILY	1.5' x 1.5
	LEUCOPHYLLUM FRUITICOSUM	TEXAS RANGER	3' x 2'
	RAPHIOLEPSIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	2' x 2'
ROUND	COVERS - 65% 1-GALLON. 35% FLATS-3	'-5' o.c.	
88 0	ACACIA REDOLENS 'LOW BOW'	PROSTRATE ACACIA	2.5' x 5'
000	BACCHARIS PILULARIS 'TWIN PEAKS'	TWIN PEAKS BACCHARIS	3' x 7'
	CEANOTHUS GRISEUS	SPREADING LILAC	1.5' x 7'
	HORIZONTALIS 'YANKEE POINT'		
	COTONEASTER HORIZONTALIS	COTONEASTER	2' x 3'
	ESCALLONIA 'NEWPORT DWARF'	ESCALLONIA	3' x 3'
	ESCHSHOLZIA CALIFORNICA	CALIFORNIA POPPY	2' x 1'
	GREVILLEA SPP.	GREVILLEA	2' x 2'
	HAZARDIA SQUARROSA	YELLOW SQUIRREL COVER	2' x 2'
	LANTANA MONTEVIDENSIS	LANTANA	2' x 5'
	LOTUS SCOPARIUS	DEERWEED	1.5' x 1.5
	NEMOPHILA MENZIESII	BABY BLUE EYES	

PUBLIC RIGHT-OF-WAY GROUNDCOVERS - 10	00% 1-GALLON-3'-5' o.c.	
CEANOTHUS SPP.	LILAC	3' x 3'
CISTUS PURPUREUS	ROCK ROSE	2.5' x 2.5'
COTONEASTER SPP.	COTONEASTER	2' x 3'
LANTANA MONTEVIDENSIS	LANTANA	2' x 5'
RAPHIOLEPSIS INDICA 'CLARA'	INDIAN HAWTHORNE	4' x 3'

ARTIFICIAL TURF FESTUCA SPP.

FESCUE (MARATHON III OR EQUAL)

DETENTION BASIN (TEMPORARILY IRRIGATED)

BASINS TO BE LINED WITH 18" MEDIUM DEPTH.

STORM WATER BASIN (BOTTOM)

TOKIN WATER E	PLANT MATERIAL	COMMON NAME	SIZE
	BACCAHRIS DOUGLASII	MARSH BACCAHRIS	LINERS
	CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	LINERS
	CAREX SUBFUSCA	RUSTY SEDGE	LINERS
	JUNCUS MEXICANUS	MEXICAN RUSH	1G / LINERS
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	LINERS
	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	LINERS
	SCIRPUS CENUUS	LOW BULLRUSH	LINERS

STORM WATER B	ASIN (SLOPES)		
XXXX	PLANT MATERIAL	COMMON NAME	SIZE
$\langle X X X X \rangle$	ACHILLEA MILLEFOLIUM	YARROW	LINERS
\times	ANEMOPSIS CALIFORNICA	YERBA MENZA	LINERS
	CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	LINERS
	CAREX SUBFUSCA	RUSTY SEDGE	LINERS
	IVA HAYESIANA	POVERTY WEED	1G
	JUNCUS MEXICANUS	MEXICAN RUSH	1G / LINERS
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	LINERS
	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	LINERS
	MAHONIA NEVINII	NEVINS BARBERRY	LINERS
	MIMULUS CARDINALIS	SCARLET MONKEY FLOWER	1G
	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	LINERS

PLANTING NOTE

ALL INVASIVE PLANT SPECIES FOUND ON-SITE SHALL BE REMOVED PRIOR TO THE INSTALLATION OF NEW PLANT MATERIALS. REFER TO APPENDIX 'B', TABLE 1, OF THE BLACK MOUNTAIN RANCH SUBAREA PLAN FOR A 'PROHIBITED PLANT PALETTE' LIST

DETENTION BASIN (TEMPORARILY IRRIGATED)

BASINS TO BE LINED WITH 18" MEDIUM DEPTH.

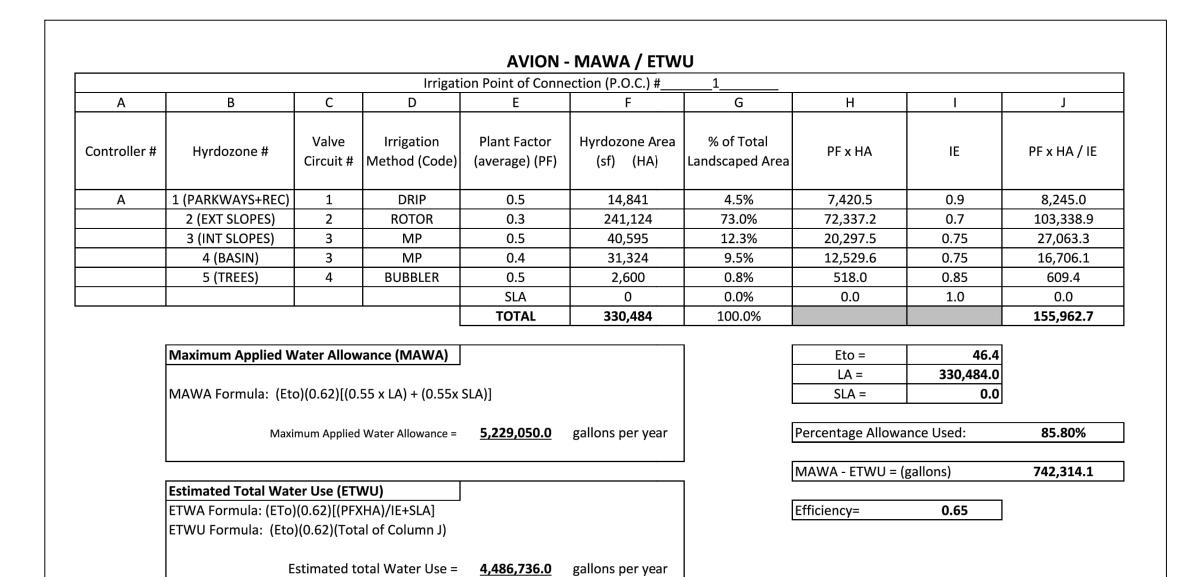
INTERIOR SLOPES-PRIVATELY MAINTAINED (PERMENANT ARTIGASHMENT 19

THE INTERIOR SLOPE AREAS ARE TO BE PLANTED WITH COLORFUL CONTAINER MATERIAL WITH DEEP ROOTING CHARACTERISTICS IN CONFORMANCE WITH THE GRADING ORDINANCE. DROUGHT TOLERANT NATIVE AND NATURALIZED SPECIES ARE USED PLANTED IN AN INFORMAL PATTERN. SEASONAL MAINTENANCE ONCE ESTABLISHED.

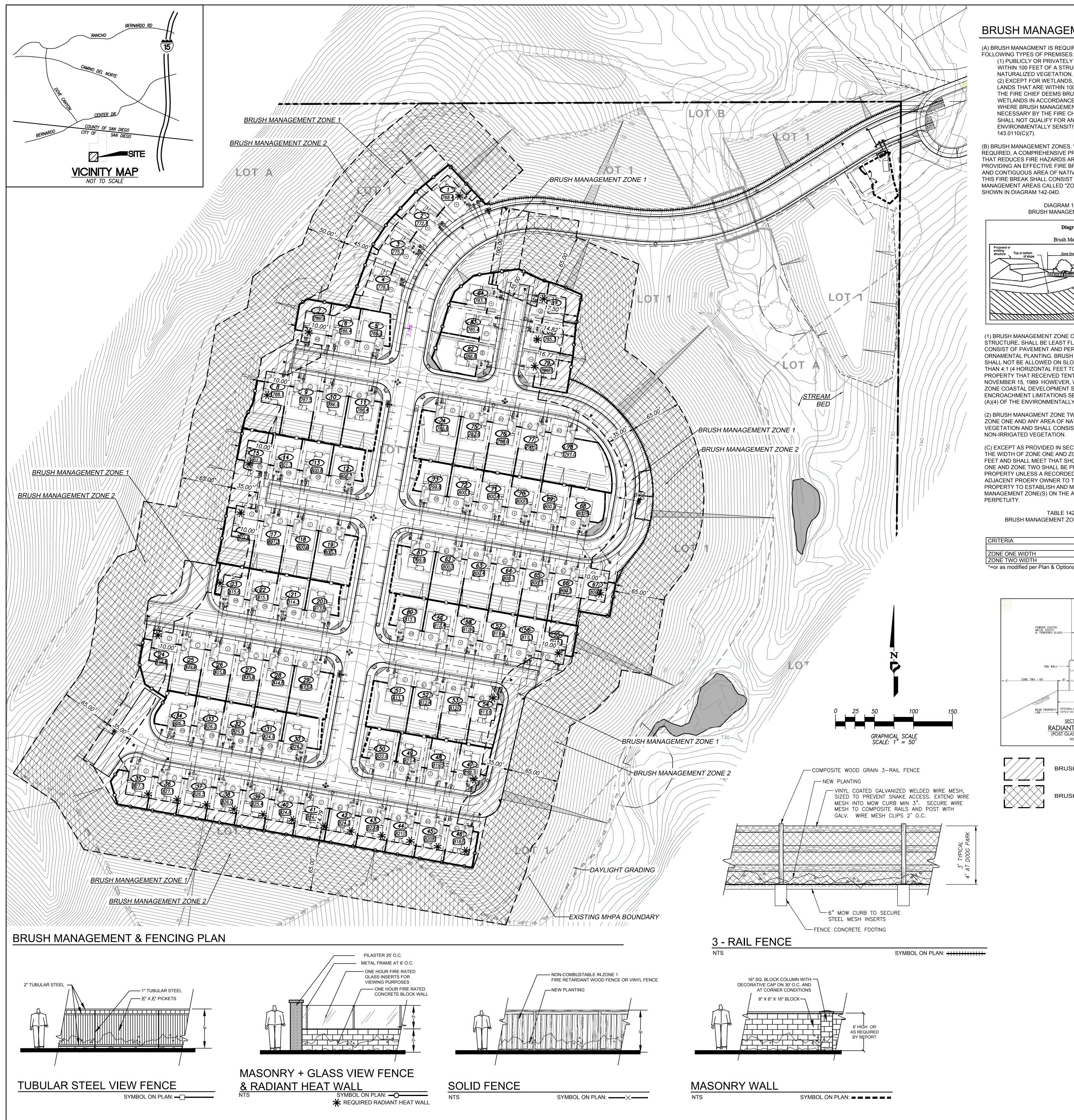
SLOPE TREES - 25% 24" BOX. 75% 15 GALLON

	SMALL TREES/LARGE SHRUBS- 50% 15 GAL, 50% 5GAL-10'-15' o .c.		
(\bullet)	ARBUTUS UNEDO	STRAWBERRY TREE	10' X 10
	CERCIS OCCIDENTALIS	WESTERN REDBUD	8' X 8'
	ERIOBOTRYA DEFLEXA	LOQUAT	12' X 18
	FEIJOA SELLOWIANA	GUAVA	10' X 10
	HETEROMELES ARBUTIFOLIA	TOYON	10' X 10
	PRUNUS ILLICIFOLIA	CATALINA CHERRY	15' X 10
	RHUS LANCEA	AFRICAN SUMAC	25' X 2
	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5' X 8'
	I ECOMANIA CAP ENSIS	CALETIONETOCKEE	3 7 0
	LARGE/ MEDIUM SHRUBS-50% 1 GAL 50% 5 GAL3'- 4' o.c.		
	ADOLPHIA CALIFORNICA	SPINE SHRUB	
///	ELAEAGNUS PUNGENS	SILVERBERRY	2' x 1.5'
	RHUS INTEGRIFOLIA	LEMONADE BERRY	4' x 3'
	RIBES VIBURNIFOLIUM	EVERGREEN CURRENT	1.5' x 7'
	RIBES SPECIOSUM	FUCHSIA-FLOWERED GOOSEBERRY	2' x 3'
	SALVIA APIANA	WHITE SAGE	2' x 4'
	CISTUS PURPUREUS	ORCHID ROCKROSE	2.5' x 2.5
	DIETES VEGATA	FORTNIGHT LILY	2.5' x 2.5
	LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE	2' x 2'
	PHORMIUM TENAX 'MAORI QUEEN'	FLAX	2' x 1.5'
	LIGUSTRUM JAPONICUM 'TEXANUM'	PRIVET	4' x 3'
	XYLOSMA CONGESTUM	SHINEY XYLOSMA	3' x 3'
			3' x 4'
	SMALL/MEDIUM SHRUBS 80% 1 GAL., 20% 5 GAL 2.5'-3' o.c.		3' x 5'
	ABELIA GRANDIFLORA	GLOSSY ABELIA	
	CEANOTHUS SP.	WILD LILAC	4' x4'
////	HEMEROCALLIS HYBRID	DAYLILY	3' x 3'
////	LEUCOPHYLLUM FRUITICOSUM	TEXAS RANGER	1.5' x 1.5
	RAPHIOLEPSIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	3' x2'
	ENCELIA CALIFORNICA	COAST SUNFLOWER	2' x 2'
	LOTUS SCOPARIUS	DEERWEED	25' x12.5
	MIMULUS PUNICEUS	RED MONKEY FLOWER	1.5' x 1.5
	WINVIOLOG T CIVICLOG	RED MONRET LEGIZER	1.5' x1.5'
	GROUND COVERS-75% 1 GAL. 25% 5 GAL-6' o.c.		
	BACCHARIS PILUARIS 'TWIN PEAKS'	DWARF COYOTE BRUSH	3' x 7'
	CEANOTHUS GRIS. HORIZ. YANKEE PT.	YANKEE POINT LILAC	1.5' x 7'
///	ESCHSHOLZIA CALIFORNICA	CALIFORNIA POPPY	2' x13'
////	LANTANA SPP.	LANTANA	2' x 5'
	ROSMARINUS OFFICINALIS	ROSEMARY	2 X 3 2.5' X 4
	SANTOLINA CHAMAECYPARISSUS	LAVENDER COTTON	2.5 x 4 1.5' x 4'
			1.5 X 4

WATER EFFICIENT LANDSCAPE WORKSHEET



PREPARED BY: NAME: PROJECT DESIGN CONSULTANTS REVISION 14: _____ ADDRESS: 701 'B' STREET, SUITE 800 REVISION 12: _____ SAN DIEGO, CALIFORNIA 92101 PHONE #: (619) 235-6471 REVISION 10: _____ REVISION 09: _____ PROJECT ADDRESS: REVISION 08: _____ REVISION 07: _____ SAN DIEGO, CALIFORNIA REVISION 05: ____ REVISION 04: ____ 04/24/2019 PROJECT NAME: REVISION 03: 08/29/2018 REVISION 02: _ 04/26/2018 REVISION 01: _ ORIGINAL DATE: 02/15/18 LANDSCAPE PLANTING LEGEND SHEET ______13 ____0F _____39



P:\3255.4\LANDSCAPE ARCHITECTURE\CONCEPTUAL\3255.40 - TM BMZ.DWG

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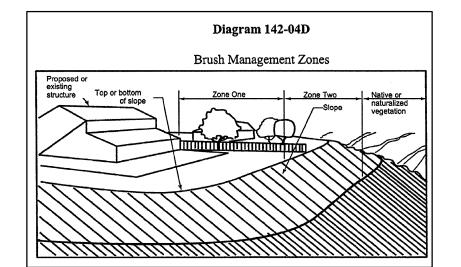
BRUSH MANAGEMENT:

(A) BRUSH MANAGMENT IS REQUIRED IN ALL BASE ZONES ON THE **FOLLOWING TYPES OF PREMISES:** (1) PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR

> (2) EXCEPT FOR WETLANDS, ENVIRONMENTALLY SENSITIVE LANDS THAT ARE WITHIN 100 FEET OF A STRUCTURE, UNLESS THE FIRE CHIEF DEEMS BRUSH MANAGEMENT NECESSARY IN WETLANDS IN ACCORDANCE WITH SECTION 142.0412 (I). WHERE BRUSH MANAGEMENT IN WETLANDS IS DEEMED NECESSARY BY THE FIRE CHIEF, THAT BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS, SECTION 143.0110(C)(7).

(B) BRUSH MANAGEMENT ZONES. WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING AN EFFECTIVE FIRE BREAK BETWEEN ALL STRUCTURES AND CONTIGUOUS AREA OF NATIVE OR NATURALIZED VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED "ZONE ONE" AND "ZONE TWO" AS SHOWN IN DIAGRAM 142-04D.

DIAGRAM 142-04D BRUSH MANAGEMENT ZONES



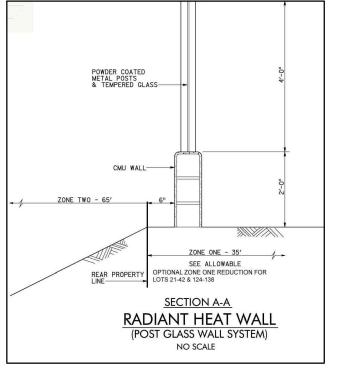
(1) BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (4 HORIZONTAL FEET TO 1 VERTICAL FOOT) UNLESS THE PROPERTY THAT RECEIVED TENTATIVE MAP APPROVAL BEFORE NOVEMBER 15, 1989. HOWEVER, WITHIN THE COASTAL OVERLAY ZONE COASTAL DEVELOPMENT SHALL BE SUBJECT TO THE ENCROACHMENT LIMITATIONS SET FORTH IN SECTION 143.0142 (A)(4) OF THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS.

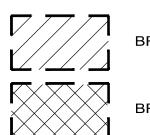
(2) BRUSH MANAGMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND SHALL CONSIST OF THINNED. NATIVE OR NON-IRRIGATED VEGETATION.

(C) EXCEPT AS PROVIDED IN SECTION 142.0412 (F) OR 142.0412 (I). THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET AND SHALL MEET THAT SHOWN IN TABLE 142-04H. BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASMENT IS GRANTED BY AN ADJACENT PROERY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONE(S) ON THE ADJACENT PROPERTY IN

TABLE 142-04H BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	
	ZONE WIDTHS
ZONE ONE WIDTH	35 FT.*
ZONE TWO WIDTH	65 FT.
*=or as modified per Plan & Optional Zone One Reduc	ction





BRUSH MANAGEMENT ZONE 1

BRUSH MANAGEMENT ZONE 2

(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO

(D) BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

(E) WHERE ZONE ONE WIDTH IS REQUIRED ADJACENT TO THE MHPA OR WITHIN THE COASTAL OVERLAY ZONE, ANY OF THE FOLLOWING MODIFICATIONS TO DEVELOPMENT REGULATIONS OF THE LAND DEVELOPMENT CODE OR STANDARDS IN THE LAND DEVELOPMENT MANUAL ARE PERMITTED TO ACCOMMODATE THE INCREASE IN

(1) THE REQUIRED FRONT YARD SETBACK OF THE BASE ZONE MAY BE REDUCED BY 5 FEET, (2) A SIDEWALK MAY BE ELIMINATED FROM ONE SIDE OF THE PUBLIC RIGHT-OF-WAY AND THE MINIMUM REQUIRED PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED BY 5 FEET,

(3) THE OVERALL MINIMUM PAVEMENT AND PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED IN ACCORDANCE WITH THE STREET DESIGN STANDARDS OF THE LAND DEVELOPMENT MANUAL.

(F) THE ZONE TWO WIDTHS MAY BE DECREASED BY 1-2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH UP TO A MAXIMUM REDUCTION OF 30 FEET OF ZONE TWO WIDTH. (G) ZONE ONE REQUIREMENTS

(1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION. (2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NONHABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION. (3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.

(4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT

(5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS: (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT,

(B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES. (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.

(7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

(H) ZONE TWO REQUIREMENTS

(1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION. (2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.

(3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE REDUCED TO A HEIGHT OF 6 INCHES. NON-NATIVE PLANTS SHALL BE REDUCED IN HEIGHT BEFORE NATIVE PLANTS ARE REDUCED IN HEIGHT (4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.

BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION: (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.

ATTACHMENT 19

(B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF NATIVE TREES AND TREE FORM SHRUB MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING. (C) ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED

IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION

SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORAARY IRRIGATION SYSTEMS

SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO. (D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN

ZONE TWO. (6) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS AND CONTROLLING

(7) EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

(I) THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:

(1) IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.0412 FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF ZONES ONE AND TWO: (2) THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.0412, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL; AND (3) THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.

(J) IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.

(K) FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.

WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY

PUTY FIRE MARSHALL	DATE
TERNATIVE COMPLIANCE FOR BRUSH MANAGEMENT: UI ENINGS TO DUAL-GLAZED, DUAL-TEMPERED PANES FOF LL FACES IDENTIFIED AS 'FIRE RATED' IN LIEU OF FULL E NAGEMENT ZONES.".	RALL

ALTERNATIVE COMPLIANCE:

Lots 1, 7, 8, 15, 16, 23-24, 35-47, 54, 55, 67 & 79-81 will have alternative compliance per Section 142.0412 Section I. A radiant heat wall shall be provided as shown on the plans. In addition, the habitable structure shall be fire rated on the side with the Radiant Heat Wall. That is, the north side walls of the structure for lots 1 & 81, the east side wall of Lots 46, 47, 54, 55, 67, & 79-81, the west side walls of Lots 7, 8, 15, 16, 23-24, & 35 as well as the south side walls of Lots 35-46 shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.

Within Lots 1, 7, 8, 15, 16, 23-24, 35-47, 54, 55, 67 & 79-81, Zone One will be provided between non-combustible radiant heat wall and the habitable

REFER TO SHEET 1 FOR LANDSCAPE CONCEPT PLAN AND NOTES REFER TO SHEET 2 FOR PLANTING LEGEND REFER TO SHEET 3 FOR BRUSH MANAGEMENT PLAN AND NOTES

PARED BY:	
E: PROJECT DESIGN CONSULTANTS	REVISION 14:
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JECT ADDRESS:	REVISION 08:
	REVISION 07:
N DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:05/12/2020
IECT NAME:	REVISION 03:04/24/2019
ON	REVISION 02:08/29/2018
	REVISION 01:04/26/2018
	ORIGINAL DATE:02/15/18
TT TITLE:	-···
BRUSH MANAGEMENT & FENCING	SHEET14 OF39
	DEP #

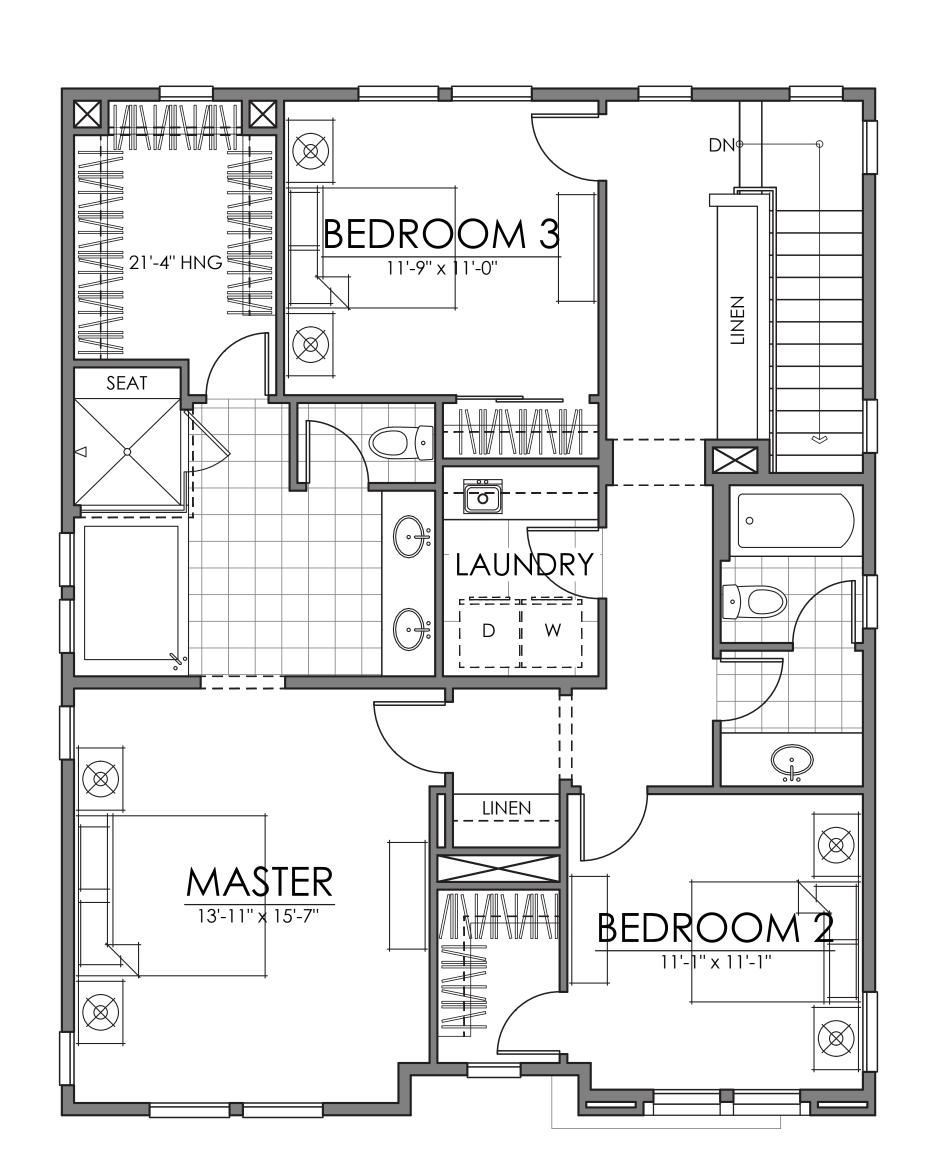
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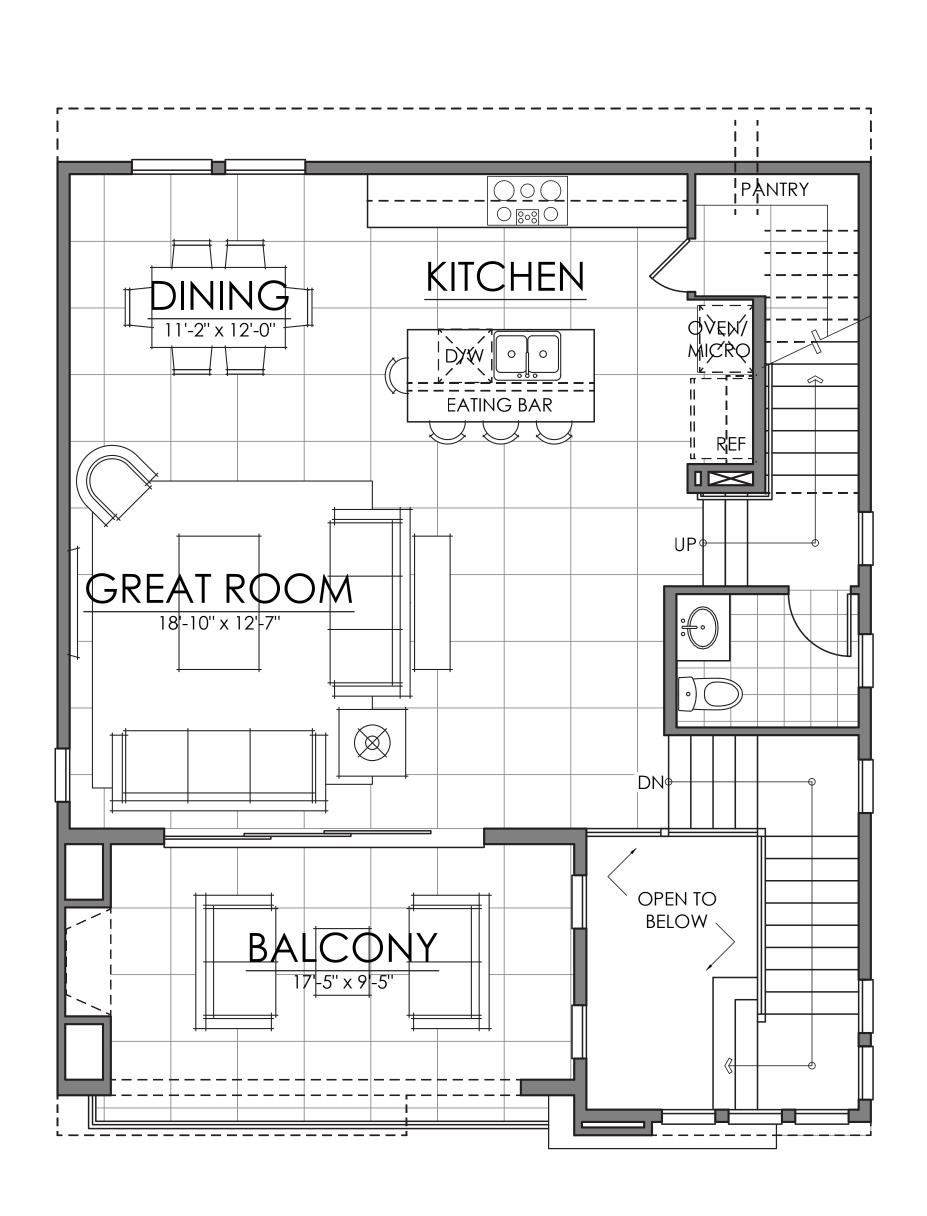


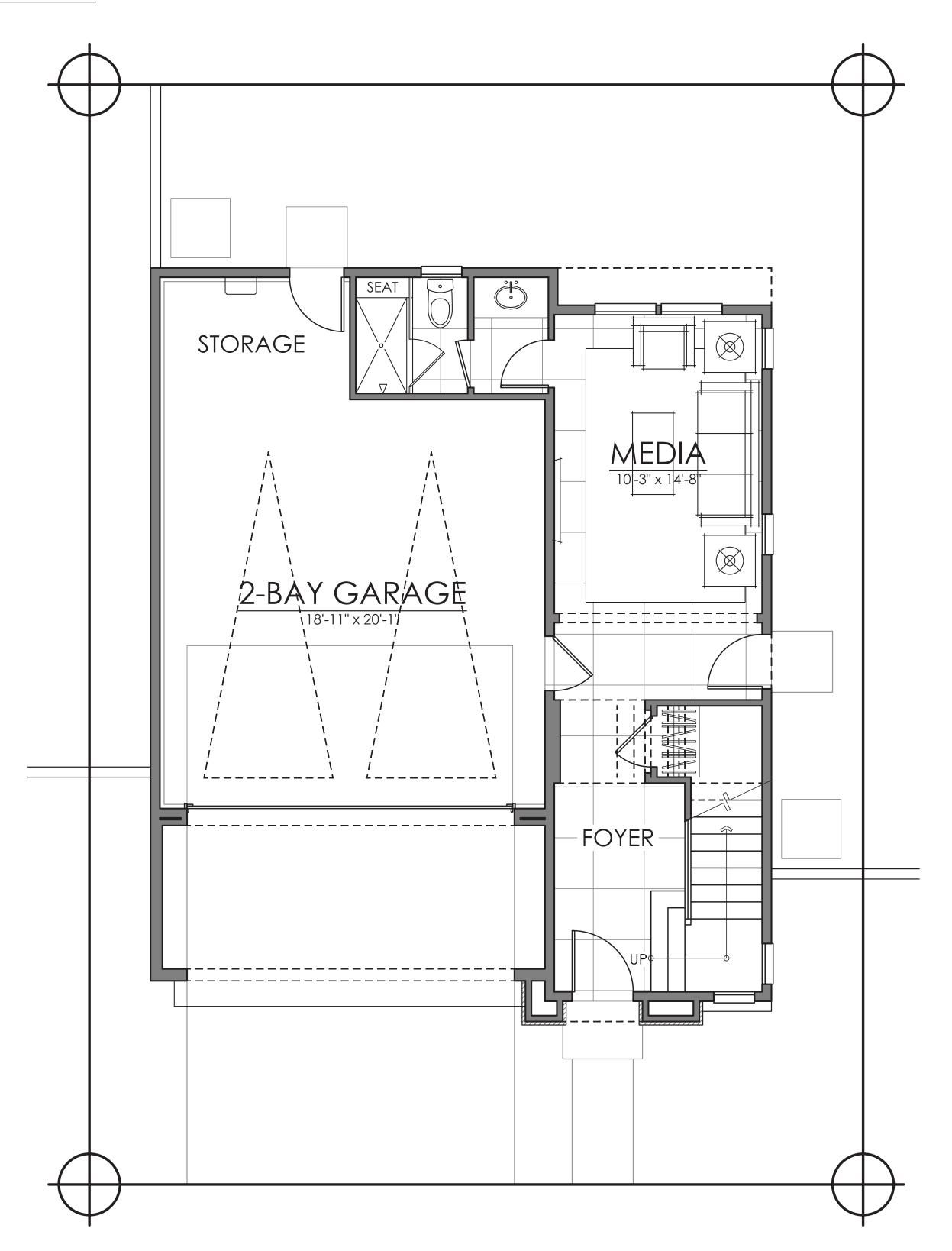


PREPARED BY: NAME: WOODLEY ARCHITECTURAL GROUP	DEL/ICION 4.4
NAME:WOUDLEY ARCHITECTURAL GROUP	
2047 DILLIMAN CT CHITE A	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553-8919	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02: 08/29/2018
	REVISION 01: 04/26/2018
	ORIGINAL DATE:02/12/2018
SHEET TITLE: STREET SCENE	SHEET150F39
	 DEP #

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX









NAME: <u>WOODLEY ARCHITECTURAL GROUP</u>	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553—8919	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02:08/29/2018
	REVISION 01: 04/26/2018
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SHEET TITLE:	1/ 20
FLOOR PLAN ONE	SHEET16OF39
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REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX



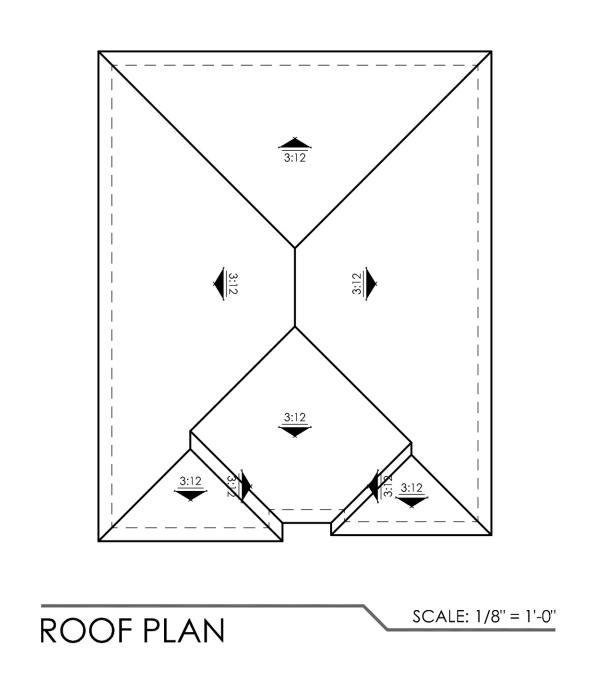


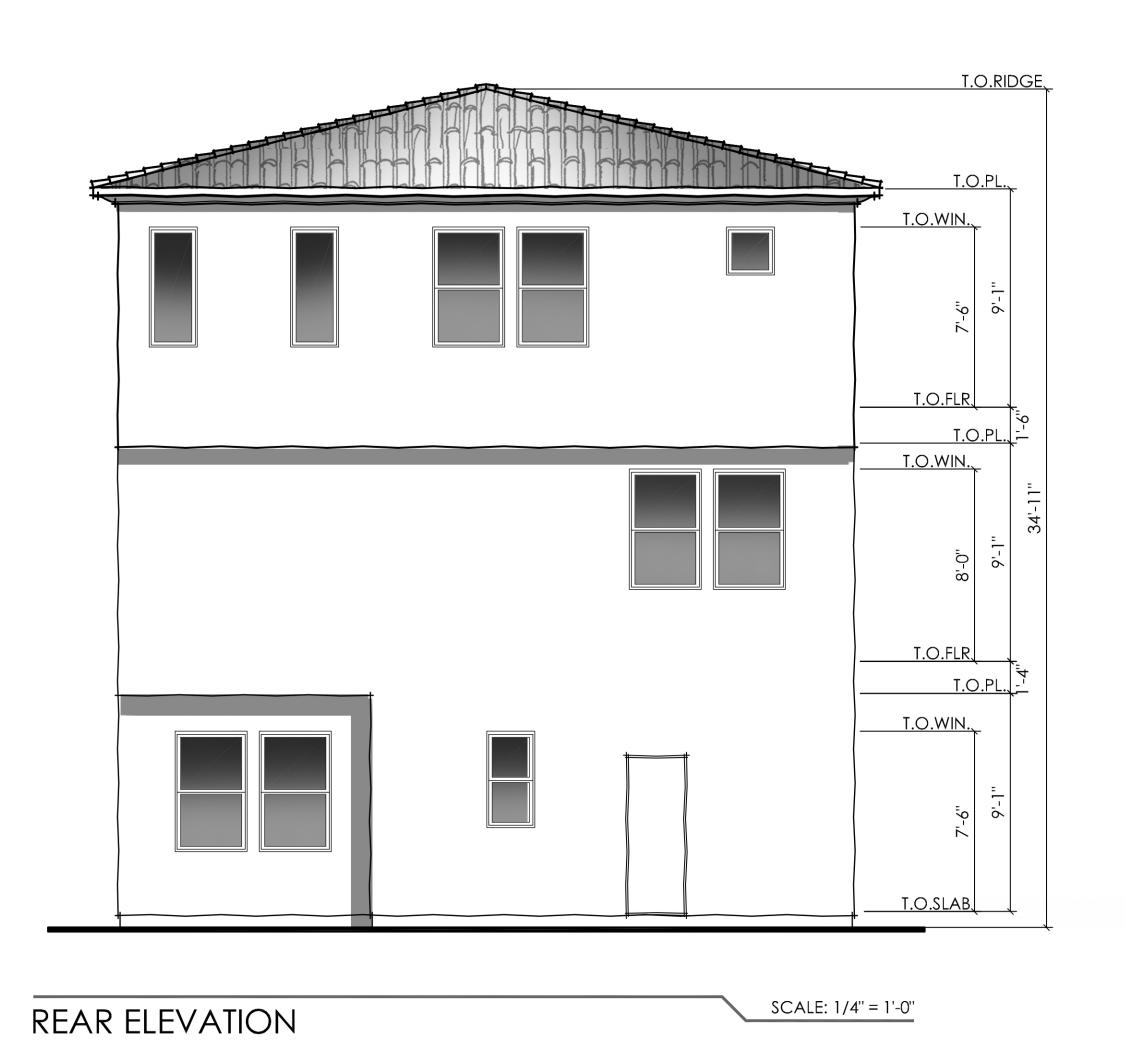


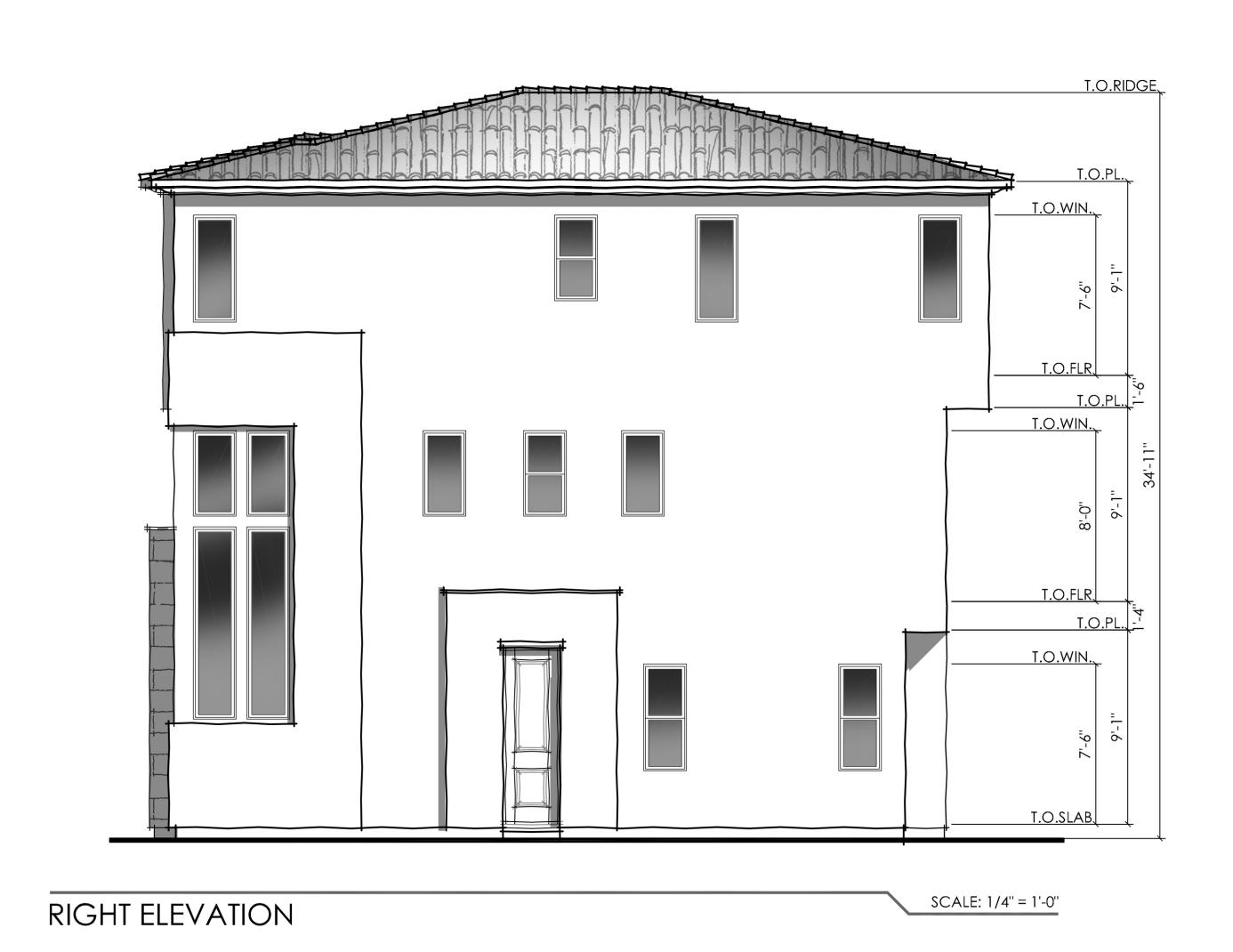


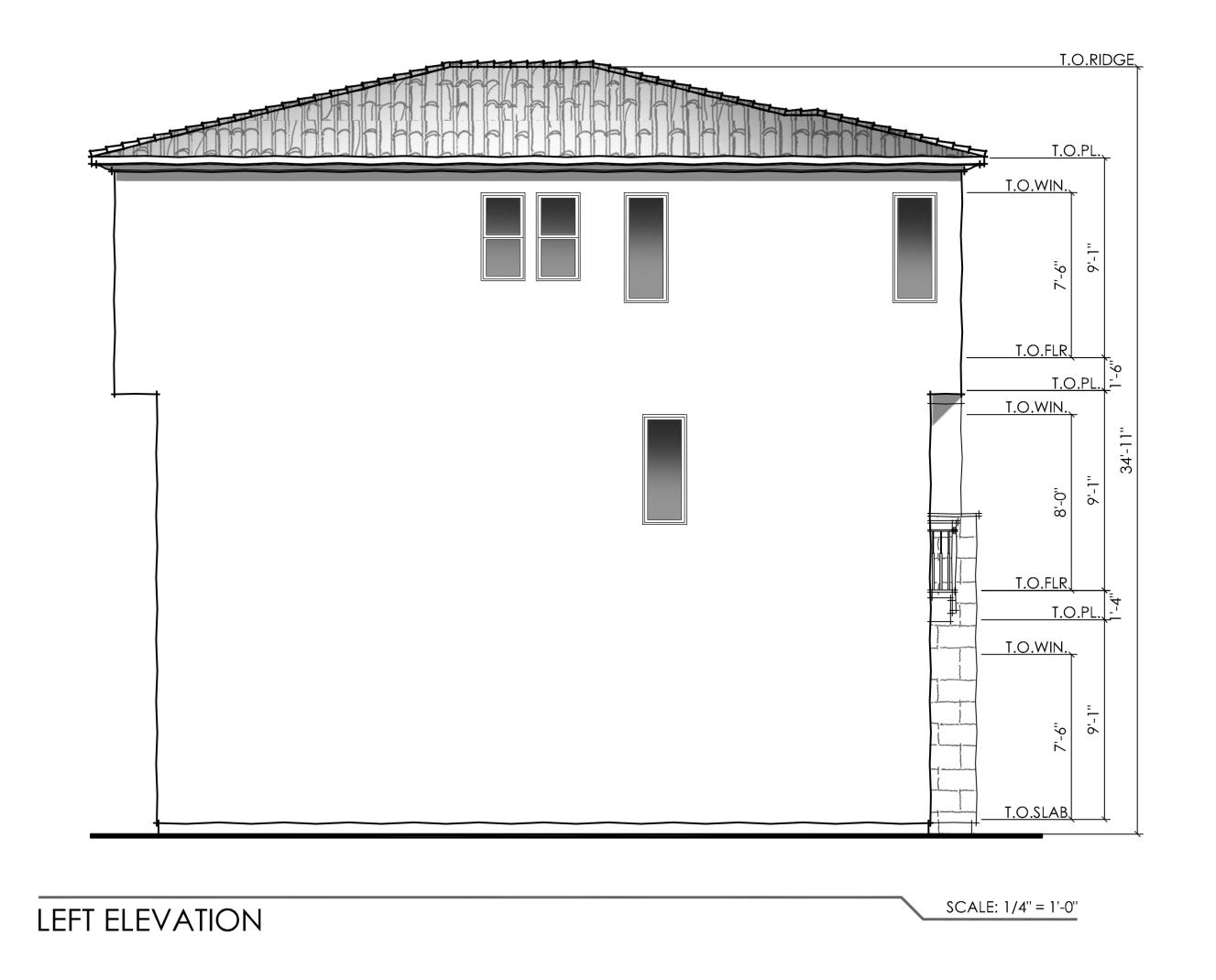
PREPARED BY: NAME: <u>WOODLEY ARCHITECTURAL GROUP</u>	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553-8919	REVISION 10:
·	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02:08/29/2018
	REVISION 01:04/26/2018
	ORIGINAL DATE:02/12/2018
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PLAN ONE	SHEET170F39

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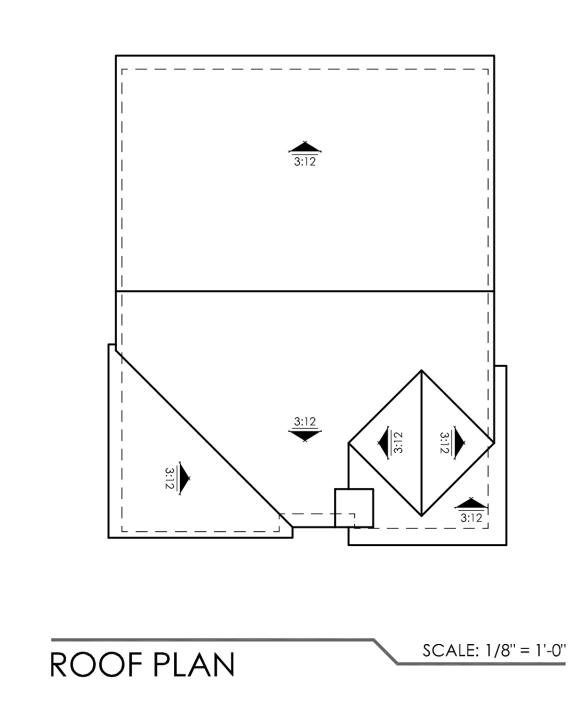


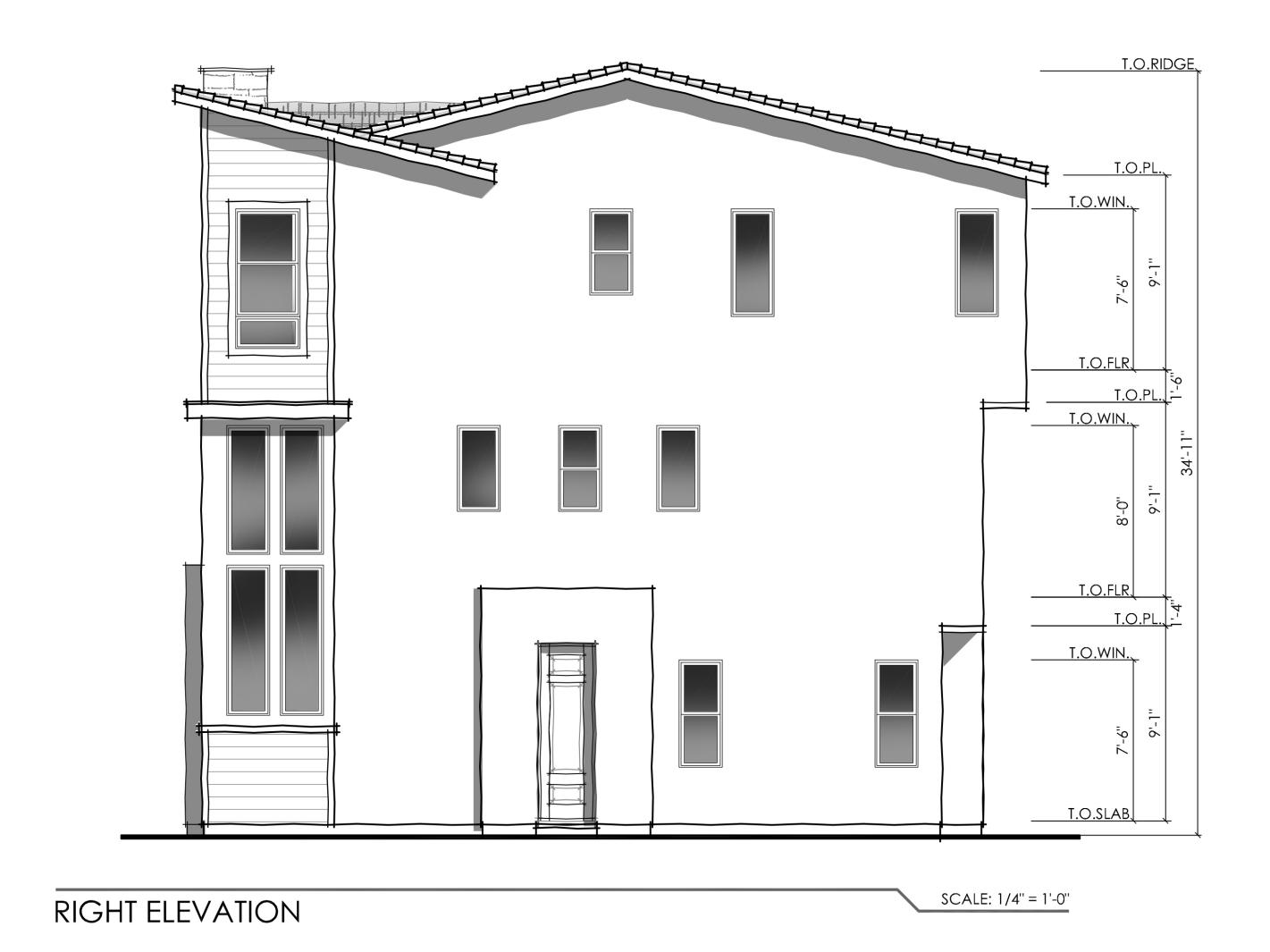


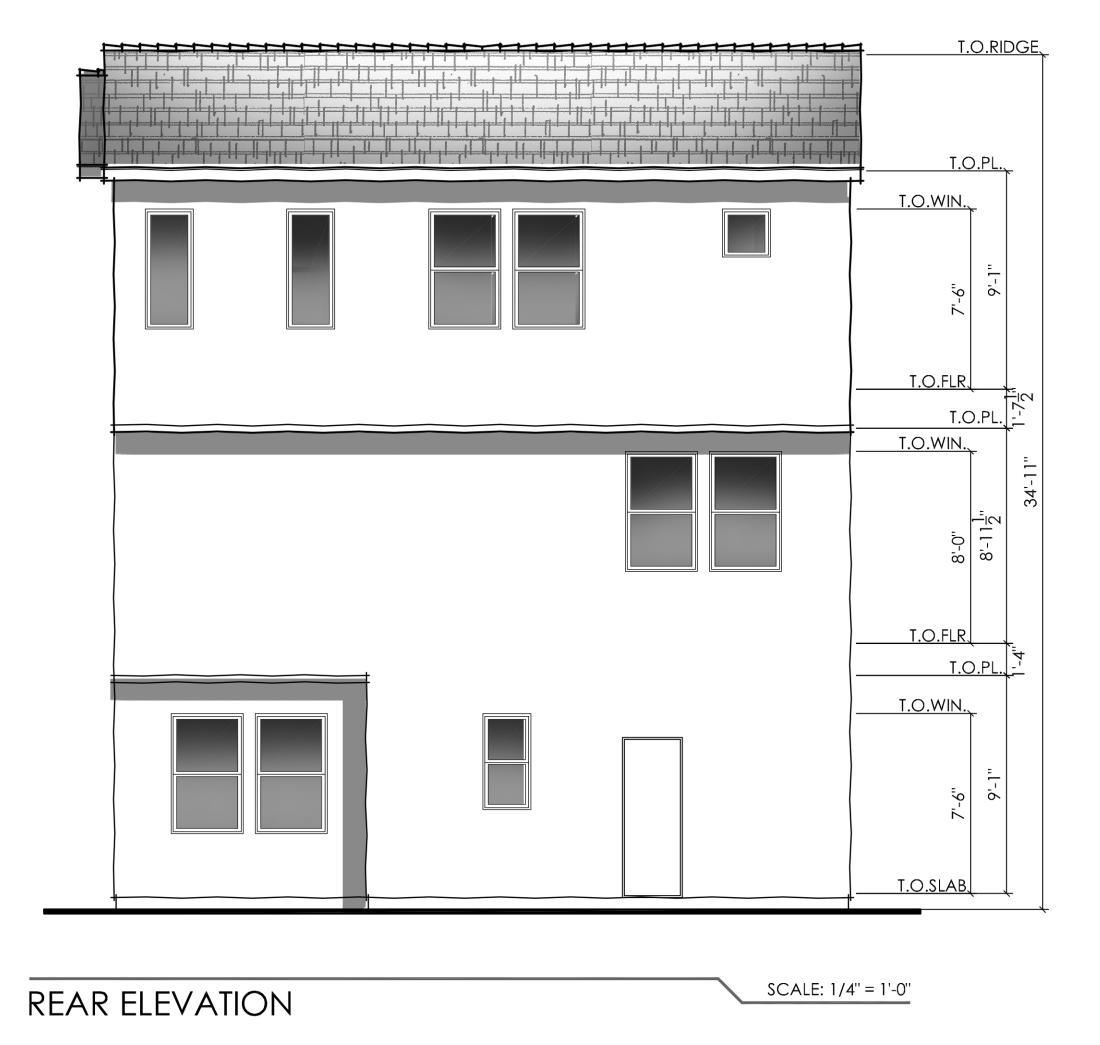


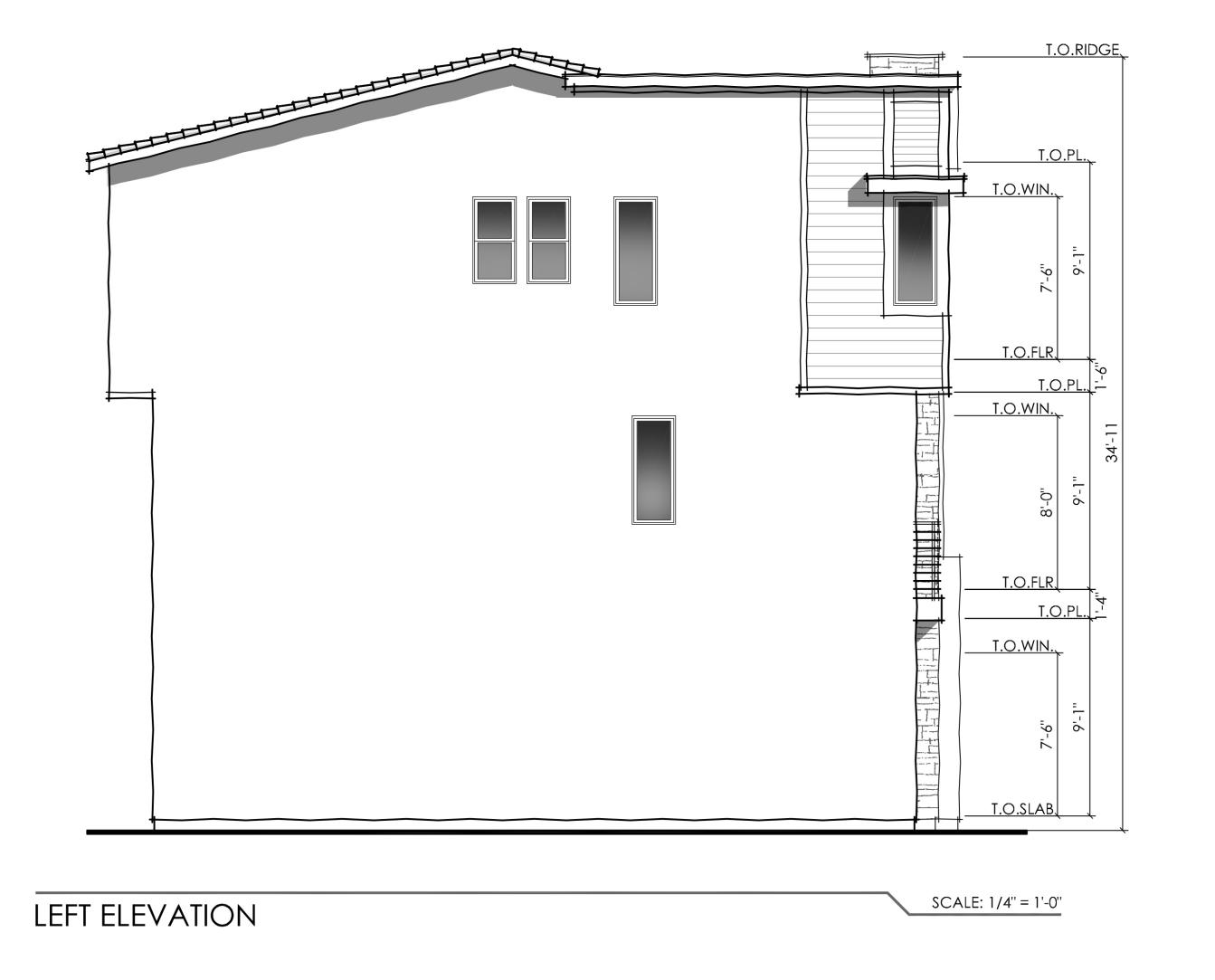
SIDE & REAR ELEVATIONS	<u> </u>		
PLAN ONE 'A'	SHEET18	<u> </u>	39
SHEET TITLE:	ORIGINAL DATE:	02/12/	2010
		02/12/	['] 2018
	REVISION 01:	04/26/	′2018
AVION	REVISION 02:	08/29/	/2018
PROJECT NAME:	REVISION 03:	04/24/	/2019
	REVISION 04:	06/06/	/2019
	REVISION 05:		
SAN DIEGO, CALIFORNIA	REVISION 06:		
	REVISION 07:		
PROJECT ADDRESS:	REVISION 08:		
"	REVISION 09:		
PHONE #: (949) 553-8919			
SANTA ANA, CALIFORNIA 92705			
ADDRESS: 2943 PULLMAN ST, SUITE A			
PREPARED BY: NAME:WOODLEY ARCHITECTURAL GROUP	REVISION 14:		

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX





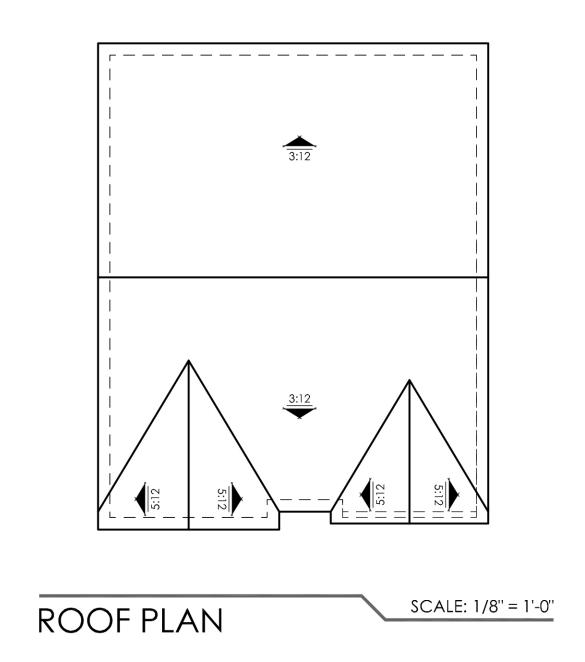


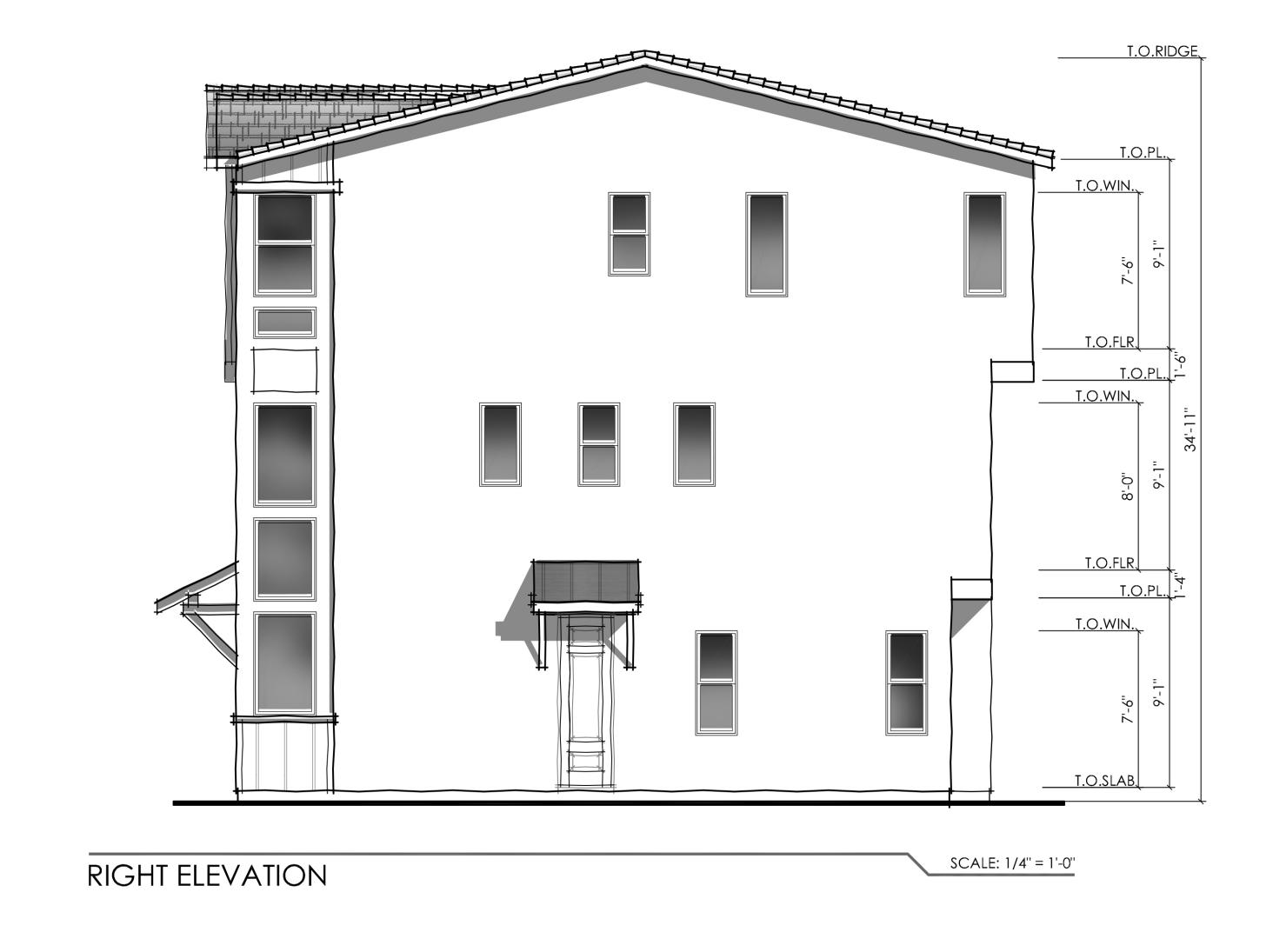


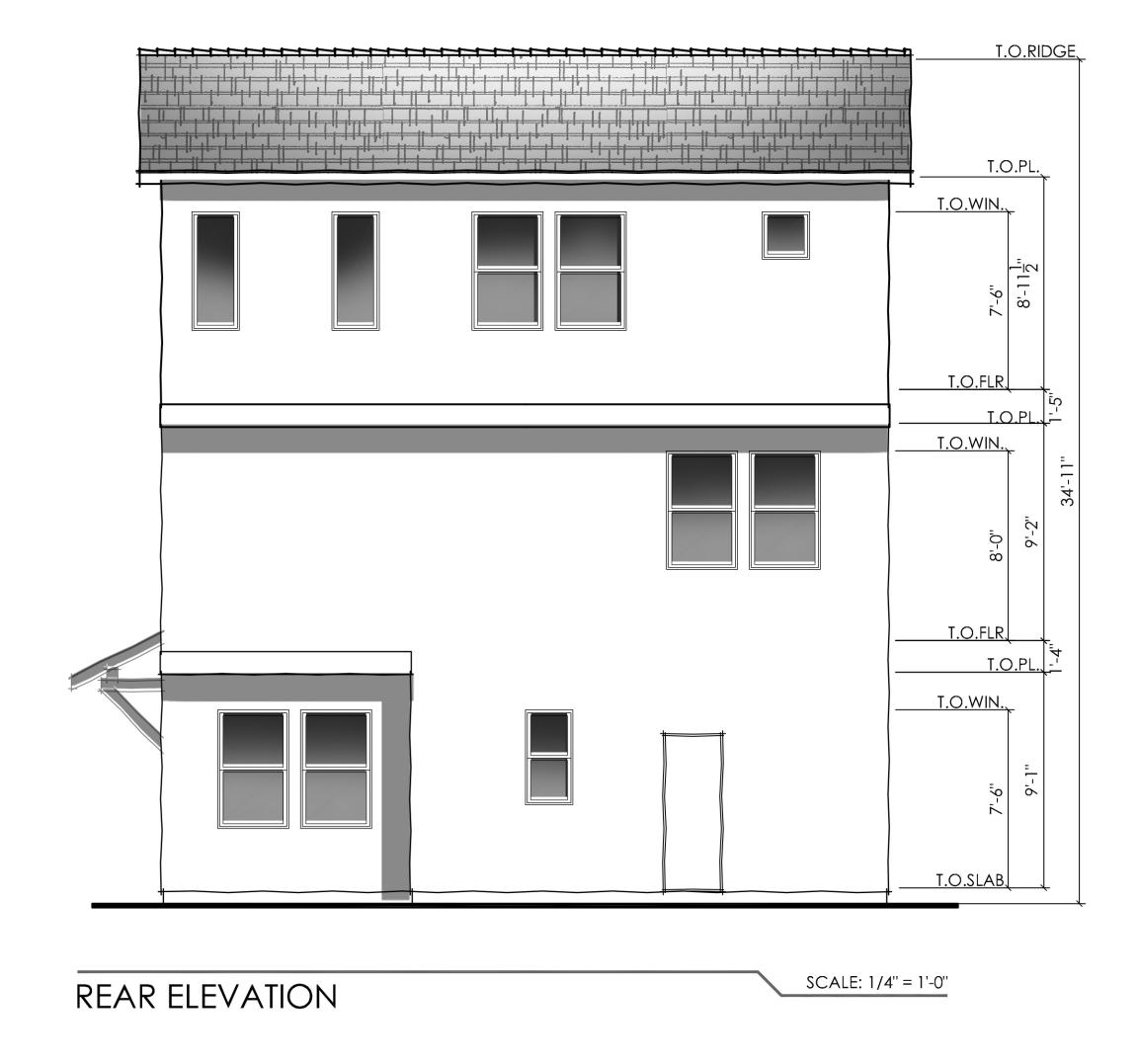


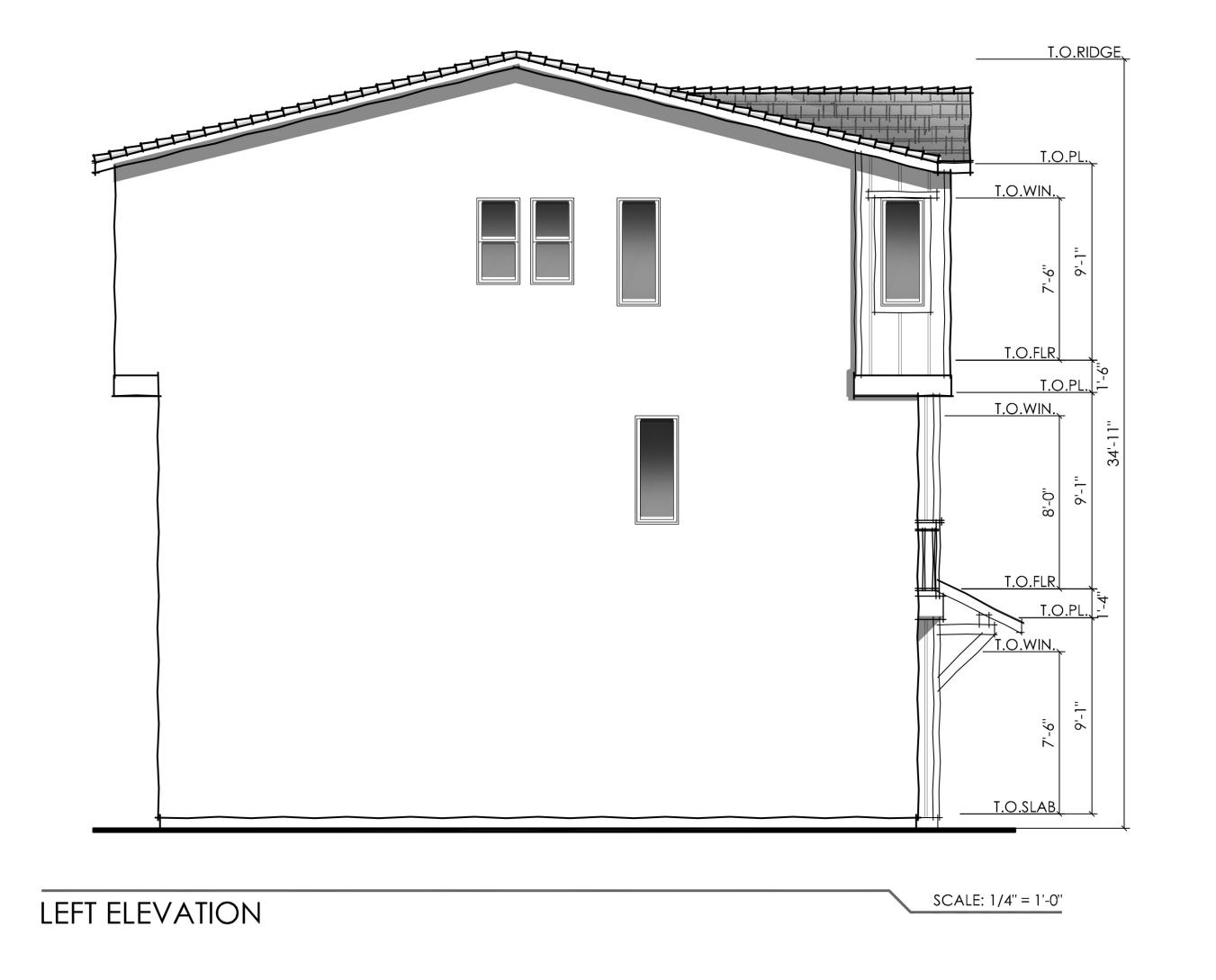
PREPARED BY:	
NAME: WOODLEY ARCHITECTURAL GROUP	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553-8919	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02:08/29/2018
	REVISION 01:04/26/2018
	ORIGINAL DATE:02/12/2018
SHEET TITLE:	10
PLAN ONE 'B' SIDE & REAR ELEVATIONS	SHEET19
	 DEP #

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX





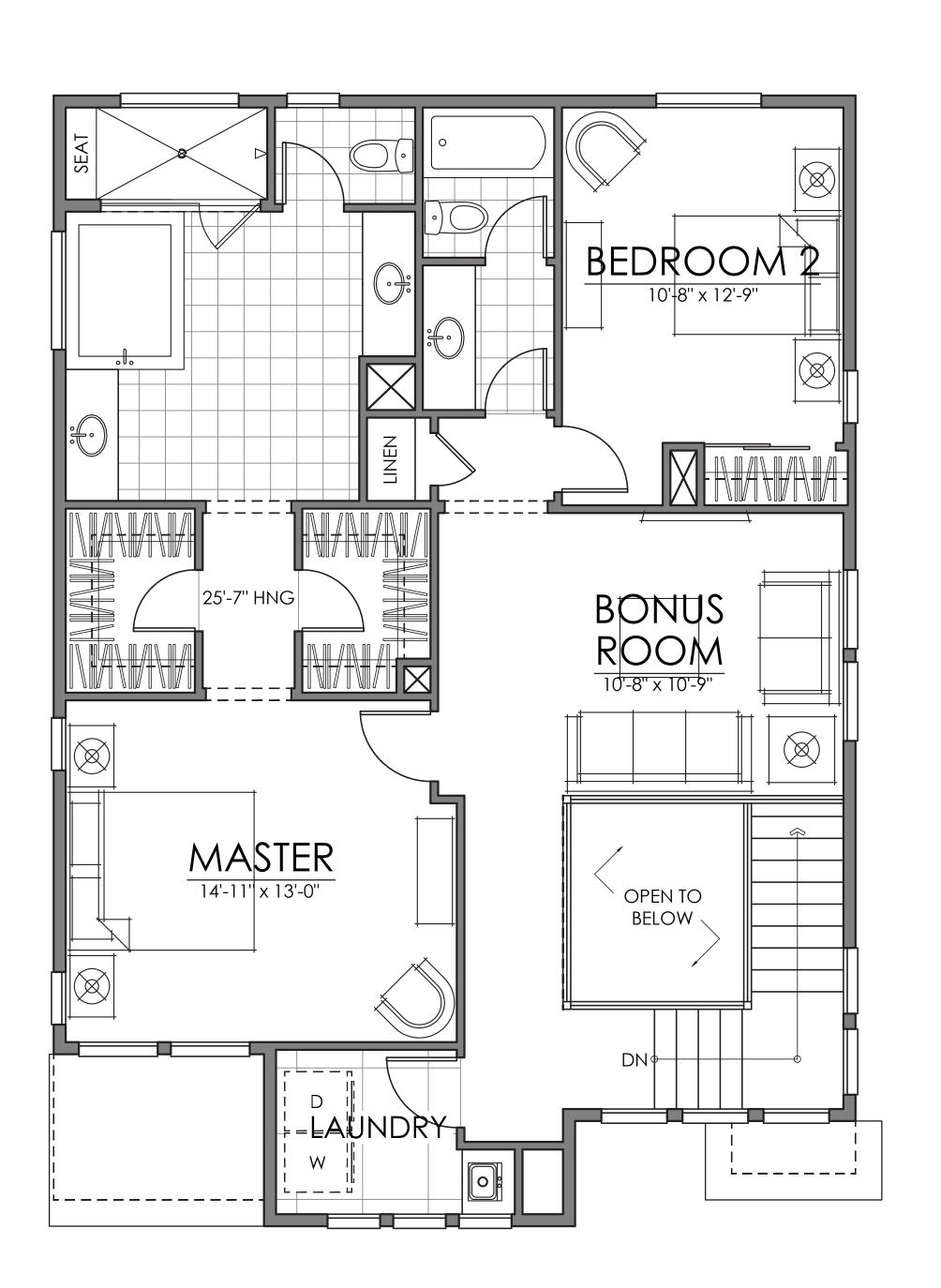


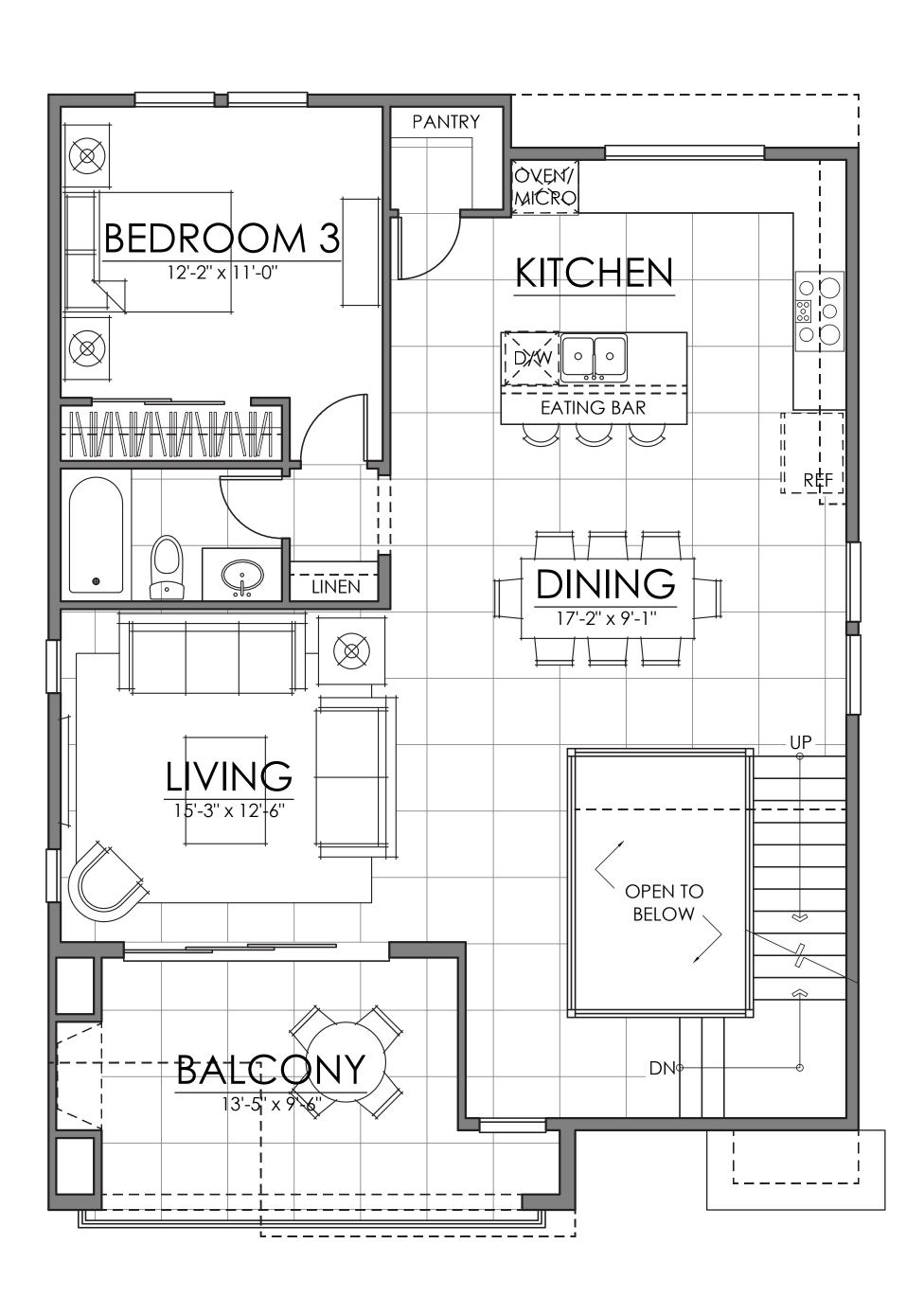


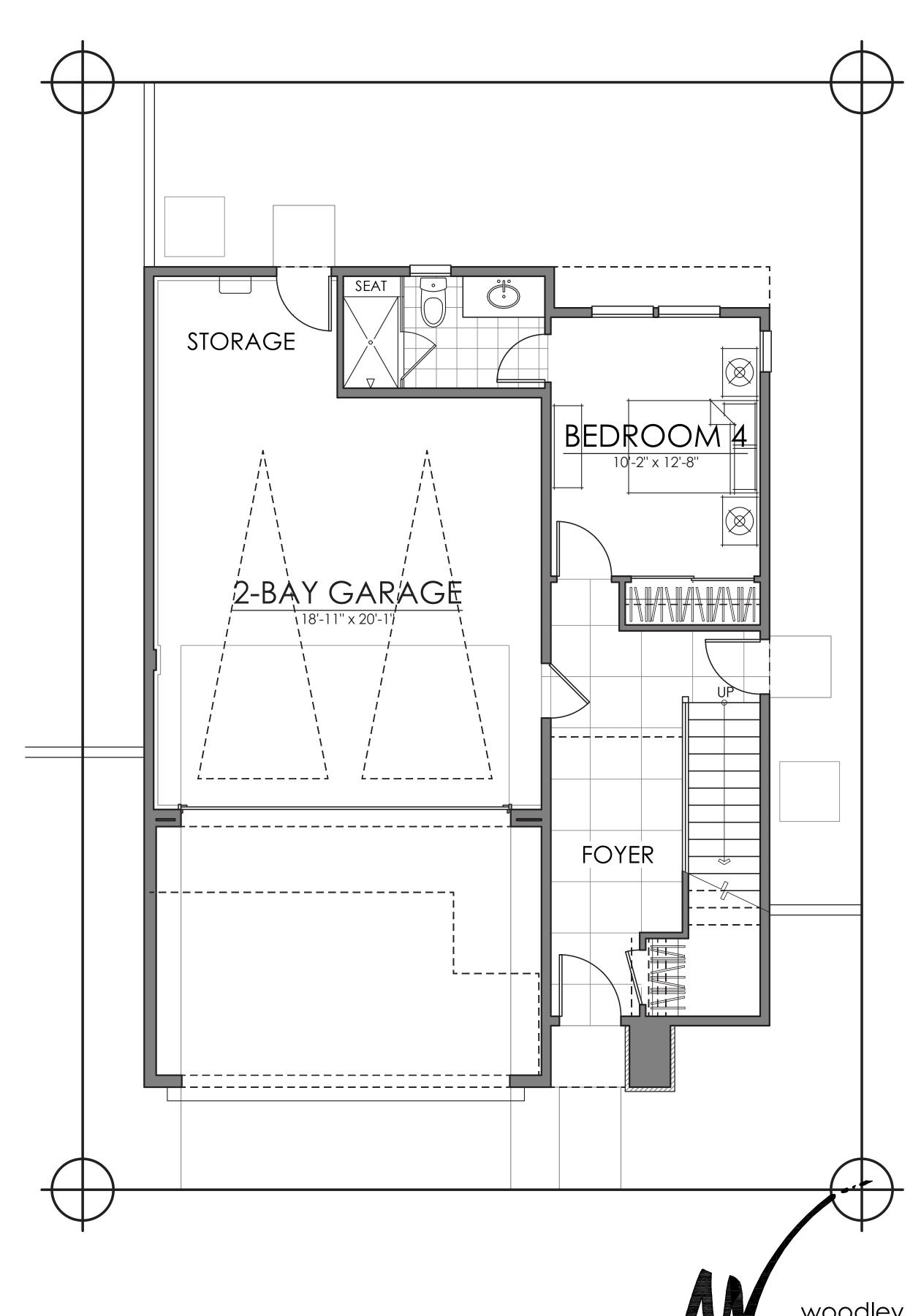


SHEET TITLE: PLAN ONE 'C' SIDE & REAR ELEVATIONS	SHEET	20	OF	39
	 ORIGINAL DATE:		02/12/2	2018
	REVISION 01:		04/26/2	2018
AVION	<i>REVISION 02:</i>		08/29/	
PROJECT NAME:	REVISION 03:			2019
	REVISION 04:		06/06/2	2019
	<i>REVISION 05:</i>			
SAN DIEGO, CALIFORNIA	<i>REVISION 06:</i>			
	<i>REVISION 07:</i>			
PROJECT ADDRESS:	REVISION 08:			
	REVISION 09:			
PHONE #: (949) 553-8919	<i>REVISION 10:</i>			
SANTA ANA, CALIFORNIA 92705	REVISION 11:			
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:			
	<i>REVISION 13:</i>			
PREPARED BY: NAME:WOODLEY ARCHITECTURAL GROUP	REVISION 14:			

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX







ADDRESS: 2943 PULLMAN ST, SUITE A SANTA ANA, CALIFORNIA 92705	REVISION 12: REVISION 11:
PHONE #: (949) 553-8919	
,	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02:08/29/2018
	REVISION 01: 04/26/2018
	ORIGINAL DATE:02/12/2018
SHEET TITLE:	
LOOR PLAN TWO	SHEET21

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX



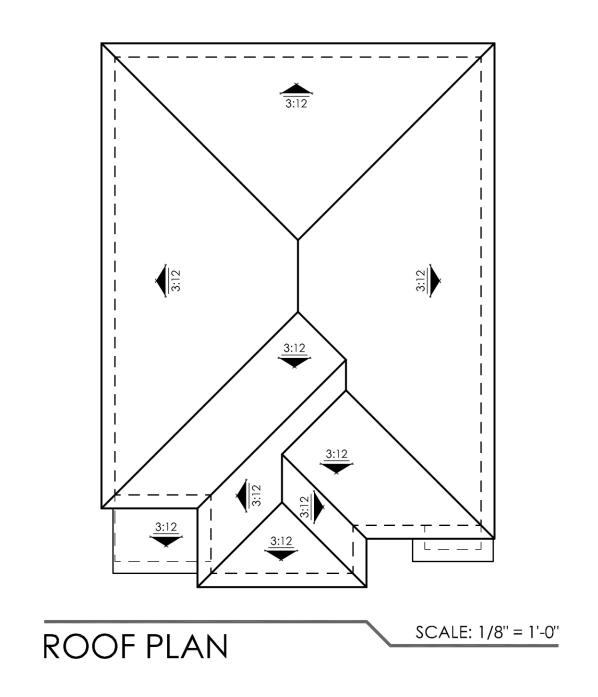


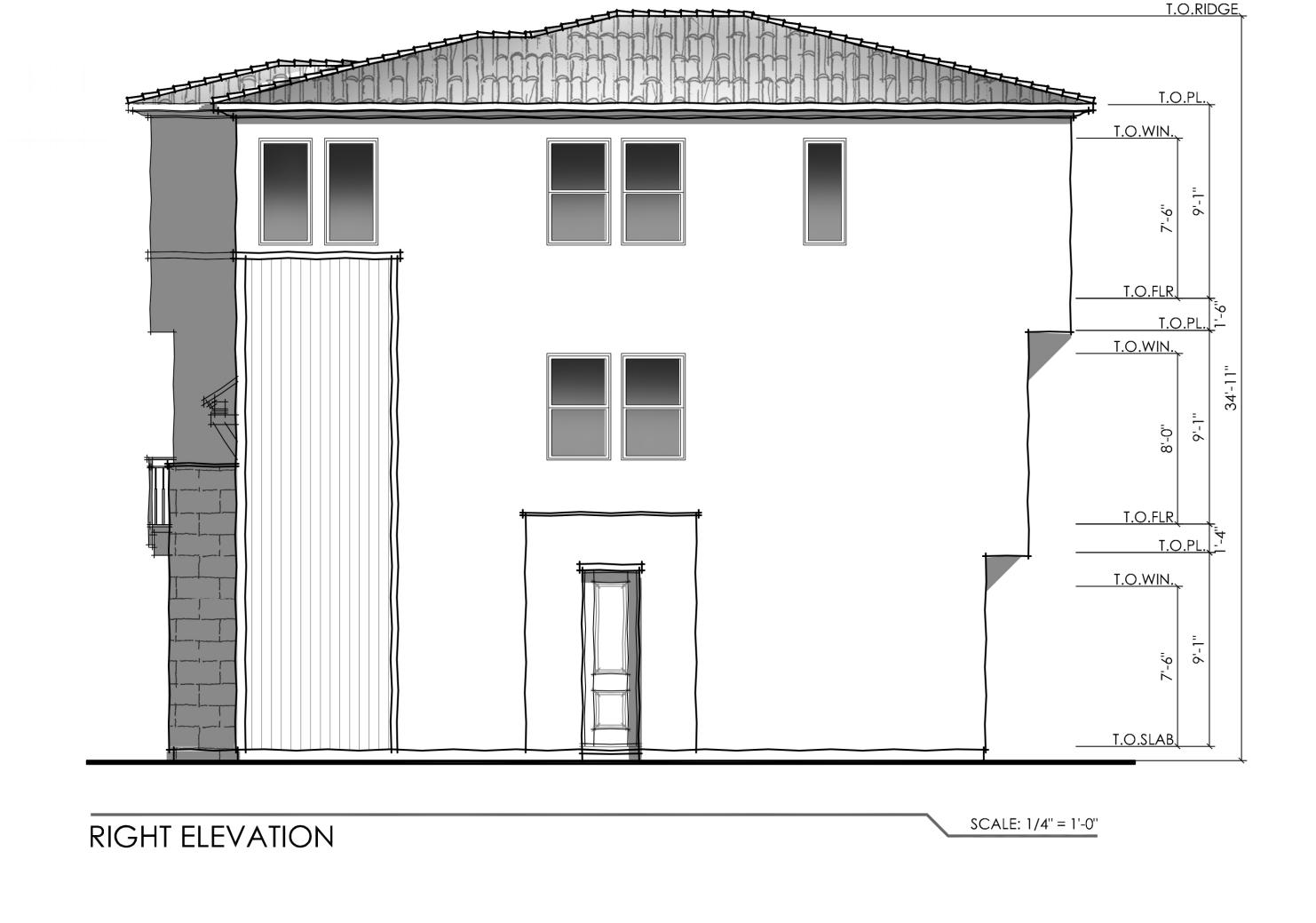


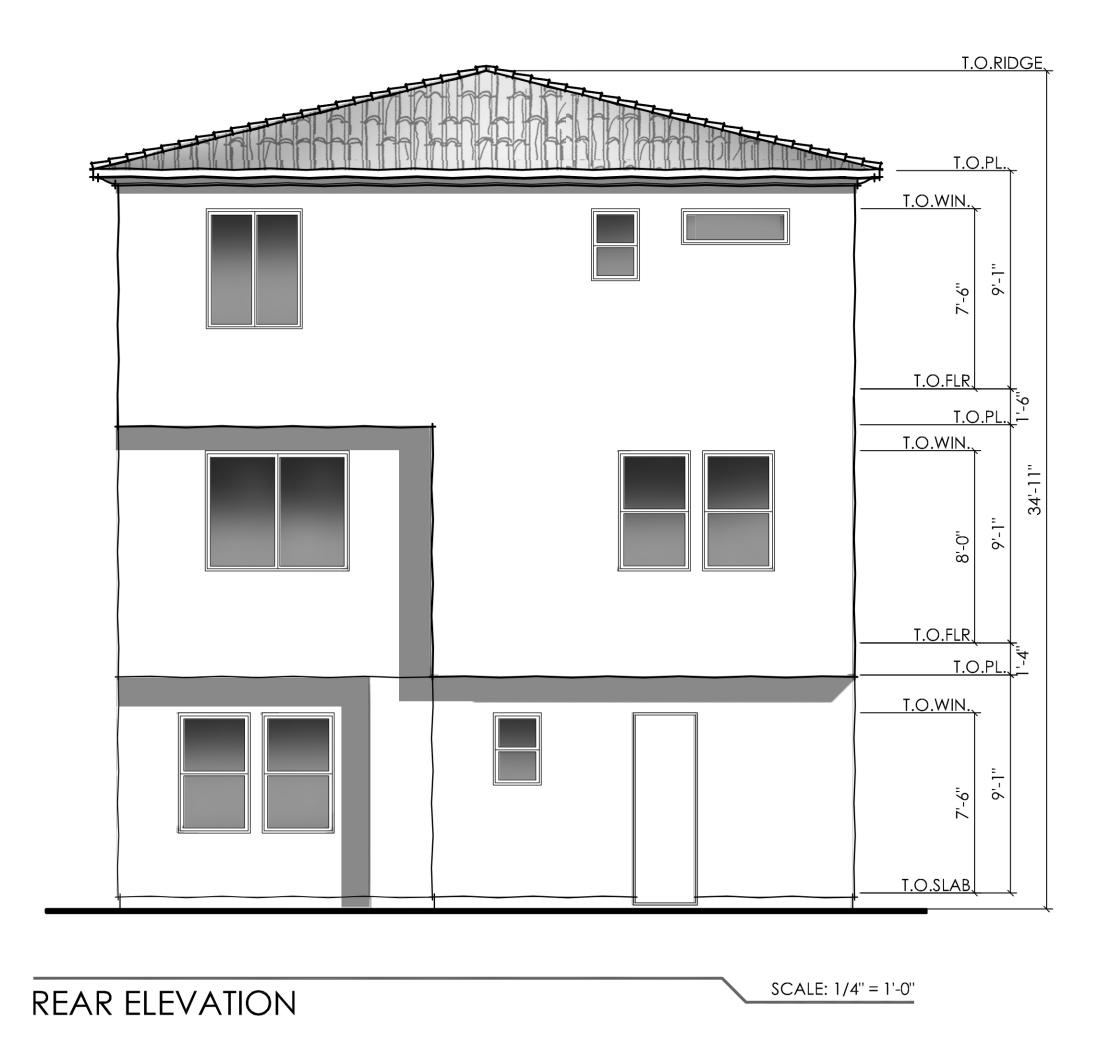


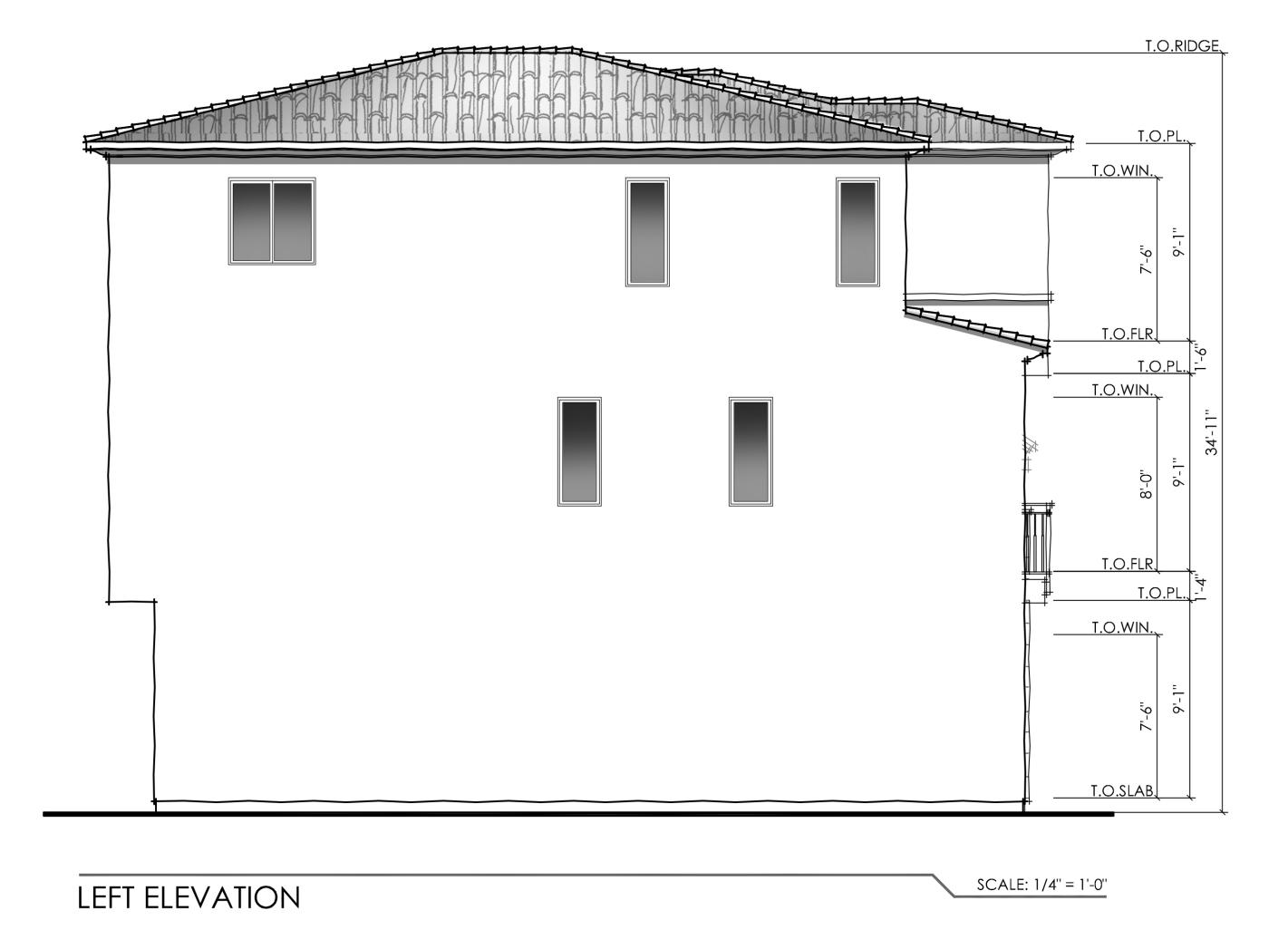
NAME: <u>WOODLEY ARCHITECTURAL GROUP</u>		
	<i>REVISION 13:</i>	
ADDRESS: 2943 PULLMAN ST, SUITE A	<i>REVISION 12:</i>	
SANTA ANA, CALIFORNIA 92705	<i>REVISION 11:</i>	
PHONE #: (949) 553-8919	REVISION 10:	
	REVISION 09:	
PROJECT ADDRESS:	REVISION 08:	
	<i>REVISION 07:</i>	
SAN DIEGO, CALIFORNIA	<i>REVISION 06:</i>	
	<i>REVISION 05:</i>	
	REVISION 04:	06/06/2019
PROJECT NAME:	REVISION 03:	04/24/2019
AVION	REVISION 02:	08/29/2018
	REVISION 01:	04/26/2018
	 ORIGINAL DATE:	02/12/2018
SHEET TITLE:		
PLAN TWO	SHEET22	2 of 39

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX





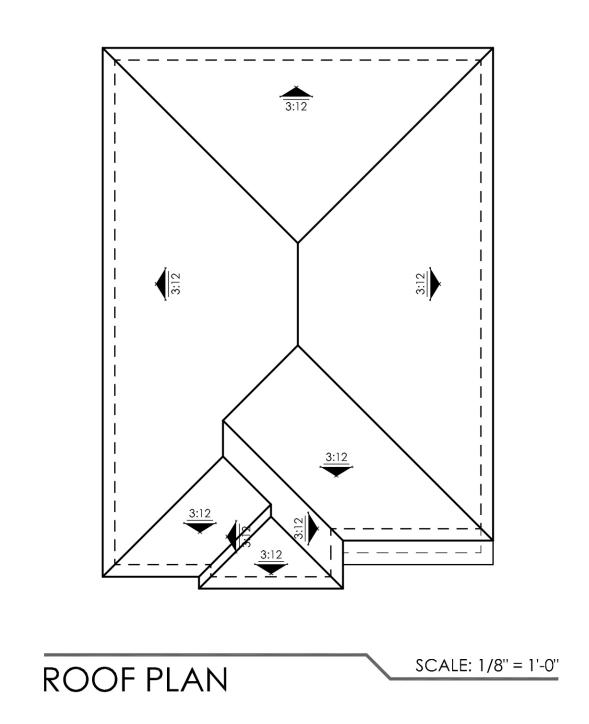


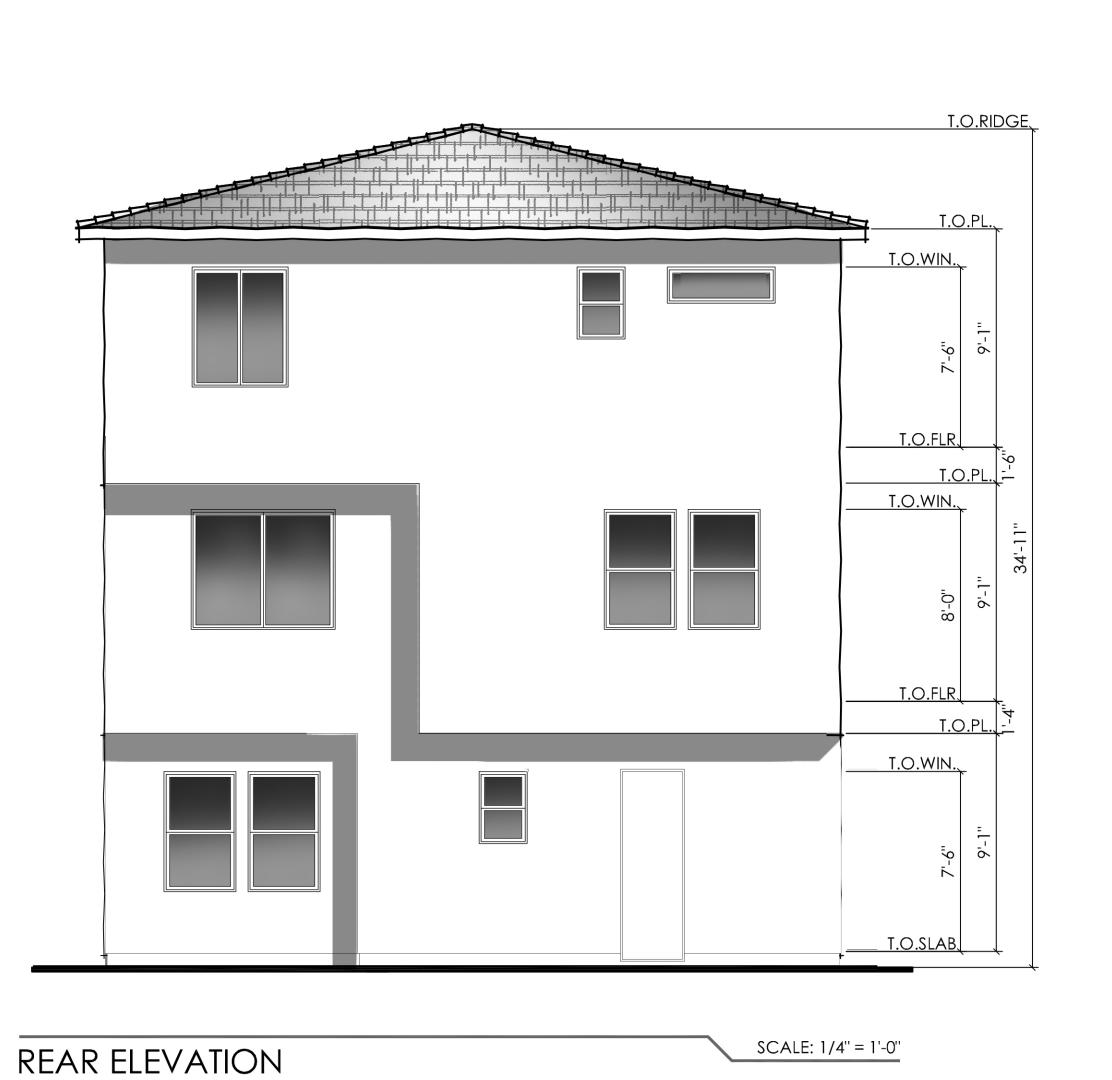


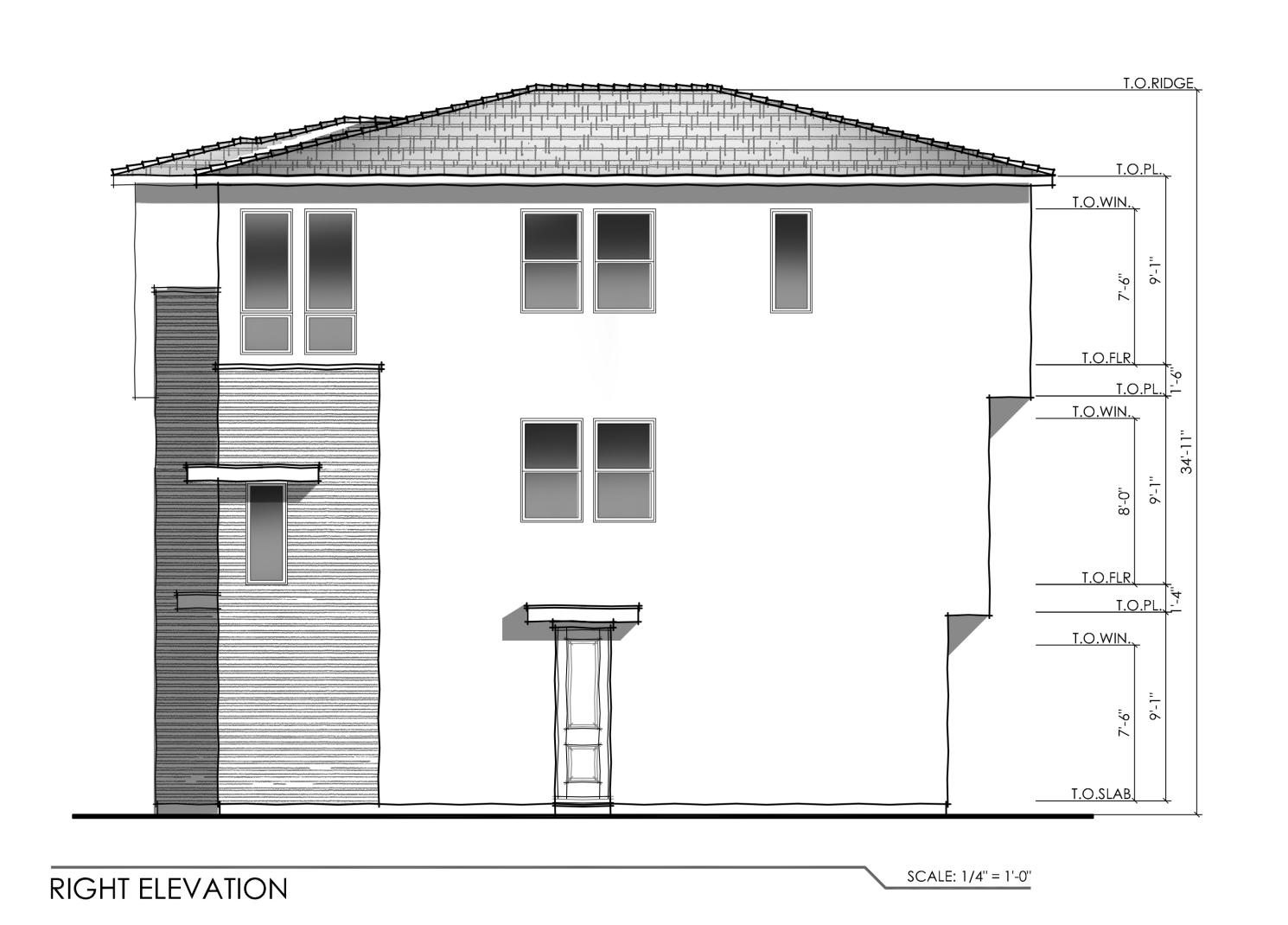


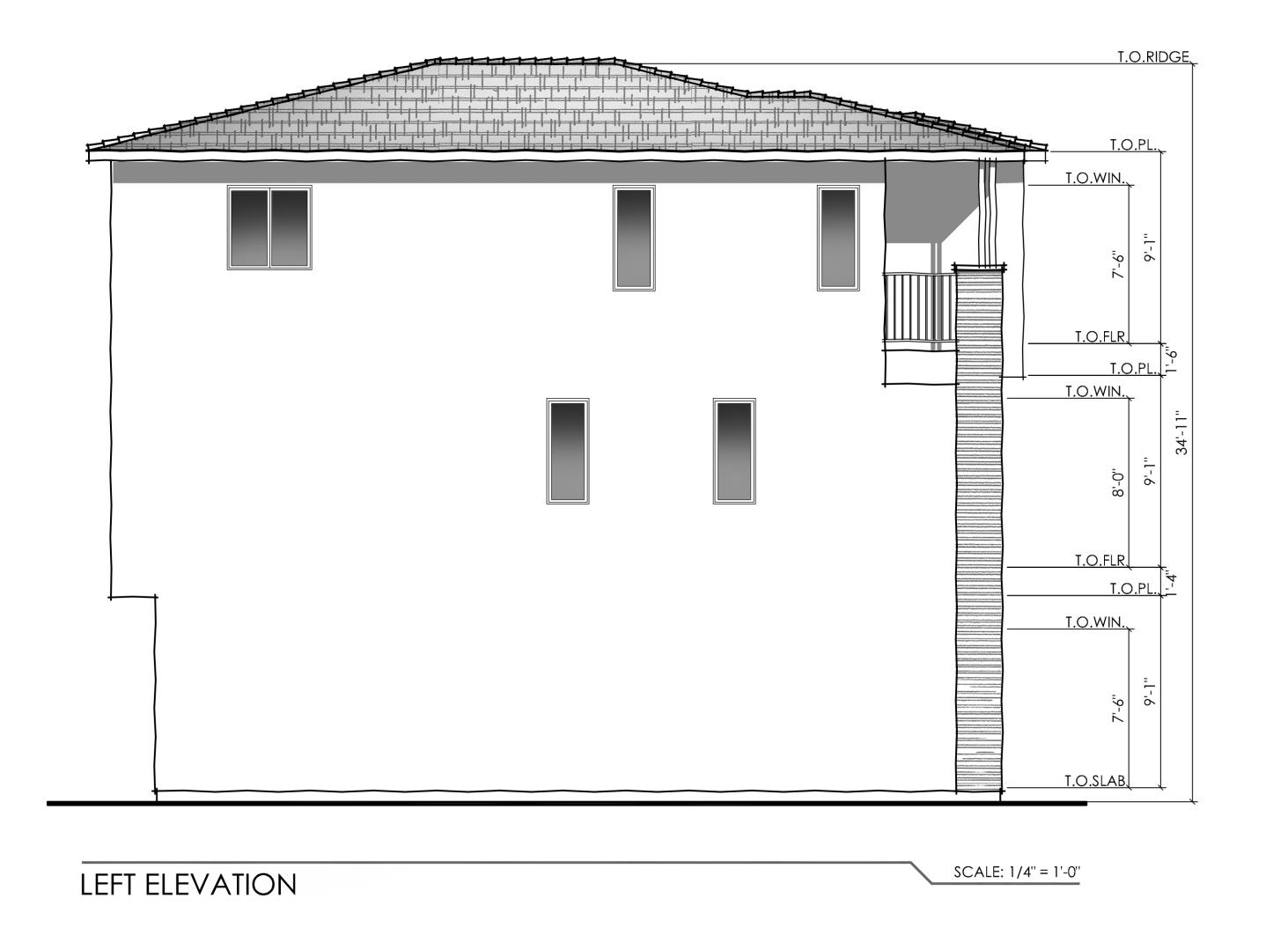
NAME:WOODLEY ARCHITECTURAL GROUP	REVISION 14:	
	REVISION 13:	
ADDRESS: 2943 PULLMAN ST, SUITE A		
SANTA ANA, CALIFORNIA 92705		
PHONE #: (949) 553-8919	REVISION 10:	
<i>"</i>	REVISION 09:	
PROJECT ADDRESS:	REVISION 08:	
	<i>REVISION 07:</i>	
SAN DIEGO, CALIFORNIA	<i>REVISION 06:</i>	
	REVISION 05:	
	REVISION 04:	06/06/2019
PROJECT NAME:	REVISION 03:	04/24/2019
AVION	REVISION 02:	08/29/2018
	REVISION 01:	04/26/2018
	 ORIGINAL DATE:	02/12/2018
SHEET TITLE: LAN TWO 'A' DE & REAR ELEVATIONS	SHEET2	3 OF 39

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX





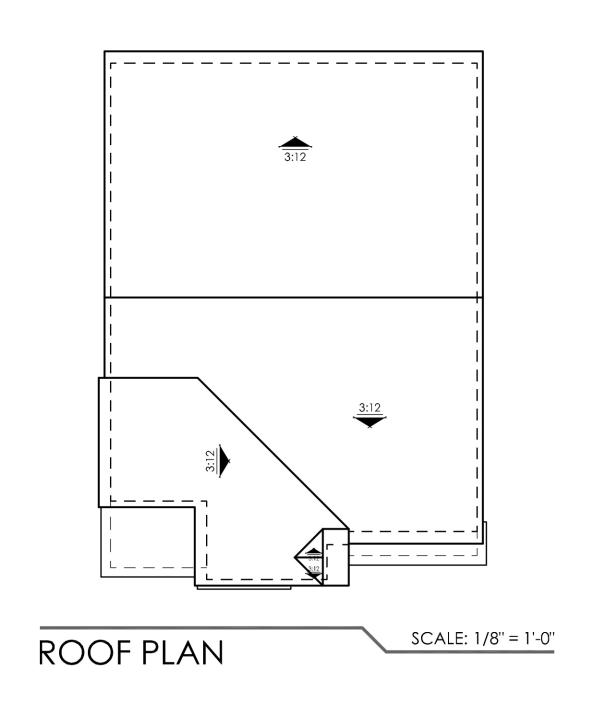


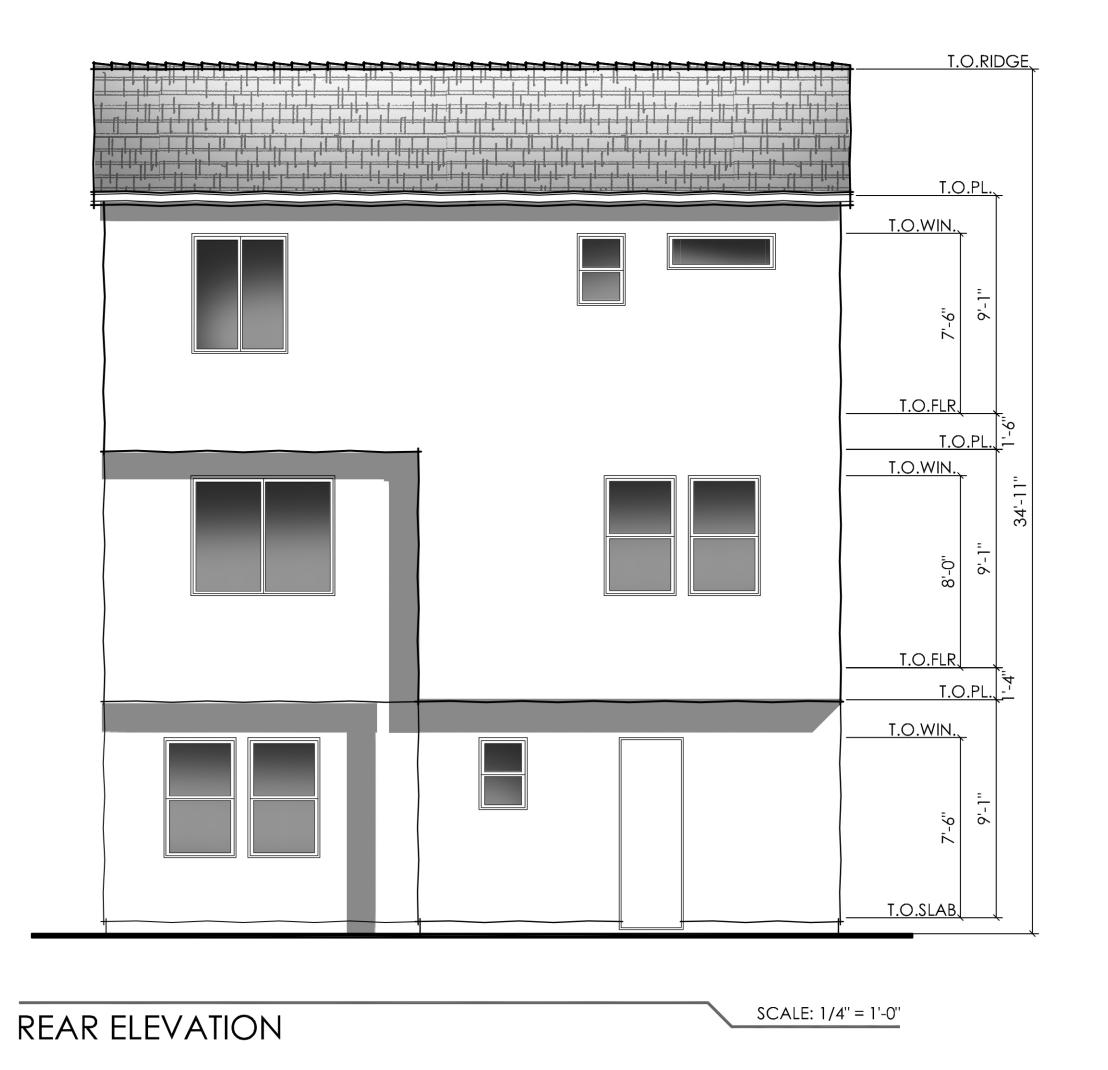


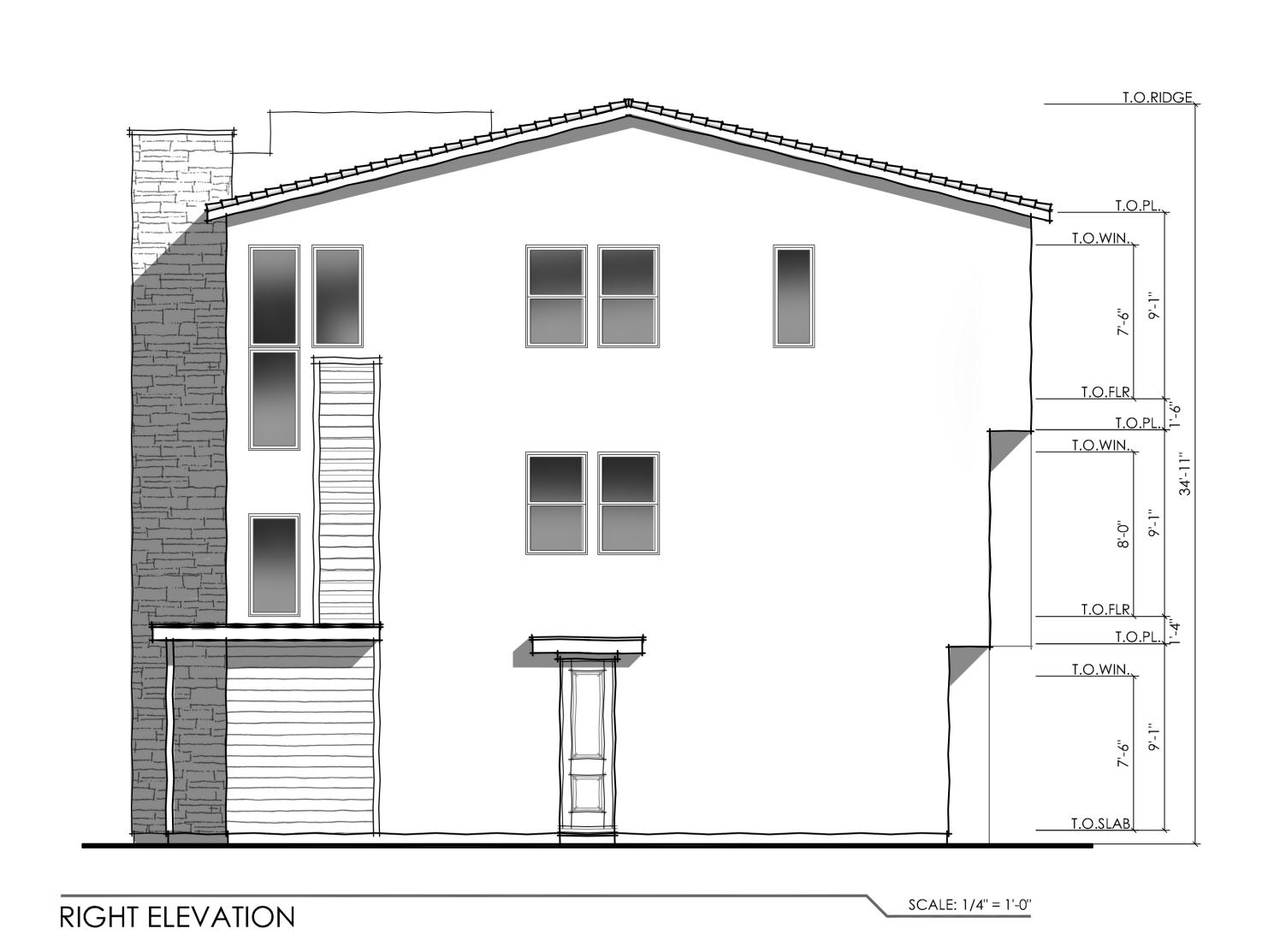


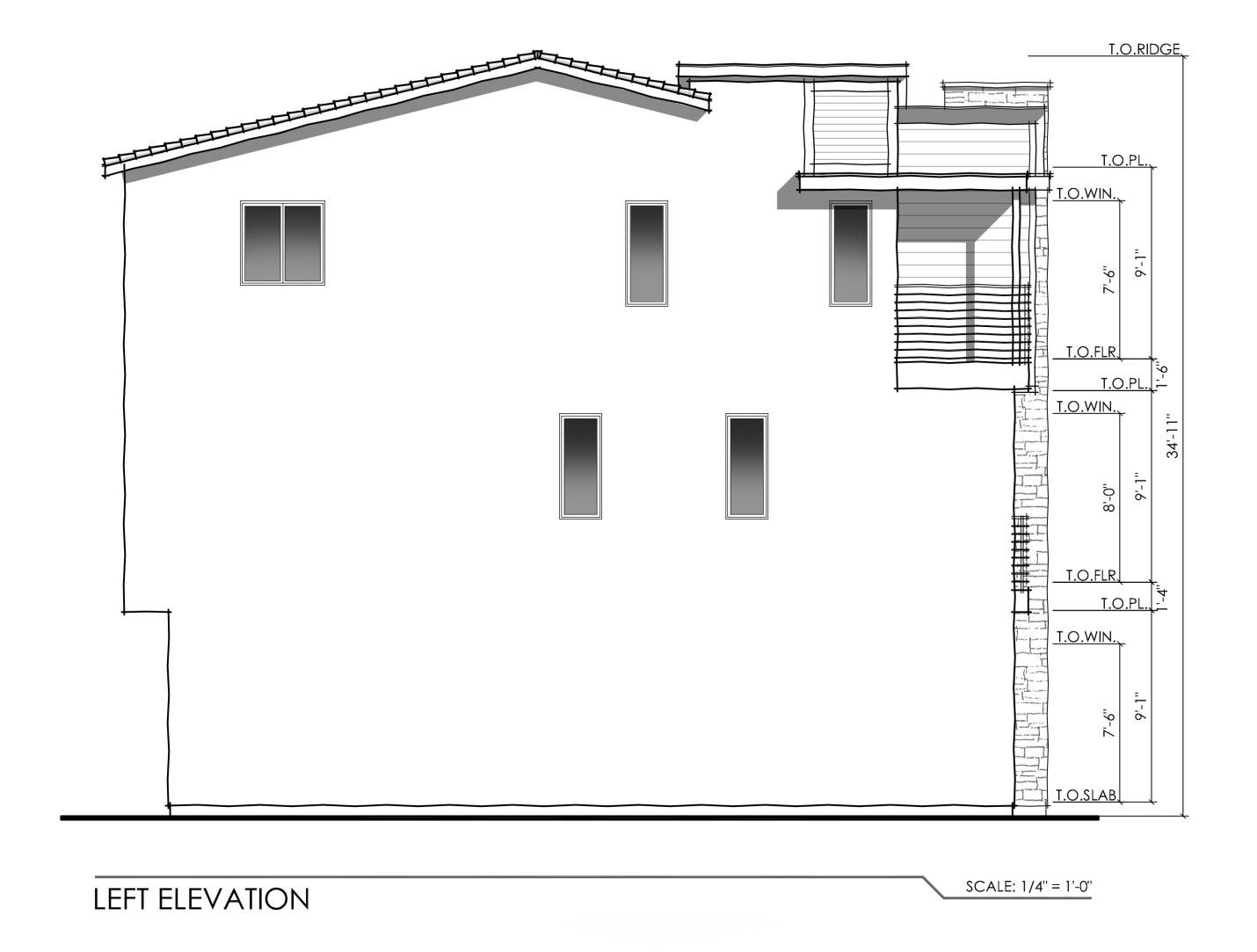
PREPARED BY: NAME: WOODLEY ARCHITECTURAL GROUP	DEL/ICION 44
NAME:WOODLEY ARCHITECTURAL GROUP	_ REVISION 14:
OOAZ DUULAAN CT CUITE A	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553-8919	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	
SHEET TITLE:	
PLAN TWO 'B'	_ SHEET <u>24</u> OF <u>39</u>
IDE & REAR ELEVATIONS	_
	DEP #

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX





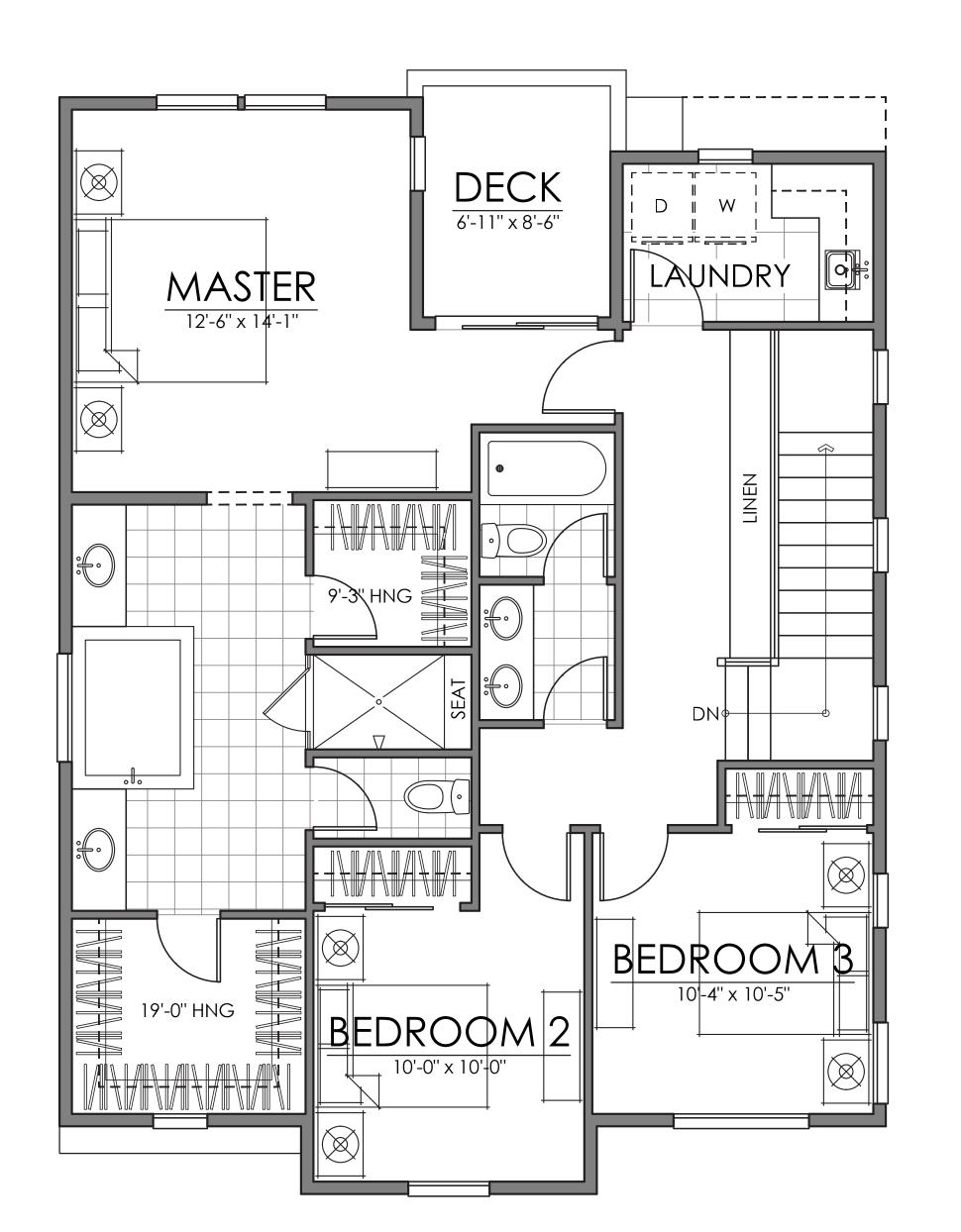


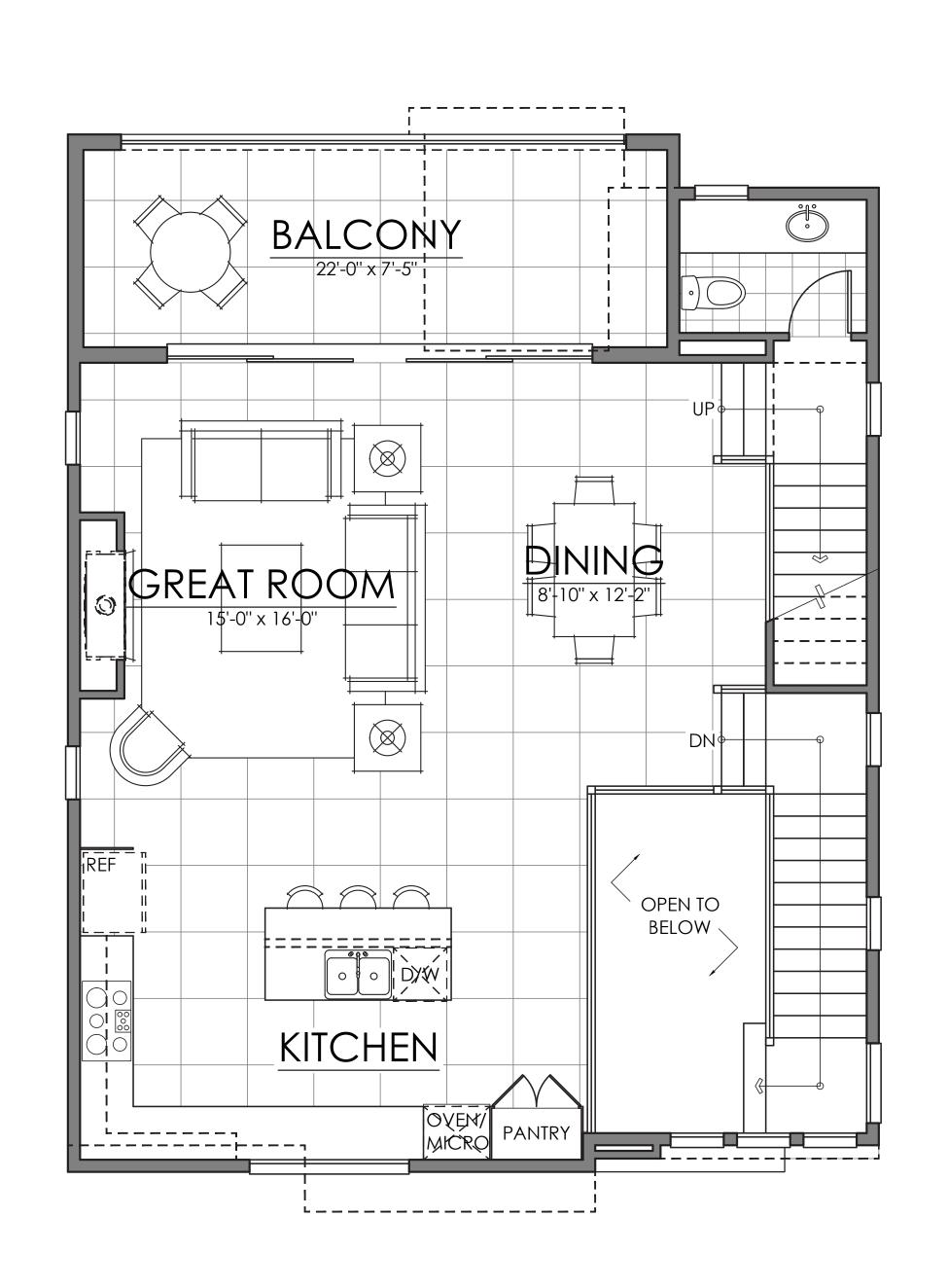


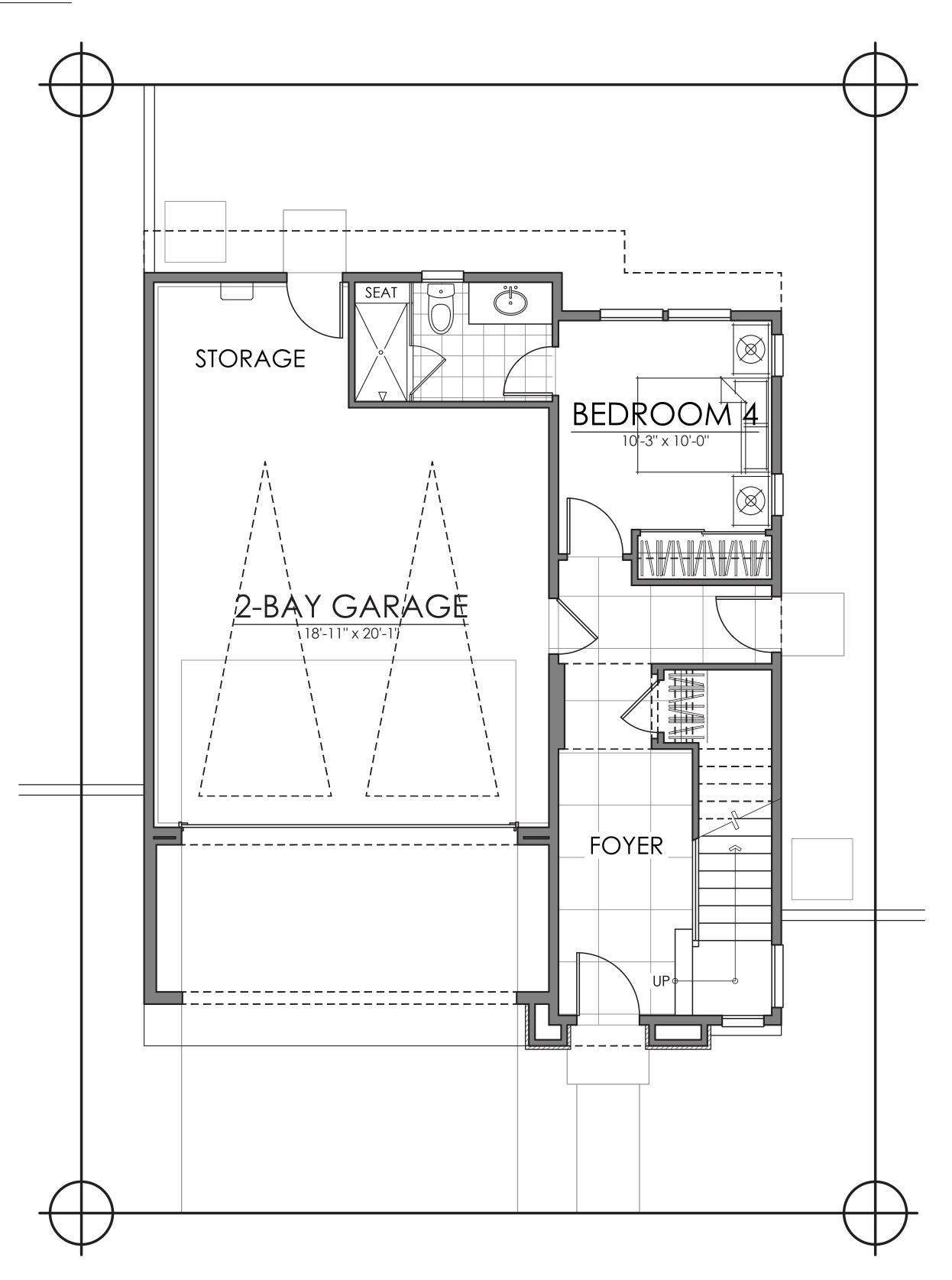


PREPARED BY:	
NAME: WOODLEY ARCHITECTURAL GROUP	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553-8919	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
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AVION	REVISION 02:08/29/2018
	REVISION 01: 04/26/2018
	ORIGINAL DATE:02/12/2018
SHEET TITLE:	
PLANTWO 'C'	SHEET250F39
IDE & REAR ELEVATIONS	<u></u>
	DEP #

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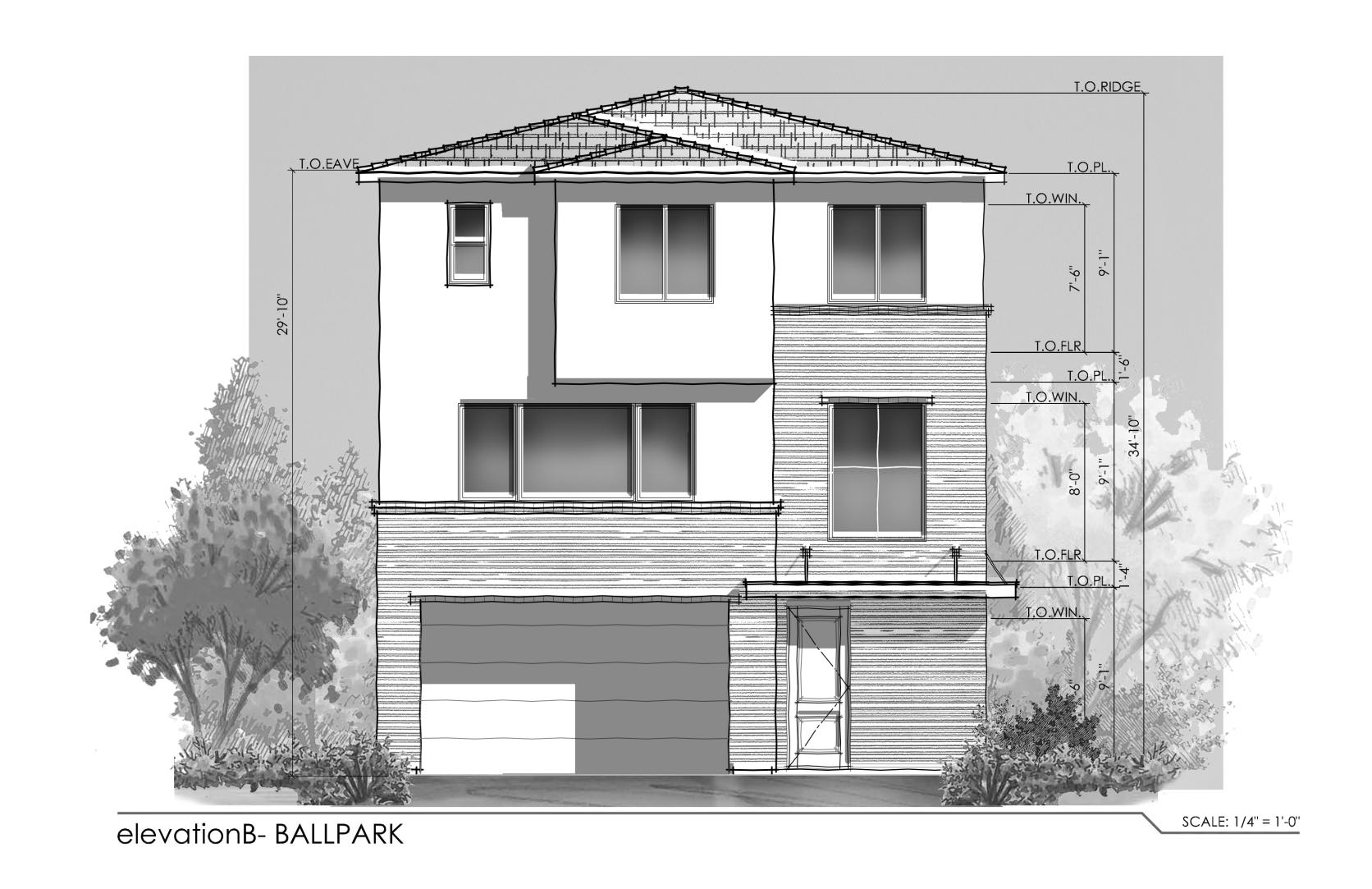




PREPARED BY: NAME: WOODLEY ARCHITECTURAL GROUP		
NAME: WOODELY THOUTHEOTOTAL GROOT	REVISION 14:	
00.47 DUNUMAN OF CHIEF A	REVISION 13:	
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:	_
SANTA ANA, CALIFORNIA 92705	REVISION 11:	_
PHONE #: (949) 553-8919	REVISION 10:	_
	REVISION 09:	_
PROJECT ADDRESS:	REVISION 08:	_
	REVISION 07:	_
SAN DIEGO, CALIFORNIA	REVISION 06:	_
	REVISION 05:	
	REVISION 04:06/06/2019	_
PROJECT NAME:	REVISION 03:04/24/2019	_
AVION	REVISION 02: 08/29/2018	_
	REVISION 01: 04/26/2018	_
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SHEET TITLE:		
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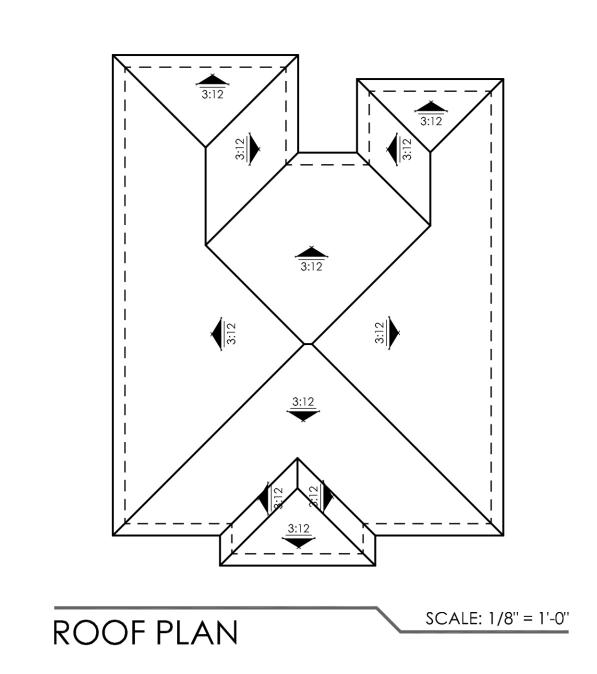
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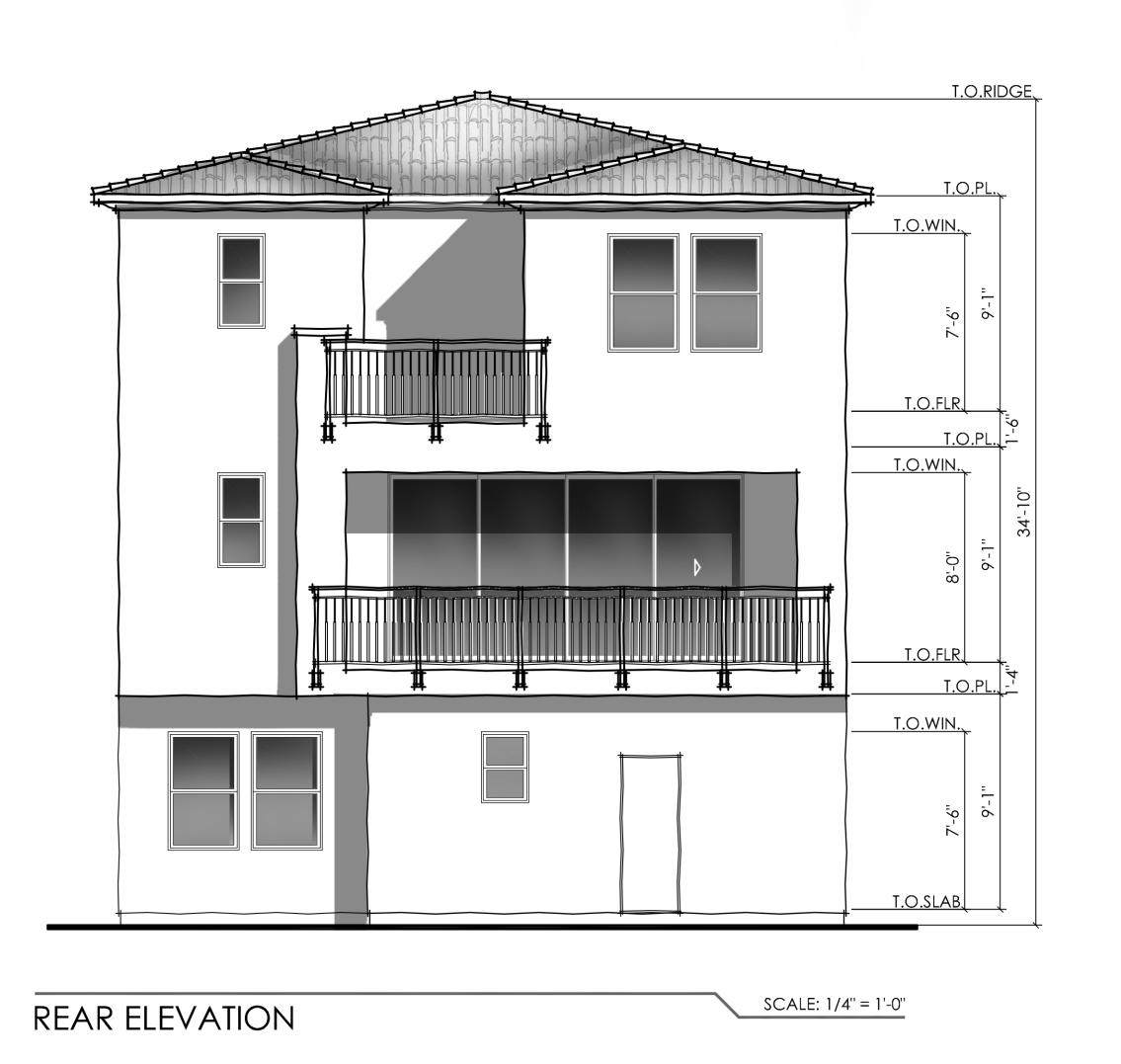
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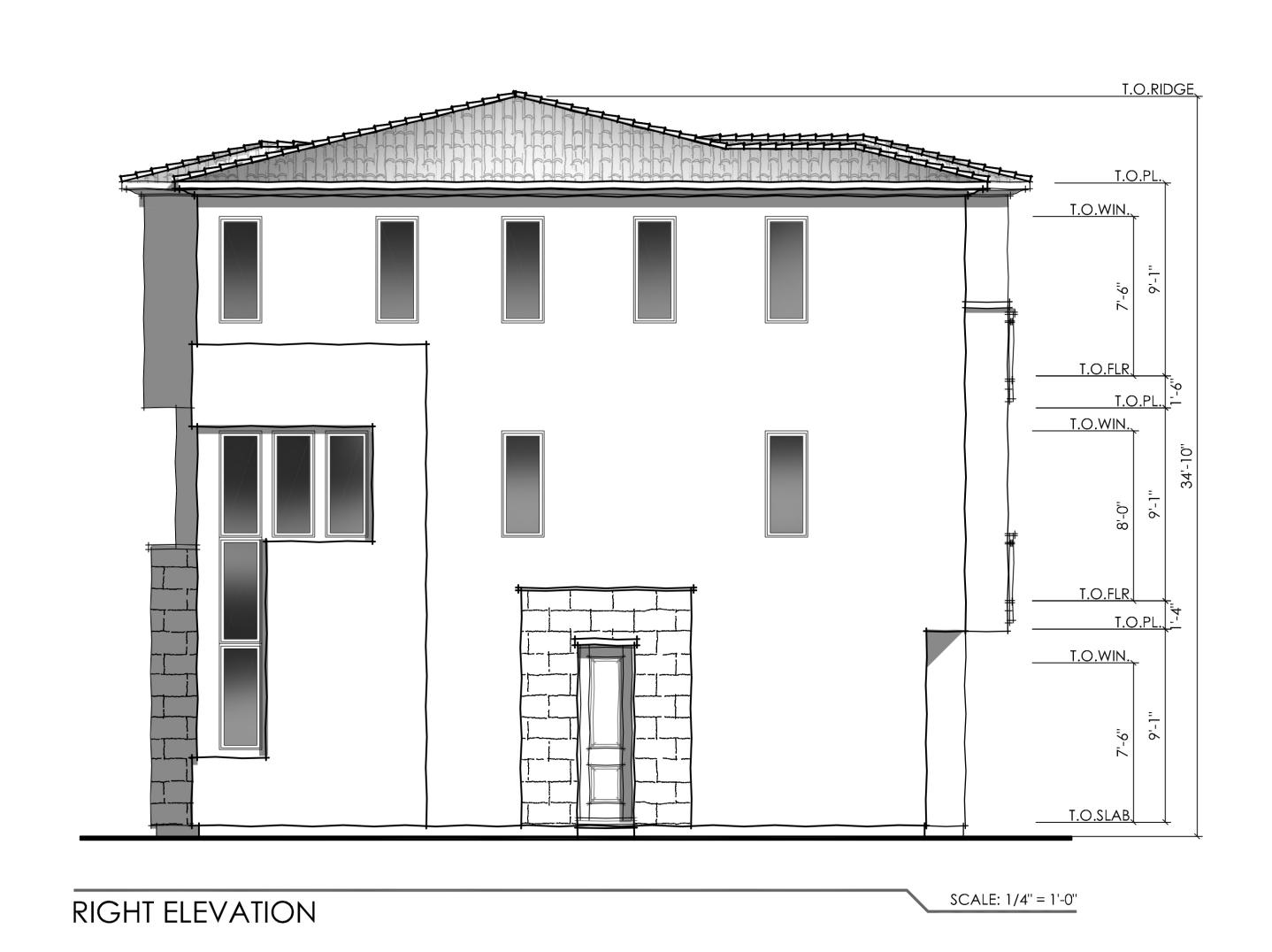


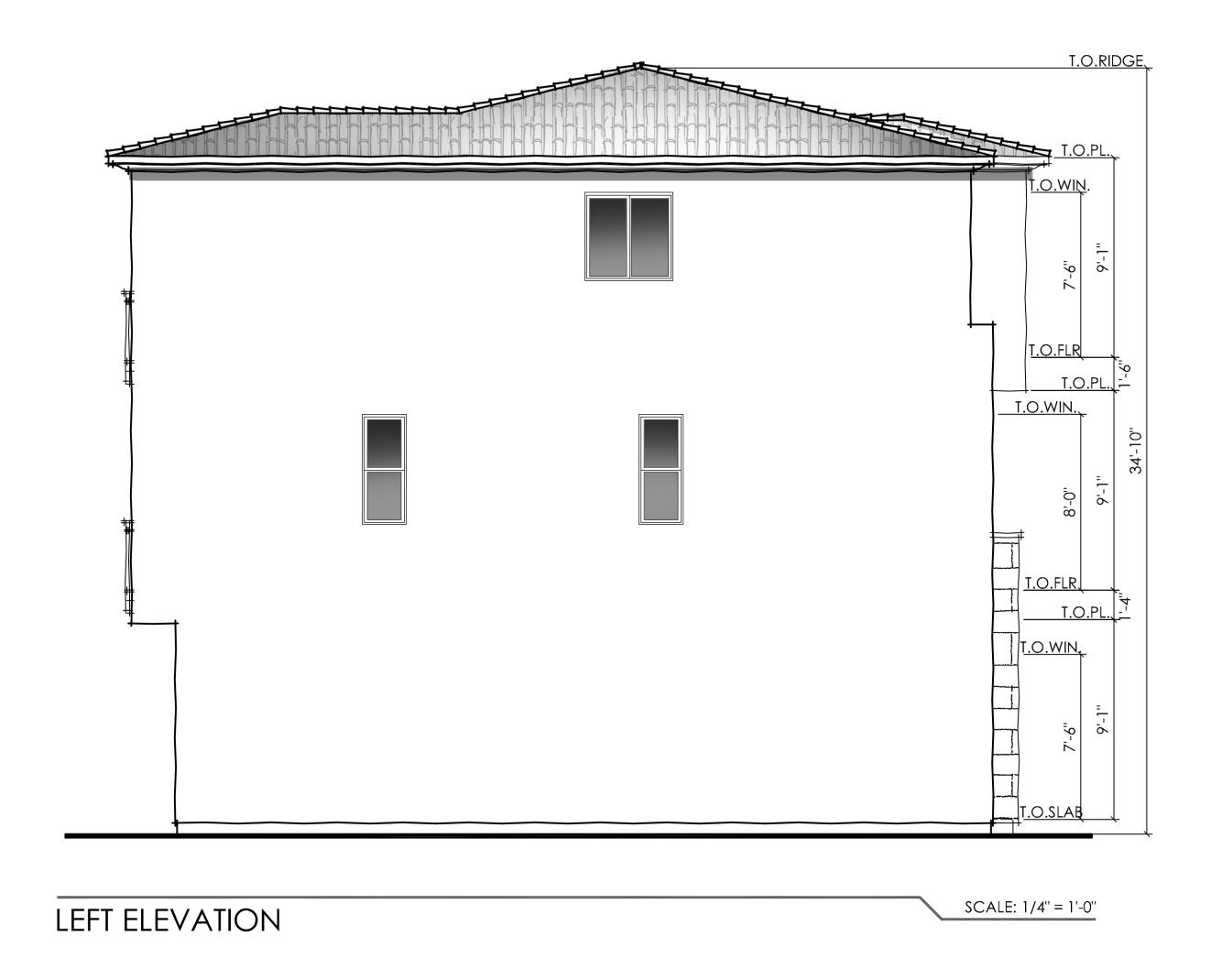
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ORIGINAL DATE:02/12/2018
REVISION 01:04/26/2018
REVISION 02:08/29/2018
REVISION 03:04/24/2019
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REVISION 05:
REVISION 06:
REVISION 07:
REVISION 08:
REVISION 09:
REVISION 10:
REVISION 11:
REVISION 12:
REVISION 13:
REVISION 14:

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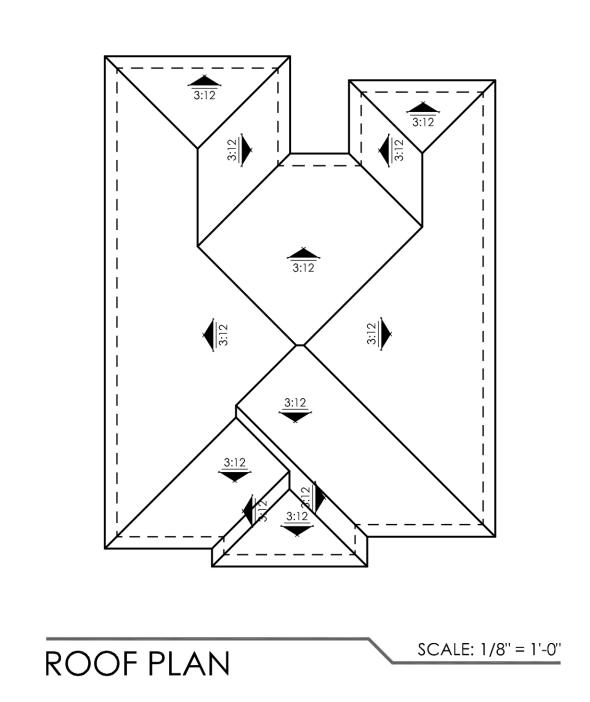


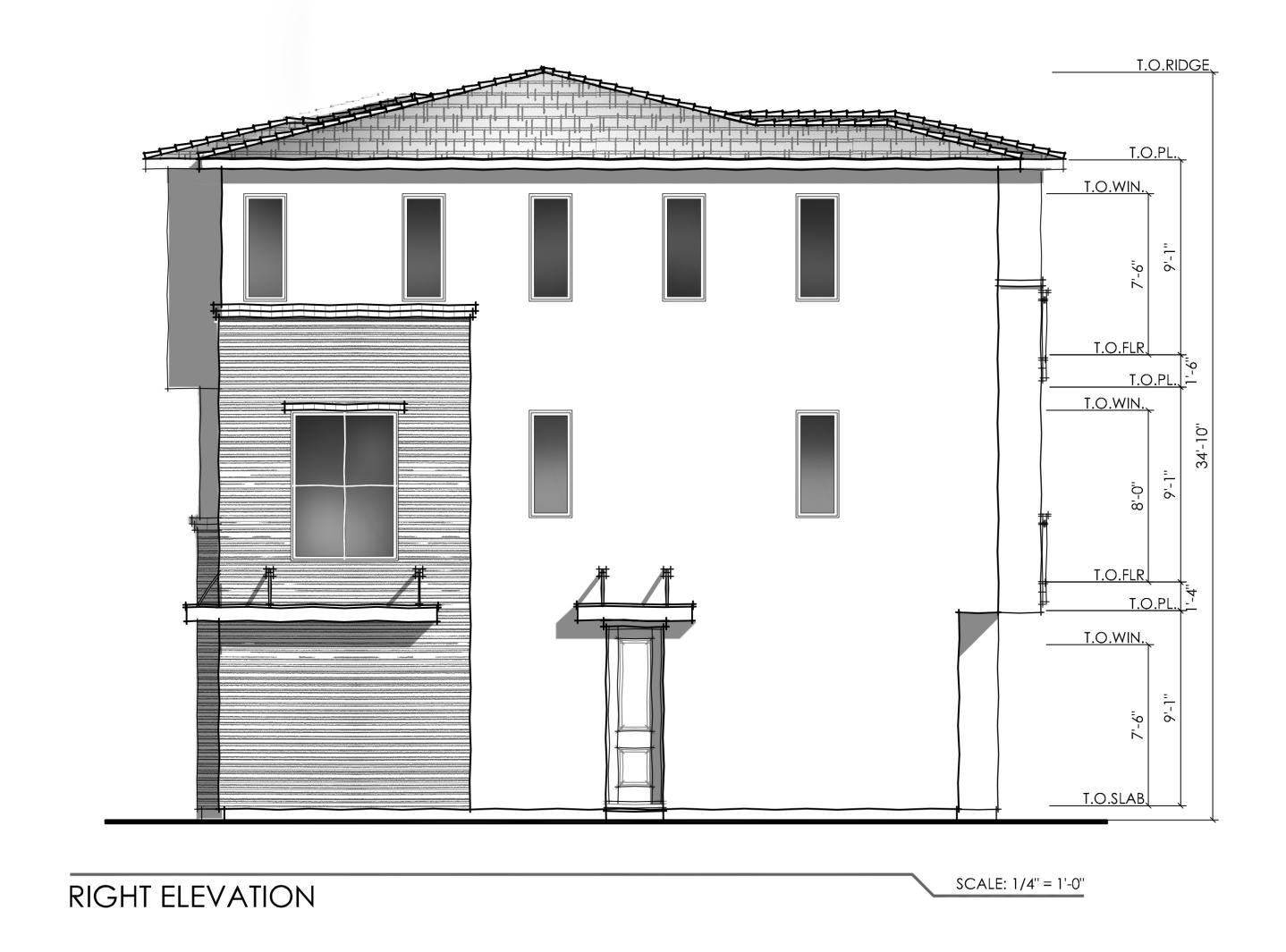


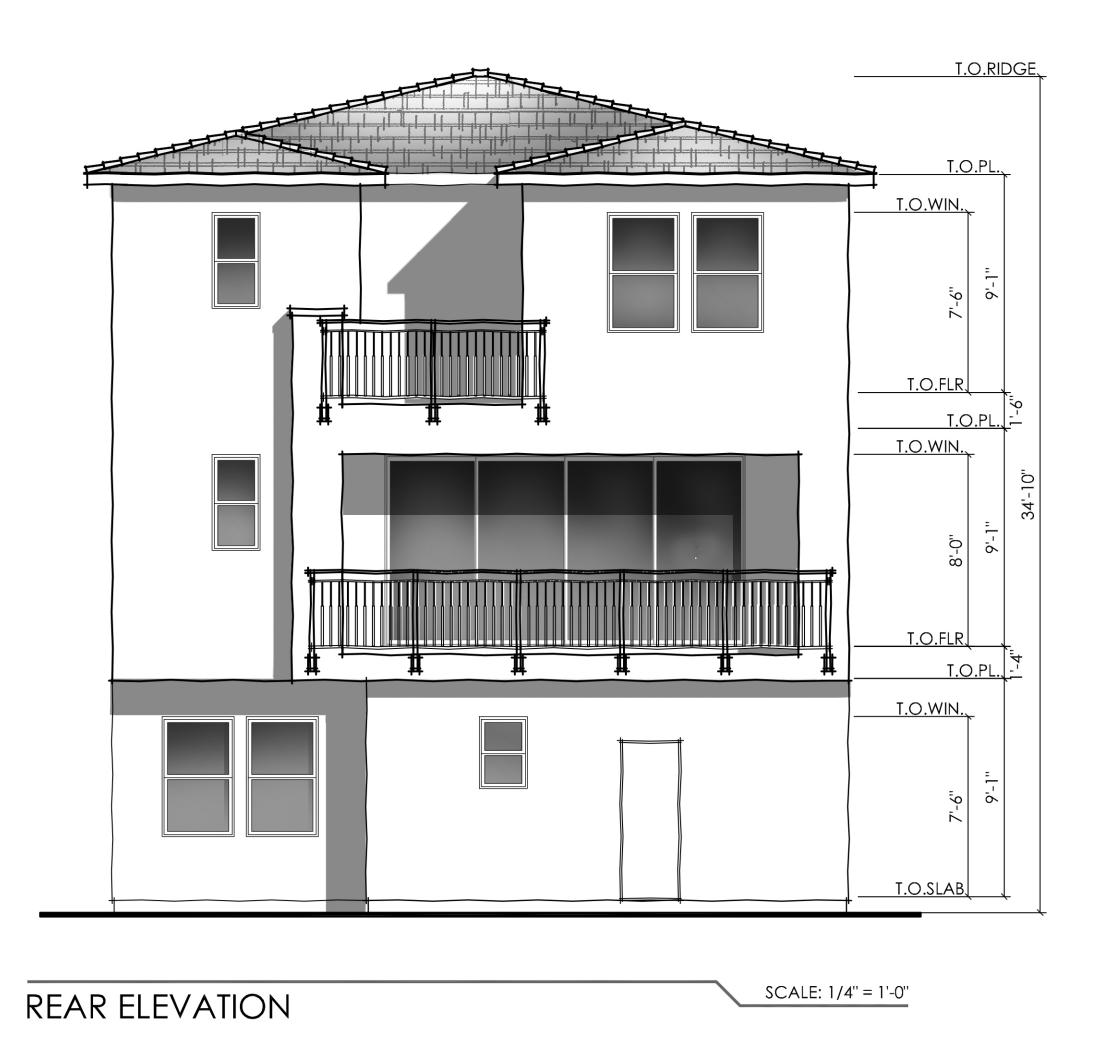


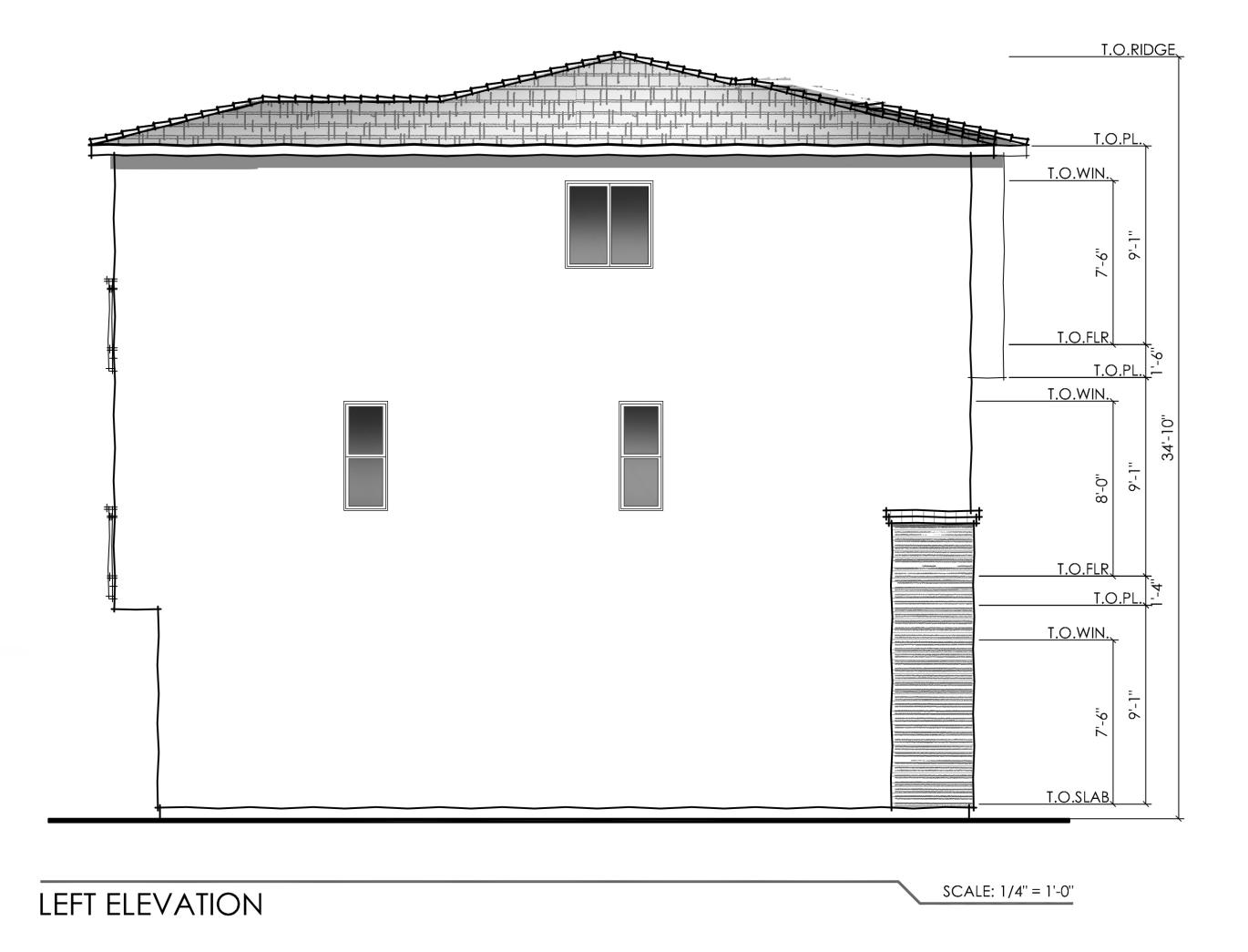
NAME: WOODLEY ARCHITECTURAL GROUP	REVISION 14:	
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 13:	
	REVISION 12:	
SANTA ANA, CALIFORNIA 92705	REVISION 11:	
PHONE #: (949) 553—8919	REVISION 10:	
	REVISION 09:	
PROJECT ADDRESS:	REVISION 08:	
	REVISION 07:	
SAN DIEGO, CALIFORNIA	REVISION 06:	
	<i>REVISION 05:</i>	
	REVISION 04:06/06/2019	
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AVION		
	ORIGINAL DATE:02/12/2018	
SHEET TITLE: PLAN THREE 'A' SIDE & REAR ELEVATIONS	SHEET280F39	
ODE & REAR ELL FARIOTIO	 DEP #	

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX







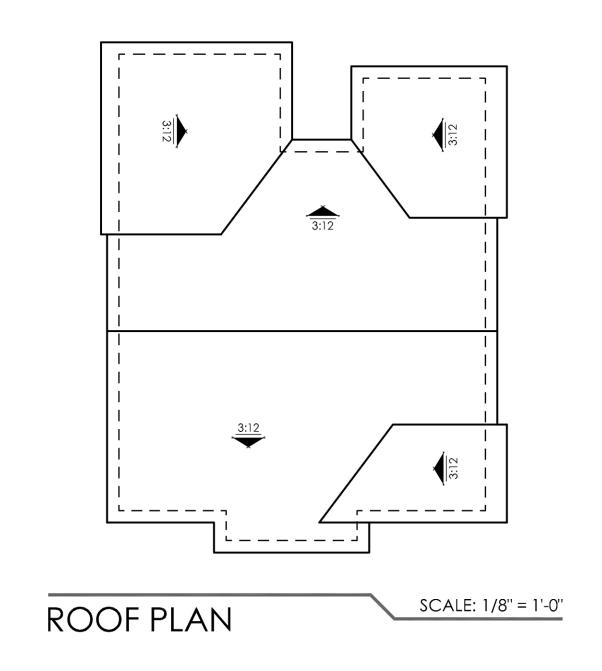


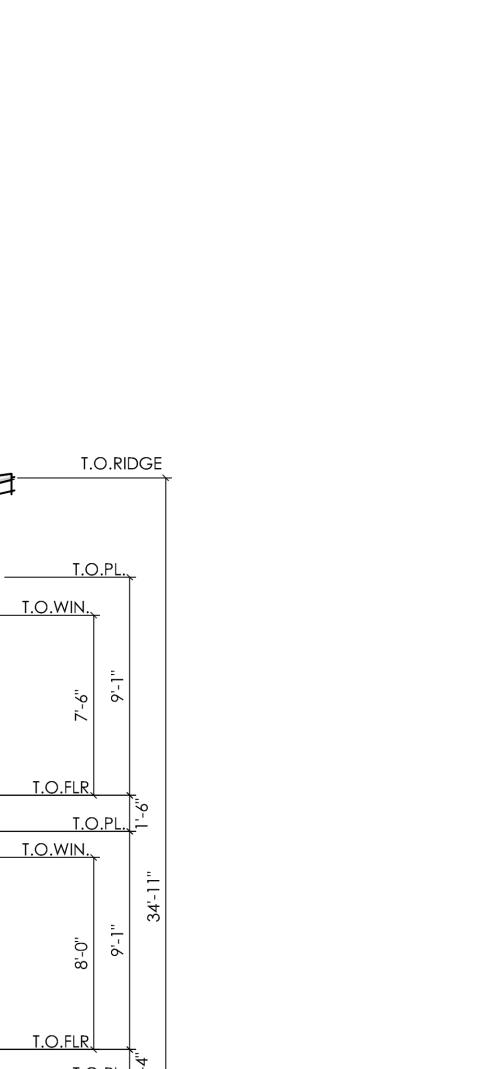


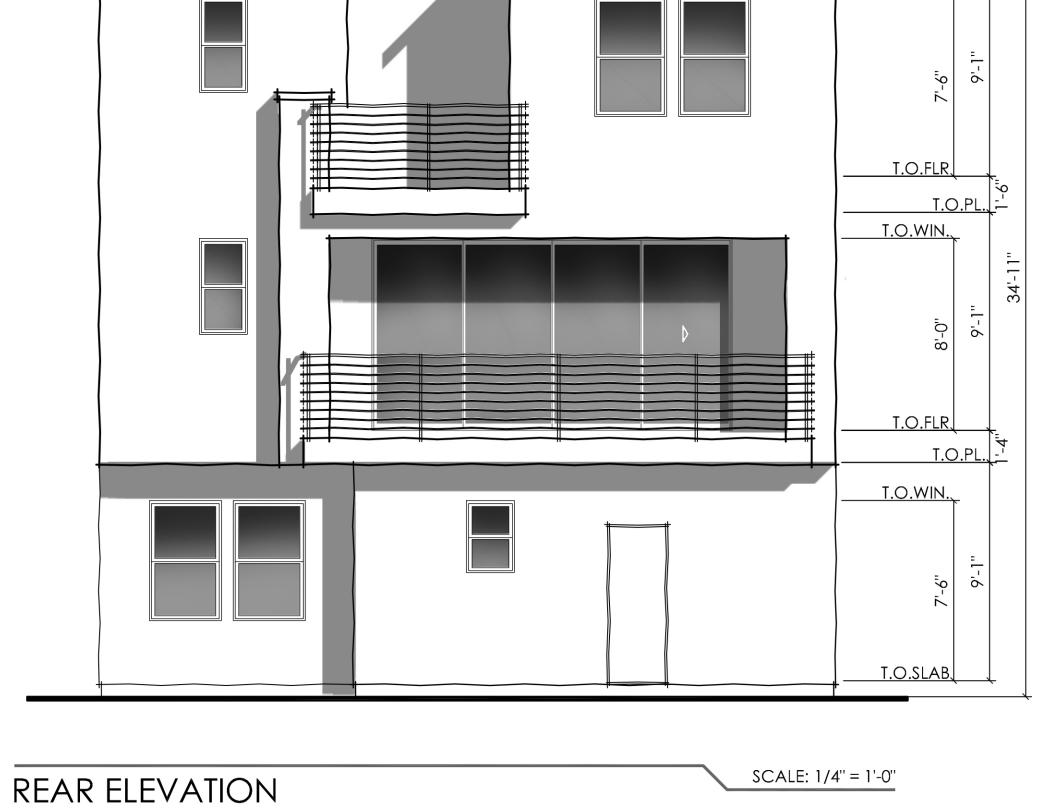
colorado // 731 southpark dr. suite B littleton, co 80120 / 303 683.7231 california // 2943 pullman st. suite A

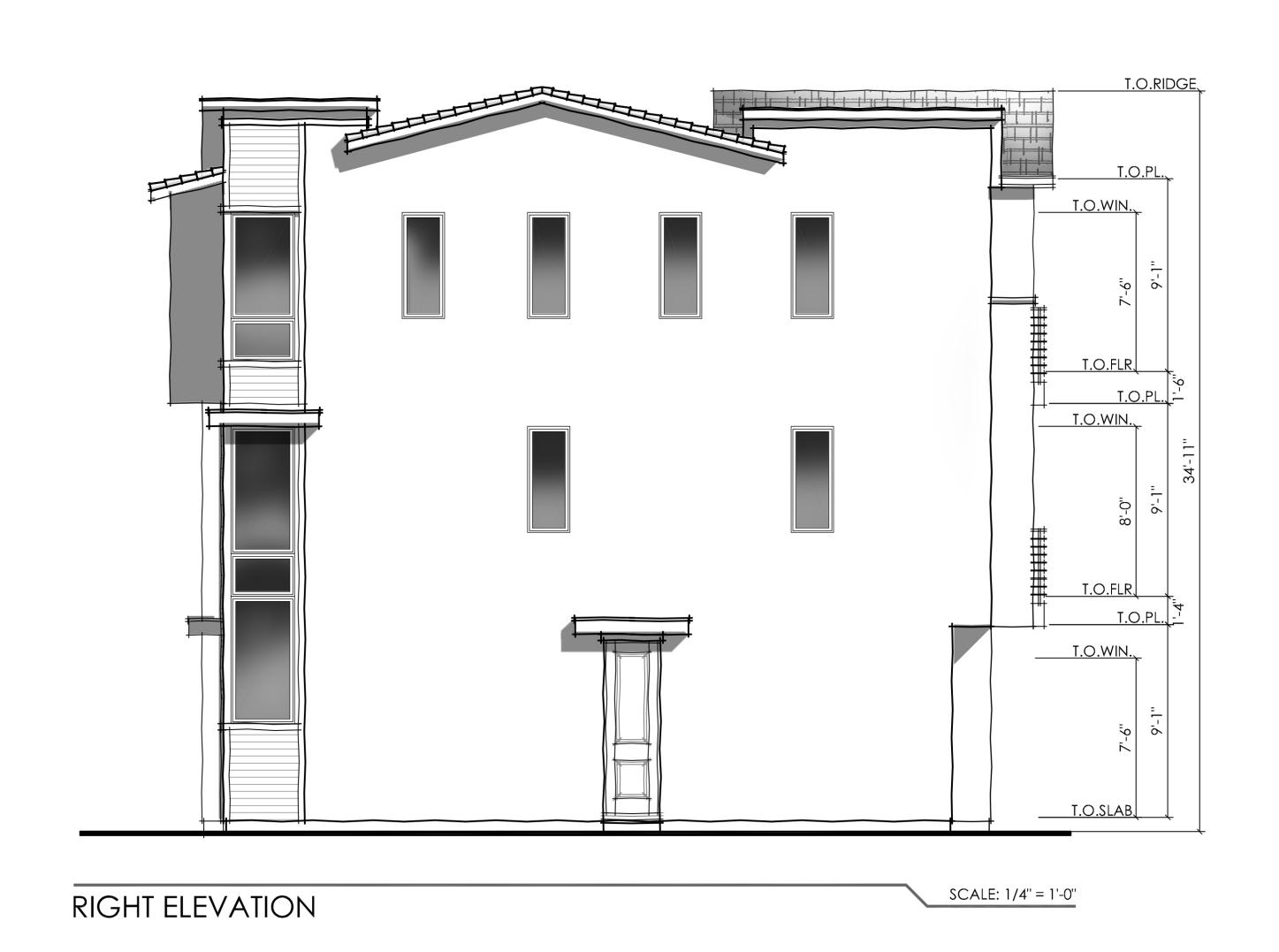
PREPARED BY:	
NAME: WOODLEY ARCHITECTURAL GROUP	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: <u>(949) 553-8919</u>	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	
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	ORIGINAL DATE:02/12/2018
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	 DEP #

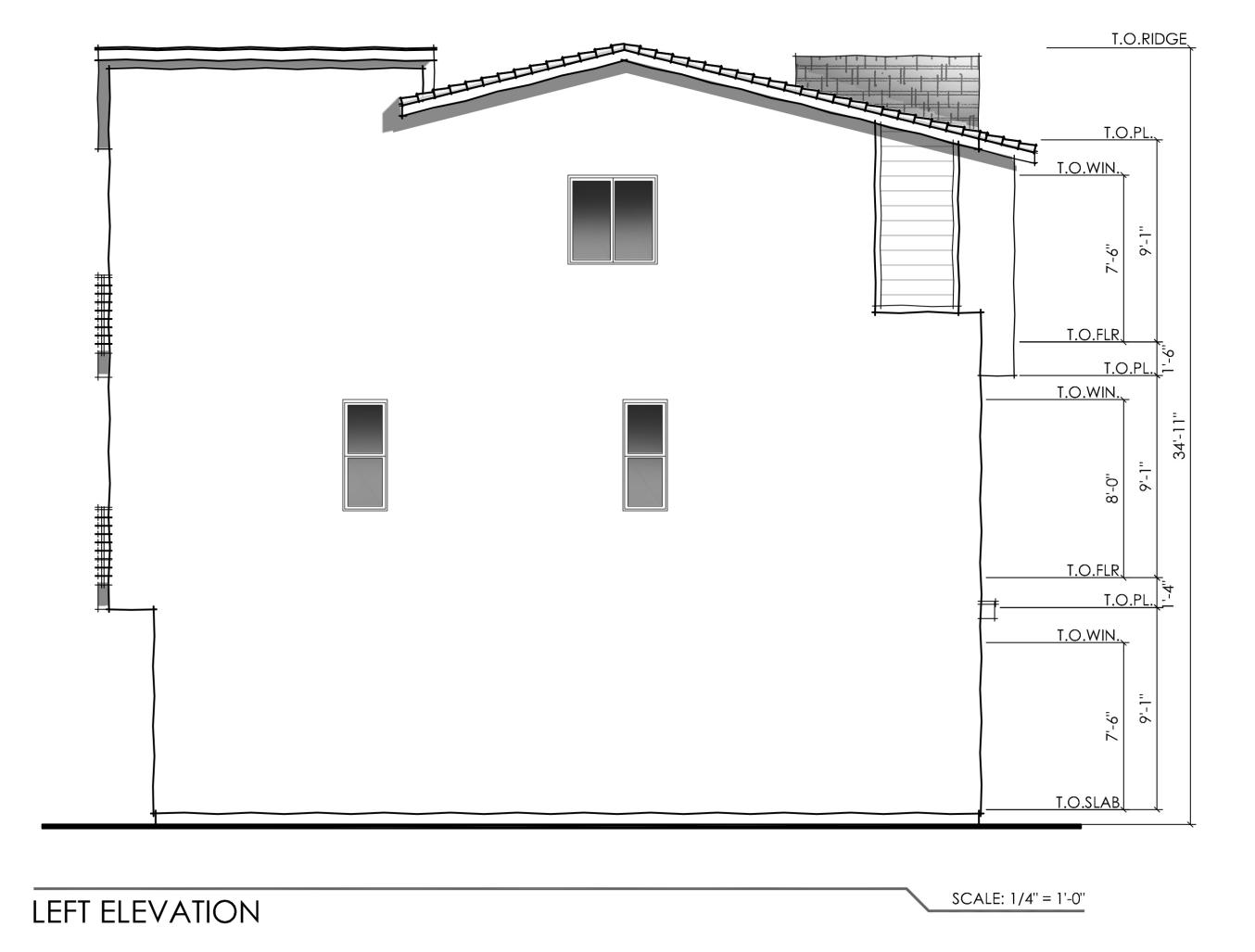
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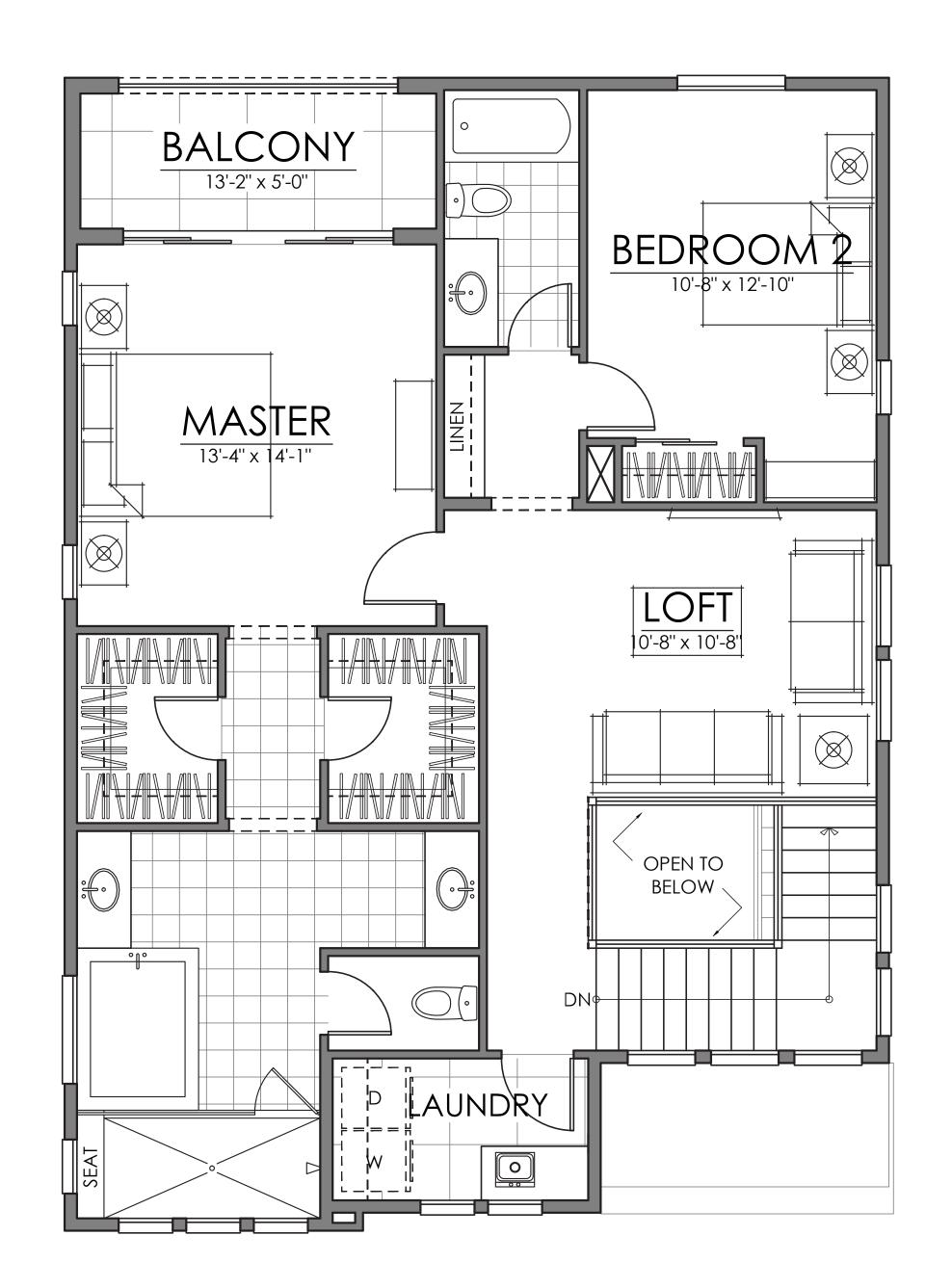


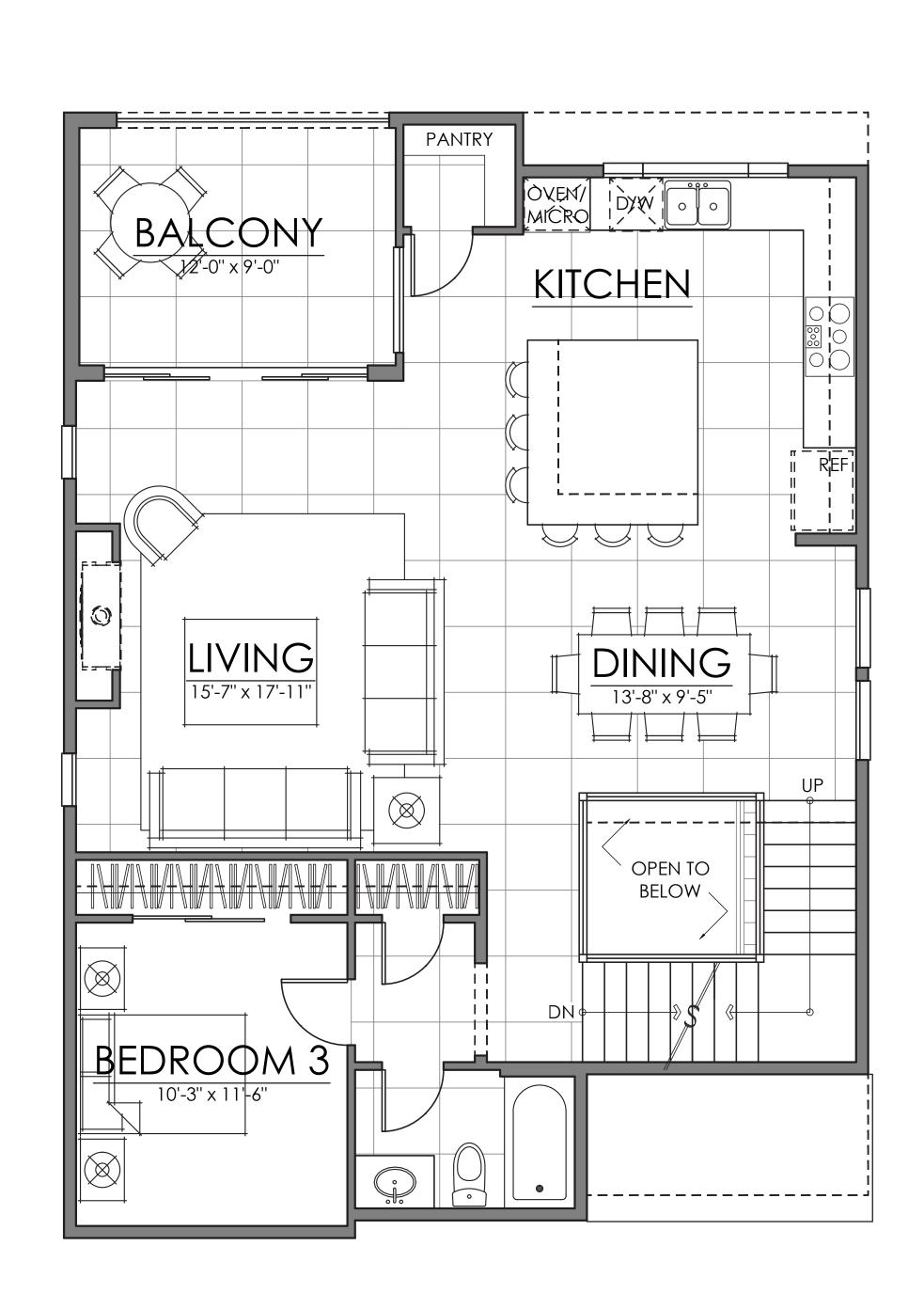


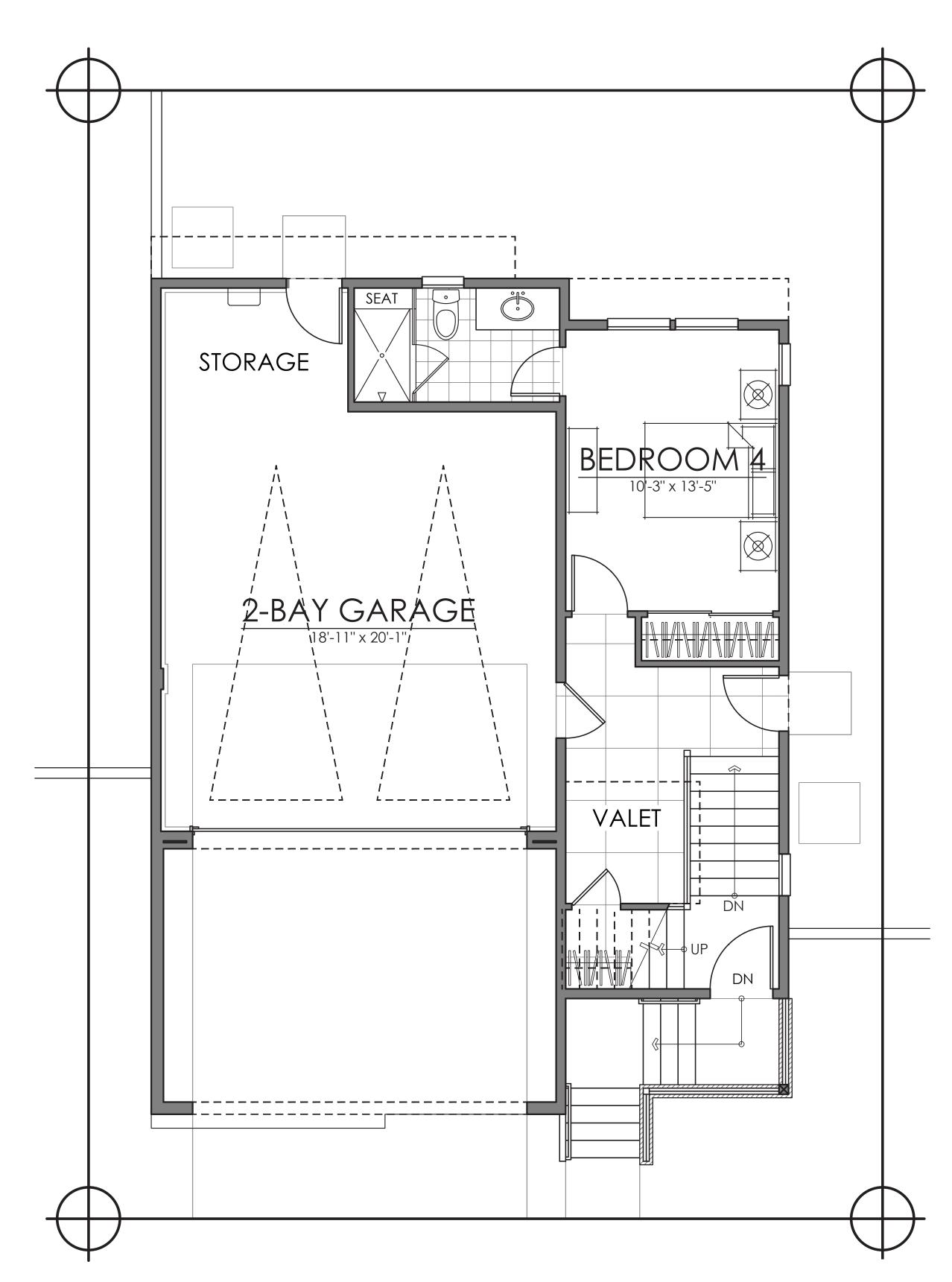


PREPARED BY:	
NAME:WOODLEY ARCHITECTURAL GROUP	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: (949) 553-8919	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04: 06/06/2019
PROJECT NAME:	REVISION 03: 04/24/2019
AVION	REVISION 02:08/29/2018
	REVISION 01: 04/26/2018
sheet title: Plan three 'C' SIDE & Rear Elevations	SHEET30
	 DEP #

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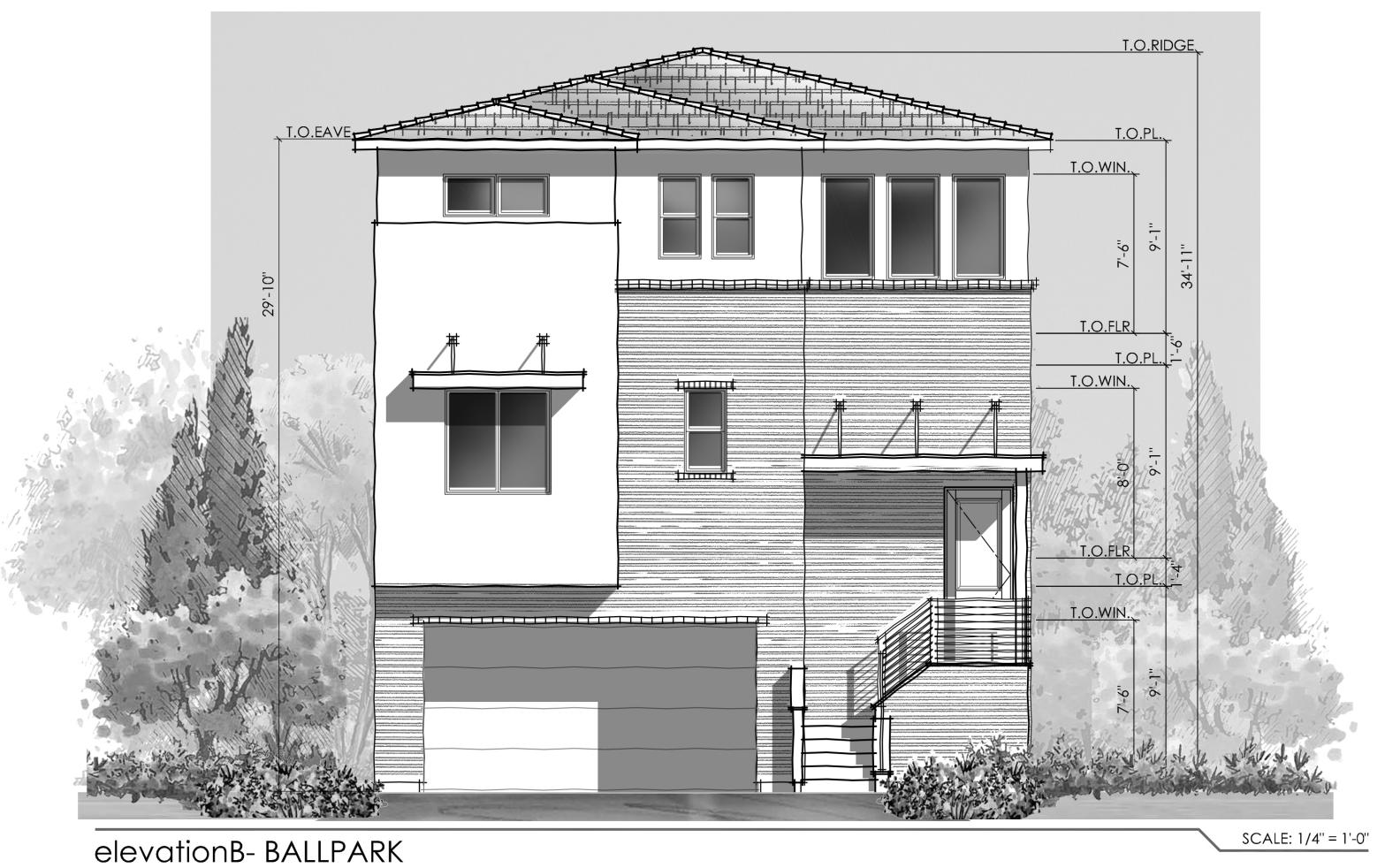




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SHEET TITLE: LOOR PLAN FOUR	3·	1	٥٢	30
	 ORIGINAL DATE:	(02/12/2	2018
	REVISION 01:	(04/26/2	2018
AVION	REVISION 02:			2018
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	REVISION 04:	(06/06/	2019
	REVISION 05:			
SAN DIEGO, CALIFORNIA	REVISION 06:			
	REVISION 07:			
PROJECT ADDRESS:	REVISION 08:			
"	REVISION 09:			
PHONE #: (949) 553-8919				
SANTA ANA, CALIFORNIA 92705				
ADDRESS: 2943 PULLMAN ST, SUITE A				
PREPARED BY: NAME:WOODLEY ARCHITECTURAL GROUP	REVISION 14:			

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX



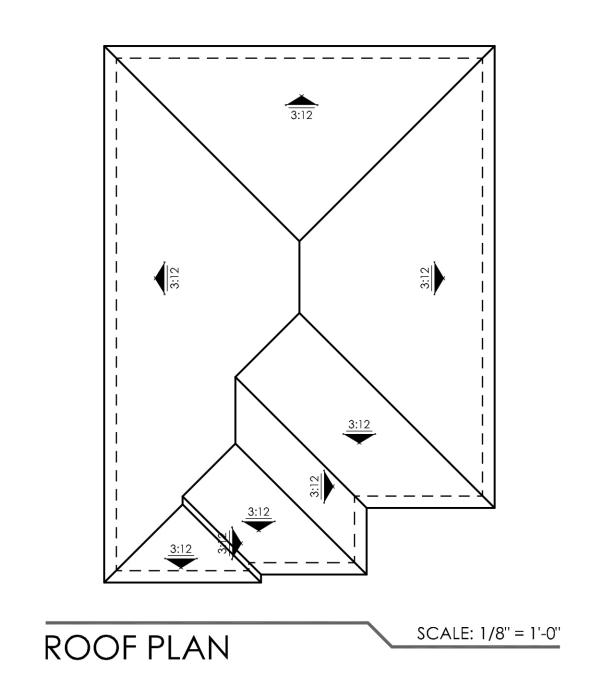


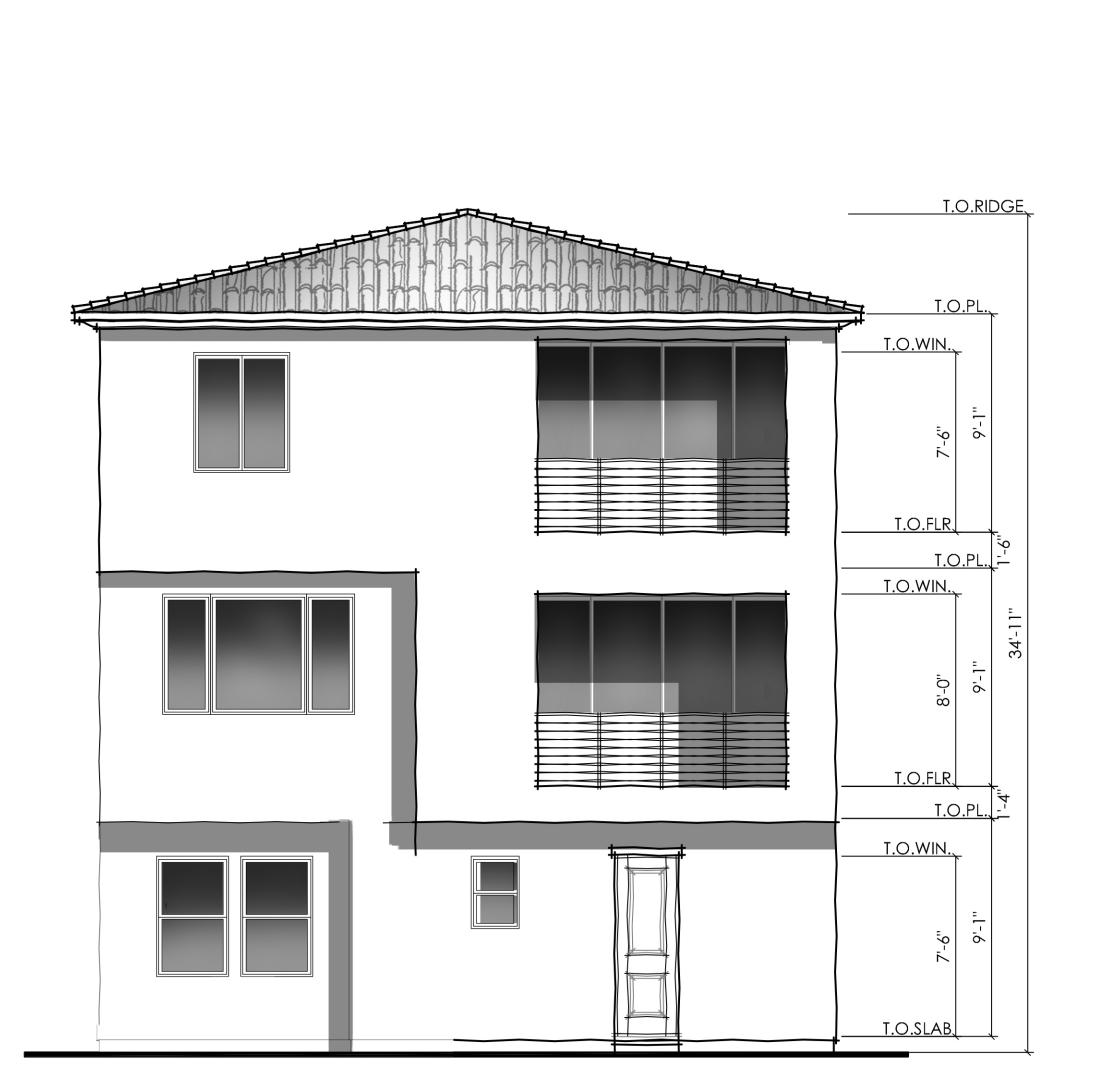




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SAN DIEGO, CALIFORNIA	REVISION 06:	
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PHONE #: (949) 553-8919		
SANTA ANA, CALIFORNIA 92705		
ADDRESS: 2943 PULLMAN ST, SUITE A		
NAME: <u>WOODLEY ARCHITECTURAL GROUP</u>		

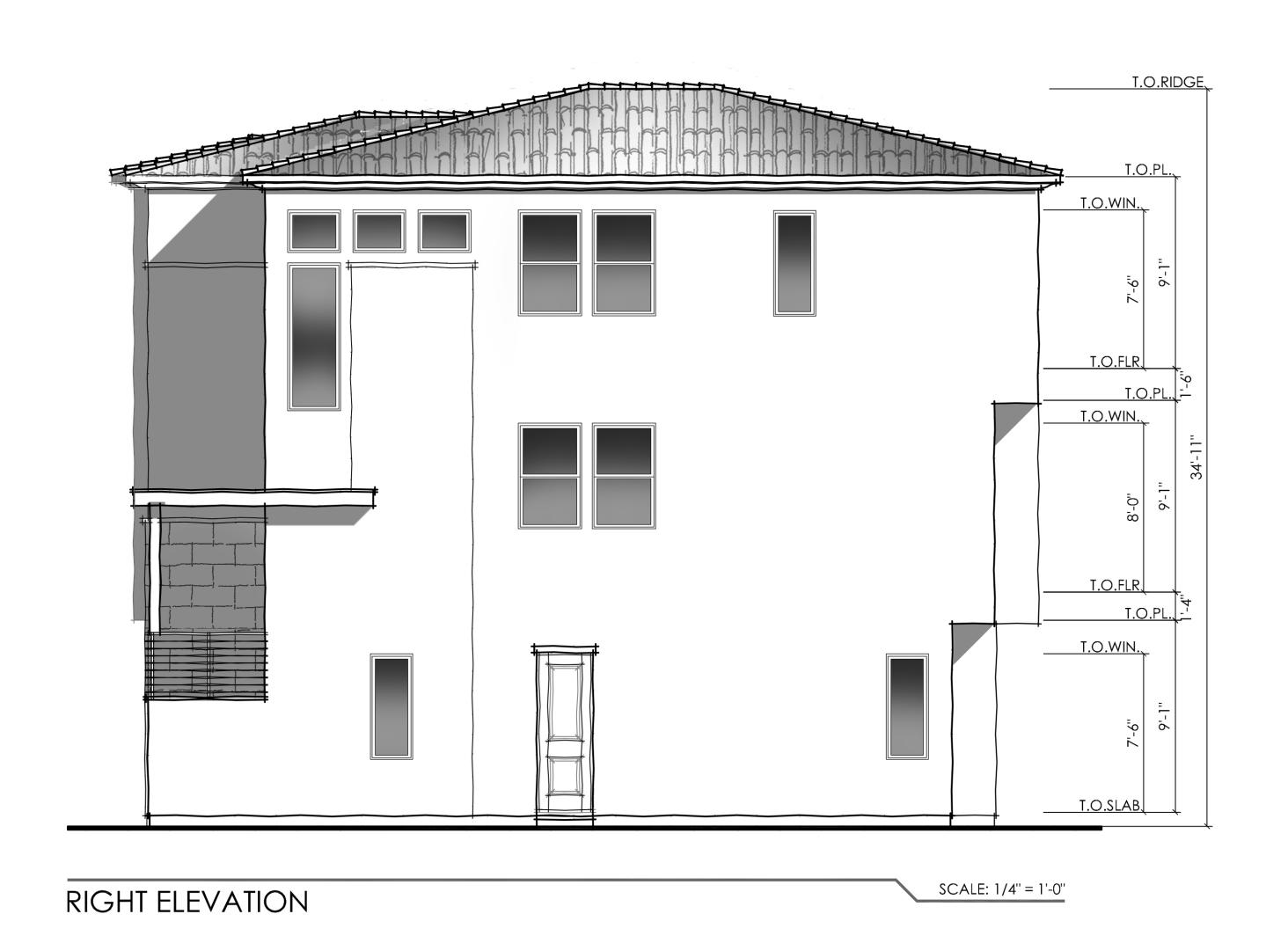
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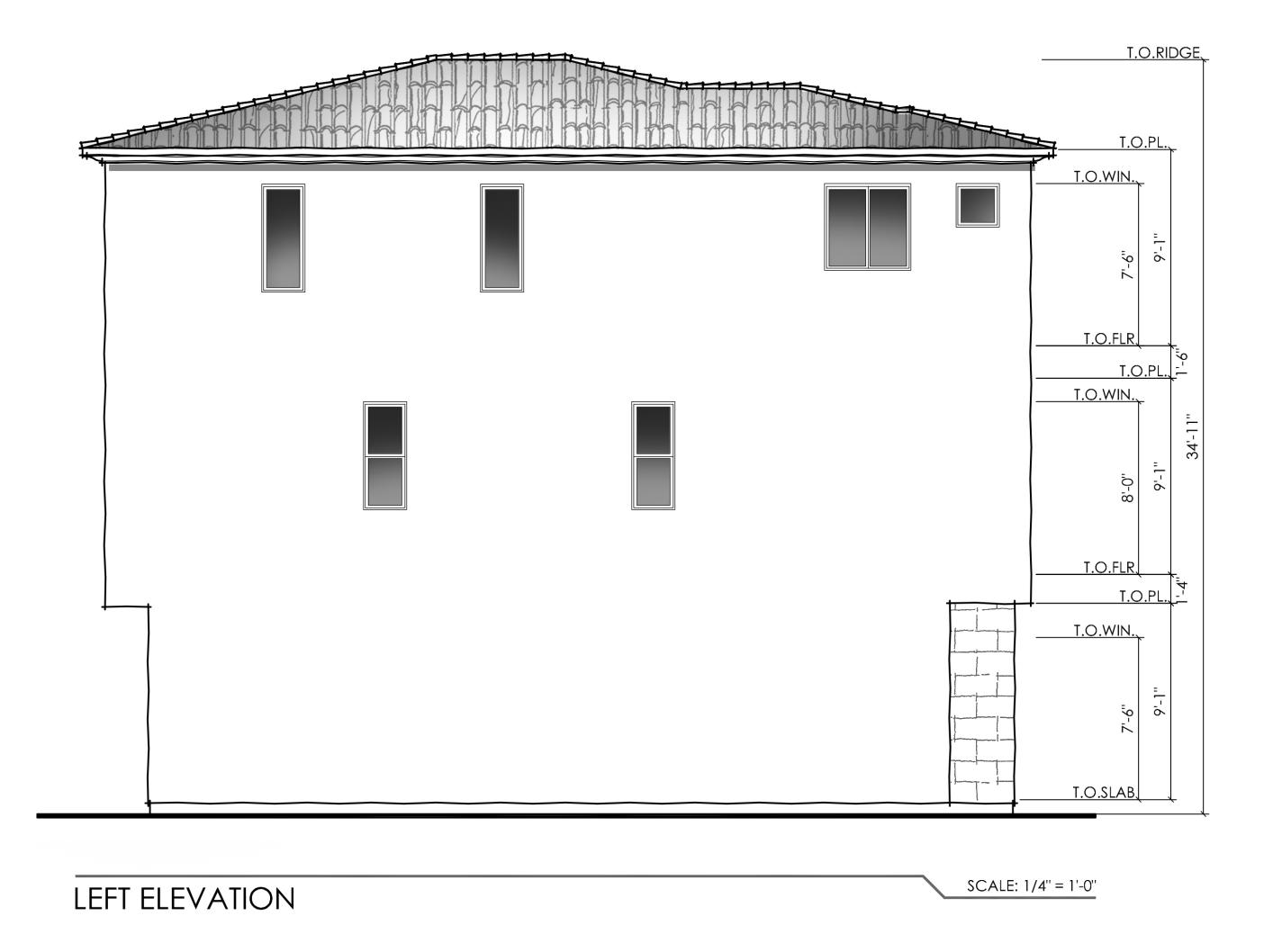




REAR ELEVATION

SCALE: 1/4" = 1'-0"

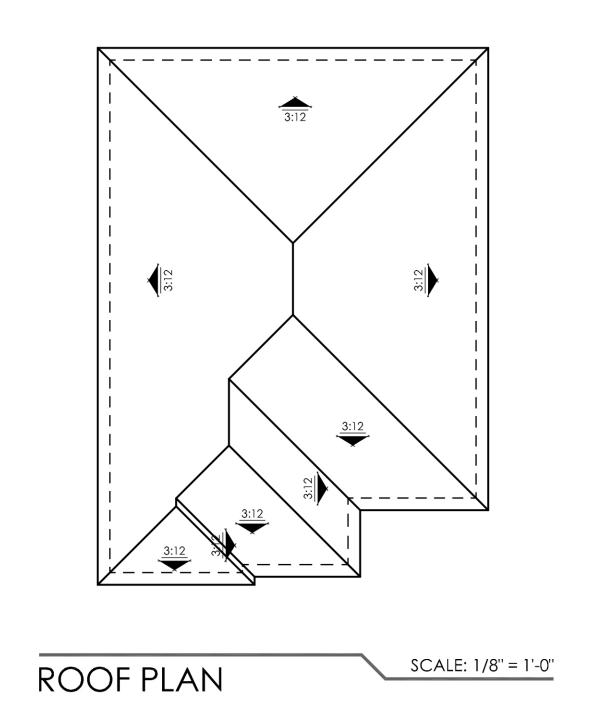






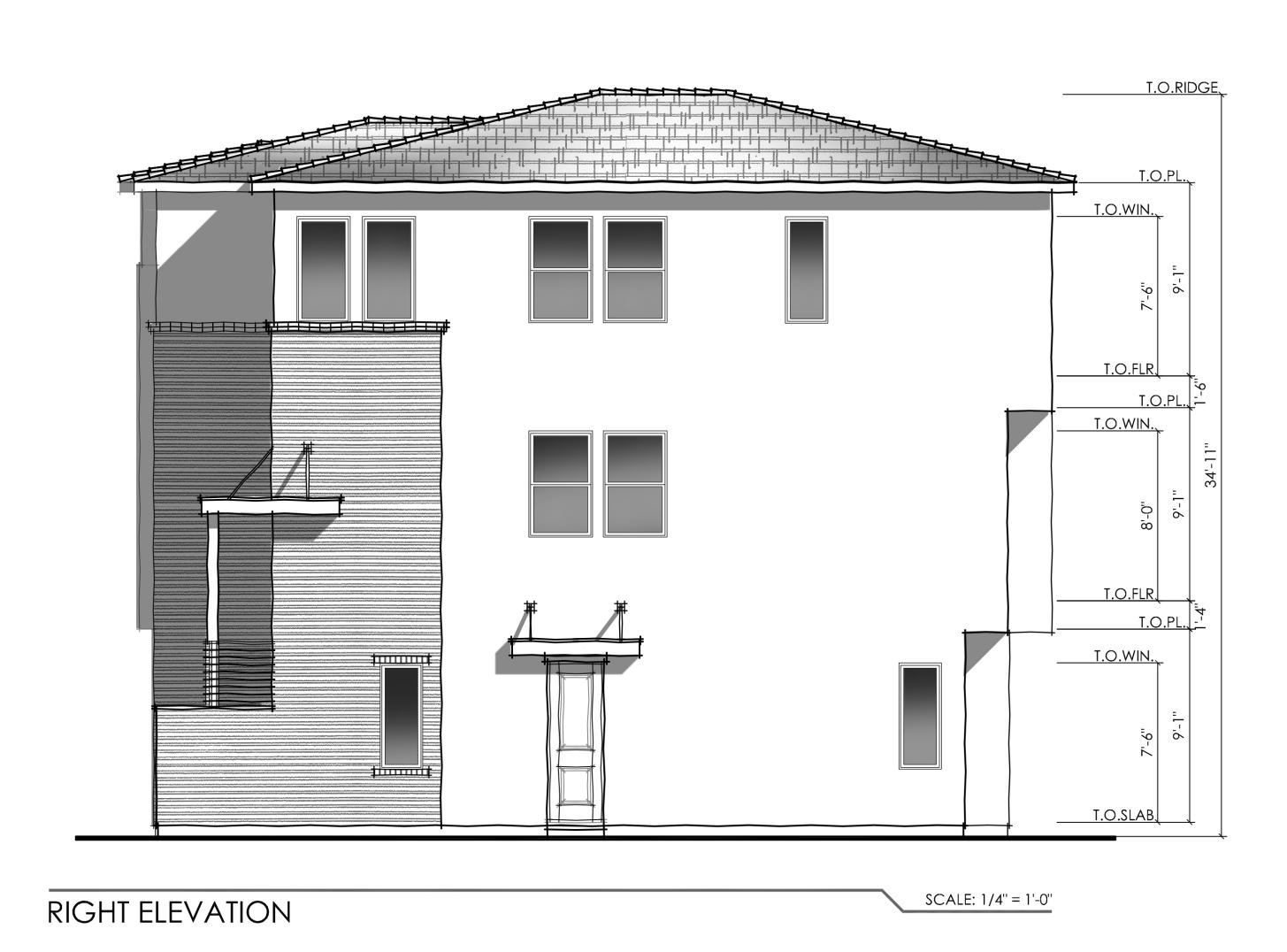
NAMF: WOODLEY ARCHITECTURAL GROUP	REVISION 14.	
ADDRESS: 2943 PULLMAN ST, SUITE A		
SANTA ANA, CALIFORNIA 92705		
PHONE #: (949) 553-8919	REVISION 10:	
	REVISION 09:	
PROJECT ADDRESS:	REVISION 08:	
	REVISION 07:	
SAN DIEGO, CALIFORNIA	REVISION 06:	
	<i>REVISION 05:</i>	
	REVISION 04:	06/06/2019
PROJECT NAME:	REVISION 03:	04/24/2019
AVION	REVISION 02:	08/29/2018
	REVISION 01:	04/26/2018
	 ORIGINAL DATE:	02/12/2018
SHEET TITLE:		
PLAN FOUR 'A'	SHEET3	3 <i>of</i> 39

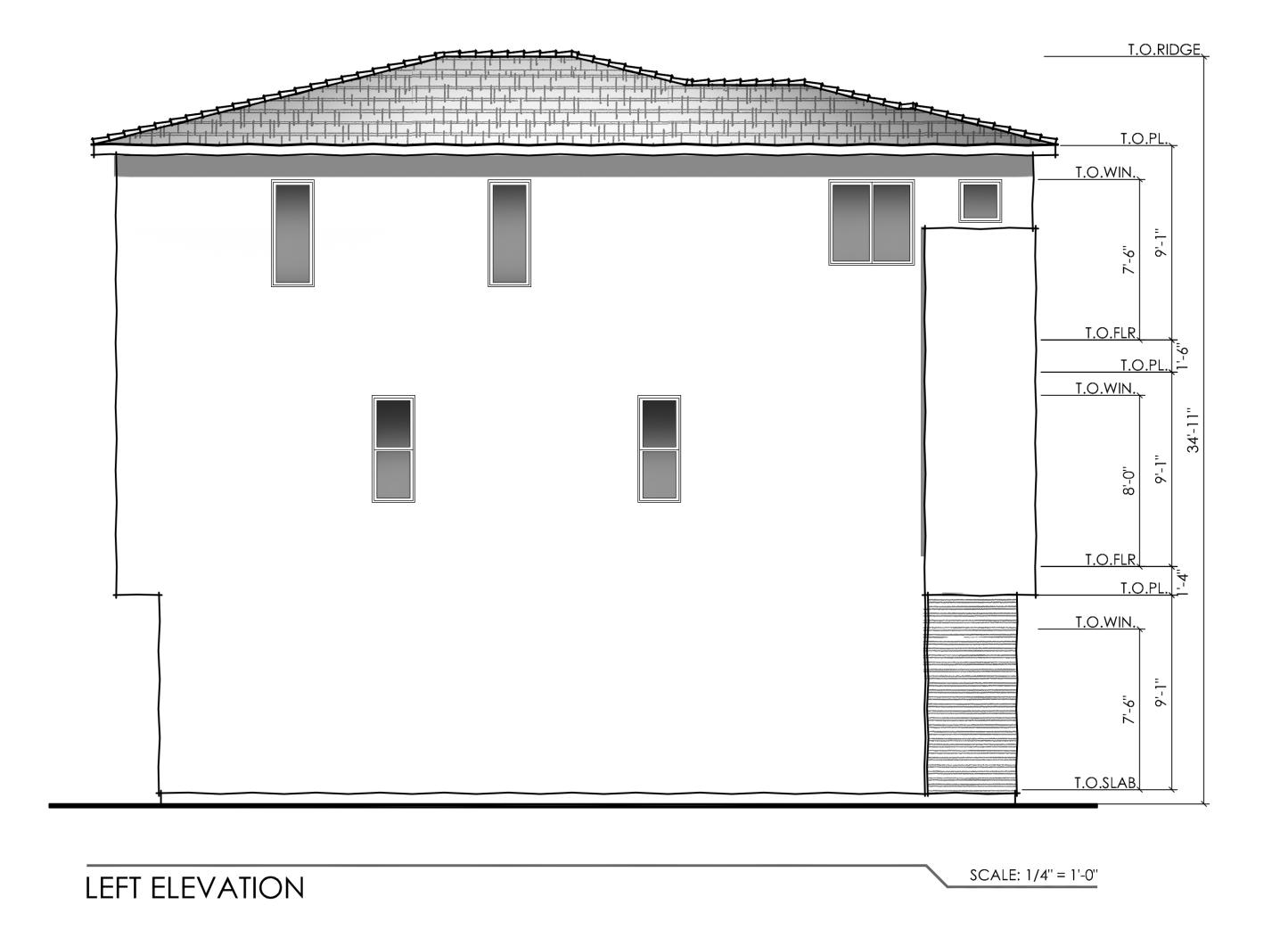
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REAR ELEVATION

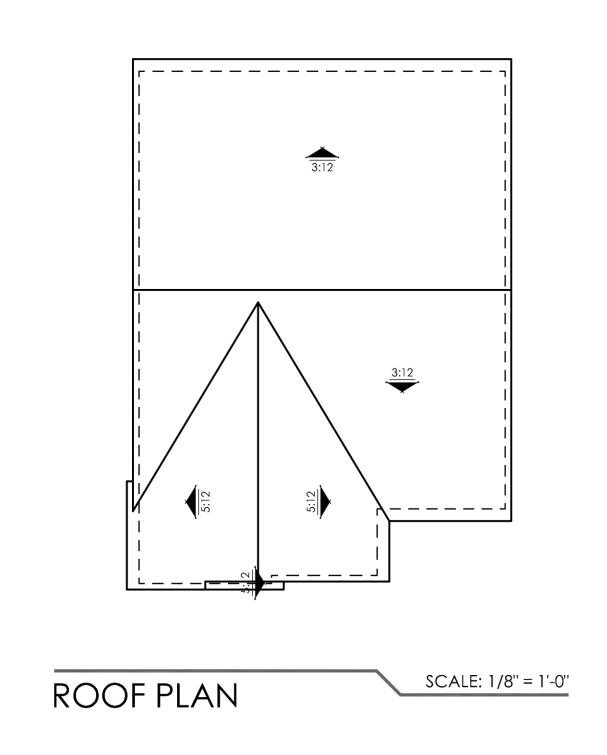


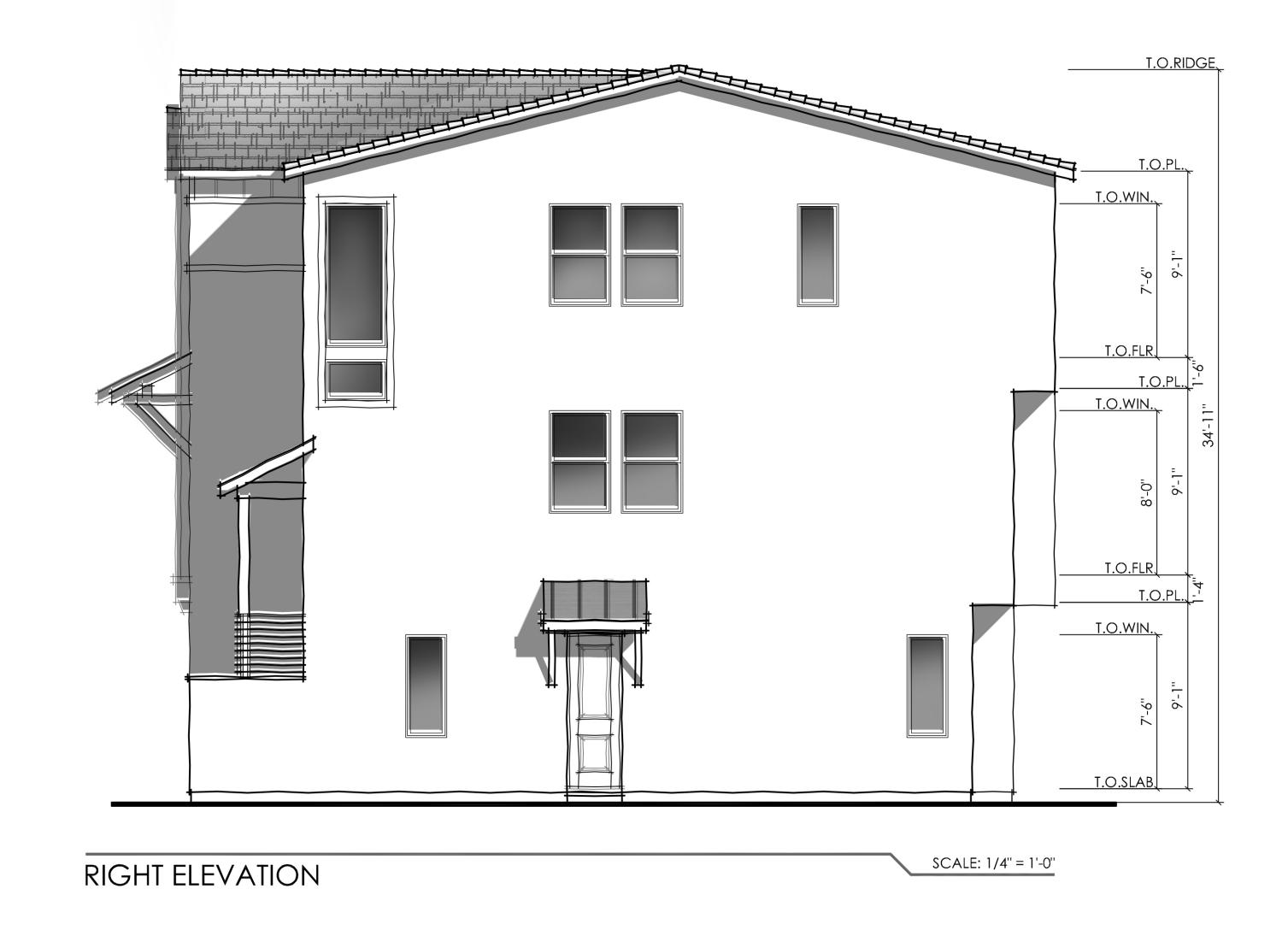


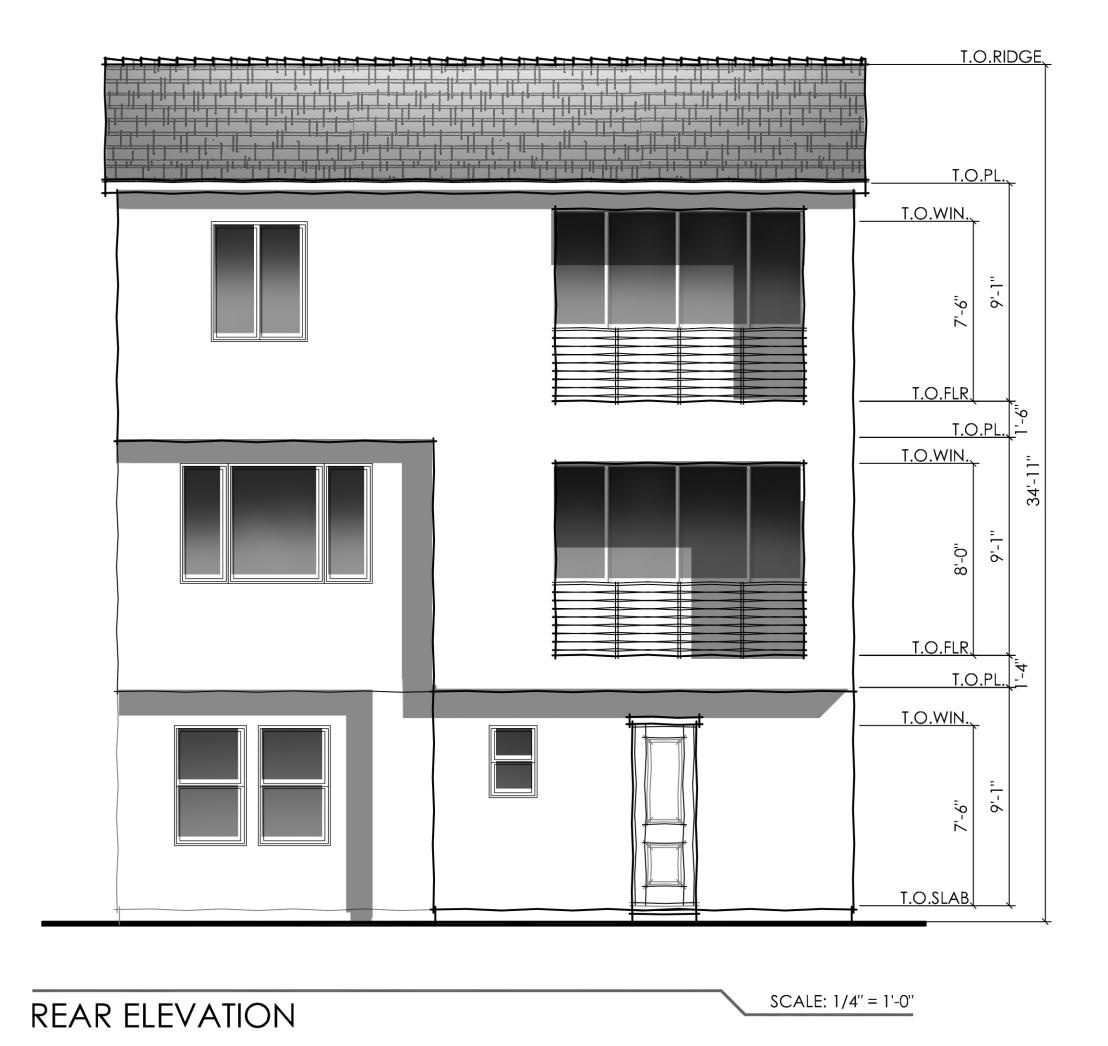


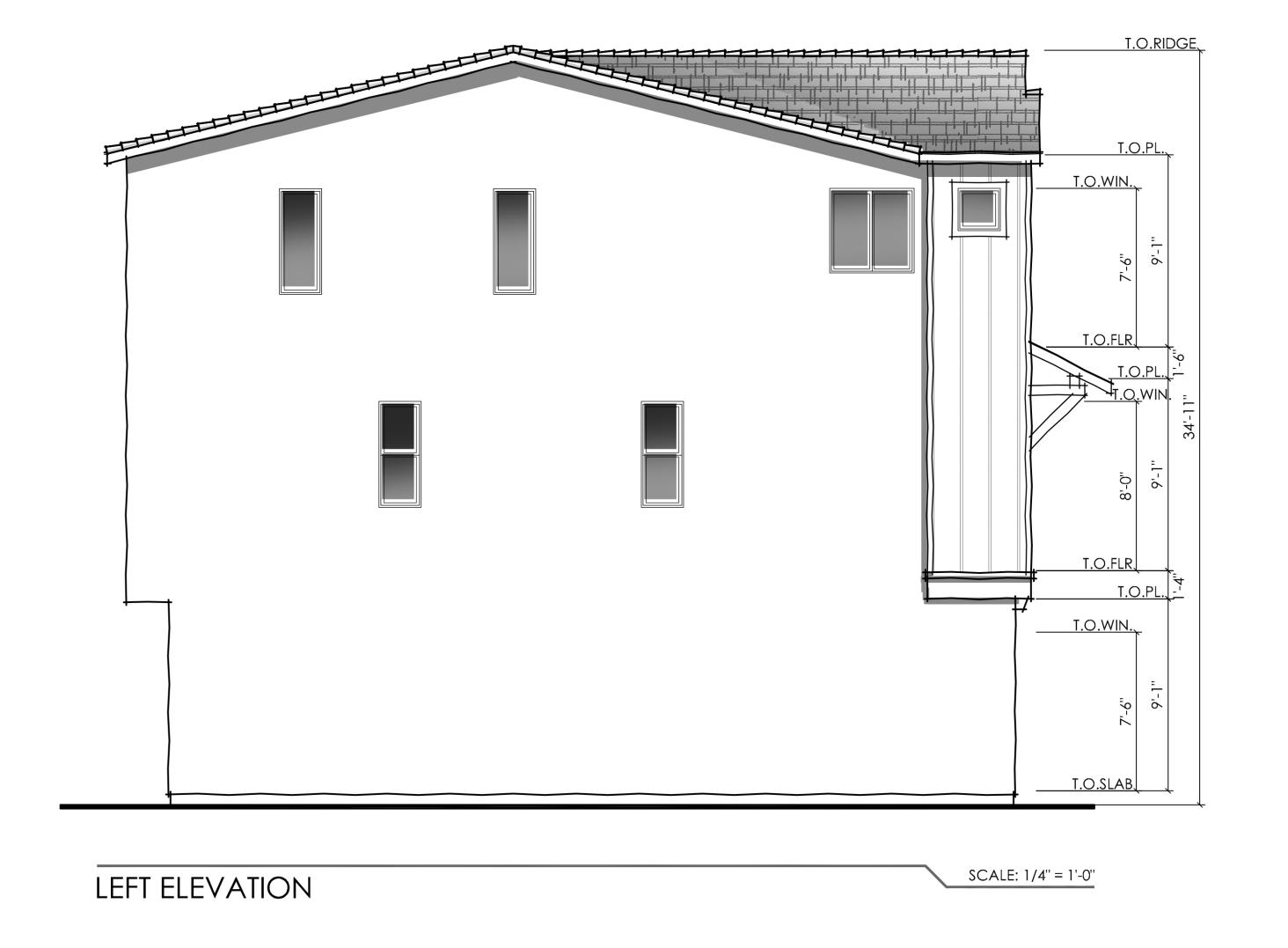
SIDE & REAR ELEVATIONS	
PLAN FOUR 'B'	SHEET34
SHEET TITLE:	
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AVION	REVISION 02:08/29/2018
PROJECT NAME:	REVISION 03:04/24/2019
	REVISION 04:06/06/2019
	REVISION 05:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 07:
PROJECT ADDRESS:	REVISION 08:
,	REVISION 09:
PHONE #: (949) 553-8919	
SANTA ANA, CALIFORNIA 92705	REVISION 11:
ADDRESS: 2943 PULLMAN ST, SUITE A	
	REVISION 13:
NAME: WOODLEY ARCHITECTURAL GROUP	REVISION 14:

REZONE NO. XXXXXXX/VESTING TENTATIVE MAP NO. XXXXXXX/PLANNED DEVELOPMENT PERMIT NO. XXXXXXX/ SITE DEVELOPMENT PERMIT NO. XXXXXXXX







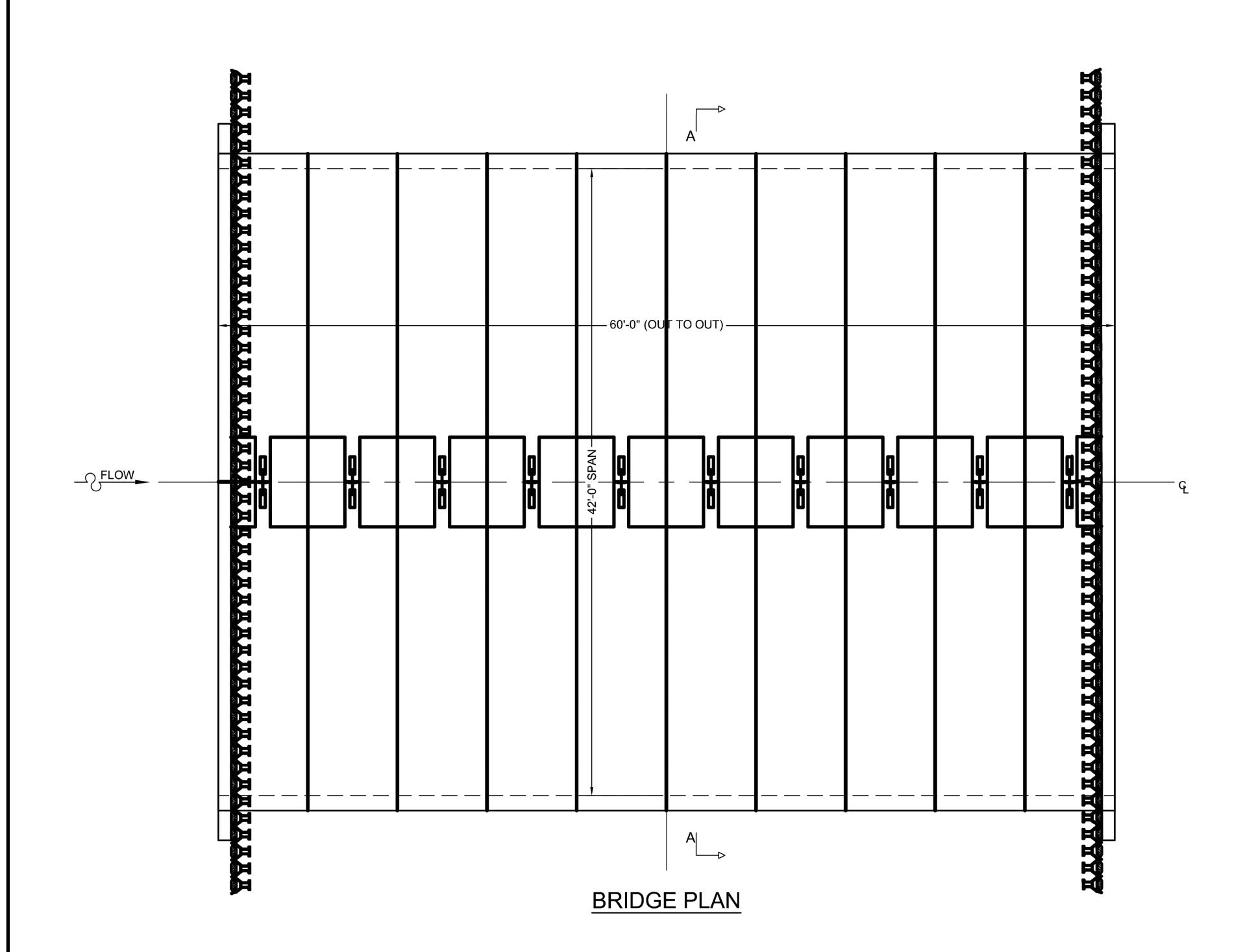


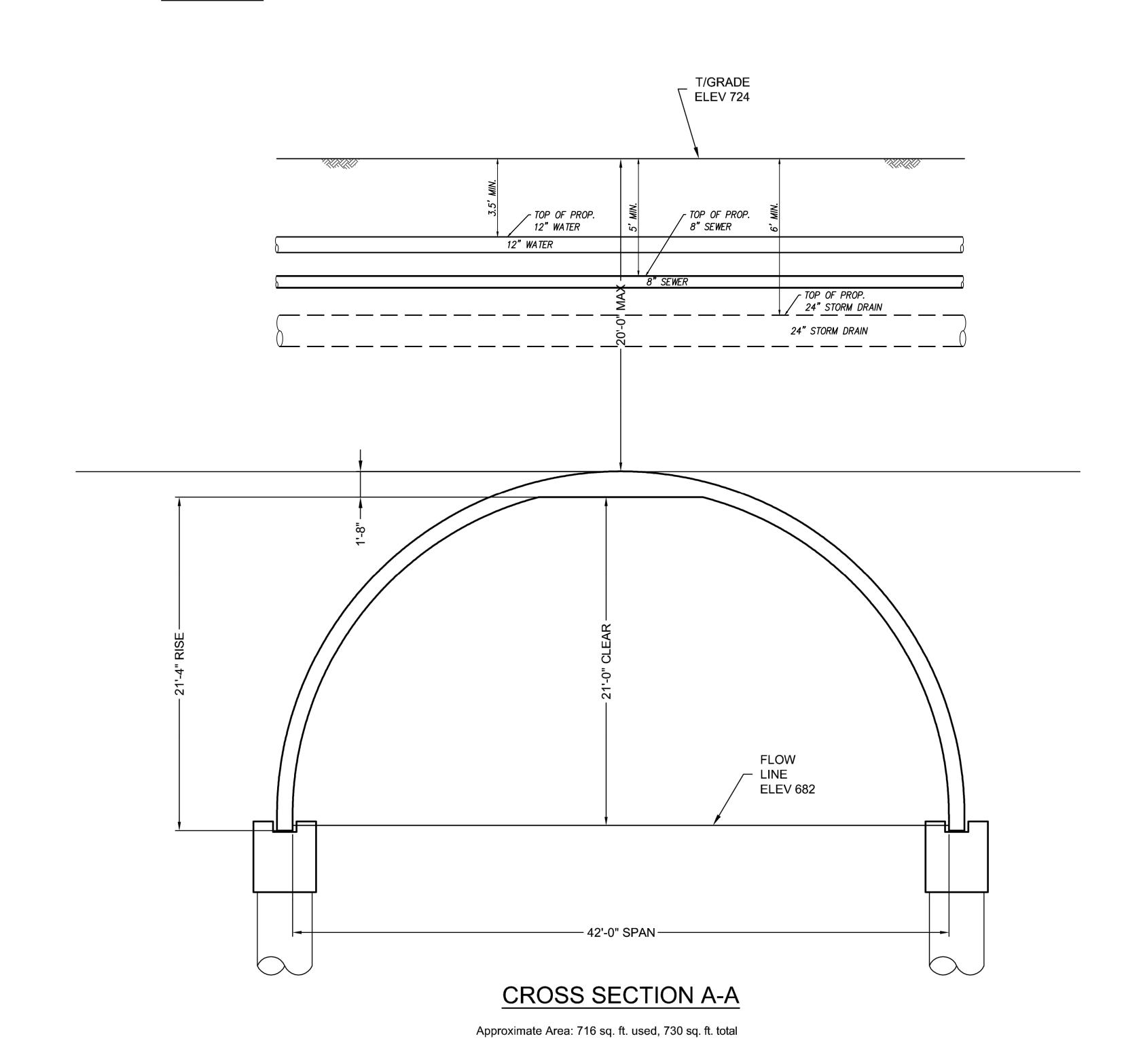


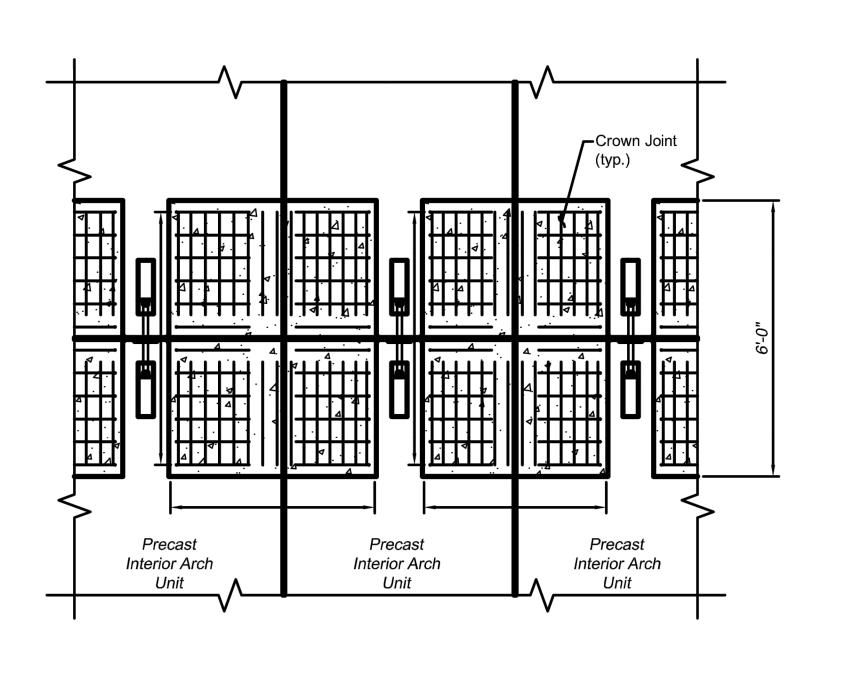
PREPARED BY:	
NAME: <u>WOODLEY ARCHITECTURAL GROUP</u>	REVISION 14:
	REVISION 13:
ADDRESS: 2943 PULLMAN ST, SUITE A	REVISION 12:
SANTA ANA, CALIFORNIA 92705	REVISION 11:
PHONE #: <u>(949) 553-8919</u>	REVISION 10:
	REVISION 09:
PROJECT ADDRESS:	REVISION 08:
	REVISION 07:
SAN DIEGO, CALIFORNIA	REVISION 06:
	REVISION 05:
	REVISION 04:06/06/2019
PROJECT NAME:	REVISION 03:04/24/2019
AVION	REVISION 02:08/29/2018
	REVISION 01:04/26/2018
SHEET TITLE:	
PLAN FOUR 'C'	SHEET35
SIDE & REAR ELEVATIONS	_
	DEP #



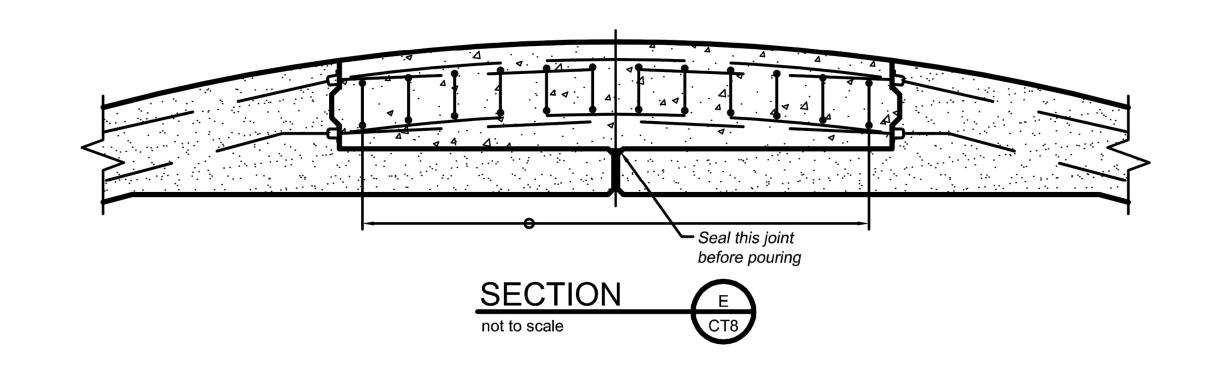
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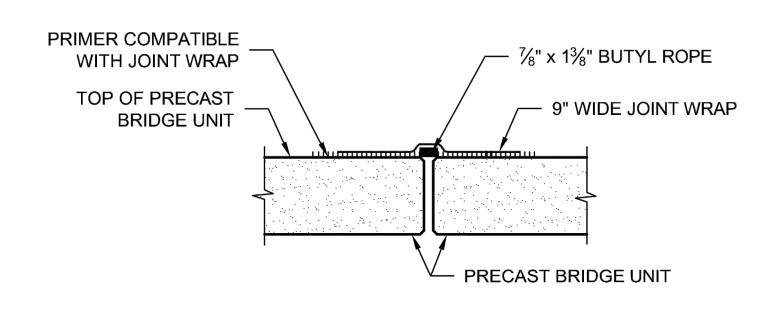












TYPICAL JOINT SEAL DETAIL

NOT TO SCALE

Plani

PROJECT DESIGN CONSULTANTS

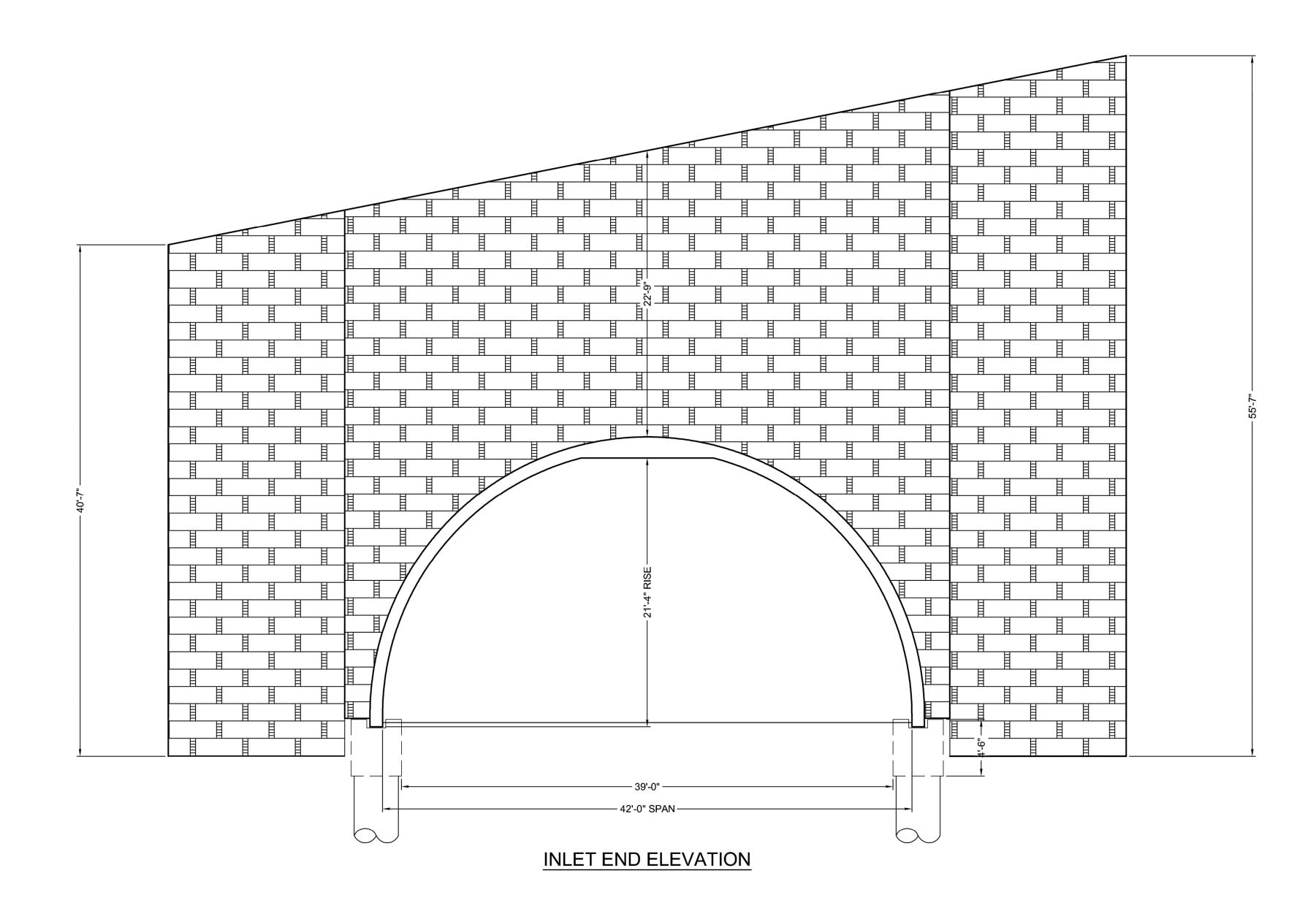
Planning I Landscape Architecture I Engineering I Survey

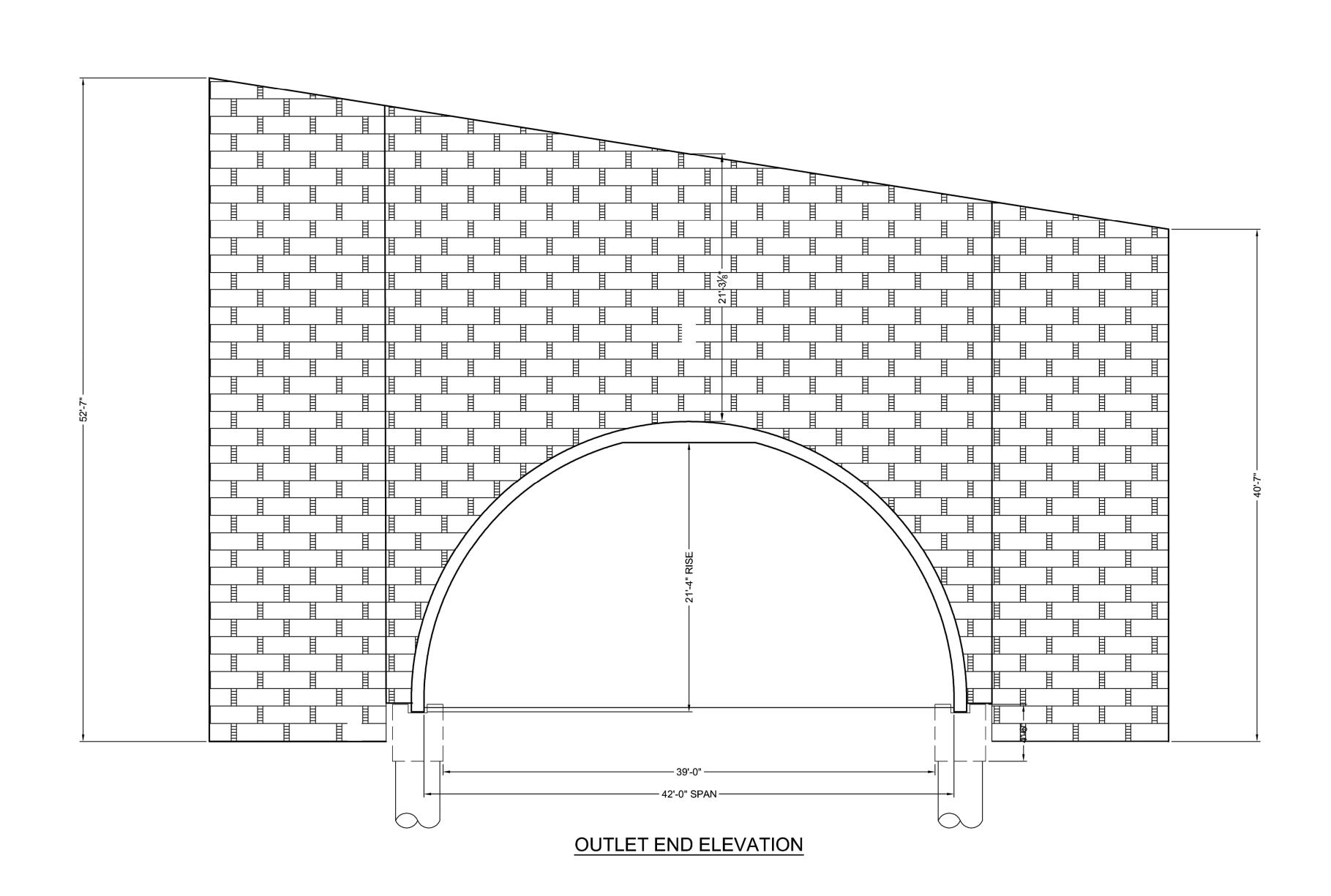
701 B Street, Suite 800
San Diego, CA 92101
619.235.6471 Tel
619.234.0349 Fax



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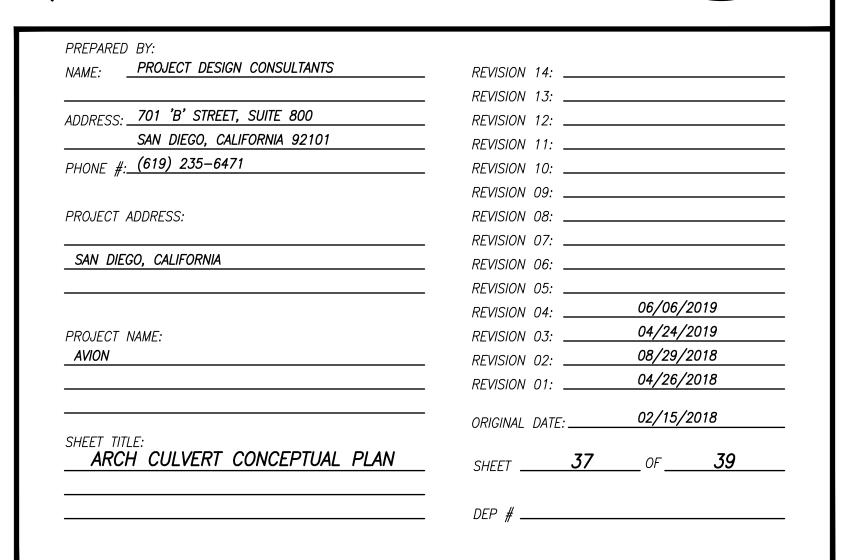
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REZONE NO. 2109729/VESTING TENTATIVE MAP NO. 2109728/PLANNED DEVELOPMENT PERMIT NO. 2109731/ SITE DEVELOPMENT PERMIT NO. 2109732

NOTES

GENERAL NOTES:

- 1. THIS BRIDGE HAS BEEN DESIGNED FOR GENERAL SITE CONDITIONS. THE PROJECT ENGINEER SHALL BE RESPONSIBLE FOR THE STRUCTURE'S SUITABILITY TO THE EXISTING SITE CONDITIONS AND FOR THE HYDRAULIC EVALUATION --INCLUDING SCOUR AND CONFIRMATION OF SOIL CONDITIONS.
- 2. PRIOR TO CONSTRUCTION, CONTRACTOR MUST VERIFY ALL ELEVATIONS SHOWN THROUGH THE ENGINEER.
- 3. ONLY CONTECH ENGINEERED SOLUTIONS LLC, THE BEBO® APPROVED PRECASTER IN CALIFORNIA MAY PROVIDE THE STRUCTURE DESIGNED IN ACCORDANCE WITH THESE PLANS.
- 4. THE USE OF ANOTHER PRECAST STRUCTURE WITH THE DESIGN ASSUMPTIONS USED FOR THE BEBO® STRUCTURE MAY LEAD TO SERIOUS DESIGN ERRORS. USE OF ANY OTHER PRECAST STRUCTURE WITH THIS DESIGN AND DRAWINGS VOIDS ANY CERTIFICATION OF THIS DESIGN AND WARRANTY. CONTECH ENGINEERED SOLUTIONS ASSUMES NO LIABILITY FOR DESIGN OF ANY ALTERNATE OR SIMILAR TYPE STRUCTURES.
- 5. ALTERNATE STRUCTURES MAY BE CONSIDERED, PROVIDED THAT DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF CALIFORNIA, EMPLOYED BY THE PRECAST CONCRETE BRIDGE SUPPLIER, ARE SUBMITTED TO THE ENGINEER 2 WEEKS PRIOR TO THE BID DATE FOR REVIEW AND APPROVAL
- 6. ALTERNATE STRUCTURES MAY BE CONSIDERED, PROVIDED THAT THE ALTERNATE DESIGN DOES NOT REDUCE THE HYDRAULIC OPENING OF THE STRUCTURE AS SHOWN ON THE DRAWINGS. AT A MINIMUM THE ALTERNATE STRUCTURE MUST PROVIDE THE SAME OR LARGER SPAN AND RISE AS THE STRUCTURE SHOWN ON THE DRAWINGS.
- 7. THE PRECAST ARCH SUPPLIER MUST ATTEND THE PRE-BID MEETING, IF ONE IS
- 8. SUPPLIER OF PROPOSED ALTERNATES TO A BEBO® BRIDGE SYSTEM MUST SUBMIT AT LEAST TWO (2) INDEPENDENTLY VERIFIED FULL SCALE LOAD TESTS THAT CONFIRM THE PROPOSED DESIGN METHODOLOGY OF THE THREE SIDED/ARCH STRUCTURE(S). THE PROPOSED ALTERNATE, UPON SATISFACTORY CONFIRMATION OF DESIGN METHODOLOGY, MAY BE CONSIDERED AN ACCEPTABLE ALTERNATE.
- 9. PROPOSED ALTERNATE STRUCTURES MAY BE CONSIDERED, PROVIDED THAT THE PRECAST CONCRETE BRIDGE STRUCTURES ARE PROVIDED BY A SUPPLIER THAT HAS A MINIMUM OF TWO (2) REGISTERED PROFESSIONAL ENGINEERS ON STAFF THAT ARE DEDICATED TO THE DESIGN OF THESE TYPES OF STRUCTURES. SUPPLIER MUST PROVIDE THESE NAMES, P.E. LICENSE NUMBERS AND DATES OF HIRE AT TIME OF ALTERNATE SUBMITTAL.

DESIGN DATA

DESIGN LOADING:

BRIDGE UNITS: HL-93 DESIGN FILL HEIGHT: 5'-0" MIN. TO 25'-0" MAX. FROM TOP OF CROWN TO TOP OF PAVEMENT. DESIGN METHOD: LOAD RESISTANCE FACTOR DESIGN PER AASHTO LRFD SPECIFICATION CONCRETE CIPH PILES SHALL BE CONSTRUCTED PER 2010 CALTRAN SPECIFICATIONS SECTION 49-3

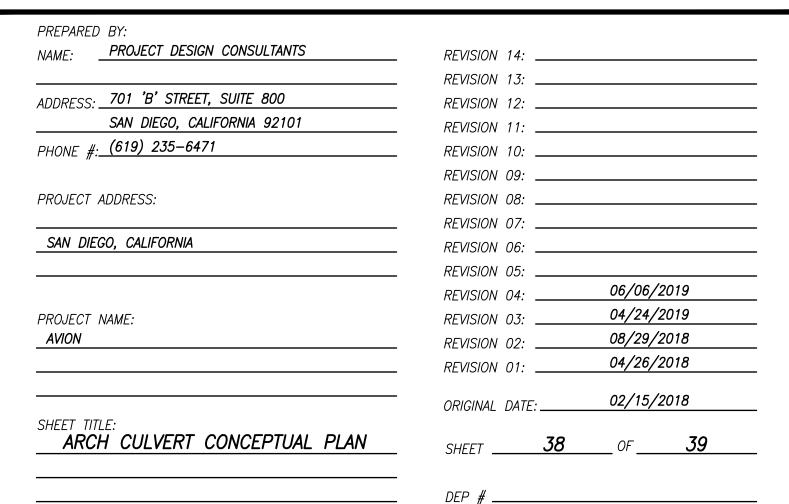
*FOUNDATION EXCAVATION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THIS PROJECT PREPARED BY TBD.

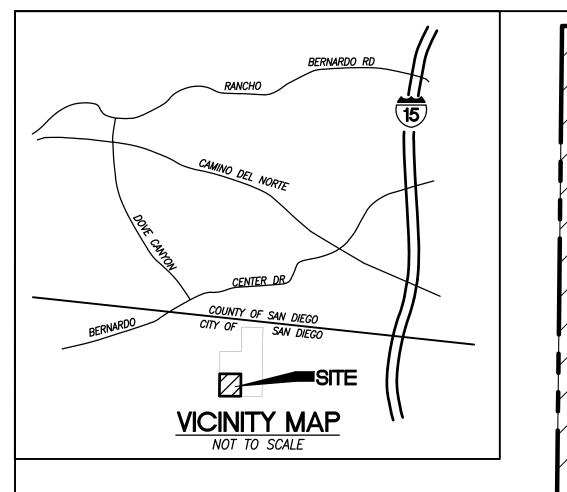
MATERIALS

PRECAST UNITS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH BEBO® SPECIFICATIONS. CONCRETE FOR PEDESTAL WALLS & FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (CIDH SHAFTS 3600 PSI.). REINFORCING STEEL FOR FOOTINGS SHALL CONFORM TO ASTM A615 OR A996-GRADE 60. CIDH CONCRETE SHAFTS SHALL BE CONSTRUCTED PER 2010 CALTRAN SPECIFICATIONS SECTION 49-3.









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