

THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED:	July 8, 2021	REPORT NO. PC-21-030
HEARING DATE:	July 22, 2021	
SUBJECT:	COSTA AZUL MIXED USE – Process Five Decisi	ion
PROJECT NUMBER:	<u>400127</u>	
OWNER/APPLICANT:	Carmel Valley Centre Drive, LLC, a California L Owner/Applicant	imited Liability Corporation

<u>SUMMARY</u>

<u>Issue</u>: Should the Planning Commission recommend to City Council approval for the construction of a 7-story, 128-room hotel, and 5-story office building with restaurant on an undeveloped 3.2-acre site located at 3501 Valley Centre Drive within the Carmel Valley Community?

Staff Recommendations:

- 1. Recommend the City Council ADOPT Addendum No. 400127 to Environmental Impact Report No. 80-05-35/ SCH No. 80072117;
- 2. Recommend the City Council APPROVE Vesting Tentative Map No. 2330057; and
- Recommend City Council APPROVE Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, an amendment to North City West Planned District Development Permit (NCWPDDP) No. 83-0191.

<u>Community Planning Group Recommendation</u>: On April 26, 2018, the Carmel Valley Community Planning Board voted 10-0-0, to recommend approval of the project with conditions as discussed further within the report (Attachment 11).

Environmental Review:

Addendum No. 400127 to Environmental Impact Report No.80-05-34/SCH No. 80072117 has been prepared for the project in accordance with California Environmental Quality Act (CEQA) guidelines. The City of San Diego previously prepared and certified the Carmel Valley Community Plan (Community Plan) Final EIR (EQD No. 76-05-25P) in February 1975 and North City West Employment Center Precise Plan (Precise Plan) Final EIR (EQD No. 80-05-35) in November 1981; amended the Precise Plan incorporating the project site and other lands using an Addendum to the Precise Plan Final EIR (EQD No. 83-0191) in July 1983; and approved the Visitor Center Development Plan using an Addendum to the Precise Plan Final EIR (EQD No. 84-0213) in September 1984. The City of San Diego also previously prepared and certified the Neighborhoods 4, 5 and 6 Precise Plan Final EIR (EQD No. 81-1212) in 1982. Based upon a review of the current project, it has been determined that there are no new significant environmental impacts not considered in the previous EIR, no substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project.

<u>Fiscal Impact Statement</u>: All costs associated with the processing of this project are recovered through a deposit account funded by the applicant.

<u>Housing Impact Statement</u>: To date, there are 17,750 existing residential dwelling units within the Carmel Valley Community Plan. Of the total number of dwelling units, there are 169 existing affordable dwelling units based on San Diego Housing Commission data. The subject parcel is designated for Visitor Commercial and therefore, is not forecasted for future housing.

	2019	2050	Change
Population	36,180	36,315	135
Housing	13,750	13,770	20
Jobs*	14,725	17,300	2,575

Carmel Valley Community Plan Area

*Base year for jobs is 2012. SANDAG 2019 Estimates SANDAG, Series 13, Regional Forecast

BACKGROUND

The Costa Azul Mixed-Use Project (Project) is located at 3501 Valley Centre Drive in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), the Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area within the Carmel Valley Community Plan area (Attachments 1 through 3).

The site is east of Interstate 5 (I-5) and North of State Route 56, on graded pads above Carmel Valley Road. South, on Carmel Valley Road, is an open space area that feeds into the Los Peñasquitos Lagoon and ultimately to the Pacific Ocean. The Project site is not located within the First Public Roadway (south of Carmel Valley Road and west of Sorrento Valley Road) and the Pacific Ocean.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) as Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan. In 1984, the City Council approved Planned Commercial Development (PCD) No. 83-0191 on Lots 1-5 in Unit No. 2 of North City West Employment Center. The approved project included a 500-unit hotel, three restaurants, and auto service station. In 1999, the amendment to the PCD 83-0191.1 was approved for a 270-unit hotel and 170,000-square-foot office building. The site immediately northwest has received approval for a 127-room hotel to replace a vacant restaurant. The Project is proposed within the last remaining undeveloped lot within Lots 1 through 5.

The Project is subject to the following San Diego Municipal Coded (SDMC) discretionary actions:

- Vesting Tentative Map- <u>SDMC Section125.0410</u> to subdivide the lot and vacate a water easement.
- Coastal Development Permit <u>SDMC Section 126.0702</u> for development within the Coastal Overlay Zone.
- Planned Development Permit <u>Section 126.0602(b)</u> for development that does not comply with all base zone regulations.
- Site Development Permit- <u>SDMC Section 153.0201(b</u>) for major development within the Carmel Valley Planned District and for an amendment to the North City West Planned District Development Permit (NCWPDDP).

All discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in <u>SDMC Section 112.0103</u>. Therefore, the decision to approve, conditionally approve, or deny this project will be made by the City Council, a Process Five decision.

DISCUSSION

Project Description:

The Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), in Neighborhood 2 of the Carmel Valley Community Plan area.

The proposed Site Development Permit is required for all major development projects pursuant to <u>SDMC Section 153.0201(b)</u>. The SDP, in accordance with the CVPD requirements would amend and replace NCWPDDP No. 83-0191 as the governing entitlements for Lots 3 and 4.

The proposed Vesting Tentative Map will consolidate and subdivide a 9.89-acre property into two Parcels; Parcel One will be 3.2-acres and Parcel Two, 6.7-acres. The Project within Parcel One will include three commercial condominiums, a seven-story hotel, a five-story office building, and subterranean parking (Figure 1). Parcel Two is currently developed with an office building and parking structure and there is no proposed construction on this site.

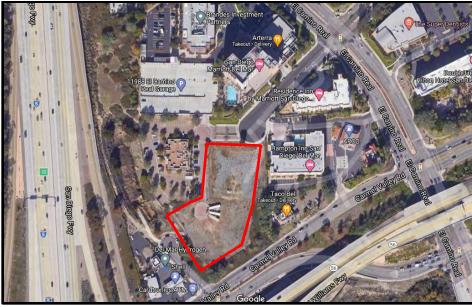
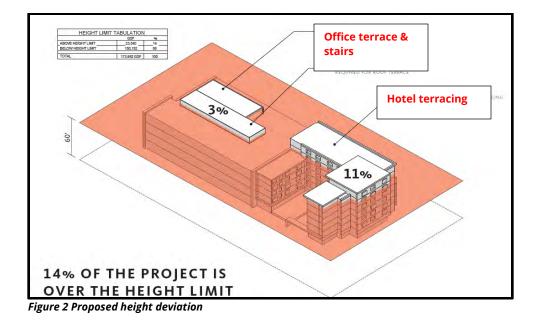


Figure 1 Proposed Parcel 1 undeveloped 3.2-acres

The proposed hotel and office building with restaurant are designed to comply with the VC Zone of the Carmel Valley Planned District by utilizing the existing topography and minimizing the amount of grading outside of the building footprint. The parking for the development will include 71 surface parking spaces and a two-level subterranean parking garage with 383 parking spaces, for a total of 454 spaces. The Project includes the vacation and relocation of a water easement adjacent to Valley Centre Drive with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer.

The proposed Project complies with all the setbacks, and is proposing a floor area ratio of 1.3, well below the maximum of 2.0 allowed in the VC zone. The project meets all applicable development regulations of the SDMC and Coastal Overlay Zone, except for height. A Planned Development Permit (PDP) for height deviations is proposed pursuant to SDMC section 126.020(b)(1). The requested deviation is to allow 11 percent of the hotel height at 76 feet and 3 percent of the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone; 86 percent of the buildings meet the height requirement (Figure 2).



The purpose of a PDP, as stated in <u>SDMC Section 126.0601</u>, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. The increased height to both structures was the optimal design to condense the overall massing as shown on *Figure 6*, and to enable the continued integration of the existing surrounding structures as show on *Figure 3* and *Figure 7*.



Figure 3 Existing development

The project includes a landscaped, 8-foot pedestrian and bicycle promenade along the western

property line that connects the development to Old El Camino Real for the mutual benefit of Costa Azul, the Marriott Hotel and the CV Hotel, as shown *on Figures 4 -5*. The promenade provides access to Carmel Valley Road, the Los Peñasquitos Lagoon, and the Pacific Ocean.



Figure 4 Promenade

Figure 5 Landscaping

Community Plan Analysis:

The Project site is subject to the Citywide General Plan (adopted in 2008), the Carmel Valley (North City West) Community Plan (1975), and the North City West Employment Center Precise Plan (1981), which are the adopted land use plans for the site. The subject site is conceptually identified as Visitor Commercial by the Carmel Valley Community Plan (Community Plan) and designated Visitor Commercial by the Precise Plan. The Community Plan provides a general framework for future planning and development of the commercial visitor area. It states the need for the visitor commercial uses to serve the office and industrial development in Carmel Valley as well as to the south of the community.

The subject site is part of the Precise Plan area which encompasses an area between I-5 on the west and El Camino Real and Carmel Vista Road on the east, and between Del Mar Heights Road on the north and Carmel Valley Road on the south. This area serves as the major employment area for the community. At the time the Carmel Valley Community Plan was adopted in 1975, all the Precise Plan area, including the subject site, was undeveloped. The subject site encompasses approximately 3.2acres and is located at the end of Valley Center Road, near the intersection of El Camino Real and Carmel Valley Road. Given the proximity of I-5 and State Route 56 interchange and the employment center, hotel and office uses are a compatible use for subject site location.

The Precise Plan provides general guidance for the individual buildings to include natural materials, grey and earth tone colors, and be designed with a varying of heights and massing to break up the bulk of the buildings. The Precise Plan also recommends multiple buildings rather than a single

building. The proposed Project is consistent with these recommendations by proposing multiple buildings with varying heights: a seven-story hotel with 128 rooms and five-story office with an overall total of 173,692 square feet for the project.

The proposed Project would be adjacent to an existing, six-story hotel and a four-story hotel and would be combined with the existing hotels into a cluster of buildings. The Project includes scaled buildings consistent with the neighborhood and will include a combination of glass and grey stucco on the facades. While the proposed building height exceeds the height limit, the building heights are relative to the adjacent hotel and office buildings. To the north of the site is an existing twelve-story hotel and eight-story office building. On the east side of El Camino Real there is an existing six-story hotel. The four adjacent hotels have a total of 755 rooms.

Carme	Val	ley	Hotel	Ro	oms	
_						1

Rooms
129
224
118
284
755

Travel Weekly, 9-23-20

The proposed Project is providing pedestrian friendly entrances and is consistent with the design guidance provided in the Precise Plan. Overall, the proposed Project is consistent with the General Plan in that it concentrates development in already approved and planned neighborhoods, and protects the remaining lands as open space, per Urban Design Element UD-4 which recommends building a "compact, efficient and environmentally sensitive pattern of land development."

Carmel Valley Community Planning Board

The applicant worked with staff and the community planning board to redesign the original buildings, shown in *Figure 6* to the proposed optimal design, shown in *Figure 7*, condensing and terracing the overall massing while enabling the continued integration of the existing surrounding structures that include inviting landscaped pedestrian and bicycle public pathways.



Figure 6 Box design



Figure 7 Terraced design

On April 26, 2018, the Carmel Valley Community planning Board voted 10-0-0 to recommend approval of the project with the requirement that wayfinding signage, identifying the pathways for bicyclists and pedestrians, be provided (Attachment 11).

Conclusion:

The proposed Project with the hotel and office building would benefit the community by providing visitor accommodations and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Additionally, the proposed development would provide numerous job opportunities for the residents of San Diego. The proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided the draft findings to support approval of the Project and draft conditions of approval. Staff recommend the Planning Commission recommend the City Council approve the Project as proposed.

ALTERNATIVES

- Recommend to the City Council ADOPT Addendum No. 400127 to Environmental Impact Report No. 80-05-35/ SCH No. 8007211 7 and APPROVE Vesting Tentative Map No. 2330057 with Easement Vacation, Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, with modifications.
- Recommend the City Council DO NOT ADOPT Addendum No. 400127 to Environmental Impact Report No. 80-05-35/ SCH No. 80072117 and DENY Vesting Tentative Map No. 2330057 with Easement Vacation, Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, if the findings cannot be made.

Respectfully submitted,

Tim Daly Assistant Deputy Director Development Services Department

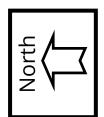
Denise Vo Development Project Manager Development Services Department

Daly/DV

Attachments:

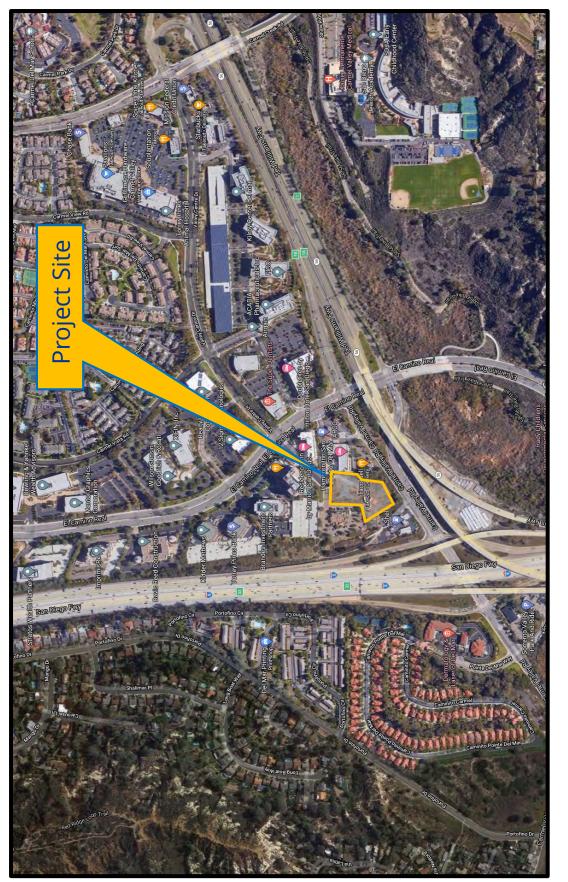
- 1. Project Location Map
- 2. Aerial View
- 3. Community Plan Land Use Map
- 4. Project Data Sheet
- 5. Draft CEQA Resolution
- 6. Draft TM Resolution and Conditions
- 7. Draft Permit Resolution
- 8. Draft Permit with Conditions
- 9. Addendum No. 400127 to Environmental Impact Report No. 80-05-35
- 10. Development Plans and Vesting Tentative Map
- 11. Community Planning Group Recommendation
- 12. Ownership Disclosure Statement

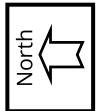




Project Location Map Costa Azul Mixed Use / 3501 Valley Centre Drive PROJECT NO. 400127

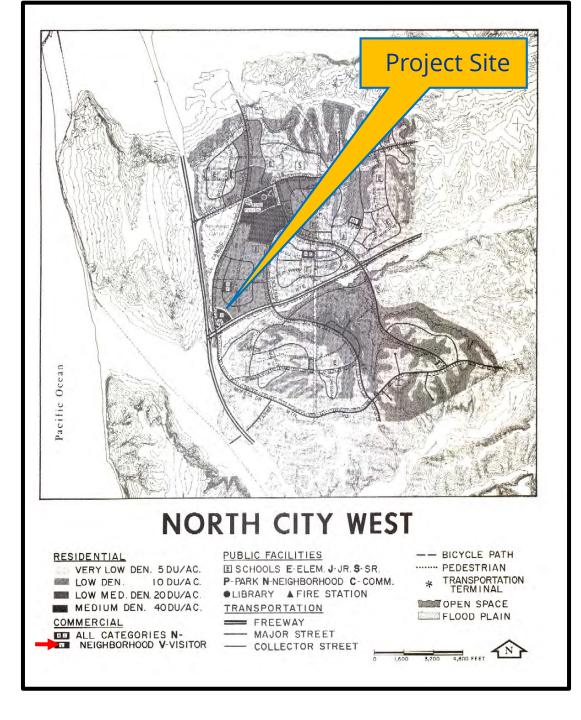






Aerial Photo Costa Azul Mixed Use / 3501 Valley Centre Drive PROJECT NO. 400127







Community Land Use Map

Cost Azul Mixed Use / 3501 Valley Centre Drive PROJECT NO. 400127



PROJECT DATA SHEET

PROJECT NAME:	Costa Azul Mixed Use – Project No. 400127	
PROJECT DESCRIPTION:	The construction of a 77,652-square-foot, 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815-square-foot restaurant with height deviations, lot consolidation, the creation of three commercial condominiums, and an easement vacation on a vacant 3.2-acre site.	
COMMUNITY PLAN AREA:	Carmel Valley Neighborhood 2	
DISCRETIONARY ACTIONS:	S: CDP/PDP/VTM and Vesting Tentative Map with Easement Vacation	
COMMUNITY PLAN LAND USE DESIGNATION:	Visitor Commercial	

ZONING INFORMATION:

ZONE:	CVPDO-VC
HEIGHT LIMIT:	76'-0" and 68-6" height where 60'-0" is the maximum in the VC zone
LOT SIZE:	3.2-acre vacant portion of a 9.89-acre mapping site
FLOOR AREA RATIO:	1.3 FAR where 2.0 FAR is the max permitted
FRONT SETBACK:	10'-0" minimum and observed
SIDE SETBACK:	10'-0" minimum
STREETSIDE SETBACK:	10'-0" minimum
REAR SETBACK:	10'-0" minimum
PARKING:	454 subterranean and surface spaces

ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Visitor Commercial/CVPDO-VC	Visitor Commercial; Hotel and Office Building
SOUTH:	Visitor Commercial/CVPDO-VC	Visitor Commercial; Hotel
EAST:	Visitor Commercial/CVPDO-VC	Visitor Commercial; Hotel and Visitor uses
WEST:	Visitor Commercial/CVPDO-VC	Visitor Commercial Automobile Service Station
DEVIATION REQUESTED:	76'-0" and 68-6" height where 60'-0" is the maximum in the VC zone	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 26, 2018, the Carmel Valley Community Planning Board voted 10- 0-0 to recommend approval of the project as presented with wayfinding signage provided so that bicyclists and pedestrians will know that the internal pathways to public pathways.	

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE ______

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO CERTIFYING ENVIRONMENTAL IMPACT REPORT ADDENDUM NO. 400127 TO ENVIRONMENTAL IMPACT REPORT NO. 80-05-35/SCH NO. 80072117 FOR THE COSTA AZUL MIXED USE PROJECT NO. 400127.

WHEREAS, in 1981, Pardee Construction Co. submitted an application to Development Services Department for a Precise Plan, Planned District Ordinance Amendment, and Tentative Subdivision Map for the North City West Employment Center Precise Plan (Project); and

WHEREAS, on November 24, 1981, the City Council adopted Resolution No. R-255425 certifying Environmental Impact Report No. 80-05-35, a copy of which is on file in the Development Services Department in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on December 14, 1982, the City Council adopted Resolution No. R-257674 certifying Environmental Impact Report No. 81-1212, a copy of which is on file in the Development Services Department in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on September 13, 1983, the City Council adopted Resolution No. R-259233 adopting Addendum No. 83-0191, a copy of which is on file in the Development Services Department in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on September 18, 1984, the City Council adopted Resolution No. R-261594 adopting Addendum No. 84-0213, a copy of which is on file in the Development Services Department in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on December 22, 2014, Hunter Oliver, Carmel Valley Centre Drive, LLC submitted an application to the Development Services Department for approval of minor technical changes or additions to the Project including a Coastal Development Permit, Planned Development Permit, Site Development Permit (including, Planned District Ordinance Amendment), Tentative Subdivision Map and an Easement Vacation; and WHEREAS, State CEQA Guidelines section 15164(a) allows a lead agency to prepare an Addendum to a final Environmental Impact Report if such Addendum meets the requirements of CEQA; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego as follows:

1. That the information contained in the final Environmental Impact Report No. 80-05-35 / SCH No. 80072117, Environmental Impact Report No. 81-1212, Addendum No. 83-0191, Addendum No. 84-0213 along with the Addendum has been reviewed and considered by this City Council prior to making a decision on the Project.

2. That there are no substantial changes proposed to the Project and no substantial changes with respect to the circumstances under which the Project is to be undertaken that would require major revisions in the Environmental Impact Report for the Project.

3. That no new information of substantial importance has become available showing that the Project would have any significant effects not discussed previously in the Environmental Impact Report or that any significant effects previously examined will be substantially more severe than shown in the Environmental Impact Report.

4. That no new information of substantial importance has become available showing that mitigation measures or alternatives previously found not to be feasible are in fact feasible which would substantially reduce any significant effects, but that the Project proponents decline to adopt, or that there are any considerably different mitigation measures or alternatives not previously considered which would substantially reduce any significant effects, but that the Project proponents decline to at the Project proponents decline to adopt.

5. That pursuant to State CEQA Guidelines Section 15164, only minor technical changes or additions are necessary, and therefore, the City Council adopts Addendum to Environmental Impact Report No. 80-05-35 / SCH No. 80072117, a copy of which is on file in the office of the Development Services Department.

That Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: [XXXX, CITY ATTORNEY or DEVELOPMENT PROJECT MANAGER]

By:

[NAME], [DEPUTY CITY ATTORNEY or DEVELOPMENT PROJECT MANAGER

CITY COUNCIL CONDITIONS FOR VESTING TENTATIVE MAP NO. 2330057 COSTA AZUL MIXED USE - PROJECT NO. 400127

ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

- 1. This Vesting Tentative Map will expire August XX, 2024.
- 2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map unless otherwise noted.
- 3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid tax lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
- 4. The Vesting Tentative Map shall conform to the provisions of Coastal Development Permit No. 1402084, Site Development Permit No. 1402087, and Planned Development Permit No. 1402086.
- 5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

- 6. The Subdivider shall construct a new sidewalk per current City Standard adjacent to the site on Old El Camino Real, satisfactory to the City Engineer.
- 7. The Subdivider shall construct a new driveway per current City Standards adjacent to the site on El Camino Real, satisfactory to the City Engineer.

- 8. The Subdivider shall reconstruct the existing curb ramp on corner of Old El Camino Real and Carmel Valley Road adjacent to the site, with current City Standards curb ramp to satisfaction of the City Engineer.
- Per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Subdivider will be required to install a new streetlight on Carmel Valley Road and upgrade existing streetlights adjacent to the site to satisfaction of the City Engineer.
- 10. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
- 11. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 12. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

- 13. The specific easements shown on the Vesting Tentative Map exhibit shall be vacated pursuant to section 66445(j) of the Subdivision Map Act.
- 14. Prior to the expiration of the Vesting Tentative Map, a Parcel Map to consolidate and subdivide the 9.890 acres property into 2 (two) Parcels shall be recorded with the County Recorder's office.
- 15. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
- 16. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
- 17. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

- 18. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

TRANSPORTATION

19. Prior to recordation of the Parcel Map, the Subdivider shall show a dedication of 3'-0" on Valley Centre Drive, satisfactory to the City Engineer.

INFORMATION:

- The approval of this Vesting Tentative Map by the City Council of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required

permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code section 142.0607).

Internal Order No. 24005397

CITY COUNCIL RESOLUTION NUMBER R-_____

VESTING TENTATIVE MAP NO. 2330057 COSTA AZUL MIXED USE - PROJECT NO. 400127

WHEREAS, CARMEL VALLEY CENTRE DRIVE, LLC, a California Limited Liability Company, Subdivider, and Adam Eisenberg, Surveyor, submitted an application to the City of San Diego for a Vesting Tentative Map No. 2330057 and easement vacation (Map), for the Costa Azul hotel and office mixeduse project (Project). The project site is located at 3501 Valley Centre Drive in the Visitor Commercial (VC) Zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas) , Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within the Carmel Valley Community Plan area. The project site is legally described as Lots 3 and 4 of Pardee Visitor Center, Map No. 11479, together with a portion of Parcel 1 of Parcel Map No. 1848; and

WHEREAS, the Map proposes the Subdivision to consolidate and subdivide the 9.80-acre property into two Parcels, including one 3.2-acre site with three commercial condominiums; and

WHEREAS, the Project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code (SDMC) section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of commercial condominium units is three (3); and

WHEREAS, on July 22, 2021, the Planning Commission of the City of San Diego considered Vesting Tentative Map No. 2330057 and Easement Vacation, and pursuant to Resolution No. PC-______, voted to recommend City Council approval of the Map; and

(R-[Reso Code])

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on ______, the City Council of the City of San Diego considered

Vesting Tentative Map No. 2330057 and Easement Vacation, and pursuant to San Diego Municipal

Code sections 125.0440, and 125.1040, and Subdivision Map Act section 66428, received for its

consideration written and oral presentations, evidence having been submitted, and testimony

having been heard from all interested parties at the public hearing, and the City Council having fully

considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following

findings pursuant to SDMC section 125.0440 with respect to Vesting Tentative Map No. 2330057:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The Costa Azul Mixed-Use Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) Zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area.

The proposed map will consolidate and subdivide a 9.89-acre property into two Parcels; Parcel One will be 3.2-acres and Parcel Two, 6.7-acres. The Project on Parcel One will include three commercial condominiums; hotel, office building and parking structure. Parcel Two is currently developed with an office building and parking structure, there is no proposed construction on this site.

Parcel One will be developed with a 77,652-square-foot, seven-story, 128-room hotel, a 96,040 square-foot, five-story office building which includes a 4,815 square-foot restaurant, and accessory uses and structures. The site is previously graded at a lower elevation than existing development to the north and includes a promenade, bicycle and pedestrian access to Old El Camino Real which allows views along the west property line.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor

Commercial and the North City West Employment Center Precise Plan (Precise Plan) as Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The proposed subdivision to develop a hotel, office building with restaurant and two-level subterranean parking garage on Parcel One is consistent with the policies, goals, and objectives of the Carmel Valley Community Plan and North City Local Coastal Land Use Plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed subdivision of a 9.89-acre site into two Parcels (Parcel One, 3.2-acres and Parcel Two, 6.7-acres) and development of a 77,652 square-foot, seven-story, 128-room hotel, a 96,040 square-foot, five-story office building including a 4,815 square-foot restaurant and accessory uses and structures on Parcel One. All development on Parcel One has been designed to comply with all of the applicable development regulations, including the VC Zone of the Carmel Valley Planned District. The Project meets all applicable Land Development requirements of this zone, except for height. A Planned Development Permit (PDP) for height deviations is proposed pursuant to SDMC section 126.020(b)(1). The requested deviation is to allow the hotel height at 76 feet and the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone. The increased height to both structures was the optimal designed to condense the overall massing while enabling the continued integration of the existing surrounding structures that include inviting landscaped pedestrian and bicycle public pathways. Therefore, the proposed development will comply with the applicable zoning and development regulations of the Land Development Code, including any proposed deviations that are appropriate for this location.

3. The site is physically suitable for the type and density of development.

The proposed map will consolidate and subdivide a 9.89-acre property into two Parcels, Parcel One will be 3.2-acres and Parcel Two will be 6.7-acres. The Project, on Parcel One will include three commercial condominiums, hotel, office building and parking structure. Parcel Two is currently developed with an office building and parking structure and there is no proposed development on this site.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) as Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The proposed development will comply with the applicable zoning and development regulations of the Land Development Code which includes a Planned Development Permit for a height deviation. The subdivision will allow the site to be accessed from Valley Centre Drive and Old El Camino Real, and will provide bicycle and pedestrian access from Valley Centre Drive through a promenade to Old El Camino Real, Carmel Valley Road, the Los Peñasquitos Lagoon, and Pacific Ocean. Therefore, the project as designed is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The proposed Project will complete the development in the Visitor Commercial (CV) Zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652 square-foot, seven-story, 128-room hotel, a 96,040 square-foot, five-story office building including a 4,815 square-foot restaurant, and accessory uses and structures.

The Project site is undeveloped and located on a previously graded flat pad, within an urbanized area of Carmel Valley, adjacent to the Interstate 5 Freeway. The site does not contain or support Environmentally Sensitive Lands (ESL) as defined by the Biology Guidelines of the City's Land Development Manual. The site does not contain native or sensitive plant species, wildlife species, or vegetation communities; wetlands that would be expected to support special status wildlife species; or lands classified as Tier I, Tier II, Tier IIIA, or Tier IIIB Habitats. West of the project site there is a man-made storm water retention facility that contains vegetation dominated by cattail, which is commonly found in storm water facilities throughout the City of San Diego. The project would not directly impact this storm water retention facility, which is maintained by the City and does not support sensitive species. Surface drainage run-off from the developed portions of the site will be conveyed through a new drain and biofiltration system. Long-term operational storm water discharge would be reduced compared to existing conditions and directed through on-site landscaping and storm drains prior to discharging into an off-site detention basin.

The development of this site proposes 50,000 cubic yards of cut, and 1,000 cubic yards of fill, for a total export of 49,000 cubic yards. Most of the grading will be to provide a subterranean parking facility for the development and construction of the seven-story hotel and five-story office building. Therefore, the design of the subdivision and proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), in Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652 square-foot, seven-story, 128-room hotel, a 96,040 square-foot, five-story office building including a 4,815 square-foot restaurant, and accessory uses and structures.

The City of San Diego previously prepared and certified the Community Plan Final EIR (EQD No. 76-05-25P) in February 1975 and Employment Center Precise Plan Final EIR (EOD No. 80-05-35) in November 1981; amended the Precise Plan incorporating the project site and other lands using an Addendum to the Employment Center Precise Plan Final EIR (EQD No. 83-0191) in July 1983; and approved the Visitor Center Development Plan using an Addendum to the Employment Center Precise Plan Final EIR (EQD No. 84-0213) in September 1984. The City of San Diego also previously prepared and certified the Neighborhoods 4, 5 and 6 Precise Plan Final EIR (EQD No. 81-1212) in 1982. Therefore, an Addendum has been prepared in accordance with sections 15162 and 15164 of the State CEOA Guidelines. The Community Plan Final EIR, Precise Plan Final EIR (an amended) and Neighborhoods 4, 5, and 6 Precise Plan Final EIR are incorporated by reference pursuant to CEQA Guidelines Section 15150. The project will make public health and safety improvements including restoration of curb, gutter and sidewalks along the Valley Centre Drive street frontage, vacation and relocation of a water easement, vehicle, bicycle, and pedestrian access from Old El Camino Real and dedication of an additional three feet to the public right-of-way on Valley Centre Drive.

The development permits controlling the development for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by the City to ensure construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The proposed subdivision contains public service easements that will remain with no development restricting access. The project will vacate and relocate a water easement adjacent to Valley Centre Drive, with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of a 9.89-acre site into two lots for commercial development will not impede or inhibit any future passive or natural heating and cooling opportunities. The

design of the subdivision has taken into account the best use of the land to minimize grading and provide a promenade through the site. Through the building permit process, each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The proposed subdivision of a 9.89-acre site into two lots for commercial development will provide office employment in the Carmel Valley Community Plan area and visitor uses, including a 128-room hotel and restaurant. The subdivision is located on previously graded pads within the Employment Center Neighborhood and is designated and zoned for Visitor Commercial uses. Therefore, the decisionmaker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein

incorporated by reference.

BE IT FURTHER RESOLVED, that portions of a water easement, located within the project

boundaries as shown in Vesting Tentative Map No. 2330057, shall be vacated, contingent upon the

relocation of a water easement and recordation of the approved Parcel Map for the project, and that

the following findings are supported by the minutes, maps, and exhibits, all of which are herein

incorporated by reference:

9. There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated. (San Diego Municipal Code section 125.1040(a))

The site located at 3501 Valley Centre Drive was previously graded. The subdivision will create a 3.2-acre site to be developed with a hotel, office building and parking structure. The project will vacate and relocate a water easement adjacent to Valley Centre Drive with the recordation of the Parcel Map. Because the utility easement will be relocated, there will be no prospective public use of the easement to be vacated, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

10. The public will benefit from the action through improved utilization of the land made available by the vacation. (San Diego Municipal Code section 125.1040(b))

The proposed subdivision contains public service easements that will remain with no development restricting access. The Project will vacate and relocate a water easement adjacent to Valley Centre Drive with the recordation of the Parcel Map. The design of the subdivision has taken into account the best use of the land to minimize grading and provide a promenade through the site. The easement vacation and relocation will benefit the public through property taxes and hotel room tax for the general fund, and public access of the area, therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

11. The vacation is consistent with any applicable land use plan. (San Diego Municipal Code section 125.1040(c))

The Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) Zone of the Carmel Valley Planned District (CVPD), in Neighborhood 2 of the Carmel Valley Community Plan area.

The proposed Map will consolidate and subdivide a 9.89-acre property into two Parcels, Parcel One will be 3.2-acres and Parcel Two will be 6.7-acres. The Project on Parcel One will include three commercial condominiums hotel, office building and parking structure. Parcel Two is currently developed with an office building and parking structure, there is no proposed construction on this site.

Parcel One will be developed with a 77,652 square-foot, seven-story, 128-room hotel, a 96,040 square-foot, five-story office building which includes a 4,815 square-foot restaurant, and accessory uses and structures.

The site is designated by the Carmel Valley (North City West) Community Plan and the North City West Employment Center Precise Plan as Visitor Commercial and is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The vacation and relocation of the water easement will continue to allow development of visitor accommodations and office uses in compliance with the community plan and zone. Therefore, the vacation is consistent with the Carmel Valley Community Plan.

12. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists. (San Diego Municipal Code section 125.1040(d))

The proposed subdivision contains public service easements that will remain with no development restricting access. The Project will vacate and relocate a water easement

adjacent to Valley Centre Drive, with the recordation of the Parcel Map. The purpose for which the easement was acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists because the water easement will be relocated.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City

Council for Vesting Tentative Map No. 2330057 and Easement Vacation are hereby granted to

Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Subdivider, subject to the

attached conditions which are made a part of this resolution by this reference.

APPROVED Mara W. Elliott, City Attorney

Bу

[Attorney] Deputy City Attorney

[Initials]:[Initials] [Month]/[Day]/[Year] Or.Dept:[Dept] R-R-[Reso Code]

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24005397

CITY COUNCIL RESOLUTION NO. _____ COASTAL DEVELOPMENT PERMIT NO. 1402084 PLANNED DEVELOPMENT PERMIT NO. 1402086 SITE DEVELOPMENT PERMIT NO. 1402087 COSTA AZUL MIXED USE PROJECT NO. 400127

AMENDMENT TO NORTH CITY WEST PLANNED DISTRICT DEVELOPMENT PERMIT (NCWPDDP) NO. 83-0191

WHEREAS, CARMEL VALLEY CENTRE DRIVE, LLC, a California Limited Liability Company,

Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit (CDP), Planned Development Permit (PDP), and Site Development Permit (SDP), to construct a hotel and office building known as the Costa Azul project, located at 3501 Valley Centre Drive, and legally described as Lots 3 and 4 of Pardee Visitor Center, Map No. 11479, together with a portion of Parcel 1 of Parcel Map No. 18484, in the Carmel Valley Community Plan area, in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area; and

WHEREAS, on July 22, 2021, the Planning Commission of the City of San Diego considered CDP No. 1402084, PDP No. 1402086, and SDP No. 1402087, and pursuant to Resolution No. ______-PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on ______, testimony

having been heard, evidence having been submitted, and the City Council having fully considered

the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings

with respect to CDP No. 1402084, PDP No. 1402086, and SDP No. 1402087:

1. COASTAL DEVELOPMENT PERMIT (San Diego Municipal Code (SDMC) section 126.0708)

a. <u>Findings for all Coastal Development Permits:</u>

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan

The Costa Azul Mixed-Use Project (Project) is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot sevenstory, 128-room hotel, a 96,040-square-foot, five-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The Project is located at 3501 Valley Centre Drive, within the Coastal Overlay Zone Non-Appealable Area 1 and the Appealable jurisdiction to the California Coastal Commission. The site is east of Interstate 5, North of Highway 56, on graded pads above Carmel Valley Road. South of Carmel Valley Road is the open space area of Carmel Valley that feeds into the Los Peñasquitos Lagoon and ultimately to the Pacific Ocean. The project site is not located within the First Public Roadway (south of Carmel Valley Road and west of Sorrento Valley Road) and the Pacific Ocean.

The Project site does not contain any form of existing physical accessway legally used by the public as identified by the Carmel Valley Community Plan and North City Local Coastal Program Land Use Plan, and none is anticipated. The proposed structures will be developed within the existing graded project site area with minimal grading of previously graded slopes, and entirely within private property. Further, the Project includes a landscaped, 8-foot pedestrian and bicycle promenade along the western property line that connects the development to Old El Camino Real for the mutual benefit of Costa Azul, the Marriott Hotel and CV Hotel. The promenade provides access to Carmel Valley Road, the Los Peñasquitos Lagoon, and the Pacific Ocean. The proposed Project meets the development standards, such as building setbacks, off-street parking, and floor area ratio required by the underlying zone, however, does include deviations for structure height. The proposed seven-story hotel and five-story office buildings are consistent with adjacent hotels and office buildings which range from 8-12 stories. The Project site is located at a lower elevation than the northern pads directly northeast of the Interstate 5 and Highway 56 intersection, the proposed development will not affect public views to and along the ocean and other scenic coastal areas as specified in the Carmel Valley Community Plan and North City Local Coastal Program Land Use Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program Land Use Plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Coastal Program Land Use Plan.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot seven-story, 128-room hotel, a 96,040square-foot, five-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The Project site is undeveloped and located on a previously graded flat pad, within an urbanized area of Carmel Valley, adjacent to the Interstate 5 Freeway. The site does not contain or support Environmentally Sensitive Lands as defined by the Biology Guidelines of the City's Land Development Manual. The site does not contain native or sensitive plant species, wildlife species, or vegetation communities; wetlands that would be expected to support special status wildlife species; or lands classified as Tier I, Tier II, Tier IIIA, or Tier IIIB Habitats.

West of the project site there is a man-made storm water retention facility that contains vegetation dominated by cattail, which is commonly found in storm water facilities throughout the City of San Diego. The project would not directly impact this storm water retention facility, which is maintained by the City and does not support sensitive species. Surface drainage run-off from the developed portions of the site will be conveyed through a new drain and biofiltration system. Long-term operational storm water discharge would be reduced compared to existing conditions and directed through on-site landscaping and storm drains prior to discharging into an off-site detention basin.

The development of this site proposes 50,000 cubic yards of cut, and 1,000 cubic yards of fill, for a total export of 49,000 cubic yards. Most of the grading will be to provide a subterranean parking facility for the development and construction of the

hotel and office building. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

The Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot seven-story, 128-room hotel, a 96,040square-foot, five-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The project site is subject to the Citywide General Plan (adopted in 2008), the Carmel Valley (North City West) Community Plan (1975), and the North City West Employment Center Precise Plan (1981), which is the adopted land use plan for the site. The subject site is conceptually identified as Visitor Commercial by the Carmel Valley Community Plan (Community Plan) and designated Visitor Commercial by the Precise Plan. The Community Plan provides a general framework for future planning and development of the commercial visitor area. It states the need for the visitor commercial uses to serve the office and industrial development in Carmel Valley as well as areas to the south of the community. The subject site encompasses approximately 3.2-acres and is located at the end of Valley Centre Road, near the intersection of El Camino Real and Carmel Valley Road. Given the proximity of I-5 and State Route 56 interchange, the employment center, hotel, and office uses are compatible use for the subject site location.

The proposed seven-story hotel and five-story office building with restaurant are designed to comply with the VC Zone of the Carmel Valley Planned District by utilizing the existing topography and minimizing the amount of grading outside of the building footprint. The parking for the development will include a two-level subterranean parking garage. The proposed project complies with all the setbacks, and is proposing a floor area ratio of 1.3, well below the maximum of 2.0 allowed in the VC Zone. The project meets all applicable development regulations of the SDMC and the Coastal Overlay Zone. A Planned Development Permit (PDP) for height deviations is proposed pursuant to SDMC section 126.020(b)(1). The requested deviation is to allow the hotel height at 76 feet and the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone. The purpose of a PDP, as stated in SDMC section 126.0601, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. The increased height to both structures was the optimal designed to condense the

overall massing to enable the continued integration of the existing hotels, office building, and other surrounding structures.

The site does not contain any form of physical accessway legally used by the public as identified by the Carmel Valley Community Plan and North City Local Coastal Program Land Use Plan, and none are anticipated. In addition, the project site does not contain nor is adjacent to any public views as identified by the Carmel Valley Plan and the North City Local Coastal Program Land Use Plan. The proposed project is sited within the private property, within the allowed building envelope and will not negatively affect any designated public view, as identified by the Carmel Valley Community Plan and the North City Local Coastal Program Land Use Plan. Project development will be fully contained within the existing legal lot area. Therefore, the proposed project has been determined to be in conformance with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act

The Project site is located at 3501 Valley Centre Drive and is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The proposed development of the property will maintain the existing public right-of-way. Further, the Project site does not contain public access way or recreational resources and would not encroach upon beaches or the coastline access way or recreational areas. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

PLANNED DEVELOPMENT PERMIT [SDMC Section126.0605]

a. <u>Findings for all Planned Development Permits</u>:

(1) The proposed development will not adversely affect the applicable land use plan.

The Project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot seven-story, 128-room hotel, a 96,040square-foot, five-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The project site is subject to the Citywide General Plan (adopted in 2008), the Carmel Valley (North City West) Community Plan (1975), and the North City West

Employment Center Precise Plan (1981), which is the adopted land use plan for the site. The subject site is conceptually identified as Visitor Commercial by the Carmel Valley Community Plan (Community Plan) and designated Visitor Commercial by the Precise Plan. The Community Plan provides a general framework for future planning and development of the commercial visitor area. It states the need for the visitor commercial uses to serve the office and industrial development in Carmel Valley as well as areas to the south of the community. The subject site encompasses approximately 3.2-acres and is located at the end of Valley Centre Road, near the intersection of El Camino Real and Carmel Valley Road. Given the proximity of I-5 and State Route 56 interchange, the employment center, hotel and office uses are compatible uses for the subject site location.

In 1984, the City Council approved Planned Commercial Development (PCD) No. 83-0191 on Lots 1-5 in Unit No. 2 of North City West Employment Center. The approved project included a 500-unit hotel, three restaurants, and auto service station. In 1999, an amendment PCD 83-0191.1 was approved for a 270-unit hotel and 170,000square-foot office building. The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within Lots 1 through 5.

The proposed hotel and office building with restaurant are consistent with community plan land use. The proposed structures comply with the regulations of the VC Zone with a Planned Development Permit for height deviations. The proposed hotel, office building with restaurant, and two-level subterranean parking garage will not adversely affect the Carmel Valley Community Plan and North City Local Coastal Land Use Plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed develop of a vacant 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures has been designed to comply with all of the applicable development regulations, including those of the VC Zone of the Carmel Valley Planned District, Coastal Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area with height deviations, as allowed with a Planned Development Permit.

The City of San Diego previously prepared and certified the Community Plan Final EIR (EQD No. 76-05-25P) in February 1975 and Employment Center Precise Plan Final EIR (EQD No. 80-05-35) in November 1981; amended the Precise Plan incorporating the project site and other lands using an Addendum to the Employment Center Precise Plan Final EIR (EQD No. 83-0191) in July 1983; and approved the Visitor Center Development Plan using an Addendum to the Employment Center Precise Plan Final EIR (EQD No. 84-0213) in September 1984. The City of San Diego also previously prepared and certified the Neighborhoods 4, 5 and 6 Precise Plan Final EIR (EQD No.

81-1212) in 1982. Therefore, an Addendum has been prepared in accordance with Sections 15162 and 15164 of the State California Environmental Quality Act (CEQA) Guidelines. The Community Plan Final EIR, Precise Plan Final EIR (an amended) and Neighborhoods 4, 5, and 6 Precise Plan Final EIR are incorporated by reference pursuant to CEQA Guidelines Section 15150. The project will make public health and safety improvements including restoration of curb, gutter and sidewalks along the Valley Centre Drive street frontage, vacation and relocation of a water easement, vehicle, bicycle, and pedestrian access from Old El Camino Real and dedication of an additional three feet to the public right-of-way on Valley Centre Drive.

The permit controlling the development for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff to ensure construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The proposed develop of a vacant 3.2-acre parcel with a 77,652-square-foot sevenstory, 128-room hotel, a 96,040-square-foot, five-story office building including a 4,815 square foot restaurant, and accessory uses and structures has been designed to comply with all of the applicable development regulations, including those of the VC Zone of the Carmel Valley Planned District, Coastal Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area with height deviations, as allowed with a Planned Development Permit.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) within Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan. The site is previously graded and at a lower elevation than existing development to the north and includes a promenade, bicycle and pedestrian access to Old El Camino Real which allows views along the west property line.

The proposed hotel and office structures comply with the regulations of the VC Zone with a deviation to allowed height. The requested deviation is to allow the hotel height at 76 feet and the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone pursuant to SDMC Table 131-05D. The proposed hotel and office building with restaurant use will include a two-level subterranean parking garage and will include a promenade for pedestrian and bicycle access to Old El Camino Real, Carmel Valley, Los Peñasquitos Lagoon, and the Pacific Ocean. The height deviation allows the development to have five- and seven-story towers articulated to break up and condense the building massing, enable the continued integration of the existing hotels, office building, and other existing surrounding development structures.

The purpose of a PDP, as stated in SDMC section 126.0601, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

SITE DEVELOPMENT PERMIT [SDMC Section 126.0605]

a. Findings for all Site Development Permits

(1) The proposed development will not adversely affect the applicable land use plan.

The proposed Site Development Permit is required for all major development projects pursuant to <u>SDMC Section 153.0201(b)</u>. The SDP, in accordance with the CVPD requirements would amend and replace NCWPDDP No. 83-0191 as the governing entitlements for Lots 3 and 4.

See Planned Development Permit Finding a.(1).

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

See Planned Development Permit Finding a.(2).

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

See Planned Development Permit Finding a.(3).

The above findings are supported by the minutes, maps, and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED, that CDP No. 1402084, PDP No. 1402086, and SDP No. 1402087, is

granted to Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Owner/Permittee,

under the terms and conditions set forth in the attached permit which is made a part of this

resolution.

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO CITY CLERK MAIL STATION 2A

INTERNAL ORDER NUMBER: 24005397

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1402084 PLANNED DEVELOPMENT PERMIT NO. 1402086 SITE DEVELOPMENT PERMIT NO. 1402087

COSTA AZUL MIXED USE PROJECT NO. 400127

AMENDMENT TO NORTH CITY WEST PLANNED DISTRICT DEVELOPMENT PERMIT (NCWPDDP) NO. 83-0191

CITY COUNCIL

This Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, are granted by the City Council of the City of San Diego to Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702, 126.0602, and 126.0502. The proposed 3.2-acre site is located at 3501 Valley Centre Drive in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), the Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area within the Carmel Valley Community Plan area. The project site is legally described as Lots 3 and 4 of Pardee Visitor Center, Map No. 11479, together with a portion of Parcel 1 of Parcel Map No. 18484.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a hotel and office building development subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August XX, 2021, on file in the Development Services Department.

The project shall include:

- a. Construction of a seven-story, 128-room hotel, approximately 77,652 square feet of gross floor area, a five-story office building, approximately 96,040 square feet of gross floor area including a 4,815 square foot restaurant, and accessory uses and structures;
- b. Deviations to development regulations for height within the VC Zone. The hotel will be approximately 76'-0" in height and the office building approximately 68'-6" in height where the maximum height in the VC Zone is 60'-0" pursuant to Table 131-05D.

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking, including a subterranean parking garage; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August XX, 2021.

2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

4. Prior to issuance of any construction permit authorizing grading or construction of impervious surfaces, a fee shall be deposited with the Development Services Department for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the Owner/Permittee and verified by the Development Services Department.

5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions,

including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

13. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

16. The project proposes to export 49,000 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private improvements within Water, Sewer and Drainage Easement.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for landscaping/ irrigation on Valley Centre Drive.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private pipe connecting to public storm drain structure.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall dedicate an additional 3 feet on Valley Center Drive to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond removal of existing driveways on Valley Centre Drive and replace them with two 25-foot driveways per current City Standards satisfactory to City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

25. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

26. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

27. The Planned Development Permit No. 1402086, Coastal Development Permit No. 1402084, and Site Development Permit No. 1402087 shall comply with all conditions of the Parcel Map for Vesting Tentative Map No. 2330057.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

29. Prior to issuance of any construction permit for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. Prior to issuance of any construction permit for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

31. In the event that a foundation only construction permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another approved entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged, or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

34. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

38. Prior to the issuance of any construction permit, a minimum 8-foot wide pedestrian and bicycle pathway for public access shall be provided in conformance with Exhibit "A."

39. Prior to the issuance of any construction permit, a trash enclosure shall be located in the subterranean parking area in conformance with Exhibit "A."

40. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, which shall include a pedestrian promenade along the western property line connecting the development to Old El Camino Real for the mutual benefit of Costa Azul (APN 307-240-0400 & 307-240-0300) and the CV Hotel (APN 307-240-0200).

41. Prior to the issuance of any construction permit, construction documents must show visual interest via protrusions, recesses, color variation, and height and texture variation on all building elevations consistent with the design elements in Exhibit "A."

GEOLOGY REQUIREMENTS:

42. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

43. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The asgraded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

TRANSPORTATION REQUIREMENTS

44. Prior to issuance of any construction permit, the Owner/Permittee shall record a shared parking agreement between all commercial condominiums within the project site, to the satisfaction of the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

45. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

46. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

47. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

48. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

49. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the construction permit plan check.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on ______ and Resolution No. _____.

ATTACHMENT 8

Permit Type/PTS Approval No.: Coastal Development Permit No. 1402084 Planned Development Permit No. 1402086 Site Development Permit No. 1402087 Date of Approval: August XX, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Denise Vo Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Owner/Permittee

Ву _____

NAME: TITLE:

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



ADDENDUM TO A ENVIRONMENTAL IMPACT REPORT

THE CITY OF SAN DIEGO

Project No. 400127 Addendum to EIR No. 80-05-35 SCH No. 80072117

SUBJECT: COSTA AZUL MIXED-USE: COASTAL DEVELOPMENT PERMIT, PLANNED DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT, VESTING TENTATIVE MAP AND EASEMENT VACATION to construct a 77,652-square-foot, 128-room seven-story hotel and a 96,040-square-foot five-story office building. In addition to a two-level subterranean parking garage beneath both structures, surface parking would also be provided. The 3.2-acre vacant project site is located at 3501 Valley Centre Drive and is designated as Visitor Commercial and zoned Visitor Commercial (VC) by the Carmel Valley Community Plan. The General Plan identifies the site for Visitor Commercial use. The property is also within Coastal Overlay Zone (Appealable and Non-Appealable Area 1), Parking Impact Overlay Zone (Coastal Impact Area) and 2035 Transit Priority Area. (LEGAL DESCRIPTION: Lots 3 and 4 of Pardee Visitor Center, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 11479, filed April 2, 1986). Applicant: Carmel Valley Centre Drive, LLC

I. SUMMARY OF ORIGINAL PROJECT

The project site is within the plan boundaries of Carmel Valley Community Plan and North City West Employment Center Precise Plan (Precise Plan). The Carmel Valley Community Plan (Community Plan) was adopted and Community Plan Final EIR was certified (EQD No. 76-05-25P) by City Council on February 27, 1975. The Community Plan called for the preparation of separate precise plans for various neighborhoods in the North City West community. The 1975 Community Plan designated the project site for Visitor Commercial use.

In November 1981, the City Council approved the North City West Employment Center Precise Plan by Resolution No. 2555424 and certified the Final Environmental Impact Report (EQD No. 80-05-35) (hereinafter referred to as the Precise Plan Final EIR) via Resolution No. R-255425. The Precise Plan provides the long-range, comprehensive policy framework for the development of the North City West Employment Center (referred to as Development Unit Number 2). The Precise Plan envisioned an integrated community consisting of residential, commercial, industrial uses, as well as the necessary utility infrastructure. As part of the Precise Plan approval process, the CVPD Ordinance was amended. The Precise Plan identifies two land uses within the plan area, consistent with the Carmel Valley Community Plan: Employment Center and Visitor Commercial. Employment Center uses are envisioned as a mix of industrial, office and commercial development to be implemented in a comprehensively designed and controlled manner. Visitor-Commercial use within the Precise Plan is intended to serve the lodging, dining, and recreational needs of both tourists and the local population near employment centers and areas with recreational resources or other visitor attractions. While no architectural style is identified in the Precise Plan, a consistent approach to siting, scale, materials, graphics, color, landscape and form is envisioned in the planning concepts it contains. Implementation of the Precise Plan is ensured through compliance with the CVPD Ordinance (SDMC Section 153.0201).

The Precise Plan Final EIR concluded that the development plan implementation would result in significant environmental impacts to traffic circulation, biological resources, visual aesthetics (i.e., visual effects/and neighborhood character), climate and air quality, archaeological resources (i.e., historical resources), hydrology/water quality, and growth inducement. The Final EIR determined that the Precise Plan's impacts to traffic circulation (cumulative), biological resources (direct and cumulative), visual aesthetics (direct), hydrology/water quality (cumulative), and growth inducement (cumulative) would be significant even after mitigation is imposed. The Precise Plan's impacts to climate and air quality, archaeological resources, geology/soils and urban support services (i.e., energy) were determined to be less than significant with mitigation implemented. Precise Plan impacts related to land use and urban support services (i.e., water, sewer, fire and police protection, and solid waste) were determined to be less than significant, requiring no mitigation.

In 1983, the City Council approved and adopted an amendment to the Precise Plan which added 47.9 acres into the Precise Plan for Neighborhood 2, including the project site, and amended the Planned District Ordinance via Resolution No. R-259233. The amendment incorporated all land between Old El Camino Real and the proposed realignment of El Camino Real in the Employment Center use, while a portion of the area was further designated for visitor center use, as described in the Community Plan. At that time, the project site was rezoned from A-1-1 to VC (Visitor Commercial) through a Planned District Ordinance amendment and designated for Visitor Commercial, consistent with the Community Plan. An Addendum to the Precise Plan ElR was prepared addressing the impacts of adding acreage to the Precise Plan including the Visitor Center site, among several other amendments (EQD No. 83-0191). The 1983 Addendum addressed the changes in land use and increase in the Precise Plan area described above, focusing on the potential for impacts to traffic circulation and archaeological resources. The analysis determined there would not be any new significant or more severe impacts to the environment triggered by the revisions to the plan, in accordance with Sections 15162 and 15164 of the State CEQA Guidelines.

In 1984, a development plan was submitted for Lots 41-45 of TM 83-0191 (i.e., the 15.25-acre visitor center site within Neighborhood 2 of the Precise Plan). The development plan consisted of a 500-room hotel with a three- and four-level parking structure, three separate restaurants with surface parking and an auto service center. Development for Lots 1-4 of the visitor center site in Neighborhood 2 of the North City West Employment Center Precise Plan was approved as part of North City West Planned District Development Permit (NCWPDDP No. 83-0191). The permit allowed for the construction of a 355,000 square-foot (SF) hotel on Lot 1 and three restaurants (ranging in size from 9,000 to 11,500 SF) on Lots 2 through 4. An amendment to the permit was also approved for Lot 5 to allow for a 2,400 SF auto service station (NCWPDDP No. 83-0191.1). A site plan, building elevations, landscape plans and design guidelines accompanied those approvals. An Addendum to the North City West Employment Center Final EIR was prepared in 1984 addressing the Visitor Center Development Plan (EQD No. 84-0213). The 1984 Addendum (EQD No. 84-0213) evaluated the Visitor Center Development Plan's impacts on traffic, visual/aesthetics, water quality/hydrology,

archaeology, biology, air quality, growth inducement, geology/soils, noise, and urban support services relative to the conclusions reached in the certified North City West Employment Center Final EIR. The 1984 Addendum concluded that although no new significant impacts would occur, the prior EIR identified significant and unmitigated impacts related to landform alteration/visual quality and regional traffic circulation (i.e., cumulative). In response to an appeal of the Planning Commission approval of NCWPDDPs No. 83-0191 and 83-0191.1 and at the discretion of the City Council, the 1984 Addendum was expanded to address concerns expressed in the appeal and the expanded Addendum was distributed for a 30-day public review period. The 1984 Addendum determined there would not be any new significant or more severe impacts to the environment that were not already addressed in the Employment Center Precise Plan Final EIR. The Visitor Center Development Plan was ultimately approved in September 1984.

A separate and adjacent Precise Plan was adopted in 1982 for 825 acres of development within Neighborhoods 4, 5 and 6 of the North City West Community Plan to the east of the North City West Employment Center Precise Plan. A Final EIR was certified as part of the Neighborhoods 4, 5 and 6 Precise Plan approval (EQD No. 81-1212) and is referenced in the transportation discussion of the 1983 Addendum noted above. The Neighborhood 4, 5 6 Precise Plan EIR concluded that plan implementation would result in significant but mitigable direct impacts to transportation, among other topics. The Neighborhoods 4, 5, and 6 traffic study factored in the cumulative traffic and analyses from the North City West Employment Center Precise Plan EIR (EQD No. 80-05-35). The EIR concluded that cumulatively significant traffic impacts would not be reduced below significance and affirmed that the Transportation Phasing Study adopted for the North City West community would be adequate to address the cumulative impacts of the Neighborhoods 4, 5 and 6 Precise Plan.

II. SUMMARY OF PROPOSED PROJECT

A request for a COASTAL DEVELOPMENT PERMIT (CDP) for development within the Coastal Overlay Zone, PLANNED DEVELOPMENT PERMIT (PDP) for deviations, SITE DEVELOPMENT PERMIT (SDP) for development within the Carmel Valley Planned District and for an amendment to North City West Planned District Development Permit (NCWPDDP) No. 83-0191, VESTING TENTATIVE MAP (VTM) AND EASEMENT VACATION to construct the Costa Azul Mixed-Use Project (project). The SDP would amend and replace the North City West Planned District Development Permit No. 83-0191 issued to allow for the development of up to 20,500 SF of restaurant space and surface parking on the project site. The project entails the construction of a 77,652-square-foot, 128-room hotel and a 96,040 SF office building, including a 4,815 SF restaurant. The 7-story hotel and 5-story office building are proposed above a two-level subterranean parking garage beneath both structures. Project access for Lots 3 and 4 would be from two proposed driveways constructed to connect with Valley Centre Drive and one driveway connection with the Old El Camino Real cul-de-sac. In addition to development of the hotel and office building, site improvements would include surface parking, driveways, walkways, landscaping, a retaining wall and utility infrastructure per the San Diego Municipal Code (SDMC). Of the required vehicular parking spaces, a portion of the parking spaces would be equipped with electric vehicle charging infrastructure. Bicycle lockers would be provided for short-term and long-term use per SDMC requirements. Flow thru planters (i.e., modular wetland systems), catch basins and an underground stormwater vault would be installed to capture and treat site runoff and convey it to the existing public storm drain system in Old El Camino Real.

The VTM would subdivide the 9.89-acre property into two parcels, including the 3.2-acre project site and an adjacent 6.7-acre parcel containing an existing office development and parking structure. Ng construction is proposed on the second parcel. The project would also vacate and relocate a public water easement adjacent to Valley Centre Drive as part of the recordation of the parcel map. Figures 1 and 2 present the regional and project locations, respectively. Figure 3 presents the project site plan. Figure 4 illustrates cross-sections of the proposed structures.

The project is designed to comply with the setbacks and floor area ratios in the VC zone of the CVPD and proposes the following height deviations as specified in the PDP (pursuant to SDMC Section 143.0401:

- Office building structure height of 68.5 feet (above the allowable 60-foot height limit)
- Hotel structure height of 76 feet (above the allowable 60-foot height limit)

Project construction would consist of site preparation, grading and building installation. Project implementation would consist of 50,000 cubic yards (CY) of cut and 1,000 CY fill, resulting in 49,000 CY of exported material. Maximum cut depth would be 25 feet as shown on the project grading plan.

III. ENVIRONMENTAL SETTING

The vacant 3.2-acre site is located at the western end of the Valley Centre Drive cul-de-sac, just west of its intersection with El Camino Real. Topographically, the subject property is characterized by nearly flat ground surfaces due to previous grading conducted in 1991-1992 per NCWPDDP No. 83-0191 and the North City West Visitor Center Tentative Map (TM No. 83-0191). Site elevations of the graded pad average approximately 53 to 55 feet above Mean Sea Level (MSL) following a southsouthwest trend. The pad is level with the Valley Centre Drive cul-de-sac and rimmed by manufactured slopes to the west and south that descend to approximately 40 feet MSL along Old El Camino Real and Carmel Valley Road, respectively. The vacant project site is not currently serviced by public utilities; however, existing points of connection for storm drain, water and sewer service occur in the project area. Surface drainage currently flows toward the south-southwest, ultimately flowing to Carmel Creek and Los Peñasquitos Lagoon. The project site is located outside of the 100year and 500-year floodplains for Carmel Creek. The project site is not within or adjacent to the Multi-Habitat Preservation Area (MHPA).

The project site and surroundings are designated in the Precise Plan for Visitor Commercial uses and in the CVPD zone VC for Visitor Commercial use. Surrounding land uses adjacent to the site include hotels (i.e., Marriott and Hampton Inn), a hotel parking garage and commercial uses (i.e., restaurant) to the north and east; Old El Camino Real to the west and Carmel Valley Road to the south. Commercial uses (i.e., gas station and restaurant) occur west of the site along Old El Camino Real. The surrounding office buildings, hotels and commercial uses were developed in accordance with NCWPDDPs No. 83-0191 and No. 83-0191.1, PTS No. 90879, and PTS No. 657923. Open space associated with Carmel Creek occurs south of Carmel Valley Road and SR-56 in the project area.

The City of San Diego previously prepared and certified the Community Plan Final EIR (EQD No. 76-05-25P) in February 1975 and Employment Center Precise Plan Final EIR (EQD No. 80-05-35) in November 1981; amended the Precise Plan incorporating the project site and other lands using an Addendum to the Employment Center Precise Plan Final EIR (EQD No. 83-0191) in July 1983; and approved the Visitor Center Development Plan using an Addendum to the Employment Center Precise Plan Final EIR (EQD No. 84-0213) in September 1984. The City of San Diego also previously prepared and certified the Neighborhoods 4, 5 and 6 Precise Plan Final EIR (EQD No. 81-1212) in 1982. Based on all available information in light of the entire record, the analysis in this Addendum, and pursuant to Section 15162 and 15164 of the State CEQA Guidelines that:

- There are no substantial changes proposed in the project which will require major revisions
 of the previous environmental document due to the involvement of new significant
 environmental effects or a substantial increase in the severity of previously identified
 significant effects;
- Substantial changes have not occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous environmental document due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous environmental document was certified as complete or was adopted, shows any of the following:
 - a. The project will have one or more significant effects not discussed in the previous environmental document;
 - Significant effects previously examined will be substantially more severe than shown in the previous environmental document;
 - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
 - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous environmental would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Based upon a review of the current project, none of the situations described in Sections 15162 and 15164 of the State CEQA Guidelines apply. No changes in circumstances have occurred, and no new information of substantial importance has manifested, which would result in new significant or substantially increased adverse impacts as a result of the project. Therefore, this Addendum has been prepared in accordance with Sections 15162 and 15164 of the State CEQA Guidelines. The Community Plan Final EIR, Precise Plan Final EIR (an amended) and Neighborhoods 4, 5, and 6 Precise Plan Final EIR are incorporated by reference pursuant to CEQA Guidelines Section 15150. Public review of this Addendum is not required per the CEQA.

V. IMPACT ANALYSIS

This Addendum includes the environmental issues analyzed in detail in the previously certified Final EIR and Addendums, as well as the project-specific environmental analysis pursuant to the CEQA. The analysis in this document evaluates the adequacy of the Final EIR relative to the project and documents that the proposed modifications and/or refinements would not cause new or more severe significant impacts than those identified in the previously certified environmental document.

An overview of the project's impacts in relation to the previously certified Precise Plan Final EIR is provided in Table 1, *Impact Assessment Summary*. The following analysis indicates there would be no new significant impacts, nor would there be an increase in the severity of impacts resulting from the project. Further, there is no new information in the record or otherwise available indicating that there are substantial changes in circumstances that would require major changes to the Final EIR.

Table 1 Impact Assessment Summary					
Environmental Issues Studied in Precise Plan Final EIR	Precise Plan Impact Analysis	Precise Plan Mitigation	Project- Level Analysis	Project- Level Mitigation	Project Impact Conclusion
Traffic Circulation	Significant, unavoidable	Yes	No new impacts	No	Less than significant
Biological Resources	Significant, unavoidable	No	No new impacts	No	Less than significant
Climate and Air Quality	Significant, mitigated	Yes	No new impacts	Yes	Less than significant
Visual Aesthetics and Topographic Modification	Significant, unavoidable	No	No new impacts	No	Less than significant
Land Use	Less than significant	No	No new impacts	No	Less than significant
Archaeological Resources	Significant, mitigated	Yes	No new impacts	No	Less than significant
Hydrology and Water Quality	Significant, unavoidable	Yes	No new impacts	No	Less than significant
Geology and Soils	Significant, mitigated	Yes	No new impacts	No	Less than significant
Urban Support Services	Significant, mitigated		No new impacts	No	Less than significant
Growth Inducement	Significant, unavoidable	No	No new impacts	No	Less than significant

A comparison of the project's impacts related to those of the certified Precise Plan Final EIR is provided below in Table 1 and discussed in detail below the table.

This Addendum to the Precise Plan Final EIR includes the following analysis to demonstrate that environmental impacts associated with the Costa Azul Mixed-Use project are consistent with the conclusions reached in the prior certified Final EIR (as amended).

Traffic Circulation

FEIR

Based on the Precise Plan Final EIR, development in Neighborhood 2 of the Precise Plan area would result in approximately 20,800 vehicle trips per day. The Precise Plan Final EIR identified significant impacts in and around the project study area during buildout of the plan. Traffic anticipated from the project, when combined with other cumulative projects in the area, would cause significant impacts to I-5, traffic flow into Del Mar, local circulation through Carmel Valley to the coast, and to Del Mar Heights interchange with I-5.

The Precise Plan Final EIR identified a Transportation Phasing Plan for the North City West area as mitigation. The Transportation Phasing Plan identified several phases of development (i.e., equivalent dwelling unit [EDU] thresholds based on average daily trip volumes) and the necessary circulation improvements required to create a roadway network that was adequately sized to ensure acceptable levels of service in the project area. Included in the Transportation Phasing Plan was the expansion of the Del Mar Heights bridge over I-5; extension and full-width improvements to Del Mar Heights Road; realignment, extension and full width improvements to El Camino Real; widening of Carmel Valley Road east of I-5 to El Camino Real; full width improvements to Green Valley Road; and construction of Street A (High Bluff Drive) and Street B (Townsgate Drive) between Del Mar Heights Road and El Camino Real. Traffic signals were also identified in the Transportation Phasing Plan at the intersections of the Northbound I-5 off-ramp at Del Mar Heights Road, Del Mar Heights Road/Street A and El Camino Real/Street A. According to the Precise Plan Final EIR, implementation of the Transportation Phasing Plan would mitigate traffic impacts within the Precise Plan area to less than significant levels. However, the Precise Plan Final EIR concluded that significant cumulative impacts may occur outside the community which would not be mitigated by the Transportation Phasing Plan. Therefore, cumulatively significant traffic circulation impacts would remain after implementation of project mitigation and unavoidable impacts were identified in the Precise Plan Final EIR.

The 1983 Addendum to the Precise Plan Final EIR addressed the traffic impacts of changing land uses within the Precise Plan area and adding the outlier parcels isolated by the realignment of El Camino Real, including the Costa Azul Mixed-Use project site, to the Precise Plan. The Addendum incorporated by reference the traffic analyses conducted for the Employment Center Precise Plan (EQD No. 80-05-35) and the adjacent Precise Plan Neighborhoods 4, 5 and 6 (EQD No. 81-1212) and determined that the proposed changes in land use and the inclusion of additional development area within the Precise Plan would result in a net increase of 480 vehicle trips. This incremental increase in trips would not result in new significant impacts or increased severity of impacts beyond those described in the Precise Plan Final EIR. The 1983 Addendum, therefore, concluded that the Transportation Phasing Plan mitigation would be sufficient to address the additional traffic, but that cumulatively significant traffic circulation impacts would remain after implementation of project mitigation and unavoidable impacts would occur, as concluded in the Precise Plan Final EIR.

The subsequent 1984 Addendum analyzing the potential impacts of the Visitor Center Development Plan TM 83-1091 determined that the project trip generation would be consistent with the previous analyses and would not result new significant traffic impacts. However, the EDU thresholds identified in the original Transportation Phasing Plan are not applied to development in the Neighborhood 2; rather, the floor area ratio was used for estimating trips and improvements relating to the visitor center use in Neighborhood 2 were made conditions of the TM 83-0191. The conditions included full-width grading and half-width improvements with a raised median on Del Mar Heights Road frontage; realignment, full width improvements on El Camino Real frontage, including realignment; construction of Street A (High Bluff Drive) between Del Mar Heights Road and El Camino Real; and construction of traffic signals at the intersections of Del Mar Heights Road and El Camino Real/Street A. The 1984 Addendum concluded that the revised Transportation Phasing Plan mitigation would be sufficient to address the visitor center traffic, but that cumulatively significant traffic circulation impacts would remain after implementation of the Transportation Phasing Plan and unavoidable impacts would occur, as concluded in the Precise Plan Final ElR.

PROPOSED PROJECT

An analysis of the traffic impacts of implementing the Costa Azul Mixed-Use Project was conducted by TJW Engineering (2019). According to the traffic impact analysis (TIA), the project is projected to generate 3,159 daily trips, with 295 AM peak hour trips and 357 PM peak hour trips at the project driveways. After accounting for pass-by trips, the daily trips would be 3,111 with 295 AM peak hour trips and 353 PM peak hour trips. Project access would be via Valley Centre Drive and Old El Camino Real, as shown on the project site plan. All of the transportation improvements identified in the North City West Employment Center Transportation Phasing Plan as mitigation for prior project impacts have subsequently been constructed and are part of the existing conditions in the project study area. The scope of the TIA was developed in consultation with City Transportation Development staff and the methodology is consistent with the Traffic Impact Study Manual (1998). The TIA analyzed the project's impact on circulation facilities under several scenarios, including existing conditions, near-term (opening day 2020) conditions, and long-term cumulative (2035) conditions. In all studied locations and scenarios, the TIA determines that the project would not have significant impacts to study area intersections, roadway segments, freeway segments or metered freeway on-ramps. Therefore, the project would not result in any new significant traffic impacts.

Biological Resources

FEIR

A biological resources analysis of the project site was provided in the Neighborhoods 4, 5, and 6 Precise Plan Final EIR and the 1983 Addendum to the Employment Center Precise Plan Final EIR. As stated in the analysis, implementation of the Visitor Center Development Plan would remove all existing resources and result in significant direct impacts related to the loss of native habitats. Sensitive species were identified within the Precise Plan area but not the visitor center project site. In addition, the project along with other projects in the Precise Plan area would contribute to cumulatively significant direct impacts to native habitats and related plant and animal species, as well as indirect impacts caused by habitat fragmentation and related habitat diversity. Indirect and cumulative significant impacts related to siltation of resources in Los Peñasquitos Lagoon were also identified. no mitigation was identified in the Precise Plan Final EIR for these impacts because of the small amount of habitat removal. Direct impacts from the Visitor Center Development Plan were not considered significant, however, cumulative impacts to biological resources were considered significant and unavoidable in the Precise Plan Final EIR.

PROPOSED PROJECT

The project site was graded in 1991-1992 per NCWPDDP No. 83-0191 and contains no sensitive biological resources. Project implementation would not remove any native vegetation or impact any of the sensitive species identified in the Precise Plan Final EIR. Compliance with the local, state and federal regulations related to the protection of water quality would ensure the project would not contribute to any downstream sedimentation and water quality impacts to biological resources in Los Peñasquitos Lagoon. No new biological resources impacts are, therefore, identified.

Climate and Air Quality

FEIR

An assessment of the potential air quality impacts associated with plan implementation was conducted in the Precise Plan Final EIR. The largest single source of emissions attributable to the project is automobile emissions. Based on the analysis, both local and regional air quality would be incrementally impacted by plan implementation. However, the direct impacts are determined to be less than significant given the proportion of emissions attributable to the project relative to the region as a whole (i.e., less than one percent of the regional pollutant emissions). Localized air quality impacts related to traffic congestion are also determined to be significant and would be mitigated through circulation improvements identified in the Transportation Phasing Plan (discussed under *Traffic Circulation* herein).

With regard to cumulative impacts, the Precise Plan Final EIR concluded that the project's contribution to regional emissions levels would not be significant given that the population for the project is included in the regional population growth forecasts which are taken into consideration in the air quality management recommendations of the Regional Air Quality Strategy (RAQS). The RAQS recommend employers provide incentives to use encourage workers to use alternative transportation (i.e., carpools, vanpools, and bicycles) as a means to reduce automobile emissions. Implementation of those incentives by the employment uses constructed within the Precise Plan area would minimize regional air quality impacts caused by the project. The proximity of proposed employment uses near residential development would also minimize trip lengths and related mobile source emissions. Construction of proposed bicycle lanes and pedestrian facilities along major streets within the Precise Plan area would also encourage bicycle use and pedestrian circulation, further implementing the air quality recommendations of the RAQS. Nonetheless, compliance with the RAQS recommendations would not fully mitigate cumulative air quality impacts due to regional traffic congestion that is anticipated in the project area and cumulatively significant and unavoidable impacts were identified in the Precise Plan Final EIR; no mitigation was identified to offset these cumulative impacts.

PROPOSED PROJECT

The proposed office and hotel buildings of the Costa Azul Mixed-Use Project are consistent with the Visitor Commercial (VC) designation in the General Plan, Community Plan, Precise Plan and VC zone of the CVPD. Emissions associated with the project have, therefore, been accounted for in the regional population growth forecasts produced by SANDAG and in the RAQS, as discussed in the Precise Plan Final EIR. Project construction would produce temporary, short-term air quality

emissions. The project would be conditioned to implement standard control measures required by the City Grading Ordinance to ensure potential fugitive dust impacts are minimized during construction. No new construction-related air quality impacts are identified.

Project operations would generate long-term air quality emissions. As discussed in the project's TIA and discussed under *Traffic Circulation*, the project would not cause traffic congestion in the project area leading to high concentrations of emissions from idling vehicles. Transportation demand measures (TDMs) are proposed by the project to encourage alternative modes of transportation and reduce single-occupancy vehicle trips and related mobile source emissions. Those measures (noted in the TIA) include the incorporation of short-term and long-term bicycle parking lockers, shower/locker facilities, transit subsidies/parking cash out programs, free shuttle to locations within a 5-mile radius and carpool incentives. In addition, the project design would construct a pedestrian/bicycle connection with Old El Camino Real and implement energy and water efficiencies in compliance with the California Building Code, including drought tolerant landscaping and efficient irrigation and water fixtures. All of these measures would combine to minimize the project's production of long-term air quality emissions. Therefore, no new impacts would occur upon project implementation.

Visual Aesthetics and Topographic Modification

FEIR

The Precise Plan Final EIR indicated that development of the Precise Plan would modify the topography of the site through mass grading and the creation of terraced pads and manufactured slopes. Proposed grading would significantly impact the character of the natural landforms and result in the removal of natural vegetation. These significant and unavoidable impacts to the project site would also impact views from public vantage points in the project area, such as Del Mar Heights Road and I-5. These visual aesthetic changes were anticipated in the Carmel Valley Community Plan.

Policies contained in the Precise Plan suggest the use of contour grading to terrace building pads and reduce the heights of manufactured slopes; thus, minimizing impacts to natural landforms. Development regulations adopted as part of the Precise Plan and contained in the CVPD Ordinance specify building heights and scale (i.e., floor area ratios). In addition, the Precise Plan featured site planning guidelines and landscape treatments, as well as open space buffers, as a means to partially mitigate the visual aesthetics changes proposed within the Precise Plan area. Maintenance of the designated open space in the Precise Plan area was a mitigation measure identified in the Final EIR. However, no mitigation measures were available that would fully reduce the project's significant impacts to visual aesthetic conditions and topography to less than significant levels. The Precise Plan Final EIR concluded that visual aesthetic impacts would be significant and unavoidable.

The subsequent 1984 Addendum addressed the visual aesthetics impacts of the Visitor Center Development Plan, specifically the 12-story hotel on Lot 1, and concluded that project implementation would be less than significant due to the stepped massing of the design and context of the surrounding topography and other development in the North City West community. Design guidelines and project-specific design requirements for the hotel were made conditions of approval for the Visitor Center Development Plan to ensure the hotel and other visitor center development would minimize its visual aesthetic impacts. The Addendum acknowledges, however, that despite compliance with the conditions of approval, the project would incrementally contribute to the significant and unavoidable impacts identified in the Community Plan Final EIR and Precise Plan Final EIR.

PROPOSED PROJECT

The project site was graded in 1991-1992 per NCWPDDP No. 83-0191 and the only grading required to implement the current project would be finished grading on the building pad (anticipated to not substantially change the topography) and excavation to construct the below-grade parking garage. The proposed hotel and office building are designed to comply with the VC zone by using existing topography and minimizing the amount of grading outside the building footprint. The project would not result in new landform modification impacts beyond those anticipated in the Precise Plan Final EIR.

In terms of visual aesthetics, the proposed structures would comply with the applicable sections of the Visitor Center Development Plan design guidelines, the setbacks and floor area ratios in the VC zone, and the applicable development regulations of the SDMC and Coastal Overlay Zone, except for building heights. A PDP is proposed for height deviations to allow 11 percent of the hotel to be 76 feet above grade and 3 percent of the office building to be 68.5 feet above grade where a 60-foot building height maximum is allowed in the VC zone. The portions of the structures that would exceed the height maximum would be terraced or stepped, while the majority of the structures would conform to the 60-foot height limit. The increased building height would condense the overall massing of the structures and enable the project to integrate with the existing surrounding structures.

The design was reviewed by City staff as part of the PDP process in terms of its consistency with the intent of the Community Plan and North City West Employment Center Precise Plan, including general design guidance on building materials and massing within the Precise Plan area. The office building would use grey plaster and glare-minimizing glazing on its exterior, while white and grey plaster and similar glazing would be used on the hotel. In addition, the project would install drought-tolerant landscaping throughout the site and construct a landscaped pedestrian/bicycle promenade along its western property line to provide a transition between the project and adjacent commercial uses to the west. The promenade would connect with Old El Camino Real and afford access to Carmel Valley Road and points west. No changes to the maintained open space buffers identified in the Precise Plan are proposed. Therefore, the project complies with the applicable policies pertaining to visual aesthetics and would not result in any new visual aesthetics impacts beyond those anticipated in the Precise Plan Final EIR.

Land Use

FEIR

The Precise Plan contains land use designations and required approval of a rezone from A-1-5 to M-IP and amendments to the Carmel Valley Planned District Ordinance to allow for the development of Employment Center and Visitor Commercial uses. Implementation of the Precise Plan would convert vacant land to urbanized employment uses, as described in the Precise Plan Final EIR. Open space buffers were incorporated into the Precise Plan along I-5 and along the SDG&E easement in the project area. The conversion from rural uses to urban development would not result in significant land use policy impacts because the General Plan and other planning documents, including the Carmel Valley Community Plan, anticipate the employment center development outlined in the Precise Plan. In addition, the Precise Plan Final EIR concluded that the project would be compatible with the anticipated surrounding planned land uses. However, the conversion to an urbanized area is considered an adverse impact of plan implementation that is less than significant. Because of its consistency with underlying plans, no mitigation was proposed in the Precise Plan Final EIR.

PROPOSED PROJECT

The project site is designated for Visitor Commercial use in the Precise Plan and is the last remaining undeveloped parcel within the VC zone within Neighborhood 2 of the Carmel Valley Community Plan. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office and related uses and services to the adjacent industrial/office park in the Carmel Valley Employment Center. The proposed office, hotel and restaurant uses are consistent with the goals and policies outlined in the Carmel Valley Community Plan and the North City West Employment Center Precise Plan. In addition, the VC zone of the CVPD allows for the development of office uses.

The 96,040 SF office building and 128-room hotel with subterranean parking garage proposed on site would be consistent with the underly zoning, which allows for a VC uses on Lots 3 and 4. The project includes a Site Development Permit (SDP) for major development projects, in accordance with the CVPD requirements and would amend and replace NCWPDDP No. 83-0191 as the governing entitlement for Lots 3 and 4. As stated in the Precise Plan, the Employment Center is envisioned as a thoroughly planned, tightly controlled business park of the highest quality. The balanced community policy contained in the plans depends on employment opportunities within the community which minimizes the need to leave the area and allow residents to live and work in the same general area. The project has been designed to conform with the CVPD regulations with the exception of building height deviations for both structures, as discussed under Visual Aesthetics and Topographic Modification. SDMC Section 126.0601 establishes a review process that allows an applicant to request greater flexibility from the development regulations through the deviation process. The purpose of the PDP is to encourage imaginative and innovative planning and to assure that the development achieves the proposed intent of the applicable land use plan. The increased height proposed in small portions of the structures would condense the overall massing while taking into consideration the existing surrounding structures and would not result in a new significant visual aesthetics impact. Therefore, the project would comply with applicable zoning and development regulations and no new land use impacts are identified.

Archaeological Resources

FEIR

An archaeological resources investigation was completed and summarized in the Precise Plan Final EIR. Implementation of the plan and the development of urban uses would result in significant impacts to archaeological resources identified in the project area, including archaeological sites and isolates, as well as petroglyphs and shell midden. All sites impacted by the project were recorded in the investigation. The Precise Plan EIR identified mitigation that required site testing,

documentation and salvage of impacted materials. Implementation of the mitigation resulted in less than significant impacts to archaeological resources.

The 1983 Addendum to the Precise Plan Final EIR assessed the potential for additional archaeological impacts within the lands added to the Precise Plan, including the Costa Azul Mixed-Use Project site. An evaluation was conducted of the additional resources, specifically site SDM-W-19, and determined that it did not constitute a unique resource that required new mitigation. The 1984 Addendum for the visitor center property incorporated the testing results reported in the 1983 Addendum. Therefore, no new significant impacts are identified in the Addendums.

PROPOSED PROJECT

The project site was graded in 1991-1992 in accordance with NCDPDDP 83-0191. As part of those grading activities, fill was placed at depths of 7 to 26 feet over portions of the site. A project-specific cultural resources survey was conducted on the project site by Laguna Mountain Environmental (October 2015). The investigation includes a records search, literature review, historic maps examination and field survey. Based on the survey, it was determined that previous grading and fill activities had eliminated any potential for cultural resources on the project site. Therefore, no impacts to archaeological resources would occur and no new impacts are identified.

Hydrology/Water Quality

FEIR

The Precise Plan Final EIR determines that development of the project site would lead to changes in topography and removal of vegetation that would alter drainage basin hydrology and lead to the exposure of soil surfaces, resulting in increased erosion and sedimentation. In addition, urban development of the project site would increase the rate of runoff due to the construction of impervious surfaces (i.e., pavement and buildings). The Precise Plan Final EIR concludes that the increases in erosion and sedimentation would significantly impact downstream areas, in particular Los Peñasquitos Lagoon, depending on channel morphology at discharge points, soil type and the amount of vegetative cover.

The Precise Plan Final EIR identified various methods for controlling stormwater runoff, such as constructing detention basins in each development unit of the Precise Plan. One such detention basin identified in the North City West Drainage Plan (Leed-Hill 1980) was situated within the Visitor Center Development Plan site. The detention basin was sized to accommodate runoff on several lots of the Employment Center. Discharge of flows through a system of energy dissipators would lessen downstream erosion levels. Emergency spillways were also noted as a means to safely convey peak stormwater flows. As mitigation for controlling erosion, a number of measures from the project-specific drainage report were cited. In addition, the detention basins would be installed and maintained as part of the initial construction phase to mitigate the project's direct impacts to drainage and water quality. The primary mitigation for addressing cumulative sedimentation impacts and pollution within the watershed of Los Peñasquitos Lagoon was the establishment of a maintenance program for the lagoon mouth, which was out of the control of the City and dependent on other jurisdictions (i.e., State) to implement. For this reason, the Precise Plan Final EIR concluded that cumulative water quality impacts would remain significant and unavoidable.

PROPOSED PROJECT

The project site consists of a vacant, graded pad that has never been developed with permanent structures or uses. On-site elevations average 55 feet above MSL and range from a high of 58 feet above MSL near Valley Centre Drive to a low of 50 feet above MSL at the southern corner of the property. Runoff from the building pad currently sheet flows to the south-southwest toward the existing detention basin constructed in 1991-1992 as part of TM 83-0191. The southerly and westerly descending slopes are covered with landscaped vegetation. No signs of slope instability were observed during the geotechnical reconnaissance (Giles Engineering Associates 2014).

During construction, the project would be required to comply with the City's Grading Ordinance, NPDES stormwater regulations and State Construction General Permit (CGP) and implement a project-specific Stormwater Prevention and Protection Plan (SWPPP). Best management practices (BMPs) to control pollution sources and prevent erosion and sedimentation would be implemented in accordance with these regulations. As a Priority Development Project (PDP), post-construction BMPs would also be required by the regulations to address site design, source control and structural pollutant control requirements and hydromodification, if applicable. In general, surface drainage run-off from the developed portions of the site would be conveyed through a new drain and comprehensively biofiltration system (i.e., flow through planters, catch basins and underground storage vault). Long-term operational storm water discharge would be reduced compared to existing conditions and directed through on-site landscaping and storm drains prior to discharging into the existing detention basin west of the project site. Compliance with the local and state regulations for protecting water quality would ensure that no new impacts would occur with the project.

Geology/Soils

FEIR

Development of the Precise Plan would require mass grading resulting in the creation of cut and fill slopes and the removal of vegetation. Two geological formations exist in the project area, Torrey Sandstone and Bay Point Formation. Soils on the project site consist of loamy alluvial soils and loamy sandy soils. Based on these soil types, the potential exists for settlement, which can be avoided through proper engineering techniques that are incorporated in the grading plan. Potential impacts to paleontological (fossil) resources in the on-site geologic formations were determined to be less than significant based on a search by the Natural History Museum. No faults occur on or near the site that would cause significant impacts related to ground-shaking or seismic induced hazards, including liquefaction. No landslides were identified on site. The primary impact of project implementation was soil erosion caused by the grading operations. Drainage improvements and landscaping would significantly reduce the potential for impacts from erosion and sedimentation. However, as described under *Hydrology/Water Quality*, cumulative water quality impacts would be significant and unavoidable during Precise Plan implementation.

PROPOSED PROJECT

The proposed project consists of the construction of an office building and hotel with subterranean parking garage which would extend to depths of approximately 25 feet below grade. Grading would

be required to excavate the below-grade parking foundation. Outside the building footprint, proposed grades would change less than one foot in elevation.

Giles Engineering Associates prepared a geotechnical analysis for the project in April 2014. The analysis consisted of a visual site inspection, subsurface exploration, field and laboratory testing and a geotechnical engineering analysis. According to the geotechnical analysis, approximately 7 to 26 feet of fill soils were placed on site to reach the approved building pad elevations. The fill soils were compacted as recommended by the prior geotechnical engineering consultant overseeing the grading operations. Very Old Paralic Deposits underlie the surficial units of fill and Torrey Sandstone Formation exists at depths of between 35 and 45 feet below ground surfaces.

The project site is designated as Category 52 by the Seismic Safety Study Geologic Hazards Map, which contains areas of gently sloping to steep terrain with favorable geologic structure and low risk. The following potential impacts associated with the project, as identified by the site-specific geotechnical analysis, are summarized below.

- <u>Active fault zones</u>. No known active, potentially active, or inactive faults are located on the site or in the project vicinity. The potential for hazards related to seismic activity is considered to be low.
- <u>Liquefaction</u>. The project site has a very low potential for liquefaction due to the lack of near-surface permanent groundwater conditions, and the dense nature of the Very Old Paralic Deposits present on site.
- <u>Landslide</u>. The project site lies outside of a designated landslide hazard zone and is underlain by compacted engineered fill, Very Old Paralic deposits and bedrock resulting in no potential for landslides.

The geotechnical report prepared for the project provides site-specific recommendations regarding site clearing, utilities, building areas, subgrades and other design-related factors. Those recommendations would be incorporated into the final construction drawings, as required by the City Grading Ordinance. In addition, soil erosion and sedimentation impacts noted in the Precise Plan Final EIR under this topic would be avoided as the project would be conditioned to comply with the City's stormwater quality regulations that address erosion and sedimentation, as described under *Hydrology/Water Quality*. Due to prior mass grading and the presence of fill material on site, potential impacts to paleontological (fossil) resources in the on-site geologic formations would be less than significant. Therefore, with the incorporation of earthwork and grading recommendations contained in the geotechnical investigation and compliance with the City Grading Ordinance and stormwater quality regulations, the project's geology and soils impacts would be less than significant and no new impact would occur.

Urban Support Services

FEIR

Development of the Precise Plan would increase potable water usage on site and the demand for potable water in the region. According to the Precise Plan Final EIR, the water supply line constructing in the area was sized to accommodate the future water needs of the Carmel Valley community. In addition, the amount of water needed by future development was within the service capacity of the local water district. Sewage generated by development in the Precise Plan area would be conveyed to the El Camino Real Truck Sewer Line or Carmel Valley Road Trunk Sewer Line and transported offsite to ultimately be treated at the Point Loma Wastewater Treatment Plant. Plant upgrades and expansion plans anticipated at the time of preparation of the Precise Plan Final EIR have been constructed and provide adequate capacity for treating sewage produced by the project. Upgrades to the pump station at Los Peñasquitos Lagoon were also discussed in the Precise Plan Final EIR and were subsequently constructed to serve the future demands for wastewater conveyance in the project area. Therefore, both direct and cumulative impacts to water and sewer were concluded to be less than significant with the implementation of the Precise Plan.

Fire and protection services were also needed to be expanded during the development of the Precise Plan. The project would add to the cumulative demand for such services in other areas of the City. Fire service is provided from a station one mile away along Del Mar Heights Road and land was purchased by the City who subsequently construct a second fire station to serve the project area. No additional facilities were identified to provide police service to the area, although an increase in patrol units would occur. Impacts to fire and police services were determined to be less than significant on both a direct and cumulative level.

An increase in energy use was expected due to project development and the demand for nonrenewable energy related to automobile usage, electricity and natural gas. The increase would contribute incrementally to cumulative demands for non-renewable energy associated with regional development, which was considered a significant impact of regional growth. Mitigation in the Precise Plan Final EIR required the integration of energy conservation measures into the development implemented as part of the Precise Plan. Even with the implementation of the measures, impacts to energy resources would be cumulatively significant and unavoidable, as identified in the Precise Plan Final EIR.

Occupancy of the Employment Center uses would produce solid waste which would be transported to local landfills for disposal. The quantity of waste anticipated was not projected to result in significant impacts to landfill capacity, according to the Precise Plan Final EIR.

The 1984 Addendum addressed the potential impact of the hotel (i.e., transient lodging) in the Visitor Center Development Plan on the recreational opportunities offered at the coast and beaches west of the project site and determined that the impacts would be less than significant. No new impacts were identified.

PROPOSED PROJECT

Water

The project is consistent with the planned use for the site and the water demands factored into the system designed for the Precise Plan area. As part of the project, private water lines would be extended on site from Valley Centre Drive to connect with the existing water distribution system in the project area. The project would install water-wise landscaping as shown in the landscaping plan to be consistent with City Landscape Water Conservation Ordinance. In addition, the project would comply with applicable water conservation requirements, such as low-flow toilets and efficient irrigation systems. The mitigation measures outlined in the Precise Plan Final EIR related to water demand have since been codified in the City Building Code and CALGreen Building Code; therefore, project compliance with the latest building regulations would implement the measures in the Precise Plan Final EIR. The project would not require the construction or expansion of existing water facilities or infrastructure serving the project area. No new impact would occur under the project.

Sewer

The project is consistent with the planned wastewater generation for the site and would be served by the 18-inch sewer main located in El Camino Real, which is known as the El Camino Real Trunk Sewer. The project design has been reviewed by the Public Utilities Department (PUD) to confirm it would not create conflicts with any wastewater infrastructure. The project would construct private sewer lines on site from connections in the project area but would not require the construction or expansion of existing wastewater conveyance or treatment facilities. No new impact would occur under the project.

Fire Services

Fire service to the project area is provided from Station 24, located at the intersection of Del Mar Heights Road and Hartfield Avenue approximately 2 miles northeast of the project site. Equipment at this station includes one engine, one brush engine, and one medic/rescue rig. The Fire-Rescue Department has Automatic Aid agreements with the surrounding communities of Del Mar, Solana Beach, and Rancho Santa Fe. Under these agreements, the nearest fire companies respond to fire or medical emergencies regardless of jurisdictional boundaries. Construction and operation of the project would minimally increase demand for fire service calls; however, the increase demand would be consistent with future service projections due to the project's consistency with its planned use in the Community Plan and Precise Plan area. Therefore, the project would not result in direct impacts from construction of proposed new public service facilities needed to serve the project. No new impacts are identified.

Police Services

The nearest police substation that serves the project site (Northwestern Division) is located approximately 1 mile to the north at 12592 El Camino Real. The proposed project may result in minimal increases in police calls for service, but no new facilities or improvements to existing facilities would be required to serve the project. The demand for police services would be consistent with future service projections due to the project's consistency with its planned use in Community Plan and Precise Plan area. Therefore, the project would not result in direct impacts from construction of proposed new public service facilities needed to serve the project. No new impacts are identified.

Energy

Project construction would require the use of construction equipment for grading, hauling, and building activities. Construction equipment would require the use of gasoline, oil, and other possible fuel sources to operate. This increased fuel consumption would be temporary and would not have a residual requirement for additional energy input. The marginal increases in fossil fuel use resulting from project construction are not expected to have an appreciable impact on energy resources.

Operation of the project would increase demand for electricity, natural gas and fossil fuels through the use of new energy systems and the increase in automobiles. The project would be required to comply with the energy conservation strategies in the California Building Code, which expands upon the energy conservation measures contained in the mitigation of the Precise Plan Final EIR. In addition, water conservation strategies, such as the use of drought-tolerant landscaping and efficient irrigation systems, would minimize demand for water that requires energy to treat and convey to the site. As noted under Traffic Circulation, the project would construct pedestrian/bicycle promenade linking the site to points west and would implement a TDM to minimize singleoccupancy vehicle trips and encourage alternative transportation, all of which would minimize demand for fossil fuels. Implementation of the project's Waste Management Plan, as described below under Solid Waste, would also reduce operational energy use through waste diversion and recycling. The project would be required to comply with all applicable local, state, and federal regulatory requirements regarding energy conservation and none of the previously identified mitigation measures are required. Therefore, development of the project would not require the use of new sources of energy and would not conflict with any adopted energy conservation plans. No new impacts were identified.

Solid Waste

The project would construct more than 40,000 SF of new buildings, which triggers the need to prepare a project-specific Waste Management Plan, in accordance with the City CEQA Significance Determination Thresholds. A Waste Management Plan was prepared on the project by TRC Solutions (2015) and reviewed by City Environmental Services Department staff. Implementation of the project would generate construction and operational waste which would be disposed of in Miramar Landfill, but the project would also be required to divert solid waste in accordance with the City's Construction and Demolition Debris Diversion Program, Recycling Ordinance and Refuse and Recyclable Materials Storage Regulations related to the diversion and recycling of waste. The project would be conditioned to implement the recommendations in the Waste Management Plan to minimize the quantity of solid waste generated from the project site and conform with City solid waste management policies. Therefore, less than significant impacts would occur under the project and no new impacts were identified.

Recreation

Implementation of the proposed hotel on the project site would incrementally contribute to increased demand for coastal recreational opportunities; however, the amount of demand associated with the 128-room hotel would be marginal in the context of the regional demand as whole and not result in the new significant impacts.

Growth Inducement

FEIR

Approval of the Employment Center Precise Plan would implement the planned land uses contained in the Carmel Valley Community Plan. The employment growth associated with the Precise Plan would be implemented commensurate with the public facilities needed to serve the project site. Payment of facilities benefit assessment by developers would ensure the orderly provision of services necessary to support the planned growth. However, cumulative growth triggered by the employment uses planned within the Precise Plan would stimulate growth in population outside the boundaries of the plan, leading to unavoidable growth inducing impacts that could not be fully mitigated by project design features and measures in the Precise Plan Final EIR.

PROPOSED PROJECT

The project would implement the Visitor Commercial uses anticipated in the Precise Plan. The applicant would pay the applicable facilities benefit assessment fees for funding any community-wide improvements to public services. As noted in this Addendum, the project would not substantially contribute to project impacts to public services, biological resources or air quality beyond those anticipated in the Precise Plan Final EIR. Therefore, no new impacts are identified.

V. ISSUES NOT ANALYZED IN THE PREVIOUS EIR

CEQA Guidelines, Section 15128, allows environmental issues for which there is no likelihood of a significant impact to not be discussed in detail or analyzed further in an EIR. Revisions to the project components evaluated under the certified Final EIR are proposed with the current project. Through the environmental analysis conducted, the City has determined that the current project, subject of and evaluated under this Addendum, would not have the potential to cause significant impacts to those issue areas beyond those analyzed. While these issues were not analyzed in detail, as outlined in CEQA Section 15128, there is no new information available that would indicate that these issues would result in new significant impacts.

VI. SIGNIFICANT UNMITIGATED IMPACTS

The North City West Employment Center Precise Plan Final PEIR indicated that significant impacts to the following issue areas would be substantially lessened or avoided if all the proposed mitigation measures recommended in the Final EIR were implemented: climate and air quality, archaeological resources, geology/soils and urban support services (i.e., energy). The Precise Plan impacts related to land use and urban support services (i.e., water, sewer, fire and police protection, and solid waste were determined to be less than significant, requiring no mitigation. The Precise Plan Final EIR

further determined that the Precise Plan's impacts to traffic circulation (cumulative), biological resources (direct and cumulative), visual aesthetics (direct), hydrology/water quality (cumulative), and growth inducement (cumulative) would remain significant even with mitigation imposed.

As there were significant unmitigated impacts associated with the original project approval, the decision maker was required to make specific and substantiated "CEQA Findings" which stated: (a) specific economic, social, or other considerations which make infeasible the mitigation measures or project alternatives identified in the North City West Employment Center Precise Plan Final EIR, and (b) the impacts have been found acceptable because of specific overriding considerations. Given that there are no new or more severe significant impacts that were not already addressed in the previous certified Final EIR, new CEQA Findings and/or Statement of Overriding Considerations are not required.

The project would not result in any additional significant impacts nor would it result in an increase in the severity of impacts from that described in the previously certified Final EIR.

VII. MITIGATION, MONITORING AND REPORTING PROGRAM INCORPORATED INTO THE PROJECT

None required.

VIII. CERTIFICATION

Copies of the Addendum, the certified Final EIR, and associated project-specific technical appendices, if any, may be accessed on the City's CEQA webpage at www.sandiego.gov/ceqa/final.

Elizabeth Shearer-Nguyen Senior Planner Development Services Department

Attachments:

Figure 1: Regional Location Map Figure 2: Site and Vicinity Map Figure 3: Site Plan Figure 4: Project Cross-sections References May 18, 2021

Date of Final Report

REFERENCES:

City of San Diego

- 2016 CEQA Significance Determination Thresholds. July.
- 2008 City of San Diego General Plan. March 10.
- 1984 Addendum to North City West Employment Center Precise Plan Final EIR. EQD No. 84-0213. June.
- 1983 Addendum to North City West Employment Center Precise Plan Final EIR. EQD No. 83-0191. July 22.
- 1982 Neighborhoods 4, 5 and 6 Precise Plan Final EIR. EQD No. 81-1212.
- 1981 North City West Employment Center Precise Plan Final EIR. EQD No. 80-05-35. September 18.
- 1975 North City West Community Plan. February 27.

Giles Engineering Associates

2014 Preliminary Geotechnical Engineering Exploration and Analysis, Proposed Mixed-use Development Lots 3 and 4, Pardee Visitor Center, San Diego, CA. April 4.

Laguna Mountain Environmental, Inc.

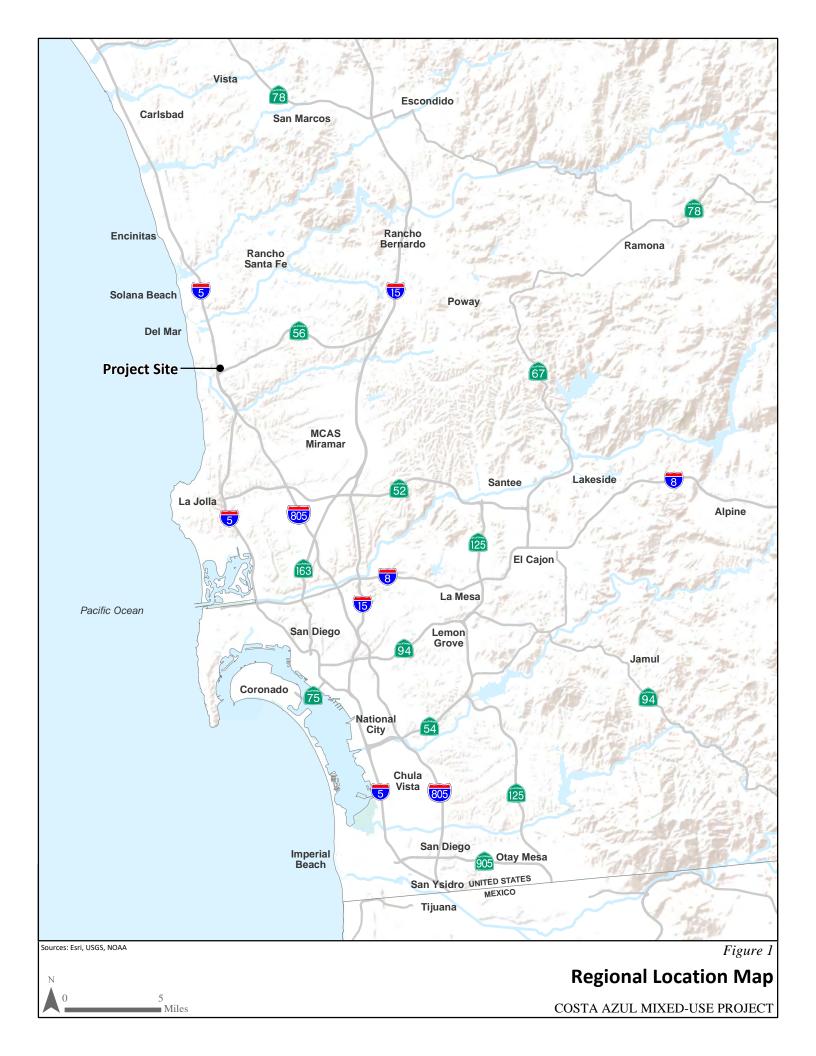
2015 Cultural Resource Survey of the Costa Azul Mixed-Use Project, Carmel Valley, City of San Diego, CA. October.

TJW Engineering

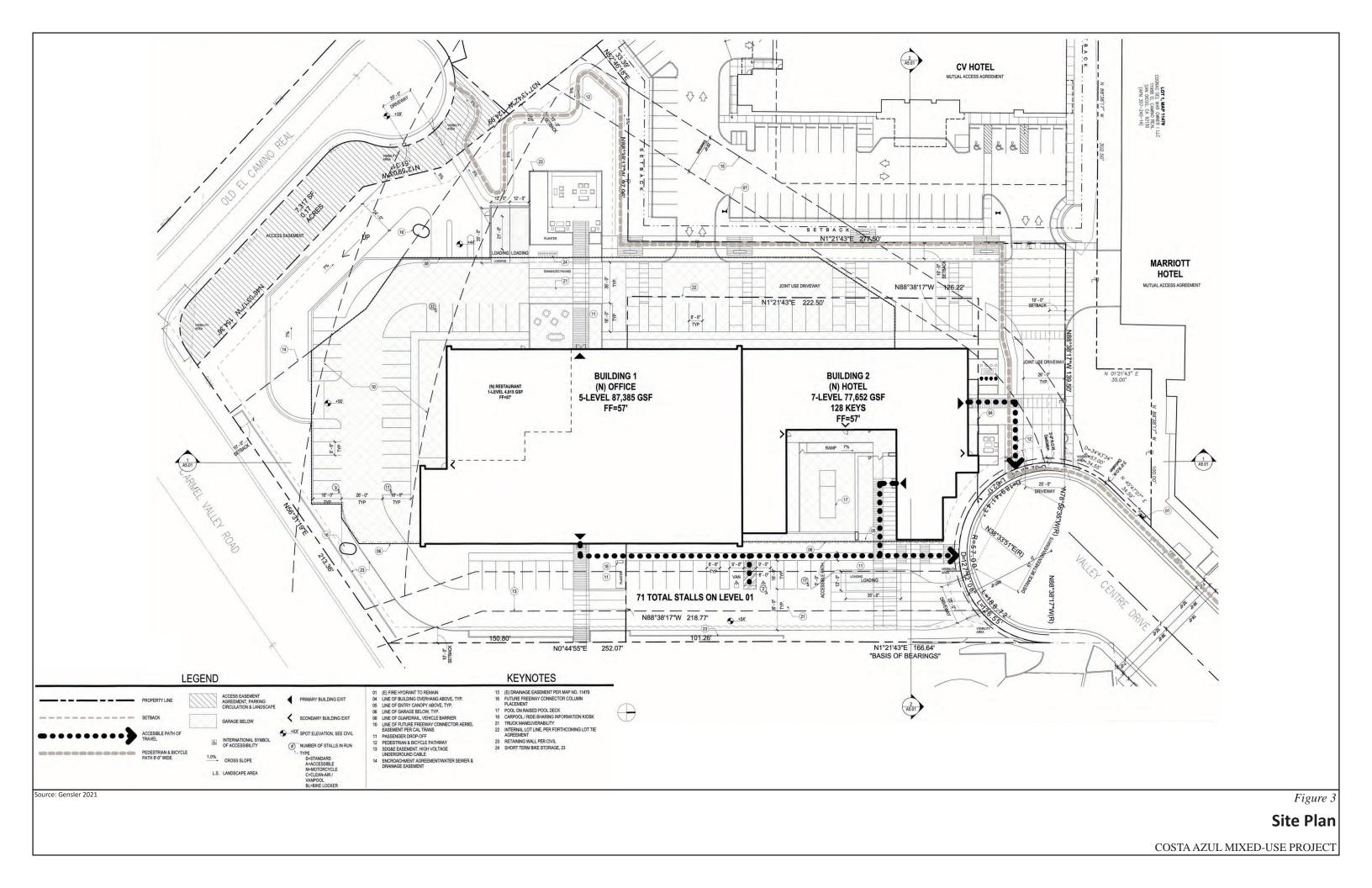
2019 Costa Azul Carmel Valley, Traffic Impact Analysis, City of San Diego, CA. February 6.

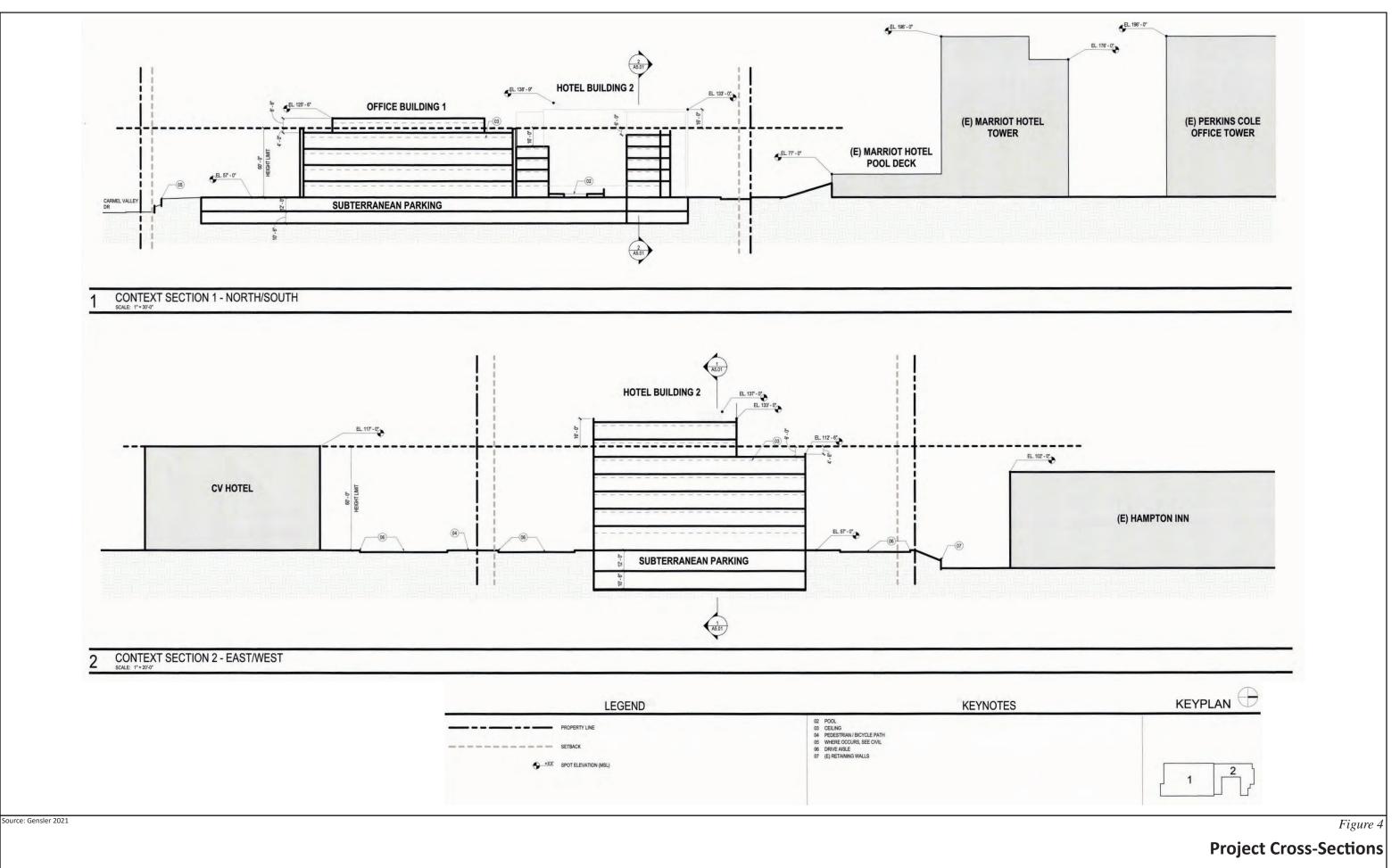
TRC Solutions, Inc.

2015. Waste Management Plan, Costa Azul Mixed-Use Project, San Diego, CA. December 1.









COSTA AZUL MIXED-USE PROJECT



PREPARED BY: 225 Broadway Suite 100 NAME: Gensler San Diego, CA 921 United States

PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE

PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT

SHEET TITLE: G0.00 COVER SHE

	ATTACHMENT 10
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	COSTA AZUL CARMEL VALLEY San Diego, California
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	REFERENCE: TS 400127 SHEET:
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101	REVISION 13: REVISION 12: REVISION 11: REVISION 10: REVISION 9: REVISION 8:
E	REVISION 7: REVISION 6: REVISION 5:
	REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28
	ORIGINAL DATE: 2017-09-28 SHEET 01 0F 30 DEP#



PROJECT ADDRESS:

3515 VALLEY CENTRE DR. SAN DIEGO, CA 92130

APN: 307-240-03, 307-240-04

LEGAL DESCRIPTION

LOTS 3 AND 4 OF PARDEE VISITOR CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11479, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1986.

ZONING CLASSIFICATION

CVPD-VC CV-1-1

SETBACKS

FRONT = 10' STREET SIDE = 10' SIDE = 10' REAR = 10'

CODE ANALYSIS (BASED ON 2016 C.B.C.)

	OFFICE 8LDG 1	HOTEL BLDG 2	PARKING STRUCT
USE	COMMERCIAL OFFICE	HOTEL	PARKING GARAGE
OCCUPANCY	В	R-1	5-2
CONSTRUCTION TYPE	TYPE I - B	TYPE I - B	TYPE - B
SPRINKLERS	YES	YES	YES
AREA			70.000
BASE AREA (TABLE 506.2)	UL	UL	79,000
RONTAGE INCREASE (PER 506.3) **			150000
RINKLER INCREASE (TABLE 506.2)			158000
TOTAL ALLOWABLE AREA	UL	UL	237,000
LARGEST PROPOSED AREA	97,565	77,652	139,068
STORIES			
IMBER OF STORIES (TABLE 504.4)	11	11	11
R STORY INCREASE (TABLE 504.4)	1	1	1
TOTAL ALLOWABLE STORIES	12	12	12
PROPOSED STORIES	4	7	BELOW GRADE
EIGHT			
BASE HEIGHT (TABLE 504.3)	180'-0"	180'-0"	160'-0"
INKLER INCREASE (TABLE 504.3) *	20'-0"	20'-0"	20'-0"
TOTAL ALLOWABLE HEIGHT	180'-0"	180'-0"	180'-0"
MAXIMUM PROPOSED HEIGHT	68'-6"	76'-0"	BELOW GRADE
LEMENTS - FIRE RATING (HOURS)			
(PER TABLE 601)			
PRIMARY STRUCTURAL FRAME	2	2	2
BEARING WALLS EXTERIOR	2	2	2
BEARING WALLS INTERIOR	2	2	2
NON-BEARING WALLS EXTERIOR	0	0	0
NON-BEARING WALLS INTERIOR	0	0	0
FLOOR CONSTRUCTION	2	2	2
ROOF CONSTRUCTION	1	1	1
SHAFT ENCLOSURES ***	1 TO 2	1102	1702
RIOR EXIT STAIRWAY AND RAMPS ***	• 1702	110-2	1102
EXIT PASSAGEWAY ***	** 2	2	

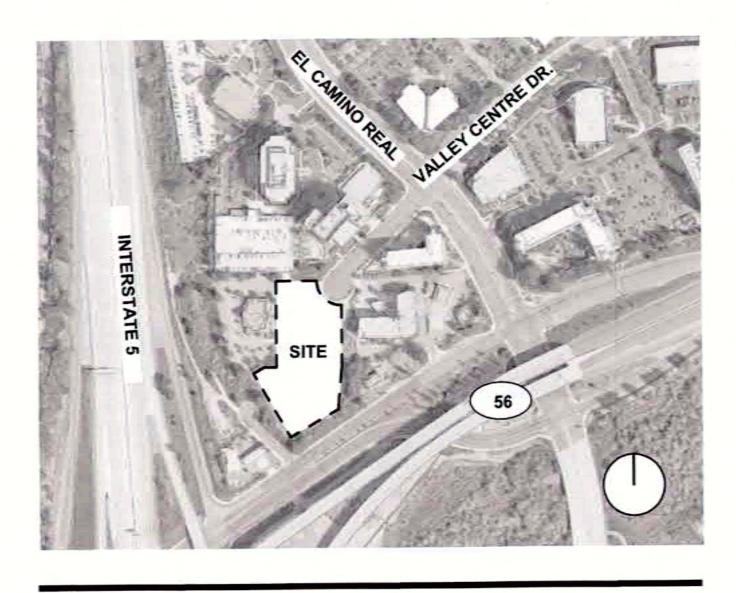
* SPRINKLER INCREASE NOT NEEDED

** FRONTAGE INCREASE NOT NEEDED

*** 2-HR WHEN CONNECTING 4 OR MORE STORIES (INCLUDING ELEVATORS PER SEC. 713.4)

**** 2 HR WHEN CONNECTING 4 OR MORE STORIES PER SEC. 1023.2 ***** ENTIRE EXIT PASSAGEWAY SHALL MAINTAIN INTERIOR EXIT STAIRWAY RATING PER SEC. 1024.3

BUILDING CODE ANALYSIS



VICINITY MAP

OWNER

CARMEL VALLEY CENTRE DRIVE, LLC 7969 ENGINEER ROAD SUITE 108 SAN DIEGO, CA 92111 PHONE: 858.405.9846 CONTACT: HUNTER OLIVER

ARCHITECT

GENSLER 225 BROADWAY SUITE 100 SAN DIEGO, CA 92101 PHONE: 619-557-2500 FAX: 619-557-2520 CONTACT: DARREL FULLBRIGHT

CIVIL

BWE 9449 BALBOA AVE SUITE 270 SAN DIEGO, CA 92123 PHONE: 619-299-5550 CONTACT: CARL FIORICA

LANDSCAPE

AHLES LANDSCAPE ARCHITECTURE P.O. BOX 1503 RANCHO SANTA FE, CA 92067 PHONE: 858-756-8963 CONTACT: STEVE AHLES

TRAFFIC

TJW ENGINEERING 6 VENTURE, SUITE 265 **IRVINE, CA 92618** PHONE: 949-878-3509 CONTACT: JEFF WECKSTEIN

DDA IDAT TEAM

GENE	RAL
G0.00	COVER
G0.01	PROJECT INFORMATION
ARCHITE	ECTURE
A0.50	SITE PLAN
A0.51	FIRE ACCESS PLAN
A2.01	PARKING STRUCTURE - FLOOR PLANS
A2.02	PARKING STRUCTURE - FLOOR PLANS
A2.03	OFFICE BLDG 1 - FLOOR & ROOF PLANS
A2.04	HOTEL BLDG 2 - FLOOR PLANS
A2.05	HOTEL BLDG 2 - FLOOR PLANS - ROOF
A4.01	OFFICE BLDG 1 - EXTERIOR ELEVATIONS
A4.02	OFFICE BLDG 1 - EXTERIOR ELEVATIONS
A4.03	HOTEL BLDG 2 - EXTERIOR ELEVATIONS
A4.04	HOTEL BLDG 2 - EXTERIOR ELEVATIONS
A5.01	SITE SECTIONS
A6.00	ULI PARKING CALCULATIONS
A6.01	ULI PARKING CALCULATIONS
A6.02	GENERAL NOTES - SAN DIEGO
CIVIL	
C1.0	EXISTING SITE CONDITIONS
C2.0	GRADING AND DRAINAGE PLAN
C3.0	SLOPE ANALYSIS
C4.0	WATER AND SEWER PLAN
C5.0	BMP PLAN
C5.1	BMP DETAILS
C5.2	BMP DETAILS
LANDSO	CAPE
L-1	TITLE SHEET, CITY CALCULATIONS, AND NOTES
L-2	PLANT LEGEND
L-3	LANDSCAPE DEVELOPMENT PLAN
L-4	WATER CONSERVATION PLAN
CIVIL	
29	VESTING TENTATIVE MAP
30	TITLE NOTES AND CROSS-SECTIONS

DRAWING INDEX

SCOPE OF WORK

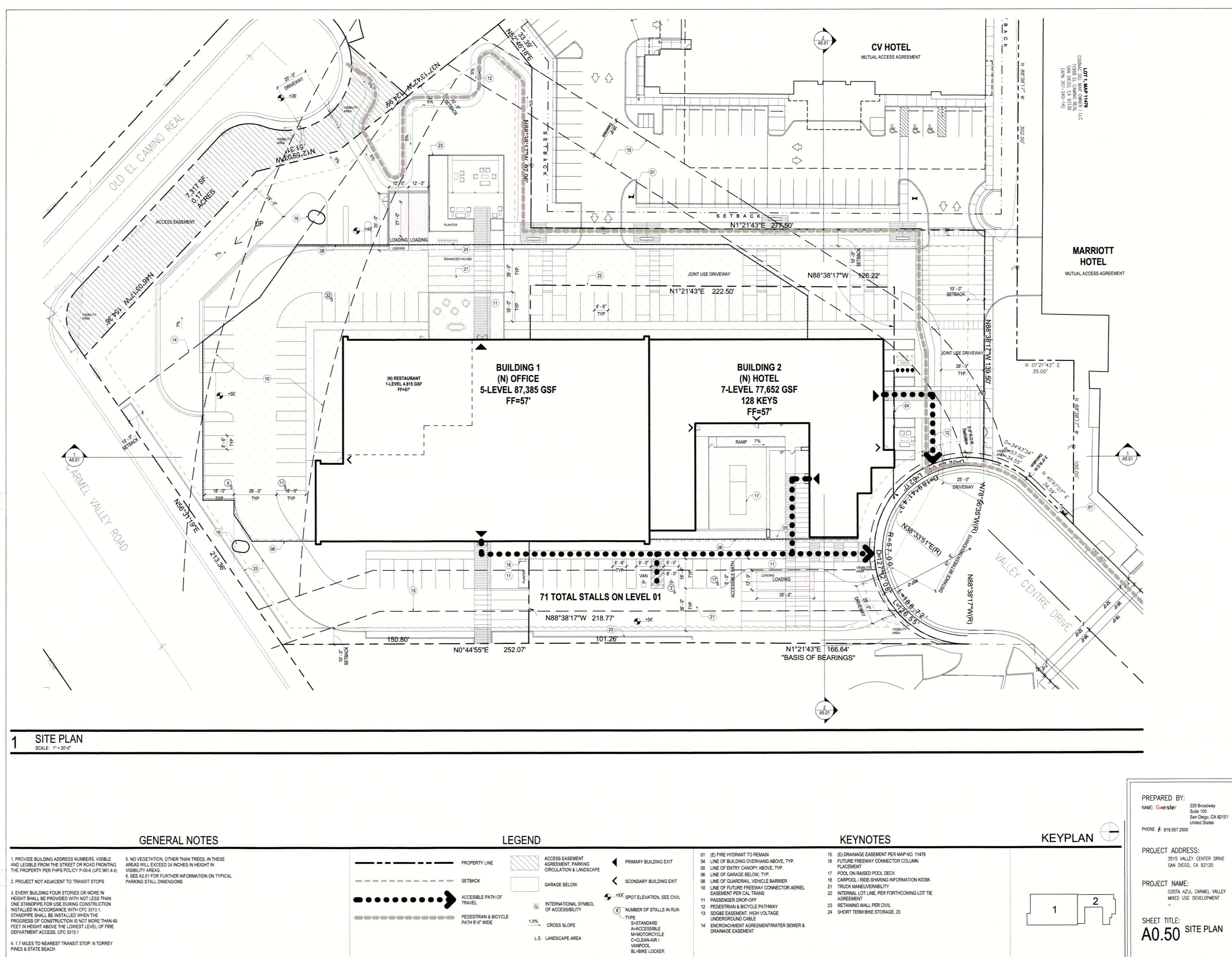
CONSTRUCT 1 NEW COMMERCIAL OFFICE BU AND 1 NEW HOTEL BUILDING (7 STORIES) WIT SUBTERRANEAN PARKING, ALSO INCLUDES S INCLUDING SURFACE PARKING, DRIVEWAYS, LANDSCAPING, GRADING, AND 565' LINEAR FE WALL. NO EXISTING STRUCTURES OR SITE IN ON THE SITE.

DEVELOPMENT SUMMA	RY			
OVERALL SITE			133,534.7 SF	
SITE WITHIN LIMIT OF WORK			3,534.7 SF	
LANDSCAPE AREA			E LANDSCAPE	
OFFICE BLDG 1 (5 STORIES @ 68' - 6" HEIGHT)			96,040 GSF	
HOTEL BLDG. 2 (7 STORIES @ 76' - 0" HEIGHT)			77,652 GSF	
PARKING GARAGE (2 LEVELS BELOW GRADE)			139,068 GSF	
TOTAL (EXCLUDING PARKING	STRUCTURE)	= 17	3,692 GSF	
CV-1-1 MAXIMUM FAR: 2.0 *PARKING STRUCTURE IS EXCLUDED FROM FAR AS IT MEETS AT LEAST TWO OF THE FOLLOWING CRITERIA: 1. PER SEC 113.0234 (D)(3)(B)(I), THE PARKING STRUCTURE INCLUDES AT LEAST ONE SUBTERRANEAN FLOOR. 2. PER SEC 113.0234 (D)(3)(B)(III), THE PARKING STRUCTURE IS SCREENED FROM THE ADJACENT PUBLIC RIGHT OF WAY.			3 FAR	
ACCESSORY SUMMARY	(
RESTAURANT (INSIDE OFFICE BLDG)		4,815 GSF		
ROOFTOP ACCESSORY (INSIDE OFFICE BLDG)		3,840 GSF		
ZONING SUMMARY				
COASTAL OVERLAY ZONE			YES	
GELOGICAL HAZARD CATEGORY			#52 & #31	
	ALLOWABL	E	PROPOSED	
TYPE I-B				
B (N) OFFICE BLDG. 1 60'-0"			68'-6"	
S-2 (N) PARKING STRUCTURE 60'-0"			BELOW GRAD	
TYPE I-B				
R-1 (N) HOTEL BLDG. 2 60'-0" 76'-0"		76'-0"		

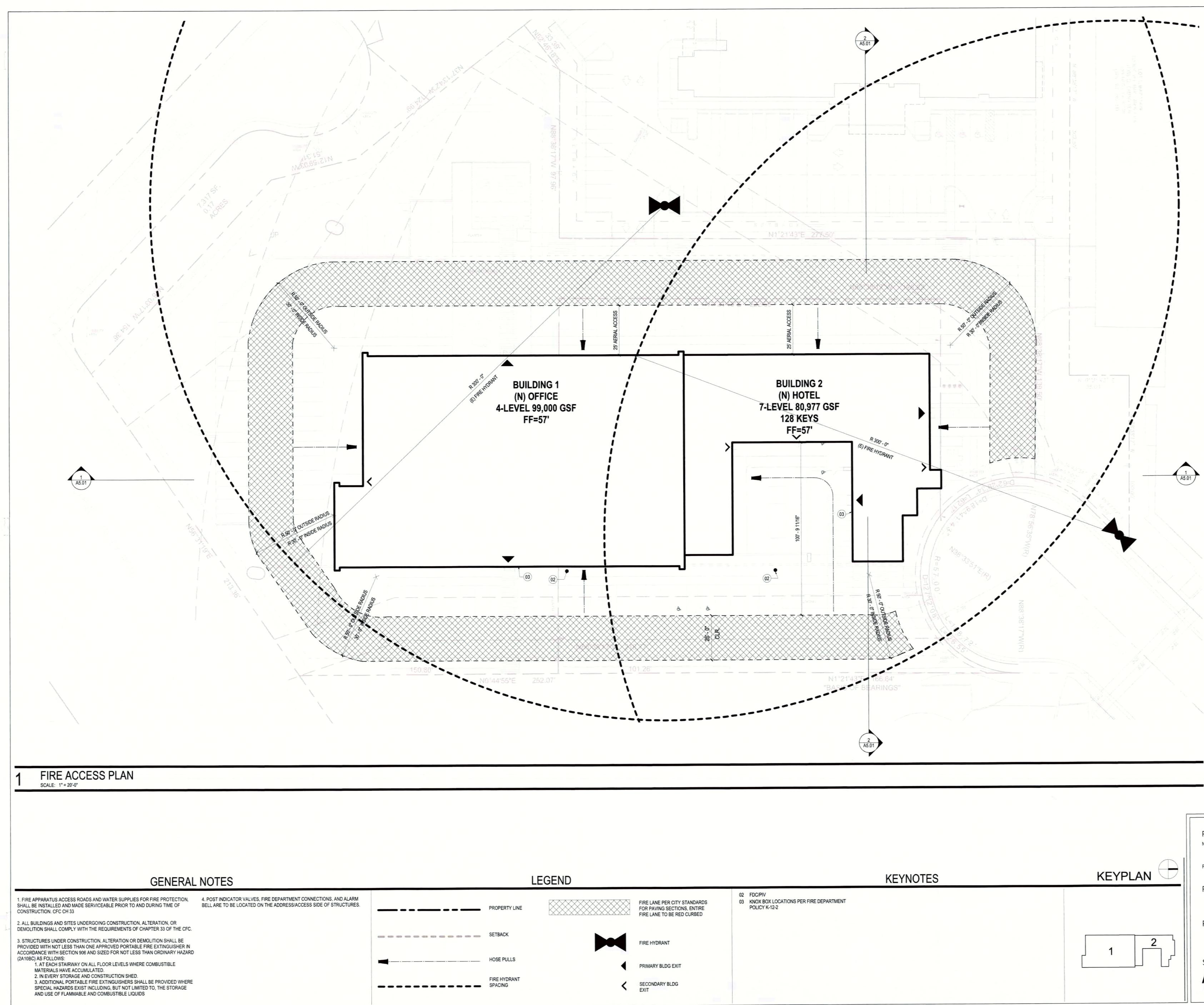
		ATTACHMENT 10
		Gensler
TH SIT W EE	DING (5 STORIES) TWO LEVELS TE IMPROVEMENTS ALKWAYS, T OF RETAINING ROVEMENTS EXIST	225 Broadway Tel 619.557.2500 Suite 100 Fax 619.557.2520 San Diego, CA 92101 United States
		PROJECT NO.: 55.7604.000
	133,534.7 SF	PROJECT NO. 33.7004.000
	133,534.7 SF	
	SEE LANDSCAPE	
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)	139,068 GSF	COSTA
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-,	1.3 FAR	CARMEL
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5)	3,840 GSF	
		NOTFOR
	VEC	NOT FOR CONSTRUCTION
	YES #52 & #31	
BL		
	68'-6"	REFERENCE: PTS 400127
	BELOW GRADE	SHEET:
	76'-0"	
		REVISION 14:
-	PREPARED BY:	REVISION 13:
M	IAME: Gensier 225 Broadway Suite 100 San Diego, CA 921	01 REVISION 11:
F	United States PHONE #: 619.557.2500	REVISION 10:
1	PROJECT ADDRESS:	REVISION 8:
	3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120	REVISION 7:
1	PROJECT NAME:	REVISION 5:
1	COSTA AZUL CARMEL VALLE MIXED USE DEVELOPMENT	REVISION 3: 2018-08-30
	-	REVISION 2: 2018-07-02 REVISION 1: 2018-04-02

SHEET TITLE: G0.01 PROJECT INFORMATION

ORIGINAL DATE: 2017-09-28 SHEET 02 OF 30 DEP#



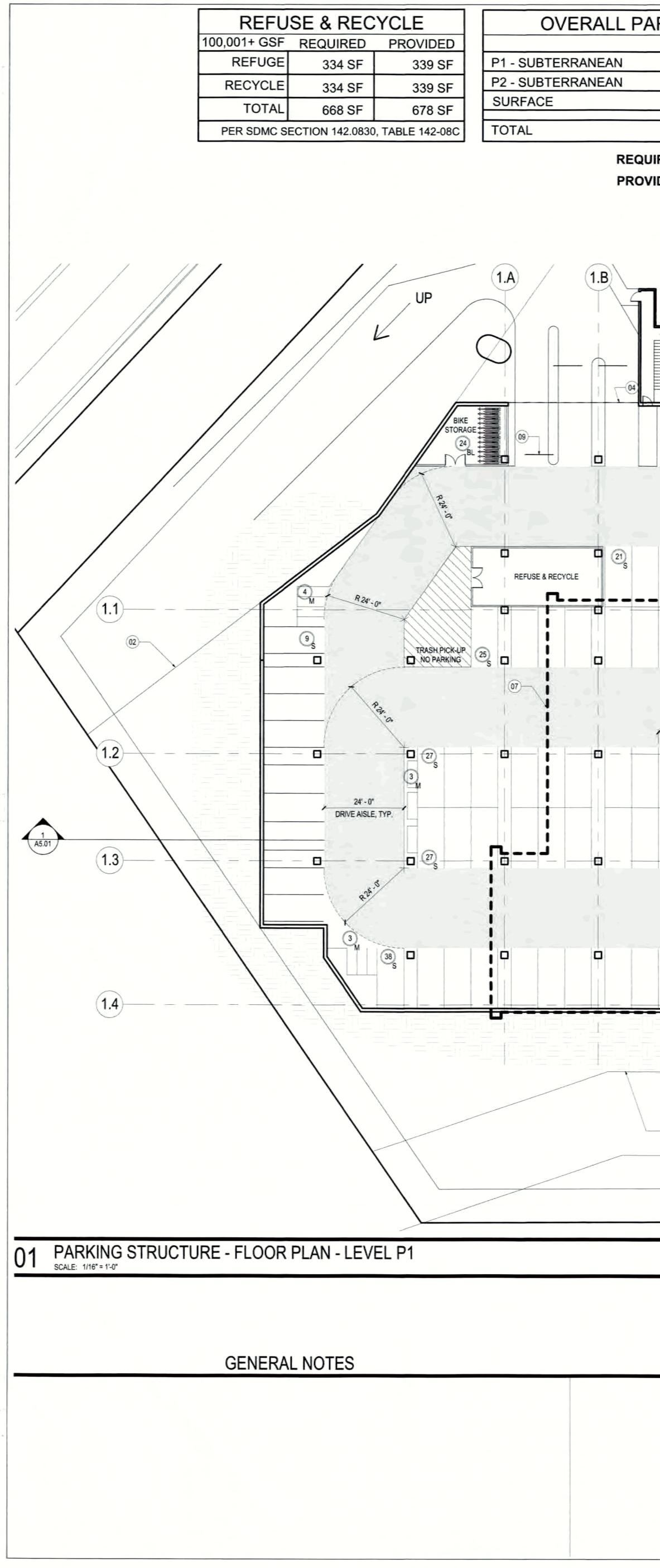
ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: ____ REVISION 11: REVISION 10: REVISION 9: REVISION 8: **REVISION 7:** REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28 SHEET 03 OF 30 DEP#



KEYNOTES	KEYPLAN	PREPARED BY: NAME: Gensie: 225 Broadway Suite 100 San Diego, CA 92101 United States PHONE #: 619.557.2500
ne moneo		PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120
		PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT SHEET TITLE: A0.51 FIRE ACCES PLAN

ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: _____ REVISION 11: CA 92101 REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: _____2018-04-02 ORIGINAL DATE: 2017-09-28 CCESS SHEET 04 OF 30

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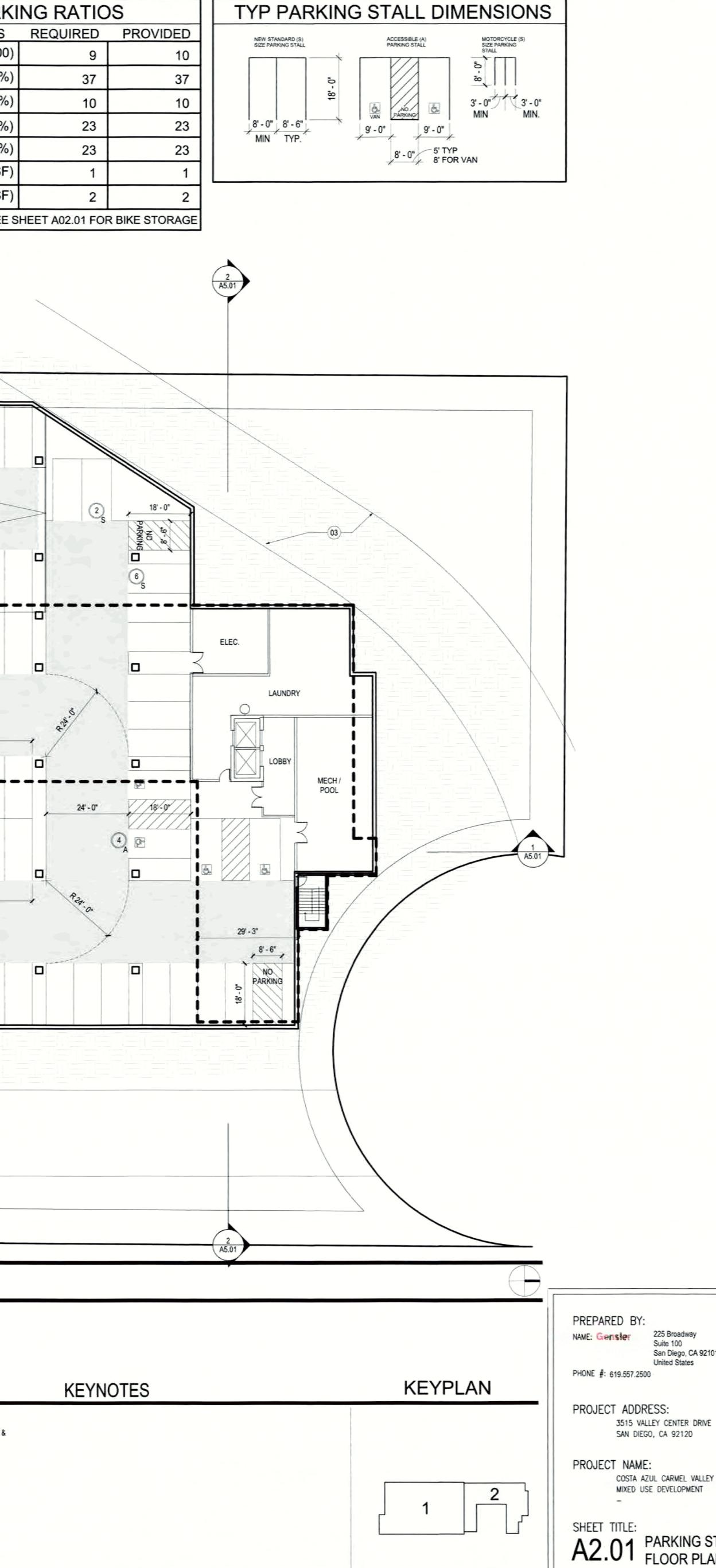
ARCEL P	ARKING	TABULAT	ION	SUBTERRANEAN PARKING SF / CAR	A STRUCT.	OV	ERALL PARK
	TANDARD	ACCESSIBLE	TOTAL	TOTAL SF			NG - 454 SPACES
	177	8	185	69,543 SF	376		SPACES (401-500)
	198	0	198	69,543 SF	351	CARPOOL	/ EV SPACES (8%)
	69	2	71	XXXXX			CLE SPACES (2%)
	444	10	454	139,068 SF	306		SHORT-TERM (5%)
UIRED PARK		454 PER 11		PARKING DE			- LONG-TERM (5%)
VIDED PARK				52 GSF* / 100			6 (0.1% / 10,000 SF)
		404 017	*Exclude	es Rooftop Ac	cessory		(0.25% / 10,000 SF)
							* <u>NOTE:</u> SEE \$
							NOTE: OLL (
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heat	POOLEV STALLS					POOL/EV STALLS	
					1	L)	
24: - 0"		185 TOTAL STA	LLS ON LEV	'EL P1	. 1	- 1	
5		P					
18' -							

LEGEND

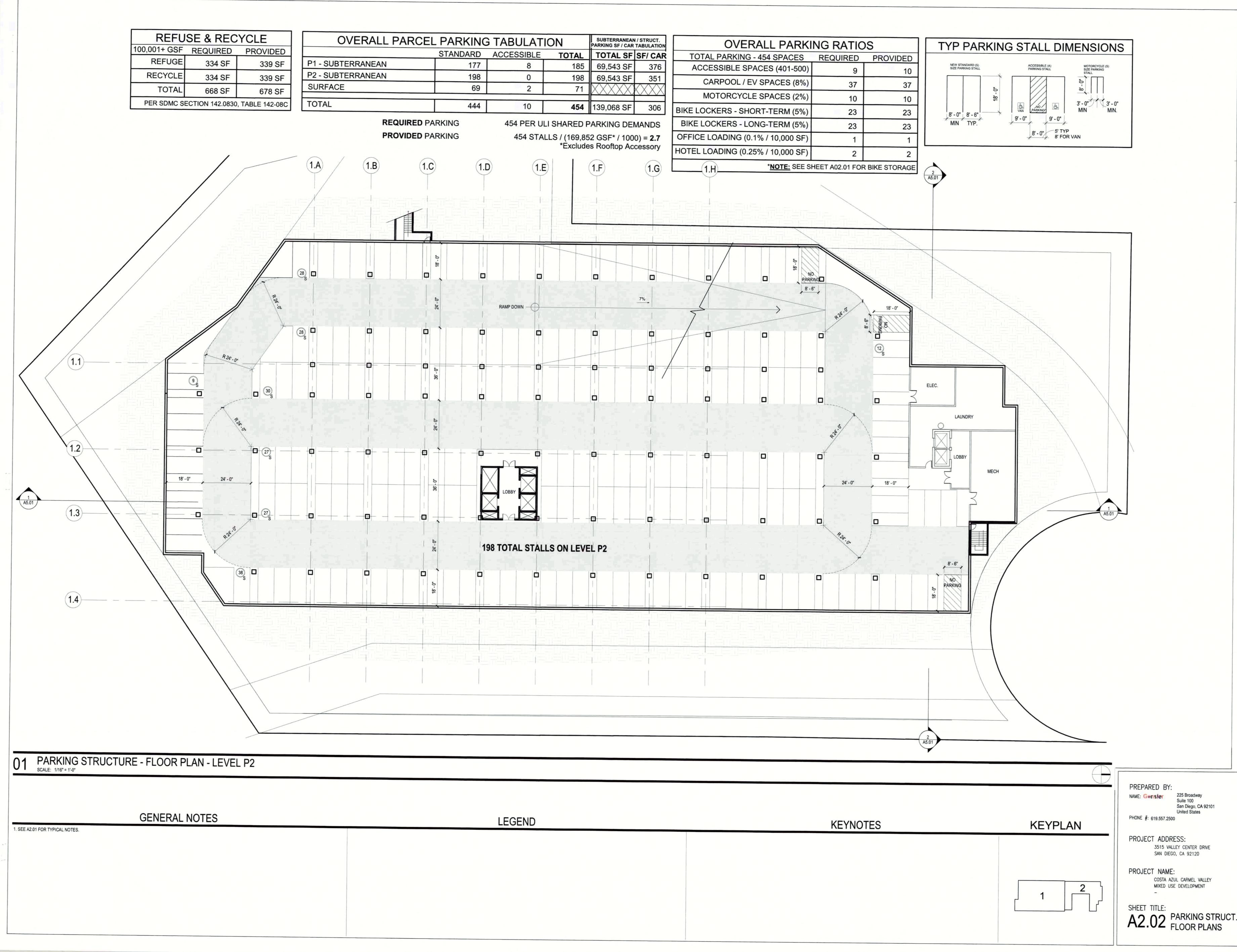
01 SDG&E EASEMENT. HIGH VOLTAGE UNDERGROUND CABLE 02 ENCROACHMENT AGREEMENT/WATER SEWER & DRAINAGE EASEMENT 03 (E) DRAINAGE EASEMENT PER MAP NO. 11479 04 SECURITY GATE

07 LINE OF BLDG ABOVE

09 AUTOMATIC GATE ARMS W/ ALL ASSOCIATED SENSOR LOOPS, TRANSPONDERS, ETC.



22 Su Sa Ur	<section-header><section-header><section-header><section-header><text></text></section-header></section-header></section-header></section-header>
	COSTA AZUL CARMEL VALLEY San Diego, California
	NOT FOR CONSTRUCTION
	REFERENCE: PTS 400127 SHEET:
101	REVISION 14:
_	REVISION 9:
Y	REVISION 4: 2020-03-23 REVISION 3: 2018-08-30
STRUCT.	REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28 SHEET 05 0F 30 DEP#



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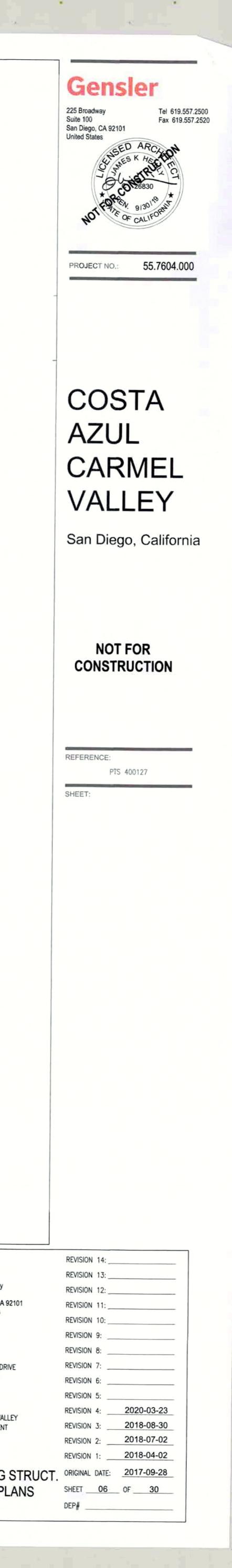
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- 2/41



- 14 C

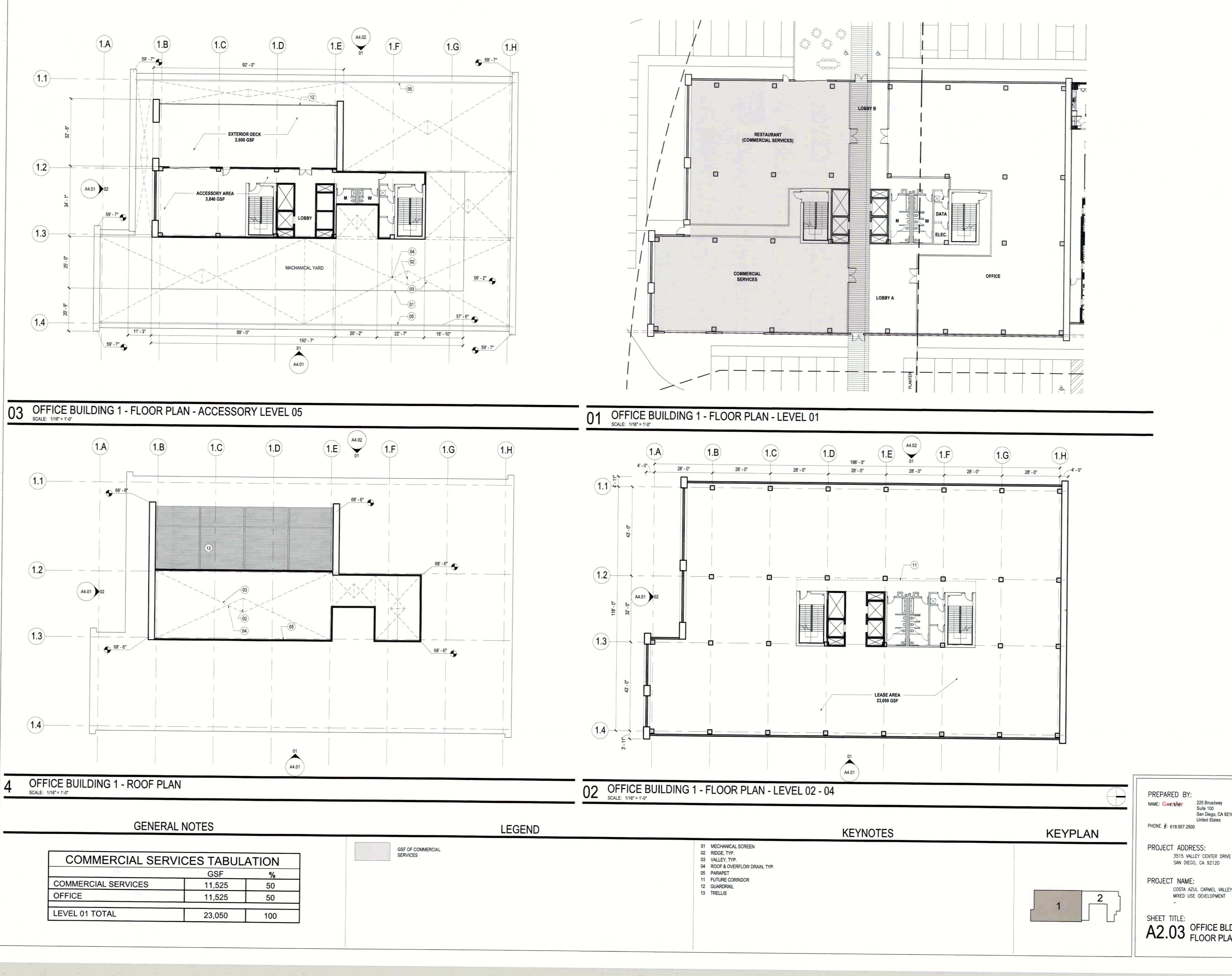
10 M

ATTACHMENT 10

10 C

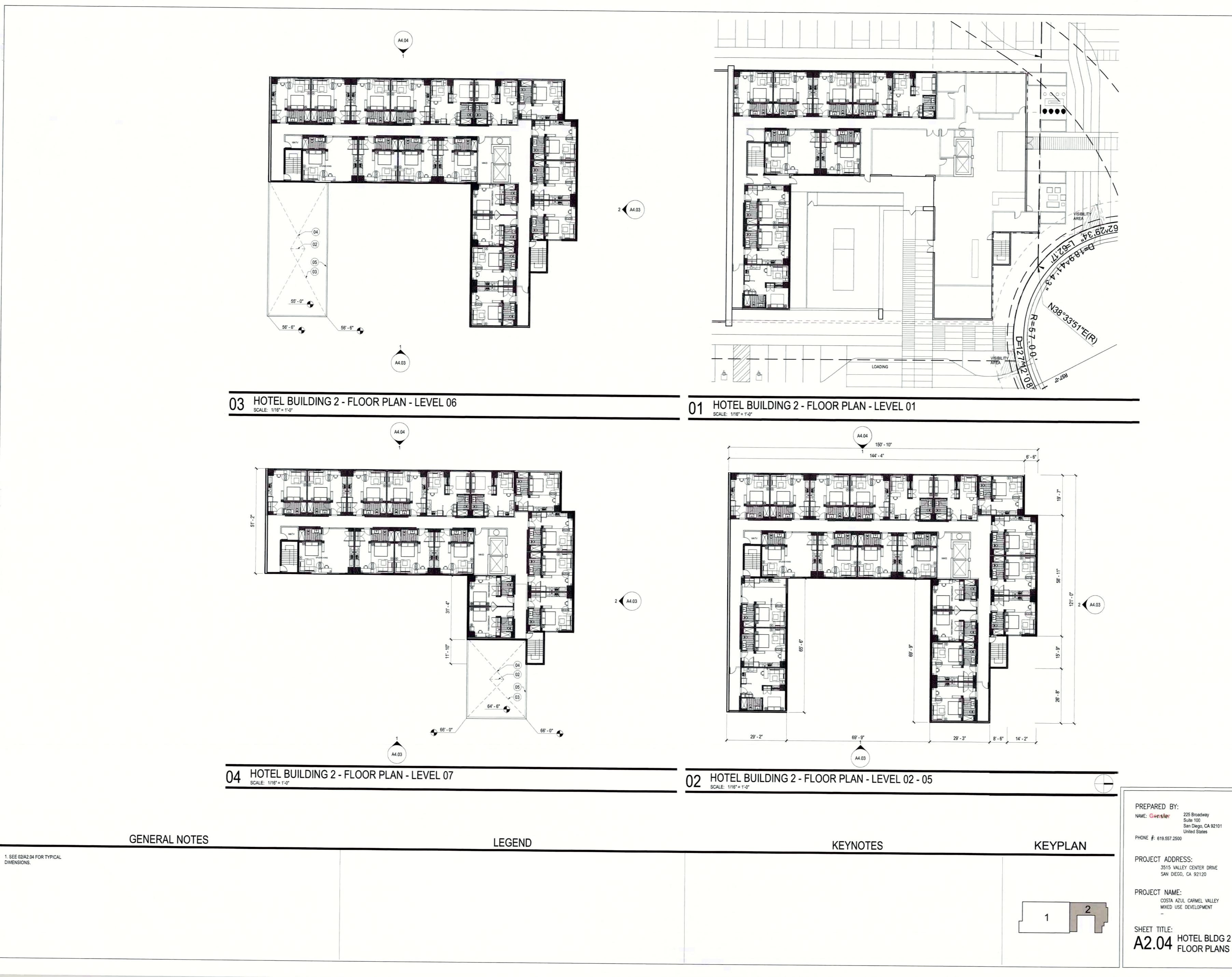
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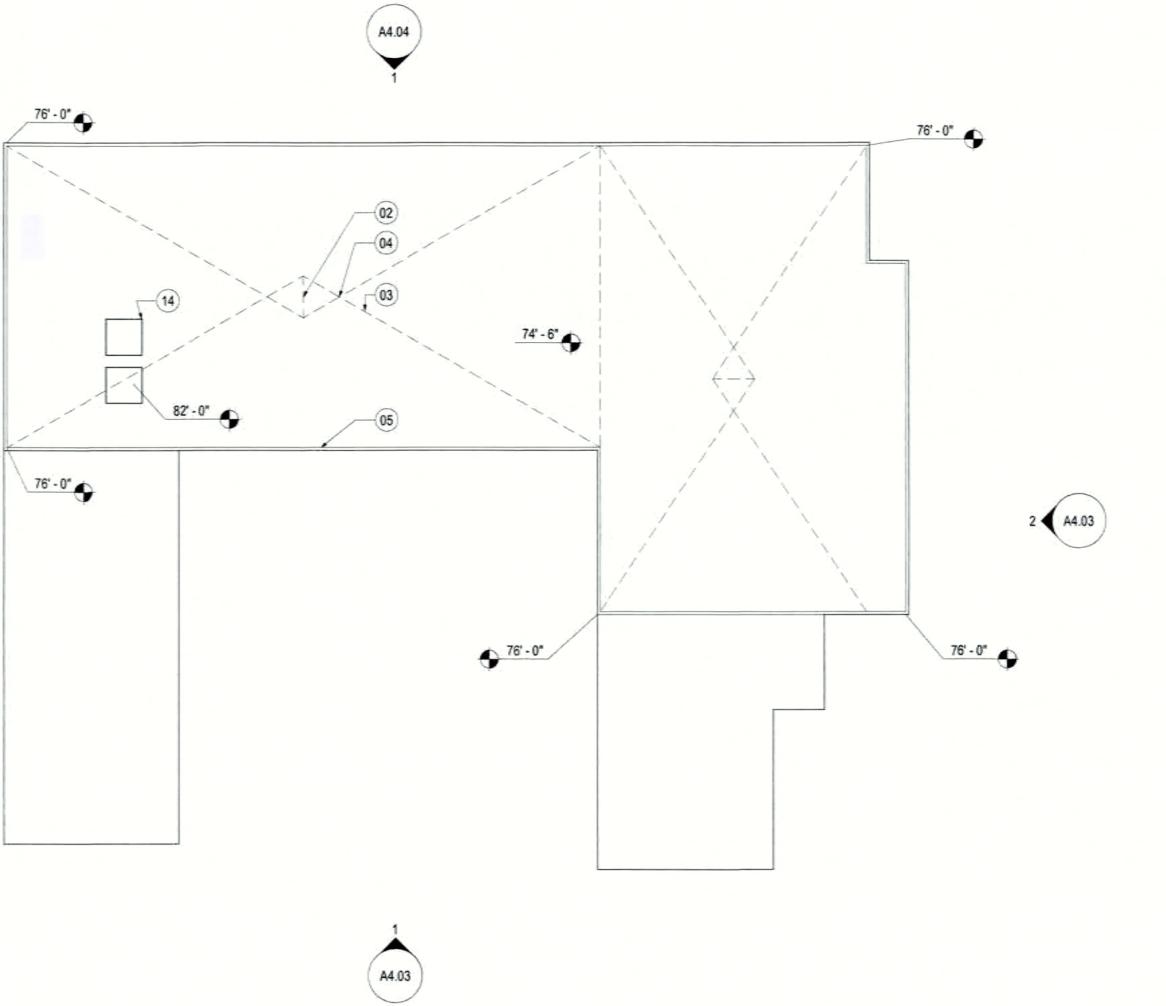
COMMERCIAL SERVICES TABULATION						
GSF %						
COMMERCIAL SERVICES	11,525	50				
OFFICE	11,525	50				
LEVEL 01 TOTAL	23,050	100				

	ATTACHMENT 10
	Geodesite25 Broadway Suite 100Tel 619.557.2500 Fax 619.557.252030 Diego, CA 92101Tel 619.557.2520United StatesTel 619.557.2520Unite
	COSTA AZUL CARMEL VALLEY San Diego, California
	NOT FOR CONSTRUCTION
	REFERENCE: DTS 400127 SHEET:
	REVISION 14:
2101	REVISION 13: REVISION 12: REVISION 11: REVISION 10: REVISION 9:
VE	REVISION 8:
	REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28
ANS	SHEET OF 30 DEP#



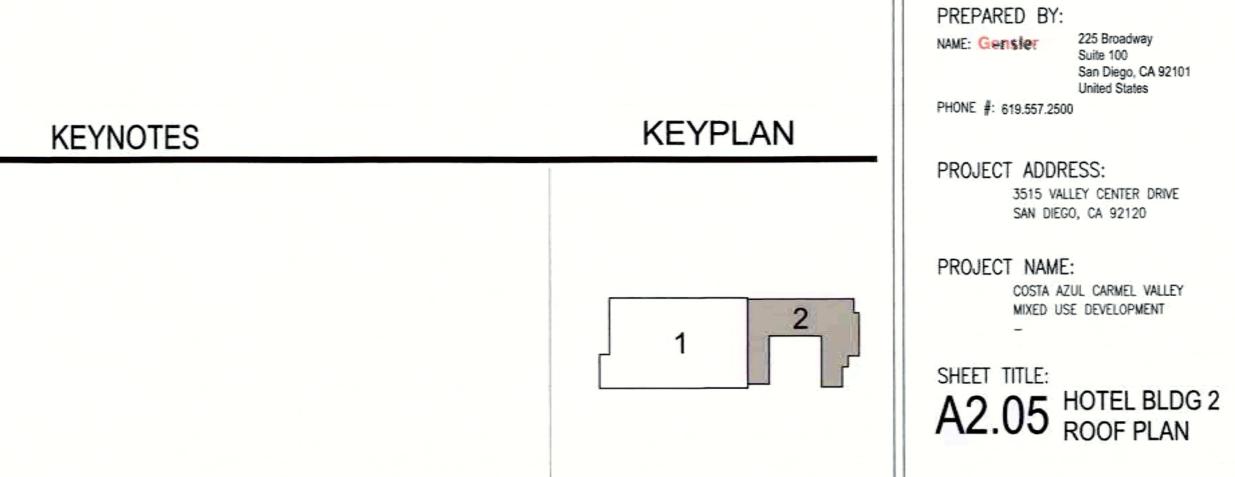
	ATTACHMENT 10
	<section-header><text><text><text><text></text></text></text></text></section-header>
	COSTA AZUL CARMEL VALLEY San Diego, California
	<section-header></section-header>
	SHEET:
	REVISION 14: REVISION 13: REVISION 12: REVISION 12: REVISION 11: REVISION 11: REVISION 10: REVISION 9: REVISION 8: REVISION 7:
2	REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28 SHEET 08 0F 30 DEP#

1. SEE 02/A2.04 FOR TYPICAL DIMENSIONS.

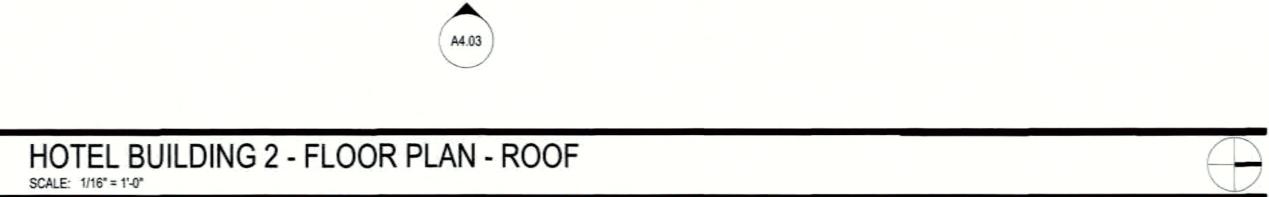


02 RIDGE, TYP. 03 VALLEY, TYP. 04 ROOF & OVERFLOW DRAIN, TYP. 05 PARAPET 14 LOUVERED MECHANICAL EQUIPMENT

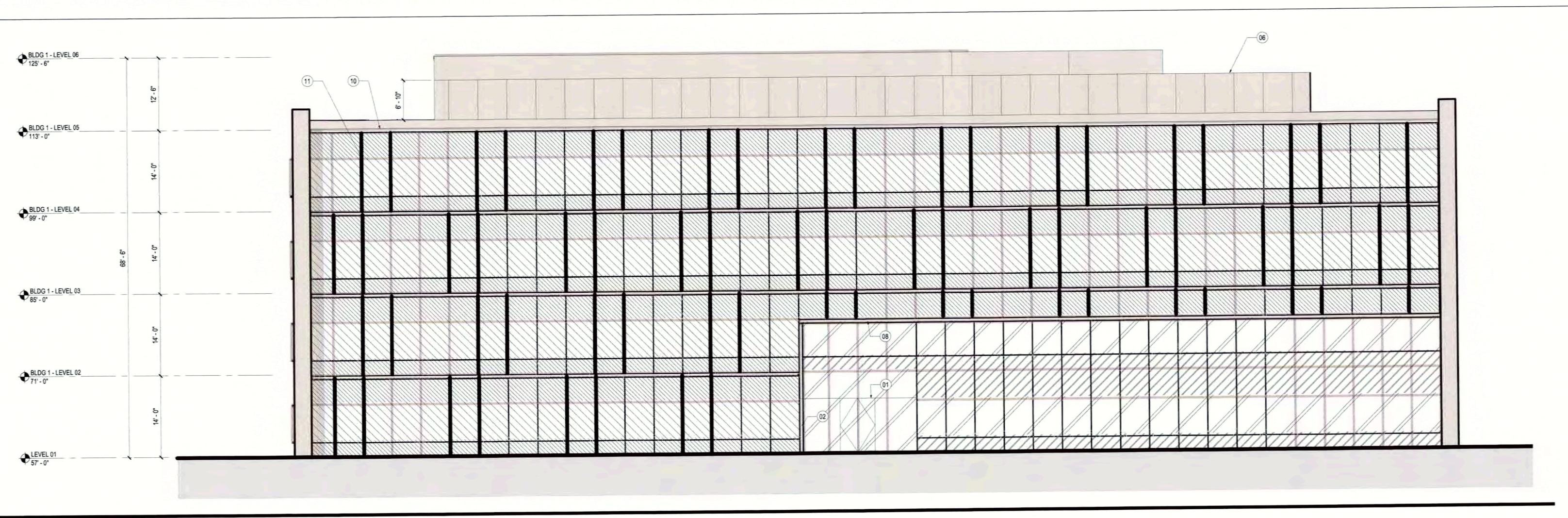
LEGEND







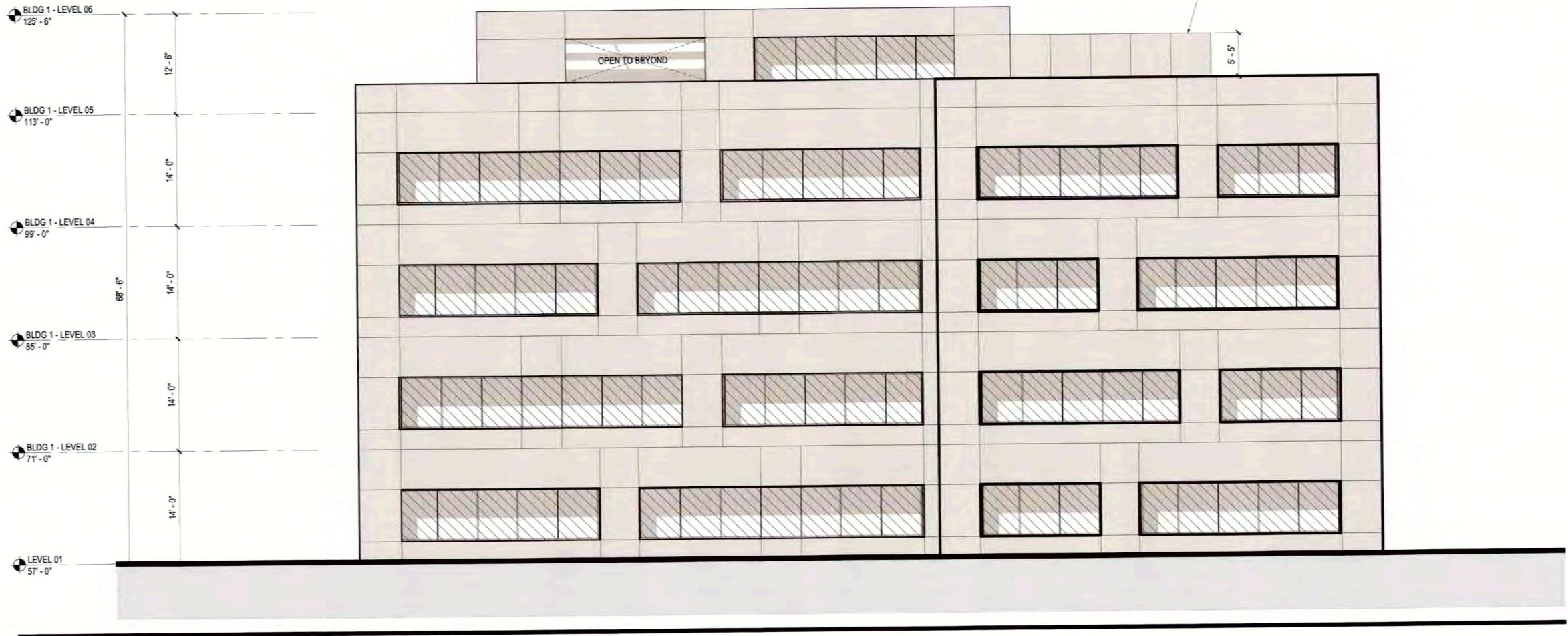
ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: ____ REVISION 11: _____ REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28 SHEET 09 OF 30 DEP#



01 OFFICE BLDG 1 - EAST ELEVATION SCALE: 1/8" = 1'-0"

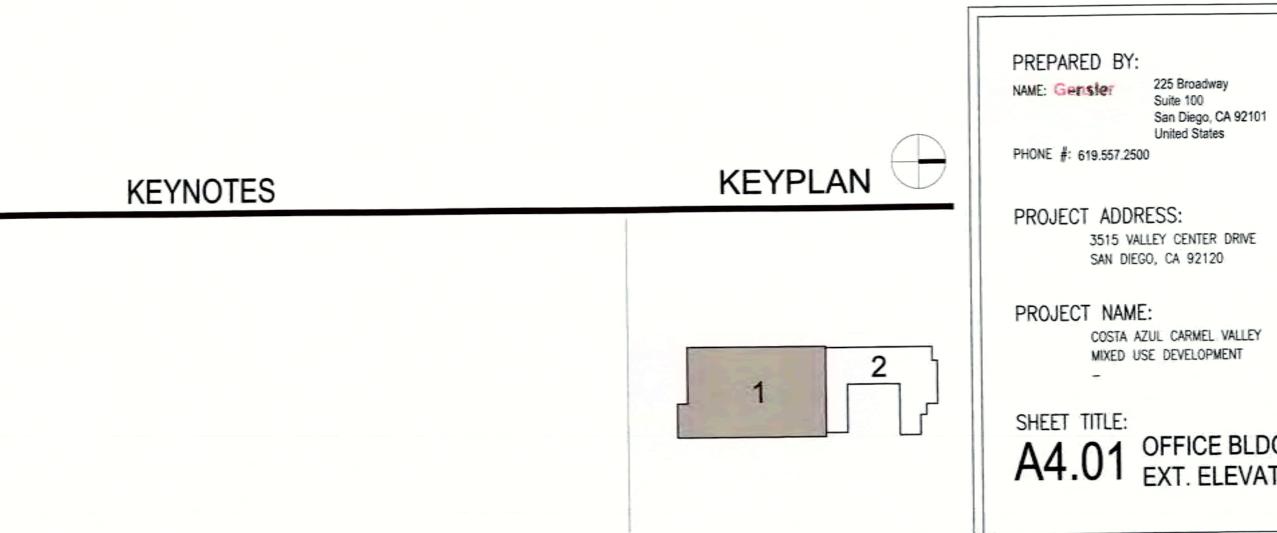
GENERAL NOTES

1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE



02 OFFICE BLDG 1 - SOUTH ELEVATION SCALE: 1/8" = 1'-0"

	LEGEND		
iL-1	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE	02	FRAMLESS GLASS DOORS KNOX BOX MECHANICAL SCREEN, PAINTED TO MATCH PLASTER
SL-1 BP	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACKPAN	10	CANOPY FEATURE 14" DEEP HORIZONTAL LOUVER, TYP. 12" DEEP VERTICAL LOUVER, TYP.
GL-2	1" INSULATED GLASS SOLARBAN 70XL		
GL-2 BP	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN		
PL-2	PLASTER, GREY		



--(06)

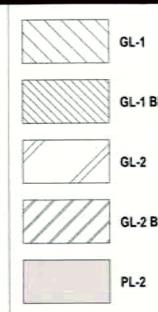
ATTACHMENT 10 Gensler Tel 619.557.2500 Fax 619.557.2520 225 Broadway Suite 100 San Diego, CA 92101 United States SED ARCA PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: _____ REVISION 11: REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: **REVISION 5:** REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: _____2018-04-02 ORIGINAL DATE: 2017-09-28 A4.01 OFFICE BLDG 1 ORIGINAL DATE: 2017-09-28 EXT. ELEVATIONS SHEET 10 OF 30 DEP#



01 OFFICE BLDG 1 - WEST ELEVATION SCALE: 1/8" = 1'-0"

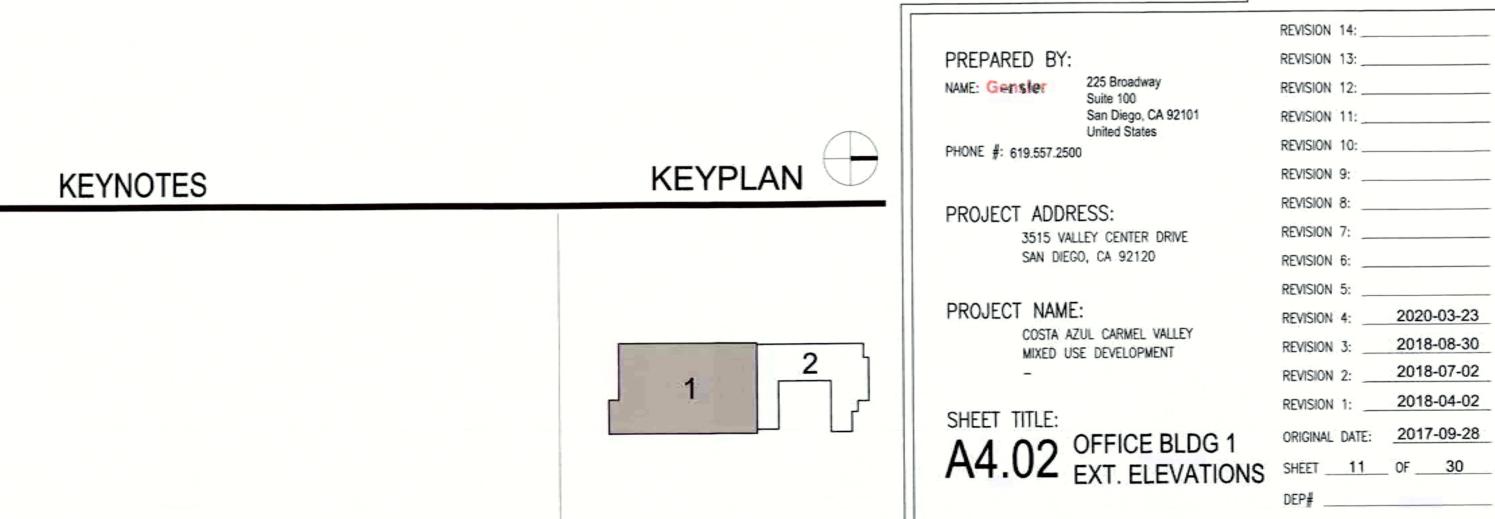
GENERAL NOTES

1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE



L	E(G	E	N	D
-			_		-

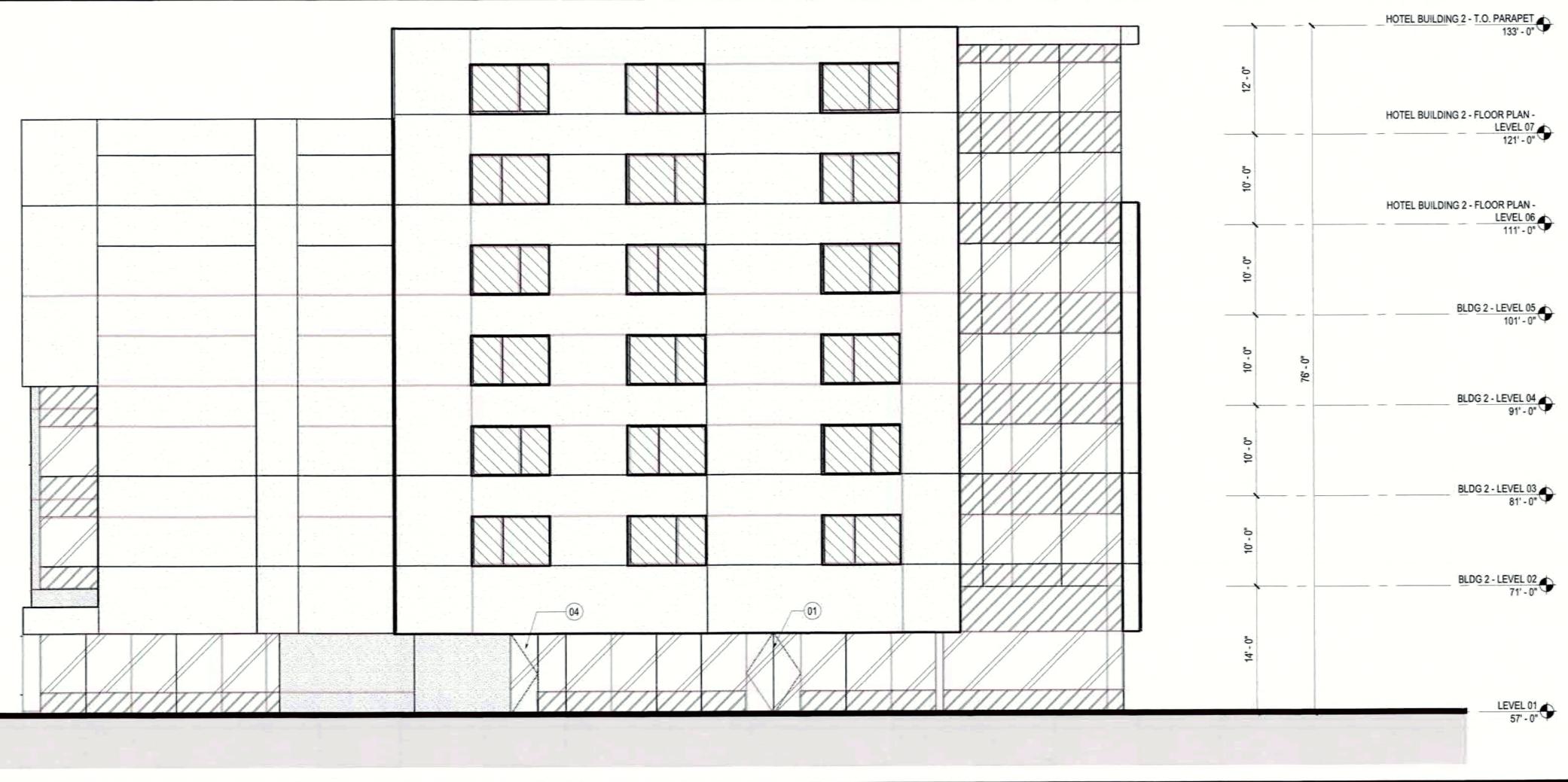
10 14" DEEP HORIZONTAL LOUVER, TYP. 11 12" DEEP VERTICAL LOUVER, TYP. 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE 1" INSULATED GLASS GL-1 BP SOLARBAN Z75 OPTIBLUE W/ BACKPAN 1" INSULATED GLASS SOLARBAN 70XL GL-2 BP 1* INSULATED GLASS SOLARBAN 70XL W/ BACK PAN PL-2 PLASTER, GREY



ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 SED ARCH PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 2 SHEET: REVISION 14: REVISION 13: REVISION 12: REVISION 11: REVISION 10: _ REVISION 9: REVISION 8: REVISION 7: REVISION 6: REVISION 5: -----REVISION 4: 2020-03-23 REVISION 3: 2018-08-30

REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28 DEP#

	(09)							
					XX			
						VX/X/X	X/X/X	
HOTEL BLDG 2 - EAST ELEVATION SCALE: 1/8" = 1'-0"								
						64		
				Arthurk		V Ander	VIIVA	l'arte
HOTEL BLDG 2 - NORTH ELEVATION SCALE: 1/8" = 1'-0"								
SEE CIVIL FOR EXIST VS. PROPOSED GRADE		GL-1	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE	LEGEND PL-1 WHITE PLASTER			01 FRAMLESS GLASS 04 NARROW STILE EXI	IT DOOR
		GL-1	1" INSULATED GLASS BP SOLARBAN Z75 OPTIBLUE W/ BACKPAN 1" INSULATED GLASS SOLARBAN 70XL	PL-2 DARK GREY PLAS	TER		09 LOUVERED MECHA	NRUAL EQUIPMENT

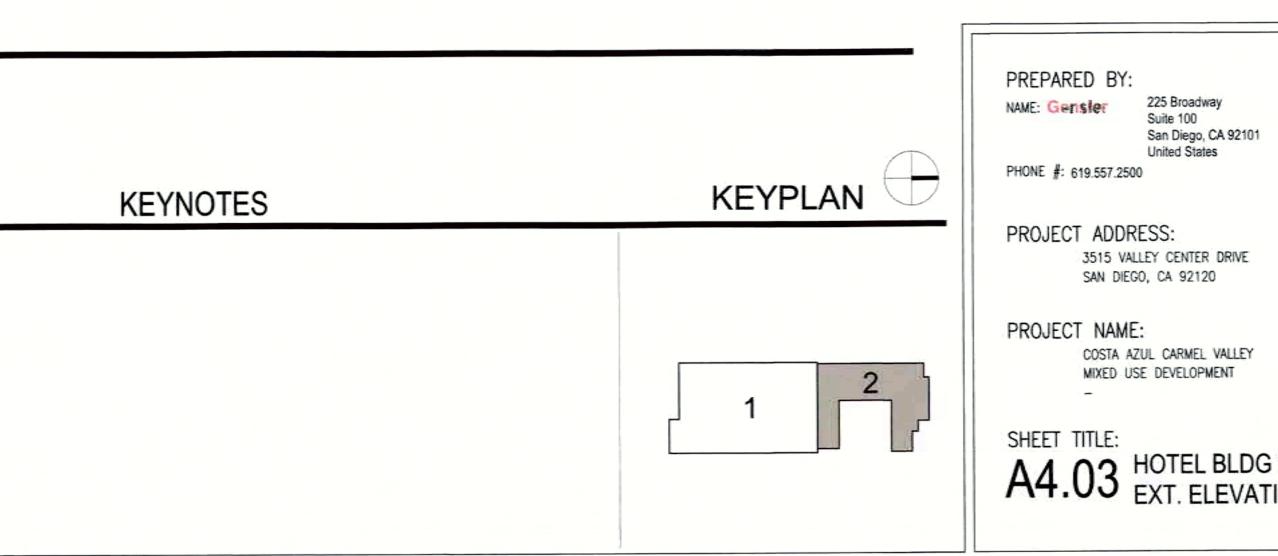


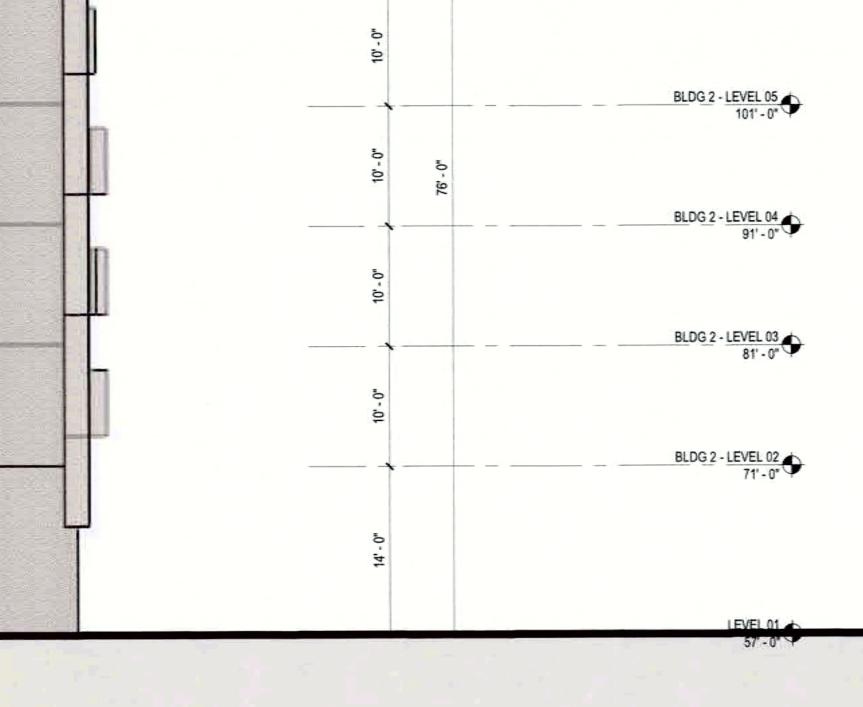
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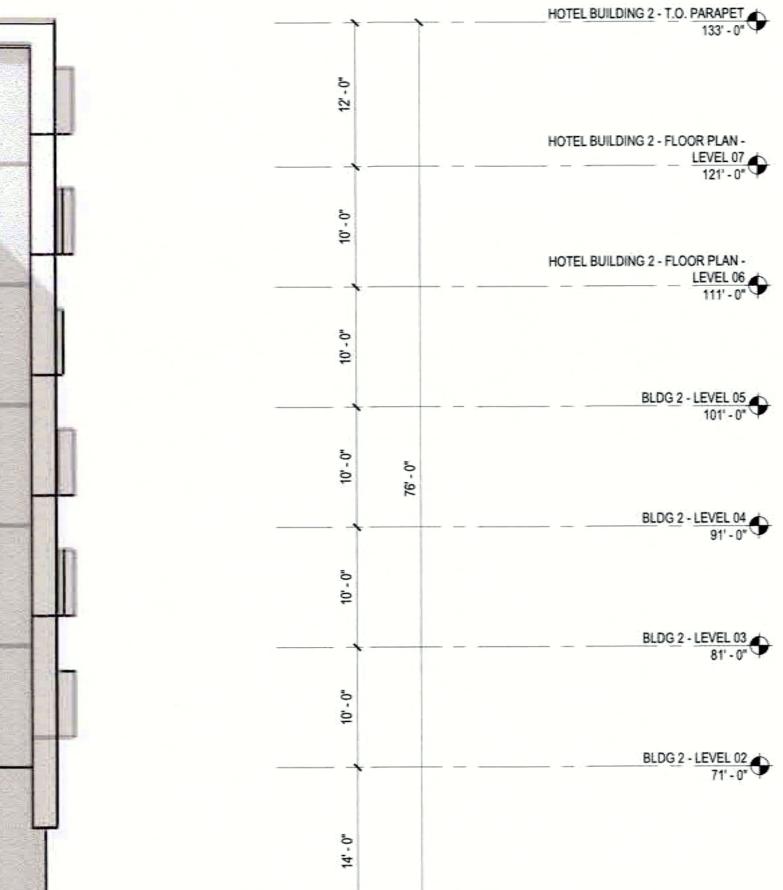
1" INSULATED GLASS SOLARBAN 70XL

1111

GL-2 BP 1* INSULATED GLASS SOLARBAN 70XL W/ BACK PAN







ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 ED ARC PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: REVISION 11: REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: _____2018-04-02 ORIGINAL DATE: 2017-09-28 A4.03 HOTEL BLDG 2 ORIGINAL DATE: 2017-09-28 EXT. ELEVATIONS SHEET 12 OF 30 DEP#

1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE

GENERAL NOTES

HOTEL BLDG 2 - WEST ELEVATION SCALE: 1/8" = 1'-0"

HOTEL BUILDING 2 - T.O. PARAPET					
	12' - 0"	T			
HOTEL BUILDING 2 - FLOOR PLAN - LEVEL 07 121' - 0"	_ x _	-			
HOTEL BUILDING 2 - FLOOR PLAN -	10' - 0"				
111'-0"	- x -				
	10' - 0"				
BLDG 2 - LEVEL 05	- x -				
.020	10' - 0"				
BLDG 2 - LEVEL 04 91' - 0"	- x -	-			
	10' - 0"				
BLDG 2 - LEVEL 03 81' - 0"	- x -				
	10' - 0"				
BLDG 2 - LEVEL 02 71' - 0"	- x	-			
	.0	ų.			
	14' - 0"				
LEVEL 01 57" - 0"			VINII	(//X//)()	<u> ////////////////////////////////////</u>
	12' - 0"				
LOWER LEVEL P1 45' - 0*					
	10' - 6"				
LOWER LEVEL P2 34' - 6"	10				

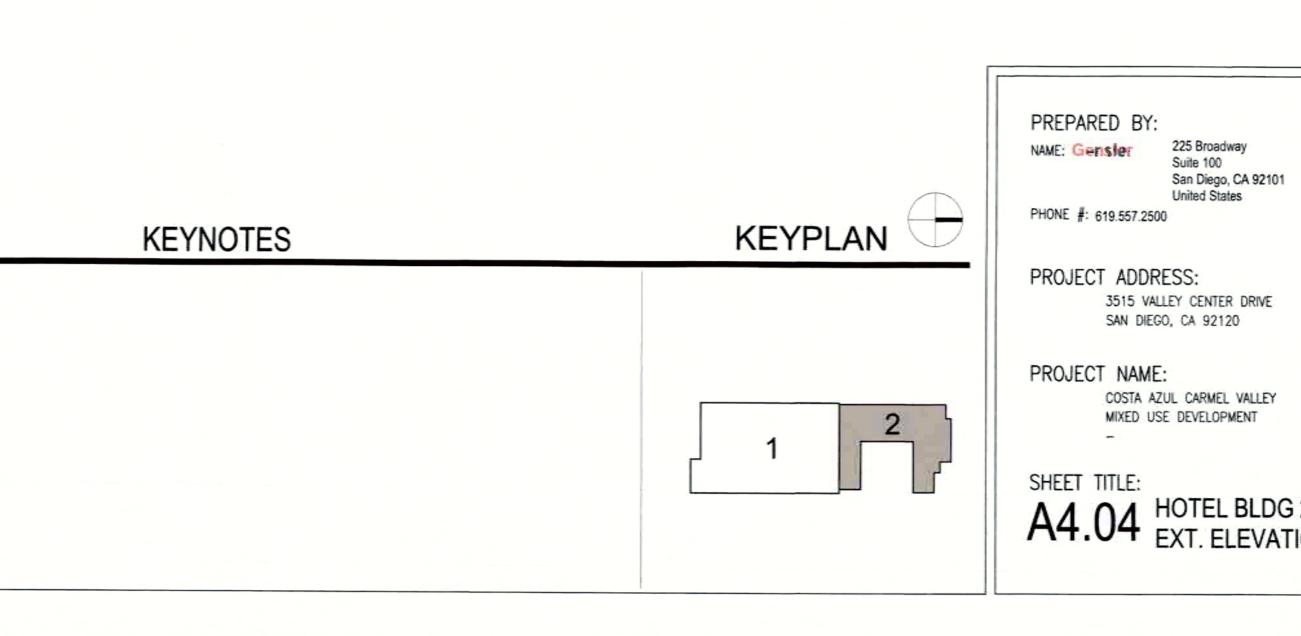
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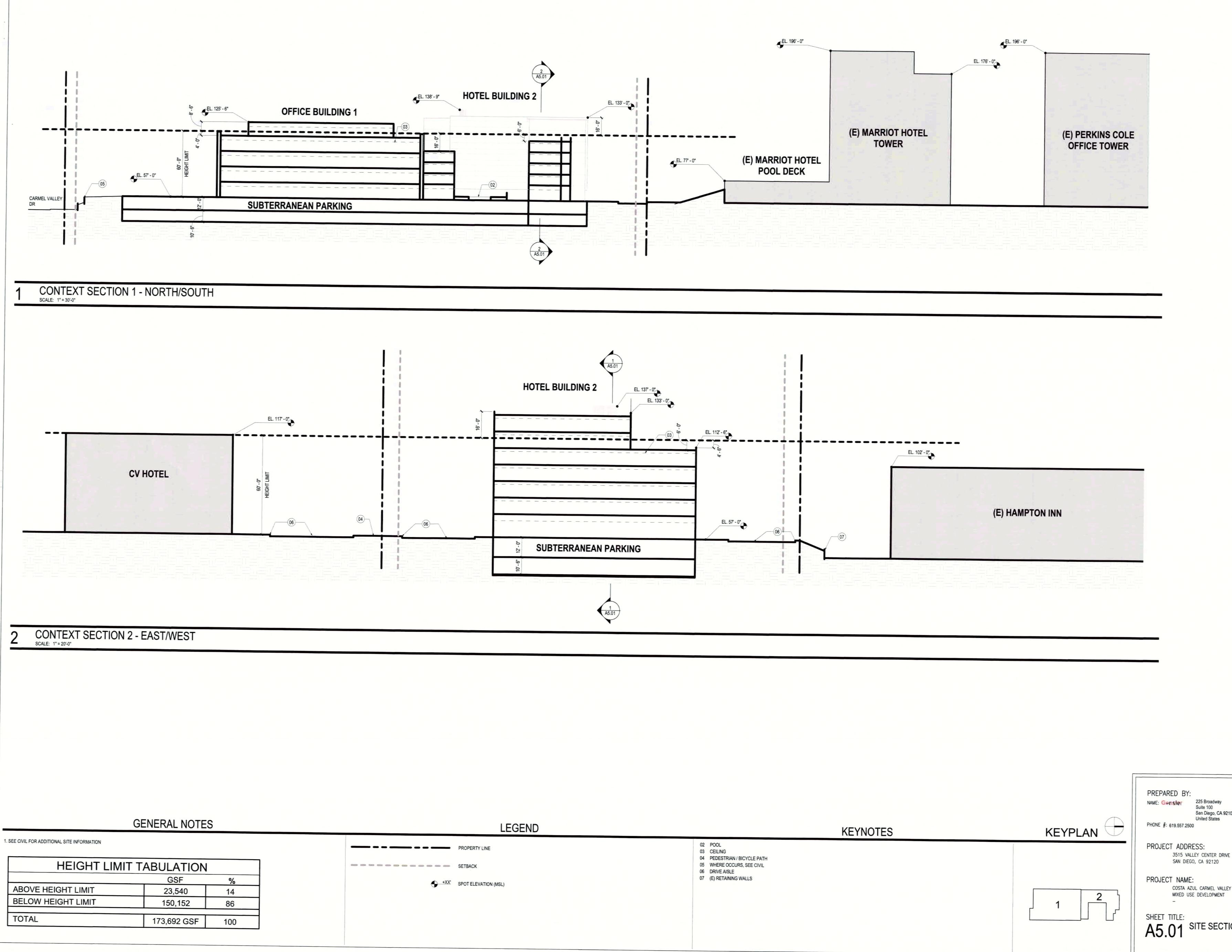
LEGEND

GL-1	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE	PL-1	WHITE PLASTER	09	LOUVERED MECHANICAL EQUIPMENT
GL-1 BP	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACKPAN	PL-2	DARK GREY PLASTER		
GL-2	1" INSULATED GLASS SOLARBAN 70XL				
GL-2 BP	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN				

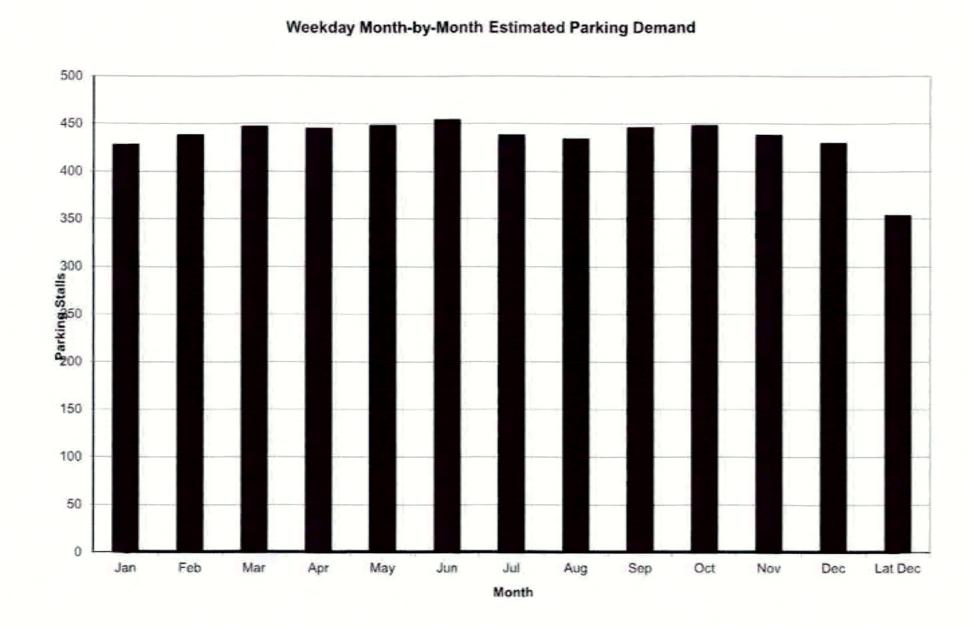


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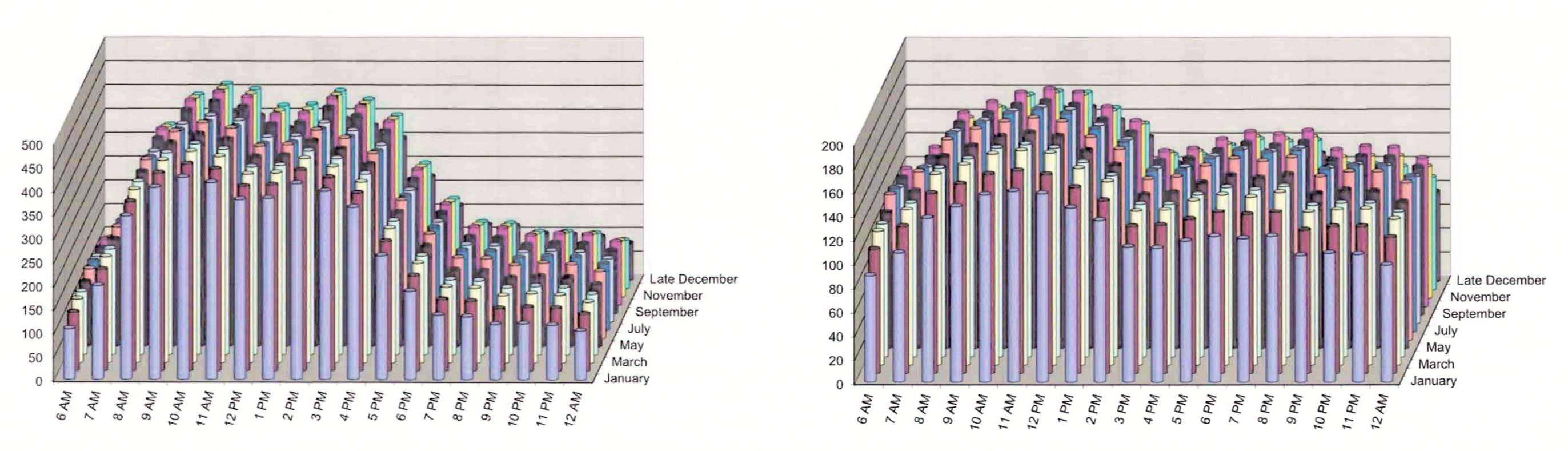
ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: REVISION 11: REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28 A4.04 HOTEL BLDG 2 ORIGINAL DATE: 2017-09-28 EXT. ELEVATIONS SHEET 13 OF 30 DEP#



	ATTACHMENT 10
	Consistent State 10 Suite 10 Suite 10 Tei 619.557.2500 Fax 619.557.2500 Fax 619.557.2500United StatesUnited St
	COSTA AZUL CARMEL VALLEY San Diego, California
	NOT FOR CONSTRUCTION
	<text></text>
2101	REVISION 14:
Æ	REVISION 8: REVISION 7: REVISION 6: REVISION 5:
EY	REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02
IONS	ORIGINAL DATE: <u>2017-09-28</u> SHEET <u>14</u> OF <u>30</u> DEP#



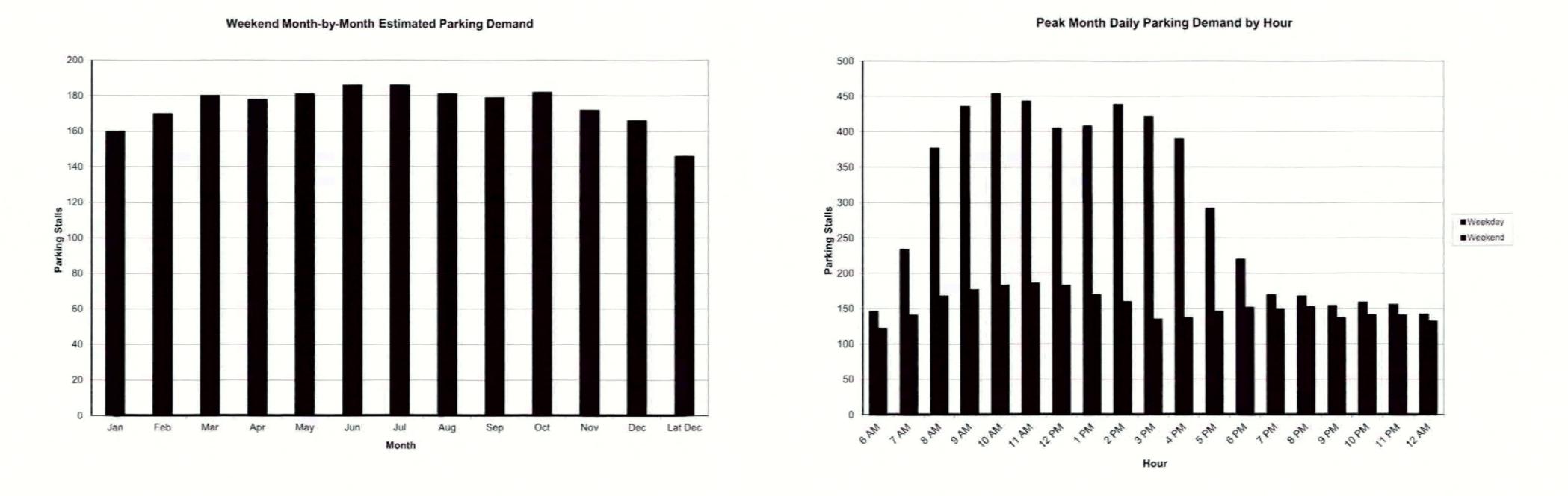
Weekday Comparison by Month and by Hour



										Jun															
							V	Veekday	Estimat	ed Peat	k-Hour P	Pariting I	remand	5											
																					Overall Pk	AM Pesk Hr	PM Pelik Hr	Eve Peak Hr	-
	Monthly As	0 AM:	7.44	S AN	SAM.	10 AM	15 AQ.	12-PM	1.014	2.PM	3 PM	A 1984	5.0%	8.9%	7.968	-8 PM	\$PM	10.PM	计内标	12 ASI		NG AM	2.914		Eloctrice
arruiv Restaurant	95%	10	. 20	25	31	25	37	45	- 第2	20	18	18	31	- 33	33	- 33.	25	- 23	25	10	35 1	35	20	35	-
Employee	100%	4	5	10	6	7	7	7	7	7	5	5	7	7	7	7		6	12	2	7	7	2	7	1
totel-Business	10/0%	122	115	102	- 90	377.1	77	.70	785	- 72.	77	83	90	- 96	- 98	 102 	109	122	128	128	77	27	. 13	96	
Employee	100%	2	10	23	29	32	32	32	32	32	32.	29	22	13	6		6	.6	1	.7	32	32	32	12	-
0/lice 25 to 100 ksf	150%				- 14	231	10	3	10	. 23	. 10.	3	2	1	÷	1 1 6 1	1.1	1. 44	1 × 1			23	23	1	
Employee	100%	00	64	210	256	280	280	252	252	280	280	262	140	70	25	29	6	3			290	280	285	70	
	Castomer	122-	125	132	135	135	124	114	117.	120	105	104	123	130	1291	.135	134	145	148	138	135	135	120	130	
TOTAL DEMAND	Employee	- 14	9	245	301	319	375	291	. 291	319	317	286	168	543	41	33	20	1. 14		- 4	319	319	318	90	
	Reserved	-			0	1.201	1 - E.	-	-	1			18 4217	-	-	1.0600	+ 1					1403			
		146	235	377	436	454	443	405.	40ĕ	439	422	390	292	220	170	165	154	159	156	142	454	454	439	220	
																					454	454	439	220	

Footooleas)

										Jur	ne														
							V	Vaakend	Estimal	ed Peal	k-Hoter F	arking I	Jeimaise	1											
											_														
																					Overal Fx	AM Peak Hr	PM Peak Hr	Eve Peak Hi	
		A AM	7.68	SAM:	SAM.	拉湖建	11 At	12.236	1 P1/	285	3.941	-4 PM-	马用标。	法保险	7.8%	3 PM	9.951	初中新	11 P hil	12,4创	11.AM	11 AM	12 PM	基于财	Footrate
amily Restautant	95%	5	15	26	41	52	52	58.	493	38	23	26	- 35	- 41	41	38	17	16			52	52	58	38	1
Eniployee	100%	ŝ,	-8	10.	16	111	11	11		11	8		10	10	12	10	3	7	7.	4	11	51	31	10	Î
tatel-Basineta	100%	109	104	92	81	63	68	63	83	69	89-	76	81	- 55	86	92	. 98	108	115	115	59	69	63	92	1.0
Employee	100%	. 1	7	25	21	21	21	23	- 23.	23	23	21	17	14	13	13	13	10	321.	7.	. 23	23-	23	13	1
Othen 25 to 100 kst	100%	-	1.1	2	2	3	3	3	2	2	1	1	1		-						3	3	3		
Employee	103%	5 m 1	6	- 17	- 22.	25	.28	25	22	一位	11	臣	3	1	-	1.0			-	-	28	28	.25		-
	Customer	115	120	123	124	124	124	124	114	109	23	152	116	127	127	130	115	126	124	121	124	124	124	130	
TOTAL DEMAND	Employee	7	21	48	58	59	62	- 59	50	61	42	35	30	25	22	21	22	1 12	27	11	\$2	62	59	23	1
	Reserved	1. 1.		1. 1. 1.		1.1		1			1 1 2	. a. 1.		1		2 · · · ·		1. 14. 1				4			
		122	141	168	177	183	186	183	170	165	135	137	146	152	150	153	137	141	141	132	186	186	183	153	
																					186	185	183	155	î —



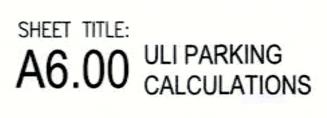
Weekend Comparison by Month and by Hour

	1				Weekda	4	-			Weekend	e			Weekday			Weekend	-
Land Use	Pro Quantity	ject Data Unit	Base Rate	Mode Adj	Non- Captive Ratio	Project Rate	Unit	Base Rate	Mode Adj	Non- Captive Ratio	Project Rate	Unit	Peak Hr Adi 10 AM	Peak Me Adj June	Estimated Parking Demand	Peak Hr Adj 11 AM	Peak Mo Adj June	Estimated Parking Demand
Family Restaurant Employee	4,815	si gla	9.00	1.00	1.00	9.00	/ks/ GLA		1.00	1.00	12.75	/ks/ GLA /ks/ GLA	0.85	0.95	35 7	0.90	0.95	52 11
Hotel-Business	128	rooms	1.09	1.00	1.00	1.00	(months	0.90	1.00	1.66	0.90	mamis	0.60	1.00	77	0.60	1.00	89
Employee			0.25	1.00	1.00	0.25	fooms	10.18	1.00	1,00	0.18	tooms	1.00	1,00	32	1.00	1.00	23
Office 25 to 100 kst Employee	87,385	6 GLA	0,25 3,21	1.00	1.00	0.28	ikst GLA ikst GLA		1.00	1.00	0.03	Ast GLA Ast GLA	1.00	1.00	23	1.00	1.00	3 28
													Emp Res	amer Ioyne srved stal	135 319 0 454	Emp Rese	onier Ioyee erved del	124 62 0 136

SHARED PARKING DEMAND SUMMARY

PREPARED BY: 225 Broadway NAME: Gensler Suite 100 San Diego, CA 92101 United States PHONE #: 619.557.2500 PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT



-

ATTACHMENT 10 Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States Tel 619.557.2500 Fax 619.557.2520 PROJECT NO.: 55.7604.000 COSTA AZUL CARMEL VALLEY San Diego, California NOT FOR CONSTRUCTION REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: REVISION 11: _____ REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: REVISION 5: REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28

SHEET 15 OF 30

DEP#

	ed Parking Ra	No. of Concession, Name of			
Spaces require	ed per unit lar	nd use			_
Land Use	We	ekday	We	ekend	Unit
	Visitor	Employee	Visitor	Employee	
Community Shopping Center (<400 ksf)	2.90	0.70	3.20	0.80	iksi GLA
Regional Shopping Center (400 to 600 ksf)	Linear 2.9	<x<3.2< td=""><td>L-</td><td></td><td>/ksf GLA</td></x<3.2<>	L-		/ksf GLA
Super Regional Shopping Center (>600 ksf)	3.20	0.80	3.50	0.90	/ksf GLA
Fine/Casual Dining Restaurant	15.25	2,75	17.00	3.90	/ksf GLA
Family Restaurant	9.00	1.50	12.75	2.25	/ksi GLA
Fast Food Restaurant	12.75	2.25	12.00	2.00	/ksf GLA
Nightelub	15.25	1.25	17.50	1.50	iks/ GLA
Cineplex	0.19	0.01	0.26	0.01	/seat
Performing Arts Theater	0,30	0.07	0.33	0.07	Iseal
Arena	0.27	0.03	0.30	0.03	/seat
Pro Football Stadium	0.30	0.01	0:30	0.01	/seat
Pro Baseball Stadium	0.31	0.01	0.34	0.01	/seat
Health Club	6.60	0.40	5.50	0.25	/ksf GLA
Convention Center	5.50	0.50	5.50	0.50	/ksf GLA
Hotel-Business	1.00	0.25	0.90	0.18	/room
Hotel-Leisure	0.90	0.25	1.00	0.18	/room
Restaurant/Lounge	10.00		10.00		/ksf GL/
Conference Ctr/Banquet (20 to 50 sq ft/guest room)	30.00		30.00		/ksf GLA
Convention Space (>50 so fl/guest room)	20.00		10.00		Ks GLA
Residential, Rental, Shared Spaces *	0.15	1.50	0.15	1.50	/unit
Residential, Owned, Shared Spaces *	0.15	1.7	0.15	1.7	/unit
Office <25 ksf	0.30	3.5	0.03	0.35	/unit
Office 25 to 100 ksf	Linear 0.3	<x<0.25< td=""><td></td><td></td><td>/ksf GLA</td></x<0.25<>			/ksf GLA
Office 100 to 500 ksf	Linear 0.2	5 <x<0.2< td=""><td></td><td></td><td>/ksf GLA</td></x<0.2<>			/ksf GLA
Office >500 ksf	0.20	2.60	0.02	0.26	/ksf GLA
Data Processing Office	0.25	5.75	0.03	0.58	ks! GLA
Medical/Dental Office	3.00	1.50	3.00	1.50	/ksf GLA
Bank (Branch) with Drive In	3.00	1.60	3.00	1.60	/ksf GLA

* 1.0 space reserved for residents' sole use; remainder may be shared.

kel = mousand square leat

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Prejected Parking Supply		_			-	the second s	Sustment				ave Ratio	
	-	_	Max Park	the local division in		kday		kend		1039y		kend
Land Use	Quantit	¥	Weekday	Weekovid	Daytime	Evening	Daytone	Evening	Daytime	Evening	Daytime	Evening
Corning Shapping Cardar (*400 ktf)		BLA	p.	D	100	KIOR	100%	320%	120%	450.02	105	100%
Employee			<u>0</u>	0	1925	100%	100%	100%	100%	100%	100%	100%
Regional Stropping Center (400 to 600 kph	603	GLA-	0	0	100%	100%	100%	100%	1005	100%	100%	103%
Employee			0	D	100%	100%	150%	100%	100%	129%	100%	100%
Soper Regional Shopping Confer (#600 kst)	af i	GLA :	0	0	100%	100%	\$00%	100%	\$009%	100%	1001	100%
Employee			8	D .	100%	100%	100%	\$20mm	100%	100%	100%	1005
Final Caskal Delling Restaurant	9 51 1	SLA .	R	ß	100%	102%	100%	100%	100%	100%	100%	100%
Employae		_	D:	Q;	100%	100%	100%	和印版	100%	100%	100%	103.27
Family Restaurant	4 11 15 14 1	A.Ie		1- 11	100%	100%	-100%	1005-	180*	100%	100%	340%
Employee	-			- 19 C	100%	100%	100%	100%	100%	100%	1005	1025
Fast Food Restaurant	<u>्रिक्ष</u> इ	34A.1	10	0	100%	100%	100%	100%	100%	100%	10055	.100%
Employee			D		100	1003	100%	100%	100%	400%	100%	100%
Vishtobb	\$13	GEA.	0	D	1807	100%	130%	100%	100%	100%	100%	1005
Exitational	317		0	D I	100%	100%	100%	100%	100%	100%	10036	100%
CirriedAex	605	915	0	0	200%	_100%_	100%	100%	100%	1605	100%	100%
FrapicyHe	2		0	0.	1005	1203	100%	1005	120%	100%	100%	100%
Performing Aris Theater	Sea	412	0	Q	100%	100%	100%	120%	100%	100%	1004	103%
Employee			0	6	100%	100%	100%	100%	100%	100%	160%	100%
Avistur	1943	ale -	0	0	100%	1450%	120%	1005	\$20%	100%	10035	100%
Employee			0	0	300%	100%	120%	100%	100%	100%	10055	10075
Pro Football Stedium	Seg	nts	0	0	1005	100%	100%	100%	100%	100%	1005+	160%
Engloyee			Q.	0. 1	100%	100%	100%	100%	100%	100%	10035	100%
Pro Basebali Stadium	663	sts -	6	0	1003-	1005	100%	100%	100%	180%	100%	100%
Eniphytee			0	0	100%	100%	100%	. 100%	120%	100%	100%	100%
tealtr Clue	51.4	GLA 1	6	0	100%	100%	100%	100%	100%	100%	100%	100%
Employae			0	0	100% I	100%	100%	100%	150%	100%	10036	100%
Consenitor Centar	518	SLA .	D	0	180%	100%	100%	1001	12012	1005	103%	100%
Employee			<u>Q</u>	0	100%	1202	100%	1203	100%	100%	108%	1603%
Hotel-Buisness	128 Pbg	and a	28	- 135	100%	120%	100%	100%	100%	100%	100%	100%
Histel-Lesiguage	C rois	intra.	0	0	150%	100%	100%	100%	100%	100%	100%	100%
Rasteurentillounge	i st (MA.	0	10	700%	1005	150%	100%	120%	100%	100%	100%
Conference Ctr.Banguer (20 to 50 sq forugat notim)		GA?	Û	10	100%	1305	100%	100%	100%	100%	100%	163%
Convertion Space (258 of Riguest toom)		GR.A.	0	0	120%	100%	1005	100%	100%	100%	10391	1005
Employee			- N.L	28.	100%	120%	100%	100%	120%	100%	103%	100%
Readembal, Rental Sharod Spaces.	Ott	55	0	10	tuow.	1001	100%	100%	100%	100%	160%	100%
Reserved		1005	D.	0	100%	120%	100%	1001	100%	100%	100%	10056
Read	trail		0	0	100%	130%	1005	100%	100%	190%	1005	100%
Residential Owned Shared Spaces	(en/	_	D	0	100%	100%	100%	100%	100%	100%	100%	100%
Reserved	1-95/	_	6	6	100%	100%	120%	100%	100%	100%	100%	100%
Guest	Lini	_	6	0	100%	100%	100%	1005	100%	100%	100%	103%
Official <25 kml		SLA I	D	0	100%	100%	100%	100%	100%	16035	100%	100%
Employue	-		0	- B:	100%	100%	120%	100%	120%	150%	1005	100%
Other 25 to 100 kst	1 117 1985 51 0	32.6	21	-	100%	120%	100%	1005	100%	100%	190%	100%
Employee		data .	240		100%	100%	100%	100%	100%	100%	100%	100%
Office 100 to 500 ksl	100	SLA.	D		1005	100%	100%	160%	1005	100%	100%	100%
Employie		20	D									
Dire NGO sst	20	3LA	D.	0	100%	100%	100%	100%	100%	100%	100%	100%
Employse	2.0	AA:	0	6	1005	1005	100%	100%	1021	1002%	100%	100%
Lass Processing Office	100	21.0	6							the state of the second se	100%	1035
Employae	197.5	ala.		1	100%	100%	100%	100%	100%	100%	100%	162%
Andicai/Dental Office	1	22.6	0	8	100	100%	120%	100%	100%	100%	100%	10035
Employee	37.6	IA:	. 0	Q	1005	100%	100%	100%	100%	100%	100%	100%
				6	100%	100%	180%	100%	100%	100%	160%	100%
Bank (Branch) with Drive In	8E.S.	JEA .	0	£-	100%	的地址	100%	100%	100%	100%	10039.1	100%
Employae		_	9	0	193015	1605	100%	120%	100%	1009%	460%	100%
Subtotal Castomer/Goest Spaces		_	184	179								
Sublictal Employee Resident Spaces			319	20.								
Subtral Reserved Sances			0	0.								
Talai Parking Spaces			673	241								

Community Shopping Center (<400 ksf)	2.9	0.7	3.2	0.8
Regional Shopping Center (400 to 600 ksf)	Linear 3.2<	x<2.9		
Super Regional Shopping Center (>600 ksf)	3.2	0.8	3.6	0.9
Fine/Casual Dining Restaurant	15.25	2.75	17	3
Family Restaurant	9	1.5	12.75	2.25
Fast Food Restaurant	12.75	2.25	12	2
Nightclub	15.25	1.25	17.5	1,5
Cinepiex	0.19	0.01	0.26	0.01
Performing Arts Theater	0.3	0.07	0.33	0.07
Arena	0.27	0.03	0.3	0.03
Pro Football Stadium	0.3	0.01	0.3	0.01
Pro Baseball Stadium	0.306	0.01	0.34	0.01
Health Club	6.6	0.4	5.5	0.25
Convention Center	5.5	0.5	5.5	0.5
Hotel-Business	1	0.253846	0.9	0.18
Hotel-Leisure	0.9	0.2475	1	0.18
Restaurant/Lounge	10		10	
Conference Ctr/Banquet (20 to 50 sq ft/guest room)	30		30	
Convention Space (>50 sq ft/guest room)	20		10	1
Residential, Rental, Shared Spaces *	0.15	1.5	0.15	1.5
Residential, Owned, Shared Spaces *	0.15	1.7	0.15	1.7
Office <25 kst	0.3	3.5	0.03	0.35
Office 25 to 100 ksf	Linear 0.3<	x<0.25		
Office 100 to 500 ksf	Linear 0.3<	x<0.2		
Office >500 ksf	0.2	2.6	0.02	0.26
Data Processing Office	0.25	5.75	0.03	0.58
Medical/Dental Office	3	1.5	3	1.5
Bank (Branch) with Drive-In	3	1.6	3	1.6

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			Monthly A	djustments	for Custo	mer/Visitor	Parking					-	
	115								-			-	
Imanios Contor	180	Feb	Mar	Apr	Mary	Jun	Jul	Aug	Seg	Oct	Nov	Dec	Late De
Shopping Center	56%	57%	54%	63	68%	67%	64%	69%	649	68%	72%	100%	80%
ast Food Restaurant	85%	26%	95%	92%	95%	95%	98%	99%	91%	96%	93%	100%	95%
	85%	86%	95%	92%	98%	95%	98%	99%	91%	96%	93%	100%	95%
lighteun	84%	86%	56%	30%	90%	91%	94%	98%	92%	584	98%	100%	-95%
Ineplex Weekdoys Ineplex Weekends	27%	21%	20%	19%	27%	41%	55%	40%	15%	15%	25%	23%	100%
Performing Arts Theater	75%	59%	87%	58%	71%	82%	92%	75%	51%	62%	78%	67%	100%
vena vena	90% 90%	90% 100%	90%	90%	90%	90%	90%	90%	90%	90%	90%	100%	100%
Yo Foolball Stadum	0%	0%	100%	100%	100%	75%	0%	8%	60%	65%	90%	95%	95%
to Baseball Stadium	0%	13%	5%	0%	6%	0%	0%	67%	0%	0%	.0%c	100%	100%
eaith Ciub	100%	1 1 2 2 2	10%e 85%	100%	100%	100%	100%	100%	100%	100%	0%	0%	0%
Convention Center		95% 100%		70%	65%	65%	65%	70%	80%	85%	85%	90%	-95%
totel-Business	75%	_	90%	55%	60%	50%	45%	75%	80%	85%	100%	60%	0%
otel-Leisare	71%	85%	91%	90%	92%	100%	98	22%	93%	93%	31%	67%	50%
Restautant/Lounge	朝竹	100%	100%	100%	90%	90%	100%	100%	75%	75%	75%	50%	100%
THE REAL PROPERTY AND ADDRESS OF THE PROPERTY AND ADDRESS OF THE PROPERTY ADDR	85%	86.5	85%	-92%	96%	95%	98%	<u>89 %</u>	9146	96%	93%	100%	95%
Conference Cir/Banquel (20 to 50 sq Mguest c	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Committee Canen in 50 and Biguine man		1100100	90%	55%	80%	50%	45%	75%	80%	85%	100%	60%	0%
	75%	Contraction of the local division of the loc		a statut	d anna	10000	18 10 10 10	A 1991 1991 1991	4 14 14 1	and an all shares	al Decharter	A 200 KB 200 KB 200	
esidantial	75% 100% 100%	100% 100%	100%	100% 100%	100%	100%	100% 95%	100% 95%	100%	100% 100%	100%	100%	100%
tesidantial	100% 100%	100% 100%	100% 100% Monthly Ad	100%	100% for Employ	100% eo/Resider	95% nt Parking	85%	100%	100%	100%	100%	80%
esidantial Iffice, Bank	100% 100% Jan	100% 100% Feb	100% 100% Monthly Ad	100% Justments t Apr	100% for Employ May	100% eo/Resider Jun	95% nt Parking	95% Aug	100 Sep	100% Oct	100% Nov	100% Dec	.80%
Residential Mice. Bank	100% 100% Jan 80%	100% 100% Feb 80%	100% 100% Monthly Ad Mar 80%	100% Justments Apr 80%	100% for Employ May 80%	100% ee/Resider Jun 80%	95% nt Parking Jul 80%	95% Aug 80%	100% Sep 80%	100% Oct 80%	100% Nov 90%	100% Dec 100%	80% Late De 90%
Residential Office, Bank Nopping Center Restaurants	100% 100% Jan 80% 95%	100% 100% Feb 80% 95%	100% 100% Monthly Ad Mar 80% 100%	100% Justments Apr 80% 100%	100% for Employ May 80% 100%	100% ee/Resider Jun 80% 100%	95% ht Parking Jul 80% 100%	95% Aug 80% 160%	100% Sep 80% 100%	100% Oct 80% 100%	100% Nov 90% 100%	100% Dec 100%	80% Late De 90% 100%
Residential Office, Bank Nopping Center Restaurants ast Food Restaurant	100% 100% Jan 80% 95%	100% 100% Feb 80% 95% 95%	100% 100% Monthly Ad Mar 80% 100% 100%	100%	100% for Employ May 60% 100%	100% ee/Resider Jun 80% 100%	95% t Parking Jul 80% 100%	95% Aug 80% 160%	Sep 80% 100%	0ct 80% 100%	100% Nov 90% 100%	Dec. 100% 100% 100%	80% Late De 90% 100%
Residential Mise, Bank Shopping Center Restaurants ast Food Restaurant Ightolub	100% 100% Jan 80% 95% 95%	100% 100% Feb 80% 95% 95%	100% 100% Monthly Ad Mar 80% 100% 100%	100%	100% for Employ May 60% 100% 100%	100% ee/Resider Jun 80% 100% 100%	95% It Parking Jul 80% 100% 100%	95% Aug 80% 100% 100%	Sep 80% 100% 100%	0ct 80% 100% 100%	Nov 90% 100% 100%	Dec 100% 100% 100%	80% Late De 90% 100% 100%
Residential Mice, Bank Ropping Center Restaurants ast Food Restaurant Reptolub Insplex Weekdays	100% 100% Jan 80% 95% 95% 90% 50%	100% 100% Feb 80% 95% 95% 95% 95%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 50%	100% Justments Apr 80% 100% 100% 100%	100% for Employ May 80% 100% 100% 100%	100% ee/Resider Jun 80% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 100% 75%	95% Aug 80% 160% 100% 75%	100% Sec 80% 100% 100% 50%	0ct 80% 100% 100% 50%	100% Nov 90% 100% 100% 50%	Dec 100% 100% 100% 100%	80% Late De 90% 100% 100% 100%
Residential Mise, Bank Ropping Center Restaurants ast Food Restaurant lightclub Insplex Weekdays Insplex Weekende	100% 100% Jan 80% 95% 95% 90% 50% 80%	100% 100% Feb 80% 95% 95% 95% 95% 95% 80%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 50% 80%	100% Justments Apr 80% 100% 100% 100% 50% 80%	100% for Employ May 80% 100% 100% 50% 80%	100% ee/Resider Jun 80% 100% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 75% 100%	95% Aug 80% 160% 100% 75% 90%	100% Sep 80% 100% 100% 50% 80%	100% Oct 80% 100% 100% 50% 80%	100% Nov 90% 100% 100% 50% 80%	100% Dec 100% 100% 100% 50% 80%	80% Late De 90% 100% 100% 100%
tesidantial Office, Bank Thopping Center Testaurants ast Food Restaurant Ightolub Thepiex Weekdays Displex Weekdays Chopiex Weekdays Content of the testaurant Content of testaurant C	100% 100% Jan 80% 95% 95% 95% 90% 50% 80% 100%	100% 100% Feb 80% 95% 95% 95% 95% 95% 95% 95% 90% 50% 50% 80%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 50% 80% 100%	100% Justments Apr 80% 100% 100% 100% 100%	100% for Employ May 80% 100% 100% 50% 80% 100%	100% ee/Resider Jun 80% 100% 100% 100% 100% 100%	95% t Parking Jul 80% 100% 100% 100% 100% 100%	95% Aug 80% 160% 100% 100% 75% 90% 100%	100% Sep 80% 100% 100% 50% 80%	100% Oct 80% 100% 100% 50% 80%	100% Nov 90% 100% 100% 50% 80% 100%	100% Dec 100% 100% 100% 100% 50% 80%	80% Late De 90% 100% 100% 100% 100%
tesidantial Office, Bank hopping Canter testaurants ast Food Restaurant lightclub Inspiex Weekdays Inspiex Weekdays Inspiex Weekdays Inspiex Weekdays Inspiex Weekdays Inspiex Weekdays	100% 100% Jan 80% 95% 95% 90% 50% 80% 100%	100% 100% Feb 80% 95% 95% 95% 95% 95% 95% 95% 95% 90% 100%	100% 100% Monthly Ad Mar 80% 100% 100% 50% 80% 100%	100% Justments 1 Apr 80% 100% 100% 100% 50% 80% 100%	100% for Employ May 60% 100% 100% 50% 80% 100%	100% ec/Resider Jun 80% 100% 100% 100% 100% 100% 100% 75%	95% It Parking Jul 80% 100% 100% 100% 100% 100%	95% Aug 80% 100% 100% 100% 75% 90% 100%	Sep 80% 100% 100% 100% 50% 80% 100% 75%	100% Oct 80% 100% 100% 50% 80% 100% 75%	Nov 90% 100% 100% 100% 50% 80% 100%	Dec 100% 100% 100% 100% 50% 80% 100%	80% Late De 90% 100% 100% 100% 100% 100%
Residential Mice, Bank Propping Center Restaurants ast Food Restaurant Replex Weekende Insplex Weekende Proforming Arts Theater Profile Profoliball Stockum	100% 100% Jan 80% 95% 95% 90% 50% 80% 100% 100%	100% 100% Feb 80% 95% 95% 95% 95% 95% 95% 95% 95% 95% 95	100% 100% Monthly Ad Mar 80% 100% 100% 100% 80% 100% 100%	100% justments 1 Apr 80% 100% 100% 50% 80% 100% 100% 100%	100% for Employ May 60% 100% 100% 50% 80% 100% 100%	100% ee/Resider Jun 80% 100% 100% 100% 100% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 100% 100% 100% 10%	95% Aug 80% 100% 100% 100% 100% 100%	100% Sep 80% 100% 100% 50% 80% 100% 100%	100% Oct 80% 100% 100% 50% 80% 100% 75% 10%	Nov 90% 100% 100% 100% 50% 80% 100% 100%	Dec 100% 100% 100% 100% 50% 80% 100% 100%	80% Late De 90% 100% 100% 100% 100% 100%
tesidantial Mise, Bank hopping Center testaurants ast Food Restaurant lightolub insplex Weekends terforming Arts Theater terforming Arts Theater tena to Football Stodium to Baseball Stodium	100% 100% Jan 80% 95% 90% 50% 80% 100% 100% 10%	100% 100% Feb 80% 95% 95% 90% 50% 50% 100% 100% 10%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 100% 100% 100% 100%	100% Justments 1 Apr 80% 100% 100% 50% 80% 100% 100% 100% 10%	100% for Employ May 80% 100% 100% 50% 100% 100% 100% 100%	100% ee/Resider Jun 80% 100% 100% 100% 100% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 100% 100% 100% 100% 10% 1	95% Aug 80% 100% 100% 100% 100% 100% 100%	100% Sep 80% 100% 100% 50% 80% 100% 100% 100%	100% Oct 80% 100% 100% 100% 50% 80% 100% 75% 10% 100%	100% Nov 90% 100% 100% 100% 50% 80% 100% 100% 10%	100% Dec 100% 100% 100% 50% 80% 100% 100% 100%	80% Late De 90% 100% 100% 100% 100% 100% 100% 100%
tesidantial Mise, Bank hopping Center testaurants ast Food Restaurant lightolub insplex Weekende insplex Weekende	100% 100% Jan 80% 95% 90% 50% 80% 100% 100% 100%	100% 100% Feb 80% 95% 95% 95% 95% 95% 95% 95% 95% 90% 100% 100% 100% 100%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 100% 100% 100% 100%	100% Apr 80% 100% 100% 100% 50% 80% 100% 100% 100% 10% 80%	100% for Employ May 80% 100% 100% 50% 100% 100% 100% 100% 10% 75%	100% ee/Resider Jun 80% 100% 100% 100% 100% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 100% 100% 10% 10% 10% 10% 75%	95% Aug 80% 160% 160% 160% 160% 100% 100% 100% 10	100% Sec 80% 100% 100% 50% 80% 100% 100% 100% 100%	100% Oct 80% 100% 100% 100% 50% 80% 100% 75% 10% 100% 95%	100% Nov 90% 100% 100% 50% 80% 100% 100% 100% 100%	100% Dec 100% 100% 100% 50% 80% 100% 100% 100% 100%	80% Late De 90% 100% 100% 100% 100% 100% 100% 100%
Convention Space (>50 sq Nguest room) Residential Mice, Bank Shopping Center Restaurants ast Food Restaurant Aghtolub Insplex Weekends Insplex	100% 100% Jan 80% 95% 95% 90% 50% 80% 100% 100% 100% 100% 65%	100% 100% Feb 80% 95% 95% 95% 95% 90% 50% 50% 50% 50% 100% 100% 100% 100%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 50% 80% 100% 100% 100% 100% 100%	100% Apr 80% 100% 100% 100% 50% 80% 100% 100% 100% 10% 80% 65%	100% for Employ May 80% 100% 100% 50% 50% 100% 100% 100% 100%	100% ee/Resider Jun 80% 100% 100% 100% 100% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 100% 100% 10% 10% 10	95% Aug 80% 160% 100% 100% 100% 100% 100% 100% 80% 85%	100% Sep 80% 100% 100% 50% 80% 100% 100% 100% 100% 90%	100% Oct 80% 100% 100% 50% 80% 100% 75% 10% 100% 95% 95%	100% Nov 90% 100% 100% 50% 80% 100% 100% 100% 100% 10% 10%	100% Dec 100% 100% 100% 50% 80% 100% 100% 100% 100% 100% 100% 70%	80% Late De 90% 100% 100% 100% 100% 100% 100% 100%
Residential Iffice, Bank Shopping Center Restaurants ast Food Restaurant Ightolub Insplex Weekende Performing Arts Theater Performing Arts Theater Performance Arts Theater Performance Arts Theater Performance Arts Theater Performance Arts Theater Performance Arts Theater Performance Arts Arts Arts Arts Arts Arts Arts Arts	100% 100% Jan 80% 95% 90% 50% 80% 100% 100% 100%	100% 100% Feb 80% 95% 95% 95% 95% 95% 95% 95% 95% 90% 100% 100% 100% 100%	100% 100% Monthly Ad Mar 80% 100% 100% 100% 100% 100% 100% 100%	100% Apr 80% 100% 100% 100% 50% 80% 100% 100% 100% 10% 80%	100% for Employ May 80% 100% 100% 50% 100% 100% 100% 100% 10% 75%	100% ee/Resider Jun 80% 100% 100% 100% 100% 100% 100% 100%	95% at Parking Jul 80% 100% 100% 100% 100% 10% 10% 10% 10% 75%	95% Aug 80% 160% 160% 160% 160% 100% 100% 100% 10	100% Sec 80% 100% 100% 50% 80% 100% 100% 100% 100%	100% Oct 80% 100% 100% 100% 50% 80% 100% 75% 10% 100% 95%	100% Nov 90% 100% 100% 50% 80% 100% 100% 100% 100%	100% Dec 100% 100% 100% 50% 80% 100% 100% 100% 100%	80% Late De 90% 100% 100% 100% 100% 100% 100% 100%

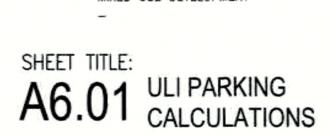
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85%	. 36	195%	92%	96%	\$5%	98%	Bally	9196	46	83%E	100%	10.00 A	
	1. W. M. P. P.			100000	232.00			W.1.10		W.W. 1 B.	TANK CK	95%	
84%	1735	98%	90%	90%	915	94%	009	32%	95%	96%	1004	95%	
27%	215	20%	一個版	275	45%	5532	40%	村田	15%	25%	235	100%	
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PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT

3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

PHONE #: 619.557.2500 PROJECT ADDRESS:

NAME: Gerister 225 Broadway Suite 100 United States

PREPARED BY:

- 25	- 1954	1016	100	975	- 66 S.	- P (h)	通行	主要の	70.00	30%	90%		361	C DOM	170%	1870	3876	1000
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345	- UPS	D'91	VS.	0.65		- 2615-	- 465	553	-53%		605.	382	60.		1250	1000	- 235	-1010
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a 4			1.8	154	- 942	- 学術		1 23	- 194	- 55	- 3%	一種芳	之 정말	1002	19446	1995	235	
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-166	2019	施力	- 40%	1005-	h07%	100%	100%	. leave	HID-S.	WA	105	455	12/16	3640	3674	000	105	. 55
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	465	193	- 18%	2009	36.62		28%	76%	7252	- 205	- 44%	相当	 15/126 	- 107U	MPF.	100%	- 675-	
12/5	1246	边石	\$17.6	2023	EST.	125	- 459	1000	- 20.5	1.154	- 10K	- 25	24	129	100	.32	100	85
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			1000	31500	12075	- 周辺	30%	15971	开始的	1076	- #154	- 254	- 57 h	356		- 1	1	
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PERMITABILITY OF AN ADDRESS OF A DOTE	NAME AND ADDRESS.			- July	C. Galine		- CO.B.	MDC V		1000		4	1000			ALC: NO	C. OTHERS	1. Anna		(
Convertion Report Pitters Marine	California			1.01		165%	1005-6	+602		1695	10088	1.0000	-10068	3066			1012			
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and the second second	C LINE C	0.6		- 250	100	PREDUC	100.0			444	3/15	675	- Dates	2 20.0		- 121	<u> </u>			
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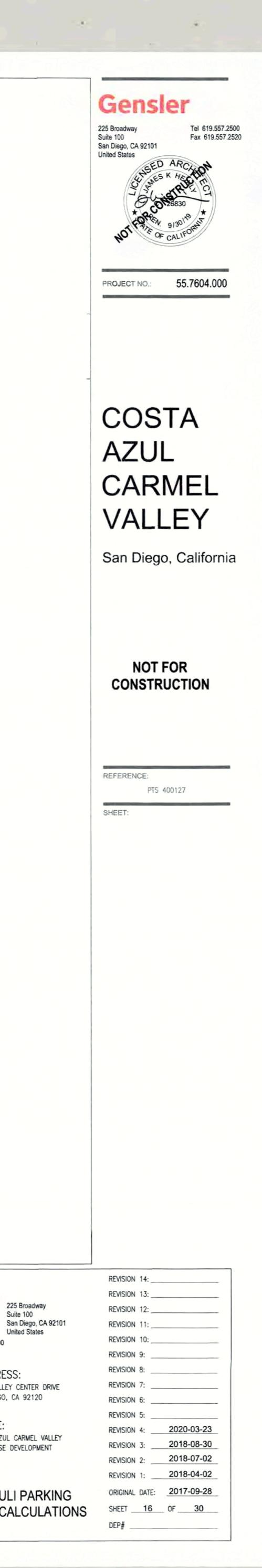
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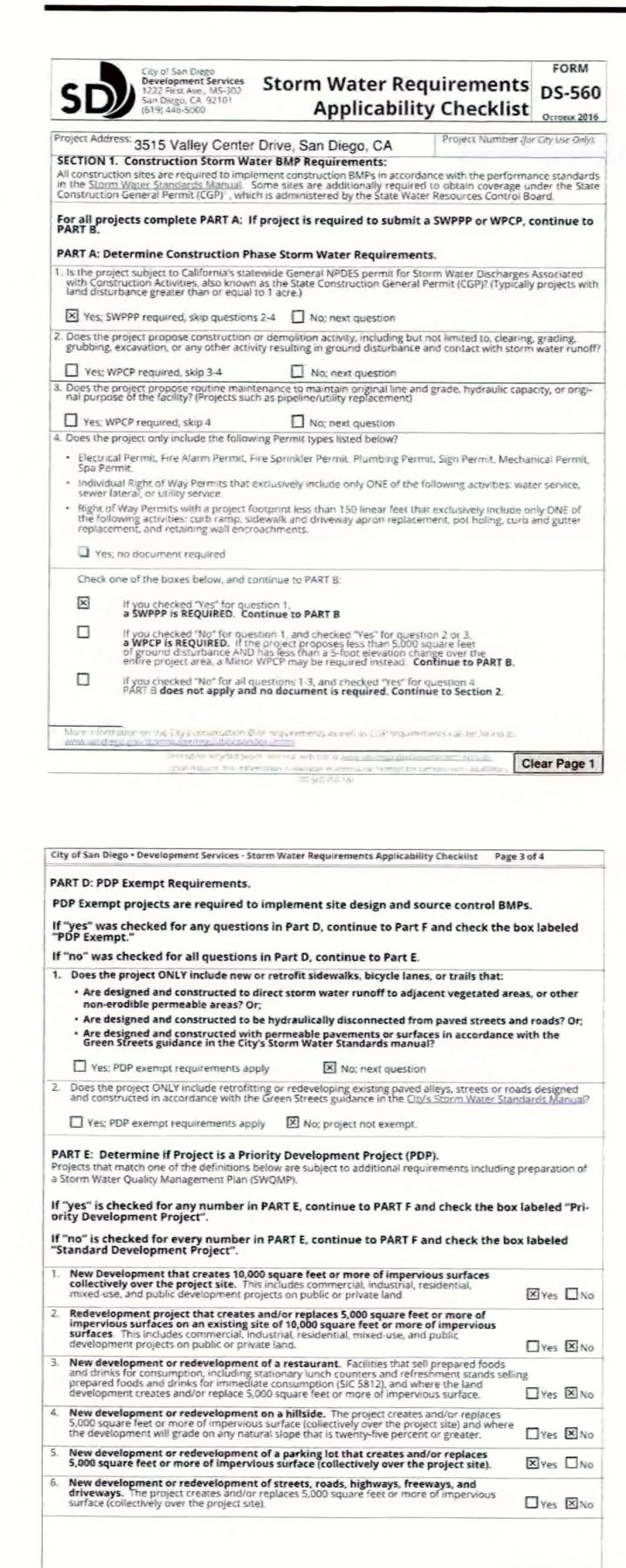
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ATTACHMENT 10

STORMWATER REQUIREMENTS



Clear Page 3

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist PART B: Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2 ASBS

- a. Projects located in the ASBS watershed.
- X **High Priority**
- a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
- Medium Priority a. Projects 1 acre or more but not subject to an ASBS or high priority designation. b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and
- not located in the ASBS watershed Low Priority
 - a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the Storm Water Standards Manual PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standard's Manual are not subject to Permanent Storm Water

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Perma-nent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

_			
+	Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?	Ves	× No
E.	Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?	Yes	× No
	Does the project fall under routine maintenance? Examples include, but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).	□Yes	× No

Clear Page 2

_		vices - Storm Water Requirements Applicability Che	ckiist		
7.	(collectively over project site), and discharges Area (ESA). "Discharging directly to" includes fi feet or less from the project to the ESA, or cor	eplaces 2,500 square feet of impervious surface	Ves	× No	
8.	New development or redevelopment proje create and/or replaces 5,000 square feet of project meets the following criteria: (a) 5,000 s Average Daily Traffic (ADT) of 100 or more vel	f impervious surface. The development square feet or more or (b) has a projected	Ves	× No	
9.	New development or redevelopment proje creates and/or replaces 5,000 square feet o projects categorized in any one of Standard in 5541, 7532-7534, or 7536-7539.	or more of impervious surfaces. Development	Yes	× No	
10.	post construction, such as fertilizers and pesti- less than 5,000 sf of impervious surface and w use of pesticides and fertilizers, such as slope the square footage of impervious surface nee	25 of land and is expected to generate pollutants kides. This does not include projects creating where added landscaping does not require regula stabilization using native plants. Calculation of d not include linear pathways that are for infrequ access or bloycle pedestrian use, if they are built		× NO	
PA		ased on the outcomes of PART C through F	PART E.	_	
	The project is NOT SUBJECT TO PERMANENT				
The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.					
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance.					
5	The project is a PRIORITY DEVELOPMENT PR structural pollutant control BMP requirement for guidance on determining if project require	is apply. See the Storm Water Standards Manual		X	
	rl Fiorica	Project Engineer			
Kar	ne of Owner or Agent (Please Print)	Title			
	dit =	03/28/2018			
Sig	nature	Date			
			Clear I	Page 4	

STORMWATER REQUIREMENTS

- 1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT & MUD DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. DAY, OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CON MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABAL MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT F ONTO THE STREET.
- 2 ALL STOCKPILES OF SOIL &/OR BUILDING MATERIALS THAT ARE INTENDED TO GREATER THAN 7 CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BM PLACE AT THE END OF EACH WORKING DAY WHEN 5 DAY RAIN PROBABILITY FOR
- 3 A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROP OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON
- 4 THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVIC AFTER EACH RUN-OFF PRODUCING RAINFALL AOR AFTER ANY MATERIAL BREA
- 5 ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- 6 THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

ENERGY EFFICIENCY STANDARDS

- 2016 CALIFORNIA ENERGY CODE TITLE 24 PART 6 1 ANY FENESTRATION PRODUCT OR EXTERIOR DOOR, OTHER THAN FIELD-FA
- PRODUCTS, SHALL BE CERTIFIED AND LABELED TO MEET THE FOLLOWING F PER E.E.S. SEC 110.6; AIR LEAKAGE: < 0.3 CFM/SF
- 'U' FACTOR: NFRC 100 OR PER TABLE 110.6-A (E.E.S.) SHGC: NFRC 200 OR PER TABLE 110.6-8 (E.E.S.)
- VISIBLE LIGHT TRANSMITTANCE (VT) PER NFRC 200 OR ASTM E972
- FIELD FABRICATED FENESTRATION AND EXTERIOR DOORS SHALL COMPLY FROM TABLE 110.6-A (E.E.S.) AND SHGC VALUES FROM TABLE 110.6-B (E.E.S.) CAULKED BETWEEN THE PRODUCT AND THE BUILDING AND SHALL BE WEAT (EXCEPT UNFRAMED GLASS DOORS AND FIRE DOORS).
- 3 JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTH OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION (SEC 110.7 E.E.S.)
- INSULATION PRODUCTS SHALL MEET THE CERTIFICATION REQUIREMENTS 110.8 AND THE FLAME SPREAD RATING OF THE CBC. WHERE ROOF IS INSU VENTS OR OPENINGS TO THE OUTDOORS OR TO UNCONDITIONED SPACES INSTALLED. THE OPAQUE PORTIONS OF FRAMED DEMISING WALLS SHALL FOLLOWS: WOOD FRAMED WALLS - U-FACTOR NOT LESS THAN 0.099, METAL U-FACTOR NOT GREATER THAN 0.151 (SEC 120.7(b)7)
- 5 ROOFING PRODUCTS SHALL MEET THE SOLAR RELFECTANCE AND TERMAL REQUIREMENTS OF E.E.S. SEC 110.8(i)

CALGREEN NOTES

2016 CALIFORNIA GREEN BUILDING STANDARDS - TITLE 24 PART 11

THE NON-RESIDENTIAL REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE A NON-RESIDENTIAL CONSTRUCTION INCLUDING HIGH RISE BUILDINGS, ADDITIONS OF GREATER, AND/OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF \$200,000 O RESIDENTIAL BUILDING INCLUDES ALL OCCUPANCIES THAT ARE WITHIN THE AUTHORI

- BUILDING STANDARD COMMISSION. 1 STORM WATER POLLUTION CONTROL PREVENTION: COMPLY WITH LOCAL STORM MANAGEMENT AND EROSION CONTROL ORDINANCES. SAN DIEGO MUNICIPAL CI ARTICLE 3, DIVISION 3.
- 2 LIGHT POLLUTION REDUCTION: COMPLY WITH LOCAL LIGHT POLLUTION CONTROL DIEGO MUNICIPAL CODE 142.0740. 3 PLUMBING FIXTURES SHALL MEET THE MAXIMUM FLOW RATE VALUES SHOWN IN
- BUILDING CODE TABLE 5.503.3. 4 WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK TYPE TO CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPEC
- 5 URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. 6 SINGLE SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAT MINUTE AT 80 PSI.
- 7 WHERE THERE ARE MULTIPLE SHOWER HEADS SERVING ONE SHOWER AND CON VALVE, THE COMBINED FLOW RATE OF ALL SHOWERHEADS SHALL NOT EXCEED 3
- MINUTE AT 80 PSI. 8 CONSTRUCTION WASTE MANAGEMENT SHALL COMPLY WITH LOCAL ORDINANCES MUNICIPAL CODE, CHAPTER 6, ARTICLE 6.
- 9 PROVIDE READILY ACCESSIBLE RECYCLING AREAS FOR BUILDING OCCUPANTS P ORDINANCE. SAN DIEGO MUNICIPAL CODE, CHAPTER 6, ARTICLE 6 AND CHAPTER DIVISION 8.
- 10 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT CONSTRUCTION: AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HVAC EQUIPMENT, ALL DUCT AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLAS OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AM WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- 11 ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEAL CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OF MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC CAL GREEN TABLES 5:504.4.1 AND 5:504.4.2. SUCH PRODUCTS ALSO SHALL COMPL PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHOLORFORM, ETH)
- METHYLLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE). 12 AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT (COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH ! POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF
- COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING W 13 ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TAB ARCHITECTURAL COATINS SUGGESTED CONTROL MEASURE, AS SHOWN IN CAL UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN T BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFL COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.3 CALIFORNIA AIR RESOURCE BOARD SUGGESTED CONTROL MEASURE, AND THE FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3, SHALL A
- 14 AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMIR LIMITS FOR ROC IN SE OTHER REQUIRMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC CO DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CO TITLE 17, COMMENCING WITH SECTION 94520.
- 15 ALL CARPET INSTALLED IN BUILDING INTERIORS SHALL MEET AT LEAST ONE OF 1 REQUIREMENTS: (A) CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM

(B) COMPLIANT W/ THE VOC EMISSION LIMITS AND TESTING REQUIREMENTS SPE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TES OF VOLATILE ORGANIC CHEMICAL EMISSIONS FOR INDOOR SOURCES USING ENV CHAMBERS VERSION 1.1 FEBRUARY 2010

- (C) NSF/ANSI 140 AT THE GOLD LEVEL OR HIGHER (D) SCIENTIFIC CERTIFICATIONS SYSTEM SUSTAINABLE CHOICE
- (E) COMPLIANT W/ CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHO CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHP
- PERFORMANCE PRODUCT DATABASE 16 ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE RI
- CARPET AND RUG INSTITUTES'S GREEN LABEL PROGRAM. 17 HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD C PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET FOR FORMALDEHYDE AS SPECIFIED IN THE ARB'S AIR TOXICS CONTROL MEASUR COMPOSITE WOOD (17 CCR 93120 ET SEQ.) THOSE MATERIALS NOT EXEMPTED U MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN CAL GREEN TABLE 5
- 18 RESILIENT FLOORING SYSTEMS: FOR 80 PERCENT OF FLOOR AREA RECEIVING F INSTALLED RESILIENT FLOORING SHALL MEET ONE OF THE FOLLOWING: (A) CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR (B) COMPLIANT WITH THE VOC EMISSION LIMITS AND TESTING REQUIREMENTS SI CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S 2010 STANDARD METHOD FOR T EVALUATION CHAMBERS, VERSION 1.1 DATED FEBRUARY 2010 (C) COMPLIANT WITH THE CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANC CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHP
- PERFORMANCE PRODUCT DATABASE (D) COMPLIANT WITH CDPH CRITERIA AS CERTIFIED UNDER THE GREENGUARD CH SCHOOLS PROGRAM
- 19 ACOUSTICAL CONTROL: EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E 1332. USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN CAL GREEN SECTION 5.507.4.1 OR 5.507.4.2.
- 20 INTERIOR SOUND TRANSMISSION: WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC SPACES SHALL HAVE AN STC OF AT LEAST 40.
- 21 NEW INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION SYSTEMS SHALL NOT CONTAIN CHOLORFLUOROCARBONS (CFCs) OR HALONS.
- 22 IN THE CITY OF SAN DIEGO, A LETTER FROM THE CONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIALS IN NOTE #11 AND PAINTS IN NOTE #13 HAVE BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.

	FIF	RE DEPARTMENT NOTES
D ON ADJACENT STREET(S), /, AT THE END OF EACH WORK ISTRUCTION BMP'S WHICH	2016 1	5 CALIFORNIA FIRE CODE - TITLE 24 PART 9; SAN DIEGO MUNICIPAL ORDINANCES CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH CURRENT CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF
LIZED CONSTRUCTION EXIT FROM TRACKING MUD OR SILT	2	COMPLIANCE WITH THIS CODE (CFC 105.4.4) FIRE HYDRANTS SHALL COMPLY WITH FIRE AND LIFE SAFETY POLICY FS-0410 FOR ON-SITE FIRE
D BE LEFT FOR A PERIOD	3	HYDRANTS. FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE MARKERS, PER
MP DEVICES SHALL BE IN FORECAST EXCEEDS 40%.	4	SD STANDARD DRAING SDW-104 FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED
POSE THE CONSTRUCTION I SITE. CES TO WORKING ORDER	5	AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 503,507 ANYTIME A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF
ACH IN EFFECTIVENESS.	6	NOT LESS THAN 1 FC AT THE FLOOR LEVEL. COMPLETE PLANS AND SPECIFICATIONS FOR THE OPERATION OF ELEVATORS SHALL BE SUBMITTED TO EVER AND LIFE SAFETY FOR REVIEW AND ADDROVAL PRIOR TO INSTALLATION.
PROTECTED AGAINST ANY	7	FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. BOLLARDS SHALL COMPLY WITH SAN DIEGO REGIONAL STANDARD DRAWING M-16. DEMOUNTABLE POSTED
	8	IF BOLLARDS ARE TO BE LOCKED EITHER A KNOX PAD LOCK OR A NON-CASE HARDENED, BREAKAWAY LOCK (CAPABLE OF BEING CUT WITH FIRE DEPARTMENT BOLT CUTTERS) SHALL BE PROVIDED.
	9 10	BOLLARDS SHALL WEIGH NO MORE THAN 25 POUNDS EACH. ACCESS ONTO FIRE LANE OVER HARDSCAPE AREAS ADJACENT TO BUILDING ADA ENTRANCE SHALL BE
	11	EITHER A ROLLED CURB OR A CURB CUT SATISFACTORY TO THE FIRE MARSHAL. STRUCTURAL PAVEMENT REQUIREMENTS SHALL MEET A MINIMUM TRAFFIC INDEX (TI) OF 6 AND 8.5 (IN AREAS WHERE EMERGENCY VEHICLES WILL POTENTIALLY BE POSITIONED DURING EMERGENCY
BRICATED	13	OPERATIONS_PER SAN DIEGO STANDARD SCHEDULE "J" (SDG-113) . LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND
REQUIREMENTS		CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
WITH U-FACTORS) & SHALL BE	14	DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC 3315.1
HERSTRIPPED	15	BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC
INTIAL SOURCES DTHERWISE	16	CHAPTER 35. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION
OF E.E.S. SEC ATED, FIXED SHALL NOT BE		THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND BUILDING ADDRESS CANNOT BE VIEW FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO THE SAN DIEGO FIRE DEPARTMENT POLICY FHPS P-00-6.
E INSULATED AS FRAMED WALLS -	17	WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE
EMITTANCE		CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL
	18	WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO. KEY BOXES SHALL BE PROVIDED FOR ALL (HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE
		PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER) STRUCTURES OR AREAS WHERE ACCESS TO AN AREA IS RESTRICTED.
	19	DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA
APPLIES TO ALL NEW		STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE NON- OR LIMITED COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3.
1,000 SQUARE FEET OR R ABOVE. NON- ITY OF THE CALIFORNIA	20	EXITS, EXIT SIGNS, FIRE ALARMS PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE
/ WATER	21	MATERIAL. OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY
DDE, CHAPTER 4,	22	PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE
CALIFORNIA GREEN	23	IS PERMITTED IN ANY EGRESS PATHS. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND
LETS SHALL BE		RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CFC 901.2
CIFICATION.	24 25	FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC 903.3. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATERFLOW
IN 2.0 GALLONS PER		SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRONICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS SERVED IS 20 OR MORE. CBC 903.4.
ITROLLED BY A SINGLE 2.0 GALLONS PER	26	ONE APPROVED AUDIBLE DEVICE MUST BE CONNECTED TO EVERY AUTOMATIC SPRINKLER SYSTEM IN AN APPROVED LOCATION ON THE EXTERIOR OF THE STRUCTURE, CBC 903.4.2.
S. SAN DIEGO	27	AUTOMATIC FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, WITH THE EXCEPTION OF THOSE LISTED IN CBC 903.4 SHALL BE MONITORED BY A UL LISTED CENTRAL ALARM STATION. AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE
PER LOCAL R 14, ARTICLE 2,		STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION. ALTERATIONS OR ADDITIONS TO THE FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DONE IN COMPLIANCE WITH NFPA 13, NFPA 72, AND THE CBC. COMMON USE AREAS ARE DEFINED TO INCLUDE BREAK ROOMS, CONFERENCE ROOMS, OPEN AREAS, CORRIDORS, HALLWAYS AND
DURING ON THE TAND OTHER RELATED		LOBBIES. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTIONS.
STIC, SHEET METAL OR MOUNT OF DUST,	28	COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO DEVELOPMENT SERVICES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CFC 907.1.1.
LANT PRIMERS AND R AIR QUALITY C LIMITS AS SHOWN IN	29	FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK. EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE
LY WITH RULE 1168 YLENE DICHLORIDE,	30	HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE IN BUILDINGS FOUR OR MORE STORIES IN HEIGHT, STANDPIPES SHALL BE PROVIDED DURING CONSTRUCTION WHEN THE RECORD FOR AD FEET ABOVE THE LOWEST FOR DEPARTMENT.
OR CAULKING AORE THAN ONE WITH STATEWIDE VOC		CONSTRUCTION WHEN THE HEIGHT REACHES 40 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS: A FIRE DEPARTMENT CONNECTION SHALL BE NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS. CFC 3310, 3313
CERTAIN TOXIC VITH SECTION 94507.	31	WHERE APPLICABLE, AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED TO PROTECT COMMERCIAL-TYPE FOOD HEATING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS AND SHALL
BLE 1 OF THE ARB GREEN TABLE 5.504.4.3,		COMPLY WITH 2013 CFC, CMC AND NFPA 17A. REVIEW AND APPROVAL OF A HOOD DUCT EXTINGUISHING SYSTEM IS REQUIRED PRIOR TO INSTALLATION OR USE OF COOKING EQUIPMENT.
COATING THAT DO NOT TABLE5.504,4.3 SHALL	32	PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR, COMMECT EXIT SIGNS TO EMERCENCY, DOWER CIRCUITS, COMPLY WITH BUILDING CODES
AT-HIGH GLOSS 7 OF THE 2007 CORRESPONDING	33	INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS, COMPLY WITH BUILDING CODES. PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL, COMPLY WITH BUILDING CODES.
ECTION 94522(A)(3) AND	34	MAINTAIN AISLES AT LEAST 44' WIDE AT PUBLIC AREAS.
MPOUNDS AND OZONE DE OF REGULATIONS,	35 36	STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS. BUILDINGS UNDER GOING CONSTRUCTION, ALTERATIONS, OR DEMOLITION SHALL CONFIRM TO CFC CHAPTER 14. WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC
THE FOLLOWING	37	CHAPTER 26. COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN BUILDINGS. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT OF
CIFIED IN THE TING AND EVALUATION IRONMENTAL	25	WORK. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL NOT BE DISPOSED OF BY BURNING ON SITE UNLESS APPROVED.
	38 39	THE OWNER SHALL DESIGNATE A PERSON TO BE THE FIRE PREVENTION PROGRAM INTERNAL COMBUSTION POWERED CONSTRUCTION EQUIPMENT SHALL BE USED IN ACCORDANCE WITH ALL OF THE FOLLOWING CONDITIONS:
OLS (CA-CHPS) S HIGH		 (A) EQUIPMENT SHALL BE LOCATED SO THAT EXHAUSTS DO NOT DISCHARGE (B) EXHAUSTS SHALL BE PIPED TO THE OUTSIDE OF THE BUILDING (C) EQUIPMENT SHALL NOT BE REFUELED WHILE IN OPERATION
EQUIREMENTS OF THE		(D) FUEL FOR EQUIPMENT SHALL BE STORED IN AN APPROVED AREA OUTSIDE OF THE BUILDING
OMPOSITE WOOD THE REQUIREMENTS (ACTM) FOR	DE	FIBRILLATORS (AED'S)
NDER THE ACTM 504.4.5. ESILIENT FLOORING,		PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR APPROVAL OF FINAL INSPECTION, AEDS
SCORE PROGRAM	0	SHALL BE PLACED IN ALL NEWLY CONSTRUCTED BUILDINGS IN THE OCCUPANCY GROUPS AND WITH DCCUPANT LOADS IN EXCESS OF THAT SHOWN IN TABLE 145-3910. THE OCCUPANT LOAD SHALL BE DETERMINED BASED ON THE OCCUPANT LOAD FACTORS IN THE CALIFORNIA BUILDING CODE.
PECIFIED IN THE HE TESTING AND	2 A	ACCUPANCY GROUPS SHALL BE DETERMINED BASED ON CHAPTER 3 OF THE CALIFORNIA BUILDING CODE.
E SCHOOLS (CA-CHPS) PS HIGH	A F	AED'S SHALL BE MOUNTED SUCH THAT THE TOP OF THE AED IS NO MORE THAN FIVE (5) FEET ABOVE FLOOR LEVEL.
HILDREN'S AND	A	WHEN REQUIRED PURSUANT TO THIS DIVISION, AEDS SHALL BE LOCATED IN BUILDINGS TO OPTIMALLY ACHIEVE A THREE MINUTE RESPONSE TIME TO THE PERSON IN NEED OF EMERGENCY CARE USING THE AED.
SOUND E 90 AND ASTM E 413	4 V A	WHEN REQUIRED ON EVERY FLOOR OF A BUILDING PURSUANT TO SECTION 145.3910 AND TABLE 145-3910, VEDS SHALL BE LOCATED AS FOLLOWS: (1) ONE AED SHALL BE PLACED AT THE MAIN ENTRANCE OF EVERY
CORDANCE WITH ASTM		LOOR; (2) AEDS SHALL BE LOCATED ON EACH FLOOR SUCH THAT THE MAXIMUM LENGTH OF TRAVEL

-3910, FLOOR; (2) AEDS SHALL BE LOCATED ON EACH FLOOR SUCH THAT THE MAXIMUM LENGTH OF TRAVEL MEASURED FROM THE MOST REMOTE POINT ON A FLOOR TO ANY AED, SHALL NOT EXCEED 300 FEET; AND (3) AEDS SHALL BE LOCATED ON EACH FLOOR SUCH THAT THE MAXIMUM LENGTH OF TRAVEL BETWEEN ANY TWO AEDS SHALL NOT EXCEED 600 FEET. WHEN NOT REQUIRED ON EVERY FLOOR OF A BUILDING PURSUANT TO SECTION 145.3910 AND TABLE

145-3910, AEDS SHALL BE LOCATED AS FOLLOWS: (1) ONE AED SHALL BE PLACED AT THE MAIN ENTRANCE OF EVERY FLOOR REQUIRED TO HAVE ONE OR MORE AEDS; AND (2) AEDS SHALL BE LOCATED SUCH THAT THE MAXIMUM LENGTH OF VERTICAL TRAVEL BETWEEN ANY TWO AEDS ON ANY TWO FLOORS WITH AN AED SHALL NOT EXCEED 450 FEET.

PREPARED BY: 225 Broadway NAME: Gensler Suite 100 San Diego, CA 92101 United States PHONE #: 619.557.2500

PROJECT ADDRESS:

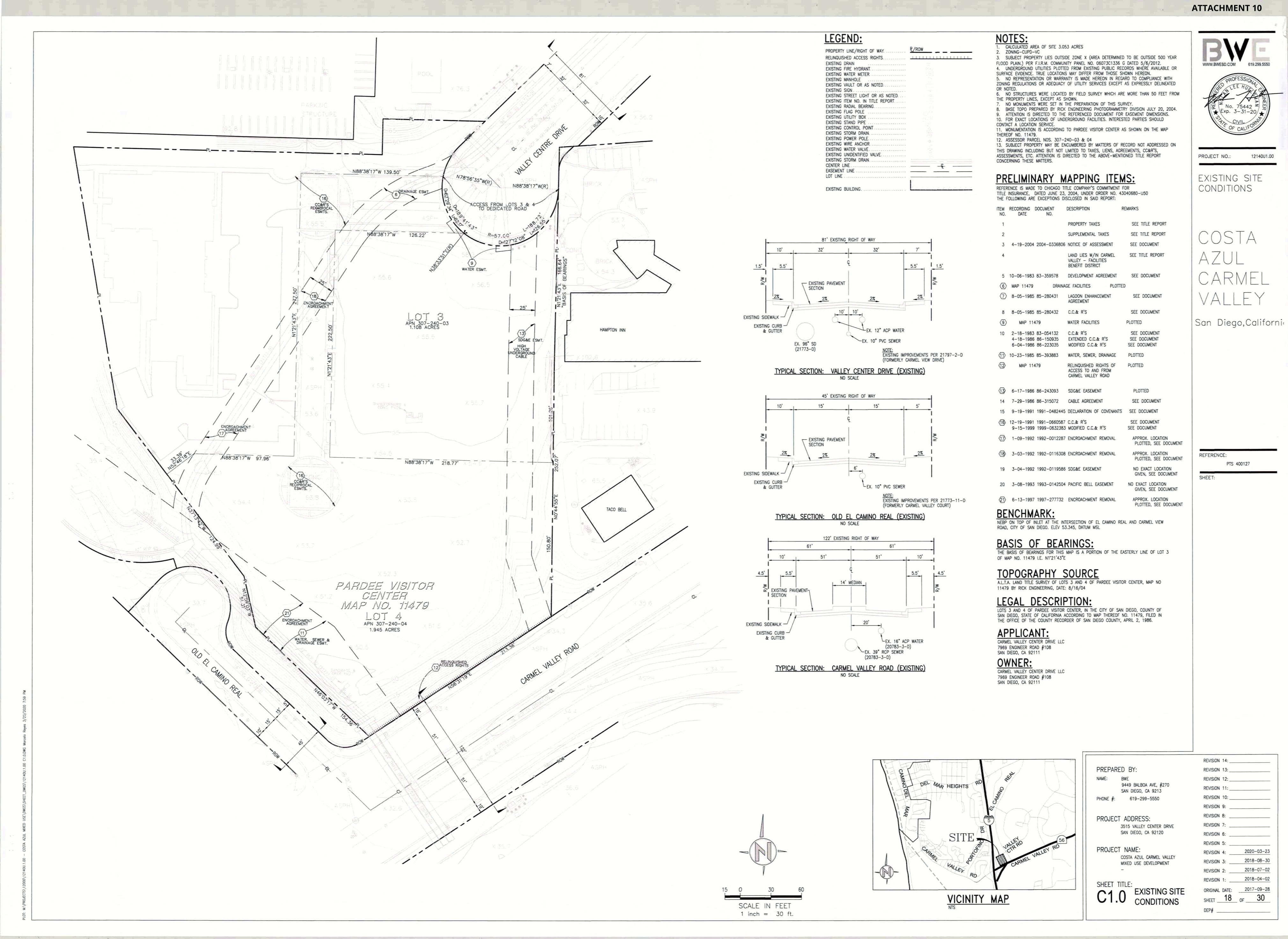
3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

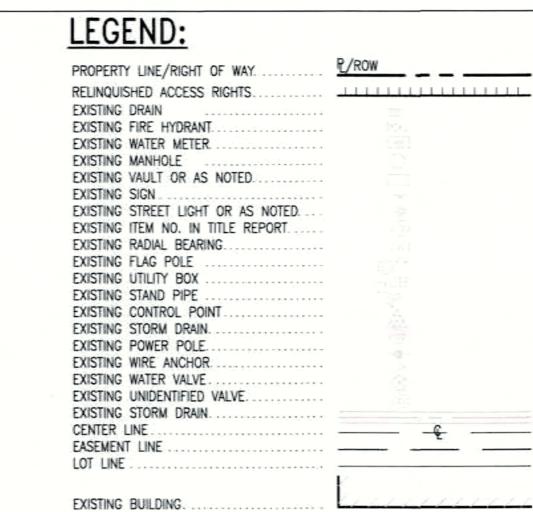
PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT



ΑΤΤΑΟ	CHMENT 10
Contemporation Contemporatio Contemporation Contemporation Contemporation Contemp	Tel 619.557.2500 Fax 619.557.2520
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PROJECT NO.	55.7604.000
AZU CAF VAL	STA JL RMEL LEY
	T FOR TRUCTION
REFERENCE: P SHEET:	PTS 400127
REVISION 14: REVISION 13:	
REVISION 8:	
REVISION 6:	
REVISION 4:	2020-03-23
REVISION 2:	2018-08-30 2018-07-02
REVISION 1:	2018-04-02

A6.02 GENERAL NOTES ORIGINAL DATE: 2017-09-28 SHEET 17 OF 30 DEP#

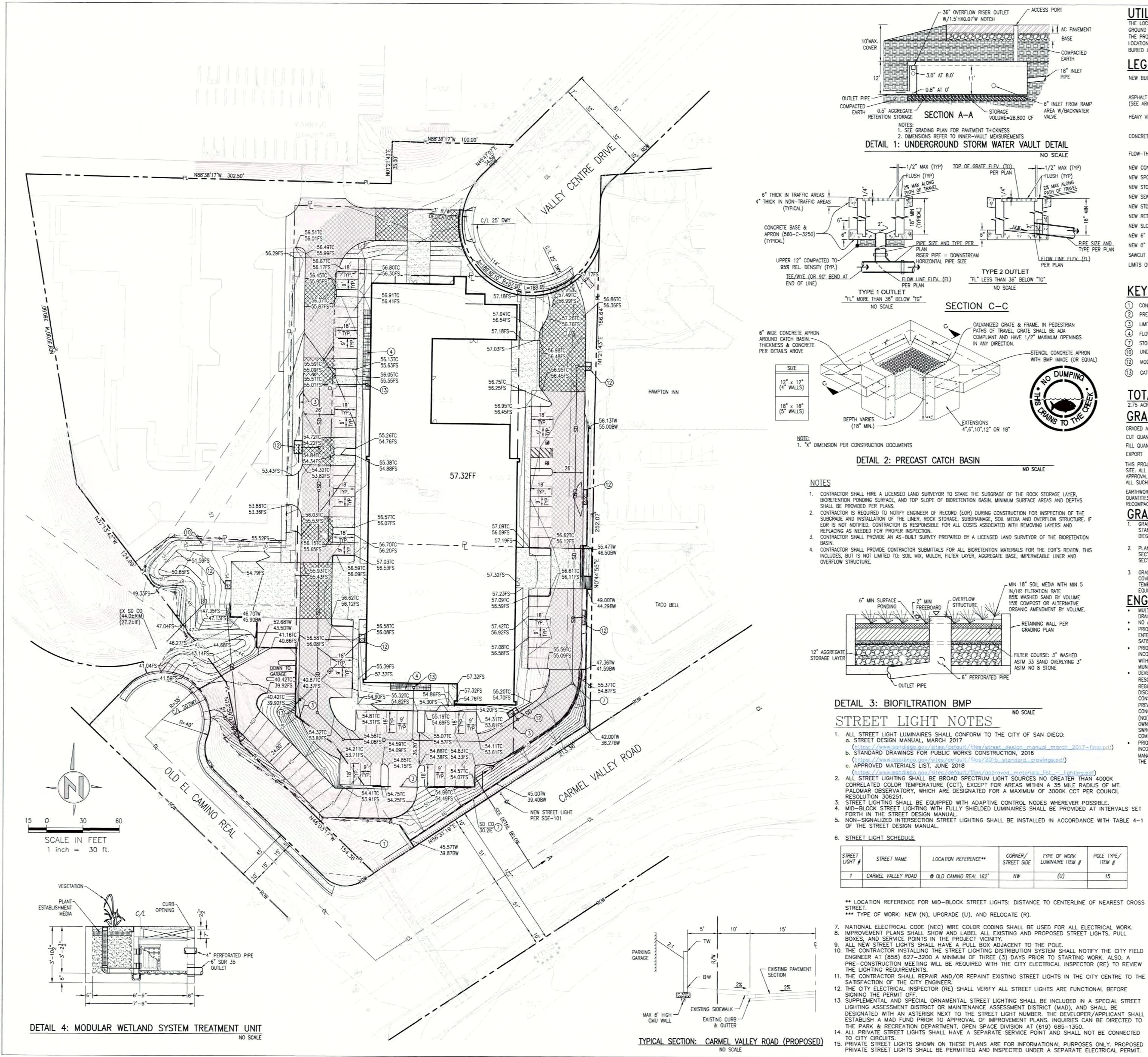




NOTES:
1. CALCULATED AREA OF SITE 3.053 ACRES
2. ZONING-CUPD-VC
3. SUBJECT PROPERTY LIES OUTSIDE ZONE X (AREA DETERMINED TO BE
FLOOD PLAIN.) PER F.I.R.M. COMMUNITY PANEL NO. 06073C1336 G DATED
4. UNDERGROUND UTILITIES PLOTTED FROM EXISTING PUBLIC RECORDS WI
SURFACE EVIDENCE. TRUE LOCATIONS MAY DIFFER FROM THOSE SHOWN HE
5. NO REPRESENTATION OR WARRANTY IS MADE HEREON IN REGARD TO (
ZONING REGULATIONS OR ADEQUACY OF UTILITY SERVICES EXCEPT AS EXPE
OR NOTED.
6. NO STRUCTURES WERE LOCATED BY FIELD SURVEY WHICH ARE MORE
THE PROPERTY LINES, EXCEPT AS SHOWN.
7. NO MONUMENTS WERE SET IN THE PREPARATION OF THIS SURVEY.
8. BASE TOPO PREPARED BY RICK ENGINEERING PHOTOGRAMMETRY DIVISI
9. ATTENTION IS DIRECTED TO THE REFERENCED DOCUMENT FOR EASEMEI
10. FOR EXACT LOCATIONS OF UNDERGROUND FACILITIES. INTERESTED PAR
CONTACT A LOCATION SERVICE.
11. MONUMENTATION IS ACCORDING TO PARDEE VISITOR CENTER AS SHOWN
THEREOF NO. 11479.
12. ASSESSOR PARCEL NOS. 307-240-03 & 04
13. SUBJECT PROPERTY MAY BE ENCUMBERED BY MATTERS OF RECORD N
THIS DRAWING INCLUDING BUT NOT LIMITED TO TAXES LIENS AGREEMENTS

THE F	OLLOWING ARE	EXCEPTIONS DIS	SCLOSED IN SAID REPORT:	
ITEM NO.	RECORDING DATE	DOCUMENT NO.	DESCRIPTION	REMARKS
1			PROPERTY TAXES	SE
2			SUPPLEMENTAL TAXES	SEE
3	4-19-2004	2004-0336806	NOTICE OF ASSESSMENT	SEE
4			LAND LIES W/IN CARMEL VALLEY - FACILITIES BENEFIT DISTRICT	SEE
5	10-06-1983	83-359578	DEVELOPMENT AGREEMENT	SEE
6	MAP 11479	DRAINAG	GE FACILITIES PLOT	TED
			LAGOON ENHANCEMENT AGREEMENT	
8	8-05-1985	85-280432	C.C.& R'S	SEE
9	MAP 114	479	WATER FACILITIES	PLOTT
10	4-18-1986		C.C.& R'S EXTENDED C.C.& R'S MODIFIED C.C.& R'S	
1	10-23-1985	85-393883	WATER, SEWER, DRAINAGE	PLOT
12	MAP 114	479	RELINQUISHED RIGHTS OF ACCESS TO AND FROM CARMEL VALLEY ROAD	PLOT
13	6-17-1986	86-243093	SDG&E EASEMENT	PL
14	7-29-1986	86-315072	CABLE AGREEMENT	SE
15	9-19-1991	1991-0482445	DECLARATION OF COVENANT	IS SEE
(16)		1991-0660587 1999-0632383	C.C.& R'S MODIFIED C.C.& R'S	SEE SEE
17	1-09-1992	1992-0012287	ENCROACHMENT REMOVAL	AP P
18	3-03-1992	1992-0116308	ENCROACHMENT REMOVAL	AP
19	3-04-1992	1992-0119586	SDG&E EASEMENT	NC G
20	3-08-1993	1993-0142504	PACIFIC BELL EASEMENT	NO E G
2	6-13-1997	1997-277732	ENCROACHMENT REMOVAL	AP

	REVISION 14:
	REVISION 13:
	REVISION 12:
LBOA AVE, #270 30, CA 9213	REVISION 11:
-299-5550	REVISION 10:
	REVISION 9:
ESS:	REVISION 8:
LLEY CENTER DRIVE	REVISION 7:
GO, CA 92120	REVISION 6:
	REVISION 5:
	REVISION 4: 2020-03-23
ZUL CARMEL VALLEY SE DEVELOPMENT	REVISION 3: 2018-08-30
	REVISION 2: 2018-07-02
	REVISION 1: 2018-04-02
XISTING SITE	ORIGINAL DATE: 2017-09-28
CONDITIONS	SHEET 18 OF 30
	DFP#



STREET NAME	LOCATION REFERENCE**	CORNER/ STREET SIDE	TYPE OF WORK LUMINAIRE ITEM #	POLE TYPE/ ITEM #	
RMEL VALLEY ROAD	@ OLD CAMINO REAL 162'	NW	(U)	15	
		1			

** LOCATION REFERENCE FOR MID-BLOCK STREET LIGHTS: DISTANCE TO CENTERLINE OF NEAREST CROSS

PRE-CONSTRUCTION MEETING WILL BE REQUIRED WITH THE CITY ELECTRICAL INSPECTOR (RE) TO REVIEW

DESIGNATED WITH AN ASTERISK NEXT TO THE STREET LIGHT NUMBER. THE DEVELOPER/APPLICANT SHALL ESTABLISH A MAD FUND PRIOR TO APPROVAL OF IMPROVEMENT PLANS, INQUIRIES CAN BE DIRECTED TO

UTILITY NOTE: THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON GROUND UTILITIES/STRUCTURES AND RESEARCH OF RECORD UTILITIES. THE PROGRESS OF THE TOPOGRAPHIC SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES MAY VARY FROM BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.	NO EXCAVATIONS WE
LEGEND: NEW BUILDING FOOTPRINT	
ASPHALT CONCRETE PAVEMENT (SEE ARCHITECTURAL PLANS FOR ENHANCED PAVING LOCATIONS)	
HEAVY VEHICLE ASPHALT CONCRETE PAVEMENT	
CONCRETE PAVEMENT	
FLOW-THROUGH PLANTER	
NEW CONTOUR ELEVATION	51
NEW SPOT ELEVATION	51.50F
NEW STORM DRAIN CLEANOUT TYPE A	0
NEW SEWER TYPE CLEANOUT.	0
NEW STORM DRAIN	
NEW RETAINING WALL	
NEW SLOPE	V V
NEW 6" CURB	
NEW O" CURB	

KEY NOTES:

SAWCUT LINE

LIMITS OF GRADING

- 1) CONNECT TO EXISTING STORM DRAIN
- PRECAST CATCH BASIN PER DETAIL THIS SHEET
- LIMITS OF PARKING BASEMENT
- FLOW THROUGH PLANTER BMP PER DETAIL 3 THIS SHEET
- STORM DRAIN CLEANOUT TYPE A PER SDRSD D-9 UNDERGROUND STORM WATER STORAGE SYSTEM, DETAIL 1
- (12) MODULAR WETLAND SYSTEM TREATMENT UNIT PER DETAIL 4 THIS SHEET
- (13) CATCH BASIN PER DETAIL 2 THIS SHEET

TOTAL DISTURBED AREA: 2.75 ACRES

GRADING OUANTIES:

UNADINO	QUANTIES.		
GRADED AREA	2.75 [ACRES]	MAX. CUT DEPTH	25 [FT]
CUT QUANTITIES	50,000 [CYD]	MAX CUT SLOPE RATIO	0 (2:1MAX) N/A
FILL QUANTITIES	1,000 [CYD]	MAX. FILL DEPTH	N/A [FT]
EXPORT	49,000 [CYD]	MAX FILL SLOPE RATI	0 (2:1MAX) N/A
	ES TO EXPORT 49,000 CUBIC TERIAL SHALL BE DISCHARGED		

APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT. EARTHWORK QUANTITIES SHOWN ARE FOR BONDING AND PERMIT PURPOSES ONLY. ACTUAL

QUANTITIES MAY VARY WITH SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, REMOVAL & RECOMPACTION, SETTLEMENT, ETC. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO BIDDING. **GRADING NOTES:**

- 1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- 2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- 3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET 17 FOR MIX AND SPECIFICATIONS.

ENGINEERING NOTES:

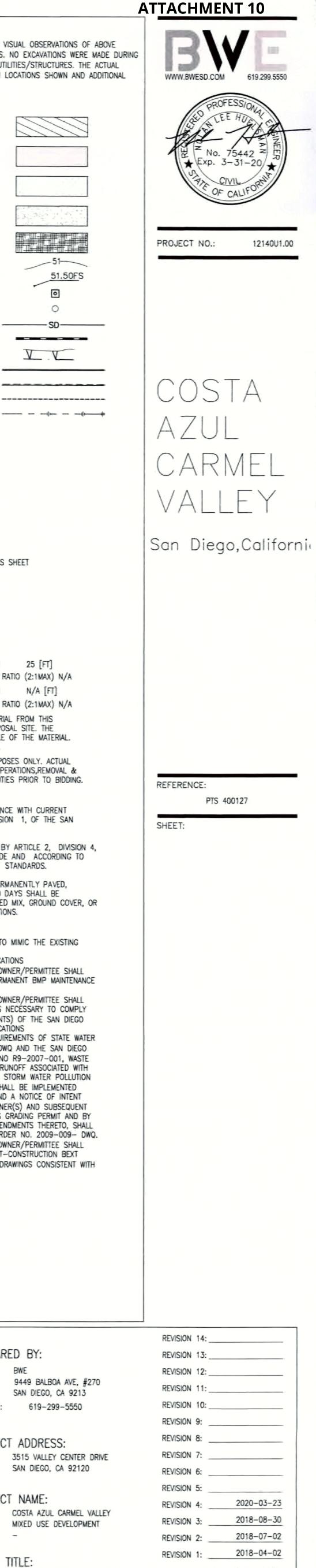
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN NO ADDITIONAL RUNOFF IS PROPOSED FOR THE DISCHARGE LOCATIONS PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL
- ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2 DIVISION 1 (GRADING REQUIREMENTS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS AND SPECIFICATIONS
- DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. 2009-009 DWQ AND THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) ORDER NO R9-2007-001, WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. IN ACCORDANCE WITH SAID PERMIT, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PROGRAM PLAN SHALL BE IMPLEMENTED CONCURRENTLY WITH COMMENCEMENT OF GRADING ACTIVITIES AND A NOTICE OF INTENT (NOI) SHALL BE FILED WITH THE SWRCB. IN ADDITION THE OWNER(S) AND SUBSEQUENT OWNERS OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT AND BY SWRCB ORDER NO. 2009-009 DWQ, AND ANY SUBSEQUENT AMENDMENTS THERETO, SHALL COMPLY WITH SPECIAL PROVISIONS AS SET FORTH IN SWRCB ORDER NO. 2009-009- DWQ. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEXT MANAGEMENT PRACTICES (BMPs) ON THE FINAL CONSTRUCTION DRAWINGS CONSISTENT WITH THE WATER QUALITY TECHNICAL REPORT

PREPARED BY: NAME: **BW9** 9449 BALBOA AVE, #270 SAN DIEGO, CA 9213 PHONE #: 619-299-5550

PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT





GRADING AND DRAINAGE PLAN

ORIGINAL DATE: 2017-09-28 19 _{OF} SHEET DEP#

30



ADE			PROPOSED GRADE	P/L		
	BOTTOM OF BASEM	ENT				
2+00 SECTION A 1"=30"	3+00	1 1	4+00		5+00	
- EXISTING GRADE BOTTOM OF BASE	MENT					
2+00	+ + +	3+00	 4	++00	- 1 1	5+00
SECTION B						

	S	LOPES TABLE	-	
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA	COLOR
1	0.00%	4.99%	227641.12	
2	5.00%	14.99%	59059.70	
3	15.00%	24.99%	12394.61	
4*	25.00%	100.00%	34292.50	

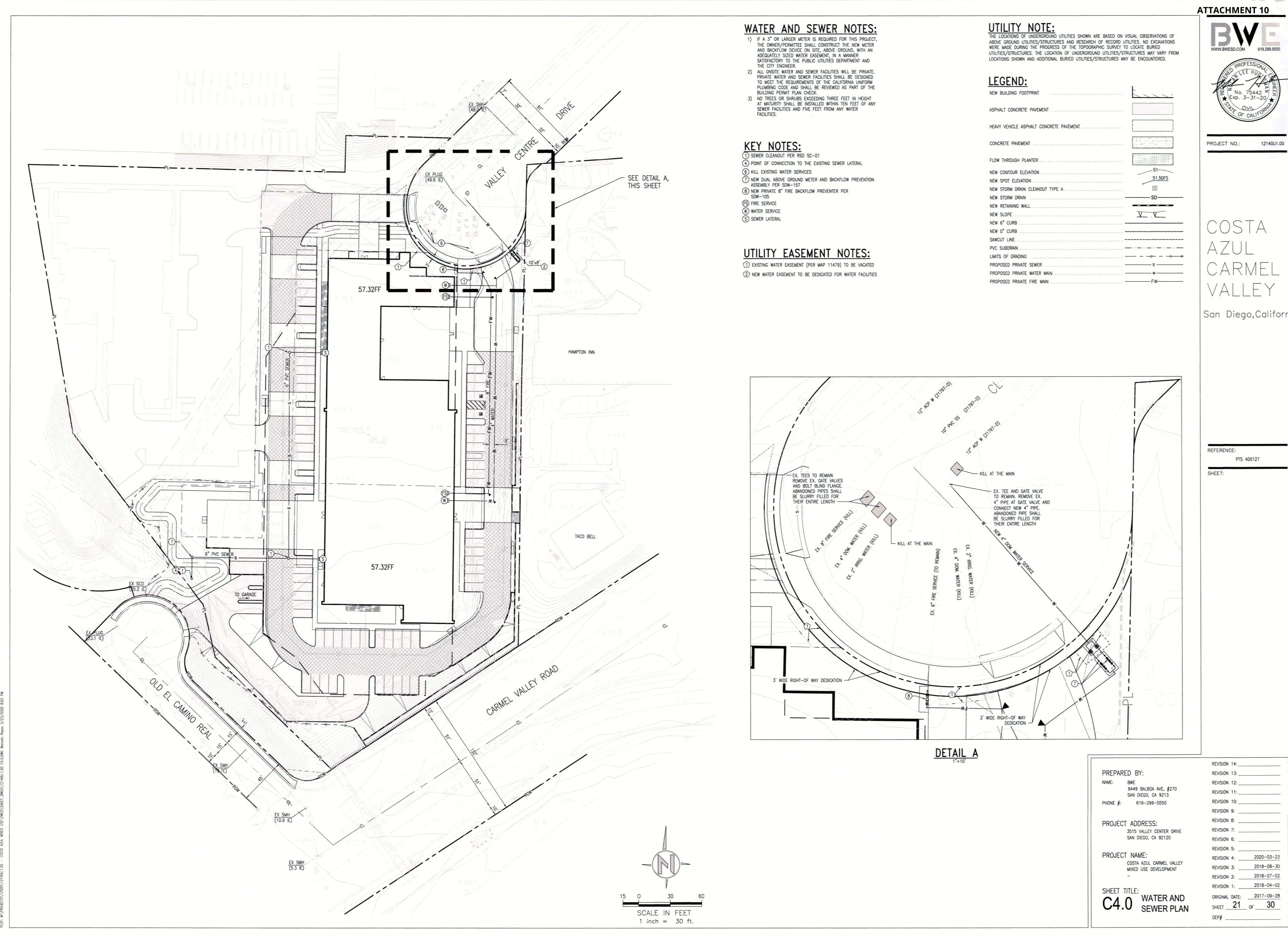
PREPARED BY: NAME: BWE 9449 BALBOA AVE, #270 SAN DIEGO, CA 9213 PHONE #: 619-299-5550

PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

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-





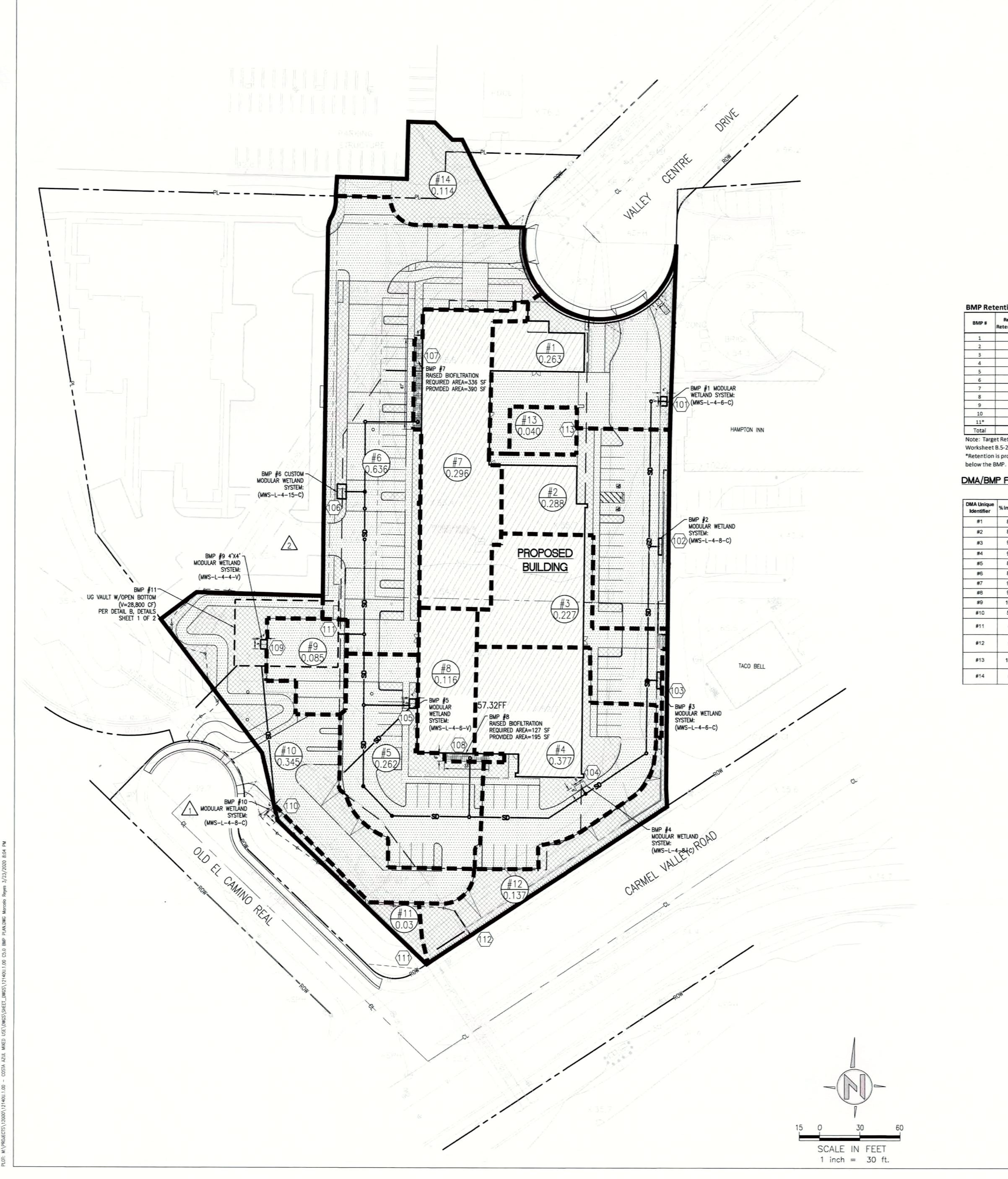
ASPHALT CONCRETE PAVEMENT	
HEAVY VEHICLE ASPHALT CONCRETE PAVEMENT	
2.	
CONCRETE PAVEMENT	
FLOW THROUGH PLANTER	
NEW CONTOUR ELEVATION	51
NEW SPOT ELEVATION	51
NEW STORM DRAIN CLEANOUT TYPE A	0
NEW STORM DRAIN	
NEW RETAINING WALL	
NEW SLOPE	
NEW 6" CURB	
NEW O" CURB	
SAWCUT LINE	
PVC SUBDRAIN.	
LIMITS OF GRADING	
PROPOSED PRIVATE SEWER	
PROPOSED PRIVATE WATER MAIN	
PROPOSED PRIVATE FIRE MAIN	

SHEET 21	_{OF} 30
ORIGINAL DATE:	2017-09-28
REVISION 1:	2018-04-02
REVISION 2:	2018-07-02
REVISION 3:	2018-08-30
REVISION 4:	2020-03-23
REVISION 5:	
REVISION 6:	
REVISION 7:	
REVISION 8:	
REVISION 9:	
REVISION 10:	
REVISION 11:	
REVISION 12:	
REVISION 13:	

F VALLE San Diego,Californi

PTS 400127

ATTACHMENT 10 1 WWW.BWESD.COM 619.299.5550



LEGEND

SYMBOL

_ - - XXX _ - - -

OUTER BASIN BOUNDARY
MINOR BASIN BOUNDARY
EXISTING STORM DRAIN
NEW STORM DRAIN
EXISTING CONTOUR
NEW CONTOUR

POINT OF COMPLIANCE (POC)

DRAINAGE MANAGEMENT AREA MARKER B-X AREA (AC) BIOFILTRATION

BMP LOCATION AT NODE

LANDSCAPE/DIRT AREA CONCRETE/ASPHALT DRIVEWAY BUILDING ROOF

(1X)



NOTES

PERVIOUS AREA

IMPERVIOUS AREA

- SOIL UNDERLYING THE SITE IS HYDROLOGIC SOIL GROUP D.
 DEPTH TO GROUNDWATER IS UNKNOWN.
 NO NATURAL HYDROLOGIC FEATURES EXIST ON SITE.
 NO CRITICAL COARSE SEDIMENT YIELD AREAS (CCSYAS) ARE LOCATED ON THE PROJECT SITE.

BMP Retention Summary

P # Required/Target Retention Volume (C		Provided Retention Volume (CF)	
	36	0	
2	41	0	
3	35	0	
1	58	0	
5	38	0	
5	92	0	
47		0	
3	18	0	
9	14	0	
0	36	0	
*	0	480	
tal	415	480	

Note: Target Retention Volumes are calculated in Worksheet B.5-2.

*Retention is provided in 0.5' of gravel storage

DMA/BMP FLOW ROUTING SUMMARY TABLE

		Runoff from DMA Drains to			
Unique ntifier	% Impervious	Node #	Pollutant Control BMP #	HMP Conrol BMP #	
¥1	80.2%	101	BMP #1	BMP #11	
¥2	84.7%	102	BMP #2	BMP #11	
¥3	92.5%	103	BMP #3	BMP #11	
# 4	90.7%	104	BMP #4	BMP #11	
#5	85.5%	105	BMP #5	BMP #11	
#6	85.8%	106	BMP #6	BMP #11	
¥7	95.9%	107	BMP #7	BMP #11	
#8	92.2%	108	BMP #8	BMP #11	
# 9	100.0%	109	BMP #9	BMP #11	
10	57.4%	110	BMP #10	BMP #11	
11	0.0%	111	Self-Mitigating Area	N/A	
12	0.0%	112	Self-Mitigating Area	N/A	
13	100.0%	113	N/A (Drains to Sewer)	N/A	
14	0.0%	114	N/A (Offsite DMA)	N/A	

PREPARED BY: BWE NAME: 9449 BALBOA AVE, #270 SAN DIEGO, CA 9213 PHONE #: 619-299-5550

PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

PROJECT NAME: COSTA AZUL CARMEL VALLEY

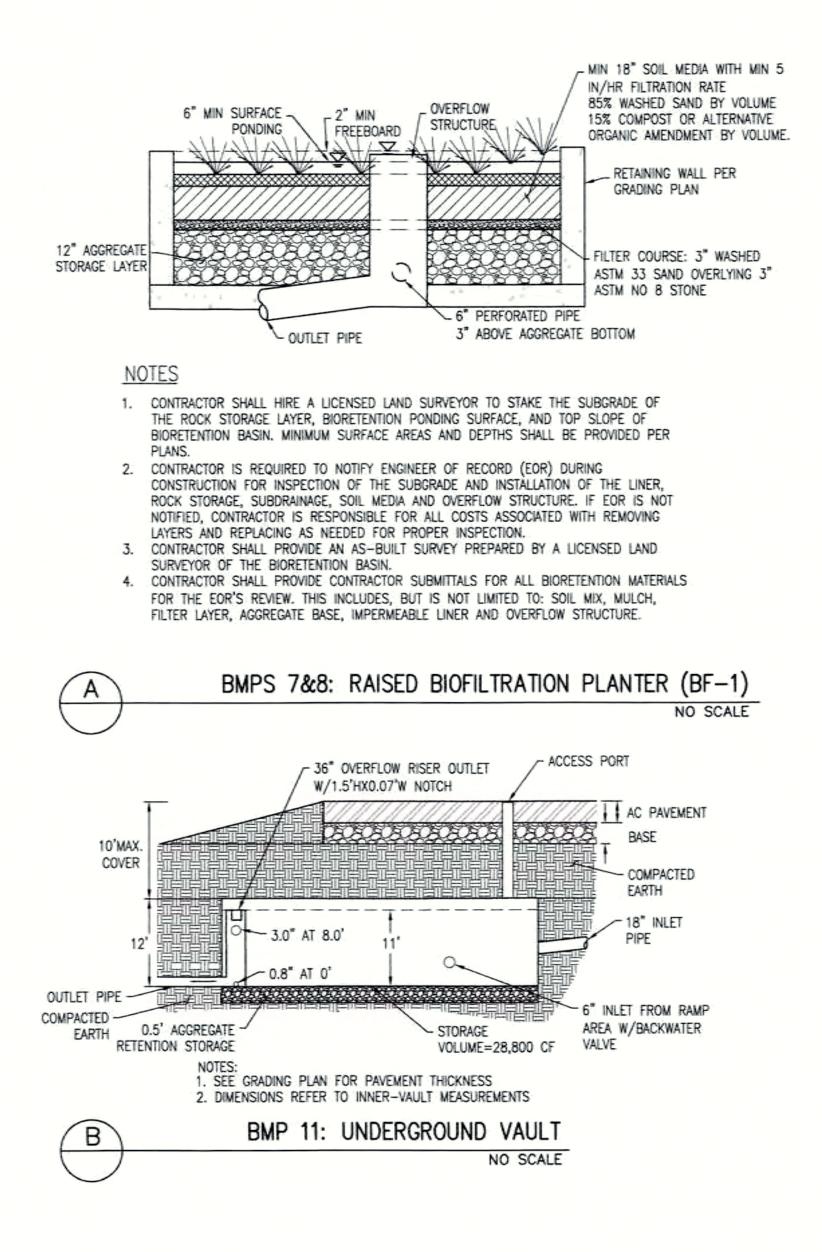
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ATTACHMENT 10 WWW.BWESD.COM 619.299.5550 PROJECT NO.: 12140U1.00 COSTA AZUL valle San Diego,Californi REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: REVISION 11: REVISION 10: REVISION 9: REVISION 8: REVISION 7: REVISION 6: **REVISION 5:** 2020-03-23 REVISION 4: 2018-08-30 REVISION 3: REVISION 2: 2018-07-02 2018-04-02 REVISION 1: ORIGINAL DATE: 2017-09-28 SHEET 22 OF 30

MIXED USE DEVELOPMENT

DEP#





. .

	SITE SPEC	IFIC DATA	
PROJECT NAME			
PROJECT LOCATI	ON.		
STRUCTURE ID			
	TREATMENT	REQUIRED	
VOLUME B	ASED (CF)	FLOW BASE	ED (CFS)
TOCATA COLT LICE			
TREATMENT HGL	2.2	15 100101015	
PEAK BYPASS R	EQUIRED (CFS) -	IF APPLICABLE	
PIPE DATA	1.E.	MAJERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	24" x 42"	N/A	N/A
WETLANDMEDIA V	0.83		
WETLANDMEDIA D	TBD		
ORIFICE SIZE (D	ø1.03"		
MAXIMUM PICK	WEIGHT (LBS)		9000

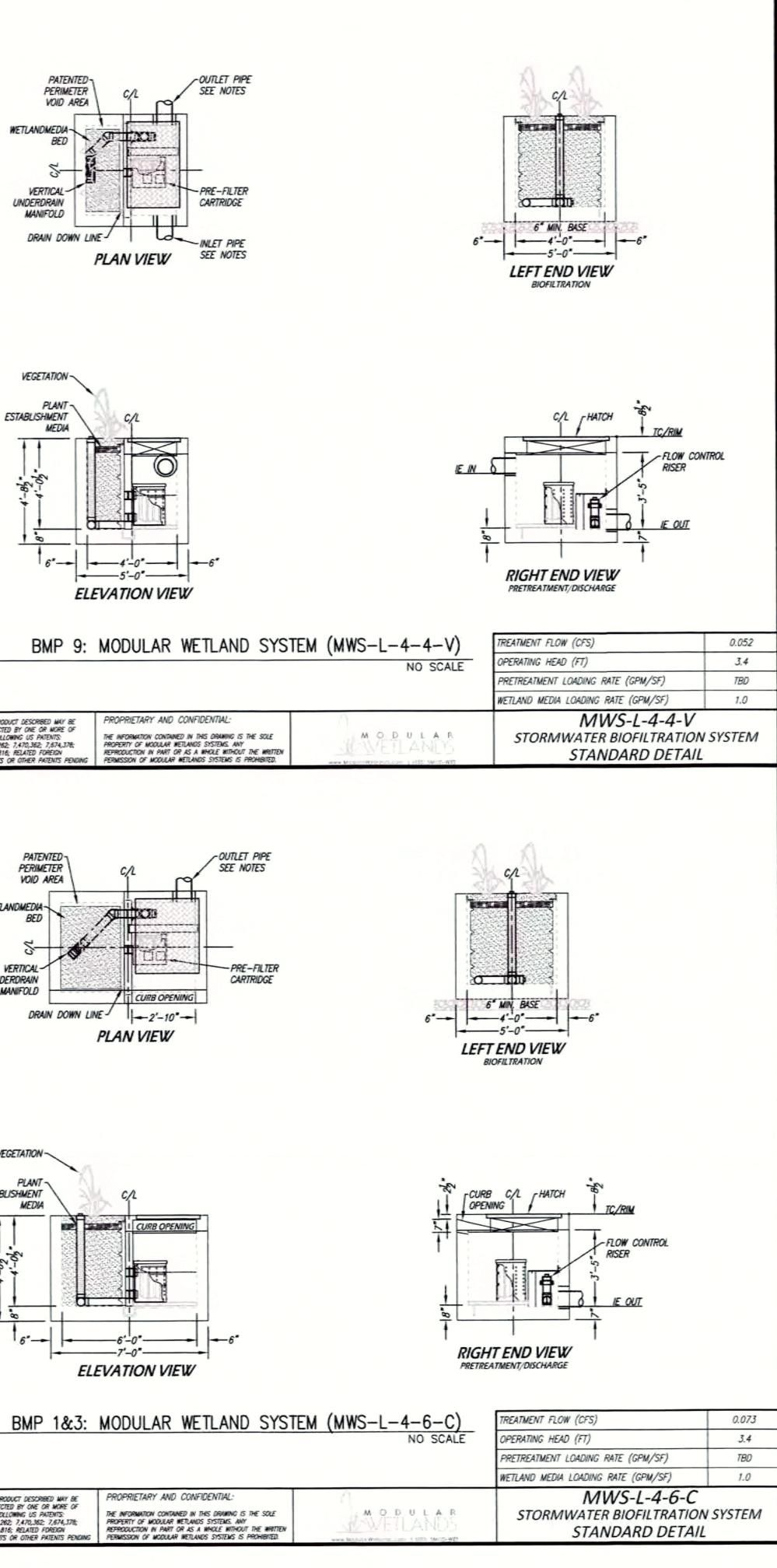
INSTALLATION NOTES

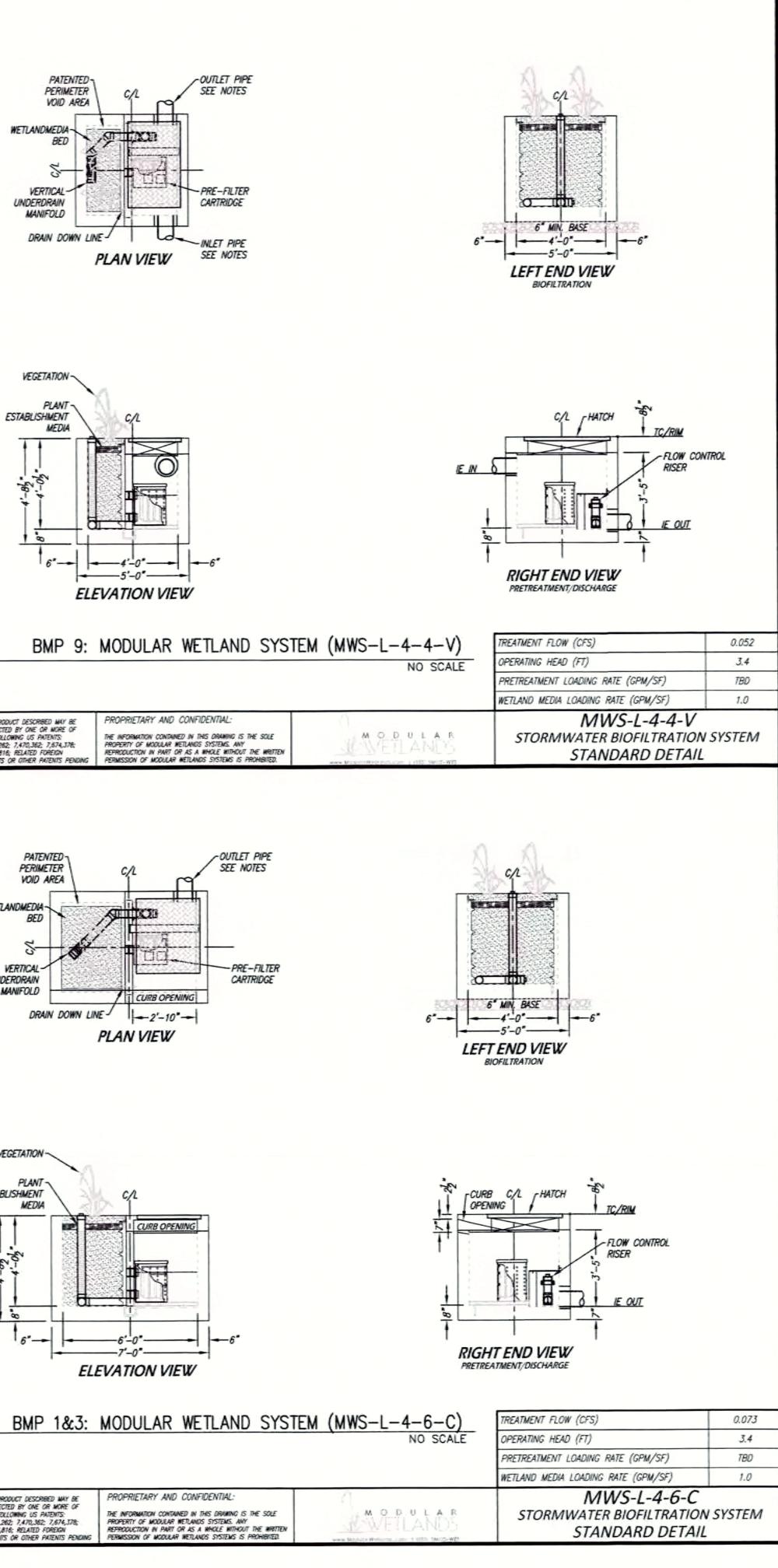
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- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
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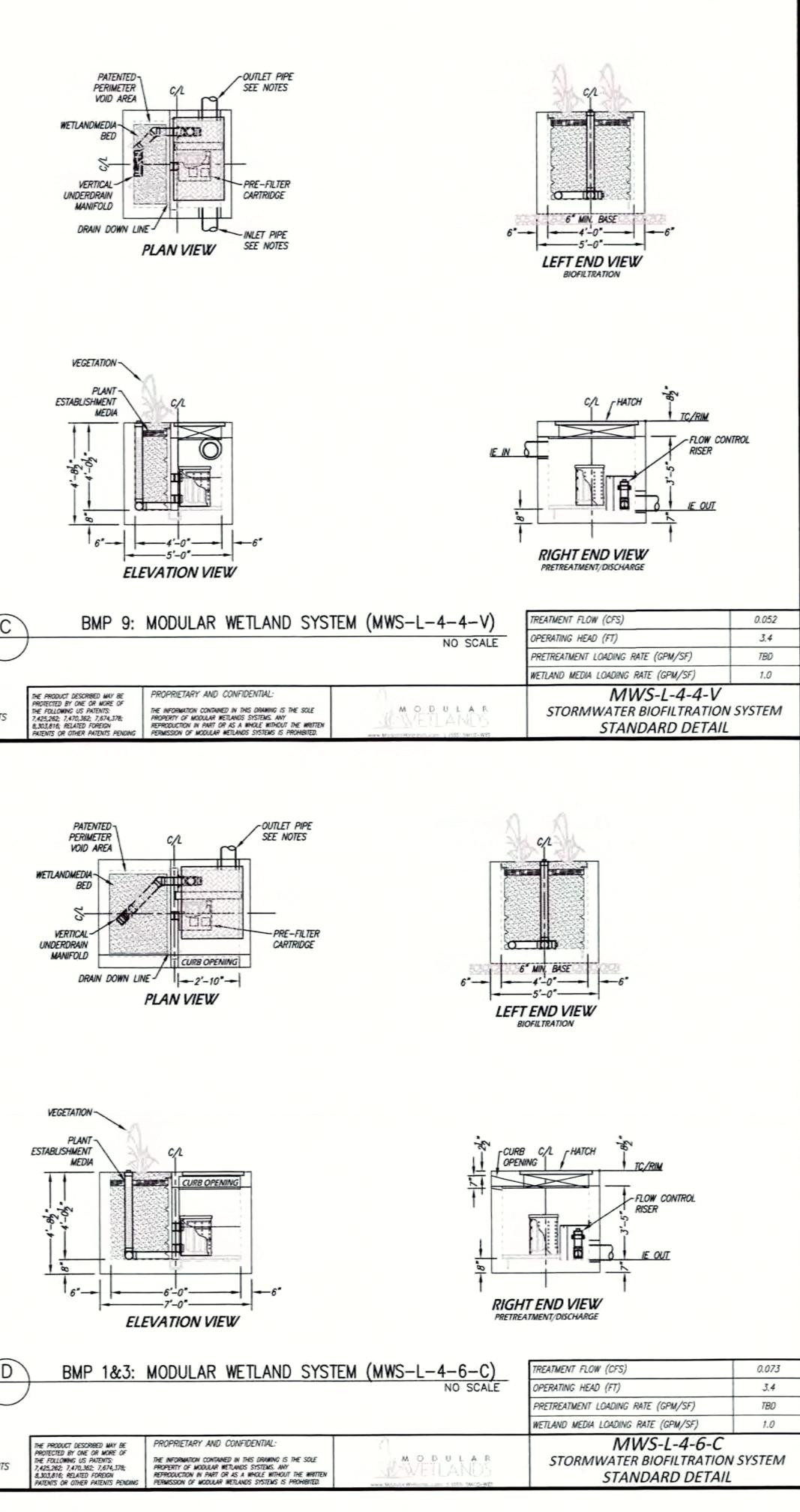
	SITE SPEC	IFIC DATA	
PROJECT NAME			
PROJECT LOCATIO	2N/		
STRUCTURE ID			
	TREATMENT	REQUIRED	
VOLUME BA	ISED (CF)	FLOW BASE	ED (CFS)
TREATMENT HGL	AVAILABLE (FT)		
PEAK BYPASS R	EQUIRED (CFS) -	IF APPLICABLE	
PIPE DATA	LE.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	30" X 36"	N/A	N/A
WETLANDMEDIA V	1.48		
WETLANDMEDIA D	TBD		
ORIFICE SIZE (DI	\$1.22"		
MAXIMUM PICK V	TBD		

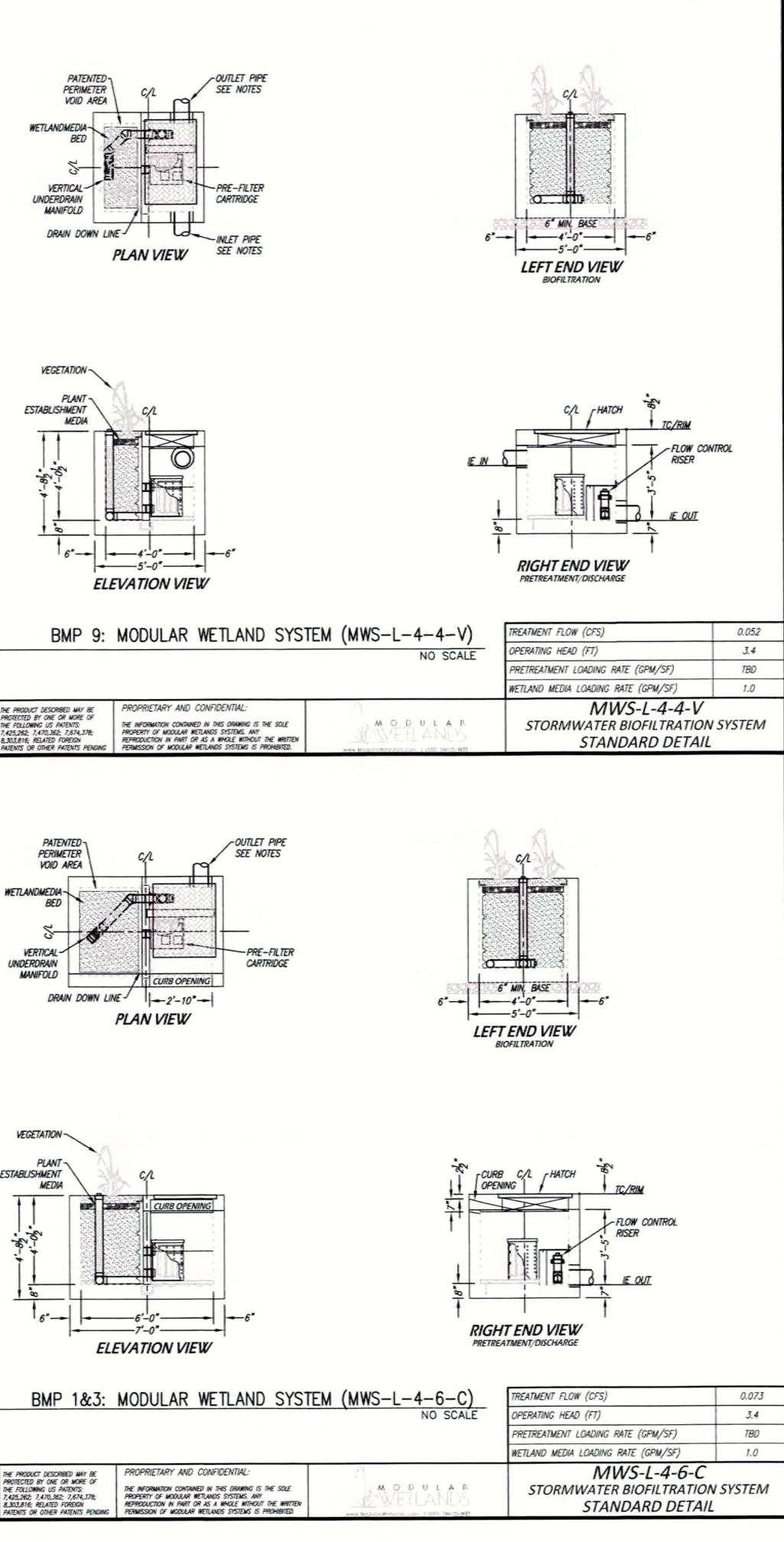
INSTALLATION NOTES

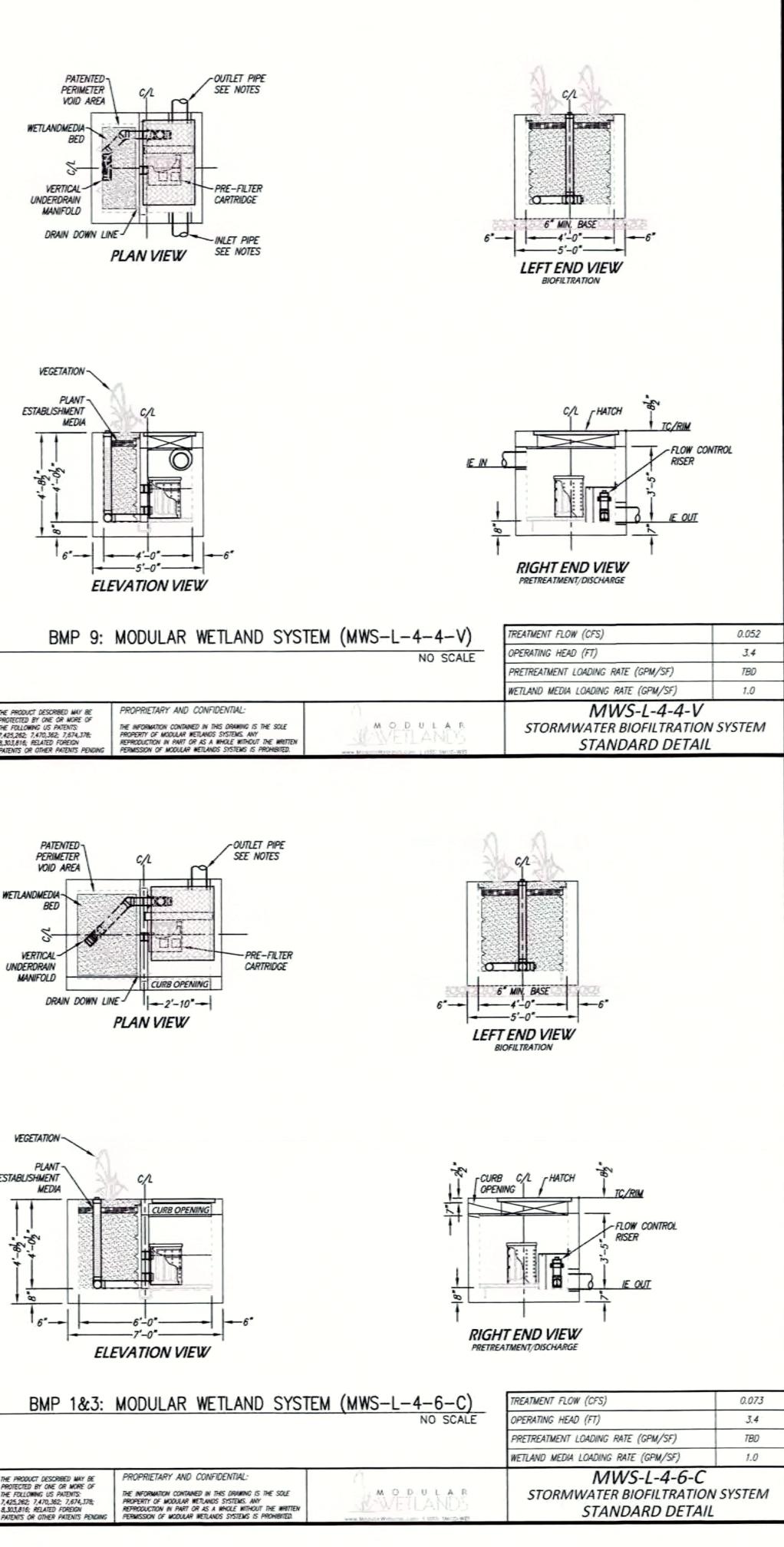
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- MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS. MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND
- HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE. 5. DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION. GENERAL NOTES
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

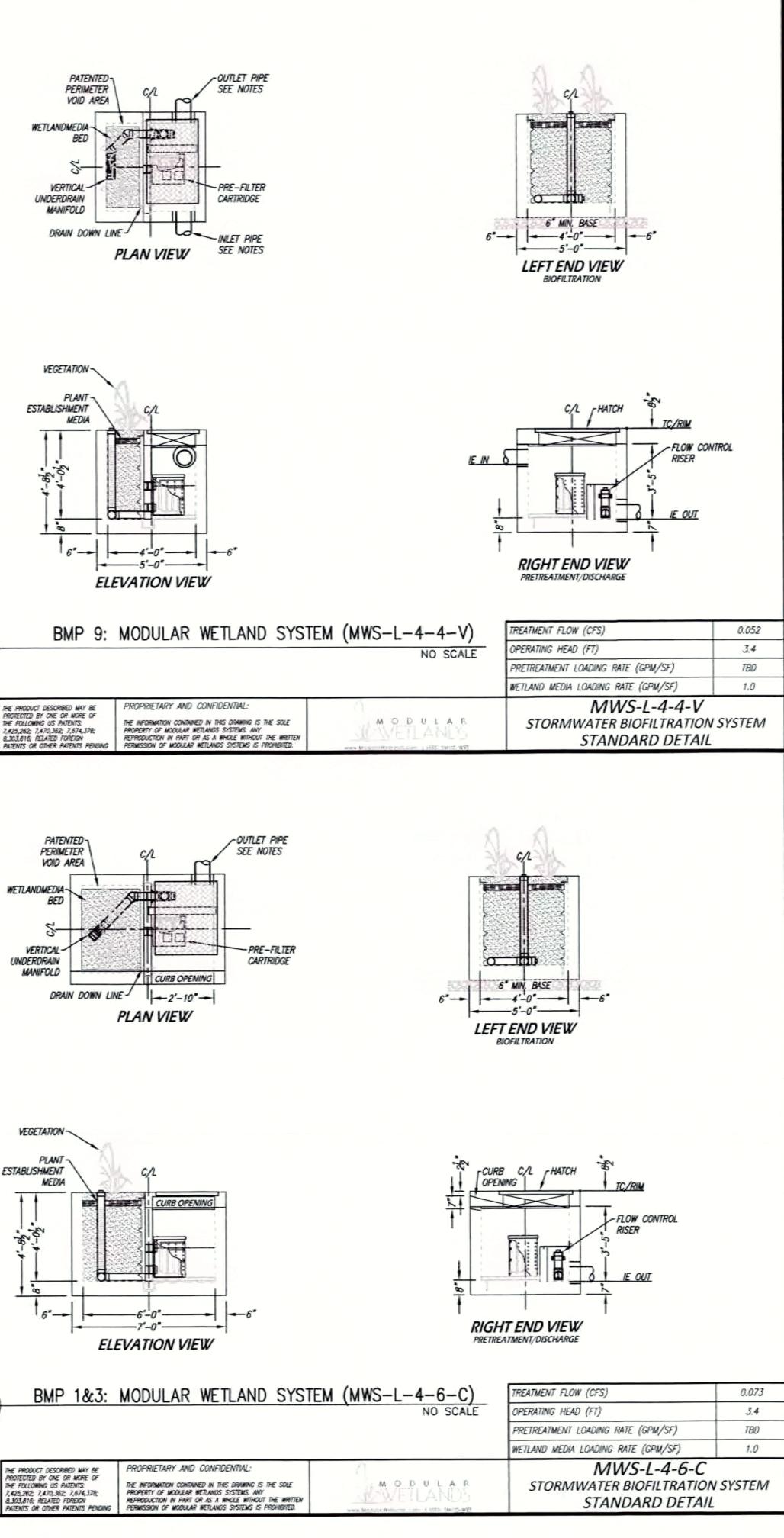


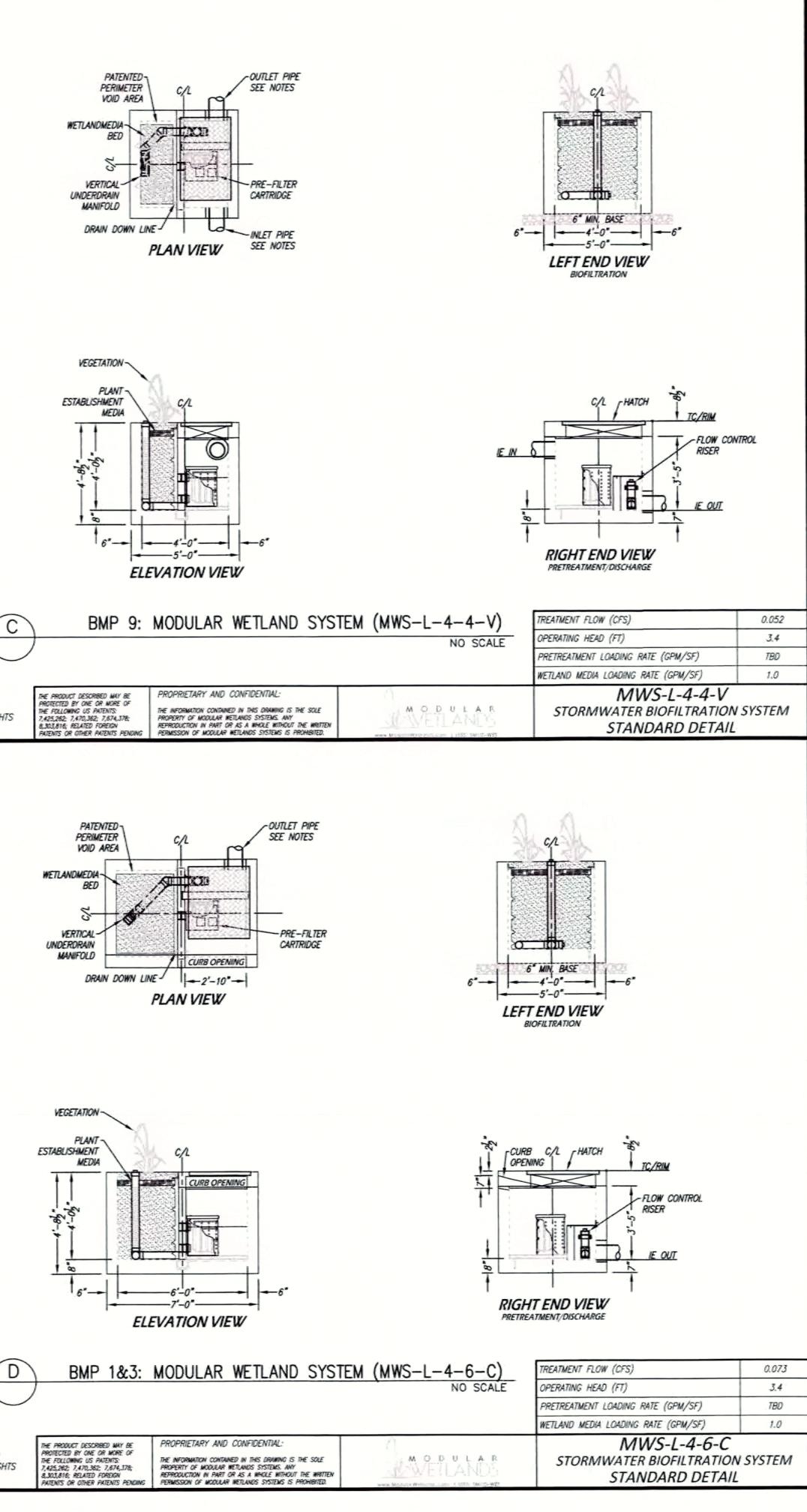












THE PRODUCT DESCRIBED WAY BE	PROPRIETARY AND CON
PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,425.262; 7,470,362: 7,674,378;	THE INFORMATION CONTAINED IN PROPERTY OF MODULAR METLAN
8,303,816; RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING	REPRODUCTION IN PART OR AS PERMISSION OF MODULAR WETLA

PREPARED BY: NAME: BWE 9449 BALBOA AVE, #270 SAN DIEGO, CA 9213 PHONE #: 619-299-5550 PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120

PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT

SHEET TITLE: C5.1 BMP DETAILS

ATTACHMENT 10 WWW.BWESD.COM 619.299.5550 PROJECT NO .: 12140U1.00 San Diego, Californi REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: REVISION 11: REVISION 10: REVISION 9: REVISION 8: _____ REVISION 7: _____ REVISION 6: REVISION 5: 2020-03-23 REVISION 4: 2018-08-30 REVISION 3: 2018-07-02 REVISION 2: 2018-04-02 REVISION 1:

F)	ITF	R	n	RN

ORIGINAL DATE: 2017-09-28

SHEET 23 OF 30

DEP# ____

	SITE SPEC	IFIC DATA		
PROJECT NAME				
PROJECT LOCAT	ON			
STRUCTURE ID				
	TREATMENT	REQUIRED		
VOLUME B	ASED (CF)	FLOW BASE	ED (CFS)	
TREATMENT HGL	AVAILABLE (FT)	I		
	EQUIRED (CFS) -	IF APPLICABLE		
PIPE DATA	I.E.	MATERIAL	DIAMETER	
INLET PIPE 1				
INLET PIPE 2				
OUTLET PIPE				
	PRETREATMENT	BIOFILTRATION	DISCHARGE	
RIM ELEVATION				
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY	
FRAME & COVER	30" X 36"	N/A	N/A	
WETLANDMEDIA I	1.48			
WETLANDMEDIA D	TBD			
ORIFICE SIZE (D		\$1.22"		
MAXIMUM PICK	MAXIMUM PICK WEIGHT (LBS)			

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
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- PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK
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GENERAL NOTES

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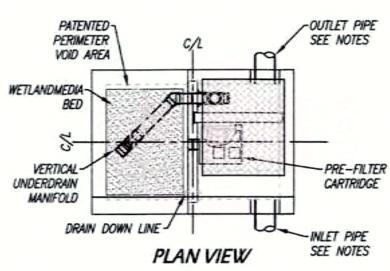
	SITE SPEC	IFIC DATA	
PROJECT NAME			
PROJECT LOCATI	ON		
STRUCTURE ID			
	TREATMENT	REQUIRED	
VOLUME BASED (CF) FLOW BASE		ED (CFS)	
TREATMENT HGL	AVAILABLE (FT)		
PEAK BYPASS R	EQUIRED (CFS) -	IF APPLICABLE	
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2	-		
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	36" X 36"	N/A	N/A
WETLANDMEDIA V	2.03		
WETLANDMEDIA D	TBD		
ORIFICE SIZE (DIA. INCHES)			ø1.53°
MAXIMUM PICK WEIGHT (LBS)			15000

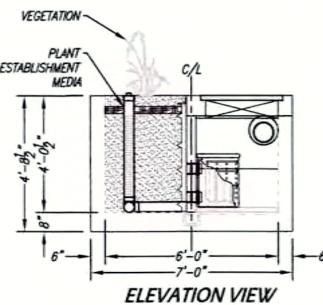
INSTALLATION NOTES

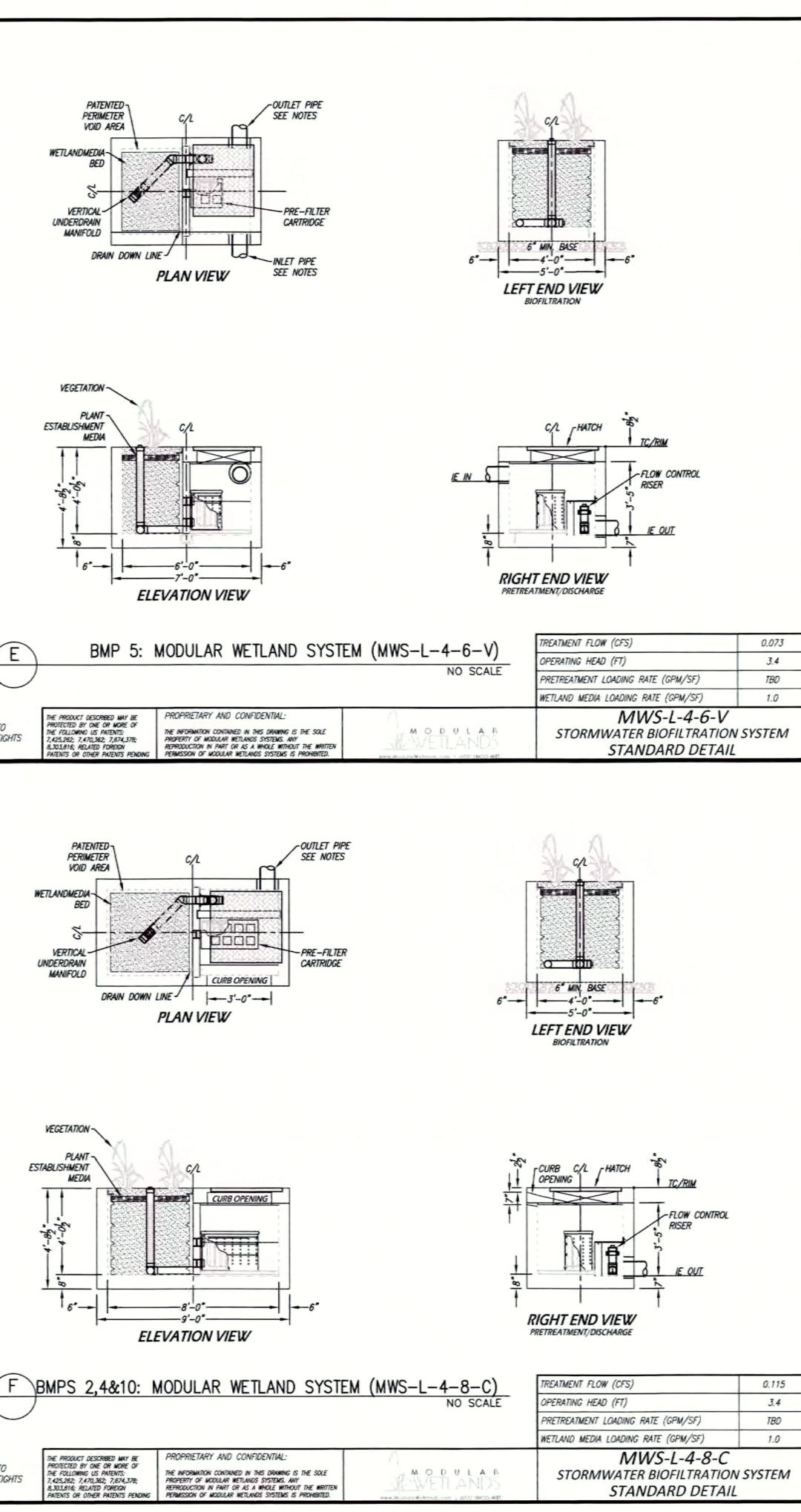
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GENERAL NOTES

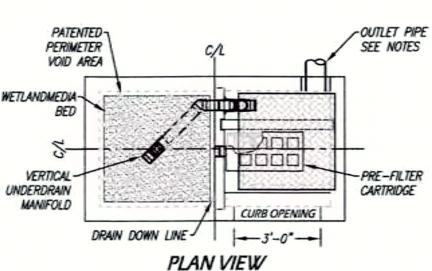
MANUFA ALL DW CHANGE AND AC

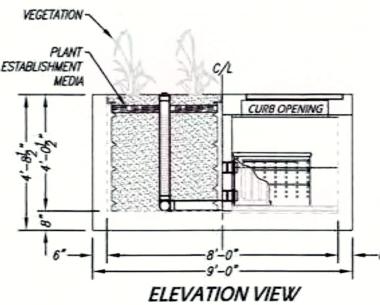






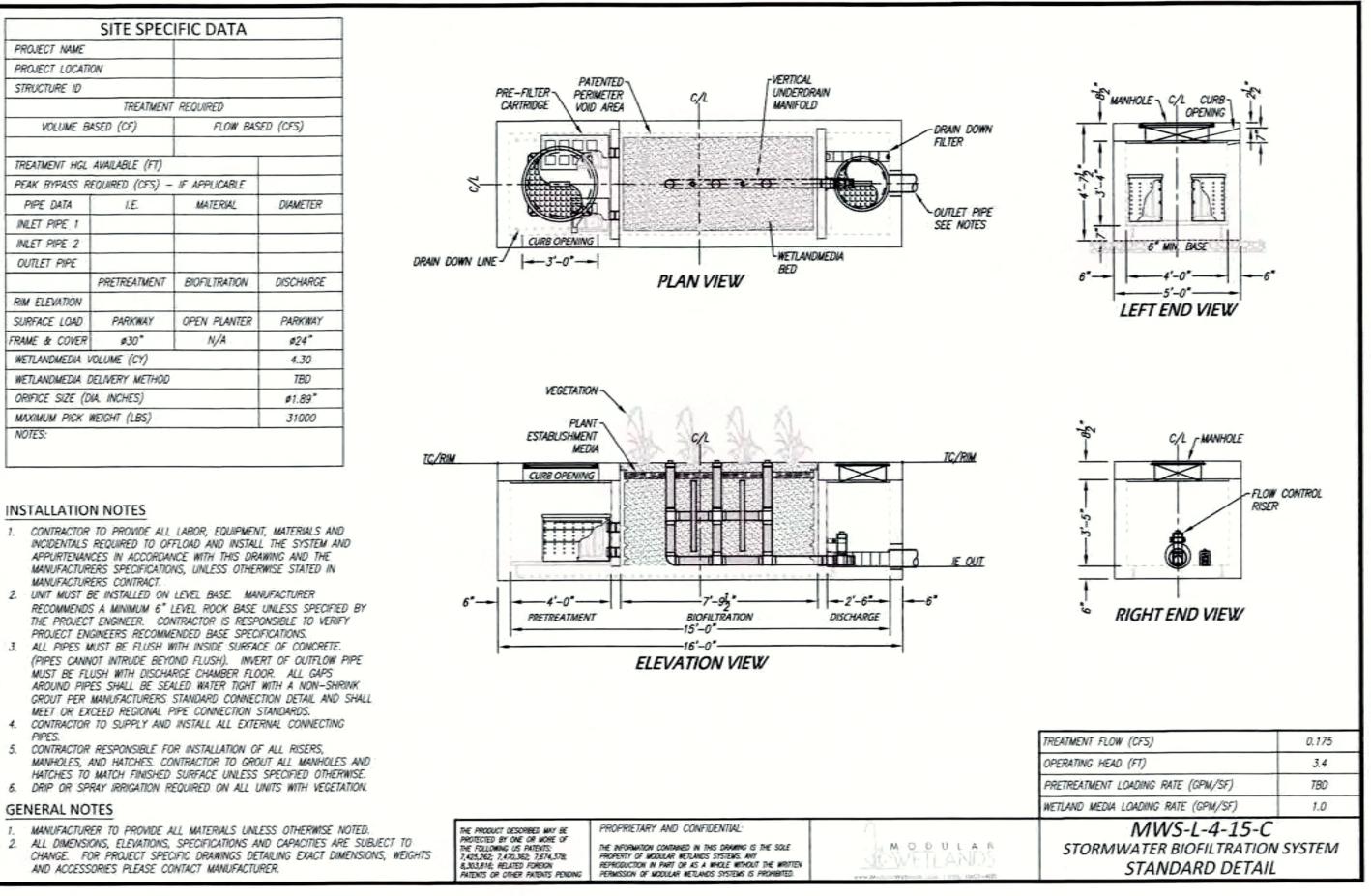
PRODUCT DESCRIBED MAY BE	PROPRIETARY AND CONFIDED
tected by one or more of Following us patents: 5.262: 7.470.362: 7.674.378:	THE INFORMATION CONTAINED IN THIS I PROPERTY OF MODULAR WETLANDS SY
13,816; RELATED FOREIGN ENTS OR OTHER PATENTS PENDING	REPRODUCTION IN PART OR AS A WHO PERMISSION OF MODULAR WETLANDS S





FACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED. DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO GE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS ACCESSORIES PLEASE CONTACT MANUFACTURER.	THE PRODUCT DESCRIBED MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,425,262; 7,470,362; 7,674,378; 8,303,816; RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING	PROPRIETARY AND CONFIDENTIAL: The information contained in this drawing is the sole property of modular wetlands systems, any reproduction in part or as a whole without the written permission of modular wetlands systems is prohibited.	N. W.
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BMPS 6: MODULAR WETLAND SYSTEM (MWS-L-4-15-C) NO SCALE

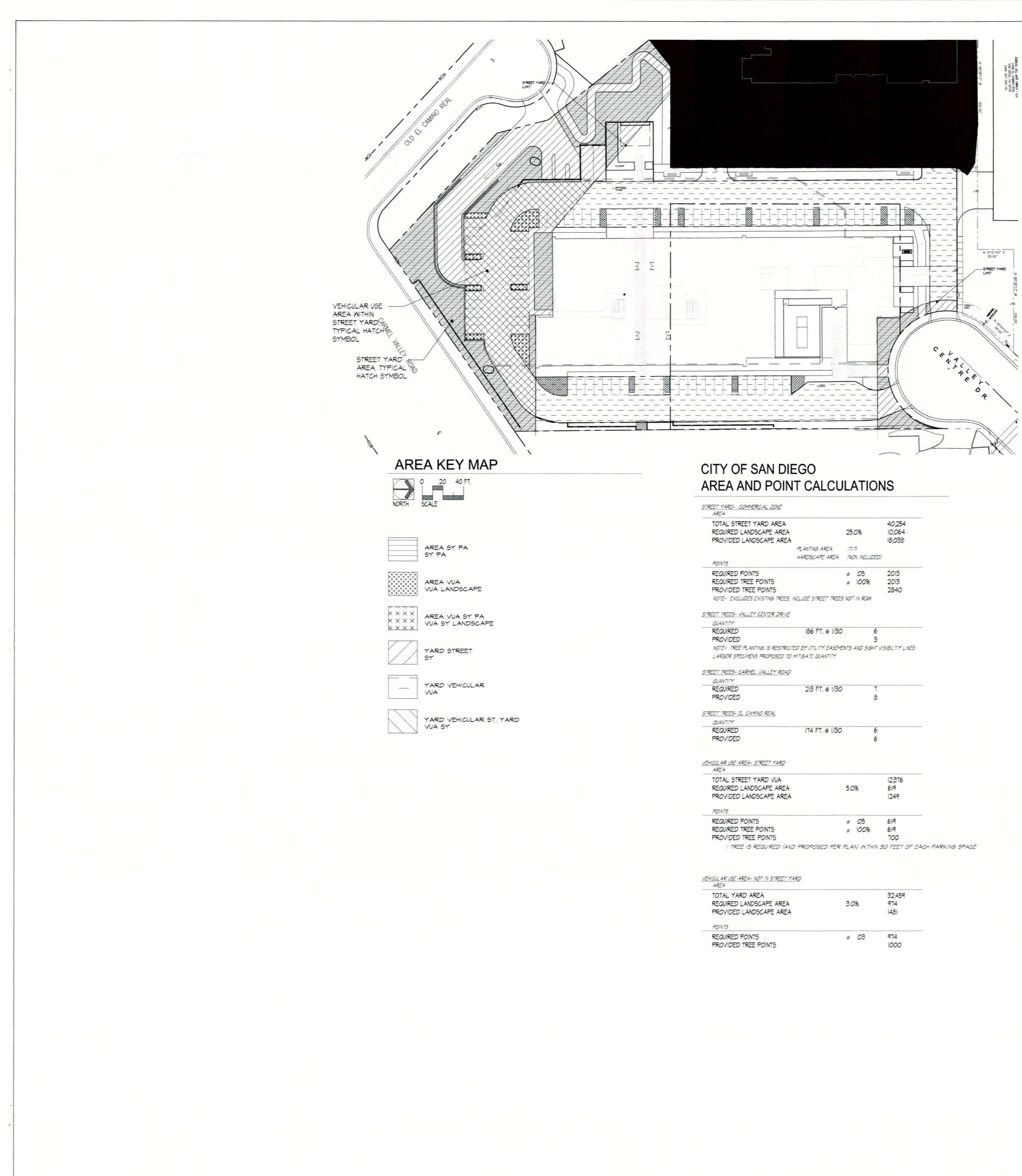
PREPARI	ED BY:
NAME:	BWE 9449 BALBOA SAN DIEGO, CA
PHONE #:	619-299-
PROJEC	T ADDRESS: 3515 VALLEY C SAN DIEGO, CA

PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT



ATTACHMENT 10 WWW.BWESD.COM 619.299.555 PROJECT NO .: 12140U1.00 San Diego,Californi REFERENCE: PTS 400127 SHEET: REVISION 14: REVISION 13: REVISION 12: AVE, #270 REVISION 11: 9213 REVISION 10: -5550 REVISION 9: REVISION 8: REVISION 7: CENTER DRIVE 92120 REVISION 6: REVISION 5: 2020-03-23 REVISION 4: 2018-08-30 REVISION 3: 2018-07-02 REVISION 2: REVISION 1: _____2018-04-02 ORIGINAL DATE: 2017-09-28 30 SHEET 24 OF

DEP#



TOTAL STREET YARD AREA		25	~~		40,254
REQUIRED LANDSCAPE AREA		20	.0%		10,064
PROVIDED LANDSCAPE AREA	e 11922 1991	-	-		18,038
	PLANTING AREA	17) An			
POINTS	HARDSCAPE AREA	(116	IN INCLU	150/	
REQUIRED POINTS		6	.05		2013
REQUIRED TREE POINTS		ø	100%		2013
PROVIDED TREE POINTS					2840
NOTE- EXCLUDES EXISTING TREES, I	NCLUDE STREET TREES	NOT	T IN ROW		
REET TREES- VALLEY CENTER DRIVE					
QUANTITY					
REQUIRED	186 FT. @ 1/30			6	
PROVIDED				3	
NOTE- TREE PLANTING IS RESTRICT	ED BY UTILITY EASEME	N75	AND SIG	HT VI	SIBILTIY LIN
LARGER SPECIMENS PROPOSED TO	MITIGATE QUANTITY				
REET TREES- CARMEL VALLEY ROAD					
NEET INCLUS GARAGE MALLET NOAD					
augustity.					
	213 FT. @ 1/30			T	
augurtity.	213 FT. @ 1/30			T 8	
auantity REGUIRED PROVIDED	213 FT. @ 1/30				
QUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL	213 FT. @ 1/30				
QUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL QUANTITY				8	
QUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL QUANTITY REQUIRED	213 FT. @ 1/30			8	
QUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL QUANTITY				8	
AUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL AVANTITY REQUIRED PROVIDED				8	
auantity REQUIRED PROVIDED REET TREES- EL CAMINO REAL AUANTITY REQUIRED PROVIDED				8	
QUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL QUANTITY REQUIRED PROVIDED HOLLAR USE AREA- STREET YARD				8	12,376
AVANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL AVANTITY REQUIRED PROVIDED HOULAR USE AREA- STREET YARD AREA		5.0	%	8	12,376 619
AUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL AUANTITY REQUIRED PROVIDED HIGULAR USE AREA- STREET YARD AREA TOTAL STREET YARD VUA		5.0	%	8	
AUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL AUANTITY REQUIRED PROVIDED HOLLAR USE AREA- STREET YARD AREA TOTAL STREET YARD VUA REQUIRED LANDSCAPE AREA		5.0	2%	8	619
AUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL AUANTITY REQUIRED PROVIDED HOLLAR USE AREA- STREET YARD AREA TOTAL STREET YARD VUA REQUIRED LANDSCAPE AREA PROVIDED LANDSCAPE AREA		5.0		8	619
AUANTITY REQUIRED PROVIDED REET TREES- EL CAMINO REAL AUANTITY REQUIRED PROVIDED HIGHTAR USE AREA- STREET YARD AREA TOTAL STREET YARD VUA REQUIRED LANDSCAPE AREA PROVIDED LANDSCAPE AREA PROVIDED LANDSCAPE AREA				8	619 1249

ACCA			
TOTAL YARD AREA REQUIRED LANDSCAPE AREA PROVIDED LANDSCAPE AREA	3.0%	32,459 974 48	
POINTS.			
REQUIRED POINTS PROVIDED TREE POINTS	ø .03	974 1000	

Landscape Plans for:

COSTA AZUL CARMEL VALLE`

San Diego, California 92102

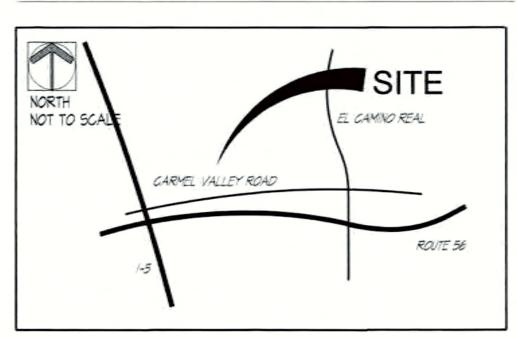
DRAWING INDEX

SHEET	CONTENTS
L-I	TITLE SHEET, CITY CALCULATIONS AND NOTES
L-2	PLANT LEGEND
L-3	LANDSCAPE DEVELOPMENT PLAN
L-4	WATER CONSERVATION PLAN

SITE ADDRESS

SAN DIEGO, CALIFORNIA,

VICINITY MAP



CITY STANDARDS NOTES

LANDSCAPE REGULATION CONFORMANCE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY ORDINANCE LANDSCAPE ARTICLES AND LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

CITY INSPECTION

OBTAIN A FINAL INSPECTION OF THE COMPLETED LANDSCAPE PLANTING AND IRRIGATION INSTALLATION BY CITY LANDSCAPE INSPECTOR. SCHEDULE INSPECTOR AND LANDSCAPE ARCHITECT AT LEAST ONE WEEK IN ADVANCE OF INSPECTION. CITY FEES PROVIDE FOR ONLY ONE INSPECTION, ADDITIONAL INSPECTIONS WILL REQUIRE ADDITIONAL FEES.

EXISTING LANDSCAPE NOTE

EXISTING TREES SHOWN WILL REMAIN. ANY AREAS BARE OR DISTURBED BY CONSTRUCTION WILL BE REPAIRED WITH NEW LANDSCAPING TO MATCH.

CURB NOTE:

ALL LANDSCAPE AREAS ARE SEPARATED FROM VEHICULAR DRIVES AND PARKING BY 6 IN. CONCRETE CURBS- CONSTRUCTED PER SITE IMPROVEMENT PLANS ALL PARKING SPACES FACING LANDSCAPE AREAS 5 FT. OR LESS IN WIDTH SHALL HAVE WHEEL STOPS PROVIDED AT LEAST TWO FEET FROM THE LANDSCAPE AREA

MINIMUM TREE SEPARATION DISTANCE

IPROVEMENT / MINIMUM DISTANCE TO STREET TREE:		
TRAFFIC SIGNALS (STOP SIGN)-	20 FEET	
UNDERGROUND UTILITY LINES-	5 FEET	
UNDERGROUND SEWER LATERALS-	IO FEET	
ABOVE GROUND UTILITY STRUCTURES-	IO FEET	
DRIVEWAY (ENTRIES)-	IO FEET	
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)-	25 FEET	

VERIFY MINIMUM SEPARATION DISTANCE IN FIELD PRIOR TO PLANTING. UPON IDENTIFICATION OF CONFLICT, CONTACT LANDSCAPE ARCHITECT AND ADJUST TREE LOCATION AS DIRECTED.

ROOT BARRIER

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED WITHIN IO FEET OF THE PROPERTY LINE ALONG THAT STREET FRONTAGE (SDMC 142.0409(A)(1).

DRAINAGE BEST MANAGEMENT PRACTICES

NO IRRIGATION RUN OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PEMP'S, ALL ROOF DISCHARGE TO BE TO SURFACE DRAINAGE. REFER TO STORM WATER POLLUTION PREVENTION PLAN

IRRIGATION NOTE

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC \$142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

ROOT ZONE NOTE

A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES, THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC §142.0403(B)(5)."

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER, LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

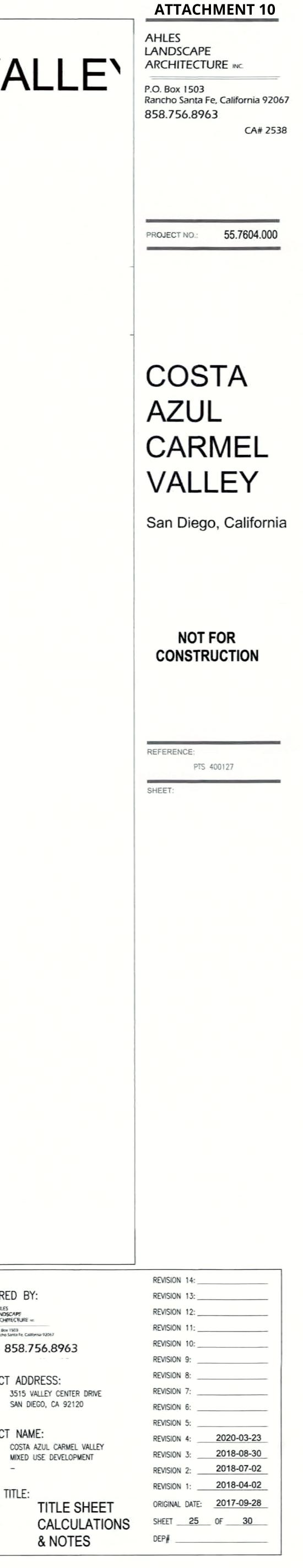
PREPARED BY: NAME: AHLES LANDSCAPE ARCHETECTURE P.O. Box 1503 Rancho Santa Fe, California 92067 PHONE #: 858.756.8963

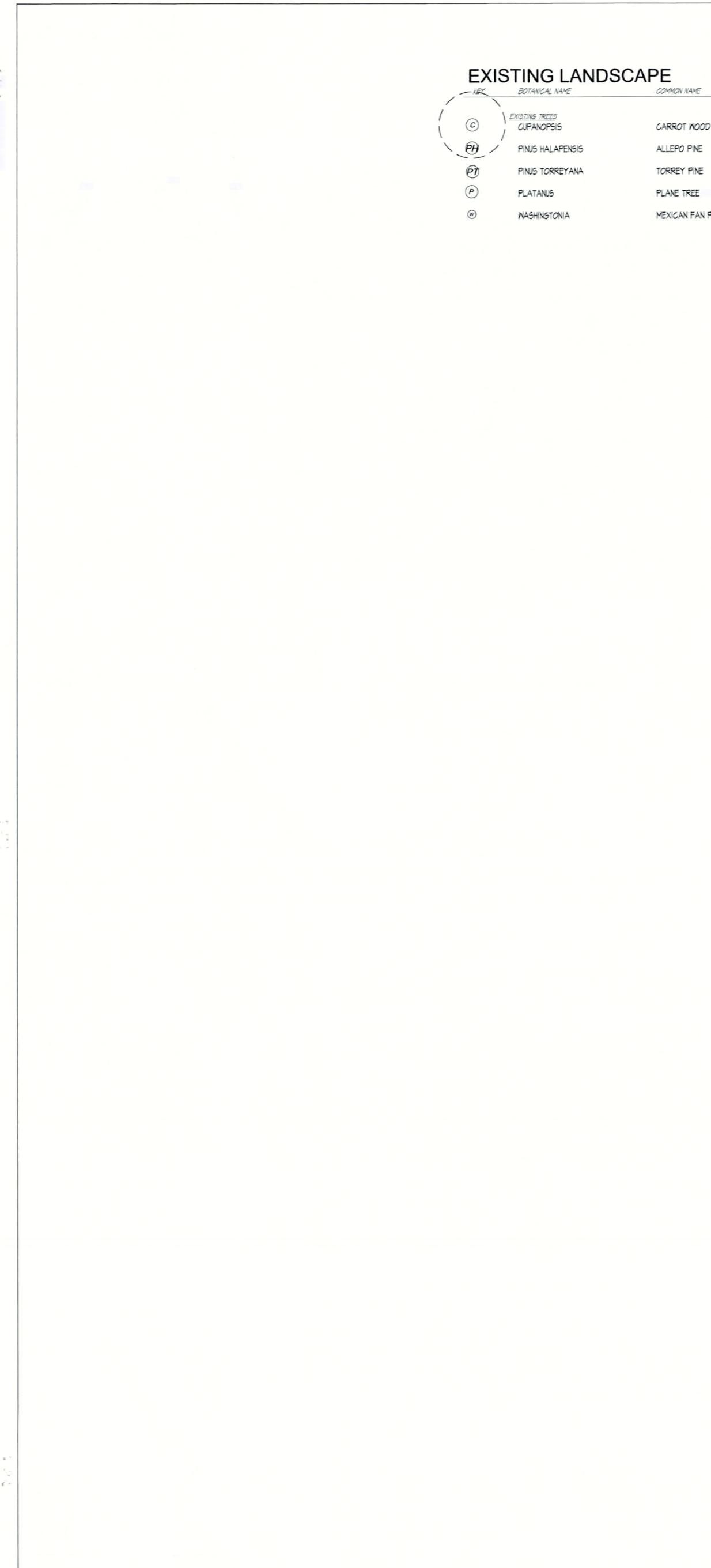
PROJECT ADDRESS:

SAN DIEGO, CA 92120 PROJECT NAME:

COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT -

SHEET TITLE: L-1





CARROT WOOD TREE

MEXICAN FAN PALM

PLANT LEGEND

NBOL	PLANT FUNCTION: BOTANICAL NAME	PLANT FORM. COMMON NAME SIZEMASSING APPROX QUANTITI	/		PLANT FUNCTION: BOTANICAL NAME	PLAN COMMON NAME	I FORM: SIZE/MASSING	APPROX QUANTITY
AT 2/3 X RAPHIC)	STREET TREE- 30 FT HEIGHT X SPREAD. INCLUDES 'NEAR'' STREET TREES NEAR OLD EL CAM	FORM- ROUNDED CANOPY TREE		574Ba.	UNCTION: VERTICAL SCREENING SHRUB- 6 TO 8 FT. I	ilGH : FORM	- VERTICAL EVERGREEN	
(•)	TABEBUIA IMPETIGINOSA GEIJERA PARVIFLORA RHUS LANCEA	IPE TREE IOO% 36" BOX AUSTRALIAN WILLOW AFRICAN SUMAC 76 FORM- ROUNDED CANOPY TREE		رې	PODOCARPUS 'MAKI' FICUS 'GREEN BEAUTY' PRUNUS 'BRIGHT AND TIGHT' LIGUSTRUM JAPONICUM	YEW PINE COLUMNAR FIG LAUREL CHERRY PRIVET	100% 15 GALLON	4-6 FT. O.C.
ξ.	RHUS LANCEA	AFRICAN SUMAC 100% 48" BOX		0	UNCTION: MEDIUM/LOW SHRUBS - 2 TO 4 FT. HEIGHT ;			
	AUERCUS ILEX	HOLLY OAK FRUITLESS OLIVE		U	ROSEMARY 'TUSCAN BLUE' WESTRINGIA SP. LANTANA SP	ROSEMARY AUSTRALIAN ROSEM LANTANA	100% 5 GALLON ARY	4-0 FT. 0.0.
0000	BELDING PERIMETER ACCENT TREE- 15 FT. HEIGHT X	(IO FT WIDTH: FORM- CANOPY BROAD SPREADING OVAL		Ŧ	UNCTION: FLOMERING ACCENT SHRUBS- 3 TO 5 FT H	EIGHT X WIDTH: FORM- RO	UNDED SHRUB	
+ 36" BOX		DWARF MAGNOLIA 100% PER SYMBOL IPE TREE PALO VERDE		0	ROSA SP. STRELITZIA REGINAE PHORMIUM SP.	MULTI FLORA ROSE BIRD OF PARADISE NZ FLAX	100% 5 GALLON	2-4 FT. O.C.
\sim	REMETER SCREENING TREE- 25 FT. HEIGHT X 20 F	T. WIDTH: FORM- ROUNDED OVAL TREE	(SMALL SHRUBS	T	UNCTION: FLOMERING ACCENT SHRUBS- 1-3 FT HEIGH	HT X WIDTH FORM- SH	READING GRANDCOVER	
< .	RHUS LANCEA ACACIA STENOPHYLLA	AFRICAN SUMAC 100% 36" BOX ACACIA	AT 2X PLAN GRAPHICI	©. (€)	CARISGA 'GREEN CARPET' RHAPHIOLEPIS SP. BUXUS JAPONICUM	NATAL PLUM INDIAN HAWTHORNE BOXWOOD	100% 5 GALLON	2-4 FT. O.C.
\mathcal{A}	CALLISTEMON CITRINUS	BOTTLE BRUSH		÷	UNCTION: LARGE PERIMETER SHRUBS- 4-10 FT HEIGI	HT X WIDTH: FORM- R	WDED SHRIB	
$\left(\right)$	PERIMETER VERTICAL ACCENT TREE- 40 FT HEIGHT PINUS TORREYANA TRISTANIA CONFERTA LAURUS NOBILIS	"X 25 FT. WIDTH: FORM- VERTICAL OVAL PINE 100% 48" BOX BRISBANE BOX BAY LAUREL		C.	HEMEROMELES ARBUTIFOLIA SALVIA SP. RHUS INTEGRIFOLIA TACTION: MEDULUMISMALL SHRUBS- 3-5 FT HEIGHT X	TOYON SAGE LEMONDADE BERRY	100% 5 GALLON	2-4 FT. O.C.
	ACCENT GROUND COVER- 12 IN HIGH BEGONIA RICHMONDENSIS LYSMACHIA	FORM- SPREADING GROUND COVER AFRICAN SUMAC 100% FLATS OR 4 IN, POTS MONEY WORT		Ð	HESPERALOE PARVIFOLIA MUHLENBERGIA RIGENS ENGELIA CALIFORNICA	ROSE DEER GRASS YELLOW DAISY	100% 5 GALLON	2-4 FT. O.C.
	SENECIO SP.	CHALK FINGERS		ŧ	UNCTION: ACCENT SHRUBS- 1-3 FT HEIGHT X WIDTH.		RASS OR ROSETTE	
	LIVING GROUND COVER- 12 TO 24 INCHES HIGH BACCHARIS 'PIEGON POINT' LANTANA SP.	FORM- SPREADING GROUND COVER DWARF COYOTE BUSH 100% FLATS OR ONE GALLON SPREADING LANTANA		0 ⁴⁰	PENNISETUM (NON INVASIVE VARIETY) ALOE SP. CALAMAGROSTIS SP. OTHER SUCCULENTS	FOUNTAIN GRASS ALOE KOREAN GRASS	100% 5 GALLON	2-4 FT. O.C.
	MYOPORUM PARVIFOLIUM	MYOPORUM			RACTION: CLIMBING VINES-	FORM- CL		
	NON LIVING GROUND COVER BARK MULCH DECORATIVE GRAVEL OR COBBLE MU DECOMPOSED GRANITE	FORM- GROUND COVER - 3 IN. MIN. DEPTH LCH			 PARTHENOCISSUS TRICUSPITATA FICUS PUMILA 	CLINGING IVY CREEPING FIG	100% 5 GALLON	4-b FT. 0.C.

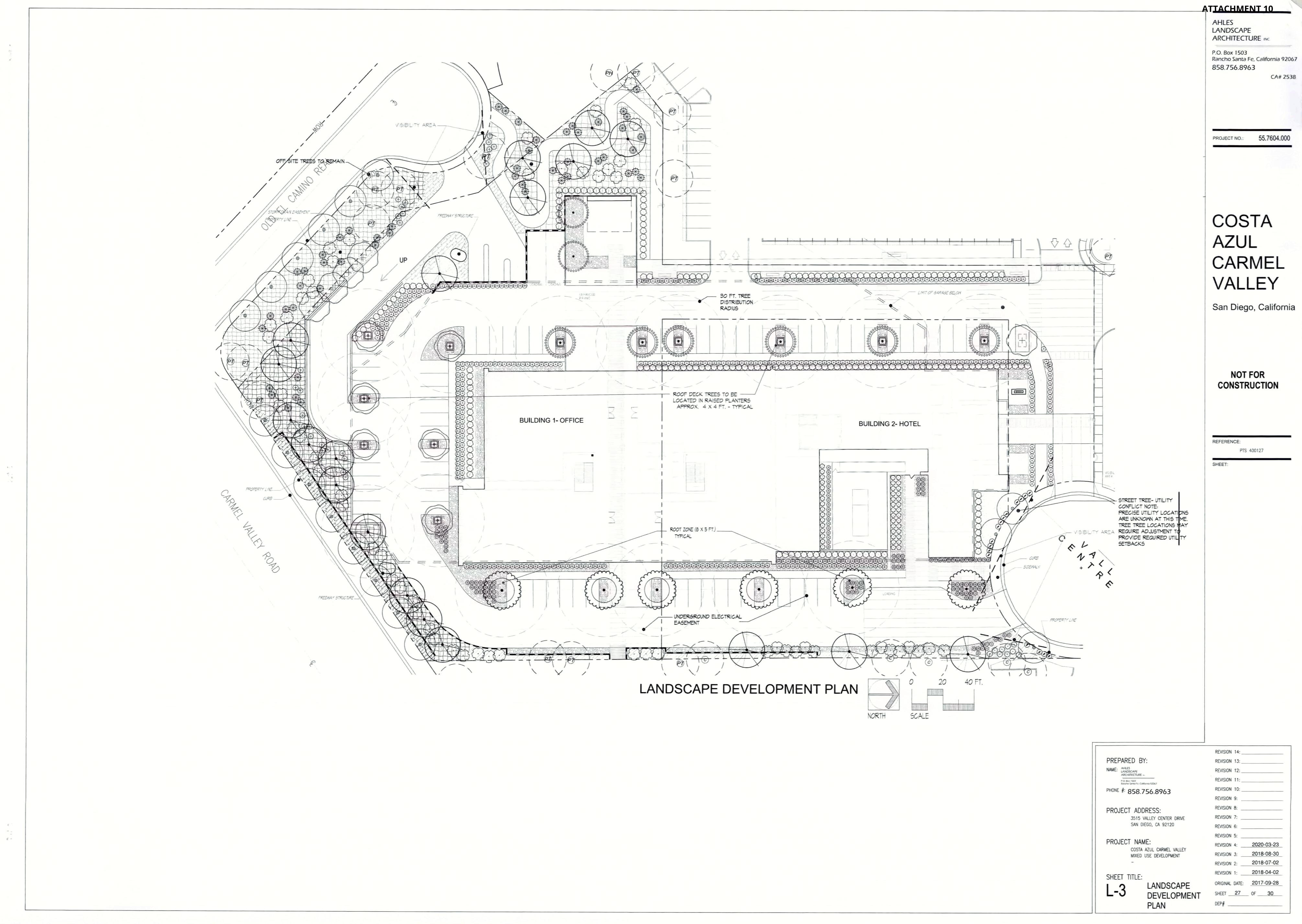
PLANTING NOTE

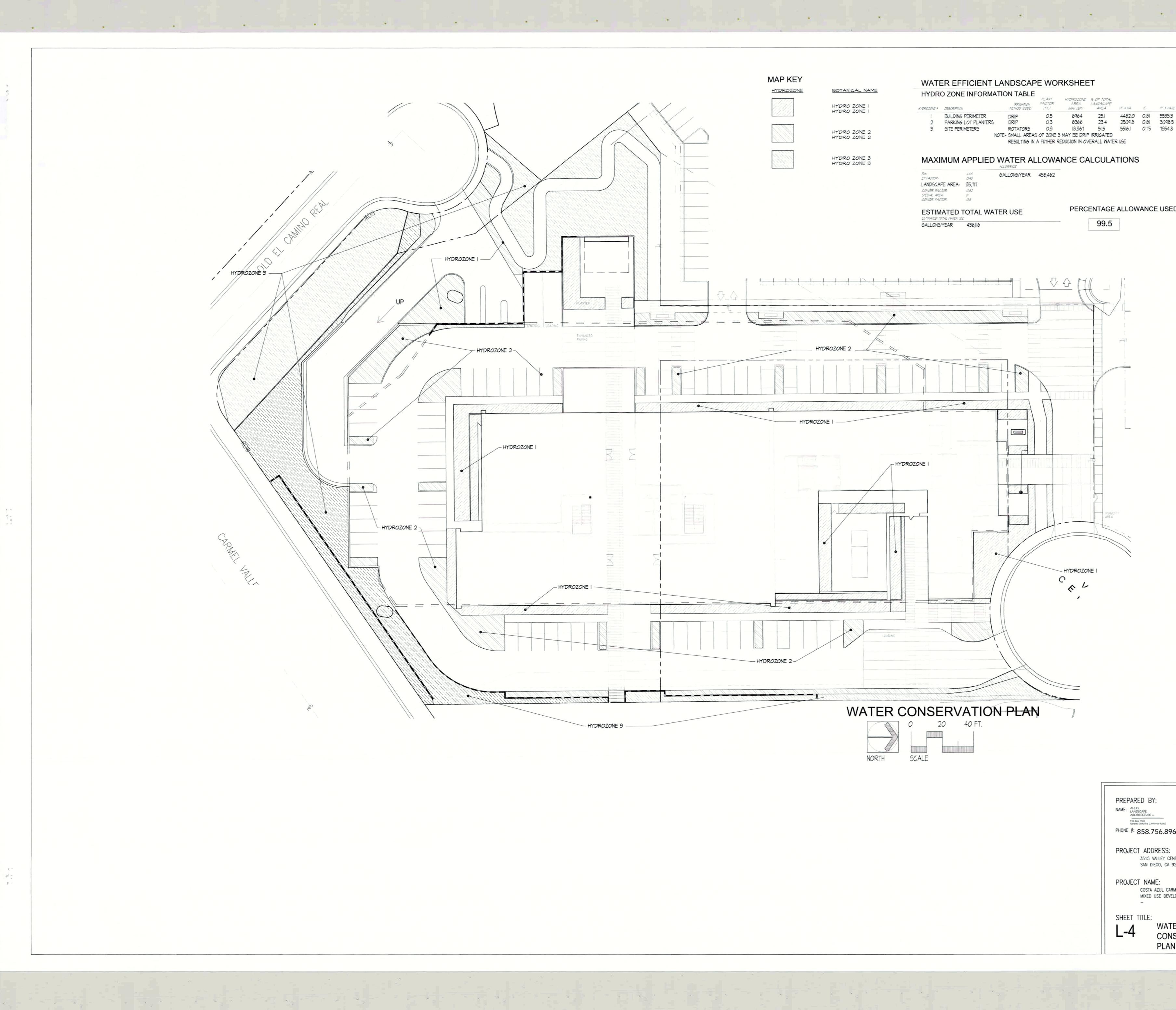
TREES LOCATED ABOVE THE PARKING GARAGE WILL BE LOCATED WITHIN RAISED PLANTERS PROVIDING MINIMUM REQUIRED ROOT ZONE TO A MINIMUM 36 INCH SOIL DEPTH NO EXISTING TREES ARE INCLUDED IN THE PLANT POINT CALCULATIONS

PREPARED BY: NAME: AHLES LANDSCAPE ARCHITECTURE == P.O. Box 1503 Bancho Santa Fe, California 52067 PHONE #: 858.756.8963 PROJECT ADDRESS: 3515 VALLEY CENTER DRI SAN DIEGO, CA 92120 PROJECT NAME: COSTA AZUL CARMEL VALL MIXED USE DEVELOPMENT -SHEET TITLE:

L-2

	ATTACHMENT 10
	AHLES
	P.O. Box 1503 Pancho Santa Fe, California 92067
	Rancho Santa Fe, California 92067 858.756.8963
	CA# 2538
	PROJECT NO.: 55.7604.000
-	
	00074
	COSTA
	AZUL
	CARMEL
	VALLEY
	San Diego, California
	NOT FOR CONSTRUCTION
	REFERENCE:
	PTS 400127
	SHEET:
	REVISION 14:
	REVISION 13:
	REVISION 11:
	REVISION 10: REVISION 9:
	REVISION 8:
RIVE	REVISION 7: REVISION 6:
	REVISION 5:
ILLEY	REVISION 4: 2020-03-23 REVISION 3: 2018-08-30
AT.	REVISION 2: 2018-07-02
	REVISION 1: 2018-04-02
EGEND	ORIGINAL DATE: 2017-09-28 SHEET 26 OF 30
	DEP#





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*2

2.97

42 7

12

2.00

	ATTACHMENT 10
	AHLES LANDSCAPE
	P.O. Box 1503
Æ	Rancho Santa Fe, California 92067 858.756.8963
3 5 3	CA# 2538
	PROJECT NO.: 55.7604.000
-	
D	
-	
	COSTA
	AZUL
	CARMEL
	VALLEY
	San Diego, California
	Gan Diego, Gamonia
	NOT FOR CONSTRUCTION
	Contraction
	REFERENCE:
	PTS 400127 SHEET:
	SHEET.
	REVISION 14:
	REVISION 13:
63	REVISION 11:
	REVISION 9:
NTER DRIVE 92120	REVISION 7:
	REVISION 5: REVISION 4:2020-03-23
RMEL VALLEY ELOPMENT	REVISION 3: 2018-08-30 REVISION 2: 2018-07-02
ER	REVISION 1: 2018-04-02 ORIGINAL DATE: 2017-09-28
ISERVATION	SHEET 28 OF 30
N	

LEGEND

UTILITIES
TRAFFIC SIGNAL
LIGHT POLE W/CONC. BASE 🕲 LP
STREET LIGHT
ELECTRIC PULL BOX D EPB
ELECTRIC VAULT
ELECTRIC TRANSFORMER
TRAFFIC SIGNAL PULL BOX
ELECTRIC LINE
STORM DRAIN MANHOLE D SDM
STORM DRAIN CURB INLET.
STORM DRAIN CLEAN-OUT O SDO

WATER METER
WATER SERVICE
WATER VALVE
FIRE HYDRANT FH
FIRE SERVICE o FS
IRRIGATION CONTROL BOX ICB
BACKFLOW PREVENTER BFP
WATER LINE
SEWER MANHOLE SSMH

SEWER	CLEAN OUT		•	•	•	•	•	•	o SCO
SEWER	LINE		,				•		—s—

ABBREVIATIONS

ASPHALT	ASPH
CONCRETE	CONC
STAND PIPE	SP
FIRE DEPARTMENT CONNECTION	FDC
FLAG POLE	FP
UTILITY BOX	UB

PROPERTY DATA

PROPERTY LINE/VTM BOUNDARY
OLD LOT LINE
EASEMENT LINE
INTERIOR LOT LINE
ACCESS RIGHTS RELINQUISHED
CENTER LINE
PRELIMINARY TITLE REPORT ITEM NUMBER FOR LOTS 3 AND 4 OF MAP NO. 11479 (1)
PRELIMINARY TITLE REPORT ITEM NUMBER FOR PARCEL 1 OF PARCEL MAP NO. 18337.

MONUMENTS

FOUND LEAD AND DISC STAMPED "LS 8211" PER CORNER RECORD NO. 26918, UNLESS OTHERWISE SHOWN INDICATES FOUND 3/4" IRON PIPE WITH PLASTIC PLUG STAMPED "LS 4324" PER MAP NO. 11479, UNLESS OTHERWISE SHOWN FOUND LEAD AND DISC STAMPED "LS 4324" PER PARCEL MAP NO. 18484 . . I FOUND 3/4" IRON PIPE WITH CAP STAMPED "LS 4324"

PER PARCEL MAP NO. 18484 INDICATES RECORD DATA PER MAP NO. 11479 ()

INDICATES RECORD DATA PER PARCEL MAP NO. 18484 (SEE SHEET 2). . []

IMPROVEMENTS

CHAIN LINK FENCE	
WALL AS INDICATED	-
CURB & GUTTER	3
GUARD POST	O GP
SIGN	5

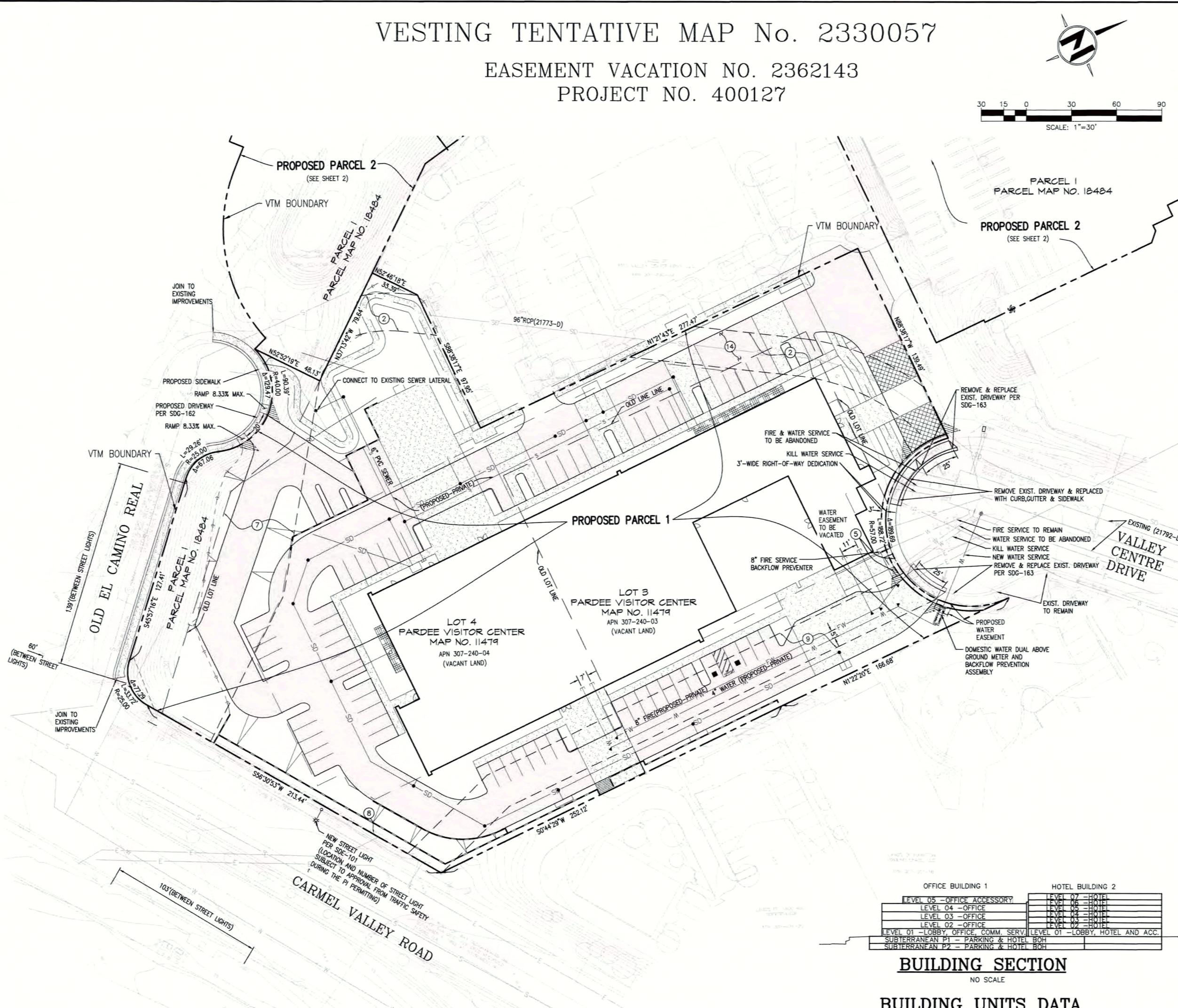
UTILITY TABLE

SERVICE	COMPANY	STATUS
TELEPHONE	AT&T	UNDERGROUND
ELECTRICITY	SDG&E	UNDERGROUND
GAS	SDG&E	UNDERGROUND
CABLE	COX	UNDERGROUND
WATER	CITY OF SD	UNDERGROUND
SEWER	CITY OF SD	UNDERGROUND

GENERAL NOTES

- SEE SHEET 2 FOR TITLE NOTES.
- ASSESSOR'S PARCEL NUMBERS: 307-240-03, 307-240-04 AND 307-240-14.
- TOTAL AREA OF PROPERTY = 9.890 ACRES, 430,790 SQUARE FEET.
- AREA OF PROPOSED PARCEL 1 = 3.217 ACRES 140,119 SQUARE FEET. AREA OF PROPOSED PARCEL 2 = 6.673 ACRES 290,671 SQUARE FEET.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. 5. FLOOD ZONE DATA OBTAINED FROM FEMA WEBSITE ON JULY 17, 2015: PANEL NO. 1336 OF 2375, MAP No. 06073C1336G, REVISED JULY 17, 2015. ZONE "X": AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- LAMBERT COORDINATES: 280–1695. CCS NAD 83 COORDINATES: 1920-6255.
- THERE ARE NO EXISTING BUILDINGS WITHIN THE PROPOSED PARCEL 1 OF THE SUBJECT PROPERTY.
- 8. AT THE TIME OF THE FIELD SURVEY THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 9. ZONING INFORMATION IN ACCORDANCE WITH TABLE A, ITEM 66 HAS NOT BEEN PROVIDED TO THE 17. IF A 3" OR LARGER METER IS REQUIRED FOR HIS PROJECT, THE OWNER PERMITEE UNDERSIGNED SURVEYOR BY THE INSURER AT THE TIME OF THIS SURVEY.
- 10. THERE ARE NO OVERHEAD UTILITY LINES ADJACENT TO THE PROJECT FRONTAGE.
- 11. SITE CONDITIONS SHOWN ON THIS SURVEY ARE THE RESULT OF A GROUND SURVEY BY: BWE/BURKETT & WONG ENGINEERS ON JULY 15 AND 16 OF 2015, AND DECEMBER 10 AND 12 OF 2019. DATE OF LAST SITE INSPECTION: DECEMBER 12, 2019.

- TOTAL OF THREE CONDOMINIUM UNITS.
- ZONING: CUPD-VC EXISTING NUMBER OF LOTS IS 3 PROPOSED NUMBER OF LOTS 2



12. BUILDING ADDRESSES: LOTS 3 AND 4 OF MAP 11479 = VACANT LAND, SAN DIEGO, CA. PARCEL 1 OF PARCEL MAP NO. 18484 = 11988 EL CAMINO REAL, SAN DIEGO, CA. 13. THE PURPOSE OF THIS TENTATIVE MAP IS TO CONSOLIDATE LOTS 3 AND 4 OF PARDEE VISITOR CENTER, MAP NO. 11479, TOGETHER WITH A PORTION OF PARCEL 1 OF PARCEL MAP NO. 18484 IN TO ONE LOT AND CREATE ONE HOTEL UNIT, ONE OFFICE UNIT AND ONE PARKING GARAGE UNIT, FOR A

14. A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE VESTING TENTATIVE MAP (VTM) IF APPROVED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE MARKED WITH DURABLE MONUMENTS.

16. ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

18. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY WATER AND SEWER FACILITIES.

OFFICE - BUI OFFICE CO LEVEL 05* 3,840 23,050 LEVEL 04 23,050 LEVEL 03 LEVEL 02 23,050 11,525 LEVEL 01 *ROOFTOP ACCESSORY

P1- S P2- 5 SURFA TOTAL REQUI

> *EXCLUDES ROOFTOP ACCESSORY *6,600 S.F. OF HOTEL B.O..H. IS LOCATED WITHIN THE PARKING STRUCTURE.

BUILDING UNITS DATA

ILDING 1		HOTEL - BUILDING 2						
DMM. SERVICES	TOTAL		HOTEL	ACCESSORY	TOTAL	UNITS/LEVEL		
0	3,840	LEVEL 07	8,652	0	8,652	16		
0	23,050	LEVEL 06	10,000	0	10,000	18		
0	23,050	LEVEL 05	11,800	0	11,800	21		
0	23,050	LEVEL 04	11,800	0	11,800	21		
11,525	23,050	LEVEL 03	11,800	0	11,800	21		
		LEVEL 02	11,800	0	11,800	21		
TOTAL:	96,040	LEVEL 01	8,400	3,400	11,800	10		
IVIAL.	30,040			TOTAL:	76,652	128		

PARKING TABULATIONS

OVERALL F	SUBTERRANEAN/ STRUCT. PARKING SF/CAR TABULATION				
	STANDARD	ACCESSIBLE	TOTAL	TOTAL/SF	SF/CAR
SUBTERRANEAN	177	8	185	69,543 SF	376
SUBTERRANEAN	198	0	198	69,543 SF	351
ACE	69	2	71	-	-
-	444	10	454	139,086 SF	

PROVIDED PARKING - 454 STALLS/ (168,852 GSF*/1,000) = 2.7

SURVEYORS STATEMENT

THE SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY PERFORMED IN JULY OF 2015 AND DECEMBER OF 2019. THE FIELD WORK WAS COMPLETED ON DECEMBER 12, 2019.

ADAM E. EISENBERG, L.S. 9096 DATE: 5/21/2020

ADAM E. EISENBERG No. 9096

↓Exp.

ENGINEER OF WORK

11-1+L

NOLAN HUELSMAN

DATE: 5-21-2020

OWNER/DEVELOPERS

RCE 75442

CARMEL VALLEY CENTRE DRIVE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY. andrew Hunter Alli-NAME: AWAREN HUNTER OLIVER TITLE: MANABING MEMBER DATE: 5-26-2020

TITLE: DATE: 7/2/20

LEGAL DESCRIPTION

LOTS 3 AND 4 OF THE PARDEE VISITOR CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11479, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1986, TOGETHER WITH PARCEL 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARCEL MAP NO. 18484, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 2, 2000.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE WESTERLY LINE OF LOT 4 AS SHOWN ON MAP NO. 11479. I.E. N 1'21'43" E

BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS A BRASS PLUG AT THE NORTHEAST CURB RETURN OF EL CAMINO REAL AND CARMEL VIEW ROAD, ON TOP OF A STORM DRAIN INLET, PER THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK

ELEVATION = 55.345' (M.S.L.) UTILITY NOTE

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. THE DEPICTED LOCATIONS, SIZES AND TYPES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE RECORD DRAWINGS AND/OR ACTUAL AS-BUILT LOCATIONS. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

BWE AND THE UNDERSIGNED LAND SURVEYOR MAKE NO CLAIM AS TO THE ACCURACY OF UNDERGROUND UTILITIES SHOWN HEREON. THE USER OF THIS SURVEY IS RECOMMENDED TO CONDUCT INDEPENDENT PHYSICAL INSPECTION OF EACH UNDERGROUND UTILITY PRIOR TO EXCAVATION OR CONSTRUCTION.

REFERENCE DRAWINGS

THE FOLLOWING IS A LIST OF REFERENCE DRAWINGS USED IN THE PREPARATION OF THIS SURVEY AND ITS DEPICTION OF ANY UNDERGROUND OR SURFACE EVIDENT UTILITY:

1. CITY OF SAN DIEGO WATER AND WASTE WATER DEPARTMENT DRAWING, UNTITLED AND UNDATED SAN DIEGO GAS AND ELECTRIC COMPANY GAS ASSET MAP NO. 15667-11955, DATED JUNE 25, 2019. 3. SAN DIEGO GAS AND ELECTRIC COMPANY ELECTRIC ASSET MAP NO. 15667-11955, DATED JUNE 25, 2019

ANY USER OF THIS SURVEY IS HEREBY CAUTIONED TO THE FACT THE ABOVE LIST MAY NOT BE A COMPLETE LIST OF ALL AVAILABLE REFERENCE DRAWINGS, RECORD DRAWINGS, UTILITY DRAWINGS OR OTHER SOURCES OF INFORMATION. IN THE EVENT A REFERENCE DRAWINGS, RECORD DRAWINGS, UTILITY DRAWINGS OR OTHER SOURCES OF INFORMATION IS DISCOVERED, PROVIDED OR PRODUCED BY ANY OWNER, ENGINEER, SURVEYOR, CONTRACTOR, OR OTHER USER OF THIS SURVEY PRODUCT, THE UNDERSIGNED SURVEYOR RESERVES THE RIGHT TO PERFORM REVISIONS, CORRECTIONS OR AMENDMENTS TO THIS SURVEY WITHOUT ANY USER OR OWNER LITIGIOUS ACTION.

CONDOMINIUM NOTE

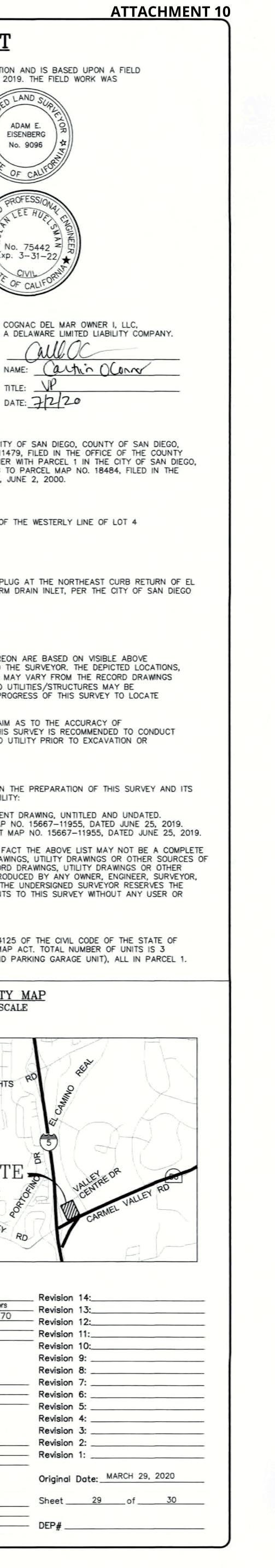
THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF UNITS IS 3 COMMERCIAL UNITS. (ONE OFFICE UNIT, ONE HOTEL UNIT AND PARKING GARAGE UNIT), ALL IN PARCEL 1. THERE ARE NO RESIDENTIAL UNITS PROPOSED.

> VICINITY MAP NO SCALE

MAD HEIGHT SITT LEY RD Prepared By Name: Structural & Civil Engineers and Surveyors Address: 9449 Balboa Avenue, Suite 270 San Diego, CA. 92123 Phone #: (619) 299-5550 Project Address: VACANT LAND SAN DIEGO, CALIFORNIA Project Name: COSTA AZUL TENTATIVE MAP

Sheet Title:

VESTING TENTATIVE MAP



TITL	TLE NOTES FOR LOTS 3 AND 4 OF MAP 11479		
EFF	ORT PREPARED BY CHICAGO TITLE COMPANY, ORDER NO. 00111642-996-SD1-RT4, ECTIVE DATE OF FEBRUARY 28, 2020. CIRCLED ITEM NUMBERS ARE PLOTTED ON SHEET 1.		
1.	THE EFFECTS OF AN AGREEMENT ENTITLED "PARDEE NORTH CITY WEST AGREEMENT", DATED SEPTEMBER 12, 1983, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED OCTOBER 6, 1983 AS INSTRUMENT NO. 83-359578 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, TERMS AND PROVISIONS FOR THE DEVELOPMENT OF THE SUBJECT PROPERTY FOR RESIDENTIAL, INDUSTRIAL AND COMMERCIAL USES, TOGETHER WITH PUBLIC SERVICES, PUBLIC USES AND URBAN INFRASTRUCTURE. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		<u>ISTING 1</u> RCEL 1,
2.	THE EFFECTS OF AN EASEMENT FOR A PUBLIC DRAIN OR DRAINS GRANTED TO THE CITY OF SAN DIEGO, RECORDED MAY 9, 1985 AS INSTRUMENT NO. 85-163612 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, A PERMANENT EASEMENT AND RIGHT-OF-WAY TO CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE AND	BY	EMENTS SHOWN (CHICAGO TITLE C /EMBER 15, 2019.
	REPAIR A PUBLIC DRAIN OR DRAINS. INCLUDING ALL APPURTENANCES THERETO, RESERVING UNTO THE GRANTOR, HEIRS AND ASSIGNS, THE CONTINUED USE OF THE LAND WITHIN SAID EASEMENT AREA, WITH SUBJECT TO THE RESTRICTION OF ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES AND OTHER STRUCTURES, THE PLANTING AND GROWING OF TREES, THE CHANGING OF THE SURFACE GRADE, AND THE INSTALLATION OF PRIVATELY	(1.)	ACCESS RIGHTS AS INSTRUMENT SUBJECT DOCUM
	OWNED PIPELINES IS PROHIBITED, EXCEPT BY WRITTEN PERMISSION OF THE CITY OF SAN DIEGO. SAID EASEMENT AFFECTS THE SUBJECT PROPERTY AND HAS BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	2	ACCESS RIGHTS 1963 AS INSTRU
3.	THE EFFECTS OF AN AGREEMENT ENTITLED "LAGOON ENHANCEMENT AND COVENANT" BY AND BETWEEN PARDEE CONSTRUCTION COMPANY AND THE STATE COASTAL CONSERVANCY, DATED JULY 18, 1985, RECORDED AUGUST 5, 1985 AS INSTRUMENT NO. 85-280431 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, TERMS AND PROVISIONS FOR RESIDENTIAL AND NON-RESIDENTIAL DEVELOPMENT, AS WELLS AS THE ENHANCEMENT OF THE LOS PENASQUITOS LAGOON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	\bigcirc	AN EASEMENT F DOCUMENT RECO RECORDS. REFE
4.	THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT RECORDED AUGUST 5, 1985 AS INSTRUMENT NO. 85-0280432 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, TERMS AND PROVISIONS FOR THE CONSTRUCTION AND INSTALLATION OF A DETENTION BASIN FOR THE PURPOSES OF CONTROLLING THE RUN-OFF OF WATER. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	107	AN EASEMENT F INGRESS AND E OCTOBER 23, 19
5.)	THE EFFECTS OF A WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER MAP NO. 11479, RECORDED APRIL 2, 1986, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING WATER FACILITIES, RESERVING, HOWEVER, TO THE OWNER OF THE FEE OF UNDERLYING SAID EASEMENT, THE CONTINUED USE OF THE SURFACE OF THE LAND WITHIN	(11.)	EASEMENTS FOR GRANTED TO TH
	SAID EASEMENT ARE SUBJECT TO THE FOLLOWING CONDITIONS: THE ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES, AND OTHER STRUCTURES, OR THE PLANTING OR GROWING OF TREES OR SHRUBS, OR CHANGING OF THE SURFACE GRADE, OR THE INSTALLATION OF PRIVATELY OWNED PIPELINES, SHALL BE PROHIBITED UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY OF SAN DIEGO. SAID EASEMENT AFFECTS THE SUBJECT PROPERTY AND HAS BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.	13)	THE SUBJECT M EASEMENT FOR SAN DIEGO GAS INSTRUMENT NO
6.	THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF RETENTION BASIN AREA" RECORDED FEBRUARY 18, 1983 AS INSTRUMENT NO. 83-054132 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, CERTAIN PROVISIONS FOR THE MAINTENANCE OF DETENTION BASINS WITHIN LOT 7, OF MAP 10394 AND LOT 1, MAP 11479.	15)	EASEMENT FOR RECORDED SEPT RECORDS, REFER
	SAID COVENANTS, CONDITIONS, AND RESTRICTIONS WERE EXTENDED TO INCLUDE THE SUBJECT PROPERTY CONTAINED IN A DOCUMENT RECORDED APRIL 18, 1986 AS INSTRUMENT NO. 86-150935 OF OFFICIAL RECORDS, AND MODIFIED BY A DOCUMENT RECORDED JUNE 4, 1986 AS INSTRUMENT NO. 86-223035 OF OFFICIAL RECORDS. THE LOCATION OF SAID DETENTION BASINS HAVE NOT BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	创	EASEMENT FOR THE CITY OF SA INSTRUMENT NO SUBJECT DOCUM
7.)	THE EFFECTS OF AN EASEMENT FOR WATER, SEWER, DRAINAGE AND PUBLIC UTILITIES, RESERVED BY THE CITY OF SAN DIEGO, WITHIN THE GRAND DEED RECORDED OCTOBER 23, 1985 AS INSTRUMENT NO. 85–393883 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, THE RESERVATION OF SAID EASEMENT ALONG WITH A THE PROHIBITION OF THE ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES AND OTHER STRUCTURES, PLANTING OR GROWING OF TREES, THE CHANGING OF THE SURFACE GRADE AND THE INSTALLATION OF PRIVATELY	20)	EASEMENT FOR THE CITY OF SA NO. 1993-05250 DOCUMENT FOR
\sim	OWNED PIPELINES, UNLESS APPROVED BY WRITTEN PERMISSION FROM THE GRANTOR. THE LIMITS OF SAID RESERVATION HAVE BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	22	PRIVATE RECIPR NO. 1997-0300 DOCUMENT FOR
(8.)	THE EFFECTS OF ABUTTER'S RIGHTS OF ACCESS IN AND TO CARMEL VALLEY ROAD WAIVED AND RELINQUISHED PER MAP NO. 11479, RECORDED APRIL 2, 1986. THE LIMITS OF SAID RELINQUISHMENT HAVE BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.	24)	WATER EASEMEN 18337. REFEREN
9.)	THE EFFECTS OF AN EASEMENT AND RIGHT OF WAY FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, TOGETHER WITH EACH AND EVERY INCIDENTAL RIGHT DESCRIBED WITHIN THE DOCUMENT RECORDED JUNE 17, 1986 AS INSTRUMENT NO. 86-0243093 OF OFFICIAL RECORDS.	31	PRIVATE EASEME 2015-0485466 DOCUMENT FOR
	"PARCEL 4" OF SAID EASEMENT DOCUMENT IS BLANKET IN NATURE (AFFECTING LOTS 3 AND 4 OF PARDEE VISITOR CENTER ACCORDING TO MAP NO. 11479), WHILE "PARCEL 8" OF SAID DOCUMENT IS PLOTTABLE AND SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		ISTING N
10.	THE EFFECTS OF AN AGREEMENT ENTITLED "AGREEMENT FOR THE EXTENSION OF CABLE TELEVISION FACILITIES" BY AND BETWEEN AMERICAN TELEVISION AND COMMUNICATIONS CORPORATION, DBA SOUTHWESTERN CABLE T.V., AND PARDEE CONSTRUCTION COMPANY, DATED FEBRUARY 14, 1986, RECORDED JULY 29, 1986 AS INSTRUMENT NO. 86-315072 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, THE RIGHT TO ACCESS, CONSTRUCT AND OPERATE CABLE TELEVISION FACILITIES. SAID EASEMENT IS BLANKET IN NATURE AND AFFECTS THE SUBJECT PROPERTY AS SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	<u>ГА</u> 23.	RCEL 1, EASEMENT FOR DOCUMENT RECO RECORDS, SAID LEGAL DESCRIPT
11.	THE EFFECTS OF A COVENANT AND AGREEMENT EXECUTED BY PARDEE CONSTRUCTION COMPANY IN FAVOR OF THE CITY OF SAN DIEGO, RECORDED SEPTEMBER 19, 1991 AS INSTRUMENT NO. 91-0482445 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.	29.	PARTICULARS. PRIVATE RECIPRO 2000-0024257
12.	THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF THE VISITOR CENTER" RECORDED DECEMBER 19, 1991 AS INSTRUMENT NO. 91-660587 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, THE REGULATION OF OPERATIONS AND USES FOR THE SUBJECT PROPERTY. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		LACK OF A RET
(13)	THE EFFECTS OF AN AGREEMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT", DATED OCTOBER 11, 1991, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED JANUARY 9, 1992 AS INSTRUMENT NO. 92-012287 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, PERMISSION TO INSTALL AND MAINTAIN A PRIVATE 18" PVC STORM DRAIN PIPE WITHIN A PUBLIC DRAINAGE EASEMENT. THE APPROXIMATE LOCATION OF THE PERMITTED ENCROACHMENT APPEARS TO LIE OUTSIDE OF THE SUBJECT PROPERTY SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		
14.)	THE EFFECTS OF AN AGREEMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT", DATED DECEMBER 17, 1991, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED MARCH 3, 1992 AS INSTRUMENT NO. 92-0116308 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, A PRIVATE 8" PVC FIRE SERVICE, 4" PVC WATER SERVICE, 6" PVC SEWER AND A PRIVATE POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION WITHIN A PUBLIC DRAINAGE EASEMENT. THE APPROXIMATE LOCATION OF THE PERMITTED ENCROACHMENT IS SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		
15.	THE EFFECTS OF AN EASEMENT FOR UNDERGROUND FACILITIES AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, PIPELINES AND APPURTENANCES FOR ANY AND ALL PURPOSES AND COMMUNICATION FACILITIES AND APPURTENANCES, GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED MARCH 4, 1992 AS DOCUMENT NO. (INSTRUMENT NO.) 1992-0119586 OF OFFICIAL RECORDS. EASEMENT IS NON-PLOTTABLE DUE TO THE LACK OF A TRACEABLE LEGAL DESCRIPTION AND HAS NOT BEEN SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		
16.	THE EFFECTS OF AN EASEMENT GRANTED TO PACIFIC BELL PER DOCUMENT RECORDED MARCH 8, 1993 AS INSTRUMENT NO. 93-0142504 OF OFFICIAL RECORDS. EASEMENT IS NON-PLOTTABLE DUE TO THE LACK OF A TRACEABLE LEGAL DESCRIPTION AND HAS NOT BEEN SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		
(17.)	THE EFFECTS OF AN AGREEMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT", DATED JUNE 9, 1997, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED JUNE 13, 1997 AS DOCUMENT NO. 1997-0277732 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, PERMISSION TO INSTALL AND MAINTAIN A STORM DRAIN PIPE WITHIN A GENERAL UTILITY EASEMENT. THE APPROXIMATE LOCATION OF THE PERMITTED ENCROACHMENT APPEARS TO LIE OUTSIDE OF THE SUBJECT PROPERTY SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		
18.	THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED APRIL 29, 2014 AS DOCUMENT NUMBER 2014-0171007 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, PROVISIONS FOR USE AND MAINTENANCE OF THE SUBJECT PROPERTY. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.		
19.	THE EFFEECTS OF MATTER CONTAINED IN A DOCUMENT ENTITLED "EASEMENT AGREEMENT" DATED SEPTEMBER 4, 2015, MADE BY AND BETWEEN COGNAC DEL MAR OWNER I, LLC AND CARMEL VALLEY CENTRE DRIVE, LLC, RECORDED SEPTEMBER 15, 2015 AS DOCUMETN NO. 2015-0485466 OF OFFICIAL RECORDS. SAID EASEMENT OF SAID AGREEMENT		

20. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

DOCUMENT FOR FULL PARTICULARS.

IS LOCATED OUTSIDE THE SUBJECT PROPERTY AND IS NOT SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT

4. 4

VESTING TENTATIVE MAP No. 2330057 EASEMENT VACATION NO. 2362143 PROJECT NO. 400127

G EASEMENTS OF , PARCEL MAP 18484

OWN ON THIS SURVEY CORRESPOND TO THE PRELIMINARY REPORT PREPARED LE COMPANY, ORDER NO. 00121021-993-SD2-CFU, EFFECTIVE DATE OF

IGHTS WAIVED AND RELINQUISHED PER DOCUMENT RECORDED OCTOBER 3, 1961 MENT NO. 1961-171608 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE DOCUMENT FOR FULL PARTICULARS.

IGHTS WAIVED AND RELINQUISHED PER DOCUMENT RECORDED DECEMBER 4, INSTRUMENT NO. 215601 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE DOCUMENT FOR FULL PARTICULARS.

ENT FOR PUBLIC DRAINS GRANTED TO THE CITY OF SAN DIEGO PER RECORDED MAY 9, 1985 AS INSTRUMENT NO. 85-163612 OF OFFICIAL REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.

IENT FOR WATER, SEWER, DRAINAGE, AND PUBLIC UTILITIES WITH RIGHTS OF AND EGRESS GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED 23, 1985 AS INSTRUMENT NO. 85-393883 OF OFFICIAL RECORDS. REFERENCE. O THE SUBJECT DOCUMENT FOR FULL PARTICULARS.

FOR WATER, DRAINAGE, GENERAL UTILITIES AND BUILDING RESTRICTION TO THE CITY OF SAN DIEGO PER MAP NO. 11479. REFERENCE IS MADE TO CT MAP FOR FULL PARTICULARS.

FOR PUBLIC UTILITIES WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO GAS AND ELECTRIC PER DOCUMENT RECORDED JUNE 17, 1986 AS T NO. 86-243093 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE OCUMENT FOR FULL PARTICULARS.

FOR PUBLIC UTILITIES GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT SEPTEMBER 16, 1986 AS INSTRUMENT NO. 86-408212 OF OFFICIAL REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.

FOR PUBLIC DRAINS WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO OF SAN DIEGO PER DOCUMENT RECORDED FEBRUARY 22, 1990 AS T NO. 90-096166 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE OCUMENT FOR FULL PARTICULARS.

FOR WATER FACILITIES WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO OF SAN DIEGO PER DOCUMENT RECORDED AUGUST 12, 1993 AS INSTRUMENT 0525058 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT FOR FULL PARTICULARS.

ECIPROCAL ACCESS EASEMENT RECORDED JUNE 26, 1997 AS INSTRUMENT 0300185 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT FOR FULL PARTICULARS.

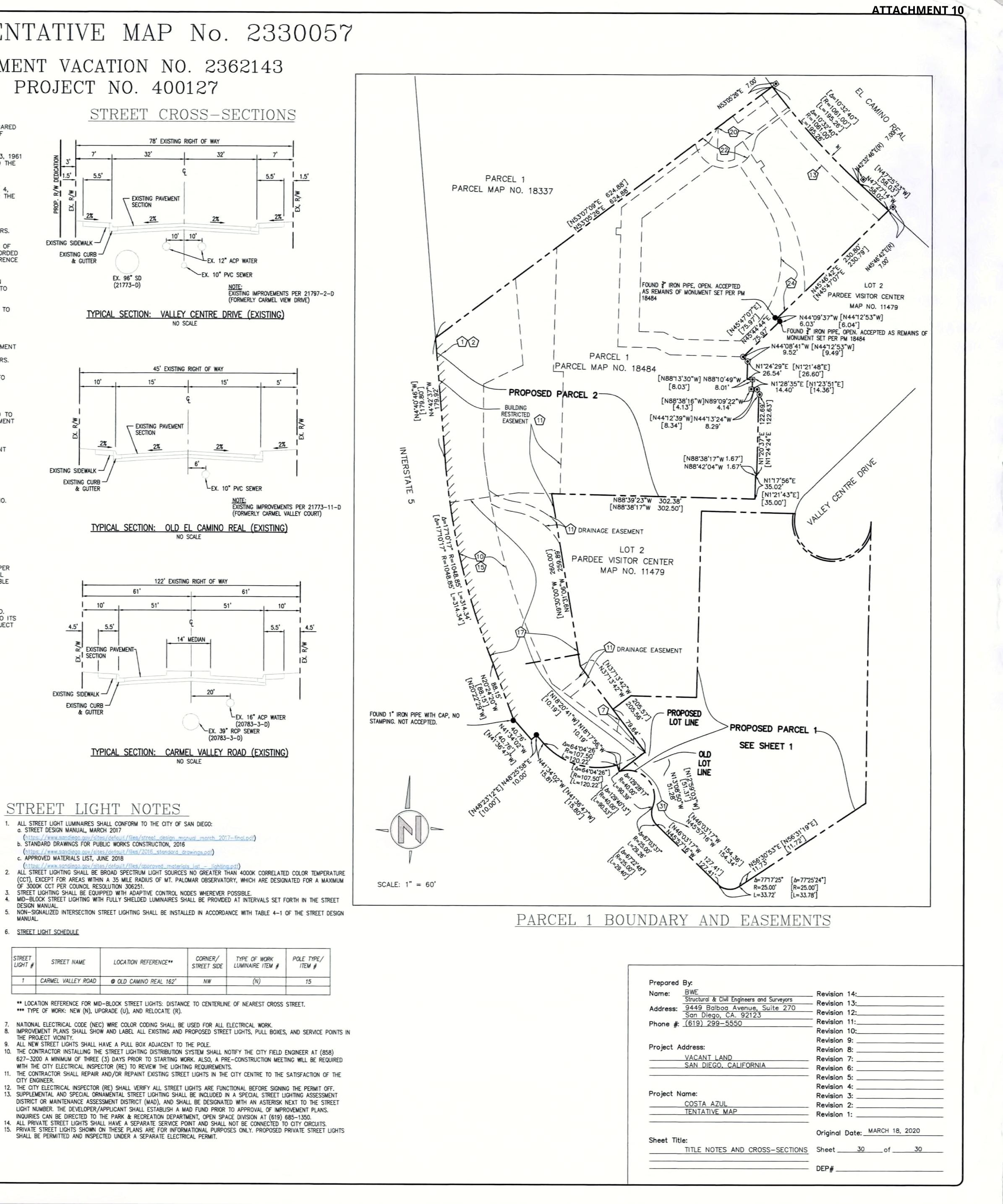
SEMENT DEDICATED TO THE CITY OF SAN DIEGO PER PARCEL MAP NO. ERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.

SEMENT AGREEMENT RECORDED SEPTEMBER 4, 2015 AS INSTRUMENT NO. 5466 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT FOR FULL PARTICULARS.

NON-PLOTTABLE EASEMENTS OF PARCEL MAP 18484

FOR ELECTRIC FACILITIES GRANTED TO SAN DIEGO GAS AND ELECTRIC PER RECORDED JUNE 17, 1986 AS INSTRUMENT NO. 86-243093 OF OFFICIAL SAID EASEMENT IS NON-PLOTTABLE DUE TO ITS LACK OF A RETRACEABLE CRIPTION. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL

ECIPROCAL EASEMENT RECORDED JANUARY 14, 2000 AS INSTRUMENT NO. \$257 OF OFFICIAL RECORDS. SAID EASEMENT IS NON-PLOTTABLE DUE TO ITS RETRACEABLE LEGAL DESCRIPTION. REFERENCE IS MADE TO THE SUBJECT FOR FULL PARTICULARS.



STREET LIGHT NOTES

1. ALL STREET LIGHT LUMINAIRES SHALL CONFORM TO THE CITY OF SAN DIEGO:

- ps://www.sandiego.gov/sites/default/files/street_design_manual_march_2017-final.pdf)
- https://www.sandiego.gov/sites/default/files/2016_standard_drawings.pdf)
- c. APPROVED MATERIALS LIST, JUNE 2018
- 2. ALL STREET LIGHTING SHALL BE BROAD SPECTRUM LIGHT SOURCES NO GREATER THAN 4000K CORRELATED COLOR TEMPERATURE OF 3000K CCT PER COUNCIL RESOLUTION 306251.
- 4. MID-BLOCK STREET LIGHTING WITH FULLY SHIELDED LUMINAIRES SHALL BE PROVIDED AT INTERVALS SET FORTH IN THE STREET DESIGN MANUAL.
- MANUAL.

STREET LIGHT SCHEDULE

STREET. LIGHT #	STREET NAME	LOCATION REFERENCE**	CORNER/ STREET SIDE	TYPE OF WORK LUMINAIRE ITEM #	POLE TYPE ITEM #
1	CARMEL VALLEY ROAD	OLD CAMINO REAL 162'	NW	(N)	15

*** TYPE OF WORK: NEW (N), UPGRADE (U), AND RELOCATE (R).

- 8. IMPROVEMENT PLANS SHALL SHOW AND LABEL ALL EXISTING AND PROPOSED STREET LIGHTS, PULL BOXES, AND SERVICE POINTS THE PROJECT VICINITY.
- 10. THE CONTRACTOR INSTALLING THE STREET LIGHTING DISTRIBUTION SYSTEM SHALL NOTIFY THE CITY FIELD ENGINEER AT (858) 627-3200 A MINIMUM OF THREE (3) DAYS PRIOR TO STARTING WORK. ALSO, A PRE-CONSTRUCTION MEETING WILL BE REQUIRED WITH THE CITY ELECTRICAL INSPECTOR (RE) TO REVIEW THE LIGHTING REQUIREMENTS.
- 11. THE CONTRACTOR SHALL REPAIR AND/OR REPAINT EXISTING STREET LIGHTS IN THE CITY CENTRE TO THE SATISFACTION OF THE CITY ENGINEER. 12. THE CITY ELECTRICAL INSPECTOR (RE) SHALL VERIFY ALL STREET LIGHTS ARE FUNCTIONAL BEFORE SIGNING THE PERMIT OFF.
- 13. SUPPLEMENTAL AND SPECIAL ORNAMENTAL STREET LIGHTING SHALL BE INCLUDED IN A SPECIAL STREET LIGHTING ASSESSMENT DISTRICT OR MAINTENANCE ASSESSMENT DISTRICT (MAD), AND SHALL BE DESIGNATED WITH AN ASTERISK NEXT TO THE STREET LIGHT NUMBER. THE DEVELOPER/APPLICANT SHALL ESTABLISH A MAD FUND PRIOR TO APPROVAL OF IMPROVEMENT PLANS. INQUIRIES CAN BE DIRECTED TO THE PARK & RECREATION DEPARTMENT, OPEN SPACE DIVISION AT (619) 685-1350.
- 14. ALL PRIVATE STREET LIGHTS SHALL HAVE A SEPARATE SERVICE POINT AND SHALL NOT BE CONNECTED TO CITY CIRCUITS. 15. PRIVATE STREET LIGHTS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. PROPOSED PRIVATE STREET LIGHT SHALL BE PERMITTED AND INSPECTED UNDER A SEPARATE ELECTRICAL PERMIT.

	Prepared By:	
	Name: BWE Structural & Civil Engineers and Surveyors	Revisio
	Address: 9449 Balboa Avenue, Suite 270	- Revision
	San Diego, CA. 92123	- Revision Revision
	Phone #: (619) 299-5550	Revision
S IN		Revision
	Project Address:	Revision
D	VACANT LAND	Revision
	SAN DIEGO, CALIFORNIA	Revision
E		Revision
		Revision
	Project Name:	Revision
	COSTA AZUL	Revision
	TENTATIVE MAP	Revision
TS		Original
	Sheet Title:	.
	TITLE NOTES AND CROSS-SECTIONS	Sheet_
		050 /
		DEP# _

CARMEL VALLEY COMMUNITY PLANNING BOARD

Attn: Allen Kashani, CVCPB Secretary 13400 Sabre Springs Pkwy, Ste. 200 San Diego CA 92128 858-794-2571 / Fax: 858-794-2599

April 27, 2018

Glenn Gargas, AICP, Project Manager CITY OF SAN DIEGO Development Services Department 1222 First Ave. San Diego, CA 92101

Re: Costa Azul Mixed Use Project #: 400127

Dear Glenn:

The Carmel Valley Community Planning Board (CVCPB) reviewed the Costa Azul Mixed Use project on April 26, 2018.

The applicant presented a project that addressed the comments and concerns that the board had submitted in our October 16, 2017 letter. The following points were acceptable to the board:

- 1. The project addressed our height increase concerns by documenting that they had offset the height increase by reducing in other places. It appears that there is an approximately 50/50 ratio.
- 2. They had taken our comments and strong concerns about cohesiveness with the adjacent Carmel Valley Hotel. By working with our board and the adjacent developer they have designed a common plaza-like landscaped area, developed pedestrian connectivity and extended landscaping to reduce the impact of parking.
- 3. They have redesigned the project to mitigate our straightforward concerns of the earlier box-like building and boring elevations lacking building 3-dimensionality.
- 4. They have addressed our landscaping comments and designed inviting public places and pathways. They have committed to extend the landscaping along Valley Center to El Camino Real if the impacted property owners will allow the landscape enhancements.

Glenn Gargas, AICP, Project Manager April 27, 2018 pg. 2

The CVCPB considered the abovementioned project as presented responding to our concerns and comments. The board unanimously approved the project by a vote of 10-0 by the following motion:

The CVCPB supports the Costa Azul project as presented with the requirement that wayfinding signage will be provide so that bicyclists and pedestrians will know that the internal pathways connect to public pathways.

Sincerely, Carmel Valley Community Planning Board

Frisco White, AIA Chair

ATTACHMENT 12

1222 First	ent Šervices Ave., MS-302 , CA 92101	Ow	nership Disclosure Statement
│ Neighborhood Development P │ Variance │ Tentative Map │	ermit C Site Development Perr	nit KPlanned Development Par	nit Coastal Development Permit nit Conditional Use Permit ment • Other
Project Title COSTA A	ZUL MIXED	USE	Project No. For City Use Only 400127
Project Address: 3515 Valley	Centre Dr.	, Son Diego, C	A 92130
art I - To be completed when	property is held by Individu	al(s)	
dividuals who own the property). om the Assistant Executive Directo evelopment Agreement (DDA) has lanager of any changes in owners e Project Manager at least thirty formation could result in a delay in	A signature is required of at least or of the San Diego Redevelopme is been approved / executed by the hip during the time the application days prior to any public hearing the hearing process.	one of the property owners. Atta nt Agency shall be required for all he City Council. Note: The applic is being processed or considered on the subject property. Failure t	tenants who will benefit from the permit, all ch additional pages if needed. A signature project parcels for which a Disposition and cant is responsible for notifying the Project . Changes in ownership are to be given to to provide accurate and current ownership
	Redevelopment Agency	Name of Individual (type	
treet Address		Street Address:	
itv/State/7in V		City/State/Zip:	
hong No: U	Fax No:	Phone No:	Fax No:
ignature :	Date:	Signature :	Date:
lame of Individual (type or prin	t):	Name of Individual (type	e or print):
Owner Tenant/Lessee	Redevelopment Agency	Owner Tenant/L	essee 🔽 Redevelopment Agency
treet Address:		Street Address:	
ity/State/Zip:		City/State/Zip:	
hone No:	Fax No:	Phone No:	Fax No:
ignature :	Date:	Signature :	Date:

Printed on recycled paper. Visit our web site at <u>www.sandiego.gov/development-services</u> Upon request, this information is available in alternative formats for persons with disabilities.

ATTACHMENT 12

COSTA AZUL MIXED USE	Project No. (For City Use Only) 400127
Part II - To be completed when property is held by a corporat	ion or partnership
Legal Status (please check):	
└─ Corporation 反 Limited Liability -or-	e? <u>CA</u> Corporate Identification No. <u>46-500 41</u> 70
the property Please list below the names, titles and addresses o	subject property with the intent to record an encumbrance against f all persons who have an interest in the property, recorded or no will benefit from the permit, all corporate officers, and all partners of at least one of the corporate officers or partners who own the is responsible for notifying the Project Manager of any changes in onsidered. Changes in ownership are to be given to the Project oject property. Failure to provide accurate and current ownership
Corporate/Partnership Name (type or print): CARNEL VALLEY DENTE DRNE, U.C.	Corporate/Partnership Name (type or print):
Owner C Tenant/Lessee	Owner Tenant/Lessee
Street Address: 7969 Engineer Rd, #108	Street Address:
City/State/Zip: Son Dilego CA 92111	City/State/Zip:
Phone No: Fax No: SS -4DS 9846	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print): ANDREW HUNTER OLIVER	Name of Corporate Officer/Partner (type or print):
Title (type or print): That Qie 12/1/14	Title (type or print):
Signature : Date:	Signature : Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature : Date:	Signature : Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature : Date:	Signature : Date: