



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: September 2, 2021

REPORT NO. PC-21-035

HEARING DATE: September 9, 2021

SUBJECT: T-MOBILE BAY POINT APARTMENTS Process Four Decision

PROJECT NUMBER: [678588](#)

OWNER/APPLICANT: 700 Bay Pointe, LLC, Owner / Delilah Bruzee, Applicant

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility located at 3910 Ingraham Street within the Pacific Beach Community Planning area?

Staff Recommendation:

1. APPROVE Conditional Use Permit Approval No. 2539308 and Planned Development Permit Approval No. 2539310.

Community Planning Group Recommendation: On June 9, 2021, the Pacific Beach Community Planning Group has voted 14-0-0 to approve the project without conditions (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made July 16, 2021 and the opportunity to appeal that determination ended July 30, 2021.

Fiscal Impact Statement: All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: This project application is for a Wireless Communication Facility and is not associated with residential development.

BACKGROUND

The project proposes the continued use of an existing T-Mobile Wireless Communication Facility (WCF) located at 3910 Ingraham Street on a 12-acre site encompassing the Bay Pointe Apartments. The site is zoned RM-3-7 (Residential-Multiple Unit) within the Pacific Beach Community Plan. The project site is currently developed with a multi-family housing complex that includes 505 multi-family units, swimming pool and passive landscape areas. Land uses surrounding the project site include single- and multi-family residential unit developments adjacent to the site and a commercial development to the south (Attachments 1-3). The existing WCF was previously approved on January 30, 2014 under [Project No. 286694](#) with a 10-year expiration and included six antennas. The associated WCF equipment operates inside a 144-square foot equipment room.

[Council Policy 600-43](#) assigns preference levels to WCFs proposed on different land uses. This site is considered a Preference Four location due to its location within a residential zone on a premises that contains residential development. A WCF at this location requires approval of a Conditional Use Permit (CUP), Process 4 decision in accordance with [San Diego Municipal Code \(SDMC\) Section 141.0420\(c\)](#). In addition, a Planned Development Permit (PDP) is required in accordance with [SDMC Section 143.0402](#) due to a proposed deviation of the antenna enclosure extending past 18 inches from the building face. Sites proposed in Preference Four locations must provide justification why higher preference sites (Preference 1, 2, and 3 sites) were not utilized. The justification as to the continued utilization of the site indicated that the existing location allows for a wide coverage factor and provides coverage to the Pacific Beach community and surrounding residential developments by increasing cellular reception effectiveness, including emergency communications. Other preference sites were not sought out due to the new site buildout may adversely affect the community. The project's development permits will be consolidated under a Process Four decision pursuant to [SDMC Section 112.0103\(a\)](#).

DISCUSSION

Project Description:

The Project proposes the continued use of a WCF utilized by T-Mobile. The existing six panel antennas, eight Remote Radio Units (RRUs) and three Tower Mounted Amplifiers (TMAs) will be removed. The proposed WCF consists of nine new antennas where six antennas will be concealed in new antenna skirts and three antennas concealed in a new Fiberglass Reinforced Panel (FRP) box. The 144-square foot equipment room, located on grade on the west elevation, will remain. No other changes are proposed at this time. The facility has been designed in a way that is architecturally integrated with the building and have camouflaged the antennas to be less visible by locating all the antennas near the facia, with three panel antennas and one RRU being concealed in a FRP box that will match the existing stucco texture and paint color of the wall and other vertical elements; and six panel antennas and one RRU with antenna skirts that match the existing green siding, located on the north and east sides of the building (Attachment 11 and Figures 1 and 2).

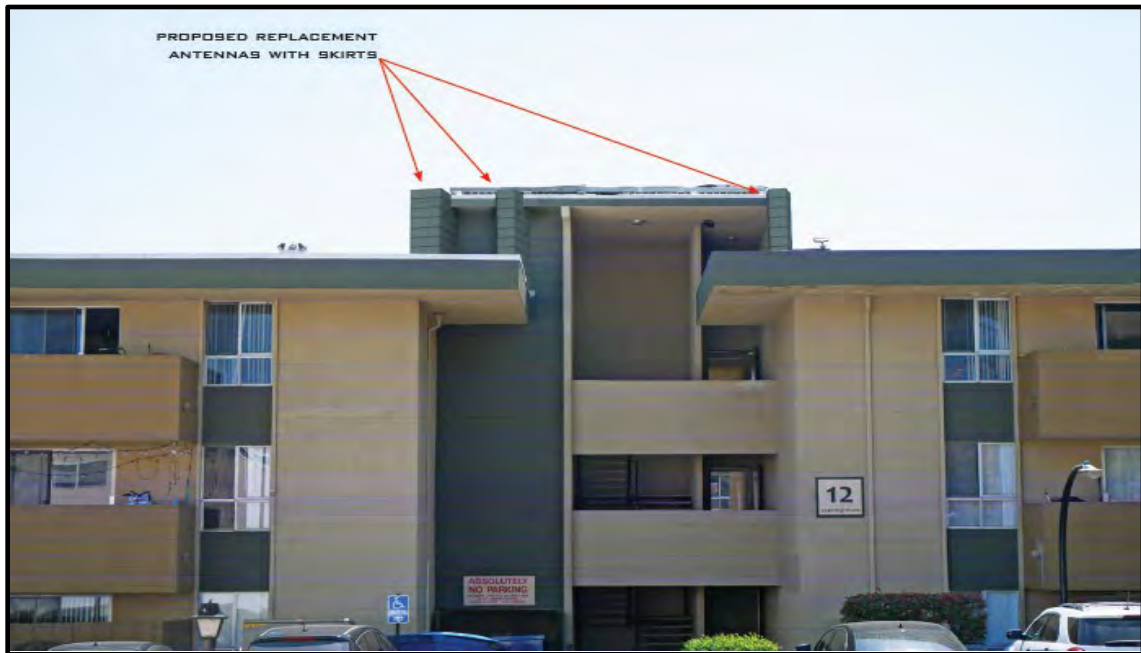


Figure 1: Proposed Photo Simulation of antenna skirts that match the existing green siding



Figure 2: Proposed Photo Simulation of FRP box that will match existing stucco wall and vertical elements

Community Plan Analysis:

The Pacific Beach Community Plan does not address WCFs as a specific land use however, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing WCF's inside existing structures or using screening techniques to hide or blend them with the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view.

Pursuant to the [SDMC Section 141.0420](#), WCFs are permitted in all zones citywide with the appropriate permit process. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. The antennas associated with this project are concealed within a FRP box and antenna skirts that will be matched to the paint and texture of the existing building and blending with the built environment. The location of the antennas in this area have been an established use for the WCF for over 10 years and the continued use of this site will not bring any new changes and will maintain the same profile in this location. The equipment associated with the facility will continue to operate inside a 144-square foot equipment room that is located on grade, adjacent to an existing building, painted and textured to match the existing building.

Project-Related Issues:

Deviations- The project requests a deviation from the applicable development regulations as allowed with the approval of a PDP. An applicant may request deviations in accordance with a PDP decided in accordance with Process Four, provided that the findings in [SDMC Section 126.0605](#) are made. The following Table 1 is a matrix of the proposed deviation, which is followed by the justifications for the deviations:

DEVIATIONS SUMMARY			
Table 1			
Deviation Description	Deviation from SDMC	Allowed/Required	Proposed
WCF Projection from Building Wall	SDMC Section 141.0420(e)(8)(B)	Maximum Projection of 18-inches	19 to 23-inch projection

Justification – A deviation to the protrusion of the antennas from the face of the building façade is being requested for the WCF for the proper operation of the equipment. The project proposes adding a FRP box housing three antennas and six antennas with antenna skirts, with color and texture matched to integrate to the existing building. With larger sized antennas, the mounting hardware and necessary antenna azimuth make the 18-inch required distance impossible without impacting the main structure. The proposed distance, 19-inches to 23-inches, is the minimum T-Mobile can achieve, while giving the antennas, mounting hardware and necessary azimuth enough room to operate. The carrier has designed the facility in a way that is architecturally integrated with the building and have camouflaged the antennas to be less visible that complies with the City of San Diego Development Services WCF guidelines (Figures 1 and 2). Two design factors weigh into the rationale for the requested height deviation:

1. The WCF Guidelines, which were adopted in 2019, includes requirements for antennas size, amid growing new technology sizes. In this case, the antennas need to protrude up to 5 inches to function as intended. The proposed FRP box and antenna skirts will match the color and texture of the building they are mounted on.

2. The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for T-Mobile customers. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage and the predicted loss of coverage without the WCF (Attachment 7). Although the underlying zone allows a maximum of 18 inches protrusion, without a maximum increase of five inches, could result in significant impacts to those within the surrounding area. A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

The above deviation has been analyzed by City staff and determined to be consistent with the goals and recommendations of the General Plan, the Pacific Beach Community Plan, the SDMC and the purpose and intent of the Wireless Communication Ordinance. The project has been designed to address the physical environment and would not adversely impact the public's health or safety. Apart from the above deviation, the proposed project will continue to provide wireless communication service to the surrounding area and emergency essential communications services.

Conclusion:

Based on its design, the project complies with the WCF Regulations pursuant to [SDMC section 141.0420](#). City staff has prepared draft findings in the affirmative to approve the project and recommends approval of the PDP and CUP (Attachment 5 and 6).

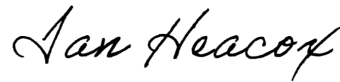
ALTERNATIVES

1. Approve Planned Development Permit No. 2539310 and Conditional Use Permit No. 2539308, with modifications.
2. Deny Planned Development Permit No. 2539310 and Conditional Use Permit No. 2539308, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



William Zounes for Tim Daly
Assistant Deputy Director
Development Services Department

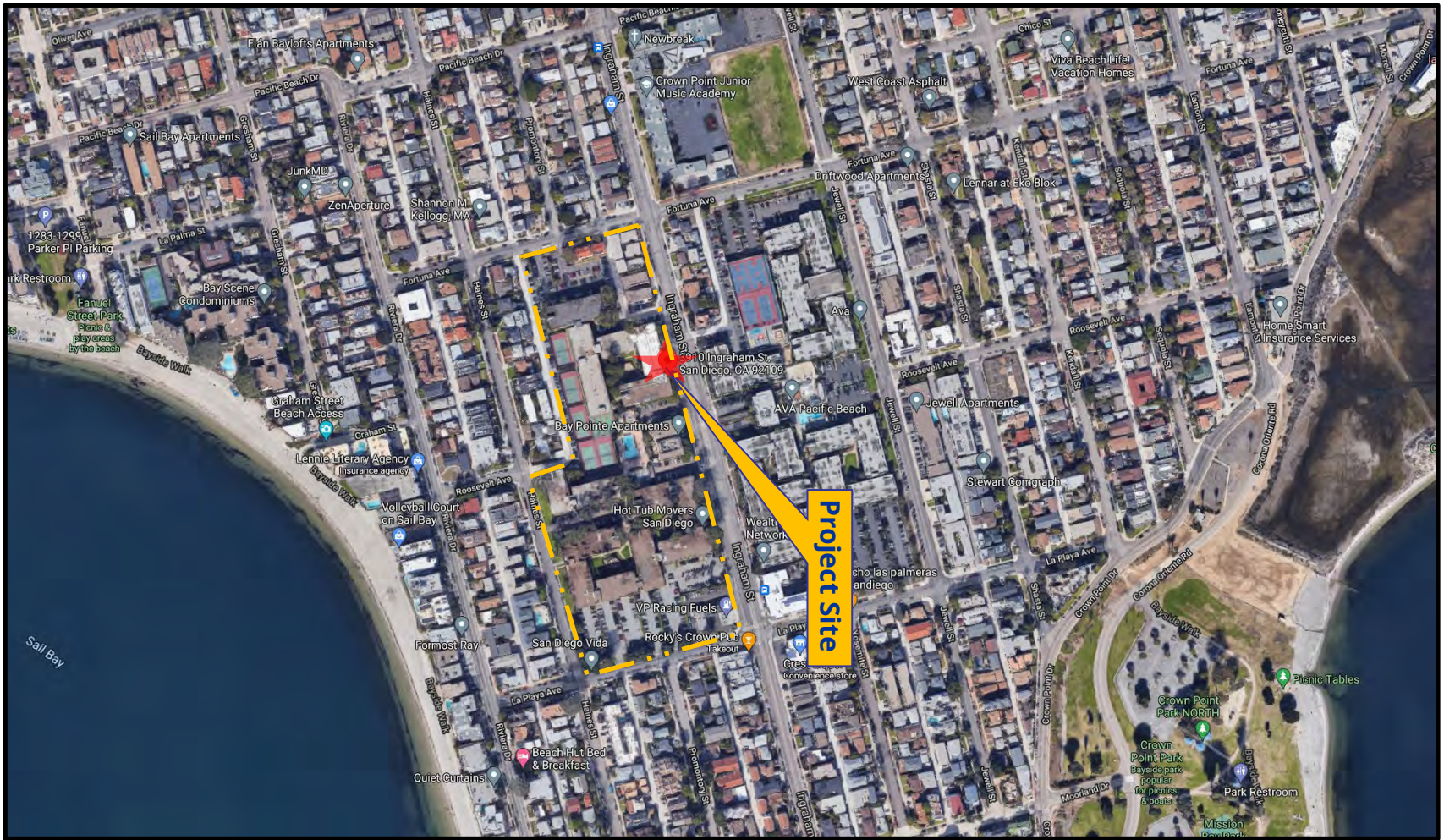


Ian Heacox
Development Project Manager
Development Services Department

TD/IH

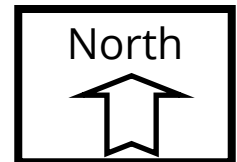
Attachments:

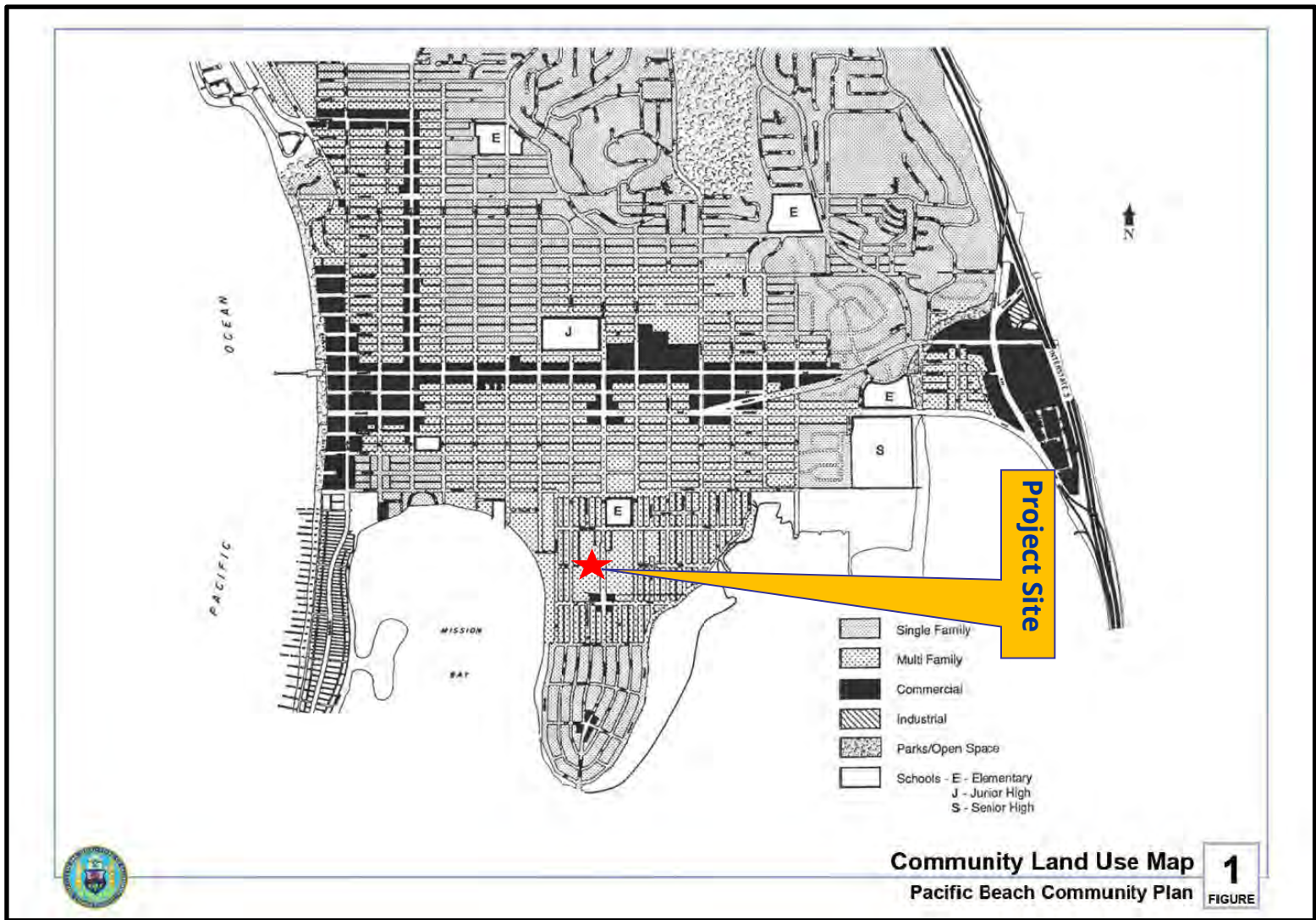
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Ownership Disclosure Form
10. Community Planning Group Recommendation
11. Photo Survey
12. Photo Simulations
13. Project Plans



Aerial Photograph

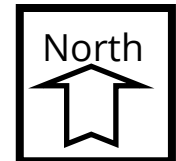
T-Mobile Bay Point Apartments Project No. 678588
3910 Ingraham Street

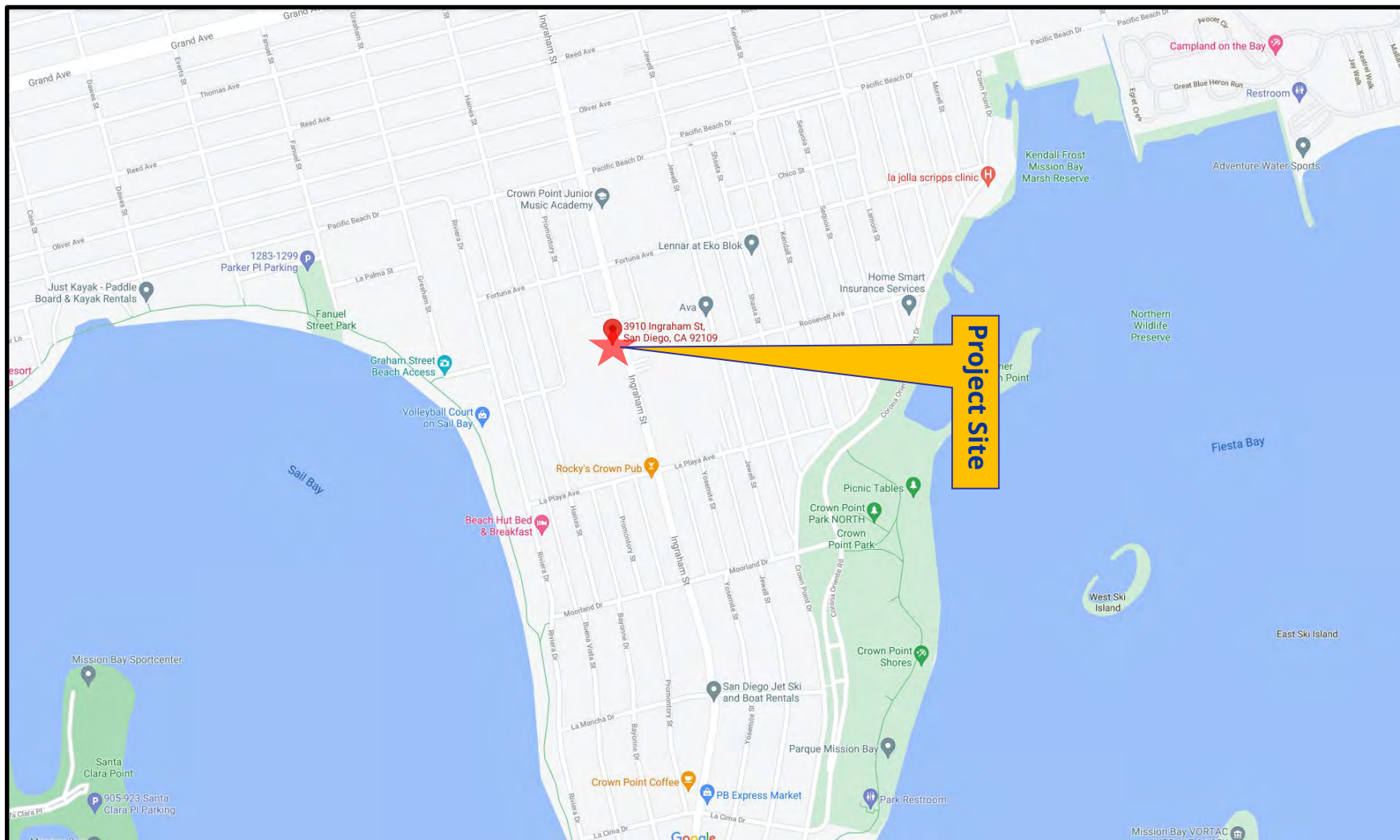




Pacific Beach Land Use Map

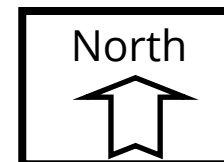
T-Mobile Bay Point Apartments Project No. 678588
3910 Ingraham Street





Project Location Map

T-Mobile Bay Point Apartments Project No. 678588
3910 Ingraham Street



PROJECT DATA SHEET		
PROJECT NAME:	T-Mobile Bay Point Apartments	
PROJECT DESCRIPTION:	The continued operation of a Wireless Communication Facility (WCF) utilized by T-Mobile. The existing WCF consists of façade mounted antennas located at 3910 Ingraham Street	
COMMUNITY PLAN AREA:	Pacific Beach	
DISCRETIONARY ACTIONS:	Planned Development Permit/Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Pacific Beach	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p>ZONE: RM-3-7</p> <p>HEIGHT LIMIT: 40 feet</p> <p>LOT SIZE: 12-acres</p> <p>FLOOR AREA RATIO: N/A</p> <p>FRONT SETBACK: 10/20 feet</p> <p>SIDE SETBACK: 5 feet</p> <p>STREETSIDE SETBACK: 10 feet</p> <p>REAR SETBACK: 5 feet</p> <p>PARKING: N/A</p>		
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; RM-1-1	Residential
SOUTH:	Commercial; CN-1-2	Commercial/Neighborhood
EAST:	Residential; RM-3-7	Residential
WEST:	Residential; RM-1-1	Residential
DEVIATIONS OR VARIANCES REQUESTED (INCENTIVES):	Length of extension of antennas over 18-inches	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 9, 2021 the Pacific Beach Community Planning Group voted 14-0-0 to recommend approval of the project without conditions.	

PLANNING COMMISSION
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 2539308
PLANNED DEVELOPMENT PERMIT NO. 2539310
T-MOBILE BAY POINT APT. PROJECT NO. 678588

WHEREAS, 700 BAY POINTE, LLC, OWNER , Owner, and T-MOBILE USA, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2539308 and 2539310), on portions of a 12.0-acre site;

WHEREAS, the project site is located at 3910 Ingraham Street in the RM-3-7 zone of the Pacific Beach Community Plan; and

WHEREAS, the project site is legally described as Parcel 1: Lot 2 of South Bay Club Apartments – Mission Bay, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 5935, filed in the Office of the County Recorder of San Diego County, August 10, 1967. Parcel 2: Lot 1 South Bay Apartments – Mission Bay, Resubdivision No. 1, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 6237, filed in the Office of the County Recorder of San Diego County, November 26, 1968; and

WHEREAS, on July 16, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing facilities); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on September 9, 2021, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 2539308 and Planned Development Permit No. 2539310 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2539308 and Planned Development Permit No. 2539310:

A. CONDITIONAL USE PERMIT SAN DIEGO MUNICIPAL CODE (SDMC) Section 126.0305

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes the continued use of a Wireless Communication Facility (WCF) by T-Mobile. The proposed wireless facility will contain three (3) panel antennas and one (1) Remote Radio Unit (RRU) screened behind one (1) Fiberglass Reinforced Panel (FRP) Box painted and textured to match the existing building; six (6) panel antennas and two (2) RRUs façade mounted with antenna skirts painted and textured to match the existing building. Accessory equipment continues to operate inside a 144-square foot equipment room. The WCF is located at 3910 Ingraham St. San Diego, CA 92109 in the RM-3-7 zone of the Pacific Beach Community Planning area. The WCF was previously approved for a Conditional Use Permit (CUP) on January 20, 2014 with a 10-year term.

The City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view.

Pursuant to the San Diego Land Development Code (SDMC) Section 142.0420, WCFs are permitted in all zones citywide with the appropriate permit process. Wireless Communication Facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. For the proposed project, the façade mounted antennas are screened and well-integrated with the existing architecture of the building and any potential visual impacts will be minimized.

Pursuant to SDMC Section 141.0420(c)(2) when the WCF is in a residential zone on a premise that contains residential development, a Conditional Use Permit (CUP) is required. Additionally, in accordance to SDMC Section 143.0402, deviations from applicable zoning regulations require a Planned Development Permit (PDP). SDMC 141.0420(g)(8) states that panel antennas shall be mounted no more than 12 inches away from a building façade and shall appear as an integral part of the building. They may be mounted up to 18 inches away from a building façade when the applicant provides evidence demonstrating that the wireless communication facility cannot operate without incorporating a tilt greater than 12 inches. With newer technology and larger sized antennas, T-Mobile requires up to 23 inches for this modification. The facility has been designed in a way that is architecturally integrated with the building and have camouflaged the antennas to be less visible.

As a result, the project complies with SDMC Section 141.0420, the WCF Design Guidelines, as well as the City's General Plan. The proposed development would not adversely affect the Pacific Beach Community Plan or the City of San Diego General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project was determined to be exempt from CEQA pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare to include but not limited to height limitation, concealment requirements, and electromagnetic fields controls. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions. A Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report (NSB) dated April 2, 2021 from EBI Consulting, was submitted to the City verifying that the proposed project meets or exceeds the requirements of the FCC. The report will be stamped as Exhibit "A" and provided within the project file. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code

The project proposes the continued use of a WCF. The project complies with the City of San Diego WCF Regulations (SDMC Section 141.0420) and applicable development regulations of the RM-3-7 Zone.

Deviations to the SDMC may be processed through a PDP in accordance with SDMC 126.0601 and 143.0401. The purpose of the PDP is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

SDMC 141.0420(g)(8) states that panel antennas shall be mounted no more than 12 inches away from a building façade and shall appear as an integral part of the building. They may be mounted up to 18-inches away from a building façade when the applicant provides evidence demonstrating that the wireless communication facility cannot operate without incorporating a tilt greater than 12 inches. A deviation is being requested to increase the projection of the antenna concealment up to 23-inches from the face of the building. The proposed FRP screening box and antenna skirts require a longer distance for adequate operation of the WCF. The measurements of the antennas, mounting hardware, and the required antenna azimuth make the 18-inch distance unfeasible. The proposed distances for the antennas range from 19-inches to 23-inches and allow T-Mobile to have enough room for the antennas, required mounting hardware, the required azimuth and concealing the antennas to comply with the City of San Diego Development Services WCF concealment guidelines. The WCF ordinance, found in Chapter 14, Article 4, Division 20, required the maximum distance of 18-inches when antennas and equipment were smaller and the requirements were restricted. Due to the high demand of WCFs, the antennas are larger to assist the need for increasing capacity and demand.

The facility has been designed in a way that is architecturally integrated with the building and have camouflaged the antennas to be less visible by locating all the antennas near the fascia, with three (3) panel antennas and one (1) RRU being concealed in a FRP box that will match the existing stucco texture and paint color; three (3) panel antennas and one (1) RRU with antenna skirts that match the existing green siding, located on the north and east sides of the building.

The project was originally approved on January 30, 2014 (Project No. 286694). In order to continue providing service to the surrounding area, the antennas need to be updated with newer antenna models and remain at the height and orientation they were originally installed as the network was developed using those metrics for coverage. The proposed WCF will provide a critical voice and data service throughout the surrounding area. The continued operation of this site is necessary to maintain the existing levels of service to the area for T-Mobile customers. The site is an

integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage provided on the subject property and the predicted loss of coverage without the antenna upgrade. A degradation of the existing service could have a significant impact on customers and essential emergency communication services. Expiration dates are imposed on WCFs to review and modify these facilities to comply with current design standards. The subject project is conditioned to expire 10-years from its approval date.

Based on these considerations, this project complies with the permit and design requirements for WCF's as identified in the SDMC. Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to SDMC Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project proposes the continued use of a Wireless Communication Facility (WCF) with all the antennas mounted near the facade, with three (3) panel antennas and one (1) RRU being concealed in a FRP box that will match the existing stucco texture and paint color; three (3) panel antennas and one (1) RRU with antenna skirts that match the existing green siding, located on the north and east sides of the building.

A site justification analysis was prepared by T-Mobile and accepted by City staff demonstrating a need for this WCF. According to the justification analysis, without the existing coverage footprint from the existing WCF, the loss of the coverage could result in significant impacts to the neighborhood and those living, working, and traveling through the surrounding area. Additionally, a loss of service could possibly have a significant impact on customers and essential communications services. The WCF is appropriately designed at the location and integrates with the existing building by matching the paint color and the texture of the FRP box and antenna skirts to the existing building. The FRP box and antenna skirts further complement the existing building design by matching existing vertical design elements. The design is consistent with the City's General Plan for wireless facilities. A 10-year term will be included as a condition of approval to ensure that the design and use is still appropriate at that time. As demonstrated by the justification analysis and the design, the existing WCF is appropriate at the existing location.

B. PLANNED DEVELOPMENT PERMIT SDMC Section 126.0605

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding No. 1 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

Please see CUP Finding No. 2 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

Please see CUP Finding No. 3 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to SDMC Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 2539308 And Planned Development Permit No. 2539310 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form,

exhibits, terms and conditions as set forth in Permit No. 2539308 and 2539310, a copy of which is attached hereto and made a part hereof.

Ian Heacox
Development Project Manager
Development Services

Adopted on: September 9, 2021

IO#: 11004545

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004545 SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2539308
PLANNED DEVELOPMENT PERMIT NO. 2539310
T-MOBILE BAY POINT APARTMENTS PROJECT NO. 678588
PLANNING COMMISSION

This Conditional Use Permit No. 2539308 and Planned Development Permit No. 2539310 is granted by the Planning Commission of the City of San Diego to 700 Bay Pointe, LLC, Owner, and T-Mobile USA, permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420, 126.0602 and 126.0303. The 12.0 -acre site is located at 3910 Ingraham Street in the RM-3-7 zone of the Pacific Beach Community Plan. The project site is legally described as: Parcel 1: Lot 2 of South Bay Club Apartments – Mission Bay, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 5935, filed in the Office of the County Recorder of San Diego County, August 10, 1967. Parcel 2: Lot 1 South Bay Apartments – Mission Bay, Resubdivision No. 1, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 6237, filed in the Office of the County Recorder of San Diego County, November 26, 1968.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 9, 2021, on file in the Development Services Department.

The project shall include:

- a. The continued operation of a Wireless Communication Facility (WCF) consisting nine (9) panel antennas measuring 33.1" by 20.6" by 8.6" and 50.94" by 12.01" by 6.5" and 56.6" by 12.9" by 8.7" and three (3) Remote Radio Units (RRUs);
- b. One (1) Fiberglass Reinforced Panel (FRP) transparent screen wall mounted on the west building wall covering three (3) panel antennas and one (1) RRU painted and textured to match the existing building;

Three (3) panel antennas mounted on the north face building wall covered with antenna skirts painted and textured to match existing structure;

Three (3) panel antennas mounted on the north east building wall covered with antenna skirts painted and textured to match existing structure;

- c. A deviation from SDMC Section 141.0420(e)(8)(B) allowing the antenna concealment to protrude up to 23-inches from the building face where up to 18-inches is allowed;
- d. The equipment associated with this project will continue to operate inside a 144-square-foot equipment room on grade, below the stairwell and on the west elevation; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 23, 2024.
- 2. This permit and corresponding use of this site shall **expire on September 23, 2031**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
- 3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
- 4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
- 5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge,

or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

14. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

15. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

16. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

17. No overhead cabling is permitted.

18. The WCF shall conform to the approved construction plans.

19. Photo simulations shall be printed in color on the construction plans.

20. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
22. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.
23. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.
24. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
25. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
26. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
27. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

Façade Mounted Antennas:

28. Antennas shall be painted and textured to match the building to the satisfaction of the Development Services Department.
29. All conduits related to this project shall be concealed inside the proposed side and bottom skirts painted to match the surface to which they are attached to the satisfaction of the Development Services Department.
30. No exposed pipes or mounting apparatus absent antennas shall be present at any time. Mounting pipes shall not be longer than the antennas.
31. Bottom chin covers shall be installed to current and future antennas. Chin covers shall be molded fiberglass to match the exact antenna dimensions and profile to the satisfaction of the Development Services Department. The chin covers shall be painted to match the antennas.

32. All bottom-fed conduits shall be routed directly into the port-holes at the same height level to avoid any excessive looping. All conduits must be organized and grouped within reason to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 9, 2021.

ATTACHMENT 6

Planned Development Permit No. 2539310
Conditional Use Permit No. 2539308
September 9, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Ian Heacox
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

700 Bay Pointe, LLC
Owner

By _____
NAME:
TITLE:

T-Mobile USA
Permittee

By _____
NAME:
TITLE:

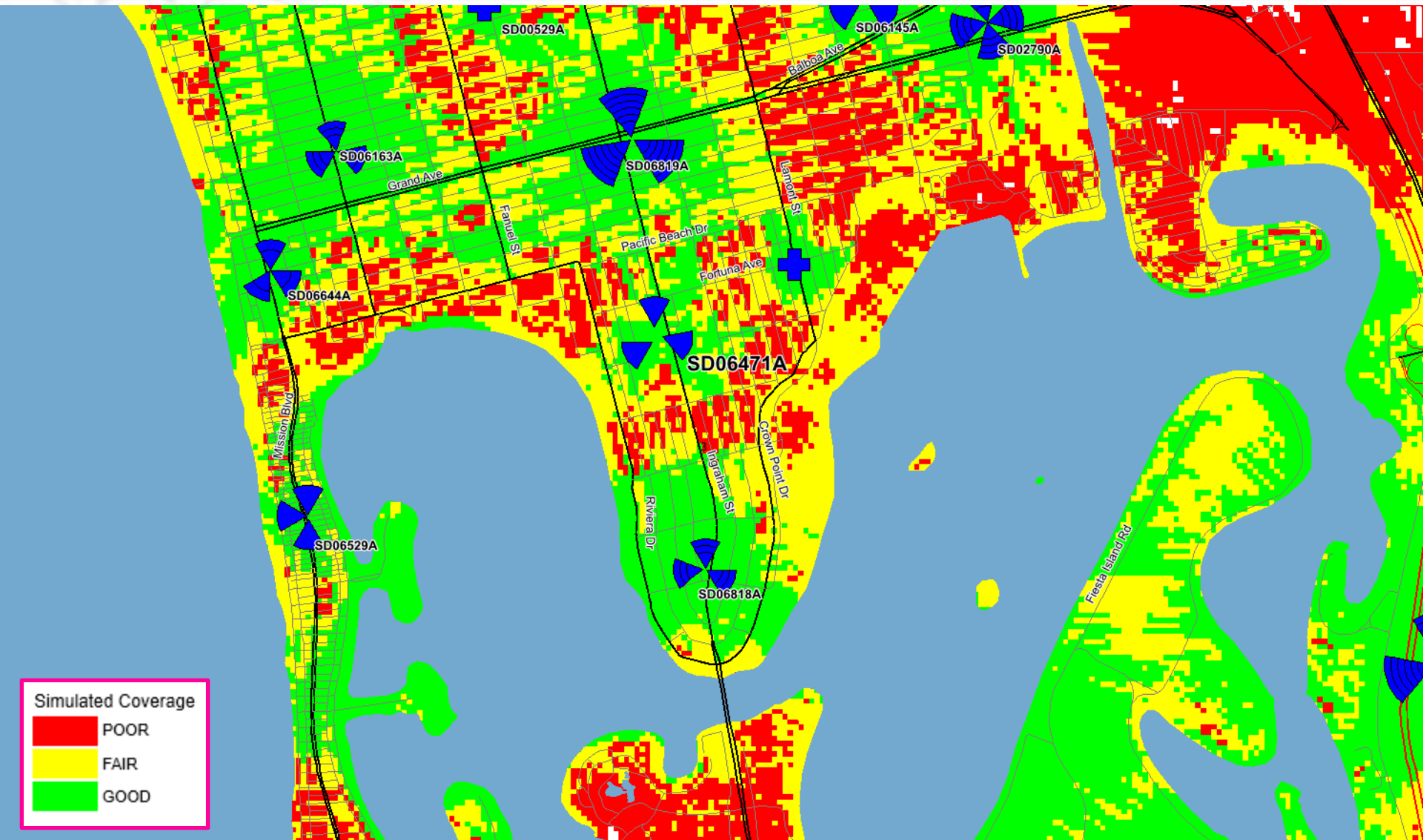
**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

SD06471A Coverage Maps

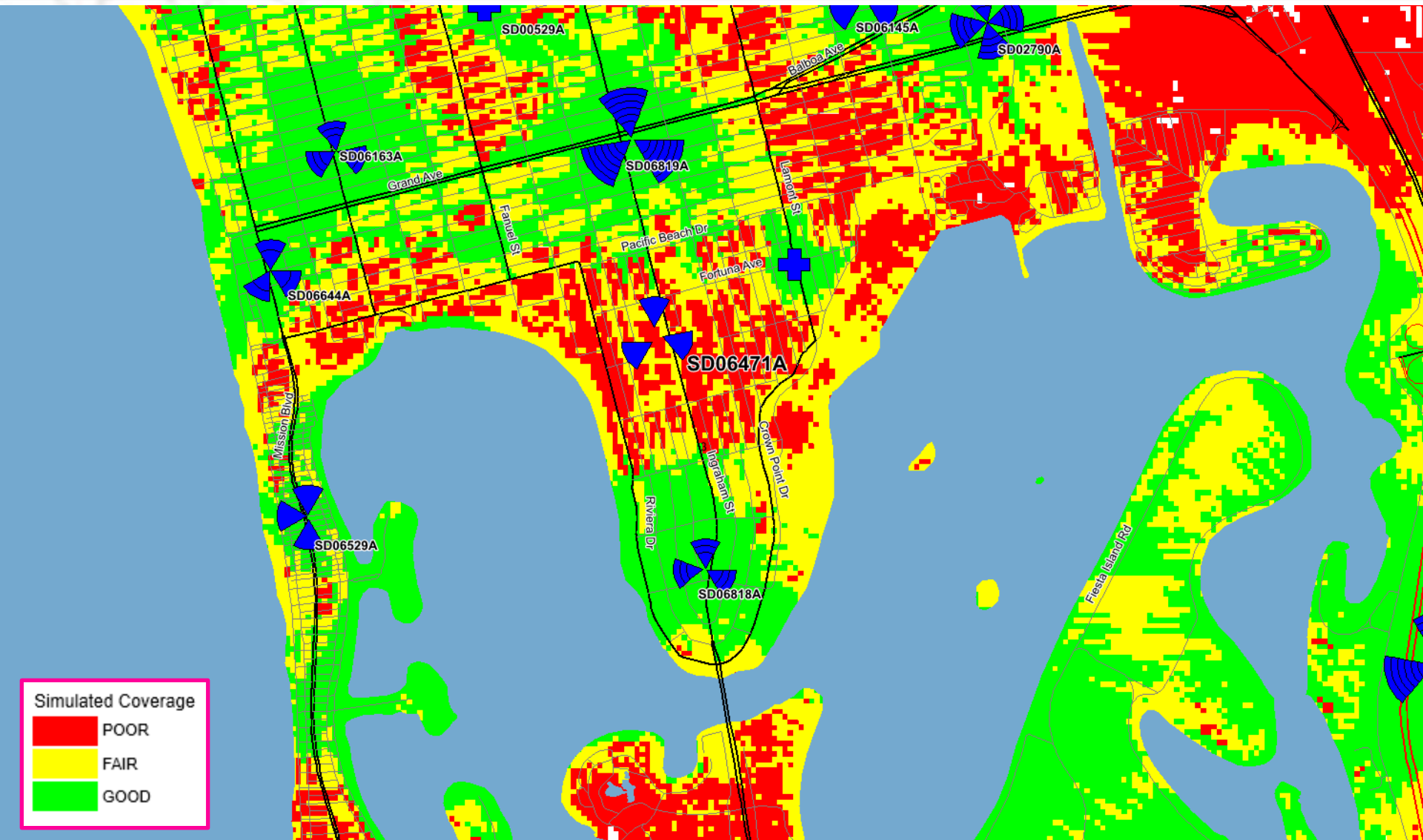
RF Team - San Diego Market



Area with SD06471A



Area without SD06471A



NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 678588

Project Title: T-Mobile Bay Point

PROJECT LOCATION-SPECIFIC: The project is located at 3910 Ingraham Street, San Diego, CA 92109

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) and Planned Development Permit (PDP) to modify and to continue the use of an existing Wireless Communication Facility (WCF). The project would remove 6 panel antennas and install 9 panel antennas, remove 8 remote radio units (RRUs), install 3 RRUs, and remove 3 TMAs. All 6 shrouds would be replaced with the addition of 1 fiber glass panel transparent screen wall. The associated equipment would continue to operate inside an existing 144-square-foot equipment room. The project is located at 3910 Ingraham Street, San Diego, CA 92109 in the RM-3-7 zone, the Coastal Zone N-APP-2, and the CHLOZ 2. The WCF is unmanned and technicians would visit the site only as required for routine maintenance and repairs.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Deliah Bruzee, OBO T-Mobile, 10590 W. Ocean Air Drive Suite 300, San Diego, CA 92130. (858) 799-0575

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c)).
- ☒ CATEGORICAL EXEMPTION: 15302 (Replacement or Reconstruction)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is modifying the existing facility and would replace old equipment with new without expanding the use of the WCF. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.


LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 / SENIOR PLANNER
SIGNATURE/TITLE

8/3/2021
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY
CLERK OR OPR:

DATE RECEIVED FOR FILING WITH COUNTY

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
---	---	---	---

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit ☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):
☐ Corporation ☐ Limited Liability -or- ☐ General – What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: See attached Letter of Authorization Date: _____

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: Delilah Bruzee Date: 2/17/21

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No



October 14, 2020

To:

Md7, LLC
Delilah Bruzee, Land Use
10590 W Ocean Air Drive, Suite 300
San Diego, CA 92130
(858) 799-0575
dbruzee@md7.com

From:

Conrad Prebys Trust
5847 El Cajon Blvd
San Diego, CA 92115

Re:

Property Owner Letter of Authorization

Site ID:

SD06471A

Site Address:

3910 Ingraham St, San Diego, CA, 92109

Parcel ID:

423-423-13-00

Dear Sir or Madam:

This is to certify that I, Miriam Castro, am the legal property owner of record, and hereby authorize Md7, LLC, as agent for T-Mobile West, LLC, to file the documents necessary to obtain the permit approvals for T-Mobile West, LLC to make modifications to its existing cell site located at 3910 Ingraham St, San Diego, CA, 92109.

By:

Property Owner Signature

Authorized Agent


Miriam Castro - Director of Operations

Name and Title

619-540-9434 / 858-273-0733 ext 121

Phone

1/13/2021

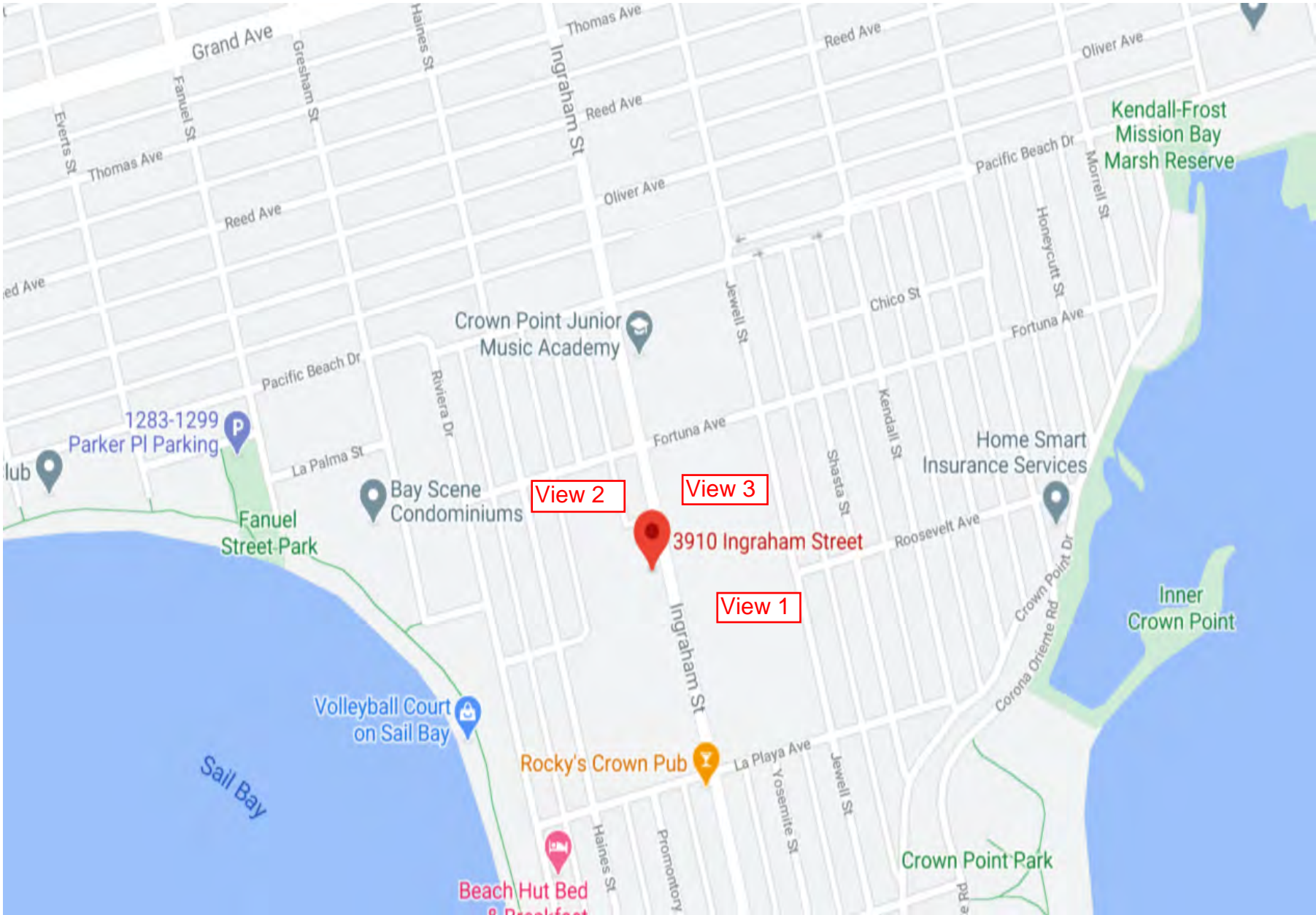
Page 3		City of San Diego • Information Bulletin 620	May 2020
		City of San Diego Development Services	Community Planning Committee Distribution Form
Project Name: 3910 Ingraham St T-Mobile Bay Pointe Apts CUP		Project Number: 678588	
Community: Pacific Beach			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="radio"/> Vote to Approve with Conditions Listed Below <input type="radio"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="radio"/> Vote to Deny			
# of Members Yes 14	# of Members No 0	# of Members Abstain 0	
Conditions or Recommendations:			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Ed Gallagher			
TITLE: Chair, Development Subcommittee		DATE: June 09, 2021	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

SD06471A Bay Ponite Apatment



3910 Ingraham St., San Diego CA 92109

Map



LOCATION

©2021 Google Maps

SD06471A Bay Ponite Apatment

MD7

3910 Ingraham St., San Diego CA 92109



View 1

SD06471A Bay Ponite Apatment



3910 Ingraham St., San Diego CA 92109



View 2

SD06471A Bay Ponite Apatment

MD7

3910 Ingraham St., San Diego CA 92109



View 3



EXISTING



PROPOSED

LOOKING NORTHWEST FROM INGRAHAM STREET



EXISTING



PROPOSED LOOKING SOUTHEAST FROM ALLEY



EXISTING



PROPOSED

LOOKING NORTHEAST FROM SITE

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



SITE NAME: BAY POINTE APARTMENTS
SITE ADDRESS: 3910 INGRAHAM ST
SAN DIEGO, CA 92109
T-MOBILE SITE NUMBER: SD06471A
PROJECT: ANCHOR
SITE TYPE: ROOF TOP



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

PLANS PREPARED BY:



MORRISON HERSHFIELD

600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 203531900

REV.	DATE	ISSUED FOR	BY
A	10/09/20	90% REVIEW	GD
0	12/23/20	100% CONSTRUCTION	MLG
1	05/27/21	JX COMMENTS	JR

SET NOT TO BE USED FOR CONSTRUCTION
UNLESS SIGNED BY DESIGN PROFESSIONAL
AND STAMPED APPROVED BY MUNICIPALITY

LICENSURE:



05/27/2021 1:54PM

SITE NAME:
BAY POINTE
APARTMENT

T-MOBILE SITE I.D.
SD06471A

SITE ADDRESS:
3910 INGRAHAM ST
SAN DIEGO, CA 92109

SHEET NAME:

TITLE SHEET

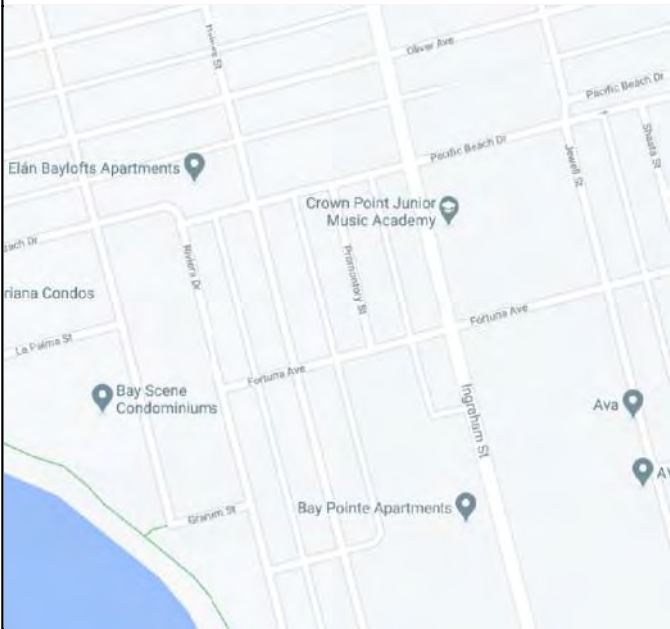
SHEET NUMBER:

T-1

PROJECT INFORMATION

SITE NAME: BAY POINTE APARTMENT
SITE ADDRESS: 3910 INGRAHAM ST
SAN DIEGO, CA 92109
COUNTY: SAN DIEGO COUNTY
LATITUDE: 32° 47' 28.80" N (32.79133397°)
LONGITUDE: 117° 14' 19.59" W (-117.23877700°)
GROUND ELEVATION: 48.0' AMSL
STRUCTURE HEIGHT: 26'-6" (TOP OF BUILDING)
JURISDICTION: CITY OF SAN DIEGO
PARCEL: 423-423-1300
ZONING: KM-3-7
OCCUPANCY: UNMANNED TELECOMMUNICATION FACILITY
CONSTRUCTION INFORMATION:
AREA OF CONSTRUCTION: EXISTING/NO CHANGE
CONSTRUCTION TYPE: N/A
PROPOSED USE: UNMANNED TELECOMMUNICATIONS FACILITY
HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED
TOWER OWNER: -
PROPERTY OWNER: 700 BAY POINTE LLC
C/O PROGRESS MANAGEMENT
3866 INGRAHAM ST
SAN DIEGO, CA 92109
APPLICANT: T-MOBILE USA, INC
10509 VISTA SORRENTO PARKWAY, SUITE 206
SAN DIEGO, CA 92121

VICINITY MAP



DIRECTIONS

DIRECTIONS TO SITE (FROM T-MOBILE10509, VISTA SORRENTO PARKWAY, SUITE 206
SAN DIEGO, CA 92121)

- HEAD NORTHWEST ON VISTA SORRENTO PKWY TOWARD LUSK BLVD
- TURN LEFT ON TO SORRENTO VALLEY BLVD
- TURN RIGHT ON TO ROSELLE ST
- TURN LEFT TO MERGE ON TO 1-5 S
- TAKE EXIT 23 TOWARD BALBOA AVE/GARNET AVE
- MERGE ON TO MISSION BAY DR
- TURN RIGHT ON TO GARNET AVE
- CONTINUE ON TO BALBOA AVE
- CONTINUE ON TO GRAND AVE
- TURN LEFT ON TO INGRAHAM ST
- DESTINATION WILL BE ON THE RIGHT

ACCESSIBILITY REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS
IS NOT REQUIRED PER CBC 2019
SECTION 11B-203.4 (LIMITED ACCESS SPACES)
SECTION 11B-203.5 (MACHINERY SPACES)

INDEX OF DRAWINGS

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES
A-1	SITE PLAN
A-1.1	ROOF PLAN
A-1.2	EQUIPMENT PLAN
RF-1	EXISTING ANTENNA CONFIGURATION
RF-2	PROPOSED ANTENNA CONFIGURATION
RF-3	PLUMBING DIAGRAM
A-2	NORTH ELEVATION
A-2.1	WEST ELEVATION
A-2.2	SOUTH ELEVATION
A-2.3	EAST ELEVATION
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS
A-5	CONSTRUCTION DETAILS
A-6	CONSTRUCTION DETAILS
A-7	CONSTRUCTION DETAILS
A-8	CONSTRUCTION DETAILS
A-9	CONSTRUCTION DETAILS
A-10	CONSTRUCTION DETAILS
A-11	CONSTRUCTION DETAILS
E-1	ELECTRICAL DETAILS
E-2	GROUNDING DETAILS

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN
ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS
ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS
IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CALIFORNIA STATE AND LOCAL BUILDING CODES WITH THE FOLLOWING
REFERENCE CODE:

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ENERGY CODE (CEC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)

CONTRACTOR TO CALL TO VERIFY UTILITIES AT
LEAST TWO WORKING DAYS PRIOR TO DIGGING

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING
DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL
IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN
WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING
WITH THE WORK OR BE RESPONSIBLE FOR SAME.



Know what's below.
Call before you dig.

PROJECT TEAM

CONSTRUCTION MANAGER:
T-MOBILE USA
MIKE SEBESTA
10509 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121
PHONE: (760) 644-1027
SITE ACQUISITION AGENT:
MD7
JOHN STURGES
10590 WEST OCEAN AIR DRIVE, SUITE 300
SAN DIEGO, CA 92130
PHONE: (619) 947-0762
ZONING/PERMITTING AGENT:
MD7
JUSTIN CAUSEY
10590 WEST OCEAN AIR DRIVE, SUITE 300
SAN DIEGO, CA 92130
PHONE: (858) 291-1869
ARCHITECT & ENGINEERING
MORRISON HERSHFIELD
LESLIE BRADLEY
600 STEWART STREET SUITE 200
SEATTLE, WA 98101
PHONE: (206) 992-1684
lbradley@morrisonhershfield.com
ENGINEER:
TED HAILE
MORRISON HERSHFIELD CORP.
PHONE: (503) 595-9128
thaile@morrisonhershfield.com
ARCHITECT:
ROBERT LARA
MORRISON HERSHFIELD CORP.
PHONE: (954) 577-4655
RF ENGINEER:
T-MOBILE USA
PEDRO ABE
10509 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121

SCOPE OF WORK

T-MOBILE PROPOSES TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS
FACILITY WITH THE FOLLOWING:

- AT ANTENNA LEVEL
- REMOVE (6) PANEL ANTENNAS
 - REMOVE (8) RADIOS
 - REMOVE (3) TMAS
 - INSTALL (9) PANEL ANTENNAS
 - INSTALL (3) RRUS
 - ADD (2) 6x12 HCS 6AWG (2X30M)
 - ADD (4) 6x12 HCS 4AWG (2x70M & 2x120M)
 - REMOVE (6) SHROUDS
 - INSTALL (6) SHROUDS
 - INSTALL (1) RF TRANSPARENT SCREEN WALL
- AT GRADE LEVEL
- REMOVE (1) PBC 6500 CABINET
 - INSTALL (1) PBC 6200 EQUIPMENT CABINET
 - INSTALL (1) BB6630 ON 19 INCH RACK
 - INSTALL (1) BB6648 ON 19 INCH RACK
 - INSTALL (1) IXRE ROUTER
 - UPGRADE CABINET POWER TO 8xPSU
 - ADD (1) VOLTAGE BOOSTER PSU 4813

EXISTING EQUIPMENT TOTAL:
ANTENNAS: 6
RADIOS: 8

PROPOSED EQUIPMENT TOTAL:
ANTENNAS: 9
RADIOS: 3

- PROJECT VALUATION: \$40,000
- NO PROPOSED BATTERY WORK

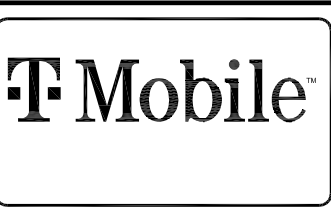
DESIGN BASED ON:
RFDS ANCHOR VERSION 6, DATED 12/14/2020 1:53:27 PM

APPROVALS

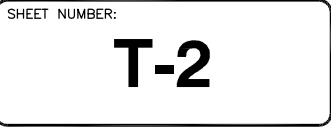
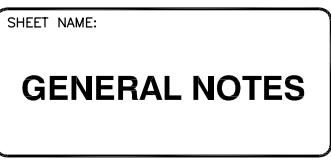
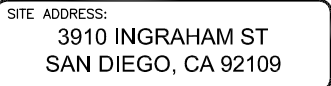
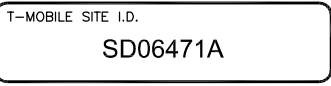
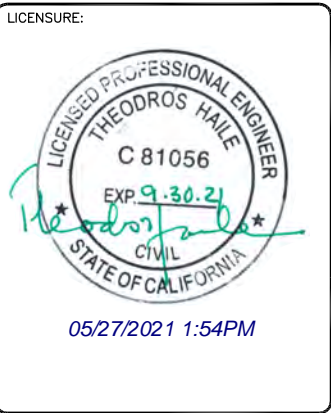
APPROVAL	SIGNATURE	DATE
PROJECT MANAGER		
T-MOBILE RF ENGINEER		
SITE ACQUISITION		
CONSTRUCTION MANAGER		
SITE OWNER		
T-MOBILE DEVELOPMENT MANAGER		
T-MOBILE CONSTRUCTION MANAGER		
T-MOBILE OPS MANAGER		
T-MOBILE REGULATORY REVIEW		
T-MOBILE PROJECT MANAGER		

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ARCHITECTURAL GENERAL NOTES	ELECTRICAL GENERAL NOTES	ABBREVIATIONS
<div>1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.</div> <div>2. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENT SHALL BE COMPLIED WITH.</div> <div>3. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.</div> <div>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN NEW CONDITION.</div> <div>5. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.</div> <div>6. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.</div> <div>7. WHERE NEW PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.</div> <div>8. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.</div> <div>9. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNER'S REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.</div> <div>10. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO MORRISON HERSHFIELD. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.</div> <div>11. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEViate FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH (4) COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.</div> <div>12. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID/PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.</div> <div>13. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.</div>	<div>A. GENERAL</div> <div>1. EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID PRICE ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.</div> <div>2. OBTAIN ALL PERMITS, PAY ASSOCIATED FEES AND SCHEDULE INSPECTION.</div> <div>3. PROVIDE ALL LAGOR, MATERIAL, EQUIPMENT, INSURANCE, AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF T-MOBILE & LAND/TOWER OWNER</div> <div>4. PRIOR TO BEGINNING WORK COORDINATE ALL POWER AND TELCO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED. GENERAL CONTRACTOR IS RESPONSIBLE FOR VED. REQUESTING CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY. ELECTRICAL CONTRACTOR SHALL COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR.</div> <div>5. FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE IN A FIRST CLASS WORKMANSHIP PER NECA STANDARD 1-2000 BY QUALIFIED PERSONNEL EXPERIENCED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS NOT TO IMPEDE PROGRESS OF THE PROJECT.</div> <div>B. BASIC MATERIALS AND METHODS</div> <div>1. ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.</div> <div>2. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.</div> <div>3. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.</div> <div>4. SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITHIN CONDUITS ENTERING THE MODULAR CABINETS WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION INTO BUILDING.</div> <div>C. CONDUCTORS AND CONNECTORS</div> <div>1. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG, WITH THERMOPLASTIC INSULATION CONFORMING TO NEMA WC5 OR CROSS-LINKED POLYETHYLENE INSULATION CONFORMING TO NEMA WC7. (TYPES THHN). INSULATION SHALL BE RATED FOR 90 DEG. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC.</div> <div>2. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE. IF SPLICES ARE UNAVOIDABLE PRIOR APPROVAL FROM THE ENGINEER MUST BE OBTAINED.</div> <div>D. GROUNDING</div> <div>1. ALL LIGHTNING PROTECTION GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NFPA STANDARDS.</div> <div>2. ALL GROUND LUG AND COMPRESSION CONNECTIONS SHALL BE COATED WITH ANTI-OXIDANT AGENT, SUCH AS NO-OX, NOALOX, PENETROX OR KOPRSIELD.</div> <div>3. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RING SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.</div> <div>4. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO-WELDING WITH ERICO T-319 GALVANIZING BAR.</div> <div>5. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO EXTERIOR GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS WHICH ARE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLUB LECTROSOL #15-501.</div>	<div>AGL ABOVE GROUND LEVEL</div> <div>A/C AIR CONDITIONING</div> <div>APPROX APPROXIMATELY</div> <div>AZ AZIMUTH</div> <div>BLDG BUILDING</div> <div>BLK BLOCKING</div> <div>CLG CEILING</div> <div>CLR CENTERLINE</div> <div>CLR CLEAR</div> <div>CONC CONCRETE</div> <div>CONST CONSTRUCTION</div> <div>CONT CONTINUOUS</div> <div>DET DETAIL</div> <div>DIA DIAMETER</div> <div>DIAG DIAGONAL</div> <div>DIM DIMENSION</div> <div>DIM DIMENSION</div> <div>DBL DOUBLE</div> <div>DN DOWN</div> <div>DWG DRAWING</div> <div>EA EACH</div> <div>ELEC ELECTRICAL</div> <div>ELEV ELEVATION</div> <div>EQ EQUAL</div> <div>EQUIP EQUIPMENT</div> <div>(E) EXISTING</div> <div>EXT EXTERIOR</div> <div>FIN FINISH</div> <div>FLR FLOOR</div> <div>FLUOR FLUORESCENT</div> <div>FT FOOT</div> <div>GALV GALVANIZED</div> <div>GC GENERAL CONTRACTOR</div> <div>GRND GROUND</div> <div>GYP BD GYPSUM WALL BOARD</div> <div>HT HEIGHT</div> <div>HVAC HEATING VENTILATION AIR</div> <div>HORZ CONDITIONING</div> <div>HR HORIZONTAL</div> <div>HR HOUR</div> <div>IN INCH</div> <div>INFO INFORMATION</div> <div>ID INSIDE DIAMETER</div> <div>INSUL INSULATION</div> <div>INT INTERIOR</div> <div>IBC INTERNATIONAL BUILDING CODE</div> <div>LBS POUNDS</div> <div>MGR MANAGER</div> <div>MFR MANUFACTURER</div> <div>MAX MAXIMUM</div> <div>MECH MECHANICAL</div> <div>MTL METAL</div> <div>MIN MINIMUM</div> <div>MISC MISCELLANEOUS</div> <div>N/A NOT APPLICABLE</div> <div>NIC NOT IN CONTRACT</div> <div>NTS NOT TO SCALE</div> <div>OC ON CENTER</div> <div>OD OUTSIDE DIAMETER</div> <div>PLYWD PLYWOOD</div> <div>PT PRESSURE TREATED</div> <div>PROJ PROJECT</div> <div>PROP PROPERTY</div> <div>(P) PROPOSED</div> <div>QTY QUANTITY</div> <div>QUANITY</div> <div>REQ REQUIRED</div> <div>RM ROOM</div> <div>ROUGH ROUGH OPENING</div> <div>ROW RIGHT OF WAY</div> <div>SHT SHEET</div> <div>SIM SIMILAR</div> <div>SPEC SPECIFICATION</div> <div>SF SQUARE FOOT</div> <div>SS STAINLESS STEEL</div> <div>STL STEEL</div> <div>STRUCT STRUCTURAL</div> <div>STD STUD</div> <div>SUSP SUSPENDED</div> <div>THRU THROUGH</div> <div>TNNG TINNED</div> <div>TYP TYPICAL</div> <div>UG UNDERGROUND</div> <div>UNO UNLESS NOTED OTHERWISE</div> <div>VIF VERIFY IN FIELD</div> <div>VERT VERTICAL</div> <div>WP WATER PROOF</div> <div>W/ WITH</div> <div>W/O WITHOUT</div> <div>UGP UG POWER CONDUIT</div> <div>UGT UG TELCO CONDUIT</div>
COMPOUND NOTES	PROJECT INFORMATION	IMPORTANT NOTICE
<div>1. CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. IT IS RECOMMENDED THAT THE CONTRACTOR VISIT THE SITE AND VERIFY ALL DIMENSIONS AND NOTES BEFORE SUBMITTING BID AND PROCEEDING WITH WORK.</div> <div>2. SOIL AT THIS SITE IS UNDISTURBED ROCK AND SAND ADEQUATE OF SUPPORTING THE DESIGN LOAD OF 2000 P.S.F. IF OTHER CONDITIONS ARE ENCOUNTERED, NOTIFY MORRISON HERSHFIELD BEFORE PROCEEDING WITH WORK. THIS VALUE IS CONSIDERED SAFE WITH RESPECT TO ACTUAL FAILURE OF THE SUPPORTING GROUND, BUT DOES NOT NECESSARILY ENSURE THE PREVENTION OF EXCESSIVE FOUNDATION MOVEMENTS.</div> <div>3. IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL HIS PRACTICAL TRADES.</div> <div>4. THE POWER CABINET MUST BE CLEAR OF FLAMMABLE MATERIAL WITHIN 12 INCHES OF THE CABINET, INCLUDING ABOVE THE CABINET.</div> <div>5. THE POWER CABINET MUST BE MOUNTED ON THE FOUNDATION TO ALLOW WATER TO DRAIN FROM THE DRAIN OUTLET AND AWAY FROM THE CABINET.</div> <div>6. TO ENSURE SERVICEABLE ABILITY, THE DOORS OF CABINETS WILL REQUIRE AN OPENING RADIUS OF 36 INCHES OF CLEARANCE FROM THE CLOSED POSITION TO THE OPEN POSITION.</div>	<div>1. THIS IS AN UNMANNED AND RESTRICTED ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.</div> <div>2. THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY.</div> <div>3. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.</div> <div>4. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.</div> <div>5. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.</div> <div>6. T-MOBILE MAINTENANCE CREW (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.</div>	<div>THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. MORRISON HERSHFIELD CORPORATION CANNOT GUARANTEE THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.</div>
	SITE GENERAL NOTES	LEGEND
	<div>1. RESTORE EXISTING ASPHALT AND/OR CONCRETE COMPOUND TO IT'S ORIGINAL CONDITION.</div> <div>2. CONTRACTOR SHALL DETECT AND MARK ANY UNDERGROUND LINES, PIPING, PRIOR TO START OF EXCAVATION.</div>	<div>BUILDING/WALL/DETAIL SECTION</div> <div>LARGE SCALE DETAIL</div> <div>REFERENCE</div> <div>ELEVATION DETAIL BUG</div>

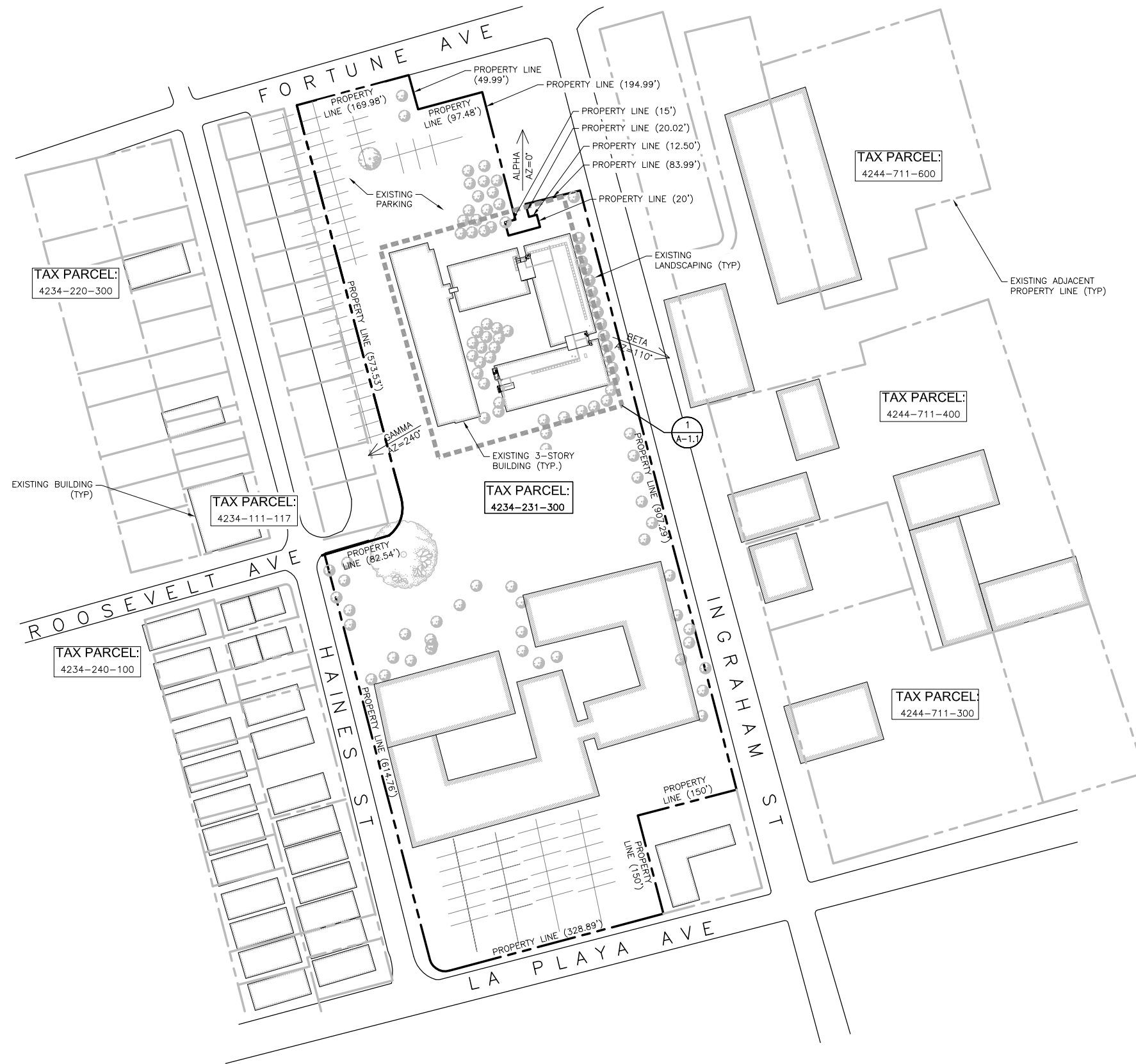


REV.	DATE	ISSUED FOR	BY
A	10/09/20	90% REVIEW	GD
0	12/23/20	100% CONSTRUCTION	MLG
1	05/27/21	JX COMMENTS	JR
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NOTE:
THIS IS NOT A SURVEY. ALL INFORMATION AND TRUE NORTH HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND JURISDICTIONAL GIS INFORMATION AND ARE APPROXIMATE.

- NOTES:
1. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 2. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
 3. IF ANY EXISTING LANDSCAPING INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS OR OTHERWISE LOCATED AT THE SITE IS DAMAGED OR REMOVED DURING CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE TO THE SATISFACTION OF THE DEVELOPMENT WITHIN 30 DAYS OF DAMAGE.
 4. CONSTRUCTION ON THE BETA SECTOR SHALL BE COMPLETED FROM THE ROOFTOP TO ELIMINATE ANY DAMAGE TO THE EXISTING LANDSCAPING AT THIS ENTRANCE TO THE BUILDING. APPROPRIATE PEDESTRIAN ACCESS INSTRUCTIONS AND CAUTIONS SHALL BE PLACED TO MAXIMIZE THE SAFETY OF THE BUILDING TENANTS WHEN MOBILIZING THROUGH THE AREA



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PLANS PREPARED BY:



MORRISON HERSHFIELD

600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 203531900

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SD06471A

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SHEET NAME:

SITE PLAN

SHEET NUMBER:

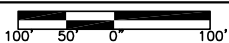
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Know what's below.
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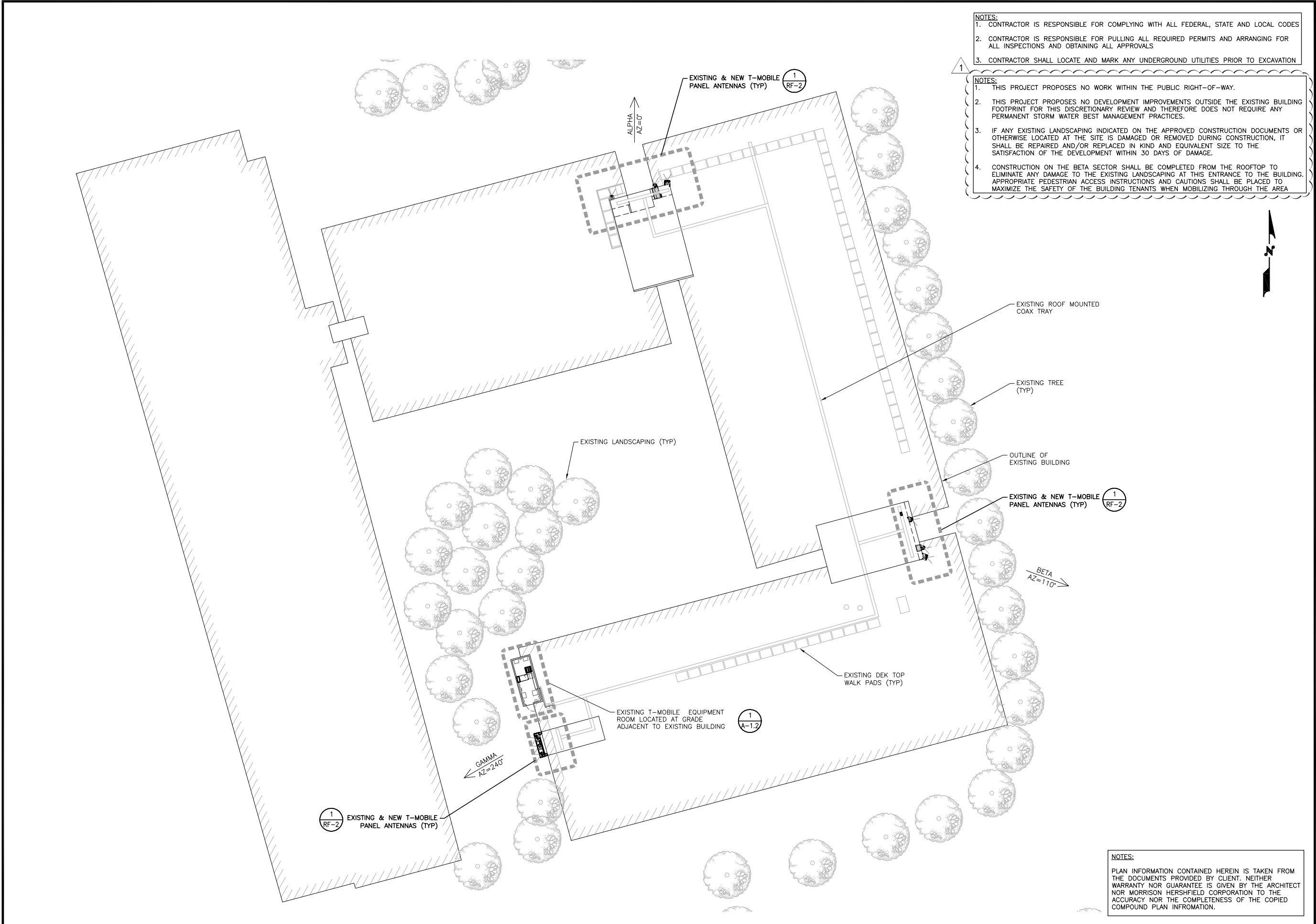
SITE PLAN | 1

24"x36" SCALE: 1" = 100'-0"
11"x17" SCALE: 1" = 200'-0"



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- NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL CODES
 2. CONTRACTOR IS RESPONSIBLE FOR PULLING ALL REQUIRED PERMITS AND ARRANGING FOR ALL INSPECTIONS AND OBTAINING ALL APPROVALS
 3. CONTRACTOR SHALL LOCATE AND MARK ANY UNDERGROUND UTILITIES PRIOR TO EXCAVATION

- NOTES:
1. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 2. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
 3. IF ANY EXISTING LANDSCAPING INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS OR OTHERWISE LOCATED AT THE SITE IS DAMAGED OR REMOVED DURING CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE TO THE SATISFACTION OF THE DEVELOPMENT WITHIN 30 DAYS OF DAMAGE.
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SHEET NAME:
ROOF PLAN

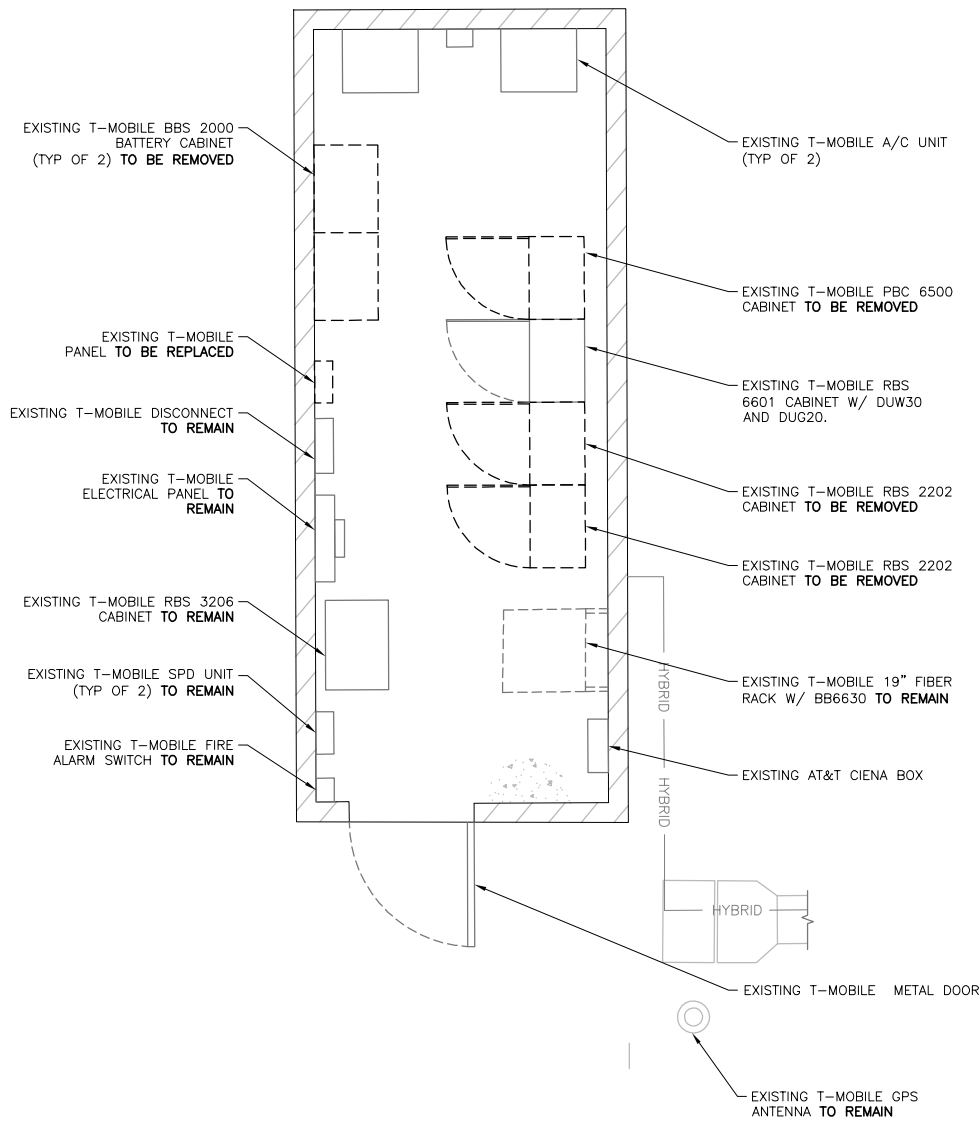
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24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
16' 12' 8' 4' 0' 16'

ROOF PLAN 1

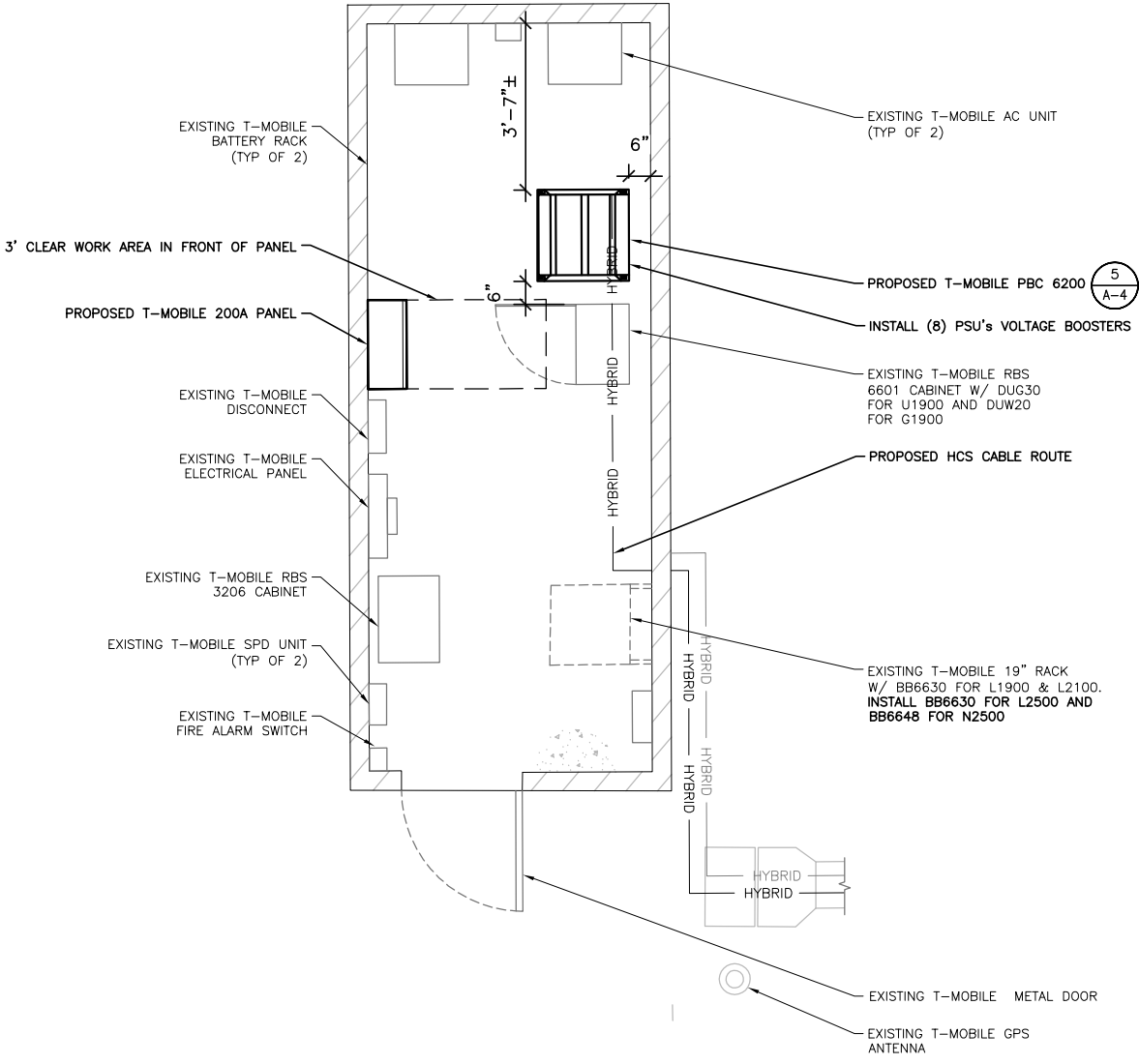
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11"x17" SCALE: 3/16" = 1'-0"

EXISTING EQUIPMENT PLAN 2



24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

PROPOSED EQUIPMENT PLAN 1

- CABINET SCOPE OF WORK - SEE RFDS**
- INSTALL (1) BB6630 FOR L2500 AND (1) BB6648 FOR N2500 ON EXISTING 19" FIBER RACK (ERICSSON)
 - INSTALL (1) PBC 6200 CABINET
 - INSTALL (1) IXRE ROUTER
 - INSTALL (8) PSU's VOLTAGE BOOSTER



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SAN DIEGO, CA 92109**

SHEET NAME:

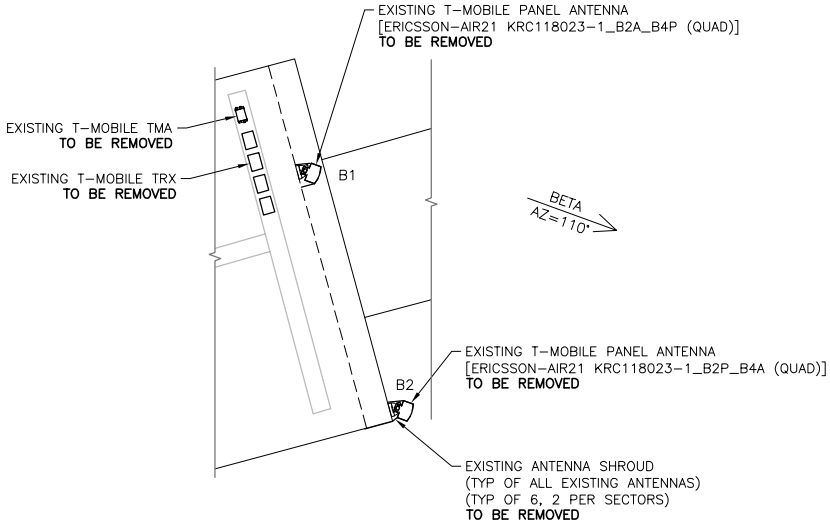
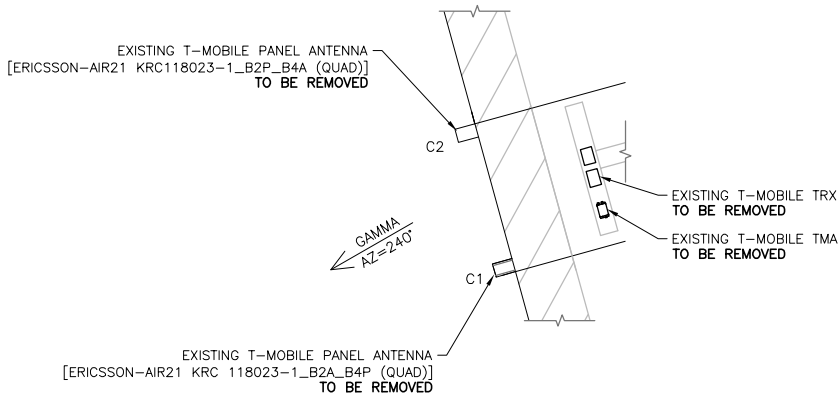
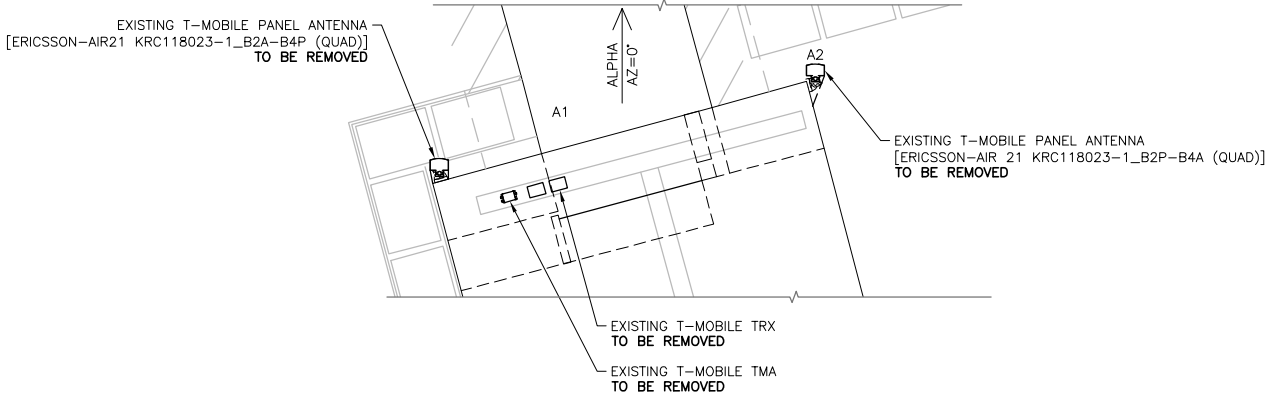
**EQUIPMENT
PLAN**

SHEET NUMBER:

A-1.2

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EXISTING ANTENNA AND COAX SCHEDULE											
REVISION 6, DATED 12/14/2020 1:53:27 PM											
SECTOR ALPHA	TECH	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
A1	U1900 G1900 U2100	0°	35'–5"	1	ERICSSON	AIR21 KRC118023–1_B2A_B4P (QUAD)	7° 0'	0°	(2) 1–5/8" COAX (2) 1–5/8" LMU COAX (2) FIBER JUMPER (1) ERICSSON 3x6 HCS	375' 375' 16' 120M	(1) GENERIC TWIN STYLE 1B TMA (2) TRX RADIOS
A2	L2100	0°	35'–5"	1	ERICSSON	AIR21 KRC 118023–1_B2P_B4A (QUAD)	7°	0°	(1) FIBER JUMPER	16'	
SECTOR BETA	TECH	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
B1	U1900 G1900 U2100	110°	32'–10"	1	ERICSSON	AIR21 KRC118023–1_B2A_B4P (QUAD)	0° 2'	0°	(2) 1–5/8" COAX (2) 1–5/8" LMU COAX (2) FIBER JUMPER (1) ERICSSON 3x6 HCS	217' 217' 16' 70M	(1) GENERIC TWIN STYLE 1B TMA (4) TRX RADIOS
B2	L2100	110°	32'–10"	1	ERICSSON	AIR21 KRC 118023–1_B2P_B4A (QUAD)	0°	0°	(1) FIBER JUMPER	16'	
SECTOR GAMMA	TECH	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
C1	U1900 G1900 U2100	240°	33'–8"	1	ERICSSON	AIR21 KRC118023–1_B2A_B4P (QUAD)	0° 5'	0°	(2) 7/8" COAX (2) 7/8" LMU COAX (2) FIBER JUMPER (1) ERICSSON 3x6 HCS	93' 93' 16' 30M	(1) GENERIC TWIN STYLE 1B TMA (2) TRX RADIOS
C2	L2100	240°	33'–8"	1	ERICSSON	AIR21 KRC 118023–1_B2P_B4A (QUAD)	5°	0°	(1) FIBER JUMPER	16'	



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SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 203531900

REV.	DATE	ISSUED FOR	BY
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1	05/27/21	JX COMMENTS	JR

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05/27/2021 1:54PM

SITE NAME:
BAY POINTE
APARTMENT

T-MOBILE SITE I.D.
SD06471A

SITE ADDRESS:
3910 INGRAHAM ST
SAN DIEGO, CA 92109

SHEET NAME:
**EXISTING
CONFIGURATION**

SHEET NUMBER:
RF-1

24"x36" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"



EXISTING ANTENNA LAYOUT

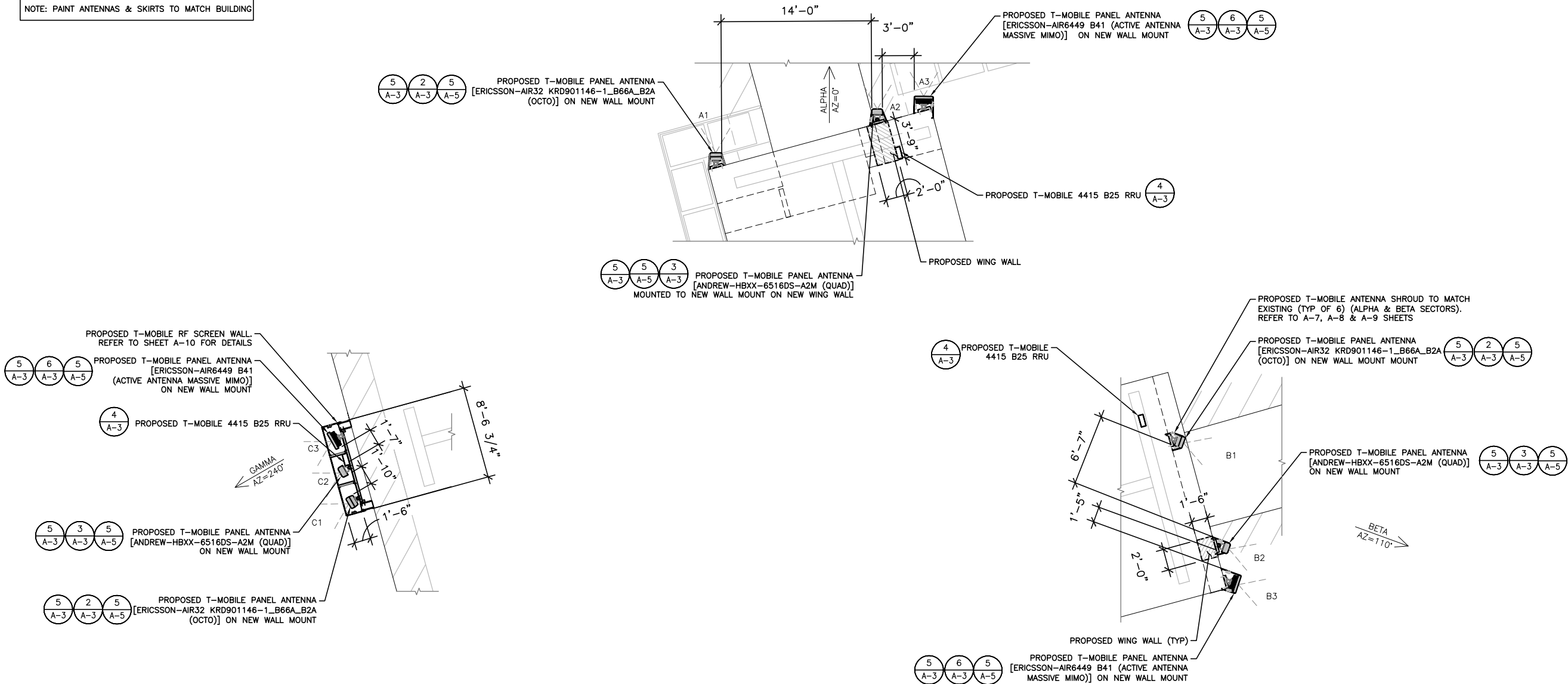
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PROPOSED ANTENNA AND COAX SCHEDULE											
SECTOR ALPHA	TECH	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
A1	L2100 G1900 L1900	0°	35'-5"	1	ERICSSON	AIR32 KRD901146-1_B66A_B2A (OCTO)	2°	0°	(4) FIBER JUMPER (2) ERICSSON 6x12 HCS 4AWG	16' 120M	-
A2	L1900 U1900	0°	35'-5"	1	ANDREW	HBXX-6516DS-A2M (QUAD)	2°	0°	(2) FIBER JUMPER (4) JUMPER SURFLEX 4.3-10 TO DM	16' 8'	4415 B25 RRU
A3	L2500 N2500	0°	35'-5"	1	ERICSSON	AIR6449 B41 (ACTIVE ANTENNA-MASSIVE MIMO)	2°	0°	(4) FIBER JUMPER (1) ERICSSON 3x6 HCS	16' 120M	-
SECTOR BETA	TECH	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
B1	L2100 G1900 L1900	110°	32'-10"	1	ERICSSON	AIR32 KRD901146-1_B66A_B2A (OCTO)	2°	0°	(4) FIBER JUMPER (2) ERICSSON 6x12 HCS 4AWG	16' 70M	-
B2	L1900 U1900	110°	32'-10"	1	ANDREW	HBXX-6516DS-A2M (QUAD)	2°	0°	(2) FIBER JUMPER (4) JUMPER SURFLEX 4.3-10 TO DM	16' 8'	4415 B25 RRU
B3	L2500 N2500	110°	32'-10"	1	ERICSSON	AIR6449 B41 (ACTIVE ANTENNA-MASSIVE MIMO)	2°	0°	(4) FIBER JUMPER (1) ERICSSON 3x6 HCS	16' 70M	-
SECTOR GAMMA	TECH	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
C1	L2100 G1900 L1900	240°	33'-8"	1	ERICSSON	AIR32 KRD901146-1_B66A_B2A (OCTO)	2°	0°	(4) FIBER JUMPER (2) ERICSSON 6x12 HCS 6AWG	16' 30M	-
C2	L1900 U1900	240°	33'-8"	1	ANDREW	HBXX-6516DS-A2M (QUAD)	2°	0°	(2) FIBER JUMPER (4) JUMPER SURFLEX 4.3-10 TO DM	16' 8'	4415 B25 RRU
C3	L2500 N2500	240°	33'-8"	1	ERICSSON	AIR6449 B41 (ACTIVE ANTENNA-MASSIVE MIMO)	2°	0°	(4) FIBER JUMPER (1) ERICSSON 3x6 HCS (1) PSU 4813	16' 30M	-

NOTE: PAINT ANTENNAS & SKIRTS TO MATCH BUILDING

- NOTES:
- ALL PROPOSED EQUIPMENT IS LOW VOLTAGE, DC POWER
 - COORDINATE WITH CONSTRUCTION MANAGER FOR CURRENT RFDS PRIOR TO CONSTRUCTION
 - CABLE LENGTH IS APPROXIMATE. CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF CABLES.
 - NO WORK SHALL COMMENCE WITHOUT THE APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT (SIGNED AND SEALED) PROVIDED BY OTHERS UNDER SEPARATE COVER. CONTRACTOR PRIOR TO INSTALLATION OF ANTENNAS, EQUIPMENT AND COAX CABLES SHALL REVIEW THE APPROVED TOWER STRUCTURAL ANALYSIS PROVIDED BY T-MOBILE AND MODIFY, IF REQUIRED, ALL APPLICABLE MEMBERS AS INDICATED IN THE CERTIFIED STRUCTURAL.



24"x36" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"

PROPOSED ANTENNA LAYOUT

1

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www.morrisonhershfield.com
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1	05/27/21	JX COMMENTS	JR

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SITE NAME:

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APARTMENT

T-MOBILE SITE I.D.

SD06471A

SITE ADDRESS:

3910 INGRAHAM ST
SAN DIEGO, CA 92109

SHEET NAME:

PROPOSED
CONFIGURATION

SHEET NUMBER:

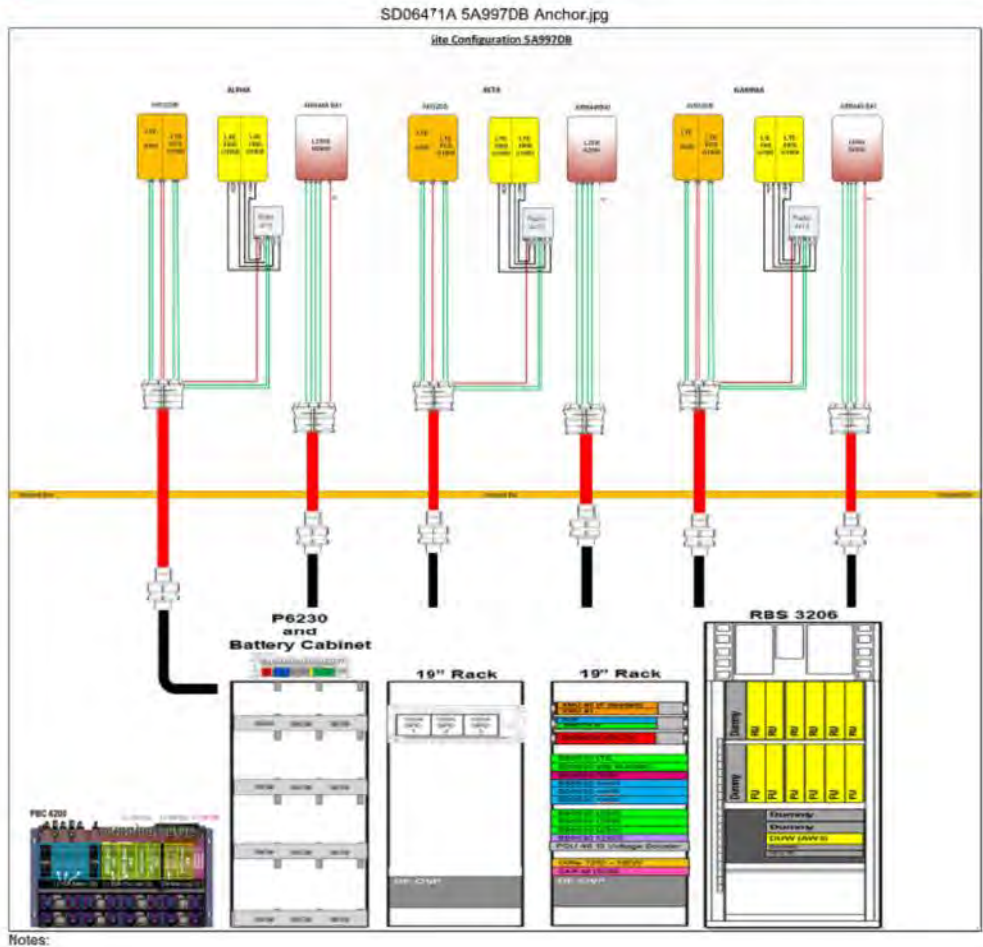
RF-2

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8/28/2020

SD06471A_Anchor_6_2020-08-28

Section 3 - Proposed Template Images



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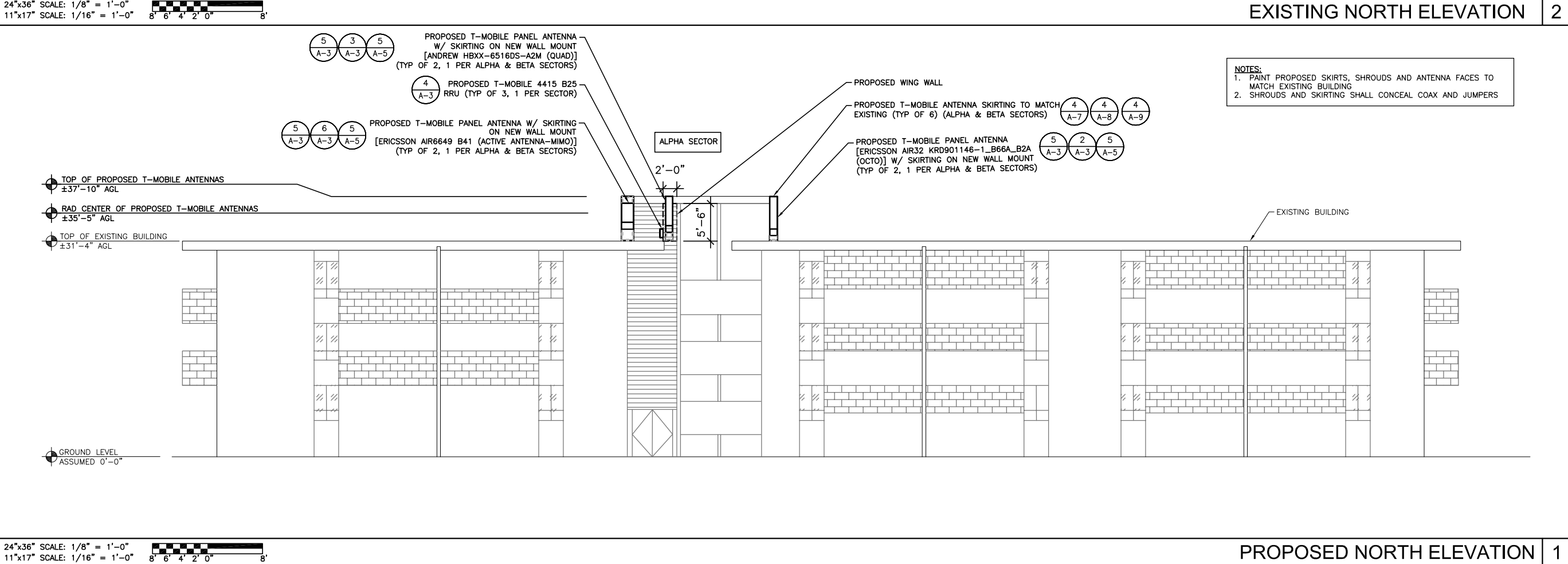
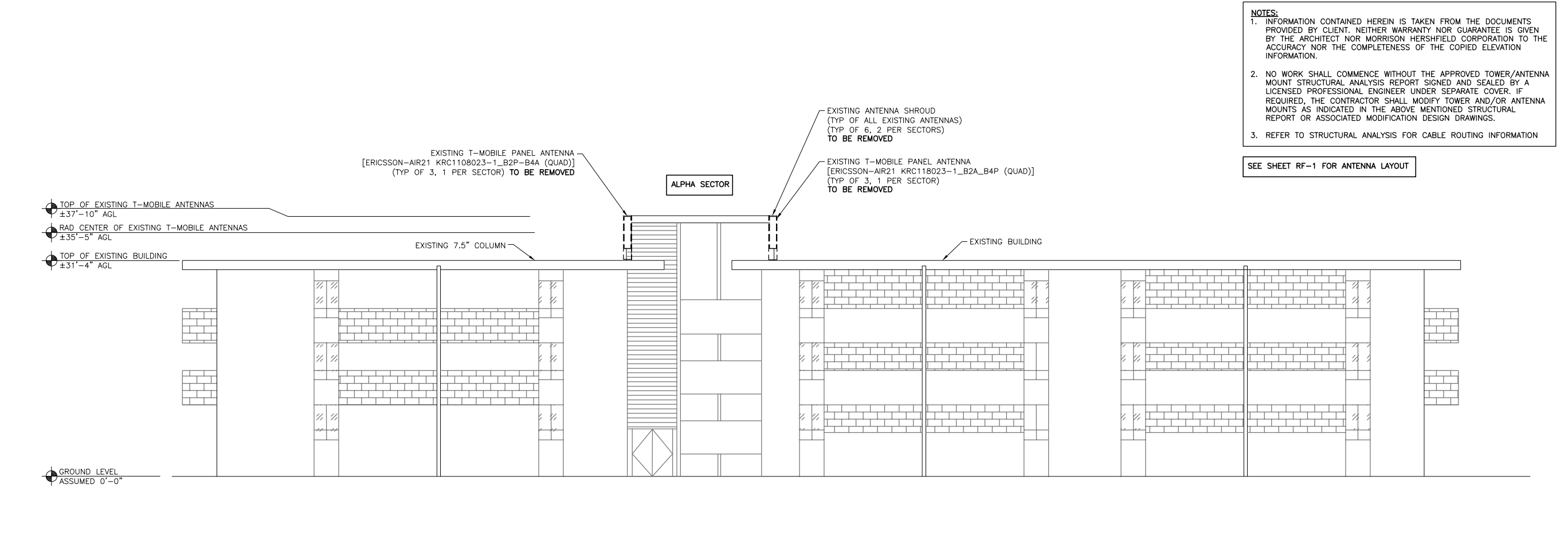
T-MOBILE SITE I.D.
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SITE ADDRESS:
3910 INGRAHAM ST
SAN DIEGO, CA 92109

SHEET NAME:
PLUMBING
DIAGRAM

SHEET NUMBER:
RF-3

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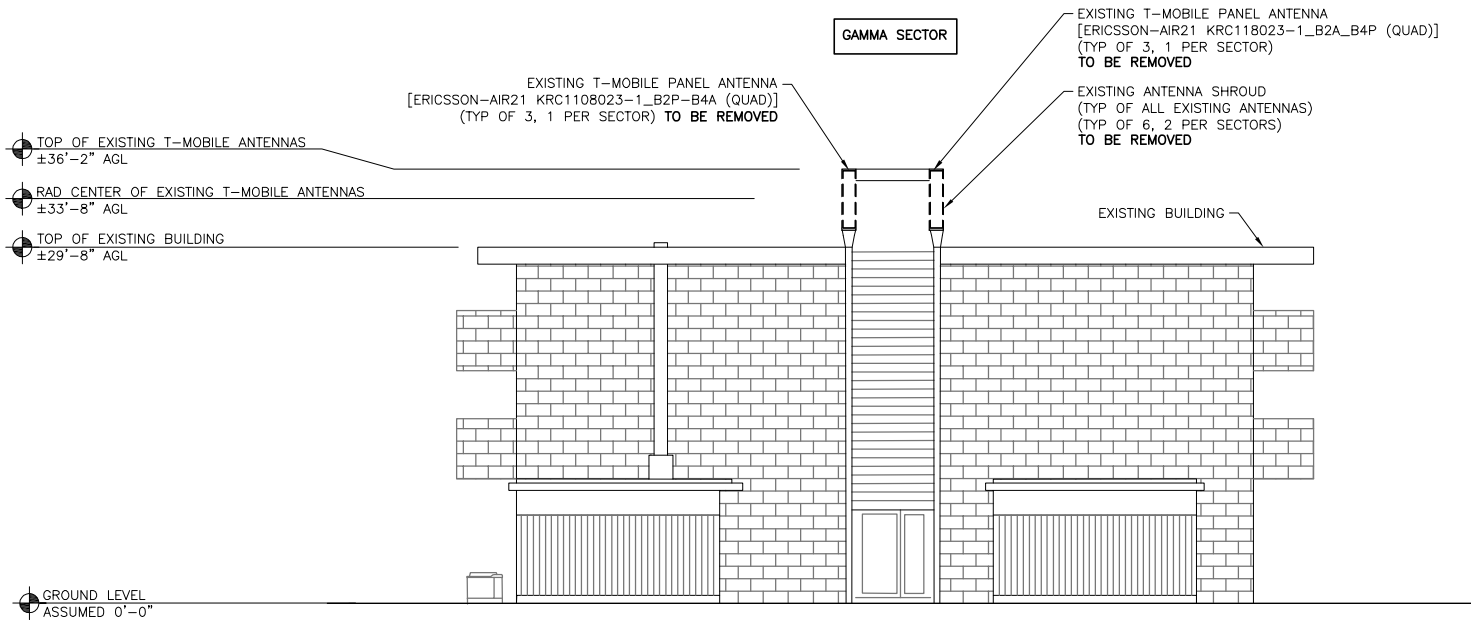
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NORTH
ELEVATION

SHEET NUMBER:

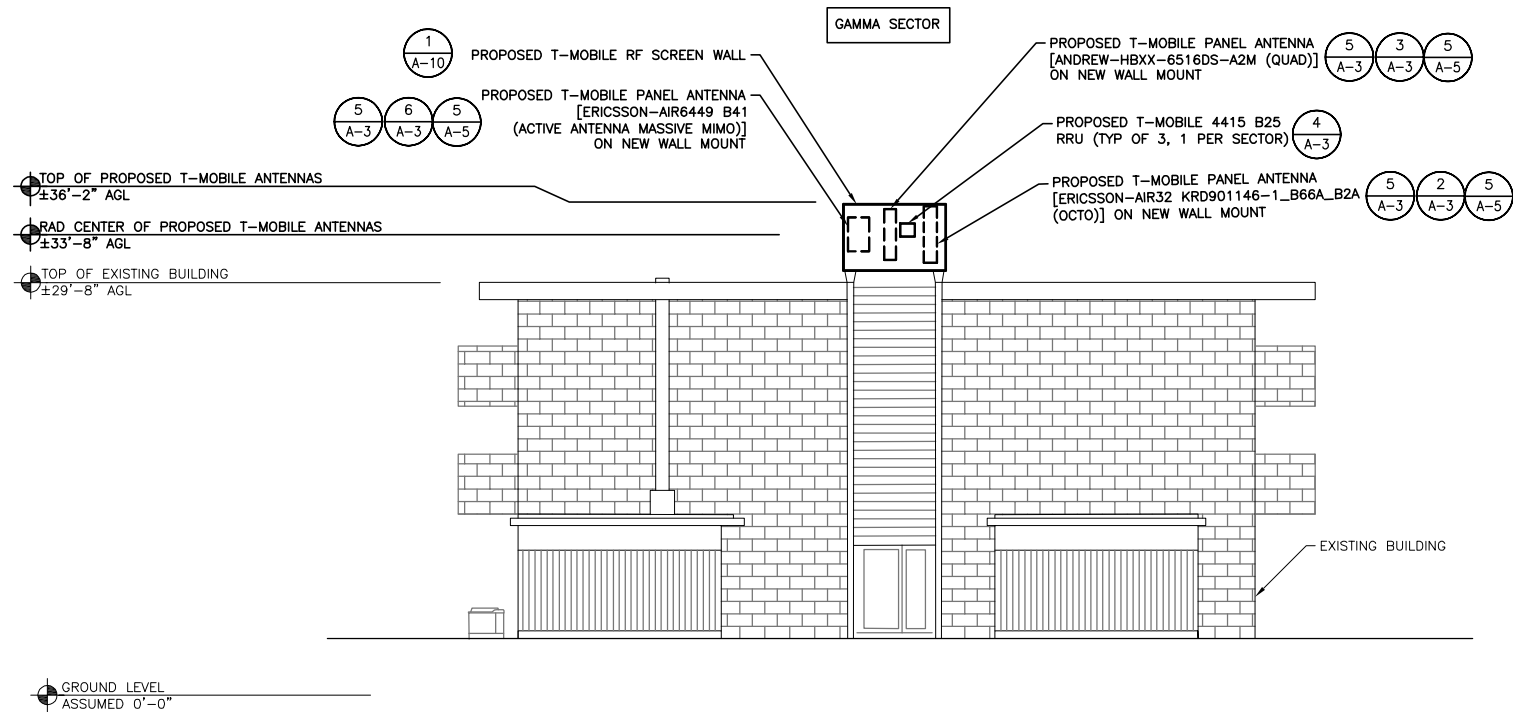
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24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

EXISTING WEST ELEVATION 2



24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

PROPOSED WEST ELEVATION 1

- NOTES:**
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 2. NO WORK SHALL COMMENCE WITHOUT THE APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER. IF REQUIRED, THE CONTRACTOR SHALL MODIFY TOWER AND/OR ANTENNA MOUNTS AS INDICATED IN THE ABOVE MENTIONED STRUCTURAL REPORT OR ASSOCIATED MODIFICATION DESIGN DRAWINGS.
 3. REFER TO STRUCTURAL ANALYSIS FOR CABLE ROUTING INFORMATION

SEE SHEET RF-1 FOR ANTENNA LAYOUT

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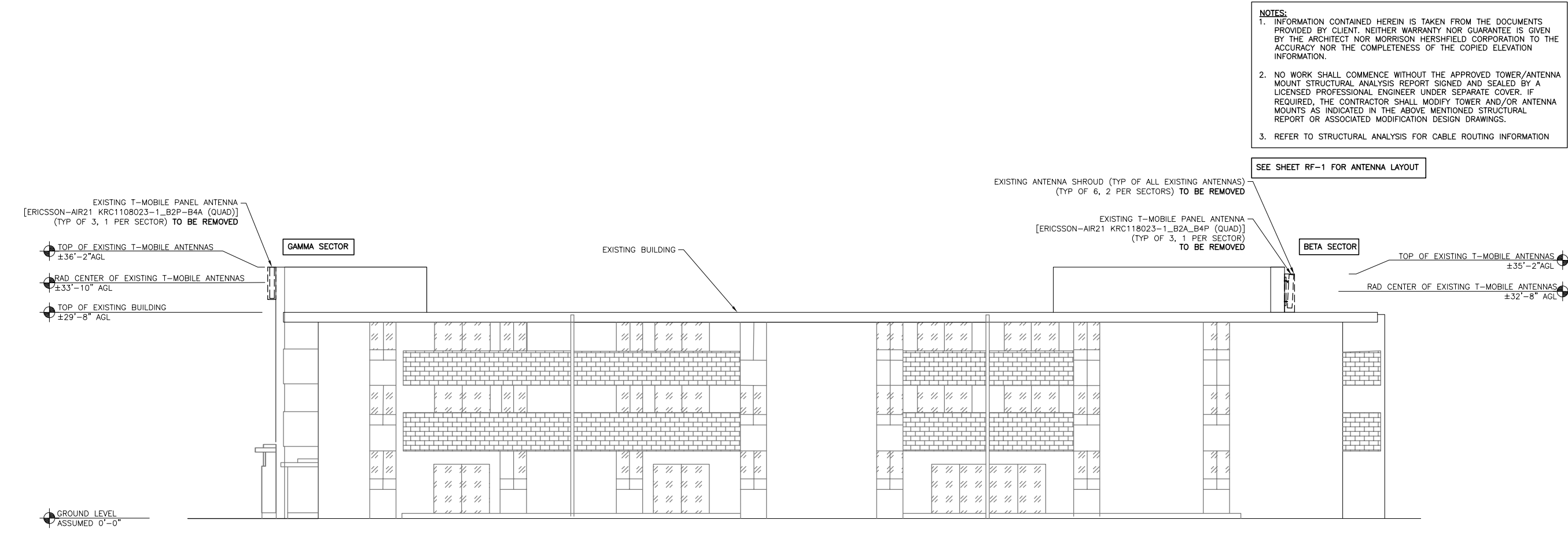
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SHEET NAME:
**WEST
ELEVATION**

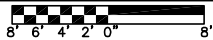
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A-2.1

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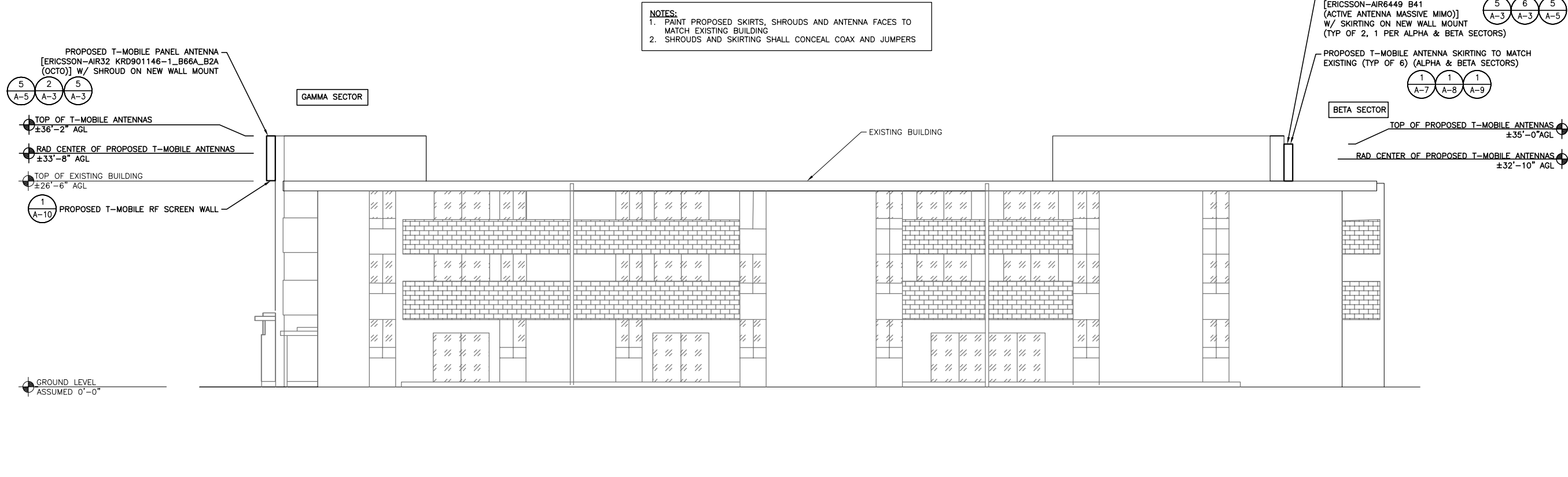


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 3. REFER TO STRUCTURAL ANALYSIS FOR CABLE ROUTING INFORMATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



EXISTING SOUTH ELEVATION 2



- NOTES:**
1. PAINT PROPOSED SKIRTS, SHROUDS AND ANTENNA FACES TO MATCH EXISTING BUILDING
 2. SHROUDS AND SKIRTING SHALL CONCEAL COAX AND JUMPERS

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



PROPOSED SOUTH ELEVATION 1

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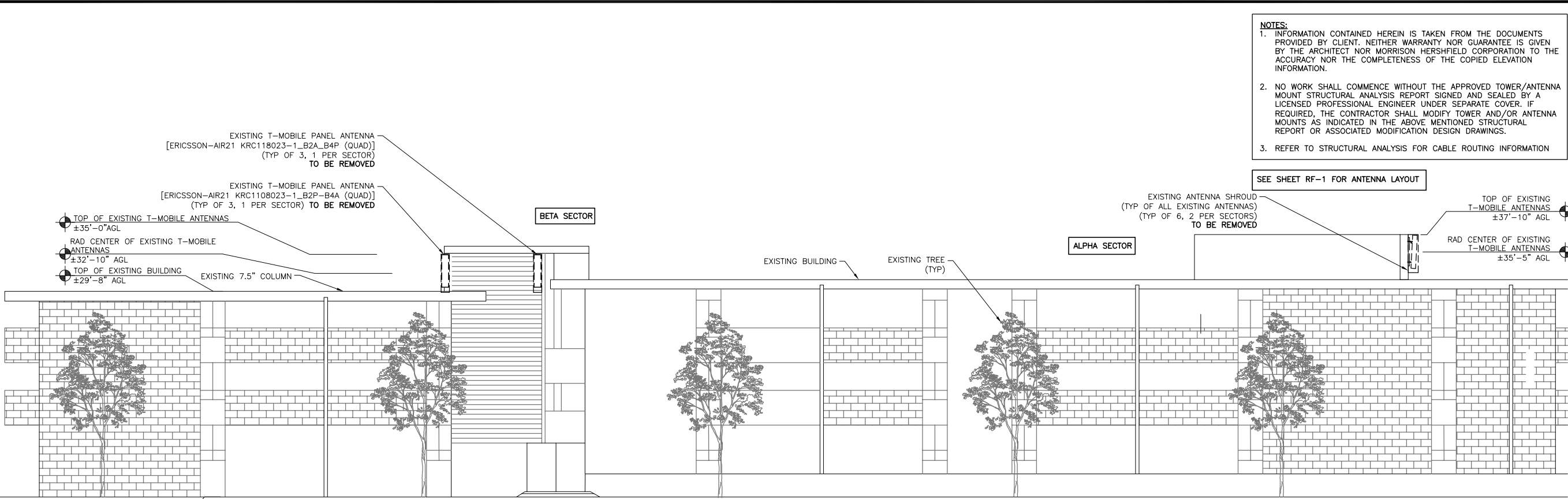
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SHEET NAME:
**SOUTH
ELEVATION**

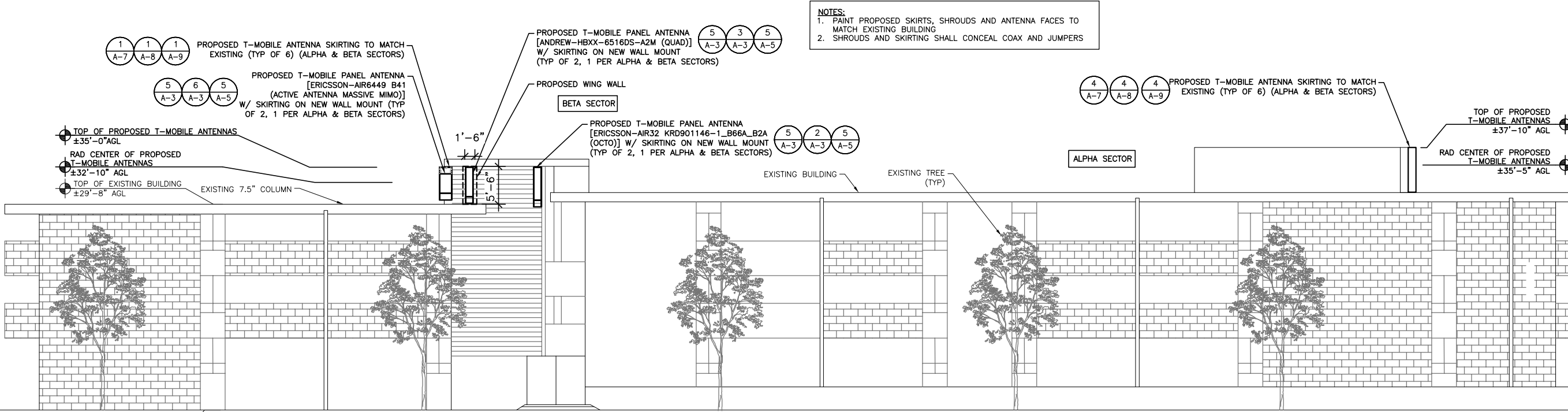
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A-2.2

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11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

EXISTING EAST ELEVATION 2



24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

PROPOSED EAST ELEVATION 1

- NOTES:**
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 3. REFER TO STRUCTURAL ANALYSIS FOR CABLE ROUTING INFORMATION

SEE SHEET RF-1 FOR ANTENNA LAYOUT

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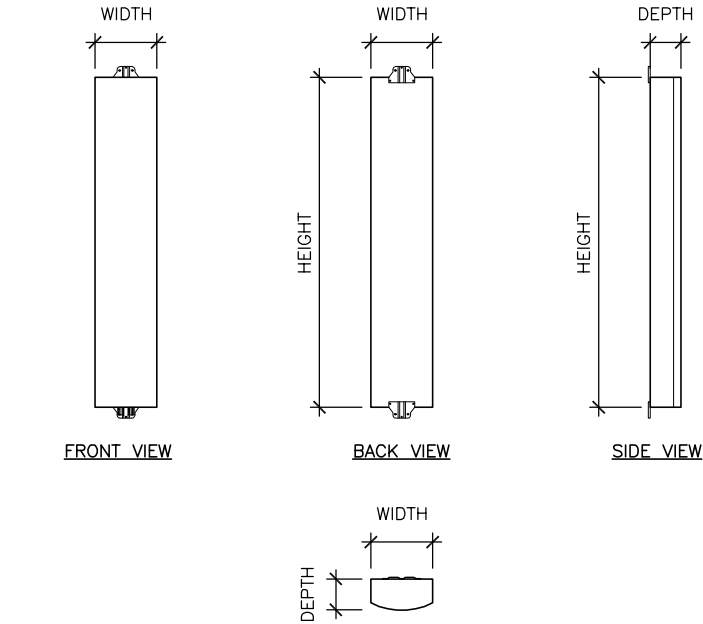
T-MOBILE SITE I.D.
SD06471A

SITE ADDRESS:
**3910 INGRAHAM ST
SAN DIEGO, CA 92109**

SHEET NAME:
**EAST
ELEVATION**

SHEET NUMBER:
A-2.3

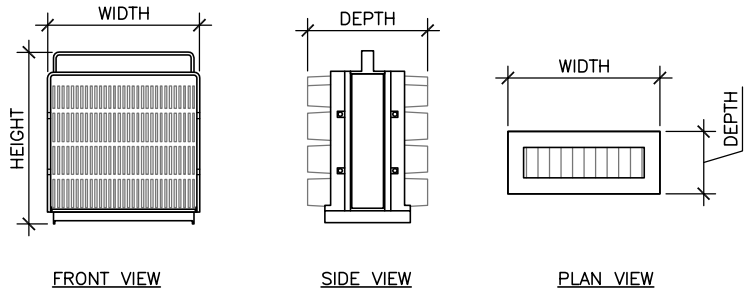
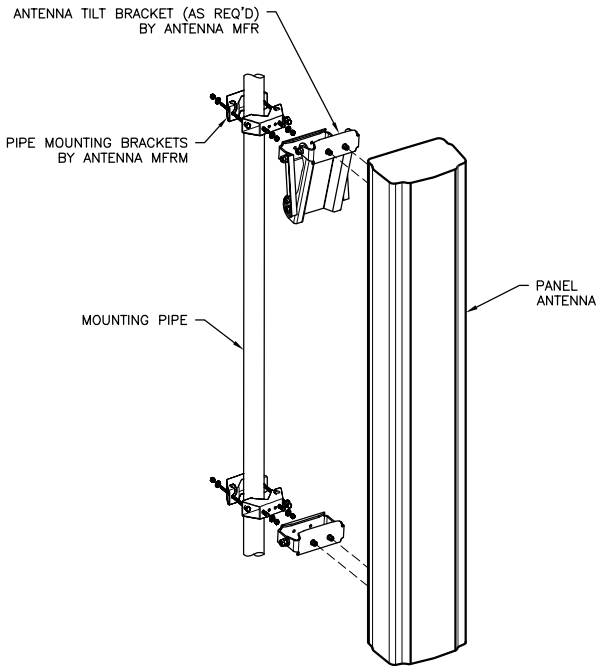
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ERICSSON AIR6449 B41

SIZE AND WEIGHT TABLE

HEIGHT	WIDTH	DEPTH	WEIGHT
33.10"	20.60"	8.60"	104.0 LBS



ERICSSON 4415 (B25)

SIZE AND WEIGHT TABLE

WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
13.19"	5.39"	14.96"	44.0 LBS

NOTE:
INSTALL PER MFR RECOMMENDATIONS

ANTENNA SPECIFICATIONS

6

24"x36" SCALE: NTS
11"x17" SCALE: NTS

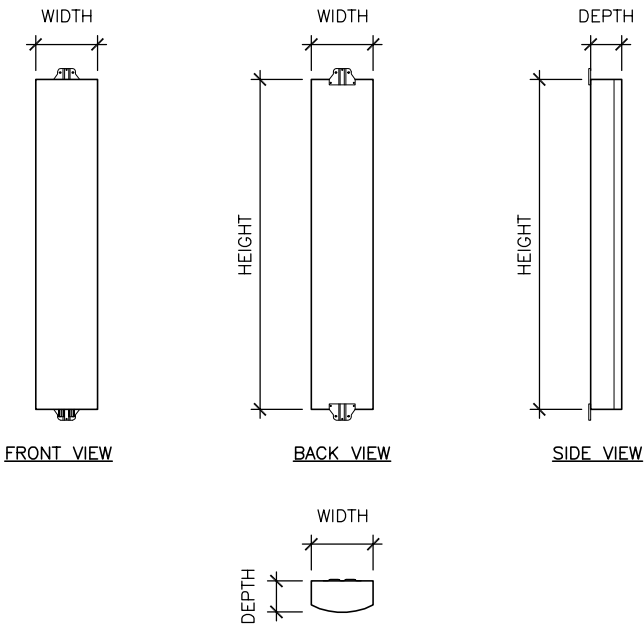
TYP ANTENNA MOUNTING

5

24"x36" SCALE: NTS
11"x17" SCALE: NTS

RRU SPECIFICATIONS

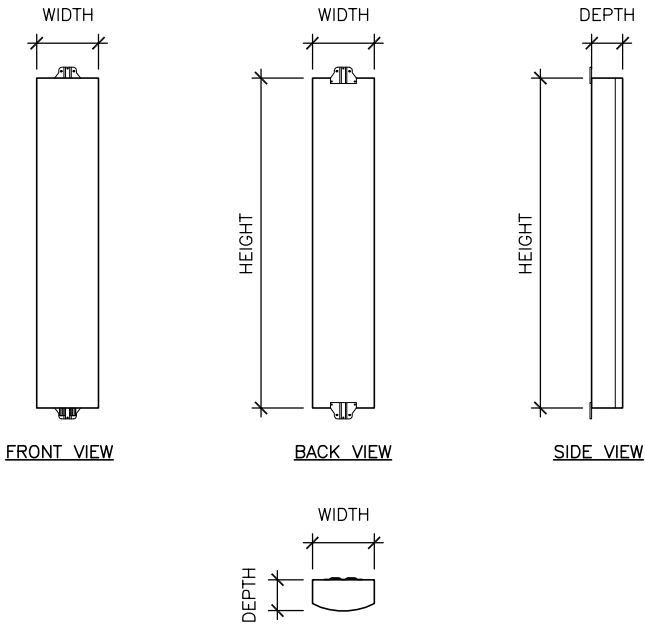
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ANDREW HBXX-6516DS-A2M

SIZE AND WEIGHT TABLE

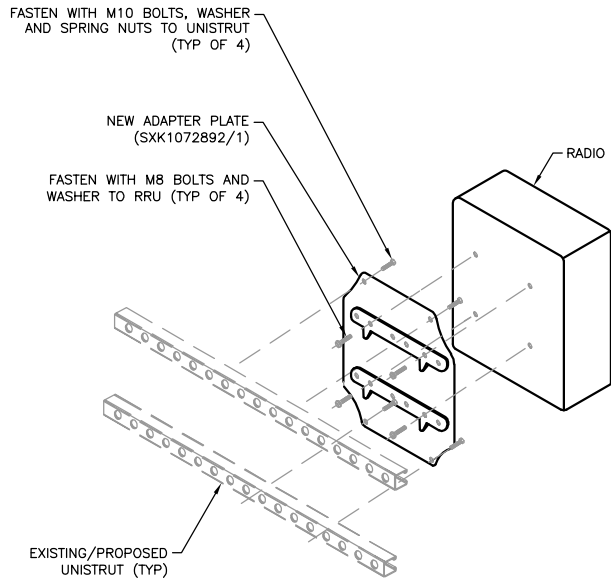
HEIGHT	WIDTH	DEPTH	WEIGHT
50.94"	12.01"	6.50"	30.60 LBS



ERICSSON AIR32 KRD901146-1 B66A B2A (OCTO)

SIZE AND WEIGHT TABLE

HEIGHT	WIDTH	DEPTH	WEIGHT
56.60"	12.9"	8.7"	105.80 LBS



ANTENNA SPECIFICATIONS

3

24"x36" SCALE: NTS
11"x17" SCALE: NTS

ANTENNA SPECIFICATIONS

2

24"x36" SCALE: NTS
11"x17" SCALE: NTS

TYPICAL RADIO MOUNTING

1

T-Mobile™

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

PLANS PREPARED BY:



MORRISON HERSHFIELD

600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 203531900

REV.	DATE	ISSUED FOR	BY
A	10/09/20	90% REVIEW	GD
0	12/23/20	100% CONSTRUCTION	MLG
1	05/27/21	JX COMMENTS	JR

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AND STAMPED APPROVED BY MUNICIPALITY

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SITE NAME:

BAY POINTE
APARTMENT

T-MOBILE SITE I.D.

SD06471A

SITE ADDRESS:

3910 INGRAHAM ST
SAN DIEGO, CA 92109

SHEET NAME:

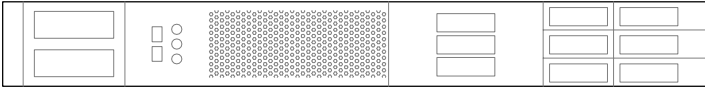
CONSTRUCTION
DETAILS

SHEET NUMBER:

A-3

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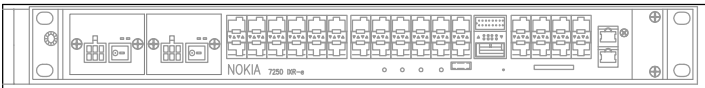
MANUFACTURER: ERICSSON
MODEL: PSU 4813
DIMENSIONS: 19"x14.3"x1.7"
WEIGHT: 17.2 LBS



24"x36" SCALE: NTS
11"x17" SCALE: NTS

PSU DETAIL 7

MANUFACTURER: NOKIA
MODEL: IXR-E MODULE
DIMENSIONS: 17.25"x10.0"x1.75"
WEIGHT: TBD



24"x36" SCALE: NTS
11"x17" SCALE: NTS

IXR-E DETAIL 6

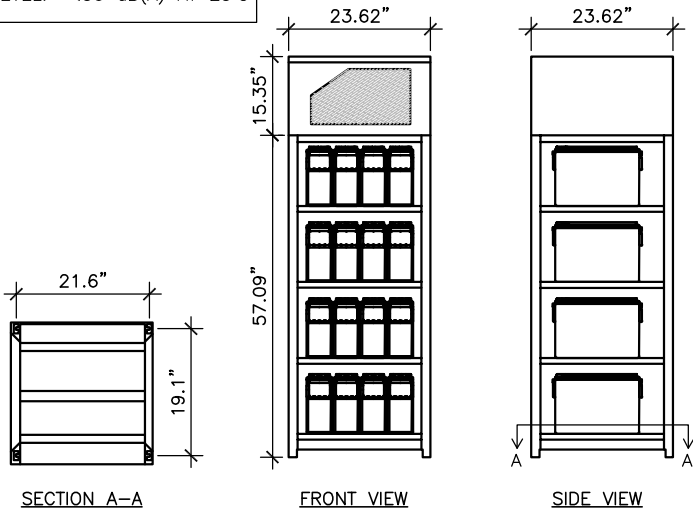
MANUFACTURE: ERICSSON
MODEL: PBC 6200
WEIGHT: 2200Lbs.
HEIGHT: 72.44in.
WIDTH: 23.62in.
DEPTH: 23.62in.

POWER FACTOR: >0.99

BATTERY CAPACITY: 48V/140-760 Ah
(BATTERY RACK CAPACITY, AGM BATTERIES)

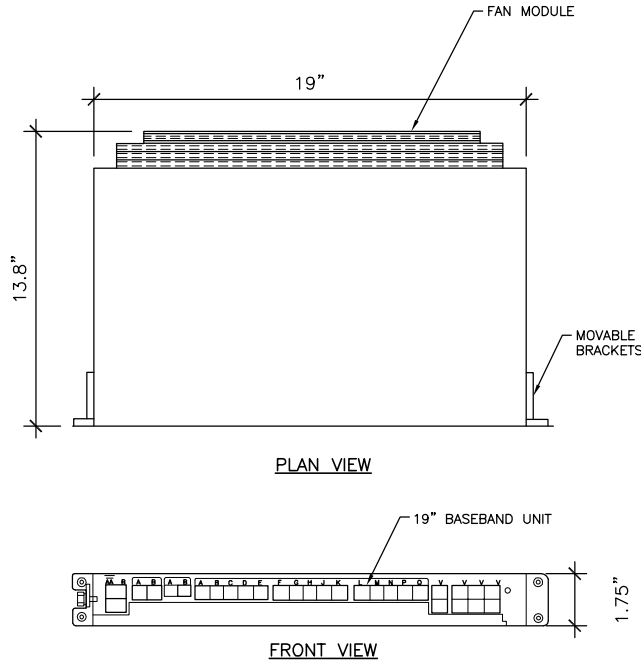
TEMPERATURE RANGE: NORMAL OPERATION:
+5 TO 50°C

RECTIFIER NOISE LEVEL: <50 dB(A) AT 25°C



PBC 6200 5

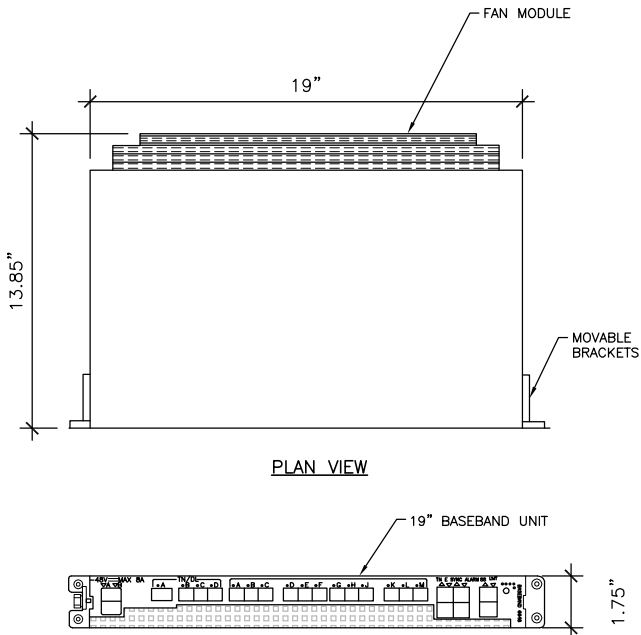
MANUFACTURE: ERICSSON
MODEL: BASEBAND 6630
DIMENSIONS: 19.0"x13.8"x1.75" (UNIT ONLY)
WEIGHT: ±2.5 LBS (UNIT ONLY)



24"x36" SCALE: NTS
11"x17" SCALE: NTS

BB6630 4

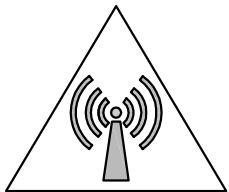
MANUFACTURE: ERICSSON
MODEL: BASEBAND 6648
DIMENSIONS: 19.0"x13.85"x1.75" (UNIT ONLY)
WEIGHT: ±16.5 LBS (UNIT ONLY)



24"x36" SCALE: NTS
11"x17" SCALE: NTS

BB6648 3

CAUTION



Beyond this point: Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.

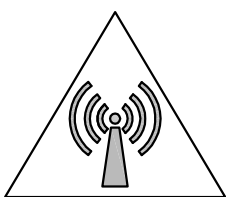
NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

WARNING

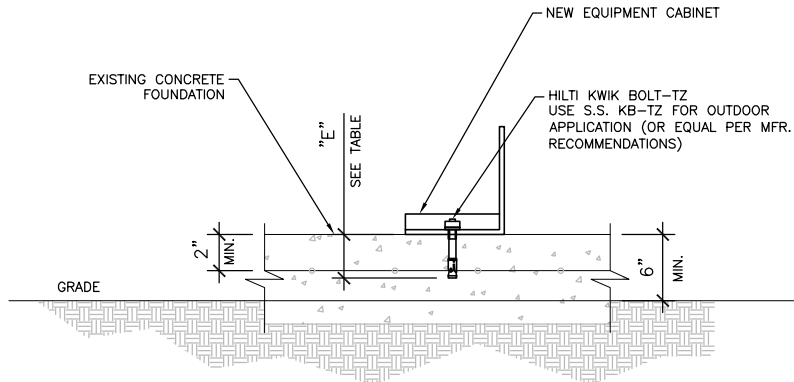


Beyond this point: Radio frequency fields at this site exceed the FCC rules for human exposure.

Failure to obey all posted signs and sites guidelines for working in radio frequency environments could result in serious injury.

SIGNAGE 2

ANCHOR SCHEDULE		
BOLT DIA.	HOLE DIA.	"E" EMBEDMENT
3/8"	3/8"	2"
1/2"	1/2"	3"
5/8"	5/8"	3 1/8"
3/4"	3/4"	3 3/4"



NOTE:

VERIFY WITH CABINET MANUFACTURER FOR MOUNTING HOLE AND INSTALLATION RECOMMENDATIONS.

24"x36" SCALE: NTS
11"x17" SCALE: NTS

CABINET ATTACHMENT 1

T-Mobile

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APARTMENT

T-MOBILE SITE I.D.

SD06471A

SITE ADDRESS:

3910 INGRAHAM ST
SAN DIEGO, CA 92109

SHEET NAME:

CONSTRUCTION
DETAILS

SHEET NUMBER:

A-4

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ROUTING P.
ORDERED P.

2 (12)
3 (12)
4 (12)
5 (12)

1 (12)
2 (12)

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PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	2	K-6259	WALL MOUNT BRACKET		6.48	12.96
2	2	X-081212	1/2" X 2-1/2" X 4-1/2" X 5" U-BOLT (HDG.)		8.63	1.35
3	4	G12FW	1/2" HDG USS FLATWASHER		0.63	0.14
4	4	G12LW	1/2" HDG LOCKWASHER		8.01	0.86
5	4	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.57	0.23
TOTAL WT. #						13.64

OTHERWISE NOTED ARE: 1. 5.8807 2. NO CORING OF HOLES 3. NO CORING OF HOLES				DESCRIPTION CANTILEVER WALL MOUNT		 Engineering Support Team 1-888-753-5448 A Valmont 		Locations: New York, NY Atlanta, GA San Francisco, CA Phoenix, AZ Dallas, TX	
QPS NO.	DESIGN BY	DATE	10/7/2016	ENR. APPROVAL			PART NO.	SP250	
CLASS	SLAB	DESKING USAGE	CHECKED BY	BMC	DATE	10/7/2016	QMS. NO.	SP250	
CUSTOMER									

1

NEW 1/2" ϕ BOLTS (TYP)

PROPOSED ANTENNA

EXITING PIPE MOUNT

PROPOSED L1 1/2" x 1 1/2" x 1/4", 6" LONG CLIP ANGLE (TYP)

This diagram shows the elevation view of the antenna mounting assembly. A vertical pipe, labeled 'EXITING PIPE MOUNT', is shown with two horizontal clip angles attached to it. The clip angles are labeled 'PROPOSED L1 1/2" x 1 1/2" x 1/4", 6" LONG CLIP ANGLE (TYP)'. A 'PROPOSED ANTENNA' is shown attached to the clip angles. The antenna is connected to the clip angles by 'NEW 1/2" ϕ BOLTS (TYP)'.



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PRODUCT DATASHEET
HB114-05U9S18-50M-01

RADIO FREQUENCY SYSTEMS
The Clear Choice®

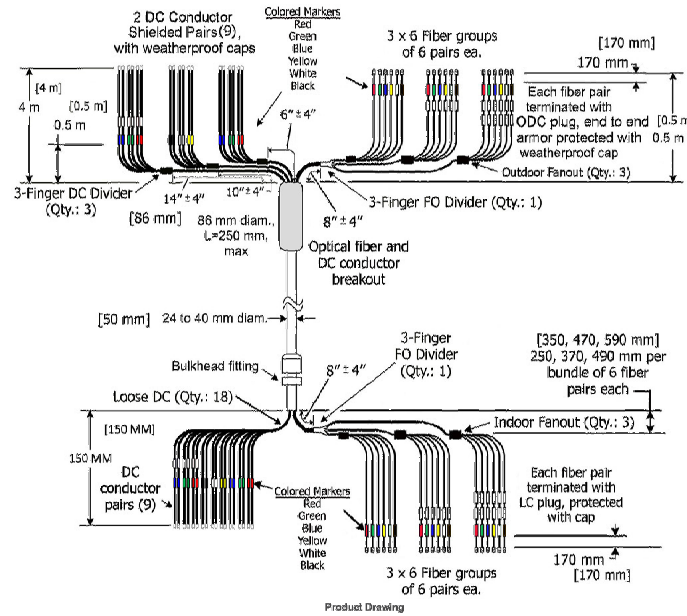


HYBRIFLEX® RRH Hybrid Feeder Cabling Solution
9x18, 10 AWG, 1-1/4", Single-Mode Fiber, 50m

External Link Reference

View Factory Test Results On-line
HYBRIFLEX Armor Removal Video

<https://myrfsworld.com/hybridflex/Default.aspx>
<https://www.youtube.com/watch?v=kapUAPg8nOQ>



HB114-05U9S18-50M-01 REV: A REV DATE: 7/28/16 www.rfsworld.com
All information contained in the present datasheet is subject to confirmation at time of ordering. Page 2 of 2

Product Datasheet

RADIO FREQUENCY SYSTEMS
The Clear Choice®



Group Datasheet HB114-U6S12-xxx-LI Series

HYBRIFLEX™ RRH Hybrid Cable Solution 6x12, 6AWG
Low-Inductance, 1-1/4", Single-Mode Fiber With DLC Connectors

Product Description

RFS' HYBRIFLEX Remote Radio Head (RRH) hybrid feeder cabling solution combines optical fiber and DC power for RRHs in a single lightweight aluminum corrugated cable, making it the world's most innovative solution for RRH deployments.

This low-inductance version of HYBRIFLEX allows mobile operators deploying an RRH architecture to deploy >400ft sites without the danger of power-cycling their RRHs due to voltage swings, which could occur in some specific instances. It combines bend-insensitive single-mode fiber (12 pairs of DLC connectors), 6 pairs of low-inductance DC wires and 9 pairs of 18AWG wires used to carry alarm signals. The package also includes a special RFS-designed DC insulating boot, used to properly protect and insulate the DC wires after stripping the jacket, avoiding possible short-circuits while wiring it to the distribution boxes. Standard RFS CELLFLEX® accessories can be used with HYBRIFLEX cable.

Technical Specifications

Structure			
Outer Conductor Armor	Corrugated Aluminum	(mm [in])	36.0 (1.42)
Jacket	Flame Retardant	(mm [in])	39.0 (1.54)
UV-Protection	Individual and External Jacket		Yes
Mechanical Properties			
Weight, Approximate	(kg/m [lb/ft])		2.52 (1.70)
Minimum Bending Radius, Single Bending	(mm [in])		152 (6)
Minimum Bending Radius, Repeated Bending	(mm [in])		254 (10)
Recommended Maximum Cable Spacing	(m [ft])		1.0 / 1.2 (3.25 / 4.0)
Electrical Properties			
DC-Resistance Outer Conductor Armor	(Ω/km [Ω/1000ft])		0.9 (0.27)
DC-Resistance Power Cable, 13.3mm² (6AWG)	(Ω/km [Ω/1000ft])		1.4 (0.42)
Inductance @100-1000Hz	(μH/m [μH/ft])		< 0.19 (0.06)
Fiber Optic Properties			
Version			Single-mode
Quantity Fiber Count			24 (12 pairs)
Core/Clad			9/125
Primary Coating (Acrylate)	(μm)		245
Secondary Coating Diameter, Nominal	(μm)		900
Minimum Bending Radius	(mm [in])		137 (5.4)
Optical Loss @ wavelength 1310nm	dB/cm		0.3
Optical Loss @ wavelength 1550nm	dB/cm		0.3
DC Power Cable Properties			
Size (Power)	(mm² [AWG])		13.3 (6)
Quantity Wire Count (Power)			12 (6 concentric wires)
Size (Alarm)	(mm² [AWG])		0.8 (18)
Quantity Wire Count (Alarm)			18 (9 stranded pairs)
Type			PVC/ Nylon
Primary Jacket Diameter, Nominal	(mm [in])		9.3 (0.365)
Environment			
Installation Temperature	°C (°F)		-20 to +65 (-4 to +149)
Operation Temperature	°C (°F)		-40 to +65 (-40 to +149)
Storage Temperature	°C (°F)		-40 to +75 (-40 to +158)
Standards (meets or exceeds)			
Jacket	UL2882 Type RHC, UL Listed		
Fiber Optic	UL Listed Type OM3 (UL1666), RoHS Compliant		
Alarm Wires	UL Standard 1063, 1581 V-0W-1, MTW-01 and Gasoline R551		
Power Wires	SUNBELL Cable meets UL requirements, RoHS/REACH Compliant		
Power Wires	For use in Type RHC per UL 2882, PVC/Nylon, RoHS/REACH Compliant		

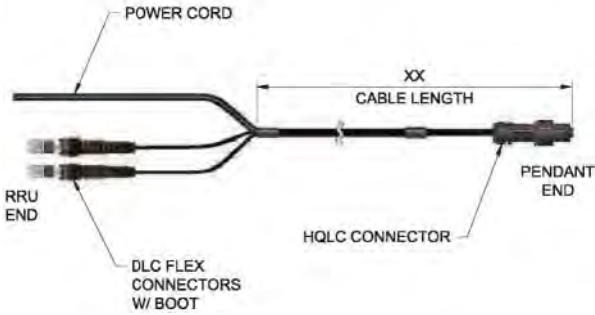
RFS The Clear Choice® www.rfsworld.com
HB114-U6S12-xxx-LI Series | Print Date: 12.6.2015 | Rev: P4 | Rev Date: 12.6.2015
All information contained in this datasheet is subject to confirmation at time of ordering. Page 1 of 2



- **Patented DC Wire Insulator**
Used at the DC wire connection in distribution boxes, prevents potential short circuits
- **Aluminum corrugated armor with outstanding bending characteristics**
Minimizes installation time and enables mechanical protection and shielding
- **Same accessories as 1-1/4" coaxial cable**
- **Outer conductor grounding**
Eliminates typical grounding requirements and saves on installation costs
- **Lightweight solution and compact design**
Decreases tower loading
- **Robust cabling**
Eliminates need for expensive cable trays and ducts
- **Optical fiber and power cables housed in single corrugated cable**
Saves CAPEX by standardizing RRH cable installation and reducing installation requirements
- **Outdoor, flame-retardant jacket**
Ensures long-lasting cable protection

HCS SPECIFICATION 6

HCS SPECIFICATION 5



NOT USED 4

NOT USED 3

HCS 2.0 JUMPER CABLE 2

NOT USED 1

T-Mobile™

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
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PLANS PREPARED BY:



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SITE NAME:
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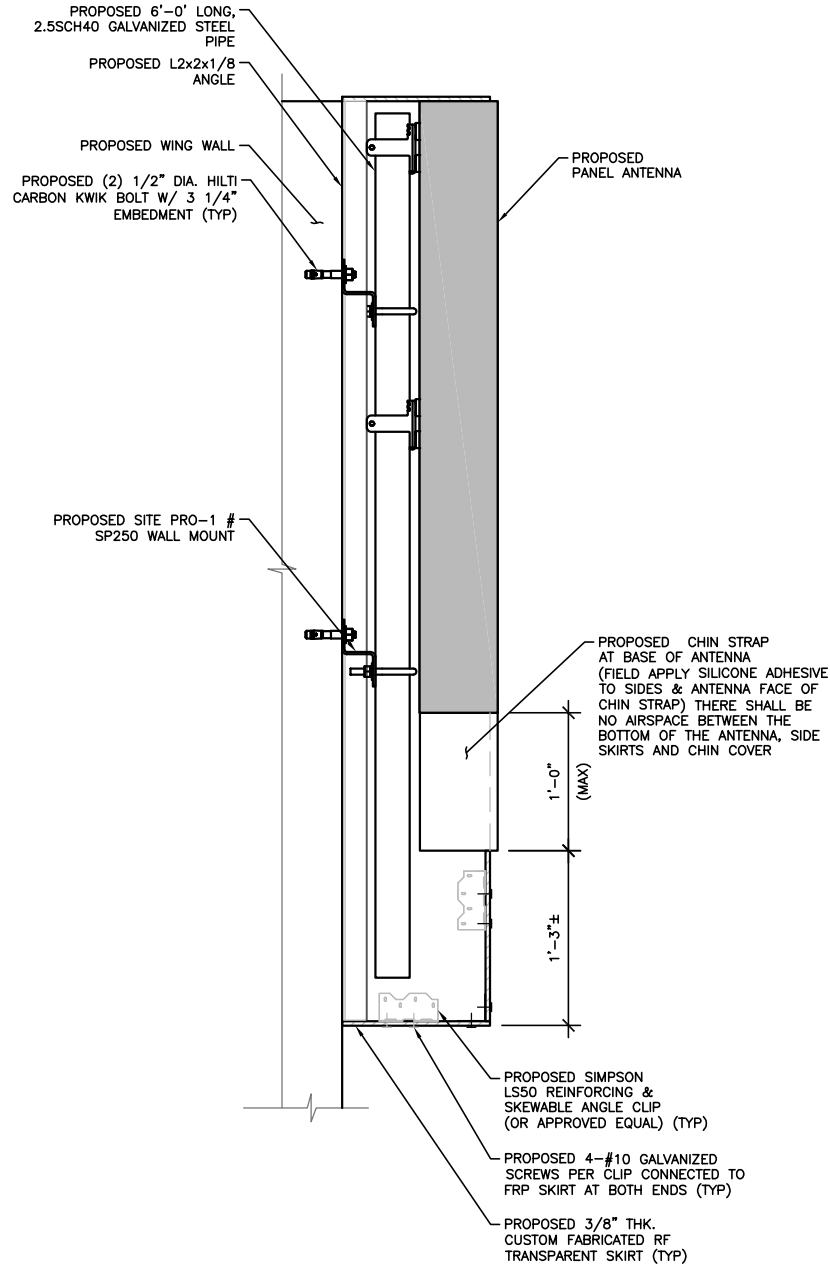
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DETAILS**

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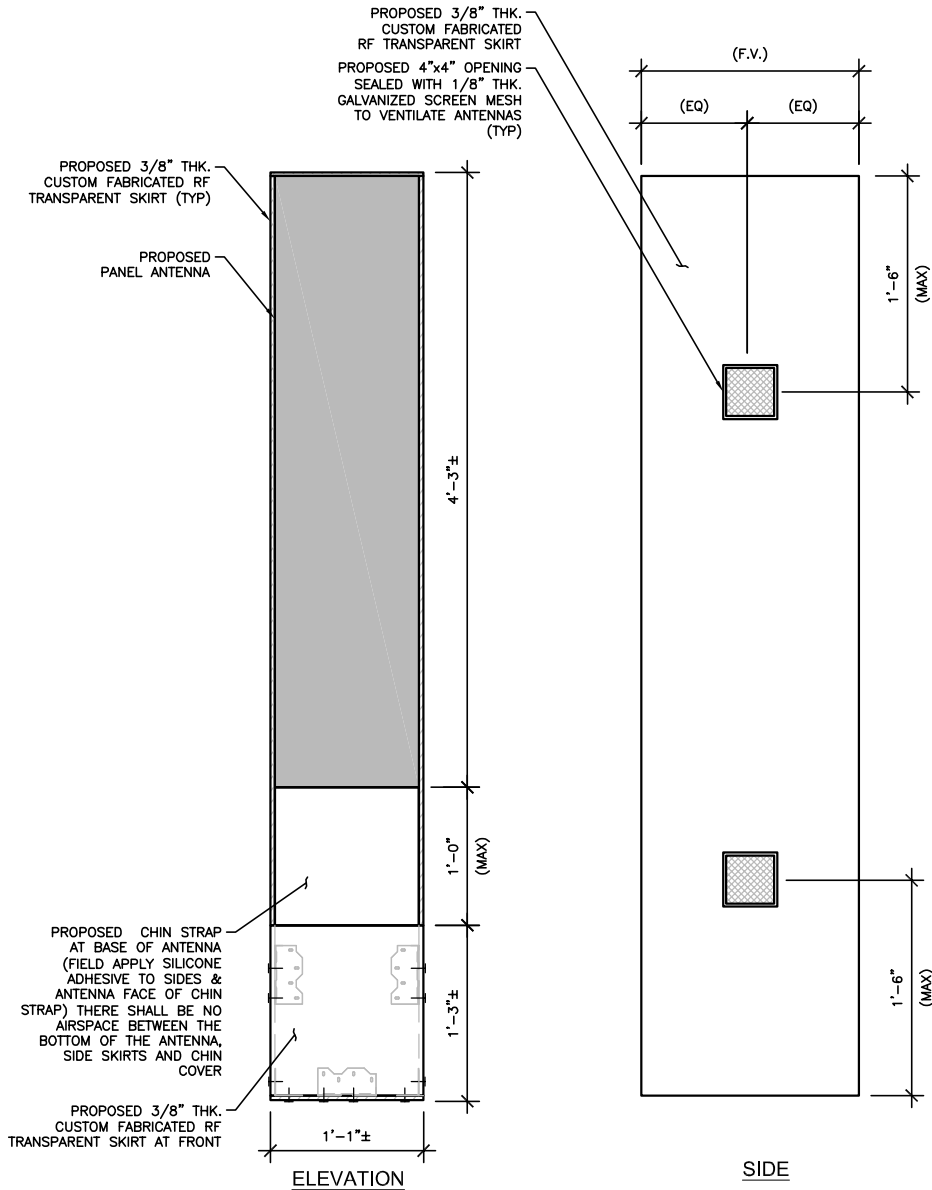
NOTES:

PROPOSED MOUNT ATTACHMENT SHOWN IN DETAIL 3 IS A SUGGESTED OPTION. CONTRACTOR TO VERIFY EXISTING WALL STRUCTURE & EXISTING MOUNTING SYSTEM. USE SAME METHOD OF ATTACHMENT OF THE PROPOSED WALL MOUNT BRACKETS TO THE WALL IF POSSIBLE TO MINIMIZE WALL PENETRATIONS.

NOTES:

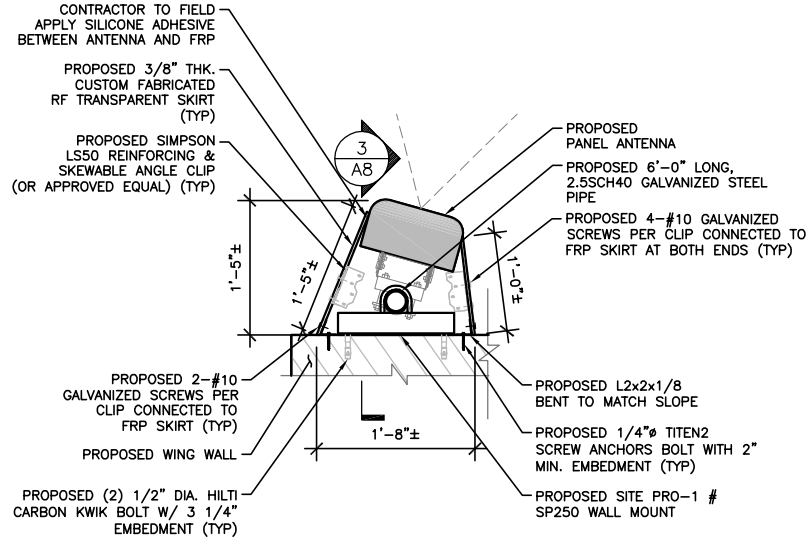
1. REMOVE EXISTING SKIRTING BEFORE INSTALLATION OF PROPOSED SKIRTING.
2. PAINT ALL ANTENNA, RF TRANSPARENT SKIRTS & CHIN STRAP TO MATCH EXISTING BACKGROUND.
3. LENGTH OF PROPOSED SKIRTING MAY VARY TO SUIT THE FIELD CONDITIONS.
4. DEPTH OF SIDE SKIRTING WILL CHANGE WITHIN LIMIT WITH CHANGE IN AZIMUTH ANGLE.
5. OPENING FOR VENTILATION TO BE PROVIDED FOR SIDE SKIRT OF WIDTH GREATER THAN 1'-0".
6. CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS BEFORE CREATING SHOP DRAWINGS AND NOTIFY MORRISON HERSHFIELD IF ANY DISCREPANCY OBSERVED FOR A WORK AROUND DESIGN.

HBXX-6516DS-A2M PANEL ANTENNA



TYPICAL PLAN OF HBXX-6516DS-A2M PANEL ANTENNA

SECTOR A



24"x36" SCALE: NTS
11"x17" SCALE: NTS

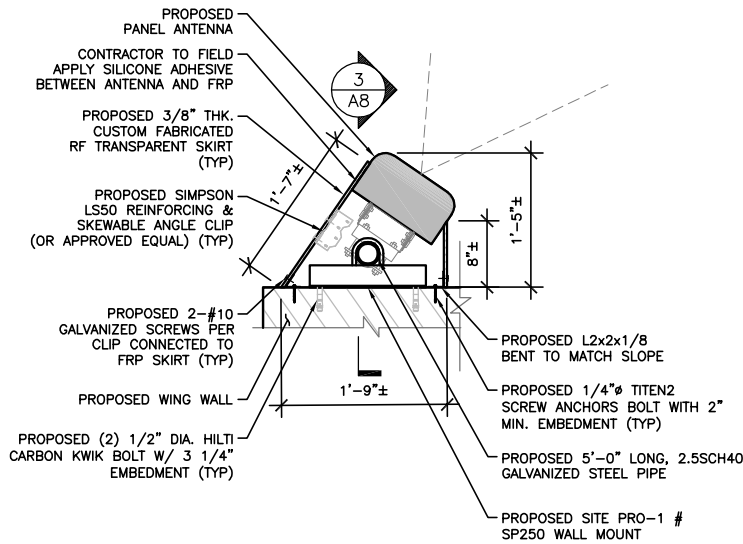
PROPOSED SKIRTING PLAN VIEW

4

NOTES:

1. SKIRTING IS NOT REQUIRED BELOW CHIN STRAP FOR THIS SECTOR.
2. PROPOSE 5'-0" LONG PIPE MOUNT.

SECTOR B



24"x36" SCALE: NTS
11"x17" SCALE: NTS

PROPOSED SKIRTING PLAN VIEW

1

PROPOSED SKIRTING SIDE VIEW

3

PROPOSED SKIRTING DETAILS

2

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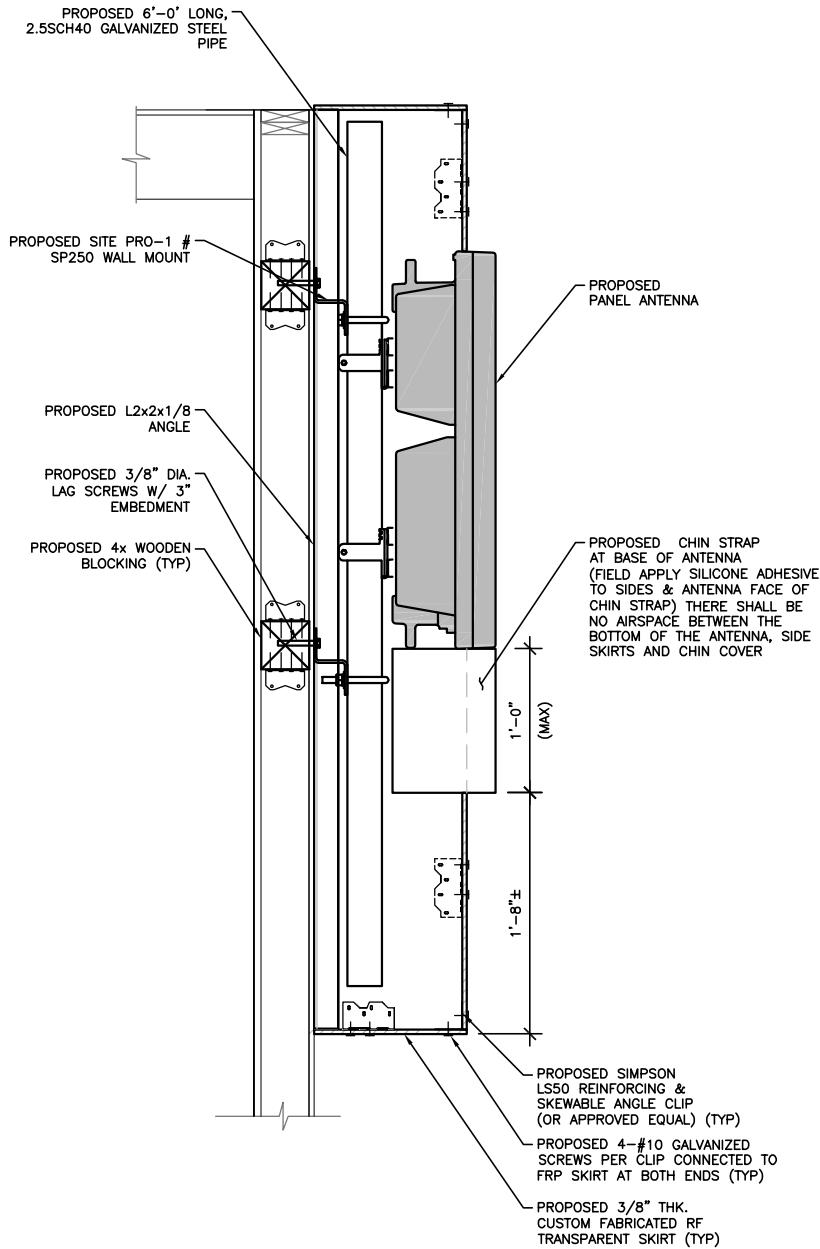
SHEET NAME:

PROPOSED
SKIRTING DETAILS

SHEET NUMBER:

A-8

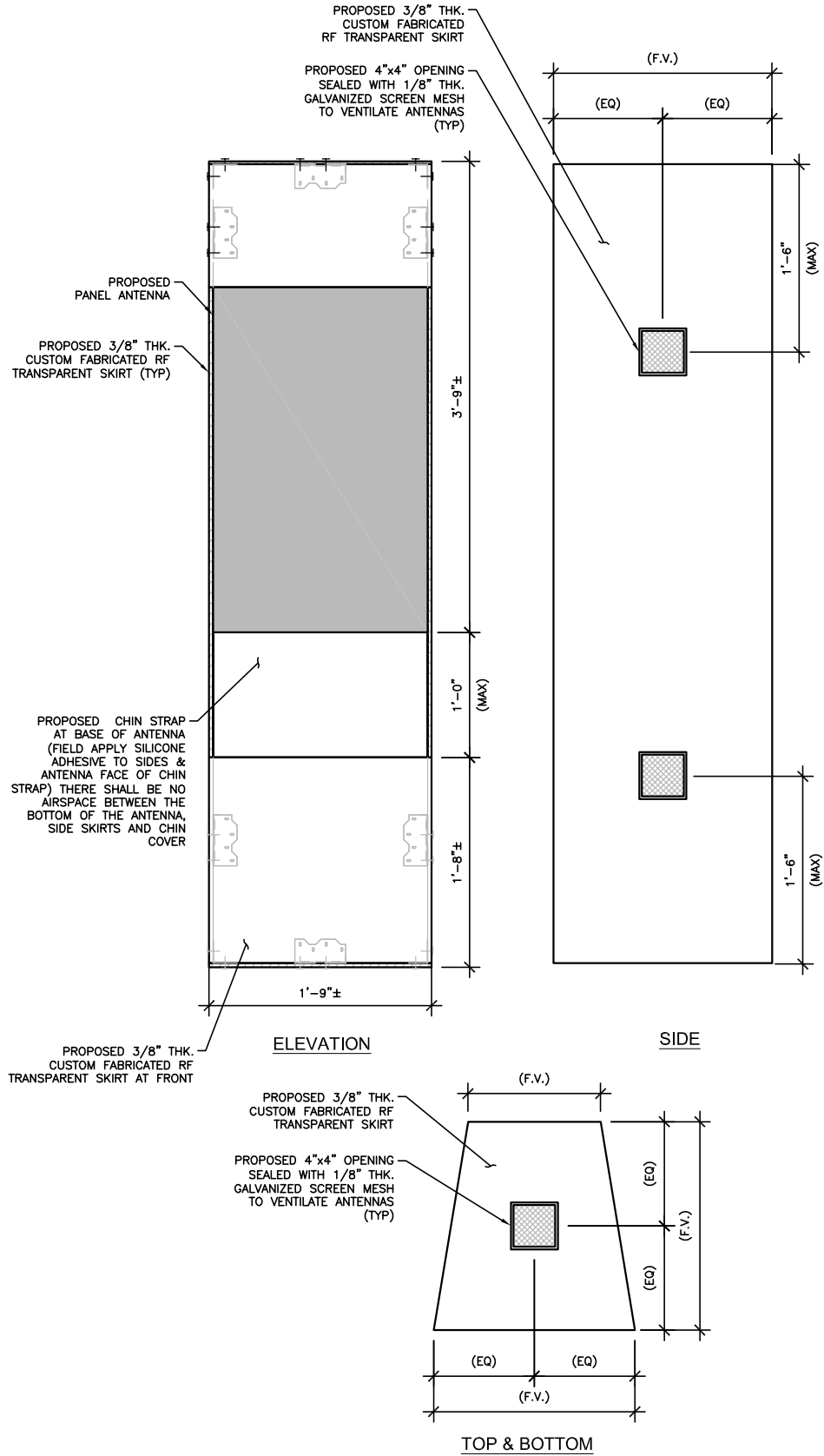
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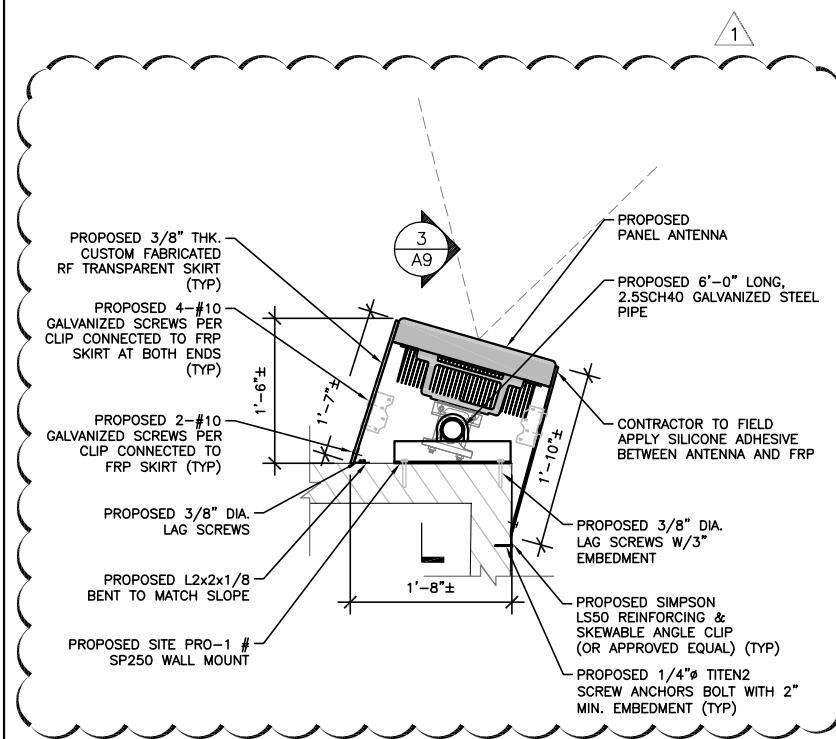
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AIR6449 B41 PANEL ANTENNA



TYPICAL PLAN OF
AIR6449 B41 PANEL ANTENNA

SECTOR A



24"x36" SCALE: NTS
11"x17" SCALE: NTS

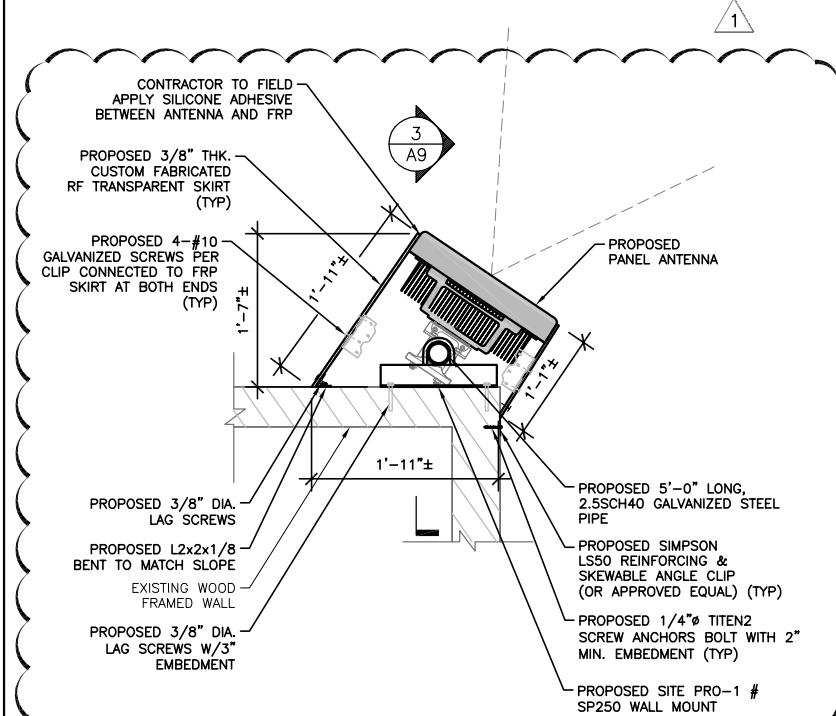
PROPOSED SKIRTING PLAN VIEW

4

NOTES:

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2. PROPOSE 5'-0" LONG PIPE MOUNT.

SECTOR B



24"x36" SCALE: NTS
11"x17" SCALE: NTS

PROPOSED SKIRTING PLAN VIEW

1

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PROPOSED
SKIRTING DETAILS

SHEET NUMBER:

A-9

24"x36" SCALE: NTS
11"x17" SCALE: NTS

PROPOSED SKIRTING SIDE VIEW

3

24"x36" SCALE: NTS
11"x17" SCALE: NTS

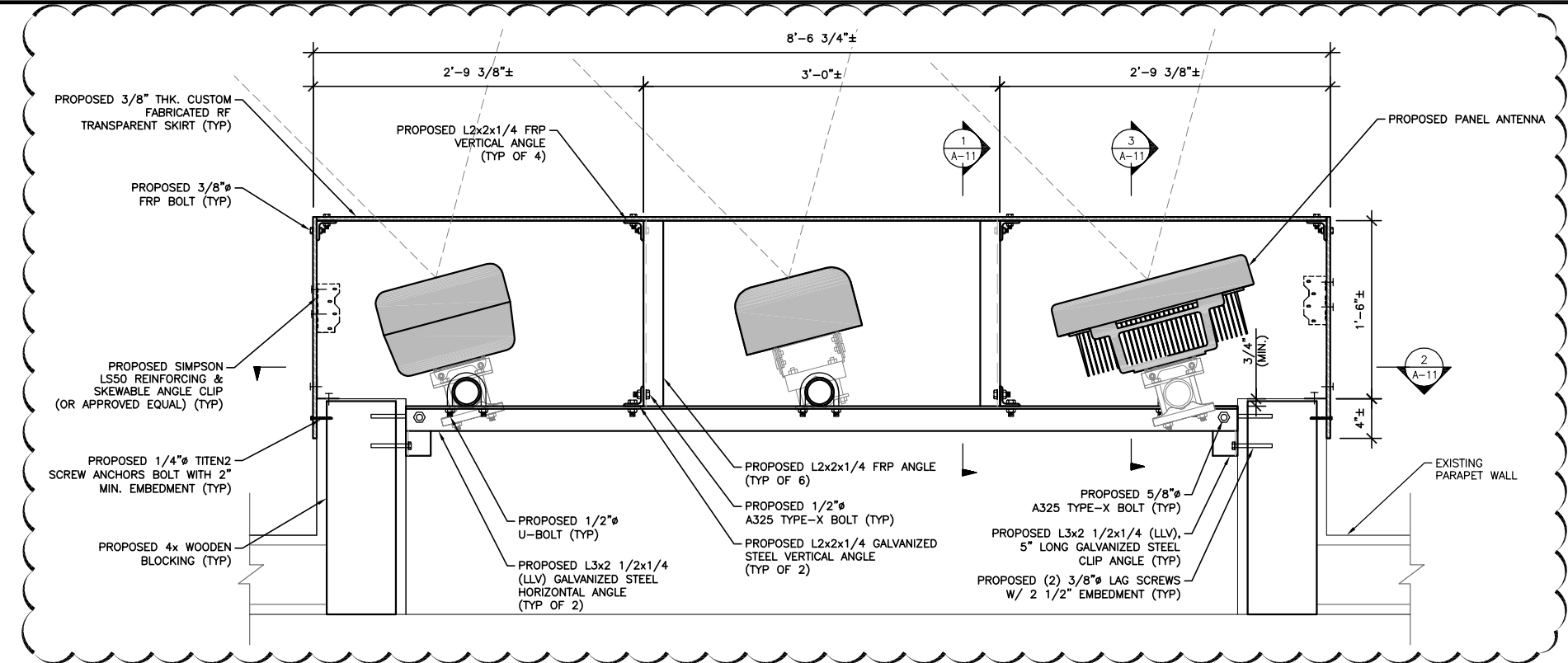
PROPOSED SKIRTING DETAILS

2

24"x36" SCALE: NTS
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PROPOSED SKIRTING PLAN VIEW

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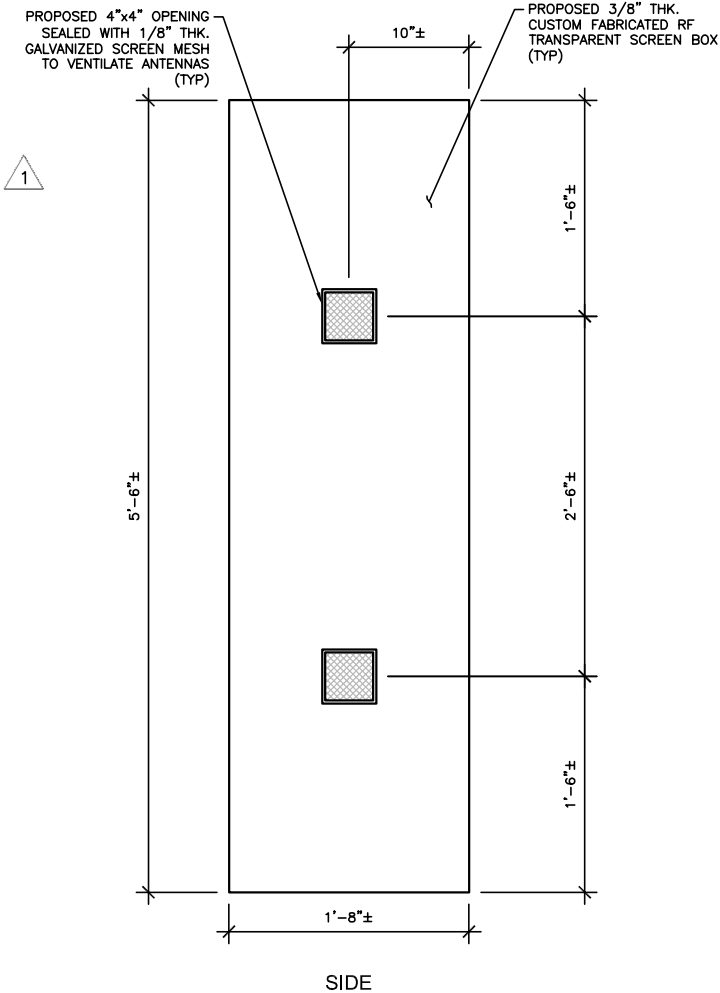
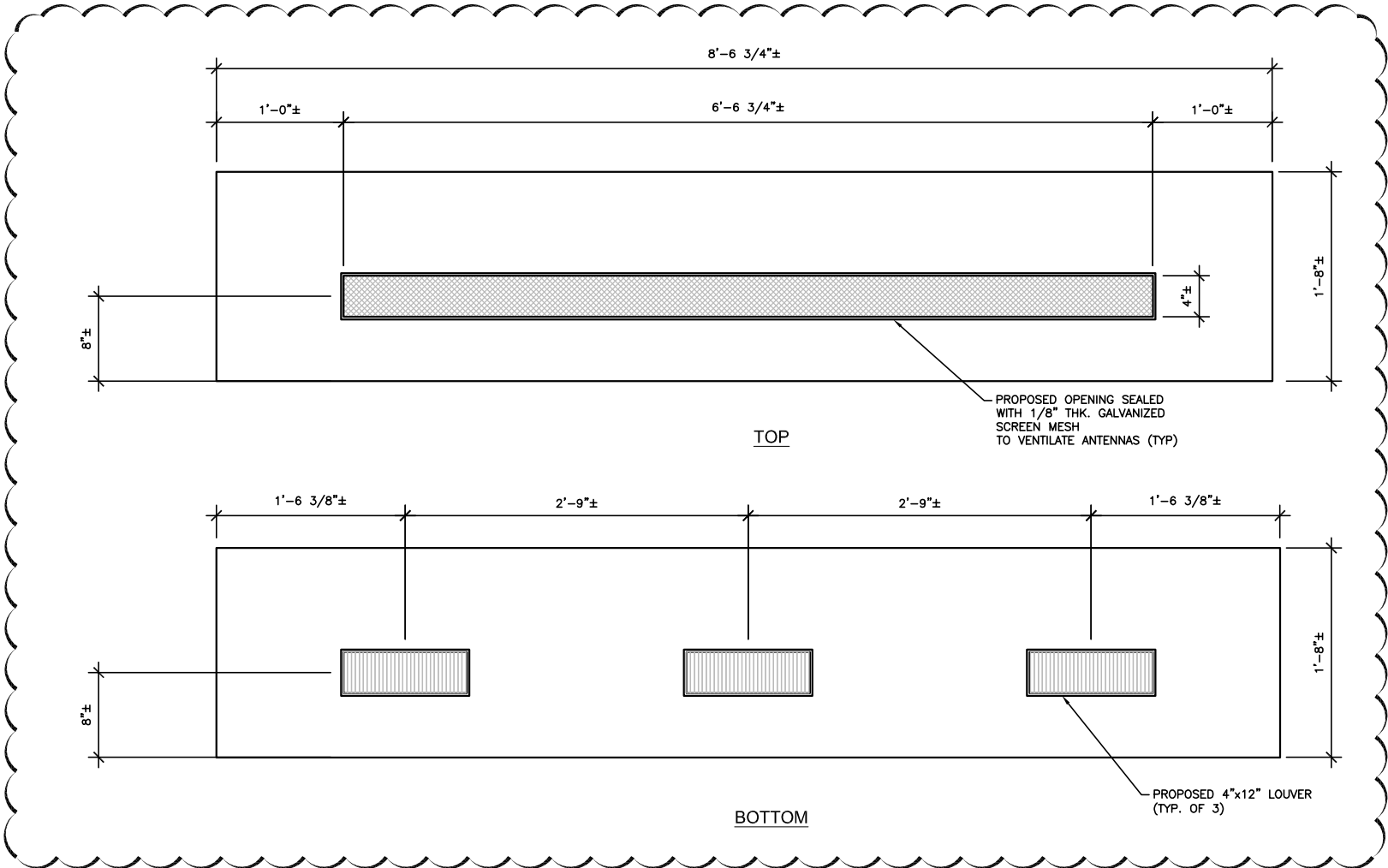


TYPICAL SHROUD DETAIL
GAMMA SECTOR

- NOTES:
1. REMOVE EXISTING SKIRTING BEFORE INSTALLATION OF PROPOSED SHROUD.
 2. LENGTH OF PROPOSED SHROUD MAY VARY TO SUIT THE FIELD CONDITIONS.
 3. CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS BEFORE CREATING SHOP DRAWINGS AND NOTIFY MORRISON HERSHFIELD IF ANY DISCREPANCY OBSERVED FOR A WORK AROUND DESIGN.
 4. ALL THE ANGLES & BOLTS TO THE FRONT OF ANTENNAS SHOULD OF FRP MATERIAL

24"x36" SCALE: NTS
11"x17" SCALE: NTS

PROPOSED SKIRTING PLAN VIEW 2



24"x36" SCALE: NTS
11"x17" SCALE: NTS

PROPOSED SKIRTING DETAILS 1

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MORRISON HERSHFIELD

600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 203531900

REV.	DATE	ISSUED FOR	BY
A	10/09/20	90% REVIEW	GD
0	12/23/20	100% CONSTRUCTION	MLG
1	05/27/21	JX COMMENTS	JR

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UNLESS SIGNED BY DESIGN PROFESSIONAL
AND STAMPED APPROVED BY MUNICIPALITY

LICENSURE:



05/27/2021 1:54PM

SITE NAME:

BAY POINTE
APARTMENT

T-MOBILE SITE I.D.

SD06471A

SITE ADDRESS:

3910 INGRAHAM ST
SAN DIEGO, CA 92109

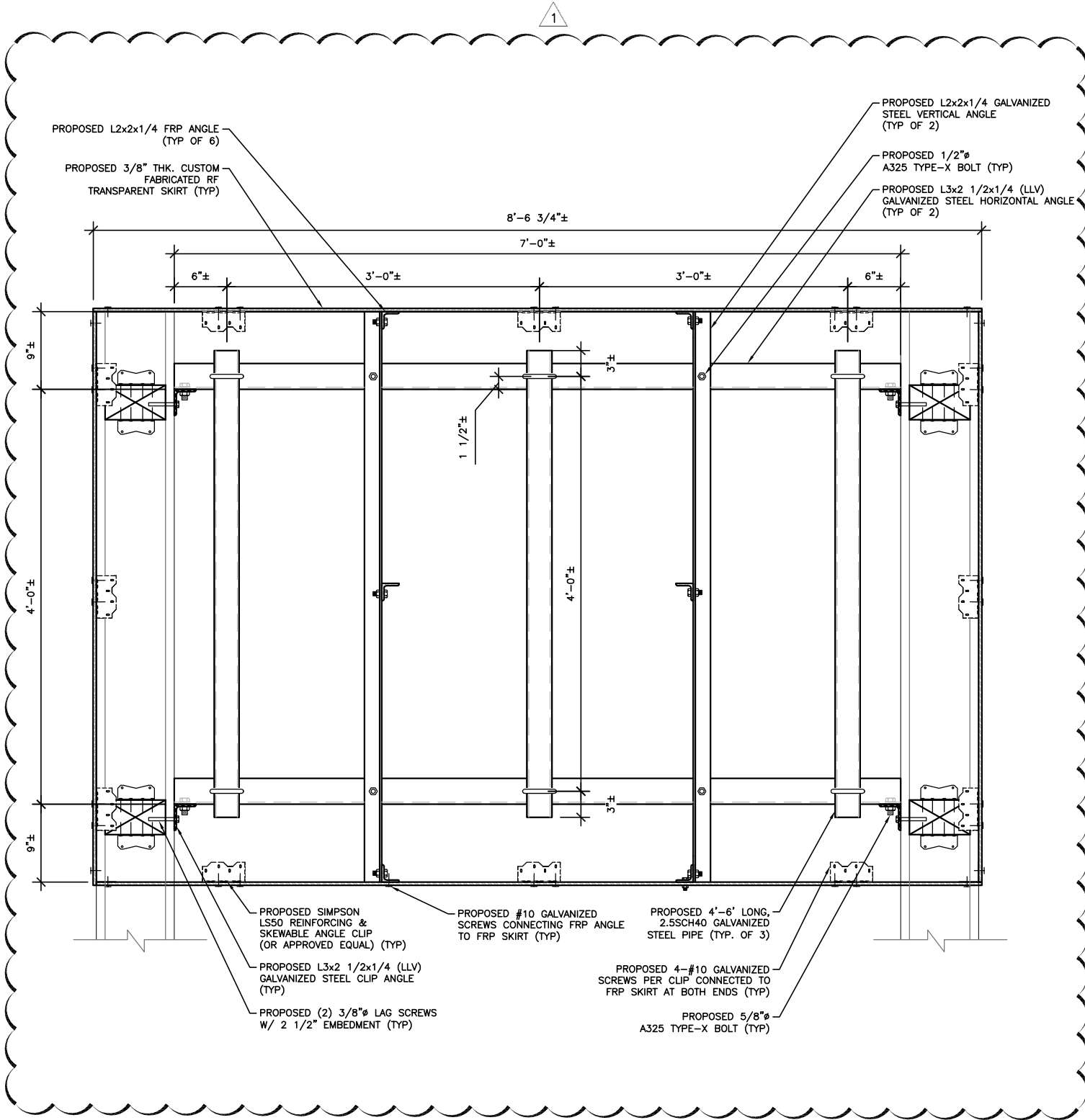
SHEET NAME:

PROPOSED
SKIRTING DETAILS

SHEET NUMBER:

A-10

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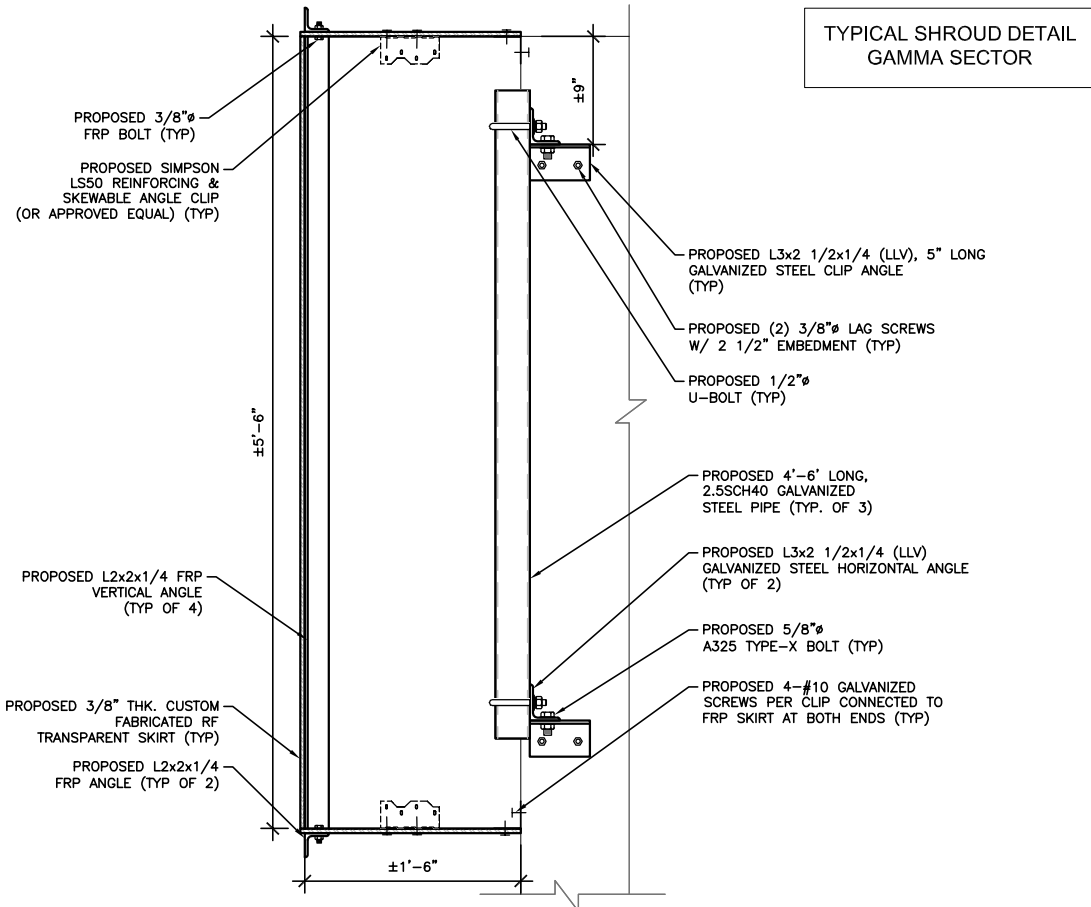


NOTES:

1. REMOVE EXISTING SKIRTING BEFORE INSTALLATION OF PROPOSED SHROUD.
2. LENGTH OF PROPOSED SHROUD MAY VARY TO SUIT THE FIELD CONDITIONS.
3. CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS BEFORE CREATING SHOP DRAWINGS AND NOTIFY MORRISON HERSHFIELD IF ANY DISCREPANCY OBSERVED FOR A WORK AROUND DESIGN.
4. ALL THE ANGLES & BOLTS TO THE FRONT OF ANTENNAS SHOULD OF FRP MATERIAL

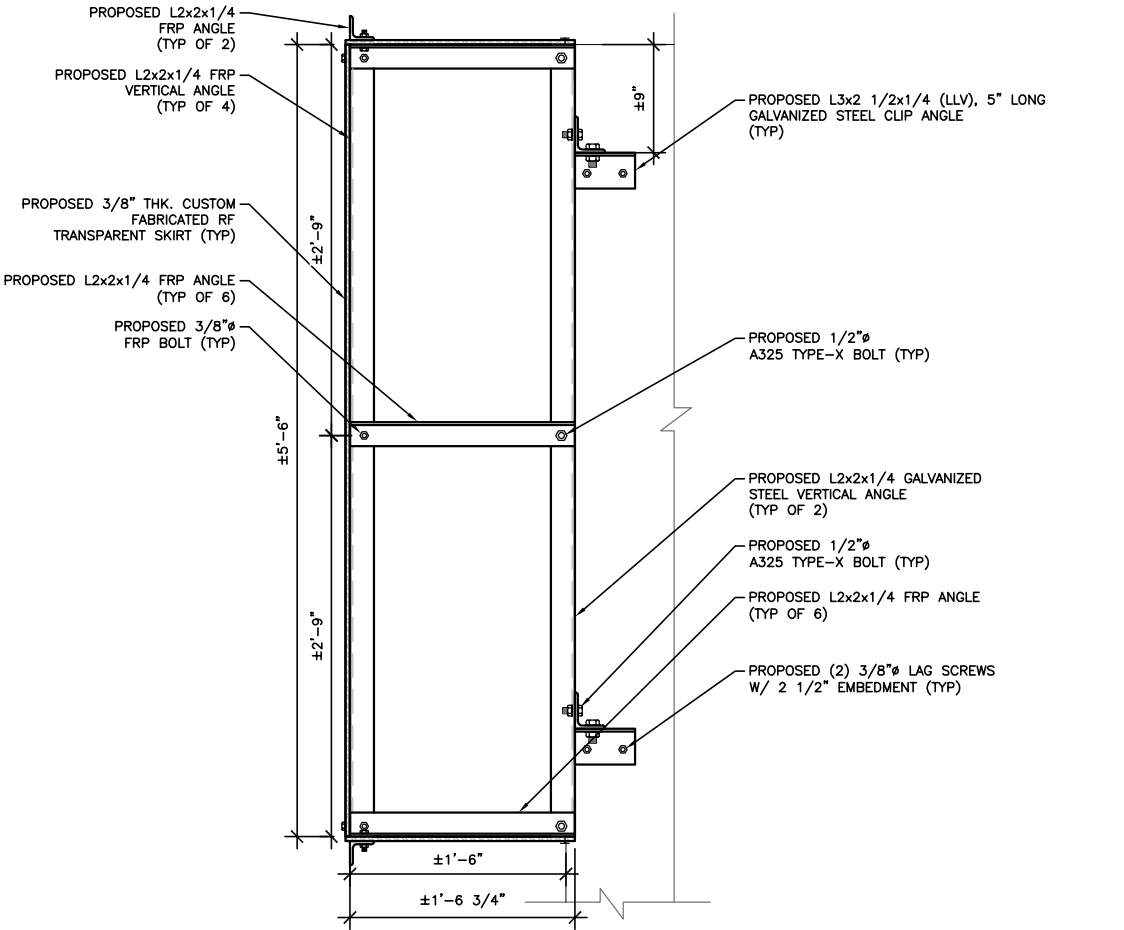
PROPOSED SKIRTING CONNECTION DETAIL

2



PROPOSED SKIRTING SECTION

3



PROPOSED SKIRTING SECTION

1

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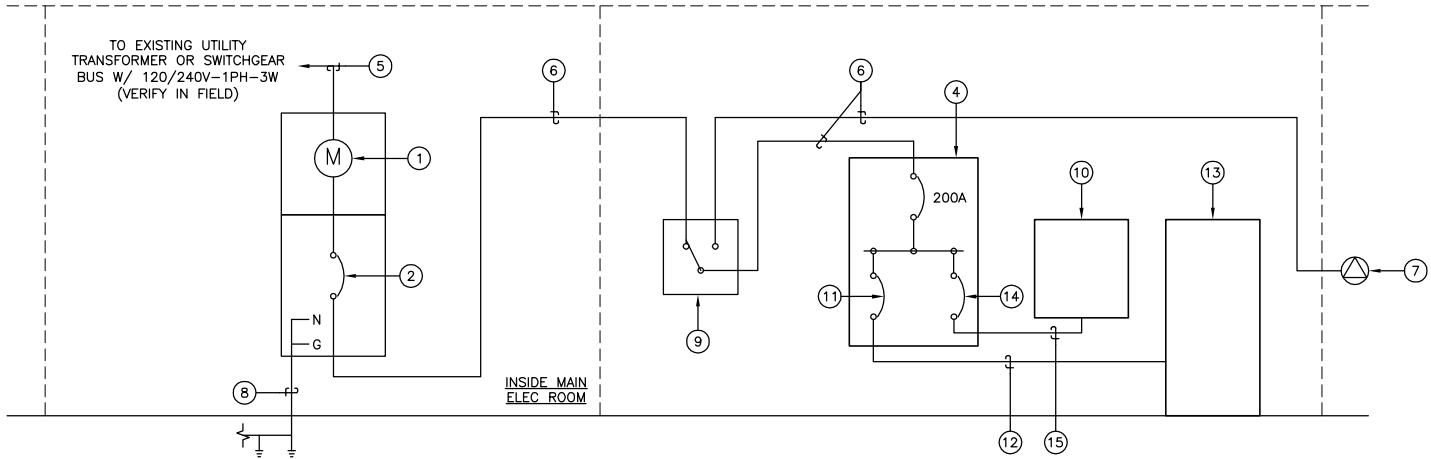
PROPOSED
SKIRTING DETAILS

SHEET NUMBER:

A-11

24"x36" SCALE: NTS
11"x17" SCALE: NTS

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REFERENCE NOTES:

- EXISTING T-MOBILE METER TO REMAIN. VERIFY IN FIELD.
- EXISTING T-MOBILE 200A-2P MAIN TO REMAIN. VERIFY IN FIELD.
- NEW 2" RMC CONDUIT W/ (3)#1/0 + (1)#6 GND THHN CU ELECTRICAL FEEDERS
- EXISTING T-MOBILE 200A, 120/240C-1Ø-3W, AC PANEL (PANEL "A") EQUIPPED W/ A 200A-2P MAIN CIRCUIT BREAKER TO REMAIN.
- EXISTING MIN (3) #3/0 AWG COPPER IN 2" CONDUIT. VERIFY IN FIELD.
- EXISTING MIN 2" RMC W/ (3)#3/0 + (1)#6 GND THHN CU ELECTRICAL FEEDERS, RE-ATTACH TO NEW PPC
- EXISTING T-MOBILE GENERATOR TAP BOX - 200A, 120/240V, 1 PHASE, 3 WIRE TO REMAIN.
- EXISTING MIN #4 AWG COPPER GROUND ELECTRODE CONDUCTOR BONDED TO MIN (2) 5/8"Øx8'-0" LONG GROUND ELECTRODES SPACED A MIN OF 6'-0" APART & BONDED TO BUILDING GROUND SYSTEM. VERIFY EXISTING SERVICE EQUIPMENT IN FIELD.
- CONTRACTOR TO REMOVE EXISTING 100A MANUAL TRANSFER SWITCH W/ A NEW 200A, 2-POLE, 240V, DOUBLE THROW MANUAL TRANSFER SWITCH. PROVIDE MECH ATTACHED ENGRAVED LAGEL INDICATING "T-MOBILE MTS"
- EXISTING T-MOBILE 125A, 120/240V-1Ø-3W, M.L.O. AC PANEL (SUB-PANEL "B")
- NEW (8) 20A-2P BRANCH BREAKERS FOR A TOTAL OF (8) RECTIFIER CIRCUIT
- NEW (2) #12 AWG CU & #12 GROUND IN 3/4" RMC FOR EACH RECTIFIER CIRCUIT
- NEW PBC6200 POWER RACK TO REPLACE EXISTING PBC6500 POWER RACK.
- EXISTING 125A-2P BRANCH BREAKER FOR SUB-PANEL "B".
- EXISTING (3) #1 AWG CU & (1) #6 AWG GROUND IN 2" CONDUIT.

24"x36" SCALE: NTS
11"x17" SCALE: NTS

ONE-LINE DIAGRAM 2

SITE ID:		SD06471A																					
VOLTAGE:		120/240V			PHASE:		1Ø		WIRE:		3												
MAIN BREAKER:		200A			BUSS RATING:		200A		AIC:		65K AIC												
MOUNT:		SURFACE			NEUTRAL BAR:		YES		GROUND BAR:		YES												
ENCLOSURE TYPE:		NEMA-1			N TO GND:		NO		PANEL SIZE:		30												
PANEL STATUS:		NEW			INTERNAL TVSS:		YES		PANEL NAME:		PPC 'A'												
CKT	LOAD DESCRIPTION				BREAKER AMPS	BREAKER POLES	BREAKER STATUS	CONN LOAD	DEMAND FACTOR	DEMAND LOAD	PHASE A (VA)	PHASE B (VA)	DEMAND LOAD	DEMAND FACTOR	CONN LOAD	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION		CKT		
1	EXISTING LIGHTING				20	1	ON	420	1.25	525	525			0	1.00	0	ON	2	15	EXISTING AHU #2		2	
3	EXISTING RECEPTACLE				20	1	ON	540	1.00	540		540	0	1.00	0							4	
5	EXISTING RECEPTACLE				20	1	ON	540	1.00	540	1340		800	1.00	800	ON	2	15	EXISTING AHU #1		6		
7	EXISTING SMOKE DETECTOR				20	1	ON	180	1.00	180		980	800	1.00	800								8
9	EXISTING EXT GFI RECEPT				20	1	ON	180	1.00	180	1680		1500	1.00	1500	ON	2	20	EXISTING CU #1		10		
11	NEW RECTIFIER				20	2	ON	1440	1.00	1440		2940	1500	1.00	1500								12
13								1440	1.00	1440	1440		0	1.00	0	ON	2	20	EXISTING CU #2		14		
15	NEW RECTIFIER				20	2		1440	1.00	1440		1440	0	1.00	0								16
17								1440	1.00	1440	2880		1440	1.00	1440	ON	2	20	NEW RECTIFIER		18		
19	NEW RECTIFIER				20	2	1440	1.00	1440		2880	1440	1.00	1440							20		
21							1440	1.00	1440	2880		1440	1.00	1440	ON	2	20	NEW RECTIFIER		22			
23	NEW RECTIFIER				20	2	1440	1.00	1440		2880	1440	1.00	1440								24	
25							1440	1.00	1440	1440									-		26		
27	EXISTING SUB-PANEL "B"				125	2	ON	2880	1.00	2880		2880	0	1.00	0	ON	2	50	EXISTING TVSS		28		
29								2880	1.00	2880	2880		0	1.00	0								30
PHASE DEMAND LOAD TOTAL											15065	14540											
TOTAL DEMAND LOAD (VA)											29605												
TOTAL DEMAND AMPS											123												

NOTE: ** = EXISTING T-MOBILE CIRCUIT RELOCATED FROM DECOMISSIONED PANEL TO NEW PANEL

24"x36" SCALE: NTS
11"x17" SCALE: NTS

PANEL SCHEDULE 1

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LICENSURE:



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**BAY POINTE
APARTMENT**

T-MOBILE SITE I.D.
SD06471A

SITE ADDRESS:
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SAN DIEGO, CA 92109**

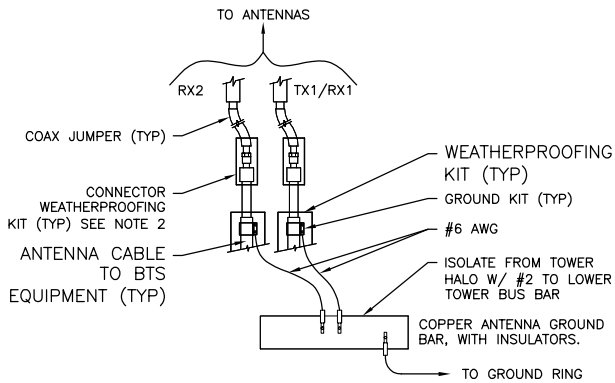
SHEET NAME:

**ELECTRICAL
DETAILS**

SHEET NUMBER:

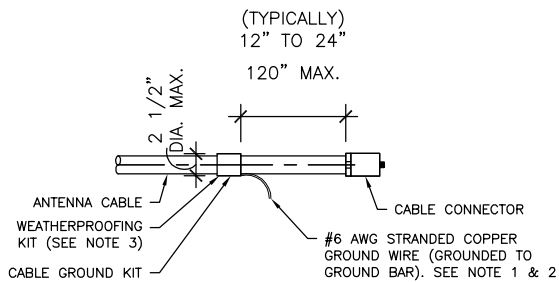
E-1

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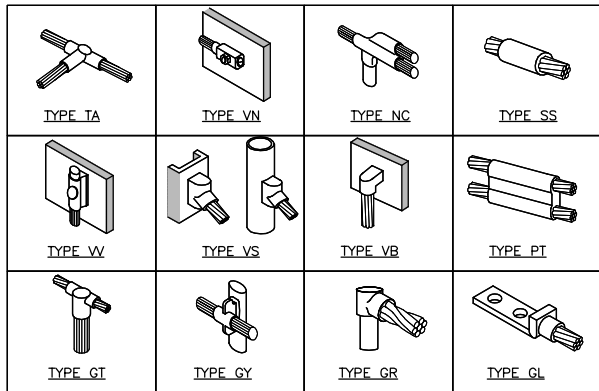
NOTES:
DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

24"x36" SCALE: NTS
11"x17" SCALE: NTS
GRND CABLE CONNECTION 7



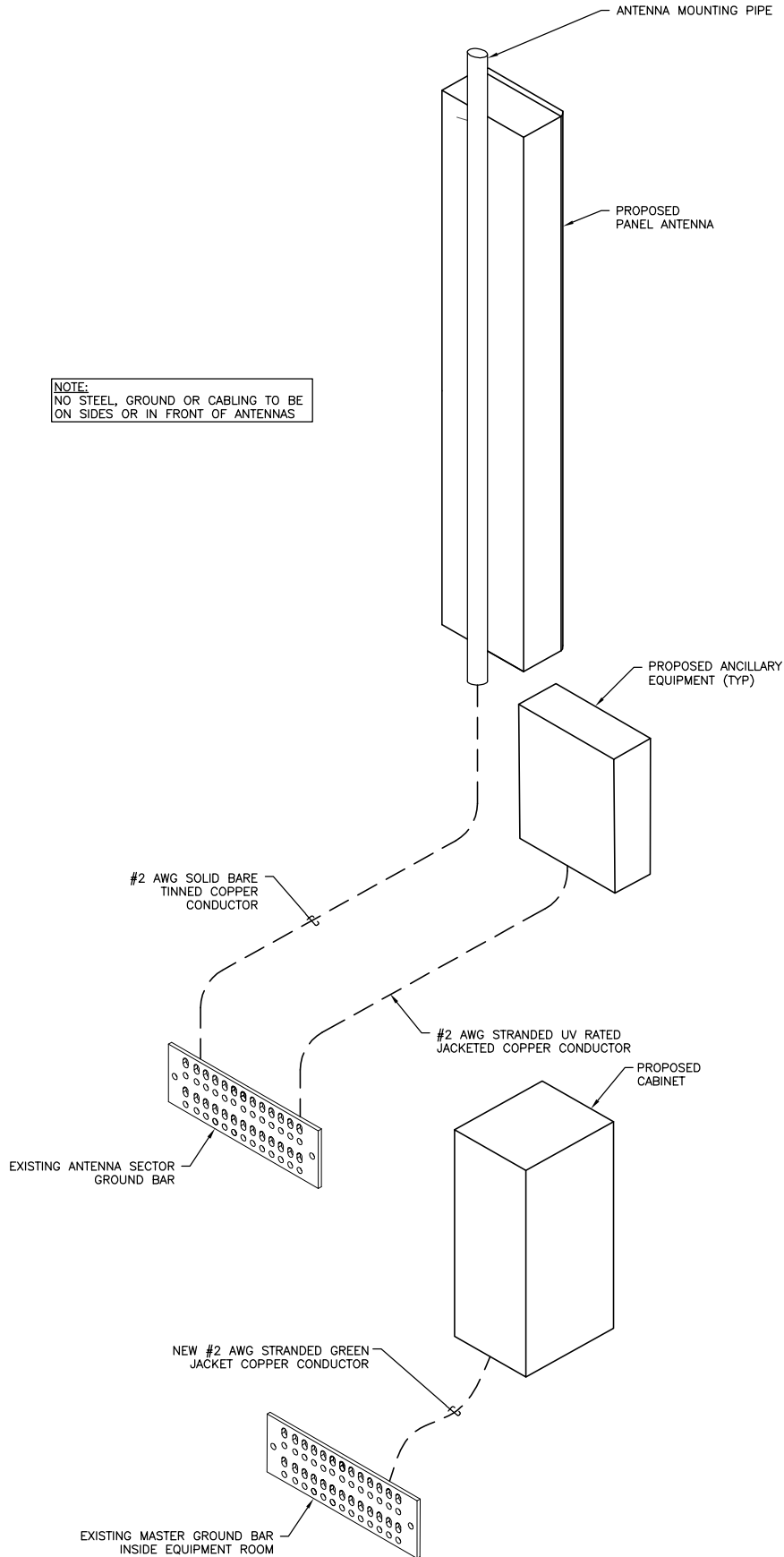
NOTES:
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

24"x36" SCALE: NTS
11"x17" SCALE: NTS
COAX CABLE GROUNDING 5

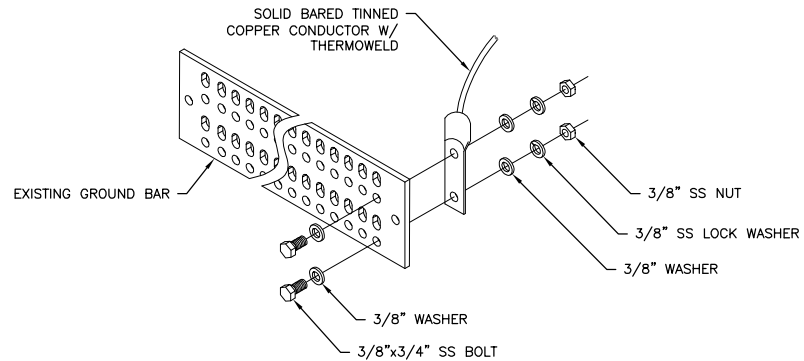


24"x36" SCALE: NTS
11"x17" SCALE: NTS
CADWELD 3

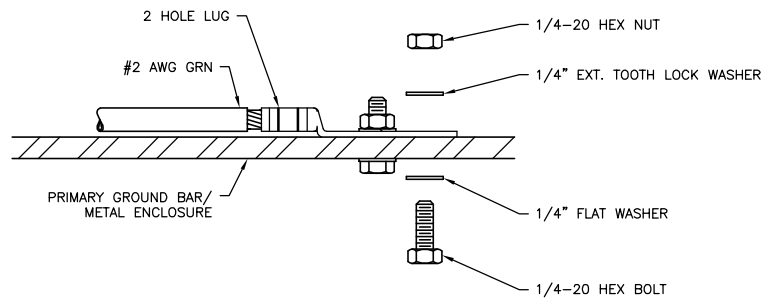
NOTE:
NO STEEL, GROUND OR CABLING TO BE ON SIDES OR IN FRONT OF ANTENNAS



24"x36" SCALE: NTS
11"x17" SCALE: NTS
TYPICAL GROUNDING DIAGRAM 2

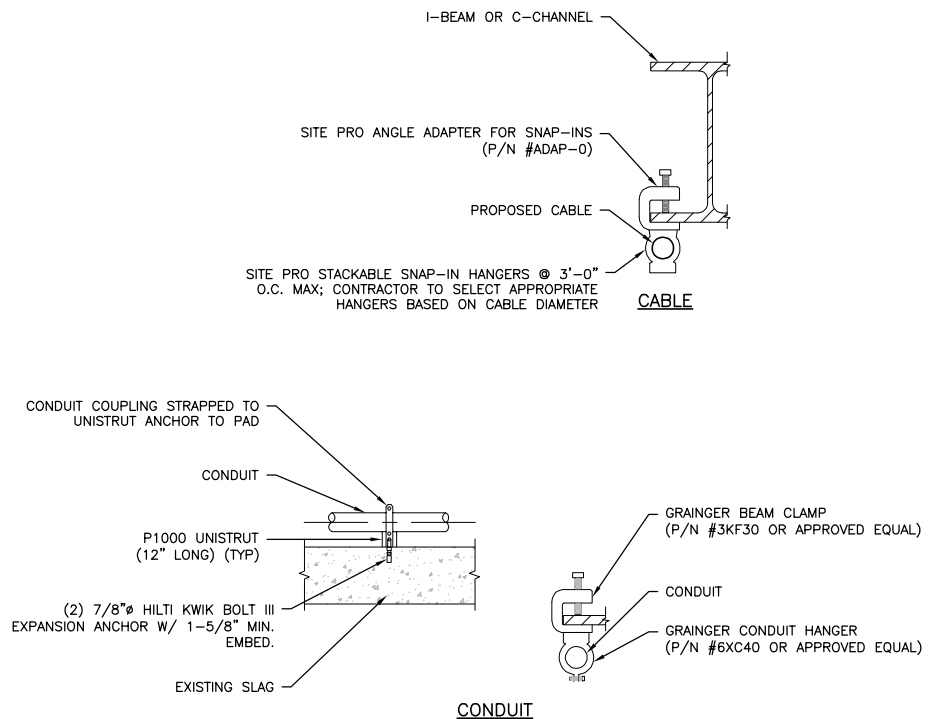


24"x36" SCALE: NTS
11"x17" SCALE: NTS
TYPICAL GROUND BAR CONNECTION 6



INSTALLATION NOTES:
1. SELECT BOLT LENGTH TO PROVIDE A MINIMUM OF TWO EXPOSED THREADS.
2. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF LUG CONTACT.
3. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF LUG AND WIPE CLEAN EXCESS COMPOUND.
4. USE SOLID COPPER WIRE AND MECHANICAL 2-HOLE LUG FOR ALL EXTERIOR GROUNDING.

24"x36" SCALE: NTS
11"x17" SCALE: NTS
GROUND CONNECTION 4



24"x36" SCALE: NTS
11"x17" SCALE: NTS
TYPICAL CONDUIT SUPPORT 1

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SAN DIEGO, CA 92109**

SHEET NAME:

**GROUNDING
DETAILS**

SHEET NUMBER:

E-2