



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: December 9, 2021 REPORT NO. PC-21-058

HEARING DATE: December 16, 2021

SUBJECT: SPRINT UPAS CONDOS. Process Four Decision

PROJECT NUMBER: [691449](#)

OWNER/APPLICANT: 666 Upas HOA, Owner and Sprint, Applicant

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 666 Upas Street in the Uptown Community Plan?

Staff Recommendations:

APPROVE Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402.

Community Planning Group Recommendation: On September 20, 2021, the Uptown Community Planning Group voted 13-0-0 to recommend approval of the project without conditions (Attachment 10)

Environmental Review:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made November 10, 2021 and the opportunity to appeal that determination ended November 24, 2021.

Fiscal Impact Statement: All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: This project application is for a wireless communication facility and is not associated with residential development.

BACKGROUND

The Sprint Upas Condos Project (Project) proposes the continued use and upgrade of a Sprint Wireless Communication Facility (WCF) mounted on the outside of the existing penthouse and east wall of an existing high rise condominium complex (Del Prado building) located at 666 Upas Street within the RM-4-10 Zone of the Uptown Community Plan. Land uses surrounding the Project site include a mix of commercial and residential to the west, residential to the north, open space to the east, and Balboa Park is to the south (Attachments 1, 2, 3). Sprint obtained Planning Commission approval for Conditional Use Permit (CUP) No. 716790 on August 12, 2010 with a 10-year term. The WCF consisted total of six (6) panel antennas and four (4) directional antennas and the associated equipment cabinets located at the upper roof. Additionally, Verizon utilizes the condominium complex to establish a WCF for their communication network and currently has twelve (12) panel antennas mounted on the rooftop penthouse. Verizon was issued a CUP No. 193202 on December 10, 2009. The elevation at the top of the building's penthouse is approximately 180 feet. The locations of the new antennas are at varying heights, from approximately 151 feet to 176 feet.

The project site is a designated historic resource and is listed as Historical Resources Board (HRB) Site #1304. As a designated historic resource, all work must be reviewed by Plan-Historic staff for conformance with the City's Historic Resources Regulations ([SDMC Chapter 14, Article 3, Division 2](#)) and the U.S. Secretary of the Interior's Standards. Plan-Historic staff has deemed this project consistent with the U.S. Secretary of the Interior's Standards and is therefore except from the requirement to obtain a Site Development Permit in accordance with SDMC Section 143.0220. Any and all revisions to the project scope, no matter how minor, will require review and approval by Plan Historic staff prior to any changes.

[Council Policy 600-43](#) assigns preference levels to WCFs proposed on different land uses, with Preference 1 being the highest and Preference 4 the lowest. The most preferred locations being Preference 1 which are generally non-residential uses/zones and are permitted ministerially and the least preferred locations are residential uses in residential zones and are Preference 4, requiring a Process Four, CUP. Various land uses and zones between those Preference levels dictate decision levels and permits between a Neighborhood Use Permit, Process Two and a CUP, Process Three. This Project is located in a residential zone, on a residential development which is a Preference 4, Process Four CUP. This WCF was originally approved in 2010 and the location was selected because Sprint was trying to provide coverage in the Uptown/Balboa Park area.

The current site location is the tallest existing structure in the surrounding area. The surrounding properties in north and west directions are mostly residential and some commercial, and open space and parks to the south and west. There are some non-residential properties to the west, but they are smaller structures. In order to make up for the loss in height, a wireless facility at one of these locations would require a new standalone tower, whose height would far exceed the height of any existing structures in the area. This would result in a facility that is less integrated in the overall aesthetics of the community. In addition, the relocation of an existing wireless facility, could have negative impacts on the overall performance of the network in the area, resulting in possible

coverage gaps between sites. For these reasons, the existing site is preferred, and no other properties are suitable candidates.

This WCF has been in Sprint's network for over 10 years with a 10-year expiration term. The purpose and intent of an expiration date is to allow the City to analyze the WCF design with the current surrounding development in addition to upgrading the WCFs to address any advancements in designs and innovations. To continue use of the WCF, this new application was created on May 6, 2021 and was approved by all review staff on October 14, 2021. In reviewing the aerial maps provided with the application, it is evident that the area is a mix of residential and commercial uses at low elevations and this Preference 4 location is still a viable option (Attachment 1). The San Diego Municipal Code (SDMC) Section [143.0410](#) requires a Process Four, Planned Development Permit (PDP) when a project includes deviations from the applicable zoning regulations. In this case, the WCF has an offset that is extending to 24 inches where 18 inches is allowed. Additionally, pursuant to SDMC Section [141.0420\(c\)\(2\)\(B\)](#), the project as designed requires a Process Four, CUP, Planning Commission decision as the Project is in a residential zone on a premises that contains a residential development.

DISCUSSION

Project Description:

The Project proposes the continued operation of a WCF utilized by Sprint. The WCF will consist of six (6) panel antennas in two sectors mounted on the rooftop penthouse north wall with antenna shrouds and on the west façade of the building within a Fiberglass Reinforced Panel (FRP) box. Shrouds and FRP boxes will be painted and textured to match the existing building. The equipment area will continue to be located on the building upper roof (Figures 1 and 2). The Project complies with the [Wireless Communication Facility Guidelines](#) as a façade mounted WCF.

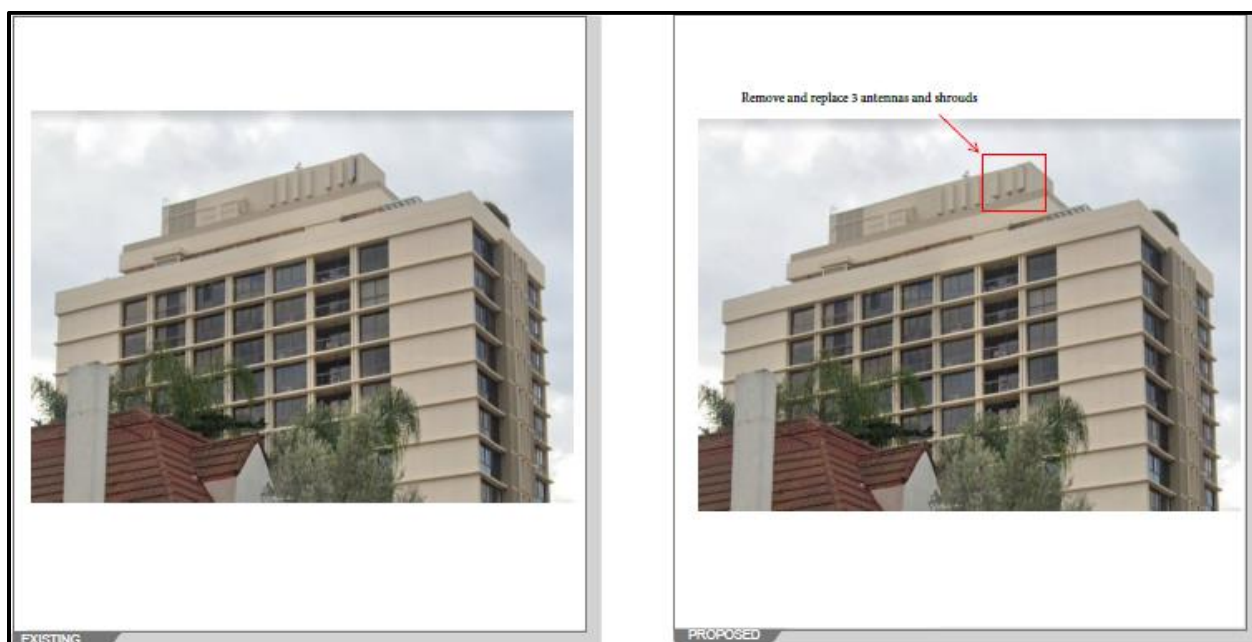


Figure 1: Photo-simulation of proposed antennas with shrouds on the north face of roof penthouse



Figure 2: Photo-simulation of FRP enclosure on east face of building

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions. An RFE-EME Compliance Report dated June 15, 2021 from EBI Consulting was submitted to the City verifying that the proposed project meets or exceeds the requirements of the FCC. The report will be stamped as Exhibit "A" and provided within the project file.

Community Plan Analysis:

The Uptown Community Plan does not address communication antennas as a specific land use. However, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view. Pursuant to the San Diego Land Development Code, communication antennas are permitted in all zones citywide with the appropriate permit process. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. In this Case, three panel antennas will be screened behind three FRP antenna shrouds while the other three antennas will be screened behind a FRP box. These concealment types will be painted and textured to match the existing condominium complex façade they are attached to. The associated equipment cabinets are to be located on the upper rooftop. As designed, the project complies with the WCF regulations, by integrating the project into the condominium complex, thereby reducing

any potential visual impacts.

Project-Related Issues:

Deviation – The Project requests a deviation from the applicable development regulations as allowed with the approval of a PDP, provided that the findings in [SDMC Section 126.0605](#) can be supported. The following Table 1 is a matrix of the proposed deviation, which is followed by the justifications for the deviations:

DEVIATIONS SUMMARY Table 1			
Deviation Description	Deviation from SDMC	Allowed/Required	Proposed
WCF Projection from Building Wall	SDMC Section 141.0420(e)(8)(B)	Maximum Projection of 18-inches	24-inch projection

Justification to WCF Projection - A deviation is being requested to increase the projection of the antenna concealment to 24-inches from the face of the building. Currently, SDMC Section 141.0420(8)(B) allows a maximum 18-inch projection. The proposed concealment (FRP screen boxes and shrouds) require an extended offset for proper operation of equipment. The size of the antenna coupled with the mounting hardware and the necessary antenna azimuth make an 18-inch offset impossible. The proposed 24-inch offset is the minimum Sprint can achieve, while still allowing enough room for the antenna, mounting hardware and necessary azimuth and concealing the antennas to comply with City of San Diego Development Services WCF guidelines. The requirement of a maximum offset of 18-inches was required in the WCF ordinance (Chapter 14, Article 4, Division 20) at a time when antennas were smaller and wireless device requirements were limited. Because of the high demand of wireless communication, larger antennas are required to accommodate for increased capacity and demand. Because the screen boxes will be located 106 feet above ground level, the added six inches will be unnoticeable at ground level and will integrate with the existing architecture of the building it is attached to.

The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for Sprint. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage provided on the property and the predicted loss of coverage without the increased antenna size. Although the underlying zone requires an 18-inch maximum projection, without this deviation could result in significant impacts to those within the surrounding area. A degradation of the existing service could have a significant impact on customers and essential emergency communication services. The proposed WCF will include antenna shrouds and FRP screen boxes painted and textured to match the existing building design to implement the intent of the WCF ordinance which is basically to integrate and camouflage WCFs within the existing environment. Based on these considerations, this Project complies with the permit and design requirements for WCF's as identified in the SDMC.

The above deviation has been analyzed by City staff and determined to be consistent with the goals

and recommendations of the General Plan, the Uptown Community Plan, and the purpose and intent of the Wireless Communication Ordinance. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. Apart from the projection deviation, the proposed Project will continue to provide wireless communication service to the surrounding area and essential emergency communications services.

Conclusion:

The Project's design effectively integrates with the architecture of the existing condominium complex meeting the purpose and intent of the Wireless Communication Ordinance ([SDMC 141.0420](#)), the [Wireless Design Guidelines](#) and [Council Policy 600-43](#). City staff has prepared draft findings in the affirmative to approve the Project and recommends approval of CUP No. 2584402 and PDP No. 2584404. (Attachment 6).

ALTERNATIVES

1. Approve Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402, with modifications.
2. Deny Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Tim Daly
Assistant Deputy Director
Development Services Department



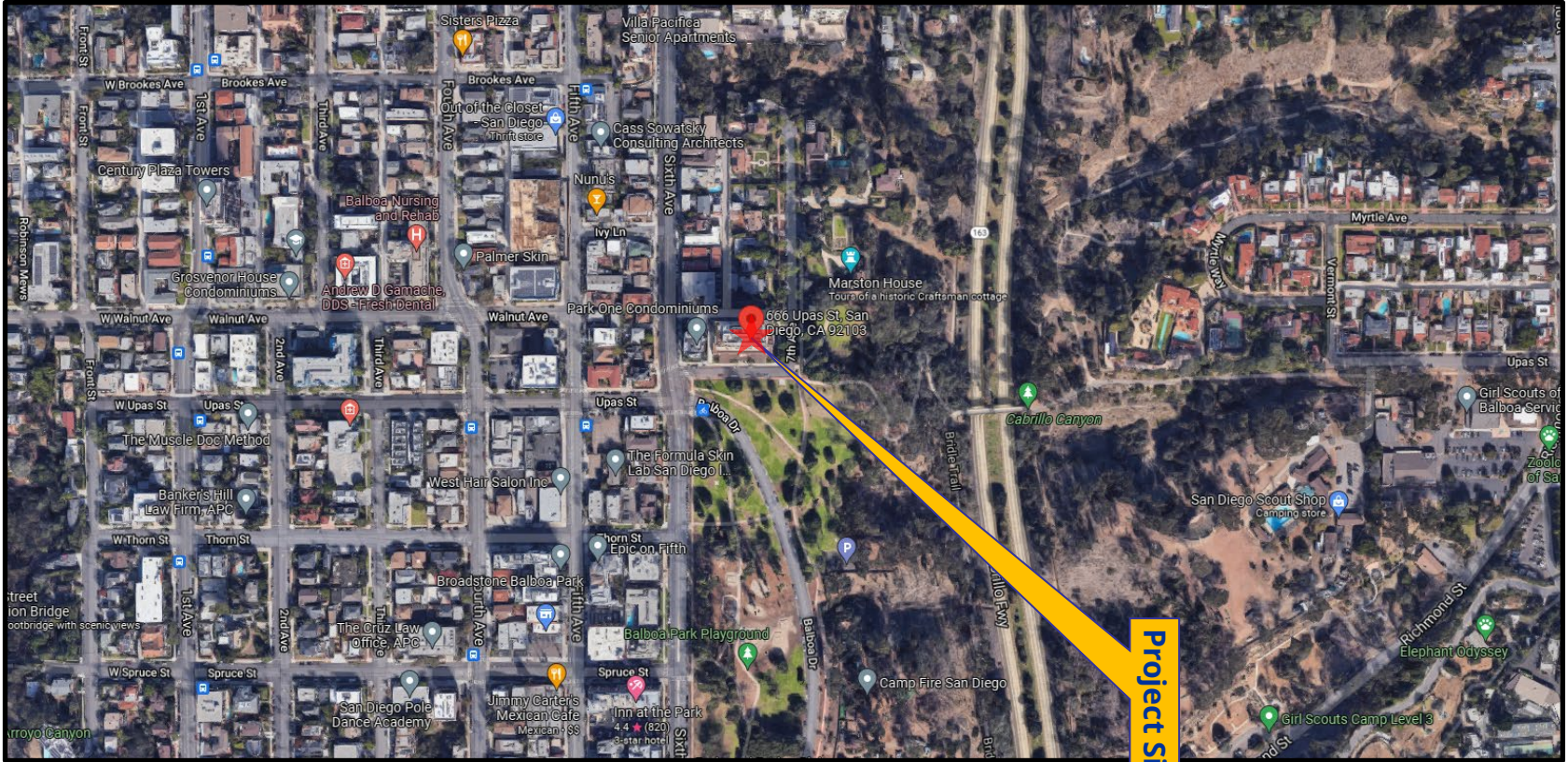
Ian Heacox
Development Project Manager II
Development Services Department

TD/IH

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings

6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Ownership Disclosure Form
10. Community Planning Group Recommendation
11. Photo Survey
12. Photo Simulations
13. Project Plans



Aerial Photograph

Sprint Upas Condo Project No. 691449
666 Upas Street

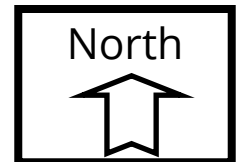
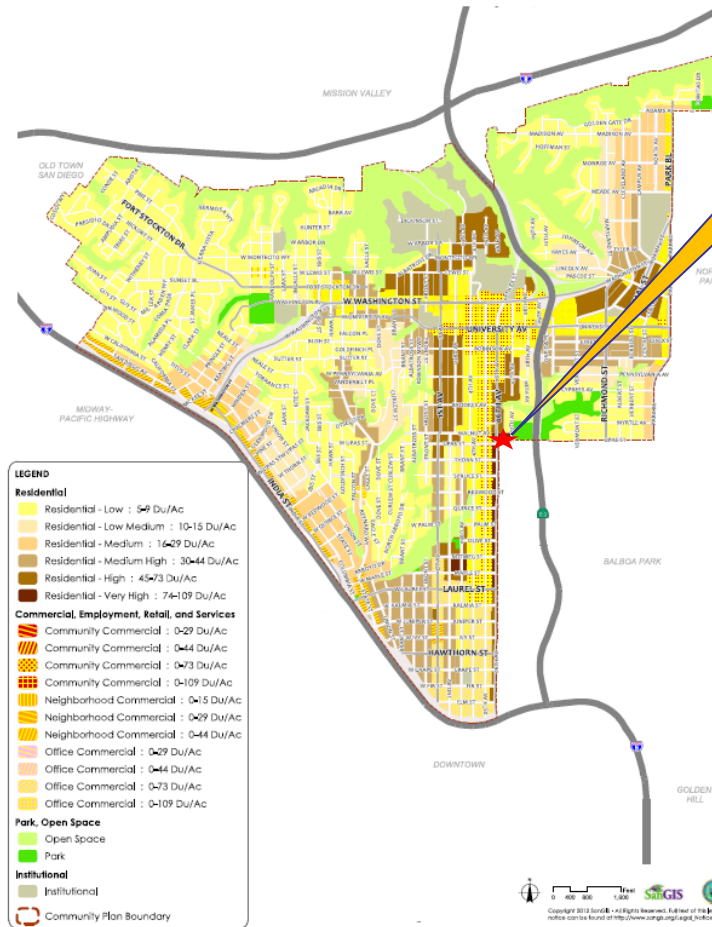


FIGURE 2-1: COMMUNITY PLAN LAND USE MAP



LU-24

Project Site

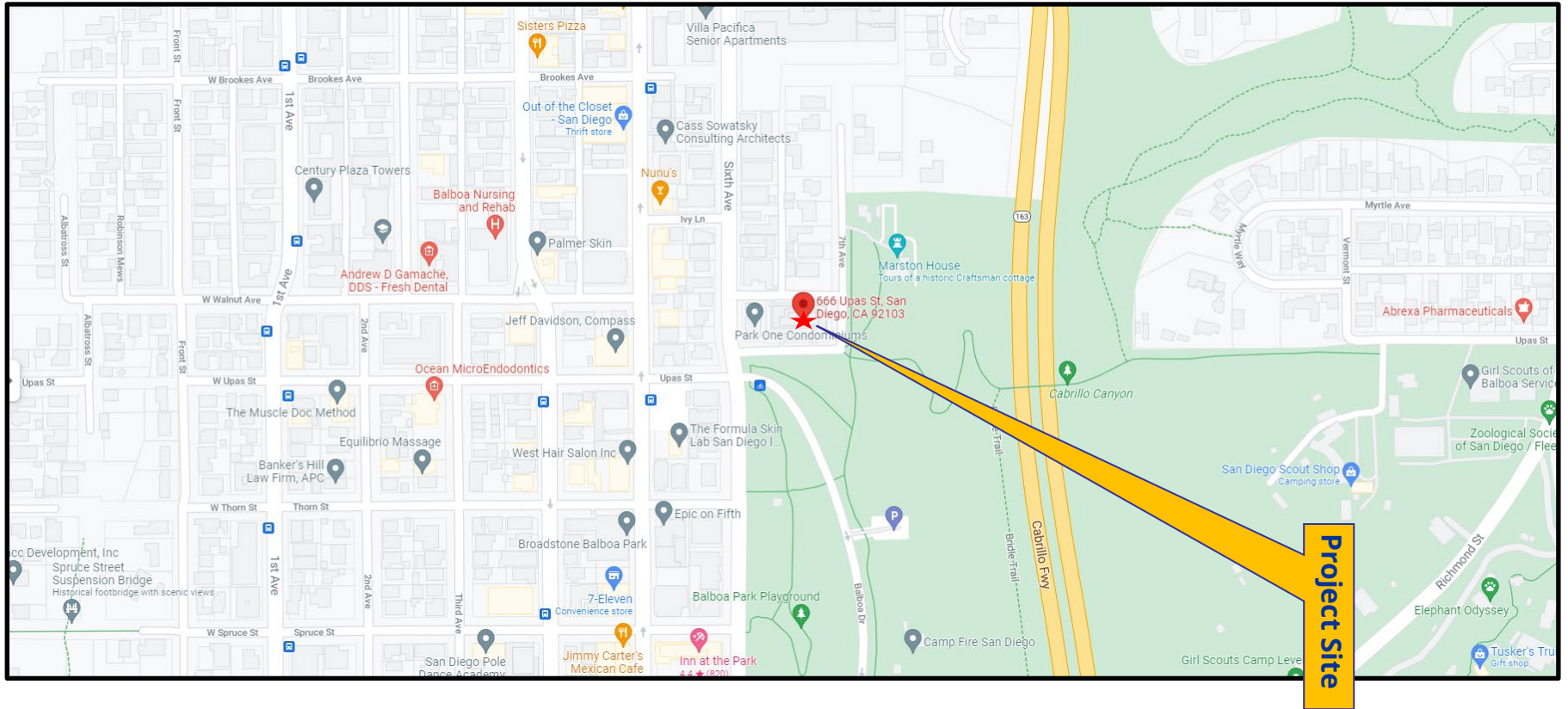


Uptown Land Use Map

Sprint Upas Condo Project No. 691449

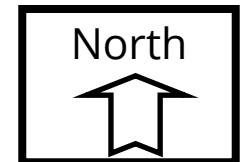
666 Upas Street





Project Location Map

Sprint Upas Condo Project No. 691449
666 Upas Street



PROJECT DATA SHEET		
PROJECT NAME:	Sprint Upas Condos	
PROJECT DESCRIPTION:	The continued use and upgrade of a Wireless Communication Facility (WCF) utilized by Sprint consisting of 4 panel antennas and 4 Remote Radio Units (RRUs) mounted on the outside of the existing penthouse and east wall of an existing high rise condominium complex with new Fiberglass Reinforced Panel (FRP) screen boxes designed and painted to match the existing building.	
COMMUNITY PLAN AREA:	Uptown	
DISCRETIONARY ACTIONS:	Planned Development Permit Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<p align="center"><u>ZONING INFORMATION:</u></p> <p>ZONE: RM-4-10</p> <p>HEIGHT LIMIT: N/A</p> <p>LOT SIZE: N/A</p> <p>FLOOR AREA RATIO: 3.60</p> <p>FRONT SETBACK: Varies</p> <p>SIDE SETBACK: Varies</p> <p>STREETSIDE SETBACK: Varies</p> <p>REAR SETBACK: Varies</p> <p>PARKING: N/A</p>		
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential: RS-1-7	Residential
SOUTH:	Unzoned	Balboa Park
EAST:	Open Space: OP-1-1	Open Space
WEST:	Commercial & Residential; CC-3-9 & RM-4-10	Community Commercial & Residential
DEVIATIONS OR VARIANCES REQUESTED (INCENTIVES):	Antenna Projection Deviation: SDMC allows for 18-inch projection, proposed FRP screen enclosure to be offset by 24-inches	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 20, 2021, the Uptown Community Planning Group voted 13-0-0 to recommend approval of the project without conditions	

PLANNING COMMISSION RESOLUTION NO. _____
PLANNED DEVELOPMENT PERMIT NO. 2584404
CONDITIONAL USE PERMIT NO. 2584402
SPRINT UPAS CONDOS - PROJECT NO. 691449

WHEREAS, 666 UPAS Homeowners Association Corp., Owner, and SPRINT PCS Assets, LLC., Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2584404 and 2584402;

WHEREAS, the project site is located at 666 Upas Street in the RM-4-10 Zone of the Uptown Community Plan;

WHEREAS, the project site is legally described as Lots 1, 2 and 3 in Park Upas, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5161, filed in the Office of the County Recorder of San Diego County, April 22, 1963. Excepting therefrom all units as shown on the amended Del Prado Condominium Plan recorded in the Office of the County Recorder of San Diego County, August 16, 1972 as Document No. 216496 of Official Records;

WHEREAS, on November 10, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 16, 2021, the Planning Commission of the City of San Diego considered Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402:

A. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0305]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Sprint Upas Condos Project (Project) proposes the continued use of a Wireless Communication Facility (WCF) by Sprint. The proposed WCF will consist of two sectors of three (3) antennas each (six antennas total) and four (4) Remote Radio Units (RRUs), to be mounted on the outside wall of an existing condominium complex and enclosed behind four (4) new Fiberglass Reinforced Plastic (FRP) screen boxes, painted and textured to match the existing building. The WCF was previously approved on August 12, 2010 with a 10-year term.

The Uptown Community Plan does not address communication antennas as a specific land use. However, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view. Pursuant to the San Diego Land Development Code, communication antennas are permitted in all zones citywide with the appropriate permit process. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. In this case, the six (6) panel antennas and RRUs will be screened behind four (4) FRP screen boxes painted and textured to match existing condominium complex façade they are attached to. The associated equipment cabinets are to be located on the upper rooftop.

As designed, the Project complies with the WCF regulations, by integrating the Project into the condominium complex, thereby reducing any potential visual impacts. The Project is located on a residential structure and requires a Conditional Use Permit based in its location in a residential zone with residential uses on the site. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project proposes the continued use of a WCF by Sprint. The proposed WCF will consist of two sectors of three (3) antennas each (six antennas total) and four (4) Remote Radio Units (RRUs), to be mounted on the outside wall of an existing condominium complex and enclosed behind four (4) new Fiberglass Reinforced Plastic (FRP) screen boxes, painted and textured to match the existing building. The WCF was previously approved on August 12, 2010 with a 10-year term.

The Project is determined to be exempt from CEQA pursuant to Section 15303 (New Construction). The conditions of approval for the Project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare to include, but not limited to setback limitation, concealment requirements, and electromagnetic fields controls. All proposed improvement plans associated with the Project will be reviewed prior to issuance of construction permits and inspected during construction to assure the Project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions. A RFE-EME Compliance Report (Report) dated June 15, 2021 from EBI Consulting was submitted to the City verifying that the proposed Project meets or exceeds the requirements of the FCC. The Report will be stamped as Exhibit "A" and provided within the Project file. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The Project proposes the continued use of a WCF by Sprint. The proposed WCF will consist of two sectors of three (3) antennas each (six antennas total) and four (4) Remote Radio Units (RRUs), to be mounted on the outside wall of an existing condominium complex and enclosed behind four (4) new Fiberglass Reinforced Plastic (FRP) screen boxes, painted and textured to match the existing building. The WCF was previously approved on August 12, 2010 with a 10-year term.

Deviations to the San Diego Municipal Code (SDMC) may be processed through a Planned Development Permit (PDP) in accordance with SDMC Sections 126.0601 and 143.0401.

The Project requests a deviation to WCF projections. The Project will consist of two sectors of three (3) antennas each (six antennas total) and four (4) RRUs. The requested deviation would allow the increase of the projection of the antenna concealment to 24-inches from the face of the building, whereas the SDMC Section 141.0420(8)(B) allows a maximum 18-inch projection. The proposed concealment (FRP screen boxes) require an extended offset for proper operation of equipment. The size of the antenna coupled with the mounting hardware and the necessary antenna azimuth make an 18-inch offset inoperable. The proposed 24-inch offset is the minimum that can be achieved while still allowing enough room for the antenna, mounting hardware and necessary azimuth and concealing the antennas to comply with City of San Diego's WCF guidelines. The requirement of a maximum offset of 18-inches was required in the WCF's Ordinance (Chapter 14, Article 4, Division 20) at a period of time when antennas were smaller and wireless device requirements were limited. Because of the high demand of wireless communication, larger antennas are required to accommodate for increased capacity and demand. Because the screen boxes will be located 180 feet above ground level, the added six inches will be unnoticeable at ground level and will integrate within the existing architecture of the building it is attached to.

The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for Sprint. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage provided on the property and the predicted loss of coverage without the increased antenna size. Although the underlying zone requires an 18-inch maximum projection, without this deviation could result in significant impacts to those within the surrounding area. A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

The City's WCF regulations, SDMC section 141.0420, allow these facilities in a residential zone with residential use as a Process Four, Conditional Use Permit when the antennas are located on a premise that contains residential development. The proposed WCF will include FRP screen boxes painted and textured to match the existing building design implementing the intent of the WCF ordinance which is basically to integrate and camouflage WCFs within the existing environment. Based on these considerations, this Project complies with the permit and design requirements for WCF's as identified in the SDMC. Therefore, the proposed

development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to SDMC Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

B. CONTINGENTIAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Planned Development Permit Finding A.1.a. listed above, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare;

As outlined in Planned Development Permit Finding A.1.b. listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As outlined in Planned Development Permit Finding A.1.c. listed above, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The Sprint WCF was previously approved on August 12, 2010 with a 10-year term and contained a total of six (6) panel antennas and 4 directional antennas. The City of San Diego encourages wireless carriers to locate on non-residential properties. In this case, the height of the existing condominium complex meets Sprint's coverage objective. No other sites within the search ring, with a non-residential use, were available at the required height.

The Project site location is the tallest existing structure in the surrounding area. The surrounding properties in all directions are mostly residential. There are some non-residential properties to the west, but they are smaller structures. In order to make up for the loss in height, a wireless facility at one of these locations would require a new standalone tower, whose height would far exceed the height of any existing

structures in the area. This would result in a facility that is less integrated in the overall aesthetics of the community. In addition, the relocation of an existing wireless facility, could have negative impacts on the overall performance of the network in the area, resulting in possible coverage gaps between sites. For these reasons, the existing site is preferred, and no other properties are suitable candidates.

The condominium houses other communication antennas and is viewed as a "collocation site." The proposed antennas will be concealed with screen boxes and painted and textured to match the existing building. This will allow the communication antennas to blend in with the building and be more visually appealing. Therefore, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2584404 and 2584402, a copy of which is attached hereto and made a part hereof.

Ian Heacox
Development Project Manager
Development Services

Adopted on: December 16, 2021

IO#: 11004545

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004545

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 2584404
CONDITIONAL USE PERMIT NO. 2584402
SPRINT UPAS CONDOS PROJECT NO. 691449
PLANNING COMMISSION

This Planned Development Permit No. 2584404 and Conditional Use Permit No. 2584402 is granted by the Planning Commission of the City of San Diego to 666 Upas Homeowners Association Corp, Owner, and Sprint PCS Assets, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420, 126.0303 and 126.0602. The site is located at 666 Upas Street in the RM-4-10 Zone of the Uptown Community Plan. The project site is legally described as Lots 1, 2 and 3 in Park Upas, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 5161, filed in the office of the County Recorder of San Diego County, April 22, 1963. Excepting therefrom all units as shown on the amended Del Prado Condominium Plan recorded in the Office of the County Recorder of San Diego County, August 16, 1972 as Document no. 216496 of Official Records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 16, 2021, on file in the Development Services Department.
The project shall include:

- a. A WCF consisting of two sectors of three (3) antennas each (six antennas total) and four (4) Remote Radio Units (RRUs), to be mounted on the outside wall of an existing condominium complex and enclosed behind four (4) new Fiberglass Reinforced Plastic (FRP) screen boxes painted and textured to match the existing building;
- b. Associated equipment will be located on the upper roof;
- c. Deviations: A deviation pursuant to San Diego Municipal Code (SDMC) Section 141.0420(e)(8)(B) allowing the antenna concealment to protrude 24-inches from the building face where 18-inches is allowed; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January 4, 2025.
2. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 60 days of permit approval, applications must be made for all required construction permits. Within 90 days of application, all required construction permits must be issued. Within 90 days of permit issuance, final inspection must be obtained.
3. This permit and corresponding use of this site shall expire on January 4, 2032. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
4. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
5. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

13. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in

defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

15. Any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged, removed or significantly trimmed for the operation of the wireless communication facility, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

16. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

17. No overhead cabling is permitted.

18. The WCF shall conform to the approved construction plans.

19. Photo simulations shall be printed in color on the construction plans.

20. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

22. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.

23. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.

24. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
25. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
26. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
27. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 16, 2021.

ATTACHMENT 6

Planned Development Permit No. 2584404
Conditional Use Permit No. 2584402
December 16, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Ian Heacox
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

666 Upas, Homeowners Association Corp.
Owner

By _____
NAME:
TITLE:

Sprint PCS Assets, LLC
Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

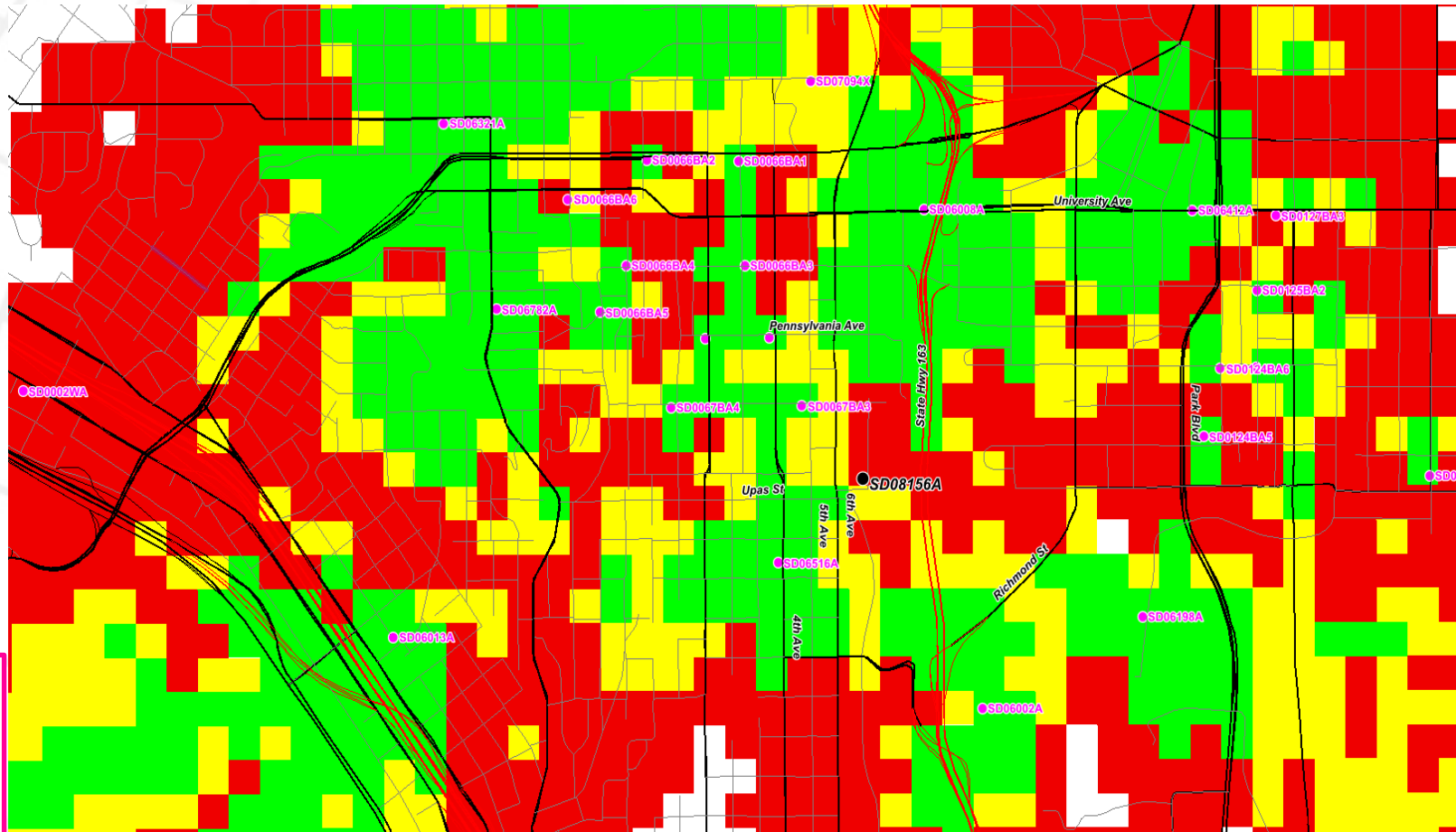
SD08156A Coverage Maps

RF Team - San Diego Market





Area without SD08156A



NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 691449

Project Title: Sprint Upas Condos

PROJECT LOCATION-SPECIFIC: The project is located at 666 Upas Street, San Diego, CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: CONDITIONAL USE PERMIT (CUP) and PLANNED DEVELOPMENT PERMIT (PDP) to upgrade an existing Wireless Communication Facility (WCF) by removing 4 existing panel antennas, 8 existing Remote Radio Units (RRUs) and existing 4 Fiberglas Reinforced Plastic (FRP) screen boxes and replacing the WCF with 4 new panel antennas, four 4 new RRUs, and four (4) new screen boxes painted and textured to match the existing building. The project is located at 666 Upas St. within RM-4-10 zone of the Uptown Community Plan, and City Council District 3. The WCF is unmanned and technicians would visit the site only as required for routine maintenance and repairs.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Delilah Bruzee, 10590 West Ocean Air Drive STE. 300, San Diego, CA 92130. (858) 799-0575

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c)).
- ☒ CATEGORICAL EXEMPTION: 15302 (Replacement or Reconstruction)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is modifying the existing facility and would replace old equipment with new without expanding the use of the WCF. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

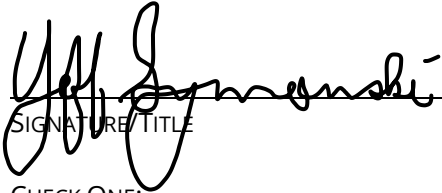
LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 /SENIOR PLANNER
SIGNATURE/TITLE

11/23/2021
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY
CLERK OR OPR:

DATE RECEIVED FOR FILING WITH COUNTY



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General – What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: See attached Letter of Authorization Date: _____

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: Delilah Bruzee Date: 06/17/21

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No



April 26, 2021

To:

Md7, LLC
Delilah Bruzee, Land Use
10590 W Ocean Air Drive, Suite 300
San Diego, CA 92130
(858) 799-0575
dbruzee@md7.com

From:

666 UPAS Homeowners Association
666 Upas Street
San Diego, CA 92103

Re:

Property Owner Letter of Authorization

Site ID:

SD08156A

Site Address:

666 Upas Street, San Diego, CA 92103

Parcel ID:

452-430-2766

Dear Sir or Madam:


This is to certify that I, Steven E. Boggs, am the legal property owner of record, and hereby authorize Md7, LLC, as agent for Sprint PCS Assets, LLC, to file the documents necessary to obtain the permit approvals for Sprint PCS Assets, LLC, to make modifications to its existing cell site located at 666 Upas Street, San Diego, CA 92103.

By:


Property Owner Signature

Steven Boggs, President
Name and Title

619-260-0500
Phone

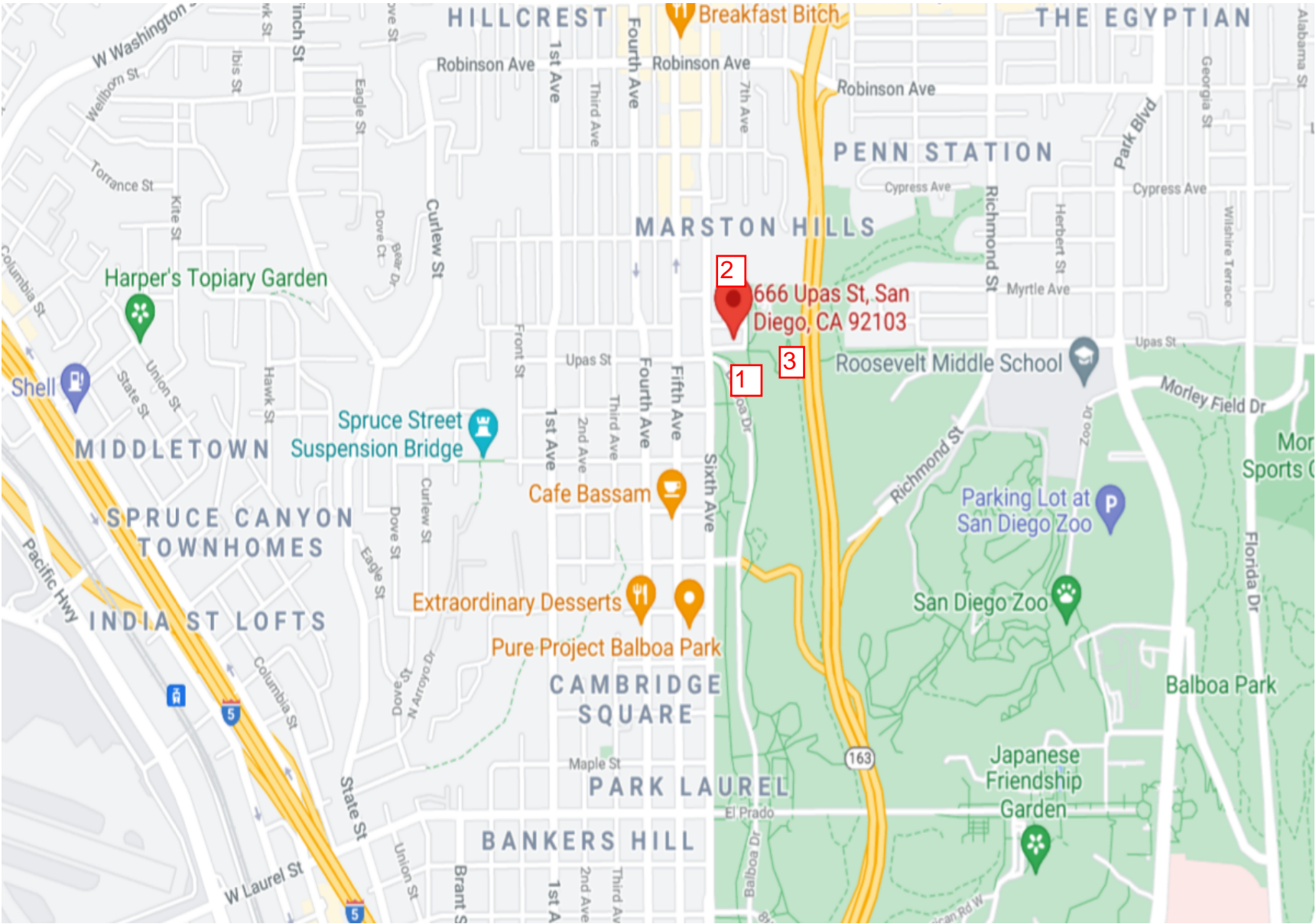
Page 3		City of San Diego · Information Bulletin 620		May 2020
		City of San Diego Development Services		Community Planning Committee Distribution Form
Project Name: Sprint cell site modification, at 666 Upas St.			Project Number: 691449	
Community: Uptown				
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>				
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny				
# of Members Yes 13		# of Members No 0		# of Members Abstain 0
Conditions or Recommendations: N/A				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: Mary M. McKenzie				
TITLE: Secretary			DATE: September 20, 2021	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>				

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103

Map



LOCATION

©2021 Google Maps

SD08156A UPAS CONDOS

MD7

666 Upas St. San Diego, CA 92103



View 1

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103



View 2

SD08156A UPAS CONDOS

MD7

666 Upas St. San Diego, CA 92103



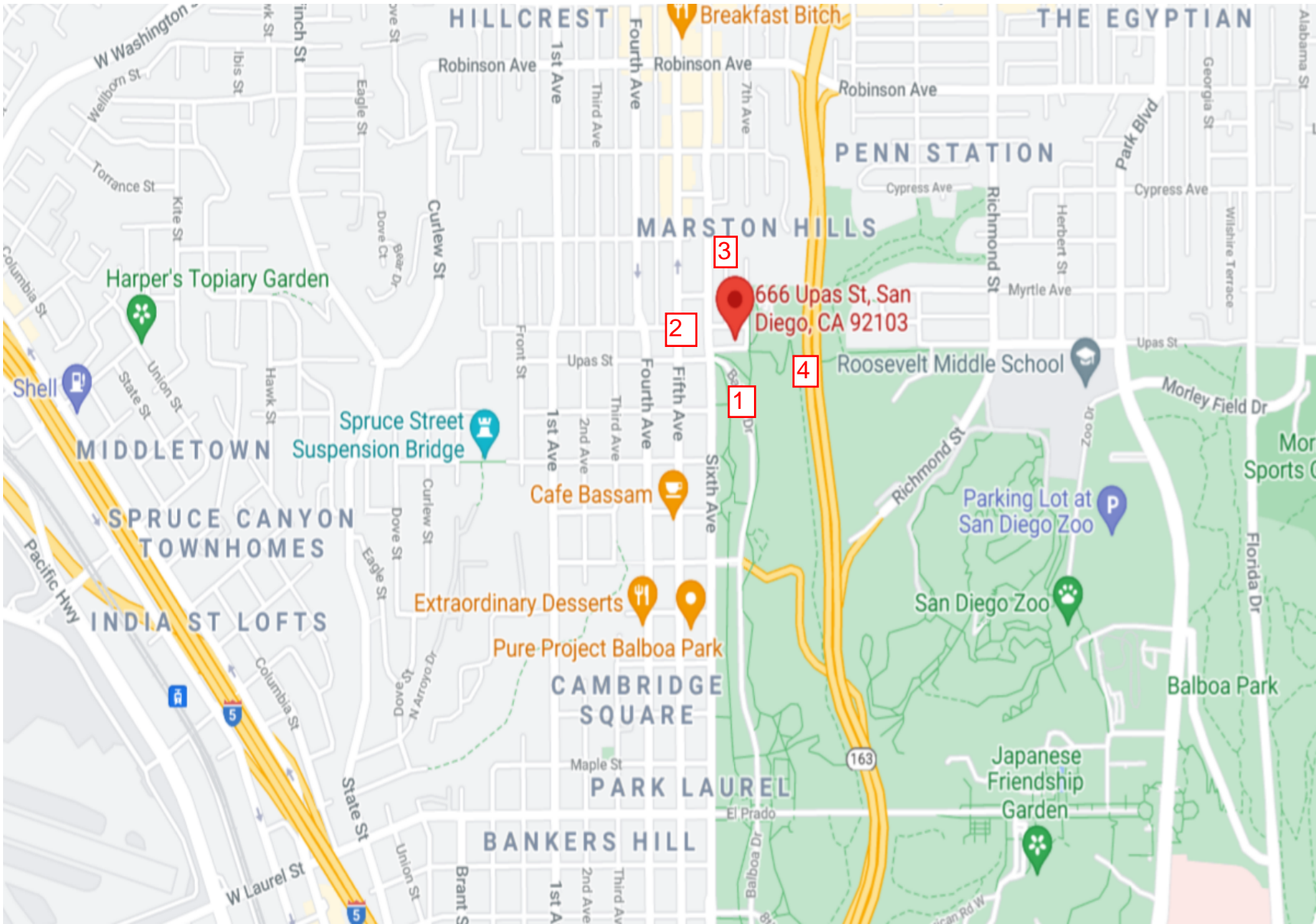
View 3

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103

Map



LOCATION

©2021 Google Maps

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103

VIEW 1



EXISTING

No Change



PROPOSED

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103

VIEW 2



EXISTING

No Change



PROPOSED

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103

VIEW 3



EXISTING

Remove and replace 3 antennas and shrouds



PROPOSED

SD08156A UPAS CONDOS



666 Upas St. San Diego, CA 92103

View 4



EXISTING



PROPOSED

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



SITE ID: SD34XC670
SITE NAME: UPAS CONDOS
SITE ADDRESS: 666 UPAS STREET
SAN DIEGO, CA 92103
PROJECT: SPRINT RETAIN
SITE TYPE: ROOFTOP
JURISDICTION: SAN DIEGO COUNTY
T-MOBILE SITE NUMBER: SD08156A

PROJECT INFORMATION

SITE ADDRESS: 666 UPAS STREET
SAN DIEGO, CA 92103
COUNTY: SAN DIEGO COUNTY
LATITUDE: 32° 44' 28.80" N (32.741355°)
LONGITUDE: 117° 09' 31.65" W (-117.158589°)
GROUND ELEVATION: 293.56' AMSL
STRUCTURE HEIGHT: 150'-11" (MAIN ROOF DECK)
JURISDICTION: CITY OF SAN DIEGO
PARCEL: 4524302766
ZONING: RM-4-10
OCCUPANCY: U

CONSTRUCTION INFORMATION:
AREA OF CONSTRUCTION: EXISTING/NO CHANGE
CONSTRUCTION TYPE: V-B
PROPOSED USE: UNMANNED TELECOMMUNICATIONS FACILITY
HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED

TOWER OWNER: -

PROPERTY OWNER: 666 UPAS HOMEOWNERS ASSOCIATION
666 UPAS STREET
SAN DIEGO, CA 92103

APPLICANT: SPRINT PCS c/o T-MOBILE
10509 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121

VICINITY MAP



DIRECTIONS

FROM SAN DIEGO INTERNATIONAL AIRPORT, SAN DIEGO, CA:
• HEAD EAST ON N HARBOR DR TOWARD MCCAIN RD
• USE THE LEFT 2 LANES TO TURN LEFT ONTO W LAUREL ST
• TURN LEFT ONTO SIXTH AVE
• TURN RIGHT
• DESTINATION WILL BE ON THE RIGHT

ACCESSIBILITY REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED PER CBC 2019
SECTION 11B-203.4 (LIMITED ACCESS SPACES)
SECTION 11B-203.5 (MACHINERY SPACES)

INDEX OF DRAWINGS

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES
T-3	LOA
A-1	SITE PLAN
A-1.1	ROOF PLAN
A-1.2	EQUIPMENT PLAN
RF-1	ANTENNA CONFIGURATION
RF-2	PLUMBING DIAGRAM
A-2	NORTH ELEVATION
A-2.1	EAST ELEVATION
A-2.2	SOUTH ELEVATION
A-2.3	WEST ELEVATION
A-3	CONSTRUCTION DETAILS
A-4	CONSTRUCTION DETAILS
A-5	CONSTRUCTION DETAILS
A-6	CONSTRUCTION DETAILS
E-1	ELECTRICAL DETAILS
E-2	GROUNDING DETAILS



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

PLANS PREPARED BY:



MORRISON HERSHFIELD
600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 210028900

REV.	DATE	ISSUED FOR	BY
A	04/22/21	90% REVIEW	MLG
B	06/02/21	100% REVIEW	JR
C	06/16/21	100% REVIEW	JR
D	08/02/21	100% REVIEW	JR

SET NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY DESIGN PROFESSIONAL AND STAMPED APPROVED BY MUNICIPALITY

LICENSURE:

SITE NAME:

UPAS CONDOS

SPRINT SITE I.D.

SD34XC670

SITE ADDRESS:

666 UPAS STREET
SAN DIEGO, CA 92103

SHEET NAME:

TITLE SHEET

SHEET NUMBER:

T-1

PROJECT TEAM

CONSTRUCTION MANAGER:
SPRINT PCS c/o T-MOBILE
KIRT BABCOCK
10509 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121
PHONE: (858) 334-6139

SITE ACQUISITION AGENT:
MD7
JOHN STURGES
10590 WEST OCEAN AIR DRIVE, SUITE 300
SAN DIEGO, CA 92130
PHONE: (619) 947-0762

ZONING/PERMITTING AGENT:
MD7
JUSTIN CAUSEY
10590 WEST OCEAN AIR DRIVE, SUITE 300
SAN DIEGO, CA 92130
PHONE: (858) 291-1869

ARCHITECT & ENGINEERING
MORRISON HERSHFIELD
JOSH REYNOLDS
600 STEWART STREET SUITE 200
SEATTLE, WA 98101
PHONE: (770) 379-8500
j.reynolds@morrisonhershfield.com

ENGINEER:
TED HAILE
MORRISON HERSHFIELD CORP.
PHONE: (503) 595-9128
thaile@morrisonhershfield.com

ARCHITECT:
ROBERT LARA
MORRISON HERSHFIELD CORP.
PHONE: (954) 577-4655

RF ENGINEER:
SPRINT c/o T-MOBILE
PEDRO ABE
10509 VISTA SORRENTO PKWY, SUITE 206
SAN DIEGO, CA 92121

SCOPE OF WORK

SPRINT PROPOSES TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY WITH THE FOLLOWING:

AT ANTENNA LEVEL
• REMOVE (4) PANEL ANTENNAS
• REMOVE (8) LEGACY RADIOS
• INSTALL (2) ERICSSON AIR6449 B41 ANTENNAS
• INSTALL (2) COMMScope FFHH-65A-R3 OCTO ANTENNAS
• INSTALL (2) RADIO 4480 B71 + B85
• INSTALL (2) RADIO 4460 B25 + B66

EXISTING CONFIGURATION:
ANTENNAS: 6
RADIOS: 8

FINAL CONFIGURATION
(NOT INCLUDING DUMMY):
ANTENNAS: 6
RADIOS: 4

AT EQUIPMENT LEVEL
• REMOVE (3) EQUIPMENT CABINETS
• INSTALL E6160 CABINET
• INSTALL B160 CABINET (BATTERY WORK REQUIRED)
• INSTALL (12) BATTERIES
• INSTALL (3) BB6648, AND (1) RBS6601 INSIDE 6160 CABINET
• INSTALL (1) DUG20
• INSTALL (1) PSU 4813
• INSTALL (1) IXRE ROUTER
• INSTALL (2) 6x24 HCS 4AWG (1x80FT, 1x200FT)

• PROJECT VALUATION: \$40,000

DESIGN BASED ON T-MOBILE RFDS:
SPRINT RETAIN_VERSION 1, DATED 03/23/2021 4:47:03 PM

APPROVALS

APPROVAL	SIGNATURE	DATE
PROJECT MANAGER		
T-MOBILE RF ENGINEER		
SITE ACQUISITION		
CONSTRUCTION MANAGER		
SITE OWNER		
SPRINT DEVELOPMENT MANAGER		
SPRINT CONSTRUCTION MANAGER		
SPRINT OPS MANAGER		
SPRINT REGULATORY REVIEW		
SPRINT PROJECT MANAGER		

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CALIFORNIA STATE AND LOCAL BUILDING CODES WITH THE FOLLOWING REFERENCE CODE:

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ENERGY CODE (CEC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)

CONTRACTOR TO CALL TO VERIFY UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO DIGGING



Know what's below.
Call before you dig.

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

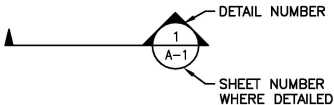
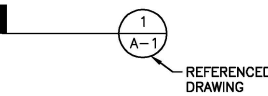
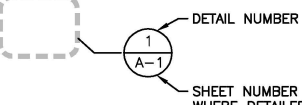
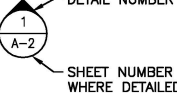
ARCHITECTURAL GENERAL NOTES
<div>1. WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. ALL NECESSARY LICENSES, CERTIFICATES, ETC., REQUIRED BY AUTHORITY HAVING JURISDICTION SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.</div> <div>2. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS AT THE JOB SITE WHICH COULD AFFECT THE WORK UNDER THIS CONTRACT. ALL MANUFACTURERS RECOMMENDED SPECIFICATIONS, EXCEPT THOSE SPECIFICATIONS HEREIN, WHERE MOST STRINGENT SHALL BE COMPLIED WITH.</div> <div>3. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN THE LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS, AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE MET. NOTIFY THE CONSULTANT OF ANY CONFLICTS. THE CONSULTANT HAS THE RIGHT TO MAKE MINOR MODIFICATIONS IN THE DESIGN OF THE CONTRACT WITHOUT THE CONTRACTOR GETTING ADDITIONAL COMPENSATION.</div> <div>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF ALL TRADES AND REMOVE ALL DEBRIS FROM THE CONSTRUCTION SITE. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE BUILDING, SITE, AND ANY OTHER SURROUNDING AREAS TO A BETTER THAN NEW CONDITION.</div> <div>5. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES.</div> <div>6. WHERE ONE DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS OR REFERRED TO IN THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.</div> <div>7. WHERE NEW PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.</div> <div>8. THE GENERAL CONTRACTOR SHALL OBTAIN WRITTEN CONFIRMATION OF THE EXPECTED DATE OF COMPLETION OF THE POWER CONNECTION FROM THE POWER COMPANY.</div> <div>9. IF THE POWER COMPANY IS UNABLE TO PROVIDE THE POWER CONNECTION BY OWNER’S REQUIRED DATE, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY GENERATOR UNTIL THE POWER COMPANY CONNECTION IS COMPLETED. COSTS ASSOCIATED WITH THE TEMPORARY GENERATOR TO BE APPROVED BY THE OWNER.</div> <div>10. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IS NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO MORRISON HERSHFIELD. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.</div> <div>11. IF CONTRACTOR OR SUB–CONTRACTOR FIND IT NECESSARY TO DEViate FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR’S AND THE SUB–CONTRACTOR’S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH (4) COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB–CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB–CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.</div> <div>12. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB–CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID/PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.</div> <div>13. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.</div>


COMPOUND NOTES
<div>1. CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. IT IS RECOMMENDED THAT THE CONTRACTOR VISIT THE SITE AND VERIFY ALL DIMENSIONS AND NOTES BEFORE SUBMITTING BID AND PROCEEDING WITH WORK.</div> <div>2. SOIL AT THIS SITE IS UNDISTURBED ROCK AND SAND ADEQUATE OF SUPPORTING THE DESIGN LOAD OF 2000 P.S.F. IF OTHER CONDITIONS ARE ENCOUNTERED, NOTIFY MORRISON HERSHFIELD BEFORE PROCEEDING WITH WORK. THIS VALUE IS CONSIDERED SAFE WITH RESPECT TO ACTUAL FAILURE OF THE SUPPORTING GROUND, BUT DOES NOT NECESSARILY ENSURE THE PREVENTION OF EXCESSIVE FOUNDATION MOVEMENTS.</div> <div>3. IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL HIS PRACTICAL TRADES.</div> <div>4. THE POWER CABINET MUST BE CLEAR OF FLAMMABLE MATERIAL WITHIN 12 INCHES OF THE CABINET, INCLUDING ABOVE THE CABINET.</div> <div>5. THE POWER CABINET MUST BE MOUNTED ON THE FOUNDATION TO ALLOW WATER TO DRAIN FROM THE DRAIN OUTLET AND AWAY FROM THE CABINET.</div> <div>6. TO ENSURE SERVICEABLE ABILITY, THE DOORS OF CABINETS WILL REQUIRE AN OPENING RADIUS OF 36 INCHES OF CLEARANCE FROM THE CLOSED POSITION TO THE OPEN POSITION.</div>

ELECTRICAL GENERAL NOTES
<div>A. GENERAL</div> <div>1. EXAMINE THE SITE CONDITIONS VERY CAREFULLY AND THE SCOPE OF PROPOSED WORK TOGETHER WITH THE WORK OF ALL OTHER TRADES AND INCLUDE IN THE BID PRICE ALL COSTS FOR WORK SUCH AS EQUIPMENT AND WIRING MADE NECESSARY TO ACCOMMODATE THE ELECTRICAL SYSTEMS SHOWN AND SYSTEMS OF OTHER TRADES.</div> <div>2. OBTAIN ALL PERMITS, PAY ASSOCIATED FEES AND SCHEDULE INSPECTION.</div> <div>3. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, INSURANCE, AND SERVICES TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PRESENT IT AS FULLY OPERATIONAL TO THE SATISFACTION OF SPRINT & LAND/TOWER OWNER</div> <div>4. PRIOR TO BEGINNING WORK COORDINATE ALL POWER AND TELCO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED. GENERAL CONTRACTOR IS RESPONSIBLE FOR VED. REQUESTING CONNECTION OF COMMERCIAL POWER FROM THE POWER COMPANY. ELECTRICAL CONTRACTOR SHALL COORDINATE THIS WORK WITH THE GENERAL CONTRACTOR.</div> <div>5. FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE IN A FIRST CLASS WORKMANSHIP PER NECA STANDARD 1–2000 BY QUALIFIED PERSONNEL EXPERIENCED IN SUCH WORK AND SHALL SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS NOT TO IMPEDE PROGRESS OF THE PROJECT.</div> <div>B. BASIC MATERIALS AND METHODS</div> <div>1. ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.</div> <div>2. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE.</div> <div>3. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.</div> <div>4. SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITHIN CONDUITS ENTERING THE MODULAR CABINETS WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION INTO BUILDING.</div> <div>C. CONDUCTORS AND CONNECTORS</div> <div>1. UNLESS NOTED OTHERWISE, ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG, WITH THERMOPLASTIC INSULATION CONFORMING TO NEMA WC5 OR CROSS–LINKED POLYETHYLENE INSULATION CONFORMING TO NEMA WC7. (TYPES THHN). INSULATION SHALL BE RATED FOR 90 DEG. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC.</div> <div>2. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES. SPLICES ARE NOT ACCEPTABLE. IF SPLICES ARE UNAVOIDABLE PRIOR APPROVAL FROM THE ENGINEER MUST BE OBTAINED.</div> <div>D. GROUNDING</div> <div>1. ALL LIGHTNING PROTECTION GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NFPA STANDARDS.</div> <div>2. ALL GROUND LUG AND COMPRESSION CONNECTIONS SHALL BE COATED WITH ANTI–OXIDANT AGENT, SUCH AS NO–OX, NOALOX, PENETROX OR KOPRSIELD.</div> <div>3. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING EXTERIOR GROUND RING SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8” AND THE ANGLE OF ANY BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.</div> <div>4. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY THERMO–WELDING WITH ERICO T–319 GALVANIZING BAR.</div> <div>5. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO EXTERIOR GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS WHICH ARE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLUB LECTROSOL #15–501.</div>

PROJECT INFORMATION
<div>1. THIS IS AN UNMANNED AND RESTRICTED ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.</div> <div>2. THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY.</div> <div>3. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.</div> <div>4. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.</div> <div>5. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.</div> <div>6. SPRINT MAINTENANCE CREW (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.</div>
SITE GENERAL NOTES
<div>1. RESTORE EXISTING ASPHALT AND/OR CONCRETE COMPOUND TO IT’S ORIGINAL CONDITION.</div> <div>2. CONTRACTOR SHALL DETECT AND MARK ANY UNDERGROUND LINES, PIPING, PRIOR TO START OF EXCAVATION.</div>

ABBREVIATIONS
<div><div><div>AGL A/C APPROX AZ</div><div>ABOVE GROUND LEVEL AIR CONDITIONING APPROXIMATELY AZIMUTH</div></div><div><div>BLDG BLK</div><div>BUILDING BLOCKING</div></div><div><div>CLG CLR CONC CONST CONT</div><div>CEILING CENTERLINE CLEAR CONCRETE CONSTRUCTION CONTINUOUS</div></div><div><div>DET DIA DIAG DIM DBL DN DWG</div><div>DETAIL DIAMETER DIAGONAL DIMENSION DOUBLE DOWN DRAWING</div></div><div><div>EA ELEC ELEV EQ EQUIP (E) EXT</div><div>EACH ELECTRICAL ELEVATION EQUAL EQUIPMENT EXISTING EXTERIOR</div></div><div><div>FIN FLR FLUOR FT</div><div>FINISH FLOOR FLUORESCENT FOOT</div></div><div><div>GA GALV GC GRND GYP BD</div><div>Gauge GALVANIZED GENERAL CONTRACTOR GROUND GYPSUM WALL BOARD</div></div><div><div>HT HVAC</div><div>HEIGHT HEATING VENTILATION AIR CONDITIONING HORIZONTAL HOUR</div></div><div><div>IN INFO ID INSUL INT IBC</div><div>INCH INFORMATION INSIDE DIAMETER INSULATION INTERIOR INTERNATIONAL BUILDING CODE</div></div><div><div>LBS MGR MFR MAX MECH MTL MIN MISC</div><div>POUNDS MANAGER MANUFACTURER MAXIMUM MECHANICAL METAL MINIMUM MISCELLANEOUS</div></div><div><div>N/A NIC NTS</div><div>NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE</div></div><div><div>OC OD</div><div>ON CENTER OUTSIDE DIAMETER</div></div><div><div>PLYWD PT PROJ PROP (P)</div><div>PLYWOOD PRESSURE TREATED PROJECT PROPERTY PROPOSED</div></div><div><div>QTY</div><div>QUANTITY</div></div><div><div>REQ RM RO ROW</div><div>REQUIRED ROOM ROUGH OPENING RIGHT OF WAY</div></div><div><div>SHT SIM SPEC SF SS STL STRUCT STD SUSP</div><div>SHEET SIMILAR SPECIFICATION SQUARE FOOT STAINLESS STEEL STEEL STRUCTURAL STUD SUSPENDED</div></div><div><div>THRU TNNG TYP</div><div>THROUGH TINNED TYPICAL</div></div><div><div>UG UNO</div><div>UNDERGROUND UNLESS NOTED OTHERWISE</div></div><div><div>VIF VERT</div><div>VERIFY IN FIELD VERTICAL</div></div><div><div>WP W/ W/O</div><div>WATER PROOF WITH WITHOUT</div></div></div>
<div>———— UGP ——— UG POWER CONDUIT ——— UGT ——— UG TELCO CONDUIT</div>


IMPORTANT NOTICE
<div>THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. MORRISON HERSHFIELD CORPORATION CANNOT GUARANTEE THE CORRECTNESS NOR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. CONTRACTOR AND HIS SUB–CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER EXECUTION OF PROJECT. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE CONSULTANT PRIOR TO CONSTRUCTION.</div>
LEGEND
<div><div><div><div>BUILDING/WALL/DETAIL SECTION</div><div></div></div><div><div>REFERENCE</div><div></div></div></div><div><div><div><div>LARGE SCALE DETAIL</div><div></div></div><div><div>ELEVATION DETAIL BUG</div><div></div></div></div></div></div>



MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

PLANS PREPARED BY:



MORRISON HERSHFIELD
600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 210028900

REV.	DATE	ISSUED FOR	BY
A	04/22/21	90% REVIEW	MLG
B	06/02/21	100% REVIEW	JR
C	06/16/21	100% REVIEW	JR
D	08/02/21	100% REVIEW	JR

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UPAS CONDOS

SPRINT SITE I.D.

SD34XC670

SITE ADDRESS:

666 UPAS STREET
SAN DIEGO, CA 92103

SHEET NAME:

GENERAL NOTES

SHEET NUMBER:

T-2

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PENDING



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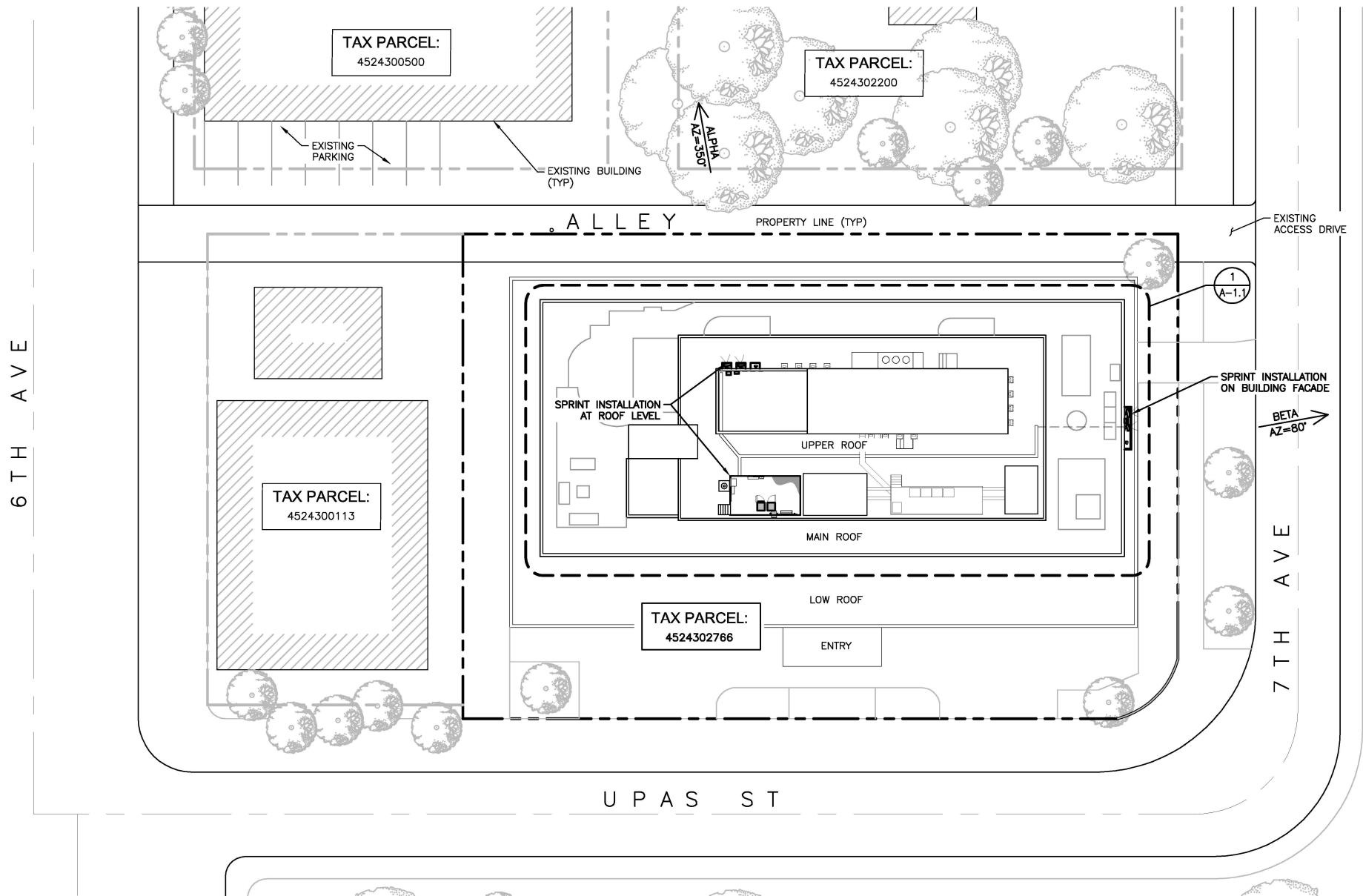
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T-3

NOTE:
THIS IS NOT A SURVEY. ALL INFORMATION AND TRUE NORTH HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND JURISDICTIONAL GIS INFORMATION AND ARE APPROXIMATE.

THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY

THIS IS A MODIFICATION OF A PERMIT OF AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT



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SHEET NAME:

SITE PLAN

SHEET NUMBER:

A-1



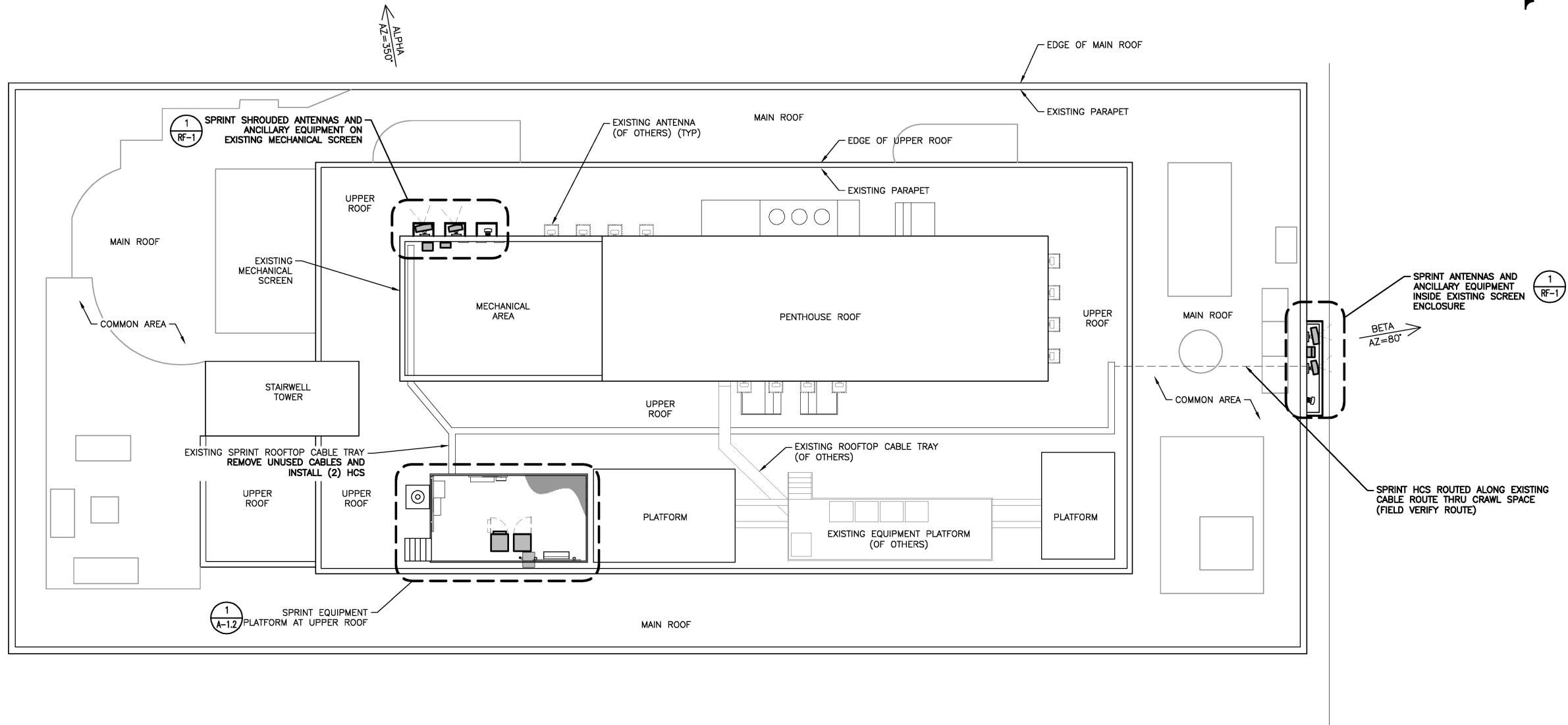
Know what's below.
Call before you dig.

SITE PLAN | 1

24"x36" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"
20' 10' 0' 20'

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- NOTES:
- 1. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL CODES
 - 2. CONTRACTOR IS RESPONSIBLE FOR PULLING ALL REQUIRED PERMITS AND ARRANGING FOR ALL INSPECTIONS AND OBTAINING ALL APPROVALS
 - 3. CONTRACTOR SHALL LOCATE AND MARK ANY UNDERGROUND UTILITIES PRIOR TO EXCAVATION



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SHEET NAME:

ROOF PLAN

SHEET NUMBER:

A-1.1

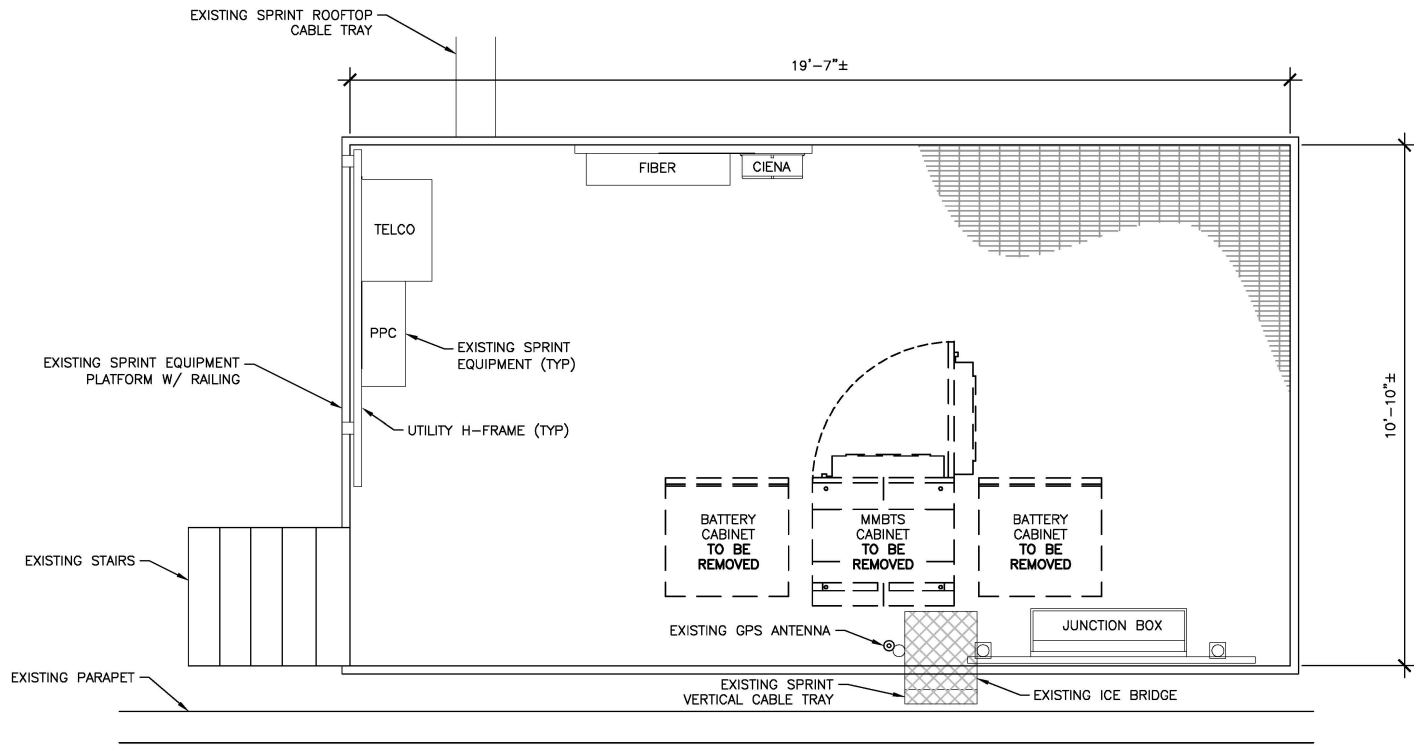
24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

ROOF PLAN 1

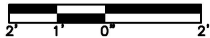
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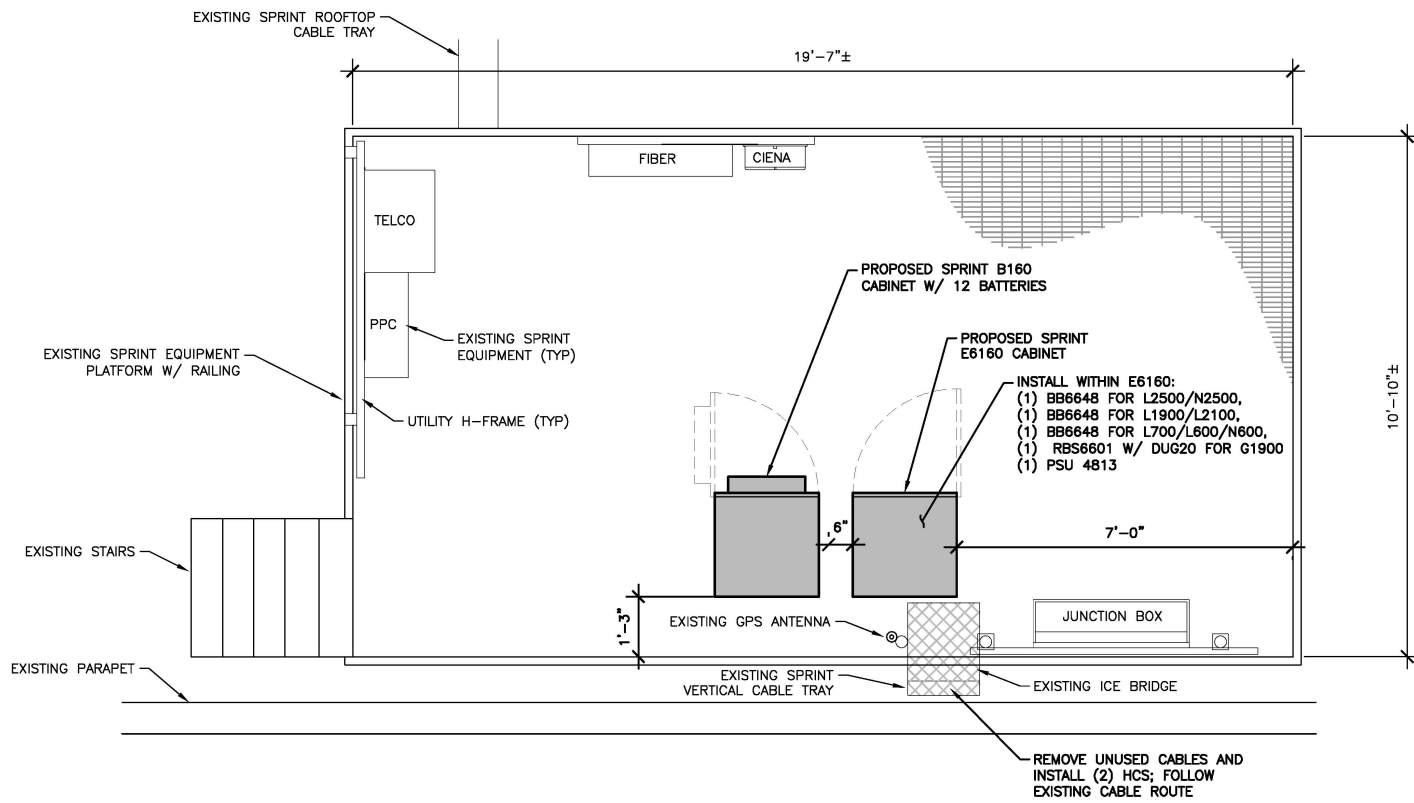
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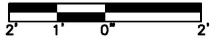
24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



EXISTING EQUIPMENT PLAN 2



24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



- CABINET SCOPE OF WORK -- SEE RFDS**
- REMOVE (3) EQUIPMENT CABINETS
 - INSTALL E6160 CABINET
 - INSTALL B160 CABINET (BATTERY WORK REQUIRED)
 - INSTALL (3) BB648 AND (1) RBS6601 INSIDE 6160 CABINET
 - INSTALL (1) PSU 4813
 - INSTALL (1) IXRE ROUTER

NOTES:
GC NEEDS TO UPDATE PANEL SCHEDULE CARD & RE-LABEL ALL BREAKERS. ANY SPARE BREAKERS TO BE LABELED SPARE & SWITCHED TO OFF POSITION

BATTERY NOTE:
BATTERY CABINET WILL CONTAIN (3) STRINGS (12 CELLS TOTAL) OF VALVE REGULATED LEAD ACID (VRLA) BATTERIES WITH IMMOBILIZED ELECTROLYTE TECHNOLOGY. THESE PROPOSED BATTERIES WILL CONTAIN A MAXIMUM ELECTROLYTE VOLUME OF 3.83 GALLONS PER CELL FOR A MAXIMUM TOTAL ELECTROLYTE VOLUME OF 45.96 GALLONS. AS THE TOTAL ELECTROLYTE VOLUME PROPOSED IS LESS THAN 50 GALLONS, COMPLIANCE WITH INTERNATIONAL FIRE CODE SECTION 608 IS NOT REQUIRED.

PROPOSED EQUIPMENT PLAN 1



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EQUIPMENT
PLAN

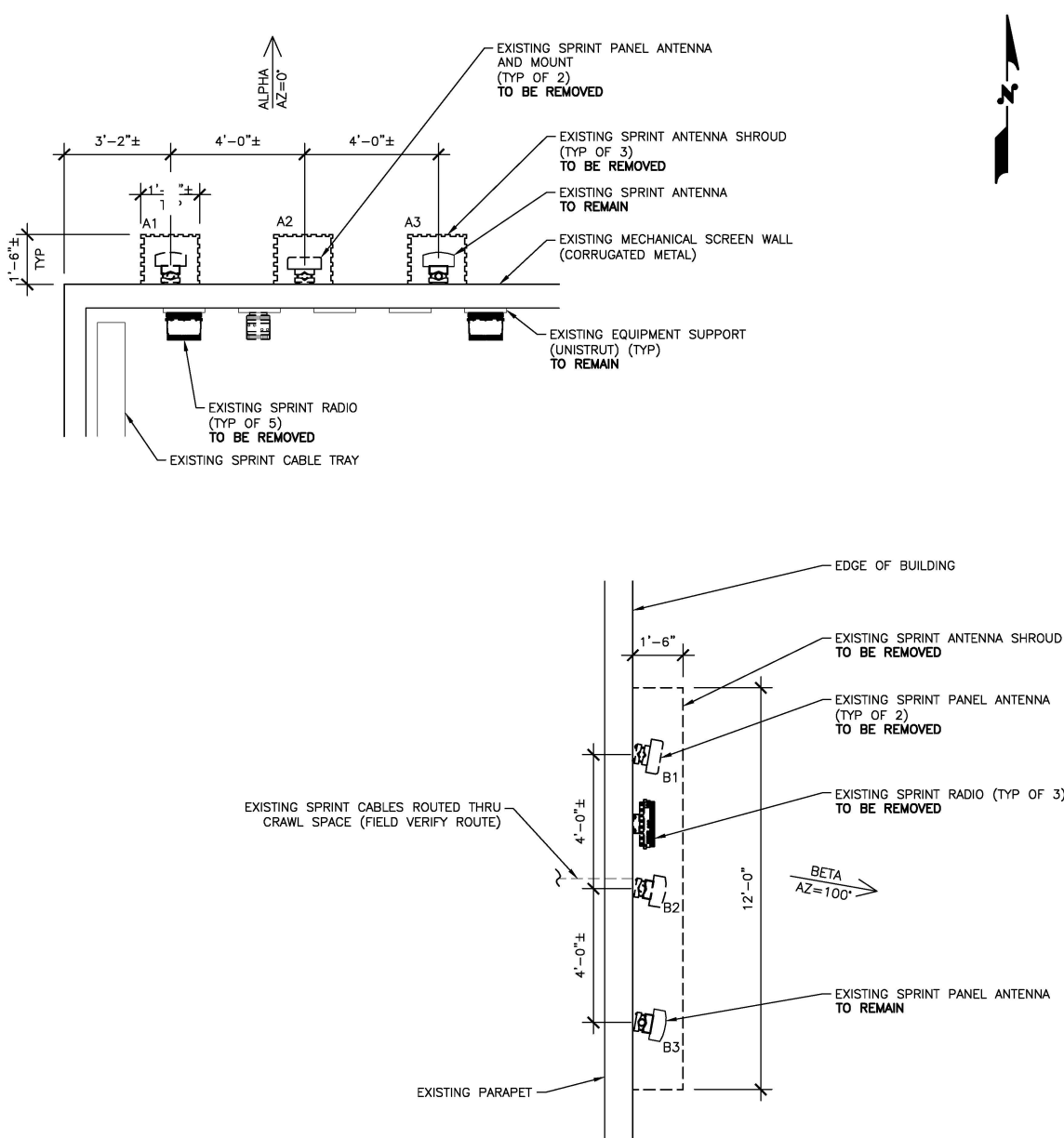
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EXISTING ANTENNA AND COAX SCHEDULE								
SECTOR ALPHA	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
A1	0°	176°-0"	1	-	SPRINT ANTENNA	CABLE	80'	(5) RADIOS
A2	0°	176°-0"	1	-	SPRINT ANTENNA			
A3	0°	176°-0"	1	-	SPRINT ANTENNA			
SECTOR BETA	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
B1	100°	151°-0"	1	-	SPRINT ANTENNA	CABLE	140'	(3) RADIOS
B2	100°	151°-0"	1	-	SPRINT ANTENNA			
B3	100°	151°-0"	1	-	SPRINT ANTENNA			

ALL EXISTING SPRINT ANTENNAS AND ANCILLARY EQUIPMENT TO BE REMOVED

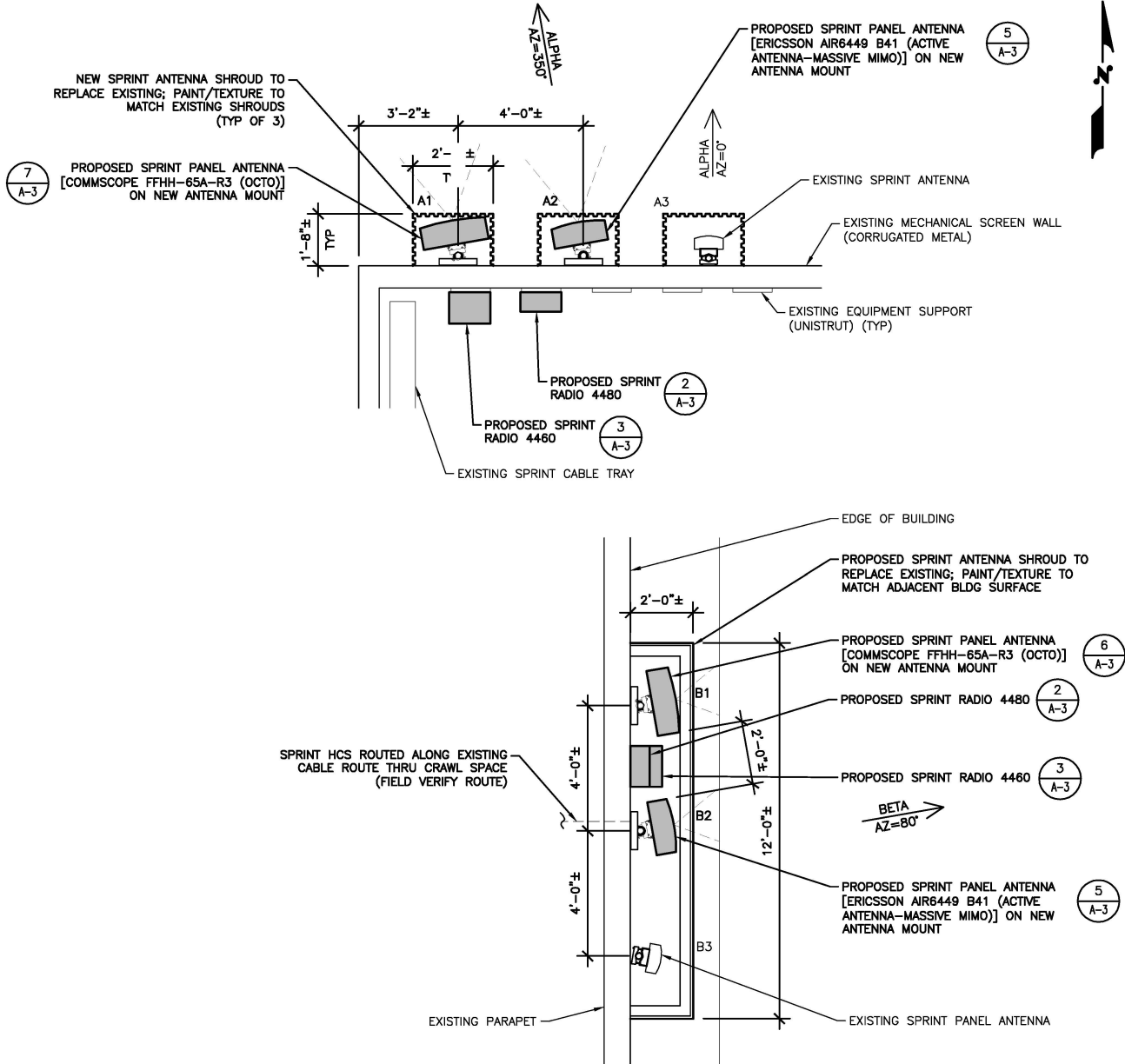


24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

EXISTING ANTENNA LAYOUT 2

PROPOSED ANTENNA AND COAX SCHEDULE SPRINT RETAIN_VERSION 1, DATED 03/23/2021 4:47:03 PM											
SECTOR ALPHA	TECHNOLOGY	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
A1	L700/L600/L1900/GSM	350°	176°-0"	1	COMMSCOPE	FFHH-65A-R3 (OCTO)	0°	5°	(8) JUMPER SUREFLEX 4.3-10 TO 4.3-10 (4) FIBER JUMPER (1) 6x24 HCS	8' 17' 80'	(1) RADIO 4480 (1) RADIO 4460
A2	L2500/N2500	350°	176°-0"	1	ERICSSON	AIR6449 B41 (ACTIVE ANTENNA MASSIVE MIMO)	0°	5°	(4) FIBER JUMPER	17'	-
A3	-	0°	176°-0"	1	-	SPRINT ANTENNA	-	-	-	-	-
SECTOR BETA	TECHNOLOGY	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	ELEC TILT	MECH DOWNTILT	FEEDER NUMBER & TYPE	FEEDER LENGTH	ADDITIONAL EQUIPMENT
B1	L700/L600/L1900/GSM	80°	151°-0"	1	COMMSCOPE	FFHH-65A-R3 (OCTO)	0°	5°	(8) JUMPER SUREFLEX 4.3-10 TO 4.3-10 (4) FIBER JUMPER (1) 6x24 HCS	8' 17' 200'	(1) RADIO 4480 (1) RADIO 4460
B2	L2500/N2500	80°	151°-0"	1	ERICSSON	AIR6449 B41 (ACTIVE ANTENNA MASSIVE MIMO)	0°	5°	(4) FIBER JUMPER	17'	-
B3	-	100°	151°-0"	1	-	SPRINT ANTENNA	-	-	-	-	-

- NOTES:
- ALL PROPOSED EQUIPMENT IS LOW VOLTAGE, DC POWER
 - COORDINATE WITH CONSTRUCTION MANAGER FOR CURRENT RFDS PRIOR TO CONSTRUCTION
 - CABLE LENGTH IS APPROXIMATE. CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF CABLES.
 - NO WORK SHALL COMMENCE WITHOUT THE APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT (SIGNED AND SEALED) PROVIDED BY OTHERS UNDER SEPARATE COVER. CONTRACTOR PRIOR TO INSTALLATION OF ANTENNAS, EQUIPMENT AND COAX CABLES SHALL REVIEW THE APPROVED TOWER STRUCTURAL ANALYSIS PROVIDED BY SPRINT AND MODIFY, IF REQUIRED, ALL APPLICABLE MEMBERS AS INDICATED IN THE CERTIFIED STRUCTURAL.



24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

PROPOSED ANTENNA LAYOUT 1



MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

PLANS PREPARED BY:



MORRISON HERSHFIELD
600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 210028900

REV.	DATE	ISSUED FOR	BY
A	04/22/21	90% REVIEW	MLG
B	06/02/21	100% REVIEW	JR
C	06/16/21	100% REVIEW	JR
D	08/02/21	100% REVIEW	JR

SET NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY DESIGN PROFESSIONAL AND STAMPED APPROVED BY MUNICIPALITY

LICENSURE:

SITE NAME:

UPAS CONDOS

SPRINT SITE I.D.

SD34XC670

SITE ADDRESS:

666 UPAS STREET
SAN DIEGO, CA 92103

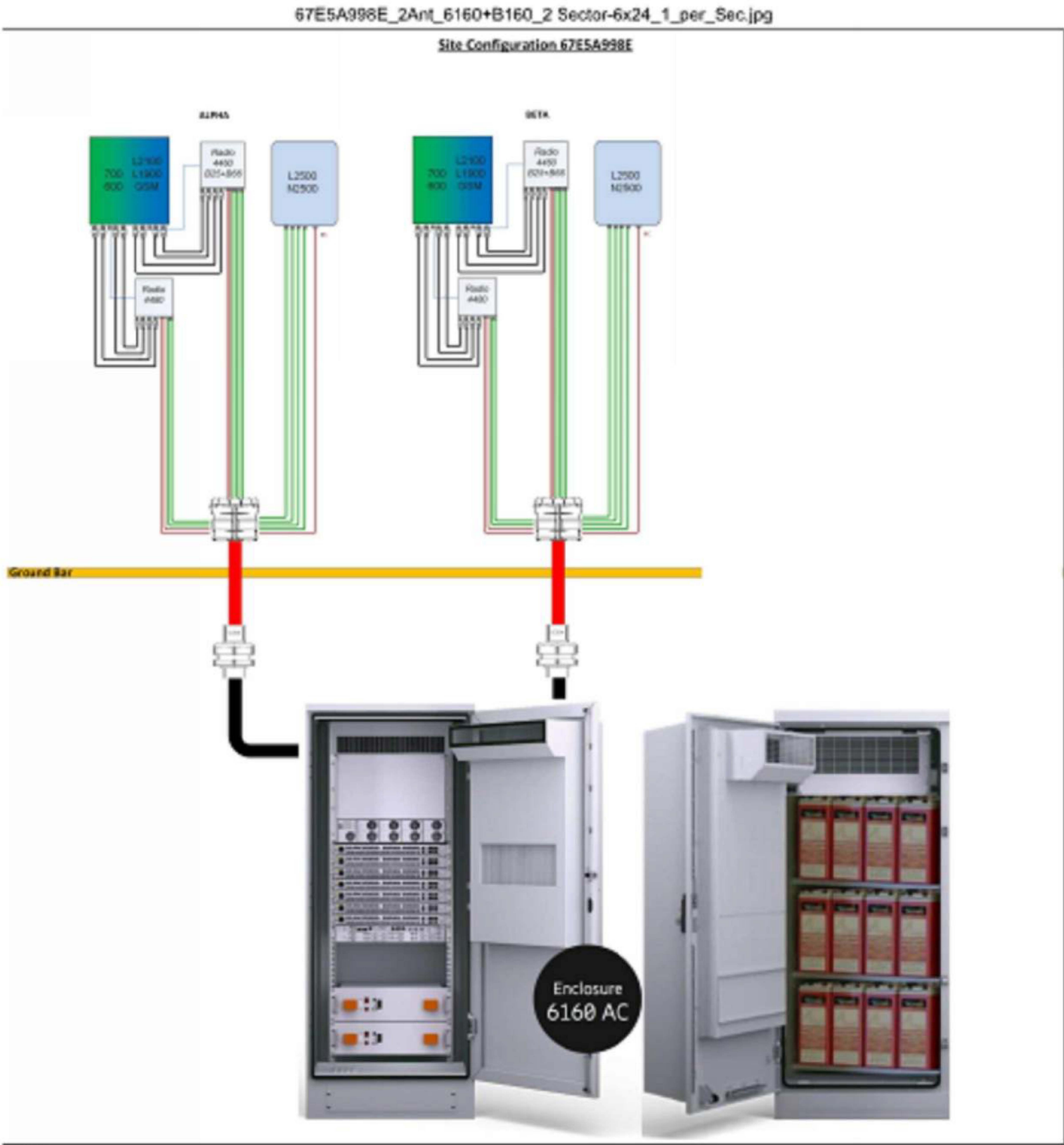
SHEET NAME:

ANTENNA
CONFIGURATION

SHEET NUMBER:

RF-1

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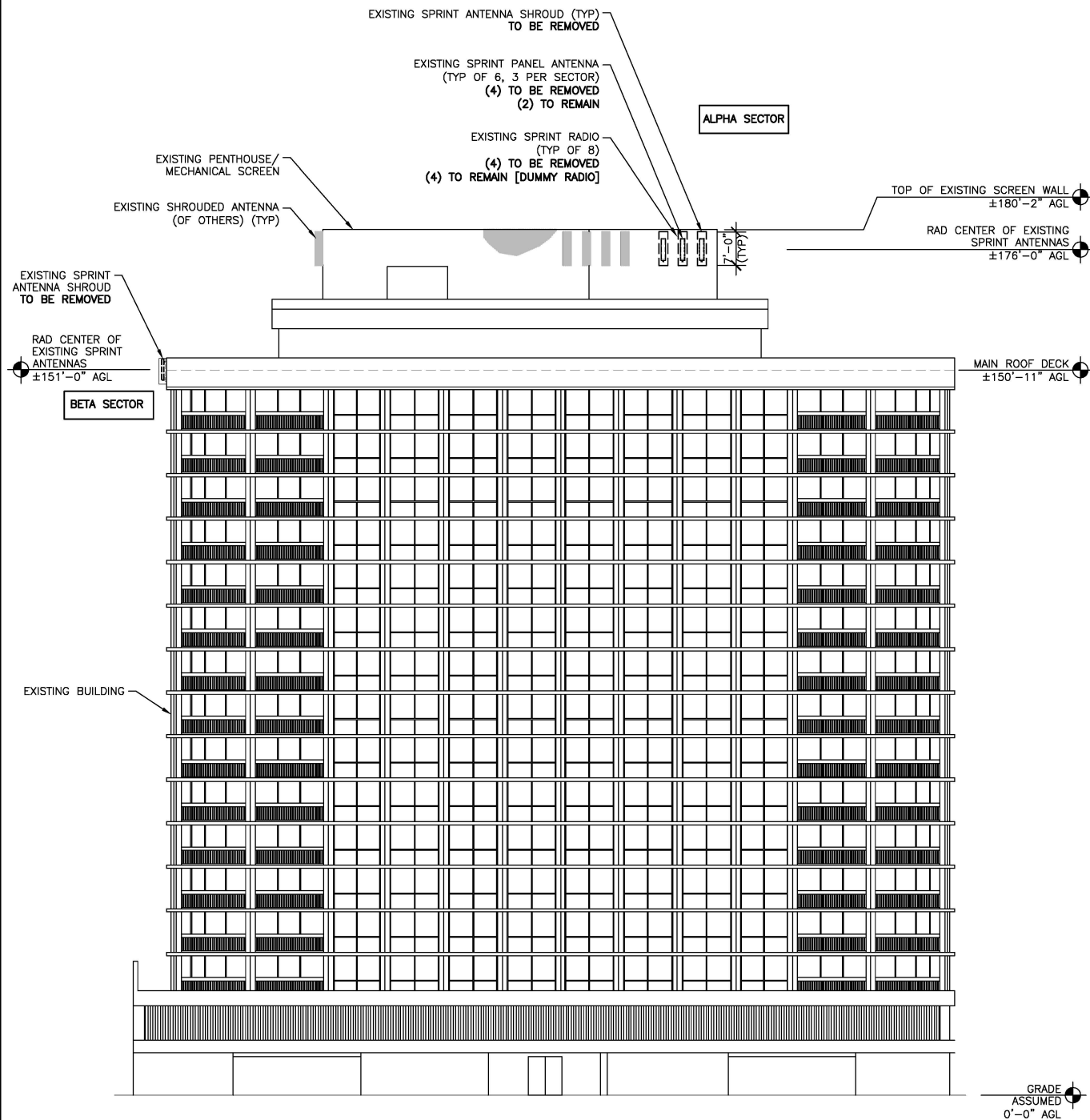
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**PLUMBING
DIAGRAM**

SHEET NUMBER:

RF-2

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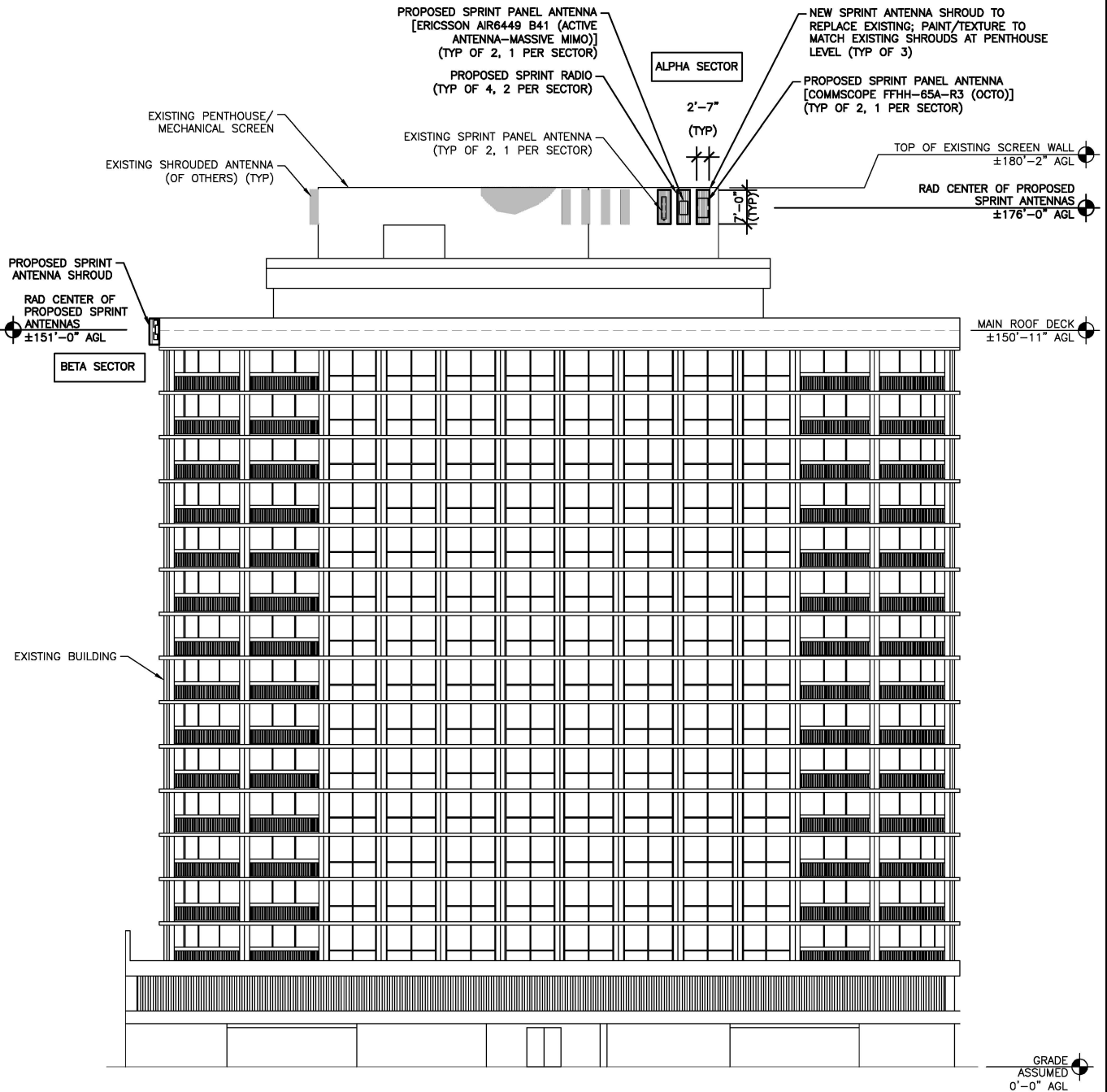


24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
16' 12' 8' 4' 0' 16'

EXISTING NORTH ELEVATION 2

- NOTES:
1. INFORMATION CONTAINED HEREIN IS TAKEN FROM THE DOCUMENTS PROVIDED BY CLIENT. NEITHER WARRANTY NOR GUARANTEE IS GIVEN BY THE ARCHITECT NOR MORRISON HERSHFIELD CORPORATION TO THE ACCURACY NOR THE COMPLETENESS OF THE COPIED ELEVATION INFORMATION.
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 3. REFER TO STRUCTURAL ANALYSIS FOR CABLE ROUTING INFORMATION

SEE SHEET RF-1 FOR ANTENNA LAYOUT



24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
16' 12' 8' 4' 0' 16'

PROPOSED NORTH ELEVATION 1



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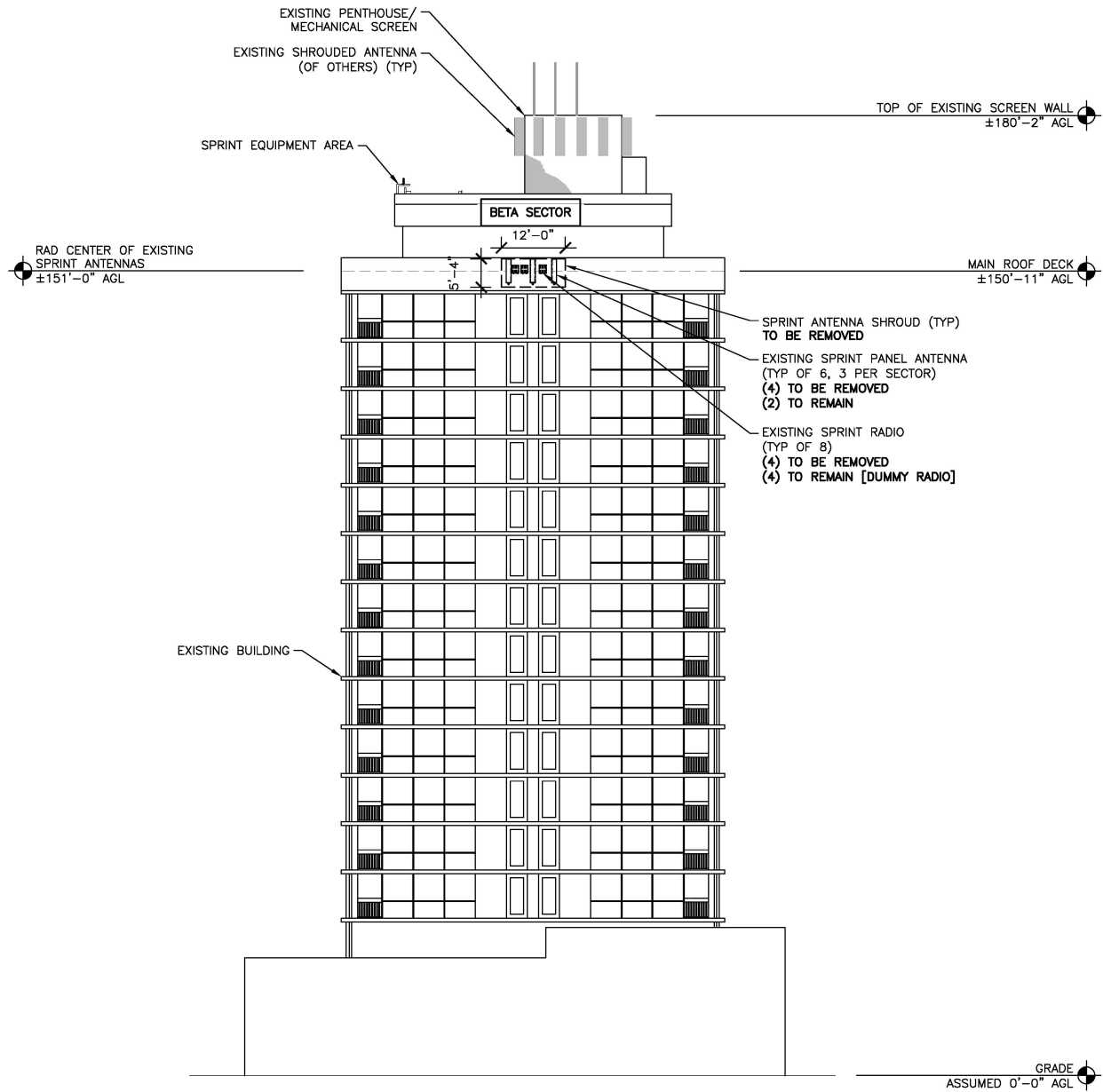
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**NORTH
ELEVATION**

SHEET NUMBER:

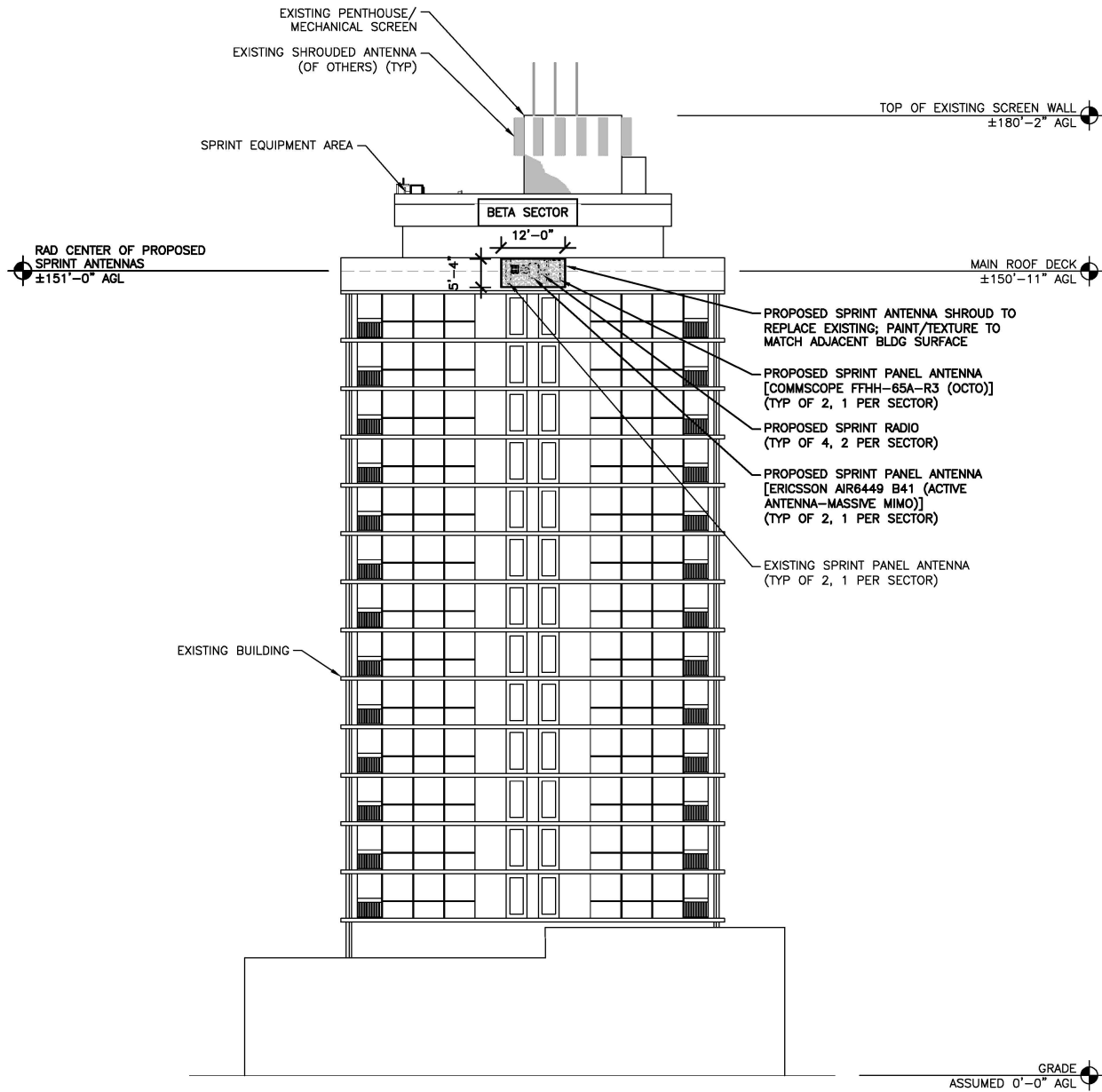
A-2

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24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
16' 12' 8' 4' 0'

EXISTING EAST ELEVATION 2



24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
16' 12' 8' 4' 0'

PROPOSED EAST ELEVATION 1

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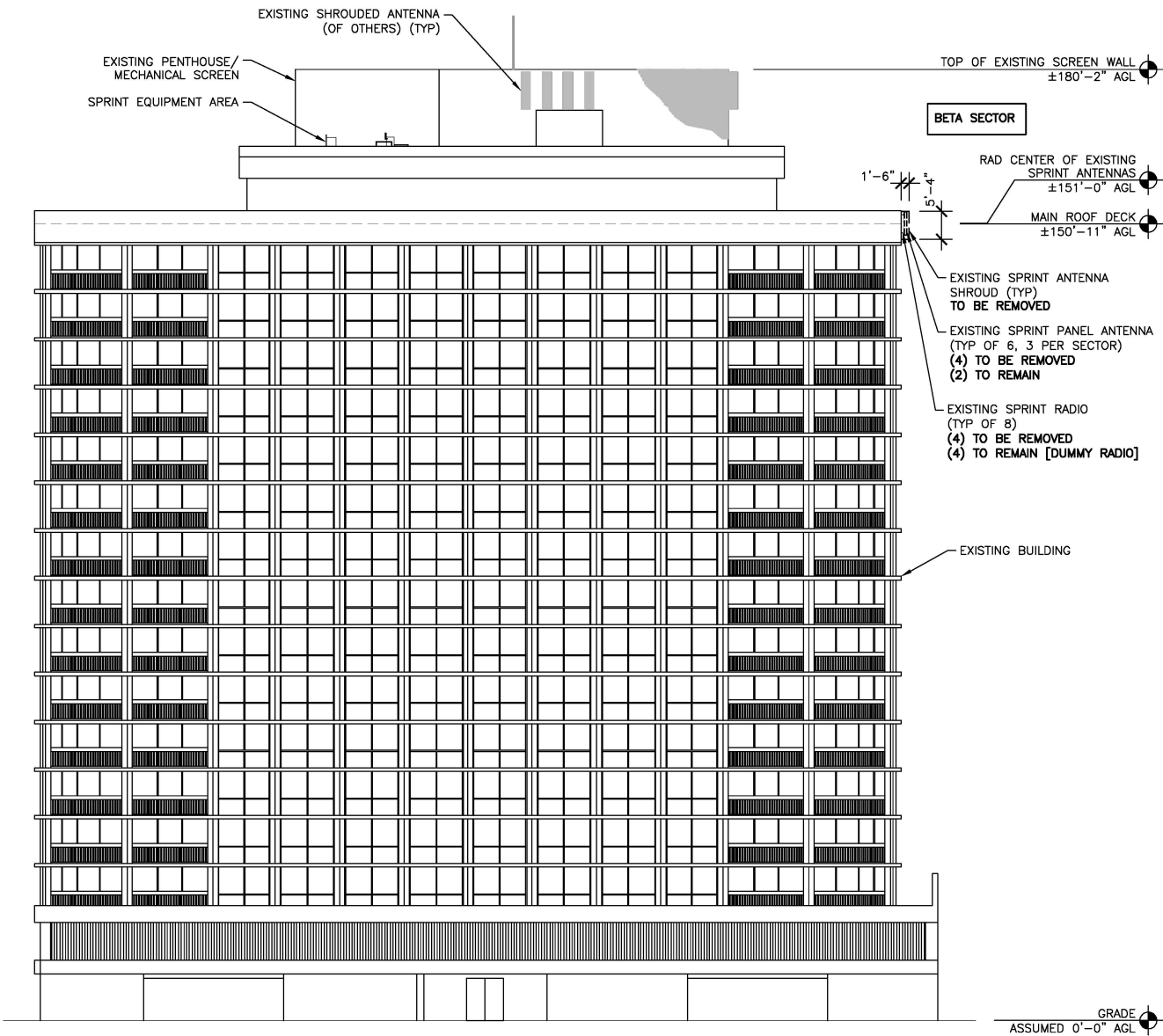
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**EAST
ELEVATION**

SHEET NUMBER:

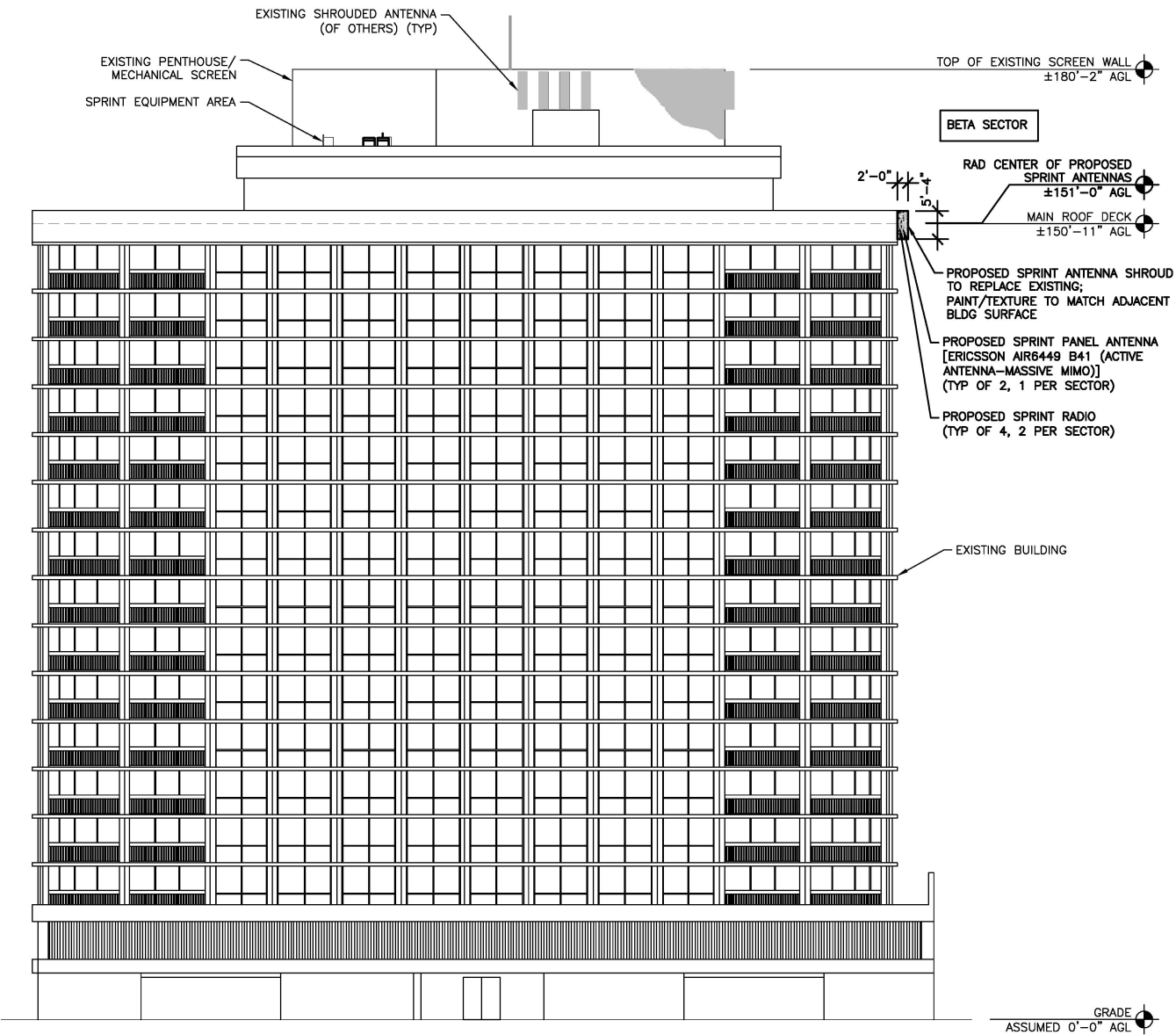
A-2.1

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24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"

EXISTING SOUTH ELEVATION 2



24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"

PROPOSED SOUTH ELEVATION 1

- NOTES:
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SEE SHEET RF-1 FOR ANTENNA LAYOUT



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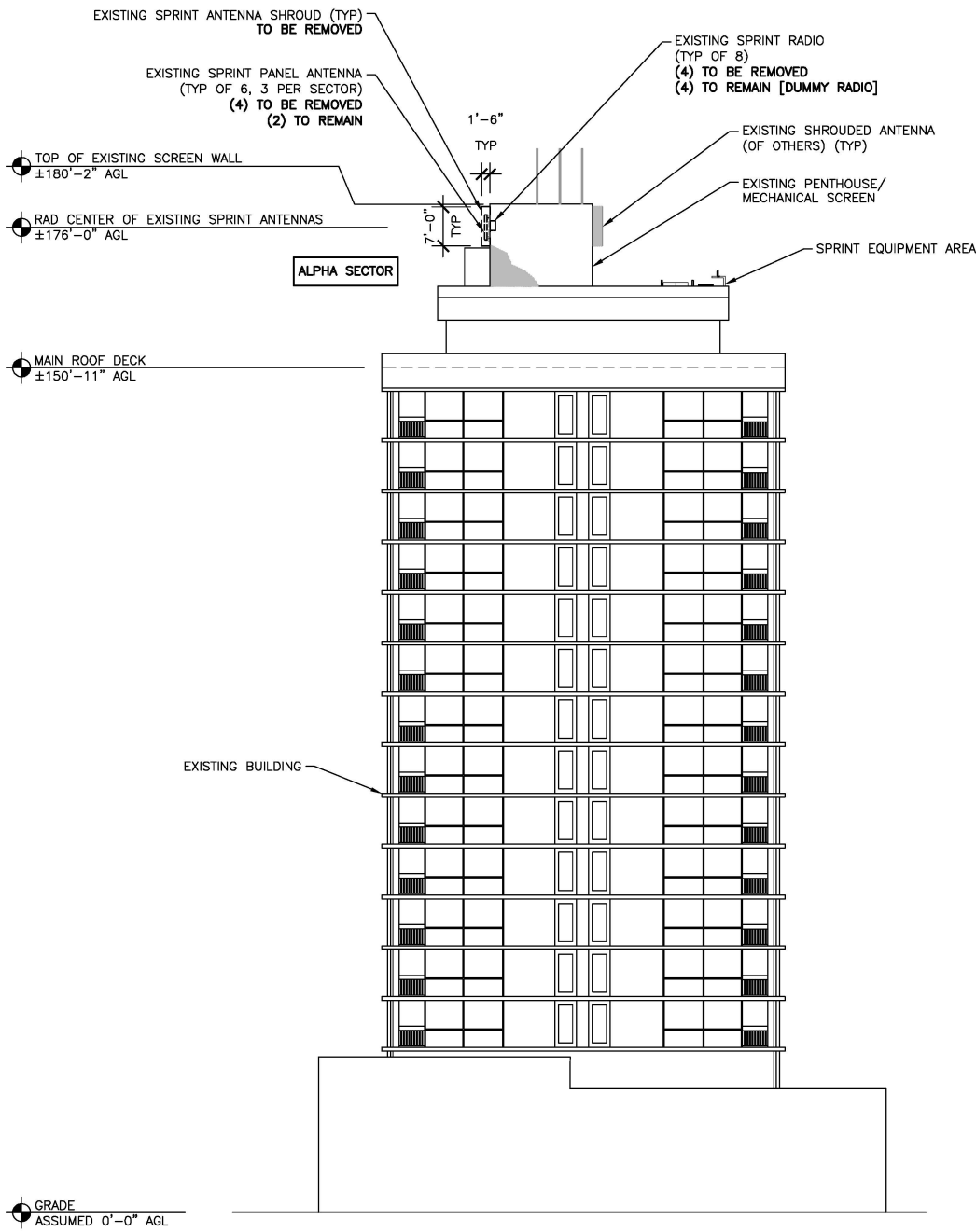
SPRINT SITE I.D.
SD34XC670

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**666 UPAS STREET
SAN DIEGO, CA 92103**

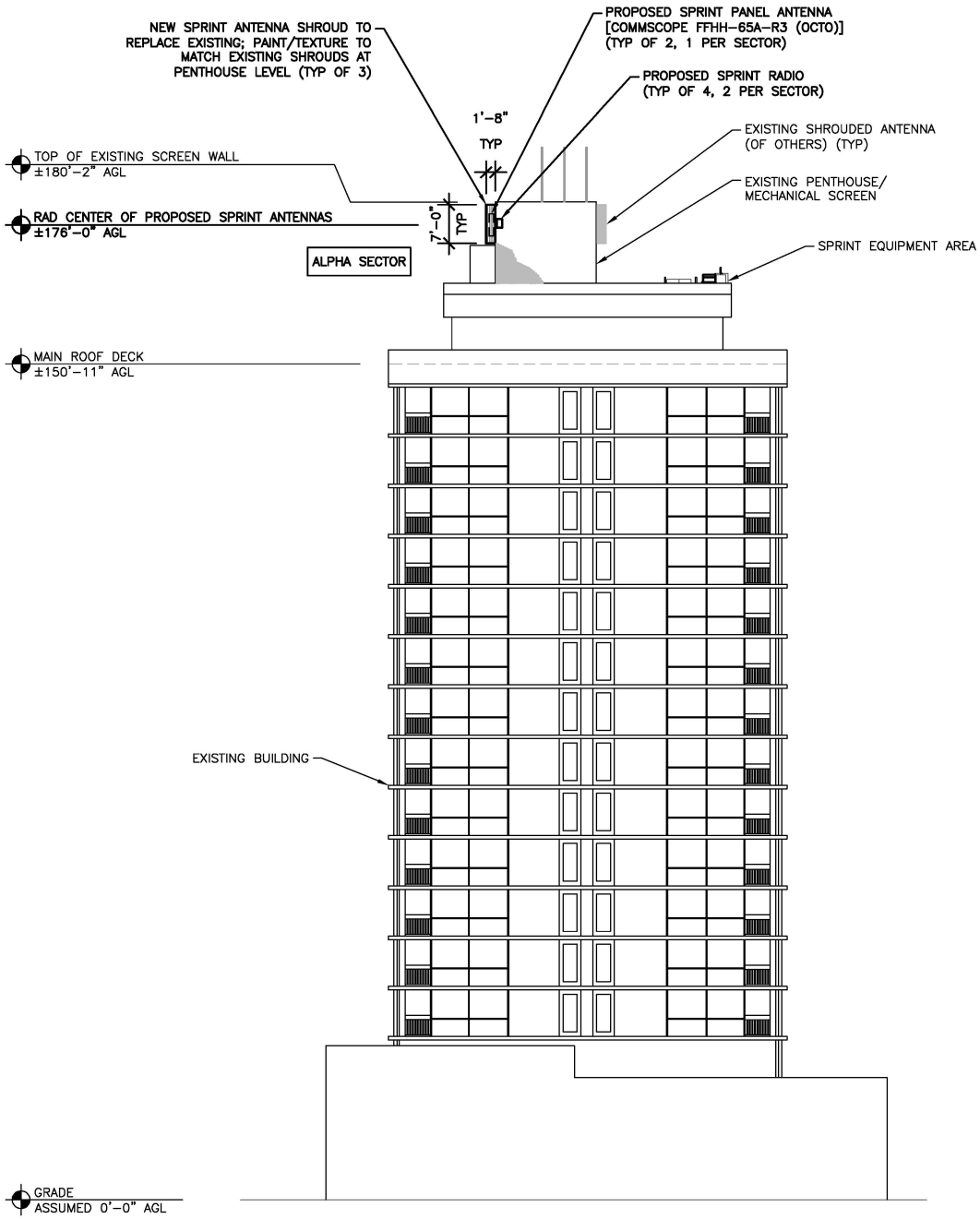
SHEET NAME:
**SOUTH
ELEVATION**

SHEET NUMBER:
A-2.2

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EXISTING WEST ELEVATION 2



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SEE SHEET RF-1 FOR ANTENNA LAYOUT



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SPRINT SITE I.D.

SD34XC670

SITE ADDRESS:

666 UPAS STREET
SAN DIEGO, CA 92103

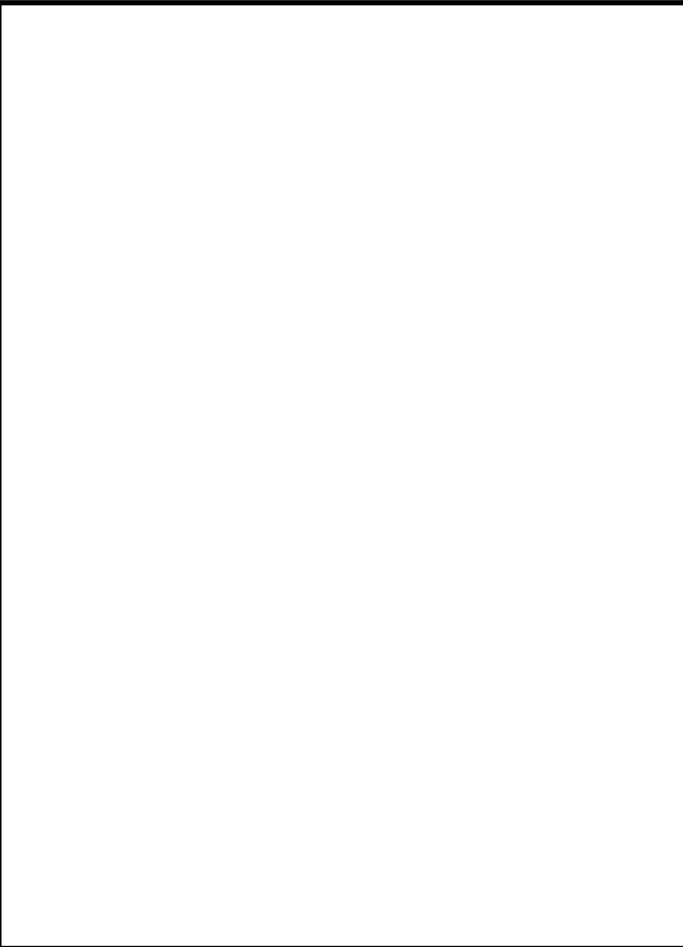
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**WEST
ELEVATION**

SHEET NUMBER:

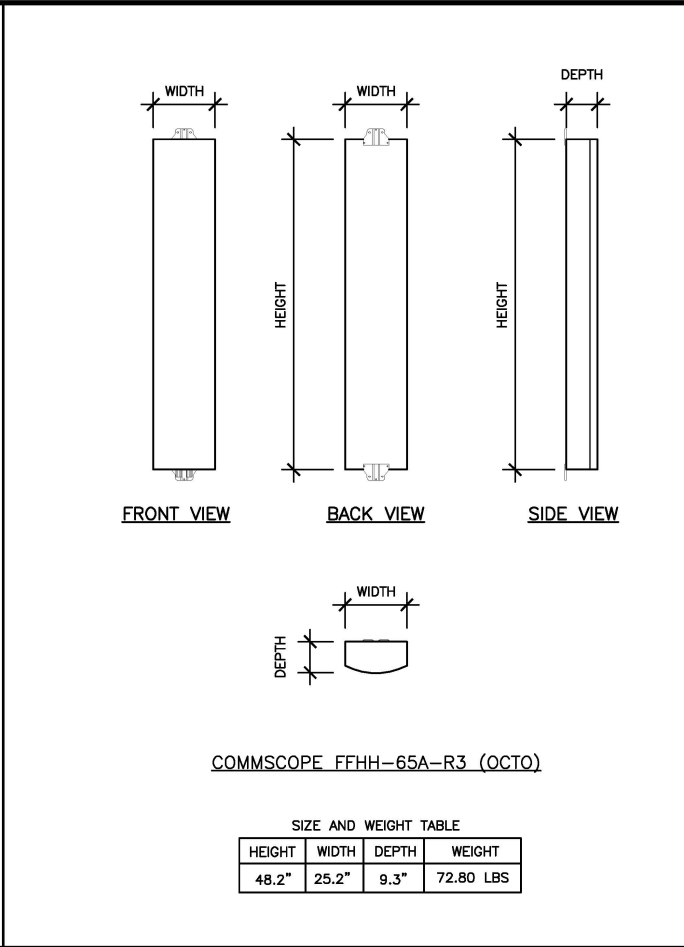
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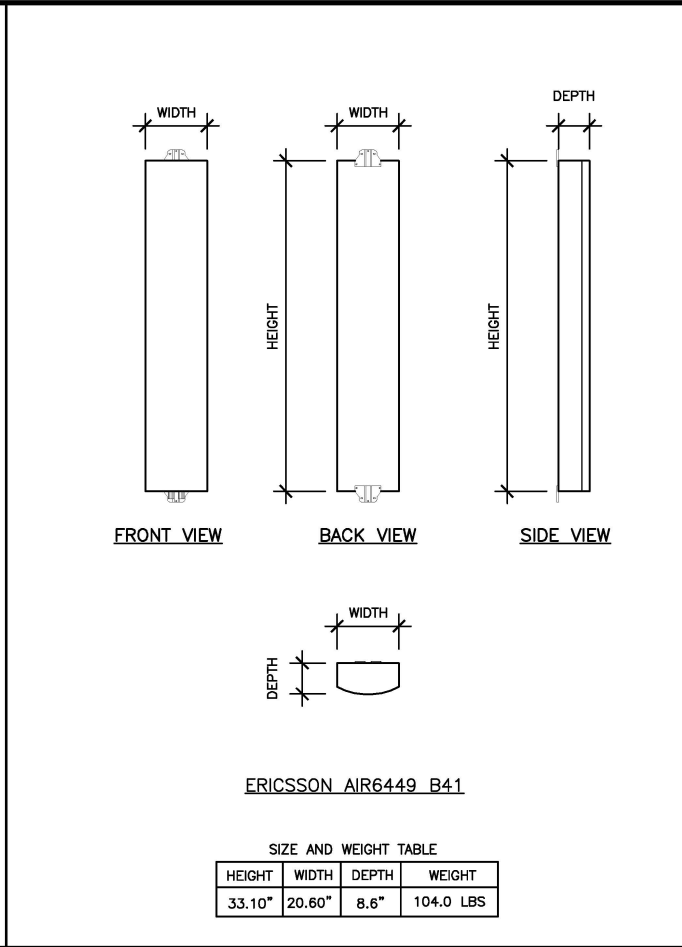
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11"x17" SCALE: NTS

NOT USED 7



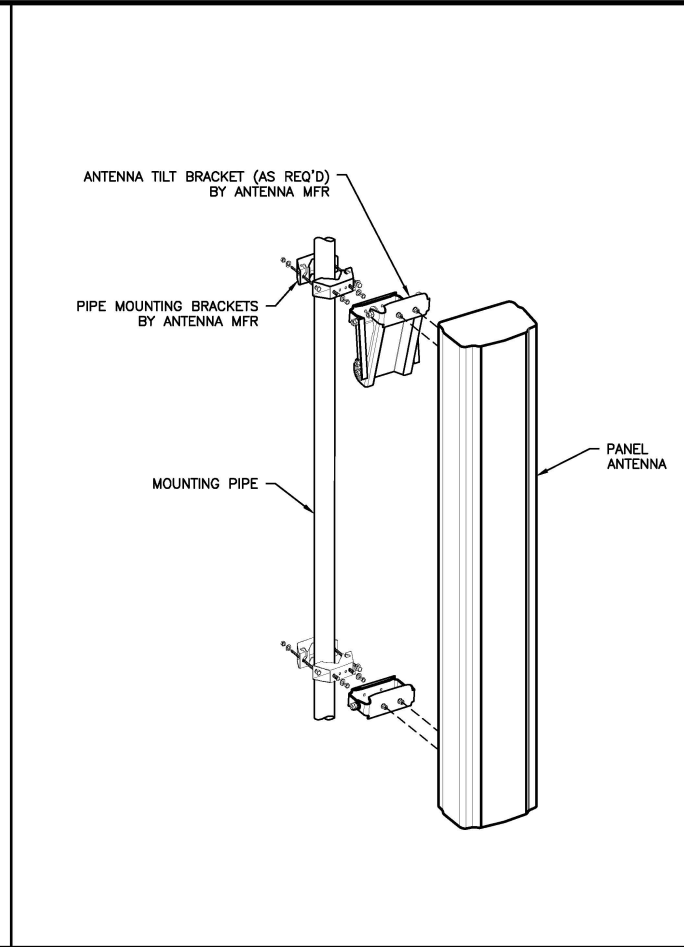
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11"x17" SCALE: NTS

ANTENNA SPECIFICATIONS 6



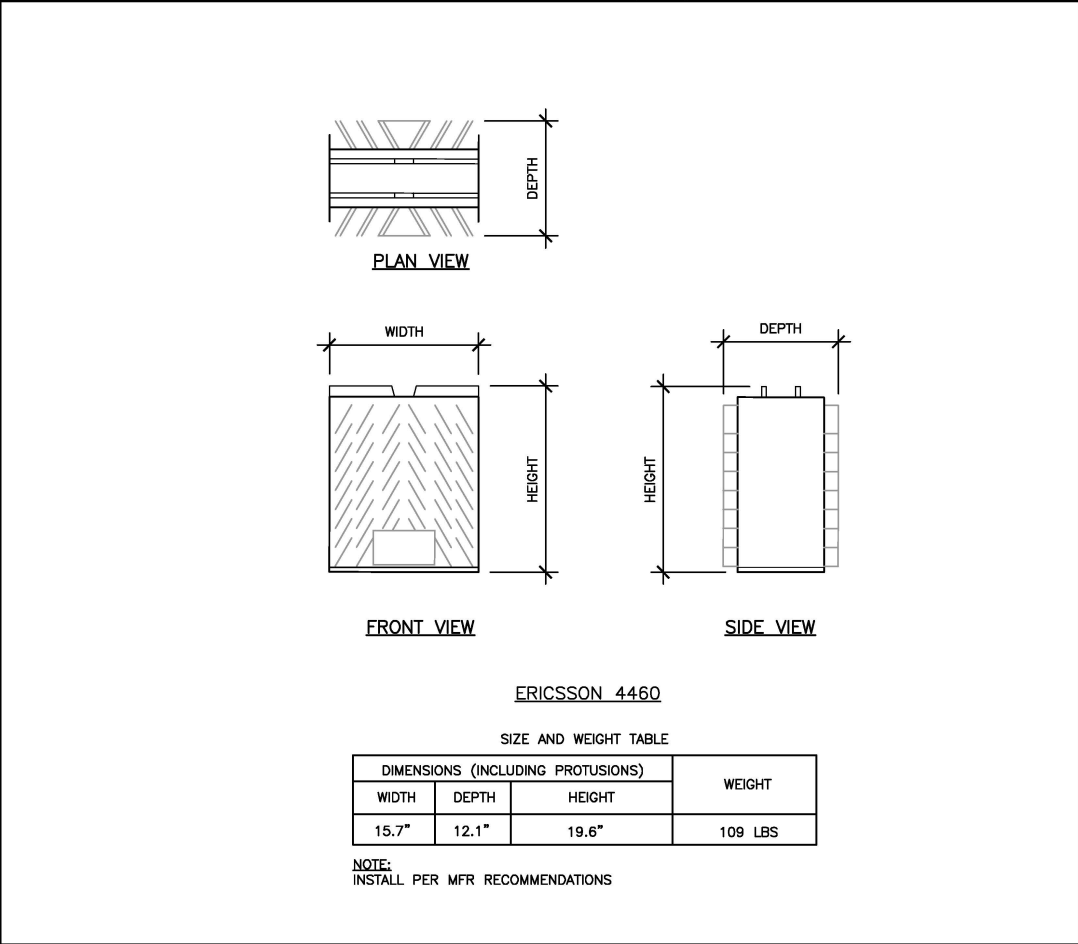
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11"x17" SCALE: NTS

ANTENNA SPECIFICATIONS 5



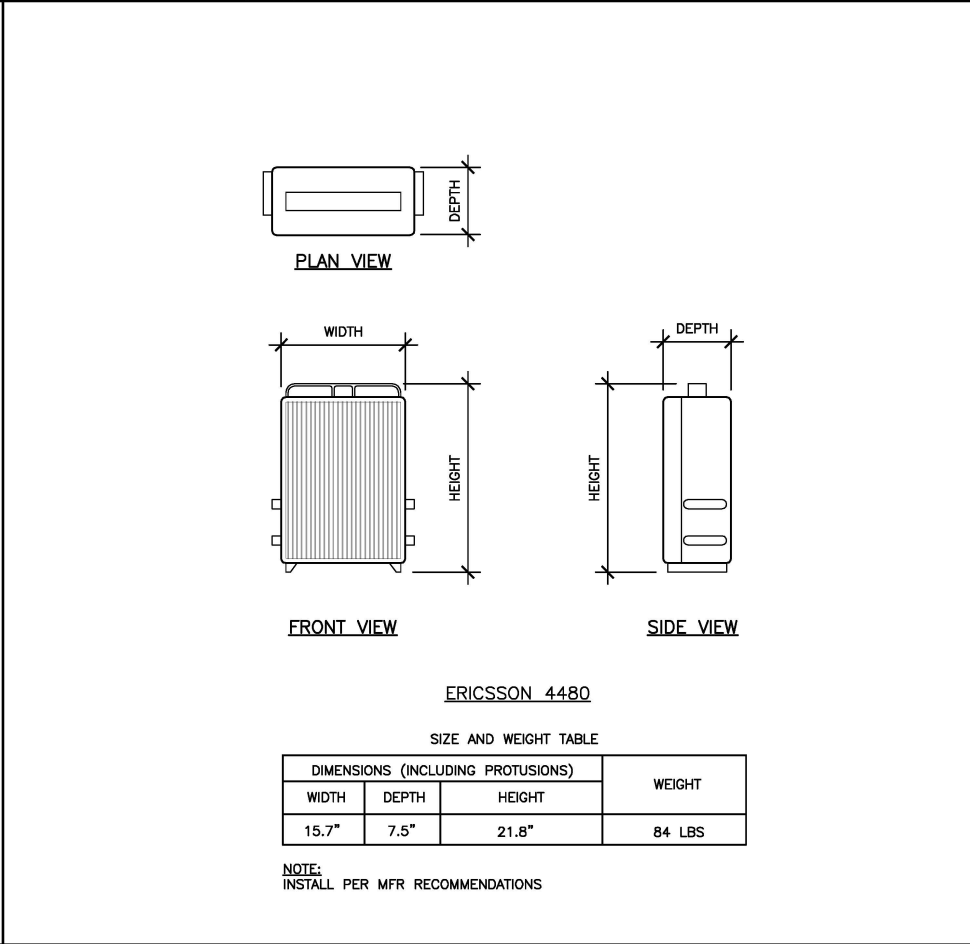
24"x36" SCALE: NTS
11"x17" SCALE: NTS

TYP ANTENNA MOUNTING 4



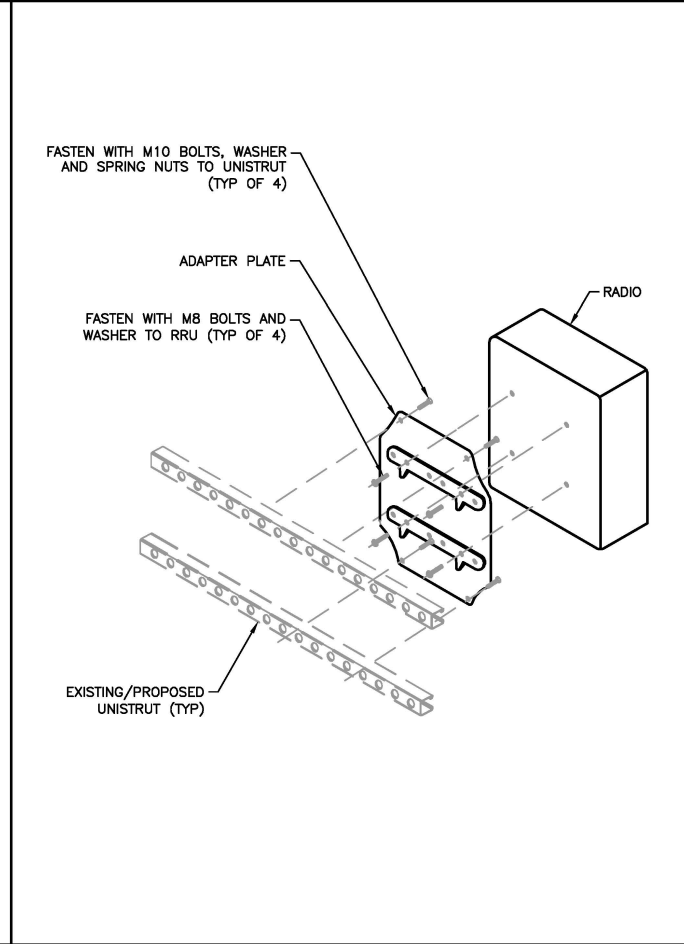
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RADIO SPECIFICATIONS 3



24"x36" SCALE: NTS
11"x17" SCALE: NTS

RADIO SPECIFICATIONS 2



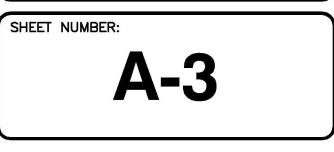
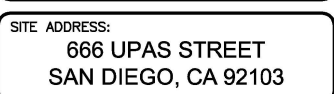
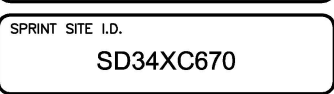
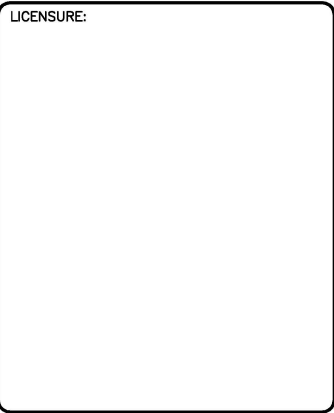
24"x36" SCALE: NTS
11"x17" SCALE: NTS

TYPICAL RADIO MOUNTING 1




REV.	DATE	ISSUED FOR	BY
A	04/22/21	90% REVIEW	MLG
B	06/02/21	100% REVIEW	JR
C	06/16/21	100% REVIEW	JR
D	08/02/21	100% REVIEW	JR

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CAUTION




Beyond this point: Radio frequency fields at this site may exceed FCC rules for human exposure.
For your safety, obey all posted signs and site guidelines for working in radio frequency environments.

NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.
Obey all posted signs and site guidelines for working in radio frequency environments.

WARNING



Beyond this point:
Radio frequency fields at this site exceed the FCC rules for human exposure.
Failure to obey all posted signs and sites guidelines for working in radio frequency environments could result in serious injury.

NSB 190FT HT RED

Nominal Technical Specifications

Dimensions

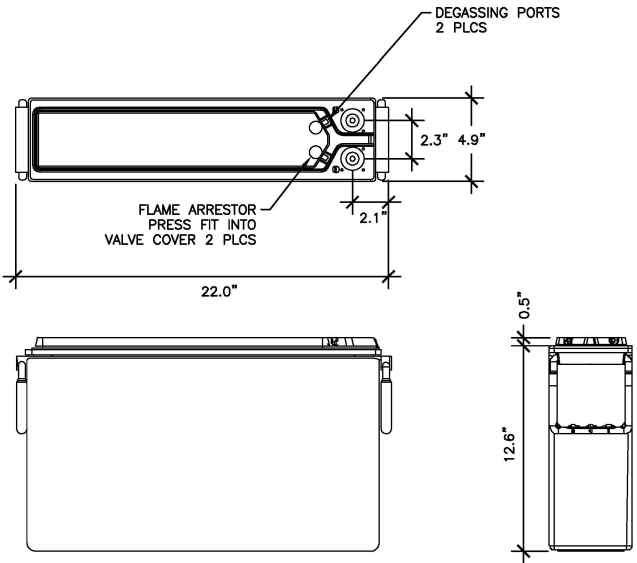
Height	12.6 in	Width	4.9 in
Length	22 in	Weight	132 lbs

Electrical

Terminal	Female M8 x 1.25
Terminal torque	8.0 Nm (71 in-lbs)
1 hr capacity to 1.70VPC @ 20/25°C (68/77°F)	140 / 146 Ah
3 hr capacity to 1.75VPC @ 20/25°C (68/77°F)	167 / 172 Ah
8 hr capacity to 1.75VPC @ 20/25°C (68/77°F)	185 / 188 Ah
10 hr capacity to 1.8CVPC @ 20/25°C (68/77°F)	187 / 190 Ah
Float voltage @ 20/25°C (68/77°F)	2.28 / 2.27 VPC
Impedance (1Khz)	2.3 mΩ @ 25°C (77°F)
Conductance	2366 S
Short circuit current	6000 A
Operation temperature range	-40°C to +65°C
Nominal voltage	12 V

PROJECT SYSTEM DATA

BATTERY TYPE:	VALVE REGULATED LEAD ACID (VRLA)
BATTERY MANUFACTURER/MODEL	ENERSYS NORTHSTAR/NSB 190FT HT RED
TOTAL WEIGHT OF (1) BATTERY/CELL (kg):	59.87
ELECTROLYTE PER BATTERY (17% OF BATTERY WEIGHT) (kg):	10.2
ELECTROLYTE PER BATTERY IN GALLONS (1 GALLON=6.91 kg):	1.5
TOTAL BATTERIES IN BATTERY RACK:	12
TOTAL AMOUNT OF -48V STRINGS:	3
TOTAL AMOUNT OF ELECTROLYTE IN GALLONS:	18
TOTAL AMOUNT OF AMP HOURS (Ah):	570
TOTAL MOUNT OF KILOWATT HOURS (kWh):	27.36



24"x36" SCALE: NTS
11"x17" SCALE: NTS

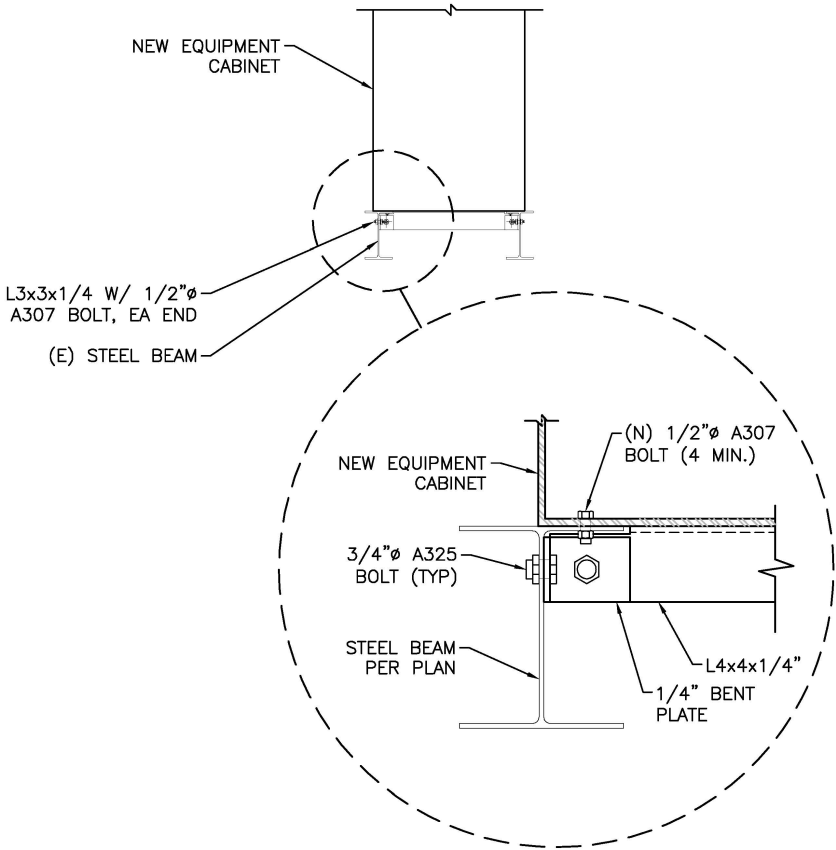
SIGNAGE

6

24"x36" SCALE: NTS
11"x17" SCALE: NTS

NSB 190FT RED BATTERY

4



24"x36" SCALE: NTS
11"x17" SCALE: NTS

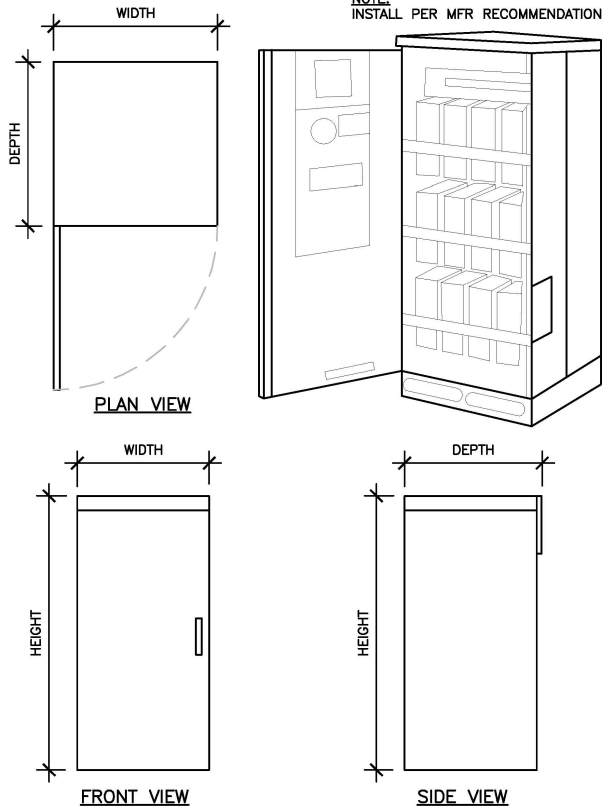
CABINET ATTACHMENT

3

24"x36" SCALE: NTS
11"x17" SCALE: NTS

SIZE AND WEIGHT TABLE					
WIDTH	DEPTH	HEIGHT	BASE FRAME HEIGHT	WEIGHT (FULLY LOADED)	MFR
26.0"	26.0"	63.0"	6.0"	1883 LBS	ERICSSON

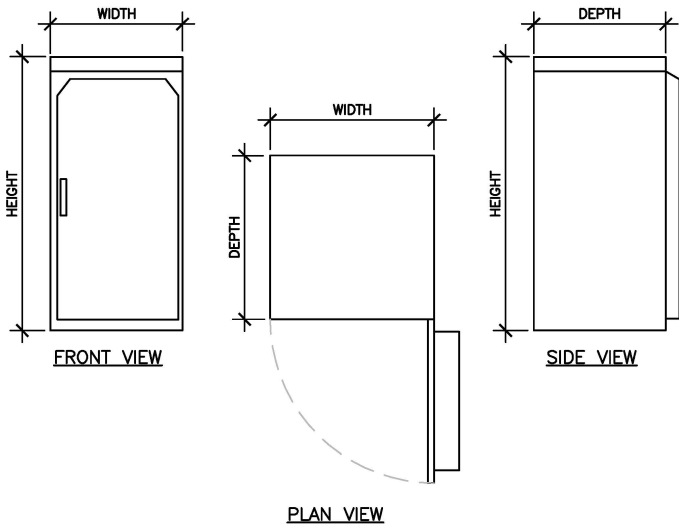
NOTE:
INSTALL PER MFR RECOMMENDATIONS



SIZE AND WEIGHT TABLE

WIDTH	DEPTH	HEIGHT	BASE FRAME HEIGHT	WEIGHT	WEIGHT (FULLY LOADED)
26.0"	26.0"	63.0"	6.0"	320 LBS	- LBS

NOTE:
INSTALL PER MFR RECOMMENDATIONS



24"x36" SCALE: NTS
11"x17" SCALE: NTS

ENCLOSURE B160

2

ENCLOSURE 6160

1

Sprint

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

PLANS PREPARED BY:



MORRISON HERSHFIELD

600 STEWART STREET, SUITE 200
SEATTLE, WA 98101
Tel: 206.268.7370
www.morrisonhershfield.com
MH PROJECT NUMBER: 210028900

REV.	DATE	ISSUED FOR	BY
A	04/22/21	90% REVIEW	MLG
B	06/02/21	100% REVIEW	JR
C	06/16/21	100% REVIEW	JR
D	08/02/21	100% REVIEW	JR

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LICENSURE:

SITE NAME:

UPAS CONDOS

SPRINT SITE I.D.

SD34XC670

SITE ADDRESS:

666 UPAS STREET
SAN DIEGO, CA 92103

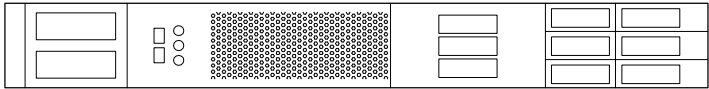
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CONSTRUCTION
DETAILS

SHEET NUMBER:

A-4

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MANUFACTURER: ERICSSON
MODEL: PSU 4813
DIMENSIONS: 19"x14.3"x1.7"
WEIGHT: 17.2 LBS



MANUFACTURER: ERICSSON
MODEL: RBS 6601
DIMENSIONS: 19"x14.3"x1.7"
WEIGHT: 17.2 LBS

RRU CONNECTORS
TRANSMISSION CONNECTORS
GPS CONNECTOR
O&M AND CONTROL CONNECTORS
POWER DISTRIBUTION UNIT

24"x36" SCALE: NTS
11"x17" SCALE: NTS

PSU 4813

6

24"x36" SCALE: NTS
11"x17" SCALE: NTS

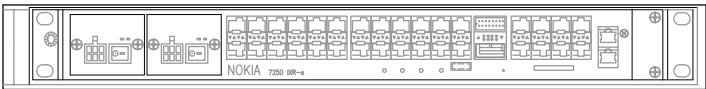
RBS 6601

5

24"x36" SCALE: NTS
11"x17" SCALE: NTS

NOT USED

4



MANUFACTURER: NOKIA
MODEL: IXR-E MODULE
DIMENSIONS: 17.25"x10.0"x1.75"
WEIGHT: TBD



MANUFACTURER: ERICSSON
MODEL: DUG20
DIMENSIONS: 13.78"x1.18"x11.02"
WEIGHT: <4.4 LBS

24"x36" SCALE: NTS
11"x17" SCALE: NTS

IXR-E ROUTER

3

24"x36" SCALE: NTS
11"x17" SCALE: NTS

DUG20

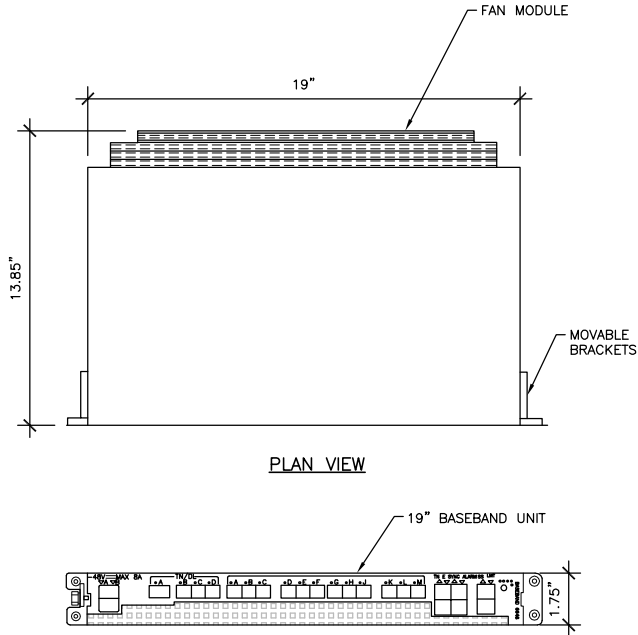
2

24"x36" SCALE: NTS
11"x17" SCALE: NTS

BB6648

1

MANUFACTURE: ERICSSON
MODEL: BASEBAND 6648
DIMENSIONS: 19.0"x13.85"x1.75" (UNIT ONLY)
WEIGHT: ±16.5 LBS (UNIT ONLY)



PLAN VIEW

24"x36" SCALE: NTS
11"x17" SCALE: NTS



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DETAILS

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A-5

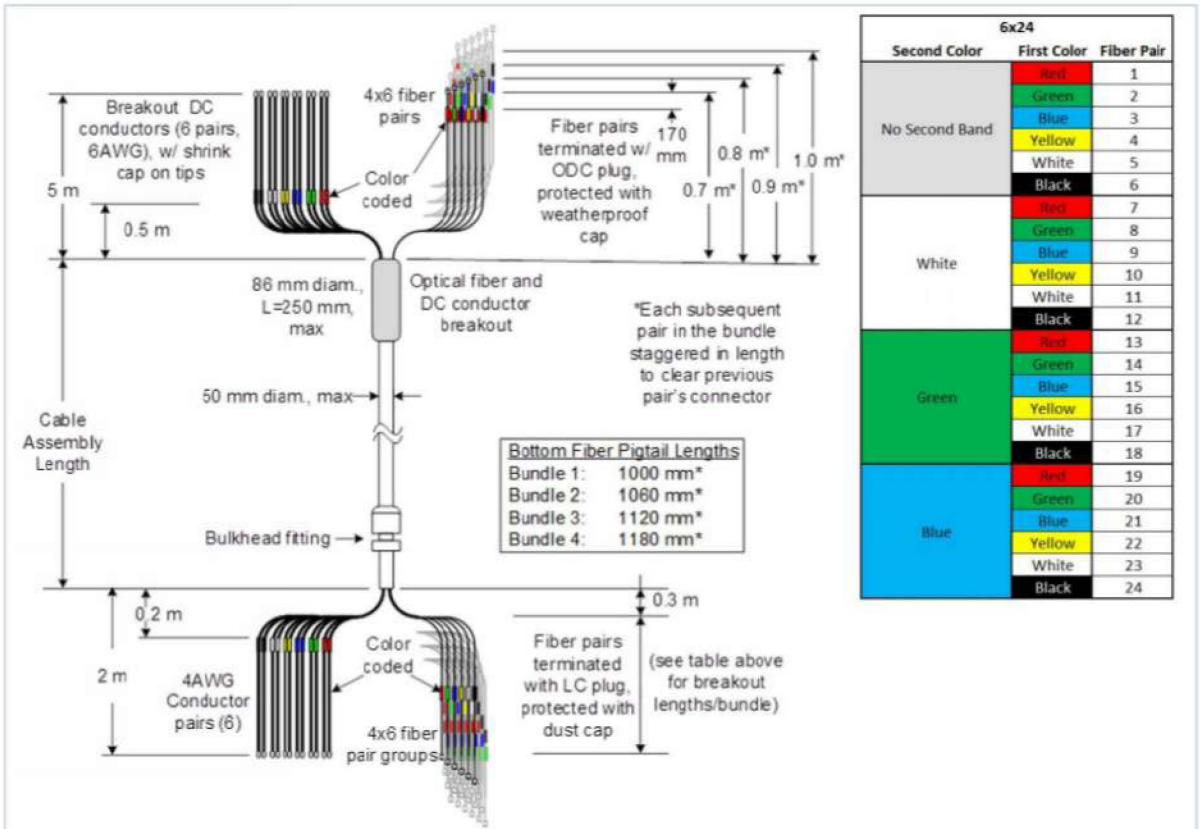
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PRODUCT DATASHEET

HB158-21U6S24-xxM Series

HYBRIFLEX® Hybrid Feeder Cabling Solution 6x24, 4AWG, 1-5/8", Single-Mode Fiber, DLC to ODC, with 6AWG DC breakout top



EXTERNAL DOCUMENT LINKS

Installation Guidelines: [Download](#)
On-line Factory Test Results: [View](#)

NOTES

Nominal length equals length of trunk not including top and bottom breakouts; breakout lengths add additionally to the total assembly length tip to tip

Top Breakout - DC Power Cable Specifications:

- No of DC pairs 6; Specifications per 1 pair;
- Maximum DC-Resistance Power Cable Ω/km (Ω/ft) 1.4 (0.42),
- Cross Section of Power Cable mm^2 (AWG) 13.3 (6),
- Overall Cable Diameter mm (in) 17.8 (0.708),
- DC Cable Jacket Material PVC,
- EMI Shield Tinned Copper Braid

ADDITIONAL ASSEMBLY LENGTHS

Length (m)	Model Number
10	HB158-21U6S24-10M
20	HB158-21U6S24-20M
30	HB158-21U6S24-30M
40	HB158-21U6S24-40M
50	HB158-21U6S24-50M
60	HB158-21U6S24-60M
70	HB158-21U6S24-70M
80	HB158-21U6S24-80M
90	HB158-21U6S24-90M
100	HB158-21U6S24-100M
110	HB158-21U6S24-110M
120	HB158-21U6S24-120M
130	HB158-21U6S24-130M

HB158-21U6S24-xxM Series

REV : G

REV DATE : 16 Feb 2021

www.rfsworld.com

All values nominal unless tolerances provided; information contained in the present datasheet is subject to confirmation at time of ordering

Page 3 of 3



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SHEET NAME:

CONSTRUCTION
DETAILS

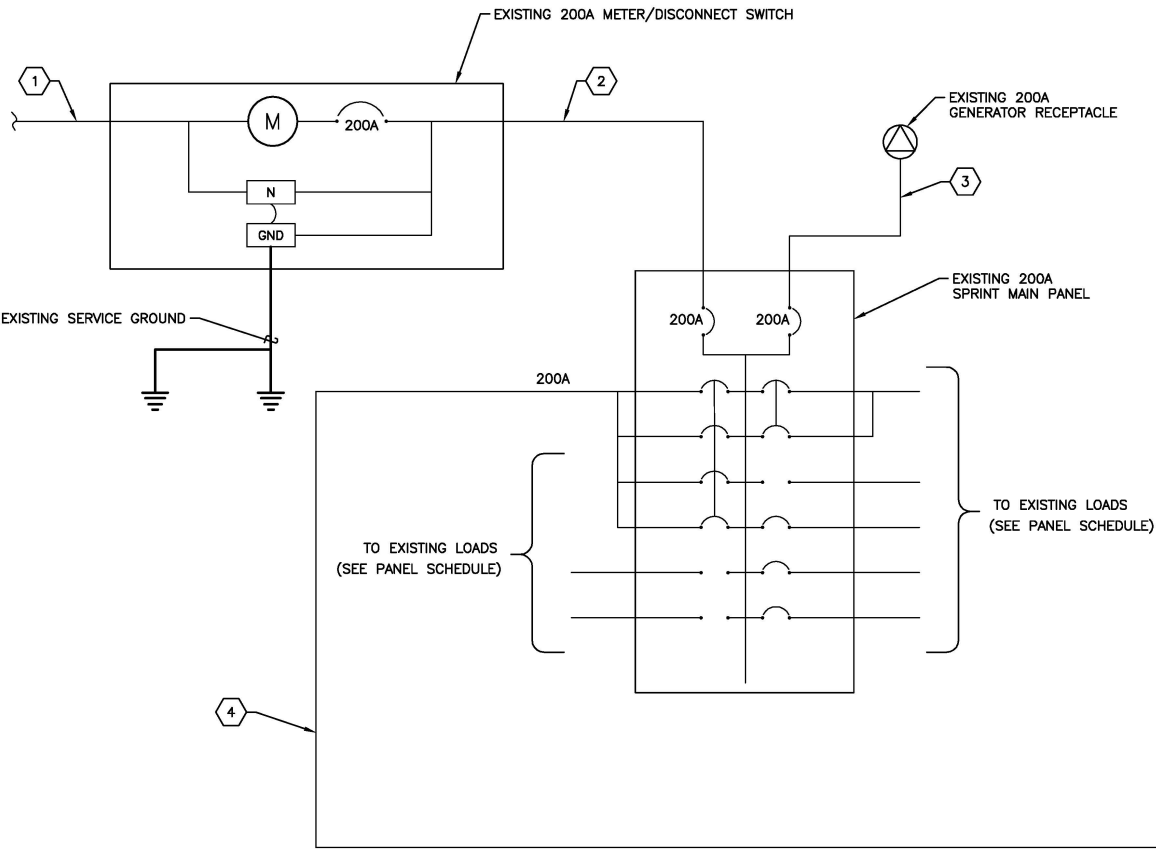
SHEET NUMBER:

A-6

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24"x36" SCALE: NTS
11"x17" SCALE: NTS

NOT USED 3



CIRCUIT SCHEDULE			
NO	FROM	TO	CONFIGURATION
1	UTILITY SOURCE	METER/DISCONNECT	EXISTING
2	METER/DISCONNECT	TRANSFER & LOAD CENTER	EXISTING
3	TRANSFER & LOAD CENTER	GENERATOR RECEPTACLE	EXISTING
4	TRANSFER & LOAD CENTER	SPRINT CABINET	(3)#3/0 AWG + (1)#6 GND IN 2" CONDUIT



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ONE-LINE DIAGRAM 2

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UPAS CONDOS

SPRINT SITE I.D.
SD34XC670

SITE ADDRESS:
666 UPAS STREET
SAN DIEGO, CA 92103

SHEET NAME:
**ELECTRICAL
DETAILS**

SHEET NUMBER:
E-1

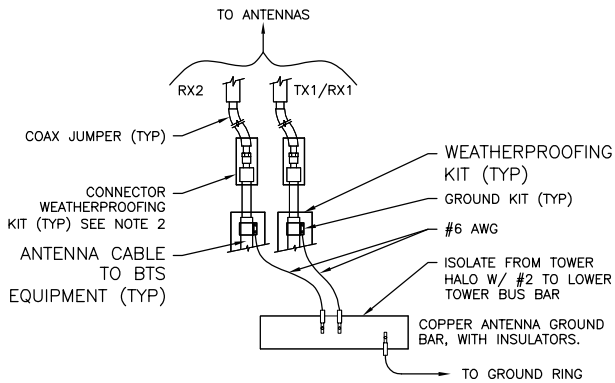
SITE ID: SD08156		MODEL: EXISTING																	
VOLTAGE: 120/240V		PHASE: 1Ø		WIRE: 3															
MAIN BREAKER: 200A		BUSS RATING: 200A		AIC: 42K AIC															
MOUNT: SURFACE		NEUTRAL BAR: YES		GROUND BAR: YES															
ENCLOSURE TYPE: NEMA-3R		N TO GND: NO		PANEL SIZE: 12															
PANEL STATUS: EXISTING		INTERNAL TVSS: YES		PANEL NAME: PPC 'A'															
CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	CONN LOAD	DEMAND FACTOR	DEMAND LOAD	PHASE A (VA)	PHASE B (VA)	DEMAND LOAD	DEMAND FACTOR	CONN LOAD	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT		
1	NEW E6160 CABINET *** (4-POSITION BREAKER)	200	2	ON	7233	1.00	7233	7233		0	1.00	0	ON	2	60	SURGE ARRESTOR	2		
3					7233	1.00	7233		7233	0	1.00	0					4		
5					7233	1.00	7233	7233										6	
7					7233	1.00	7233		7733	500	1.25	400					ON	1	20
9								180		180	1.00	180	ON	1	15	TELCO GFI	10		
11									180	180	1.00	180	ON	1	10	TELCO FAN	12		
								PHASE A	PHASE B										
PHASE DEMAND LOAD TOTAL								14646	15146										
TOTAL DEMAND LOAD (VA)								29792											
TOTAL DEMAND AMPS								124											

NOTE: PANEL IS FOR REFERENCE ONLY. EXACT LAYOUT MAY VARY IN FIELD.
***= ALL REQUIREMENTS TO BE CONFIRMED WITH MANUF. SPECS PRIOR TO INSTALLATION.

24"x36" SCALE: NTS
11"x17" SCALE: NTS

PANEL SCHEDULE 1

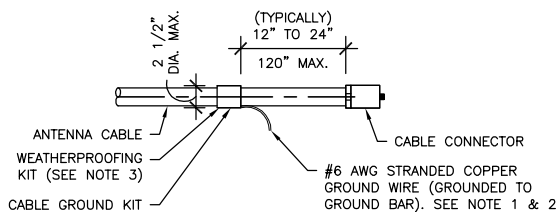
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NOTES:
DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
WEATHER PROOFING SHALL BE TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

24"x36" SCALE: NTS
11"x17" SCALE: NTS

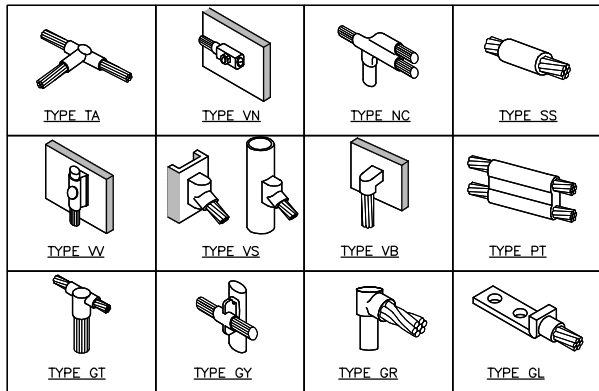
GRND CABLE CONNECTION 7



NOTES:
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
3. WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE USED.

24"x36" SCALE: NTS
11"x17" SCALE: NTS

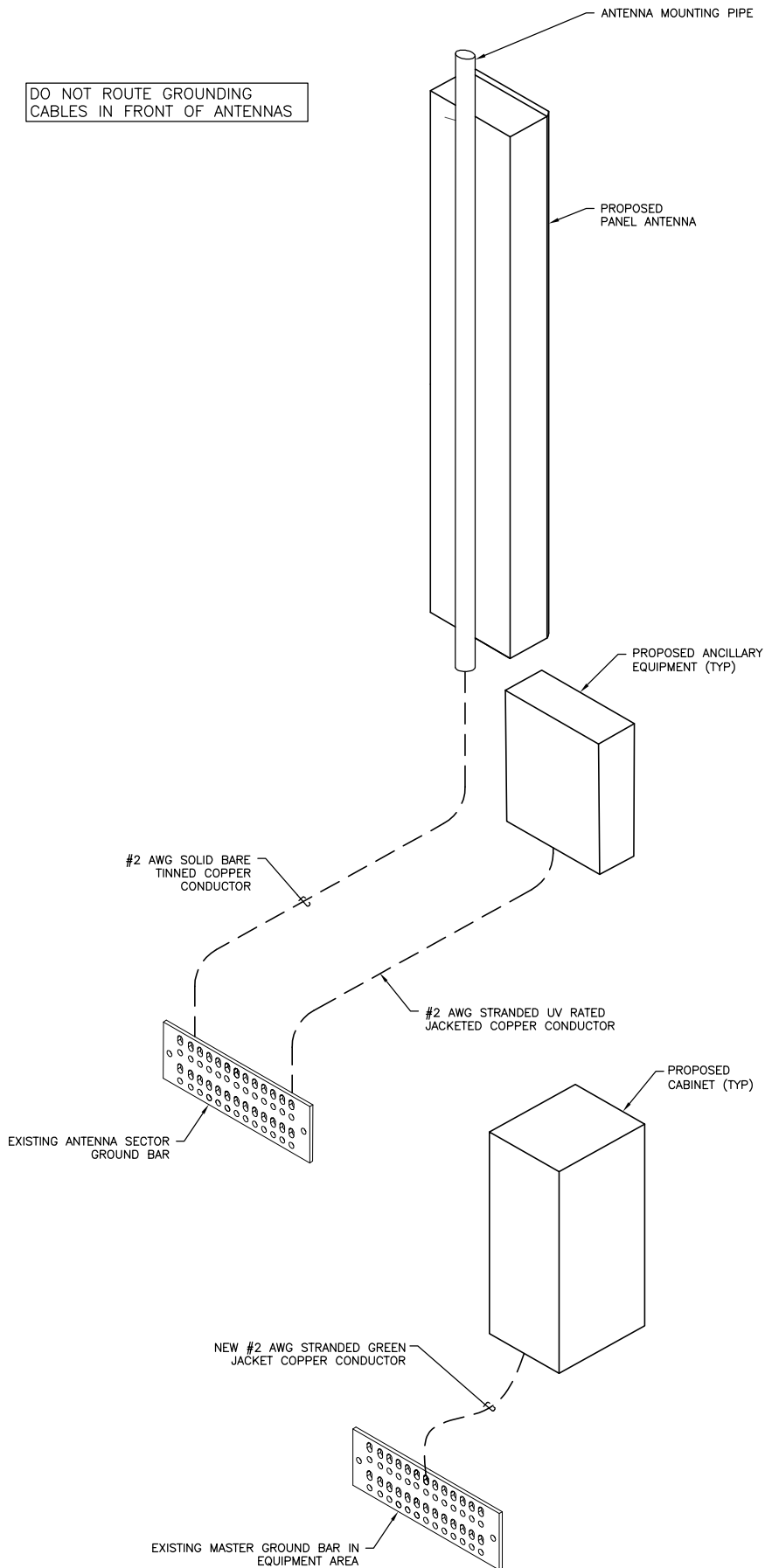
COAX CABLE GROUNDING 5



24"x36" SCALE: NTS
11"x17" SCALE: NTS

CADWELD 3

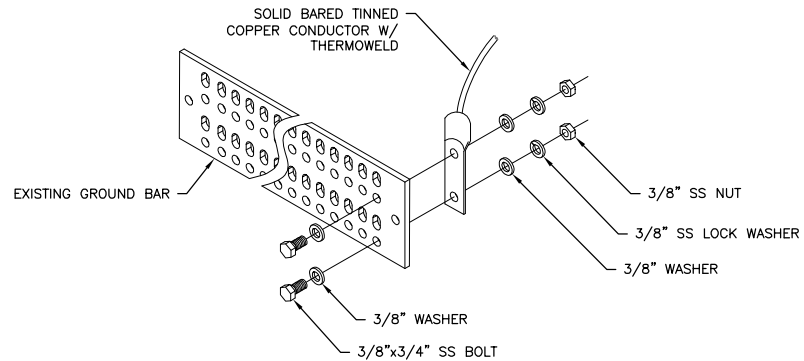
DO NOT ROUTE GROUNDING CABLES IN FRONT OF ANTENNAS



NOTE:
EXISTING SPRINT OVERALL GROUND SYSTEM RESISTANCE SHALL NOT EXCEED 5 OHMS PER SPRINT STANDARDS AND NOT EXCEED 25 OHMS PER CEC. CONTRACTOR TO VERIFY BY PERFORMING A FALL OF POTENTIAL TEST. CONTRACTOR TO PROVIDE ADDITIONAL GROUND ROD(S) AS REQUIRED PER CEC 250.53(2) TO ADHERE TO STANDARDS.

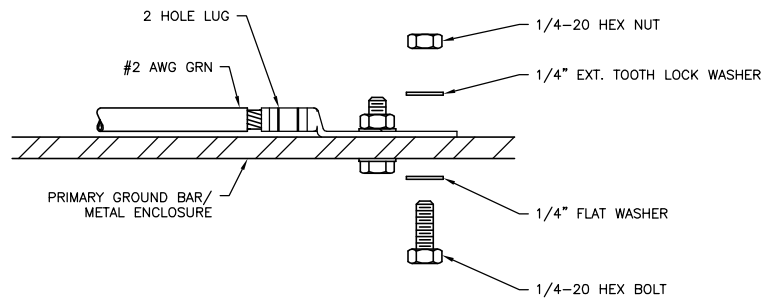
24"x36" SCALE: NTS
11"x17" SCALE: NTS

TYPICAL GROUNDING DIAGRAM 2



24"x36" SCALE: NTS
11"x17" SCALE: NTS

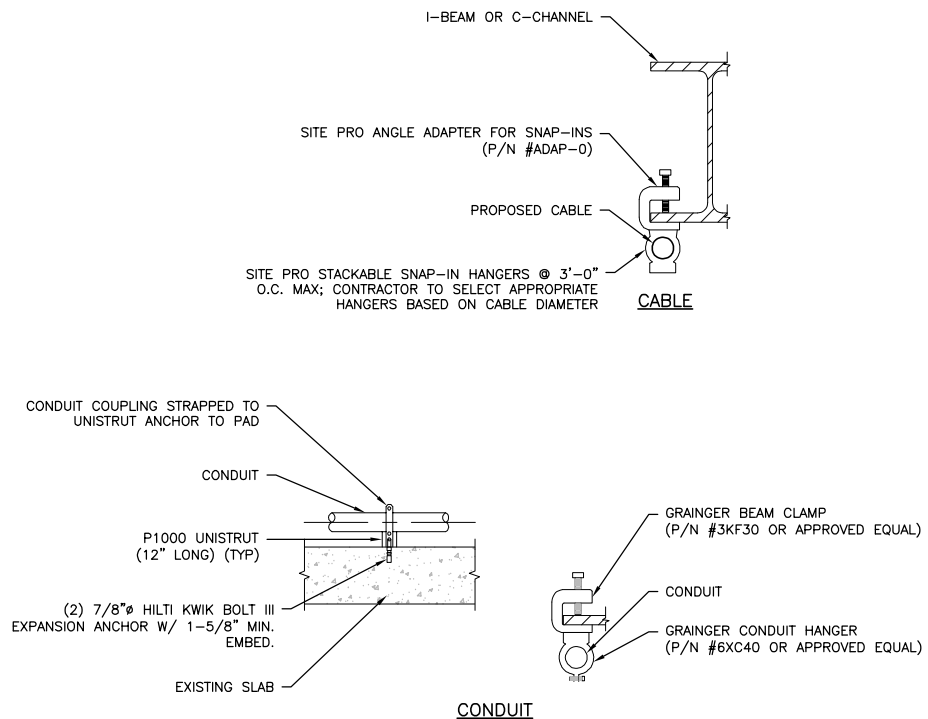
TYPICAL GROUND BAR CONNECTION 6



INSTALLATION NOTES:
1. SELECT BOLT LENGTH TO PROVIDE A MINIMUM OF TWO EXPOSED THREADS.
2. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF LUG CONTACT.
3. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF LUG AND WIPE CLEAN EXCESS COMPOUND.
4. USE SOLID COPPER WIRE AND MECHANICAL 2-HOLE LUG FOR ALL EXTERIOR GROUNDING.

24"x36" SCALE: NTS
11"x17" SCALE: NTS

GROUND CONNECTION 4



24"x36" SCALE: NTS
11"x17" SCALE: NTS

TYPICAL CONDUIT SUPPORT 1



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SHEET NAME:

GROUNDING
DETAILS

SHEET NUMBER:

E-2